



**FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022****\_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov). Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

**SITE PLAN DOCUMENTATION**

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form P2 with all the submittal items checked/marked
- \_\_\_ 3) Form P with signatures from Hydrology, Transportation, and ABCWUA
- \_\_\_ 4) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- \_\_\_ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- \_\_\_ 7) Infrastructure List, if required for building of public infrastructure
- \_\_\_ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):  
[https://documents.cabq.gov/planning/development-review-board/Sensitive\\_lands\\_analysis\\_form.pdf](https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf)
- \_\_\_ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic\\_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

**SUPPORTIVE DOCUMENTATION**

- \_\_\_ 10) Completed Site Plan Checklist
- \_\_\_ 11) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- \_\_\_ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- \_\_\_ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

\_\_\_ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

\_\_\_ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

**PUBLIC NOTICE DOCUMENTATION**

\_\_\_ 17) Sign Posting Agreement

\_\_\_ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

\_\_\_ Office of Neighborhood Coordination neighborhood meeting inquiry response

\_\_\_ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

\_\_\_ Completed neighborhood meeting request form(s)

\_\_\_ If a meeting was requested or held, copy of sign-in sheet and meeting notes

\_\_\_ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

\_\_\_ Office of Neighborhood Coordination notice inquiry response

\_\_\_ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

\_\_\_ Proof of emailed notice to affected Neighborhood Association representatives

**\_ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form P2 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Site Plan and related drawings
- \_\_\_ 5) Infrastructure List, if require
- \_\_\_ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- \_\_\_ 7) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 8) Solid Waste Department signature on Site Plan
- \_\_\_ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- \_\_\_ 10) Approved Grading and Drainage Plan
- \_\_\_ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)







**GENERAL NOTES**

A. APPLICABLE PLANS: REFER TO DESIGN GUIDELINES, SHEET 3 OF 4 AND 4 OF 4 OF PROJECT DESIGN STANDARD GUIDELINES, THIS PACKAGE.

**KEYED NOTES**

1. EXISTING PROPERTY LINE
2. PROPOSED PROPERTY LINE
3. PRIMARY DEVELOPMENT SIGN
4. FULL ACCESS
5. RIGHT-IN / RIGHT-OUT / LEFT-IN ACCESS
6. RIGHT-OUT ONLY ACCESS
7. EXISTING ACCESS TO BE CLOSED. ALTERNATE EQUAL ACCESS TO BE PROVIDED WITH PROPOSED ALLEY IMPROVEMENTS.
8. PROPOSED 10'-0" ALLEY DEDICATION
9. PROPOSED 10'-0" PRIVATE UTILITY EASEMENT
10. PROPOSED 20'-0" WATERLINE EASEMENT TO ABCWUA

**SITE DATA**

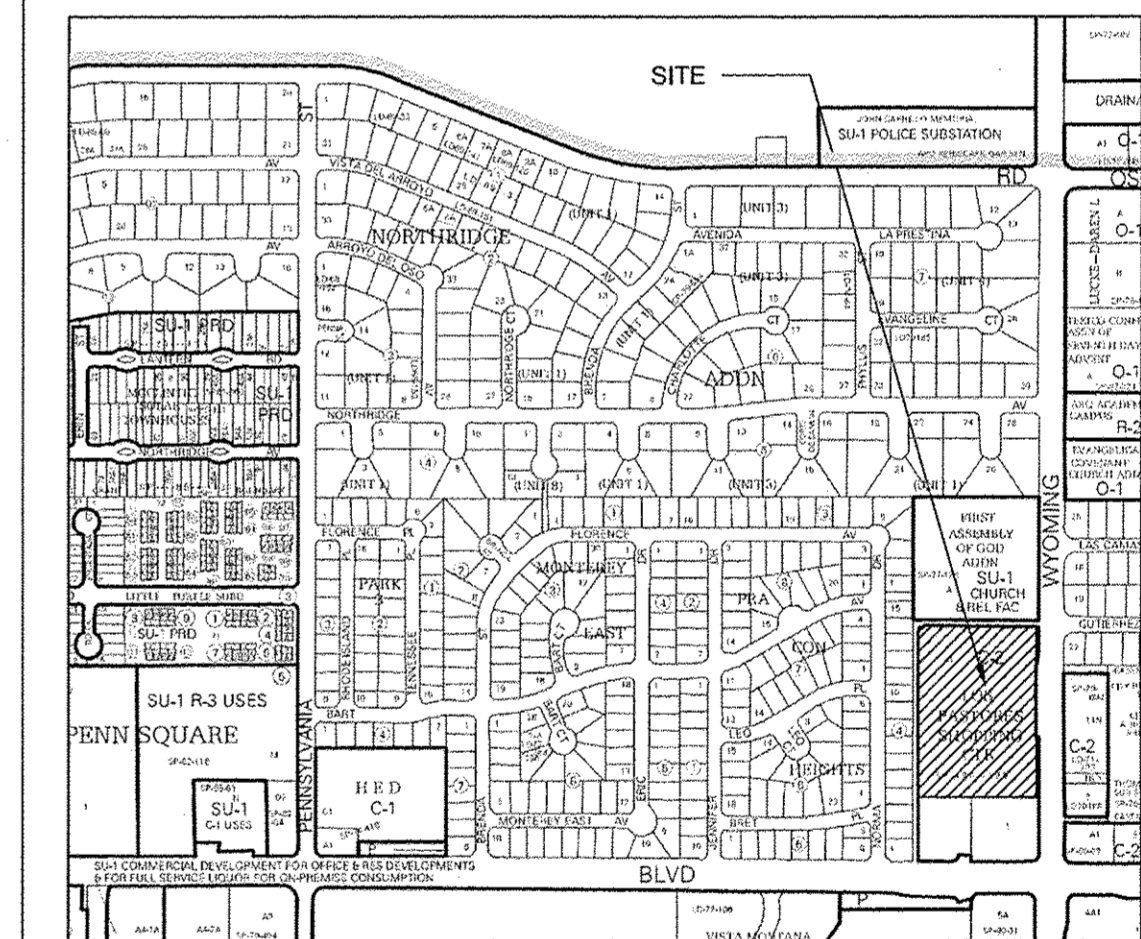
**LEGAL DESCRIPTION:**  
TRACT A-1 REDIVISION OF TR A (NOW COMPRISING TRS A1 & A2)  
LOS PASTORES SHOPPING CENTER EXC SLWY PORT & PORT OUT  
TO R/W CONT 5.77 AC +-  
Acres: 6.75  
ZONE:  
C-2

MAXIMUM BUILDING HEIGHT: SEE DESIGN STANDARDS  
BUILDING SETBACKS: SEE DESIGN STANDARDS  
PROPOSED USES: RETAIL, RESTAURANT, OR OFFICE  
MAXIMUM FAR: 1.0

**SITE PLAN LEGEND**

- PEDESTRIAN INGRESS / EGRESS
- VEHICULAR INGRESS / EGRESS
- PROPERTY LINE EXISTING AS NOTED
- PROPERTY LINE PROPOSED AS NOTED
- PROPOSED ALLEY IMPROVEMENTS

**LEGEND**



**VICINITY MAP**

Zone Atlas Map F-19 -Z

FORMER PROJECT NUMBER:

PROJECT NUMBER: 1010550

APPLICATION NUMBER:

Is an Infrastructure List Required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**SITE DEVELOPMENT PLAN APPROVAL:**

*[Signature]* 6/1/16  
TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

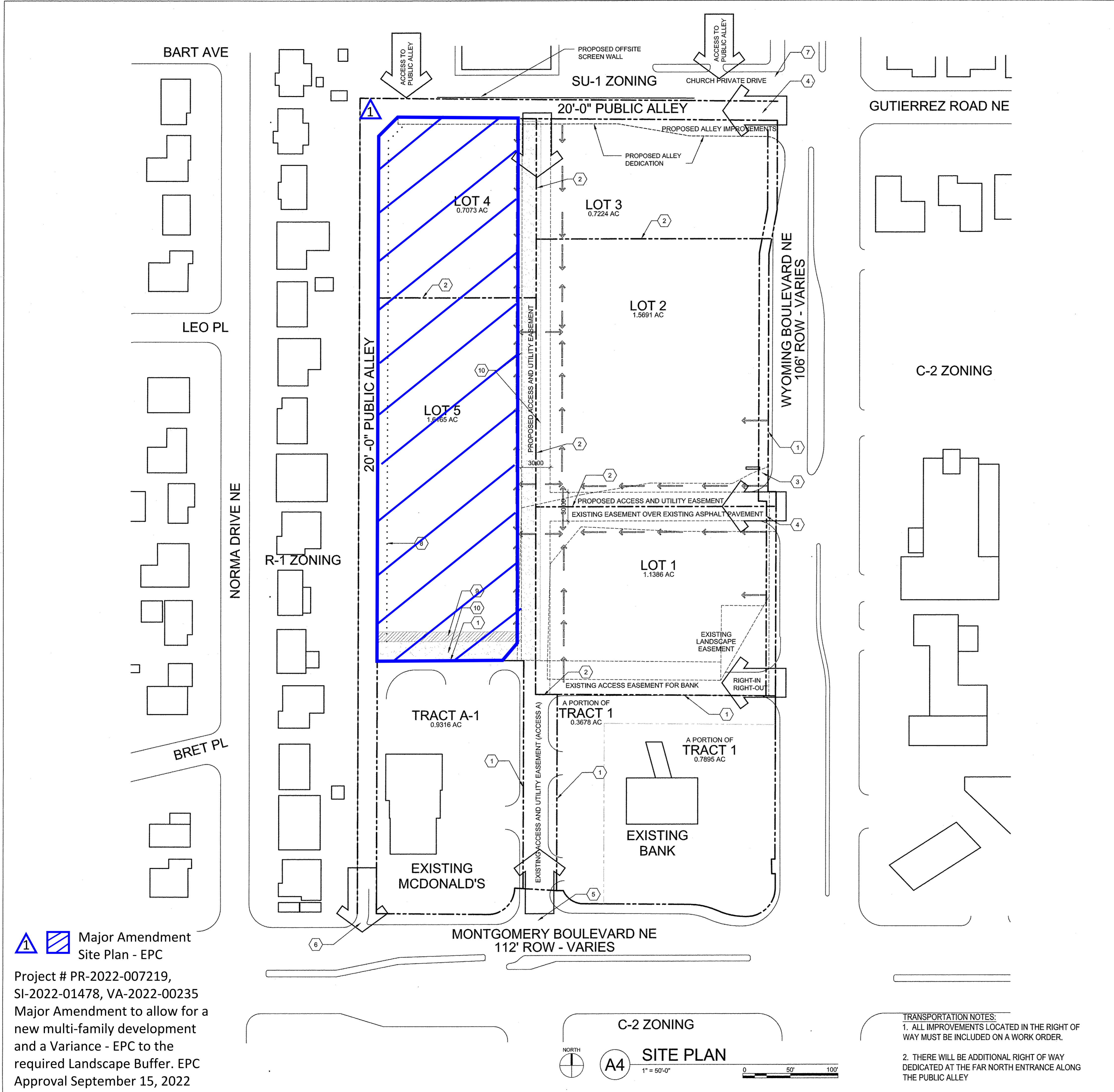
*[Signature]* 06/01/16  
ABCWUA DATE

*[Signature]* 6/1/16  
PARKS AND RECREATION DEPARTMENT DATE

*[Signature]* 6/1/16  
CITY ENGINEER DATE

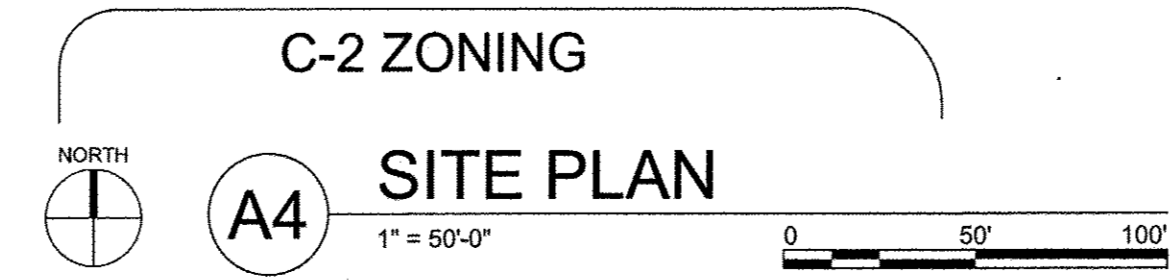
SOLID WASTE MANAGEMENT DATE  
*[Signature]* 6-1-18  
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

**TRANSPORTATION NOTES:**  
1. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.  
2. THERE WILL BE ADDITIONAL RIGHT OF WAY DEDICATED AT THE FAR NORTH ENTRANCE ALONG THE PUBLIC ALLEY

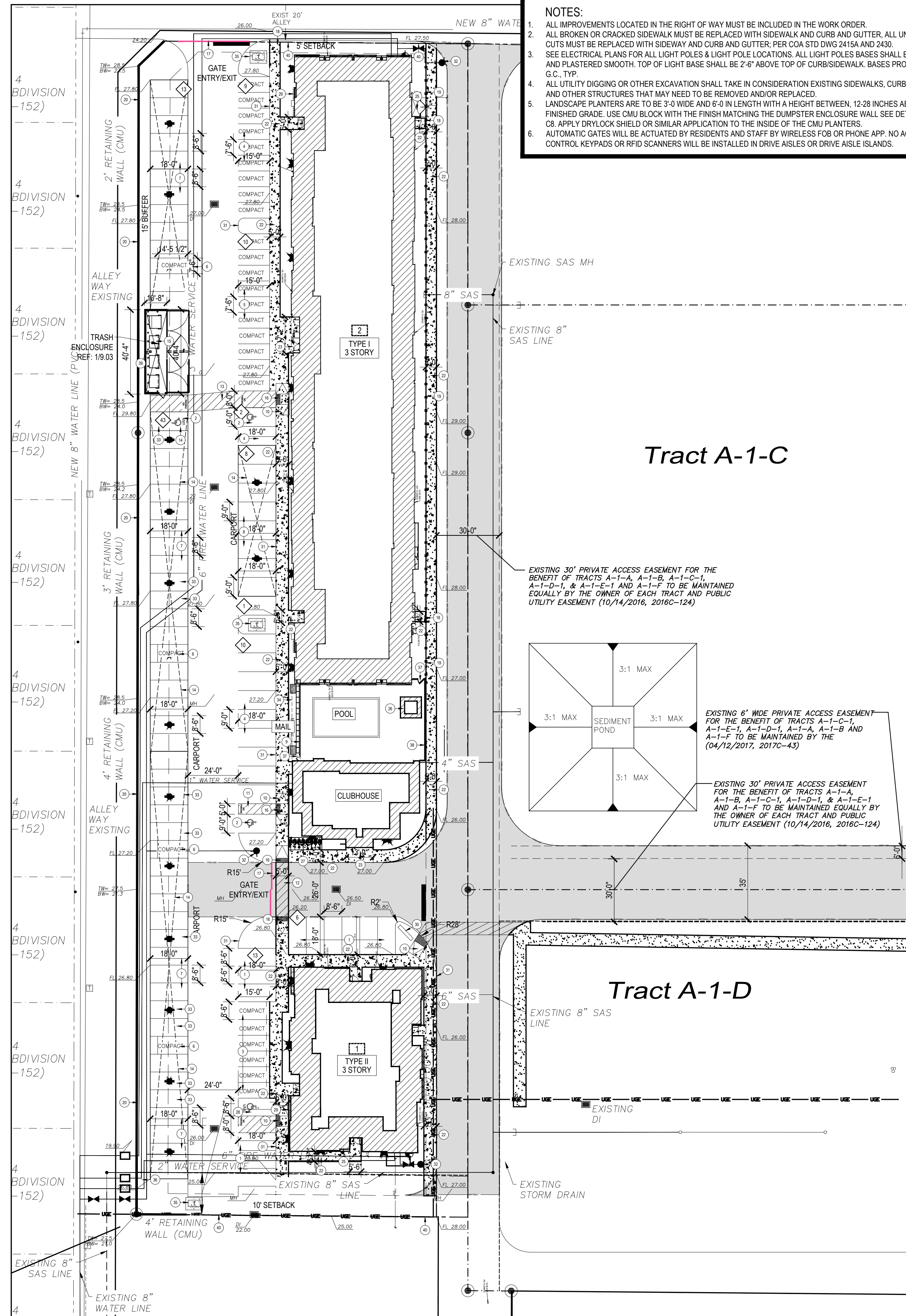


**Major Amendment  
Site Plan - EPC**

Project # PR-2022-007219,  
SI-2022-01478, VA-2022-00235  
Major Amendment to allow for a  
new multi-family development  
and a Variance - EPC to the  
required Landscape Buffer. EPC  
Approval September 15, 2022







### NOTES

- NOTES:**
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN THE WORK ORDER.
  - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER. ALL UNUSED CURBS CUTS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER. PER COA STD DWG 2415A AND 2430.
  - SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C. TYP.
  - ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS AND OTHER STRUCTURES THAT WILL NEED TO BE REMOVED AND/OR REPLACED.
  - LANDSCAPE PLANTERS ARE TO BE 3'-0" WIDE AND 6'-0" IN LENGTH WITH A HEIGHT BETWEEN 12-28 INCHES ABOVE FINISHED GRADE. USE CMU BLOCK WITH THE FINISH MATCHING THE DUMPSTER ENCLOSURE WALL. SEE DETAIL SHEET C8. APPLY DRYLOCK SHIELD OR SIMILAR APPLICATION TO THE INSIDE OF THE CMU PLANTERS.
  - AUTOMATIC GATES WILL BE ACTUATED BY RESIDENTS AND STAFF BY WIRELESS FOB OR PHONE APP. NO ACCESS CONTROL KEYPADS OR RFID SCANNERS WILL BE INSTALLED IN DRIVE AISLES OR DRIVE AISLE ISLANDS.

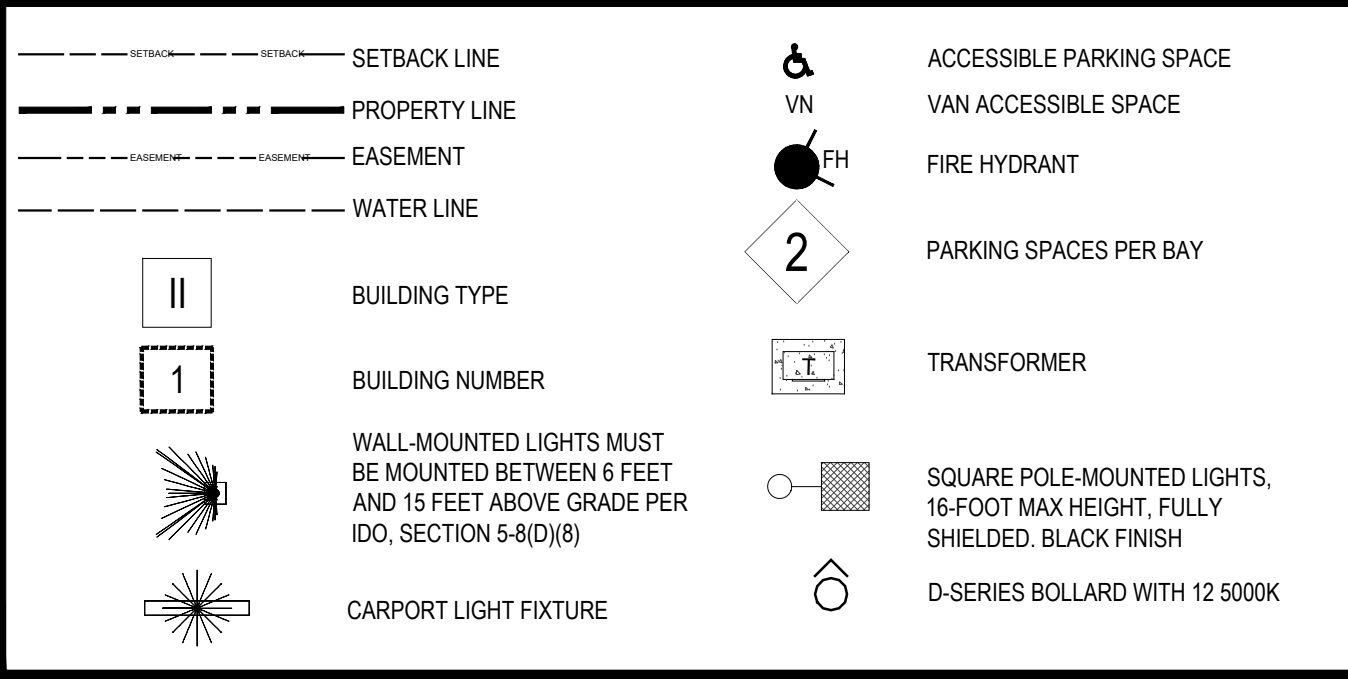
### SITE NOTES

- ALL DEVELOPMENT SHALL COMPLY WITH THE APPROVED SITE PLAN FOR SUBDIVISION DESIGN STANDARDS AND THE IDO.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND U.N.O.
- ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM RESIDENTIAL DISTRICTS AND WILL BE FULLY SHIELDED TO COMPLY WITH THE NIGHT SKY PROTECTION ACT AND IDO SECTION 14-16-5-8 OUTDOOR LIGHTING.
- ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, GAS METERS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS. SIDEWALK SLOPES SHALL NOT EXCEED 5%, CROSS SLOPES NOT TO EXCEED 2% (REF. CIVIL) SHOULD SLOPES EXCEED 5% WALK WILL BE CONSIDERED A RAMP AND BE REQUIRED TO HAVE HANDRAILS ON EACH SIDE AS WELL AS LEVEL LANDINGS AT THE TOP AND BOTTOM OF RAMP FOR A DISTANCE OF 60" BEYOND THE EXTENT OF THE RAMP.
- ALL ACCESSIBLE DOOR ENTRANCES SHALL HAVE NO MORE THAN A 2% SLOPE FOR A DISTANCE OF 66" PERPENDICULAR TO THE DOOR INCLUDING AN 18" MANEUVERING CLEARANCE ON FULL SIDE OF DOOR.
- NO EXPOSED CONDUIT, PIPING, ETC. IS ALLOWED ON THE EXTERIOR FACE OF THE BUILDING.
- PROVIDE 18" MANEUVERING CLEARANCE ON FULL SIDE OF ALL PEDESTRIAN GATES. MAINTAIN GROUND SLOPE AT 2%.
- 4'2" HIGH GUARDRAIL, MEASURED FROM FINISH FLOOR OF WALKING SURFACE, SHALL BE PLACED ALONG WALKING SURFACE MORE THAN 30" ABOVE THE ADJACENT GRADING.
- GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
- VISIBILITY, LANDSCAPING, FENCING, AND SIGNS SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3 AND 8 FEET IN HEIGHT (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED IN THE CLEAR SIGHT TRIANGLE.
- ALL PUBLIC INFRASTRUCTURE WITHIN CITY RIGHT-OF-WAY SHALL BE INCLUDED IN A PUBLIC WORK ORDER.
- SIDEWALKS IN RIGHT-OF-WAY SHALL BE 5 FEET WIDE PER NEW DMP STANDARDS.
- ALL SIGNAGE SHALL BE BUILDING MOUNTED AND SHALL FOLLOW THE SITEPLAN SUBDIVISION. SEPARATE SIGN PERMITS SHALL BE REQUIRED FOR ANY BUILDING MOUNTED SIGNS OVER 24 SQUARE FEET IN AREA. DIRECTIONAL SIGNS ARE NOT REGULATED BY THE IDO AND SHALL BE PURSUANT TO CITY STANDARDS.

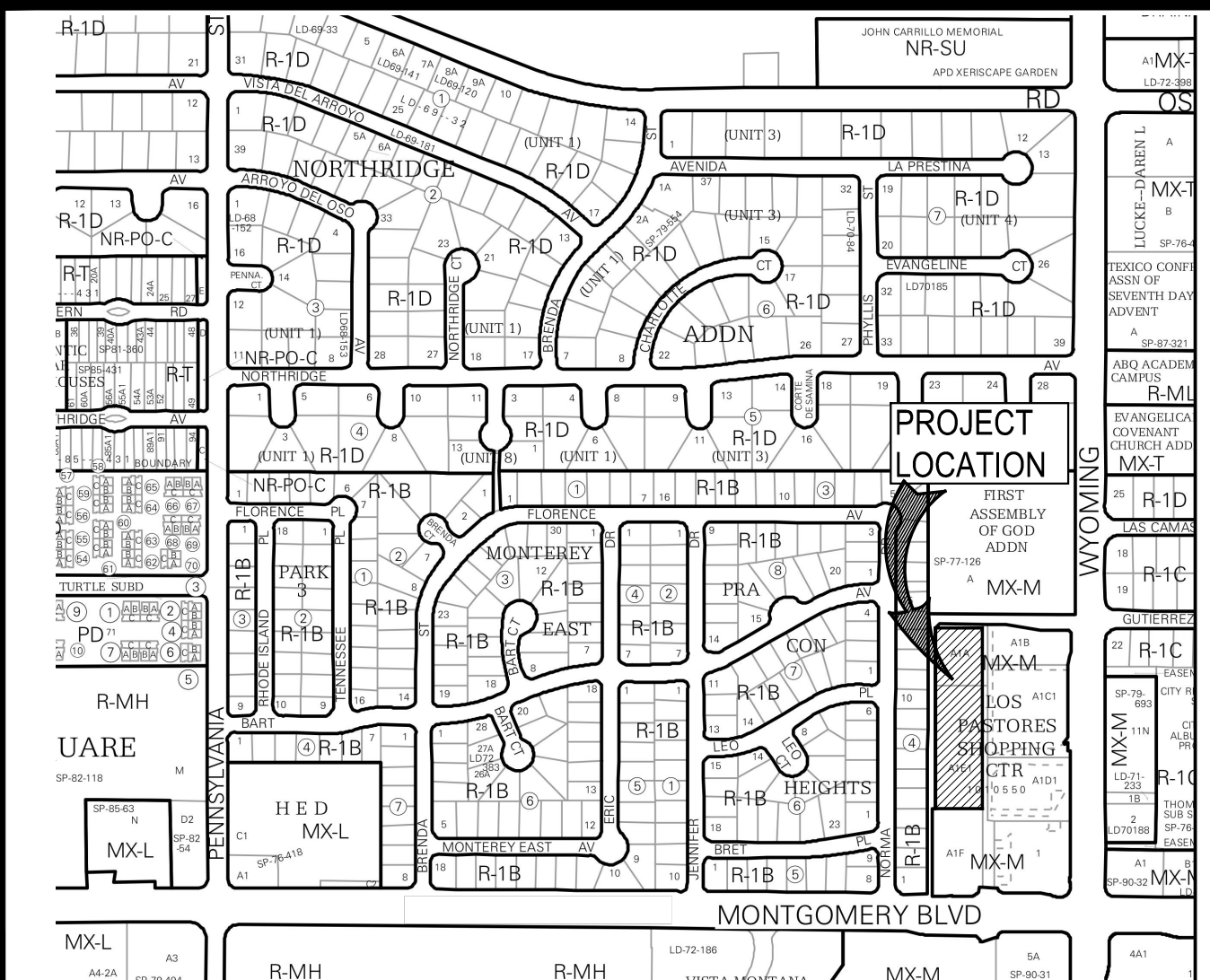
### KEYNOTES

- 8'-5" x 18'-0" PARKING SPACE WITH 2' OVERHANG, TYPICAL. SEE DETAIL 3/A9.01.
- 9'-0" x 18'-0" ACCESSIBLE PARKING SPACE WITH 2' OVERHANG AND WITH SIGNAGE, SEE DETAIL 2/A9.01.
- 8'-5" x 15'-0" COMPACT PARKING SPACE WITH 2' OVERHANG, TYPICAL.
- 9'-0" x 18'-0" PARKING SPACE WITH 2' OVERHANG, TYPICAL. SEE DETAIL 3/A9.01.
- 7'-5" x 15'-0" COMPACT PARKING SPACE WITH 2' OVERHANG, TYPICAL.
- 7'-5" x 14'-5" COMPACT PARKING SPACE WITH 2' OVERHANG, TYPICAL.
- 8'-5" x 18'-0" CARPORT PARKING SPACE WITH 2' OVERHANG, TYPICAL.
- 9'-0" x 18'-0" CARPORT PARKING SPACE WITH 2' OVERHANG, TYPICAL.
- 8" CMU MAIL WALL.
- ACCESSIBLE RAMP, SEE DETAIL 4/A9.01.
- 5' WIDE ACCESSIBLE CROSSWALK WITH SCORED CONCRETE.
- 6' WIDE ACCESSIBLE CROSSWALK WITH SCORED CONCRETE.
- 6' WIDE ACCESSIBLE CROSSWALK WITH SCORED CONCRETE.
- INDICATES LOCATION OF CARPORT PARKING STRUCTURE. SEE DETAIL 6-9/A9.01.
- TRASH ENCLOSURE WITH (3/4" & 1/8" YARD TRASH BINS, 8" CMU WITH STUCCO, WALL PAINTED TO MATCH BUILDINGS.
- FLARED RAMP, SEE DETAIL 10/A9.01.
- REMOTE CONTROL ENTRY/EXIT VEHICULAR GATE 6'-0" HIGH. REF 9/A9.02. PROVIDE KNOX BOX PER FIRE DEPARTMENT.
- 6" PEDESTRIAN ENTRY GATE. REF 07/A9.02.
- 6" WROUGHT IRON PERIMETER VIEW FENCE. REF 04/A9.02.
- RETAINING WALL (3'-4" MAX.) SCREEN WALL (3 FT. MIN.) TOTAL HEIGHT OF SCREEN RETAINING WALL NOT TO EXCEED 8'.
- 5'-0" SIDEWALK, CONNECTING TO PUBLIC WAYS, TYPICAL ON SITE AND CONNECTING BUILDINGS.
- 4'-11, 5'-0", 5'-6", AND 6'-0" SIDEWALK.
- 13'-0" SIDEWALK, CONNECTING TO CLUBHOUSE.
- 17'-2" SIDEWALK, CONNECTING TO BUILDING TYPE I.
- FIRE RISER LOCATION, SEE BUILDING PLANS, ALL BUILDINGS SHALL HAVE PIV.
- POOL EQUIPMENT ROOM.
- BIKE PARKING RACK PER IDO SECTION 5-5(5).
- VAN ACCESSIBLE PARKING SPACE.
- ELECTRICAL METERS.
- PROPERTY SIGN. REF. 08/A9.02.
- 6" CONCRETE CURB & GUTTER, SEE 07/A9.03.
- FIRE HYDRANT.
- ELECTRICAL VEHICLE CHARGING STATION WITH SIGNAGE.
- MAIL SHADE STRUCTURE.
- TRANSFORMER.
- IRRIGATION METER.
- POOL GATE. REF. 06/A9.02.
- OPAQUE SCREEN OF CMU WALL.
- 20' LIGHT POLE, BLACK FINISH. PER SITE PLAN SUBDIVISION, THE HEIGHT OF THE STREET LIGHTS AND OFF-STREET PARKING AREAS LIGHTS SHALL NOT EXCEED 26 FEET.
- PROPERTY LINE.

### SYMBOL LEGEND



### VICINITY MAP



### PROJECT DATA

<b>ZONING:</b> MX-M	<b>BUILDING HEIGHT:</b>
PER TABLE 2-4.5, ZONE DISTRICT	ALLOWED: 48 FEET
SETBACKS PROVIDED: REQUIRED: PROVIDED:	PROVIDED: 37'-7" FEET
FRONT SETBACK: 5 FEET	
SIDE SETBACK: 10 FEET	
REAR SETBACK: 15 FEET	

**LEGAL DESCRIPTION**  
TRACT A-1 REDIVISION OF TR A (NOW COMPRIS TRS A1 & A2) LOS PASTORES SHOPPING CENTER EXC SLOWY & PORT OUT TO R/W CONT 5.77 AC--

**ZONE ATLAS:** F-19-2  
**SPRINKLERED:** NFPA 13R  
**BUILDING OCCUPANCY:** R-2 MULTIFAMILY RESIDENTIAL

**CONSTRUCTION TYPE:** TYPE V-A  
**DWELLING UNITS:** 102 UNITS  
**BUILDING SQ. FT.:**

BLDG	OCCUPANCY	1ST FLR	2ND FLR	3RD FLR	TOTAL
BLDG I	R-2	17,108	17,167	17,166	51,441
BLDG II	R-2	5,193	5,168	5,168	15,529
CLUBHOUSE	A	2,023			2,023
POOL ROOM	U	100			100
<b>TOTAL</b>		<b>24,424</b>	<b>22,335</b>	<b>22,334</b>	<b>69,093</b>

**PARKING CALCULATION:**

<b>PARKING REQUIRED STUDIOS:</b> 36 UNITS X 1 SPACE PER UNIT	=36 SPACES
1 BEDROOM: 60 UNITS X 1.2 SPACES PER UNIT	=72 SPACES
2 BEDROOMS - 6 UNITS X 1.6 SPACES PER UNIT	=96 SPACES
<b>SUB-TOTAL=118 SPACES</b>	

**REDUCTIONS:** 20%-24%  
**PROXIMITY TO TRANSIT:** 10%-12%  
**TOTAL REDUCTION:** 36 SPACES

**TOTAL PARKING REQUIRED:** 118-36=82 SPACES  
**PROVIDED PARKING = 117 TOTAL SPACES (30 SMALL CAR 25%)**

**ACCESSIBLE PARKING:** 2% OF UNITS  
02 X 116 = 2.32 = 3 SPACES REQUIRED  
**ACCESSIBLE PARKING PROVIDED:** 4 TOTAL SPACES  
**CARPOT:** 1 SPACE  
**SURFACE:** 3 SPACES (VAN ACCESSIBLE SPACE)

**BICYCLE PARKING REQUIRED:** 12 SPACES (10% OF TOTAL PARKING)  
**BICYCLE PARKING PROVIDED:** 12 TOTAL SPACES

### DEVELOPMENT DATA

UNIT TABULATION - 3 STORY RESIDENTIAL							5/10/23
UNIT NAME	UNIT TYPE	NET AREA(SF)	UNIT COUNT	BED COUNT	PERCENTAGE	TOTAL AREA	BREAKDOWN %
S1	1br/1ba	367	24	24	24%	8,808	35%
S1-alt	1br/1ba	367	12	12	12%	4,404	
A1	1br/1ba	536	56	56	55%	30,016	
A2	2br/2ba	687	4	8	4%	2,748	4%
B1	2br/2ba	783	6	12	6%	4,698	
<b>TOTALS</b>			<b>102</b>	<b>112</b>	<b>100%</b>	<b>50,674</b>	

### OPEN SPACE

OPEN USABLE SPACE REQUIRED AND PROVIDED						
UNIT NAME	UNIT TYPE	# OF UNITS	OPEN SPACE REQ. PER TABLE 5-1-1 CITY'S IDO	TOTAL REQ. SQ. FT.	BALCON Y SQ. FT.	PROVIDED BALCONY SQ. FT.
S1	1BR/1BA	24	225	5,400	15	360
S1-alt	1BR/1BA	12	225	2,700	15	180
A1	1BR/1BA	56	225	12,600	44	2,464
A2	2BR/2BA	4	285	1,140	43	172
B1	2BR/2BA	6	285	1,710	88	528
<b>TOTAL OPEN SPACE REQUIRED</b>				<b>23,550</b>		
<b>PROVIDED BALCONY PRIVATE OPEN SPACE</b>						<b>3,704</b>
<b>PROVIDED SITE OPEN SPACE</b>						<b>0</b>
<b>TOTAL PROVIDED</b>						<b>3,704</b>

### CITY INFO

**PROJECT NUMBER:** PR-2022-007219

**Application Number:**

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

### DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
N/A	Date
* Environmental Health Department (conditional)	Date
SEE ATTACHED	Date
Solid Waste Management	Date
Planning Department	Date

\*Environmental Health, if necessary

Designed by: XCH  
Drawn by: VS  
Architect of Record: RM  
Date Plotted: 04/18/2023

Issue for Pricing / Bidding:		
Issue for Permit Application:		
Issue for Construction:		
Revisions:		
#	DATE	COMMENTS

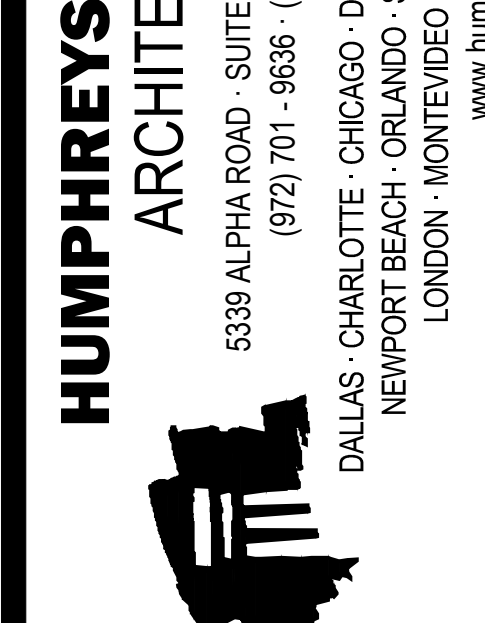
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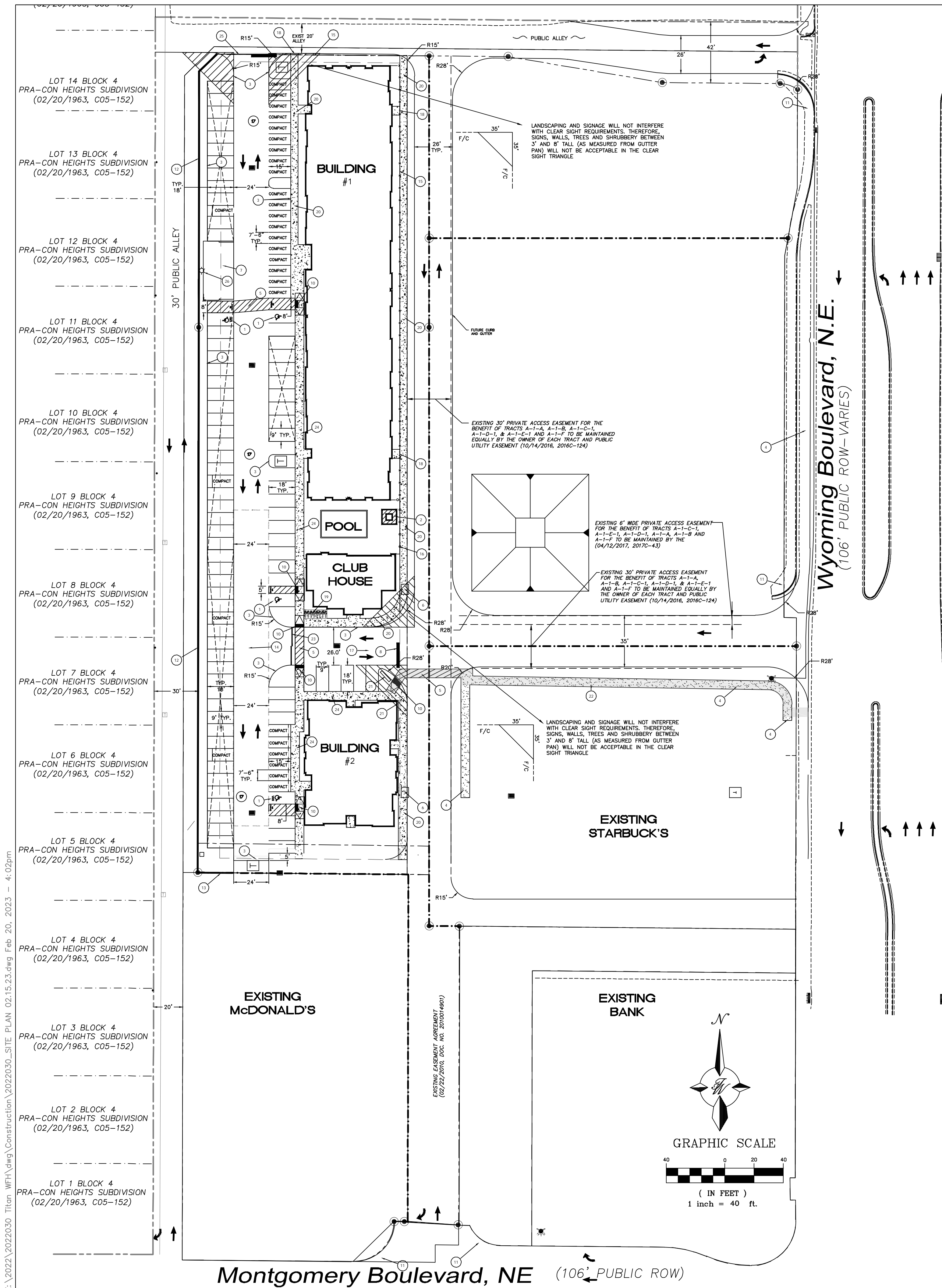
RENOVA WYOMING  
ALBUQUERQUE, NM  
TITAN DEVELOPMENT



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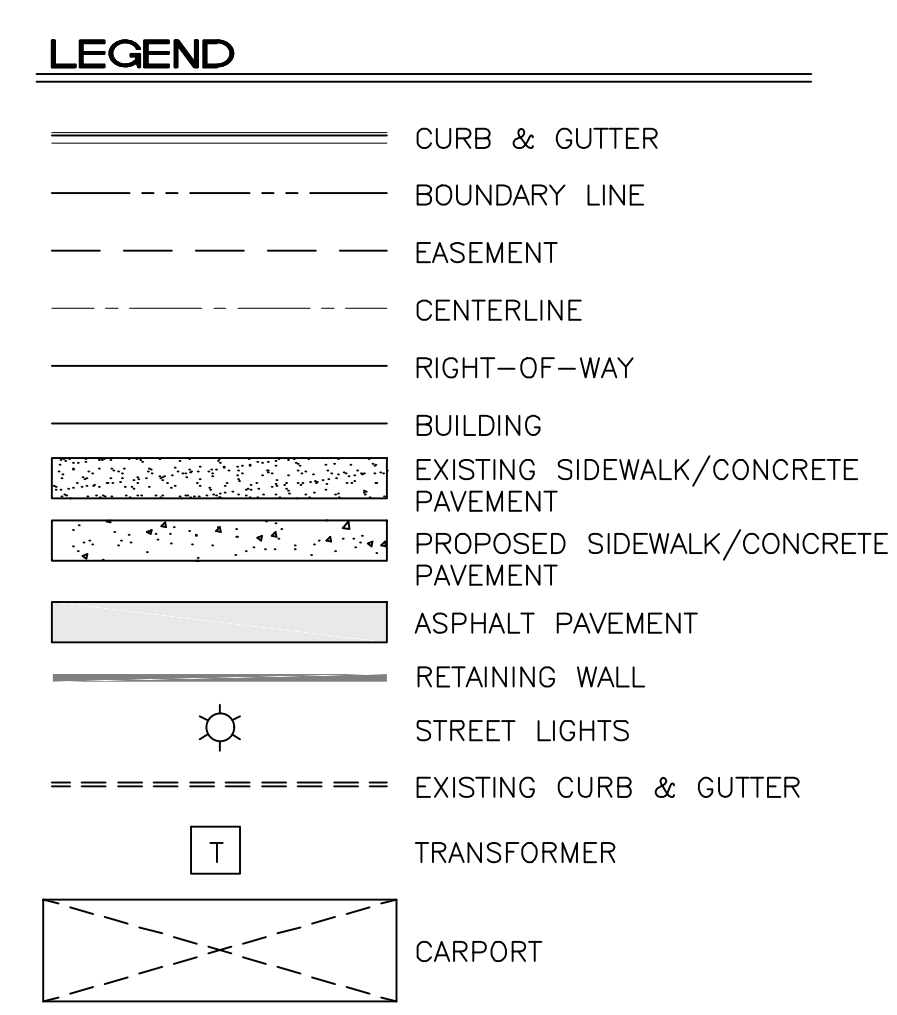




- ### KEYED NOTES
- ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. DET 1)
  - POOL EQUIPMENT SHED
  - 6" HEADER CURB
  - EXISTING CONCRETE SIDEWALK
  - 8' CROSSWALK
  - EXISTING UTILITY VAULT
  - DUMPSTER (SEE ARCH. PLANS)
  - 2.0' STOP BAR W/ STOP SIGN
  - BICYCLE RACKS (SEE DETAIL SHT. DET 1)
  - UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT. DET 1)
  - EXISTING ADA RAMP
  - RETAINING WALL (3' TO 4' MAX.) SCREEN WALL (3 FT. MIN.) TOTAL HEIGHT OF SCREEN PLUS RETAINING WALL NOT TO EXCEED 8FT.
  - RETAINING WALL
  - UNDERGROUND DETENTION POND
  - WROUGHT IRON FENCE 6FT.
  - OPAQUE SCREEN WALL
  - ASPHALT PAVING (SEE GEOTECH REPORT)
  - 4' WROUGHT IRON MAN GATE
  - BICYCLE PARKING - ON CONCRETE PAD - 1FT. CLEAR AROUND STALL - 6FT. LONG BY 2FT. WIDE
  - 5' SIDEWALK
  - MONUMENT SIGN
  - 6FT. ADA ACCESS ROUTE
  - SWING GATES
  - 6' SIDEWALK
  - VERTICAL GATES
  - LIGHT POLE (SEE NOTE #3.)

Approved w/conditions for access by The Solid Waste Department for a quadruple trash enclosure. Conditions: The gates on the east side of this project are to open the entire drive aisle simultaneously 26' wide. The Solid Waste Department will have access to the dumpsters from 7AM to 8PM on service days. Gate clickers will be provided for the recycle and trash drivers, and they will be able to exit utilizing the north gate.

*Herman Gallegos*



### SITE DATA

PROPOSED USAGE: RESIDENTIAL - MULTI FAMILY  
 ZONE: MX-M  
 MIXED USE MEDIUM INTENSITY  
 LOT AREA: 95,741 SF (2.1978 ACRES)  
 ADDRESS: 4615 WYOMING BLVD. N.E.

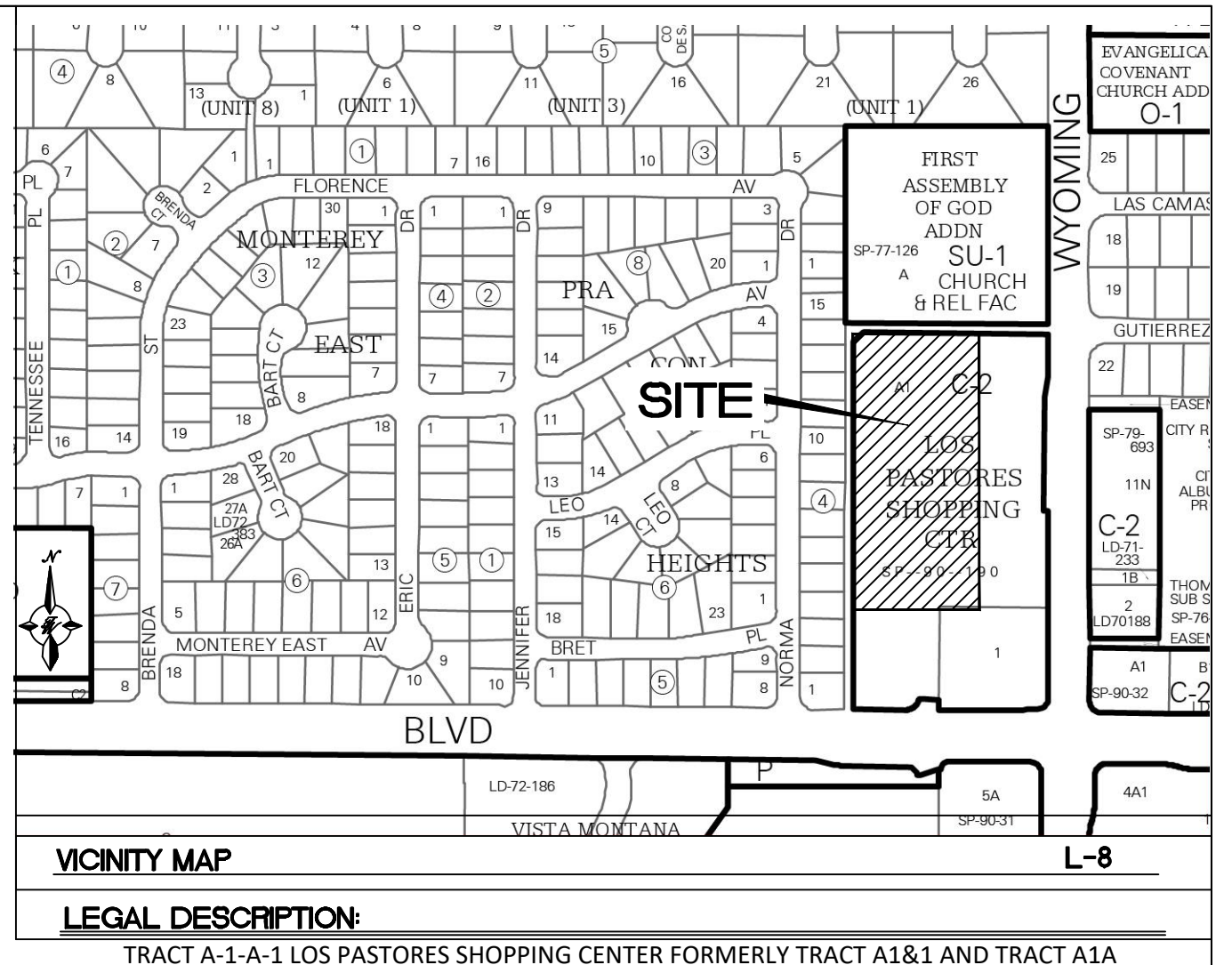
SETBACKS: FRONT PER PLAN, REAR PER PLAN, SIDE PER PLAN

BUILDING AREA:  
 BLDG. 1: 51,345 SF.  
 BLDG. 2: 15,375 SF.  
 CLUBHOUSE: 2,107 SF.  
 TOTAL: 68,827 SF.  
 BUILDING UNITS 102

PARKING REQUIRED: STUDIOS - 36 UNITS X 1 SPACE PER UNIT = 36 SPACES  
 1 BEDROOM - 60 UNITS X 1.2 SPACES PER UNIT = 72 SPACES  
 2 BEDROOMS - 6 UNITS X 1.6 SPACES PER UNIT = 10 SPACES  
 SUB-TOTAL = 118 SPACES  
 30% TRANSIT REDUCTION = 35 SPACES  
 TOTAL REQUIRED SPACES = 82 SPACES

TOTAL PROVIDED: 116 SPACES (30 SMALL CAR 25%)  
 HC PARKING REQUIRED: 4 (2 VAN SPACES)  
 HC PARKING PROVIDED: 4 (2 VAN SPACES)  
 MC PARKING REQUIRED: NONE  
 MC PARKING PROVIDED: NONE  
 BICYCLE PARKING REQUIRED: 12 SPACES (10% OF TOTAL PARKING)  
 BICYCLE PARKING PROVIDED: 12 SPACES

LANDSCAPE AREA REQUIRED: 10,705 SF (15% OF NET)  
 LANDSCAPE AREA PROVIDED: 14,232 SF (20% OF NET)



- ### NOTES:
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN THE WORK ORDER.
  - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER. ALL UNUSED CURBS CUTS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER; PER COA STD DWG 2415A AND 2430.
  - SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C., TYP.
  - ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED.
  - LANDSCAPE PLANTERS ARE TO BE 3'-0" WIDE AND 6'-0" IN LENGTH WITH A HEIGHT BETWEEN 12-28 INCHES ABOVE FINISHED GRADE. USE CMU BLOCK WITH THE FINISH MATCHING THE DUMPSTER ENCLOSURE WALL SEE DETAIL SHEET C8. APPLY DRYLOCK SHIELD OR SIMILAR APPLICATION TO THE INSIDE OF THE CMU PLANTERS.
  - AUTOMATIC GATES WILL BE ACTUATED BY RESIDENTS AND STAFF BY WIRELESS FOB OR PHONE APP. NO ACCESS CONTROL KEYPADS OR RFID SCANNERS WILL BE INSTALLED IN DRIVE AISLES OR DRIVE AISLE ISLANDS.

PROJECT NUMBER: \_\_\_\_\_  
 APPLICATION NUMBER: \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

### DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Herman Gallegos Solid Waste Management	03-29-23 Date
Planning Department	Date

\* Environmental Health, if necessary

- ### INDEX TO DRAWINGS
- SITE PLAN FOR BUILDING PERMIT
  - MASTER SITE PLAN
  - GRADING PLAN
  - MASTER UTILITY PLAN
  - LANDSCAPE PLAN
  - CONSTRUCTION DETAILS
  - CONSTRUCTION DETAILS
  - CONSTRUCTION DETAILS
  - FIREONE PLAN
  - EROSION CONTROL
  - EROSION CONTROL DETAILS
  - EROSION CONTROL DETAILS

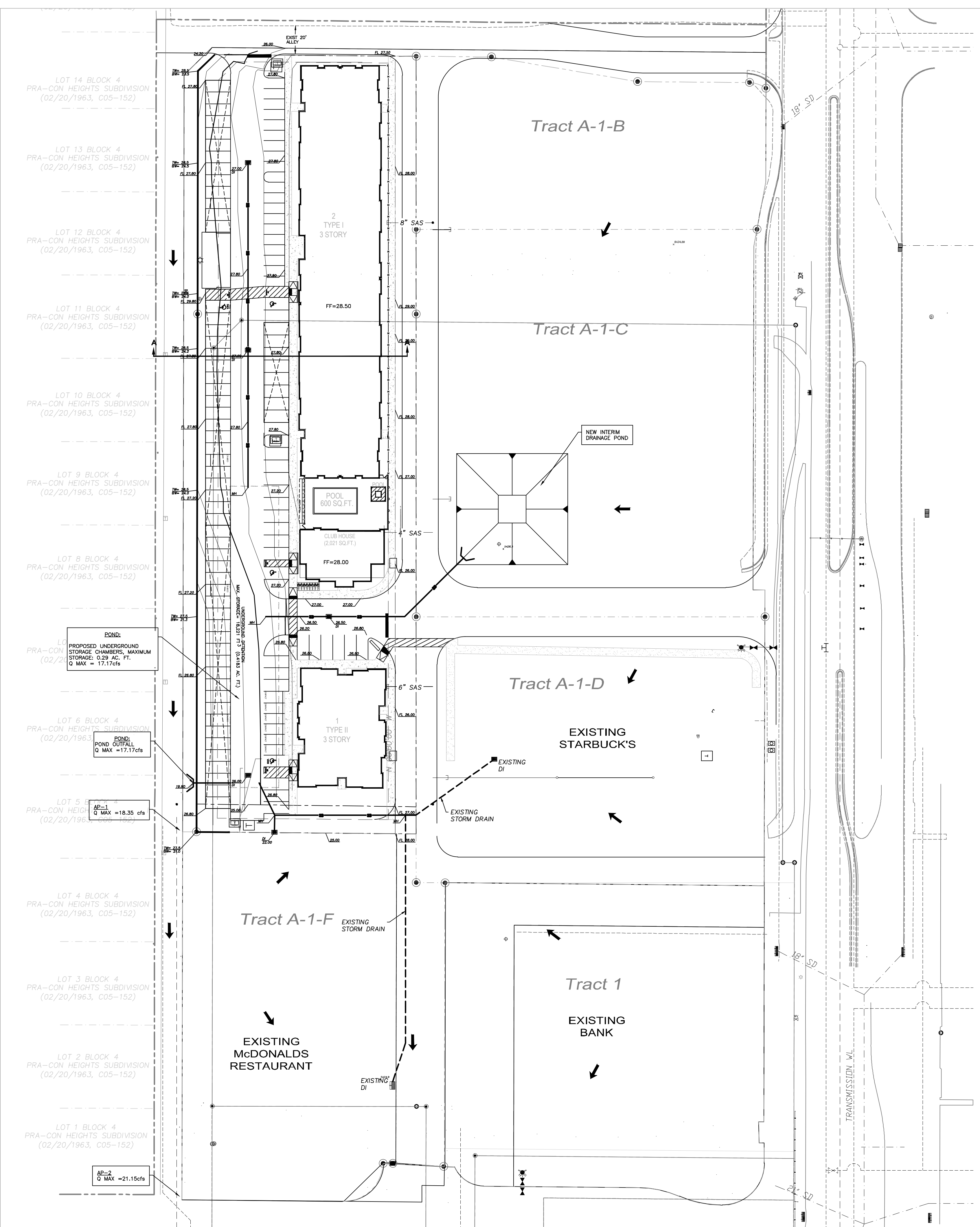
	<b>MONTGOMERY/ WYOMING APARTMENTS</b> <b>SITE PLAN</b>	DRAWN BY RMG DATE 02/15/2023 2022030_SITE PLAN 02.15.23
	 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # <b>SP-1</b> JOB # 2022030

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CLEAR SIGHT TRIANGLE NOTE:  
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



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**LEGEND**

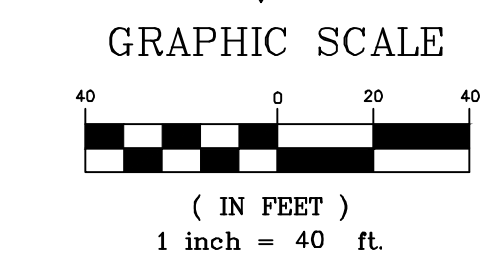
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	SIDEWALK
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING GAS
	EX. 8" SAS
	EX. WL
	EX. RCP
	4900
	EXISTING CONTOUR
	TRANSFORMER

- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
  - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
  - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- EROSION CONTROL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
  - ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.

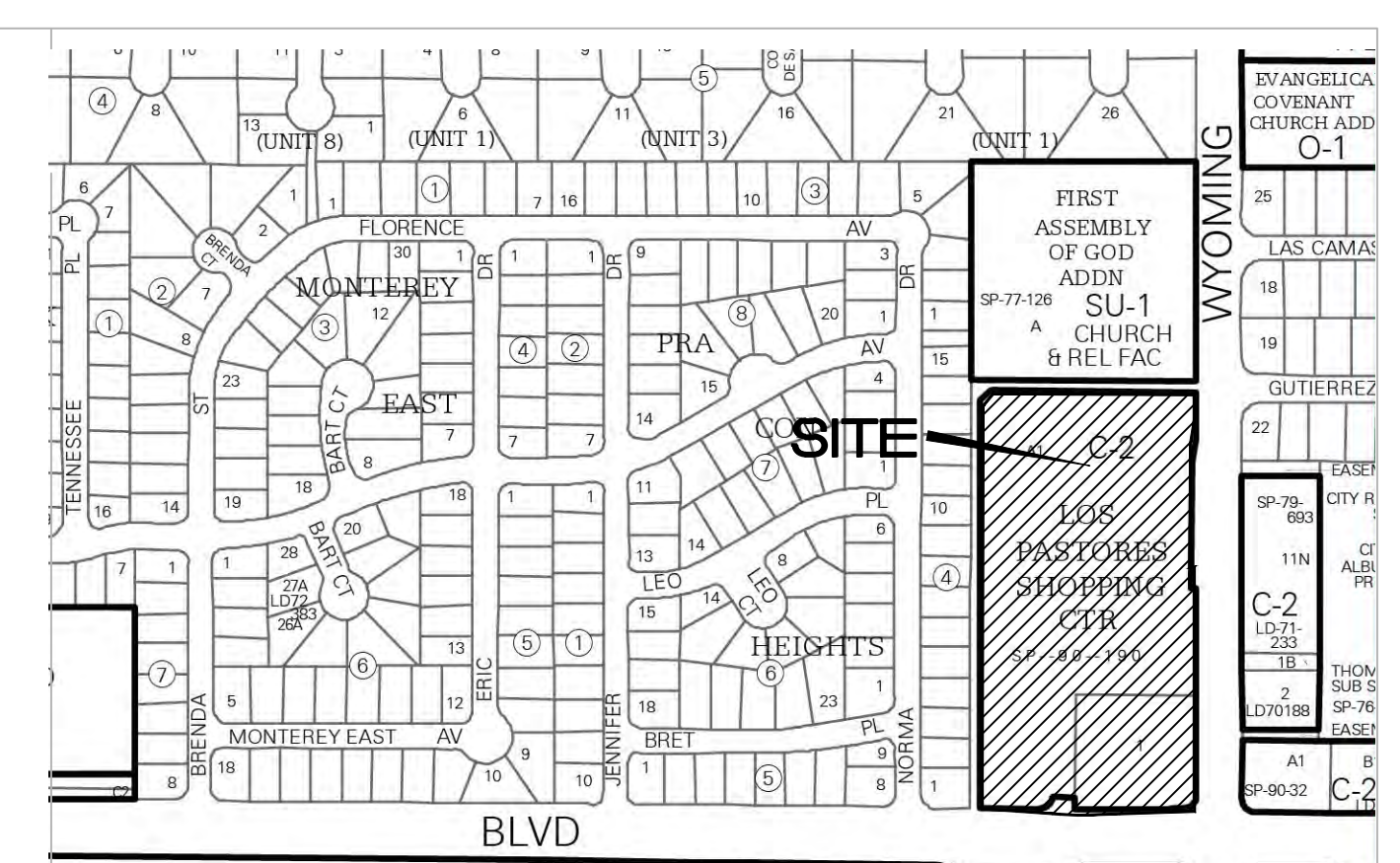
City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**PRELIMINARY APPROVED**  
 DATE: 04/18/23  
 BY: *Renee C. Brissett*  
 HydroTrans # F19D013D

THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.



**DRAINAGE CONCEPT**

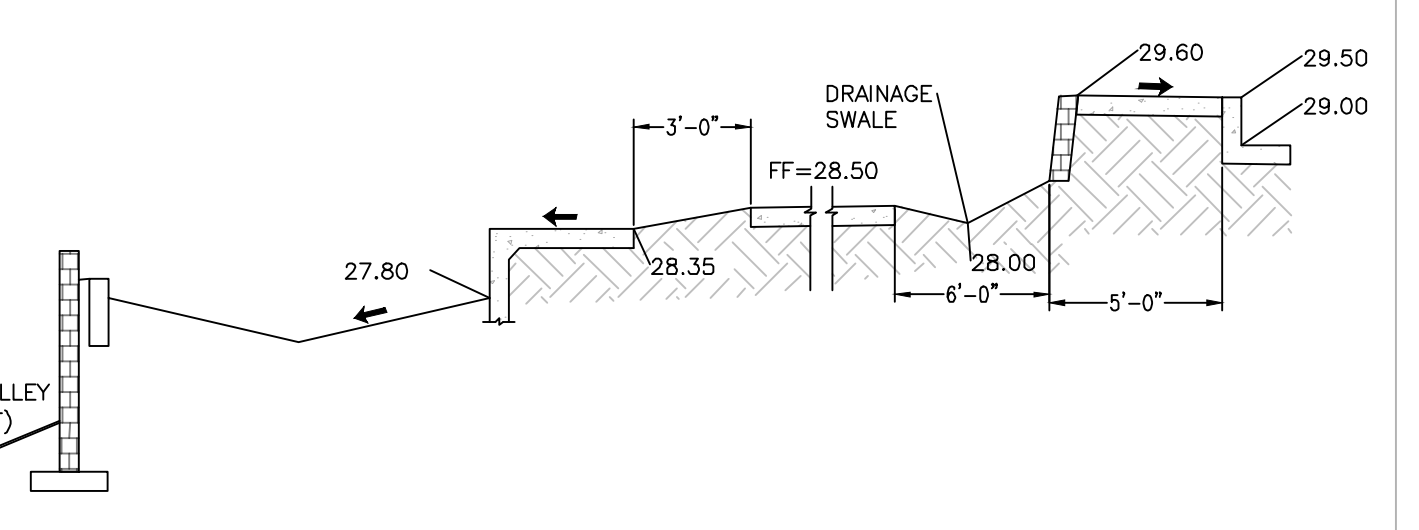
SITE WILL DRAIN TO A PROPOSED UNDERGROUND STORM DRAIN DETENTION POND UNDER SOUTH PARKING AREA ALONG WITH CONTROLLED RUNOFF FROM VACANT TRACTS A-1-B, A-1-C AND DEVELOPED TRACT A-1-D AND PORTIONS OF DEVELOPED TRACTS A-1-F AND TRACT 1. UNDERGROUND POND WILL DISCHARGE TO EXISTING ALLEY PAVED SURFACE AT OR BELOW HISTORIC FLOW RATE PER APPROVED LOS PASTORES MASTER DRAINAGE PLAN.



**VICINITY MAP** L-8



**FRM MAP** 35001C0143G



**SECTION A-A**  
NTS

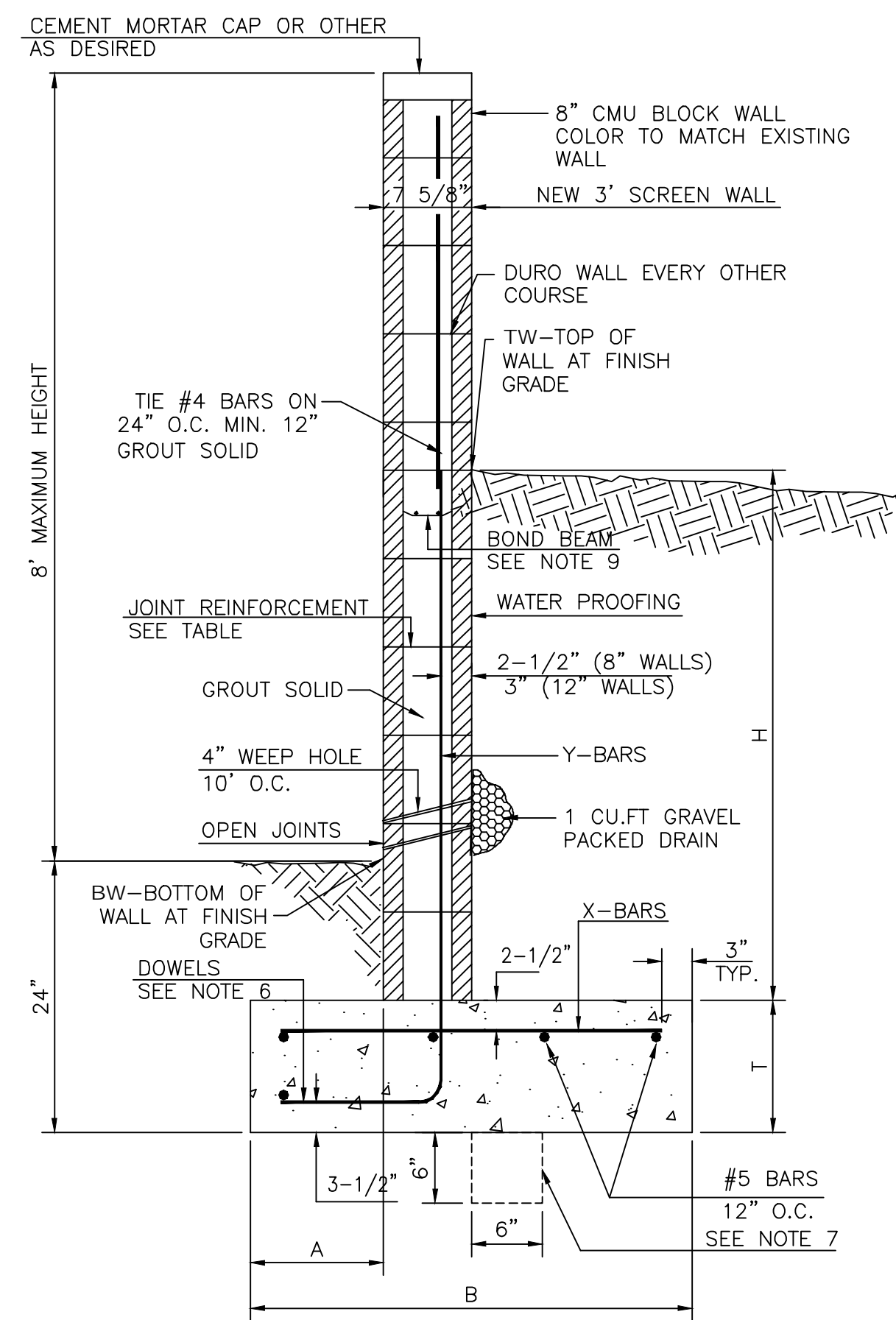
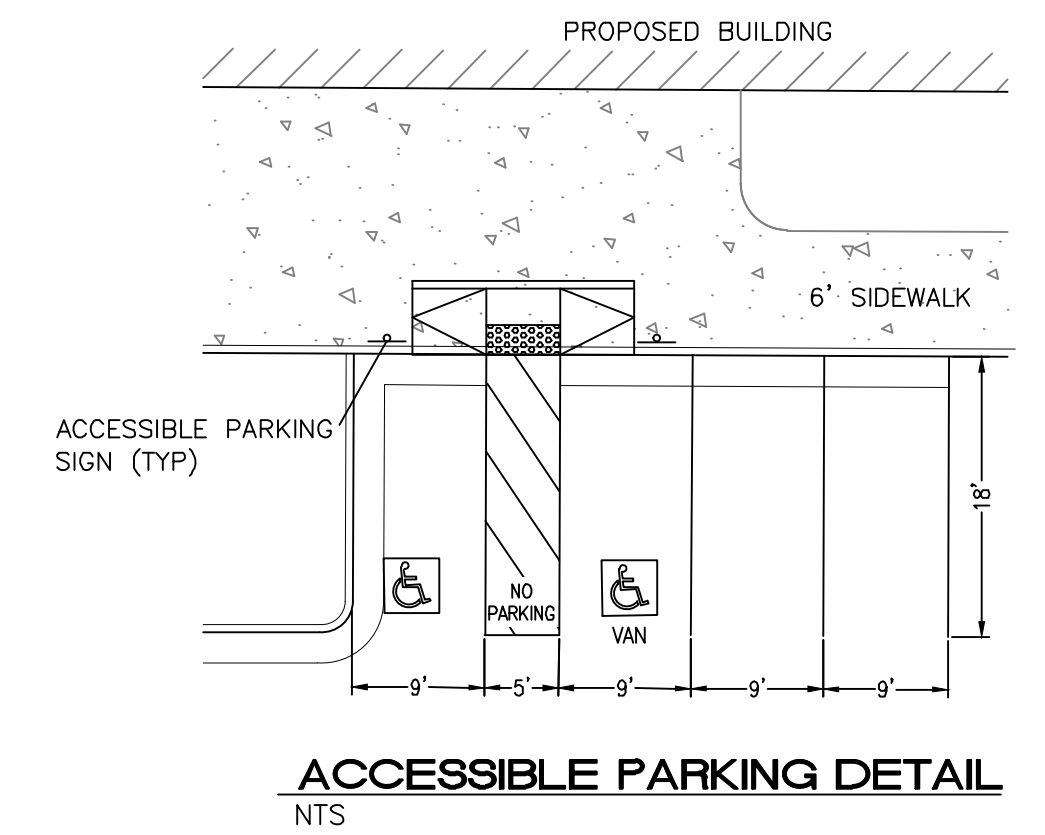
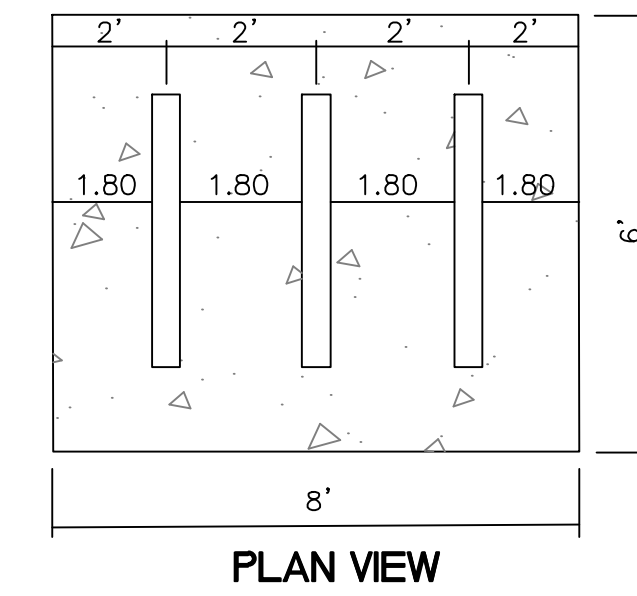
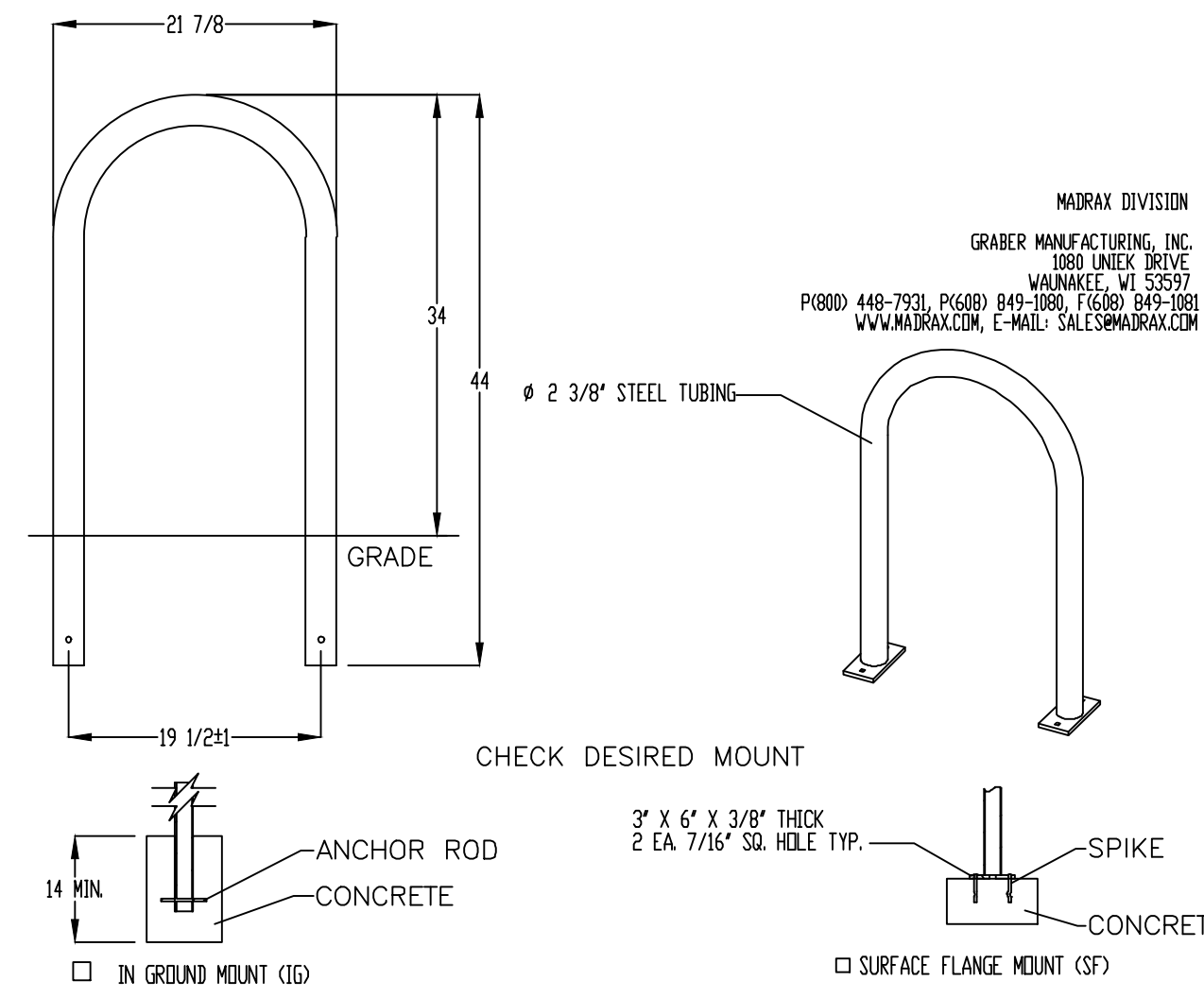
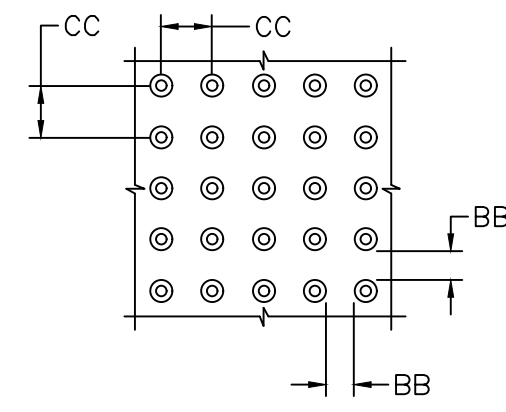
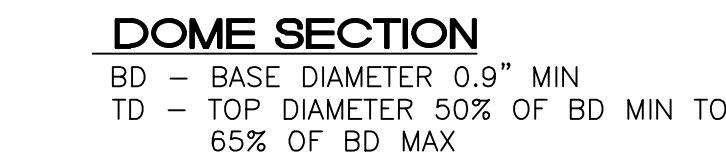
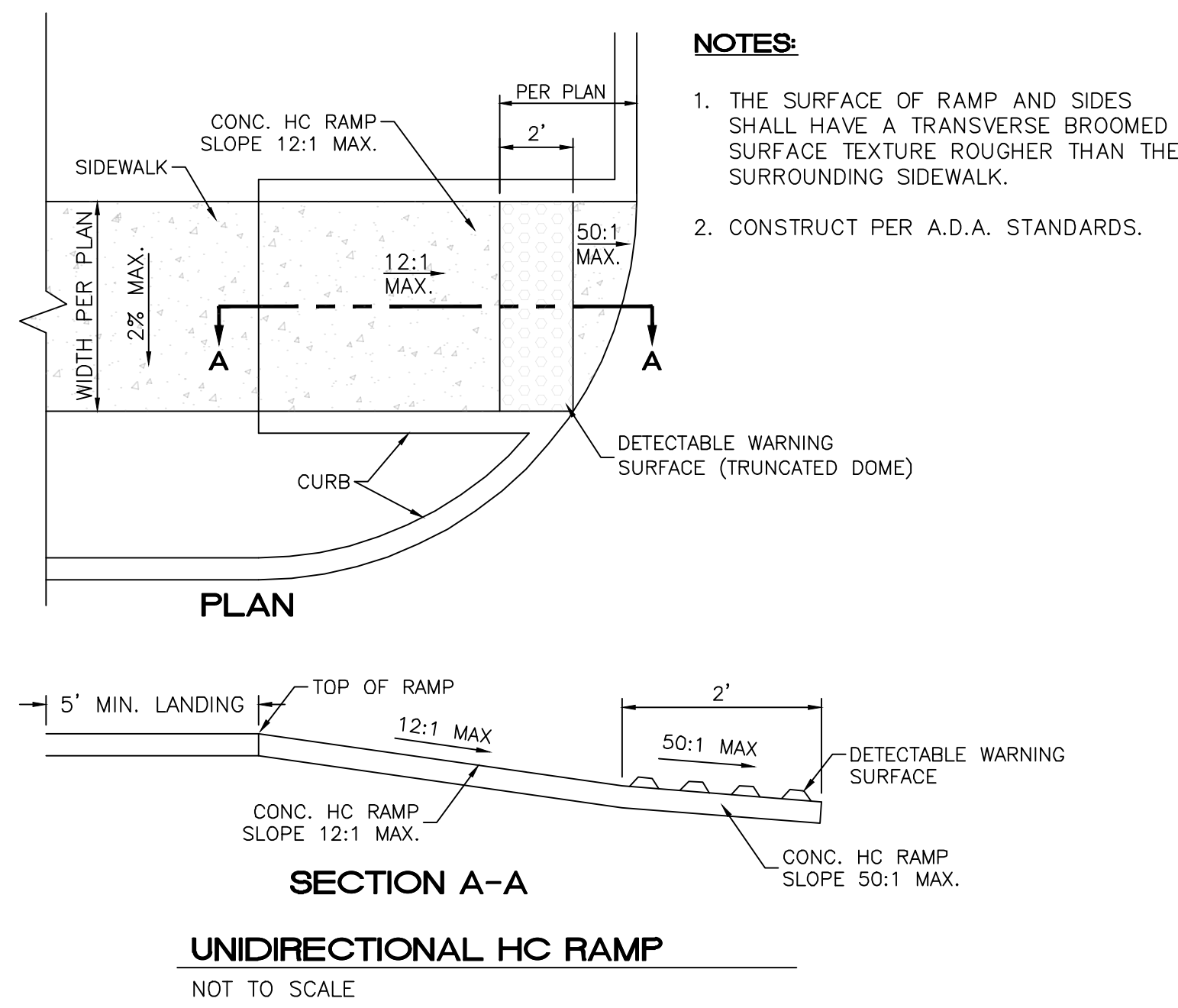
**CAUTION**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

**DD SET: 04-18-23**

 04/18/2023	<b>ENGINEER'S SEAL</b> <b>RENOVA AT WYOMING</b>	DRAWN BY RMG
	<b>CONCEPTUAL GRADING PLAN</b>	DATE 04/18/2023
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com		2022030 GRADING PLAN SHEET # <b>GR-1</b> JOB # 2022030





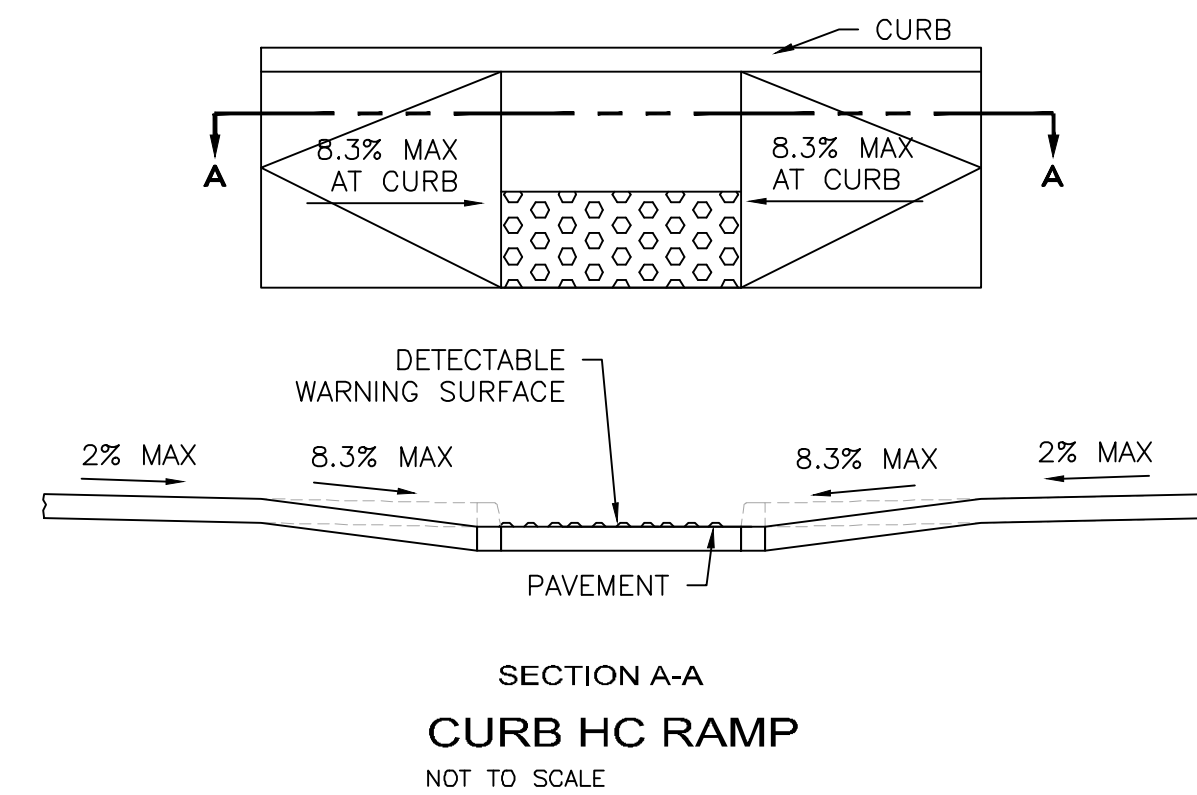
**8 INCH REINFORCED CONCRETE MASONRY WALL**

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

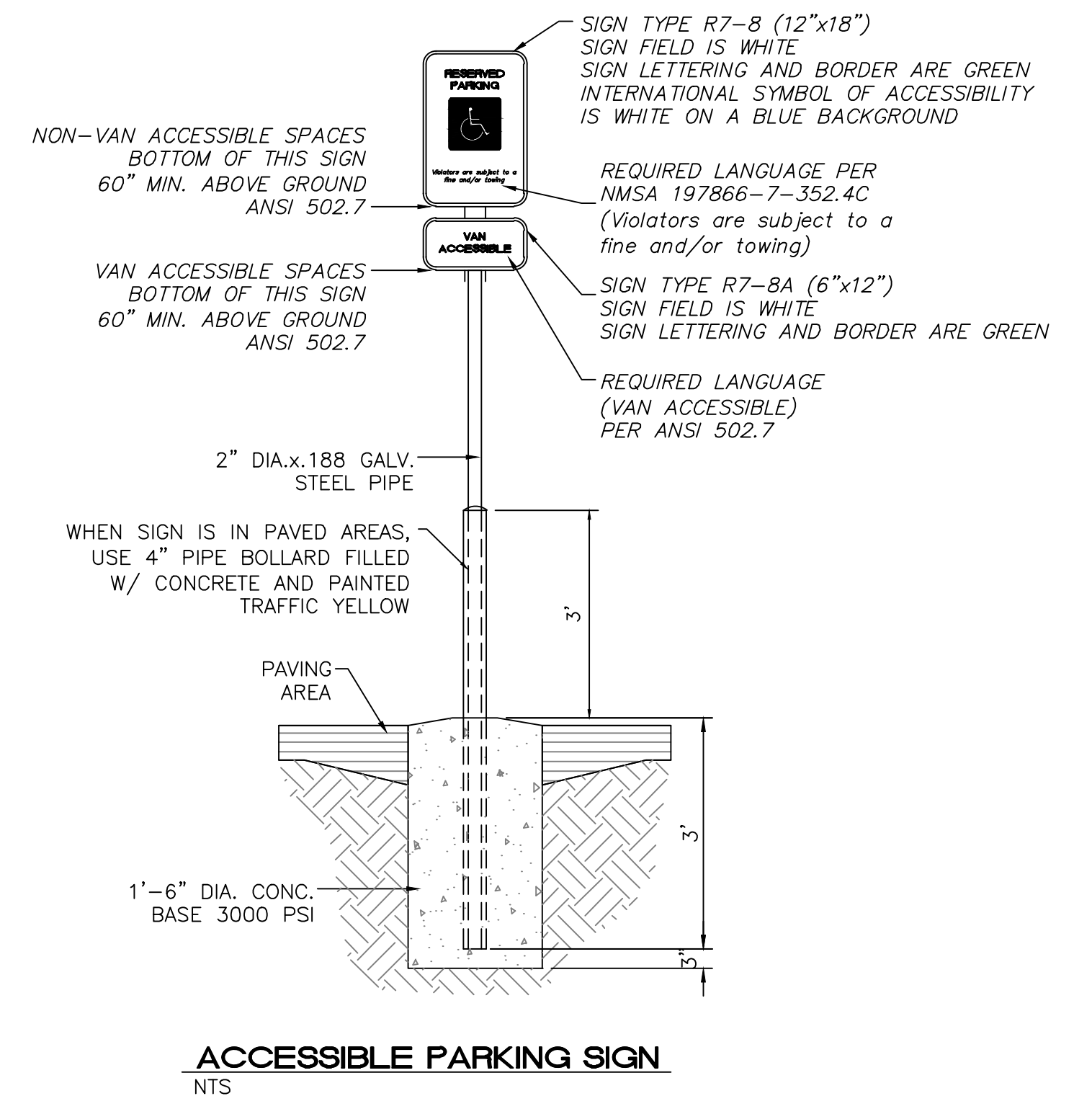
**12 INCH REINFORCED CONCRETE MASONRY WALL**

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
  2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
  3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
  4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
  5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
  6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOP OF THE FOOTING.
  7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
  8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
  9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

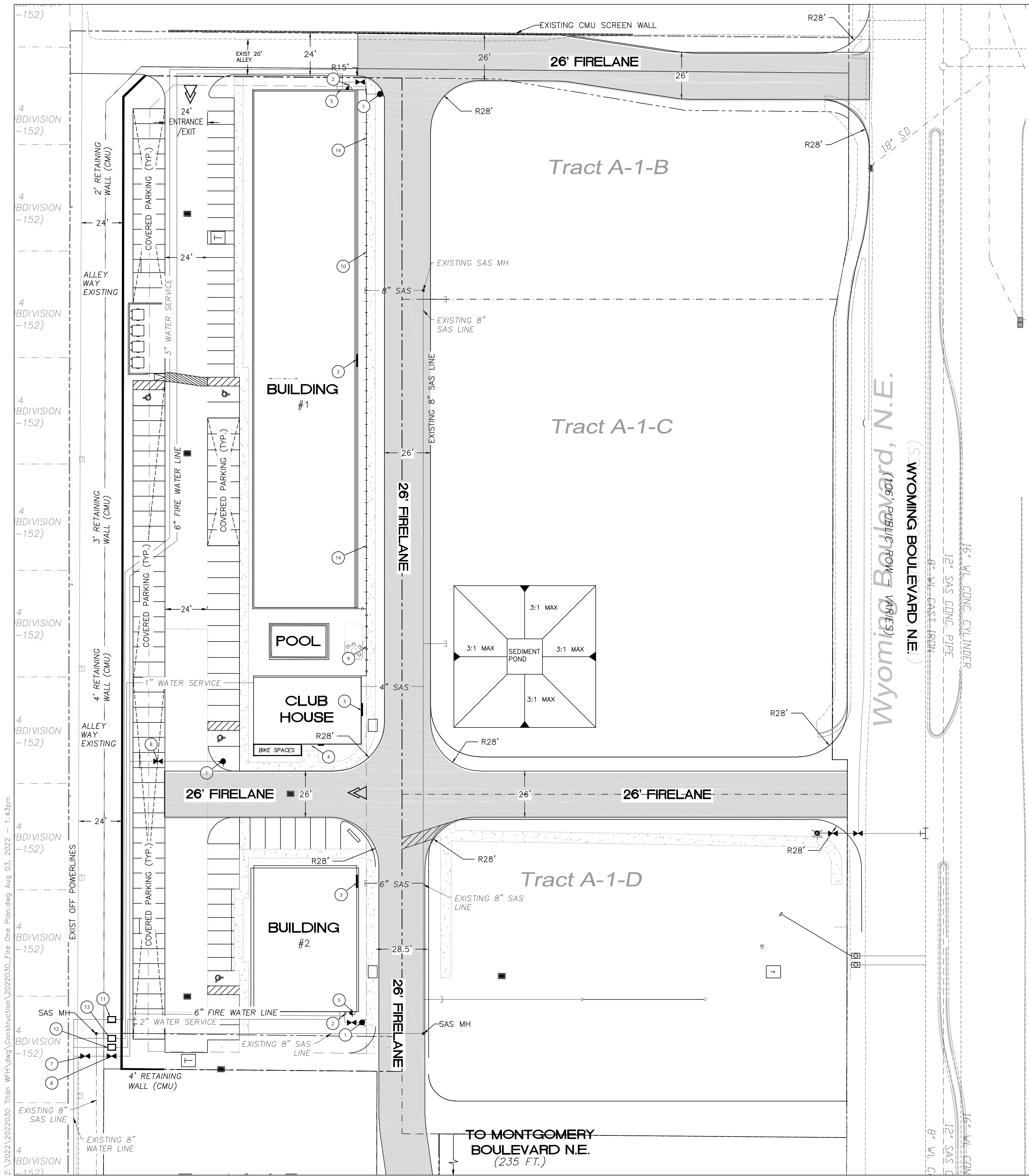


- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
  2. CONSTRUCT PER A.D.A. STANDARDS.



ENGINEER'S SEAL	<b>RENOVA AT WYOMING</b>	DRAWN BY RMG
VINCENT P. CARRICA P.E. #16212	<b>DETAILS</b>	DATE 05/04/2023
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2022030_TCL PLAN
05/04/2023		SHEET # <b>DET-1</b>
		JOB # 2022030





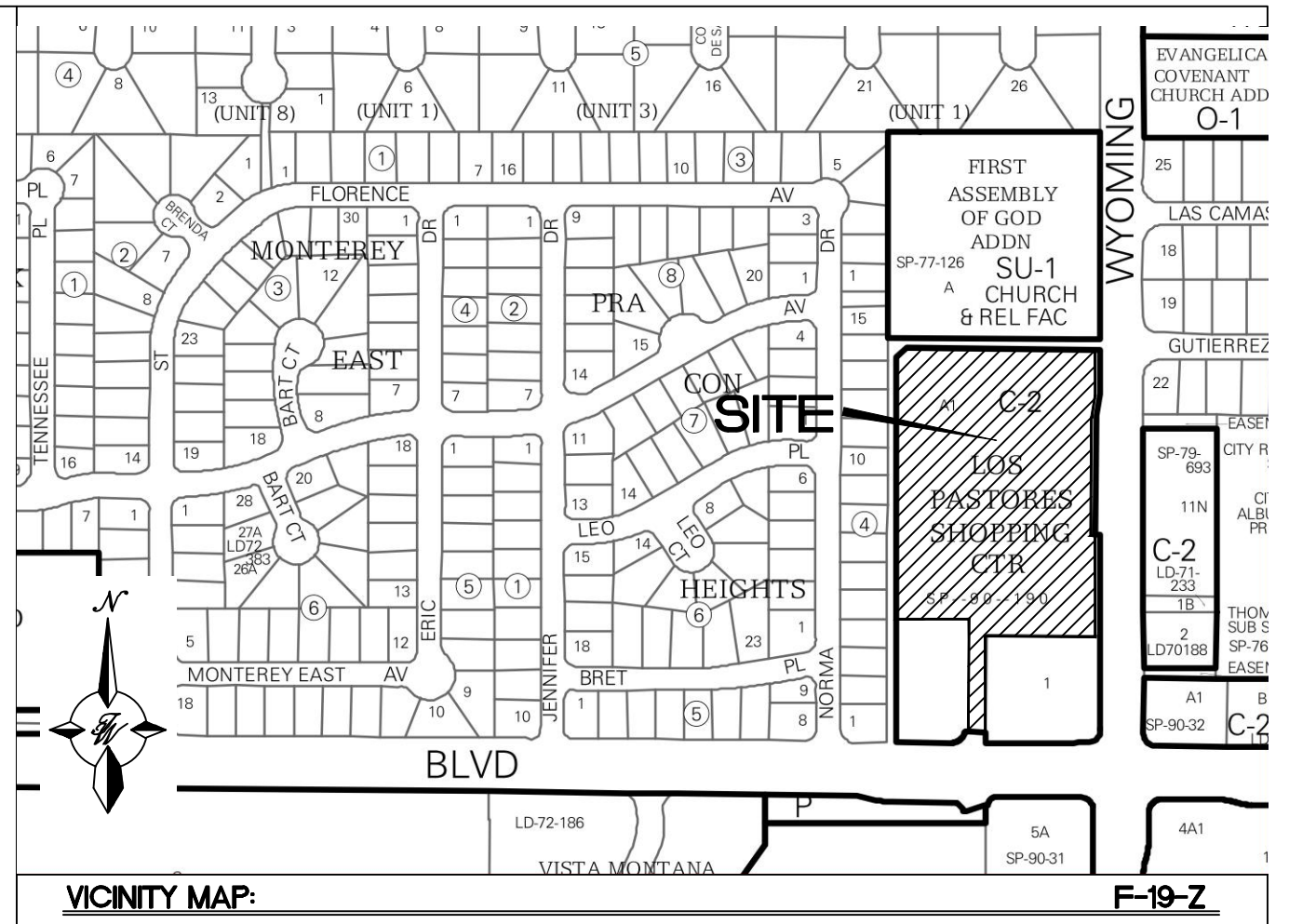
**LEGEND**

- CURB & GUTTER
- - - BOUNDARY LINE
- ▭ BUILDING
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- FIRE ACCESS
- EXISTING FIRE HYDRANT
- PROPOSED HYDRANT
- TRANSFORMER

- KEYED NOTES**
- 1 NEW PRIVATE FIRE HYDRANT
  - 2 PIV
  - 3 BUILDING ADDRESS
  - 4 KNOX BOX
  - 5 FDC
  - 6 NOT USED
  - 7 8" PUBLIC GATE VALVE
  - 8 8" PRIVATE GATE VALVE
  - 9 8 FT. SCREEN FENCE W/ 4' MAN GATE
  - 10 6 FT. WROUGHT IRON FENCE W/ 4' MAN GATES
  - 11 2 1/2" WATER METER
  - 12 2" WATER METER
  - 13 1" WATER METER
  - 14 4' MAIN GATE

MONTGOMERY APARTMENTS  
ALBUQUERQUE, NM

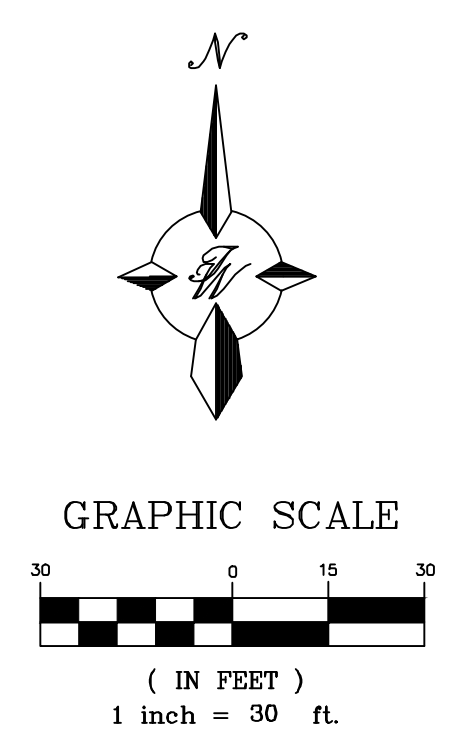
BUILDING	AREA SF	STORIES	MAX BUILDING HEIGHT	FULLY SPRINKLED	OCCUPANCY	CONSTRUCTION TYPE
#1	17064.5	3	48FT.	YES	R-2	V-A
#2	4795.5	3	48FT.	YES	R-2	V-A
CLUB HOUSE	2326.5	1	26FT.	NO	A-3	V-A



- NOTES**
1. ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL.
  2. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS.
  3. KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.

**NOTE:**  
ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL

**CAUTION**  
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



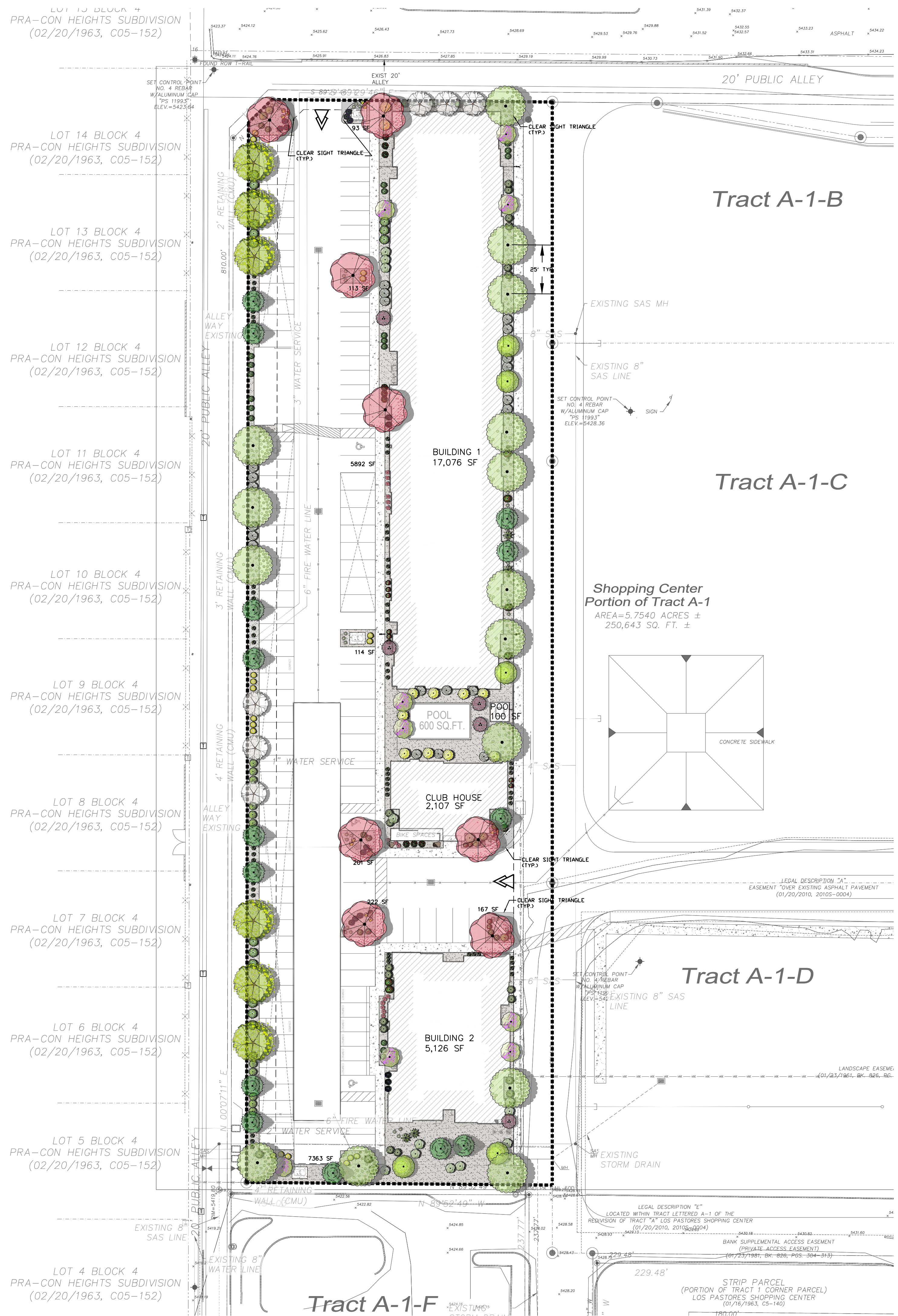
	<b>ENGINEER'S SEAL</b>	<b>MONTGOMERY/ WYOMING APARTMENTS</b>	DRAWN BY RMG
	<b>PROFESSIONAL ENGINEER</b>	<b>FIRE ONE PLAN</b>	DATE 08/04/2022
		<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2022030_FIRE ONE PLAN SHEET # <b>F-1</b>
RONALD R. BOHANNAN P.E. #7868			JOB # 2022030

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### SITE DATA

GROSS LOT AREA 88,150 SF  
 BUILDING AREA 16,784 SF  
 NET LOT AREA (NET.) 71,366 SF

LANDSCAPE AREA (LAN.)  
 REQUIRED 10,705 SF (15% OF NET.)  
 PROPOSED 14,232 SF (20% OF NET.)

VEGETATION COVERAGE (VEG.)  
 REQUIRED 8,029 SF (75% OF LAN.)  
 PROPOSED 54,445 SF (508% OF LAN.)

GROUND-LEVEL PLANTS COVERAGE  
 REQUIRED 2,007 SF (25% OF VEG.)  
 PROPOSED 4,878 SF (61% OF VEG.)

STREET TREES (1 PER 25 LF)  
 REQUIRED 22  
 PROPOSED 22

STREET TREES ARE CALCULATED AT 25' SPACING. ACTUAL SPACING MAY VARY DUE TO SITE AND BUILDING CONDITIONS.

LANDSCAPE BUFFER  
 TREES REQUIRED 28  
 PROPOSED 28  
 SHRUBS REQUIRED 84  
 PROPOSED 84

PARKING LOT TREES (1 PER 10 PARKING SPACES)  
 REQUIRED 8  
 PROPOSED 8

DWELLING UNIT TREES (1 PER 1ST AND 2ND FLOOR UNIT)  
 REQUIRED 68  
 PROPOSED 68

PER IDO SECTION 5-6(C)(3)(A) DWELLING UNIT TREES OVERLAP THE OTHER TREE REQUIREMENTS AND TAKES PRECEDENCE. ALL OTHER TREE REQUIREMENTS FALL UNDER THE DWELLING UNIT TREES CALCULATION.

### GENERAL LANDSCAPE NOTES

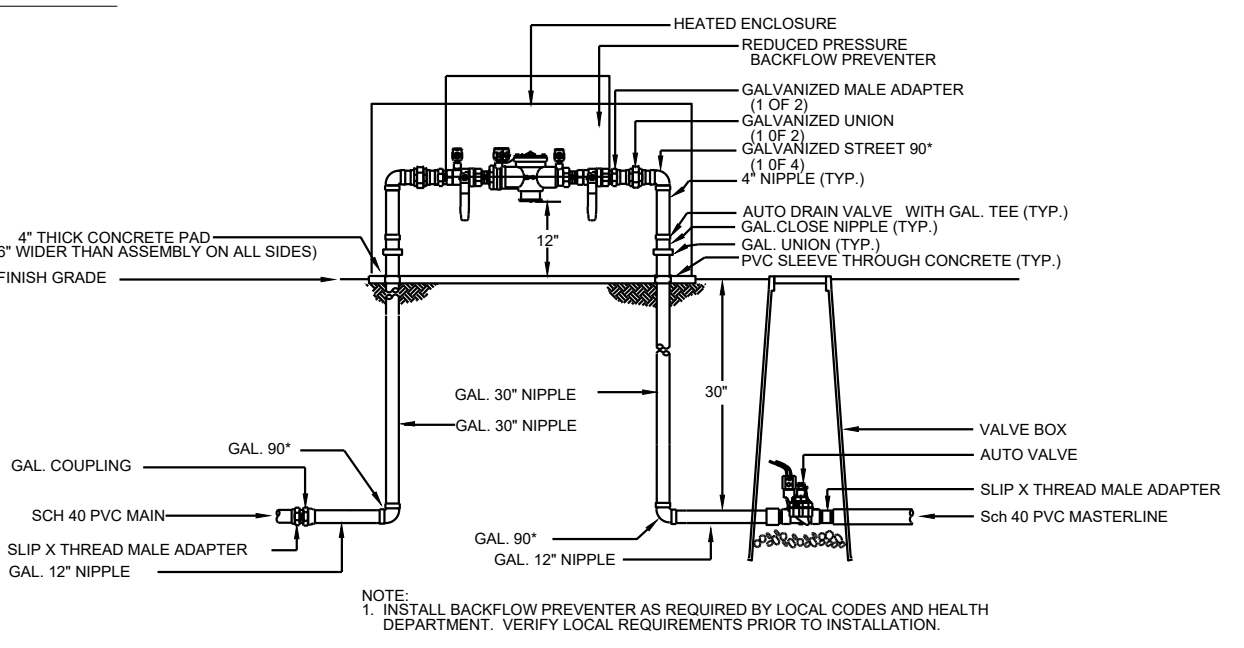
- A. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BEFORE EXCAVATION AND PLANTING.
- B. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- C. STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPING SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO) INCLUDING, BUT NOT LIMITED TO, GENERAL LANDSCAPING REGULATIONS, WATER CONSERVATION LANDSCAPING AND WATER WASTE REGULATIONS, POLLEN-RELATED REGULATIONS, MINIMUM VEGETATIVE COVERAGE REQUIREMENTS AND STREET TREE REGULATIONS.
- D. TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- E. SURFACE TREATMENT: LANDSCAPE AREAS SHALL BE COVERED WITH MULCH. LANDSCAPE, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- F. LANDSCAPING WILL BE WATERED WITH AN AUTOMATED IRRIGATION SYSTEM THAT INCLUDES DRIP ZONES FOR LANDSCAPING.
- G. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6" HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- H. AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- I. ROOF DRAINS: SURFACE DRAINAGE OFF DOWNSPOUTS SHALL BE DIRECTED AWAY FROM BUILDINGS INTO LANDSCAPE AREAS OR ENGINEERED DRAINAGE SYSTEMS. REFER TO CIVIL.
- J. VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- K. NEW PLANTINGS DO NOT INCLUDE HIGH WATER TURF.
- L. ORGANIC BARK MULCH IS PROVIDED AT EACH TREE FROM ROOT BALL EXTENDING OUT TO DRIPLINE PER CITY OF ALBUQUERQUE IDO 14-16-5-6(C)(5)(b) WHERE MULCH IS ADJACENT TO CONCRETE OR ASPHALT. FINISH GRADE OF MULCH SHALL 12" BELOW TOP OF CONCRETE. UNLESS OTHERWISE INDICATED, PLANT MATERIAL SHALL BE FREE OF DISEASE AND INSECTS AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANS) OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- M. ALL LANDSCAPING CONTIGUOUS TO INDIGENOUS AREAS TO BE PLANTED WITH INDIGENOUS TREES AND SHRUBS.
- N. PLANTINGS IN CLEAR SIGHT TRIANGLE NOT TO OBSTRUCT LINE OF VISION FROM 3' HEIGHT TO 8' HEIGHT.

### PLANT SCHEDULE

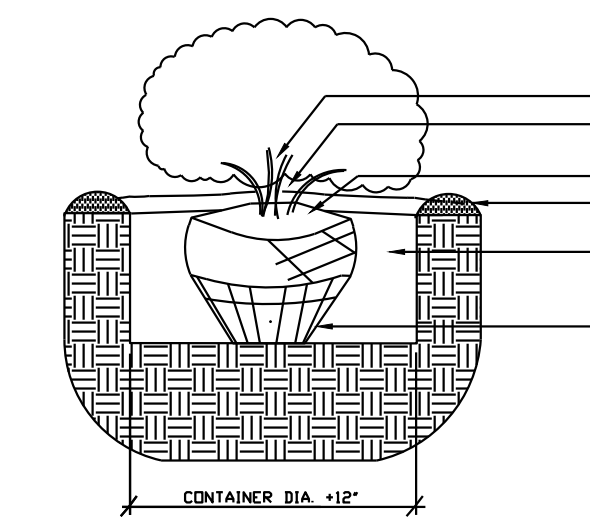
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERGAE
5	FORESTERA NEOMEXICANA / NEW MEXICAN PRIVET	24"BOX	15' X 15'	177	
6	GLEDITSIA TRIACANTHOS INERMIS / THORNLESS COMMON HONEYLOCUST	2" B&B	50' X 45'	1590	
5	LAGERSTROEMIA INDICA / CRAPE MYRTLE	15 GAL	15' X 15'	177	
8	PISTACIA CHINENSIS / CHINESE PISTACHE	2" B&B	60' X 60'	2826	
6	PYRUS CALLERYANA 'CLEVELAND SELECT' / CLEVELAND SELECT PEAR	2" B&B	25' X 15'	177	
15	ULMUS PROPINQUA 'EMERALD SUNSHINE' / EMERALD SUNSHINE ELM	2" B&B	35' X 25'	491	
9	VITEX AGNUS-CASTUS / CHASTE TREE	24"BOX	20' X 20'	314	
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERGAE
14	PINUS CEMBOIDES EDULIS / PINYON PINE	6" B&B	30' X 20'	314	
					SUBTOTAL 49,567 SF
DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERGAE
10	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	3' X 4'	13	
4	YUCCA BACCATA / BANANA YUCCA	5 GAL	4' X 5'	20	
FLOWERING PLANTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERGAE
12	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	1 GAL	2' X 2'	3	
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERGAE
47	BOUTELOUA GRAECUS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL	3' X 3'	7	
58	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	30" X 2'	3	
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERGAE
15	BERBERIS THUNBERGH 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	5 GAL	4' X 4'	13	
11	CAESALPINIA GILLIESII / YELLOW BIRD OF PARADISE	5 GAL	10' X 10'	79	
5	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	1 GAL	3' X 3'	7	
11	LAVANDULA ANGSTIFOLIA / ENGLISH LAVENDER	1 GAL	3' X 3'	7	
15	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE	5 GAL	6' X 6'	28	
17	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	4' X 4'	13	
9	ROSA X 'KNOCKOUT' TM / ROSE	5 GAL	6' X 5'	20	
12	SALVIA GREGGII / AUTUMN SAGE CHERRY	1 GAL	2' X 3'	7	
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERGAE
14	CEROCARPUS INTRICATUS / LITTLE LEAF MOUNTAIN MAHOCONY	5 GAL	6' X 6'	28	
19	ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	5 GAL	3' X 4'	13	
21	FALLUGA PARADOXA / APACHE PLUME	5 GAL	6' X 7'	38	
25	RHAPHIOLEPIS INDICA / INDIAN HAWTHORN	5 GAL	3' X 4'	13	
22	ROSMARINUS OFFICINALIS 'ARP' / ARP ROSEMARY	5 GAL	6' X 4'	13	
					SUBTOTAL 4,878 SF
					TOTAL 54,445 SF

### MATERIAL SCHEDULE

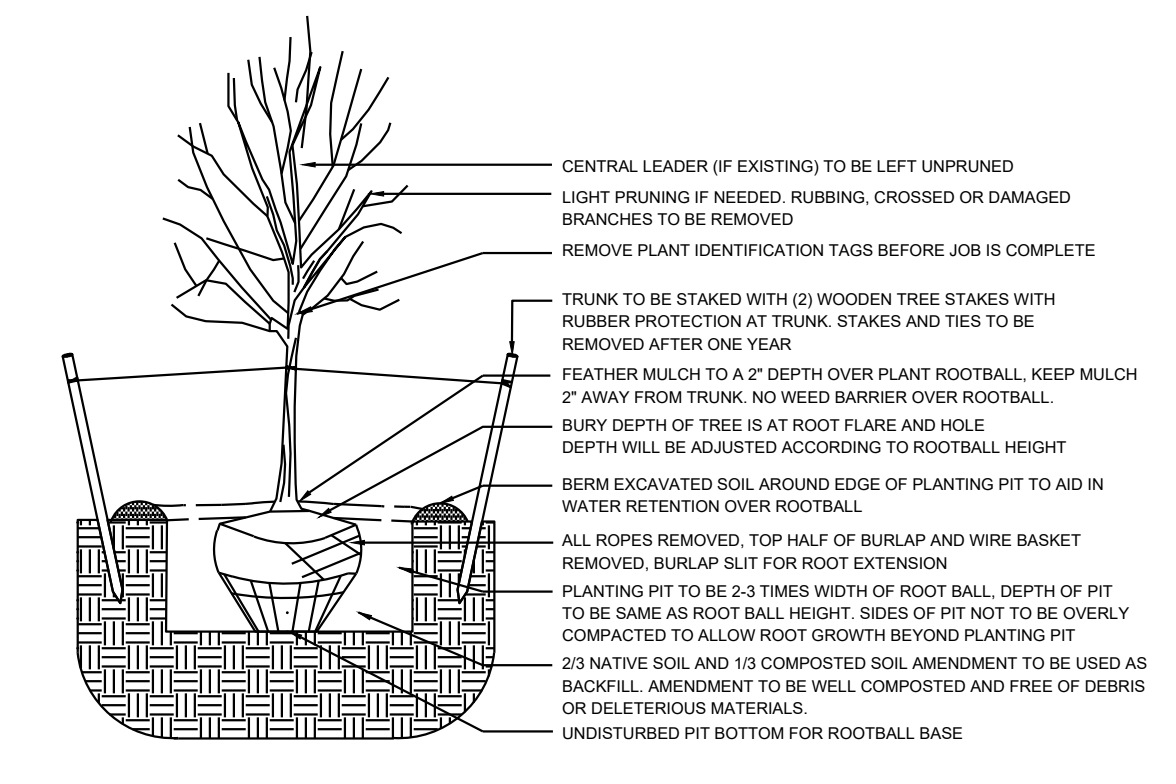
SYMBOL	DESCRIPTION	QTY
(Large Boulder)	LARGE BOULDER	7
SYMBOL	DESCRIPTION	QTY
(Gravel)	GRAVEL	
(Dashed Line)	PROPERTY LINE	



1 RP BACKFLOW/MASTER VALVE DETAIL N.T.S.



2 SHRUB PLANTING DETAIL N.T.S.



3 TREE PLANTING DETAIL N.T.S.

**YELLOWSTONE LANDSCAPE**  
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 P O Box 10597  
 Albuquerque, NM 87184  
 505.898.9615  
 design@yellowstonelandscape.com

Date: 4/28/2023  
 Revisions:  
 ▲  
 ▲  
 ▲  
 ▲  
 Drawn by: PL  
 Reviewed by: CM

# Renova at Wyoming

# Albuquerque, New Mexico

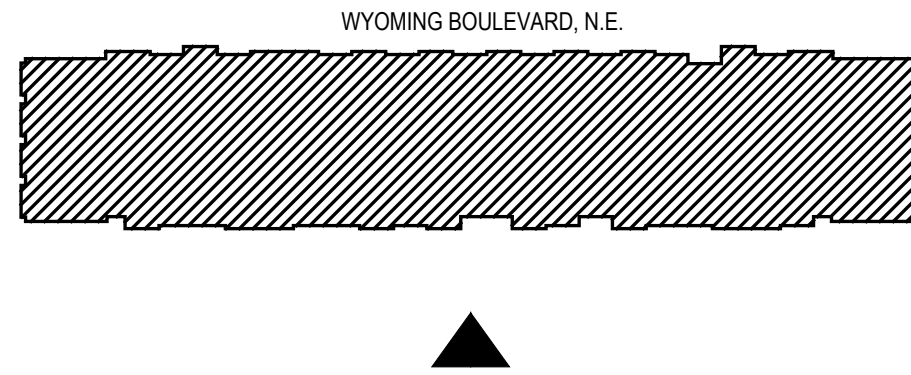
DD Set: 04-18-23

NORTH

Scale: 1" = 30'

Sheet Title:  
**Landscape Plan**  
 Sheet Number:  
**LS-01**





### MATERIAL KEY NOTES

COLOR 1	SW 6364 / EGGWHITE	1	STUCCO
COLOR 2	SW 2805 / RENWICK BEIGE	2	METAL RAILING
COLOR 3	SW 7039 / VIRTUAL TAUPE	3	METAL AWNING
COLOR 4	SW 2854 / CARIBBEAN CORAL	4	VINYL WINDOWS
		5	METAL TRIM
		6	METAL SCREEN
		7	WALL SIGNAGE LIMIT TO 15% FACADE AREA PER TABLE 5-12-5 IDO
		8	MOUNTED LIGHT FIXTURES, EXCEPT SECURITY LIGHTING TO BE AT 6' MIN. AND 15' MAX. PER IDO 5-8 (D)(8)
		9	CONDENSER UNIT
		10	ELECTRICAL METER

Designed by: XCH  
 Drawn by: RM  
 Architect of Record: RM  
 Date Plotted: 04/18/2023

Issue for Pricing / Bidding:

Issue for Permit Application:

Issue for Construction:

Revisions:

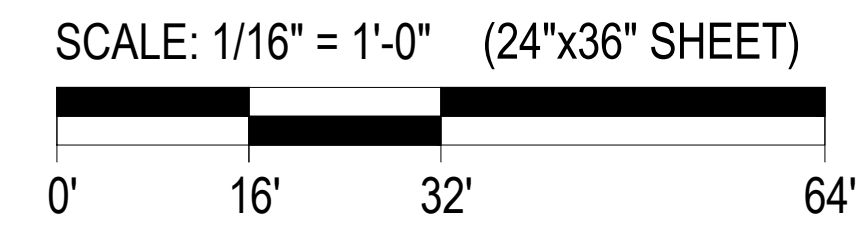
#	DATE	COMMENTS

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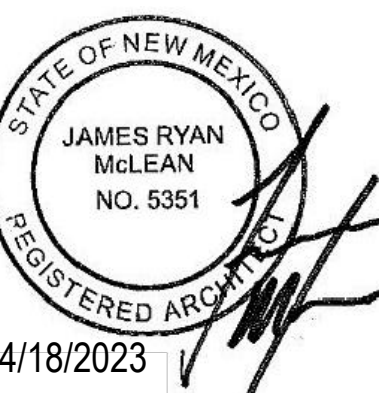
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1 BLDG TYPE I - REAR ELEVATION  
 SCALE: 1/16" = 1'-0"



RENOVA WYOMING  
 ALBUQUERQUE, NM  
 TITAN DEVELOPMENT



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SHEET CONTENTS:  
 BLDG. TYPE I OVERALL  
 REAR ELEVATION

SHEET NO.  
**A4.11**

DFT SET: 04/18/2023



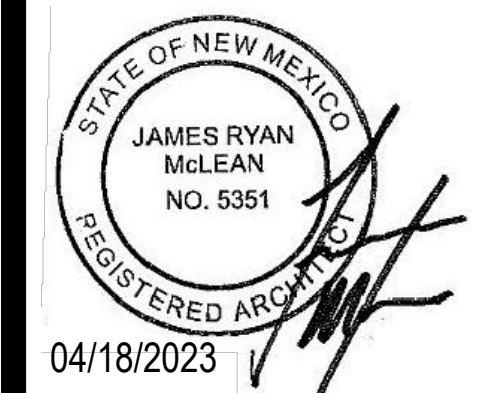
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COLOR 1	SW 6364 / EGGWHITE	1	STUCCO
COLOR 2	SW 2805 / RENWICK BEIGE	2	METAL RAILING
COLOR 3	SW 7039 / VIRTUAL TAUPE	3	METAL AWNING
COLOR 4	SW 2854 / CARIBBEAN CORAL	4	VINYL WINDOWS
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		9	CONDENSER UNIT
		10	ELECTRICAL METER

Designed by:	XCH	
Drawn by:	RM	
Architect of Record:	RM	
Date Plotted:	04/18/2023	
Issue for Pricing / Bidding:		
Issue for Permit Application:		
Issue for Construction:		
Revisions:		
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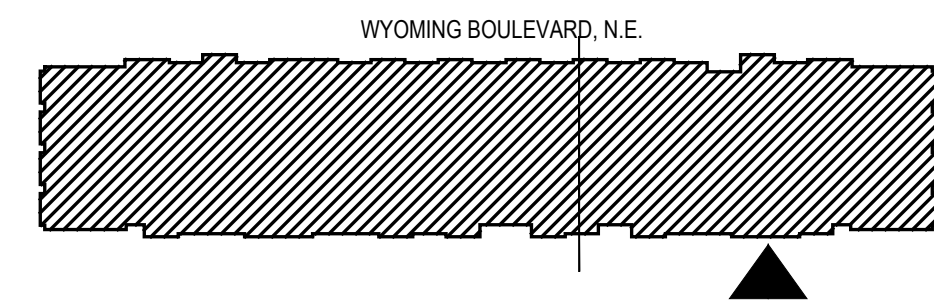
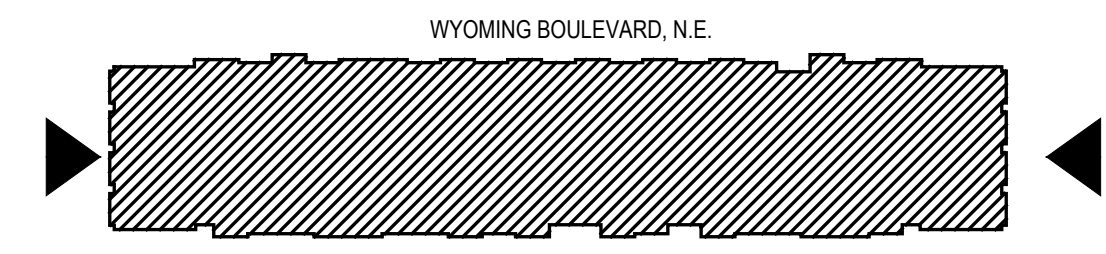


04/18/2023  
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SHEET CONTENTS:  
 BLDG. TYPE I  
 REAR & SIDE ELEVATIONS

SHEET NO.  
**A4.11a**

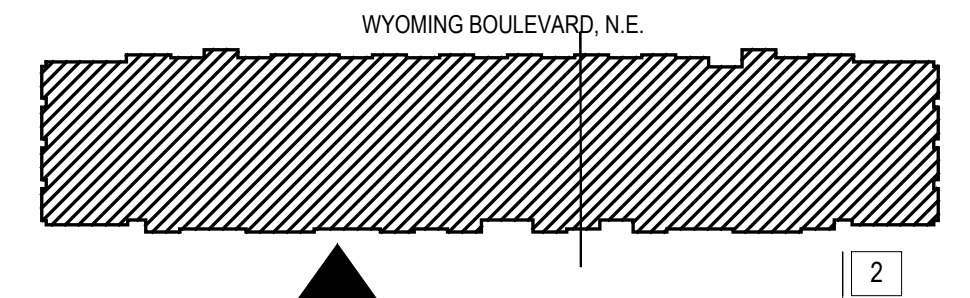
DFT SET: 04/18/2023  
 22135



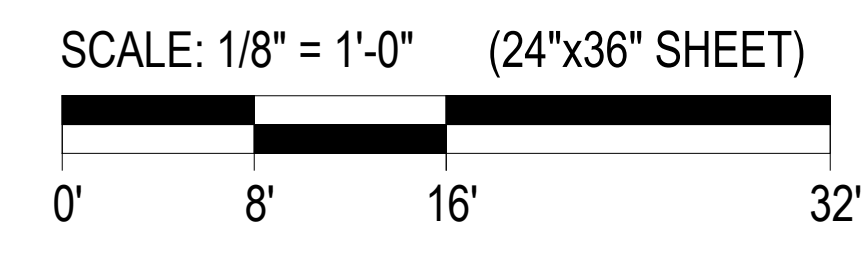
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 SCALE: 1/8" = 1'-0"

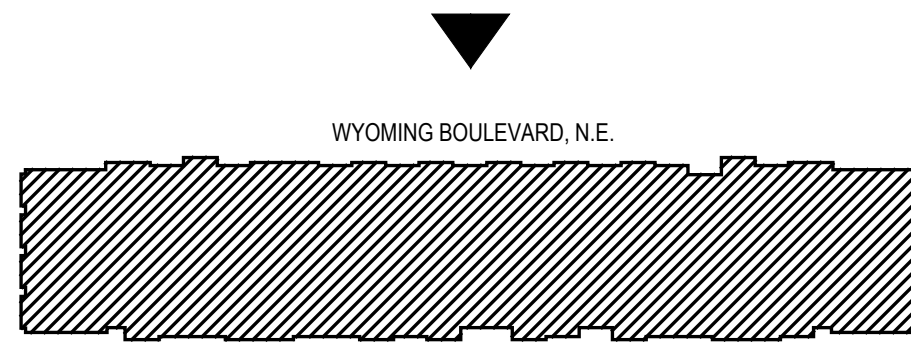


**2 BLDG. TYPE I - PARTIAL REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"

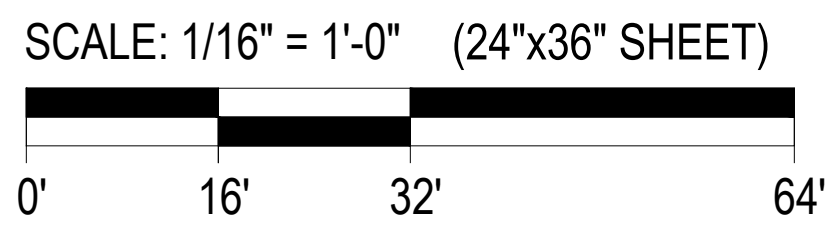


**1 BLDG. TYPE I - PARTIAL REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"





1 BLDG TYPE I - FRONT ELEVATION  
SCALE: 1/16" = 1'-0"



Designed by: XCH  
 Drawn by: RM  
 Architect of Record: RM  
 Date Plotted: 04/18/2023

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SHEET CONTENTS:  
 BLDG. TYPE I OVERALL  
 FRONT ELEVATION

SHEET NO.

A4.12

22135

DFT SET: 04/18/2023

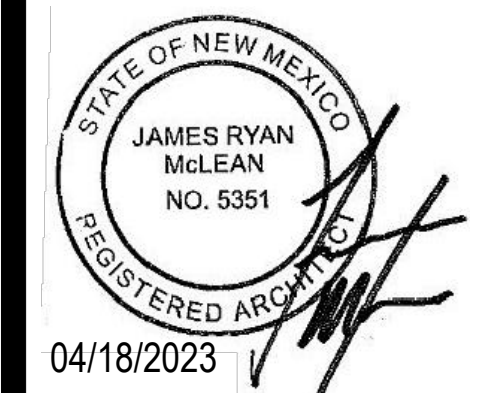


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Drawn by:	RM	
Architect of Record:	RM	
Date Plotted:	04/18/2023	
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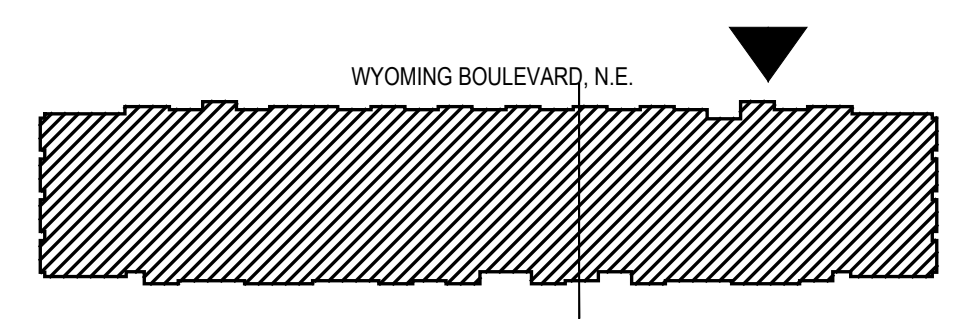


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 TITAN DEVELOPMENT

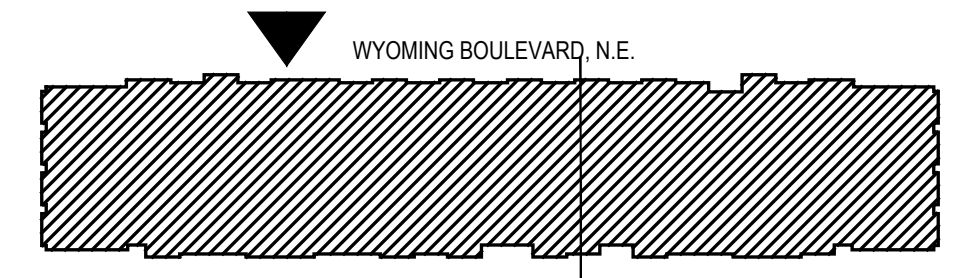


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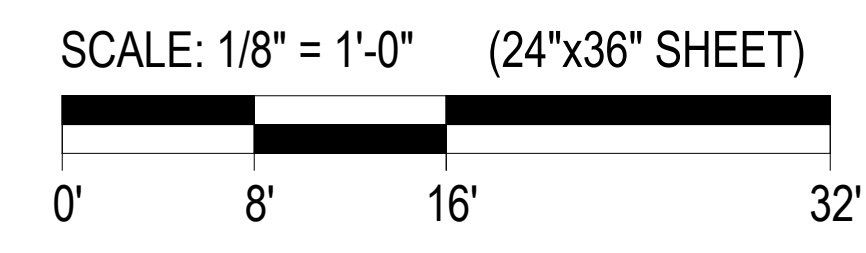
SHEET CONTENTS:  
 BLDG. TYPE I  
 FRONT ELEVATION  
 SHEET NO.  
**A4.12a**  
 22135



2 BLDG. TYPE I - PARTIAL FRONT ELEVATION  
 SCALE: 1/8" = 1'-0"



1 BLDG. TYPE I - PARTIAL FRONT ELEVATION  
 SCALE: 1/8" = 1'-0"



DFT SET: 04/18/2023



2 BLDG. TYPE II - SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



1 BLDG. TYPE II - FRONT ELEVATION  
SCALE: 1/8" = 1'-0"

MATERIAL KEY NOTES

COLOR 1	SW 6364 / EGWHITE	1	STUCCO
COLOR 2	SW 2805 / RENWICK BEIGE	2	METAL RAILING
COLOR 3	SW 7039 / VIRTUAL TAUPE	3	METAL AWNING
COLOR 4	SW 2854 / CARIBBEAN CORAL	4	VINYL WINDOWS
		5	METAL TRIM
		6	METAL SCREEN
		7	WALL SIGNAGE LIMIT TO 15% FACADE AREA PER TABLE 5-12-5 IDO
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		9	CONDENSER UNIT
		10	ELECTRICAL METER

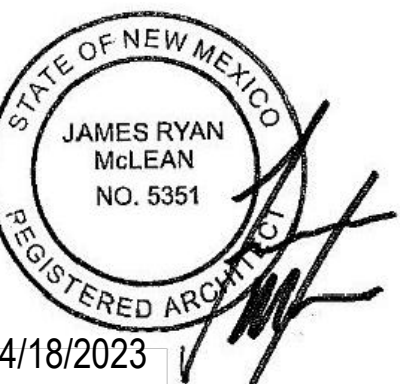
Designed by: XCH  
 Drawn by: RM  
 Architect of Record: RM  
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SHEET CONTENTS:  
 BLDG. TYPE II  
 FRONT & SIDE ELEVATIONS

SHEET NO.  
**A4.21**

22135

SCALE: 1/8" = 1'-0" (24"x36" SHEET)



DFT SET: 04/18/2023



### MATERIAL KEY NOTES

COLOR 1	SW 6364 / EGGWHITE	1	STUCCO
COLOR 2	SW 2805 / RENWICK BEIGE	2	METAL RAILING
COLOR 3	SW 7039 / VIRTUAL TAUPE	3	METAL AWNING
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		6	METAL SCREEN
		7	WALL SIGNAGE LIMIT TO 15% FACADE AREA PER TABLE 5-12.5 IDO
		8	MOUNTED LIGHT FIXTURES, EXCEPT SECURITY LIGHTING TO BE AT 6' MIN. AND 15' MAX. PER IDO 5-8 (D)(8)
		9	CONDENSER UNIT
		10	ELECTRICAL METER
		11	BUILDING MOUNTED SIGN: SIGN AREA=65.5 SQ.FT. FACADE AREA=3,200 SQ.FT. WHICH IS 2% OF THE FACADE

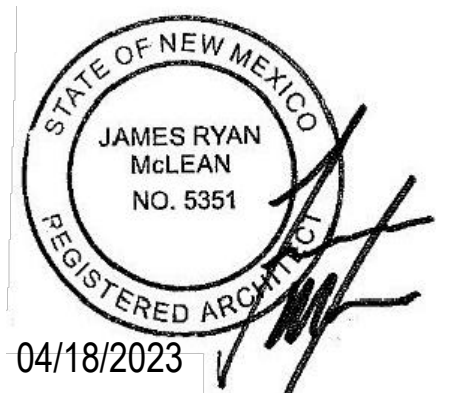
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 Architect of Record: RM  
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 Issue for Pricing / Bidding:  
 Issue for Permit Application:  
 Issue for Construction:  
 Revisions:

#	DATE	COMMENTS

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 TITAN DEVELOPMENT



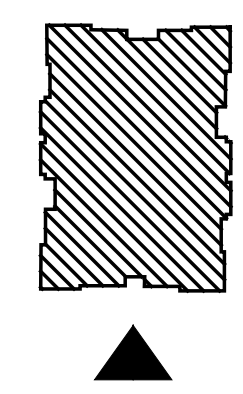
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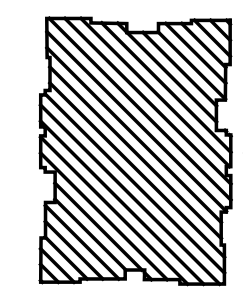
SHEET CONTENTS:  
 BLDG. TYPE II  
 FRONT & SIDE ELEVATIONS

SHEET NO.  
**A4.22**

22135



**2 BLDG. TYPE II - SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"



**1 BLDG. TYPE II - REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0" (24"x36" SHEET)



DFT SET: 04/18/2023

### MATERIAL KEY NOTES

COLOR 1	SW 6364 / EGWHITE	1	STUCCO
COLOR 2	SW 2805 / RENWICK BEIGE	2	METAL RAILING
COLOR 3	SW 7039 / VIRTUAL TAUPE	3	METAL AWNING
COLOR 4	SW 2854 / CARIBBEAN CORAL	4	VINYL WINDOWS
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		8	MOUNTED LIGHT FIXTURES, EXCEPT SECURITY LIGHTING TO BE AT 6' MIN. AND 15' MAX. PER IDO 5-8 (D)(8)
		9	CONDENSER UNIT

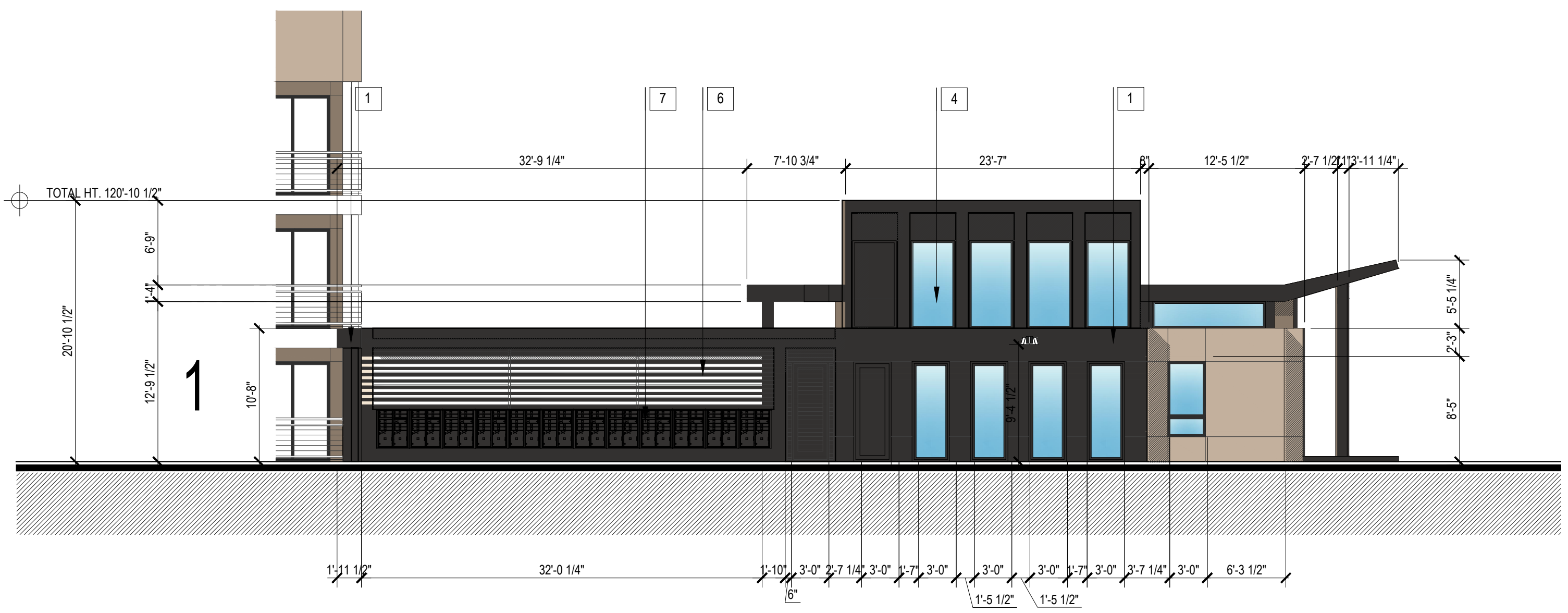
Designed by: XCH  
 Drawn by: RM  
 Architect of Record: RM  
 Date Plotted: 04/18/2023  
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 Issue for Construction:  
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#	DATE	COMMENTS

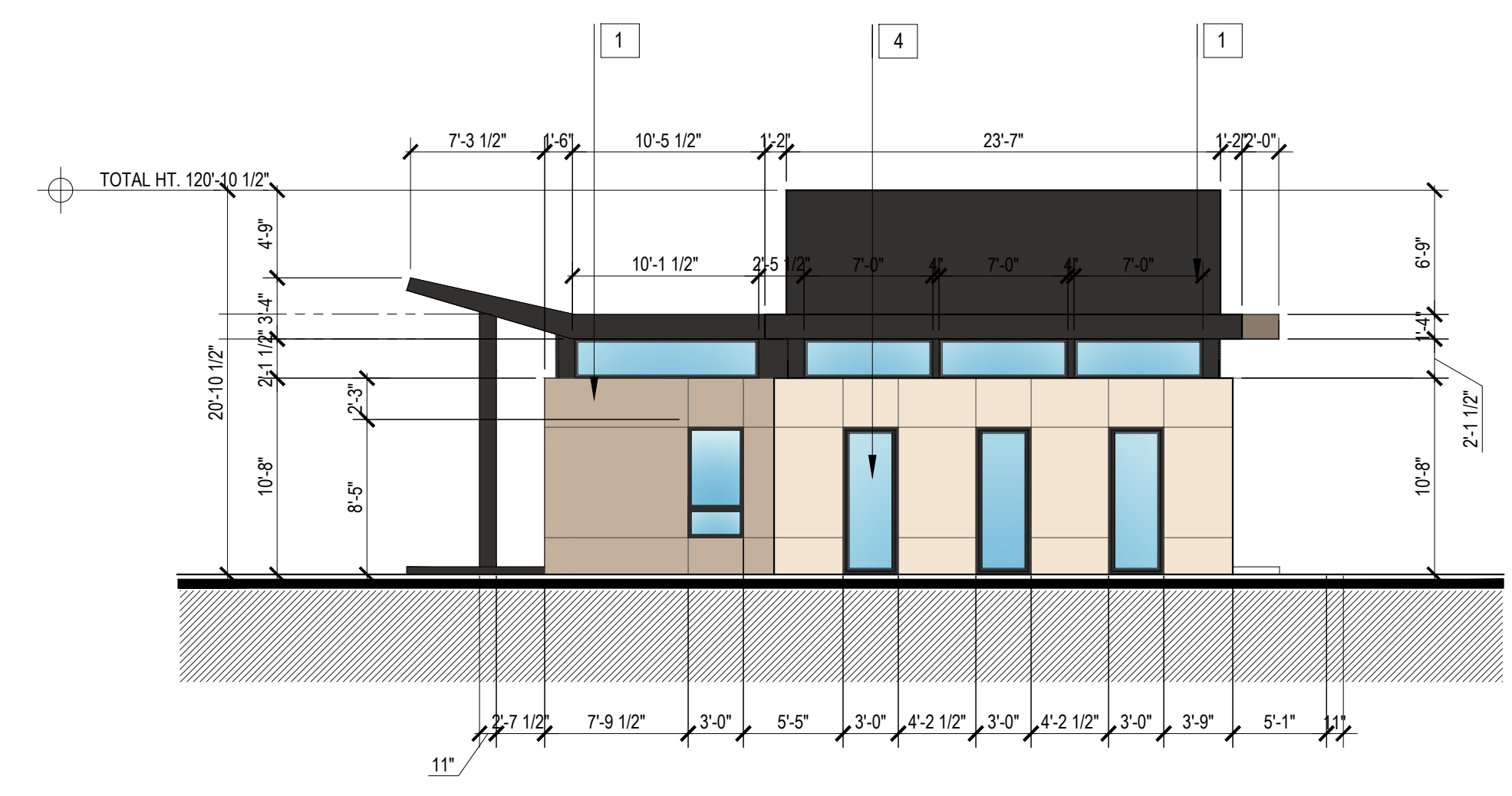
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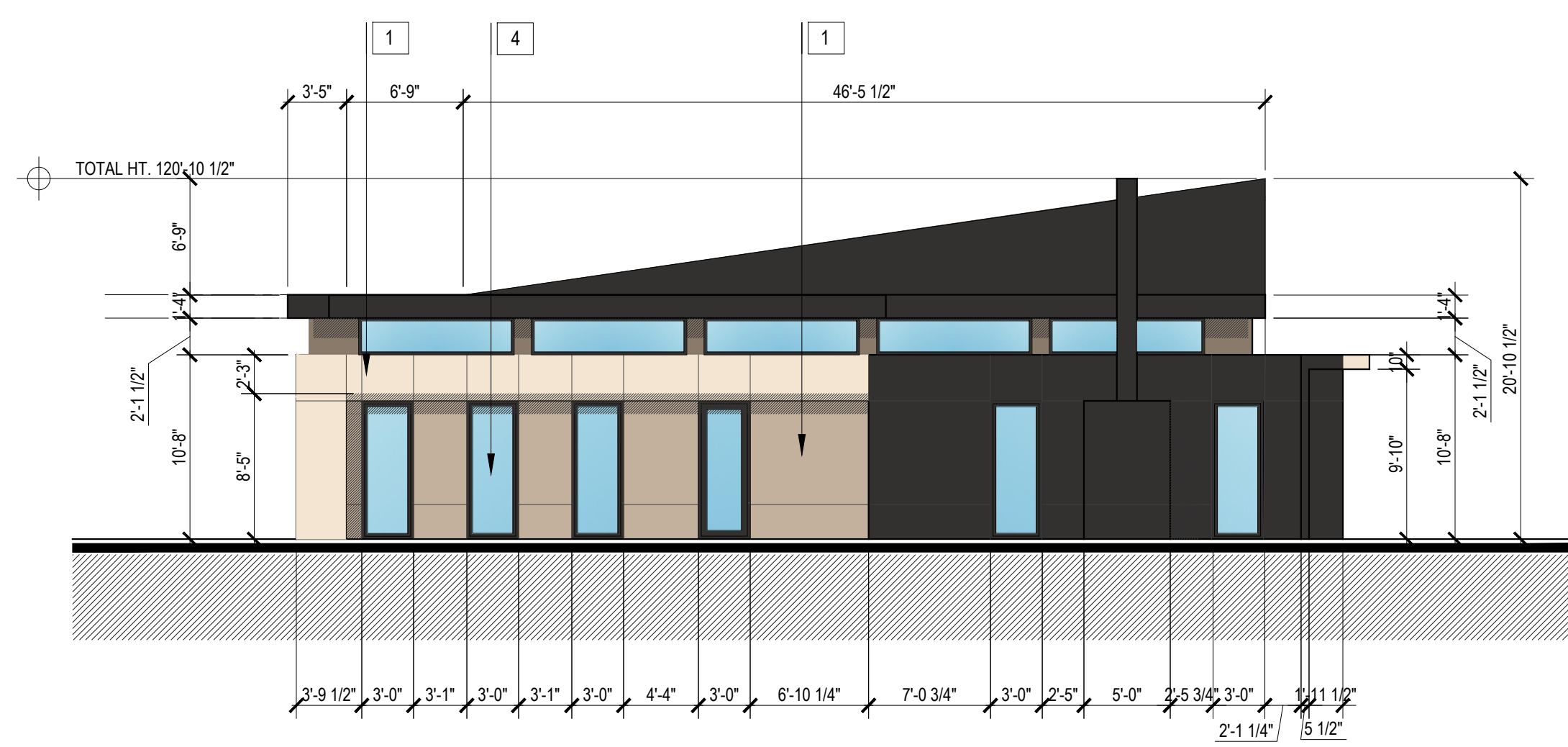
**4 CLUBHOUSE- FRONT ELEV**  
 SCALE: 1/8" = 1'-0"



**3 CLUBHOUSE & MAILBOXES- LEFT ELEV**  
 SCALE: 1/8" = 1'-0"

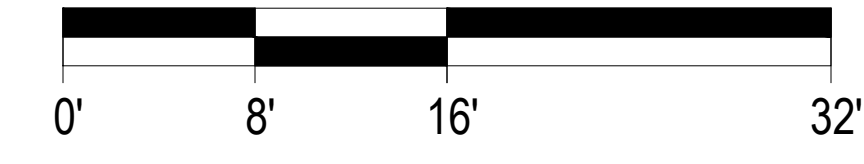


**2 CLUBHOUSE- RIGHT ELEV**  
 SCALE: 1/8" = 1'-0"

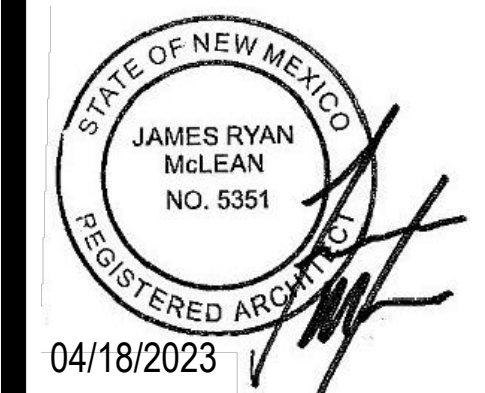


**1 CLUBHOUSE- REAR ELEV**  
 SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0" (24"x36" SHEET)



**TITAN**  
 DEVELOPMENT  
**RENOVA WYOMING**  
 ALBUQUERQUE, NM  
**TITAN DEVELOPMENT**



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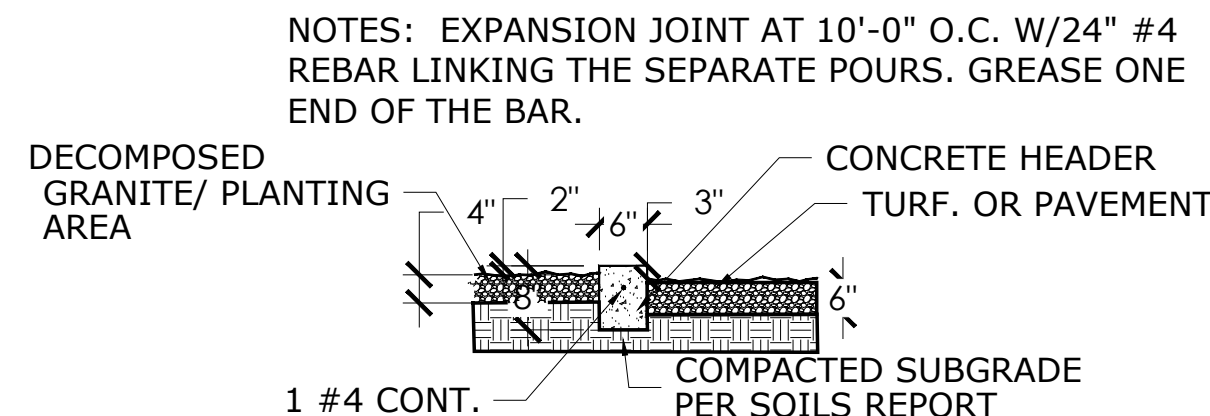
SHEET CONTENTS:  
 CLUBHOUSE ELEVATIONS  
 SHEET NO.  
**A8.10**  
 22135

DFT SET: 04/18/2023

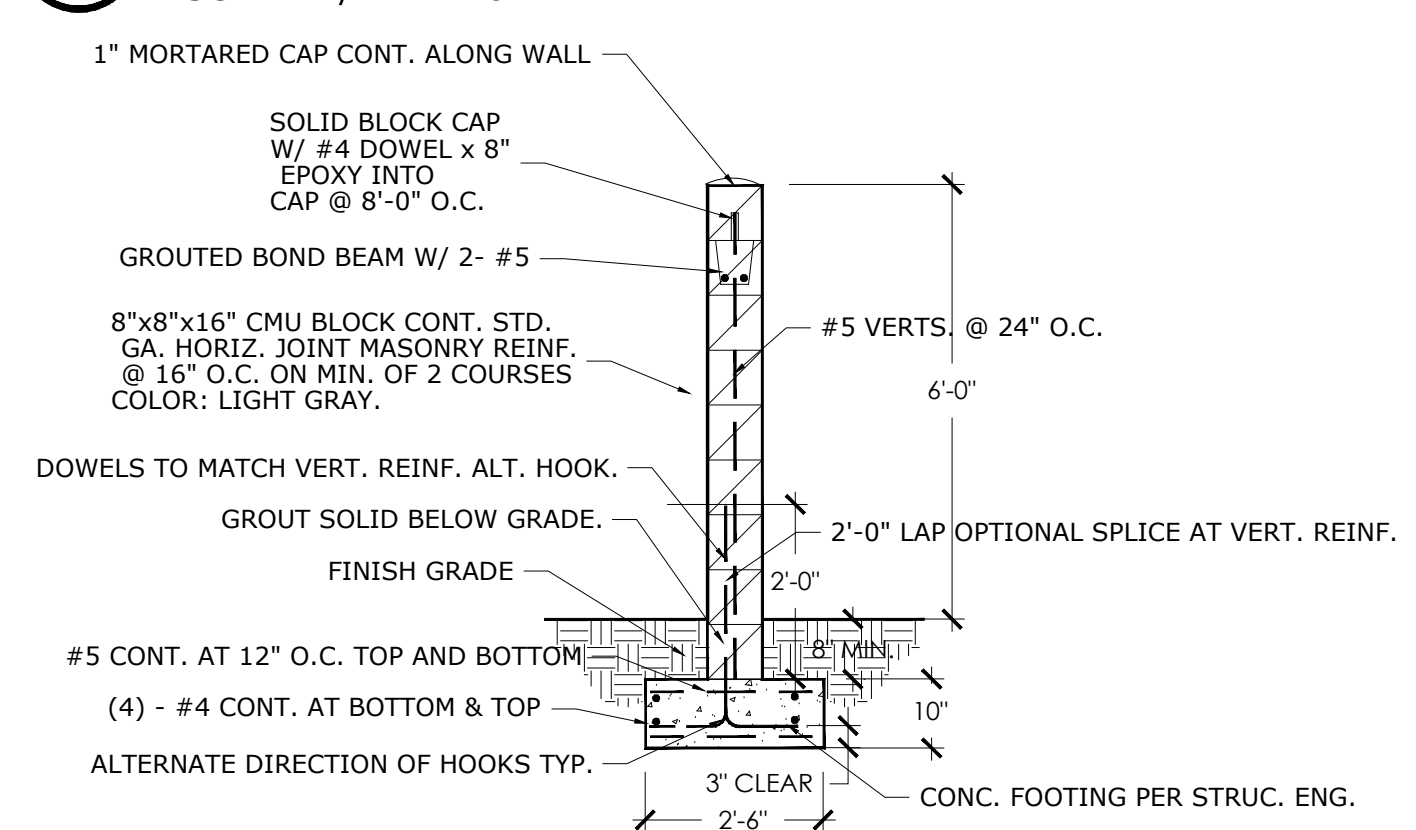




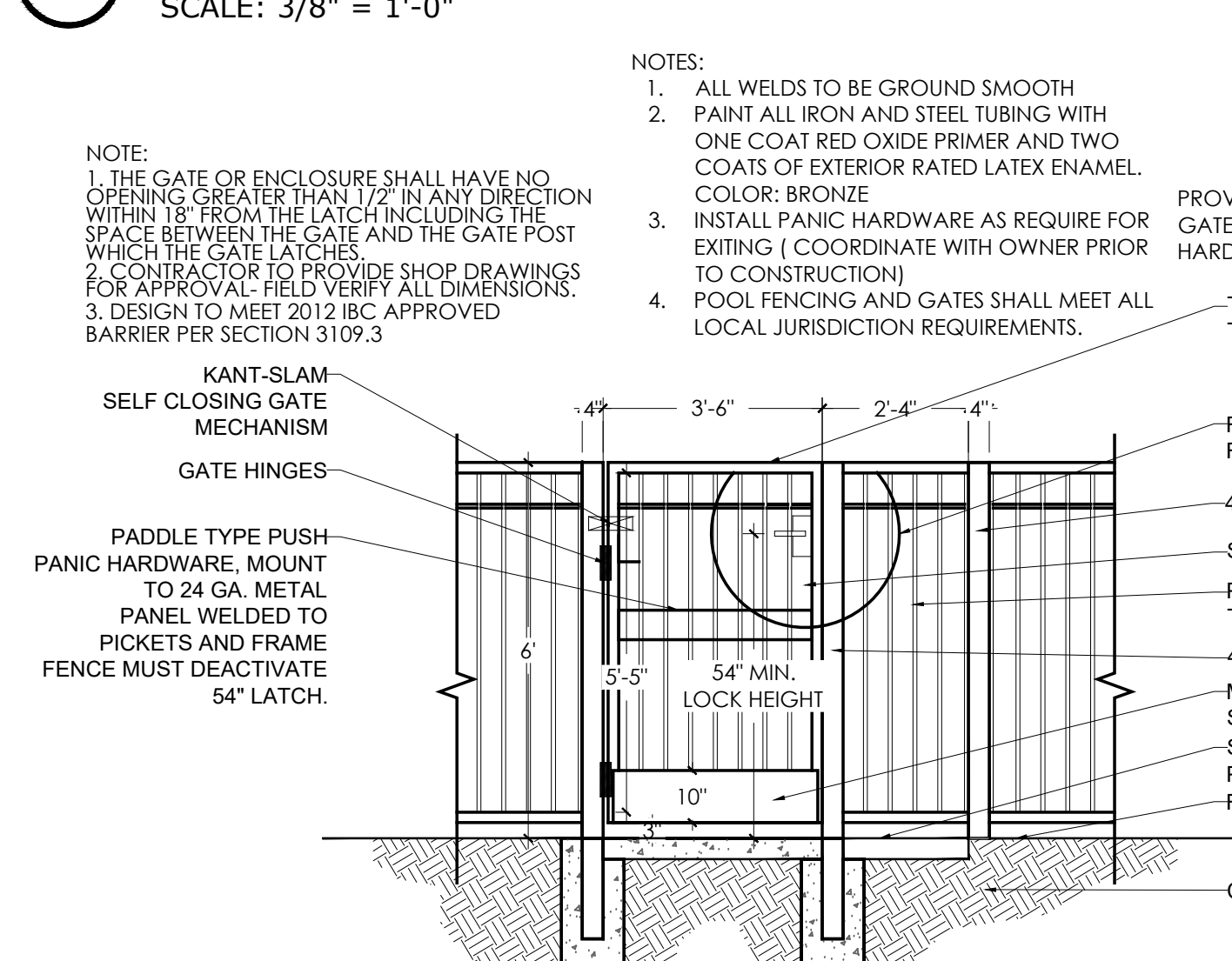




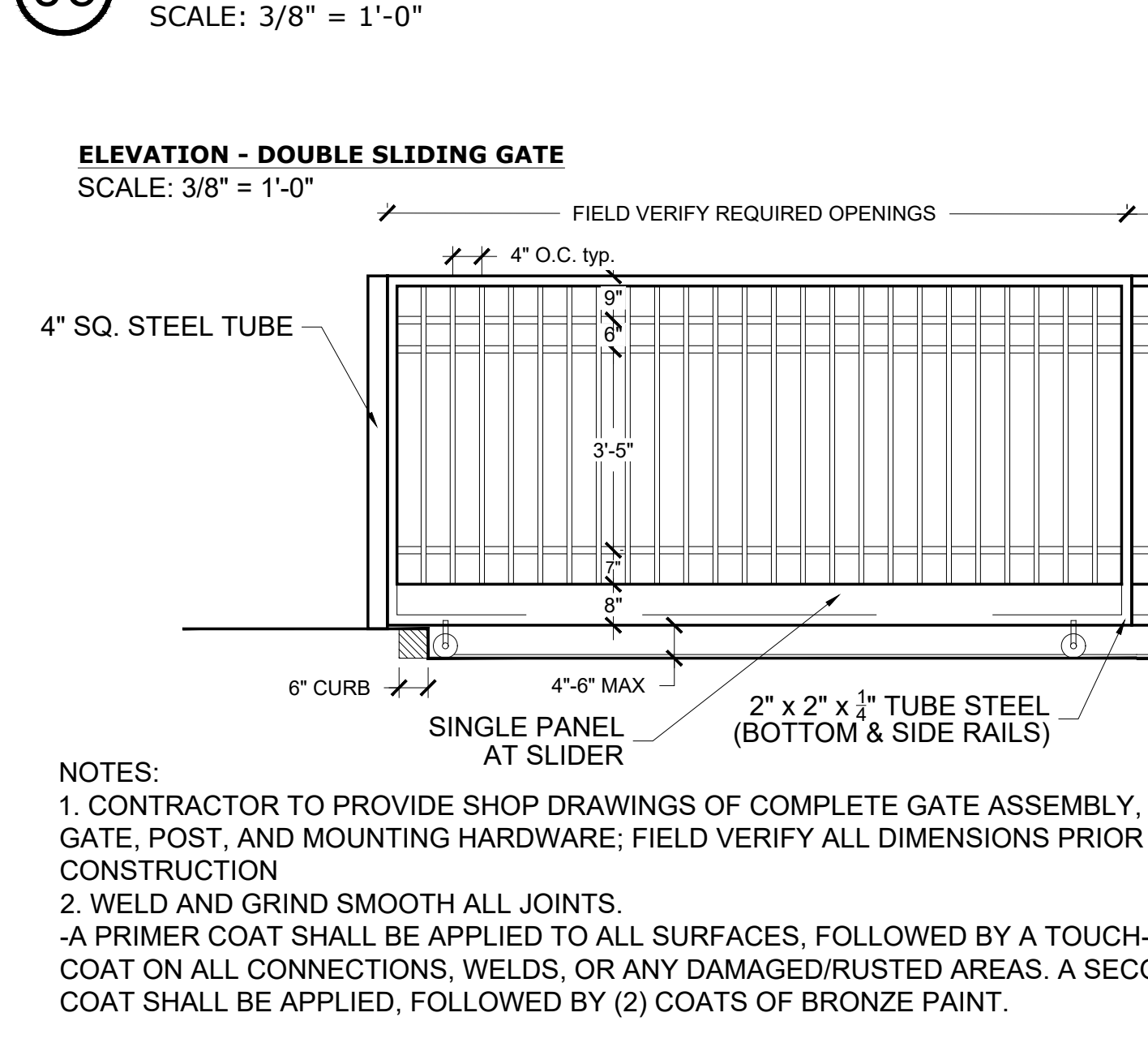
**01 CONCRETE HEADER**  
 SCALE: 1/2" = 1'-0"



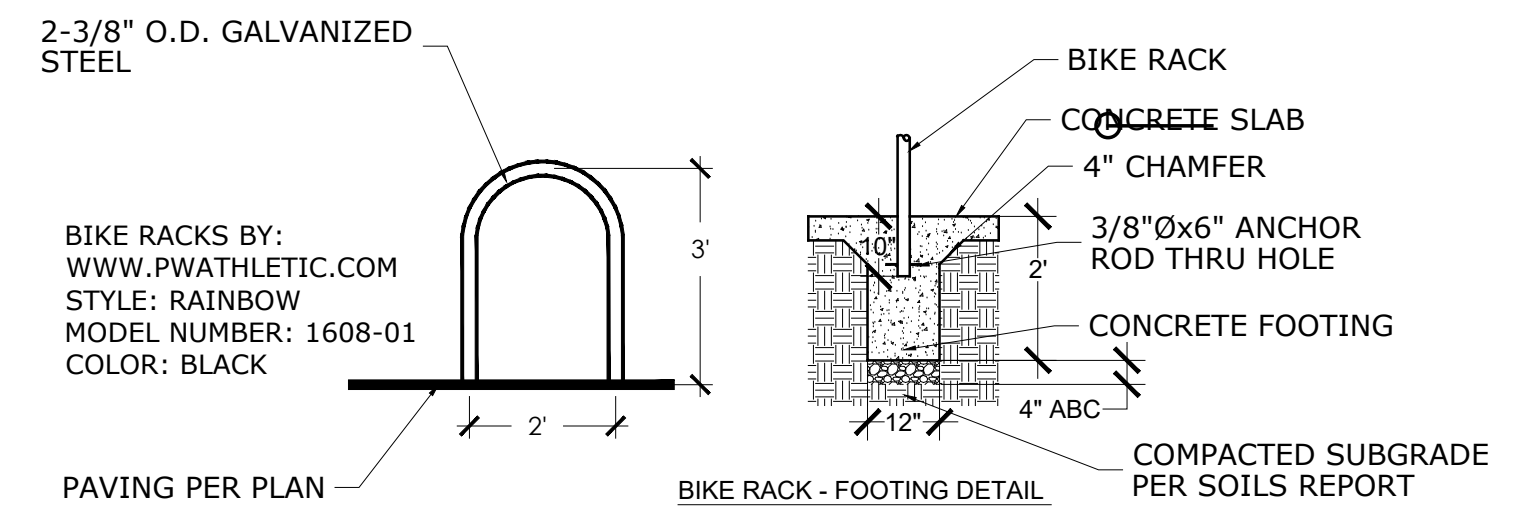
**03 CMU SITE PERIMETER WALL**  
 SCALE: 3/8" = 1'-0"



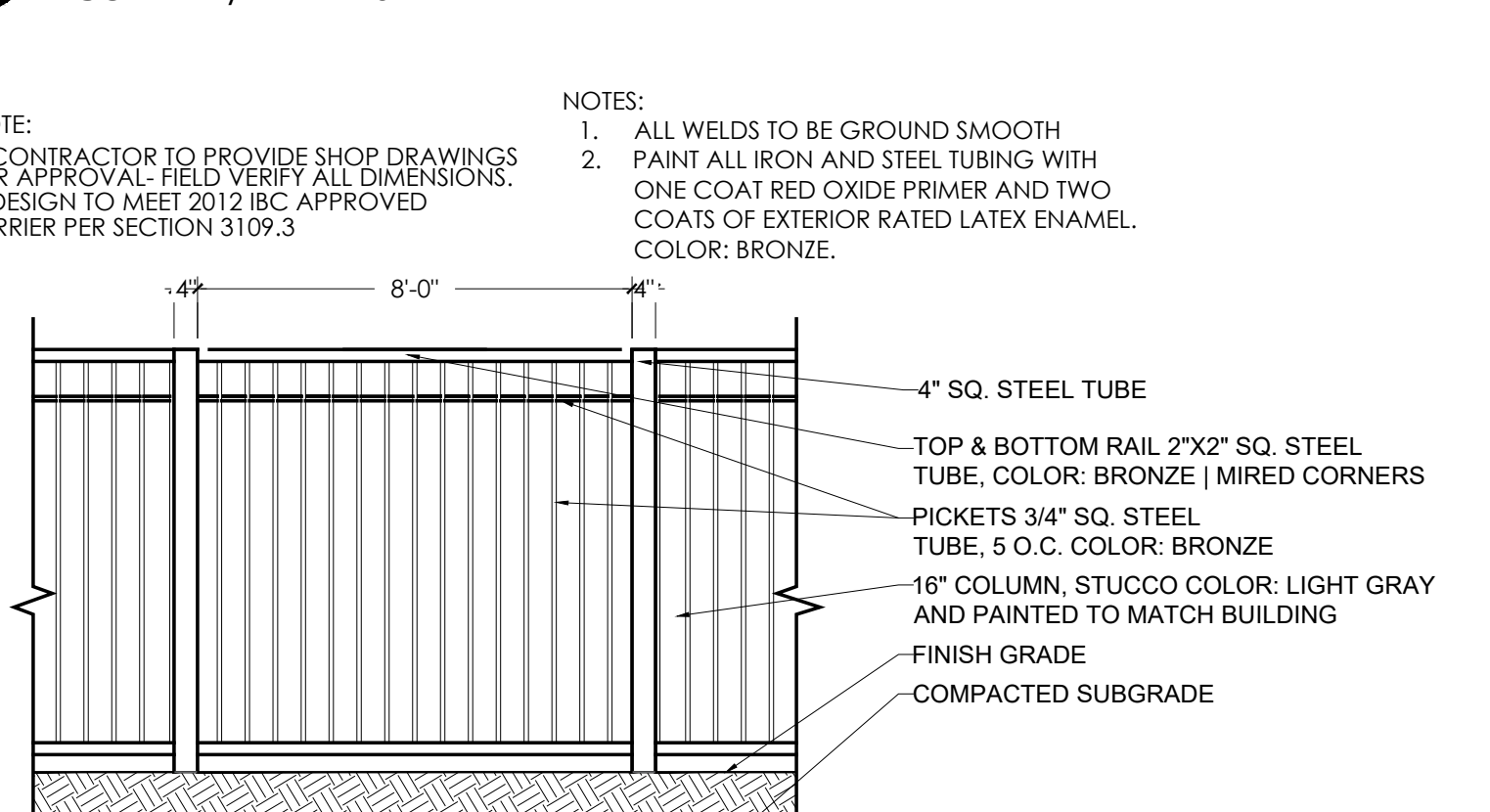
**06 TUBE STEEL POOL FENCE**  
 SCALE: 3/8" = 1'-0"



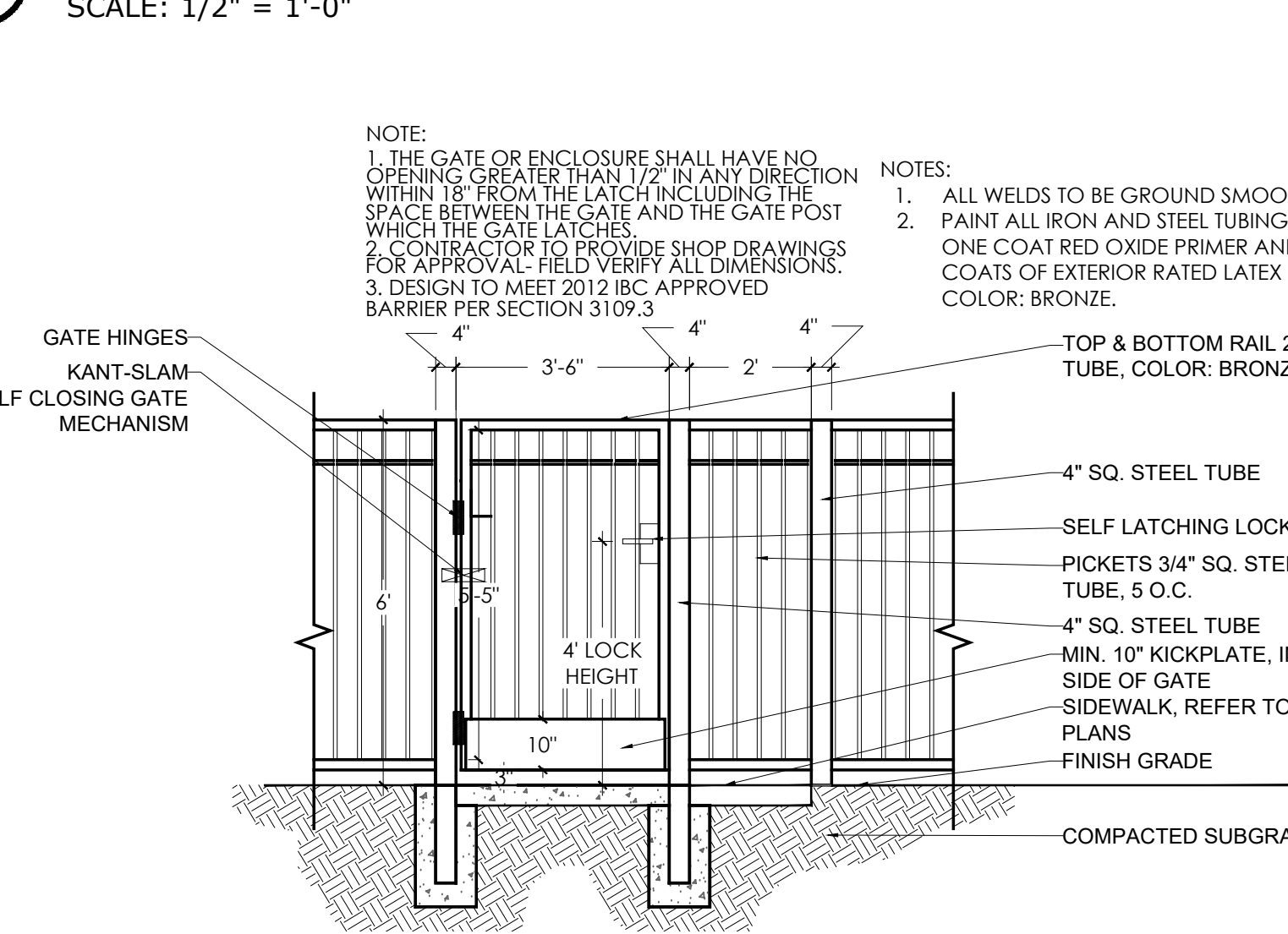
**09 VEHICULAR GATE**



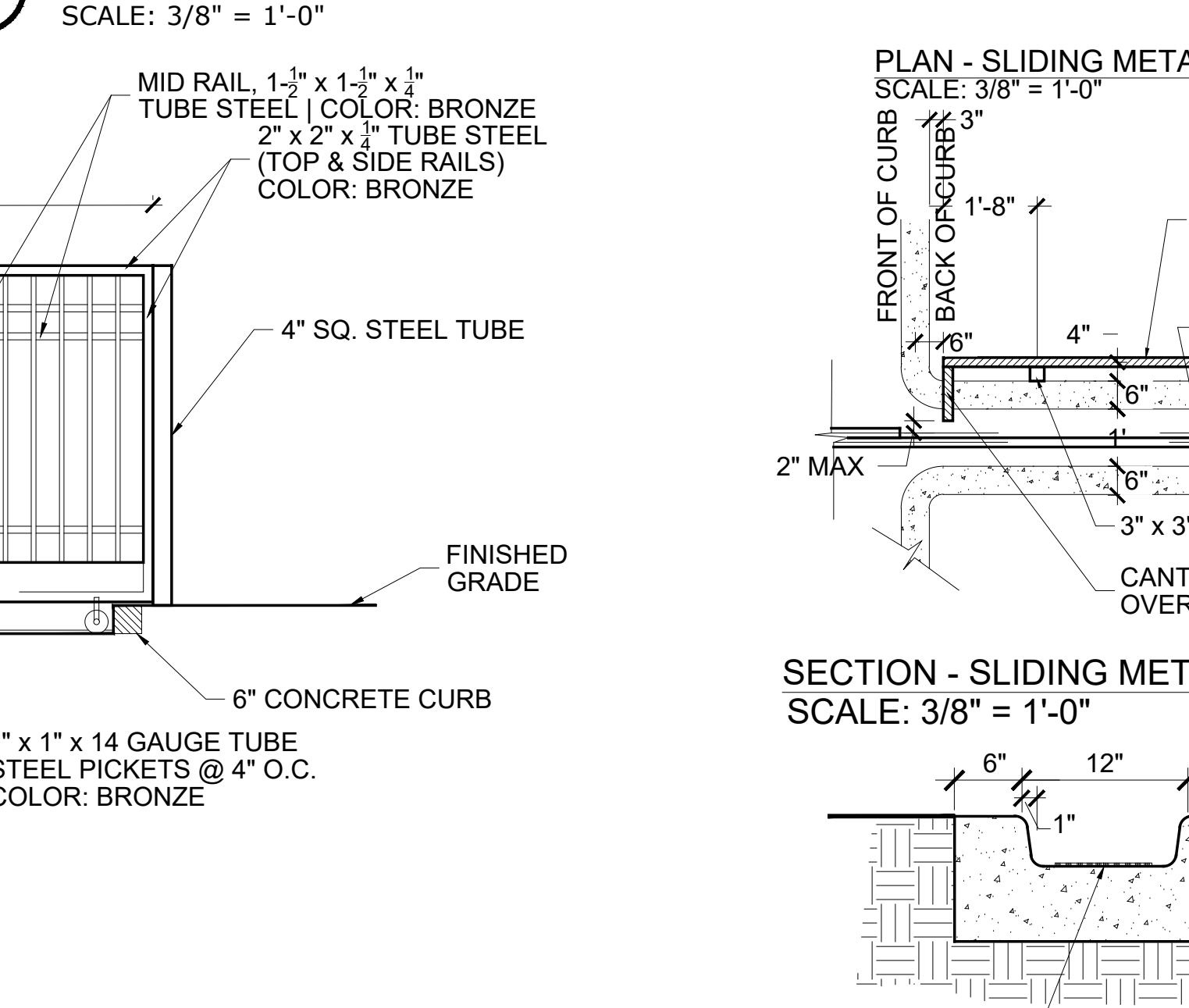
**02 BICYCLE RACK**  
 SCALE: 1/2" = 1'-0"



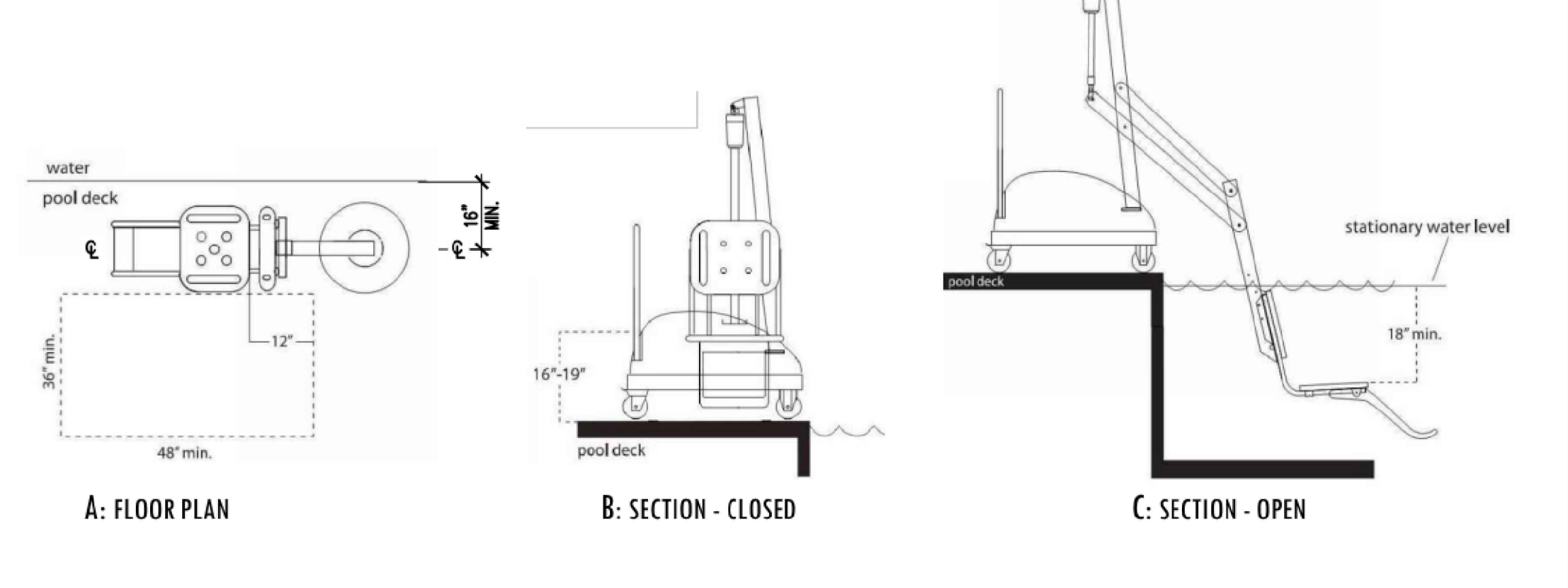
**04 TUBE STEEL PERIMETER FENCE**  
 SCALE: 1/2" = 1'-0"



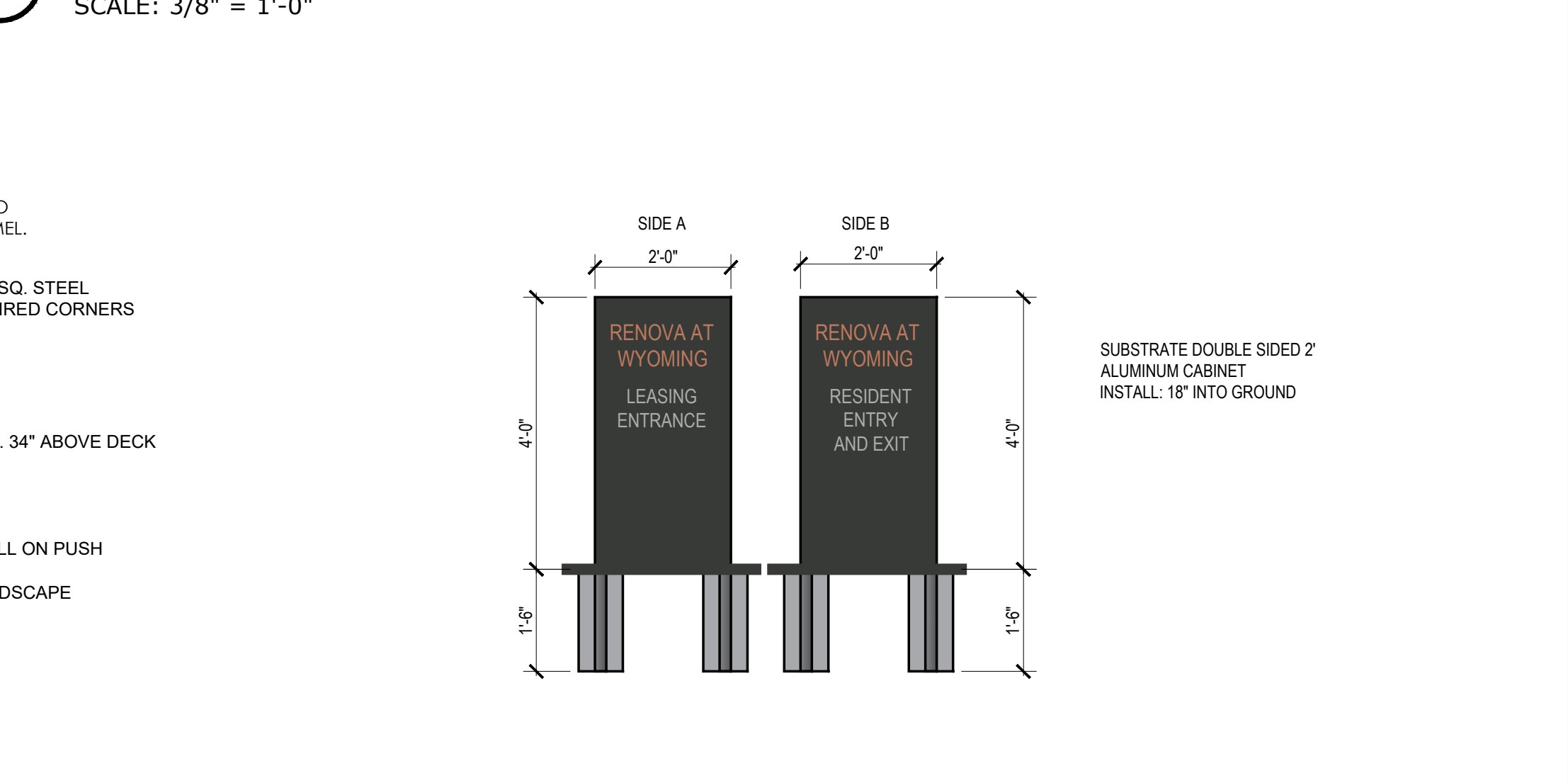
**07 PEDESTRIAN GATE**  
 SCALE: 3/8" = 1'-0"



**08 STANDING SIGN**  
 SCALE: 1/2" = 1'-0"



**05 POOL ADA LIFT**  
 SCALE: 3/8" = 1'-0"

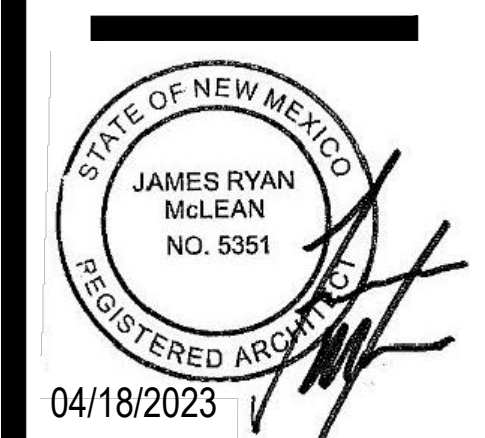


**08 STANDING SIGN**  
 SCALE: 1/2" = 1'-0"

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RENOVA WYOMING  
 ALBUQUERQUE, NM  
 TITAN DEVELOPMENT



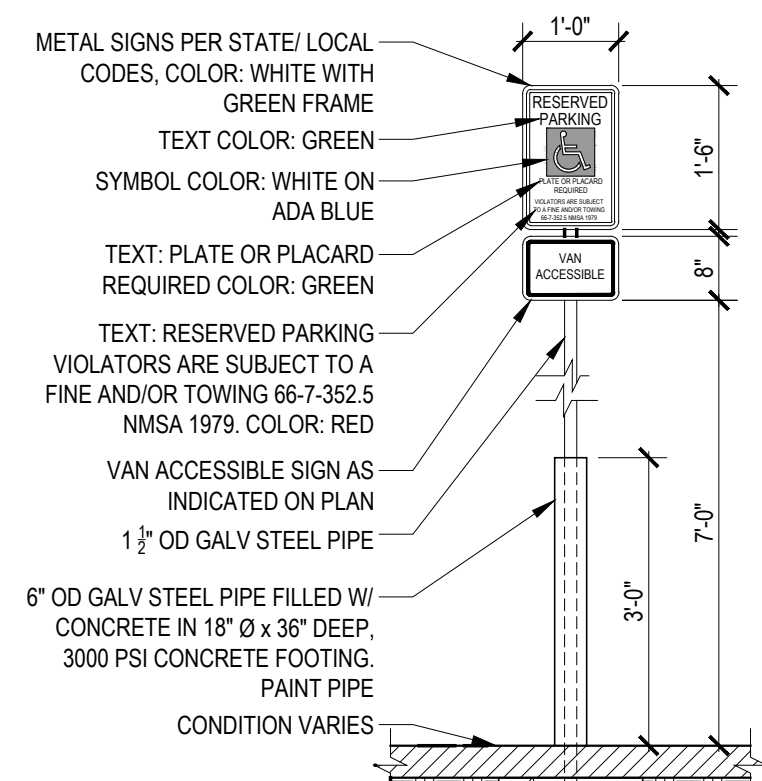
04/18/2023

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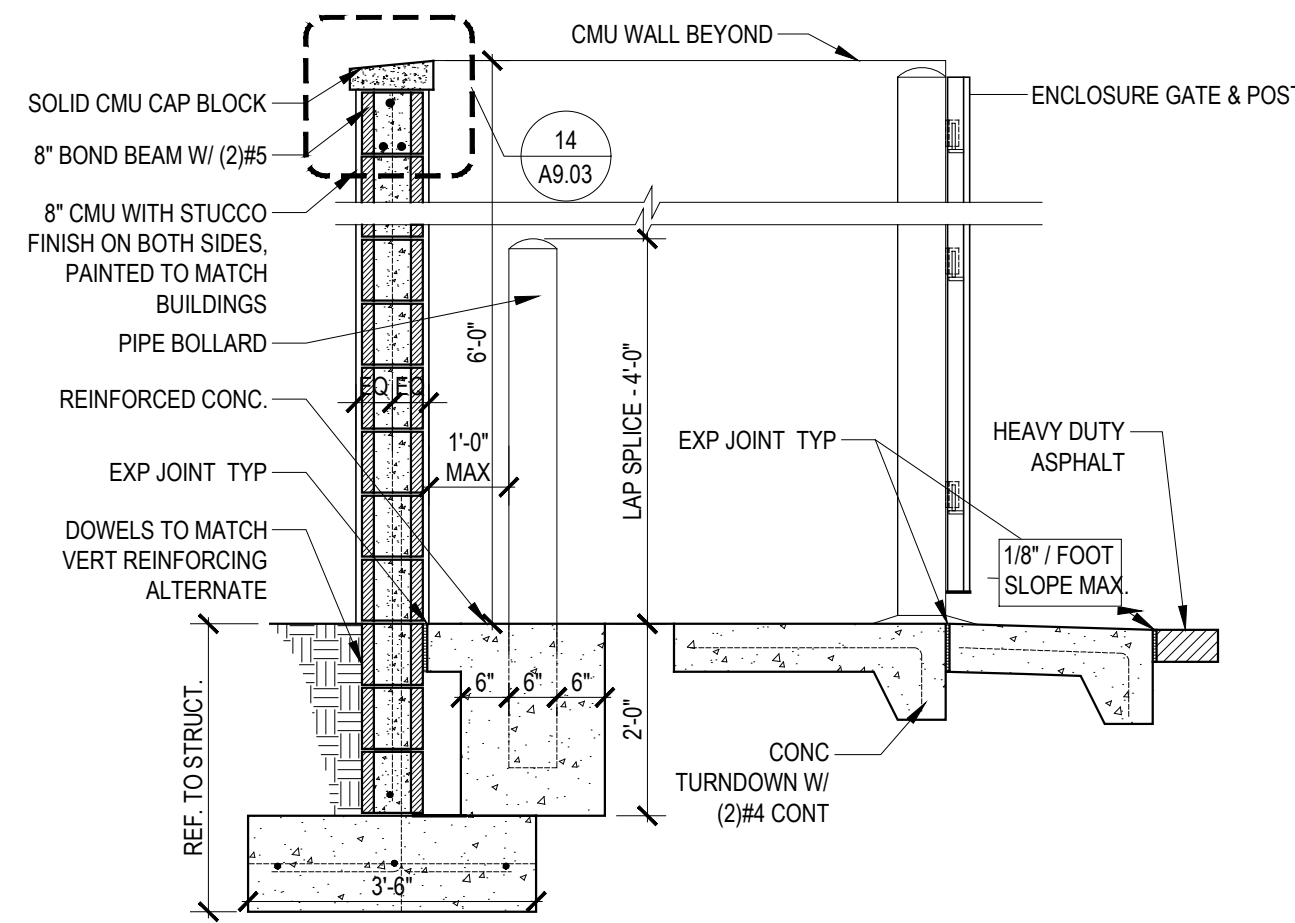
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 SITE DETAILS  
 SHEET NO.  
**A9.02**  
 22135

DFT SET: 04/18/2023

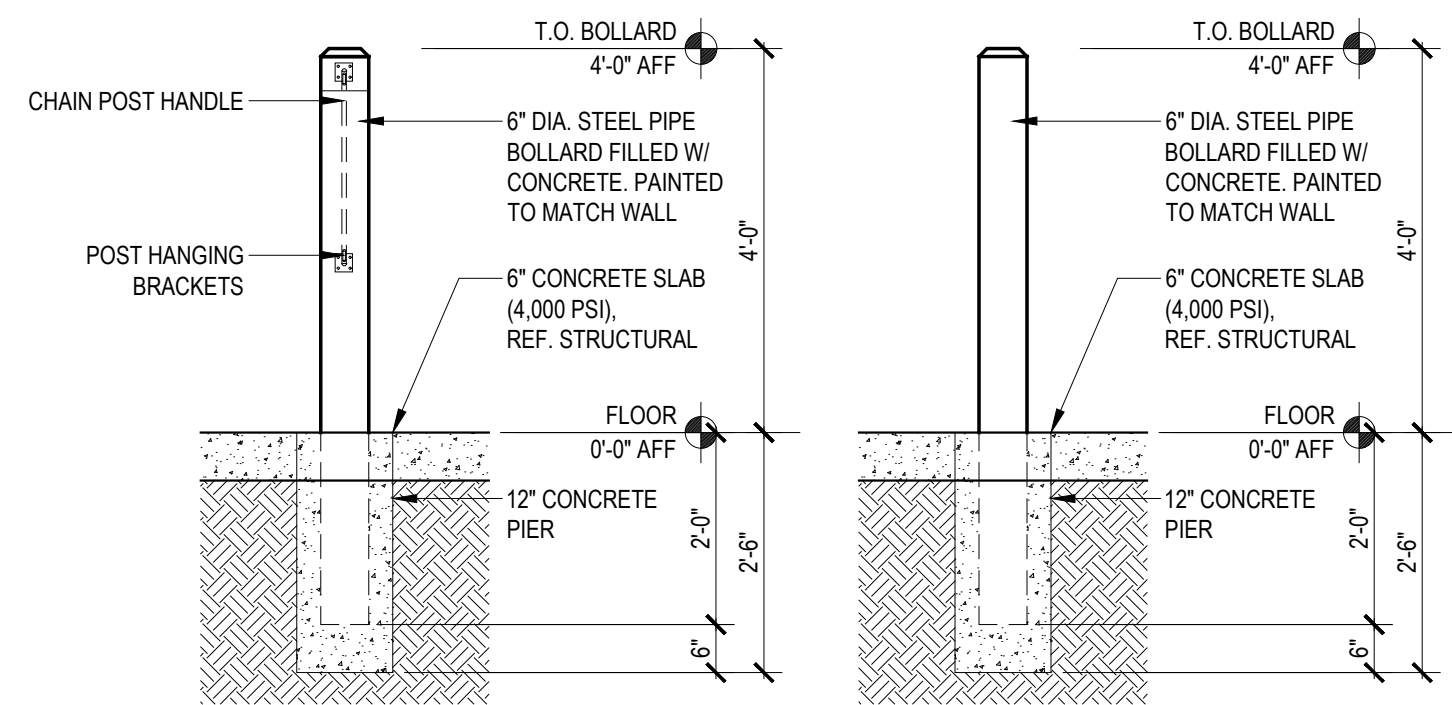




**11 PIPE BOLLARD & ACCESSIBILITY SIGNAGE**  
SCALE = 1/2" = 1'-0"

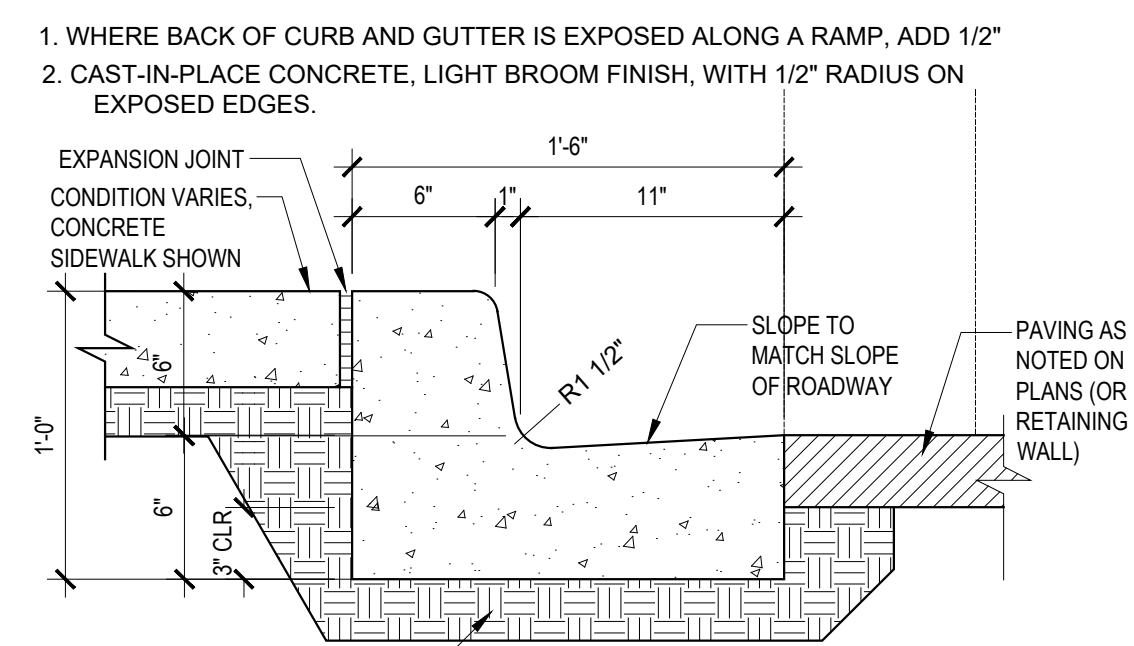


**10 TRASH ENCLOSURE SECTION**  
SCALE = 1/2" = 1'-0"

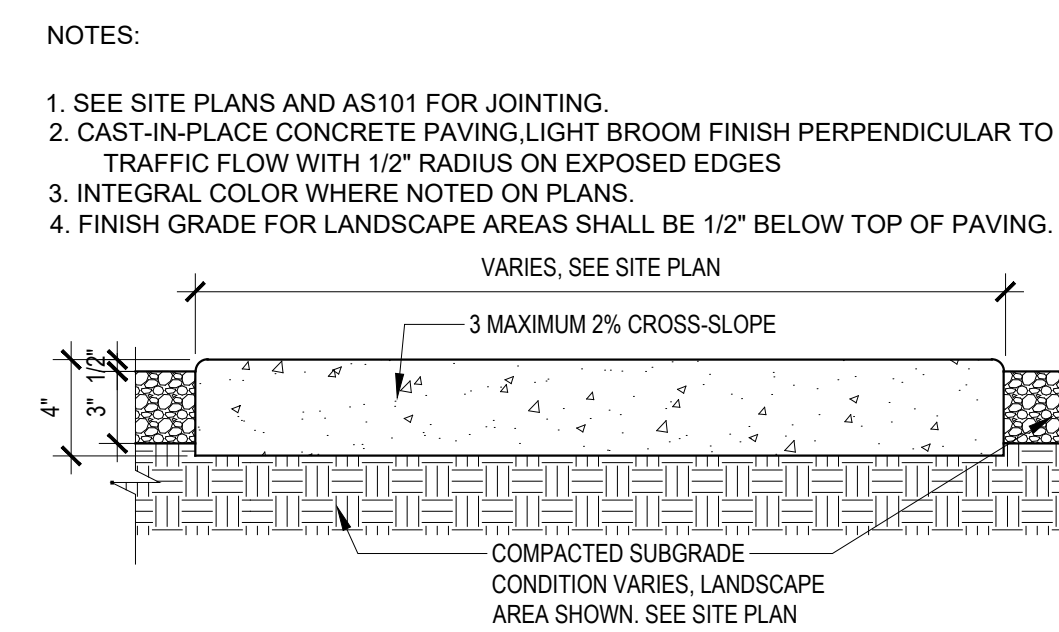


**9 BOLLARD SECTION WITH CHAIN/HOOK**  
SCALE: 1/2" = 1'-0"

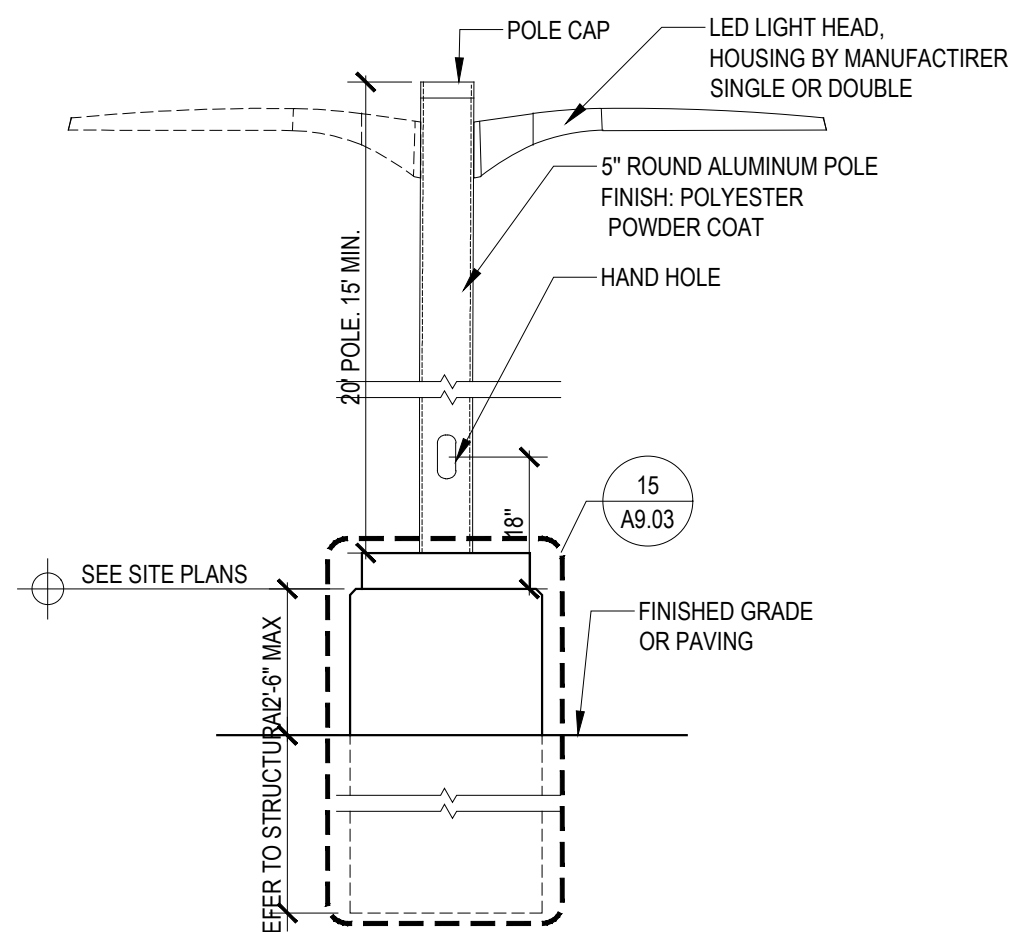
**8 BOLLARD SECTION**  
SCALE: 1/2" = 1'-0"



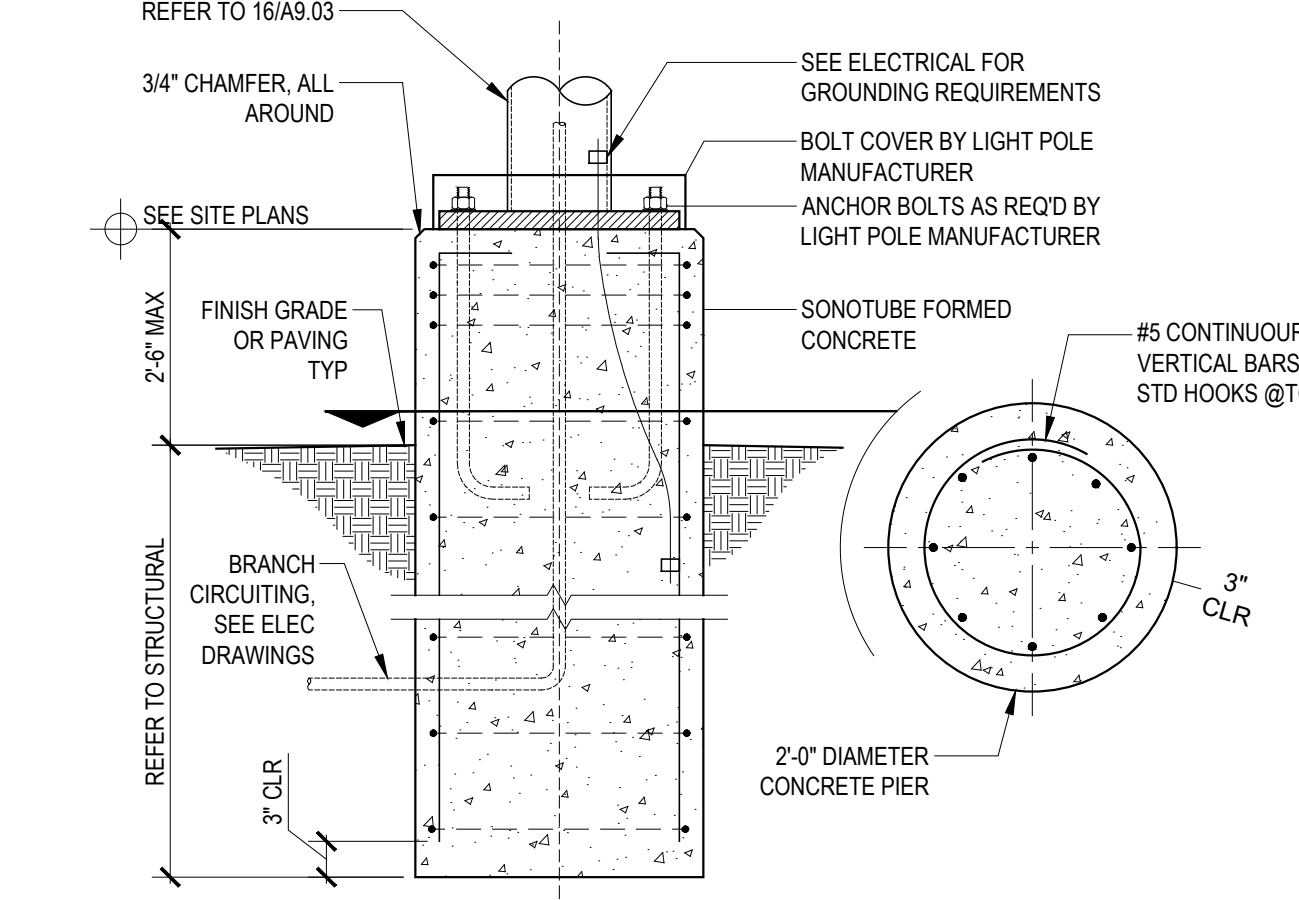
**7 CONCRETE CURB & GUTTER**  
SCALE = 1 1/2" = 1'-0"



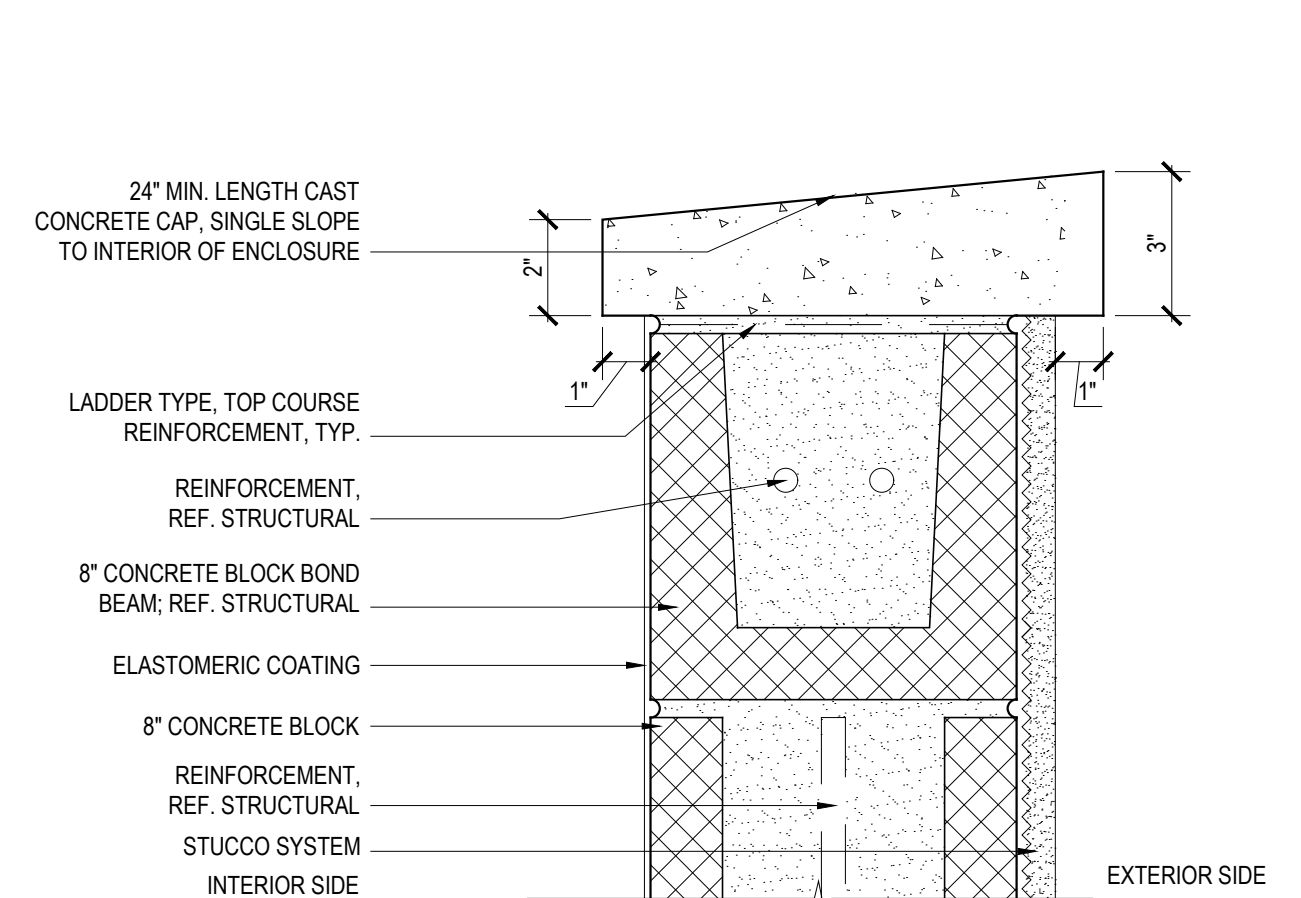
**6 CONCRETE SIDEWALK**  
SCALE = 1 1/2" = 1'-0"



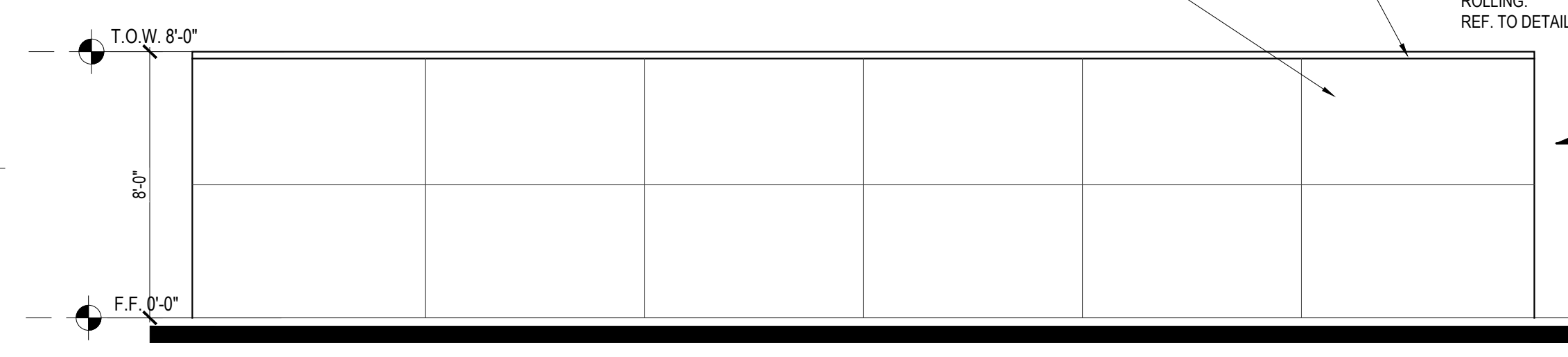
**16 LIGHT POLE**  
SCALE = 3/4" = 1'-0"



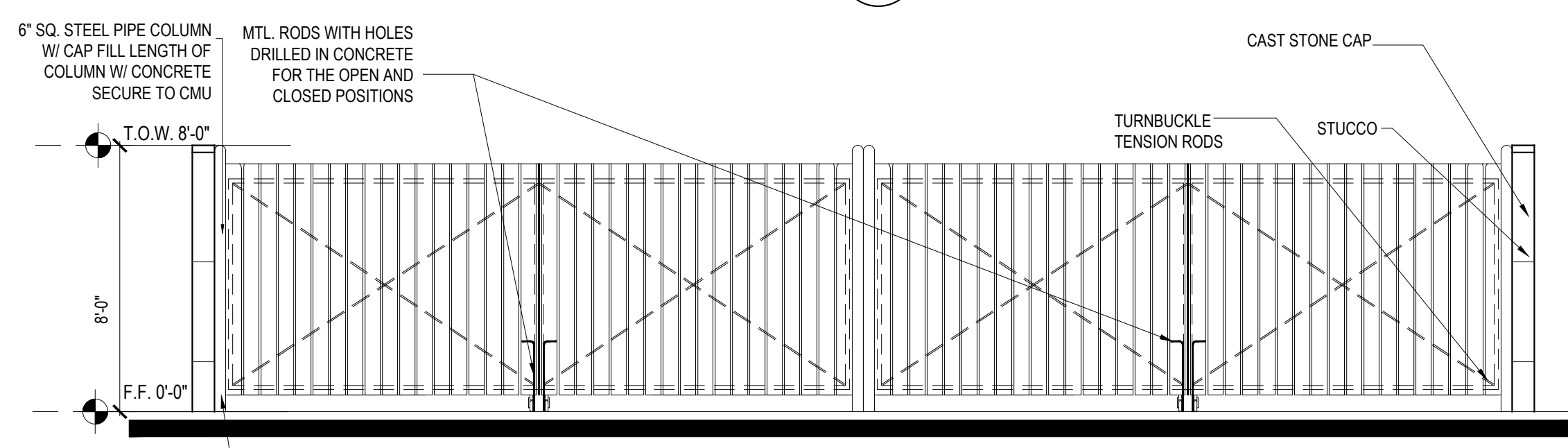
**15 FOUNDATION @ LIGHT POLE**  
SCALE = 3/4" = 1'-0"



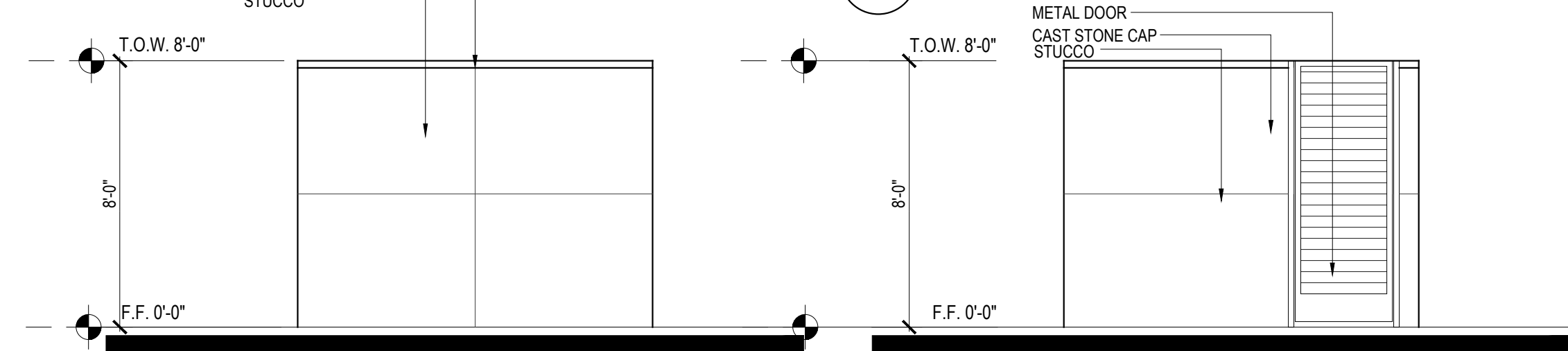
**14 CAP AT CMU WALL**  
SCALE: 3" = 1'-0"



**5 DUMPSTER - WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

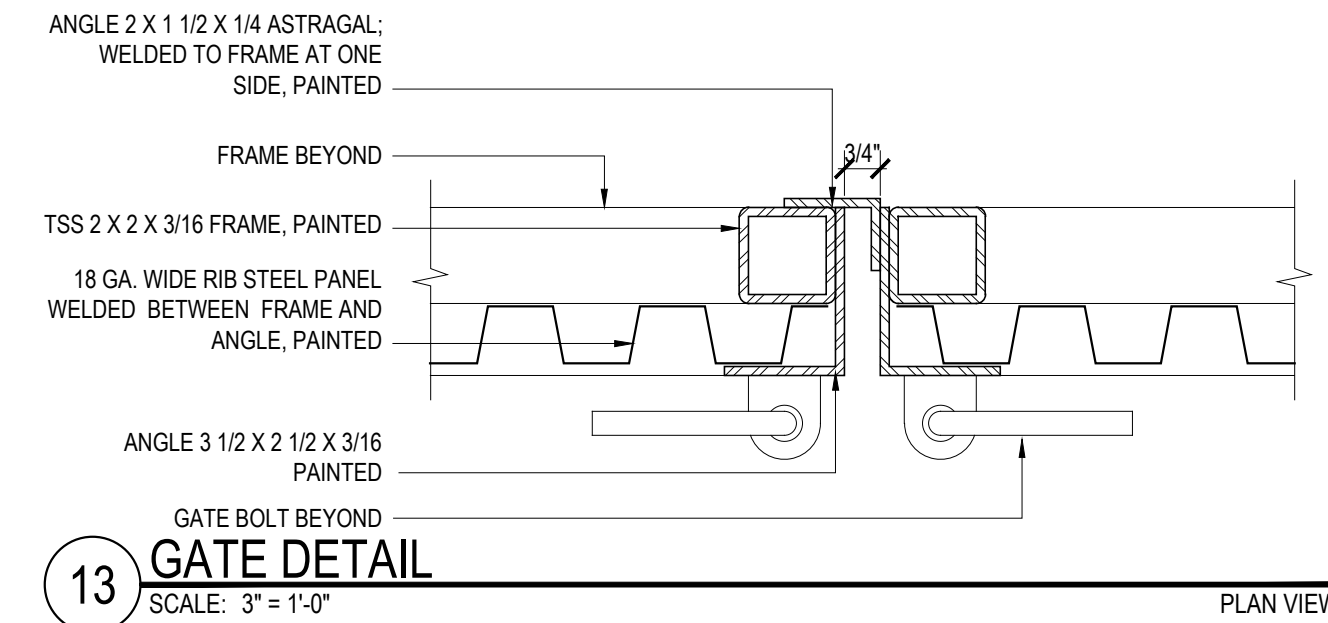


**4 DUMPSTER - EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

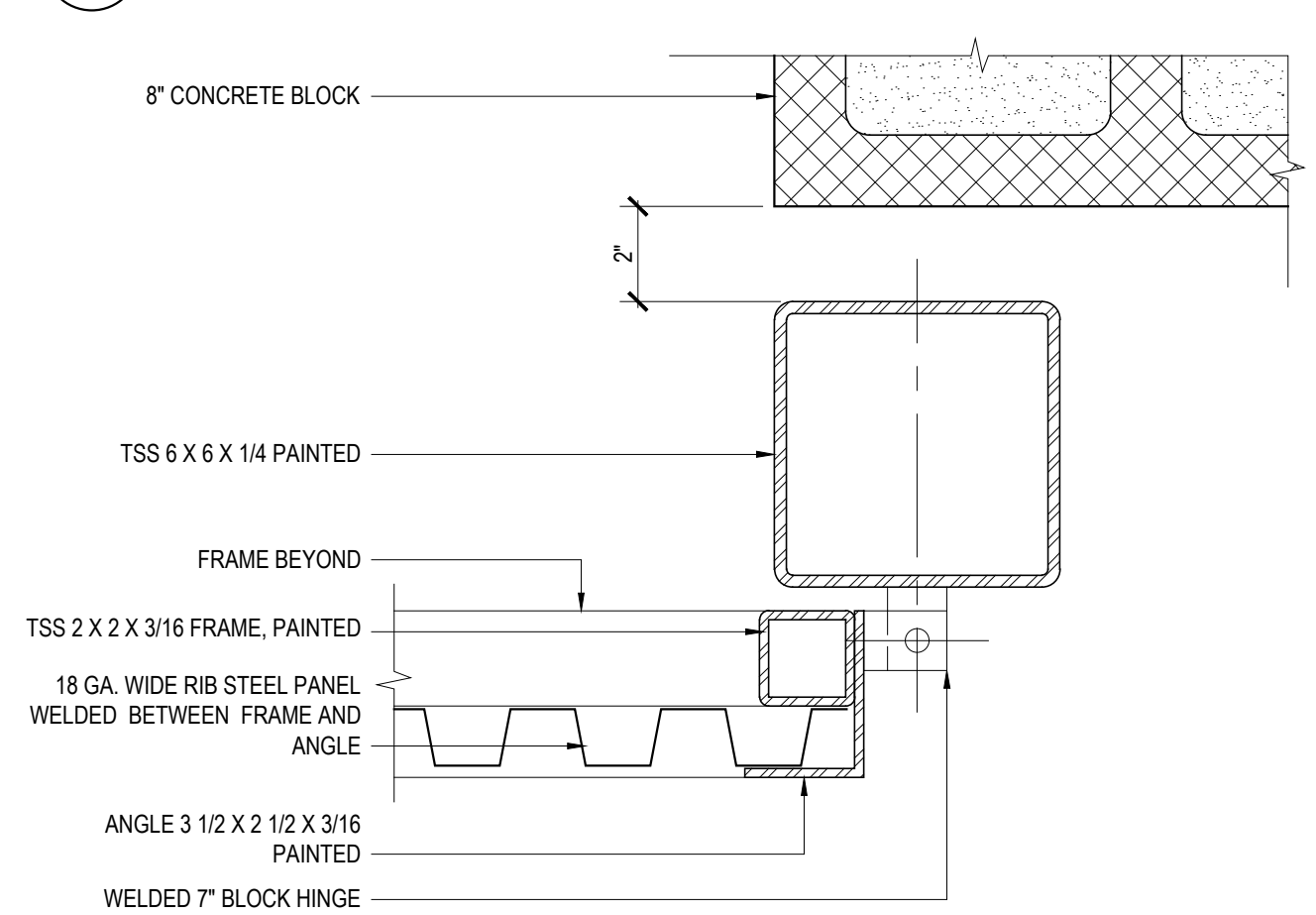


**3 DUMPSTER - SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

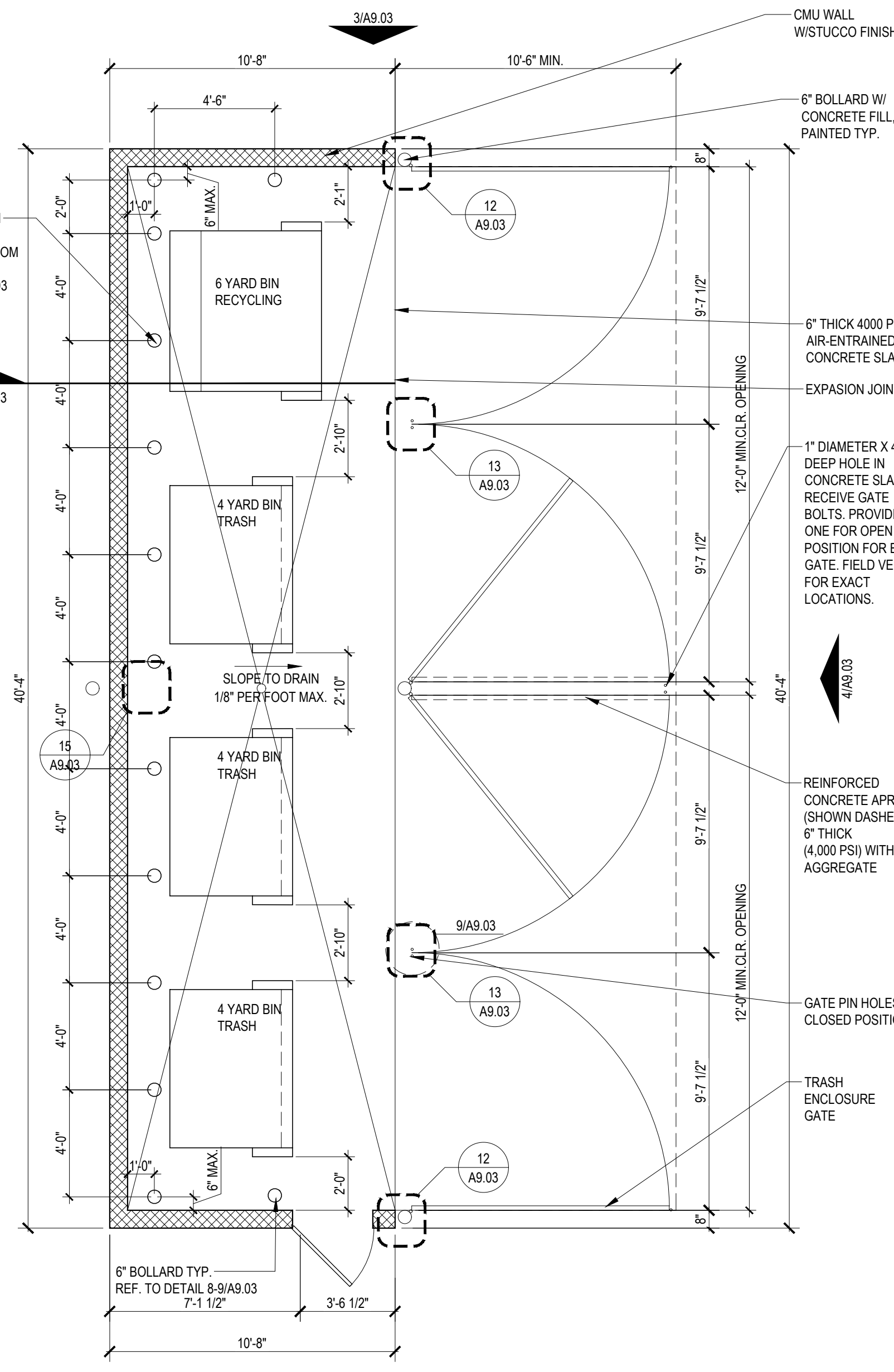
**2 DUMPSTER - NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**13 GATE DETAIL**  
SCALE: 3" = 1'-0"



**12 GATE HINGE SECTION**  
SCALE: 3" = 1'-0"



**1 DUMPSTER - FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

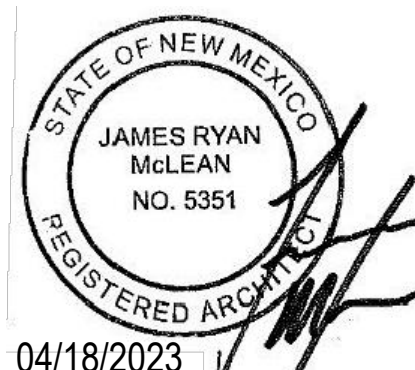
Designed by: XCH  
 Drawn by: XX  
 Architect of Record: RM  
 Date Plotted: 04/18/2023  
 Issue for Pricing / Bidding:  
 Issue for Permit Application:  
 Issue for Construction:  
 Revisions:

#	DATE	COMMENTS

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RENOVA WYOMING  
 ALBUQUERQUE, NM  
 TITAN DEVELOPMENT



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SHEET CONTENTS:  
 DUMPSTER  
 SHEET NO.  
**A9.03**  
 22135

DFT SET: 04/18/2023



**MATERIAL KEY NOTES**

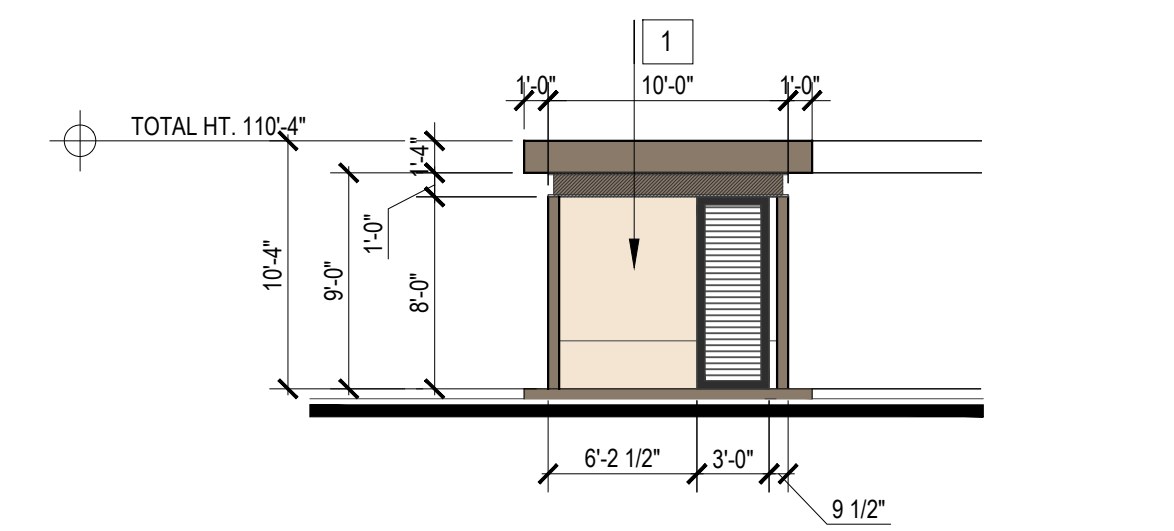
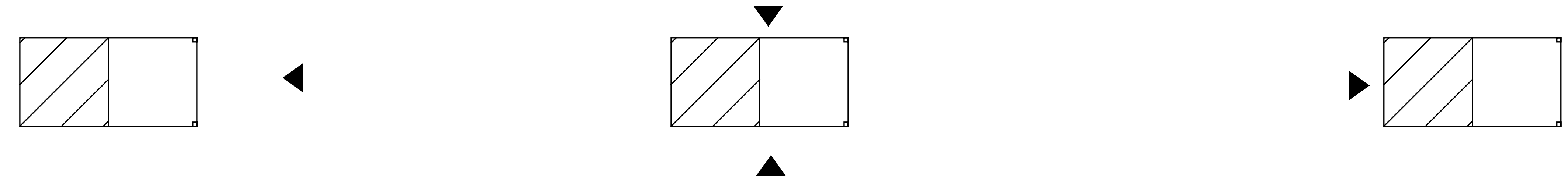
- 1 STUCCO
- 2 METAL RAILING
- 3 METAL AWNING
- 4 VINYL WINDOWS
- 5 METAL TRIM
- 6 METAL SCREEN
- 7 MAIL BOXES
- 8 LOUVER

Issue for Pricing / Bidding:		
Issue for Permit Application:		
Issue for Construction:		
Revisions:		
#	DATE	COMMENTS

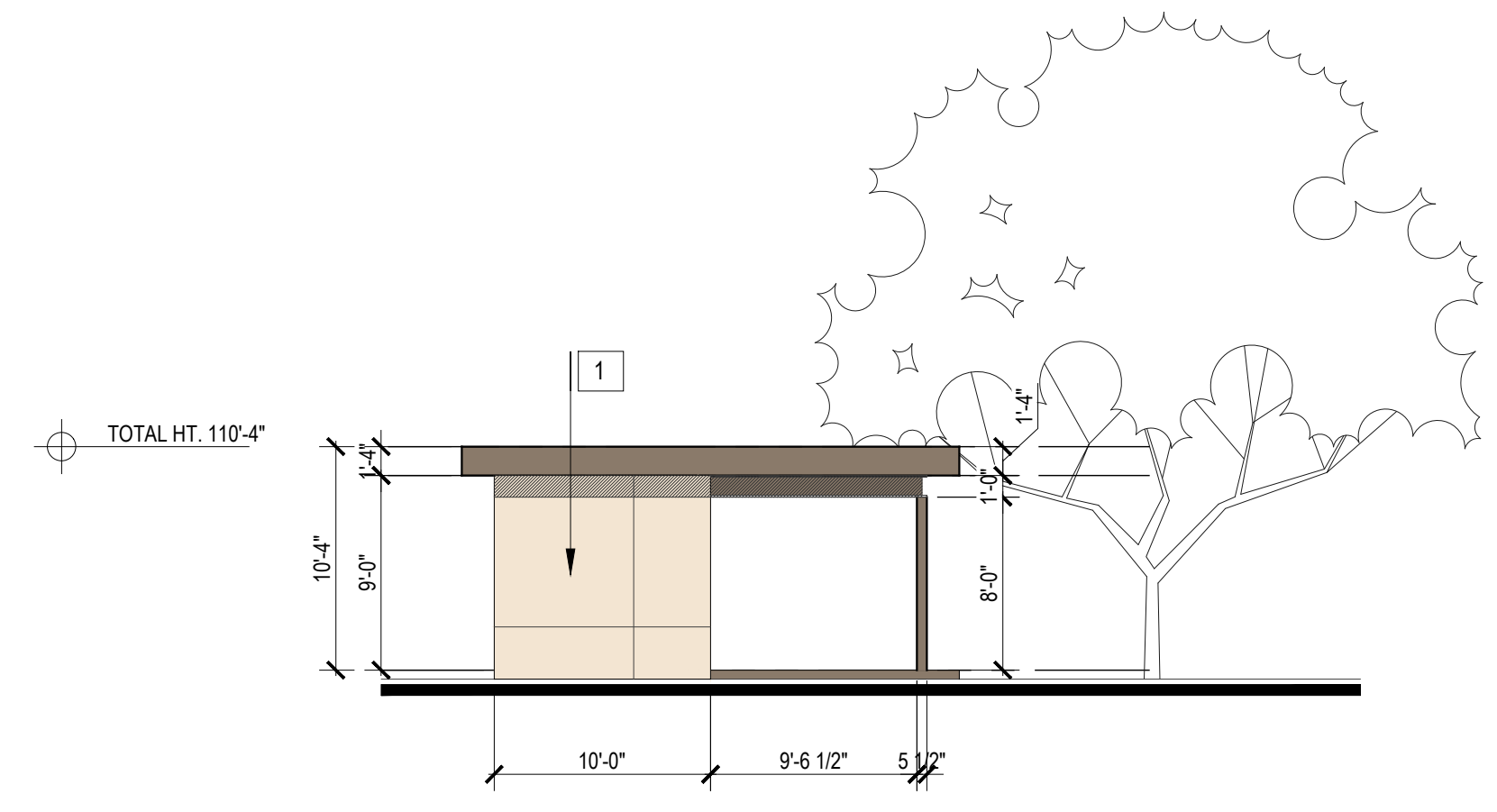
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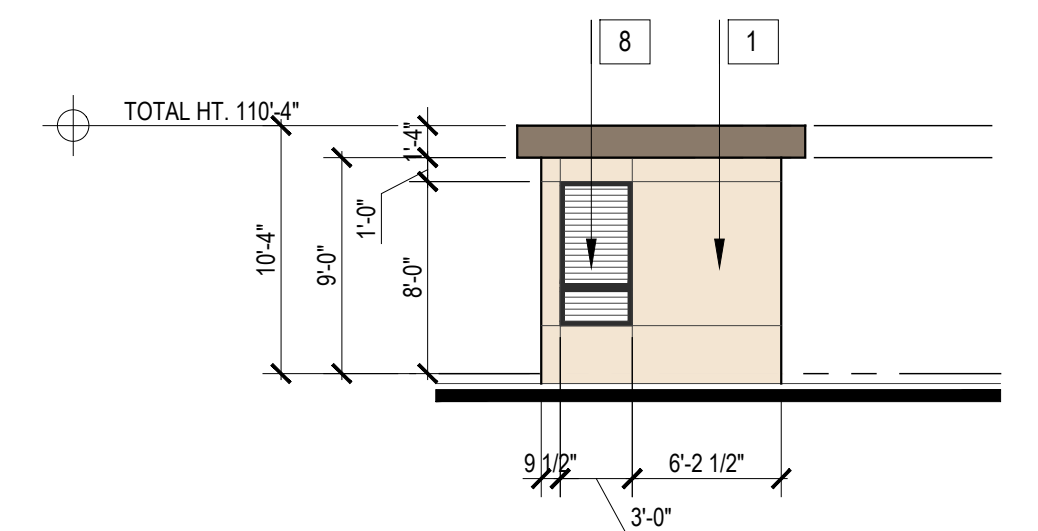
RENOVA WYOMING  
 ALBUQUERQUE, NM  
 TITAN DEVELOPMENT



**3 POOL HOUSE - FRONT ELEV**  
 SCALE: 1/8" = 1'-0"

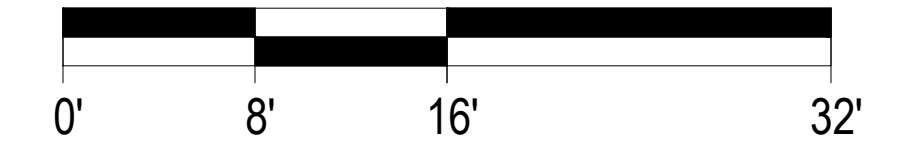


**2 POOL HOUSE - LEFT & RIGHT ELEVS.**  
 SCALE: 1/8" = 1'-0"



**1 POOL HOUSE - REAR ELEV**  
 SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0" (24"x36" SHEET)



DFT SET: 04/18/2023

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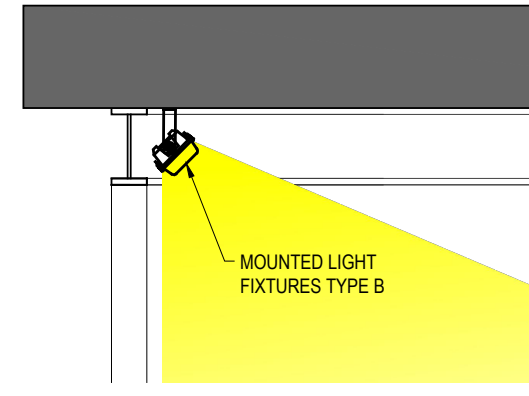


SHEET CONTENTS:  
 POOL HOUSE ELEVATIONS

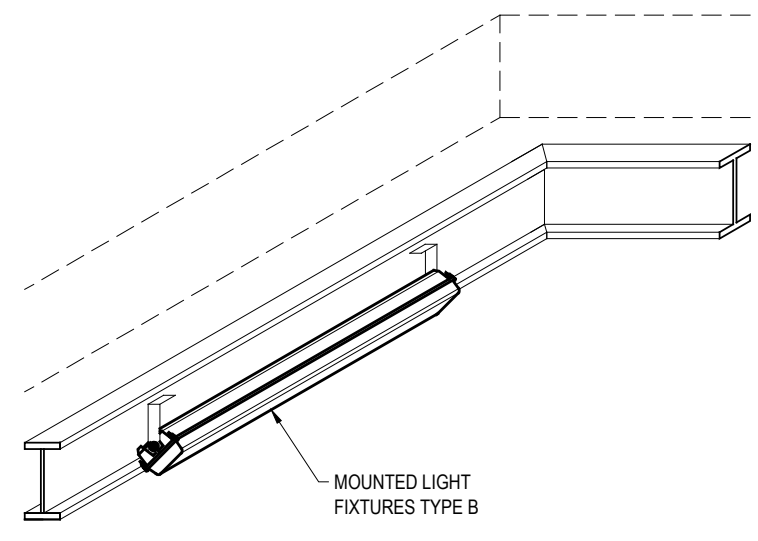
SHEET NO.  
**A9.04**

22135

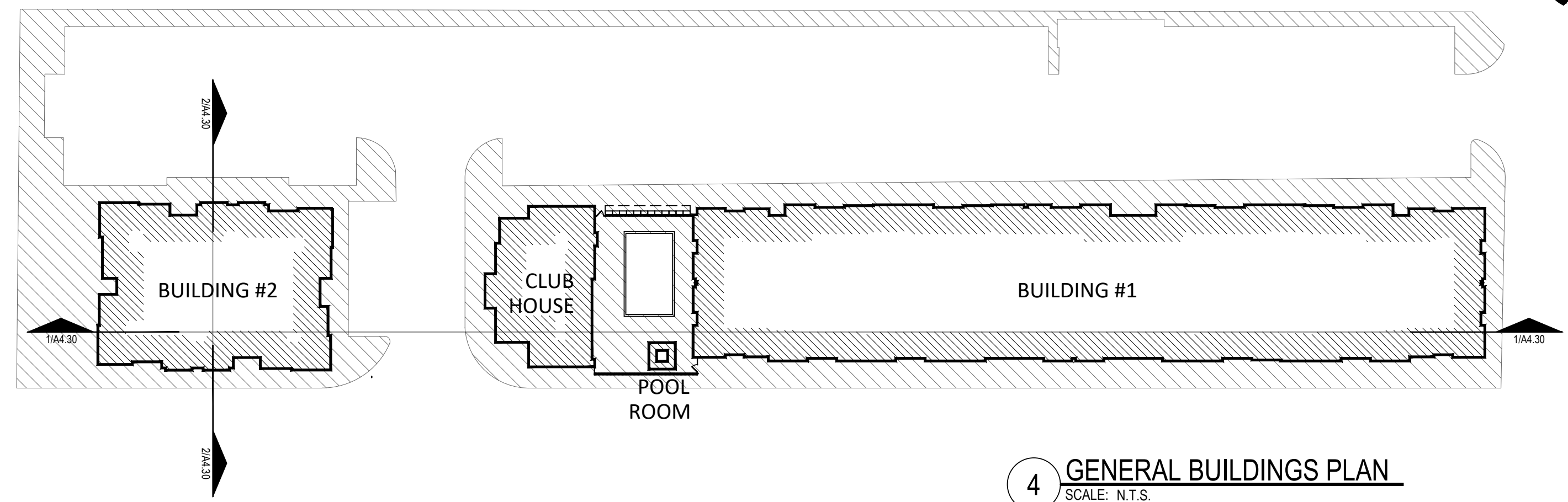
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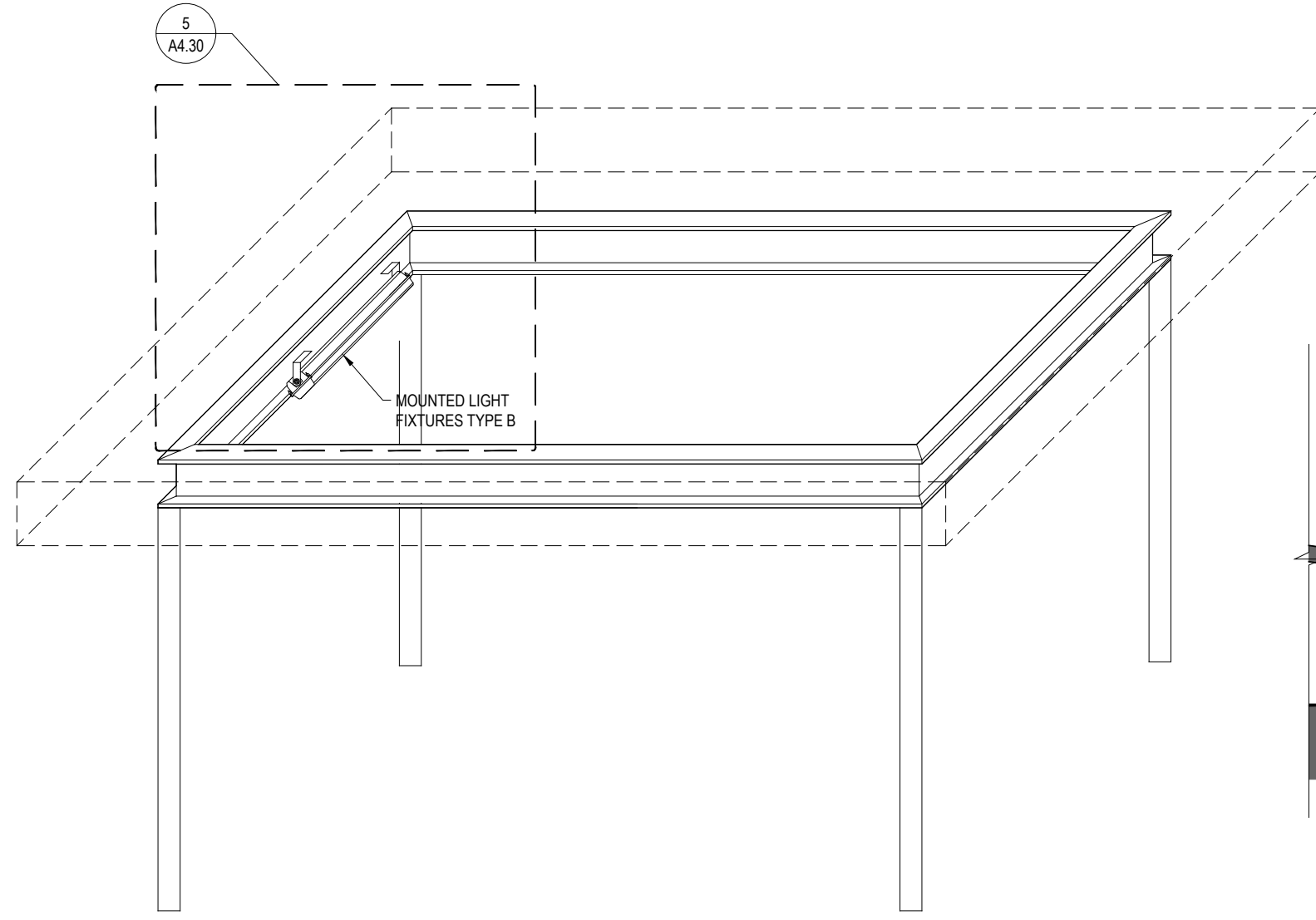
6 CARPORT LIGHT - ELEVATION DETAIL  
 SCALE: N.T.S.



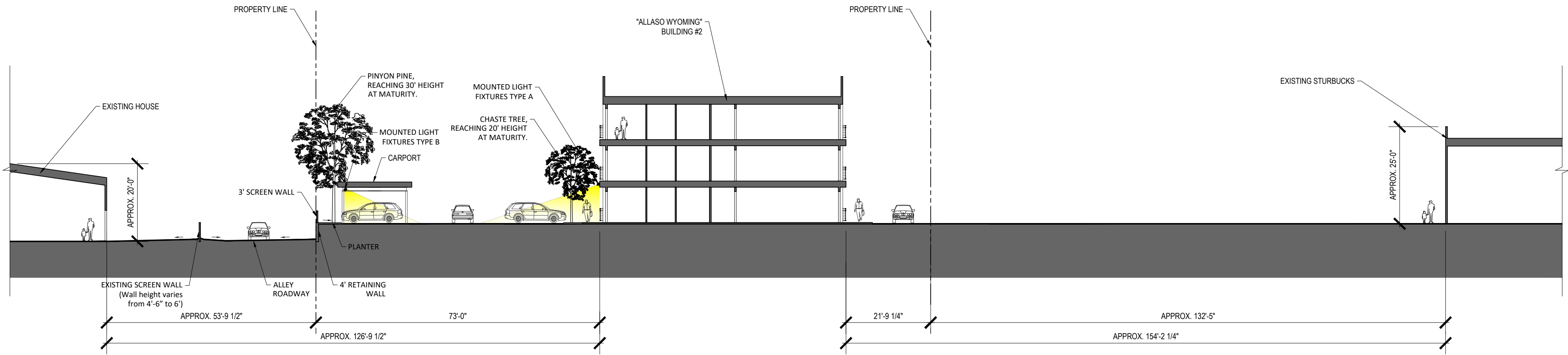
5 CARPORT LIGHT - AXO DETAIL  
 SCALE: N.T.S.



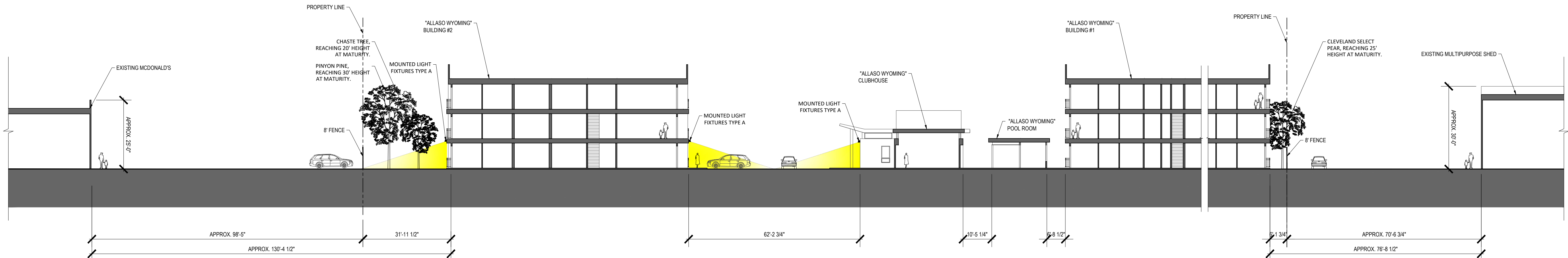
4 GENERAL BUILDINGS PLAN  
 SCALE: N.T.S.



3 CARPORT LIGHT - AXONOMETRIC  
 SCALE: N.T.S.



2 SITE SECTION - SOUTH SIDE OF PROPERTY  
 SCALE: 1/16" = 1'-0"



1 SITE SECTION - EAST SIDE OF PROPERTY  
 SCALE: 1/16" = 1'-0"



RENOVA AT WYOMING  
 COLORADO SPRINGS, CO  
 TITAN DEVELOPMENT



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SHEET CONTENTS:  
 SITE SECTION  
 SHEET NO.

A9.05

22135

DFT SET: 04-18-23

**FORM P: PRE-APPROVALS/SIGNATURES**

**Legal Description & Location:** Tracts A-1-A and A-1-E-1 Los Pastores Shopping Center, which is part of a larger subdivision that also includes Tracts A-1-B, A-1-C-1, and A-1-D-1, Los Pastores Shopping Center

**Job Description:** Montgomery and Wyoming Apartments

**Hydrology:**

- Grading and Drainage Plan        X   Approved                             NA
- AMAFCA                                             Approved                        X   NA
- Bernalillo County                             Approved                        X   NA
- NMDOT                                             Approved                        X   NA
- MRGCD                                             Approved                        X   NA

*Regina Cho*  
Hydrology Department

4/21/2023  
Date

**Transportation:**

- Traffic Circulations Layout (TCL)                        X   Approved                             NA
- Traffic Impact Study (TIS)                             Approved                        X   NA
- Neighborhood Impact Analysis (NIA)                             Approved                        X   NA
- Bernalillo County                             Approved                        X   NA
- MRCOG                                             Approved                        X   NA
- NMDOT                                             Approved                        X   NA
- MRGCD                                             Approved                        X   NA

*Ernest Armijo*  
Transportation Department

4/13/2023  
Date

**Albuquerque Bernalillo County Water Utility Authority (ABCWUA):** Availability #220829

- Water/Sewer Availability Statement/Serviceability Letter        X   Approved                             NA
- ABCWUA Development Agreement                             Approved                        X   NA
- ABCWUA Service Connection Agreement                             Approved                        X   NA

*Sarah Luckie*  
ABCWUA

4/13/23  
Date

- Infrastructure Improvements Agreement (IIA\*)             Approved                             NA
- Solid Waste Department Signature on the plan             Approved                             NA
- Fire Marshall Signature on the plan                             Approved                             NA

\* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

April 18, 2023

Ronald Bohannon, P.E.  
Tierra West, LLC  
5571 Midway Park Place NE  
Albuquerque, NM 87109

**RE: Titan - WFH  
Conceptual Grading & Drainage Plan  
Engineer's Stamp Date: 04/18/23  
Los Pastores Master Drainage Plan Amendment Report  
Engineer's Stamp Date: 04/01/23  
Hydrology File: F19D013D**

Dear Mr. Bohannon:

PO Box 1293

Based upon the information provided in your submittal received 04/10/2023, the Conceptual Grading & Drainage Plan is preliminary approved for action by the Development Facilitation Team (DFT) on Site Plan for Building Permit.

Albuquerque

**PRIOR TO BUILDING PERMIT:**

NM 87103

1. Please submit a more detailed Grading & Drainage Plan to Hydrology for review and approval. This digital (.pdf) is emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) along with the Drainage Transportation Information Sheet.

[www.cabq.gov](http://www.cabq.gov)

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



December 6, 2022

**Chair**

Klarissa J. Peña  
City of Albuquerque  
Councilor, District 3

**Vice Chair**

Debbie O'Malley  
County of Bernalillo  
Commissioner, District 1

Tammy Fiebelkorn  
City of Albuquerque  
Councilor, District 7

Trudy E. Jones  
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Councilor, District 8

Timothy M. Keller  
City of Albuquerque  
Mayor

Charlene Pyskoty  
County of Bernalillo  
Commissioner, District 5

Steven Michael Quezada  
County of Bernalillo  
Commissioner, District 2

*Ex-Officio Member*  
Gilbert Benavides  
Village of Los Ranchos  
Board Trustee

*Executive Director*  
Mark S. Sanchez

*Website*  
www.abcwua.org

Vince Carrica  
Tierra West LLC  
5571 Midway Park Place NE  
Albuquerque NM 87109

**RE: Water and Sanitary Sewer Availability Statement #220829**

**Project Name: Montgomery / Wyoming Apartments**

**Project Address: 4615 Wyoming Blvd NE**

**Legal Description: TR A-1-E-1 / TRACT A-1-A**

**UPC: 101906148807440507 & 101906148904940508**

**Zone Atlas Map: F-19-Z**

Dear Mr. Carrica:

**Project Description:** The subject site is located west of Wyoming Boulevard NE and north of Montgomery Boulevard NE, within the City of Albuquerque. The proposed development consists of approximately 1.9 acres and the property is currently zoned MX-M for mixed use. The property lies within the Pressure Zone 4ER in the Montgomery Trunk.

The request for availability indicates plans to design a multi-family development.

**Existing Conditions:** Water infrastructure in the area consists of the following:

- Eight-inch Asbestos Cement distribution main (project # 20-222-29) along the existing alley way that runs along the west side of the property terminating in the southwest corner of the property.
- Eight-inch cast iron distribution main (project 03-20-61) in Wyoming Boulevard

Sanitary sewer infrastructure in the area consists of the following:

- Eight-inch Vitrified Clay Pipe sanitary sewer collector line (project # 20-222-29) along the existing alley way that runs along the west side of the property terminating at the southwest corner of the property.
- 12-inch concrete sanitary sewer collector line (project # 013-176-60) along centerline of Wyoming Boulevard.
- Private eight-inch sanitary sewer collector line that starts from manhole F19-995 then along the private easement running east and north to the public alley at the north end of property. Note, this line must be converted to a public sanitary line in a public easement prior to obtaining multiple sewer services to comply with the ABCWUA Expansion Ordinance.

**Water Service:** New metered water service to the property can be provided contingent upon a developer funded project to extend the eight-inch water line in the existing alley way of the property. The extended line will run parallel to the existing private sanitary line and loop into the eight-inch distribution line in Wyoming Boulevard north east of the site. Upon completion of the infrastructure construction, the development may receive service via routine connection to the new eight-inch distribution main on the east side of



the property. The engineer is responsible for determining pressure losses and sizing of the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and collar removed.

**Non-Potable Water Service:** Currently, there is no non-potable infrastructure available to serve the subject property.

**Sanitary Sewer Service:** Previous Availability Statement No. 151105 required the extension of a public sanitary sewer line from the existing sanitary sewer located in the alley at the southwest corner of Lot A1E1 from manhole F19-995. Upon reviewing previous Development Review Board (DRB) documents, it appears the infrastructure list and site plans associated with the original subdivision did not carry over the requirement of the public sanitary sewer extension. In accordance with the Water Authority Sewer Use and Wastewater Control Ordinance, "each legally platted property shall have individual, independent private sanitary sewer services. No property shall share a private sewer service with any other property." It is understood that an eight-inch private sanitary sewer line was installed to serve various lots.

In order for sanitary sewer service to be provided, a public sanitary sewer line shall be installed to replace the existing private sanitary sewer line. Another option, if acceptable by the Water Authority, will be to convert the existing private sanitary sewer line by providing documentation including but not limited to as-built drawing, video inspection, and standard testing that demonstrates the private sanitary sewer line was built to Water Authority standards and specifications. Additionally, the existing ten-foot private utility easement would need to be vacated and replaced with a public sanitary sewer easement with a width that is acceptable to the Water Authority.

Sanitary sewer service can be provided via routine connection to the public sanitary sewer as decided from the options above. No property shall share a private sewer service with any other property. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

**Fire Protection:** From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 2250 gallons-per-minute. Two fire hydrants are required. There are no existing hydrants available and two new hydrants are proposed with this project. As modeled using InfoWater™ computer software, the fire flow can be met. Analysis was performed by simulating the required fire flow at the proposed hydrant location northeast corner of the parcel.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

**Cross Connection Prevention:** Per the Cross Connection Ordinance, all new non-residential premises must have a reduced pressure principal backflow prevention assembly approved by the Water Authority installed at each domestic service connection at a location accessible to the Water Authority. No tees, branches or possible connection fittings or openings are allowed between the reduced principle backflow prevention assembly and the service connection unless protected by a backflow prevention assembly. These requirements also apply to all remodeled non-residential premises when the work area of the building undergoing repairs, alterations or rehabilitation, as defined in the International Existing Building Code, exceeds 50 percent of the aggregate area of the building regardless of the costs of repairs, alteration or rehabilitation.

All non-residential irrigation water systems connected to the public water system shall have a pressure vacuum breaker, spill-resistant pressure vacuum breaker or a reduced pressure principle backflow prevention assembly installed after the service connection. Such devices shall be approved by the Water Authority. No tees, branches or possible connection fittings or openings are allowed between the containment backflow prevention assembly and the service connection.

All non-residential customers connected via piping to an alternative water source or an auxiliary water supply and the public water system shall install a containment reduced pressure principle backflow prevention assembly approved by the Water Authority after the potable service connection.

All new services to private fire protection systems shall be equipped with a containment reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction installed after the service connection. No tees, branches or possible connection fittings or openings are allowed between the containment backflow prevention assembly and the service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the private fire protection system meets or exceed ANSI/NSF Standard 60 61 throughout the entire private fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections nor connections from auxiliary water supplies.

The Water Authority requests that all backflow (containment) devices be located above ground just outside the easement or roadway right-of-way. Contact Cross Connection at (505) 289-3454 for more information.

**Easements and Property:** Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35-foot by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to

approval of service. A Warranty Deed shall be required when a property will be transferred to the Water Authority for the installation of Water Authority owned facilities such as pump stations, reservoirs, wells, lift stations, or any other facility.

**Pro Rata:** Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

**Design and Construction:** Design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated through the City of Albuquerque via the Work Order process. Designs must be performed by a licensed, New Mexico registered, professional engineer. Construction must be performed by a licensed and bonded public utility contractor.

**Utility Expansion Charge (UEC):** In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter.

UECs associated with multi-family are determined by the criteria set forth in the Water Authority Rate Ordinance, which is amended from time to time. These specific UECs take into account the number of units within the multi-family development. If the multi-family development includes other amenities such as a clubhouse, fitness center or leasing office that will be metered separately, UECs for these amenities will not be charged as they are included in the multi-family UEC calculation. UECs associated with irrigation meters are not included in the multi-family calculation and shall be paid accordingly.

The Rate Ordinance does provide an opportunity for UEC discounts for low income housing developments. If the development qualifies for these discounts, the developer will be required to provide documentation as stated in the Rate Ordinance. Furthermore, if the development includes both low income and market rate apartments, the same requirements set forth in the Rate Ordinance shall be adhered to.

Contact Customer Service at (505) 842-9287 (option 3) for more information regarding account fees.

**Water Use:** All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Reduction Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

**Closure:** This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at [kcadena@abcwua.org](mailto:kcadena@abcwua.org) if you have questions regarding the information presented herein or need additional information.

Sincerely,



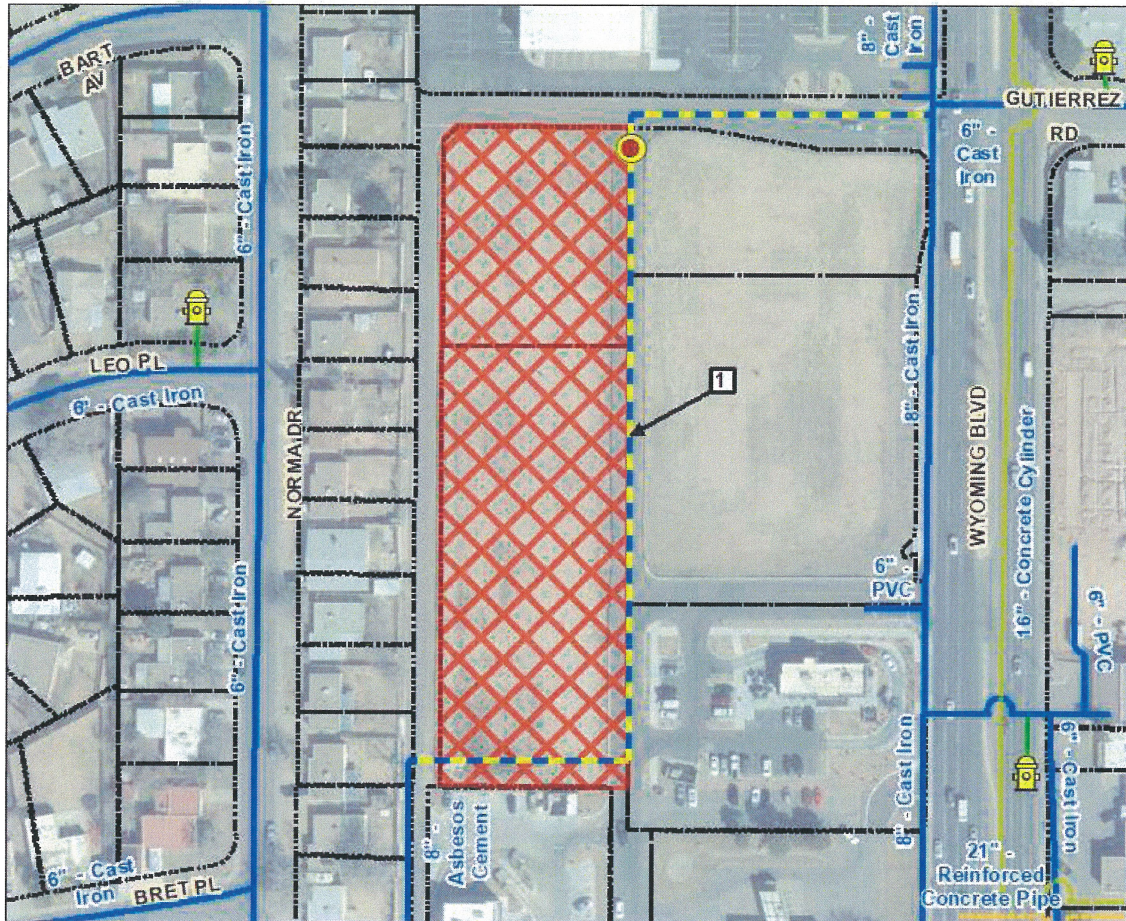
Mark S. Sanchez  
Executive Director

Enclosures: Infrastructure Maps

f/ **Availability Statement #220829**



# 220829 - Water



0 245 490 Feet



## Legend

Hydrant

### Water Pipe

#### Subtype

Distribution Line

Drain Line

Hydrant Leg

Well Collector Line

Project Location

Basemap City

#### Fire Flow Analysis Points

Analysis Point (1)

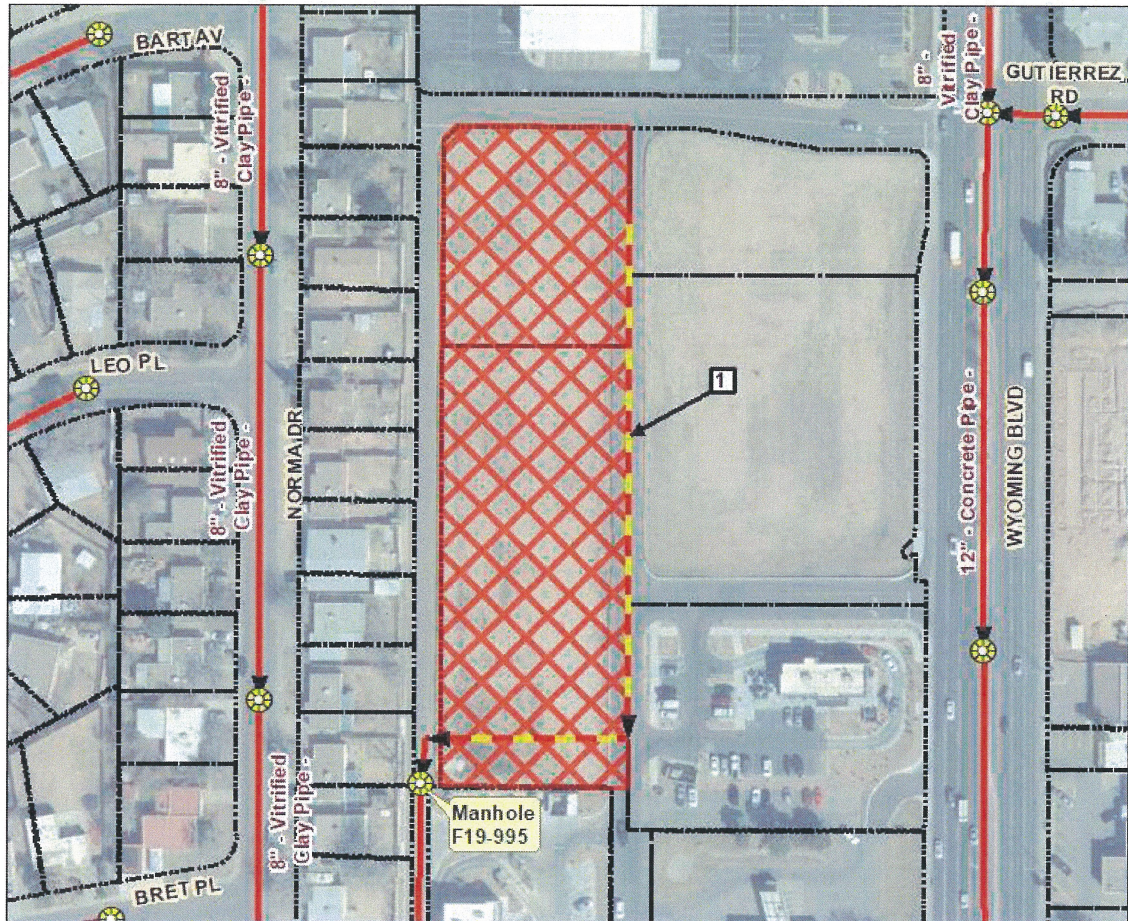
--- General Map Keyed Notes

1 - 8" Distribution Line Extension











# 220829 - Sanitary Sewer



0 245 490 Feet

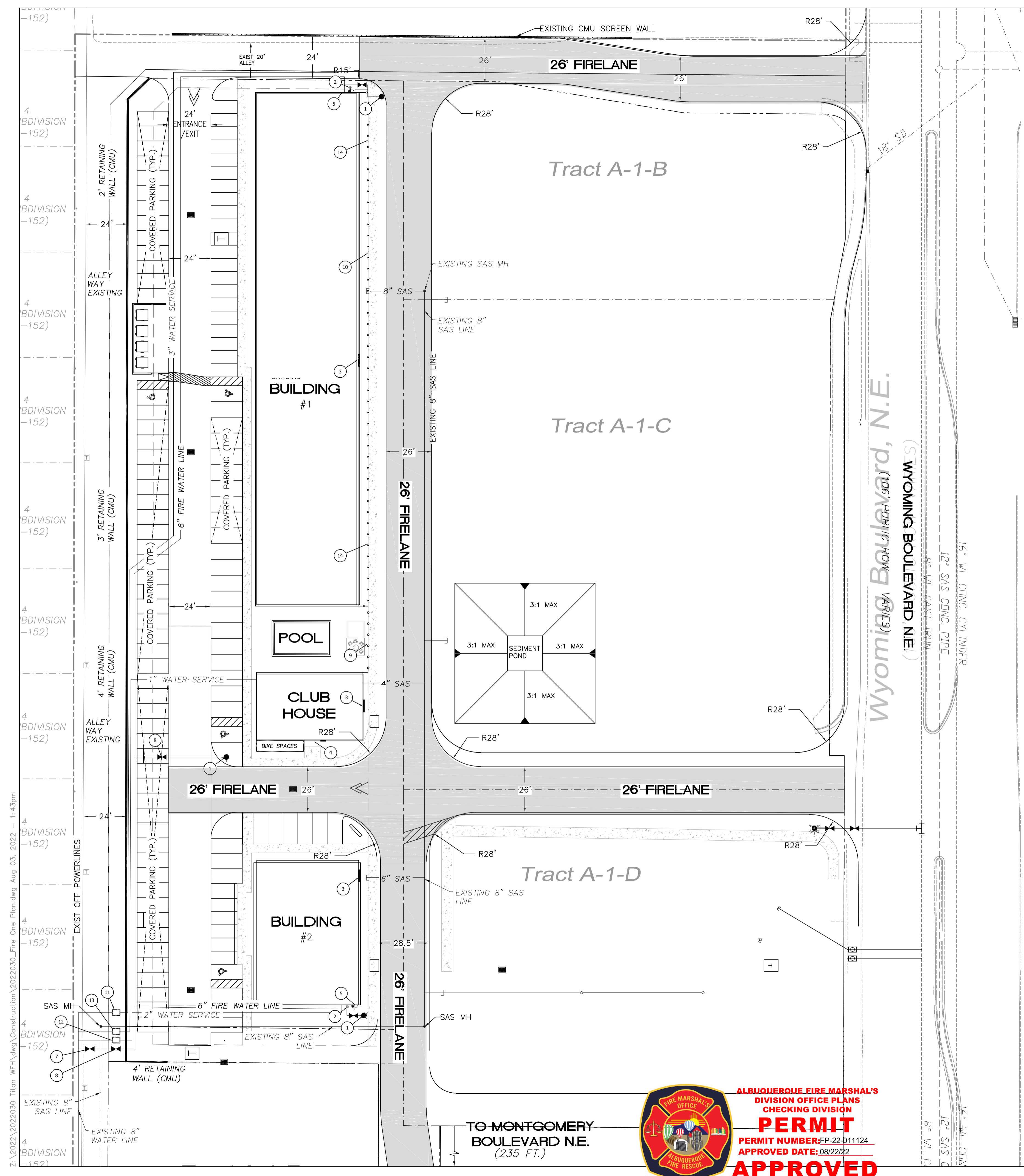


## Legend

-  Sewer Manhole
-  Project Location
- Sewer Pipe**
-  Basemap City
- Subtype**
-  COLLECTOR
-  --- General Map Keyed Notes
- 1 - Existing private Sanitary Sewer to be replaced or converted to a public line. 

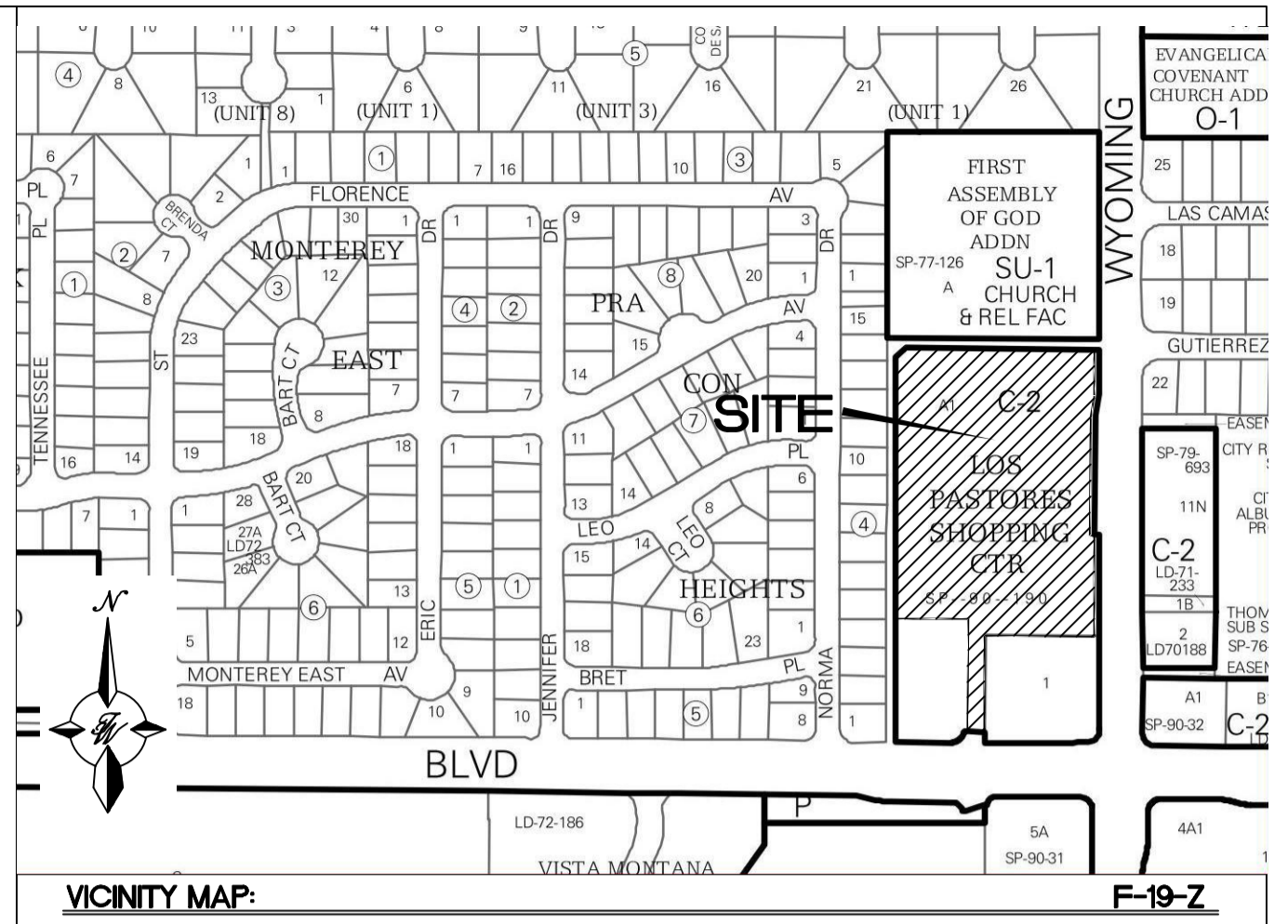






- LEGEND**
- CURB & GUTTER
  - - - BOUNDARY LINE
  - ▭ BUILDING
  - - - EXISTING CURB & GUTTER
  - - - EXISTING BOUNDARY LINE
  - FIRE ACCESS
  - EXISTING FIRE HYDRANT
  - PROPOSED HYDRANT
  - TRANSFORMER

- KEYED NOTES**
- 1 NEW PRIVATE FIRE HYDRANT
  - 2 PIV
  - 3 BUILDING ADDRESS
  - 4 KNOX BOX
  - 5 FDC
  - 6 NOT USED
  - 7 8" PUBLIC GATE VALVE
  - 8 8" PRIVATE GATE VALVE
  - 9 8 FT. SCREEN FENCE W/ 4' MAN GATE
  - 10 6 FT. WROUGHT IRON FENCE W/ 4' MAN GATES
  - 11 2 1/2" WATER METER
  - 12 2" WATER METER
  - 13 1" WATER METER
  - 14 4' MAIN GATE

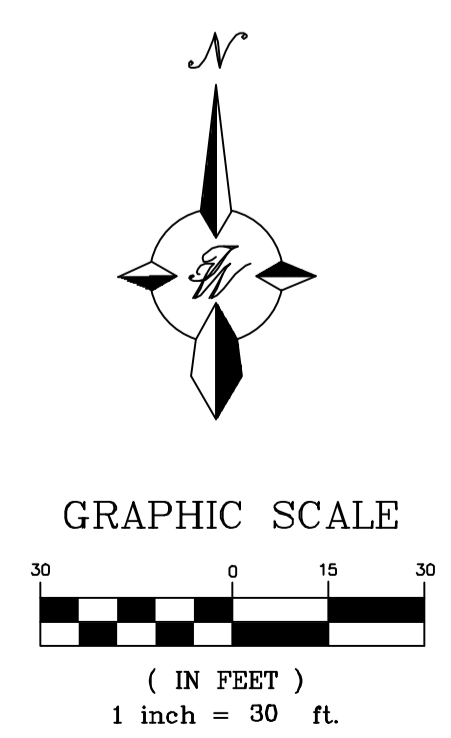


- NOTES**
- ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL.
  - FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS.
  - KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.

MONTGOMERY APARTMENTS ALBUQUERQUE, NM						
BUILDING	AREA SF	STORIES	MAX BUILDING HEIGHT	FULLY SPRINKLED	OCCUPANCY	CONSTRUCTION TYPE
#1	17064.5	3	48FT.	YES	R-2	V-A
#2	4795.5	3	48FT.	YES	R-2	V-A
CLUB HOUSE	2326.5	1	26FT.	NO	A-3	V-A

**NOTE:**  
ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL

**CAUTION**  
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



Z:\2022\2022030\_Titan\_WFA.dwg\Construction\2022030\_Fire\_One\_Plan.dwg Aug 03, 2022 - 1:43pm

TO MONTGOMERY BOULEVARD N.E. (235 FT.)

ALBUQUERQUE FIRE MARSHAL'S DIVISION OFFICE PLANS CHECKING DIVISION  
**PERMIT**  
 PERMIT NUMBER: FP-22-011124  
 APPROVED DATE: 08/22/22  
**APPROVED**



THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.  
 FIRE FLOW: VA FIRE FLOW 2250 HYDRANTS 2

ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO PROFESSIONAL ENGINEER 7868 06/20/2022 RONALD R. BOHANNAN P.E. #7868	<b>MONTGOMERY/ WYOMING APARTMENTS</b> <b>FIRE ONE PLAN</b>  TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	DRAWN BY RMG DATE 08/04/2022 2022030_FIRE ONE PLAN SHEET # <b>F-1</b> JOB # 2022030
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Current DRC  
Project Number: \_\_\_\_\_

FIGURE 12

Date Submitted: \_\_\_\_\_  
Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DFT Project No.: \_\_\_\_\_  
DFT Application No.: \_\_\_\_\_

**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT FACILITATION TEAM (DFT) REQUIRED INFRASTRUCTURE LIST**

**RENOVA AT WYOMING**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**TRACT A-1-A-1 LOS PASTORAS SHOPPING CENTER FORMERLY TRACT A-1-A AND A-1-E-1  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	8"	WATERLINE	ALLEY WAY	SOUTHWEST PROPERTY CORNER	WYOMING BLVD	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
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<input type="text"/>	<input type="text"/>						/	/	/



The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature      Date		City User Dept. Signature      Date	

Engineer's Certification for Grading & Drainage is required for release of Financial Guarantee

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

1  
2  
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**AGENT / OWNER**

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

**VINCENT CARRICA**

NAME (print)

**TIERRA WEST, LLC**

FIRM



4/18/2023

SIGNATURE - date

PLANNING- date

PARKS & RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

CITY ENGINEER - date

HYDROLOGY-date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

PLANNING DEPARTMENT  
URBAN DESIGN & DEVELOPMENT DIVISION  
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339



## OFFICIAL NOTIFICATION OF DECISION

September 15, 2022

Titan Development  
6300 Riverside Plaza Lane #200  
Albuquerque NM, 87120

**Project # PR-2022-007219**  
SI-2022-01478– Site Plan – Major Amendment  
VA-2022-00235-Variance- EPC

### **LEGAL DESCRIPTION:**

Consensus Planning, agent for Titan Development, requests a Site Plan- Major Amendment for all or a portion of Tracts A-1-A, A-1-B, A-1-C-1, A-1-D-1, A-1-E-1, A-1-F Los Pastores Shopping Center, and a Variance of 9.5 feet to the 15-foot minimum landscape edge buffer requirement for all or a portion of Tracts A-1-A and A-1-E-1 Los Pastores Shopping Center, located at 4615 Wyoming Blvd. NE, between Montgomery Blvd. NE and Osuna Rd. NE, zoned MX-M, approximately 6.5 acres (F-19)  
Staff Planner: Leroy Duarte

On September 15, 2022, the Environmental Planning Commission (EPC) voted to APPROVE Project # PR-2022-007219, SI-2022-01478 Site Plan-Major Amendment, VA-2022-00235 Variance of 9.5 feet to the 15-foot minimum landscape edge buffer, based on the following Findings and Conditions of Approval:

### **FINDINGS - Site Plan – Major Amendment**

1. The request is for a Site Plan EPC-Major Amendment of a Pre IDO-Approval for an approximately 6.5-acre site legally described as all or a portion of Tracts A-1-A, A-1-B, A-1-C-1, A-1-D-1, A-1-E-1, A-1-F Los Pastores Shopping Center, located at 4615 Wyoming Blvd. NE, between Montgomery Blvd. NE and Osuna Rd. NE zoned MX-M.
2. The subject site is within the controlling Los Pastores Shopping Center Site Development Plan for Subdivision (project#1010550), which has design standards. The subject site would remain in the Los Pastores controlling Site Development Plan for Subdivision but will adopt IDO standards when design standards are silent.
3. The controlling Los Pastores Shopping Center Site Plan for Subdivision intended uses are for office, retail, and restaurants within the subject site. The approval of this request would allow the proposed development of approximately 102 multi-family dwelling units (see attached Site Plan exhibits).

4. The EPC is hearing this request because IDO Section 1-10(A) Pre-IDO Approvals states that any approvals granted prior to the effective date of the IDO shall remain valid, subject to expiration. Major Amendments of Pre-IDO Approvals return to the original decision-making body pursuant to 14-16-6-4(Z)(1)(b).
5. The subject site is in an area that the Comprehensive Plan designated an Area of Change. It is located along a Major Transit Corridor and Multi-Modal Transit Corridor but is not located in a Center as designated by the Comprehensive Plan.
6. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
7. The request is consistent with the following, additional goals and policies from Comprehensive Plan Chapter 5: Land Use:

- A. Goal 5.1 Centers & Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

The request would facilitate development that would grow as a community by adding 102 multi-family dwelling units to the area that would be connected by Montgomery Boulevard- a Major Transit Corridor and Wyoming- a Multi-Modal Transit Corridor that are well served by public transportation and run along activity and employment centers.

- B. Sub-Policy (g)- 5.1.1 Desired Growth: Encourage residential infill in neighborhoods adjacent to Centers and Corridors to support transit ridership.

The request would encourage residential infill through the development of 102 multi-family dwelling units within the Los Pastores Shopping Center Site Development Plan for Subdivision. The request would be adjacent to the Montgomery Major Transit Corridor and Wyoming Multi-Modal Transit Corridor.

- C. Policy 5.1.10 Major Transit Corridors: Foster corridors that prioritize high-frequency transit service with pedestrian-oriented development.

The request would foster corridors that prioritize high-frequency transit service with pedestrian-oriented development through the infill development of 102 multi-family dwelling unit. The proposed development would be located in the Los Pastores Shopping Center that offers a mix of commercial services and retail that would be accessible through the Major Transit Corridor (Montgomery Boulevard) and Multi-Modal Transit Corridor (Wyoming Boulevard) which have high-frequency transit service.

- D. Policy 5.2.1- Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request would contribute to a healthy and sustainable community because it would facilitate future development in an area with a mix of uses including commercial retail, commercial services, low-density residential, and multi-family residential. Furthermore, the subject site is along a Major Transit Corridor (Montgomery Boulevard) and a Multi-Modal Transit Corridor (Wyoming Boulevard) with access to existing paved sidewalks that have connections to the surrounding neighborhoods.

- E. Sub-Policy (d) 5.2.1- Land Use: Encourage development that broadens housing options to meet a range of incomes and lifestyles.

The request would facilitate the development of multi-family dwelling units that would target/capture middle-income renters who do not qualify for low-income housing or cannot afford market rate housing, thus broadening the range of housing options to meet a range of incomes and lifestyle.

- F. Sub-Policy(n) 5.2.1-Land Uses: Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

The subject site is located along a Major Transit Corridor, the request would encourage a productive use of what currently exists as an under-utilized lot to facilitate the development of approximately 102 multi-family dwelling units. The multi-family development would provide housing and would be more beneficial to the community than its current state.

- G. Goal 5.3- Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would facilitate future development on vacant land that would support the public good by providing a housing option that would maximize the existing infrastructure already in place within the Los Pastores Shopping Center and also utilize public facilities and transportation that is along the subject site.

- H. Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The request would direct growth and more intense development along a Major Transit and Multi-Modal Transit Corridor, where change is desired. A multi-family development would create a mix of uses and growth within the Los Pastores Shopping Center.

8. The request is consistent with the following policy from Comprehensive Plan Chapter 7: Urban Design:

- A. Goal 7.2 Pedestrian-Accessible Design: Increase walkability in all environments, promote pedestrian-oriented development in urban contexts, and increase pedestrian safety in auto-oriented contexts.

The request would facilitate development of multi-family dwelling units that would increase walkability in all environments and promote pedestrian-oriented development due to its location and proximity to commercial retail and services within the Los Pastores Shopping Center Site Development.

- B. Policy 7.3.4- Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

The subject site is located in an Area of Change and along a designated Major Transit Corridor, a prime infill location as highlighted by the Comprehensive Plan. The request would facilitate multi-family development. The subject site would remain in the controlling Los



Pastores Shopping Center Site Plan for Subdivision and be required to follow the design standards. The request would promote infill that blends in style with the surrounding development.

9. The request is consistent with the following policy from Comprehensive Plan Chapter 9: Housing:
  - A. Policy 9.1.1 Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households.

The request would facilitate development of multi-family dwelling units that would support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households by targeting middle-class tenants and a variety of bedroom unit options which vary based on income and household size.
  - B. Policy 9.1.2 Affordability: Provide for mixed-income neighborhoods by encouraging high-quality, affordable and mixed income housing options throughout the area.

The request would facilitate development of multi-family dwelling units that would provide housing for mixed-income neighborhoods by encouraging high-quality, affordable and mixed income housing options specifically to the subject site, which consists of commercial retail and services, but would also be surrounded by single-family development to the east and west of the site.
10. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(J)(3) as follows:
  - A. 14-16-6-6(J)(3)(a) As demonstrated by the policy-based analysis (see above), the request is consistent with applicable Comprehensive Plan Goals and policies.
  - B. 14-16-6-6(J)(3)(b) The subject site is zoned MX-M. Therefore, the above criterion does not apply. The Site Development Plan for Subdivision includes design standards, when design standards are silent the IDO standards will be followed.
  - C. 14-16-6-6(J)(3)(c) The proposed major amendment is to facilitate development of approximately 102 multi-family dwelling units. The subject site is within the controlling Site Development Plan for Subdivision Los Pastores Shopping Center, which has design standards. The request would comply with all applicable provisions of the IDO (when design standards are silent), DPM, and Los Pastores Design Standards.
  - D. 14-16-6-6(J)(3)(d) The City's existing infrastructure has adequate capacity for the proposed development made possible by this request. The applicant has stated that the request is in an infill location and surrounded by fully built-out infrastructure. Should any additional improvements be needed, the applicant has stated the developer would take responsibility.
  - E. 14-16-6-6(J)(3)(e) The applicant has demonstrated that the request would not negatively impact the surrounding area based on the responses to applicable Comp Plan Goals and Policies. The proposed major amendment would facilitate the development of approximately 102 multi-family dwelling units on the subject site. The subject site is zoned MX-M in which multi-family dwellings are already permissive. The proposed development would comply with the design standards the controlling Site Development Plan for Subdivision and the IDO landscape buffer provisions and height stepdown requirements (when standards are silent),

mitigating any significant adverse impacts on the surrounding area to the maximum extent practicable.

F. 14-16-6-6(J)(3)(f) The subject property is not within a Master Development Plan. It is within the boundaries of the Los Pastores Shopping Center Site Development Plan for Subdivision and is zoned MX-M. The request to facilitate the development of approximately 102 multi-family dwelling units on the subject site is permissible under this zone district pursuant to IDO 14-16-2-4-(C). The future development would meet applicable design standards and IDO standards when the design standards are silent.

G. 14-16-6-6(J)(3)(g) The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required. Therefore, the above criterion does not apply.

11. No affected neighborhood organizations were required to be notified. Property owners within 100 feet of the subject site were notified as required.

12. As of this writing, Staff has not been contacted and is unaware of any opposition.

## CONDITIONS

1. The EPC delegates final sign-off authority of this site plan to the Site Plan-DRB Process as per IDO Section 14-16-6-6(I)(1). The reviewer will be responsible for ensuring that the EPC Conditions have been satisfied and that other applicable City requirements have been met.

2. The applicant shall coordinate with the Staff planner prior to submitting for building permit 14-16-6-6(I)(2).

3. Major Amendment: the applicant shall provide an updated top sheet of the controlling site plan for subdivision with a note and a text box explaining the major amendment.

4. Site Plan:

A. Address parking calculations, proposed spaces and required spaces do not equal each other.

B. Note that development shall comply with the Design Standards and IDO.

C. Label all crossing on site plan.

5. Pedestrian Access:

All pedestrian crossings must comply with design standards and be labeled on site plan.

6. Refuse enclosure:

A. Enclosure shall not exceed 8 feet in height (design standards)

B. A site plan approved for access by the Solid Waste Department will be required.

7. Landscape Plan:

A. Revise calculations regarding the proposed number of total trees and total required trees do not equal one-another.

- B. Dimension tree spacing.
8. Walls and fences:
- A. #15 Parking Screening CMU retaining wall shall not exceed a height of 3 feet.
  - B. Walls shall not exceed a height of 8’.
9. Lighting:
- A. Show locations of light poles on the site plan.
  - B. Provide light pole detail indicating height, color, and finish.
  - C. Lighting shall comply with design standards.
10. Signage:
- Signage area calculations shall be provided.
11. Conditions from PNM:
- A. Applicant will coordinate with PNM regarding any existing easements that have to be revisited and/or new easements that need to be created for any electric facilities as determined by PNM.
  - B. Any existing and/or new PNM easements and facilities need to be reflected on any resulting future Site Plan or Plat.
  - C. Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities. Any trees within or near PNM easements including any required Street Trees should comply with IDO Section 5-6(C) (10) as applicable.
12. Condition from AMAFCA:
- Site will have to show it conforms with the approved Drainage Management Plan for the Los Pastores Shopping Center.

### **FINDINGS – Variance- EPC**

1. The request is for a variance of 9.5 feet to the 15-foot minimum landscape edge buffer requirement for all or a portion of Tracts A-1-A and A-1-E-1 Los Pastores Shopping Center, located at 4615 Wyoming Blvd. NE, between Montgomery Blvd. NE and Osuna Rd. NE,
2. The subject site is zoned MX-M (Mixed-use – Medium intensity), a zoning designation received upon adoption of IDO in May 2018.
3. The subject site is within the controlling Los Pastores Shopping Center Site Development Plan for Subdivision (project#1010550), which has design standards. The subject site would remain in the Los Pastores controlling Site Development Plan for Subdivision but will adopt IDO standards when design standards are silent.

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4. The EPC is hearing this request because IDO Section 1-10(A) Pre-IDO Approvals states that any approvals granted prior to the effective date of the IDO shall remain valid, subject to expiration.
5. The subject site is in an area that the Comprehensive Plan designated an Area of Change. It is located along a Major Transit Corridor and Multi-Modal Transit Corridor but is not located in a Center as designated by the Comprehensive Plan.
6. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
7. The request meets the Variance-EPC Review & Decision Criteria in IDO Section 14-16-6-6(N)(3)(a) as follows:

- A. 14-16-6-6(N)(3)(a)(1) The applicant has expressed the impacted landscaping buffer and the subject properties' narrowness would make it challenging to develop with all the standards required by the IDO, DPM, and other city laws. The space available for the proposed development and landscaping would be constrained when all the design standards are applied.

The applicant has explained the IDO's criteria for the landscape buffer and neighborhood perimeter were not in place when the constrained lots in question were platted. The alley remains 20 feet wide along the property to the south and a smaller dedication was accepted on the north side of the site, the property owner was required to dedicate an additional 10 feet to the alley along the west side of the property in order to create a 30-foot-wide alley on this edge when the existing site development plan was approved in 2016.

The applicant has expressed the necessity to provide an additional 10 feet toward a paved lane on the west side of the site. The required buffer width would limit the design and widths or the parking required by the IDO. Granting the request would provide the required dimensions in order for the development to proceed.

- B. 14-16-6-6(N)(3)(a)(2) The applicant has demonstrated the public safety, health, or welfare would not be materially harmed by the variance request. The alley would remain a 20-foot right-of-way as along the property to the south, and the variance would not permit any portion of the proposed development to be built closer to the single-family development west of the subject site. The proposed development would be separated by more than 35 feet when the alley width is applied, which would satisfy the IDO's requirement for use separation. To further screen the proposed development from the adjacent single-family development, the applicant would implement necessary buffer trees inside the remaining landscape buffer.
- C. 14-16-6-6(N)(3)(a)(3) The applicant has demonstrated the variance request would not have a significant negative effect on the infrastructure improvements or surrounding properties. Existing infrastructure would support the proposed multi-family development. Any new development that might have a negative impact on traffic, flooding, or other factors would not be permitted under the variance. Due to the increased alley width that has produced the unique conditions relevant to the property, the effective width of the landscape buffer would continue to be greater. The remaining landscape space would be planted in accordance to the IDO's requirements, and a separation of more than 35 feet would remain.
- D. 14-16-6-6(N)(3)(a)(4) This variance request would not materially undermine the intent and purpose of the IDO or MX-M zone districts. The request would not eliminate the landscape



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buffer or the related plantings, but reduce it consistent with the amount of additional right-of-way dedication that was required. The proposed development and the adjacent single-family lot exceed 35 feet, which is the minimum distance required by the IDO if there were no alley on the western edge.

- E. 14-16-6-6(N)(3)(a)(5) The variance request if approved would be the minimum necessary in order to avoid exceptional hardships and practical difficulties. The requested deviations are required for the proposed development to meet all other development standards.
- 8. No affected neighborhood organizations were required to be notified. Property owners within 100 feet of the subject site were notified as required.
- 9. As of this writing, Staff has not been contacted and is unaware of any opposition.

**APPEAL:** If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **September 30, 2022**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the Integrated Development Ordinance (IDO), Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal an EPC Recommendation to the City Council since this is not a final decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the IDO must be complied with, even after approval of the referenced application(s).

Sincerely,

*Catalina Lehner*

for Alan M. Varela,  
Planning Director


AV/LD/CL

cc: Consensus Planning [cp@consensusplanning.com](mailto:cp@consensusplanning.com)  
Titan Development [jrogers@titan-developmen.com](mailto:jrogers@titan-developmen.com)  
Legal, [dking@cabq.gov](mailto:dking@cabq.gov)  
EPC file



# Memorandum

**To:** Catalina Lehner, Principal Planner

**From:** Jim Strozier, Consensus Planning, Inc. 

**Date:** May 24, 2023

**Re:** Responses to the Notice of Decision Project # PR-2022-007219, SI-2022-01478– Site Plan – Major Amendment

## EPC CONDITIONS

Based on the EPC Official Notice of Decision (see attached) each of the conditions has been addressed with the response in *italics* below:

1. The EPC delegates final sign-off authority of this site plan to the Site Plan-DRB Process as per IDO Section 14-16-6-6(I)(1). The reviewer will be responsible for ensuring that the EPC Conditions have been satisfied and that other applicable City requirements have been met.  
*Agreed, this letter outlines how each condition has been met.*
2. The applicant shall coordinate with the Staff planner prior to submitting for building permit 14-16- 6-6(I)(2).  
*This memo and the updated plans meeting the conditions have been sent to the case planner for review.*
3. Major Amendment: the applicant shall provide an updated top sheet of the controlling site plan for subdivision with a note and a text box explaining the major amendment.  
*A note has been added to the site plan for subdivision which states “Project # PR-2022-007219, SI-2022-01478, VA-2022-00235 Major Amendment to allow for a new multi-family development and a Variance - EPC to the required Landscape Buffer. EPC Approval September 15, 2022”*
4. Site Plan:
  - A. Address parking calculations, proposed spaces and required spaces do not equal each other.  
*The parking calculations have been updated to reflect the correct parking requirements:*
    - 36 studio units at 1 space per unit or 36 spaces;
    - There are 60 1-bedroom units at 1.2 spaces per unit or 72 spaces: and
    - 6 2-bedroom units at 1.6 spaces per unit or 10 spaces,
    - for a total of 118 required parking spaces (prior to reductions).

*The subject site is eligible for two parking reductions:*

- The first is outlined in IDO section 5-5(C)(5)(a) General Reductions for Centers and Corridor Areas. The subject site is within 660 feet of Montgomery Boulevard Major Transit Corridor and is entirely within an Area of Change; therefore, per IDO section 5-5(C)(5)(a) will receive a 20% reduction in parking or 24 spaces.*
- Additionally, IDO section 5-5(C)(5)(c)2 Reduction for Proximity to Transit applies as there is a transit stop within 330 feet of the subject site with a peak frequency of 25 minutes; therefore, a 10% reduction in parking will be applied or 12 spaces.*
- With the combined 30% parking reduction this brings the required number of off-street parking spaces to 82 spaces. The Site Plan provides a total of 116 spaces, which exceeds the number of required spaces by roughly 40%.*

B. Note that development shall comply with the Design Standards and IDO.

*Agreed, Site Note #1 has been changed to reflect this condition.*

C. Label all crossing on site plan.

*Keyed notes 4, 5, 20, 22, and 24 have been added to the Site Plan that indicate where new and existing crosswalks, sidewalks, and ADA access routes are located.*

5. Pedestrian Access:

All pedestrian crossings must comply with design standards and be labeled on site plan.

*The pedestrian crossing is labeled on the Site Plan with keyed note 5 and is in compliance with all applicable design standards.*

6. Refuse enclosure:

A. Enclosure shall not exceed 8 feet in height (design standards)

*Agreed, detail sheet A9.03 depicts the trash enclosure at 8 feet.*

B. A site plan approved for access by the Solid Waste Department will be required.

*Solid Waste has approved the plan. A note has been added to the Site Plan from solid waste that states "Approved w/conditions for access by The Solid Waste Department for a quadruple trash enclosure. \*\*Conditions\*\* The gates on the east side of this project are to open the entire drive aisle simultaneously 26' wide. The Solid Waste Department will have access to the dumpsters from 7AM to 8PM on service days. Gate clickers will be provided for the recycle and trash drivers, and they will be able to exit utilizing the north gate. \*\* Herman Gallegos 03-29-23."*

7. Landscape Plan:

- A. Revise calculations regarding the proposed number of total trees and total required trees do not equal one-another.

*The Landscape Plan has been updated to reflect the correct number of required and provided trees. There are 22 required street trees and 22 are provided. There are 28 trees required for the landscape buffer and 28 are provided.*

- B. Dimension tree spacing.

*A note has been added to the Landscape Plan that states "STREET TREES ARE CALCULATED AT 25' SPACING. ACTUAL SPACING MAY VARY DUE TO SITE AND BUILDING CONDITIONS". Additionally, dimensions have been added to the plan to reflect the 25-foot spacing.*

8. Walls and fences:

- A. #15 Parking Screening CMU retaining wall shall not exceed a height of 3 feet.

*A general CMU wall detail is provided showing the various heights of the retaining walls. There is a 3-foot wall and a 4-foot screen wall.*

- B. Walls shall not exceed a height of 8'.

*The wall detail shows a maximum height not to exceed 8 feet.*

9. Lighting:

- A. Show locations of light poles on the site plan.

*Keyed note 26 has been added to the Site Plan indicating the location of light poles.*

- B. Provide light pole detail indicating height, color, and finish.

*Light pole detail has been added to Sheet A9.03, Detail #16.*

- C. Lighting shall comply with design standards.

*Agreed, the standards allow for light poles up to 26 feet in height and the light poles shown are 20 feet.*

10. Signage:

- A. Signage area calculations shall be provided.

All signage is in compliance with the MX-M zone.

- The monument sign is called out on the Site Plan as Site Note # and is shown on Detail 8, Sheet A.9.02 and is 4 feet tall with a sign area of 8 square feet.
- There is one building mounted sign, mounted on the rear elevation and shown on Sheet A.4.22 and is 60.5 square feet, which is 2% of the façade. A note has been added to the elevation sheet A.4.22 stating this.

11. Conditions from PNM:

- A. Applicant will coordinate with PNM regarding any existing easements that have to be revisited and/or new easements that need to be created for any electric facilities as determined by PNM.

- B. Any existing and/or new PNM easements and facilities need to be reflected on any resulting future Site Plan or Plat.
- C. Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities. Any trees within or near PNM easements including any required Street Trees should comply with IDO Section 5-6(C) (10) as applicable.  
*Agreed. All PNM conditions shall be complied with at the time of construction.*

12. Condition from AMAFCA:

Site will have to show it conforms with the approved Drainage Management Plan for the Los Pastores Shopping Center.

*Agreed, City Hydrology has approved the Grading and Drainage Plan and the amendment to the Drainage Management Plan.*



May 30, 2023

City of Albuquerque  
Planning Department  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

To whom it may concern:

The purpose of this letter is to authorize Consensus Planning, Tierra West, and Humphrey's & Partners Architects to act on behalf of Titan Wyoming Land, LLC for Final Sign-off an EPC approved Major Amendment to a Site Plan – EPC and related applications for platting and development of a new multi-family residential project to be located near the northwest corner of Wyoming Boulevard NE and Montgomery Boulevard NE.

The property is legally described as Tracts A-1-A and A-1-E-1, Los Pastores Shopping Center, which is part of a larger subdivision that also includes TRACTS A-1-B, A-1-C-1, and A-1-D-1, Los Pastores Shopping Center.

Sincerely,

A handwritten signature in black ink, appearing to be 'A. B.', with a long horizontal line extending to the right.

Managing Member  
Titan Wyoming Land, LLC

