

COMPLIANCE WITH 5-11(E)(3)
 PROJECT COMPLIES WITH IDO 5-11(E)(3) AS IT PROVIDES A GATHERING AND SEATING AREA WITH A MINIMUM OF 500 S.F. SEE KEYED NOTE 17.

FAÇADE DESIGN COMPLIANCE IDO 5-11(E)(2)
 PROJECT FAÇADE DESIGN COMPLIES WITH IDO 5-11(E)(2). THERE ARE NO STREET FACING FAÇADES WITHIN 30' OF ROW PER THE IDO DEFINITION. IT ALSO COMPLIES WITH 5-11(E)(2)a AND 5-11(E)(2)b AS THERE ARE NO STREET FACING FAÇADES WITHIN 30' OF ROW.

PROJECT INFORMATION

PROJECT: NEW OFFICE/WAREHOUSE
LOCATION: 7226 CENTRAL AVE., SW ALBUQUERQUE, NEW MEXICO
OWNER: BRUNACINI DEVELOPMENT
ARCHITECT: TATE FISHBURN ARCHITECT
LEGAL DESCRIPTION: TRACTS 54, 55 & 1 TOWN OF ATRISCO GRANT UNIT 6

CURRENT ZONING CLASSIFICATION: NR-C
NET SITE AREA: 13.59 ACRES
BUILDING AREA: OFFICE 2,937 GSF
 WAREHOUSE PHASE 1 47,063 GSF
 WAREHOUSE PHASE 2 65,000 GSF
 TOTAL 115,000 GSF

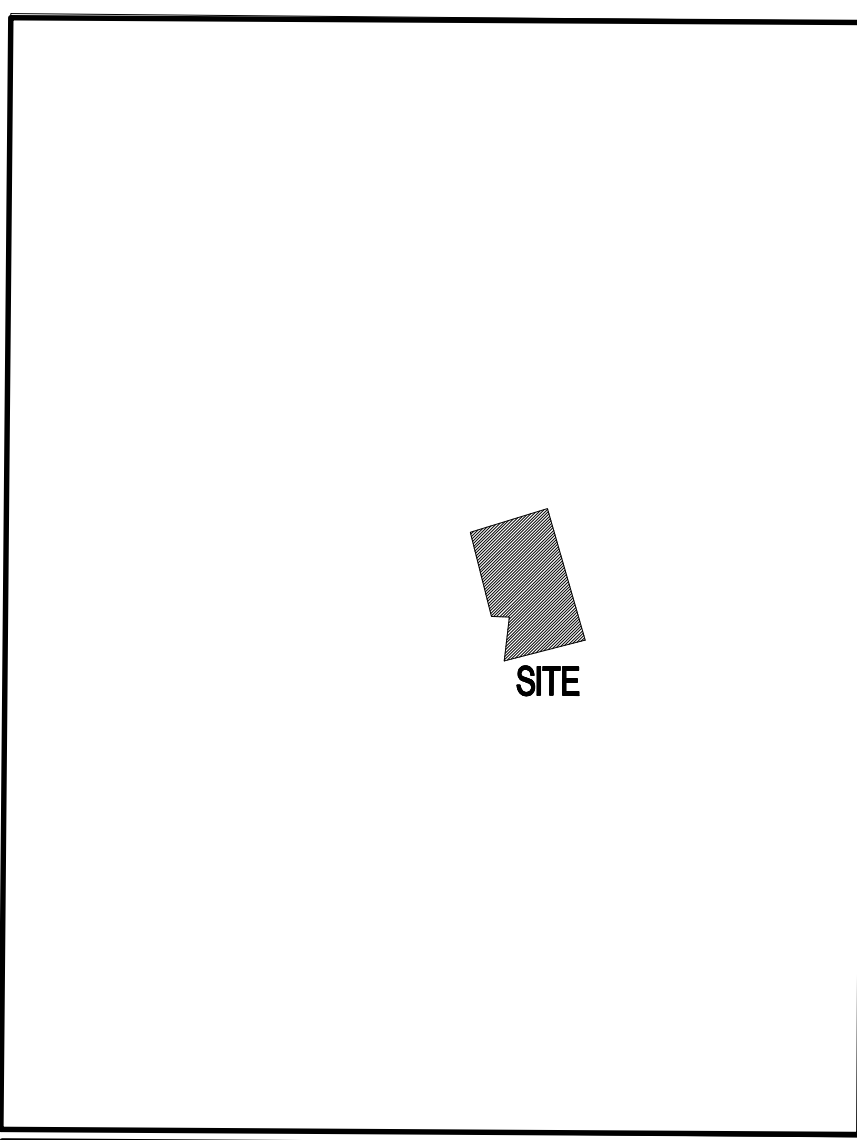
FAR: 19.4
PARKING ANALYSIS:
 OFF-STREET PARKING
 OFFICE 2,937 GSF 3.5:1000 = 11 SPACES
 WAREHOUSE 112,063 GSF NO REQUIREMENT
 TOTAL SPACES PROVIDED 75 SPACES
 HANDICAP PARKING (50-100 PRVD) = REQUIRED 4 SPACE TOTAL (1 VAN) PROVIDED 4 SPACE TOTAL (1 VAN)
 MOTORCYCLE PARKING (1-25 ROD) = REQUIRED 1 SPACE PROVIDED 1 SPACE
 BICYCLE PARKING 10% OF REQ'D OR 3 = REQUIRED 3 SPACES PROVIDED 3 SPACES

| Curve # | Length | Radius | Delta | Chord Length | Chord Direction |
|---------|-----------------|---------|-----------|--------------|-----------------|
| C1 | 42.49' {42.45'} | 25.00' | 97°22'49" | 37.56' | S 59°14'35" E |
| C2 | 39.23' {39.30'} | 270.00' | 8°19'32" | 39.20' | S 06°23'24" E |
| C3 | 72.75' {72.68'} | 330.00' | 12°37'50" | 72.60' | S 08°32'33" E |
| C4 | 76.76' {76.39'} | 330.00' | 13°19'36" | 76.58' | S 21°31'15" E |
| C5 | 62.50' {62.50'} | 270.00' | 13°15'47" | 62.36' | S 21°33'10" E |
| C6 | 72.89' {72.68'} | 330.00' | 12°39'18" | 72.74' | S 21°31'01" E |
| C7 | 59.49' {59.47'} | 270.00' | 12°37'24" | 59.37' | S 21°13'58" E |

| Line # | Direction | Length (ft) |
|--------|---------------------------------|------------------|
| L1 | N 89°18'08" W ((N 89°48'32" W)) | 129.99' (130.4') |
| L2 | N 14°33'44" W *(N 14°34'27" W)* | 126.15' |
| L3 | N 14°41'34" W *(N 14°34'27" W)* | 57.64' *(55.40)* |
| L4 | N 14°03'07" W *(N 15°06' W)* | 40.73' |
| L5 | N 74°53'24" E *(N 74°53'24" E)* | 40.01' *(40.00)* |
| L6 | S 72°06'00" W *(S 71°44'20" W)* | 64.65' |
| L7 | N 14°20'05" W *(N 15°02'48" W)* | 24.13' *(24.13)* |
| L8 | S 71°16'46" W *(S 71°44'20" W)* | 40.11' *(40.06)* |
| L9 | N 14°20'05" W *(S 15°02'48" E)* | 59.86' *(60.00)* |
| L10 | N 14°27'22" W *(N 15°06' W)* | 100.08' |
| L11 | N 14°27'31" W | 139.76' |

- KEYED NOTES**
- CONCRETE CURB, TYP.
 - (3) BICYCLE PARKING STALLS W/ 1' CLEAR ZONE AROUND STALL, REFER DETAIL 3/SDP-2
 - HC PARKING, RAMP & SIGN, REFER DETAIL 1/SDP-2
 - (1) 4"x20" MOTORCYCLE PARKING SPACE & SIGN, REFER DETAIL 4/SDP-1, PARKING SPACE SHALL HAVE THE LETTERS "MC" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST 2" WIDE PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE VEHICLES REAR TIRE WOULD BE PLACED
 - 2" ASPHALT PAVING OVER 4" BASE COURSE
 - SIDEWALK & RAMPS PER COA STD DWG 2430 & 2415. ALL SIDEWALKS MUST HAVE A MIN. 4' PATHWAY AROUND ALL OBSTRUCTIONS WITHIN ROW. ROW DEDICATION MAY BE REQUIRED AND ALL WORK WITHIN ROW SHALL BE DONE UNDER A CITY WORK ORDER WITH ALL INFRASTRUCTURE ITEMS PLACED ON AN INFRASTRUCTURE LIST.
 - ENTRANCE DRIVE PER COA STD DWG 2426
 - REFUSE CONTAINER LOCATION
 - 4" CRUSHED RECYCLED ASPHALT
 - 10' WIDE CONCRETE SIDEWALK
 - RAMPS PER COA STD DWG 2430 & 2415
 - CONCRETE DRIVE @ TRUCK DOCK
 - ELEC. TRANSFORMER LOCATION
 - 10'x30' CONCRETE PADS
 - EXISTING BILL BOARD SIGN
 - NEW FIRE HYDRANT LOCATION (PRIVATE)
 - 500 S.F. MIN. OUTDOOR SEATING AND GATHERING AREA

- INDEX TO DRAWINGS**
- SDP-1 SITE DEVELOPMENT PLAN
 - SDP-2 SITE DETAILS
 - SDP-3 BUILDING ELEVATIONS
 - GR-1 GRADING & DRAINAGE PLAN
 - MU-1 MASTER UTILITY PLAN
 - LS-101 LANDSCAPE PLAN



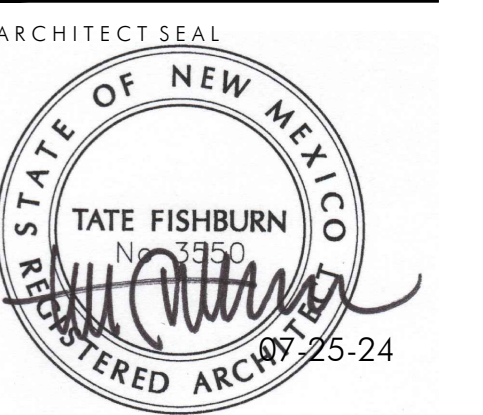
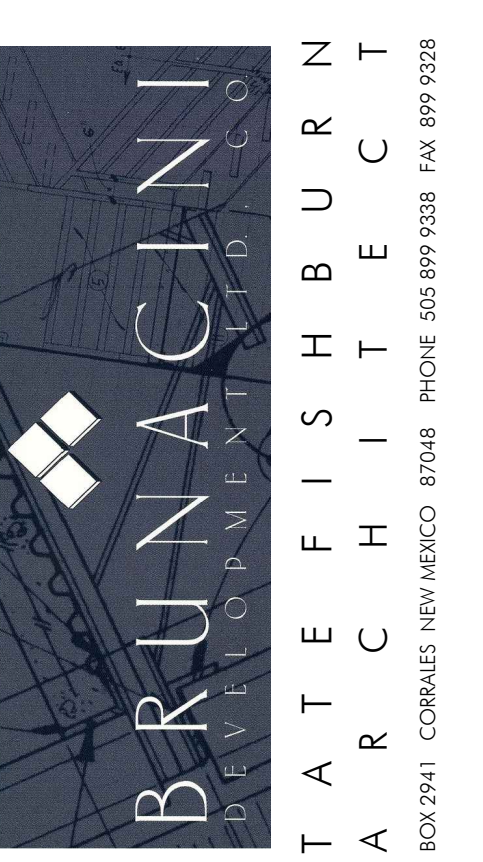
PROJECT NO. PR-2022-007299
APPLICATION NO. SI-2024-00931-SITE PLAN-DFT

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO
 IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.
 DFT SITE DEVELOPMENT PLAN APPROVAL:

| | |
|--|------|
| TRAFFIC ENGINEER, TRANSPORTATION DIVISION | DATE |
| ABCWUA | DATE |
| PARKS & RECREATION DEPARTMENT | DATE |
| HYDROLOGY | DATE |
| CODE ENFORCEMENT | DATE |
| *ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) | DATE |
| SOLID WASTE MANAGEMENT | DATE |
| PLANNING DEPARTMENT | DATE |
| *ENVIRONMENTAL HEALTH, IF NECESSARY | DATE |

- LEGEND**
- PROPERTY LINE
 - EASEMENT LINE
 - LANDSCAPED AREA
 - 6" DESIGNMASTER FENCING, CLASSIC AND GATES AS NOTED SEE DETAIL 4/SDP-2
 - 8" TALL OPAQUE FENCING AND GATES AS NOTED SEE DETAIL 4/SDP-2
 - PONDING PONDING AREA
 - SITE DISTANCE AND SITE TRIANGLE BASED ON COA DPM 7-4(0)(5)(ii) and 7-4(0)(5)(iv). LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SITE TRIANGLE
 - HANDICAP PARKING PAVEMENT MARKING
 - EXTERIOR LIGHT POLE LOCATION. SEE GENERAL NOTES FOR EXTERIOR LIGHTING REQUIREMENTS.
 - EXISTING FIRE HYDRANT

- GENERAL NOTES**
- THIS SITE PLAN MEETS THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE IDO.
 - ALL SITE LIGHTING SHALL COMPLY WITH IDO SECTION 14-16-5-8. OUTDOOR AND SITE LIGHTING.
 - PLACEMENT OF FIXTURES & STANDARDS SHALL CONFORM TO STATE & LOCAL SAFETY & ILLUMINATION REQUIREMENTS.
 - ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS WITH NO LIGHT, LENS OR BULB PROTRUDING BELOW THE BOTTOM OF THE CUT-OFF FIXTURE IN ORDER THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FRO THE SITE PERIMETER.
 - ROOF TOP AND GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM THE PUBLIC VIEW BY MATERIALS OF THE SAME NATURE AS THE BUILDINGS BASIC MATERIALS. THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET OR SCREENED FROM VIEW FROM PUBLIC RIGHTS-OF-WAY AND THE SITE ACCESS EASEMENT.
 - SITE HANDICAP RAMPS SHALL BE BUILT BY COA STANDARD DRAWING #2441.
 - ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.

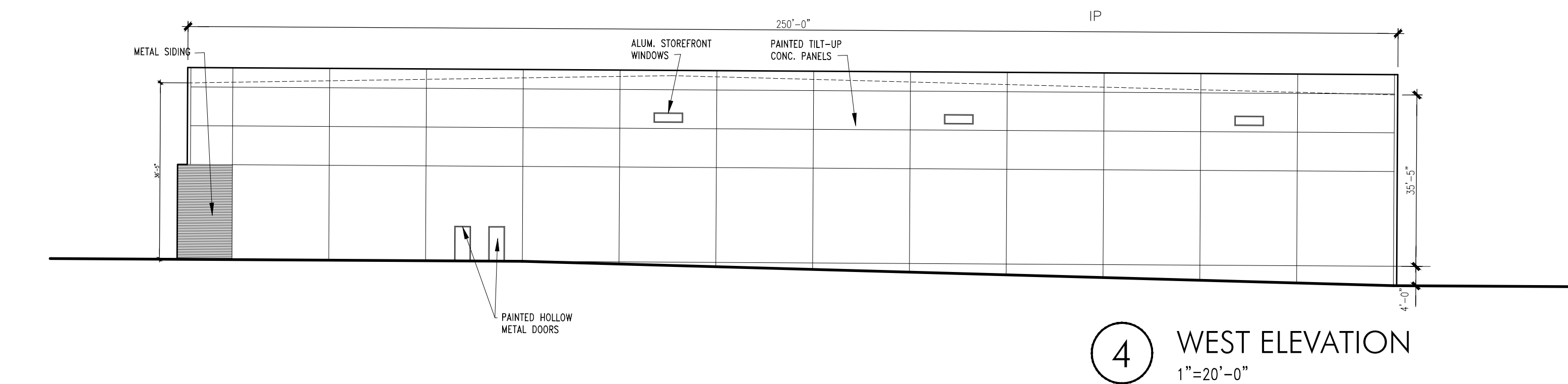


ARCHITECT SEAL
 TATE FISHBURN
 REGISTERED ARCHITECT 25-24
 ENGINEER SEAL

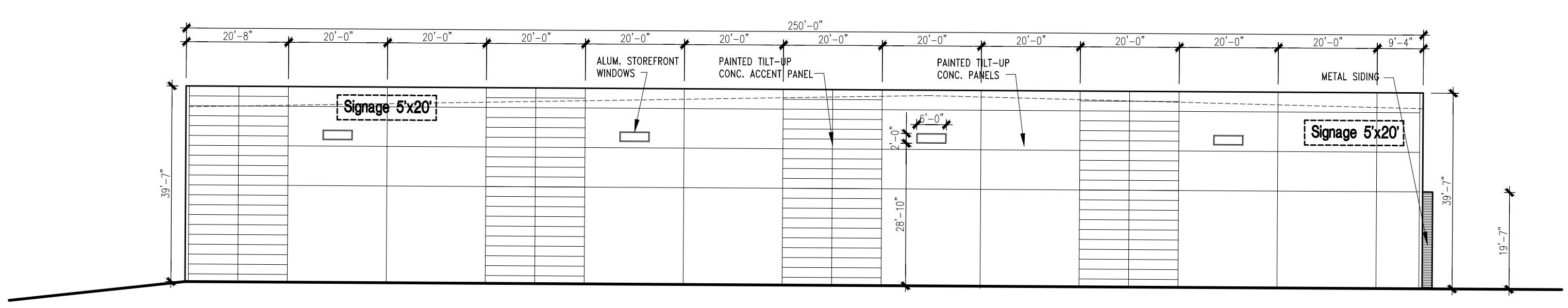
**SKYVIEW WEST INDUSTRIAL
 FOR BRUNACINI DEVELOPMENT
 7226 CENTRAL AVE., SW
 ALBUQUERQUE, NEW MEXICO**

REVISIONS

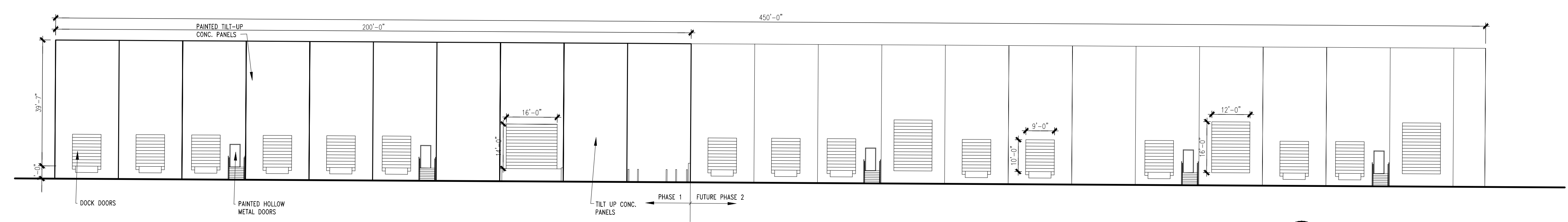
| | |
|--------------|-----------------------|
| DATE | JULY 25, 2024 |
| NORTH | SCALE |
| | 1"=60'-0" OR AS NOTED |
| DRAWING NAME | SITE DEVELOPMENT PLAN |
| SHEET NUMBER | SDP-1 |



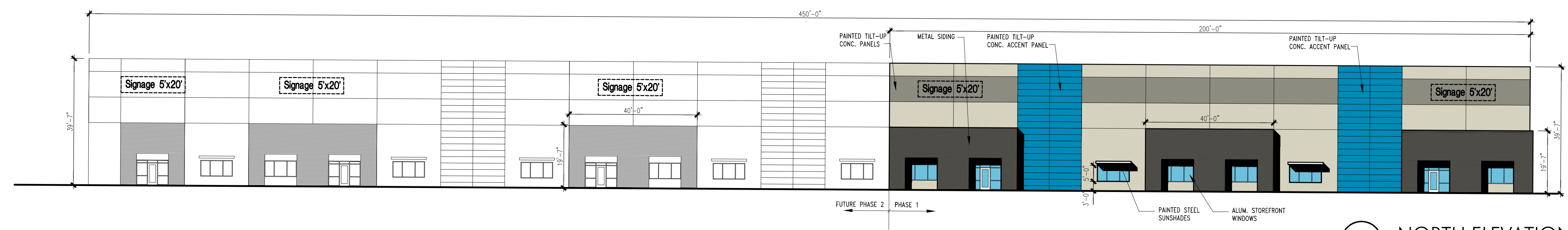
4 WEST ELEVATION
1"=20'-0"



3 FUTURE EAST ELEVATION
1"=20'-0"



3 SOUTH ELEVATION
1"=20'-0"



1 NORTH ELEVATION
1"=20'-0"

EXTERIOR FINISHES

- TILT-UP CONC. PANELS- FIELD COLOR - LIGHT GRAY
- TILT-UP CONC. PANELS- ACCENT COLOR - MEDIUM GRAY
- TILT-UP CONC. PANELS- ACCENT COLOR - BLUE
- METAL SIDING-COLOR- DARK GRAY
- METAL ACCENT COLOR- WHITE
- ALUMINUM WINDOW FRAMES- CLEAR ANODIZED
- WINDOW GLAZING- 1" TINTED INSULATED
- TINT COLOR- SOLAR GRAY
- OVERHEAD & HM DOORS- LIGHT GRAY

ALL BUILDING MOUNTED LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS WITH NO LIGHT, LENS OR BULB PROTRUDING BELOW THE BOTTOM OF THE CUT-OFF FIXTURE IN ORDER THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.

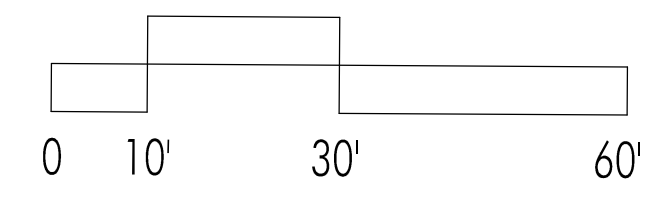
ALL BUILDING MOUNTED SIGNAGE TO BE LIGHTED EITHER INTERNALLY OR EXTERNALLY. ANY LIGHTING FOR SIGNAGE SHALL CONFORM TO NIGHT SKIES ACT. SIGNAGE MATERIAL TO BE EITHER RAISED METAL LETTERING OR TRANSLUCENT LEXAN PANELS OF ANY COLOR. NO BOX SIGNAGE ALLOWED. INDIVIDUAL RAISED LETTERS ONLY.

BUILDING SIGNAGE CALCS:

EAST ELEVATION- BLDG. AREA-9,917 S.F. SIGNAGE- 200 S.F.
200 / 9,917 = 2%

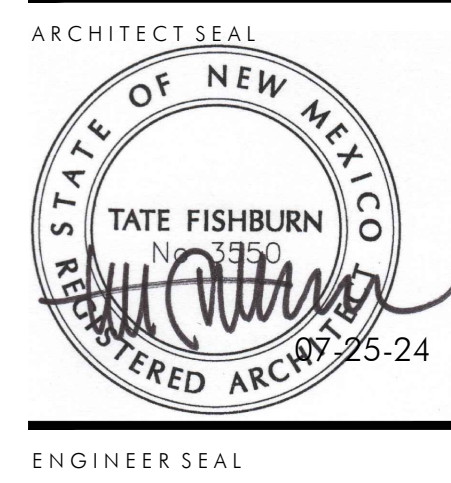
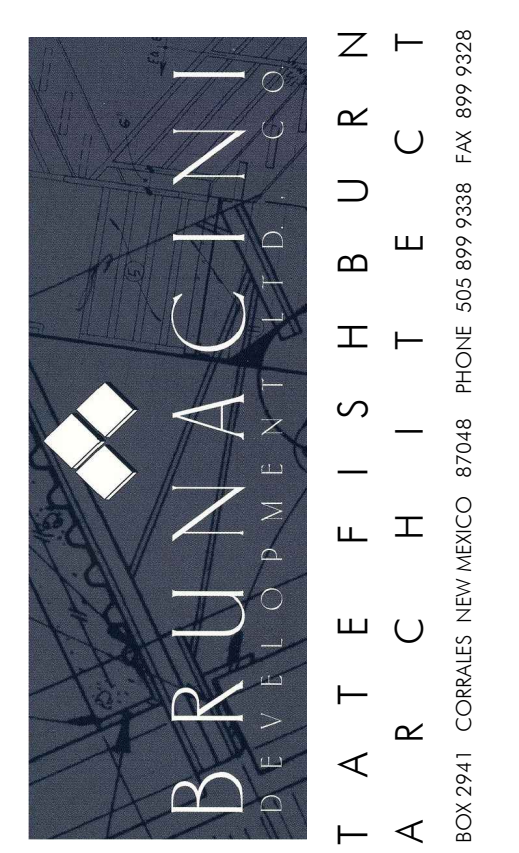
NORTH ELEVATION- BLDG. AREA-17,851 S.F. SIGNAGE- 500 S.F.
500 / 17,851 = 2.8%

GRAPHIC SCALE



FACADE DESIGN COMPLIANCE IDO 5-11(E)(2)

PROJECT FACADE DESIGN COMPLIES WITH IDO 5-11(E)(2). THERE ARE NO STREET FACING FACADES WITHIN 30' OF ROW PER THE IDO DEFINITION. IT ALSO COMPLIES WITH 5-11(E)(2)a AND 5-11(E)(2)b AS THERE ARE NO STREET FACING FACADES WITHIN 30' OF ROW.



SKYVIEW WEST INDUSTRIAL
FOR BRUNACINI DEVELOPMENT
7226 CENTRAL AVE., SW
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE JULY 25, 2024

NORTH SCALE

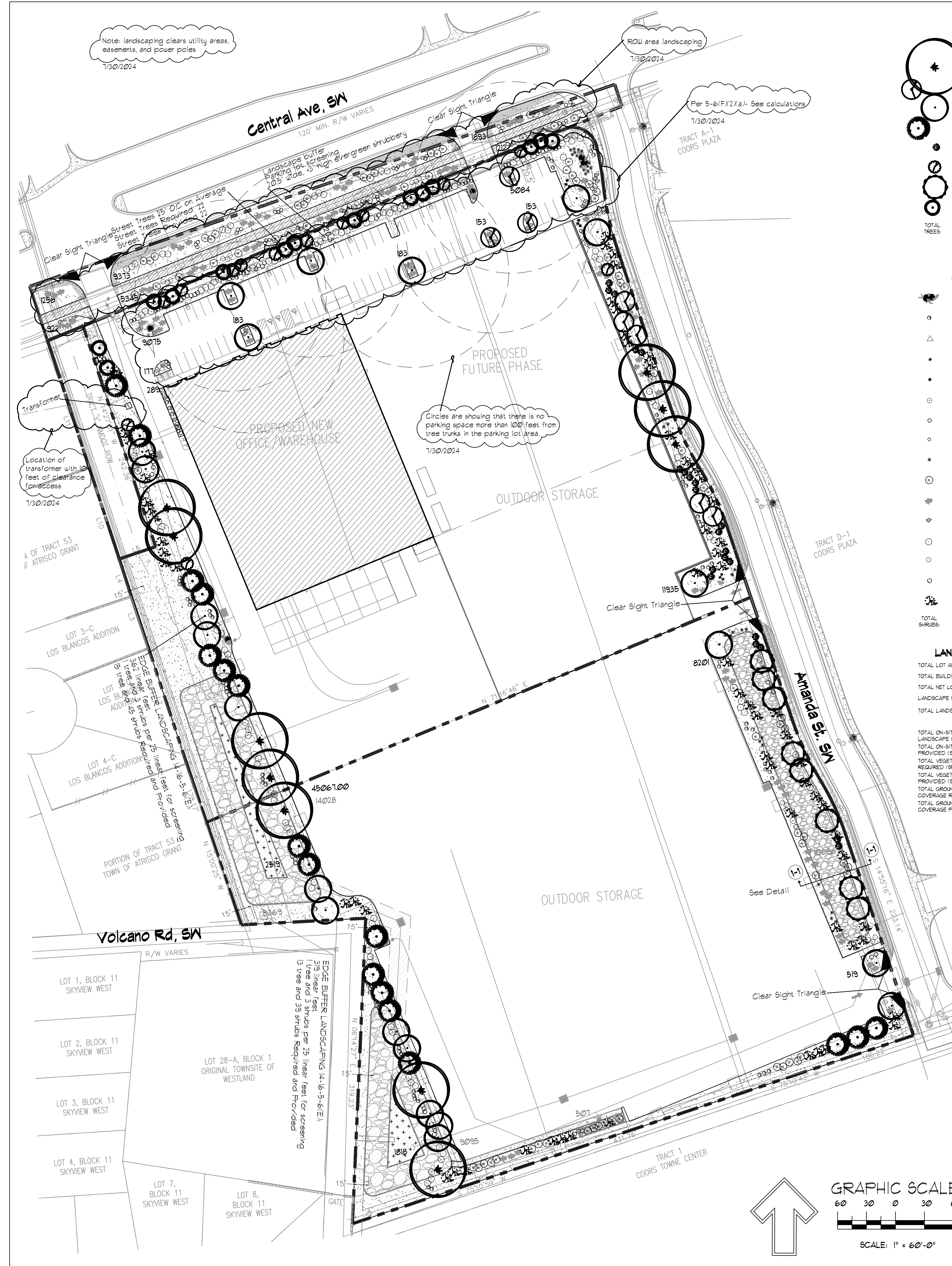
OR AS NOTED

DRAWING NAME

BUILDING ELEVATIONS

SHEET NUMBER

SDP-3



LANDSCAPE LEGEND

TREES

| QTY | SIZE | COMMON/BOTANICAL NAME | DIMS | WATER USE | COVERAGE | TOTAL COVERAGES |
|-------------|------|---|---------|-----------|----------------|-----------------|
| 114 | 2" | Chinese Pistache <i>Pistacia chinensis</i> | 60"x60" | M | 2636 | 2836.00 |
| 11 | 2" | Russian Hawthorn <i>Crataegus ambigua</i> | 20"x20" | M | 314 | 292.00 |
| 11 | 2" | Frontier Elm <i>Ulmus 'Frontier'</i> | 40"x40" | M | 106.50 | 1943.00 |
| 11 | 8" | Austrian Pine <i>Pinus nigra</i> | 35"x25" | M | 490.63 | 8340.11 |
| 11 | 8" | Blue Arrow Juniper <i>Juniperus scopulorum 'Blue Arrow'</i> | 12"x4" | M | 1256 | 276.32 |
| 13 | 2" | Western Redbud <i>Cercis occidentalis</i> | 10"x10" | M | 13.04 | 148.352 |
| 8 | 2" | Desert Willow <i>Chilopsis linearis</i> | 20"x25" | RU | 490.63 | 3029.04 |
| 14 | 2" | Thornless Cocksbur Hawthorn <i>Crataegus crus-galli thernis</i> | 8"x8" | M | 176.62 | 2472.68 |
| TOTAL TREES | 114 | | | | TOTAL COVERAGE | 62799.21 |

Shrubs & Groundcovers

| QTY | SIZE | COMMON/BOTANICAL NAME | DIMS | WATER USE | COVERAGE | TOTAL COVERAGE |
|--------------|------|---|----------|-----------|----------------|----------------|
| 2 | 3" | Palm Yucca <i>Yucca taxoniana</i> | 12"x6" | M | 2826 | 5652 |
| 99 | 5" | India Hawthorne <i>Raphiolepis indica</i> | 3'x4' | M | 1256 | 1243.44 |
| 2 | 5" | Butterfly Bush <i>Buddleia davidii</i> | 5'x1' | M | 38.41 | 76.84 |
| 3 | 5" | Karl Foerster Grass <i>Calamagrostis acutiflora 'Karl Foerster'</i> | 3'x2' | M | 3.14 | 9.42 |
| 6 | 5" | Dwarf Fountain Grass <i>Pennisetum alopecuroides 'Hamelin'</i> | 25'x2.5' | RU | 4.90 | 29.40 |
| 3 | 5" | Blue Mist <i>Caryopteris x clandonensis</i> | 3'x5' | M | 196.3 | 176.67 |
| 93 | 5" | Autumn Sage <i>Salvia greggii</i> | 3'x4' | L | 256.3 | 665.68 |
| 2 | 5" | Deep Blue Lavender <i>Lavender angustifolia 'Hidcote'</i> | 3'x3' | L | 1.07 | 14.14 |
| 32 | 5" | Red Yucca <i>Hesperaloe parviflora</i> | 3'x3' | L | 1.07 | 226.24 |
| 78 | 5" | Gro-Lou Shrub <i>Rhus aromatica 'Gro-Low'</i> | 3'x8" | M | 502.4 | 398.72 |
| 99 | 5" | Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i> | 1'x8" | M | 502.4 | 493.76 |
| 15 | 5" | Blue Rug Juniper <i>Juniperus horizontalis</i> | 1'x6" | M | 2826 | 423.90 |
| 20 | 5" | Apache Plume <i>Fouglia paradoxa</i> | 6'x1' | L | 38.41 | 468.40 |
| 29 | 5" | Chamisa <i>Chrysothamnus nauseosus</i> | 5'x5' | L | 196.3 | 569.21 |
| 10 | 5" | Turpentine Bush <i>Ericameria laricifolia</i> | 3'x4' | L | 502.4 | 356.80 |
| 68 | 5" | Yellow Bird of Paradise <i>Caesalpinia gilliesii</i> | 10'x10" | RU | 7850 | 5338.00 |
| TOTAL SHRUBS | 681 | | | | TOTAL COVERAGE | 25895.30 |

LANDSCAPE CALCULATIONS

| | |
|--|-------------|
| TOTAL LOT AREA | 59980.4 sqm |
| TOTAL BUILDING AREA (SF) | 15000 |
| TOTAL NET LOT AREA (SF) | 416380.40 |
| LANDSCAPE REQUIREMENT | 15% |
| TOTAL LANDSCAPE REQUIRED | 7541 |
| TOTAL ON-SITE AND OFF-SITE LANDSCAPE PROVIDED (SF) | 130899 |
| TOTAL ON-SITE LANDSCAPE PROVIDED (SF) | 10460 |
| TOTAL VEGETATIVE COVERAGE REQUIRED (SF) | 82845 |
| TOTAL VEGETATIVE COVERAGE PROVIDED (SF) | 8865451 |
| TOTAL GROUND VEGETATIVE COVERAGE REQUIRED (SF) | 20711 |
| TOTAL GROUND VEGETATIVE COVERAGE PROVIDED (SF) | 25895.30 |

Gravel and Other Landscape Covers

| | | |
|-------------------|--|-----------|
| 8 | Boilers Every 33' (Use Rock or Equal) | 13008.38 |
| 28363.62 | Organic Mulch (Not Shown- See the calculation) | 28363.62 |
| 2516.000 | Overlays Landscape Gravel / Filter Fabric 2'-4" Adobe Gray | 4337.00 |
| 130899.00 | Revegetation Seeding | 130899.00 |
| TOTAL LANDSCAPING | | 130899.00 |

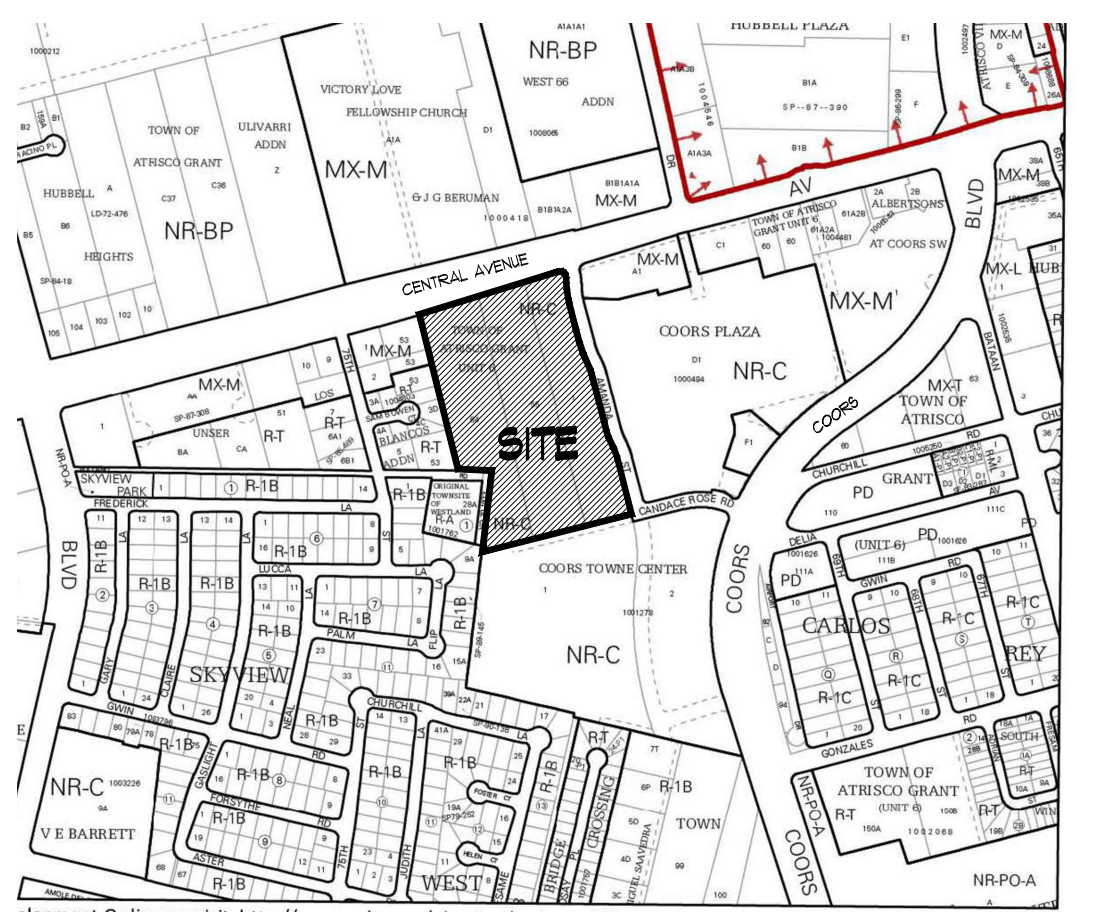
NOTE: Wood mulch is only used as a requirement of the City of Albuquerque, IDO. Wood mulch will need to be refreshed often as it is washed and blown away and will result in a negative impact on the health of the plant material. Additionally, historically, wood mulch in commercial applications has clogged storm sewers creating damage to commercial properties, lawsuits, and damages assessed to landscape architects and contractors. Designer assumes no responsibility for flooding or erosion as the result of the use of Wood Mulch as required by the City of Albuquerque.

Organic Mulch No Fabric
Submit samples of organic mulch for approval
Organic Mulch 25% Required
Note, Each Tree, min, 5' rad. 78.5sf
114 Trees x 78.5 sf = 8949
See Tree Detail, a 5' radius of organic mulch is require around each tree w/out Filter Fabric
Note, Each Shrub, min, 3' rad. 28.26sf
687 Shrubs x 28.26 sf = 19414.62
Total Mulch Provided 28363.62
Total Mulch Required 20711
Parking Lot Landscape Area Calculation
Total Parking 79 Space
180 sf each x 79 space = 14220
landscape required 14220 x 0.15 = 2133
Landscape Required 2133 sf
Landscape Provided 15008sf
Tree Required 8
Tree Provided 8
Deciduous Tree Required 6
Deciduous Tree Provided 8

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain landscaping in a living, healthy, and attractive condition.
It is the intent of this plan to comply with the City of Albuquerque, IDO Ordinance.
Water management is the sole responsibility of the Property Owner.
Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed, or other treatment.
Contractor shall supply to the owner samples and prices of various gravel samples for approval prior to installing.
25% of landscape area shall be covered with wood mulch. Mulch shall be a minimum of 4" deep in areas as shown on the plan. Landscape maintenance shall ensure that all wood mulch areas are maintained and refreshed on a regular basis. Filter Fabric shall not be placed in areas to receive wood mulch.
Landscape shall be watered by a complete underground irrigation system operated by automatic timer.

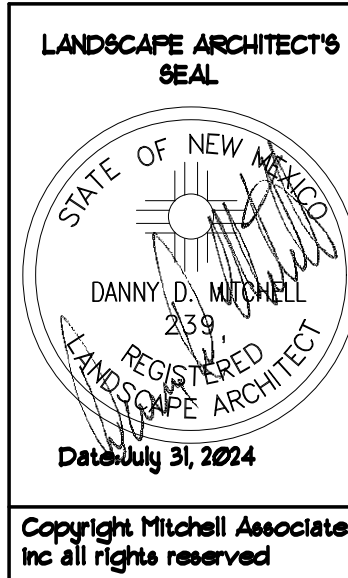
Trees and shrubs shall be zoned separately.
Landscaping shall be installed according to the approved plan. Installation shall be completed within 60 days of the related building's occupancy.
No substitutions or alterations to this plan without the express written permission of the Landscape Architect, and approval of the City of Albuquerque, approved permit set.
Clear Site Triangle Note:
Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery, between 3 and 9 feet tall, (as measured from the gutter pan) are not included within the clear site triangle.
Street Tree Notes:
Per Section 5-6(D) (1) (a) Required Street Trees.
Trees are GENERALLY required along street frontages every 25 feet on center unless otherwise specified in Part 6-2-2 of ROA 1994 (Street Trees)
Section 6-6-2-5 Street Trees (A)
1. Size of the trees at maturity should be in proportion to the planting space provided for them. ... Smaller species of trees will require closer spacing, and larger trees will require greater spacing. Spacing shall be approved as part of the plan approval process.
2. On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced

Drainage Basin Treatments
Per City of Albuquerque
Drainage Basin Treatments
The bottom and sides must be seeded with a native mix per City Standard specification 10/22 depending on soil type for that City area. Please reference this native seed selection and the section on plan sheet.
For pond bottoms: Gravel 3/4 to 1 inch mulch. One layer thick, not stacked
Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.
Maintenance will be per City of Albuquerque Specification 10/23.9.1 and 10/23.9.2.
Contractor must used the basin during/after the first growing season.
Needs city inspection. Stormwater Quality Ordinance-final stabilization must be accepted by the City.
Per 5-6(C)(4)(g) all vegetation shall comply with Article 9-12 and Parts 6-1-1 and 6- 6-2 of ROA 1994 (Folien Control, Water Conservation Landscaping and Water Waste, and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable.
Per 5-6(C)(4)(h) all required plant materials shall be free of disease and insects and shall conform to the American Standard for Nursery Stock (ANSNA) of the American Nursery and Landscape Association.
Per 5-6(C)(5)(a), all vegetated material required by this Section 14-16-5-6 shall be planted in uncompacted soil.
Per 5-6(C)(5)(b), if used, weed barriers shall be permeable to optimize stormwater infiltration and prevent runoff.
Per 5-6(C)(5)(d), a minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended.

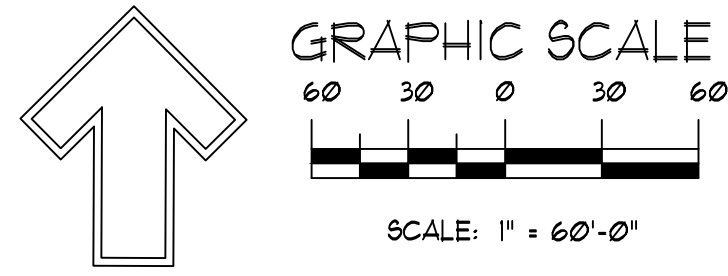


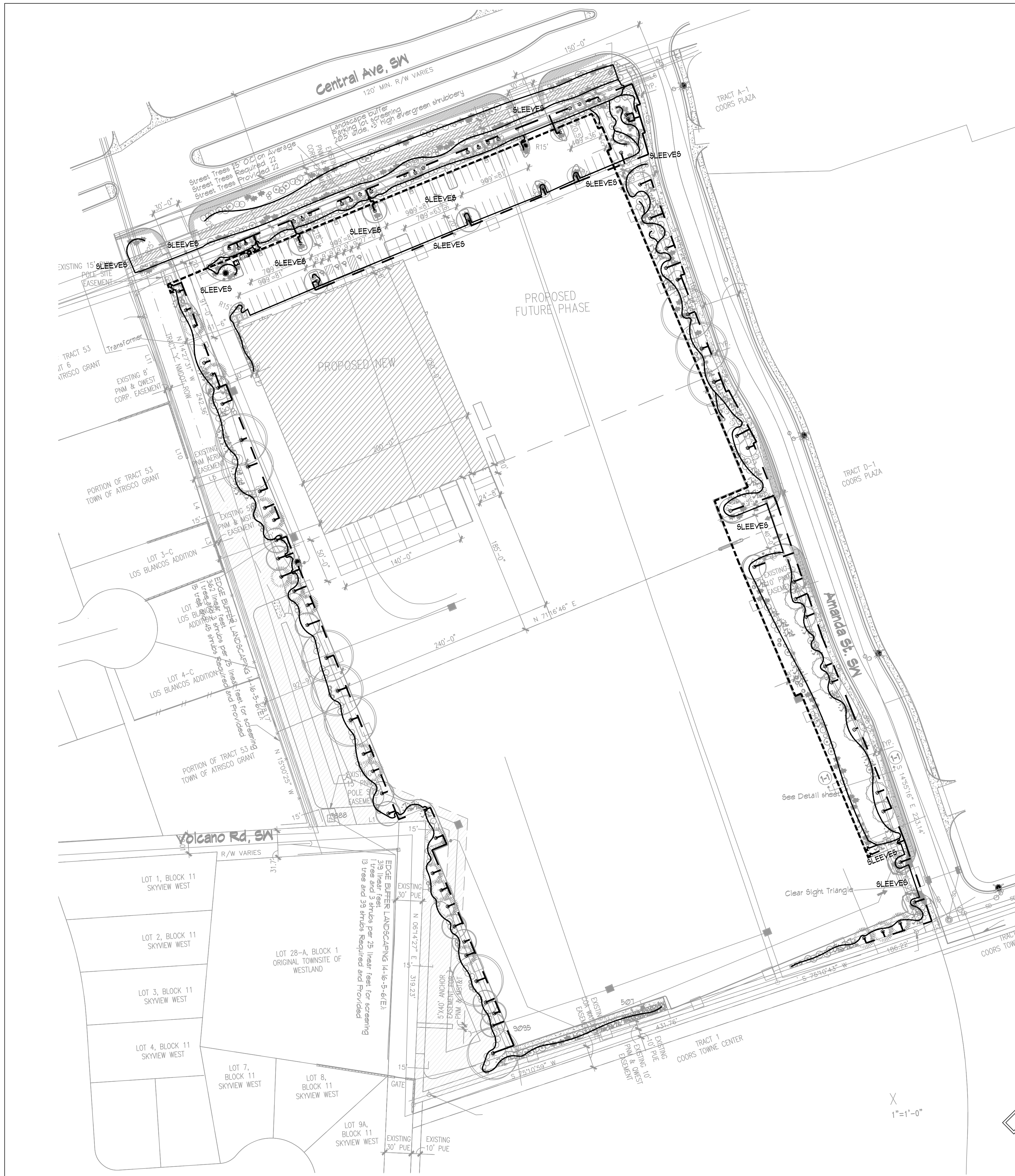
Vicinity Map
5-6(C)(3)(a) All planting of vegetated material or installation of any landscaping, buffering, or screening material in the public right-of-way shall require the prior approval of the City. The property owner shall be responsible for the maintenance, repairs, or liability for all the landscaping placed in or over the public right-of-way.
5-6(C)(3)(b) Any trees that overhanging a public sidewalk or Major Public Open Space shall be trimmed to maintain an 8-foot clearance over the sidewalk. Any trees that overhanging a public street shall be trimmed to maintain a 9-foot clearance over the street surface.
Per 5-6(C)(3)(c) where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements in Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM, with a separate meter for the landscape area in the public right-of-way, or a separate valve(s) at the property line allowing isolation of the irrigation to the landscape within the public right-of-way. Drip irrigation systems and artificial turf shall not be allowed within the public right-of-way.
5-6(C)(3)(c) Any damage to utility lines resulting from the negligence of the abutting property owner or the property owner's agents or employees in the installation and maintenance of any landscaping, screening, or buffering in a public right-of-way, private way, or easement shall be the responsibility of such property owner. Any damage to utility lines resulting from the growth of plant materials that have been approved by the applicable public utility as part of a plan for landscaping, screening, or buffering on the public right of way shall be the responsibility of such public utility. If a public utility disturbs landscaping, screening, or buffering in a public right-of-way, private way, or easement, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after the utility work. If the plant materials die despite those efforts, it is the obligation of the abutting property owner to replace the plant materials.
5-6(C)(3)(d) Property owners acknowledge that approved landscaping and trees installed and maintained in a public right-of-way, private way, or easement abutting private properties are the property of the City, and that the City reserves the right to remove them if necessary for a transportation project without compensation, but at no cost to the property owner. Landscaping installed in an abutting public right-of-way, private way, or easement by property owners and later removed by the City shall not impact previously approved net lot area calculations for required landscaping.

5-13(B)(1)(a) Landscaping screening and buffering areas shall be maintained in compliance with Articles 6-6 and 9-8 of ROA 1994 (Trees, Vegetation and Landscaping and Weeds, Litter, and Snow) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance).
5-13(B)(1)(b) All landscaped areas shall be maintained with a neat and orderly appearance, which includes pruning, removal and replacement of dead or diseased plants and trees, disposal of litter, repair of damaged walls and hard surface areas, and upkeep of irrigation systems.
5-13(B)(1)(c) Where landscaping was installed pursuant to a Site Plan or development approval, the landscaping shall be replaced according to any landscaping and maintenance plan under that approval.
5-13(B)(1)(e) Trees or plants that die shall be replaced by the owner as expeditiously as possible, but in no case longer than 60 calendar days after notice from the City. The replacement of dead vegetation is the responsibility of the property owner.
5-13(B)(1)(f) Street trees shall be maintained alive and healthy. Maintaining and replacing street trees or other trees planted in the public right-of-way are the responsibility of abutting property owners.



| | | |
|-----------------------------------|---|---|
| LANDSCAPE ARCHITECT'S SEAL | SKYVIEW WEST INDUSTRIAL FOR BRUNACINI DEVELOPMENT 7226 CENTRAL AVE, SW ALBUQUERQUE, NM | DRAWN BY: PP APPROVED BY: DM |
| | Landscape Plan | Date: July 31, 2024 |
| | | DRAWING |
| | TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com | SHEET # LS-101 |
| | Copyright Mitchell Associates Inc all rights reserved | PROJECT NO: 2024-093 |





IRRIGATION LEGEND

| COMPONENT | MANUFACTURER | SIZE / NOTES |
|---|------------------|--|
| POINT OF CONNECTION, PROVIDED BY OTHERS | SEE CIVIL PLANS | 1 1/2", 100gpm, 10psi required |
| IRRIGATION CONTROLLER | HUNTER | As Required |
| RFPA NOTEBOOK | FESCO (OR EQUAL) | 1 1/2" Cover, Provide Freeze Protection |
| MASTERVAlVE ASSEMBLY | HUNTER | 2" |
| MAINLINE | 8ch 40 PVC | 2" |
| ELECTRIC ZONE VALVE | HUNTER | 3/4" with Pressure Regulation and Y Filter |
| SLEEVES | Class 200 PVC | 2 SIZES LARGER THAN PIPE TO BE SLEEVED. |
| Drip Lines, Tree Netafim Rings | Class 200 PVC | 1 1/2" |
| Drip Lines, Shrub Drip Emittér Line | Polyline | 3/4"- 1" |
| Tree Drip Emittér | RAINBIRD | SEE DETAIL |

Size Equipment as Required for Flow Rate

IRRIGATION NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.
- THE IRRIGATION CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
- THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
- IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
- IRRIGATION LATERAL LINES, MAIN LINES AND EQUIPMENT MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN. ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
- ALL IRRIGATION SLEEVING TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVING DETAIL.
- SUPPLY LINE AND WATER METER TO BE PROVIDED BY OWNER. BACKFLOW PREVENTERS TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN DOWNSTREAM OF THE IRRIGATION WATER METER.

IRRIGATION NOTES:
Irrigation shall be a complete underground system.

Trees and shrubs shall be on separate valves.

Point of connection for irrigation system shall be as indicated on the Utility Plan, Civil drawings. Landscape Contractor point of connection and responsibility shall begin downstream of the point of connection.

Irrigation will be operated by smart irrigation system automatic controller, capable of multi-programming ability.

Location of controller to be field determined and power source for controller to be provided by the owner.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source for irrigation system shall be the responsibility of the Property Owner.

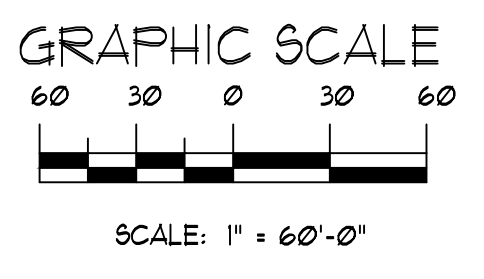
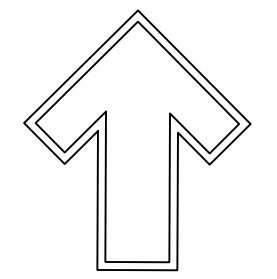
Per 5-6(C)14(a), irrigation systems shall comply with Section 6 of the ABCWA Legislation and Ordinances (Cross Connection Prevention and Control Ordinance).

Per 5-6(C)14(b), all irrigation systems shall be designed to minimize the use of water.

5-6(C)14(c), all non-residential landscape irrigation shall have automatic timers and/or programmable settings to avoid overwatering.

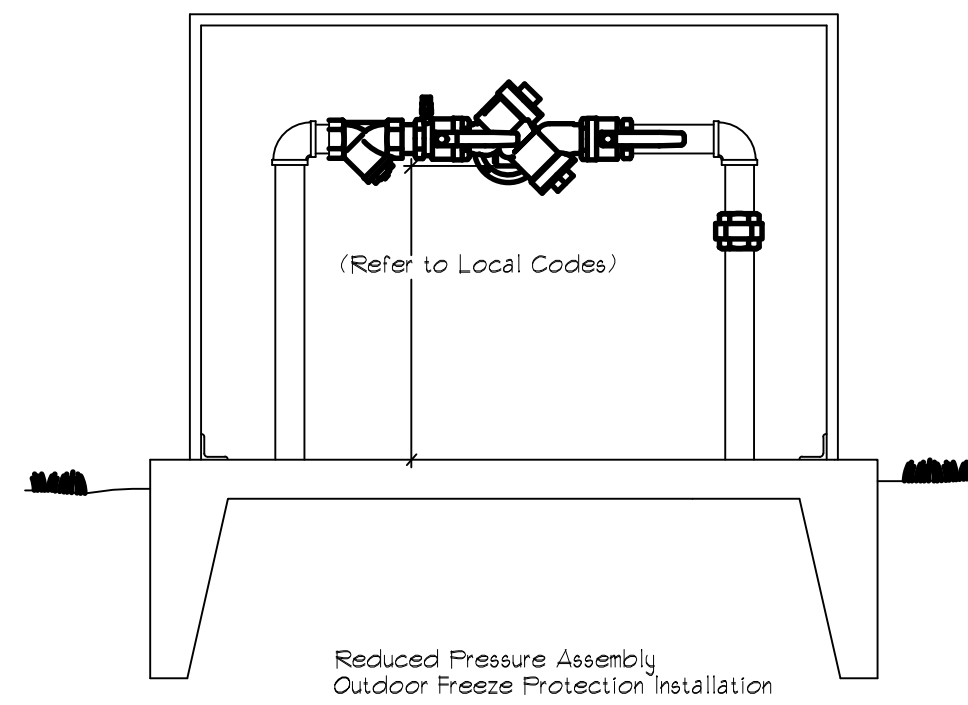
Per 5-6(C)14(d), the irrigation system shall not spray or irrigate impervious surfaces, including sidewalks, driveways, drive aisles, streets, and parking and loading areas.

X
1"=1'-0"



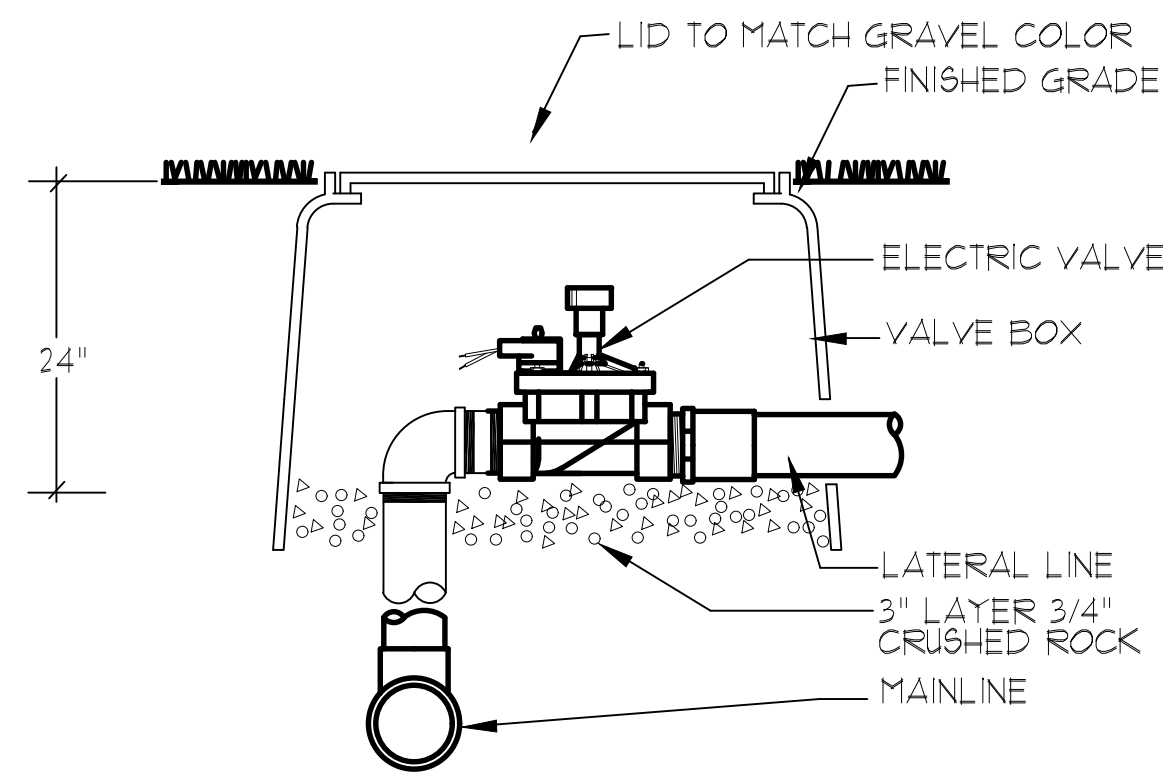
Mitchell Associates, inc
LANDSCAPE ARCHITECTURE
DANNY MITCHELL
REGISTERED LANDSCAPE ARCHITECT
Date: July 31, 2024
danny@mitchellassociatesinc.com 505.639.9583

| | | |
|--|--|---|
| | SKYVIEW WEST INDUSTRIAL FOR BRUNACINI DEVELOPMENT 7220 CENTRAL AVE, SW ALBUQUERQUE, NM Irrigation Plan | DRAWN BY: FP APPROVED BY: DM Date: July 31, 2024 DRAWING |
| | TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com | SHEET # LS-102 PROJECT NO: 2024-023 |



RPA, HOTBOX TYP.

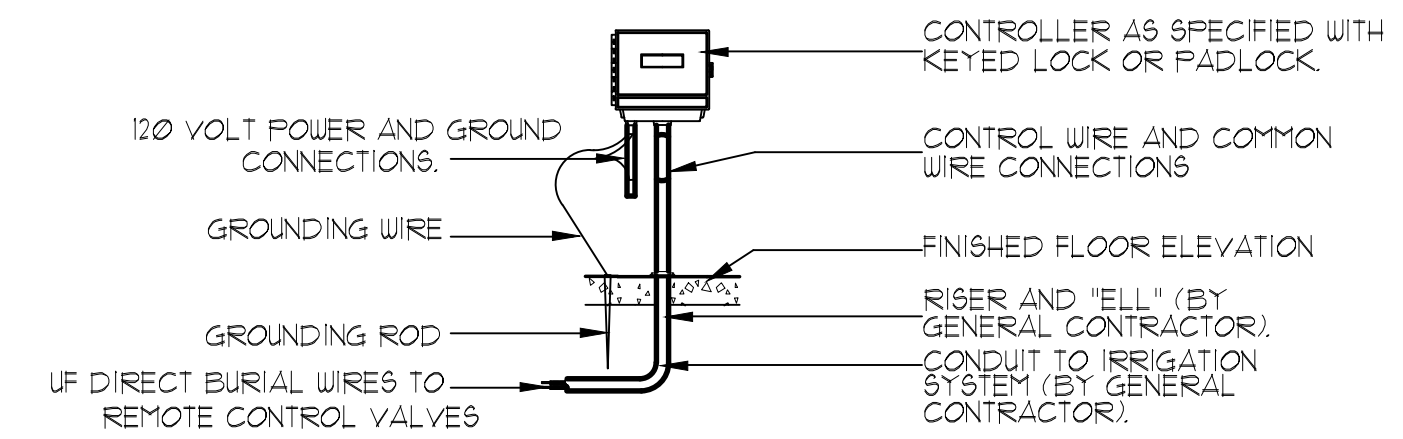
N.T.S.



ELECTRIC VALVE ASSEMBLY

N.T.S.

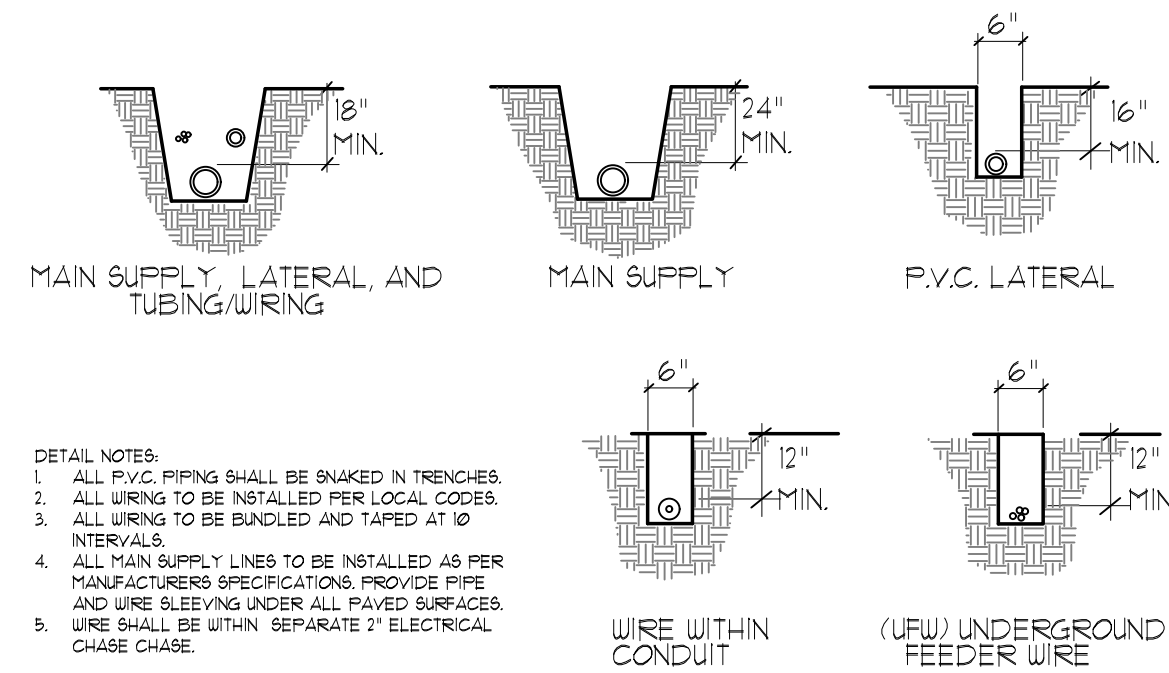
NOTE: ALL IRRIGATION COMPONENTS WILL USE RECLAIMED WATER WHEN IT BECOMES AVAILABLE TO MESA DEL SOL



- DETAIL NOTES:
1. ELECTRICAL POWER TO BE SUPPLIED BY OTHERS.
 2. ALL WIRING TO BE INSTALLED PER LOCAL CODES.
 3. SEE ELECTRICAL PLANS FOR LOCATION OF CONTROLLER.
 4. CONTROLLER TO BE MOUNTED APPROXIMATELY 5'-0" ABOVE FINISHED FLOOR ELEVATION.

CONTROLLER DETAIL

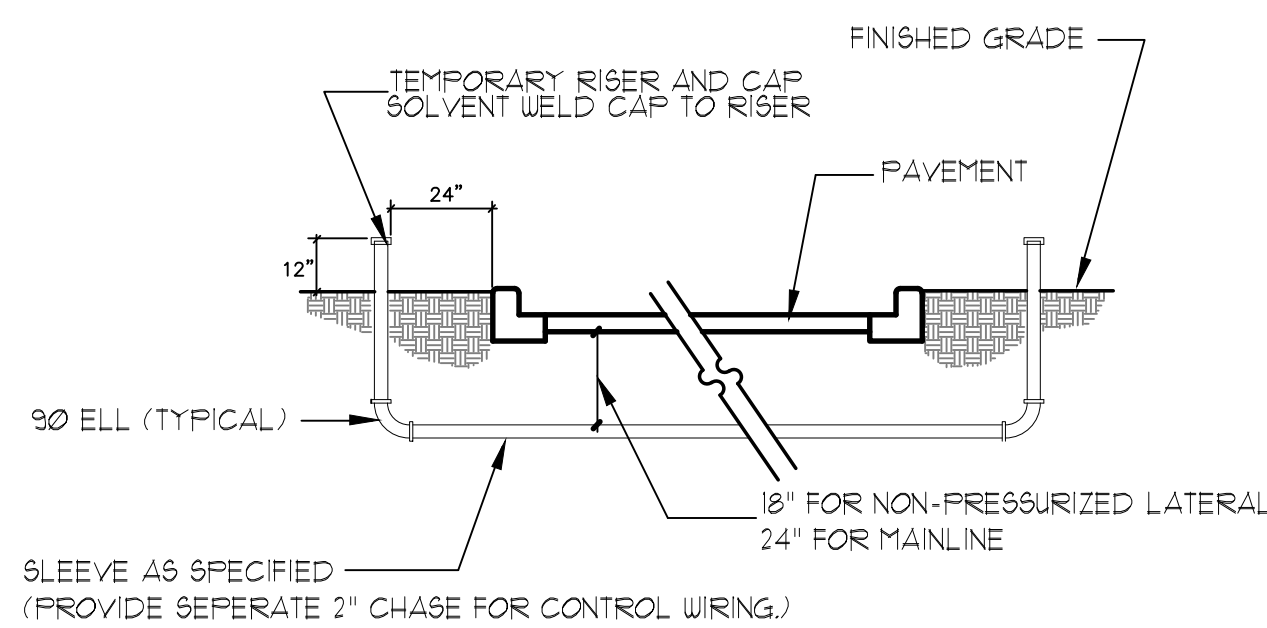
N.T.S.



- DETAIL NOTES:
1. ALL P.V.C. PIPING SHALL BE SNAKED IN TRENCHES.
 2. ALL WIRING TO BE INSTALLED PER LOCAL CODES.
 3. ALL WIRING TO BE BUNDLED AND TIED AT 90° INTERVALS.
 4. ALL MAIN SUPPLY LINES TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. PROVIDE PIPE AND WIRE SLEEVING UNDER ALL PAVED SURFACES.
 5. WIRE SHALL BE WITHIN SEPARATE 2" ELECTRICAL CHASE CHASE.

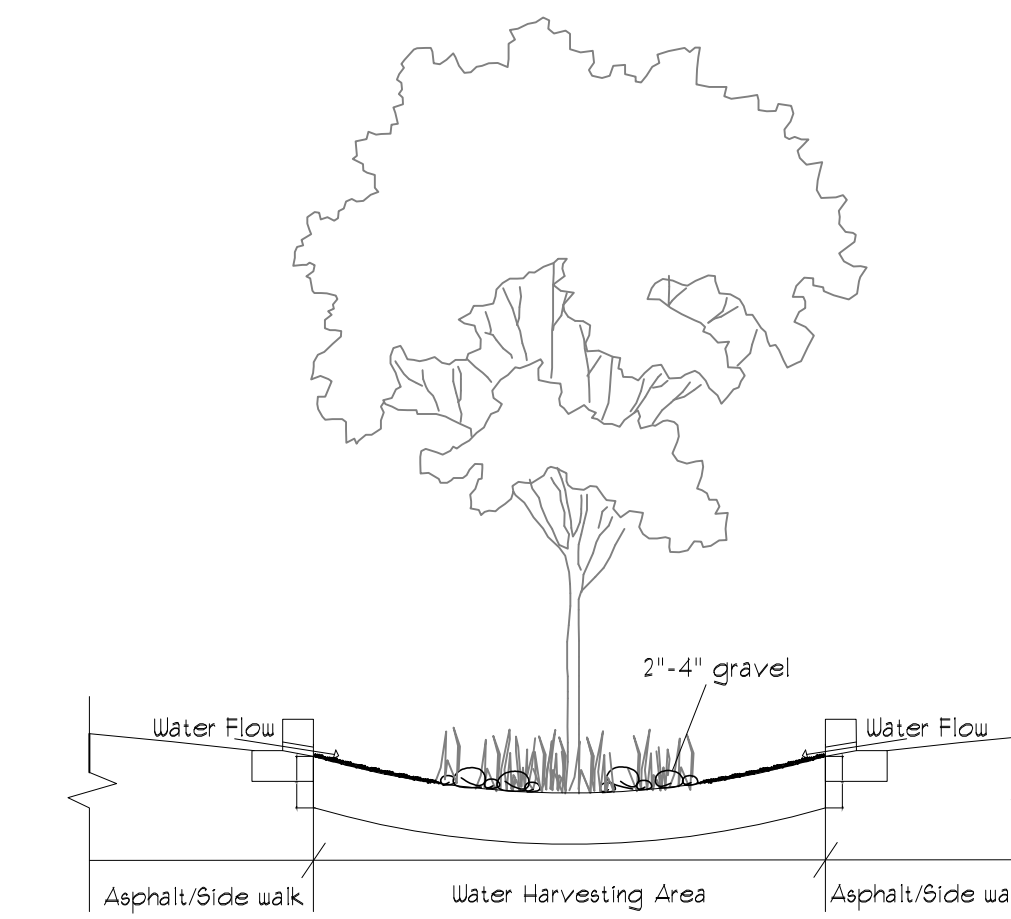
TRENCHING DETAIL

N.T.S.



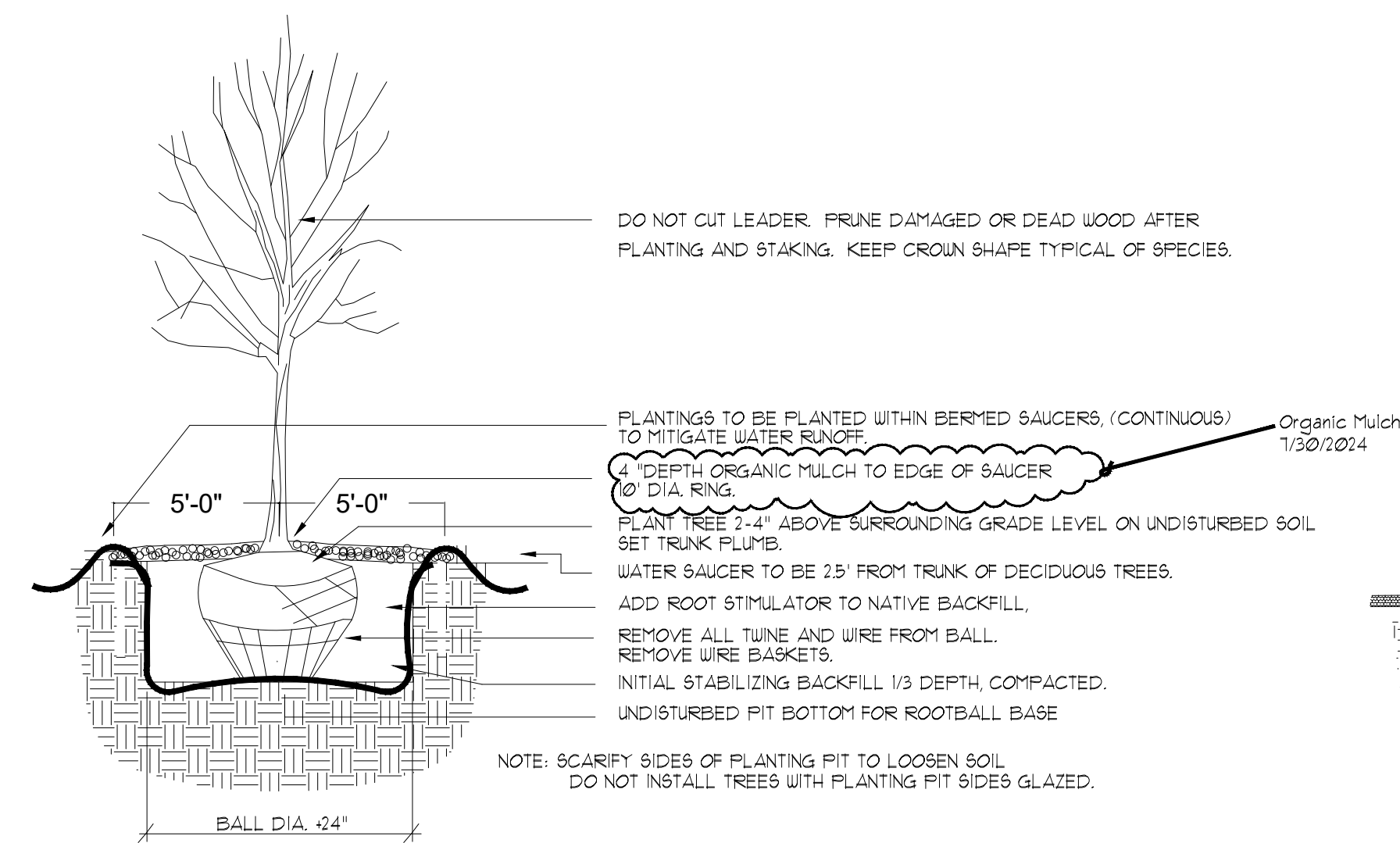
SLEEVE INSTALLATION DETAIL

N.T.S.



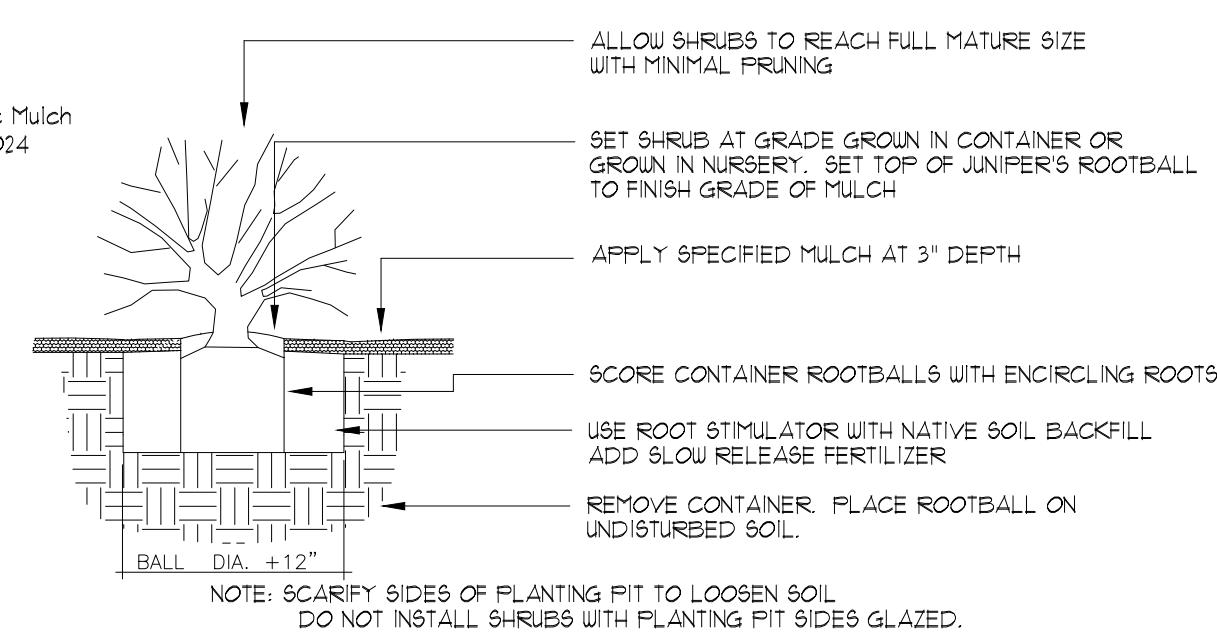
1-1 Water Harvesting

Section-Typical



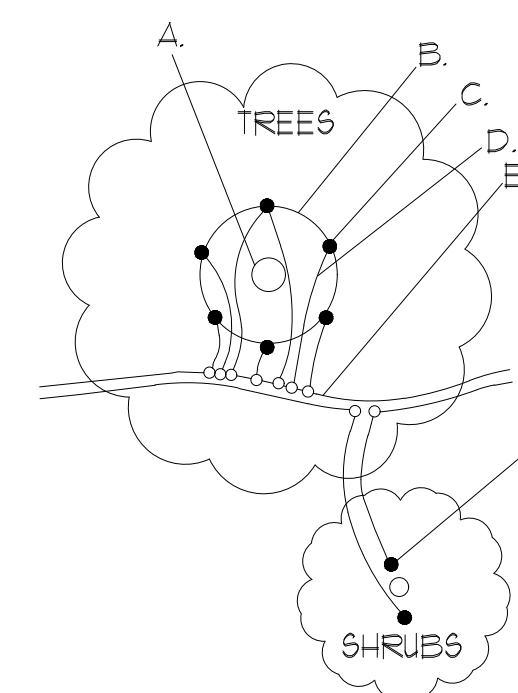
TREE PLANTING DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.



- A. TREE TRUNK/ROOT CROWN
 - B. 24" CIRCLE FROM TRUNK
 - C. EMITTERS
 - D. 1/8" DISTRIBUTION LINE
 - E. PE DRIPLINE
 - F. EMITTER PLACED WITHIN 6" OF PLANT STEM
- NOTE: PLACE EMITTER ABOVE PLANT ON SLOPE

EMITTER PLACEMENT DETAIL

N.T.S.

LANDSCAPE ARCHITECTS SEAL

STATE OF NEW MEXICO

DANNY D. MITCHELL
239
REGISTERED
LANDSCAPE ARCHITECT

DATE: JULY 31, 2024

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SKYVIEW WEST INDUSTRIAL FOR BRUNACINI DEVELOPMENT
7220 CENTRAL AVE, SW ALBUQUERQUE, NM

Landscape Details

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY: PP
APPROVED BY: DM

Date: July 31, 2024

DRAWING

SHEET #
LS-103

PROJECT NO: 2024-093

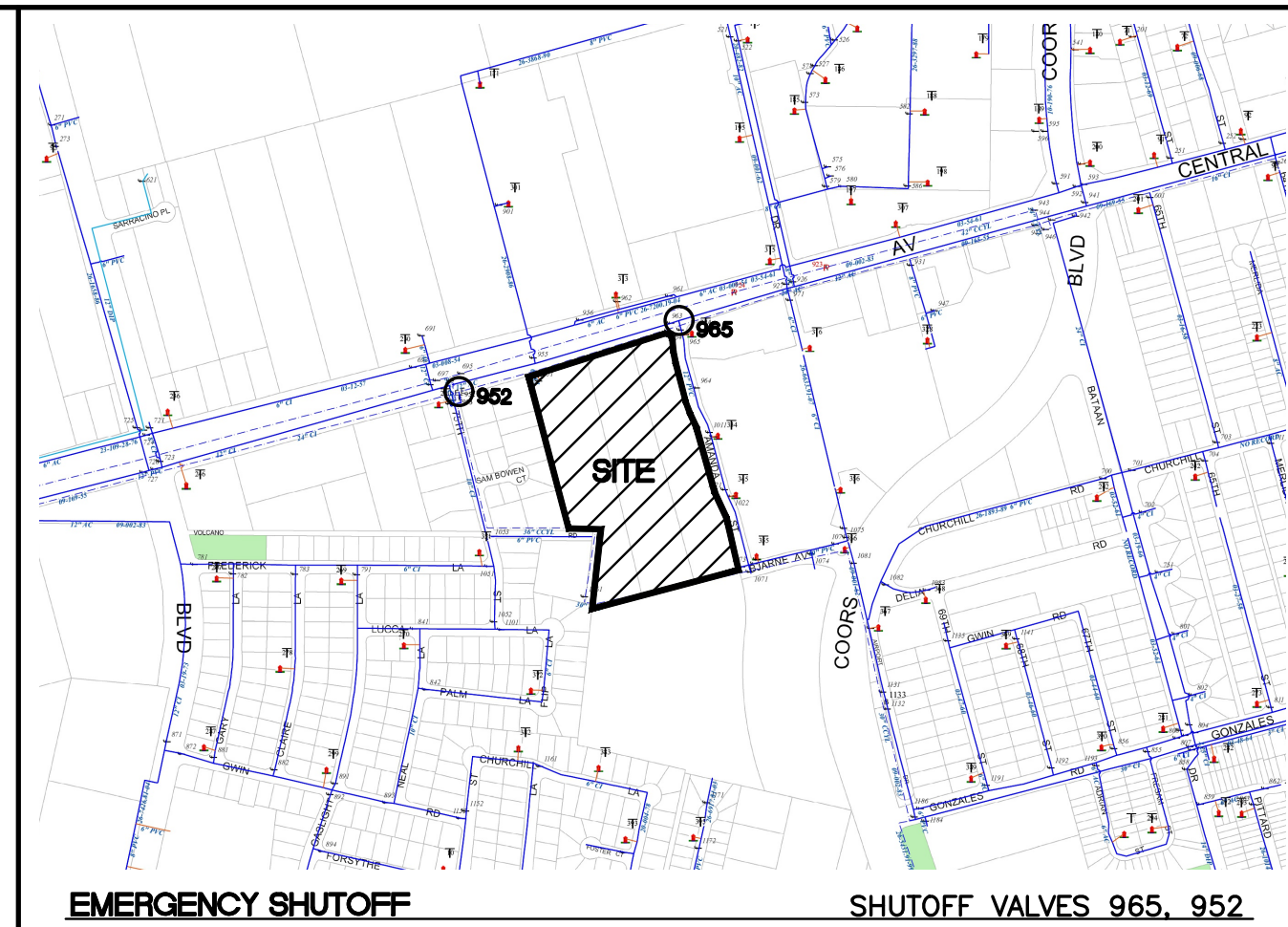
Mitchell Associates, inc

LANDSCAPE ARCHITECTURE

Danny Mitchell

danny@mitchellassociatesinc.com

505.639.9583



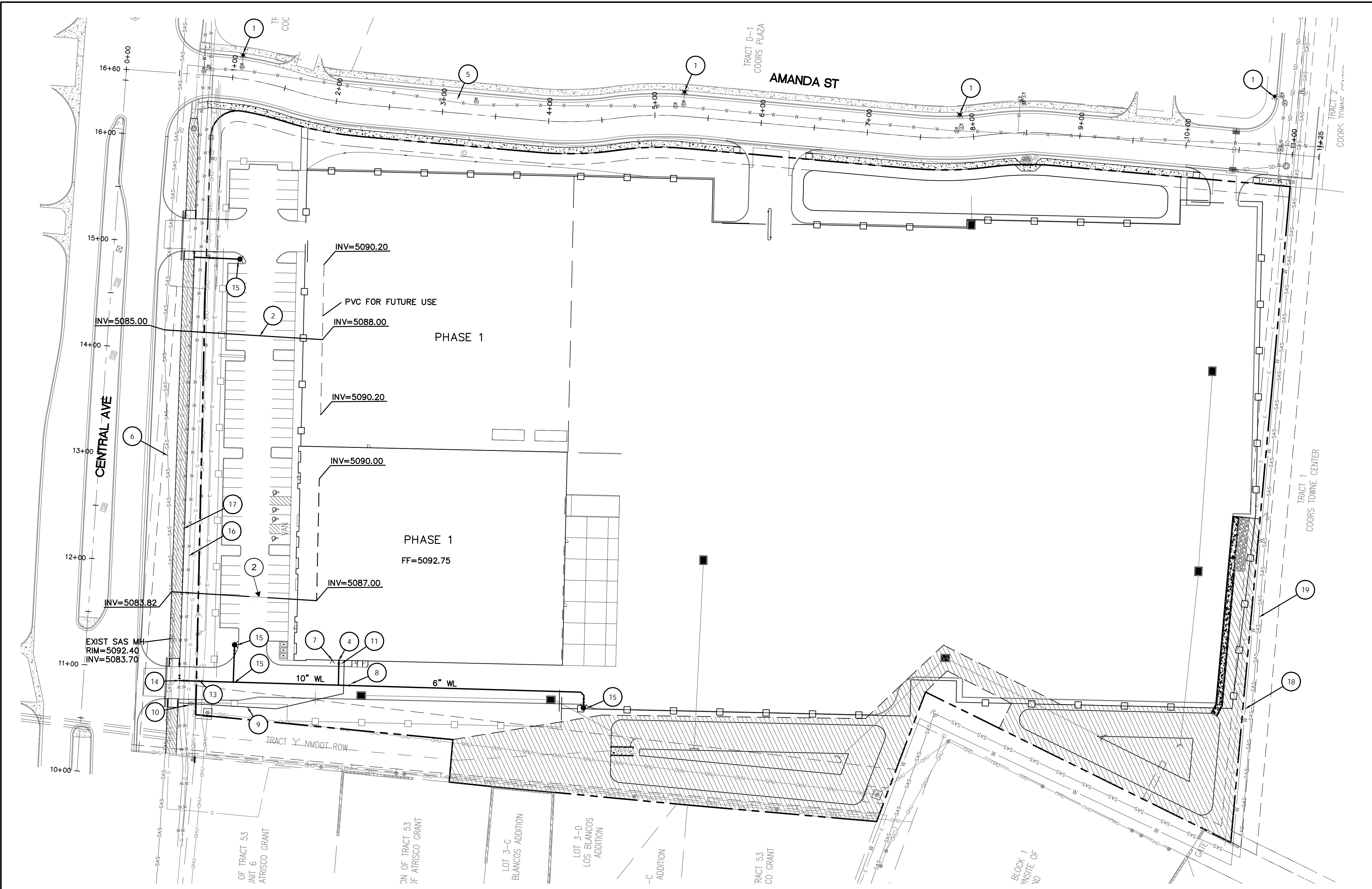
THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ARCWUA.ORG/CONTENT/VIEW/463/729/](http://arcwua.org/content/view/full/463/729/).

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

INSPECTION NOTE

CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- BUILDING
- EXISTING CURB & GUTTER
- EXISTING SAS MH
- EXISTING GATE VALVE
- EXISTING WATERLINE
- EXISTING SAS
- WATERLINE
- PROPOSED HYDRANT
- NEW WATER VALVE
- NEW SINGLE WATER METER
- 8" SAS
- 8" WL

NOTES:

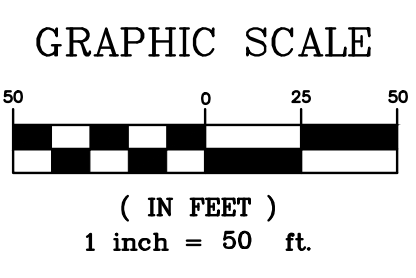
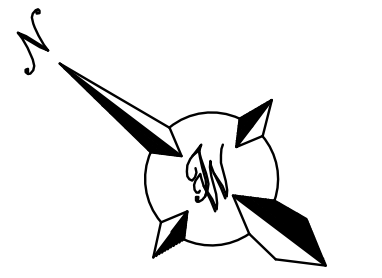
COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.

COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.

ALL NEW PUBLIC CONNECTIONS AND INFRASTRUCTURE PROPOSED WILL BE CONSTRUCTED BY OTHER PERMIT.

KEYED NOTES

- ① EXISTING FIRE HYDRANT (PUBLIC)
- ② 6" SAS SERVICE (PRIVATE)
- ③ 6" FIRE LINE (PRIVATE)
- ④ 8" FIRE LINE (PRIVATE)
- ⑤ EXISTING 10" PVC (PUBLIC)
- ⑥ EXISTING 8" SAS (VITRIFIED CLAY)
- ⑦ FDC
- ⑧ 10"x6" REDUCER
- ⑨ 2" DOMESTIC SERVICE
- ⑩ 2" DOMESTIC SERVICE METER PER COA DWG 2367
- ⑪ PIV
- ⑫ 10"x10"x6" TEE
- ⑬ 10" GATE VALVE (PRIVATE)
- ⑭ 12x12"x10" TEE
- ⑮ 12" GATE VALVE (PUBLIC)
- ⑯ 10"x10"x6" TEE
- ⑰ 6" GATE VALVE
- ⑱ EXISTING 24" CAST IRON WL (PUBLIC)
- ⑲ EXISTING 12" AC WL (PUBLIC)
- ⑲ EXISTING 30" CYL WL (PUBLIC)
- ⑲ EXISTING 12" SAS CLAY (PUBLIC)



CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL

RONALD R. BOHANNAN
P.E. #7868

**SKYVIEW WEST
ALBUQUERQUE, NM**

**CONCEPTUAL UTILITY
PLAN**

TIERRA WEST, LLC
5571 MIDWAY PARK BL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY
pm

DATE
7-23-24

DRAWING

SHEET #
7

JOB #
2023062

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: 7-24-2024

Date Site Plan Approved: _____
 Date Preliminary Plat Approved: _____
 Date Preliminary Plat Expires: _____
 DFT Project No.: PR-2022-007299
 DFT Application No.: PS-2024-00931

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT FACILITATION TEAM (DFT) REQUIRED INFRASTRUCTURE LIST
 SKYVIEW WEST OFFICE/WAREHOUSE-7226 CENTRAL AVE., SW
 PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACTS 54, 55 & 1 TOWN OF ATRISCO GRANT UNIT 6 (K-10-Z)
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

| Financially Guaranteed DRC # | Constructed Under DRC # | Size | Type of Improvement | Location | From | To | Construction Certification | |
|------------------------------|-------------------------|------|--|-------------------|--------------------------|---------------------|----------------------------|--------------------|
| | | | | | | | Inspector | City Cnst Engineer |
| <input type="text"/> | <input type="text"/> | -- | Curb & Gutter (south side) 10' Concrete Sidewalk (south side) | CENTRAL AVENUE SW | WEST PROPERTY LINE | AMANDA STREET SW | / | / |
| <input type="text"/> | <input type="text"/> | -- | 5' Sidewalk (west side) | AMANDA STREET SW | CENTRAL AVENUE SW | SOUTH PROPERTY LINE | / | / |
| <input type="text"/> | <input type="text"/> | -- | Storm Drain Detention Ponds (2 each) | ON-SITE | ALONG WEST PROPERTY LINE | | / | / |
| <input type="text"/> | <input type="text"/> | 36" | RCP Storm Drain w/ Manholes and Inlets | ON-SITE | NORTHWEST POND | SOUTHWEST POND | / | / |
| <input type="text"/> | <input type="text"/> | -- | Storm Drain Concrete Channel | ON-SITE | SOUTHWEST POND | SOUTH PROPERTY LINE | / | / |
| <input type="text"/> | <input type="text"/> | | | | | | / | / |
| <input type="text"/> | <input type="text"/> | | | | | | / | / |
| <input type="text"/> | <input type="text"/> | | | | | | / | / |
| <input type="text"/> | <input type="text"/> | | | | | | / | / |

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

| Financially Guaranteed DRC # | Constructed Under DRC # | Size | Type of Improvement | Location | From | To | Construction Certification | |
|------------------------------|-------------------------|------|--|----------|------|----|----------------------------|---------------------|
| | | | | | | | Inspector | City Crnst Engineer |
| | | | Engineer's Certification for Grading & Drainage is required for release of Financial Guarantee | | | | / | / |
| | | | | | | | / | / |

Approval of Creditable Items:

Impact Fee Administrator Signature _____ Date _____ City User Dept. Signature _____ Date _____

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 Pond Stabilization to follow Section 1013 _____
- 2 _____
- 3 _____

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Vincent Carrica, PE
NAME (print)

Tierra West, LLC
FIRM

7/24/2024

[Signature]
SIGNATURE - date

- PLANNING - date _____ PARKS & RECREATION - date _____
- TRANSPORTATION DEVELOPMENT - date _____ AMAFCA - date _____
- UTILITY DEVELOPMENT - date _____ CODE ENFORCEMENT - date _____
- CITY ENGINEER - date _____ HYDROLOGY - date _____

DESIGN REVIEW COMMITTEE REVISIONS

| REVISION | DATE | DRC CHAIR | USER DEPARTMENT | AGENT /OWNER |
|----------|------|-----------|-----------------|--------------|
| | | | | |
| | | | | |
| | | | | |

ALBUQUERQUE / BERNALILLO COUNTY
WATER UTILITY AUTHORITY
(505) 842 - WATR (9287)
www.abcwua.org

Payment Event ID: 752410249157
07-25-2024 03:30PM

| | |
|-----------------------|-------------|
| <u>Address</u> | |
| 7320 CENTRAL AV SW | |
| 7529714745 | \$1,287.22 |
| ----- | |
| Total Payments | \$1,287.22 |
| ----- | |
| <u>Payment Method</u> | |
| Check | \$1,287.22 |
| ----- | |
| Amount Received | \$1,287.22 |
| ----- | |
| Account Balance | \$-1,287.22 |

THANK YOU
Cashier: JLFLORES
Mission - Station #1