FORM P2: SITE PLAN - DRB

Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents inthe order provided on this form.

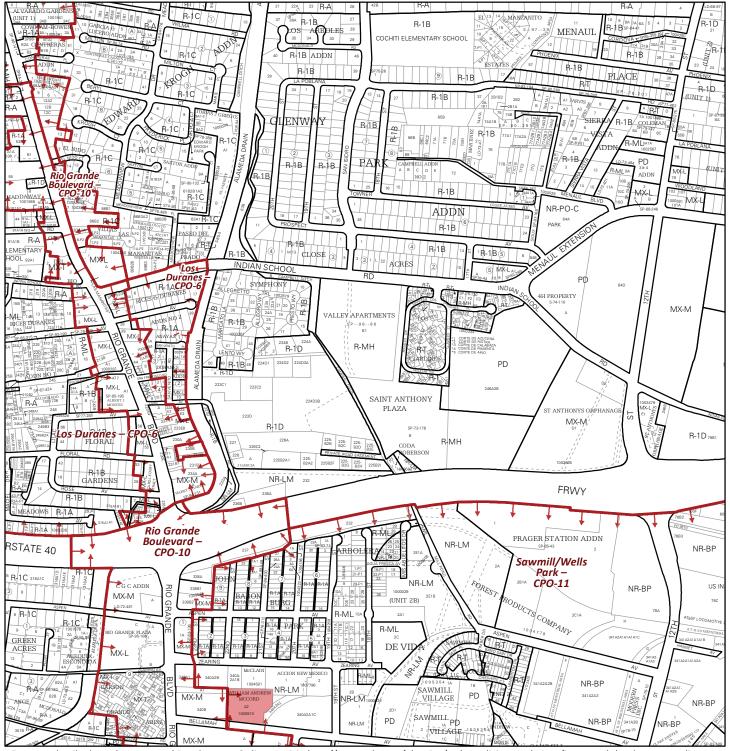
	SKETCH PLAN - DRB
	SITE PLAN – DRB MAJOR AMENDMENT TO SITE PLAN – DRB
ā	EXTENSION OF SITE PLAN - DRB
01	NA Interpreter Needed for Hearing?if yes, indicate language:
02	X PDF of application as described above
03	X Zone Atlas map with the entire site clearly outlined and labeled
04 05	X Letter of authorization from the property owner if application is submitted by an agent
06	NA Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (not required for Extension) X Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(I)(3)
07	NA Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)
•	Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.
80	× Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) (not required for Extension)
09	× Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)(not required for extension)
09.1	X Office of Neighborhood Coordination neighborhood meeting inquiry response
09.2 09.3	<u>x</u> Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
09.4	 X Completed neighborhood meeting request form(s) X If a meeting was requested or held, copy of sign-in sheet and meeting notes
10	X Sign Posting Agreement
11	X Required notices with content per IDO Section 14-16-6-4(K)(1) (not required for extension)
11.1	X Office of Neighborhood Coordination notice inquiry response
11.2	x Copy of notification letter, completed notification form(s), proof of additional information provided in accordance
11.3	with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives. X Proof of emailed notice to affected Neighborhood Association representatives
11.4	Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning
	Department orcreated by applicant, copy of notifying letter, completed notification forms(s), proof of additional
	information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing
12	X Completed Site Plan Checklist
13 14	× Site Plan and related drawings
15	NA Copy of the original approved Site Plan or Master Development Plan (for amendments and extensions) X Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)
16	X Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and
	multifamilysite plans except if the development is industrial or the multifamily is less than 25 units
17	NA Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2.)(d.) if site is within a designated landfill buffer zone
18	NA Infrastructure List, if required
	FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS - EPC
Ple	ease refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is
	quired.
Α 5	Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov
prid	or to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be
pro	ovided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development
Re	view Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.
	Interpreter Needed for Hearing?if yes, indicate language:
	PDF of application as described above
	Zone Atlas map with the entire site clearly outlined and labeled
	Letter of authorization from the property owner if application is submitted by an agent
	Solid Waste Department signature on Site Plan Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing
	information
	Approved Grading and Drainage Plan
	Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (not required for Master Development Plans)
	Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
	Site Plan and related drawings Infrastructure List, if require
	mindotrational Elot, it require



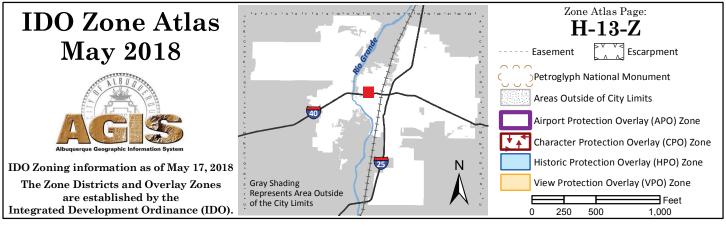


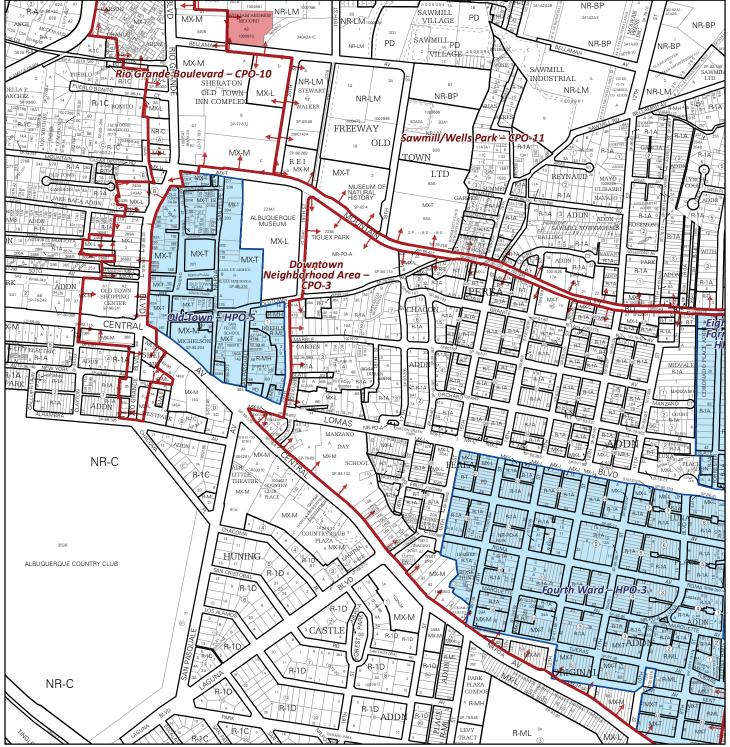
DEVELOPMENT REVIEW BOARD APPLICATION

Effective 3/01/2022					
Please check the appropriate box(es) and time of application.	d refer to supplemental fo	orms for submittal requ	uirements. All fees must be paid at the		
SUBDIVISIONS	☐ Final Sign off of EPC Site	Plan(s) (Forms P2)	☐ Extension of IIA: Temp. Def. of S/W (Form V2		
☐ Major – Preliminary Plat (Forms S & S1)	☐ Amendment to Site Plan ((Forms P & P2)	□ Vacation of Public Right-of-way (Form V)		
☐ Major – Bulk Land Plat (Forms S & S1)	MISCELLANEOUS APPLIC	ATIONS	☐ Vacation of Public Easement(s) DRB (Form V		
☐ Extension of Preliminary Plat (Form S1)	☐ Extension of Infrastructure	e List or IIA (Form S1)	□ Vacation of Private Easement(s) (Form V)		
☐ Minor Amendment - Preliminary Plat (Forms S & S2)	☐ Minor Amendment to Infra	astructure List (Form S2)	PRE-APPLICATIONS		
☐ Minor - Final Plat (Forms S & S2)	☐ Temporary Deferral of S/\	N (Form V2)	☐ Sketch Plat Review and Comment (Form S2)		
☐ Minor – Preliminary/Final Plat (Forms S & S2)	☐ Sidewalk Waiver (Form V	(2)	☐ Sketch Plan Review and Comment (Form P2		
SITE PLANS	☐ Waiver to IDO (Form V2)		APPEAL		
☑ DRB Site Plan (Forms P & P2)	☐ Waiver to DPM (Form V2))	☐ Decision of DRB (Form A)		
BRIEF DESCRIPTION OF REQUEST					
DRB approval of proposed project, whic	h includes demoltion of e	existing 1-story wareh	ouse building on subject site and		
construction of a new, 5-story building construction	omprised of hotel and re	lated uses.			
APPLICATION INFORMATION					
Applicant/Owner: Sawmill Bellamah Proper	ties, LLC (Shelby String	er)	Phone: 505.999.1724		
Address: 201 3rd Street NW, Suite 1150		OL L NIM	Email: sstringer@heritagerec.com		
City: Albuquerque	·D /D · · · · · · · · · · · · ·	State: NM	Zip: 87102		
Professional/Agent (if any): OFFICEUNTITLE	,		Phone: (310) 730-6698		
Address: 4200 Sepulveda Boulevard, Sui City: Culver City	te 104	State: CA	Email: benjamin@officeuntitled.com Zip: 90230		
Proprietary Interest in Site: Represent & Man	200	List all owners: Sawmill Bellamah Properties, LLC			
SITE INFORMATION (Accuracy of the existing					
Lot or Tract No.: A2	regar description is cruciar:	Block: Unit:			
Subdivision/Addition: MCCORDWILLIAN	1 ANDREW	MRGCD Map No.:	UPC Code: 101305817952322307		
Zone Atlas Page(s): H13	Existing Zoning: MX-H	· · · · · · · · · · · · · · · · · · ·	Proposed Zoning MX-H		
# of Existing Lots: 1	# of Proposed Lots: 1		Total Area of Site (Acres): 2.05		
LOCATION OF PROPERTY BY STREETS					
Site Address/Street: 1921Bellamah Ave NW Between: Rio Grande Blvd and: 19th Street NW					
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)					
PR-2022-007155/RZ-2022-00029 Zoning Map Amendment					
I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.					
Signature:	and sent in the required notice	e was complete, true, and a	Date: 08/19/2022		
Printed Name: Benjamin Anderson			☐ Applicant or ☑ Agent		

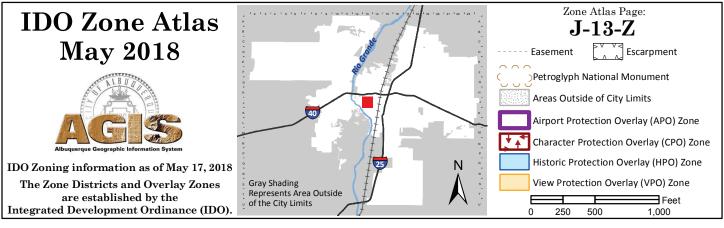


For more details about the Integrated Development Ordinance visit: http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance





For more details about the Integrated Development Ordinance visit: http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance





August 19, 2022

City of Albuquerque Planning Department Plaza del Sol Building 600 2nd St NW Albuquerque, NM 87102

Subject: 1921 Bellamah Ave NW, Albuquerque, NM

To Whom It May Concern:

Please be advised that Sawmill Bellamah Properties, LLC. is the owner of the property located at 1921 Bellamah Ave NW, Albuquerque, NM and hereby authorizes Benjamin Anderson of Office Untitled, Inc. to act as our agent for all matters related to submitting and processing the Site Plan - DRB application to the City of Albuquerque. I am available at the above contact information should you have any further questions or requests.

Sincerely,
SAWMILL BELLAMAH PROPERTIES, LLC, a New Mexico
Limited Liability Company

By: Heritage Fund I

By: Heritage Managing Member By James M. Long, Sole Member



August 19, 2022

Jolene Wolfley City of Albuquerque Development Review Board 600 2nd ST NW Albuquerque, NM 87102-2265

Re: Request for a Site Development Plan for Building Permit for the Proposed New Construction at 1921 Bellamah Avenue NW

Dear Ms. Wolfley,

OFFICEUNTITLED, Inc. is the authorized agent for Sawmill Bellamah Properties, LLC, and is requesting your consideration for the approval of a site development plan for the construction of a new, five-story, 115-room, 134,709* gross-square-foot hotel building located on the approximately 2.03-acre (88,382 square-foot) site located at 1921 Bellamah Avenue NW.

The proposed development will occur on Lot A2, Block 0000, of the site, as listed in the Development Review Board Application. The subject property is an approximately 2.03-acre lot zoned MX-H. The surrounding and abutting lots are zoned MX-M to the West at 820 Rio Grande Blvd NW, NR-LM to the North at 2200, 2100, 2020, and 2000 Zearing Ave NW, NR-LM to the East at 1909 Bellamah Ave NW, MX-L to the Southeast at 2000 Bellamah Ave NW, and MX-M to the Southwest at 800 Rio Grande Blvd NW. The request complies with the requirements of the IDO and underlying MX-H zoning. There are no requested deviations to the underlying MX-H zoning in this request.

Per IDO Section 14-16-6-6(I) 3, this proposed project complies with all of the review and decision criteria. The existing infrastructure has adequate capacity for the proposed development, and the subject property is not within an approved Master Development Plan.



4200 Sepulveda Boulevard, Suite 104 Culver City, California 90230 www.officeuntitled.com

The design and selected materials of the building exterior intend to provide a new sense of modern design and architecture for New Mexico. Sourcing inspiration from the dramatic and varied landscapes throughout the state, cantilevered floor slabs emphasize the building's horizontality and echo the process of erosion and sculpting of the landscape over time. The material palette further reflects such inspiration through the proposed use of natural sandstone, earthen-toned smooth plaster, and native vegetation. Local reference to the industrial past of the surrounding Sawmill District is also provided in materials such as patinated metal, board-formed concrete, and raw steel.

The building is positioned within and complies with the MX-H development envelope, which includes a front-yard setback of 5'-0", a rear-yard setback of 15'-0", and side-yard setbacks of 0'-0". The proposed building height of 67'-0" is also within the MX-H allowable maximum of 68'-0". The ground floor of the building has been set back an additional approximately 4'-6" to 14'-6" feet to support pedestrian and street activation along Bellamah Ave by providing an exterior gathering space within the building frontage, while also moderating the height and mass of the building. Within this setback, a large, modern portal provides summer shade to outdoor seating areas while allowing low-angle winter light into the building interiors. These seating areas are interspersed with native and drought-tolerant feature landscape areas, owner-provided art sculpture, and framed by low, gabion-rock walls. Recognizing the growing attractiveness of the Sawmill District due to the recent construction of Hotel Chaco and the Sawmill Market, a portion of the ground floor provides street-facing retail or restaurant use. To capture the incredible views of the Sandia mountains to the East, the Rio Grande valley to the North, and the West Mesa, the hotel guestroom floors have maximized glazing areas of Low-E windows. Considering potential passive strategies to shade these guestroom facades while providing ample outdoor balcony space, the cantilevered floors provide a self-shading and thermal regulating function, with perforated metal panel screens providing additional shading without sacrificing views or daylighting. The L-shaped building geometry and orientation were carefully considered to offer unparalleled views toward the Sandias for a raised, second-level pool & amenity deck. The form of the hotel floorplan is open to the East, framing views while shading the pool during the late afternoon heat. Finally, the rooftop consists of a bar, restaurant, and outdoor terrace with 360-degree views of the surrounding Sawmill District and landscape. Careful attention to the provision of shade and year-round enjoyment of this rooftop terrace



4200 Sepulveda Boulevard, Suite 104 Culver City, California 90230 www.officeuntitled.com

resulted in overhanging roofs, inset, and protected glazing walls, as well as planned shadeproviding furnishings.

No other structures are proposed on the site. The rear of the property provides a portion of the 109 total parking spaces required for the hotel and related uses, with code-required landscape buffers/perimeters providing shade and screening for the parking from Bellamah Ave. The remaining required parking and required loading areas are provided inside a ground-level, partially enclosed, structured parking garage with screened facades concealing the parking and loading uses within where visible from Bellamah Ave. The building utilities have been concentrated to the North of the loading area on the West side of the property.

Thank you for your consideration of this request.

Sincerely,

Benjamin Anderson

Principal / Co-Founder, Agent for Sawmill Bellamah Properties, LLC

PRE-APPLICATION MEETING NOTES

PA#: _22-216	Notes Provided (date): _8-23-22
Site Address and/or Location:	
	ses only and are non-binding. They do not constitute an approval of any etermine the exact type of process and/or application required. Factors buld become significant as a case progresses.
Request New Site Plan for Hotel with retail, re	estaurant and lounge
Basic Site Information	
Current Use(s): <u>Industrial</u>	Size (acreage): 2.06
Zoning: MX-H	Overlay Zone(s): CPO-12 Sawmill/Wells Park
Comprehensive Plan Designations	Corridor(s): Rio Grande Blvd MT
Development Area: <u>Change</u>	Near Major Public Open Space (MPOS)?: NA
Center: NA	<u> </u>
Integrated Development Ordinance (IDO)	
1	arding dimensional standards, parking, landscaping, walls, signage, etc. es-regulations/integrated-development-ordinance
Proposed Use(s): Hotel, Retail (General Sm	nall/medium), Restaurant & Bar/lounge
Use Specific Standards: 4-3(D)(15), 4-3(D)(3)	37) 4-3(D)(8)

Applicable Definition(s):

Hotel or Motel

A building or a group of buildings in which sleeping accommodations are offered to the public and intended primarily for rental for temporary occupancy by persons on an overnight basis, not including Bed and Breakfast establishments, which are regulated separately per this IDO.

General Retail

An establishment providing for the retail sale of general merchandise or food to the general public for direct use and not for wholesale; including but not limited to sale of general merchandise, clothing and other apparel, flowers and household plants that are not grown on-site, dry goods, convenience and specialty foods, hardware and similar consumer goods, cannabis for medical consumption pursuant to Sections 26-2B-1 to 26-2B-10 NMSA 1978 (the Lynn and Eric Compassionate Use Act), or other retail sales not listed as a separate use in Table 4-2-1. See also Adult Retail, Building and Home Improvement Materials Store, Large Retail Facility, Liquor Retail, and Grocery Store.

General retail is divided into 3 categories based on the size of the establishment or use (not the size of the structure):

- 1. General Retail, Small: An establishment with no more than 25,000 square feet of gross floor area.
- 2. General Retail, Medium: An establishment of more than 25,000 square feet of gross floor area and no more than 50,000 square feet of gross floor area.

Restaurant

An establishment that serves food and beverages that are consumed on its premises by customers seated at tables and/or counters either inside or outside the building thereon and/or that may provide

customers with take-out service of food and/or beverages for off-site consumption. Sale of alcoholic beverages is controlled by other provisions in this IDO and the New Mexico State statutes regarding alcoholic drink sales. See also *Bar* and *Taproom or Tasting Room*.

Rar

An establishment having as its primary or predominant uses the serving of beer, wine, or liquor for consumption on the premises or for take out or delivery service for off-site consumption, but that does not meet the definition for Tap Room or Tasting Room.

Sensitive Lands: *Please see IDO Section 14-16-5-2 for information about required analysis, development standards, and changes to process that may result if this Section applies.*

Notice

Neighborhood Meeting Offer Required? (see IDO Table 6-1-1). If yes, please refer to:

 $\underline{https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance}$

Process

Decision Type(s) (see IDO Table 6-1-1): <u>DRB</u>						
Specific Procedure(s)*: 6-6(I)(2)						
*Please refer to specific proceed	*Please refer to specific procedures for relevant decision criteria required to be addressed.					
Decision Making Body/ies: _	Decision Making Body/ies: <u>DRB</u> Is this a PRT requirement? <u>No</u>					
Handouts Provided						
☐ Zoning Map Amendment	☐ Site Plan Amendments	☐ Site Plan- EPC	Site Plan- DRB			
☐ Site Plan- Admin	□ Variance-ZHE	☐ Conditional Use	☐ Subdivision			
☐ Site History/Research	☐ Transportation	☐ Hydrology	☐ Fire			

If you have additional questions, please contact Staff at <u>planningprt@cabq.gov</u> or at (505) 924-3860. Please include the PA# with your inquiry.

Additional Notes:

- The request for a hotel and related facilities would be permissive in the MX-H zone, although development standards must be met pursuant to IDO Section 14-16-2-4(D).
- The request would be required to go through the DRB process pursuant to IDO section 6-5(F) in which a site plan administrative process may not be approved if:
 - d. All new non-residential development with no more than 50,000 square feet of gross floor area, with the exception of development that includes a grocery store, which may be approved administratively with no more than a total of 70,000 square feet of gross floor area.
 - e. All new mixed-use development that contains no more than 75 dwelling units and no more than 50,000
- Parking Study Reduction:

- The subject site qualifies for a 20% reduction since it is within 660' of a MT Corridor pursuant to IDO 5-5(C)(5)(a)
- O You may apply for a Parking Study Reduction pursuant to IDO 5-5(C)(5)(e). Please submit a letter justifying your request to the planning director. Please include a description and justification of your request including parking generation assumptions and the proposed site plan. Please compare existing requirements to the reduction you are requesting and state why this will be feasible and justifiable. The request will be reviewed and determined based on the IDO requirements for parking and your proposed site plan.
- The Site Plan will be reviewed at the time of building permit application and all Development standards must be followed pursuant to the MX-H zone and use specific standards. Please follow buffering requirements for this zone district.



Aug 10, 2022, 9:45 AM (1 day ago)

Office of Neighborhood Coordination <onc@cabq.gov>
to RBPlanning505@gmail.com, Office ▼

PLEASE NOTE:

The City Council recently voted to update the Neighborhood Association Recognition Ordinance (NARO) and the Office of Neighborhood Coordinatio is working to ensure all neighborhood associations and neighborhood coalitions are in compliance with the updated ordinance. There will likely be mupdates and changes to association and coalition contact information over the next several months. With that in mind, please check with the ONC ev (2) weeks to ensure that the contact information you have for associations and coalitions is up to date.

Dear Russell:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phc
Sawmill Area NA	Dina	Afek	dina.afek@gmail.com	1503 Summer Avenue NW	Albuquerque	NM	87104	5204041988	
Sawmill Area NA	Jaime	Leanos	jaime.leanos@gmail.com	1427 15th Street NW	Albuquerque	NM	87104		505

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-384 #1, e-mail: devhelp@cabq.gov, or visit: https://www.cabq.gov/planning/online-planning-permitting-applications with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project
 - Please use this online link to find the required forms you will need to submit your permit application. https://www.cabq.gov/planning/urban-design-develop-public-notice.
 - The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/Official public notice form-2019.pdf.

Neighborhood Meeting Inquiry



Thu, Aug 11, 11:35 PM (7 days ago)







to dina.afek .

Dear Dina Afek.

The Sawmill Area Neighborhood Association (SANA) attended a pre-application neighborhood meeting on 05 April 2022 and expressed support for a zoning change at 1921 Bellamah Ave NW and a subsequent redevelopment project. Jim Long presented the overall vision for the Sawmill District including visuals and then a discussion of a proposed hotel on the site.

The Environmental Planning Commission unanimously granted approval of a Zoning Map Amendment to MX-H for the property at 1921 Bellamah Ave NW at their 21 July 2022 public hearing. We are grateful for SANA's expressed support for the zone change that became part of the official record.

Sawmill Bellamah Properties is now submitting a Site Plan to the Development Review Board (DRB) for the property on Friday 19 August 2022 for a DRB meeting on Wednesday 14 September 2022. Because of the project's expedited development schedule, we respectfully request that you respond to this email inquiry as soon as possible to let us know if you would like another pre-application neighborhood meeting or if one is not needed given the extensive overview provided by Jim on 05 April 2022.

Attached you will find the CABQ neighborhood meeting form, Zone Atlas page H-13, and the preliminary site plan and building elevation drawing that corresponds to the visuals presented at the 05 April 2022 neighborhood meeting. This notice is also being provided to Jaime Leanos. Please feel free to contact me with any questions you may have.

Thank you,

Russell Brito



505.934.2690

3 Attachments · Scanned by Gmail (1)











Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of	Request*: 11 Aug	just 2022			
This req	uest for a Neighborho	od Meeting for a proposed	project is provided as required by Integrated		
Develop	ment Ordinance (IDO	Subsection 14-16-6-4(K) P	ublic Notice to:		
Neighbo	rhood Association (N	A)*: Sawmill Area NA			
Name of	NA Representative*:	Dina Afek			
Email Ac	Idress* or Mailing Add	dress* of NA Representative	dina.afek@gmail.com		
The app	lication is not yet subi	nitted. If you would like to h	have a Neighborhood Meeting about this		
propose	d project, please resp	ond to this request within 1	5 days. ²		
	Email address to resp	ond yes or no: RBPlannin	g505@gmail.com		
The app	licant may specify a N	eighborhood Meeting date	that must be at least 15 days from the Date of		
Request	above, unless you ag	ree to an earlier date.			
	Meeting Date / Time ,	Location:			
	•	by <u>IDO Subsection 14-16-6</u>			
	Location Description Bellamah, west of 20th Street, and west of the Sawmill Market				
3.	Agent/Applicant* [if applicable] RBPlanning, agent for Sawmill Bellamah Properties LLC				
4.	Application(s) Type* p	oer IDO <u>Table 6-1-1</u> [mark al	ll that apply]		
	Conditional Use	Approval			
			(Carport or Wall/Fence – Major)		
	X Site Plan				
	Subdivision		(Minor or Major)		

¹ Pursuant to <u>IDO Subsection 14-16-6-4(K)(5)(a)</u>, email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

	- Vacation	(Farancest/Drivets May on Dublic Binks of year)			
	□ Vacation	(Easement/Private Way or Public Right-of-way)			
	□ Waiver				
	☐ Zoning Map Amendment				
	☐ Other:				
	Summary of project/request ³ *:				
	Site Plan - DRB for a full-service hotel	and restaurant			
	Cite i idii Di Di di idii service noteri				
5.	This type of application will be decided by*:	☐ City Staff			
	OR at a public meeting or hearing by:				
	☐ Zoning Hearing Examiner (ZHE) - variance	X Development Review Board (DRB)			
	☐ Landmarks Commission (LC)	☐ Environmental Planning Commission (EPC)			
	☐ City Council				
6.	Where more information about the project car Russell Brito, 505.934.2690	n be found*4:			
Duning	the formation Demand for BA-11/Formit No.	the burners of the state of the			
Projec	t Information Required for Mail/Email Noti	ce by <u>IDO Subsection 6-4(K)(1)(b)</u> :			
1.	Zone Atlas Page(s)*5 H-13 (see attached)				
2.					
	proposed application, as relevant*: Attached t	o notice or provided via website noted above			
3.	3. The following exceptions to IDO standards will be requested for this project*:				
	☐ Deviation(s) ☐ Variance(s)	☐ Waiver(s)			
	Explanation:				
4	An offer of a Pre-submittal Neighborhood Mee	ting is required by Table 6-1-1*: X Yes □ No			
••	The state of the s				

[Note: Items with an asterisk (*) are required.]

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <u>http://data.cabq.gov/business/zoneatlas/</u>

5.	For Site Plan Applications only*, attach site plan showing, at a minimum:					
	▼ a. Location of proposed buildings and landscape areas.*					
	X b. Access and circulation for vehicles and pedestrians.*					
	X c. Maximum height of any proposed structures, with building elevations.*					
	☐ d. For residential development*: Maximum number of proposed dwelling units.					
	X e. For non-residential development*:					
	X Total gross floor area of proposed project.					
	X Gross floor area for each proposed use.					
Ac	ditional Information:					
1.	From the IDO Zoning Map ⁶ :					
	a. Area of Property [typically in acres] 2.029					
	b. IDO Zone District MX-H					
	c. Overlay Zone(s) [if applicable] CPO-12					
	d. Center or Corridor Area [if applicable]					
2.	nt Land Use(s) [vacant, if none] warehouse, light manufacturing					
	.,. ,, ,					
 Useful	Links					
	Integrated Development Ordinance (IDO):					
	https://ido.abc-zone.com/					
	IDO Interactive Map					
	https://tinyurl.com/IDOzoningmap					
Cc:	[Other Neighborhood Associations, if any]					
						

⁶ Available here: <u>https://tinurl.com/idozoningmap</u>

Neighborhood Meeting Inquiry Inbox x



Thu, Aug 11, 11:35 PM (7 days ago)







Russell B <rbplanning505@gmail.com>

to jaime.leanos .

Dear Jaime Leanos,

The Sawmill Area Neighborhood Association (SANA) attended a pre-application neighborhood meeting on 05 April 2022 and expressed support for a zoning change at 1921 Bellamah Ave NW and a subsequent redevelopment project. Jim Long presented the overall vision for the Sawmill District including visuals and then a discussion of a proposed hotel on the site.

The Environmental Planning Commission unanimously granted approval of a Zoning Map Amendment to MX-H for the property at 1921 Bellamah Ave NW at their 21 July 2022 public hearing. We are grateful for SANA's expressed support for the zone change that became part of the official record.

Sawmill Bellamah Properties is now submitting a Site Plan to the Development Review Board (DRB) for the property on Friday 19 August 2022 for a DRB meeting on Wednesday 14 September 2022. Because of the project's expedited development schedule, we respectfully request that you respond to this email inquiry as soon as possible to let us know if you would like another pre-application neighborhood meeting or if one is not needed given the extensive overview provided by Jim on 05 April 2022.

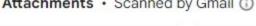
Attached you will find the CABQ neighborhood meeting form, Zone Atlas page H-13, and the preliminary site plan and building elevation drawing that corresponds to the visuals presented at the 05 April 2022 neighborhood meeting. This notice is also being provided to Dina Afek. Please feel free to contact me with any questions you may have.

Thank you,

Russell Brito

image.png 505.934.2690

3 Attachments • Scanned by Gmail ①













Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of	Request*:	11 August 2022				
This red	quest for a	Neighborhood Meeting for a proposed project is provided as required by Integrated				
Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:						
Neighb	orhood As	sociation (NA)*: Sawmill Area NA				
Name c	of NA Repr	esentative*: Jaime Leanos				
Email A	.ddress* or	Mailing Address* of NA Representative1: jaime.leanos@gmail.com				
The app	olication is	not yet submitted. If you would like to have a Neighborhood Meeting about this				
propose	ed project,	please respond to this request within 15 days. ²				
	Email add	ress to respond yes or no: RBPlanning505@gmail.com				
The app	olicant may	γ specify a Neighborhood Meeting date that must be at least 15 days from the Date $lpha$				
Reques	t above, u	nless you agree to an earlier date.				
	Meeting [Date / Time / Location:				
Project	Informati	on Required by IDO Subsection 14-16-6-4(K)(1)(a)				
1.	Subject Pr	roperty Address* 1921 Bellamah Ave NW				
	Location Description Bellamah, west of 20th Street, and west of the Sawmill Market					
2.	Coursell Belleviel Brown of the LLC					
3.	DDDIanning agent for Coumill Pollomoh Droportica LLC					
4.		on(s) Type* per IDO <u>Table 6-1-1</u> [mark all that apply]				
	□ Cond	itional Use Approval				
	□ Perm	it (Carport or Wall/Fence – Major)				
	⊼ Site F					
	□ Subd	ivision (Minor or Major)				

¹ Pursuant to <u>IDO Subsection 14-16-6-4(K)(5)(a)</u>, email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

	- Vacation	(Farance A/Drivete Meyers Dublic Disks of year)			
	□ Vacation	(Easement/Private Way or Public Right-of-way)			
	□ Waiver				
	☐ Zoning Map Amendment				
	☐ Other:				
	Summary of project/request ³ *:				
	Site Plan - DRB for a full-service hotel	and restaurant			
5.	This type of application will be decided by*:	☐ City Staff			
	OR at a public meeting or hearing by:				
	$\hfill\square$ Zoning Hearing Examiner (ZHE) - variance	X Development Review Board (DRB)			
	☐ Landmarks Commission (LC)	☐ Environmental Planning Commission (EPC)			
	☐ City Council				
6.	Where more information about the project car Russell Brito, 505.934.2690	n be found*4:			
Projec	t Information Required for Mail/Email Noti	ice by IDO Subsection 6-4(K)(1)(b):			
riojec		•			
1.	Zone Atlas Page(s)*5 H-13 (see attached)				
2.	. Architectural drawings, elevations of the proposed building(s) or other illustrations of the				
	proposed application, as relevant*: Attached to notice or provided via website noted above				
3.	The following exceptions to IDO standards will	be requested for this project*:			
	☐ Deviation(s) ☐ Variance(s)	☐ Waiver(s)			
	Explanation:				
4.	An offer of a Pre-submittal Neighborhood Mee	eting is required by Table 6-1-1*: X Yes \Box No			
		, ,			

[Note: Items with an asterisk (*) are required.]

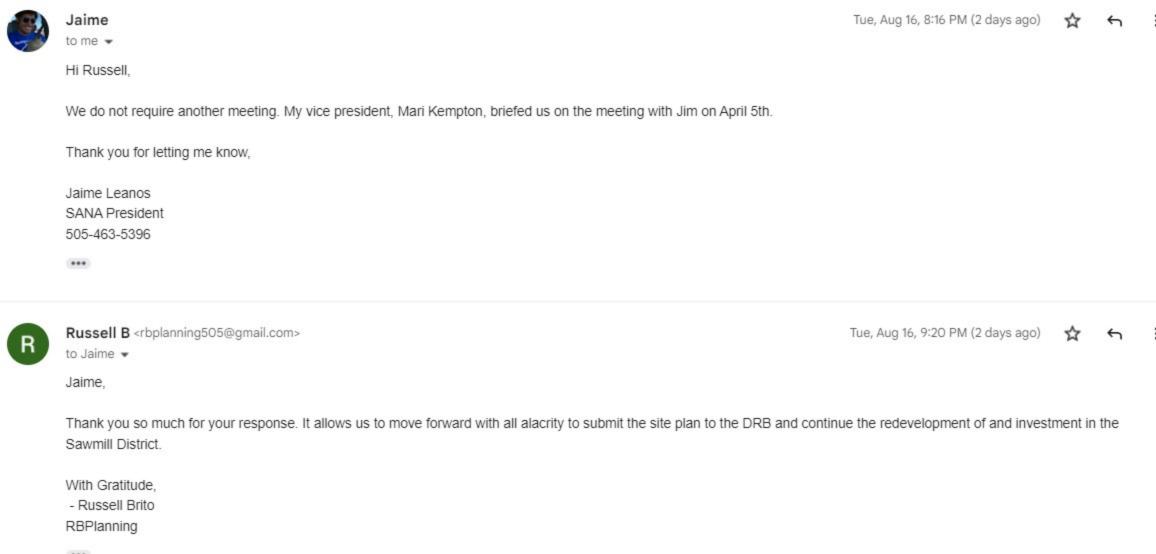
³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <u>http://data.cabq.gov/business/zoneatlas/</u>

5. For Site Plan Applications only*, attach site plan showing, at a minimum:			Plan Applications only*, attach site plan showing, at a minimum:			
	X	a. Lo	cation of proposed buildings and landscape areas.*			
	X	b. Ac	ccess and circulation for vehicles and pedestrians.*			
	X	 X c. Maximum height of any proposed structures, with building elevations.* D d. For residential development*: Maximum number of proposed dwelling units. 				
	X	e. Fo	r non-residential development*:			
		X	Total gross floor area of proposed project.			
		X	Gross floor area for each proposed use.			
Α	dditi	ional II	nformation:			
1.	Fr	om the	e IDO Zoning Map ⁶ :			
	a.	Area	of Property [typically in acres] 2.029			
	b.	NAV III				
	c.	CDO 12				
	d.					
2.	Cu	Current Land Use(s) [vacant, if none] warehouse, light manufacturing				
 Usefu	Llin					
oseiu	LIIII	KS .				
		Integrated Development Ordinance (IDO):				
	<u>ht</u>	https://ido.abc-zone.com/				
	ID	IDO Interactive Map				
		https://tinyurl.com/IDOzoningmap				
			<u></u>			
Cc:			[Other Neighborhood Associations, if any			
cc			[Other Neighborhood Associations, ij uny			
						

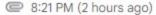
⁶ Available here: <u>https://tinurl.com/idozoningmap</u>



Notice of Site Plan - DRB Submittal



Russell B <rbplanning505@gmail.com> to dina.afek -





Dear Dina Afek,

We are pleased to notify the SANA that we are submitting a Site Plan - DRB application for a site in the Sawmill District on Bellamah AVe, just west of the Sawmill Market.

Please see the attached documents for more information about the request to be heard by the Development Review Board on Wednesday 14 September 2022.

The other contact for your Association, Jaime Leanos, dina is receiving this same notice. If you have any questions, please feel free to contact me.

Sincerely,

Russell Brito image.png

505.934.2690

3 Attachments · Scanned by Gmail ①







Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date o	f Notice*:	18 August 2022		
This no	otice of an	application for a proposed project is prov	ided as required by Integrated Development	
Ordina	nce (IDO)	Subsection 14-16-6-4(K) Public Notice to:		
Neighh	orhood As	ssociation (NA)*: Sawmill Area Neighb	porhood Association (SANA)	
		resentative*: Dina Afek		
	•	r Mailing Address* of NA Representative ¹	dina.afek@gmail.com	
Inform	ation Req	uired by <u>IDO Subsection 14-16-6-4(K)(1)(</u>	<u>a)</u>	
1.	Subject P	roperty Address* 1921 Bellamah Ave	NW	
	Location	Description Bellamah Ave, east of R	io Grande Blvd	
2.	Coursell Dollamah Dramartias II C			
3.	DDDIanning agent for Cournill Pollomah Dranartica LLC			
4.				
	□ Cond	ditional Use Approval		
	□ Perm	nit	(Carport or Wall/Fence – Major)	
	X Site	Plan		
	□ Subc	livision	_ (Minor or Major)	
	Vaca	tion	_ (Easement/Private Way or Public Right-of-way)	
	□ Varia	ance		
	□ Waiv	ver er		
	□ Othe	er:		
Summary of project/request ^{2*} :				
	Site Plan - DRB for a full-service hotel and restaurant			

¹ Pursuant to <u>IDO Subsection 14-16-6-4(K)(5)(a)</u>, email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: I	tems with an asterisk (*) are required.]				
5.	This application will be decided at a public meeting or hearing by*:				
	☐ Zoning Hearing Examiner (ZHE)	X Development Review Board (DRB)			
	☐ Landmarks Commission (LC)	☐ Environmental Planning Commission (EPC)			
	Date/Time*: Wednesday 14 September 2022 / 9:00 AM				
	Location*3: Zoom: https://cabq.zoom.us/j/81711919604				
	Agenda/meeting materials: http://www.cabq.gov/planning/boards-commissions				
	To contact staff, email <u>devhelp@cabq.gov</u> or o	call the Planning Department at 505-924-3860.			
6.	6. Where more information about the project can be found*4: rbplanning505@gmail.com				
Informa	ation Required for Mail/Email Notice by IDO S	ubsection 6-4(K)(1)(b):			
1	Zone Atlas Page(s)*5 H-13				
2.	Architectural drawings, elevations of the prop	osed building(s) or other illustrations of the			
		to notice or provided via website noted above			
3.					
	☐ Deviation(s) ☐ Variance(s)	□ Waiver(s)			
	Explanation*:	,			
4.	A Pre-submittal Neighborhood Meeting was r	equired by Table 6-1-1: X Yes \Box No			
	Summary of the Pre-submittal Neighborhood	Meeting, if one occurred:			
	The Sawmill Area Neighborhood Association (SANA) declined a pre-sub				
	n application: the SANA attended a pre-				

submittal Neighborhood Meeting on 05 April 2-22 where the proposed vision for the Sawmill District and zone changes provided adequate information to garner

SANA support for the redevelopment projects.

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <u>http://data.cabq.gov/business/zoneatlas/</u>

[Note: Items with an asterisk (*) are required.]

5.	Fo	r Site Plan Applications	conly*, attach site plan showing, at a minimum:
	X	a. Location of propo	sed buildings and landscape areas.*
	X	b. Access and circula	ation for vehicles and pedestrians.*
	X	c. Maximum height	of any proposed structures, with building elevations.*
		d. For residential de	evelopment*: Maximum number of proposed dwelling units.
	X	e. For non-residenti	al development*:
		X Total gross flo	oor area of proposed project.
		Gross floor ar	ea for each proposed use.
Additi	ona	I Information [Option	nal]:
Fre	om t	the IDO Zoning Map ⁶ :	
1.	Are	ea of Property [typically	in acres] 2.0290 acres
2.	IDO	D Zone District MX-H	
3.	Ov	erlay Zone(s) [if applica	ble] CPO-12
4.	Die Crande Plyd Major Transit Carridar		
Cu			f none] Office and warehousing
Associated calend require	atior ar da ed. T	ns within 660 feet may in ays before the public m	n 14-16-6-4(L), property owners within 330 feet and Neighborhood request a post-submittal facilitated meeting. If requested at least 15 eeting/hearing date noted above, the facilitated meeting will be meeting regarding this project, contact the Planning Department at 55.
Useful	Link	S	
		egrated Development ps://ido.abc-zone.com/	
	IDO	O Interactive Map	
	htt	ps://tinyurl.com/IDOzo	<u>oningmap</u>
Сс:			[Other Neighborhood Associations, if any]

⁶ Available here: https://tinurl.com/idozoningmap

Notice of Site Plan - DRB Submittal



Russell B <rbplanning505@gmail.com>





Dear Jaime Leanos,

to Jaime .

We are pleased to notify the SANA that we are submitting a Site Plan - DRB application for a site in the Sawmill District on Bellamah AVe, just west of the Sawmill Market.

Please see the attached documents for more information about the request to be heard by the Development Review Board on Wednesday 14 September 2022.

The other contact for your Association, Dina Afek, is receiving this same notice. If you have any questions, please feel free to contact me.

Sincerely,

Russell Brito

RBPlanning

505.934.2690

3 Attachments · Scanned by Gmail ①







Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

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Ordina	nce (IDO)	Subsection 14-16-6-4(K) Public Notice to			
Neight	orhood As	ssociation (NA)*: Sawmill Area Neigh	borhood Association (SANA)		
Name	of NA Repr	resentative*: Jaime Leanos			
Email /	Address* o	r Mailing Address* of NA Representative	giaime.leanos@gmail.com		
Inform	ation Requ	uired by IDO Subsection 14-16-6-4(K)(1)(<u>a)</u>		
1.	Subject P	Property Address* 1921 Bellamah Ave	NW		
		Description Bellamah Ave, east of R			
2.	Saymill Bollomah Dranartica LLC				
3.	DDDIi				
4.					
	□ Cond	ditional Use Approval			
		nit	(Carport or Wall/Fence – Major)		
	X Site I	Plan			
	□ Subd	division	(Minor or Major)		
	Vaca	ition	(Easement/Private Way or Public Right-of-way)		
	□ Varia	ance			
	□ Waiv	/er			
	□ Othe	er:			
	Summary of project/request ² *:				
	Site Plan - DRB for a full-service hotel and restaurant				

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	Location*3: Zoom: https://cabq.zoom.us/j/81711919604				
	Agenda/meeting materials: http://www.cabq.gov/planning/boards-commissions				
	To contact staff, email <u>devhelp@cabq.gov</u> or o	call the Planning Department at 505-924-3860.			
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Informa	ation Required for Mail/Email Notice by IDO S	ubsection 6-4(K)(1)(b):			
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2.	Architectural drawings, elevations of the prop	osed building(s) or other illustrations of the			
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	Explanation*:	,			
4.	A Pre-submittal Neighborhood Meeting was r	equired by Table 6-1-1: X Yes \Box No			
	Summary of the Pre-submittal Neighborhood	Meeting, if one occurred:			
	The Sawmill Area Neighborhood Association (SANA) declined a pre-sub				
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SANA support for the redevelopment projects.

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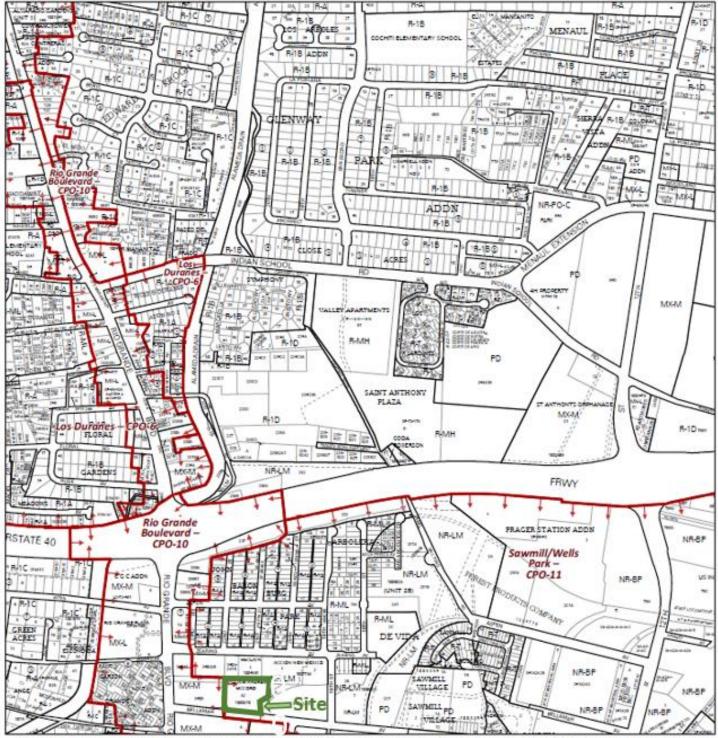
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[Note: Items with an asterisk (*) are required.]

5.	Fo	r Site Plan Applications	conly*, attach site plan showing, at a minimum:
	X	a. Location of propo	sed buildings and landscape areas.*
	X	b. Access and circula	ation for vehicles and pedestrians.*
	X	c. Maximum height	of any proposed structures, with building elevations.*
		d. For residential de	evelopment*: Maximum number of proposed dwelling units.
	X	e. For non-residenti	al development*:
		X Total gross flo	oor area of proposed project.
		Gross floor ar	ea for each proposed use.
Additi	ona	I Information [Option	nal]:
Fre	om t	the IDO Zoning Map ⁶ :	
1.	Are	ea of Property [typically	in acres] 2.0290 acres
2.	IDO	D Zone District MX-H	
3.	Ov	erlay Zone(s) [if applica	ble] CPO-12
4.	Die Crande Plyd Major Transit Carridar		
Cu			f none] Office and warehousing
Associated calend require	atior ar da ed. T	ns within 660 feet may in ays before the public m	n 14-16-6-4(L), property owners within 330 feet and Neighborhood request a post-submittal facilitated meeting. If requested at least 15 eeting/hearing date noted above, the facilitated meeting will be meeting regarding this project, contact the Planning Department at 55.
Useful	Link	S	
		egrated Development ps://ido.abc-zone.com/	
	IDO	O Interactive Map	
	htt	ps://tinyurl.com/IDOzo	<u>oningmap</u>
Сс:			[Other Neighborhood Associations, if any]

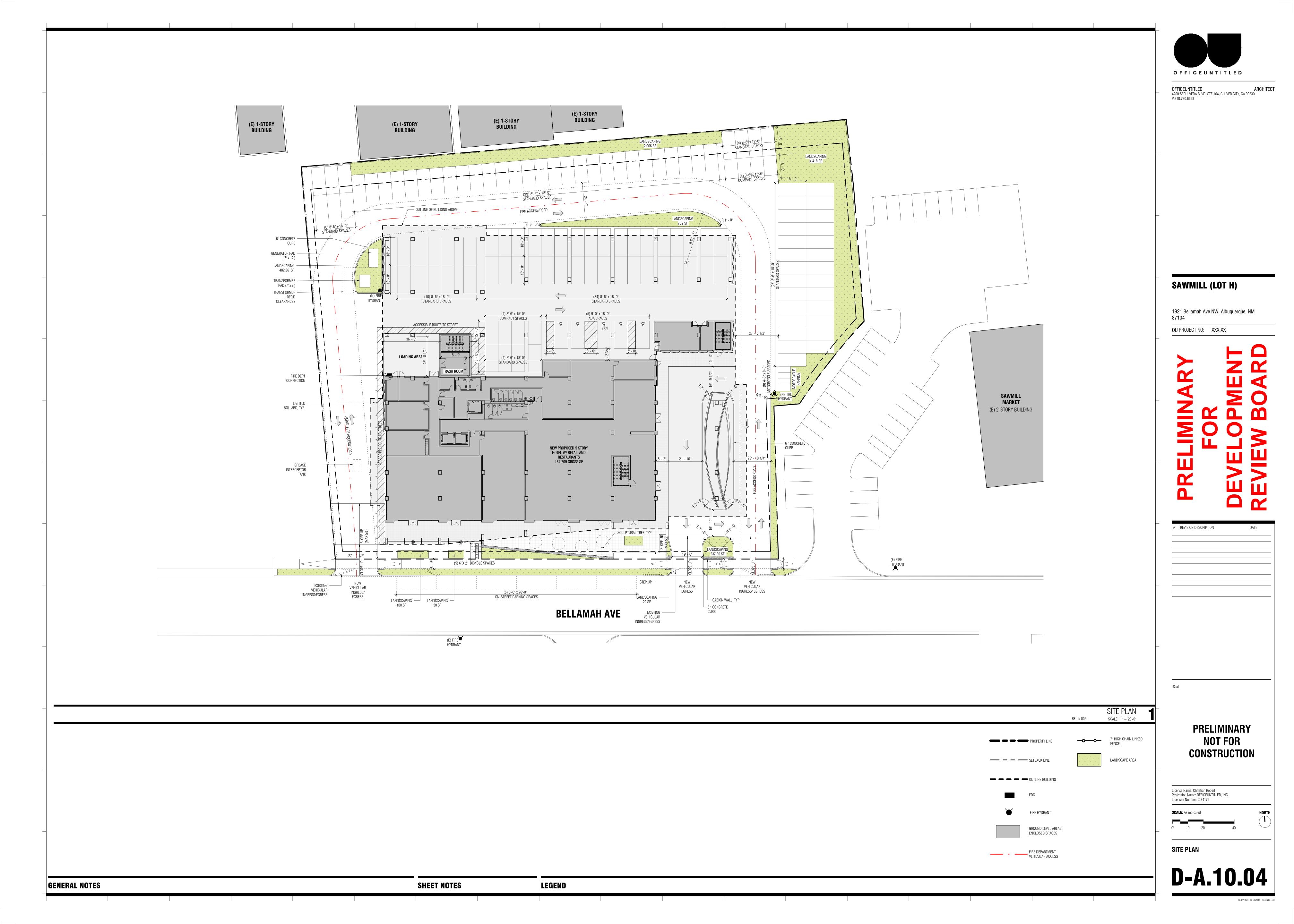
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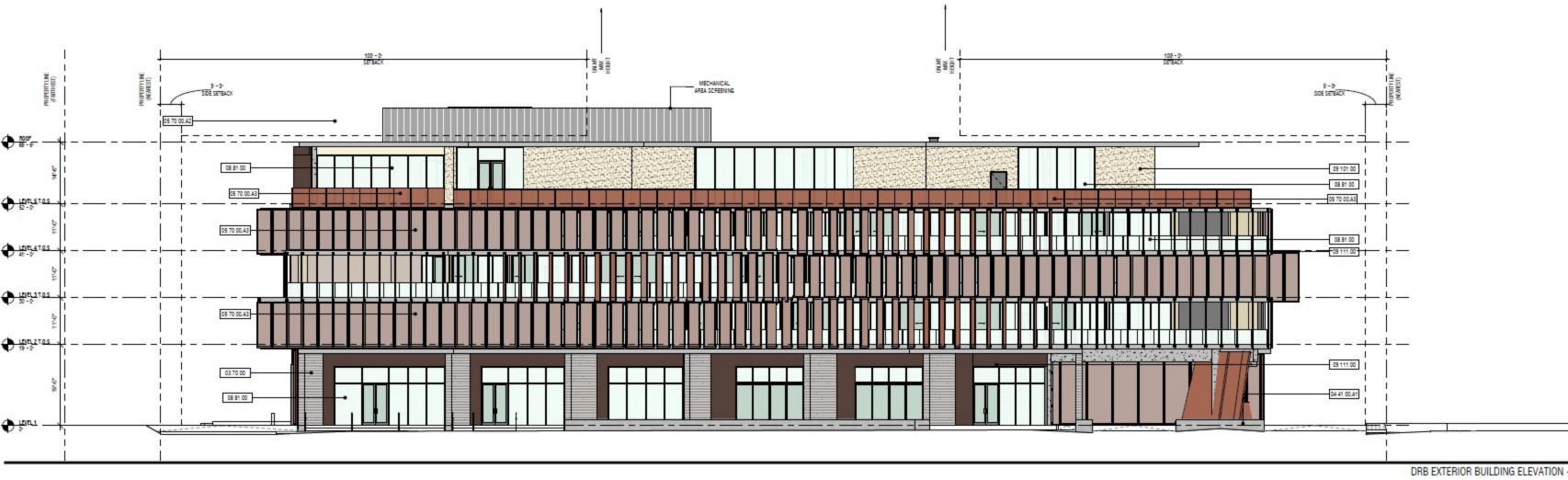
Attachments to all Emailed Notices to Neighborhood Association



For more details about the Integrated Development Ordinance visit: http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance







CITY OF ALBUQUERQUE

LAND USE FACILITATION PROGRAM PROJECT MEETING THIRD AMENDED REPORT HOTEL CHACO – ABO SAWMILL DISTRICT

Project: Hotel Chaco - Zone Change/Variance Pre-Application **Property Description/Address:** 1904 and 1921 Bellamah Ave. NW

Date Submitted: April 8, 2022 **Submitted By:** Jocelyn M. Torres

Meeting Date/Time: April 5, 2022, 6:00-8:00 pm

Meeting Location: Hotel Chaco, 2000 Bellamah Ave. NW.

Facilitator: Jocelyn M. Torres, Land Use Facilitator

Applicant: Heritage Real Estate; Jim Long, Heritage Hotels & Resorts CEO (Heritage)

Agent: Russell Brito, RBPlanning

Neighborhood Associations/Interested Parties: Sawmill District NA; Downtown NA; Sawmill Market

Vendors; Neighbors.

Background Summary:

In 2017, Heritage renovated Hotel Albuquerque and opened Hotel Chaco. The Sawmill Market was built within an existing warehouse building and opened in March, 2020. Heritage's developments are intended to add to the City's ambiance and Old Town's heritage. Business development, jobs and other local economic benefits have resulted from this development. Heritage's expansion is intended to enhance the existing communal design and amenities.

This was a Pre-Application meeting regarding a planned zone change from NR-LM (non-residential light manufacturing) to MX-H (mixed-use high intensity). Heritage is also requesting setback and height variances from the Integrated Development Ordinance (IDO) CPO-12 design standards. The three intended buildings include: Hotel (approximately 118 guest rooms) 1904 Bellamah NW; Chaco Residential/Hotel (approximately 97 units) and Residential Apartments (approximately 101 units) – 1921 Bellamah NW. Each building will have balconies and lower level retail space and parking.

Outcomes:

- Areas of Agreement:
- Participants voiced support for the contemplated development.
- Areas of Concern:
- Although several questions were asked, there were no expressed areas of concern.

Introduction:

Jim Long.

Mr. Long presented a map demonstrating the property to be located at 1904 and 1921 Bellamah NW. It is within the Sawmill District and near Hotel Chaco. It is also bordered by Mountain Road and Rio Grande Boulevard. Old Town is located south of Mountain and east of Rio Grande.

Hotel Chaco brought in 150 jobs and is often frequented by actors and film producers. The Sawmill Market brought in 250 new jobs; 32 food and beverage venues; economic opportunities; and new life to an old building. Hotel Albuquerque renovations focused on enhancing the territorial design. Local brands and opportunities are currently promoted and are intended for future development. Heritage is providing opportunities for New Mexico residents and visitors to live, work and play in the same vicinity. It also intends to beautify surrounding streets and pedestrian walkways and hopes to minimize the use of asphalt.

CITY OF ALBUQUERQUE

LAND USE FACILITATION PROGRAM PROJECT MEETING THIRD AMENDED REPORT HOTEL CHACO – ABQ SAWMILL DISTRICT

Hotel Chaco has a serene and calm environment. The new hotel project will have a higher level of energy and showcase the creativity of our artistic community. The residential hotel will be located next to the market rate apartments. Those two buildings will be separated by a European style plaza. All three buildings are designed to conform to the state's geological character. The building design is meant to depict the stratification of mesa erosion and to capture the sun at different angles. The Hotel Chaco residence building will utilize a vertical geological formation, similar to Shiprock. Each building has balconies as well as ground floor retail space and underground parking. Additional parking will be located in a separate lot.

The federal government has designated this as a redevelopment district. The zone change is required because the intended use does not conform to the prior nonresidential light manufacturing designation. The variance is required to build upper levels closer to the street and to increase the <u>first floor</u> height by two feet.

Felicia Meyer and Seth Beckley – **Hawt Pizza**: When the Sawmill District opened in March, 2020 was when Covid 19 hit. We started our business nine days after the market opened. Although we briefly served curbside, we were forced to close due to Covid. We reopened in July, 2021 and our pizza business has thrived ever since. Albuquerque needs open air patio markets like Sawmill. Heritage has created a legacy and a platform for new business expansion.

Ronsuelvic Cavalieri and Laura Castellanos - Cachos Latin Flavor: I arrived from Caracas, Venezuela seven years ago and started my restaurant business five years ago. I make empanadas with unique Latin flavors. When I saw an advertisement for the Sawmill Market I thought: "I want to be there!" I put in a proposal that was accepted. Sawmill is modern and vibrant. I am grateful to be here. I want to let everyone know that we are here. We are passionate people and have a lot to share. I also acknowledge Jim Long's support.

Jason Doan – Kilantro (Vietnamese Cuisine): I came here as an immigrant with my mom and sister. I noticed that the Sawmill Market was diverse with many options. I remembered how to make a business proposal from one of my high school classes. When I made the proposal Jim accepted it. All the necessary equipment was in place when we started our restaurant on November 24, 2021. We started in a very small room with six employees. We have now expanded, with 24 employees and a preparation kitchen. I pray every Friday and Saturday that I will be able to handle the workload because we are so busy. We have long lines and our volume has increased. Jim Long has used the Sawmill Market as a way to help people like myself that are going through hard times.

Meeting Specifics: Neighbor questions and comments are in Italics. Answers are not italicized.

1) Zone Change Application.

a) Q: Is the (MX-H) zone change required for all three buildings? What is the zoning for Hotel Chaco?
A: Hotel Chaco was zoned as C3 commercial prior to the passage of the IDO overlay. Although that ordinance included a widespread effort, certain segments have to be rezoned to meet current needs.
C: We intend to break ground in January 2023. The second building will commence two months later (March, 2023) and the third will start two months after that (May, 2023). The entire building project will take two years.

2) Mama's Minerals.

a) Q: Will Spur Line Supply and Mama's Minerals be moved?A: Yes. They may be moved to the prior charter school space.

CITY OF ALBUQUERQUE

LAND USE FACILITATION PROGRAM PROJECT MEETING THIRD AMENDED REPORT HOTEL CHACO – ABQ SAWMILL DISTRICT

3) Local Products.

a) Q: Will the retail still be local?

A: Absolutely. We will use the Sawmill Market process.

4) Growers' Market or Soccer Field.

a) Q: Will there be a growers' market?

A: I don't have high hopes for that.

b) Q: What about a soccer field?

A: Tiguex Park is across the street.

5) Parking.

a) Q: Will there be enough parking?

A: We will likely need a parking structure.

b) Q: Will the parking be open to everyone or closed off?

A: It will be open parking. We can possibly close off some streets for events.

6) Old Town Improvements.

a) Q: What about the ten million dollars being granted for Old Town improvements?

A: The money is intended for proposals that are shovel ready. Rio Grande, I-40 and Mountain Road will be improved as a better gateway to Old Town. Bellamah and 20th might see some pedestrian walkways.

b) Q: Is it too late to get in?

A: It is only intended for roadways.

c) *Q*: What about getting a roundabout?

A: That is unlikely. The roundabout itself will cost five million dollars and will require design work to get started.

7) Comparisons.

a) O: Will this be like Scottsdale?

A: It is more like 16th Street in Denver or the North Denver RiNo District. Those zones have residential apartments but no ground floor retail. Here we will have a unique environment so the businesses can thrive.

8) Design.

a) Q: What is the argument for this design?

A: People can live, work and shop in their immediate environment. The streets don't have to be choked with traffic. There is no need for constant ingress and egress. People don't always have to use cars. Density in urban design slows down traffic.

CITY OF ALBUQUERQUE

LAND USE FACILITATION PROGRAM PROJECT MEETING THIRD AMENDED REPORT HOTEL CHACO – ABQ SAWMILL DISTRICT

9) Apartment Leases, Furnishings, Amenities and Market Rate.

- a) Q: Will the apartments have short or long term leases?
 - A: The hotel residence building will have short term stays. The apartment building will have short and long term leases. A longer lease allows a family to customize the apartment.
- b) Q: Will the apartments be furnished?
 - A: Only the hotel residence units will be furnished. Those stays will include one week to a year. All buildings will have amenities.
- c) Q: How much will be charged for the apartments?
 - A: We'll study market rate comparisons as of the time they are built.

Anticipated Application and Hearing timetable: EPC Zone Change and ZHE Variance.

Heritage expects to file the applications in April, 2022. There are currently no set dates.

Names & Affiliations of Attendees and Interested Parties:

Jim Long Heritage (HHR) CEO

Adrian Perez HHR President

Sarah Mancini HHR Russell Brito Agent

Peter Rice Downtown ABQ News

J.J. Mancini Downtown NA Mari Kempton Sawmill Area NA

Felicia Meyer Hawt Pizza
Seth Beckley Hawt Pizza
Jason Doan Kilantro
Nealy Koncilja Kilantro

Anderson Barreto Cachos Latin Flavor

Ronmienezky

Cavalieri Cachos Latin Flavor
Laura Castellanos Cachos Latin Flavor
Ronsuelvic Cavalieri Cachos Latin Flavor
Jocelyn M. Torres Land Use Facilitator
Tyson Hummell CABQ ADR Coordinator

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING ADMINISTRATIVE SITE PLAN APPLICATION

All persons making application to the City under the requirements and procedures established by the City Zoning Code (IDO) are responsible for the posting and maintaining of one or more signs on the property which the application describes. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Zoning Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

PHYSICAL POSTING

TIME

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

Signs must be posted from August30,20270 September 29, 2022

		-3	,	•	•
keep the sign(s) pos	et and discussed it with th sted for (15) days and (B)				
this sheet.	Pot	>			2022
	(Applicant or	Agent)		(Date) ັ	

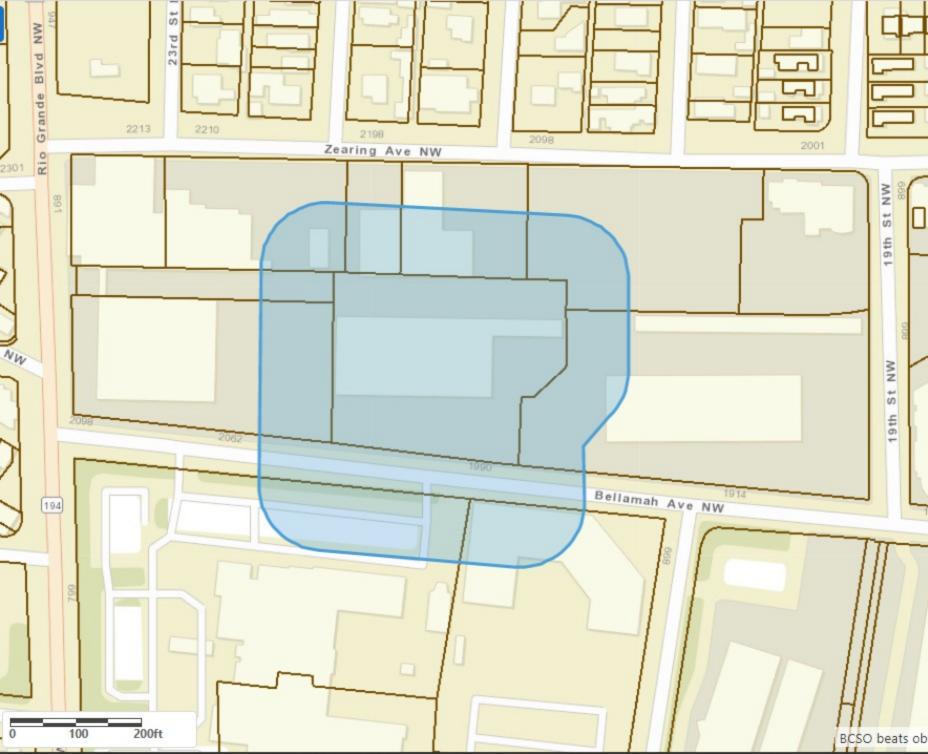
issued signs for this application,	,	
(Date)		(Staff Member)

PERMIT NUMBER: PR-2022-007155/51-

Rev. 10/5/2018

4.

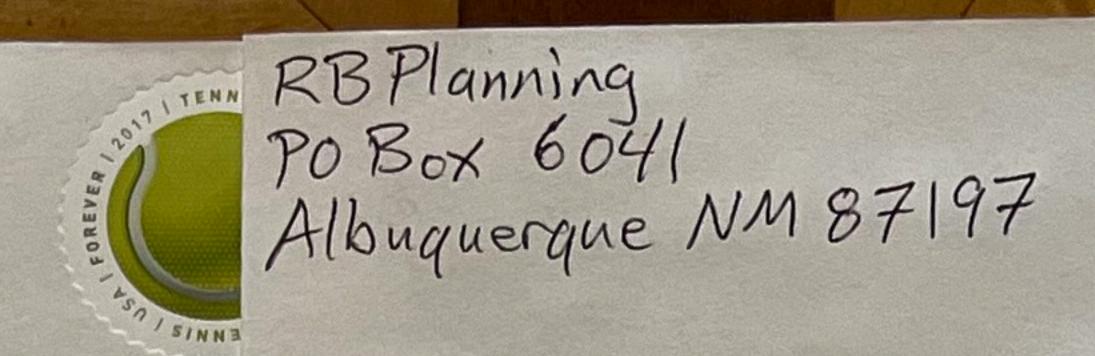
Mailed Notice to Property Owners



1.77	A CONTRACTOR OF THE CONTRACTOR	
Owner	Owner Address	Owner Address 2
BERNALILLO COUNTY C/O COUNTY MANAGER	415 SILVER AVE SW	ALBUQUERQUE NM 87102-3225
TSAI YOUNG YEN & WAN PING CO-TRUSTEES TSAI 2004 FAMILY TRUST	820 RIO GRANDE BLVD NW	ALBUQUERQUE NM 87104
YELLOWHORSE ARTIE	PO BOX 671	CORRALES NM 87048
RIO GRANDE HOTEL INVESTMENT LLC & ETAL	800 RIO GRANDE BLVD NW SUITE 310	ALBUQUERQUE NM 87104
SAWMILL BELLAMAH PROPERTIES LLC	201 3RD ST NW SUITE 1150	ALBUQUERQUE NM 87102-4493
GENESIS DEVELOPMENT & REAL ESTATE LLC	300 COOPER AVE	HANCOCK MI 49930-2113
ACCION NEW MEXICO	2000 ZEARING AVE NW SUITE 417	ALBUQUERQUE NM 87104
ETG PROPERTIES LLC	P O BOX 26207	ALBUQUERQUE NM 87125-6207

. . .

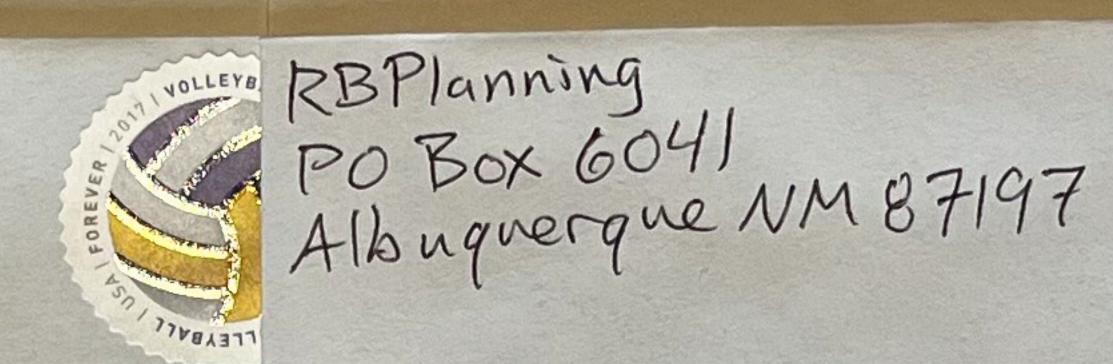
RBPlanning POBOX 6041 Albuquerque NM 87197 Albuquerque NM 87197





ETG Properties LLC PO Box 26207 Albuquerque NM 87125-6207 ACCION New Mexico 2000 Zearing Ave NW Suite 417 Albuquerque NM 87104

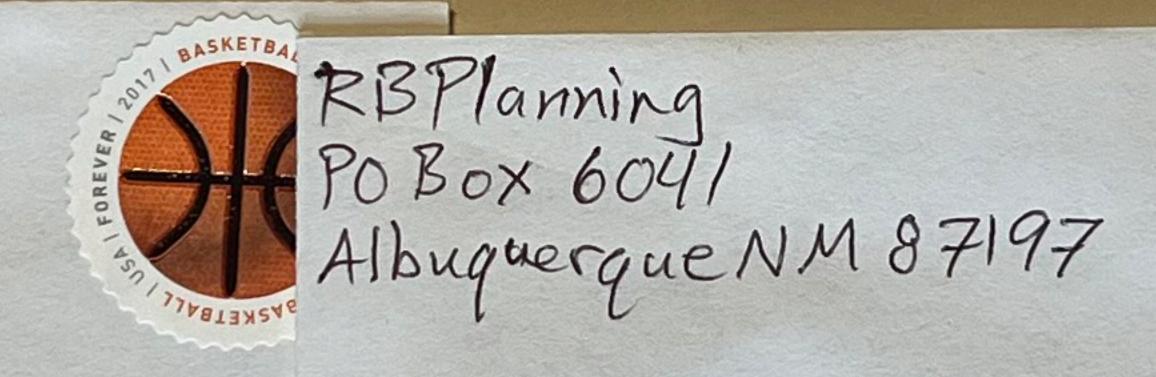
RBP/anning
POBOX 6041
Albuquerque NM 87197





Genesis Development & Real Estate LLC 300 Copper Ave Hancock MI 49930-2113 Sawmill Bellamah Properties LLC 2013 de st NW Suite 1150 Albuquerque NM 87102-4493

RBPlanning PO Box 6041 Albuquerque NM 87197

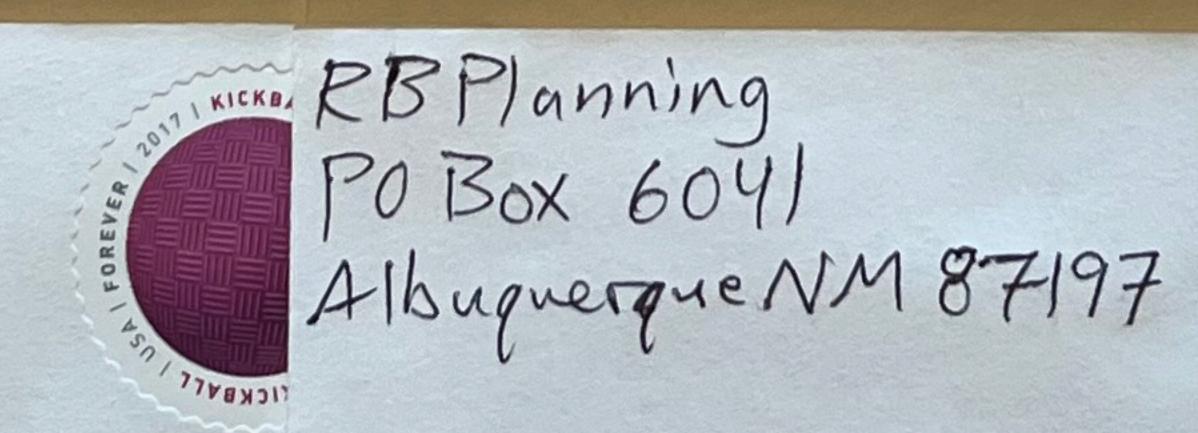




Rio Grande Hotel Investment LLCEETAL 800 Rio Grande Blud Suite 310 Albuquerque NM 87104

Yellowhorse Artie PO Box 671 Comales NM 87648

23 Planning 20 Box 6041 41 buguerque NM 87197





Bernalillo County 4/0 County Manager 4/15 Silver Ave SW Albuquerque NM 87102-3225

Tsai Young Yen & Wan Ping G-Trustees Tsai 2004 Family Trust 820 Rio Grande Blvd NW Albuquerque NM 87104

Date of	f Notice*:	19 August 2022	
This no	tice of an	application for a proposed project is p	rovided as required by Integrated Development
Ordina	nce (IDO)	Subsection 14-16-6-4(K) Public Notice	to:
Propert	ty Owner	within 100 feet*: ACCION New Mex	ico
Mailing	g Address	*: 2000 Zearing Ave NW, Albuquero	que NM 87104
Project	Informa	tion Required by <u>IDO Subsection 14-16</u>	5-6-4(K)(1)(a)
1.	Subject	Property Address*_1921 Bellamah Av	e NW
	Location	Description Bellamah Ave, east of F	Rio Grande Blvd
2.	Property	Owner* Sawmill Bellamah Prope	rties, LLC
3.	Agent/A	.pplicant* [if applicable] RBPlanning,	agent for Sawmill Bellamah Properties LLC
4.		ion(s) Type* per IDO <u>Table 6-1-1</u> [mark	
	□ Con	ditional Use Approval	
	□ Peri	mit	(Carport or Wall/Fence – Major)
	X Site	Plan	
	□ Sub	division	(Minor or Major)
	□ Vac	ation	(Easement/Private Way or Public Right-of-way)
	□ Vari	iance	
	□ Wai	ver	
	□ Oth	er:	
	Summar	ry of project/request1*:	
		an - DRB for a full-service hotel a	and restaurant
		<u> </u>	
5.	This app	olication will be decided at a public mee	ting or hearing by*:
_		g Hearing Examiner (ZHE)	X Development Review Board (DRB)
		narks Commission (LC)	☐ Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note:	Items with an asterisk (*) are required.]
	Date/Time*: September 14, 2020 / 9:00 AM
	Location*2: Zoom: https://cabq.zoom.us/j/81711919604
	Agenda/meeting materials: http://www.cabq.gov/planning/boards-commissions
	To contact staff, email <u>devhelp@cabq.gov</u> or call the Planning Department at 505-924-3860.
6.	Where more information about the project can be found*3: rbplanning505@gmail.com
Project	Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):
1.	Zone Atlas Page(s)*4 H-13
2.	Architectural drawings, elevations of the proposed building(s) or other illustrations of the
	proposed application, as relevant*: Attached to notice or provided via website noted above
3.	The following exceptions to IDO standards have been requested for this project*:
	☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)
	Explanation*:
4.	A Pre-submittal Neighborhood Meeting was required by <u>Table 6-1-1</u> :
	Summary of the Pre-submittal Neighborhood Meeting, if one occurred:
	The Sawmill Area Neighborhood Association (SANA) declined a pre-submittal
	Neighborhood Meeting.
5.	For Site Plan Applications only*, attach site plan showing, at a minimum:

- X a. Location of proposed buildings and landscape areas.*
- ★ b. Access and circulation for vehicles and pedestrians.*
- X c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <u>http://data.cabq.gov/business/zoneatlas/</u>

 d. For residential development*: Maximum number of proposed dwelling units. e. For non-residential development*: Total gross floor area of proposed project.
☐ Gross floor area for each proposed use.
Additional Information:
From the IDO Zoning Map ⁵ :
Area of Property [typically in acres] 2.0290 acres IDO Zone District MX-H
3. Overlay Zone(s) [if applicable] CPO-12
4. Center or Corridor Area [if applicable] Rio Grande Blvd Major Transit Corridor
Current Land Use(s) [vacant, if none] Office and warehousing

Useful Links

Integrated Development Ordinance (IDO):

https://ido.abc-zone.com/

[Note: Items with an asterisk (*) are required.]

IDO Interactive Map

⁵ Available here: https://tinurl.com/idozoningmap

Date of	f Notice	e*: 19 August 2022	
This no	tice of	an application for a proposed project is p	rovided as required by Integrated Development
Ordina	nce (ID	O) Subsection 14-16-6-4(K) Public Notice	to:
Propert	ty Own	er within 100 feet*: Bernalillo County	
Mailing	g Addre	ess*: 415 Silver Ave SW, Albuquerque	NM 87102-3225
Project	Inforn	nation Required by <u>IDO Subsection 14-16</u>	-6-4(K)(1)(a)
1.	Subje	ct Property Address*_1921 Bellamah Av	e NW
	Locati	ion Description Bellamah Ave, east of F	Rio Grande Blvd
2.	Prope	_{erty Owner*} Sawmill Bellamah Propei	rties, LLC
3.	Agent	/Applicant* [if applicable] RBPlanning,	agent for Sawmill Bellamah Properties LLC
4.		cation(s) Type* per IDO <u>Table 6-1-1</u> [mark	
		onditional Use Approval	
	□ Pe	ermit	(Carport or Wall/Fence – Major)
	X Si	te Plan	
	□ St	ubdivision	(Minor or Major)
		acation	(Easement/Private Way or Public Right-of-way)
		ariance	
	□ W	/aiver	
	□ O	ther:	
	Summ	nary of project/request1*:	
	Site Plan - DRB for a full-service hotel and restaurant		
5.	This a	pplication will be decided at a public mee	ting or hearing by*:
		ing Hearing Examiner (ZHE)	X Development Review Board (DRB)
		dmarks Commission (LC)	☐ Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note:	Items with an asterisk (*) are required.]
	Date/Time*: September 14, 2020 / 9:00 AM
	Location*2: Zoom: https://cabq.zoom.us/j/81711919604
	Agenda/meeting materials: http://www.cabq.gov/planning/boards-commissions
	To contact staff, email <u>devhelp@cabq.gov</u> or call the Planning Department at 505-924-3860.
6.	Where more information about the project can be found*3: rbplanning505@gmail.com
Project	Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):
1.	Zone Atlas Page(s)*4 H-13
2.	Architectural drawings, elevations of the proposed building(s) or other illustrations of the
	proposed application, as relevant*: Attached to notice or provided via website noted above
3.	The following exceptions to IDO standards have been requested for this project*:
	☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)
	Explanation*:
4.	A Pre-submittal Neighborhood Meeting was required by <u>Table 6-1-1</u> :
	Summary of the Pre-submittal Neighborhood Meeting, if one occurred:
	The Sawmill Area Neighborhood Association (SANA) declined a pre-submittal
	Neighborhood Meeting.
5.	For Site Plan Applications only*, attach site plan showing, at a minimum:

- X a. Location of proposed buildings and landscape areas.*
- ★ b. Access and circulation for vehicles and pedestrians.*
- X c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <u>http://data.cabq.gov/business/zoneatlas/</u>

☐ d. For residential development*: Maximum number of proposed dwelling units.
🗵 e. For non-residential development*:
☐ Total gross floor area of proposed project.
☐ Gross floor area for each proposed use.
Additional Information:
From the IDO Zoning Map ⁵ :
1. Area of Property [typically in acres] 2.0290 acres
2. IDO Zone District MX-H
3. Overlay Zone(s) [if applicable] CPO-12
4. Center or Corridor Area [if applicable] Rio Grande Blvd Major Transit Corridor
Current Land Use(s) [vacant, if none] Office and warehousing

Useful Links

Integrated Development Ordinance (IDO):

https://ido.abc-zone.com/

[Note: Items with an asterisk (*) are required.]

IDO Interactive Map

⁵ Available here: https://tinurl.com/idozoningmap

Date of	f Notice*: 19 August 2022			
This notice of an application for a proposed project is provided as required by Integrated Development				
Ordinaı	nce (IDO) Subsection 14-16-6-4(K) Public No	tice to:		
Propert	ty Owner within 100 feet*: ETG Properties	LLC		
Mailing	g Address*: PO Box 26207, Albuquerque I	NM 87125-6207		
Project	t Information Required by <u>IDO Subsection 1</u> 4	4-16-6-4(K)(1)(a)		
1.	Subject Property Address* 1921 Bellamah	Ave NW		
	Location Description Bellamah Ave, east			
2.	Property Owner* Sawmill Bellamah Pro			
3.		ng, agent for Sawmill Bellamah Properties LLC		
4.	Application(s) Type* per IDO Table 6-1-1 [m			
	☐ Conditional Use Approval			
	□ Permit	(Carport or Wall/Fence – Major)		
	X Site Plan			
	□ Subdivision	(Minor or Major)		
	Uacation	(Easement/Private Way or Public Right-of-way)		
	□ Variance			
	□ Waiver			
	□ Other:			
	Summary of project/request ^{1*} :			
	Site Plan - DRB for a full-service hotel and restaurant			
5.	This application will be decided at a public r	meeting or hearing by*:		
	\square Zoning Hearing Examiner (ZHE)	old X Development Review Board (DRB)		
	☐ Landmarks Commission (LC)	☐ Environmental Planning Commission (EPC)		

¹ Attach additional information, as needed to explain the project/request.

[Note:	Items with an asterisk (*) are required.]
	Date/Time*: September 14, 2020 / 9:00 AM
	Location*2: Zoom: https://cabq.zoom.us/j/81711919604
	Agenda/meeting materials: http://www.cabq.gov/planning/boards-commissions
	To contact staff, email <u>devhelp@cabq.gov</u> or call the Planning Department at 505-924-3860.
6.	Where more information about the project can be found*3: rbplanning505@gmail.com
Project	Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):
1.	Zone Atlas Page(s)*4 H-13
2.	Architectural drawings, elevations of the proposed building(s) or other illustrations of the
	proposed application, as relevant*: Attached to notice or provided via website noted above
3.	The following exceptions to IDO standards have been requested for this project*:
	☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)
	Explanation*:
4.	A Pre-submittal Neighborhood Meeting was required by <u>Table 6-1-1</u> : $\overline{\mathbb{X}}$ Yes \square No
	Summary of the Pre-submittal Neighborhood Meeting, if one occurred:
	The Sawmill Area Neighborhood Association (SANA) declined a pre-submittal
	Neighborhood Meeting.
5.	For Site Plan Applications only*, attach site plan showing, at a minimum:

- X a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- X c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <u>http://data.cabq.gov/business/zoneatlas/</u>

☐ d. For residential development*: Maximum number of proposed dwelling units.
🗵 e. For non-residential development*:
☐ Total gross floor area of proposed project.
☐ Gross floor area for each proposed use.
Additional Information:
From the IDO Zoning Map ⁵ :
1. Area of Property [typically in acres] 2.0290 acres
2. IDO Zone District MX-H
3. Overlay Zone(s) [if applicable] CPO-12
4. Center or Corridor Area [if applicable] Rio Grande Blvd Major Transit Corridor
Current Land Use(s) [vacant, if none] Office and warehousing

Useful Links

Integrated Development Ordinance (IDO):

https://ido.abc-zone.com/

[Note: Items with an asterisk (*) are required.]

IDO Interactive Map

⁵ Available here: https://tinurl.com/idozoningmap

This notice of an application for a proposed project is provided as required by Integrated Develop Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to: Property Owner within 100 feet*: Genesis Development & Real Estate LLC Mailing Address*: 300 Copper Ave, Hancock MI 49930-2113 Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)	ment
Property Owner within 100 feet*: Genesis Development & Real Estate LLC Mailing Address*: 300 Copper Ave, Hancock MI 49930-2113	
Mailing Address*: 300 Copper Ave, Hancock MI 49930-2113	
Project Information Required by <u>IDO Subsection 14-16-6-4(K)(1)(a)</u>	
1. Subject Property Address* 1921 Bellamah Ave NW	
Location Description Bellamah Ave, east of Rio Grande Blvd	
2. Property Owner* Sawmill Bellamah Properties, LLC	
3. Agent/Applicant* [if applicable] RBPlanning, agent for Sawmill Bellamah Properties	LLC
4. Application(s) Type* per IDO <u>Table 6-1-1</u> [mark all that apply]	
☐ Conditional Use Approval	
□ Permit (Carport or Wall/Fence − Major)	
X Site Plan	
□ Subdivision (Minor or Major)	
□ Vacation (Easement/Private Way or Public Right-o	f-way)
□ Variance	
□ Waiver	
☐ Other:	
Summary of project/request1*:	
Site Plan - DRB for a full-service hotel and restaurant	
5. This application will be decided at a public meeting or hearing by*:	
☐ Zoning Hearing Examiner (ZHE)	
☐ Landmarks Commission (LC) ☐ Environmental Planning Commission (E	PC)

¹ Attach additional information, as needed to explain the project/request.

[Note:	Items with an asterisk (*) are required.]
	Date/Time*: September 14, 2020 / 9:00 AM
	Location*2: Zoom: https://cabq.zoom.us/j/81711919604
	Agenda/meeting materials: http://www.cabq.gov/planning/boards-commissions
	To contact staff, email <u>devhelp@cabq.gov</u> or call the Planning Department at 505-924-3860.
6.	Where more information about the project can be found*3: rbplanning505@gmail.com
Project	Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):
1.	Zone Atlas Page(s)*4 H-13
2.	Architectural drawings, elevations of the proposed building(s) or other illustrations of the
	proposed application, as relevant*: Attached to notice or provided via website noted above
3.	The following exceptions to IDO standards have been requested for this project*:
	☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)
	Explanation*:
4.	A Pre-submittal Neighborhood Meeting was required by <u>Table 6-1-1</u> : $\overline{\mathbb{X}}$ Yes \square No
	Summary of the Pre-submittal Neighborhood Meeting, if one occurred:
	The Sawmill Area Neighborhood Association (SANA) declined a pre-submittal
	Neighborhood Meeting.
5.	For Site Plan Applications only*, attach site plan showing, at a minimum:

- X a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- X c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <u>http://data.cabq.gov/business/zoneatlas/</u>

☐ d. For residential development*: Maximum number of proposed dwelling units.
🗵 e. For non-residential development*:
☐ Total gross floor area of proposed project.
☐ Gross floor area for each proposed use.
Additional Information:
From the IDO Zoning Map ⁵ :
1. Area of Property [typically in acres] 2.0290 acres
2. IDO Zone District MX-H
3. Overlay Zone(s) [if applicable] CPO-12
4. Center or Corridor Area [if applicable] Rio Grande Blvd Major Transit Corridor
Current Land Use(s) [vacant, if none] Office and warehousing

Useful Links

Integrated Development Ordinance (IDO):

https://ido.abc-zone.com/

[Note: Items with an asterisk (*) are required.]

IDO Interactive Map

⁵ Available here: https://tinurl.com/idozoningmap

Date of	Notice*:	19 August 2022	
This no	tice of an	application for a proposed project is pr	rovided as required by Integrated Development
Ordinar	nce (IDO)	Subsection 14-16-6-4(K) Public Notice	to:
Propert	ty Owner	within 100 feet*: Rio Grande Hotel II	nvestment LLC & ETAL
Mailing	g Address	*: 800 Rio Grande Blvd Suite 310, A	lbuquerque NM 87104
Project	Informa	tion Required by <u>IDO Subsection 14-16</u>	-6-4(K)(1)(a)
1.	Subject	Property Address* 1921 Bellamah Ave	e NW
	Location	Description Bellamah Ave, east of R	Rio Grande Blvd
2.	Property	_{/ Owner*} Sawmill Bellamah Proper	ties, LLC
3.	Agent/A	pplicant* [if applicable] RBPlanning,	agent for Sawmill Bellamah Properties LLC
4.		ion(s) Type* per IDO <u>Table 6-1-1</u> [mark	
	□ Con	ditional Use Approval	
	□ Peri	mit	(Carport or Wall/Fence – Major)
	X Site	Plan	
	□ Sub	division	(Minor or Major)
	□ Vac	ation	(Easement/Private Way or Public Right-of-way)
	□ Vari	iance	
	□ Wai	ver	
	□ Oth	er:	
	Summar	ry of project/request1*:	
		an - DRB for a full-service hotel a	ind restaurant
		<u>a.i. 2. (2. (a.) (a.) (a.) (a.) (a.) (a.) (a.) (a.</u>	
5.	This app	lication will be decided at a public mee	ting or hearing by*:
		Hearing Examiner (ZHE)	X Development Review Board (DRB)
	•	narks Commission (LC)	☐ Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note:	Items with an asterisk (*) are required.]
	Date/Time*: September 14, 2020 / 9:00 AM
	Location*2: Zoom: https://cabq.zoom.us/j/81711919604
	Agenda/meeting materials: http://www.cabq.gov/planning/boards-commissions
	To contact staff, email <u>devhelp@cabq.gov</u> or call the Planning Department at 505-924-3860.
6.	Where more information about the project can be found*3: rbplanning505@gmail.com
Project	Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):
1.	Zone Atlas Page(s)*4 H-13
2.	Architectural drawings, elevations of the proposed building(s) or other illustrations of the
	proposed application, as relevant*: Attached to notice or provided via website noted above
3.	The following exceptions to IDO standards have been requested for this project*:
	☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)
	Explanation*:
4.	A Pre-submittal Neighborhood Meeting was required by <u>Table 6-1-1</u> : $\overline{\mathbb{X}}$ Yes \square No
	Summary of the Pre-submittal Neighborhood Meeting, if one occurred:
	The Sawmill Area Neighborhood Association (SANA) declined a pre-submittal
	Neighborhood Meeting.
5.	For Site Plan Applications only*, attach site plan showing, at a minimum:

- X a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- X c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <u>http://data.cabq.gov/business/zoneatlas/</u>

☐ d. For residential development*: Maximum number of proposed dwelling units.
🗵 e. For non-residential development*:
☐ Total gross floor area of proposed project.
☐ Gross floor area for each proposed use.
Additional Information:
From the IDO Zoning Map ⁵ :
1. Area of Property [typically in acres] 2.0290 acres
2. IDO Zone District MX-H
3. Overlay Zone(s) [if applicable] CPO-12
4. Center or Corridor Area [if applicable] Rio Grande Blvd Major Transit Corridor
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[Note: Items with an asterisk (*) are required.]

IDO Interactive Map

⁵ Available here: https://tinurl.com/idozoningmap

Date of	Notice*	: 19 August 2022	
This no	tice of ar	n application for a proposed project is pr	ovided as required by Integrated Development
Ordinar	nce (IDO)	Subsection 14-16-6-4(K) Public Notice	to:
Propert	ty Owner	r within 100 feet*: Sawmill Bellamah F	Properties, LLC
Mailing	g Address	s*: 201 3rd St. NW Ste. 1150, Albuqu	erque NM 87102-4493
Project	Informa	ntion Required by <u>IDO Subsection 14-16</u>	-6-4(K)(1)(a)
1.	Subject	Property Address* 1921 Bellamah Ave	e NW
	Location	n Description Bellamah Ave, east of R	io Grande Blvd
2.	Propert	_{y Owner*} Sawmill Bellamah Proper	ties, LLC
3.	Agent/A	Applicant* [if applicable] RBPlanning, a	agent for Sawmill Bellamah Properties LLC
4.		tion(s) Type* per IDO <u>Table 6-1-1</u> [mark	
	□ Cor	nditional Use Approval	
	□ Per	mit	(Carport or Wall/Fence – Major)
	X Site	e Plan	
	□ Sub	odivision	(Minor or Major)
	□ Vac	cation	(Easement/Private Way or Public Right-of-way)
	□ Var	riance	
	□ Wa	iver	
	□ Oth	ner:	
	Summa	ry of project/request1*:	
	Site P	lan - DRB for a full-service hotel a	nd restaurant
5.	This app	olication will be decided at a public meet	ing or hearing by*:
	☐ Zonin	g Hearing Examiner (ZHE)	X Development Review Board (DRB)
	□ Landr	marks Commission (LC)	☐ Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note:	Items with an asterisk (*) are required.]
	Date/Time*: September 14, 2020 / 9:00 AM
	Location*2: Zoom: https://cabq.zoom.us/j/81711919604
	Agenda/meeting materials: http://www.cabq.gov/planning/boards-commissions
	To contact staff, email <u>devhelp@cabq.gov</u> or call the Planning Department at 505-924-3860.
6.	Where more information about the project can be found*3: rbplanning505@gmail.com
Project	Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):
1.	Zone Atlas Page(s)*4 H-13
2.	Architectural drawings, elevations of the proposed building(s) or other illustrations of the
	proposed application, as relevant*: Attached to notice or provided via website noted above
3.	The following exceptions to IDO standards have been requested for this project*:
	☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)
	Explanation*:
4.	A Pre-submittal Neighborhood Meeting was required by <u>Table 6-1-1</u> : $\overline{\mathbb{X}}$ Yes \square No
	Summary of the Pre-submittal Neighborhood Meeting, if one occurred:
	The Sawmill Area Neighborhood Association (SANA) declined a pre-submittal
	Neighborhood Meeting.
5.	For Site Plan Applications only*, attach site plan showing, at a minimum:

- X a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- X c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <u>http://data.cabq.gov/business/zoneatlas/</u>

☐ d. For residential development*: Maximum number of proposed dwelling units.
🗵 e. For non-residential development*:
☐ Total gross floor area of proposed project.
☐ Gross floor area for each proposed use.
Additional Information:
From the IDO Zoning Map ⁵ :
1. Area of Property [typically in acres] 2.0290 acres
2. IDO Zone District MX-H
3. Overlay Zone(s) [if applicable] CPO-12
4. Center or Corridor Area [if applicable] Rio Grande Blvd Major Transit Corridor
Current Land Use(s) [vacant, if none] Office and warehousing

Useful Links

Integrated Development Ordinance (IDO):

https://ido.abc-zone.com/

[Note: Items with an asterisk (*) are required.]

IDO Interactive Map

⁵ Available here: https://tinurl.com/idozoningmap

Date of	f Notice*: 19 August 2022	
This no	tice of an application for a proposed project i	s provided as required by Integrated Development
Ordinaı	nce (IDO) Subsection 14-16-6-4(K) Public Not	ice to:
Propert	ty Owner within 100 feet*: Tsai Young Yen	& Wan Ping Co-Trustees
Mailing	g Address*: 820 Rio Grande Blvd NW, Albu	uquerque NM 87104
Project	t Information Required by <u>IDO Subsection 14</u>	-16-6-4(K)(1)(a)
1.	Subject Property Address* 1921 Bellamah	Ave NW
	Location Description Bellamah Ave, east of	
2.	Property Owner* Sawmill Bellamah Prop	
3.	• •	ng, agent for Sawmill Bellamah Properties LLC
4.	Application(s) Type* per IDO <u>Table 6-1-1</u> [mo	
	☐ Conditional Use Approval	
	□ Permit	(Carport or Wall/Fence – Major)
	X Site Plan	
	□ Subdivision	(Minor or Major)
	□ Vacation	(Easement/Private Way or Public Right-of-way)
	□ Variance	
	□ Waiver	
	□ Other:	
	Summary of project/request1*:	
	Site Plan - DRB for a full-service hote	el and restaurant
_		
5.	This application will be decided at a public m	c ,
	☐ Zoning Hearing Examiner (ZHE)	X Development Review Board (DRB)
	☐ Landmarks Commission (LC)	☐ Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note:	Items with an asterisk (*) are required.]
	Date/Time*: September 14, 2020 / 9:00 AM
	Location*2: Zoom: https://cabq.zoom.us/j/81711919604
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1.	Zone Atlas Page(s)*4 H-13
2.	Architectural drawings, elevations of the proposed building(s) or other illustrations of the
	proposed application, as relevant*: Attached to notice or provided via website noted above
3.	The following exceptions to IDO standards have been requested for this project*:
	☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)
	Explanation*:
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Additional Information:
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Useful Links

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https://ido.abc-zone.com/

[Note: Items with an asterisk (*) are required.]

IDO Interactive Map

⁵ Available here: https://tinurl.com/idozoningmap

Date of	Notice*:	19 August 2022						
This no	tice of an	application for a proposed project is p	rovided as required by Integrated Development					
Ordinar	nce (IDO)	Subsection 14-16-6-4(K) Public Notice	to:					
Propert	ty Owner	within 100 feet*: Yellowhorse Artie						
Mailing	g Address'	E: PO Box 671, Corrales NM 87048						
Project	Informat	ion Required by <u>IDO Subsection 14-16</u>	-6-4(K)(1)(a)					
1.	1. Subject Property Address* 1921 Bellamah Ave NW							
	Location Description Bellamah Ave, east of Rio Grande Blvd							
2.	Property Owner* Sawmill Bellamah Properties, LLC							
3.	Agent/Applicant* [if applicable] RBPlanning, agent for Sawmill Bellamah Properties LLC							
4.	Application(s) Type* per IDO <u>Table 6-1-1</u> [mark all that apply]							
	□ Con	ditional Use Approval						
	□ Perr	nit	(Carport or Wall/Fence – Major)					
	X Site	Plan						
	□ Sub	division	(Minor or Major)					
	□ Vaca	ation	(Easement/Private Way or Public Right-of-way)					
	□ Vari	ance						
	□ Waiver							
	□ Oth	er:						
	Summary of project/request ^{1*} :							
	Site Plan - DRB for a full-service hotel and restaurant							
5.	5. This application will be decided at a public meeting or hearing by*:							
	☐ Zoning Hearing Examiner (ZHE)							
	_	arks Commission (LC)	☐ Environmental Planning Commission (EPC)					

¹ Attach additional information, as needed to explain the project/request.

[Note:	Items with an asterisk (*) are required.]						
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Current Land Use(s) [vacant, if none] Office and warehousing				

Useful Links

Integrated Development Ordinance (IDO):

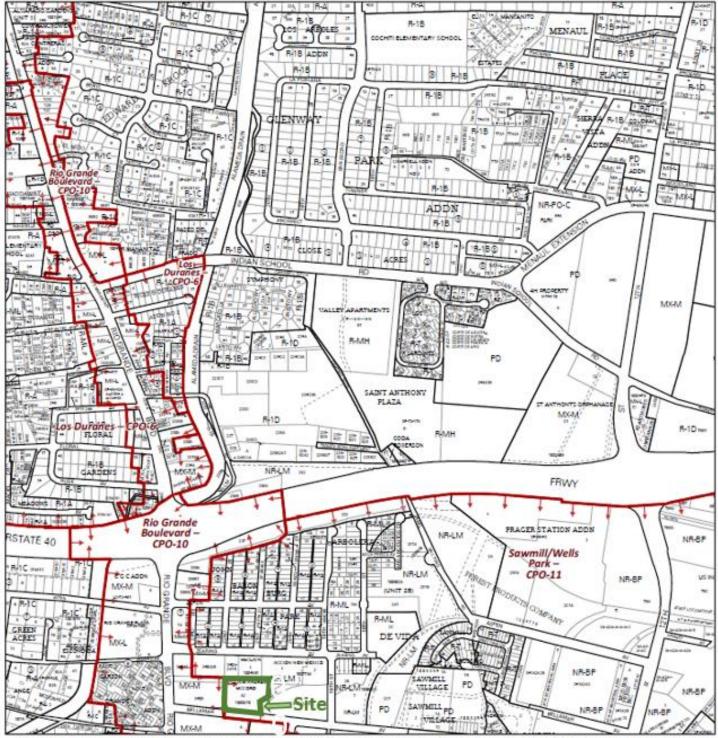
https://ido.abc-zone.com/

[Note: Items with an asterisk (*) are required.]

IDO Interactive Map

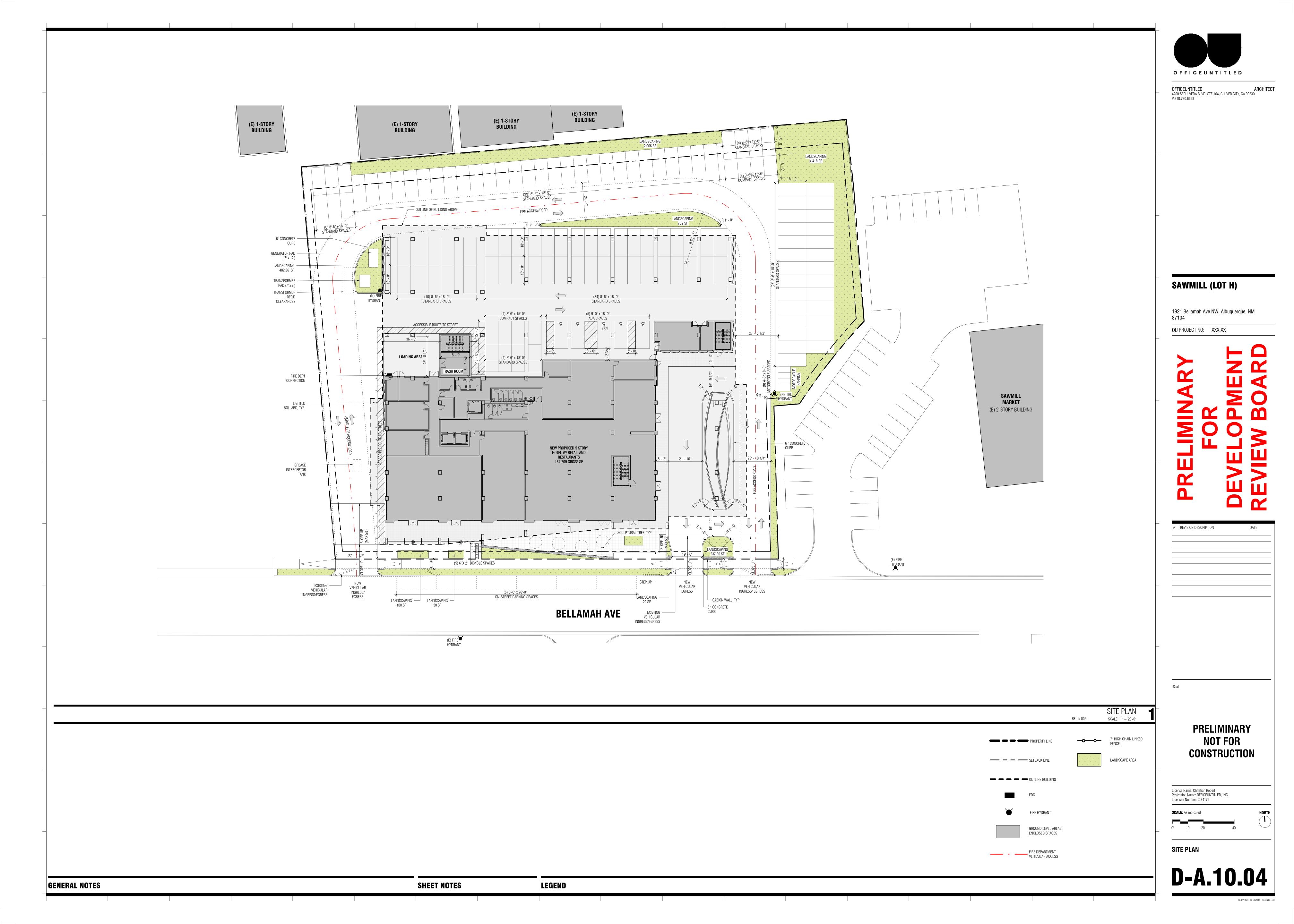
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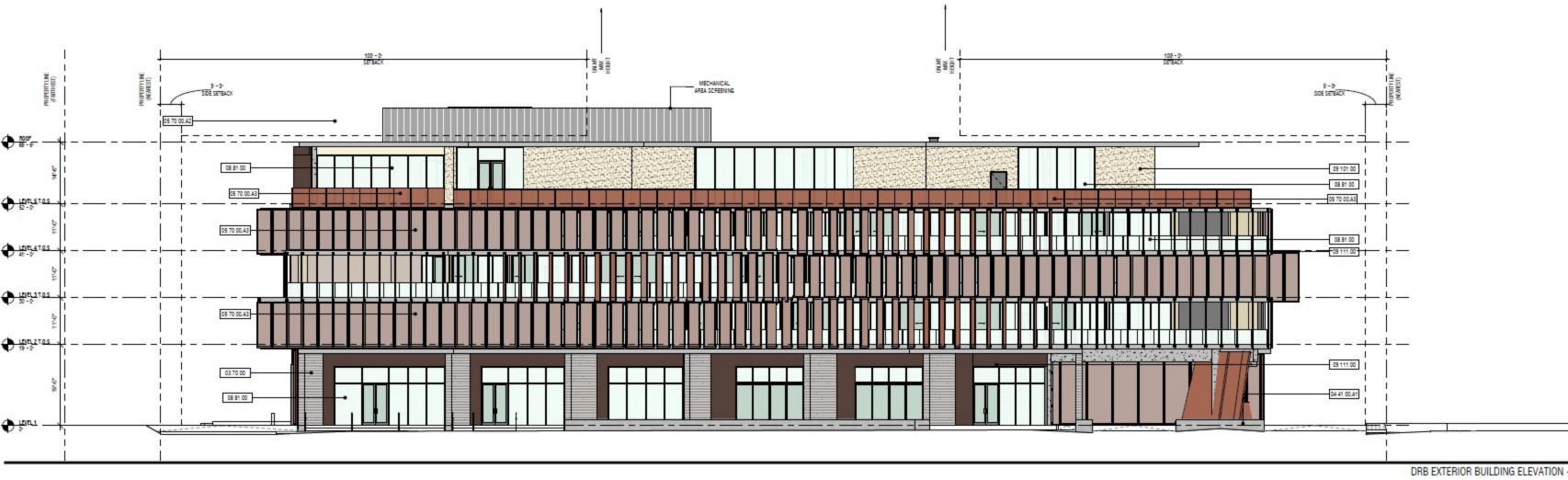




For more details about the Integrated Development Ordinance visit: http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance







SITE PLAN CHECKLIST

Project #:	1921 Bellamah Ave NW	Application #:	
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This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN

A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

11/3/2022

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

- **1. Site Plan (**including utilities and easements)
- 2. Landscaping Plan
- 3. Grading and Drainage Plan
- 4. Utility Plan
- 5. Building and Structure Elevations
- 6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

 \underline{X} 1. Date of drawing and/or last revision

2. Scale: 1.0 acre or less 1" = 10' 1.0 - 5.0 acres 1" = 20' Over 5 acres 1" = 50'

Over 20 acres 1" = 100'

- Bar scale <u>X</u> 3.
- X_4. North arrow
- X 5. X 6. Legend
- Scaled vicinity map
- X_7. Property lines (clearly identify)
- X 8. Existing and proposed easements (identify each)
- N/A 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- X A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- <u>X</u>B. Square footage of each structure
- X C. Proposed use of each structure
- X D. Signs (freestanding) and other improvements
- X E. Walls, fences, and screening: indicate height, length, color and materials
- X_F . Dimensions of all principal site elements or typical dimensions
- <u>X</u> G. Loading facilities
- <u>X</u>H. Site lighting (indicate height & fixture type)
- Χ І. Indicate structures within 20 feet of site
- X_{J} . Elevation drawing of refuse container and enclosure, if applicable.
- XK. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- <u>X</u> A. Parking layout with spaces numbered per aisle and totaled.
 - Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA X 1. accessible spaces, and compact spaces
 - <u>X</u> 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - _X__3. On street parking spaces
- <u>X</u> B. Bicycle parking & facilities
 - X ₁. Bicycle racks – location and detail
 - N/A 2. Other bicycle facilities, if applicable
- <u>X</u> c. Vehicular Circulation (Refer to DPM and IDO)
 - <u>X</u> 1. Ingress and egress locations, including width and curve radii dimensions
 - Χ 2. Drive aisle locations, including width and curve radii dimensions
 - <u>N/A</u> 3. End aisle locations, including width and curve radii dimensions
 - <u>X</u> 4. Location & orientation of refuse enclosure, with dimensions
 - Loading, service area, and refuse service locations and dimensions
- <u>X</u> D. **Pedestrian Circulation**
 - X 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

- N/A 2. Location and dimension of drive aisle crossings, including paving treatment
- \underline{X} 3. Location and description of amenities, including patios, benches, tables, etc.
- X_E. Off-Street Loading
 - \underline{X} 1. Location and dimensions of all off-street loading areas
- N/A F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - N/A 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - N/A 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - N/A 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- X A. Locate and identify adjacent public and private streets and alleys.
 - X 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - <u>X</u> 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - N/A 3. Location of traffic signs and signals related to the functioning of the proposal
 - N/A 4. Identify existing and proposed medians and median cuts
 - X 5. Sidewalk widths and locations, existing and proposed
 - N/A 6. Location of street lights
 - X 7. Show and dimension clear sight triangle at each site access point
 - X 8. Show location of all existing driveways fronting and near the subject site.
- \underline{X} B . Identify Alternate transportation facilities within site or adjacent to site
 - N/A 1. Bikeways and bike-related facilities
 - X 2. Pedestrian trails and linkages
 - <u>N/A</u> 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

N/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- X 1. Scale must be same as scale on sheet #1 Site plan
- X 2. Bar Scale
- X 3. North Arrow
- _X 4. Property Lines
- X 5 Existing and proposed easements
- X 6. Identify nature of ground cover materials
 - X A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - X B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - X C. Ponding areas either for drainage or landscaping/recreational use

<u>X</u>	7.	Identify type, location and size of plantings (common and/or botanical names).
		 A. Existing, indicating whether it is to preserved or removed. B. Proposed, to be established for general landscaping. C. Proposed, to be established for screening/buffering.
_X	8.	Describe irrigation system – Phase I & II
X	9.	Planting Beds, indicating square footage of each bed
<u>X</u>	10.	Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
_X	11.	Responsibility for Maintenance (statement)
X	12.	Landscaped area requirement; square footage and percent (specify clearly on plan)
<u>X</u>	13.	Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
<u>X</u>	14.	Planting or tree well detail
<u>X</u>	15.	Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
<u>X</u>	16.	Parking lot edges and interior – calculations, dimensions and locations including tree requirements
X	17.	Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 -GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form). SEE APPROVALS IN APPENDIX SHEETS

A. General Information

Χ	1 Scale -	must be san	ne as Sheet #	ta - Site Plan
/\	T. Julie	IIIUSL DC SAI		

- X 2. Bar Scale
- X 3. North Arrow
- _X 4. Property Lines
- X 5. Existing and proposed easements
- X 6. Building footprints
- N/A 7. Location of Retaining walls

B. Grading Information

- <u>X</u> 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- Y 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- X 3. Identify ponding areas, erosion and sediment control facilities.
- N/A 4. Cross Sections

Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4- UTILITY PLAN

- X A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- _X_ B. Distribution lines
- X C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- X D. Existing water, sewer, storm drainage facilities (public and/or private).
- X E. Proposed water, sewer, storm drainage facilities (public and/or private)

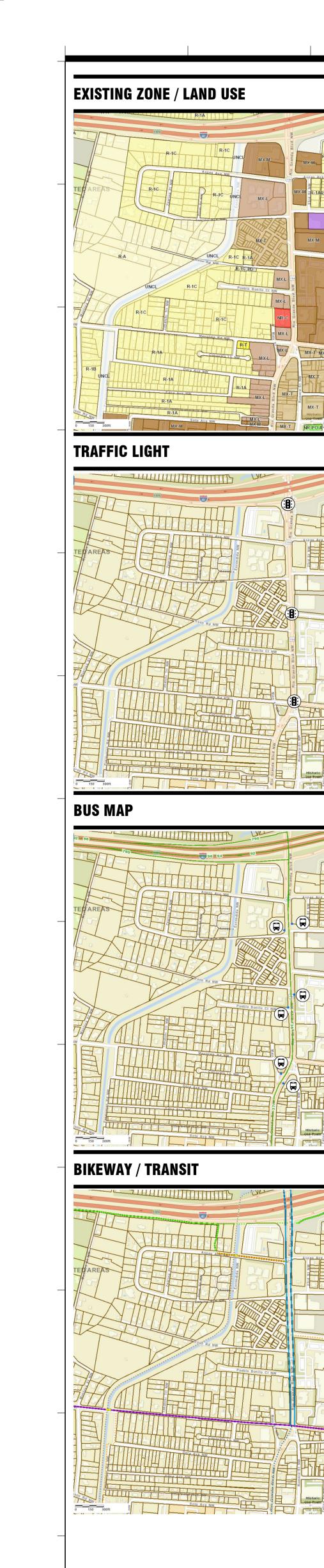
SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

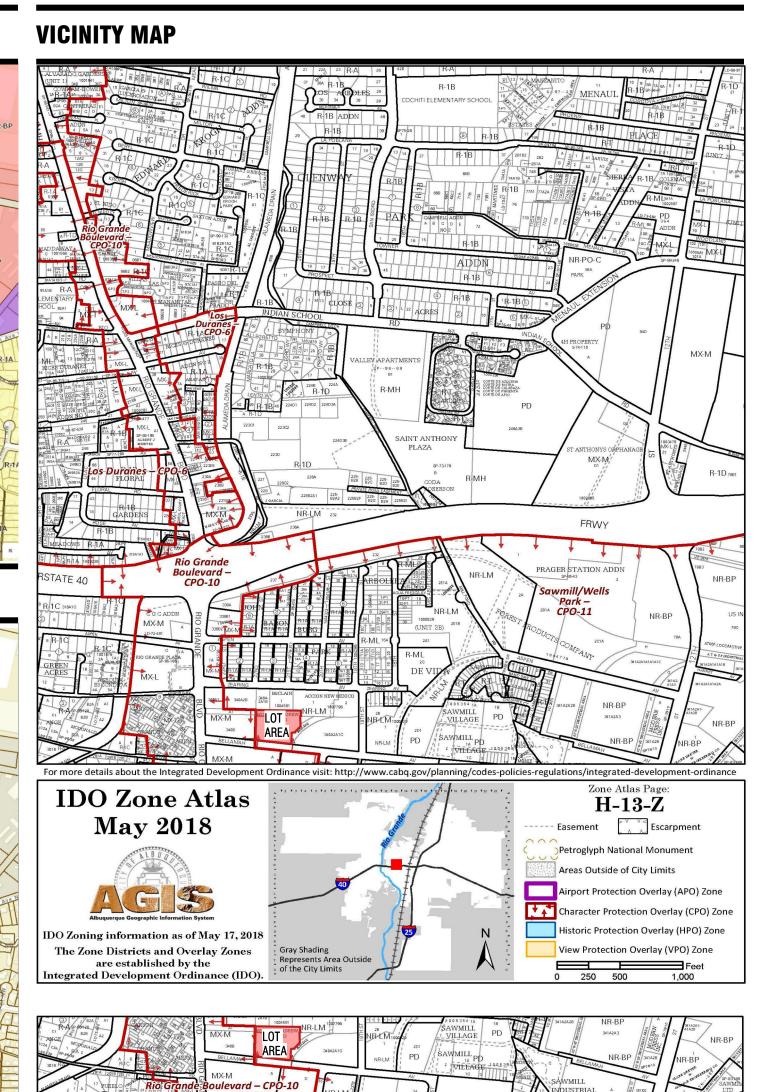
A. General Information

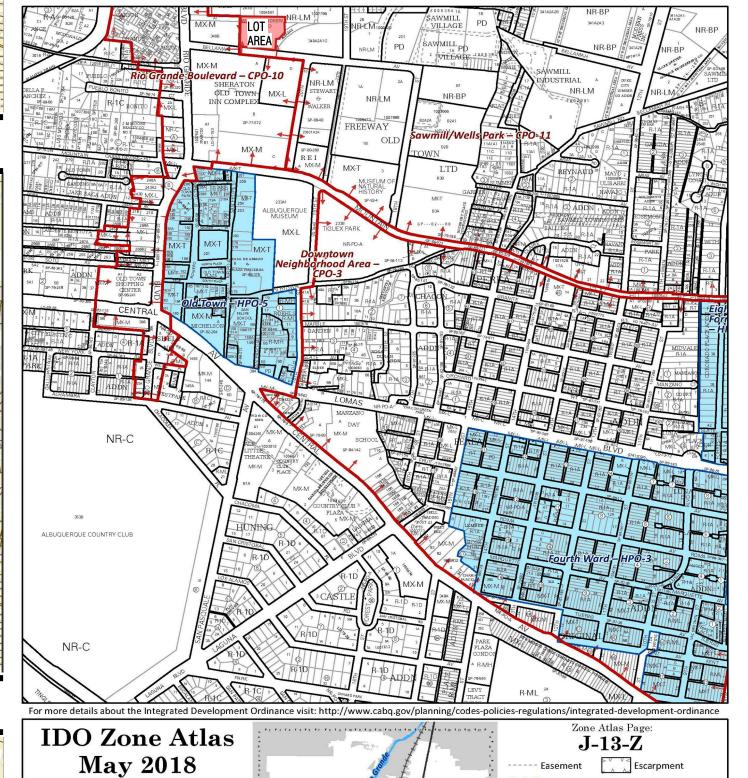
- X A. Scale
- X B. Bar Scale
- X C. Detailed Building Elevations for each facade
 - X 1. Identify facade orientation
 - X 2. Dimensions of facade elements, including overall height and width
 - X 3. Location, material and colors of windows, doors and framing
 - X 4. Materials and colors of all building elements and structures
 - X 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- X 1. Site location(s)
- X 2. Sign elevations to scale
- X 3. Dimensions, including height and width
- X 4. Sign face area dimensions and square footage clearly indicated
- X 5. Lighting
- X 6. Materials and colors for sign face and structural elements.
- X_7 . List the sign restrictions per the IDO







The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Gray Shading
Represents Area Outside
of the City Limits

Petroglyph National Monument

Airport Protection Overlay (APO) Zone Character Protection Overlay (CPO) Zone Historic Protection Overlay (HPO) Zone

View Protection Overlay (VPO) Zone

Areas Outside of City Limits



SAWMILL (LOT H) 1921 Bellamah Ave NW, Albuquerque, NM 87104

	PROJECT INFO						
PROJECT ADDRESS	1921 BELLAMAH AVE NW, ALBURQUERQUE, NM 87104						
LEGAL DESCRIPTION	TR A-2 PLAT OF TRACTS A-1, A-2 AND A-3 LANDS OF WILLIAMANDREW MCCORD	TR A-2 PLAT OF TRACTS A-1, A-2 AND A-3 LANDS OF WILLIAMANDREW MCCORD CONT 2.0290 AC					
JPC	101305817952322307						
ZONE ATLAS PAGE	H13, J13						
CURRENT IDO ZONING	NR-LM (LIGHT MANUFACTURING)						
NEW IDO ZONING	MX-H (MIXED USE HIGH INTENSITY)						
OT AREA	2.029 ACRES / 88,383 S.F.						
OWNERSHIP TYPE	PRIVATE						
PROPOSED BUILDING AREA	134,709 GSF (BC), 120,709 GSF(ID0)						
	SETBACKS						
FRONT	5 ⁻ MINIMUM						
SIDE	5' MINIMUM (STREET SIDE), 0' (INTERIOR)						
REAR	15' MINIMUM						
*IDO TABLE 2-4-7							
	ALLOWABLE HEIGHT						
BUILDING HEIGHT	MAXIMUM HEIGHT 68'-0"	PROPOSED HEIGHT 67'-0"					
סטובטוועם חבוטח ו	UNLIMITED	67'-0"					

ISSUE FOR:

DEVELOPMENT REVIEW BOARD SUBMITTAL

PROJECT TEAM

SAWMILL BELLAMAH PROPERTIES, LCC. 201 THIRD STREET NW, SUITE 1150 ALBUQUERQUE, NM 87102 ARCHITECT: OU DESIGN + ARCHITECTURE, INC. 4200 SEPULVEDA BOULEVARD, SUITE 104 CULVER CITY, CA 90230 10.730.6698 STRUCTURAL ENGINEER: KURT FISCHER STRUCTURAL ENGINEERING 17547 VENTURA BLVD. SUITE 302 ENCINO, CA, 91316 818.874.1445 MEP ENGINEER: 2901 CLINT MOORE ROAD #114 BOCA RATON, FL 33496 888.901.8008 CIVIL ENGINEER: TIERRA WEST 5771 MIDWAY PARK PL NE ALBUQUERQUE, NM 87109 505.858.3100 LANDSCAPE ARCHITECT: 1102 MOUNTAIN ROAD NW, STE 201 ALBUQUERQUE, NM 87102

PROJECT SUMMARY

505.268.2266

THE PROPOSED PROJECT INVOLVES THE REMOVAL OF THE EXISTING BUILDING AND RELATED STRUCTURES ON SITE FOR THE CONSTRUCTION OF A NEW 5-STORY HOSPITALITY PROJECT AT 1921 BELLAMAH AVE IN ALBUQUERQUE. THE NEW BUILDING INCLUDES 115 GUEST ROOMS, LEASEABLE COMMERCIAL RETAIL SPACE, FUTURE GROUND FLOOR RESTAURANT WITH OPEN KITCHEN LAYOUT, MEETING ROOM, AND A ROOFTOP BAR/LOUNGE WITH OUTDOOR TERRACE.



OFFICEUNTITLED AR 4200 SEPULVEDA BLVD, STE 104, CULVER CITY, CA 90230 P.310.730.6698

SAWMILL (LOT H)

OU PROJECT NO: 21.002.000

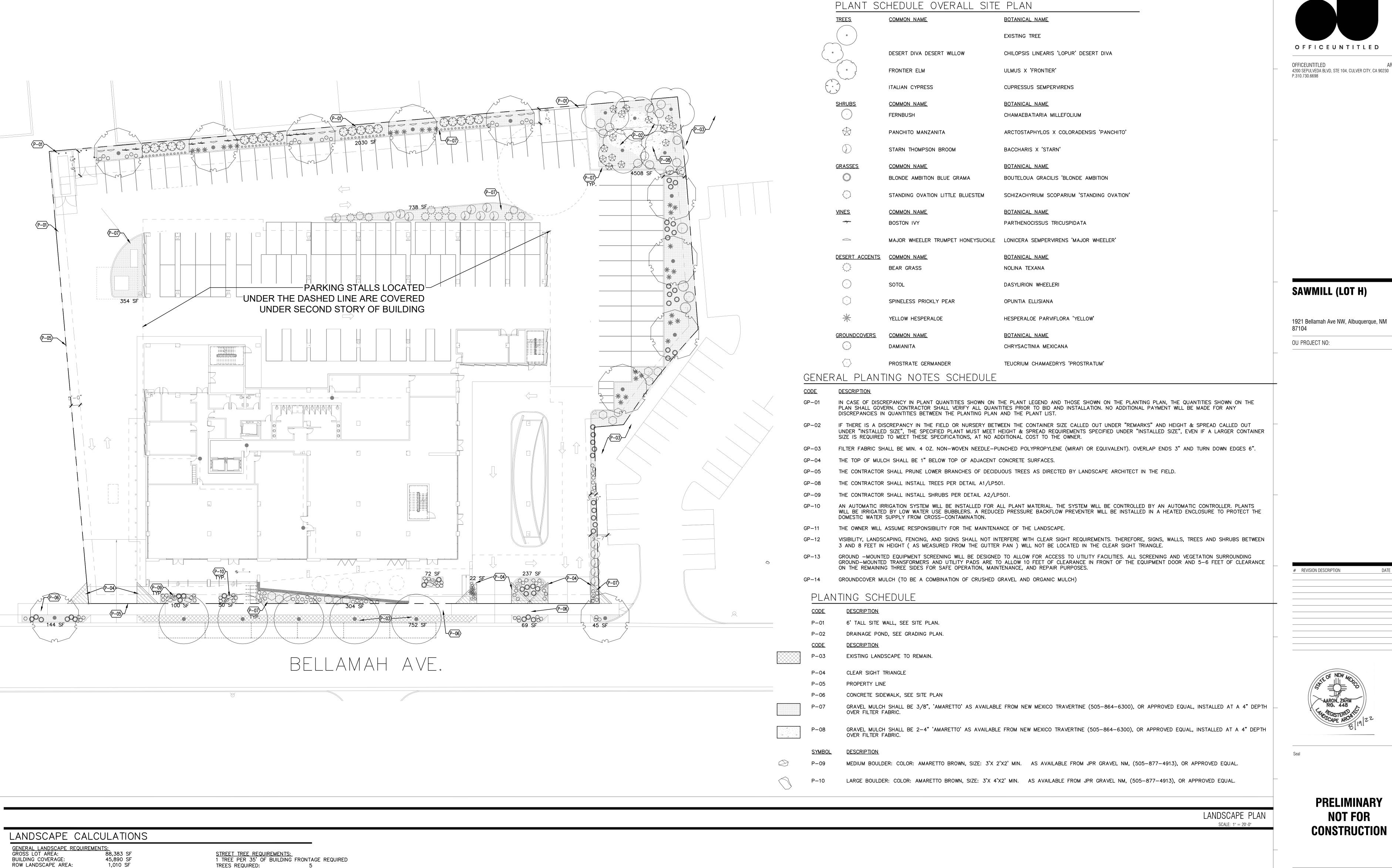
1921 Bellamah Ave NW, Albuquerque, NM

REVISION DESCRIPTION

License Name: Christian Robert Profession Name: OFFICEUNTITLED, INC. Licensee Number: 005312

COVER SHEET

D-A.00.00



PRELIMINARY CONSTRUCTION

> License Name: Christian Robert Profession Name: OFFICEUNTITLED, INC. Licensee Number: C 34175

NOT FOR

SCALE: As indicated

LANDSCAPE PLAN

GENERAL NOTES

NET LOT AREA:

LANDSCAPE PROVIDED:

PROVIDED LANDSCAPE AREA):

41,772 SF

REQUIRED VEGETATIVE COVERAGE (75% OF THE LANDSCAPE AREA):

REQUIRED GROUND LEVEL VEGETATIVE COVERAGE (25% OF THE

REQUIRED LANDSCAPE IS 15% OF NET LOT AREA

LANDSCAPE AREA REQUIRED (15%): 6,262 SF

VEGETATIVE COVER REQUIRED: 4,696 SF VEGETATIVE COVER PROVIDED: 24,644 SF

VEGETATIVE GROUNDCOVER REQUIRED: 1,565 SF VEGETATIVE GROUNDCOVER PROVIDED: 6,962 SF TREES PROVIDED:

LANDSCAPE AREA REQUIRED:

REQUIRED PARKING LOT TREES: (1 TREE PER 10 STALLS)

TREES REQUIRED: 12

TREES PROVIDED: 14

LANDSCAPE AREA PROVIDED:

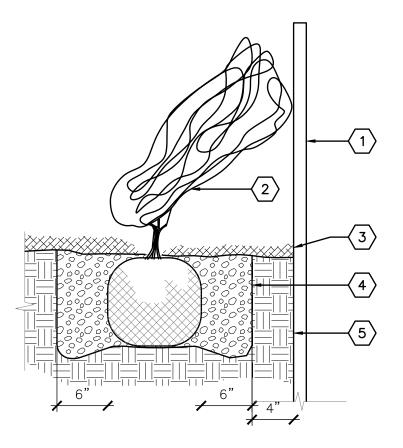
7 (5 EXISTING AND 2 NEW)

PARKING LOT LANDSCAPE:
*NO PARKING SPACE SHALL BE FURTHER THAN 100' FROM A TREE.

3,689 SF 7,354 SF

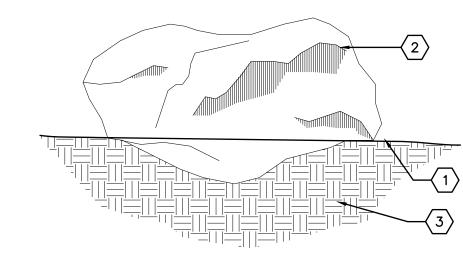
15% OF PARKING LOT AREA SHALL BE LANDSCAPED:

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- VERTICAL STRUCTURE SEE PLANS.
 VINE SEE PLANTING PLANS.
- 3. 4"-DEPTH MULCH THROUGHOUT SHRUB BED UNLESS OTHERWISE NOTED ON PLANS.
- 4. BACKFILL AND SOIL AMENDMENTS SEE
- SPECIFICATIONS. 5. SUBGRADE COMPACTED TO 95%.



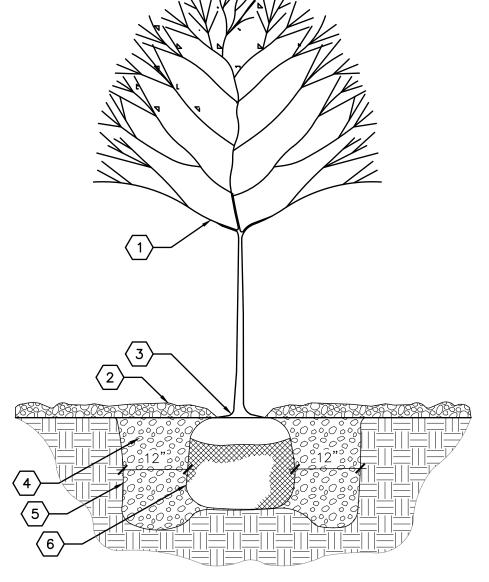


FINISH GRADE (MATERIAL VARIES) — BOULDER SHALL BE BURIED TO MIN 8"
DEPTH BELOW FINISH GRADE.
 BOULDER, SEE PLANS.
 SUBGRADE COMPACTED TO 95%.

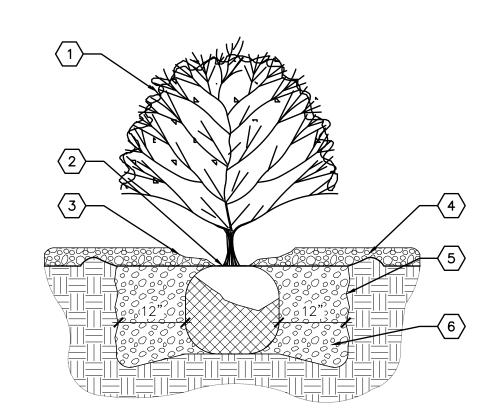
ACCENT BOULDER

NOT TO SCALE





- 1. TREE LOCATION AND SPECIES PER PLAN.
- 2. GRAVEL MULCH. MULCH SHALL BE FEATHERED TO A 2" DEPTH ON TOP OF ROOT BALL AND SHALL BE HELD BACK 2" FROM TREE TRUNK.
- 3. REMOVE EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUB-GRADE (BOTTOM OF MULCH).
- 4. BACKFILL AND SOIL AMENDMENTS (SEE SPECIFICATIONS). THOROUGHLY MIX BACKFILL AND AMENDMENTS PRIOR TO INSTALLATION.
- 5. SCARIFY EDGE OF PLANTING HOLE, CONTINUOUS ALL SIDES. 6. REMOVE WIRE BASKET, WOOD BOX, PLASTIC TWINE, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BURLAP EXCEPT FROM BOTTOM OF ROOT BALL.
- A1 INLL NOT TO SCALE TREE PLANTING



- SHRUB LOCATION AND SPECIES AS PER PLAN.
 PLANT AT SAME DEPTH MAINTAINED AT NURSERY.
 FEATHER MULCH TO A 2" DEPTH ON TOP OF ROOT BALL AND HOLD BACK 2" FROM SHRUB STEM(S).
 GRAVEL MULCH.
 SCARIFY EDGE OF PLANTING HOLE, CONTINUOUS ALL SIDES.
 BACKFILL AND SOIL AMENDMENTS (SEE SPECIFICATIONS).
- SHRUB PLANTING

 NOT TO SCALE

PLANT SC	HED	ULE						
TREES	QTY	COMMON NAME	BOTANICAL NAME	<u>REMARKS</u>	HT.	SPD.	WATER USE	DECIDUOUS/ EVERGREEN
•	5		EXISTING TREE	EXISTING			LOW	DECIDUOUS
	5	DESERT DIVA DESERT WILLOW	CHILOPSIS LINEARIS 'LOPUR' DESERT DIVA	36" BOX	30 ʻ	30'	LOW	DECIDUOUS
	11	FRONTIER ELM	ULMUS X 'FRONTIER'	2" CAL.	30 ʻ	30'	LOW	DECIDUOUS
	20	ITALIAN CYPRESS	CUPRESSUS SEMPERVIRENS	8' HT.	20'	5'	MEDIUM	EVERGREEN
<u>SHRUBS</u>	QTY	COMMON NAME	BOTANICAL NAME	REMARKS	HT.	SPD.		
£	4	FERNBUSH	CHAMAEBATIARIA MILLEFOLIUM	5 GAL.	6'	6'	LOW	DECIDUOUS
	14	PANCHITO MANZANITA	ARCTOSTAPHYLOS X COLORADENSIS 'PANCHITO'	3 GAL.	2'	5'	LOW	EVERGREEN
	14	STARN THOMPSON BROOM	BACCHARIS X 'STARN'	5 GAL.	4'	5'	LOW	EVERGREEN
<u>GRASSES</u>	QTY	COMMON NAME	BOTANICAL NAME	REMARKS	HT.	SPD.		
Manufacture of the state of the	44	BLONDE AMBITION BLUE GRAMA	BOUTELOUA GRACILIS 'BLONDE AMBITION	3 GAL.	3'	3'	LOW	DECIDUOUS
\bigcirc	52	STANDING OVATION LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION'	1 GAL.	4'	1'	LOW	DECIDUOUS
<u>VINES</u>	QTY	COMMON NAME	BOTANICAL NAME	REMARKS	HT.	SPD.		
- salestares	9	BOSTON IVY	PARTHENOCISSUS TRICUSPIDATA	1 GAL.	15'	15'	MEDIUM	DECIDUOUS
1888	5	ENGLISH IVY	HEDERA HELIX	1 GAL.	15'	15 ʻ	MEDIUM	EVERGREEN
	16	MAJOR WHEELER TRUMPET HONEYSUCKLE	LONICERA SEMPERVIRENS 'MAJOR WHEELER'	5 GAL.	10'	10'	LOW	DECIDUOUS
DESERT ACCENTS	QTY	COMMON NAME	BOTANICAL NAME	REMARKS	HT.	SPD.		
	11	BEAR GRASS	NOLINA TEXANA	5 GAL.	4'	5'	LOW	EVERGREEN
\odot	13	SOTOL	DASYLIRION WHEELERI	5 GAL.	6'	5'	LOW	EVERGREEN
	12	SPINELESS PRICKLY PEAR	OPUNTIA ELLISIANA	5 GAL.	4'	6'	LOW	EVERGREEN
ZWZ	52	TWISTLEAF YUCCA	YUCCA RUPICOLA	3 GAL.	2'	3*	LOW	EVERGREEN
*	32	YELLOW HESPERALOE	HESPERALOE PARVIFLORA 'YELLOW'	3 GAL.	4'	4'	LOW	EVERGREEN
<u>GROUNDCOVERS</u>	QTY	COMMON NAME	BOTANICAL NAME	REMARKS	HT.	SPD.		
Exercise State of the state of	196	DAMIANITA	CHRYSACTINIA MEXICANA	1 GAL.	2'	2'	LOW	EVERGREEN
0	12	PROSTRATE GERMANDER	TEUCRIUM CHAMAEDRYS 'PROSTRATUM'	1 GAL.	6"	1'-6"	LOW	EVERGREEN



OFFICEUNTITLED ARCHITECT 4200 SEPULVEDA BLVD, STE 104, CULVER CITY, CA 90230 P.310.730.6698

SAWMILL (LOT H)

1921 Bellamah Ave NW, Albuquerque, NM

OU PROJECT NO:

PRELIMINARY NOT FOR

CONSTRUCTION

License Name: Christian Robert Profession Name: OFFICEUNTITLED, INC. Licensee Number: C 34175

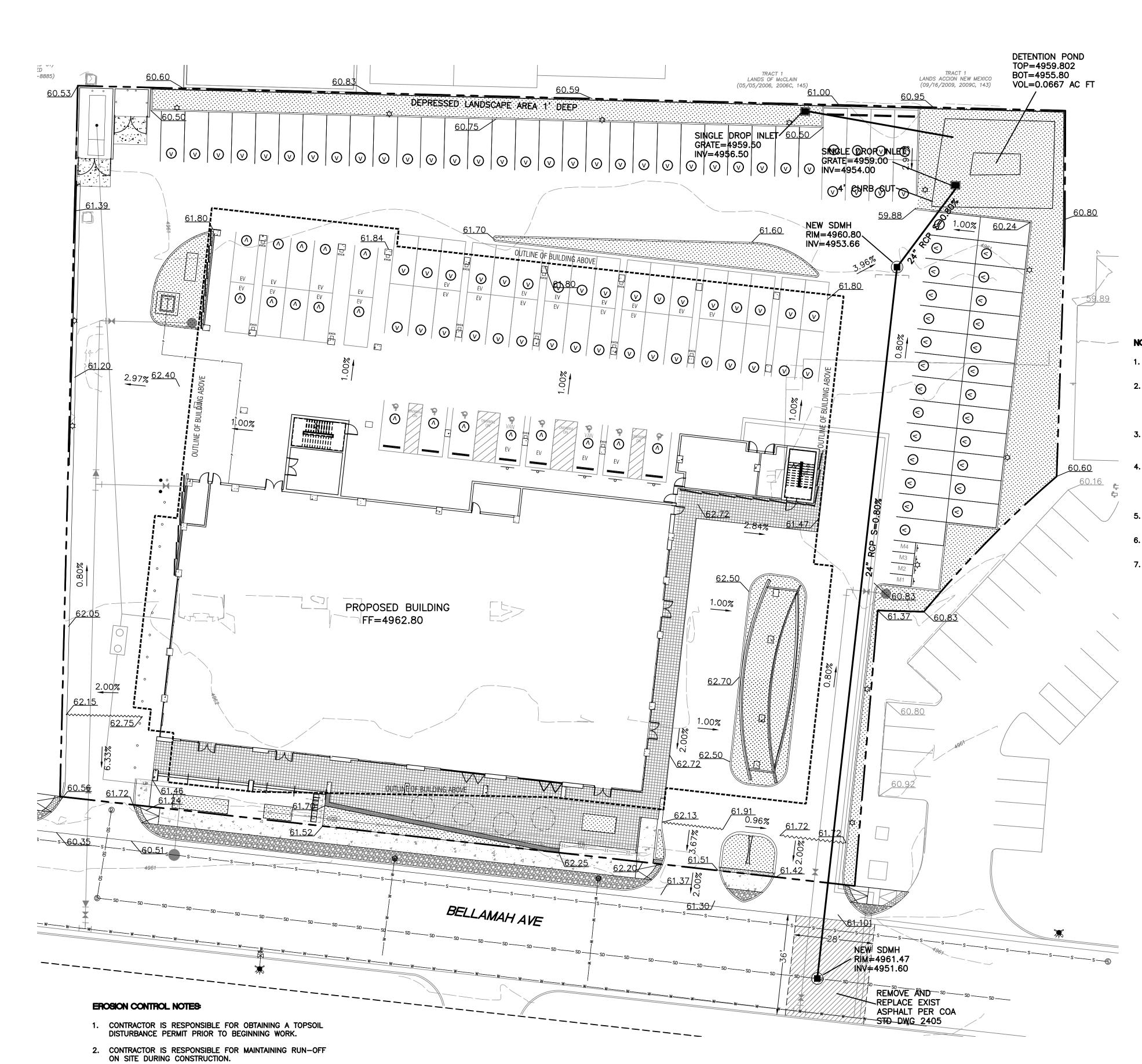
SCALE: As indicated

DETAILS AND PLANTING SCHEDULE

PLANTING DETAILS AND SCHEDULE

GENERAL NOTES

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3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT

4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT

FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM

ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC

WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE

BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL

6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL

THAT GETS INTO EXISTING RIGHT-OF-WAY.

OF ANY PROJECT.

LEGEND CURB & GUTTER BOUNDARY LINE ---- RIGHT-OF-WAY BUILDING PROPOSED SIDEWALK ======= EXISTING CURB & GUTTER LANDSCAPING EXISTING INDEX CONTOUR EXISTING CONTOUR EXISTING STORM SEWER **EXISTING SANITARY SEWER** PROPOSED DROP INLET

PROPOSED SDMH

VICINITY MAP

AREA WITH REDUCED FLOOD RISK DUE TO LEVEE

NOTICE TO CONTRACTORS

- 1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET
- 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR

EXISTING DRAINAGE:

THIS SITE IS CURRENTLY A WAREHOUSE WITH PAVED PARKING IN FRONT AND GRAVEL PARKING IN THE BACK. THE SITE IS BOUNDED BY COMMERCIAL BUILDINGS TO THE WEST, NORTH AND EAST AND BELLAMAH AVENUE TO THE SOUTH CONTAINING APPROXIMATELY 2.03 ACRES. THE SITE IS DIVIDED INTO 5 BASINS WITH BASIN A DISCHARGING 0.98 CFS TO BELLAMAH AVENUE. BASIN B DRAINS TO A STORM SEWER INLET THAT DRAINS TO THE EXISTING STORM SEWER IN BELLAMAH AVENUE. BASINS C, D AND E DRAIN TO THE GRAVEL PARKING AREA WHERE INFILTRATES THE GROUND AND EVAPORATES. THERE ARE NO OFFSITE FLOWS THAT ENTER THE SITE. THE SITE IS LOCATED ON FIRM MAP 35001C0331H AS SHOWN ABOVE. THE MAP SHOWS THAT THE SITE DOES NOT LIE WITHIN ANY 100 YEAR FLOOD PLAIN. THE SITE GENERATES A TOTAL OF 8.13 CFS WITH A 100YR, 6-HR VOLUME OF 0.337

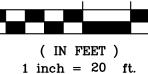
PROPOSED DRAINAGE:

THE SITE IS NOW DIVIDED INTO TWO BASINS. BASIN 1 WILL DRAIN TO THE NORTH INTO A BIOSWALE AND A DETENTION POND OVER THE SURFACE. THE BIOSWALE WILL DRAIN TO THE POND SO THE WATER QUALITY VOLUME IS CAPTURED AND RETAINED. THE POND WILL DRAIN VIA A DROP INLET TO A STORM SEWER THAT WILL CONNECT TO THE STORM SEWER IN BELLAMAH. BASIN 2 IS THE FRONT PART OF THE BUILDING AND HARDSCAPE ALONG THE STREET. THIS BASIN WILL DISCHARGE 0.94 CFS TO BELLEMAH WHICH IS 0.04 CFS LESS THAN WAS WAS PREVIOUSLY DRAINED TO THE STREET. FROM THERE THE RUNOFF IS CAPTURED IN EXISTING DROP INLETS ALONG BELLAMAH AVE.

THE POND IN BASIN 2 WILL RETAIN THE DEVELOPED RUNOFF OF 0.036 AC-FT WHICH IS LESS THAN THE REQUIRED WATER QUALITY VOLUME OF 0.40 AC-FT. THE POND WILL DRAIN AT RATE OF 7.15 CFS. THEREFORE THE TOTAL DISCHARGE FROM THE SITE WILL BE 8.09 CFS WHICH IS BELOW THE EXISTING DISCHARGE OF 8.13 CFS.

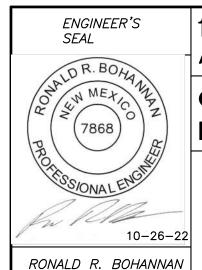


35001C0331H



CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



P.E. #7868

FLOOD MAP

1921 BELLAMAH AVE NW ALBUQUERQUE, NM **CONCEPTUAL GRADING** PLAN

TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100

www.tierrawestllc.com

JOB # 2022047

DRAWN BY

pm

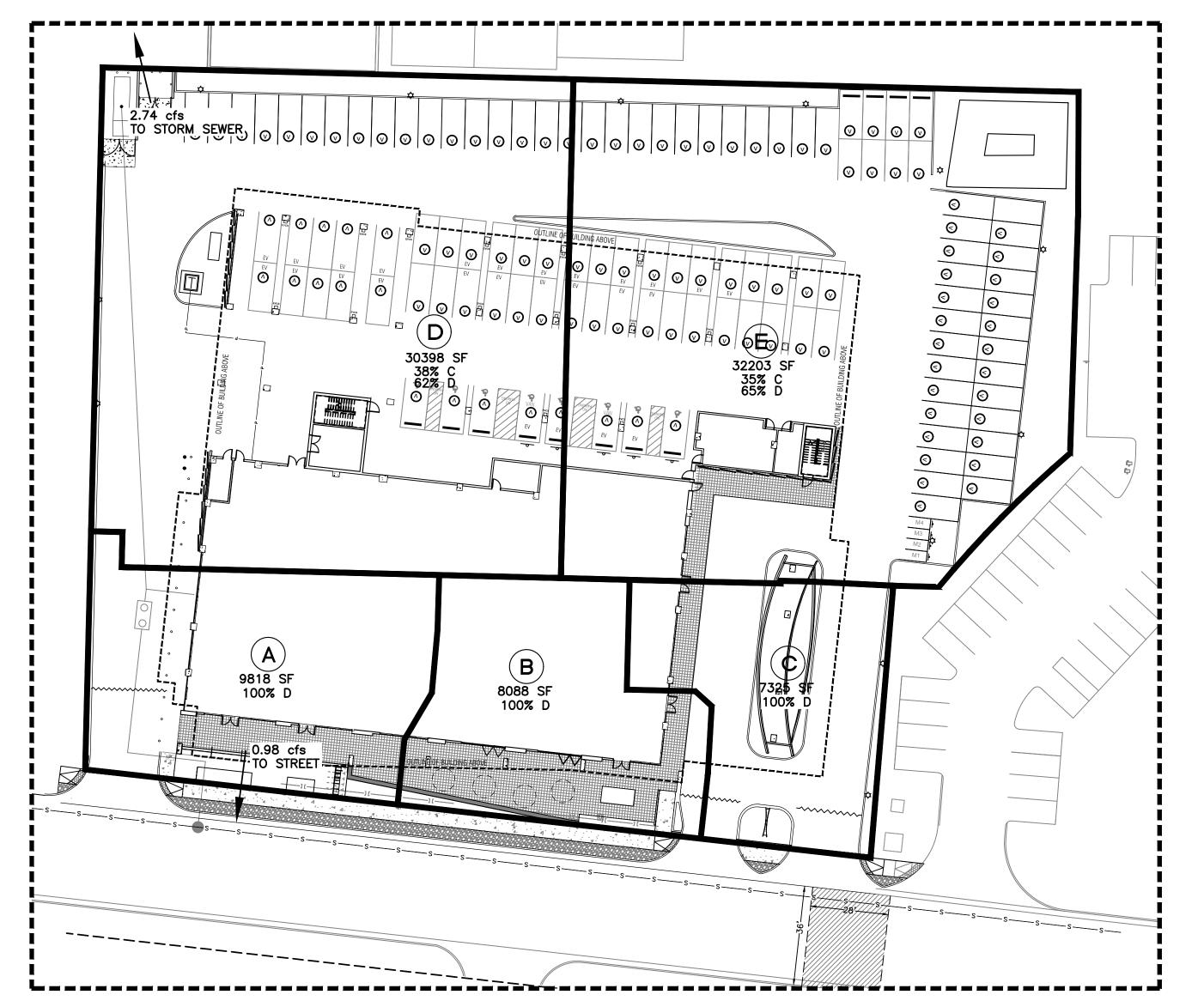
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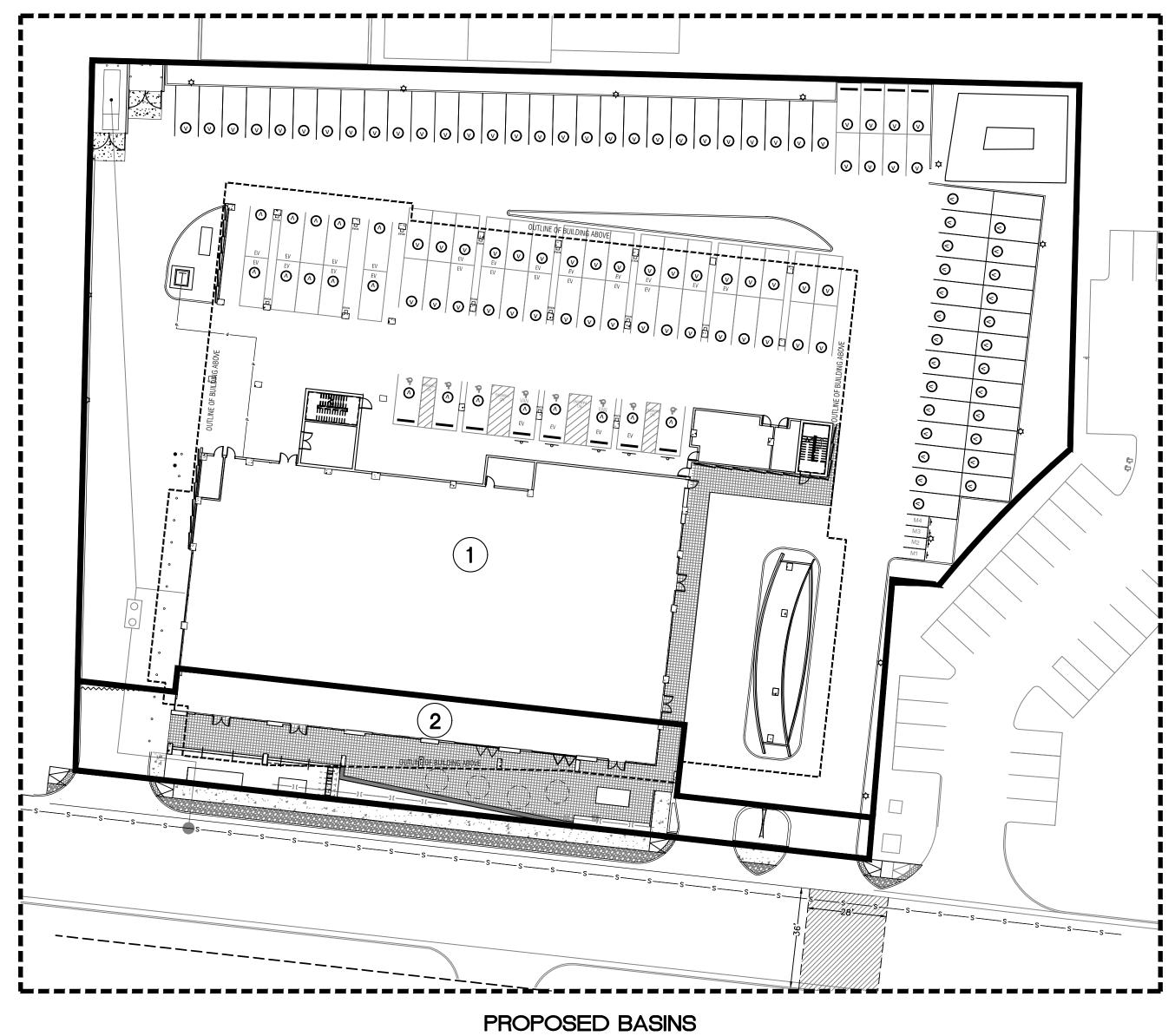
10-26-22

DRAWING

SHEET #

GR-1

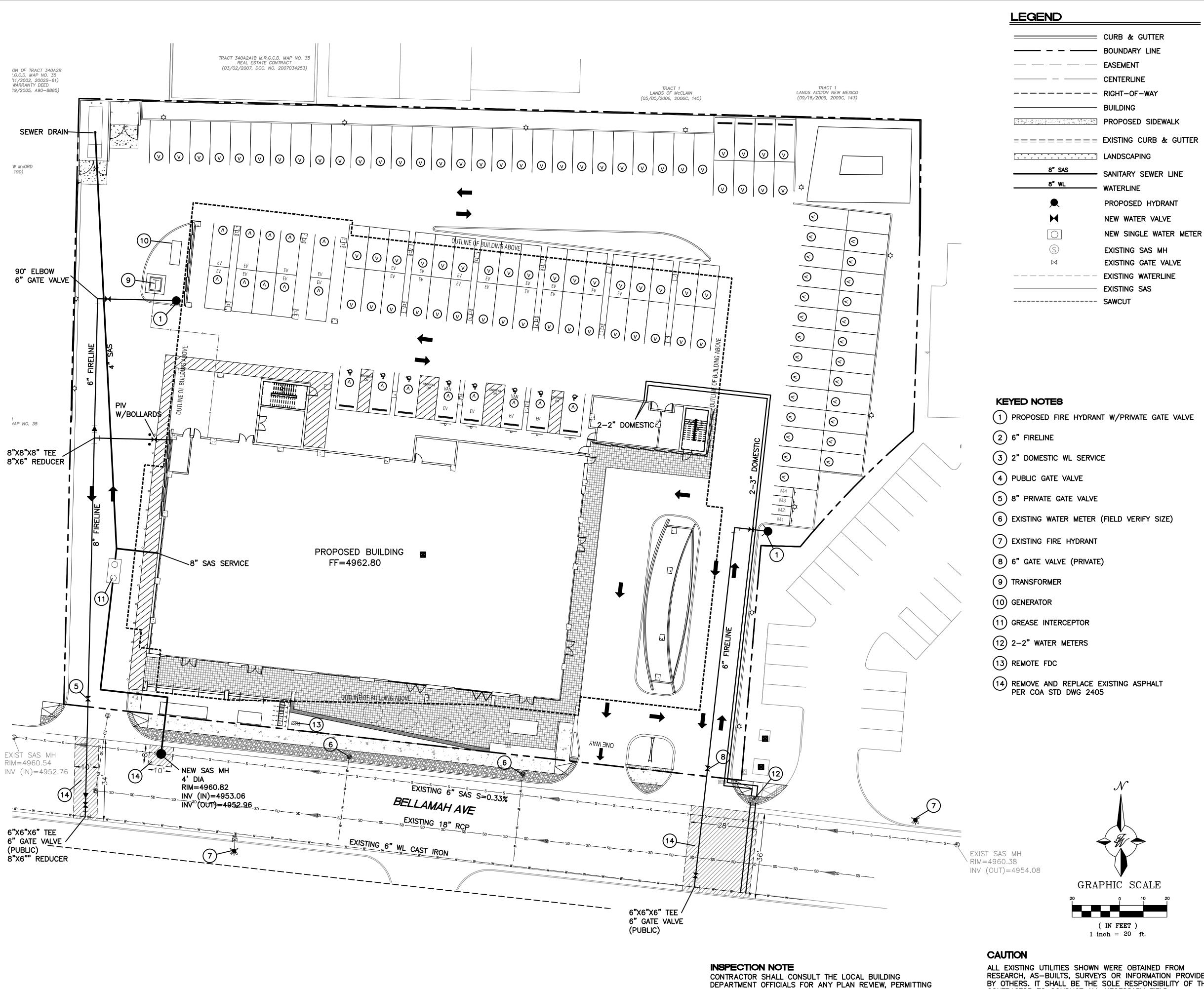


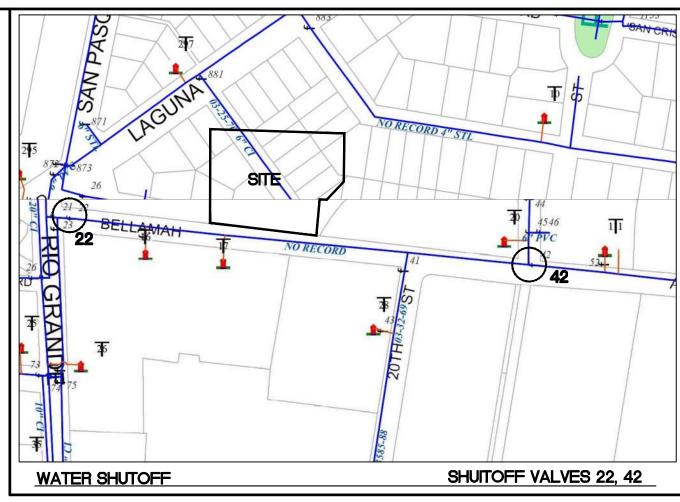


EXISTING BASINS

						Weig	hted E	Metho	d							
Existing	Basins															
												100-Year			10-Year	
Basin	Area	Area	Treat	tment A	Trea	tment B	Treat	ment C	Trea	tment D	Weighted E	Volume	Flow	Weighted E	Volume	Flow
	(sf)	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	(in)	(ac-ft)	cfs	(in)	(ac-ft)	cfs
Α	9,818	0.23	0%	0	0%	0.00	0%	0.00	100%	0.23	2.330	0.044	0.98	1.510	0.028	0.61
В	8,088	0.19	0%	0	0%	0.00	0%	0.00	100%	0.19	2.330	0.036	0.81	1.510	0.023	0.50
С	7,325	0.17	0%	0	0%	0.00	0%	0.00	100%	0.17	2.330	0.033	0.73	1.510	0.021	0.46
D	30,968	0.71	0%	0	0%	0.00	38%	0.27	62%	0.44	1.836	0.109	2.74	1.119	0.066	1.62
E	32,203	0.74	0%	0	0%	0.00	35%	0.26	65%	0.48	1.875	0.116	2.87	1.150	0.071	1.71
												0.337	8.13			
Develop	ed Basins															
												100-Year			10-Year	
Basin	Area	Area	Treat	tment A	Trea	tment B	Treat	ment C	Trea	tment D	Weighted E	Volume	Flow	Weighted E	Volume	Flow
	(sf)	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	(in)	(ac-ft)	cfs	(in)	(ac-ft)	cfs
1	78,739	1.81	0%	0	12%	0.22	0%	0.00	90%	1.63	2.193	0.330	7.57	1.395	0.210	4.61
2	9,607	0.22	0%	0	3%	0.01	0%	0.00	97%	0.21	2.284	0.042	0.94	1.474	0.027	0.59
										1.84		0.372	8.52			
										Req	uired Ponding	0.036				
Equation	ne:															
Lquuio	131					Fycass Pro	cinitation	E (inches)	1	Peak	Discharge (cf	fs/acre)				
Neighter	d E = Ea*Aa +	Fh*Ah + F	c*Ac + F	d*Ad / (Tota	I Area)	Zone 2	100-Year			Zone 2	100-Year	10 - Year				
rreigniet	a L La / la /	LU / LU	0 7 to × L	a rar (rota	ir iiou)	Ea	0.62	0.15		Q _a	1.71	0.41				
Volume =	= Weighted D	* Total Area				E _b	0.8	0.3		Q _b	2.36	0.95				
. Oldino	. reignied D	i o tai / ti o u				1/202	1.03	0.48			3.05	1.59				
1000	Control of State of		0.02.000.000			E _c		200 1000		Q _c					-	
Flow = Q	a * Aa + Qb *	Ab + Qc * A	c + Qd *	Ad		Ed	2.33	1.51		Q _d	4.34	2.71	_			
Water O	uality Calcula	ation: 0.26	" v 1 84	ac = 1 737 c	cubic fo	et (0.040 ac	_ft\									
Water Q	uality Calcula	ation: 0.26	" x 1.84	ac = 1,737 c	cubic fe	et (0.040 ac-	-ft)									

ENGINEER'S SEAL	1921 BELLAMAH AVE NW ALBUQUERQUE, NM	<i>DRAWN BY</i> pm
ALD R. BOHA	ALBOQUENQUE, NIVI	<i>DATE</i> 10–26–22
ON METICO Z	CONCEPTUAL BASIN MAP	DRAWING
(((7868)))		DIVAMING
PROFILE CONTROL OF THE PROFILE OF TH		SHEET #
OSONALEM	TIERRA WEST, LLC	GR-2
10-26-22	T 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109	
RONALD R. BOHANNAN P.E. #7868	(505) 858-3100 www.tierrawestllc.com	<i>JOB #</i> 2022047

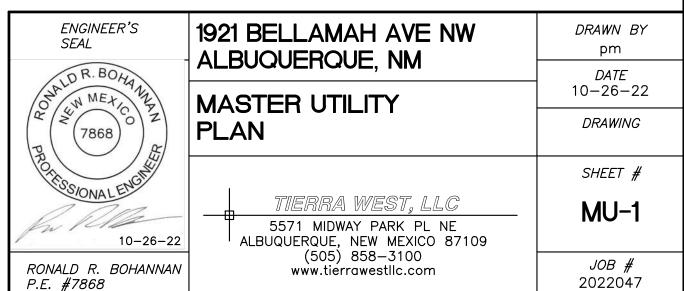




THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/.

GENERAL UTILITY NOTES:

- 1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
- 2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- 3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
- 4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- 5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- 6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
- 7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE
- 8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED—OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- 9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
- 10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
- 11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
- 12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
- 13. ALL BUILDINGS CONSTRUCTION TYPE IS II-B
- 14. THRUST BLOCKING SHALL BE INSTALLED AT ALL CHANGES OF DIRECTION AND ELEVATION, ON ALL WATERMAIN. STAINLESS STEEL RODDING SHALL BE EXTENDED ALONG THE NEXT FULL—LENGTH PIPE AND ANCHORED ON THE PIPE BELL, OR MECHANICAL FITTING, ADDITIONALLY, AT ALL LOCATIONS OF THRUST BLOCKING. MEGA—LUGS ARE NOT TO BE ALLOWED.

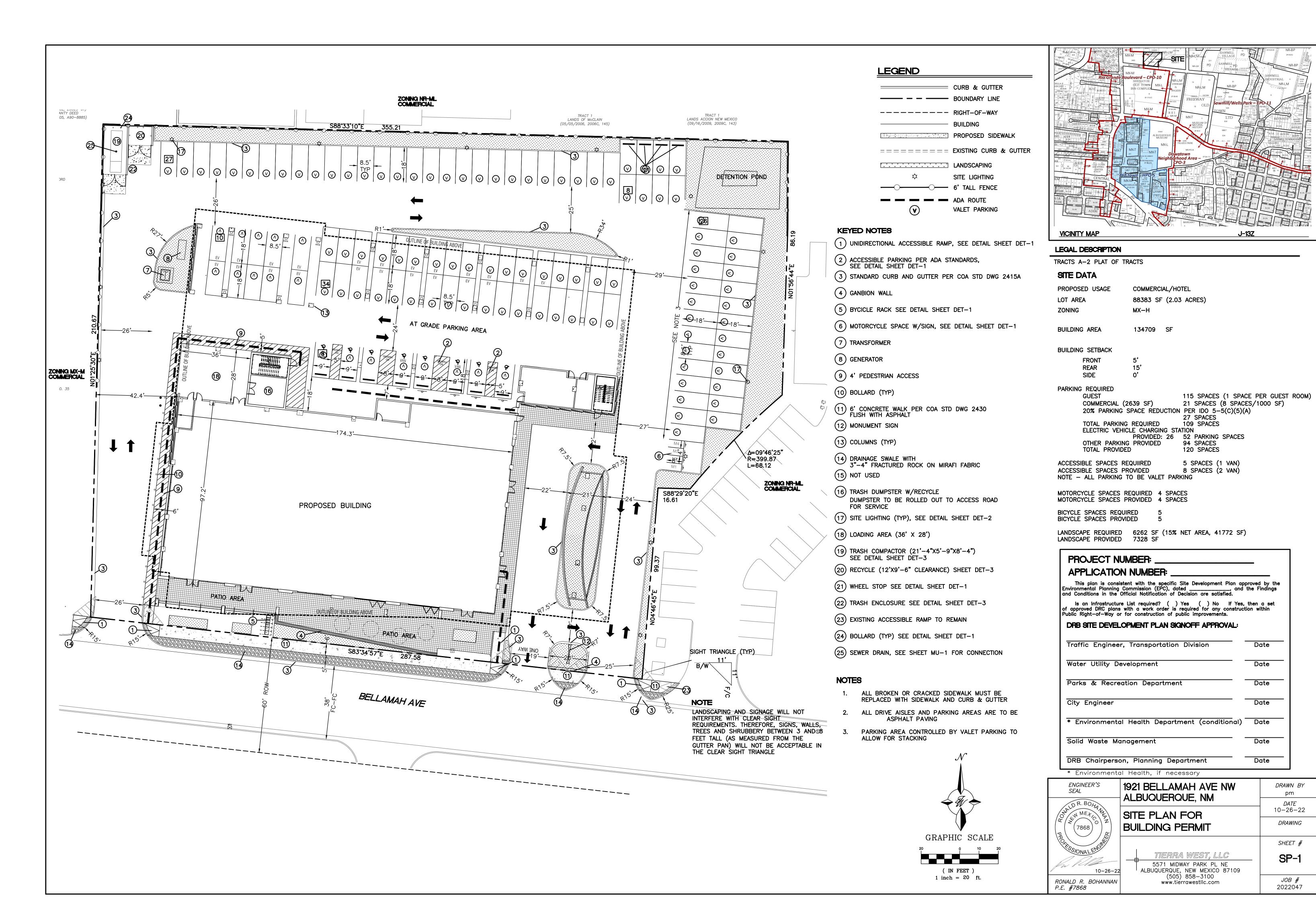


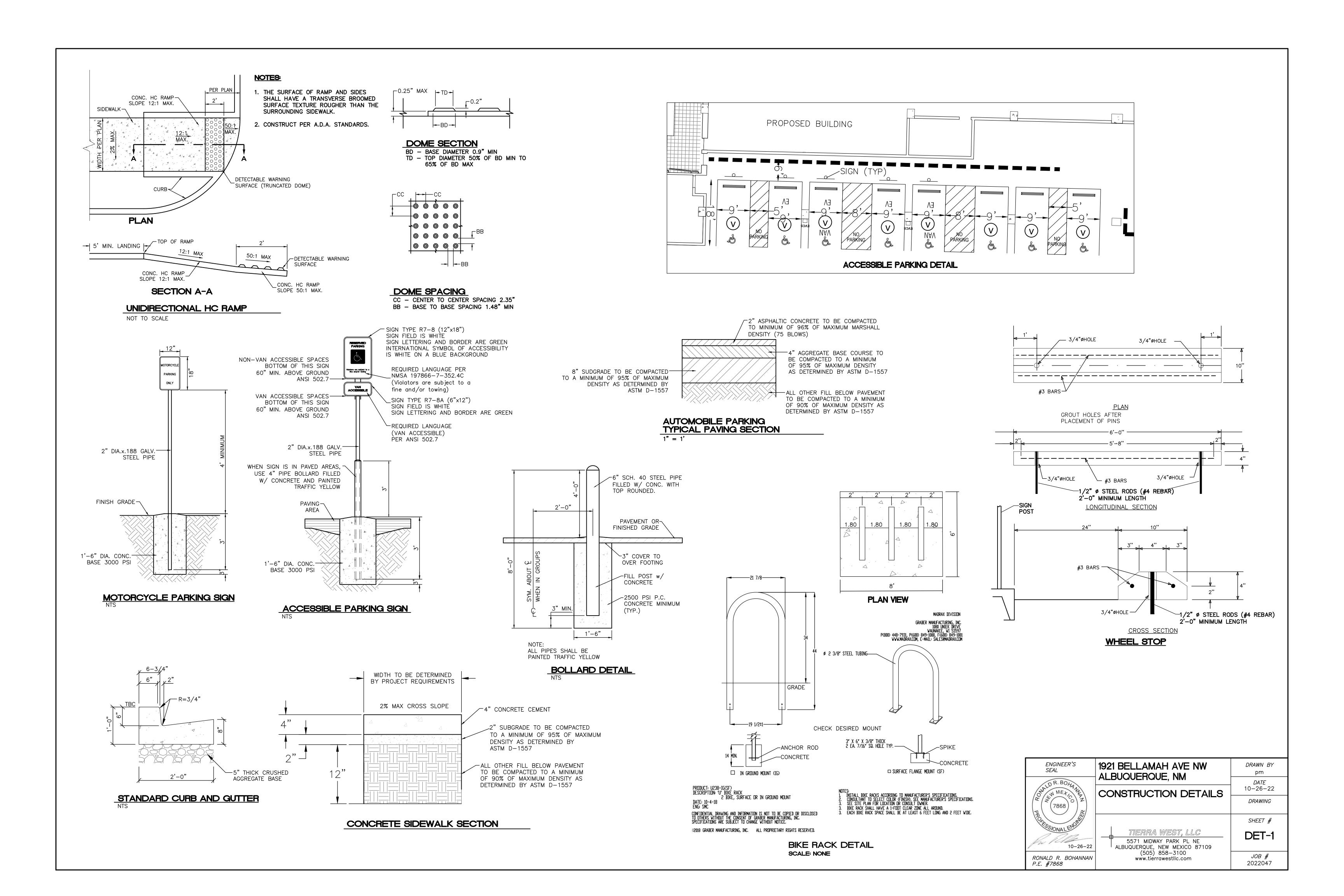
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REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY

BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL

BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS



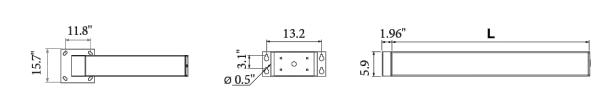




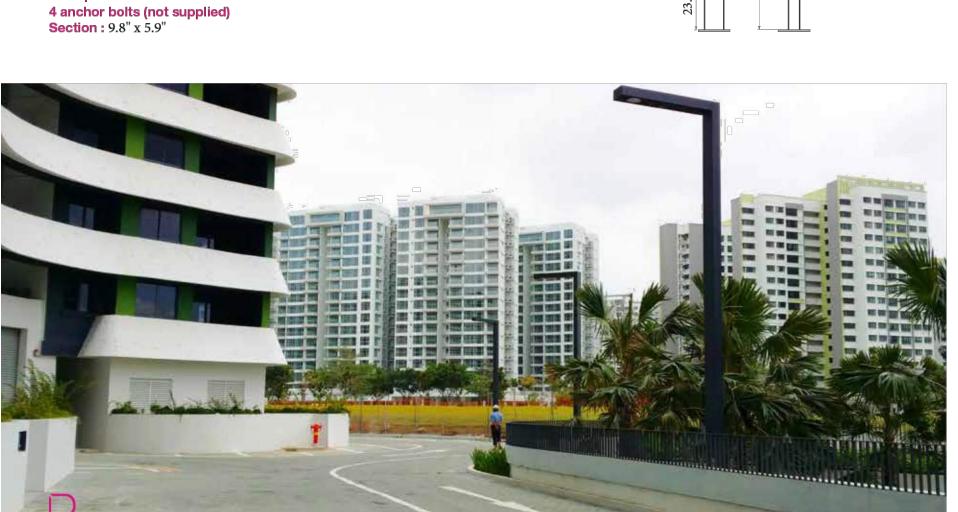
DIMENSIONS (in/ft)

DOMITIENNE V2						
Height	Н	13.1'	16.4'	19.7'	23.0'	26.2'
Overhang	L		31.	5" - 47.2" -	59.0"	

DOMITIENNE V2	Wall & a	against a pole mounting
Overhang	L	31.5" - 47.2" - 59.0"
Weight (lbs)		24.2- 37.5 41.9



Base plate: 15.7" x 15.7" • Center to center: 11.8" x 11.8"



EVO2 MODULE

The EVO2 is very compact so that it can be incorporated into numerous luminaires in the Ragni range. In particular, it can replace classic reflectors (high-pressure sodium lamps, metal halide lamps...), and its compactness has made it possible to create the Ketch with its thin luminaire.



 LED manufacturer: CREE • LED life-cycle: up to 100,000 hours

POWER AND LUMINOUS INTENSITIES PER MODULE - LUMINAIRE OUTPUT DATA

3000 K		350 mA	,		500 mA		700 mA			
Number of LED	P _t (W)	Φ (lm)	(lm/W)	P _t (W)	Φ (lm)	(lm/W)	P _t (W)	Φ (lm)	(lm/W)	
16	21.4	1988	93	28.2	2867	102	36	3636	101	
32	34.4	3976	116	48.8	5734	118	68.9	7271	106	
48	51	5964	117	72.6	8601	118	102.3	10907	107	

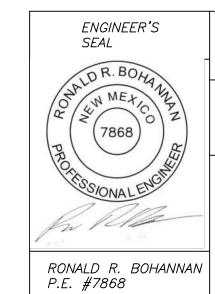
4000 K		350 mA			500 mA		700 mA			
Number of LED	P _t (W)	Φ (lm)	(lm/W)	P _t (W)	Φ (lm)	(lm/W)	P _t (W)	Φ (lm)	(lm/W)	
16	21.4	2147	100	28.2	3097	110	36	3932	109	
32	34.4	4294	125	48.8	6193	127	68.9	7863	114	
48	51	6441	126	72.6	9290	128	102.3	11795	115	

P_t (W) = Total power consumption including driver consumption • Φ Nominal flux (Im) • Luminous efficiency (Im/W)

ORDERING INFORMATION

Model	Pole Height (mm)	Head Length	# LED	CCT (K)	Drive Current	Distribution	Line Voltage	Mounting	Mounting Direction	Mounting Angle	Color
DOMV											
	4000	800	16	3 - (3000K)	35 - (350 mA)	T2	120	T - (Top)	F - (Front)	0	BLK - (Black)
	5000	1200	24	4 - (4000K)	50 - (500 mA)	T3	220	W - (Wall)	B - (Back)	5	BRZ - (Bronze
	6000	1500	32		70 - (700 mA)	T4	277		L - (Left)	10	SLV - (Silver)
	7000		48		CUSTOM	T5	UNV		R - (Right)	15	WHT - (White
	8000							•		20	(RAL #)
	сиѕтом									30	

www.ragni-lighting.com 🕻



1921 BELLAMAH AVE NW ALBUQUERQUE, NM
CONSTRUCTION DETAIL

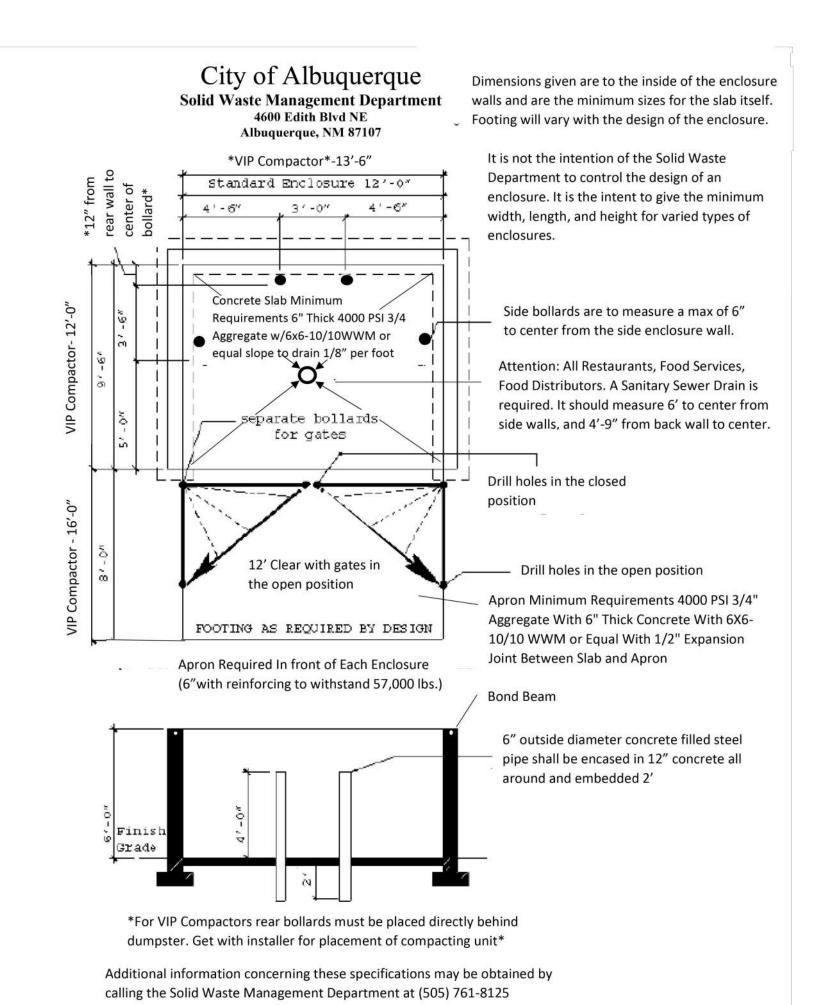
8-17-22 DRAWING SHEET #

DRAWN BY pm

TIERRA WEST, LLC 5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

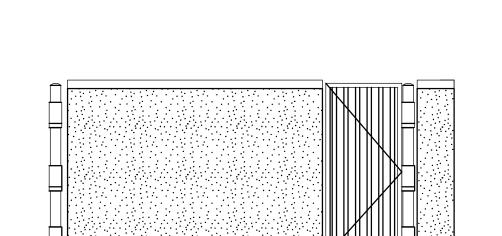
DET-2

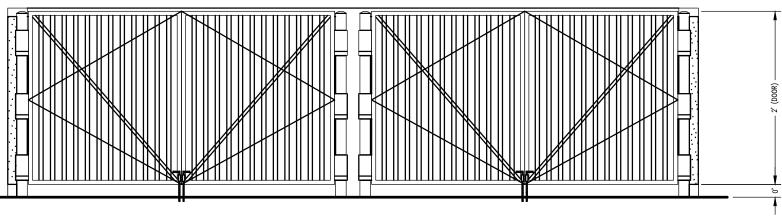
JOB # 2022047



***Trash enclosures are intended for dumpsters only. ***

(Asphalt, Concrete) is required from the edge of the apron***





City of Albuquerque
Solid Waste Management Department
4600 Edith Blvd NE

Albuquerque, NM 87107

Concrete pad is to be a minimum of 12' wide with a length of 10' greater than the combined

length of the compactor and the container (box). Concrete is to be a minimum of 4000 PSI, steel

Attention: All Restaurants, Food Services, Food Distributors. A Sanitary Sewer Drain is required. It should measure 6' to center from side walls.

Concrete Slab and apron Minimum Requirements 6" Thick 4000 PSI 3/4 Aggregate w/6x6-10/10WWM or #4 rebar slope to drain 1/8" per foot

Additional information concerning these specifications may be obtained by calling the Solid Waste Management Department at (505) 761-8125

***Trash enclosures are intended for dumpsters only. ***

Bollards maybe required (depending on

measure 12" from rear of compactor box.

design of compactor). Bollards are to

The height of the CMU wall will

depend on the height of the compactor box. It will have to completely screen off the

compactor from public view

reinforced, 6" thick

10'-0" from

½" Expansion _ joint between slab and apron

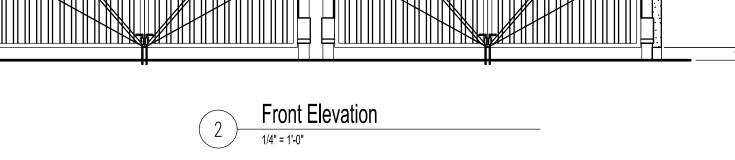
Bollards are to be embedded 2' and shall be

encased in 12" concrete all around

compactor box

Side Elevation

1/4" = 1'-0"

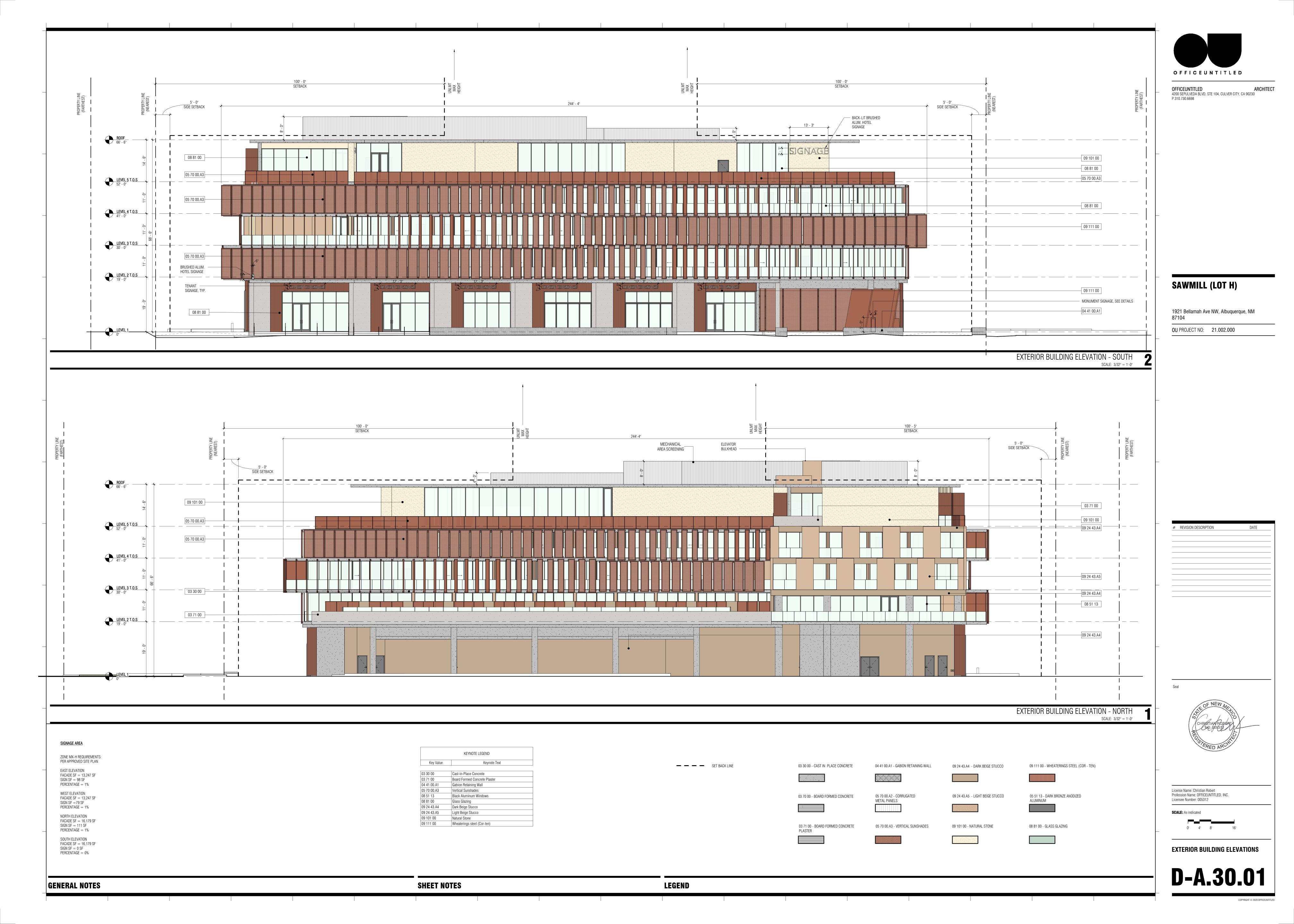


ENGINEER'S SEAL	1921 BELLAMAH AVE NW ALBUQUERQUE, NM	<i>DRAWN BY</i> pm	
WELD R. BOHAN	,	<i>DATE</i> 10-26-22	
7868 0 Z	CONSTRUCTION DETAILS	DRAWING	
Rolling Charles		SHEET #	
10-26-22		DET-3	
RONALD R. BOHANNAN P.E. #7868	(505) 858-3100 www.tierrawestllc.com	<i>JOB #</i> 2022047	

OFFICEUNTITLED **OFFICEUNTITLED**4200 SEPULVEDA BLVD, STE 104, CULVER CITY, CA 90230
P.310.730.6698 BENT WHEATHERED — STEEL SHEET WEATHERING STEEL -CLADDING LED BACK LIT PANEL -SIGNAGE CUTOUT ON —— WEATHERING STEEL 6" CONCRETE PAD — LANDSCAPING. SEE — LANDSCAPING PLAN MONUMENT SIGNAGE - LATITUDINAL SECTION

SCALE: 1/2" = 1'-0" SAWMILL (LOT H) 1921 Bellamah Ave NW, Albuquerque, NM BENT WEATHERING — STEEL SHEET **0U** PROJECT NO: 21.002.000 6" CONCRETE PAD — LANDSCAPING. SEE — LANDSCAPING PLAN MOUNMENT SIGNAGE - SIDE ELEVATION

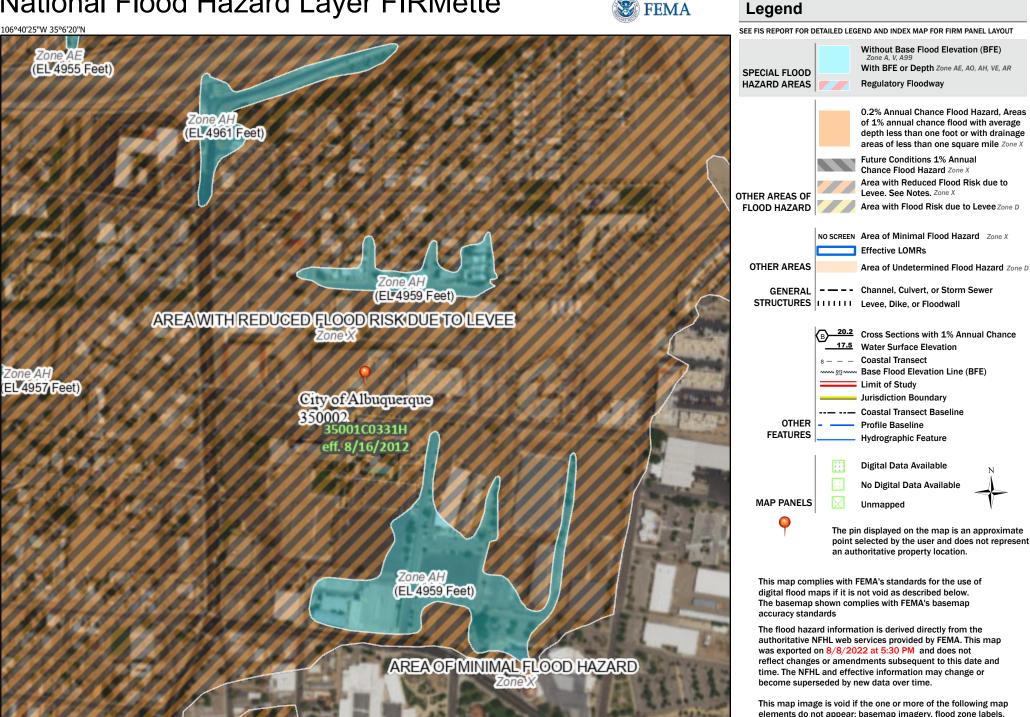
SCALE: 1/2" = 1'-0" # REVISION DESCRIPTION SIGNAGE CUTOUT ON — WEATHERING STEEL. CUTOUT LIT FROM BEHIND BENT WEATHERING — STEEL SHEET 6" CONCRETE PAD —— LANDSCAPING. SEE — LANDSCAPING PLAN MONUMENT SIGNAGE - FRONT/BACK ELEVATION SCALE: 1/2" = 1'-0" WHEATHERED — WEATHERING STEEL BENT WEATHERING — STEEL SHEET License Name: Christian Robert Profession Name: OFFICEUNTITLED, INC. Licensee Number: 005312 SIGNAGE DETAIL MONUMENT SIGNAGE - PLAN SCALE: 1/2" = 1'-0"





National Flood Hazard Layer FIRMette





Feet

2.000

250

500

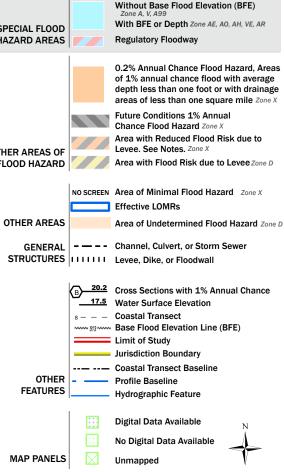
1,000

1,500

1:6.000

Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 8/8/2022 at 5:30 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Albuquerque Site & Building Design Considerations

This form should be submitted with all commercial and multifamily site plans, except if the development is industrial or the multifamily is less than 25 units. The project architect <u>and</u> landscape architect must complete the evaluation and sign the end of this form (fillable in Adobe Acrobat Reader).

The City of Albuquerque design philosophy promotes building performance: buildings that are sustainable and that promote the health and well-being of its citizens. This design philosophy will result in architecture that is unique to Albuquerque and fosters a sense of place and identity.

The most important aspect of a building is the building's ability to function well in response to its surroundings and the unique environmental constraints and opportunities of its specific location. They include bio-climate (winter and summer), solar access and impact, and views of Albuquerque's prominent geographic features. Albuquerque has compelling environmental forces--the daily and seasonal position of the sun, and a very unique force, the dramatic views to the Sandia mountains and other physical features. These are not subjective forces but rather tangible and timeless forces. They are physical properties that can be measured and documented. When architects and landscape architects acknowledge and respond to these forces, the resulting design is unique to Albuquerque in its aesthetic expression and its function.

<u>Design Considerations for Compliance with IDO Section 5-2 (D)</u>

In Albuquerque, building and site design must consider summer and winter climate zones in combination due to our high desert location. Albuquerque also has dramatic views of the Sandia mountains and other physical features that can be captured in windows, patios, and balconies. Identify by checking the box that you have achieved, achieved in part, or evaluated only the following design principles in your site and building layout and building design.

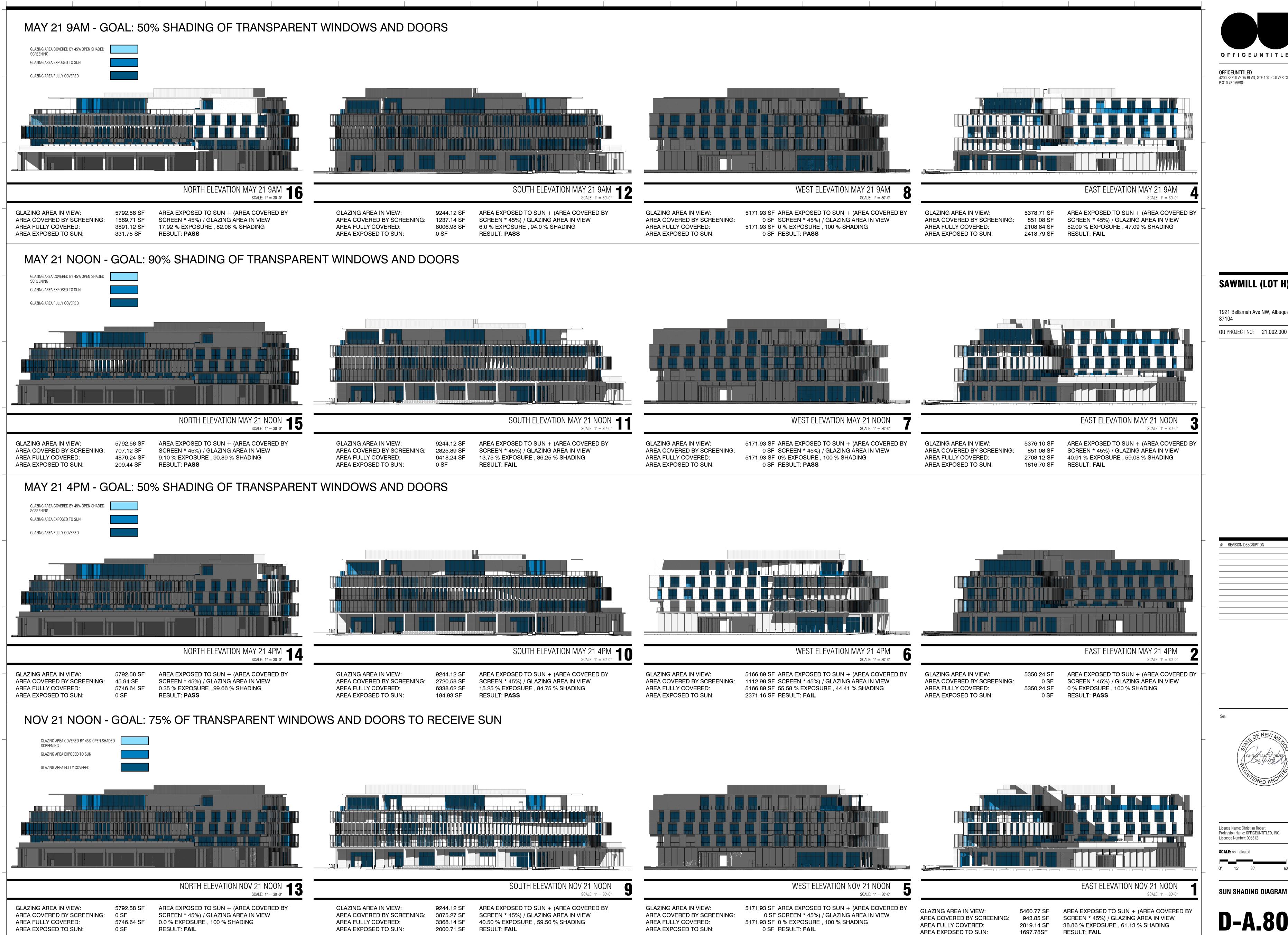
Section A.

General Site Arrangement and Building Orientation:

1.	should allow	The building design should account for sun and shadow in a sun and shade analysis. The design should allow for heat loss during the summer months and heat gain during the winter months. Specific submittal requirements for the sun and shade analysis are in Section B.							
	Achieved		Achieved in Part □	Evaluated Only					
2.	sides of the b	The building shapes should account for strong solar radiation effects on the east and west sides of the building and may encourage consideration of a slender elongation. Building wings extending on the east-west axis are preferable.							
	Achieved		Achieved in Part □	Evaluated Only					
3.	. Buildings oriented slightly east of south are preferable to secure balanced heat distril Achieved □ Achieved in Part □ Evaluated Only □								

4.	4. Design should allow for winter sun penetration and may inform depths of interiors so excessive.										
	Achieved		Achieved in Part □	Evaluated Only							
5. Design should allow for natural ventilation as much as possible.											
	Achieved		Achieved in Part □	Evaluated Only							
Bui	Iding Entries a	and Windows:									
6.	. Building windows to the south and southeastern sides are preferable. South facing windows are easy to shade from the summer sun with simple horizontal overhangs, projections, or plantings.										
	Achieved		Achieved in Part □	Evaluated Only							
7.	_		oe carefully considered be not increase the need for Achieved in Part	pecause they receive no direct sunlight snow and ice removal. Evaluated Only							
8.	North facing windows are encouraged as they require little to no shading.										
	Achieved		Achieved in Part □	Evaluated Only							
9.	Any west facing building entries and windows should mitigate solar effects.										
	Achieved		Achieved in Part □	Evaluated Only							
Ou	tdoor Element	s (Integration)	:								
10.	Site plan desig	gn should spati	ally connect outdoor and	d indoor areas.							
	Achieved		Achieved in Part □	Evaluated Only □							
11.	 Buildings arranged around landscape vegetated areas are preferred to use evaporative cooling effects and heat radiation losses at night. 										
	Achieved		Achieved in Part □	Evaluated Only □							
12. Buildings should be shaded by trees on all sun-exposed sides, especially the east and wes exposures.											
	Achieved		Achieved in Part □	Evaluated Only □							
13.	=			hirds deciduous to one-third evergreen. s to avoid loss of species due to disease. Evaluated Only \Box							
14.	Preservation of	or restoration o	of vegetation that is indig	genous to Albuquerque is preferred.							
	Achieved		Achieved in Part □	Evaluated Only							

15. Glare from direct sunlight through windows can be effectively diffused by tree canopies. Deciduous trees planted in small or large groups are preferred.
Achieved Achieved in Part V Evaluated Only
16. Outdoor residential living areas should be designed to take advantage of sun in winter months and shading in summer months. Patios and balconies should have a thoughtful solar orientation and a close relationship to nature. Achieved
17. Paving should be used discriminately and, where used, efforts should be made to shade the
paving. Achieved in Part Evaluated Only
 Views: 18. Where the site has view potential, capture views of prominent visual formsthe Sandia mountains and foothills, the Bosque Rio Grande, Volcanos and escarpmentin windows, balconies, and patios. (Please note on the site layout and/or elevations where views are captured.)
By checking the boxes of the Design Considerations and signing, I verify that the items have been thoroughly evaluated in the design of Project921Bellamah Ave NW and Application No
Aaron Zahm O05312 Aaron Zahm Oigsally signed by Aaron Zahm Oily C-U.S. Exazingmight winning corn. CH-Aaron Zahm Oily C-U.S. Exazingmight winning corn. CH-Aaron Zahm Oily C-U.S. Exazingmight winning corn. CH-Aaron Zahm
Signature of Project Architect/License No. Signature of Project Landscape Architect/License No.



OFFICEUNTITLED

OFFICEUNTITLED 4200 SEPULVEDA BLVD, STE 104, CULVER CITY, CA 90230

SAWMILL (LOT H)

1921 Bellamah Ave NW, Albuquerque, NM

License Name: Christian Robert Profession Name: OFFICEUNTITLED, INC. Licensee Number: 005312

SCALE: As indicated

SUN SHADING DIAGRAM

D-A.80.01

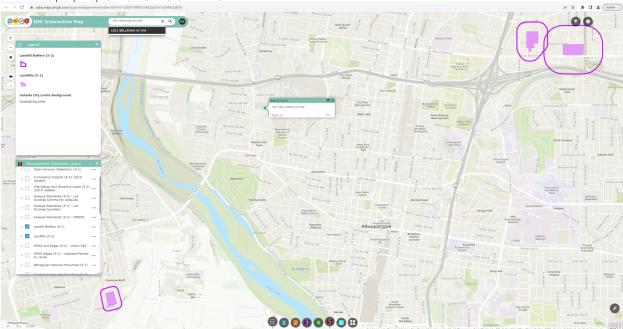


August 19, 2022

City of Albuquerque Planning Department Plaza del Sol Building 600 2nd NW Albuquerque, NM 87102 OU #: 21.002.000 Sawmill Sawmill Hotel 1921 Bellamah Ave NW Albuquerque, NM, 87104

To whom it may concern:

The 1921 Bellamah Ave site is located on the 2.029-acre site at the east side of Rio Grande Blvd NM and west of 20^{th} St NW. This property is not within a landfill buffer.



You may contact me for any additional information:

Benjamin Anderson, Principal OfficeUntitled, Inc. 4200 Sepulveda Blvd, Ste 104 Culver City, CA 90230 (424) 341-0588 benjamin@officeuntitled.com

Thank you,

Benjamin Anderson. Agent for Heritage Hotel & Resorts, Inc.



City Address: 1921 BELLAMAH AV NW

County Address: 1921 BELLAMAH AVE NW

8/14/2022

www.cabq.gov/gis

City of Albuquerque Property Report

Ownership Data from Bernalillo County Assessor

(County Assessor's data for tax year 2021)

Owner Name: SAWMILL BELLAMAH PROPERTIES LLC

Owner Address: 201 3RD ST NW SUITE 1150, ALBUQUERQUE NM 87102-4493

UPC: 101305817952322307

Tax Year: 2021 Tax District: A1AM

Legal Description: TR A-2 PLAT OF TRACTS A-1, A-2 AND A-3 LANDS OF

WILLIAMANDREW MCCORD CONT 2.0290 AC

Property Class: C Document Number: 2019076669 090519 WD - EN

Acres: 2.05

City Zoning and Services

IDO Zone District: NR-LM

INFORMATION

IDO District Definition: Light Manufacturing

Old Zoning Designation: S-MI

Old Zoning Description: Land Use: 06 | Industrial

Lot: A2 Block: 0000 Subdivision: MCCORD--WILLIAM ANDREW

Police Beat: 232 Area Command: VALLEY

Jurisdiction: ALBUQUERQUE

Zone Atlas Page: H13 (opens in new window)

City Neighborhood Association: Sawmill Area NA

Residential Trash Pickup:

Political Districts

City Council District: 2 - Isaac Benton

County Commission District: 1 - Debbie O'Malley **NM House of Representatives:** Javier Martínez

NM Senate: Katy M. Duhigg

School Districts

Elementary: REGINALD CHAVEZ

Middle: WASHINGTON

High School: ALBUQUERQUE

FEMA Flood Zone: X

For questions about floodplain information, please contact the COA Floodplain Manager at 924-3986 or email ccherne@cabq.gov

Run another Search here

This report was created by the GIS group of DTI. Please send comments to GIS@cabq.gov. Please wait while the map loads below...



September 12, 2022

Chair Klarissa J. Peña

City of Albuquerque Councilor, District 3

Vice Chair

Debbie O'Malley County of Bernalillo Commissioner, District 1

Tammy Fiebelkorn City of Albuquerque Councilor, District 7

Trudy E. Jones City of Albuquerque Councilor, District 8

Timothy M. Keller City of Albuquerque Mayor

Charlene Pyskoty County of Bernalillo Commissioner, District 5

Steven Michael Quezada County of Bernalillo Commissioner, District 2

Ex-Officio Member Gilbert Benavides Village of Los Ranchos Board Trustee

Executive Director Mark S. Sanchez

Website www.abcwua.org

Requestor Name: Jon Niski TIERRA WEST LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109

RE: Water and Sanitary Sewer Availability Statement #220808

Project Name: Tract H Sawmill

Project Address: 1921 Bellamah Ave NW 87104

Legal Description: Tract A-2, Plat of tracts A-1, A-2 & A-3 Lands of William

Andrew McCord

UPC: 101305817952322307 Zone Atlas Map: H-13-Z

Dear Mr. Niski:

Project Description: The subject site is located north of Bellamah Avenue between 19th street and Rio Grande Boulevard, within the City of Albuquerque. The proposed development consists of approximately 2.03 acres and the property is currently zoned NR-LM for non-residential, light manufacturing. The property lies within the Pressure Zone 1E in the Freeway Trunk.

The request for availability indicates plans to develop a commercial property into a new five story, 134,709 square-foot hotel.

Existing Conditions: Water infrastructure in the area consists of the following:

6-inch Cast Iron distribution main (no record) along Bellamah Avenue.

Sanitary sewer infrastructure in the area consists of the following:

8-inch concrete sanitary sewer collector (no record) along Bellamah Avenue.

Water Service: New metered water service to the property can be provided via routine connection to the existing six-inch distribution main along Bellamah Avenue. The engineer is responsible for determining pressure losses and sizing of the service line(s) downstream of the public water main to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and collar removed.

Sanitary Sewer Service: New sanitary sewer service can be provided via routine connection to the existing eight-inch collector along Bellamah Avenue. No property shall share a private sewer service with any other property. The engineer is

responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

All food service establishments must install a grease trap upstream of the domestic private sewer connection prior to discharge into the public sanitary sewer lines.

Fire Protection: From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 2000 gallons-per-minute. Two fire hydrants are required. There is one existing hydrant available and one new hydrant is proposed with this project. As modeled using InfoWater™ computer software, the fire flow can be met. Analysis was performed by simulating the required fire flow at existing fire hydrant #00008 and the proposed fire hydrant.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

Cross Connection Prevention: Per the Cross Connection Ordinance, all new non-residential premises must have a reduced pressure principle backflow prevention assembly approved by the Water Authority installed at each domestic service connection at a location accessible to the Water Authority. No tees, branches or possible connection fittings or openings are allowed between the reduced principle backflow prevention assembly and the service connection unless protected by a backflow prevention assembly. These requirements also apply to all remodeled non-residential premises when the work area of the building undergoing repairs, alterations or rehabilitation, as defined in the International Existing Building Code, exceeds 50 percent of the aggregate area of the building regardless of the costs of repairs, alteration or rehabilitation.

All non-residential irrigation water systems connected to the public water system shall have a pressure vacuum breaker, spill-resistant pressure vacuum breaker or a reduced pressure principle backflow prevention assembly installed after the service connection. Such devices shall be approved by the Water Authority. No tees, branches or possible connection fittings or openings are allowed between the containment backflow prevention assembly and the service connection.

All non-residential customers connected via piping to an alternative water source or an auxiliary water supply and the public water system shall install a containment reduced pressure principle backflow prevention assembly approved by the Water Authority after the potable service connection.

All new services to private fire protection systems shall be equipped with a containment reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction installed after the service connection. No tees, branches or possible connection fittings or openings are allowed between the containment backflow prevention assembly and the service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention

assembly provided the private fire protection system meets or exceed ANSI/NSF Standard 60 61 throughout the entire private fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections nor connections from auxiliary water supplies.

The Water Authority requests that all backflow (containment) devices be located above ground just outside the easement or roadway right-of-way. Contact Cross Connection at (505) 289-3454 for more information.

Pretreatment: The development is for commercial use and has the potential to discharge Fats, Oils, Grease and/or Solids (FOGS) to the sanitary sewer and/or falls under one of the applicable users in the SUO:

FOGS Applicability SUO Section 3-3-2 A.:

Users "... such as food service establishments, commercial food processors, automotive shops, auto wash racks, car washes, vehicle fueling stations, septic tank pumpers, grease rendering facilities, breweries/distilleries, bottling plants, commercial and industrial laundries, slaughterhouses & meat packing establishments (fish, fowl, meat, curing, hide curing), oil tank firms and transporters..."

Such Users must comply with all FOGS discharge requirements defined in SUO Section 3-3-2 and FOGS Policy including but not limited to:

- Installation of an adequately sized Grease Interceptor (GI) approved by the appropriate code enforcement authority (City of Albuquerque, and/or Bernalillo County)
- 2. All FOGS source within the facility are plumbed to the GI as required by the appropriate plumbing code.
- 3. Long term Best Management Practices (BMP), and GI maintenance such as pumping and manifest requirements.
- 4. Unobstructed access to inspections of the facility and records.

A copy of the Sewer Use and Wastewater Control Ordinance and FOGS Policy can be found on the Pretreatment page of the Water Authority Website: https://www.abcwua.org/sewer-system-industrial-pretreatment-overview/

Contact the Industrial Pretreatment Engineer, Travis Peacock, at (505) 289-3439 or pretreatment@abcwua.org for coordination or clarification of any of the above requirements.

Easements and Property: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service. A Warranty Deed shall be required when a property will be transferred to the Water Authority for the installation of Water Authority owned facilities such as pump stations, reservoirs, wells, lift stations, or any other facility.

Pro Rata: Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction: Design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated through the City of Albuquerque via the Work Order process. Designs must be performed by a licensed, New Mexico registered, professional engineer. Construction must be performed by a licensed and bonded public utility contractor.

Utility Expansion Charge (UEC): In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter.

Contact Customer Service at (505) 842-9287 (option 3) for more information regarding account fees.

Water Use: All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Reduction Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

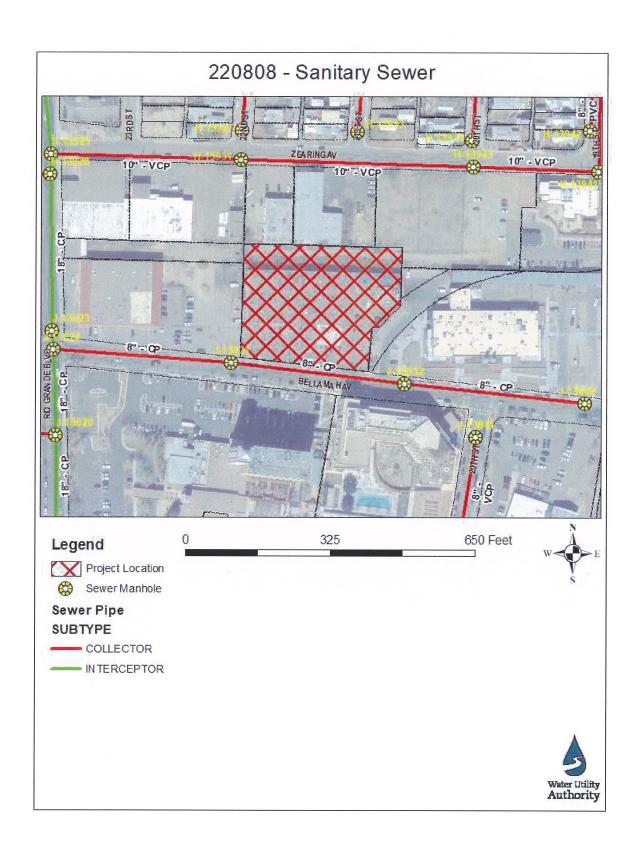
Sincerely,

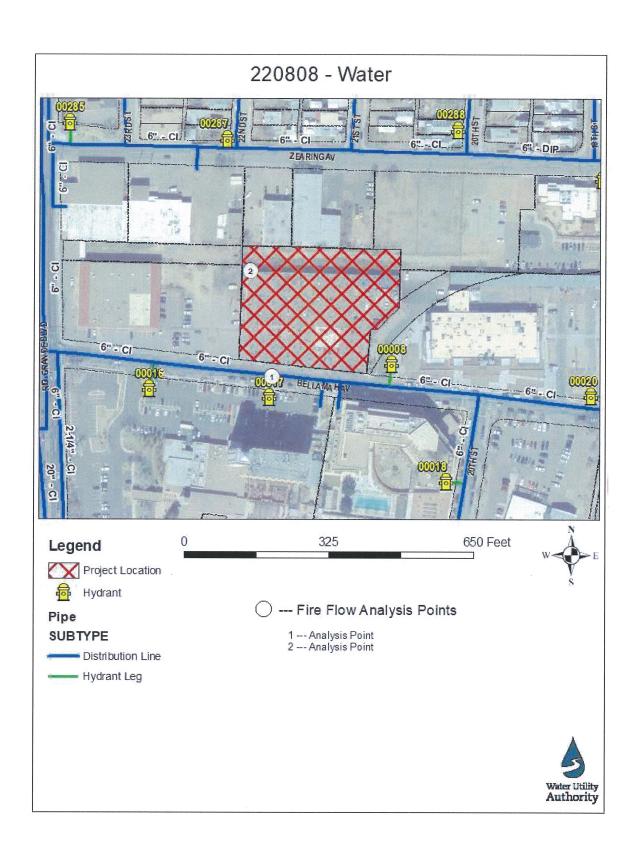
f/

Mark S. Sanchez Executive Director

Enclosures: Infrastructure Maps

Availability Statement #220808





Planning Department Alan Varela, Director



September 21, 2022

Ronald R. Bohannan, P.E. Tierra West LLC 5571 Midway Park Place NE Albuquerque, NM 87109

RE: **Tract H Sawmill** 1921 Bellamah Ave NW **Conceptual Grading and Drainage Plan** Engineer's Stamp Date: 7/6/2022 Hydrology File: J13D017B

Dear Mr. Engineer Last Name:

Based upon the information provided in your submittal received 8/17/2022, the Conceptual Grading and Drainage Plan is approved for Site Plan for Building Permit and DRB approval. Prior to submitting for construction and building permit please address the following comments prior to submitting.

PO Box 1293

- 1. Add adjacent grades to show what the site is tying into.
- 2. Clarify the curb and gutter around the site so that it is called out and it is visible to see the lines shown on the legend.
- 3. The narrative calls out some things to be demolished. Please provide this information on future submittals so that it matches the narrative and it is clear what is being removed.

Albuquerque

NM 87103

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

If you have any questions, please contact me at 924-3695 or dggutierrez@cabq.gov.

Sincerely,

David G. Gutierrez, P.E. Senior Engineer, Hydrology Planning Department

Die Gul

Page 1 of 1



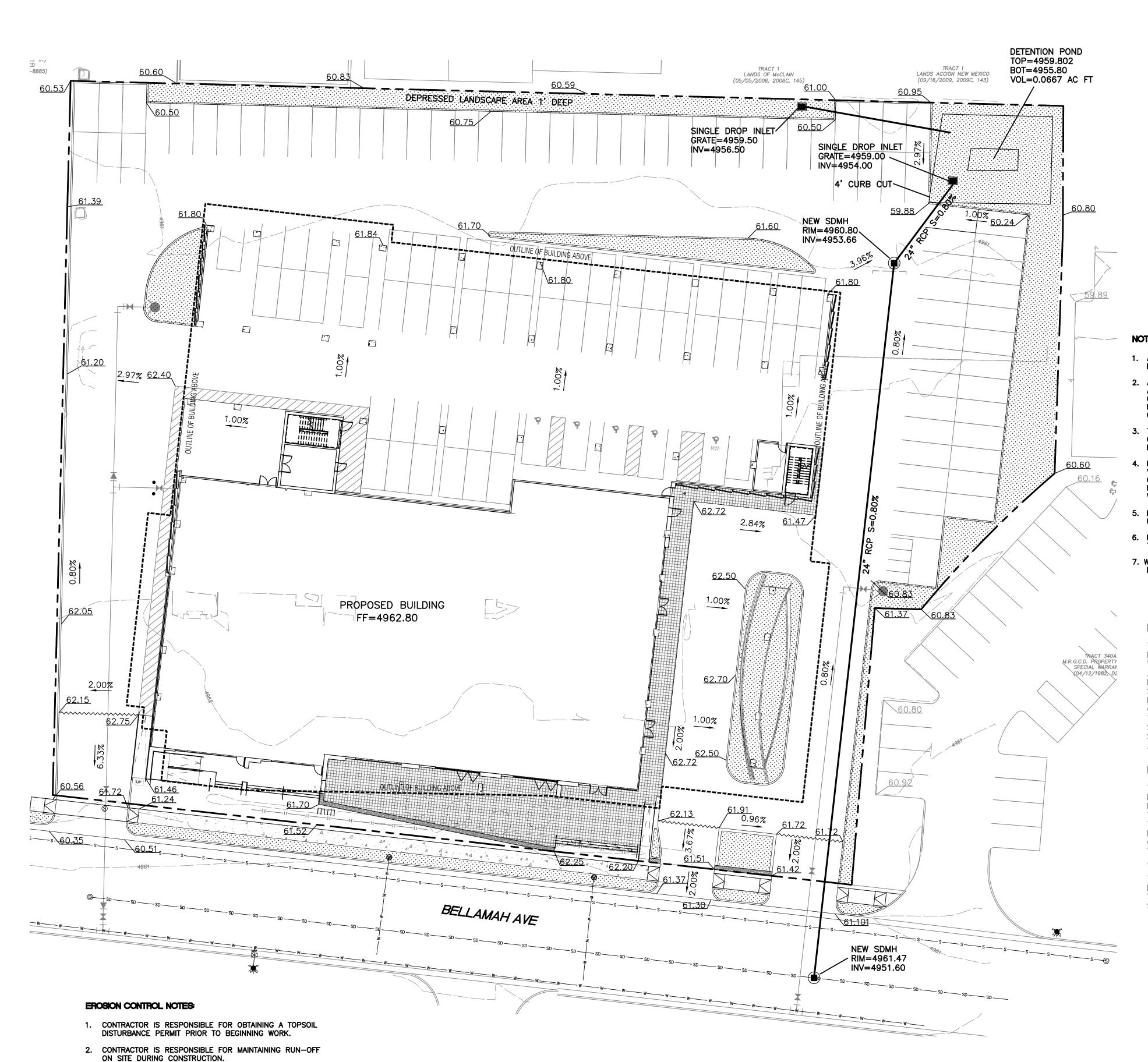
City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: TRACT H SAWMILL	Building Permit	#:	Hydrology File #:			
DRB#:	Work Order#:					
Legal Description: TRA A-2 PLAT OF TRACTS A-1 A-2 AND	0 A-3 LANDS OF WILLIAMAN	DREW MCCORD CONT 20290AC	C UPC: 101305817952322307			
City Address: 1921 BELLAMAH AVE NW ALI						
Applicant: TIERRA WEST LLC			Contact: JON NISKI			
Address: 5571 MIDWAY PARK PLACE NE, A	LBUQUERQUE, 1	NM 87109				
Phone#: 505-858-3100	_Fax#:		E-mail: JNISKI@TIERRAWESTLLC.CO			
Other Contact:			Contact:			
Address:						
Phone#:	Fax#:		E-mail:			
TYPE OF DEVELOPMENT:PLAT (# of lots) F	RESIDENCE X	DRB SITE ADMIN SITE			
IS THIS A RESUBMITTAL? Yes	X_{No}					
DEPARTMENT TRANSPORTATION		LOGY/DRAINAGE				
Check all that Apply: TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CERTIFICATION PAD CERTIFICATION CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE REPORT DRAINAGE MASTER PLAN FLOODPLAIN DEVELOPMENT PERMIT A ELEVATION CERTIFICATE CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) TRAFFIC IMPACT STUDY (TIS) STREET LIGHT LAYOUT OTHER (SPECIFY) PRE-DESIGN MEETING?	APPLIC	BUILDING PER CERTIFICATE OF CENTIFICATE OF CERTIFICATE OF CERTIFICATE OF CERTIFICATE OF CERTIFICATE OF CENTIFICATE OF CENTIFIC	PLAT APPROVAL R SUB'D APPROVAL R BLDG. PERMIT APPROVAL PPROVAL OF FINANCIAL GUARANTEE PERMIT APPROVAL MIT APPROVAL IT APPROVAL O CERTIFICATION APPROVAL			
DATE SUBMITTED: <u>07.19.2022</u>	,					
COA STAFF:		MITTAL RECEIVED:				



3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT

4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT

FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM

ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC

WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE

BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL

6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL

THAT GETS INTO EXISTING RIGHT-OF-WAY.

OF ANY PROJECT.

LEGEND CURB & GUTTER ---- RIGHT-OF-WAY BUILDING PROPOSED SIDEWALK = = = = = = = EXISTING CURB & GUTTER LANDSCAPING EXISTING INDEX CONTOUR ---- EXISTING CONTOUR EXISTING STORM SEWER **EXISTING SANITARY SEWER** PROPOSED DROP INLET

PROPOSED SDMH

VICINITY MAP

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- 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR

AREA WITH REDUCED FLOOD RISK DUE TO LEVEE FLOOD MAP 35001C0331H

EXISTING DRAINAGE:

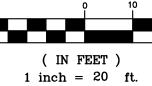
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PROPOSED DRAINAGE:

THE SITE IS NOW DIVIDED INTO TWO BASINS. BASIN 1 WILL DRAIN TO THE NORTH INTO A BIOSWALE AND A DETENTION POND OVER THE SURFACE. THE BIOSWALE WILL DRAIN TO THE POND SO THE WATER QUALITY VOLUME IS CAPTURED AND RETAINED. THE POND WILL DRAIN VIA A DROP INLET TO A STORM SEWER THAT WILL CONNECT TO THE STORM SEWER IN BELLAMAH. BASIN 2 IS THE FRONT PART OF THE BUILDING AND HARDSCAPE ALONG THE STREET. THIS BASIN WILL DISCHARGE 0.94 CFS TO BELLEMAH WHICH IS 0.04 CFS LESS THAN WAS WAS PREVIOUSLY DRAINED TO THE STREET. FROM THERE THE RUNOFF IS CAPTURED IN EXISTING DROP INLETS ALONG BELLAMAH AVE.

THE POND IN BASIN 2 WILL RETAIN THE DEVELOPED RUNOFF OF 0.036 AC-FT WHICH IS LESS THAN THE REQUIRED WATER QUALITY VOLUME OF 0.40 AC-FT. THE POND WILL DRAIN AT RATE OF 7.15 CFS. THEREFORE THE TOTAL DISCHARGE FROM THE SITE WILL BE 8.09 CFS WHICH IS BELOW THE EXISTING DISCHARGE OF 8.13 CFS.





DRAWN BY

pm

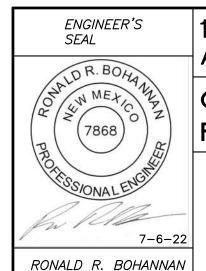
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7-6-22

DRAWING

SHEET #

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P.E. #7868

1921 BELLAMAH AVE NW ALBUQUERQUE, NM **CONCEPTUAL GRADING** PLAN

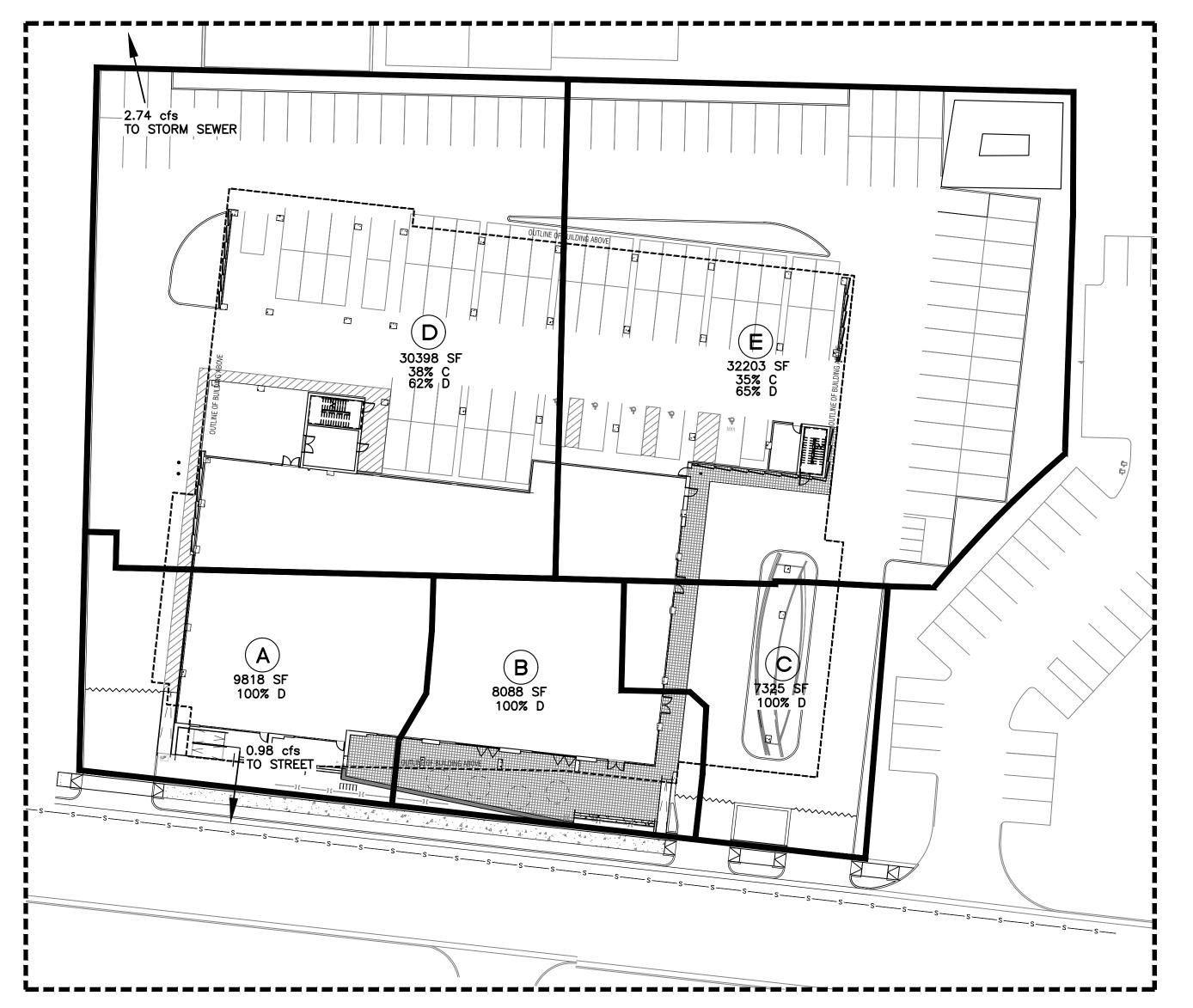
TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100

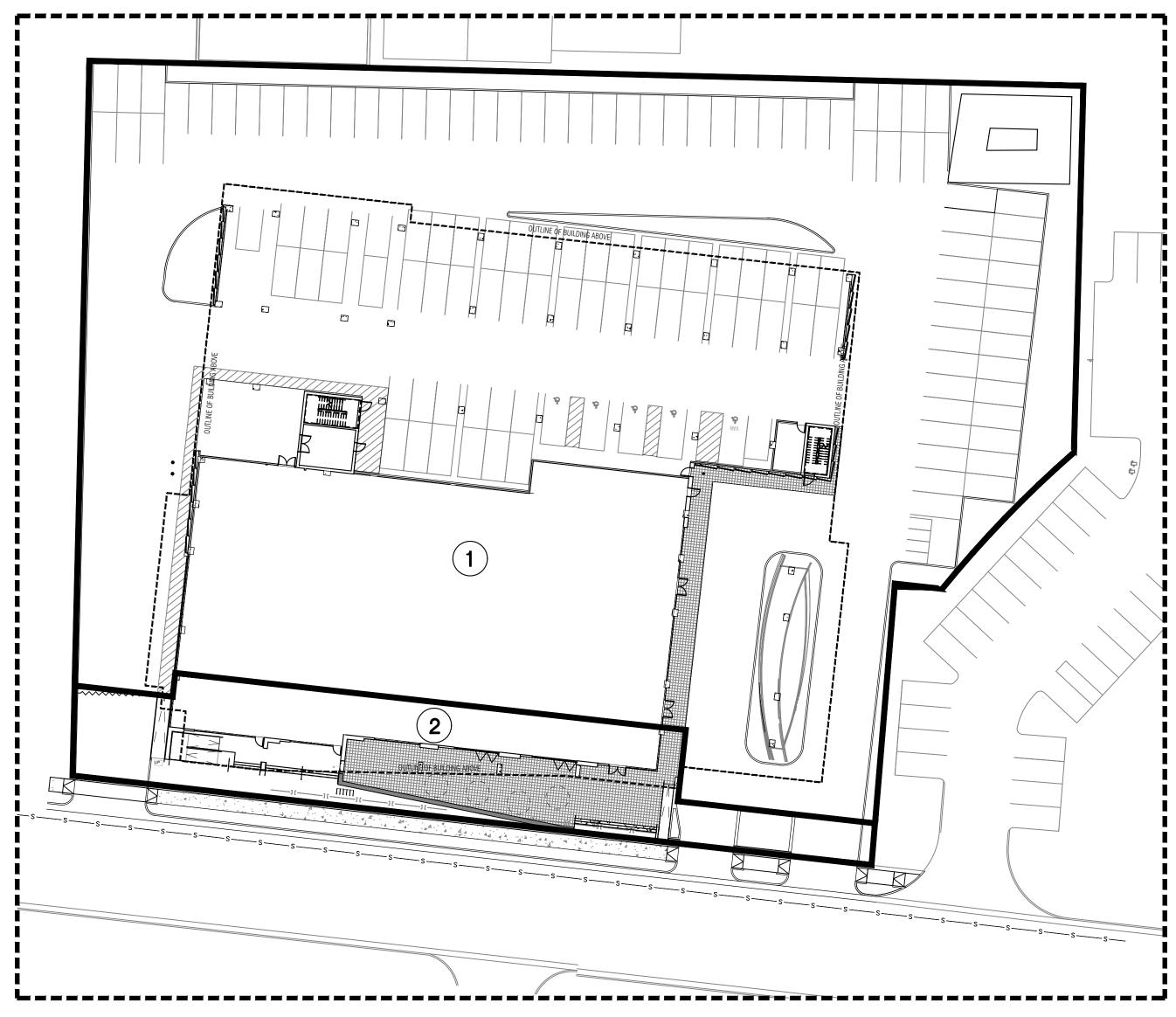
www.tierrawestllc.com

GR-1 JOB # 2022047

CAUTION

CONTRACTOR TO CONDUCT ALL NECESSARY FIELD TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND AND APPROVED BY THE ENGINEER.





EXISTING BASINS
PROPOSED BASINS

				-		Weig	hted E	Metho	d		ı	1				
Existing	Basins															
												100-Year			10-Year	
Basin	Area	Area	Trea	tment A	Trea	tment B	Treat	ment C	Treat	tment D	Weighted E	Volume	Flow	Weighted E	Volume	Flow
	(sf)	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	(in)	(ac-ft)	cfs	(in)	(ac-ft)	cfs
Α	9,818	0.23	0%	0	0%	0.00	0%	0.00	100%	0.23	2.330	0.044	0.98	1.510	0.028	0.61
В	8,088	0.19	0%	0	0%	0.00	0%	0.00	100%	0.19	2.330	0.036	0.81	1.510	0.023	0.50
С	7,325	0.17	0%	0	0%	0.00	0%	0.00	100%	0.17	2.330	0.033	0.73	1.510	0.021	0.46
D	30,968	0.71	0%	0	0%	0.00	38%	0.27	62%	0.44	1.836	0.109	2.74	1.119	0.066	1.62
E	32,203	0.74	0%	0	0%	0.00	35%	0.26	65%	0.48	1.875	0.116	2.87	1.150	0.071	1.71
												0.337	8.13			
Develop	ed Basins															
												100-Year			10-Year	
Basin	Area	Area	Trea	tment A	Trea	tment B	3 Treatment C		Trea	tment D	Weighted E	Volume	Flow	Weighted E	Volume	Flow
	(sf)	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	(in)	(ac-ft)	cfs	(in)	(ac-ft)	cfs
1	78,739	1.81	0%	0	12%	0.22	0%	0.00	90%	1.63	2.193	0.330	7.57	1.395	0.210	4.61
2	9,607	0.22	0%	0	3%	0.01	0%	0.00		0.21	2.284	0.042	0.94	1.474	0.027	0.59
	•									1.84		0.372	8.52			
										Req	uired Ponding	0.036				
Equatio	ns:															
			Excess Precipitation, E (inches)			Peak Discharge (cfs/ac		fs/acre)								
Neighte	d E = Ea*Aa +			100-Year			Zone 2	100-Year	10 - Year							
						Ea	0.62	0.15		Qa	1.71	0.41				
Volume :	= Weighted D	* Total Area				Eb	0.8	0.3		Qb	2.36	0.95				
						Ec	1.03	0.48		Qc	3.05	1.59				
Flow = Q	a * Aa + Qb *	Ab + Qc * A	c + Qd *	Ad		Ed	2.33	1.51		Q _d	4.34	2.71				
				ac = 1,737												



ENGINEER'S SEAL	1921 BELLAMAH AVE NW ALBUQUERQUE, NM	<i>DRAWN BY</i> pm
LD R. BOHA	ALBOQUENQUE, NIVI	DATE
ON METICOZ	CONCEPTUAL BASIN MAP	7-6-22
	CONCENTORE BASIN WAI	DRAWING
7868		
PROFILE OF THE PROFIL		SHEET #
7-6-22	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109	GR-2
RONALD R. BOHANNAN P.E. #7868	(505) 858-3100 www.tierrawestllc.com	<i>JOB #</i> 2022047

CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

November 1, 2022

Jonathan D. Niski, PE Tierra West, LLC 5571 Midway Park Pl. NE Albuquerque, NM 87109

Re: Tract H Sawmill

1921 Bellamah Ave. NW

Conceptual Traffic Circulation Layout for DRB Approval

Engineer's Stamp 10-26-22 (J13_D017B)

Dear Mr. Niski,

The conceptual TCL submittal received 10-05-2022 is approved for DRB submittal. When submitting this project through the building permit process, please provide a copy of the approved DRB Site plan along with a more detailed site plan for construction purposes through a second Traffic Circulation Layout submittal process. The detailed plan will be compared against the approved DRB site plan to ensure that all previously approved site infrastructure is shown with exact paving layout, dimensioning, and parking capacity. Ultimately, a copy of the approved DRB Site Plan and the more detailed stamped and signed plan will both be needed for each of the building permit plans. Please keep these originals to be used for certification of the site for final C.O. for Transportation.

Albuquerque

PO Box 1293

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed <u>Drainage and Transportation Information Sheet</u> to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

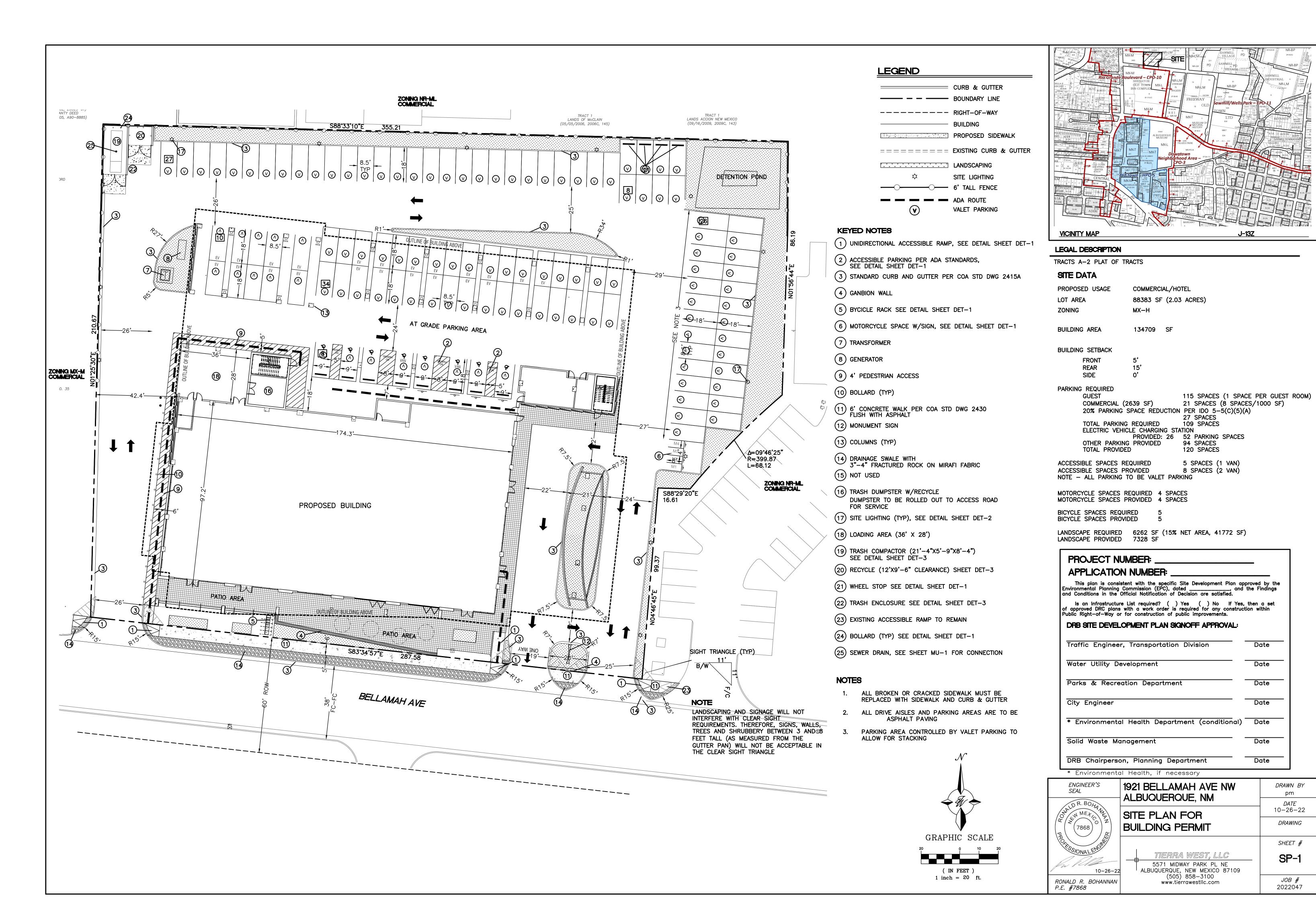
Sincerely,

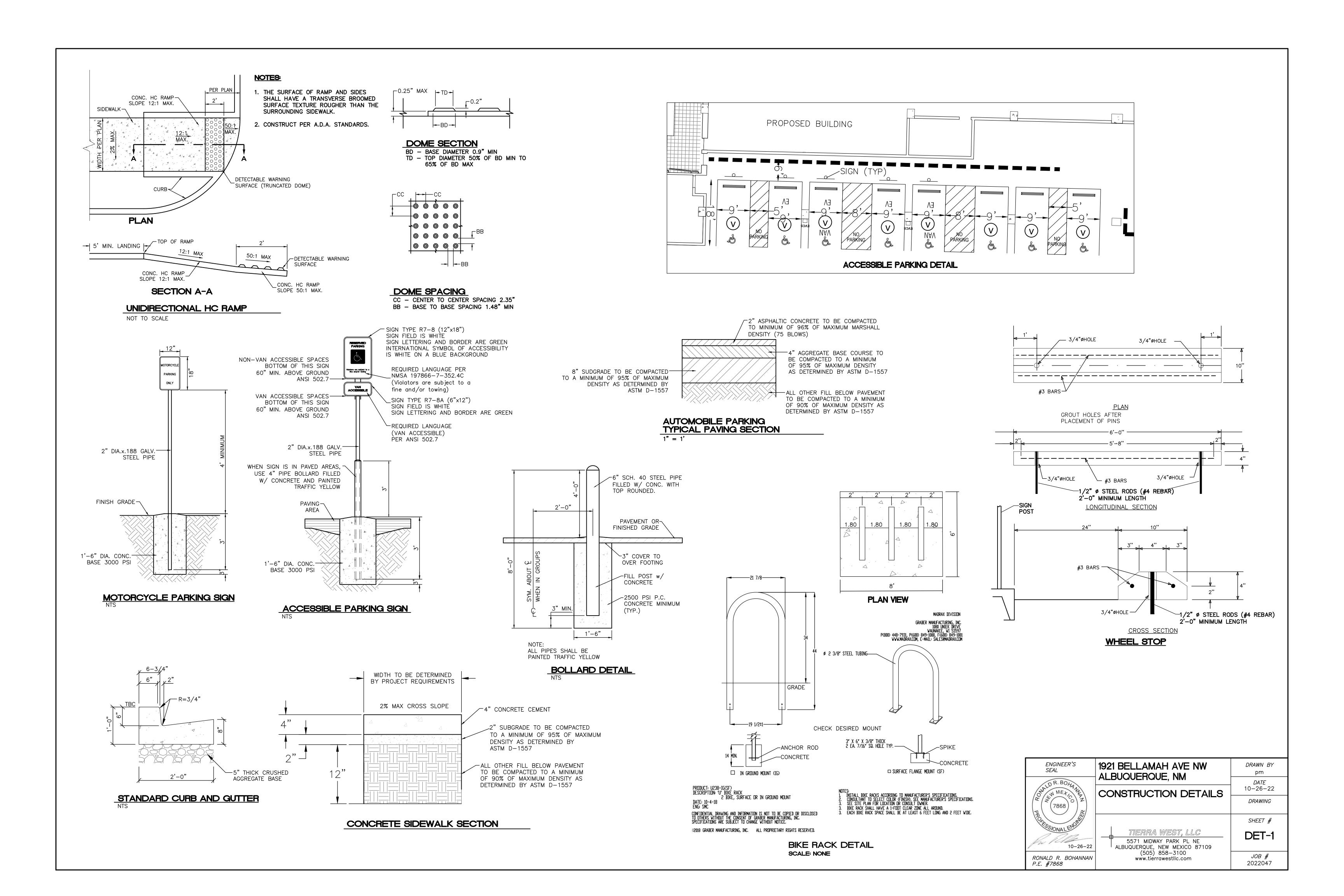
Ernest Armijo, P.E.

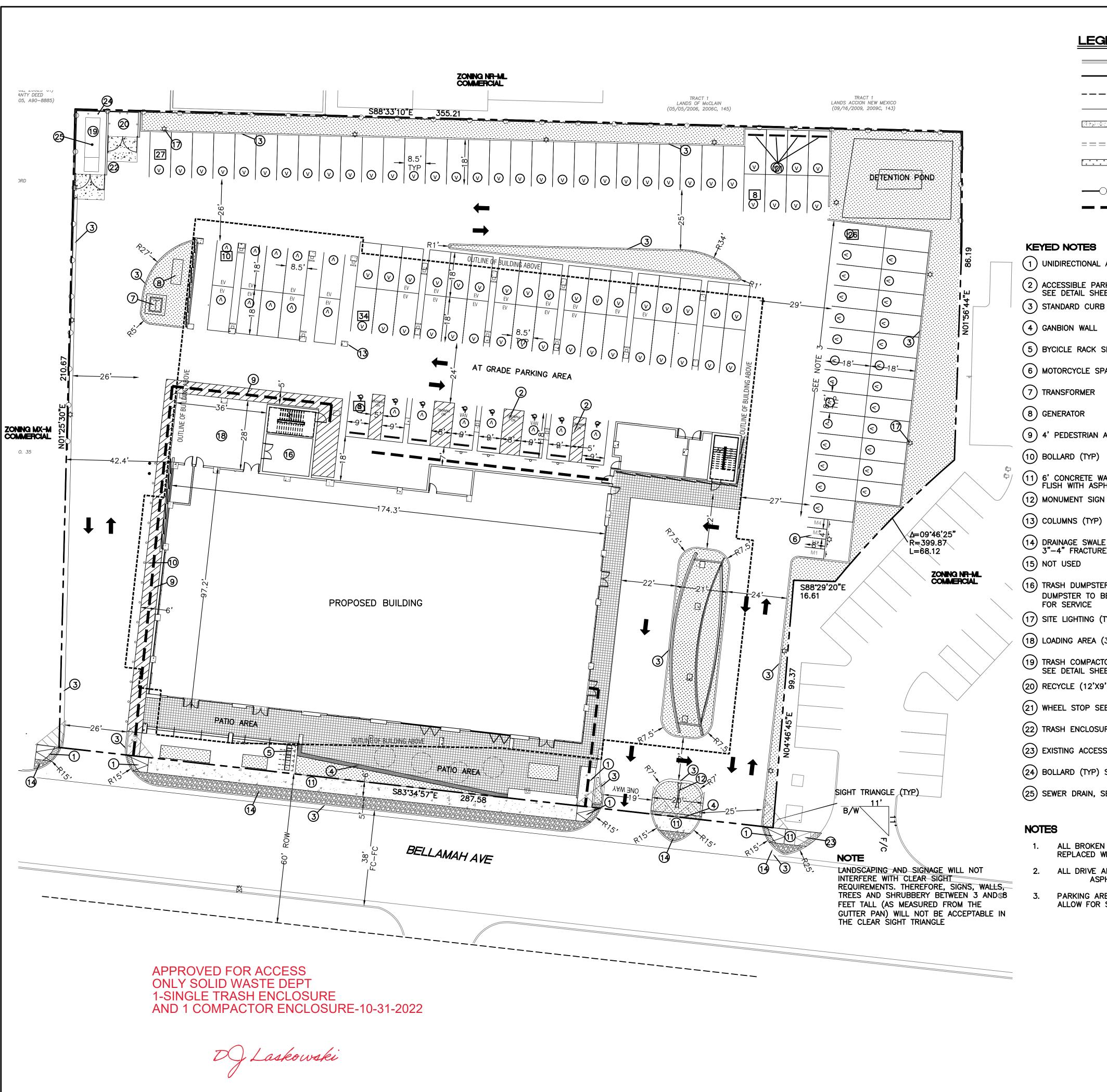
Principal Engineer, Planning Dept.

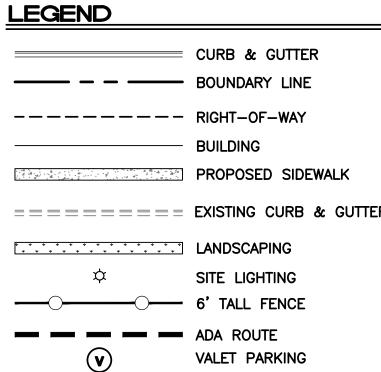
Development Review Services

C: CO Clerk, File



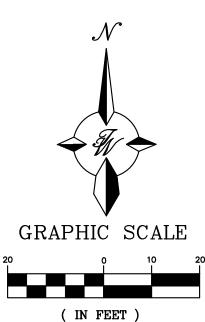




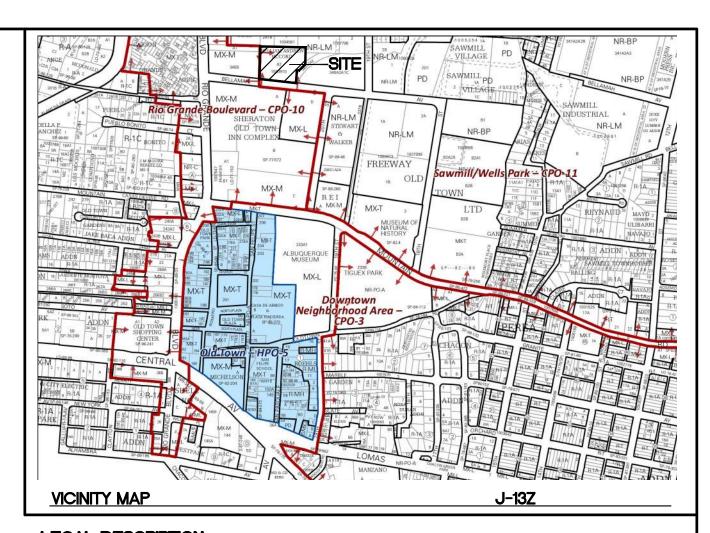


- (1) UNIDIRECTIONAL ACCESSIBLE RAMP, SEE DETAIL SHEET DET-1
- 2 ACCESSIBLE PARKING PER ADA STANDARDS, SEE DETAIL SHEET DET-1
- (3) STANDARD CURB AND GUTTER PER COA STD DWG 2415A
- (5) BYCICLE RACK SEE DETAIL SHEET DET-1
- (6) MOTORCYCLE SPACE W/SIGN, SEE DETAIL SHEET DET-1

- (9) 4' PEDESTRIAN ACCESS
- 6' CONCRETE WALK PER COA STD DWG 2430 FLISH WITH ASPHALT
- (13) COLUMNS (TYP)
- DRAINAGE SWALE WITH
 3"-4" FRACTURED ROCK ON MIRAFI FABRIC
- (16) TRASH DUMPSTER W/RECYCLE DUMPSTER TO BE ROLLED OUT TO ACCESS ROAD
- (17) SITE LIGHTING (TYP), SEE DETAIL SHEET DET-2
- (18) LOADING AREA (36' X 28')
- (19) TRASH COMPACTOR (21'-4"X5'-9"X8'-4") SEE DETAIL SHEET DET-3
- (20) RECYCLE (12'X9'-6" CLEARANCE) SHEET DET-3
- (21) WHEEL STOP SEE DETAIL SHEET DET-1
- (22) TRASH ENCLOSURE SEE DETAIL SHEET DET-3
- 23) EXISTING ACCESSIBLE RAMP TO REMAIN
- (24) BOLLARD (TYP) SEE DETAIL SHEET DET-1
- (25) SEWER DRAIN, SEE SHEET MU-1 FOR CONNECTION
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER
- 2. ALL DRIVE AISLES AND PARKING AREAS ARE TO BE ASPHALT PAVING
- PARKING AREA CONTROLLED BY VALET PARKING TO ALLOW FOR STACKING



1 inch = 20 ft.



LEGAL DESCRIPTION

TRACTS A-2 PLAT OF TRACTS

SITE DATA

PROPOSED USAGE COMMERCIAL/HOTEL LOT AREA 88383 SF (2.03 ACRES)

ZONING

BUILDING AREA 134709 SF

BUILDING SETBACK

REAR

SIDE

PARKING REQUIRED

115 SPACES (1 SPACE PER GUEST ROOM)
21 SPACES (8 SPACES/1000 SF) COMMERCIAL (2639 SF)

20% PARKING SPACE REDUCTION PER IDO 5-5(C)(5)(A)
27 SPACES
TOTAL PARKING REQUIRED 109 SPACES

ELECTRIC VEHICLE CHARGING STATION PROVIDED: 26 52 PARKING SPACES

94 SPACES 120 SPACES OTHER PARKING PROVIDED TOTAL PROVIDED

ACCESSIBLE SPACES REQUIRED 5 SPACES (1 VAN) 8 SPACES (2 VAN) ACCESSIBLE SPACES PROVIDED

MOTORCYCLE SPACES REQUIRED 4 SPACES

MOTORCYCLE SPACES PROVIDED 4 SPACES

BICYCLE SPACES REQUIRED BICYCLE SPACES PROVIDED

LANDSCAPE REQUIRED 6262 SF (15% NET AREA, 41772 SF) LANDSCAPE PROVIDED 7328 SF

PROJECT NUMBER:

APPLICATION NUMBER:

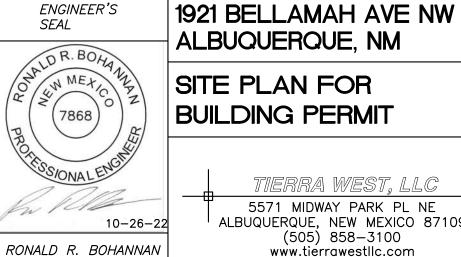
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated ______, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right—of—Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL: Traffic Engineer, Transportation Division Date Water Utility Development Date Parks & Recreation Department Date Date City Engineer * Environmental Health Department (conditional) Date Solid Waste Management

* Environmental Health, if necessary

DRB Chairperson, Planning Department



P.E. #7868

TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com

2022047

Date

DRAWN BY

pm

DATE

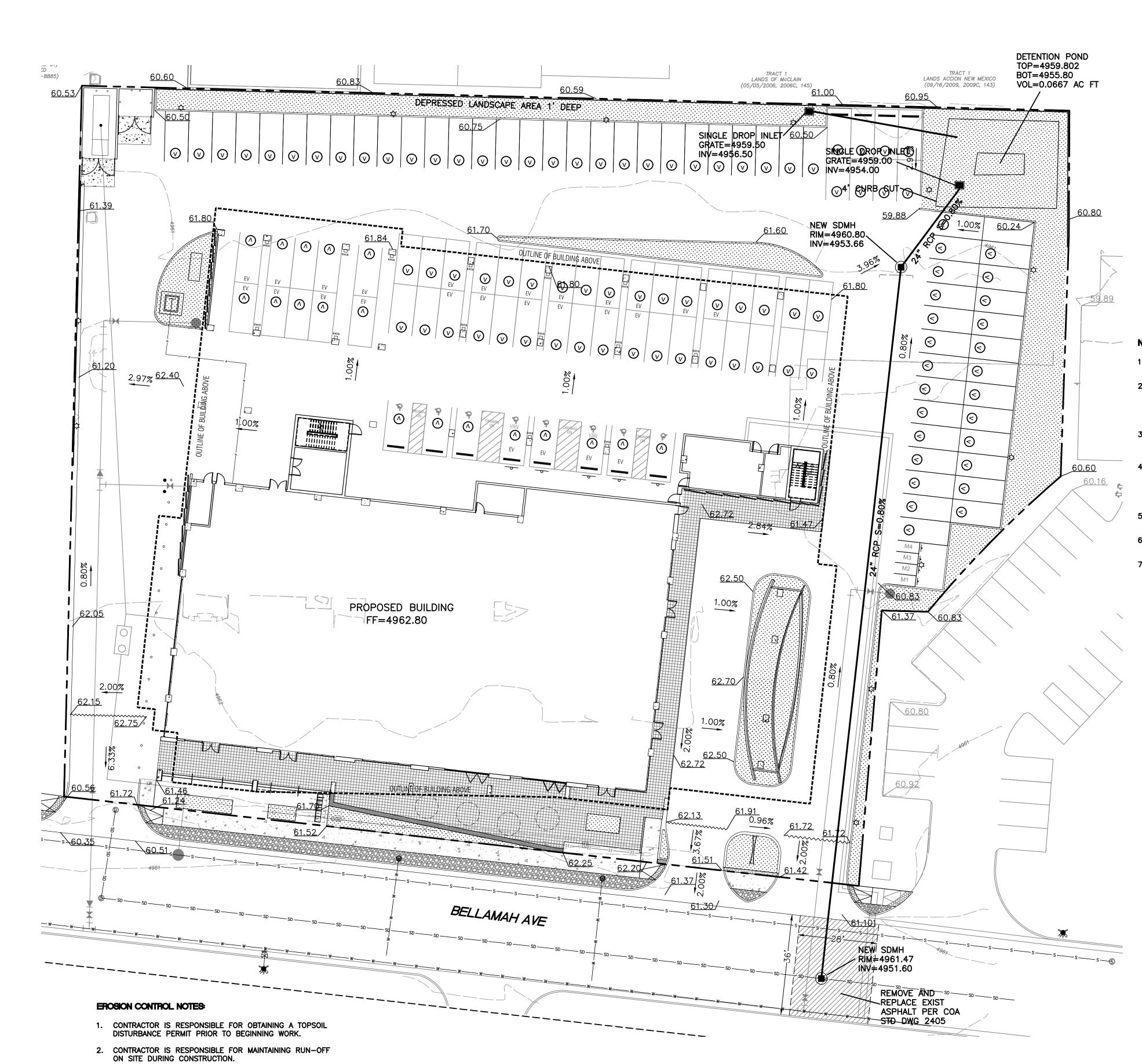
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3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT

4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT

FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM

ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC

WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE

BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL

6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL

THAT GETS INTO EXISTING RIGHT-OF-WAY.

OF ANY PROJECT.

LEGEND CURB & GUTTER BOUNDARY LINE ---- RIGHT-OF-WAY BUILDING PROPOSED SIDEWALK ======= EXISTING CURB & GUTTER LANDSCAPING EXISTING INDEX CONTOUR EXISTING CONTOUR EXISTING STORM SEWER **EXISTING SANITARY SEWER** PROPOSED DROP INLET

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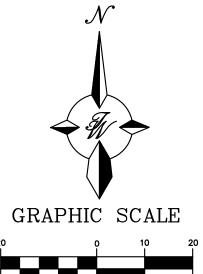
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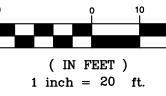
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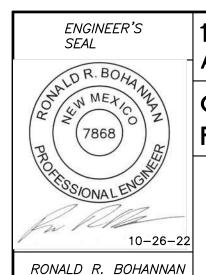
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TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100

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GR-1 JOB # 2022047

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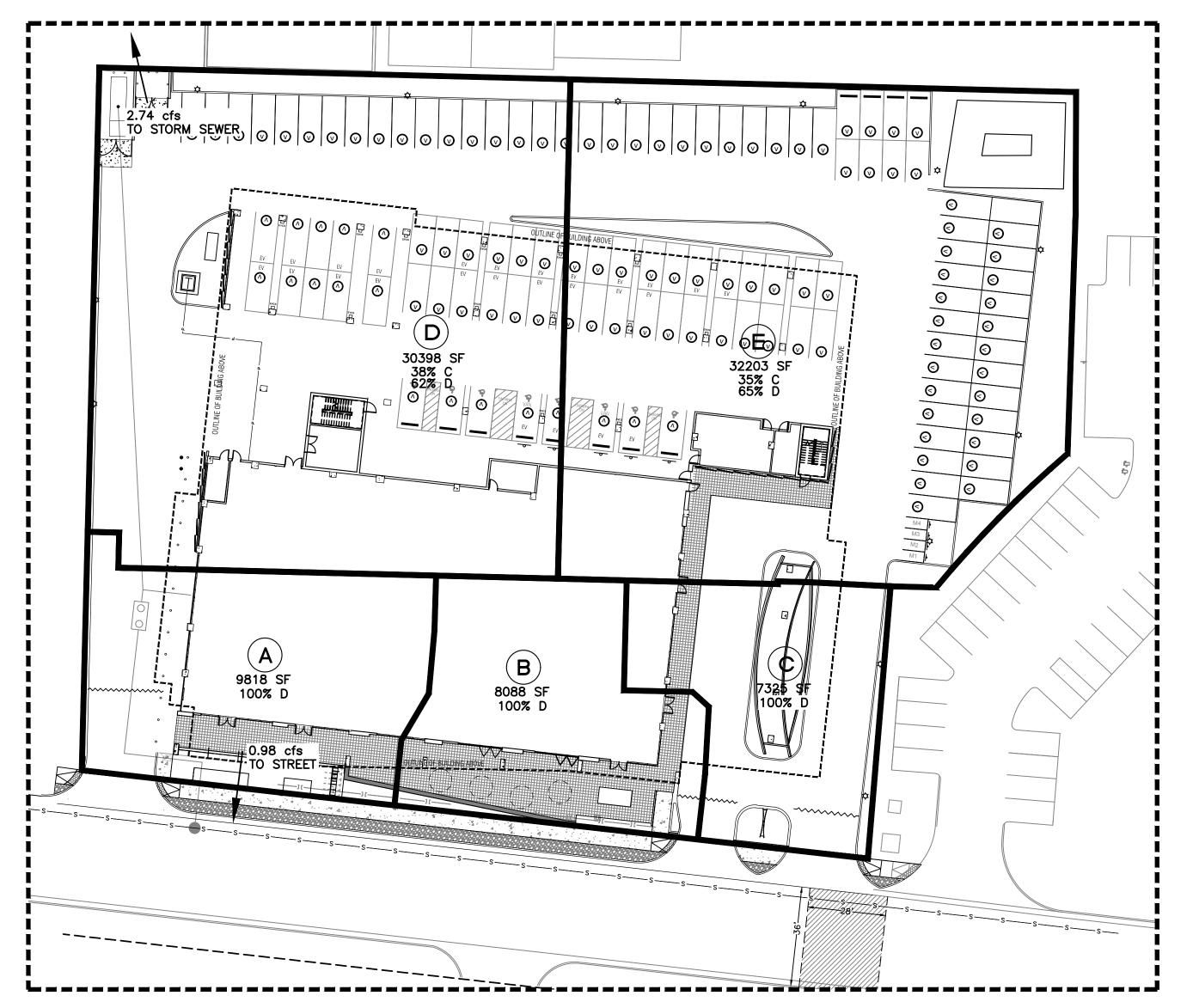
DATE

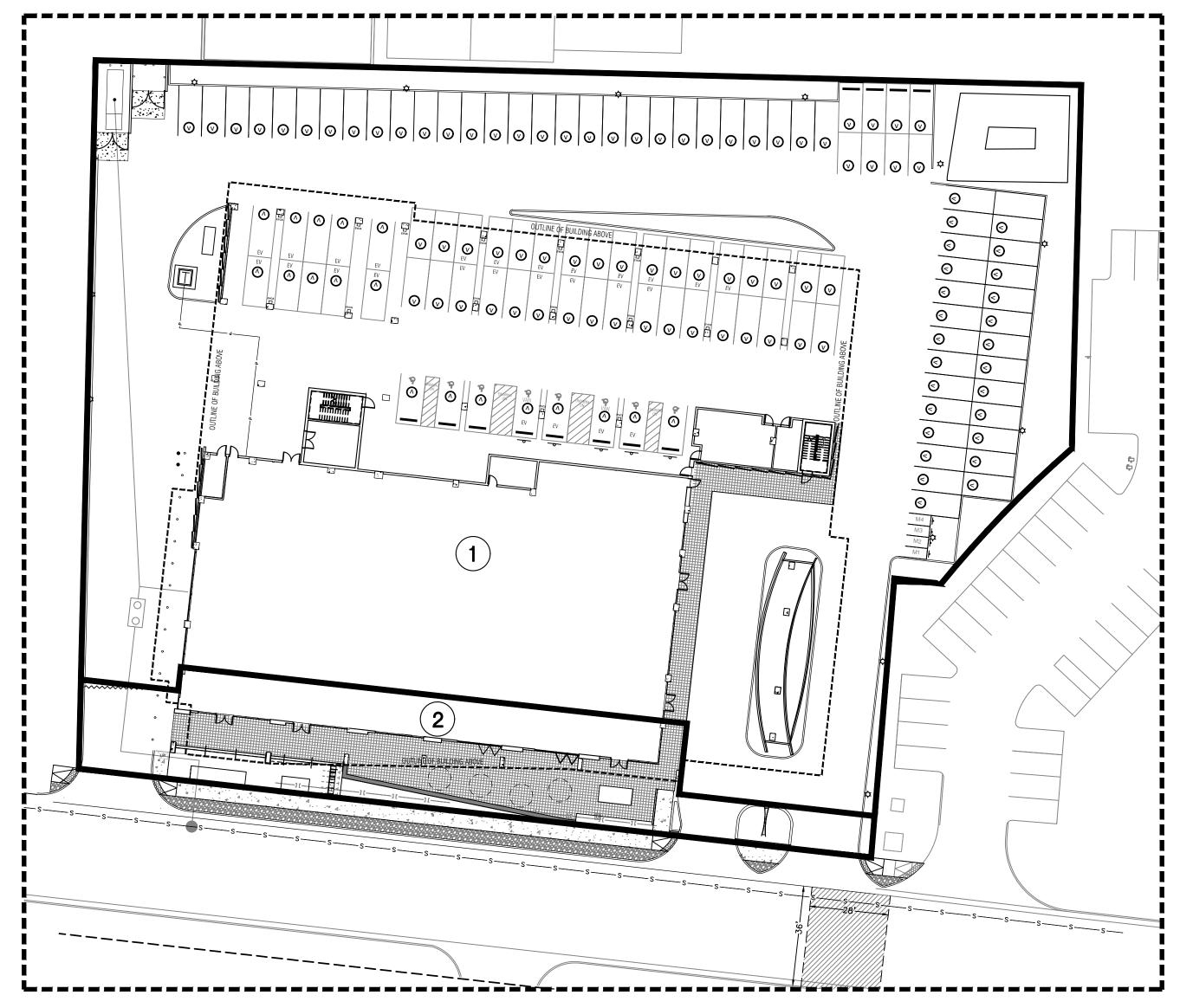
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AND APPROVED BY THE ENGINEER.



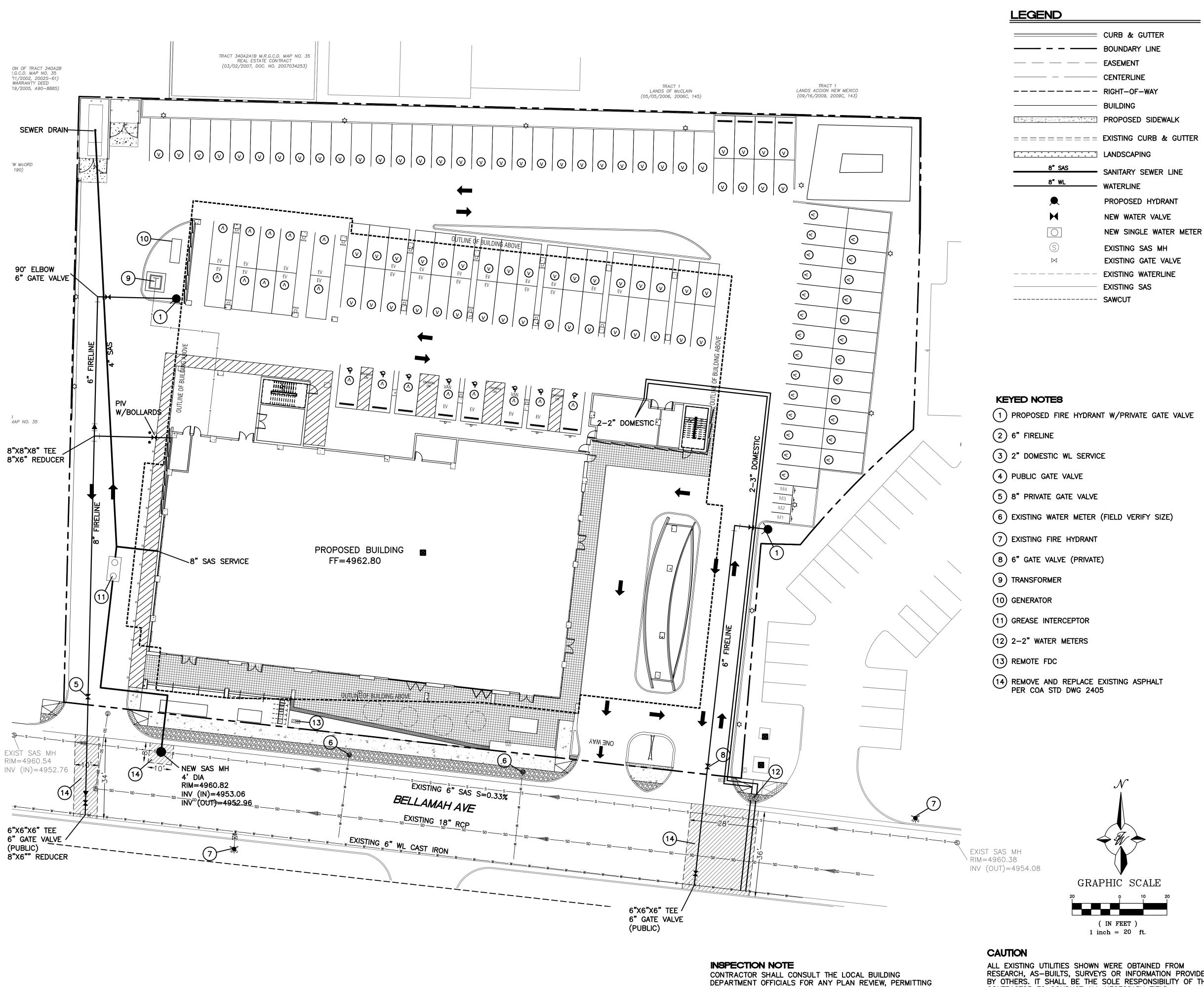


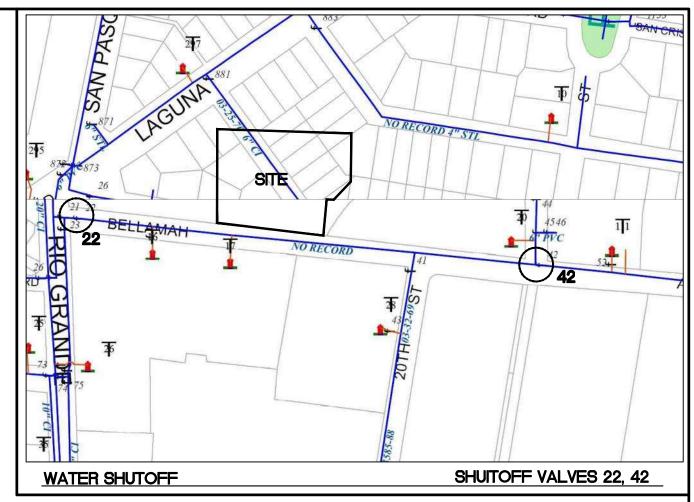
EXISTING BASINS

Area (acres) 3	% 0% 0% 0% 0% 0%	tment A (acres) 0 0 0 0 tment A (acres)	% 0% 0% 0% 0%	atment B (acres) 0.00 0.00 0.00 0.00 0.00	% 0% 0% 0% 38% 35%	ment C (acres) 0.00 0.00 0.00 0.27 0.26	% 100% 100% 100% 62% 65%	ment D (acres) 0.23 0.19 0.17 0.44 0.48	Weighted E (in) 2.330 2.330 2.330 1.836 1.875	100-Year Volume (ac-ft) 0.044 0.036 0.033 0.109 0.116 0.337	Flow cfs 0.98 0.81 0.73 2.74 2.87 8.13	Weighted E (in) 1.510 1.510 1.510 1.510 1.119 1.150	10-Year Volume (ac-ft) 0.028 0.023 0.021 0.066 0.071	Flow cfs 0.61 0.50 0.46 1.62 1.71
(acres) 3	% 0% 0% 0% 0% 0%	(acres) 0 0 0 0 0 tment A (acres)	% 0% 0% 0% 0% 0%	(acres) 0.00 0.00 0.00 0.00 0.00	% 0% 0% 0% 38% 35%	(acres) 0.00 0.00 0.00 0.27 0.26	% 100% 100% 100% 62% 65%	0.23 0.19 0.17 0.44 0.48	Weighted E (in) 2.330 2.330 2.330 1.836 1.875	Volume (ac-ft) 0.044 0.036 0.033 0.109 0.116 0.337	0.98 0.81 0.73 2.74 2.87	Weighted E (in) 1.510 1.510 1.510 1.510 1.119 1.150	Volume (ac-ft) 0.028 0.023 0.021 0.066 0.071	0.61 0.50 0.46 1.62
(acres) 3	% 0% 0% 0% 0% 0%	(acres) 0 0 0 0 0 tment A (acres)	% 0% 0% 0% 0% 0%	(acres) 0.00 0.00 0.00 0.00 0.00	% 0% 0% 0% 38% 35%	(acres) 0.00 0.00 0.00 0.27 0.26	% 100% 100% 100% 62% 65%	0.23 0.19 0.17 0.44 0.48	Weighted E (in) 2.330 2.330 2.330 1.836 1.875	Volume (ac-ft) 0.044 0.036 0.033 0.109 0.116 0.337	0.98 0.81 0.73 2.74 2.87	Weighted E (in) 1.510 1.510 1.510 1.510 1.119 1.150	Volume (ac-ft) 0.028 0.023 0.021 0.066 0.071	0.61 0.50 0.46 1.62
(acres) 3	% 0% 0% 0% 0% 0%	(acres) 0 0 0 0 0 tment A (acres)	% 0% 0% 0% 0% 0%	(acres) 0.00 0.00 0.00 0.00 0.00	% 0% 0% 0% 38% 35%	(acres) 0.00 0.00 0.00 0.27 0.26	% 100% 100% 100% 62% 65%	0.23 0.19 0.17 0.44 0.48	(in) 2.330 2.330 2.330 1.836 1.875	0.044 0.036 0.033 0.109 0.116 0.337	0.98 0.81 0.73 2.74 2.87	(in) 1.510 1.510 1.510 1.119 1.150	0.028 0.023 0.021 0.066 0.071	0.61 0.50 0.46 1.62
0.23 0.19 0.17 0.71 0.74 Area (acres) 1.81	0% 0% 0% 0% 0% Treat %	0 0 0 0 0	0% 0% 0% 0% 0%	0.00 0.00 0.00 0.00 0.00	0% 0% 0% 38% 35%	0.00 0.00 0.00 0.27 0.26	100% 100% 100% 62% 65%	0.23 0.19 0.17 0.44 0.48	2.330 2.330 2.330 1.836 1.875	0.044 0.036 0.033 0.109 0.116 0.337	0.98 0.81 0.73 2.74 2.87	1.510 1.510 1.510 1.119 1.150	0.028 0.023 0.021 0.066 0.071	0.61 0.50 0.46 1.62
0.19 0.17 0.71 0.74 Area (acres)	0% 0% 0% 0% Treat %	0 0 0 0	0% 0% 0% 0%	0.00 0.00 0.00 0.00	0% 0% 38% 35% Treat	0.00 0.00 0.27 0.26	100% 100% 62% 65%	0.19 0.17 0.44 0.48	2.330 2.330 1.836 1.875	0.036 0.033 0.109 0.116 0.337	0.81 0.73 2.74 2.87	1.510 1.510 1.119 1.150	0.023 0.021 0.066 0.071	0.50 0.46 1.62
Area (acres)	0% 0% Treat %	tment A (acres)	0% 0% 0% Trea	0.00 0.00	38% 35% Treat	0.27 0.26	62% 65%	0.44 0.48	1.836 1.875	0.109 0.116 0.337	2.74 2.87	1.119 1.150	0.066 0.071	0.46 1.62
Area (acres)	0% Treat	tment A (acres)	0% Trea	0.00	35% Treat	0.27 0.26	65%	0.48	1.875	0.116 0.337	2.87	1.150	0.071	1.62
Area (acres)	Treat	tment A (acres)	Trea	atment B	Treat					0.337				1.71
(acres)	%	(acres)	CHOOS TO THE	50 %	9000	ment C	Treat				8.13		10-Year	
(acres)	%	(acres)	CHOOS TO THE	50 %	9000	ment C	Treat				3227,1110000		10-Year	
(acres)	%	(acres)	CHOOS TO THE	50 %	9000	ment C	Treat			100-Year			10-Year	
(acres)	%	(acres)	CHOOS TO THE	50 %	9000	ment C	Treat			Charles and the Control of the Contr	1		ASSESSMENT OF THE PARTY OF THE	
1.81			CHOOS TO THE	50 %	9000		IICa	ment D	Weighted E	Volume	Flow	Weighted E	Volume	Flow
	0%			(doles)	%	(acres)	%	(acres)	(in)	(ac-ft)	cfs	(in)	(ac-ft)	cfs
0.22		0	12%	0.22	0%	0.00	90%	1.63	2.193	0.330	7.57	1.395	0.210	4.61
0.22	0%	0	3%	0.01	0%	0.00	97%	0.21	2.284	0.042	0.94	1.474	0.027	0.59
								1.84		0.372	8.52			
								Req	uired Ponding	0.036				
Equations:			Excess Precipitation, E (inches)				Peak Discharge (cfs/acre)							
+ Eb*Ab + Ed	c*Ac + E	d*Ad / (Tota	al Area)	Zone 2				Zone 2	100-Year	10 - Year				
		,		Ea	0.62	0.15		Qa	1.71	0.41				
D * Total Area				Eb	0.8	0.3		Qb	2.36	0.95				
				Ec	1.03	0.48		Qc	3.05	1.59				
* Ab + Qc * A	c + Qd *	Ad		Ed	2.33	1.51		Q _d	4.34	2.71				
6	D * Total Area	D * Total Area			Ea Eb D * Total Area Eb Ec Ec	a + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area) Zone 2 100-Year Ea 0.62 D * Total Area Eb 0.8 Ec 1.03	E _a 0.62 0.15 D * Total Area E _b 0.8 0.3 E _c 1.03 0.48	Ea D * Total Area Ea 0.8 Ec 1.03 1.03 0.48	a + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area) Zone 2 100-Year 10 - Year Zone 2 Ba 0.62 0.15 Qa D * Total Area Eb 0.8 0.3 Qb Ec 1.03 0.48 Qc	a + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area) Zone 2 100-Year 10 - Year Zone 2 100-Year D * Total Area E _a 0.62 0.15 Q _a 1.71 E _b 0.8 0.3 Q _b 2.36 E _c 1.03 0.48 Q _c 3.05	a + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area) Zone 2 100-Year 10 - Year Zone 2 100-Year 10 - Year D * Total Area E _a 0.62 0.15 Q _a 1.71 0.41 D * Total Area E _b 0.8 0.3 Q _b 2.36 0.95 E _c 1.03 0.48 Q _c 3.05 1.59	a + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area) Zone 2 100-Year 10 - Year Zone 2 100-Year 10 - Year D * Total Area E _b 0.8 0.3 Q _b 2.36 0.95 E _c 1.03 0.48 Q _c 3.05 1.59	Ea 0.62 0.15 Qa 1.71 0.41 D* Total Area Eb 0.8 0.3 Qb 2.36 0.95 Ec 1.03 0.48 Qc 3.05 1.59	Ea 0.62 0.15 Qa 1.71 0.41 D* Total Area Eb 0.8 0.3 Qb 2.36 0.95 Ec 1.03 0.48 Qc 3.05 1.59

PROPOSED BASINS

ENGINEER'S SEAL	1921 BELLAMAH AVE NW ALBUQUERQUE, NM	<i>DRAWN BY</i> pm
DR. BOHANA W METICO Z	·	<i>DATE</i> 10-26-22
7868	CONCEPTUAL BASIN MAP	DRAWING
		SHEET #
10-26-22	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109	GR-2
RONALD R. BOHANNAN P.E. #7868	(505) 858-3100 www.tierrawestllc.com	<i>JOB #</i> 2022047

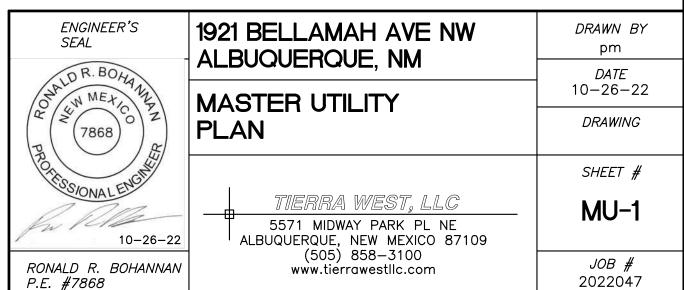




THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/.

GENERAL UTILITY NOTES:

- 1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
- 2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- 3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
- 4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- 5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- 6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
- 7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE
- 8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- 9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
- 10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
- 11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
- 12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
- 13. ALL BUILDINGS CONSTRUCTION TYPE IS II-B
- 14. THRUST BLOCKING SHALL BE INSTALLED AT ALL CHANGES OF DIRECTION AND ELEVATION, ON ALL WATERMAIN. STAINLESS STEEL RODDING SHALL BE EXTENDED ALONG THE NEXT FULL—LENGTH PIPE AND ANCHORED ON THE PIPE BELL, OR MECHANICAL FITTING, ADDITIONALLY, AT ALL LOCATIONS OF THRUST BLOCKING. MEGA—LUGS ARE NOT TO BE ALLOWED.



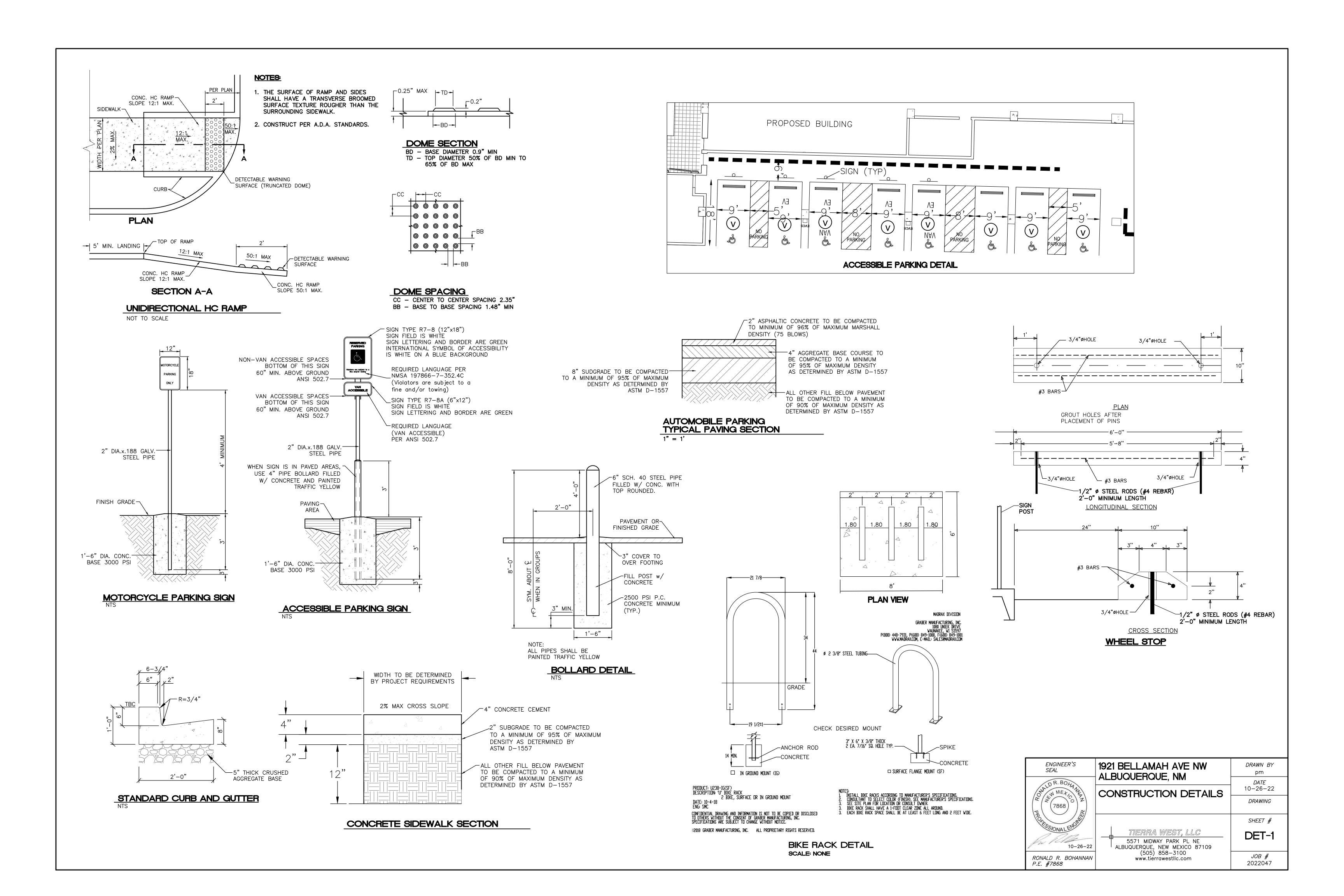
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS—BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH

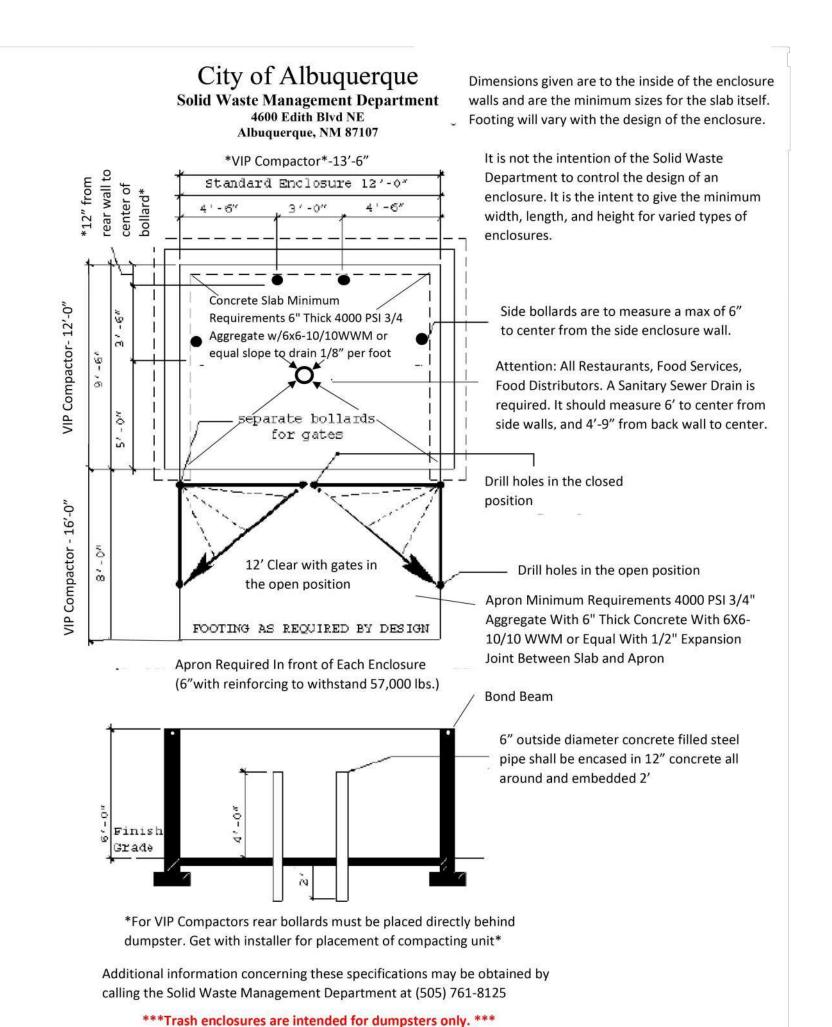
AND APPROVED BY THE ENGINEER.

REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY

BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL

BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

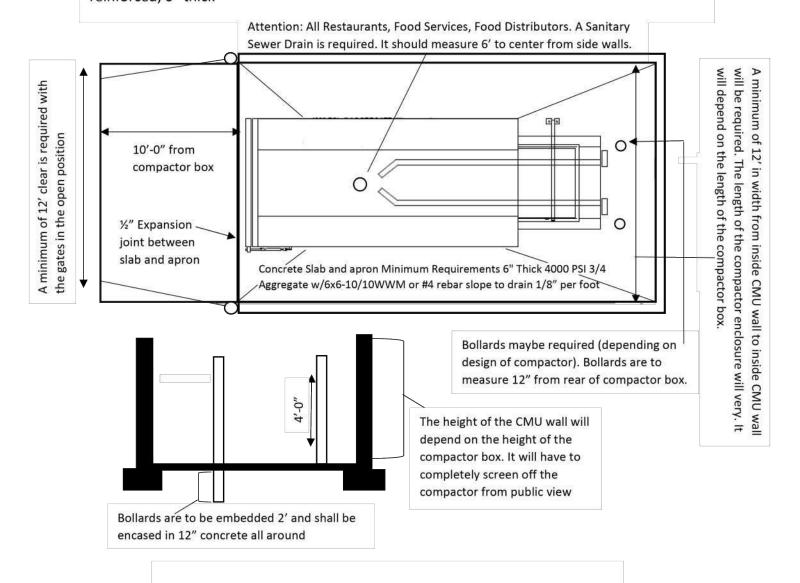




City of Albuquerque
Solid Waste Management Department
4600 Edith Blvd NE

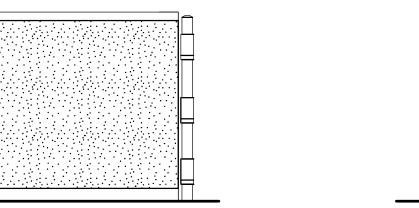
Albuquerque, NM 87107

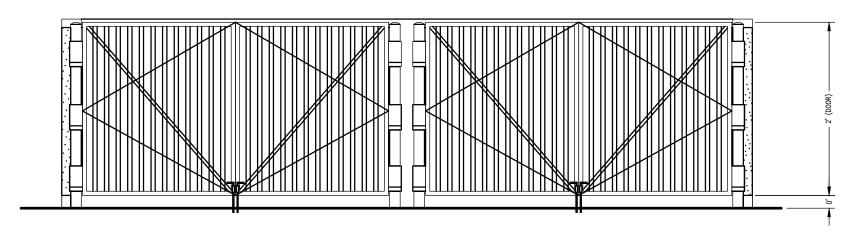
Concrete pad is to be a minimum of 12' wide with a length of 10' greater than the combined length of the compactor and the container (box). Concrete is to be a minimum of 4000 PSI, steel reinforced, 6" thick



Additional information concerning these specifications may be obtained by calling the Solid Waste Management Department at (505) 761-8125

***Trash enclosures are intended for dumpsters only. ***





Side Elevation

1/4" = 1'-0"

If casters are required for service a level smooth hard surface (Asphalt, Concrete) is required from the edge of the apron

Back Elevation

1/4" = 1'-0"

Side Elevation

1/4" = 1'-0"

Pront Elevation

1/4" = 1'-0"

ENGINEER'S SEAL	1921 BELLAMAH AVE NW ALBUQUERQUE, NM	<i>DRAWN BY</i> pm
LD R. BOHY	ALBOQULI IQUL, INIVI	DATE
ON METIC ZZ	CONSTRUCTION DETAILS	10-26-22
	SONOTHOUTION BETAILS	DRAWING
R (7868)		
PROPERTY OF THE PROPERTY OF TH		SHEET #
10-26-22		DET-3
RONALD R. BOHANNAN P.E. #7868	(505) 858-3100 www.tierrawestllc.com	<i>JOB #</i> 2022047

FORM P: PRE-APPROVALS/SIGNATURES

	Legal Description & Location: TR A-2 PLAT OF TRACTS A-1, A-2 AND A-3 LANDS OF WILLIAM DREW MCCORD ZONE ATLAS PAGE: H-13-Z							
Jo	b Description: Hotel							
×	Hydrology:							
	 Grading and Drainage Plan AMAFCA Bernalillo County NMDOT MRGCD Renée C. Brissette	X Approved Approved Approved Approved Approved Approved Approved		A A A				
	Hydrology Department	Date	_					
×	Transportation:							
	 Traffic Circulations Layout (TCL Traffic Impact Study (TIS) Neighborhood Impact Analysis Bernalillo County MRCOG NMDOT MRGCD 	(NIA) — A — A — A — A — A — A — A	oproved oproved oproved oproved oproved oproved	NA				
	Transportation Department	Date	_					
×	Albuquerque Bernalillo County	Water Utility Authori	ty (ABCWUA):	·				
	 Water/Sewer Availability Staten ABCWUA Development Agreer ABCWUA Service Connection A 	ment	Ap	proved <u>x</u> l	NA NA NA			
	Sarah Luckis ABCWUA	11/9/2022 Date	-					
	Infrastructure Improvements Agree Solid Waste Department Signature Fire Marshall Signature on the pla	e on the plan A	oproved oproved oproved	NA NA NA				

^{*} Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 12/2020)

	it #: Hydrology File #:
Zone Atlas Page: H-13-Z DRB#: EPC#:	
Legal Description:	
City Address: 1921 Bellamah Ave NW Albuquerque, N	NM 87104
Applicant: Tierra West LLC C	Contact: Amanda Herrera
Address: 5571 Midway Park Pl NE, Albuquer	que NM 87109
Phone#: 505-858-3100 Fax#:	E-mail: aherrera@tierrawestllc.c
Development Information	
Build out/Implementation Year:2023	Current/Proposed Zoning:NR-LM
Project Type: New: (x) Change of Use: () Same Use/Unc	hanged: () Same Use/Increased Activity: ()
Proposed Use (mark all that apply): Residential: () Office: () Retail: () Mixed-Use: (x)
Describe development and Uses: The Site contains 118-	Unit hotel and 15,200 SF of Retail.
Days and Hours of Operation (if known): 24 hours a day,	7 days a week
Facility_	
Building Size (sq. ft.): 15,200 SF GFA	
Number of Residential Units:	
Number of Commercial Units: 118 Unit Hotel Rooms	
Traffic Considerations	
Expected Number of Daily Visitors/Patrons (if known):*	_
Expected Number of Employees (if known):*	
Expected Number of Delivery Trucks/Buses per Day (if known):	*
Trip Generations during PM/AM Peak Hour (if known):*	th ed. 311- Suites Hotel, 814 Variety Store
Driveway(s) Located on: Street NameBellamah Ave NW	: AM-26Ent/22Exit PM-36Enter/36Exit
Adjacent Roadway(s) Posted Speed: Street Name Bellamah Av	re NW Posted Speed 25 mph
Rio Grande Street Name	Blvd NW Posted Speed 35 mph

^{*} If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required

Roadway Information (adjacent to site)
Comprehensive Plan Corridor Designation/Functional Classification: Local (arterial, collector, local, main street)
Comprehensive Plan Center Designation: Urban Center (urban center, employment center, activity center)
Jurisdiction of roadway (NMDOT, City, County): City
Adjacent Roadway(s) Traffic Volume: COG ID# 14373 Volume-to-Capacity Ratio: Volume-to-Capacity R
Adjacent Transit Service(s): Bus Route 37, Bus Route 36 Nearest Transit Stop(s): Bus Stop Route 37 on Rio Grande
Is site within 660 feet of Premium Transit?: No
Current/Proposed Bicycle Infrastructure: Paved bike lanes along Rio Grande Blvd heading Northbound and Southbound. (bike lanes, trails)
Current/Proposed Sidewalk Infrastructure: Sidewalk along adjacent roadways of Rio Grande and Bellamah Ave
Relevant Web-sites for Filling out Roadway Information:
City GIS Information: http://www.cabq.gov/gis/advanced-map-viewer
Comprehensive Plan Corridor/Designation: https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use (map after Page 5-5)
Road Corridor Classification: https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId =
Traffic Volume and V/C Ratio: https://www.mrcog-nm.gov/285/Traffic-Counts and https://public.mrcog-nm.gov/taqa/
Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)
TIS Determination
<u>Note:</u> Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.
Traffic Impact Study (TIS) Required: Yes [] No W Borderline []
Thresholds Met? Yes [] No
Mitigating Reasons for Not Requiring TIS: Previously Studied: []
Notes:
MP P.E. 8/17/2022

DATE

TRAFFIC ENGINEER

Submittal

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to the City Traffic Engineer mgrush@cabq.gov. Call 924-3362 for information.

Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

- 1. Access -- location and width of driveways
- 2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
- 3. Bike Lanes (check for designated bike routes, long range bikeway system) (check MRCOG Bikeways and Trails in the 2040 MTP map)
- 4. Location of nearby multi-use trails, if applicable (check MRCOG Bikeways and Trails in the 2040 MTP map)
- 5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
- 6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
- 7. Distance from access point(s) to nearest adjacent driveways/intersections.
- 8. Note if site is within a Center and more specifically if it is within an Urban Center.
- 9. Note if site is adjacent to a Main Street.
- 10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.

SAWMILL lot H

Trip Generation Data (ITE Trip Generation Manual - 11th Edition)

	USE (ITE CODE)		24 HR VOL	A. M. PE	EAK HR.	P. M. PE	AK HR.
COMMENT	DESCRIPTION		GROSS	ENTER	EXIT	ENTER	EXIT
	Summary Sheet	Units					
Tract No.	All Suites Hotel (311)	118.00	497	18	16	20	21
Tract No.	Variety Store (814)	4.60	293	8	6	16	15
	Subtotal	•	790	26	22	36	36

Land Use: 311 **All Suites Hotel**

Description

An all suites hotel is a place of lodging that provides sleeping accommodations, a small restaurant and lounge, and small amounts of meeting space. Each suite includes a sitting room and separate bedroom. An in-room kitchen is often provided. Hotel (Land Use 310), business hotel (Land Use 312), motel (Land Use 320), and resort hotel (Land Use 330) are related uses.

Additional Data

Six studies provided information on occupancy rates at the time the studies were conducted. The average occupancy rate for these studies was approximately 74 percent.

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip generation resource page on the ITE website (https://www.ite.org/technical-resources/topics/tripand-parking-generation/).

The sites were surveyed in the 1980s, the 1990s, and the 2010s in Florida, Georgia, Minnesota, Montana, Virginia, and Washington.

For all lodging uses, it is important to collect data on occupied rooms as well as total rooms in order to accurately predict trip generation characteristics for the site.

Source Numbers

216, 436, 818, 870, 872, 1048



Land Use: 814 Variety Store

Description

A variety store is a retail store that sells a broad range of inexpensive items often at a uniform price. A variety store is commonly referred to as a "dollar store." Items typically sold at a variety store include kitchen supplies, cleaning products, home office supplies, food products, household goods, decorations, and toys. The store can be stand-alone or located within a shopping plaza or strip retail plaza. Free-standing discount store (Land Use 815) is a related use.

Additional Data

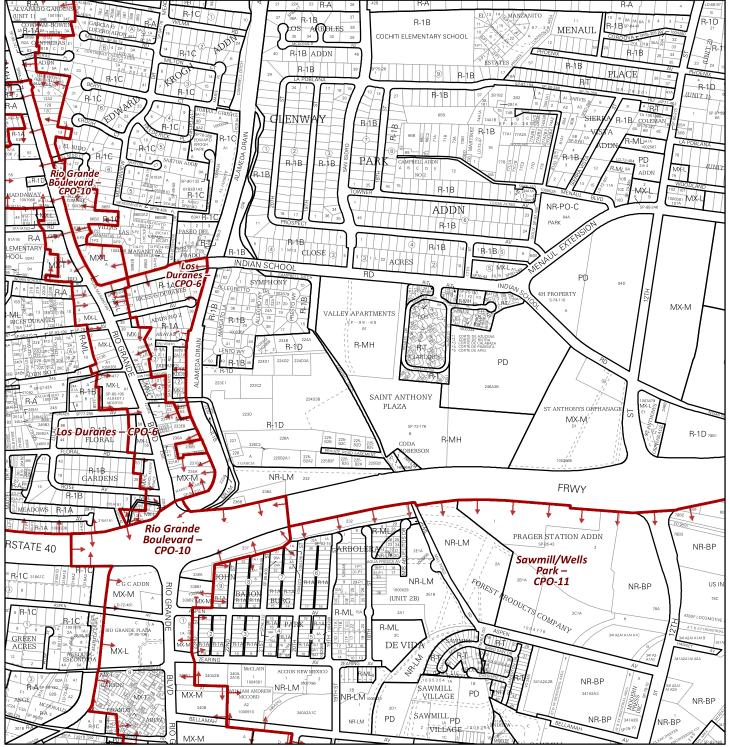
The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip generation resource page on the ITE website (https://www.ite.org/technical-resources/topics/trip-and-parking-generation/).

The sites were surveyed in the 2010s and 2020s in Florida, Minnesota, and Texas.

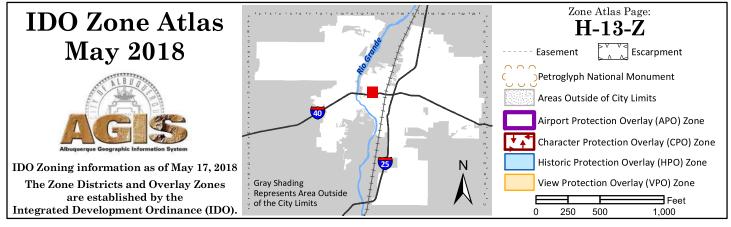
Source Numbers

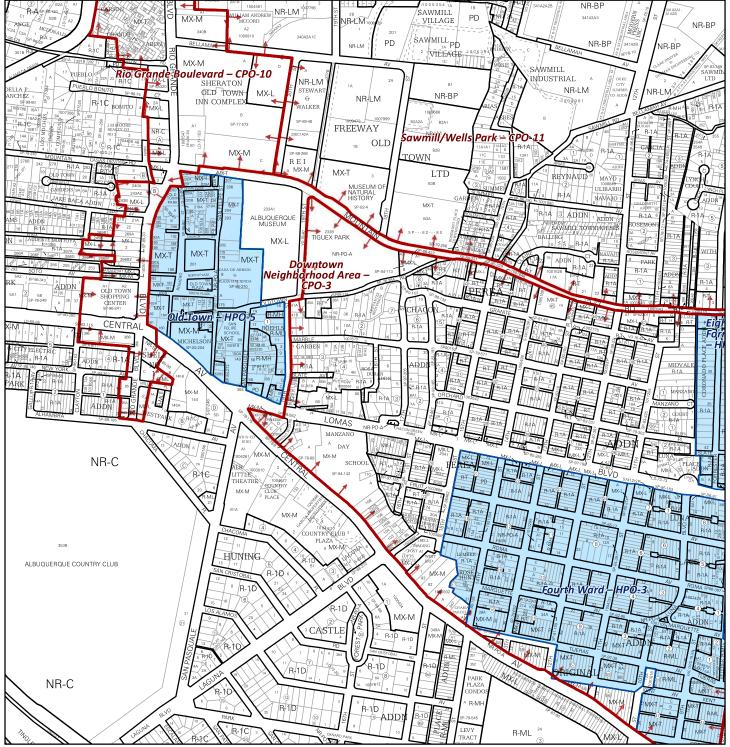
731, 869, 879, 880, 1053, 1063



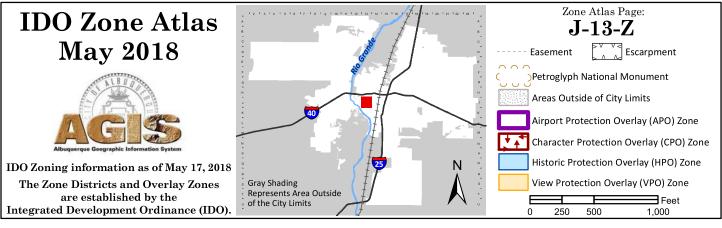


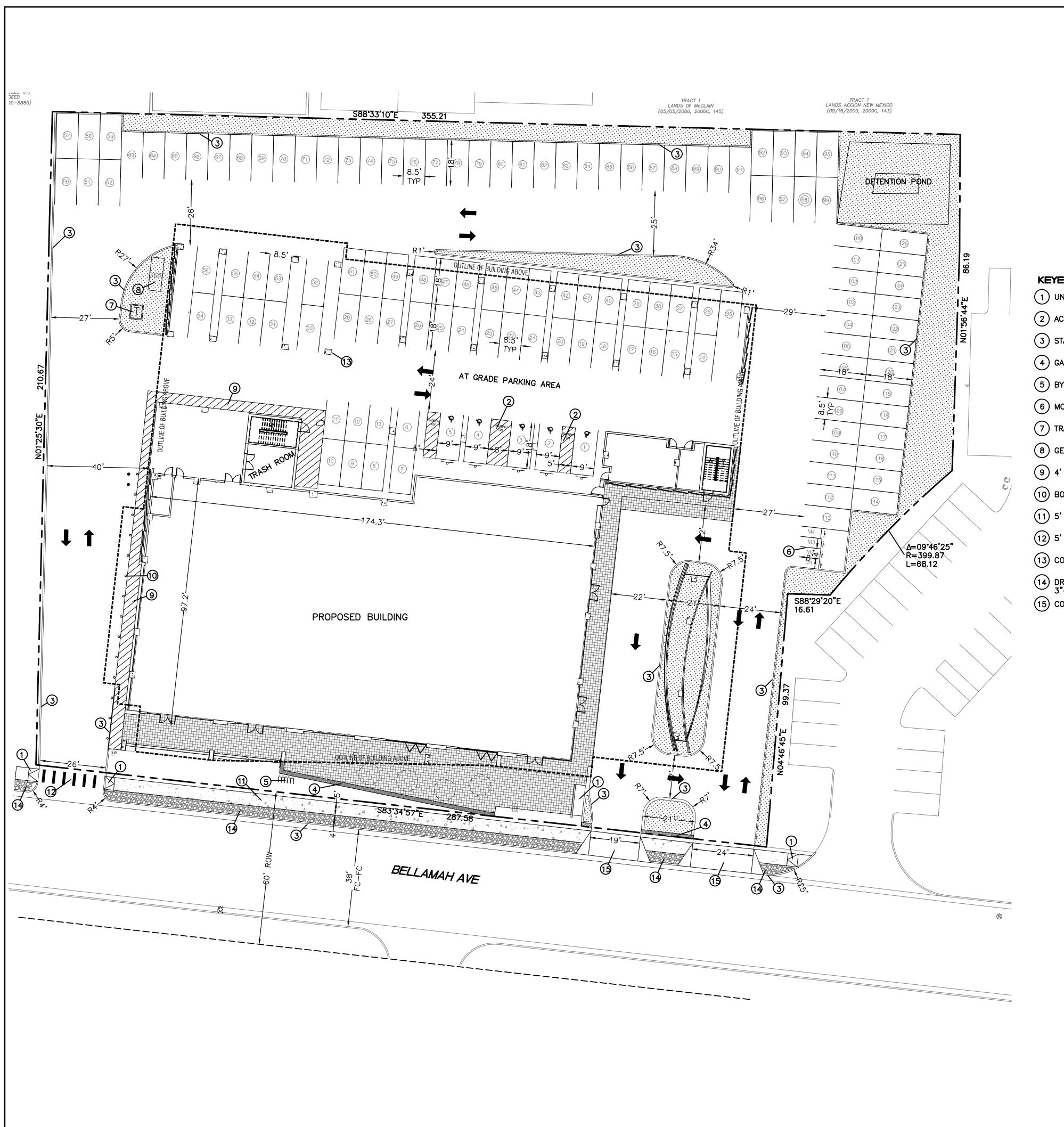
For more details about the Integrated Development Ordinance visit: http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance

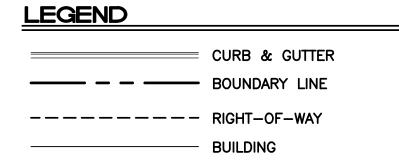




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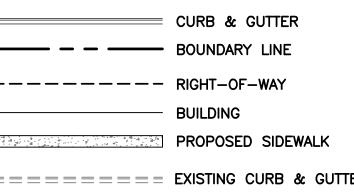


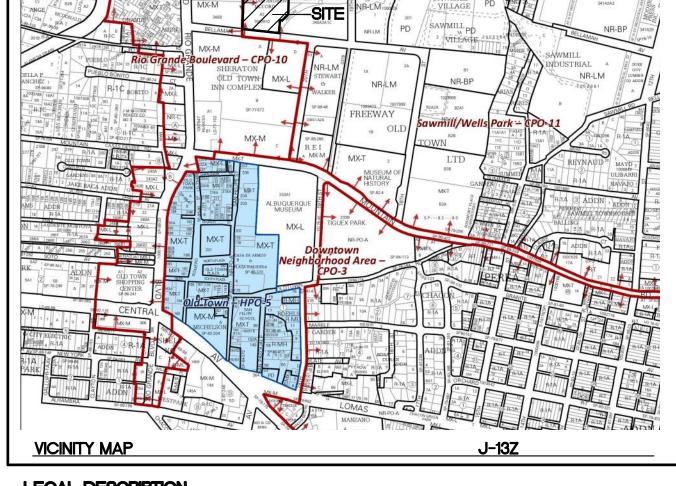
PROPOSED SIDEWALK \equiv \equiv \equiv \equiv \equiv \equiv \equiv EXISTING CURB & GUTTER LANDSCAPING

KEYED NOTES

- 1 UNIDIRECTIONAL ACCESSIBLE RAMP SEE DETAIL SHEET SP-2
- (2) ACCESSIBLE PARKING PER ADA STANDARDS
- 3 STANDARD CURB AND GUTTER PER COA STD DWG 2415A
- 4 GANBION WALL
- 5 BYCICLE RACK SEE DETAIL SHEET SP-2
- 6 MOTORCYCLE SPACE W/SIGN
- 7 TRANSFORMER
- 8 GENERATOR
- 9 4' PEDESTRIAN ACCESS
- 10 BOLLARD (TYP)
- 11) 5' CONCRETE WALK PER COA STD DWG 2430
- 12) 5' PEDESTRIAN CROSSWALK
- (13) COLUMNS (TYP)
- DRAINAGE SWALE WITH

 3"-4" FRACTURED ROCK ON MIRAFI FABRIC (15) CONCRETE DRIVWAY PAD PER COA STD DWG 2425





LEGAL DESCRIPTION

TRACTS A-1, A-2 AND A-3 LANDS OF WILLIAM ANDREW MCCORD

SITE DATA

COMMERCIAL PROPOSED USAGE

LOT AREA 88460 SF (2.03 ACRES)

ZONING MX-4

BUILDING AREA 134709 SF BUILDING COVERAGE

BUILDING SETBACK

REAR SIDE

PARKING REQUIRED

GUEST PROVIDED 118 SPACES (1 SPACE PER GUEST ROOM)
126 SPACES

5 SPACES (1 VAN) 5 SPACES ACCESSIBLE SPACES REQUIRED

ACCESSIBLE SPACES PROVIDED NOTE - ALL PARKING TO BE VALET PARKING

MOTORCYCLE SPACES REQUIRED 4 SPACES MOTORCYCLE SPACES PROVIDED 4 SPACES

BICYCLE SPACES REQUIRED

BICYCLE SPACES PROVIDED

LANDSCAPE REQUIRED 6656 SF (15% NET AREA, FIRST FLOOR=44082 SF)
LANDSCAPE PROVIDED 8070 SF

PROJECT NUMBER:

APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated ______, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right—of—Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division Date Date Water Utility Development Parks & Recreation Department Date Date City Engineer * Environmental Health Department (conditional) Solid Waste Management Date

Date

pm

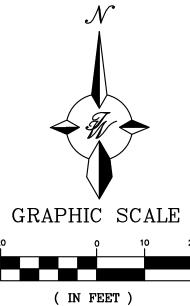
DATE

* Environmental Health, if necessary

P.E. #7868

DRB Chairperson, Planning Department





1 inch = 20 ft.