



Development Facilitation Team (DFT) – Review Comments

Reviewer: David G. Gutierrez, P.E. | Phone: 505-289-3381 | dggutierrez@abcwua.org

Project No: PR-2022-007299 Date: 6/26/2024 Agenda Item: #1 Zone Atlas Page: K-10

Legal Description: TRACT I, TRACTS 54 & 55, COORS PLAZA; TOWN OF ATRISCO GRANT

Request: CREATE TWO NEW TRACTS FROM THREE EXISTING TRACTS. PLAT GRANTS CROSS-LOT DRAINAGE EASEMENT [15]. THIS ACTION IS PAIRED WITH AN EXPECTED SITE PLAN APPLICATION FROM TIERRA WEST – PROVIDED INFRASTRUCTURE LIST TIED TO THAT ACTION

Location: 7226 CENTRAL AVE SW between AMANDA ST SW and 7TH ST SW containing approximately 13.2493 acre(s)

Application For: SD-2024-00113 – PRELIMINARY/FINAL PLAT

1. Pro Rata is owed and must be paid prior to final sign off.
 - a. Total = \$1,287.22 (Water only)
2. Please include the following note on the cover of the plat.
 - a. “Existing public water and/or sanitary sewer infrastructure may not be constructed or sized to adequately serve potential future development. Improvement or upsizing of existing public infrastructure may be required as a condition of future development approval.”
3. Please clearly identify the purpose of easement note 3 and its applicability for public water and sewer to remain within this corridor. If this is not clear, please grant a public water and public sanitary sewer easement for this infrastructure if within this property. It is not clear if this portion is part of the platted area.
4. The current Availability Statement 230708 purpose was for a storage facility on site and did not indicate a lot split or office/warehouse. Please request a new statement for future development.

Comment: (Provide written response explaining how comments were addressed)

DEVELOPMENT HEARING OFFICER

TRANSPORTATION DEVELOPMENT

DRB Project Number: 2022-007299
Central Ave. & Amanda St.

AGENDA ITEM NO: 1

SUBJECT: Preliminary/Final Plat

ENGINEERING COMMENTS:

1. Central is a Principal Arterial within a center and requires 10' sidewalk with a 6' to 8' landscape buffer. Amanda St. is a local road and requires 5' sidewalk and a 4' to 6' landscape buffer. All sidewalks must have a 4-foot ADA pathway around all obstructions within right-of-way. ROW appears to be adequate along both roadways.
2. All work within the ROW shall be done under a work order and all infrastructure items placed on an infrastructure list.
3. For any future development, a Traffic Circulation Layout will be required prior to Building Permit or Site Plan for Building Permit.

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

FROM: Ernest Armijo, P.E.
Transportation Development
505-924-3991 or earmijo@cabq.gov

DATE: June 26, 2024

ACTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: _____ TO: (TRANS) (HYD) (WUA) (PRKS) (CE) (PLNG)

DEVELOPMENT HEARING OFFICER - **HYDROLOGY SECTION**
Renée Brissette, PE, Senior Engineer | 505-924-3995 rbrissette@cabq.gov

DRB Project Number: 2022-007299

Hearing Date: **06-26-2024**

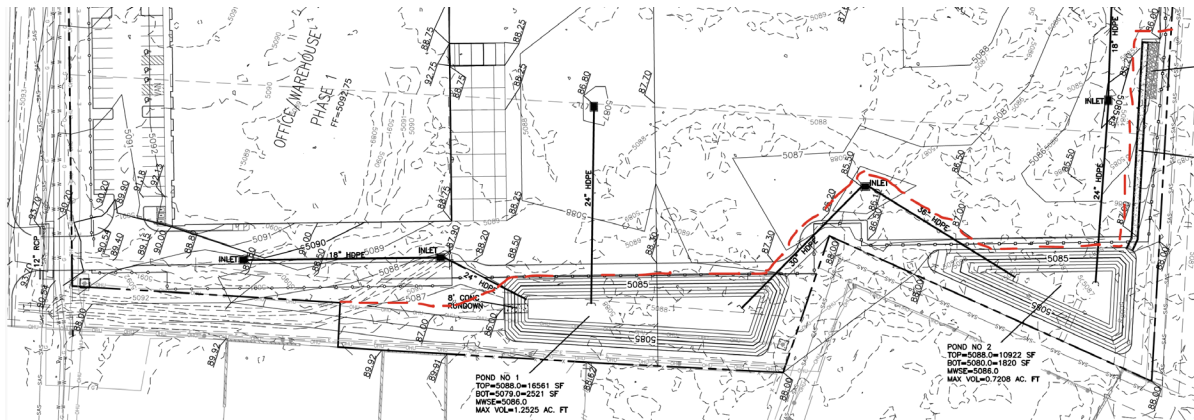
Project: Skyview West

Agenda Item No: **1**

<input checked="" type="checkbox"/> Minor Preliminary / Final Plat	<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Temp Sidewalk Deferral	<input type="checkbox"/> Sidewalk Waiver/Variance	<input type="checkbox"/> Bulk Land Plat
<input type="checkbox"/> DPM Variance	<input type="checkbox"/> Vacation of Public Easement	<input type="checkbox"/> Vacation of Public Right of Way

ENGINEERING COMMENTS:

- Hydrology has an approved Conceptual Grading & Drainage Plan (K10D070) with engineer's stamp 06/06/2024.
- Hydrology needs a Public Drainage Easement as shown since there is public drainage passing through this site.



- Please add the City's standard drainage easement language.
- Comment - Prior to submitting for Building Permit, a licensed New Mexico civil engineer will need to submit a Grading & Drainage Plan to Hydrology for review & approval if one of these conditions is met. (500 cy of grading, 1,000 sf of proposed building, or 10,000 sf of proposed paving).

☐ APPROVED
☐ DENIED

DELEGATED TO: ☐ TRANS ☐ HYD ☐ WUA ☐ PRKS ☐ PLNG
Delegated For: _____
SIGNED: ☐ I.L. ☐ SPSP ☐ SPBP ☐ FINAL PLAT
DEFERRED TO _____

DRAINAGE EASEMENT LANGUAGE FOR SUBDIVISION PLAT

Areas designated on the accompanying plat as "drainage easements" are hereby dedicated by the owner as a perpetual easement for the common use and benefit of the various lots within the subdivisions for the purpose of permitting the conveyance of storm water runoff and the constructing and maintaining of drainage facilities in accordance with standards prescribed by the City of Albuquerque. Grantor shall construct drainage facilities in the easement in accordance with standards prescribed by the City and plans and specifications approved by the City Engineer in accordance with the Drainage Report with engineer's stamp date _____ and the Grading and Drainage Plan with engineer's stamp date _____ which report and plans are on file in the office of the City Engineer File # _____. No fence, wall, planting, building or other obstruction may be placed or maintained in easement area without approval of the City Engineer of the City of Albuquerque. There also shall be no alteration of the grades or contours in said easement area without the approval of the City Engineer. It shall be the duty of the lot owners of this subdivision to maintain said drainage easement and facilities at their cost in accordance with standards prescribed by the City of Albuquerque. The City shall have the right to enter periodically to inspect the facilities. In the event said lot owners fail to adequately and properly maintain drainage easement and facilities, at any time following fifteen (15) days written notice to said lot owners, the City may enter upon said area, perform said maintenance, and the cost of performing said maintenance shall be paid by applicable lot owners proportionately on the basis of lot ownership. In the event lot owners fail to pay the cost of maintenance within thirty (30) days after demand for payment made by the City, the City may file a lien against all lots in the subdivision for which proportionate payment has not been made. The obligations imposed herein shall be binding upon the owner, his heirs, and assigns and shall run with all lots within this subdivision.

The Grantor agrees to defend, indemnify, and hold harmless, the City, its officials, agents and employees from and against any and all claims, actions, suits, or proceedings of any kind brought against said parties for or on account of any matter arising from the drainage facility provided for herein or the Grantor's failure to construct, maintain, or modify said drainage facility.

☐ APPROVED
☐ DENIED

DELEGATED TO: ☐ TRANS ☐ HYD ☐ WUA ☐ PRKS ☐ PLNG
Delegated For: _____
SIGNED: ☐ I.L. ☐ SPSP ☐ SPBP ☐ FINAL PLAT
DEFERRED TO _____



DEVELOPMENT FACILITATION TEAM

Planning Comments

MEETING DATE: 6/26/24 -- **AGENDA ITEM:** #1

Project Number: PR-2022-007299

Application Number: PS-2024-00113

Project Name: 7226 Central Ave SW

Request:

Preliminary/Final plat review of a minor subdivision to create two new tracts from three existing tracts.

**These are preliminary Planning comments. Additional reviews and/or revised comments may be needed for any modifications and/or supplemental submittals.*

Note: Items in **orange type** need to be addressed.

BACKGROUND

- The subject property is zoned as MX-M
- Both Central and Airport Dr are shown as having existing bike lanes.
- Central is shown as a community principal arterial roadway and makes up the Northern boundary for the plots. Amanda St SW is shown as a local roadway and makes up the Eastern boundary. No other roadways are shown in the area.
- The subject property is located within a Major Transit Corridor and is within ¼ mile of a Premium Transit Station
- The subject property is shown as an area of change but is bordering an area of consistency to the West.
- The subject property is not located within any Overlay zones.
- **A Site Plan Admin. DFT for a proposed 65,000 SqFt. warehouse/office with a future 50,000 SqFt addition is in the process of being submitted for administrative DFT review.**

**(See additional comments on next page)*

Items Needing to be Completed or Corrected

- **Confirm if there are any current plans to develop the Southern portion of the property.**
- The applicant is currently in the process of submitting a site plan for the subject property and will be tying in the infrastructure list with the site plan and not the plat. **Confirm if any portion of the infrastructure list will be outside of the boundary lines shown on the upcoming site plan.**
- **The application number must be added to the plat.**
- **Confirm if the site setback standards will be met for the proposed office/warehouse facility depicted on the site plan, and that all intended buildings will be within the setback standards.**
- Prior to final sign-off of the plat, the AGIS office must approve the DXF file and proof of approval must be provided.

IDO/DPM COMMENTS

5-1: Dimensional Standards**5-1(D)(2) Urban Center, Main Street, and Premium Transit Areas**

5-1(D)(2)(a) Where sidewalks are less than 10 feet wide, the minimum front setback shall be 10 feet.

5-1(D)(2)(b) A minimum of 50 percent of front property line width must be occupied by the primary building, outdoor seating and gathering area, or outdoor dining area constructed within 15 ft. of the property line.

1. On a corner lot, the required minimum of 50 percent must begin at the corner.
2. A 3-foot wall and trees spaced 20 feet on center shall be required between any outdoor seating and gathering area or outdoor dining area and a parking or loading area.

5-1(D)(2)(c) For lots where there are 2 or more street side lot lines, the maximum side setback applies only to one side.

Will the planned buildings fit within the site setback requirements shown below?

Table 2-4-5: MX-M Zone District Dimensional Standards Summary			
<i>See Table 5-1-2 for complete Dimensional Standards</i>			
Development Location		General	UC-MS-PT
Site Standards			
A	Usable open space, minimum	≤1 BR: 225 sq. ft./unit 2 BR: 285 sq. ft./unit ≥3 BR: 350 sq. ft./unit	50% reduction
Setback Standards			
B	Front, minimum / maximum	5 ft. / N/A	0 ft. / 15 ft.
C	Side, minimum / maximum	Interior: 0 ft.; Street side: 5 ft. / N/A	0 ft. / Street side: 15 ft.
D	Rear, minimum	15 ft.	Street or alley: 0 ft.
Building Height			
E	Building height, maximum	48 ft. >100 ft. from all lot lines: N/A	65 ft.

5-3 ACCESS AND CONNECTIVITY

5-3(D)(2) Sidewalks in Mixed-use and Non-residential Development

5-3(D)(2)(b) Sidewalks

Sidewalks meeting the standards of the DPM shall be provided along the entire frontage of each lot.

Confirm if the sidewalk and landscape buffer zone requirements are being met per the DPM requirements shown below (Central is a Principal Arterial within a center and requires A 10-foot-wide sidewalk with a 6 – 8-foot landscape buffer. Amanda St. is a local road and requires a 5-foot-wide sidewalk and a 4-6-foot-wide landscape buffer. All sidewalks must have a 4-foot ADA pathway around all obstructions within right-of-way).

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FIGURE 7.2.41 Street Element Dimensions Along Major Roads

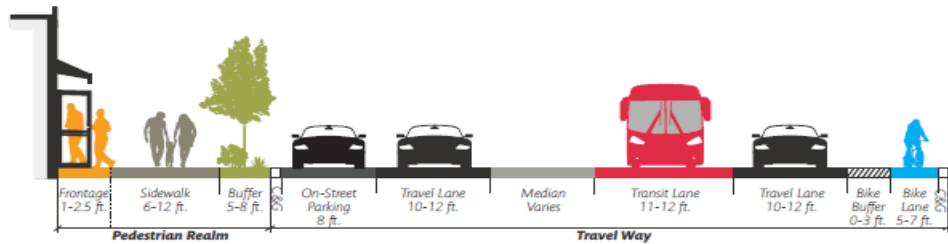


TABLE 7.2.29 Street Element Dimensions

Corridor Type / Classification	Location	Design Speed (MPH)	Pedestrian Realm			Travel Way		
			Frontage Zone (ft.)	Sidewalk Width (ft.)	Landscape / Buffer Zone (ft.)	Bike Lane Width (ft.)*	Bike Buffer (ft.)	Travel Lane Width (ft.)**
Premium Transit	Inside Center	30-35	1-2.5	10-12	6-8	6-6.5	0-3	10-12
	Outside Center	35-40	1-2.5	8-10	6-8	6-7	1.5-3	10-12
Major Transit	Inside Center	30-35	1-2.5	10-12	6-8	5-6.5	0-3	10-12
	Outside Center	35-40	N/A	6-10	6-8	6-7	1.5-3	10-12
Multi-modal	Inside Center	30-35	1-2.5	10-12	6-8	5-6.5	0-3	10-11
	Outside Center	35-40	N/A	6-10	6-8	6-7	1.5-3	10-11
Commuter	Inside Center	30-35	1-2.5	10	6-8	5-6.5	1.5-3	10-12
	Outside Center	40-50	N/A	6	6-8	6-7	3-5	10-12
Main Street	Main Street	25-30	1-2.5	10-12	6-8	5-6.5	0-3	10-11
Other Arterial	Inside Center	30-35	1-2.5	10	6-8	5-6.5	0-3	10-11
	Outside Center	35-40	N/A	6	5-6	6-7	1.5-3	10-11
Minor Arterial	Inside Center	30-35	1-2.5	10	6-8	5-6.5	0-3	10-11
	Outside Center	35-40	N/A	6	5-6	6-6.5	1.5-3	10-11
Major Collector	Inside Center	25-30	1-2.5	10	5-6	5	0-3	10-11
	Outside Center	30-35	N/A	6	5-6	5-6	0-3	10-11
Minor Collector	Inside Center	25-30	1-2.5	10	5-6	5	0-3	10-11
	Outside Center	30-35	N/A	6	5-6	5-6	0-3	10-11
Major Local	Inside / Outside Center	18-30	1-2.5 / N/A	5	5-6	Shared Lane**		See Part 7-4(J) Local Streets
Other Locals	Inside / Outside Center	15-25	1-2.5 / N/A	5	4-6	N/A	N/A	

* Not including the gutter pan.

** Dedicated bicycle infrastructure may be appropriate along some major local roads. In these circumstances, use the design characteristics of a minor collector (inside Center). See [Part 7-4\(J\) Local Streets](#) for more information.*** See [Part 7-4\(G\) Public Transit](#) for additional guidance on travel lane widths for roads with transit service.

Standard Comments and Items in Compliance:

- All public notice requirements of IDO Section 6, Table 6-1-1, have been completed prior to this submittal. Related documents are included in the submittal package.
- Signatures from the surveyor, property owner(s), the City Surveyor, the utility companies, and AMAFCA are all provided on the Plat sheet.

- All standards within IDO section 5-4-C (Subdivision of Land Compliance) apply to all re-platting actions. Re-platting action cannot increase any existing nonconformity or create a new nonconformity.
- ****Project has been reviewed to the standards and provisions within the IDO-Integrated Development Ordinance and the standards within the DPM-Development Process Manual.***



Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.

FROM: Jacob Boylan/ Jay Rodenbeck
Planning Department

DATE: 06/25/2024