



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Forms P2)	<input type="checkbox"/> Extension of IIA: Temp. Def. of SW (Form V2)
<input type="checkbox"/> Major - Preliminary Plat (Forms S & S1)	<input type="checkbox"/> Amendment to Site Plan (Forms P & P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major - Bulk Land Plat (Forms S & S1)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Minor - Final Plat (Forms S & S2)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input checked="" type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor - Preliminary/Final Plat (Forms S & S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	<input type="checkbox"/> Sketch Plan Review and Comment (Form P2)
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Forms P & P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

BRIEF DESCRIPTION OF REQUEST
 We have 2 manufactured homes on 1 parcel. Both titles are deactivated. We want to subdivide the lot so each home is on its own separate parcel. Both homes are separately metered for both power, gas, & water.

APPLICATION INFORMATION		
Applicant/Owner: TRAMWAY PROPERTIES, LLC	Phone: 505 553 1288	
Address: P.O. Box 21100	Email: eric@tramwayproperties.com	
City: Albuquerque	State: NM	Zip: 87154
Professional/Agent (if any):	Phone:	
Address:	Email:	
City:	State:	Zip:
Proprietary Interest in Site:	List all owners:	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: 15	Block: 4	Unit:
Subdivision/Addition: Melendres Subdivision	MRGCD Map No.:	UPC Code: 101805610822532317
Zone Atlas Page(s):	Existing Zoning: R-MH	Proposed Zoning R-MH
# of Existing Lots: 1	# of Proposed Lots: 2	Total Area of Site (Acres): .186
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 1026 Palomas Dr SE	Between: Kathryn	and: Anderson
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: 6/20/22
Printed Name: TRAMWAY PROPERTIES, LLC / ERIC JONES	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DRB minor case schedule for meeting dates and deadlines. Bring original Mylar or paper copy of plat with property owner's and City Surveyor's signatures on it to the meeting. Your attendance is required.

SKETCH PLAT REVIEW AND COMMENT

Interpreter Needed for Hearing? NO if yes, indicate language: _____

- ___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Letter describing, explaining, and justifying the request
- ___ Scale drawing of the proposed subdivision plat
- ___ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Interpreter Needed for Hearing? _____ if yes, indicate language: _____

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- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Proposed Final Plat
- ___ Design elevations & cross sections of perimeter walls
- ___ Landfill disclosure and EHD signature line on the plat if property is within a landfill buffer

SUBDIVISION OF LAND – MINOR (PRELIMINARY/FINAL PLAT APPROVAL)

Interpreter Needed for Hearing? _____ if yes, indicate language: _____

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- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(K)
- ___ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- ___ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use
- ___ Sidewalk Exhibit and/or cross sections of proposed streets
- ___ Proposed Infrastructure List, if applicable
- ___ Required notice with content per IDO Section 14-16-6-4(K)
 - ___ Office of Neighborhood Coordination inquiry response and proof of emailed notice to applicable Neighborhood Association representatives, copy of notification letter, completed notification form(s), and proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
- ___ Sensitive Lands Site Analysis for new subdivisions of land in accordance with IDO Section 5-2(C)
- ___ Landfill disclosure and Environmental Health Department signature line on the plat if property is within a landfill buffer

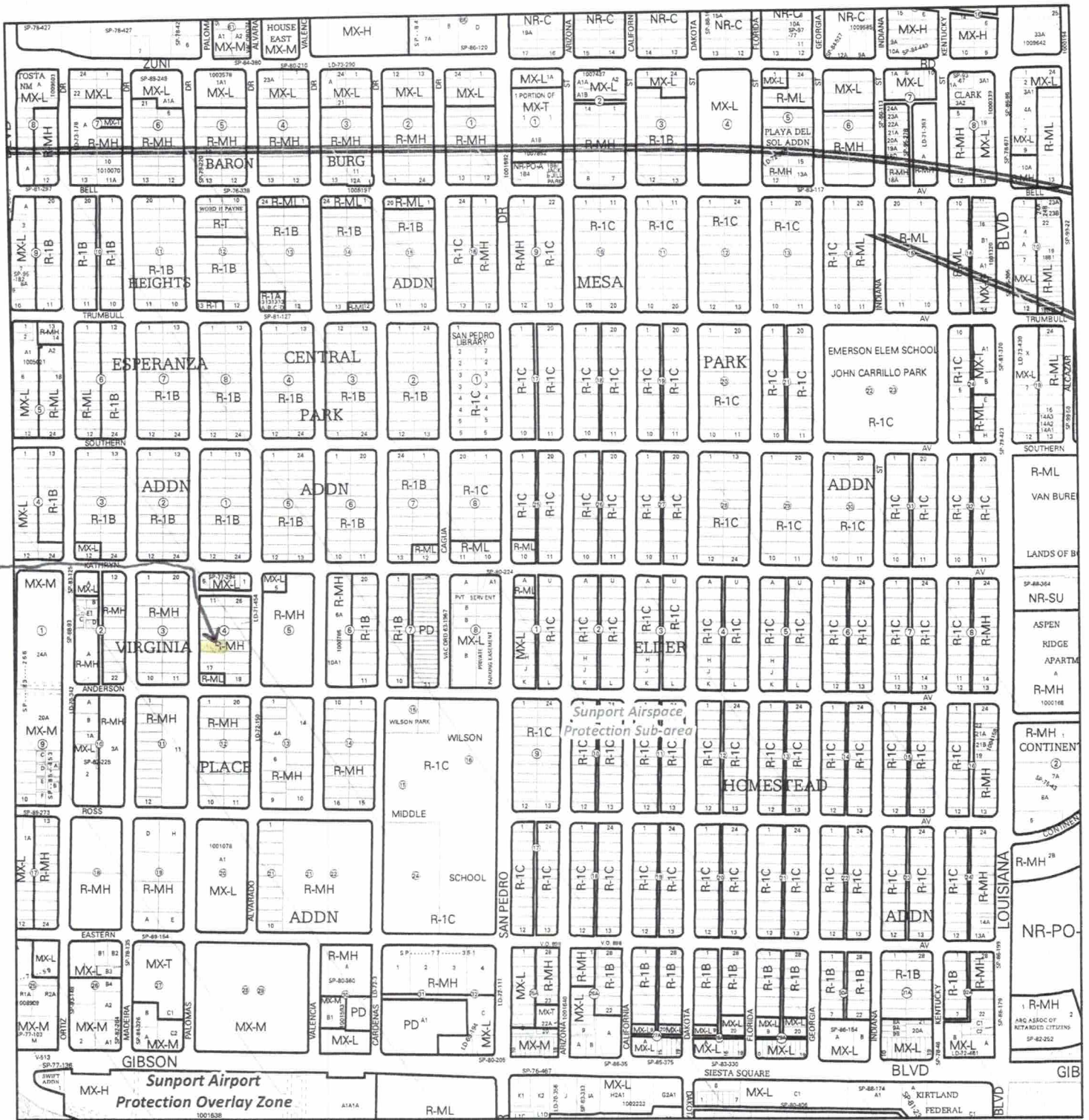
Note: Any application that requires major public infrastructure must be processed as a Subdivision of Land - Major. See Form S1.

MINOR AMENDMENT TO PRELIMINARY PLAT / INFRASTRUCTURE LIST

Interpreter Needed for Hearing? _____ if yes, indicate language: _____

- ___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan
- ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan
- ___ Infrastructure List, if applicable

Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.

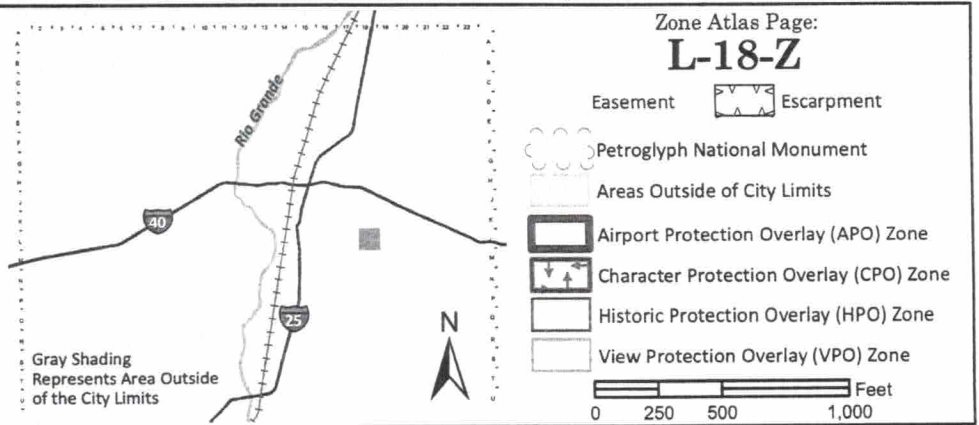


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Zone Atlas Page:

L-18-Z

Easement Escarpment

Petroglyph National Monument

Areas Outside of City Limits

Airport Protection Overlay (APO) Zone

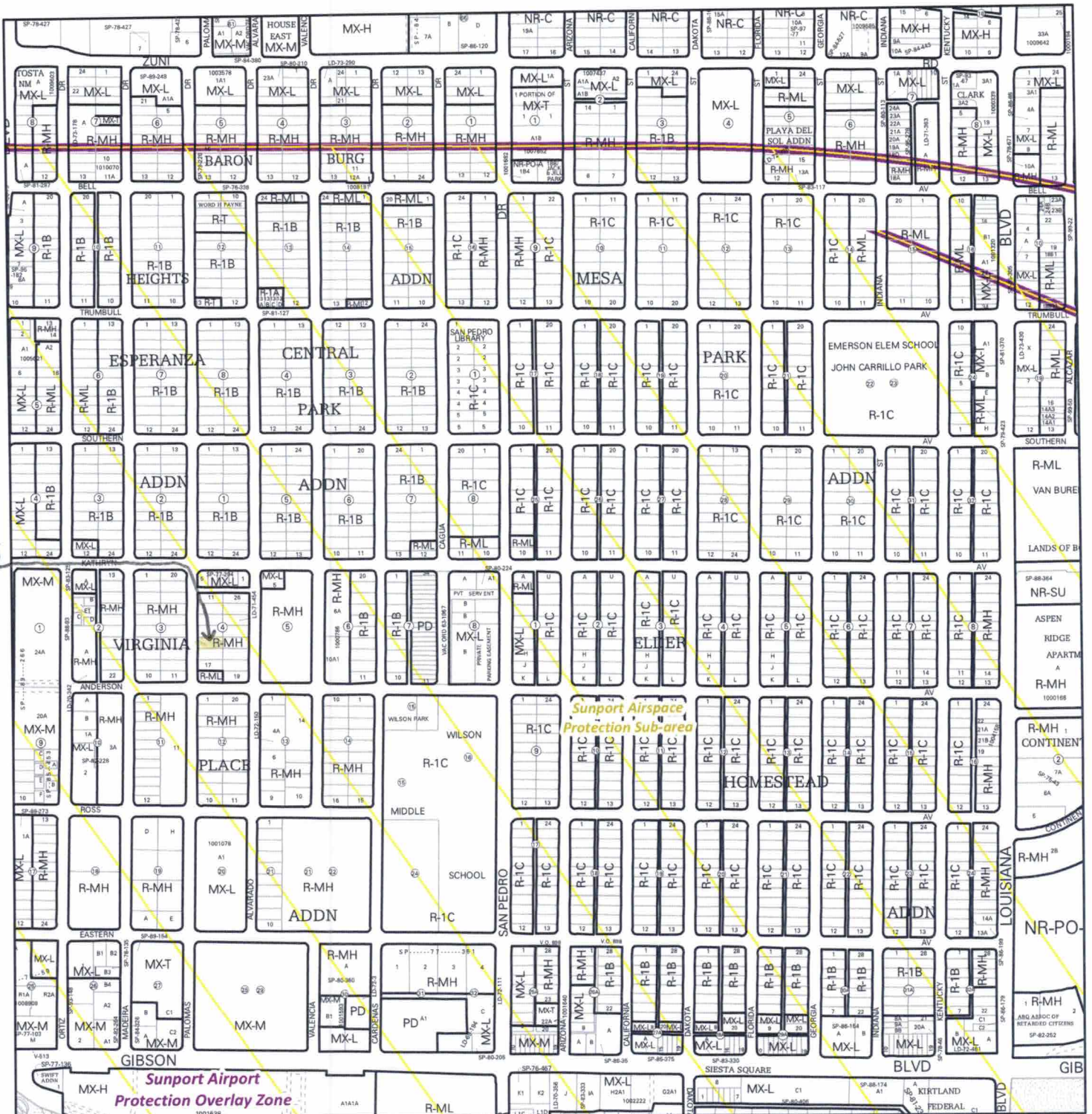
Character Protection Overlay (CPO) Zone

Historic Protection Overlay (HPO) Zone

View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

Albuquerque Geographic Information System

IDO Zoning information as of May 17, 2018

The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:

L-18-Z

----- Easement

Petroglyph National Monument

Areas Outside of City Limits

Airport Protection Overlay (APO) Zone

Character Protection Overlay (CPO) Zone

Historic Protection Overlay (HPO) Zone

View Protection Overlay (VPO) Zone

Escarpment

Gray Shading Represents Area Outside of the City Limits

N

0 250 500 1,000

Feet

To Whom It May Concern:

Please find attached our application to subdivide our current parcel into two separate lots/parcels.

We currently own a lot/parcel that has two separate manufactured houses attached on permanent foundations on it. Both homes are separately metered for power, gas, and water. Both homes have titles that have been deactivated, and the homes and lot/parcel are all owned free and clear. There is adequate parking set up for each home as well. We would like to subdivide the lot/parcel into two separate lots so each home has its own separate lot/parcel number.

We are requesting to subdivide our lot/parcel for a few reasons. If we decided to sell the homes in the future subdividing the lot would ensure the homes could be sold to two separate families. As of right now the homes being on one lot/parcel eliminates your average home buyer from being able to purchase as most lenders will not finance home buyers with two manufactured homes on one lot. Subdividing this lot brings it to its highest and best use and opens the door to more affordable housing for regular home buyers. Additionally, the homes are already separately metered and have been converted to real property by having the titles deactivated, it makes most sense for each have its own lot/parcel number. This makes receiving incoming mail for each home easier/more secure, and future ownership opportunities more open and inclusive.

We hope that this letter along with the attached application is acceptable and moves us forward in getting this lot/parcel subdivided in a timely manner. If anything else is needed please don't hesitate to reach out to us. We look forward to hearing back on the next step in the process and are excited to work with you on this.

Thanks,

Eric Jones
Tramway Properties, LLC
505-553-1288
eric@tramwayproperties.com

DATE: 03/10/22
 SCALE: 1"=30'
 CREW: AR
 DRAWN BY: CL
 JOB No.: 220485

CSI-CARTESIAN
 SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244

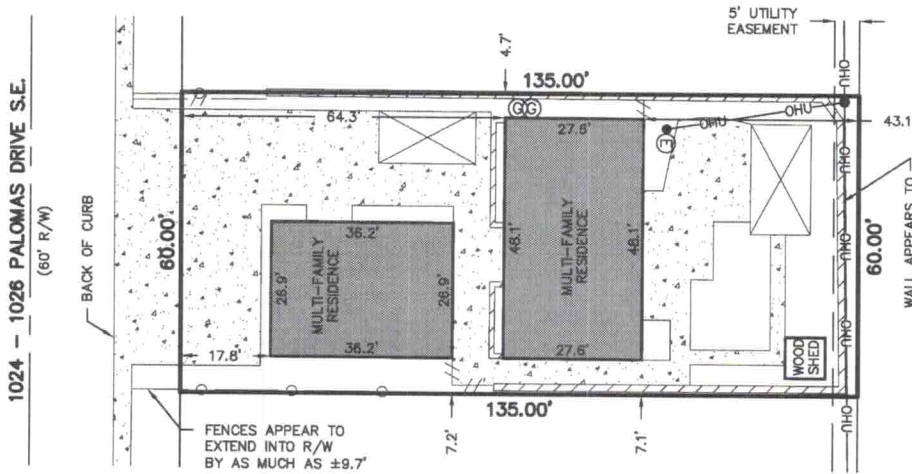
IMPROVEMENT LOCATION REPORT
 LOT 15,
 MELENDRES' SUBDIVISION
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

LEGEND

- COVERED AREA
- CONCRETE
- BLOCK WALL
- WOOD FENCE
- CHAINLINK FENCE
- UTILITY POLE
- OVERHEAD UTILITY LINE
- ELECTRIC METER
- GAS METER

Existing Lot
 Layout:

- NOTE: 1. BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP DATED AUGUST 16, 2012, MAP No. 35001C0354H.
2. THIS LOT IS SUBJECT TO THE CONDITIONS OF TITLE AFFECTING THE INSURED PREMISES AS CONTAINED ON THE NOTES ON THE RECORDED PLAT.
3. THIS REPORT IS NOT FOR USE BY A PROPERTY OWNER FOR ANY PURPOSE. THIS IS NOT A BOUNDARY SURVEY AND MAY NOT BE SUFFICIENT FOR THE SURVEY EXCEPTION FROM AN OWNER'S TITLE POLICY. IT MAY OR MAY NOT REVEAL ENCROACHMENTS, OVERLAPS, CONFLICTS IN BOUNDARY LINES, SHORTAGES IN AREA, OR OTHER MATTERS WHICH WOULD BE DISCLOSED BY AN ACCURATE BOUNDARY SURVEY.



LEGAL DESCRIPTION

LOT NUMBERED FIFTEEN (15) OF MELENDRES' SUBDIVISION OF BLOCK NUMBERED FOUR (4) OF VIRGINIA PLACE, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 27, 1958.

This is to certify: To Title Company: FIDELITY NATIONAL TITLE ; To Underwriter: FIDELITY NATIONAL TITLE INSURANCE COMPANY

To Lender: that on MARCH 10TH, 2022, I, Brian J. Martinez, N.M.R.P.S. No. 18374, made an inspection of the premises situated at LOT 15, MELENDRES' SUBDIVISION BERNALILLO County, New Mexico briefly described as (Address if applicable): 1024 - 1026 PALOMAS DRIVE S.E.

Plat Reference: Bearings, distances and/or curve data are taken from the following plat (include filing information if plat is filed). SEE LEGAL DESCRIPTION

NOTE: The error of closure is less than one foot of error for every 10,000 feet along the perimeter of the legal description provided. Easements shown hereon are as listed in the Title Commitment No. 130436 provided by the Title Company. Improvement location is based on previous property surveys. No monuments were set. This tract is subject to all easements, restrictions, and reservations of record which pertain. This report is not to be relied on for the establishment of fences, buildings or other future improvements.

THIS IS NOT A BOUNDARY SURVEY FOR USE BY A PROPERTY OWNER FOR ANY PURPOSE (THIS INCLUDES BUILDING PERMITS)

I further certify as to the existence of the following at the time of my last inspection:

1. Evidence of rights of way, old highways or abandoned roads, lanes, trails or driveways, sewer, drains, water, gas, or oil pipe lines on or crossing said premises (show location, if none visible, so indicate):
2. Springs, streams, rivers, ponds, or lakes located, bordering on or through said premises:
3. Evidence of cemeteries or family burial grounds located on said premises (show location):
4. Overhead utility poles, anchors, pedestals, wires or lines overhanging or crossing said premises and serving other properties (show location):
5. Joint driveways or walkways, joint garages, party walls or rights of support, steps or roofs in common or joint garages:
6. Apparent encroachments. If the building, projections or cornices thereof, or signs affixed thereto, fences or other indications of occupancy appear to encroach upon or overhang adjoining property, or the like appear to encroach upon or overhang inspected premises, specify all such (show location):
7. Specific physical evidence of boundary lines on all sides: SEE ABOVE SKETCH
8. Is the property improved? (If structure appears to encroach on adjoiners show approximate distances): YES
9. Indications of recent building construction, alterations or repairs: SEE ABOVE SKETCH
10. Approximate distance of structure from at least two lot lines must be shown: SEE ABOVE SKETCH

* NOT APPLICABLE, UNLESS INDICATED OTHERWISE ON THE ABOVE SKETCH setback and setback violations are not shown hereon

This map/plat/ILR is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, encroachments, distances, location of easements, acreage, or other matters shown thereon.

DATE: 03/10/22
 SCALE: 1" = 30'
 CREW: AR
 DRAWN BY: CL
 JOB NO.: 220485

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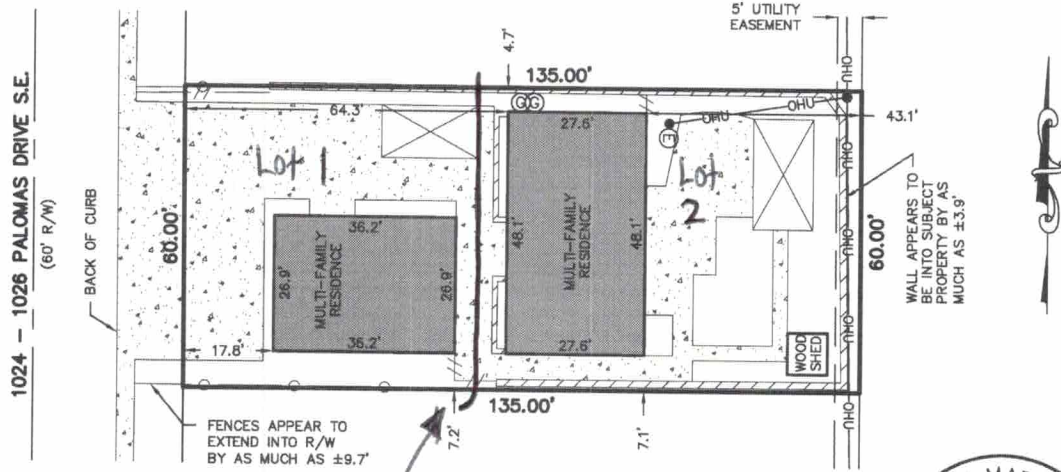
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Proposed Lot Layout:



*New lot line
 Lot # 1 would have easement for parking for lot # 2*



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- I further certify as to the existence of the following at the time of my last inspection:
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 - Apparent encroachments. If the building, projections or cornices thereof, or signs affixed thereto, fences or other indications of occupancy appear to encroach upon or overhang adjoining property, or the like appear to encroach upon or overhang inspected premises, specify all such (show location): •
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