



Effective 3/01/2022

Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.		
SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Forms P2)	<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Forms S & S1)	<input checked="" type="checkbox"/> Amendment to Site Plan (Forms P & P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Forms S & S1)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Minor - Final Plat (Forms S & S2)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Forms S & S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	<input type="checkbox"/> Sketch Plan Review and Comment (Form P2)
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Forms P & P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		
Shade structures at Daniel Webster Park (Building Permit BP-2022-16831).		

APPLICATION INFORMATION		
Applicant/Owner: City of Albuquerque Parks & Recreation Department		Phone: 505.768.5363
Address: 1801 4th Street NW		Email: csomerfeldt@cabq.gov
City: Albuquerque	State: NM	Zip: 87111
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: Tract 3	Block:	Unit:
Subdivision/Addition: Los Altos Childrens Park	MRGCD Map No.:	UPC Code: 102005709029920111
Zone Atlas Page(s): G-13-17	Existing Zoning: NR-PO-A	Proposed Zoning N/A
# of Existing Lots: N/A	# of Proposed Lots: N/A	Total Area of Site (Acres): 4.9341
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: north side of Copper Ave NE	Between: Wyoming Blvd NE	and: General Vandenburg St
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
BP-2022-16831, 1010458, Z-78-68-2		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: 07-06-2022
Printed Name: Cheryl Somerfeldt	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and label

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- The approved Site Development Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

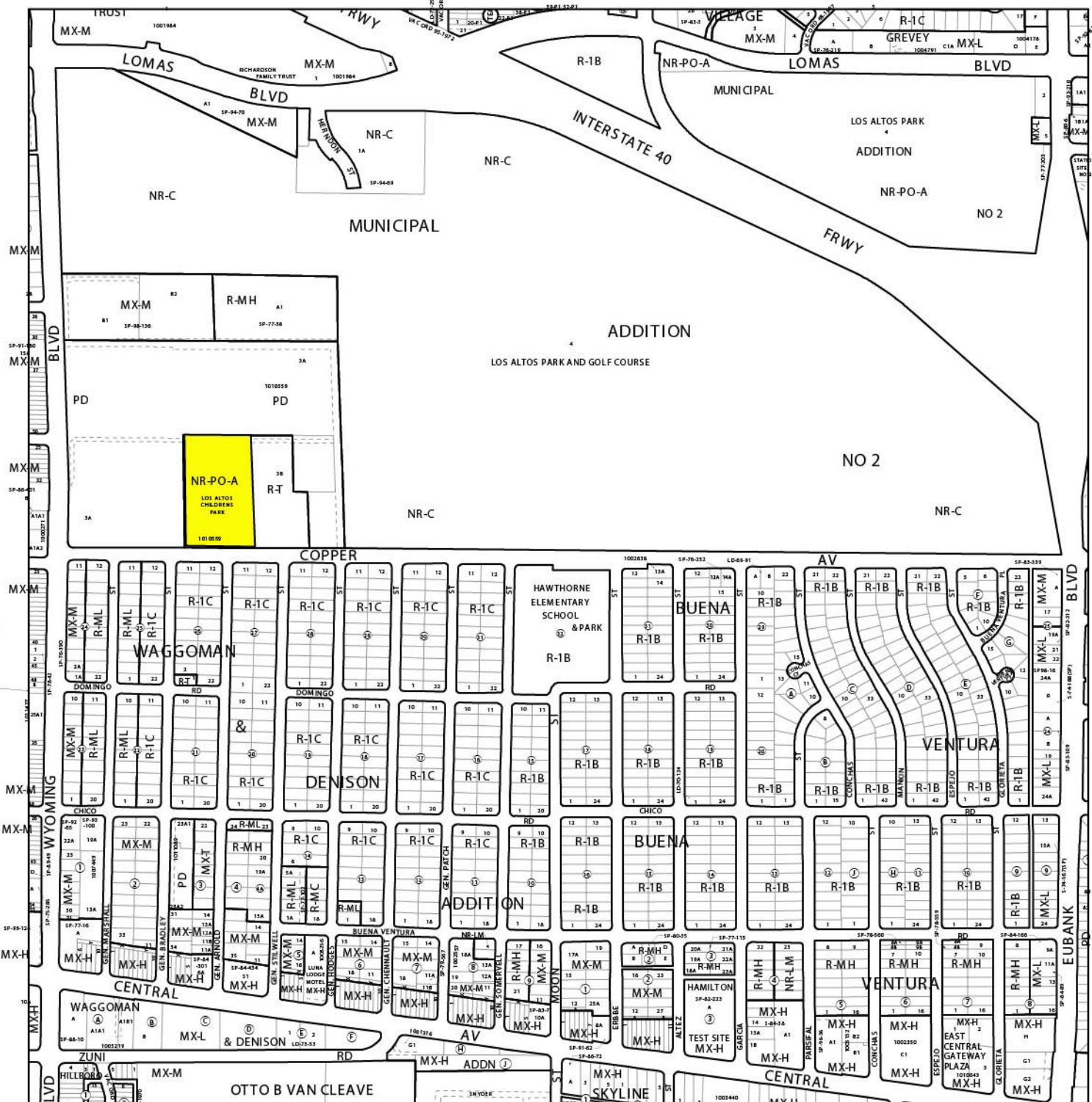
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
K-20-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits

0 250 500 1,000 Feet



Timothy M Keller, Mayor

City of Albuquerque

Parks and Recreation Department



Interoffice Memorandum

June 29, 2022

To: Planning Department Permitting Review

From: Cheryl Somerfeldt, Senior Planner, Parks and Recreation Department

Subject: BP-2022-16831, Z-78-68-2, 1010458, 233259
Request for Building Permit for shade at Daniel Webster Park

With this Memo, the City of Albuquerque (COA) Parks and Recreation Department (PRD) indicates approval for the enclosed project at PRD property, Daniel Webster Park, located on the north side of Copper Ave NE to the east of Wyoming Blvd NE. Lee Landscapes Inc. is the approved consultant acting on behalf of COA for this requested building permit. Improvements include shade structures as indicated in the attached documents.

The property is zoned NR-PO-A. Pursuant to IDO Section 14-16-4-3(C)(8)(a)1: "Parks and recreational facilities, including associated community buildings, lighting, parking areas, trails, play areas, playgrounds, exercise stations, basketball courts, restrooms, drinking water facilities, picnic shelters, storage sheds and enclosures, and any other structures or improvements approved by the City Parks and Recreation Department are allowed".

There are no changes to Parking or Circulation with this project.

The City of Albuquerque Parks and Recreation Department (PRD), rather than the Solid Waste Department, is responsible for all solid waste pick-up and disposal at properties under PRD responsibility.

For questions related to this request, please include the Division Manager, Laurie Firor (lfiror@cabq.gov) and Senior Planner, Cheryl Somerfeldt (csomerfeldt@cabq.gov).



City of Albuquerque

Parks and Recreation Department



Timothy M Keller, Mayor

BP-2022-16831 Justification Letter

This is a request for an Administrative Amendment to a Site Plan for Subdivision approved in 2015 (attached).

Pursuant to 6-4(Z)(1)(a) Minor Amendments, the Planning Director may grant minor amendments that meet the following requirements:

1. The existing site development plan specifies the requirements in place at the time of approval, and the requested change still meets the original requirements.

The existing Site Development Plan for Subdivision, which showed the proposed use, pedestrian and vehicular ingress and egress, and internal circulation. The requested addition of shade structures is consistent with the existing Site Development Plan for Subdivision, and the original plan still meets all of the original requirements. A Notice of Decision could not be found in the Planning Department files.

2. The requested change is within the thresholds for minor amendments established in Table 6-4-4, cumulative of prior deviations or minor amendments.

Since the existing Site Development Plan is a Site Development Plan for Subdivision, it was intended to broadly define circulation, but not precisely define the locations of other elements. The update is to add shade structures and will not increase building gross floor area or decrease building setbacks.

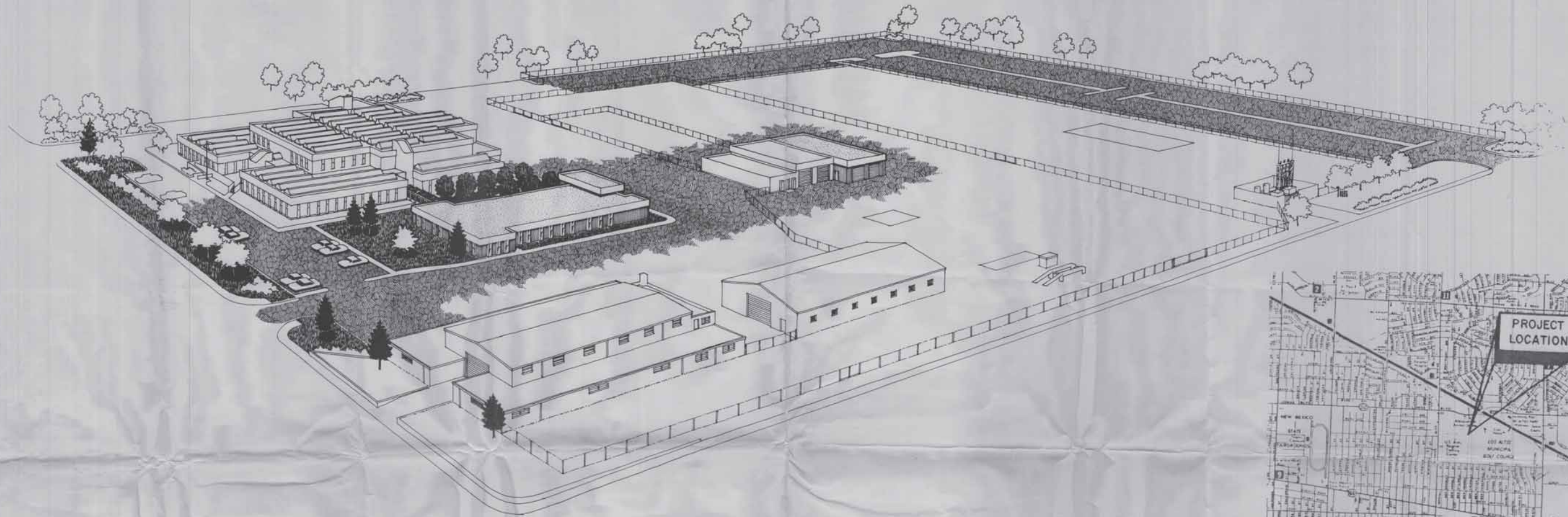
3. The requested change does not require major public infrastructure or significant changes to access or circulation patterns on the site, which would warrant additional review by the original decision-making body.

The requested shade structures do not require major public infrastructure or significant changes to access or circulation patterns on the site, which would warrant additional review by the original decision-making body.

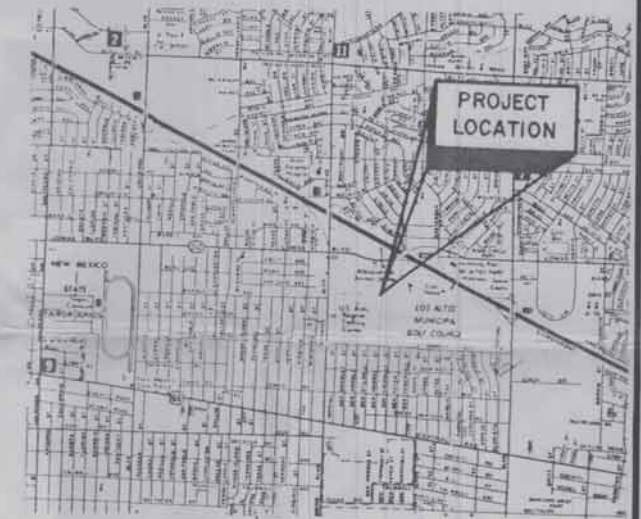
4. No deviations, Variances, or Waivers shall be granted for minor amendments.

No deviations, Variances, or Waivers are needed.

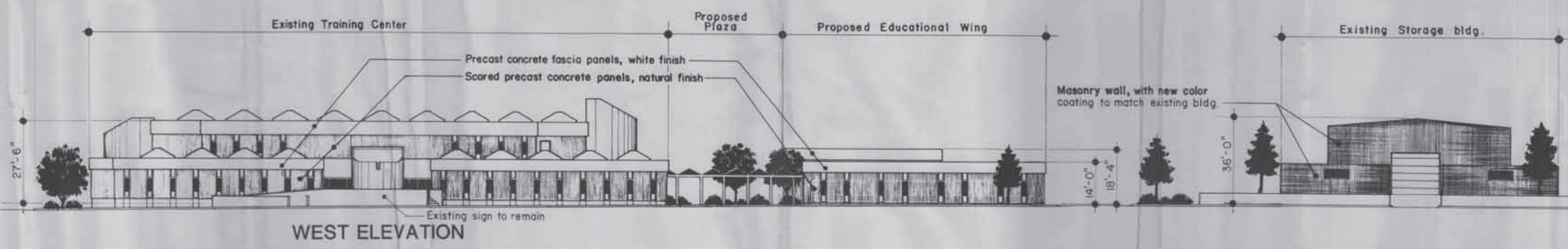
The property is zoned NR-PO-A. Pursuant to IDO Section 14-16-4-3(C)(8)(a)1: "Parks and recreational facilities, including associated community buildings, lighting, parking areas, trails, play areas, playgrounds, exercise stations, basketball courts, restrooms, drinking water facilities, picnic shelters, storage sheds and enclosures, and any other structures or improvements approved by the City Parks and Recreation Department are allowed".



SOUTH EAST VIEW



LOCATION PLAN



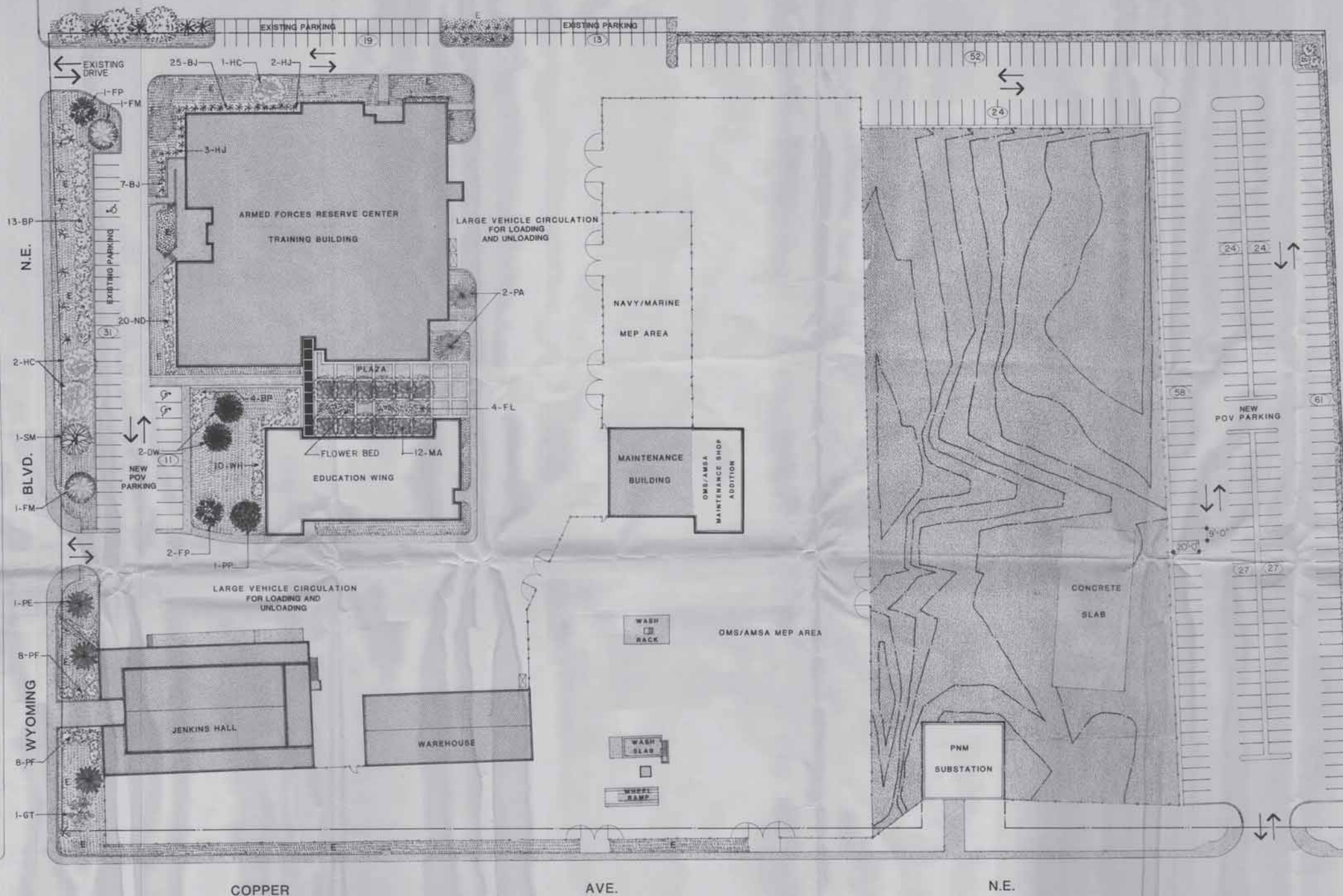
WEST ELEVATION

U S ARMED FORCES RESERVE CENTER

Z-78-68-2

LEEDSHILL-HERKENHOFF
ARCHITECT-ENGINEER
ALBUQUERQUE, NEW MEXICO

ADMINISTRATIVE
DEVELOPMENT PLAN AMENDMENT
FILE NO. Z-78-68-2
Approved
William L. Millar 7-31-85
PLANNING DIRECTOR DATE



EXISTING BUILDING AREA	
TRAINING CENTER BLDG.	37377 S.F.
JENKINS HALL	12946 S.F.
WAREHOUSE	6912 S.F.
MAINTENANCE SHOP	4352 S.F.
SUBTOTAL	61587 S.F.

NEW BUILDING AREA	
EDUCATIONAL BUILDING	10050 S.F.
ADDITION TO MAINT. SHOP	3040 S.F.
SUBTOTAL	13090 S.F.

TOTAL BUILDING AREA	
	74677 S.F.

PARKING REQUIRED	
OFFICE GROUND FLOOR	9216 S.F./200 46
SECOND FLOOR	2854 S.F./300 10
CLASSROOMS	400 SPACES/2 SEATS 230
WAREHOUSE	6912 S.F./2000 4
MAINTENANCE SHOP	7392 S.F./2000 4
STORAGE	20614 S.F./2000 11
SUBTOTAL	305
10% REDUCTION FOR ALBQ. TRANSIT	
SYSTEM ROUTE	30
PARKING SPACES REQUIRED	275
PARKING SPACES PROVIDED	371

FUTURE DEVELOPMENT
 BUILDING DIMENSIONS SUBJECT TO CHANGE AS FUTURE NEEDS DICTATE, AND REVIEWED BY CITY OF ALBUQUERQUE.

LEGAL DESCRIPTION
 MUNICIPAL ADDITION 2
 SW 1/4 OF NW 1/4 OF SECTION 20
 CITY OF ALBUQUERQUE, NEW MEXICO

TOTAL LAND AREA: 13.3481 ACRES

ZONED: SU-1

LEGEND	
	TRAFFIC FLOW
	HANDICAPPED PARKING
	NUMBER OF PARKING SPACES
	CONCRETE AREAS
	PAVED AREAS
	TRASH CONTAINER
	NEW CONSTRUCTION
	EXISTING CONSTRUCTION
	CHAIN LINK FENCE

LANDSCAPED AREAS:
 REQUIRED = 8255 S.F.
 PROVIDED = 42848 S.F.
 LANDSCAPED AREAS ARE SPRINKLED.



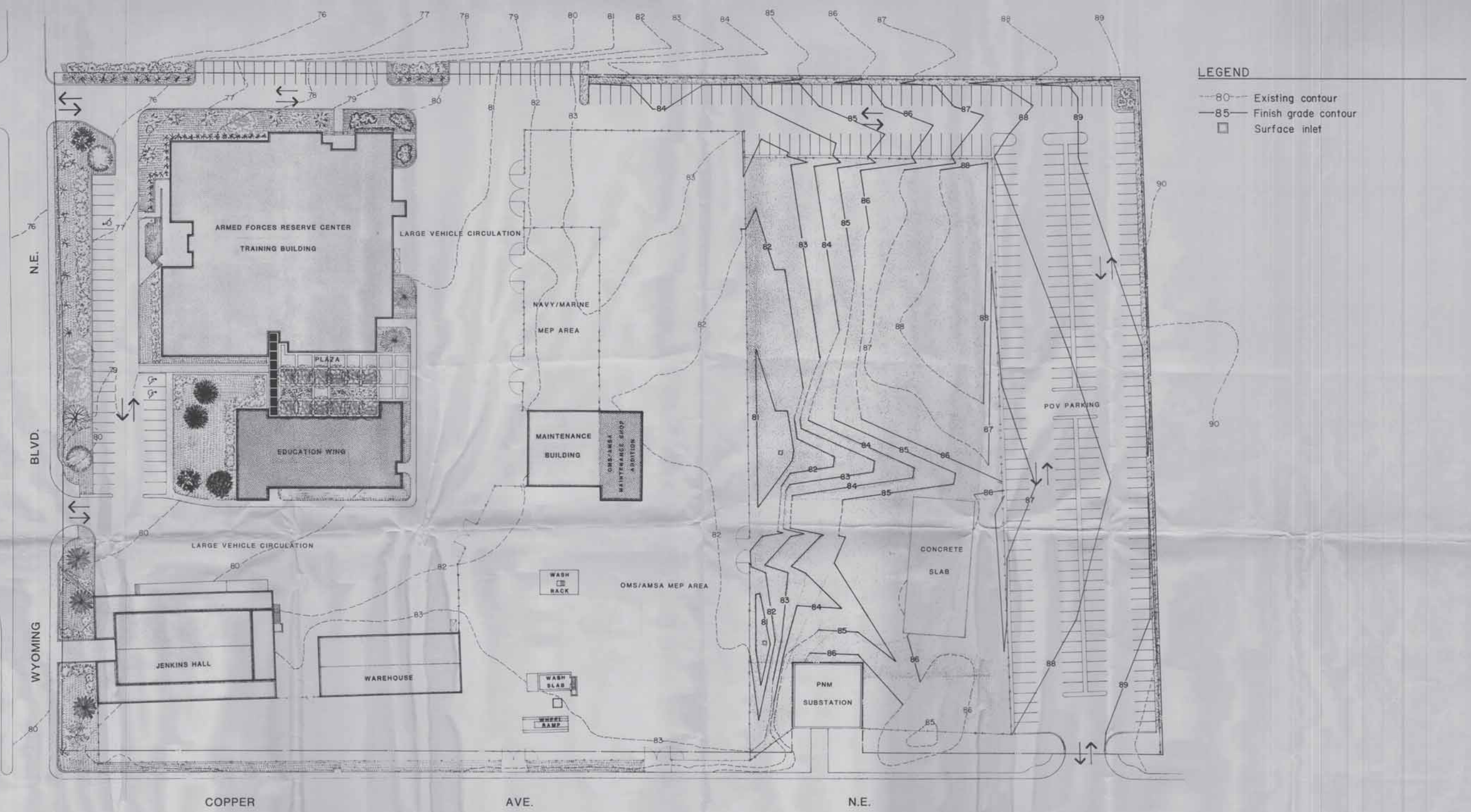
SITE DEVELOPMENT PLAN

SCALE: 1" = 40'-0"

Owner: U.S. ARMED FORCES
 Developer: U.S. ARMED FORCES
 Engineer/Architect: LEEDSHILL - HERKENHOFF, INC.
 Date: FEBRUARY, 1985

PLANT LIST											
KEY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS	KEY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
PA	Platanus acerifolia	London Plane Tree	15 gal.	2 1/2' cal.		WH	Ilex altacraclensis 'Wilsonii'	Wilson Holly	5 gal.	3" cal.	
BP	Juniperus c. 'Pfitzeriana'	Blue Pfitzer Juniper	5 gal.		'Glauca'	MA	Fraxinus velutina 'Modesto'	Modesto Ash		2" cal.	
HJ	Juniperus c. 'Torulosa'	Hollywood Juniper	5 gal.			FL	Forsythia intermedia 'Lynwood'	Forsythia	5 gal.		
HC	Malus 'Hopa'	Flowering Crabapple	15 gal.			FM	Morus alba 'Kingan'	Fruitless Mulberry		2 1/2' cal.	
BJ	Juniperus s. 'Broadmoor'	Broadmoor Juniper	5 gal.			SM	Acer saccharinum	Silver Maple		2" cal.	
ND	Nandina domestica	Nandina	5 gal.			PE	Pinus edulis	Pinon Pine	BB	5-7 ft.	Multi-stemmed
DW	Chilopsis linearis	Desert Willow	15 gal.			GT	Gleditsia triacanthos inermis	Thornless Honey Locust	BB	2 1/2' cal.	
FP	Prunus cerasifera 'Atropurpurea'	Flowering Plum	15 gal.		Krauter Vesuvius	PF	Potentilla fruticosa 'Gold Drop'	Cingfoil	5 gal.		'Farreri'
PP	Pinus ponderosa	Ponderosa Pine	BB	3 cal.		E	Existing landscaping to remain unless noted otherwise				

U S ARMED FORCES RESERVE CENTER



LEGEND

- 80- Existing contour
- 85- Finish grade contour
- Surface inlet



GRADING PLAN

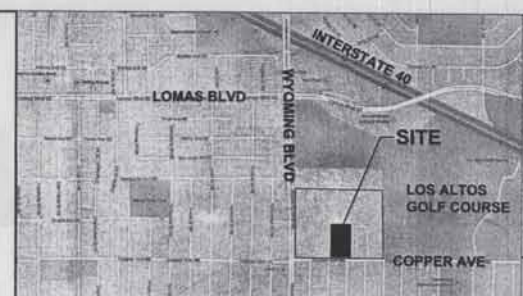
SCALE: 1" = 40'-0"

Owner: U.S. ARMED FORCES
 Developer: U.S. ARMED FORCES
 Engineer/Architect: LEEDSHILL - HERKENHOFF, INC.
 Date: FEBRUARY, 1985

U S ARMED FORCES RESERVE CENTER



OVERALL PROPERTY MAP
1" = 100'



VICINITY MAP (Zone Atlas Map No. K-20) N.T.S.

SITE INFORMATION

Site Area: 4.35 acres (approx.)
 Legal Description: Municipal Addition No. 2, Tract 3, Exc Nly 354' and Portions out to RW Cont.
 Current Zoning: SU-1 National Guard Armory and PRD
 Existing Land Use: Public/Institutional
 Proposed Zoning: SU-1 Parks and Recreation
 Proposed Land Use: park, active and passive recreation
 Applicable Plans: none
 Pedestrian Ingress and Egress: See Sheet 2
 Vehicular Ingress and Egress: See Sheet 2
 Internal Circulation: See Sheet 2
 Maximum Building Height: n/a
 Maximum Building Setback: n/a
 Maximum Floor Area Ratio (F.A.R.): n/a

PARKING CALCULATIONS

- Standard Parking Spaces Required: Pursuant to 14.16.22(c), off-street parking shall be provided as required by Planning Commission in SU-1 zone. No specific off-street requirements for park facilities are included in zoning code.
- Standard Parking Spaces Provided: 9
- Accessible Parking Spaces Required: 1 (1 per 25)
- Accessible Parking Spaces Provided: 4 (all Van Accessible)
- Motorcycle Spaces Required: 1 (1 per 25)
- Motorcycle Spaces Provided: 2
- Bicycle Parking Required: 2
- Bicycle Parking Provided: 5

OPERATIONS AND MAINTENANCE NOTES

- Noise
 - No park feature that may possibly be constructed in the future will exceed noise levels permitted by City Noise Ordinance.
- Vending
 - If farmers' market or food truck vending are proposed in the future, all vending will occur within Park boundaries proper with access from existing parking lot.
- Hours of Operation
 - Park will be open the standard hours of 6:00 am to 10:00 pm.

AS-BUILT INFORMATION

CONTRACTOR	DATE
NO. BY	DATE
ACCEPTANCE BY	DATE
UTILIZATION BY	DATE
DATE BY	DATE
RECORDED BY	DATE

BENCH MARKS

NO.	DATE

SURVEY INFORMATION

FIELD NOTES	DATE
NO.	BY



REVISIONS

NO.	DATE	BY
1	5/22/15	EPC
2	8/4/15	DRB

REMARKS

NO.	DATE	BY

PROJECT NUMBER: 1010458
 APPLICATION NUMBER:
 IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Ronald M. Wind</i>	9/30/15
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>Christi Cade</i>	09/30/15
ABQWA	DATE
<i>Carol S. Dumont</i>	9/30/15
PARKS AND RECREATION DEPARTMENT	DATE
<i>Rita H.</i>	9-30-15
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT - (CONDITIONAL)	9-30-15
DATE	
SOLID WASTE MANAGEMENT	9-30-15
DATE	
<i>Paul Chis</i>	9-30-15
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

400 Wyoming Blvd. NE

MRWM
 LANDSCAPE ARCHITECTS
 Harrow Beardon Wilkinson Miller, Ltd.
 mrwmla.com 505 268 2266

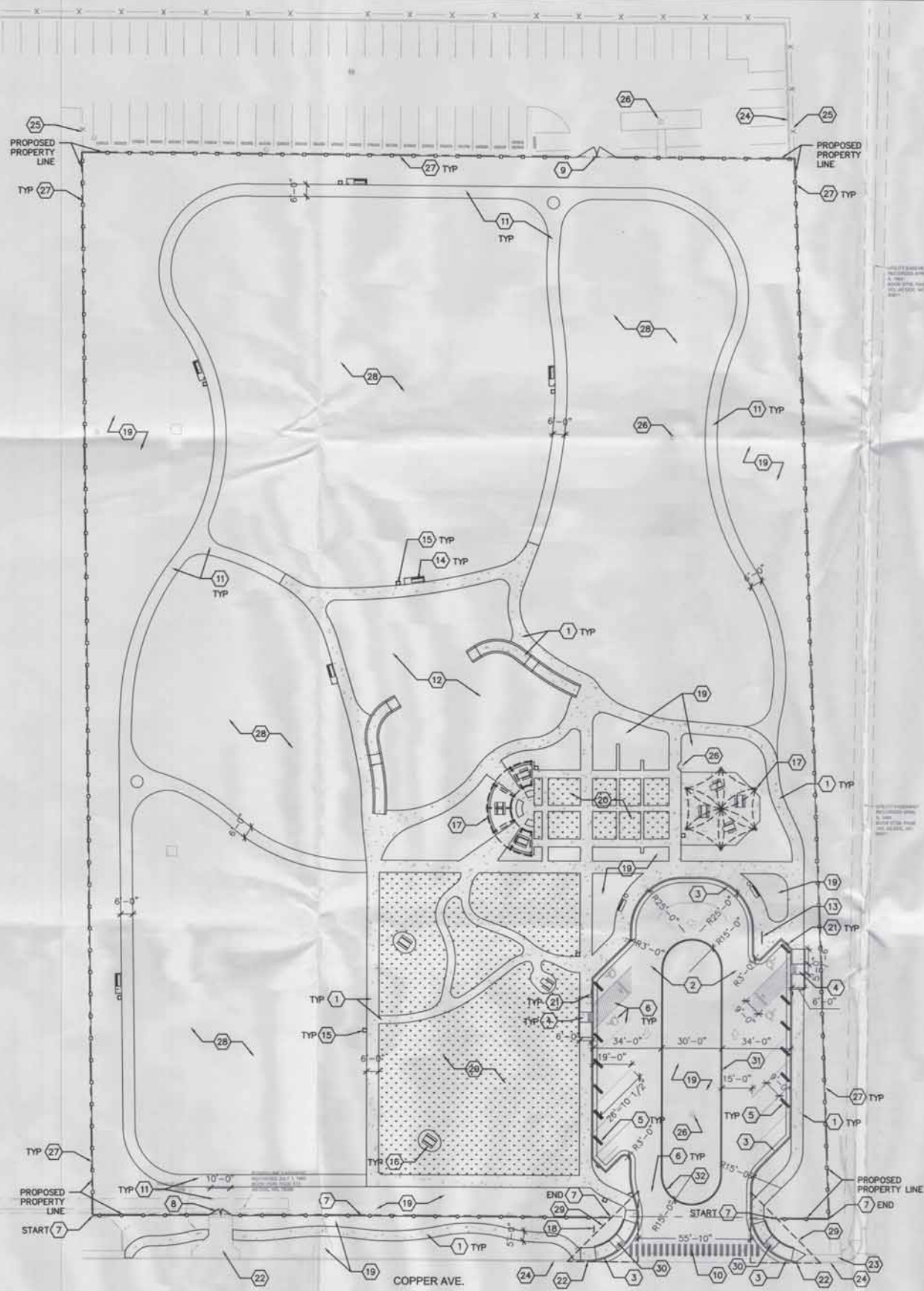
CITY OF ALBUQUERQUE
 STRATEGIC PLANNING AND DESIGN
 PARKS AND RECREATION DEPARTMENT

**SOUTH LOS ALTOS CHILDREN'S PARK
 SITE PLAN FOR SUBDIVISION**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. 613592 Zone Map No. K-20 Sheet 1 Of 4

ZONING



(A1) SITE PLAN FOR SUBDIVISION
SCALE: 1"=30'-0"

DETECTABLE SURFACE NOTES

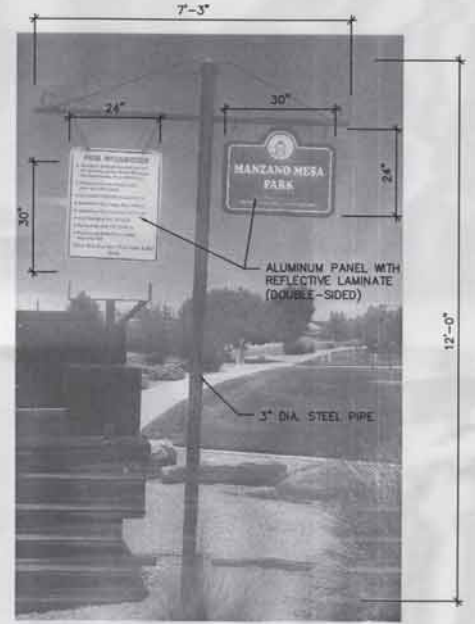
1. DETECTABLE WARNING SURFACES SHALL BE INSTALLED ON ALL ADA RAMPS. SURFACES SHALL BE "ARMOR-TILE TACTILE SYSTEM", OR APPROVED EQUAL. COLOR: RED.
2. DETECTABLE WARNING SURFACES AT ACCESSIBLE RAMPS SHALL EXTEND MINIMUM 24" IN THE DIRECTION OF TRAVEL AND FULL WIDTH OF THE CURB RAMP, LANDING, OR TRANSITION. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.
3. DETECTABLE WARNING SURFACES SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB FLOWLINE IS 8" MINIMUM AND 10" MAXIMUM FROM THE FLOWLINE.

KEYED NOTES

1. STANDARD GRAY CONCRETE WALK PER COA STD. DWG. 2720. MAXIMUM LONGITUDINAL SLOPE OF 5%.
2. ASPHALT PAVING PER COA STD. DWG. 2405A.
3. STANDARD CONCRETE CURB AND GUTTER PER COA STD. DWG. 2415A.
4. WHEELCHAIR ACCESS RAMP WITH INTEGRAL HEADER CURB PER COA STD. DWG. 2441. PROVIDE DETECTABLE WARNING SURFACES PER DETECTABLE SURFACE NOTES.
5. CONCRETE PARKING BUMPER.
6. PAVEMENT MARKINGS.
7. RETROFIT EXISTING ORNAMENTAL STEEL FENCE.
8. 12" WIDE DOUBLE-SWINGING ORNAMENTAL STEEL GATE.
9. 20' WIDE DOUBLE-SWINGING VINYL-COATED CHAINLINK GATE.
10. CROSSWALK PAVEMENT MARKING.
11. ASPHALT PATH PER COA STD. DWG. 2722. SIMILAR. MAXIMUM LONGITUDINAL SLOPE OF 5%.
12. PLAY AREA WITH PLAY EQUIPMENT AND SAFETY SURFACING.
13. 5-BIKE CAPACITY BIKE RACK.
14. 6" BENCH.
15. TRASH RECEPTACLE.
16. PICNIC TABLE ON CONCRETE SLAB.
17. FABRIC SHADE STRUCTURE.
18. PARK SIGN.
19. PLANTING BED.
20. TURF AREA.
21. HANDICAP PARKING SIGN, INCLUDING VAN ACCESSIBLE SIGN AND REQUIRED LANGUAGE READING "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING".
22. TIE INTO EXISTING CURB & GUTTER.
23. EXISTING CONCRETE PAVING TO REMAIN.
24. EXISTING CURB AND GUTTER TO REMAIN.
25. EXISTING 6' HT. CHAINLINK FENCE TO REMAIN.
26. EXISTING LIGHT POLE TO REMAIN.
27. NEW 6' HT. CHAIN LINK FENCING.
28. FUTURE RECREATION AREA, SUBJECT TO PHASED DEVELOPMENT. SEE NOTE 4, SHEET 1.
29. 35' X 35' CLEAR SIGHT TRIANGLE - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
30. WHEELCHAIR ACCESS RAMP PER COA STD. DWG. 2418. PROVIDE DETECTABLE WARNING SURFACES PER DETECTABLE SURFACE NOTES.
31. CONCRETE HEADER CURB PER COA STD. DWG. 2415B.
32. "DO NOT ENTER" SIGN, TYP. OF 2 AT PARKING LOT EGRESS.

GENERAL NOTES

1. Landscaping
 - a. Extensive tree cover will be a hallmark of this park, including a "river of trees" intended to represent Albuquerque's bosque. The majority of trees, shrubs and plants will be native and low water use. An area of turf will be provided that will include low berms and trees around the edges.
 - b. A sample of the tree varieties provided include: Rio Grande Cottonwood, Chinese Pistache, Live Oak, Honey Locust, Bur Oak, Flowering Pear, Chokecherry, Serrano Maple, Deodar Cedar, Australian Pine, Desert Willow, Vitex, Goldenrain Tree, and NM Olive.
 - c. All landscape beds will be depressed below grade.
 - d. Curb notches shall be provided when adjacent to landscape beds to allow storm water to flow into them and provide supplemental irrigation of the plantings.
 - e. All proposed turf will be low water use blend.
2. Lighting Standards
 - a. Parking lot will use existing lighting fixtures.
 - b. Park area lighting will use dark sky compliant fixtures only.
 - c. Additional light poles may be provided in the future, if desired.
3. Parking
 - a. Parking will be allowed in off-street parking lot constructed per site development plan. There will be 4 handicap parking spaces, 9 standard parking spaces, 2 motorcycle parking spaces, and a provision for bus/van pull-in. Due to the special nature of this park, more than the required number of handicap spots will be provided.
 - b. The existing parking lot to the north will not be accessible to the proposed park site, except temporarily via vehicle access gate during construction only. Gate will remain locked at all other times and park users will not have access to this lot for parking.
4. Phasing
 - a. The park will be constructed in recreation "modules" which will allow us to address funding limitations and to respond to changing user needs and advances in recreational and play equipment. The first phase will include all features shown on the site development plan, including: off-street parking, infrastructure for irrigation, pedestrian circulation, perimeter fencing, site furnishings, lawn and passive recreation areas, large "inclusive" playground, multi-use plaza with shade, and extensive tree planting. All future modules will adhere to the Site Plan for Subdivision and these Design Guidelines.
5. Pedestrian Circulation
 - a. Accessible interior paths will be provided and a loop path for walking and jogging that encircles the park will be constructed. Accessible surfacing will be provided under and around all play equipment.
 - b. Longitudinal slopes on all pedestrian paths will not exceed 5%.
 - c. The existing sidewalk at back of curb along Copper Ave. will be removed and replaced with a new 7' wide meandering sidewalk, separated from the street with a landscape buffer. New ADA curb ramps will be installed.
6. Vehicular Ingress/Egress
 - a. The existing 55' wide curb cut at Copper Ave. will remain as the primary ingress/egress point for a new one-way parking lot. The existing gate will be removed and perimeter fencing along Copper Ave. will be modified to eliminate obstructions within the clear sight triangle.
 - b. A second smaller curb cut at Copper Ave. will remain to the west to provide maintenance access to the park.
7. Walls/Fencing
 - a. Existing fencing at roadway will be re-utilized and made more visually attractive with updating top edge and with repainting.
 - b. New fencing at other boundaries will be chain link or wrought iron along east and north sides. Due to security concerns from other City Departments, existing chain link fencing along west boundary with other City property will eventually be replaced with CMU or wrought iron.
8. Site furnishings
 - a. Play equipment and site furnishings will focus on accessibility and inclusivity. Many components will be of custom design, and manufactured components will be carefully selected for quality and variety.
9. Inclusive/Accessible Park Design
 - a. This park will feature a variety of play and recreational components that will maximize accessibility and inclusivity for all abilities and ages. The design intent is to appeal to all citizens of Albuquerque regardless of ability or age and to provide opportunities for a wide range interactions amongst all users.
10. Buildings
 - a. No buildings are proposed for this site, including in future phases of work. Therefore, maximum building height, maximum building setback, and maximum FAR are not provided.



NOTE: ILLUMINATION IS NOT PROVIDED AT THE SIGN.

(A2) PARK SIGN DETAIL
SCALE: N.T.S.

HATCH LEGEND

- CONCRETE PAVING
- ASPHALT PAVING
- PLAY SURFACING
- TURF

AS-BUILT INFORMATION	
CONTRACTOR	DATE
DESIGNED BY	DATE
APPROVED BY	DATE
REVISIONS BY	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE

BENCH MARKS	
NO.	DATE
BY	

SURVEY INFORMATION	
NO.	DATE
BY	



REVISIONS	
NO.	DATE
DATE	DATE
DATE	DATE
DATE	DATE

REMARKS	
NO.	DATE
DATE	DATE
DATE	DATE

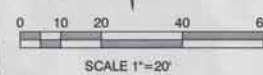
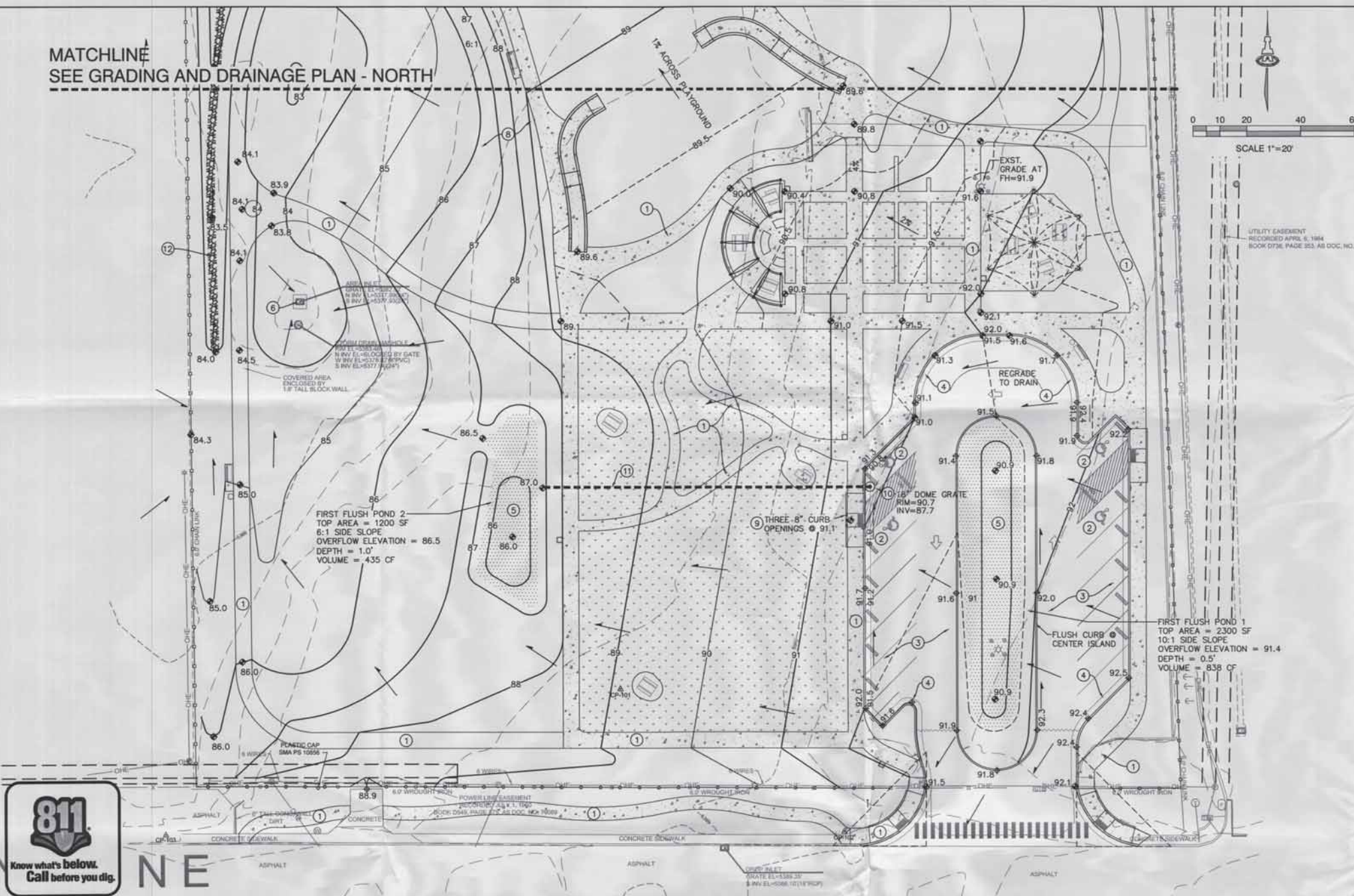
MRWM
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Morrow Reardon Wilkin Miller, Ltd.
mrwmla.com 505.268.2266

CITY OF ALBUQUERQUE
STRATEGIC PLANNING AND DESIGN
PARKS AND RECREATION DEPARTMENT

SOUTH LOS ALTOS CHILDREN'S PARK
SITE PLAN FOR SUBDIVISION

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 613592	Zone Map No. K-20	Sheet 2	Of 4

MATCHLINE
SEE GRADING AND DRAINAGE PLAN - NORTH



PROJECT DATA

PROPERTY: THE SITE IS A PORTION OF A DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP K-20. THE SITE IS BOUND TO THE EAST BY SINGLE FAMILY RESIDENTIAL, TO THE NORTH AND WEST BY FULLY DEVELOPED GOVERNMENT PROPERTY AND TO THE SOUTH BY COPPER AVE. N.E.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE REMOVING ASPHALT AND BASE COURSE PAVED AREAS AND REPLACING WITH A CITY PARK WITH PLAYGROUND(S), GRASS FIELDS, ADA COMPLIANT PEDESTRIAN PATHS, ETC.

LEGAL: A PORTION OF TRACT 3 IN SECTION 20, T. 10 N., R. 4 E., N.M.P.M., COUNTY OF BERNALILLO, CITY OF ALBUQUERQUE.

BENCHMARK: A 3 1/4 INCH ALUMINUM DISC STAMPED "14-K20 1990" SET FLUSH WITH THE TOP OF THE CURB. NAVD 88. N:1485201.9420 E:1551107.3220 ELEVATION = 5381.929'

SURVEYOR: WILSON & COMPANY
4900 LANG AVENUE N.E.
ALBUQUERQUE, NM 87109

OFF-SITE: NO OFF-SITE DRAINAGE IMPACTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP NUMBER 35001C0355H, EFFECTIVE ON 08/16/2012, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT: OVERALL PROPERTY RUNOFF WILL CONTINUE TO DRAIN TO THE WEST TO ENTER THE EXISTING ON-SITE STORM DRAIN SYSTEM WHICH DISCHARGES TO THE COPPER AVE. STORM DRAIN MAIN. THE ADDITION OF STORMWATER RETENTION / FIRST FLUSH BASINS AND WATER HARVESTING AS WELL AS THE REMOVAL OF ASPHALT AND BASE COURSE PAVED AREAS WILL REDUCE THE OVERALL DISCHARGE FROM THE PROPERTY.

FLOW FROM THE EXISTING PARKING AREAS NORTH AND WEST OF THIS PROPERTY WILL CONTINUE TO DRAIN THROUGH THE PARK AREA TO THE EXISTING STORM DRAIN INLETS.

AS-BUILT INFORMATION

DATE	BY

BENCH MARKS

DATE	BY

SURVEY INFORMATION

NO.	DATE	BY

ARCHITECTURAL SEAL

08-04-15

LEGEND

- - - - - EXISTING CONTOUR (1' INCREMENTS)
- FLOW DIRECTION
- - - - - 90 PROPOSED CONTOUR (1' INCREMENTS)
- - - - - 91.5 PROPOSED 0.5' CONTOUR
- ▨ PROPOSED EROSION CONTROL
- - - - - PROPOSED STORM DRAIN

REVISIONS

NO.	DATE	BY	REMARKS



NE

CALCULATIONS: Los Altos Childrens Park : July 31, 2015
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE		DEVELOPED FLOWS:		EXCESS PRECIP:	
Area	Treatment SF	Area	Treatment SF	Area	Excess Precip. Zone
Area A	0	Area A	0	Area A	0.66
Area B	18965.5	Area B	75862	Area B	0.92
Area C	94827.5	Area C	79655	Area C	1.29
Area D	75862	Area D	34138	Area D	2.36
Total Area	189655	Total Area	189655	Total Area	100%

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)
Weighted E = $\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$
Historic E = 1.68 in | Developed E = 1.33 in

On-Site Volume of Runoff: $V_{360} = E^*A / 12$
Historic V_{360} = 26568 CF | Developed V_{360} = 21093 CF

On-Site Peak Discharge Rate: $Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D / 43,560$
For Precipitation Zone 3
 $Q_{pA} = 1.87$ | $Q_{pB} = 3.45$
 $Q_{pC} = 2.60$ | $Q_{pD} = 5.02$
Historic Q_p = 17.4 CFS | Developed Q_p = 14.8 CFS

CALCULATIONS

Area of basin flow = 189655 SF | Overall site - developed conditions = 4.4 Ac.

The following calculations are based on Treatment areas as shown in table to the right

DESCRIPTION	LAND TREATMENT
Sub-basin Weighted Excess Precipitation (see formula above)	A = 0%
Weighted E = 1.33 in	B = 42%
Sub-basin Volume of Runoff (see formula above)	C = 40%
$V_{360} = 20976$ CF	D = 18%
Sub-basin Peak Discharge Rate: (see formula above)	FIRST FLUSH VOL.
$Q_p = 14.7$ cfs	967 CF

STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).

THE ESTIMATED PONDING VOLUME REQUIRED IS 0.34" * TYPE 'D' AREA = 967 CF. TOTAL PONDING PROVIDED WITHIN FIRST FLUSH PONDS 1 AND 2 = 1273 CF.

DISCHARGE FROM IMPERVIOUS AREAS WILL BE DIRECTED TO RETENTION PONDS LOCATED WITHIN THE LANDSCAPE AREAS. OVERFLOW WILL BE ROUTED TO THE ON-SITE STORM DRAIN INLETS.

- KEYED NOTES**
- THESE KEYED NOTES ARE FOR USE ON GRADING AND DRAINAGE PLANS CG-101 AND CG-102 (NORTH AND SOUTH)
1. NEW WALK. ALL WALKS TO BE ADA ACCESSIBLE (5% MAX SLOPE, 2% MAX CROSS-SLOPE).
 2. SLOPES WITHIN HANDICAP PARKING AREA(S) TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
 3. EXISTING ASPHALT PAVED PARKING.
 4. NEW CONCRETE CURB.
 5. NEW SHALLOW FIRST FLUSH RETENTION POND.
 6. EXISTING STORM DRAIN INLET.
 7. DEPRESS NEW LANDSCAPING.
 8. GRADE TRANSITION SLOPES TO ACHIEVE GRADE DIFFERENCES SHOWN. MAXIMUM SLOPE = 6:1 UNLESS NOTED.
 9. PROVIDE THREE 8" WIDE OPENING IN CURB.
 10. NEW 18" DOMED INLET.
 11. NEW 12" DIA. STORM DRAIN.
 12. NEW 3" WIDE X 6" DEPRESSED FRACTURED FACE ROCK DRAINAGE SWALES.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isaifirm.com
2022 CG-101 EPC.dwg Aug 04, 2015

MRWM
LANDSCAPE ARCHITECTS
Morris Beardon Wittkop Hiller, Ltd.
mrrwmla.com 505 268 2266

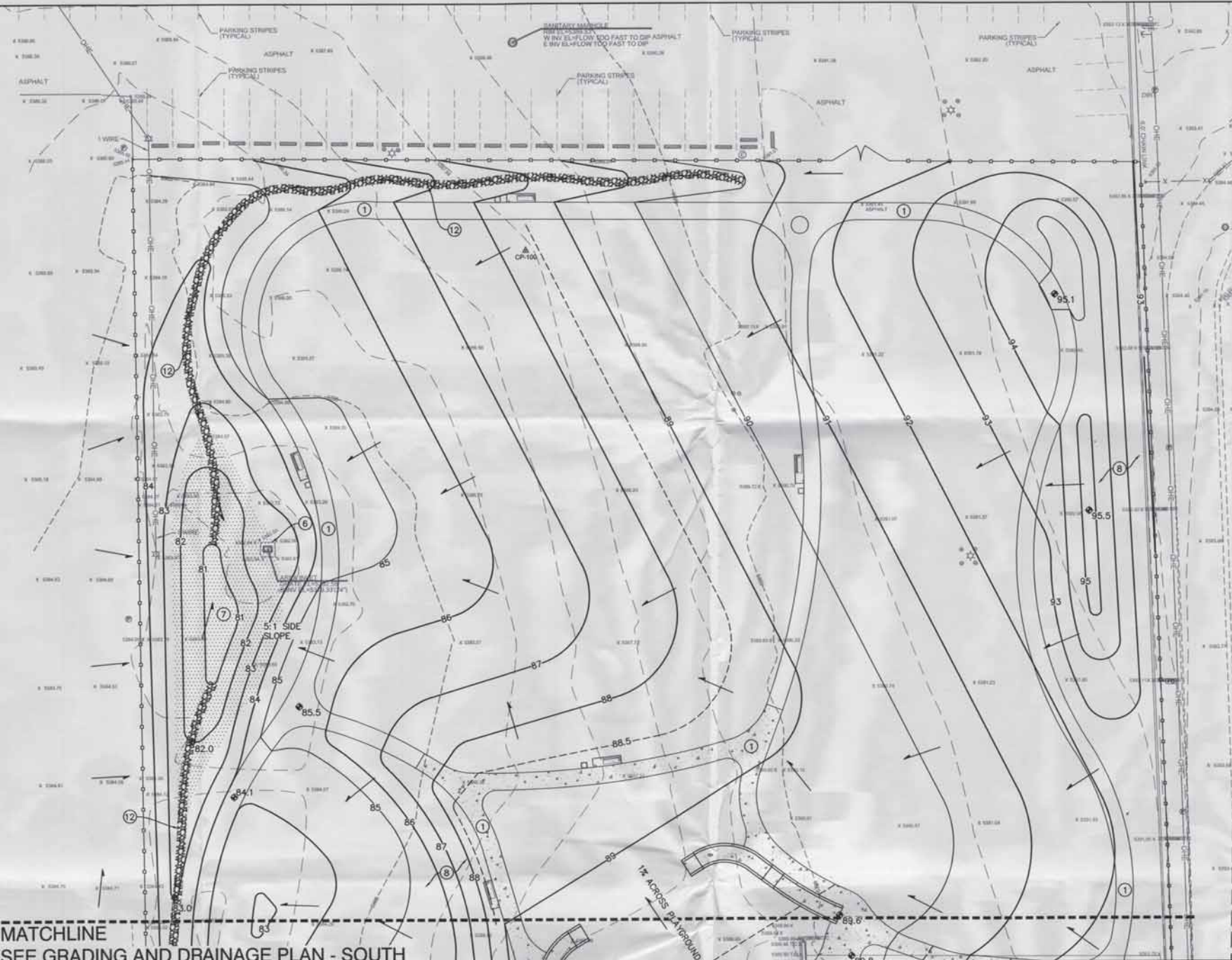
CITY OF ALBUQUERQUE
STRATEGIC PLANNING AND DESIGN
PARKS AND RECREATION DEPARTMENT

SOUTH LOS ALTOS CHILDREN'S PARK
GRADING AND DRAINAGE PLAN - SOUTH

Design Review Committee	City Engineer Approval	Sheets 2/021/15	Sheets 1/021/15

City Project No. 613592 | Zone Map No. K-20 | Sheet 3 of 4

D B
D SF
NON = 86.5
F



MATCHLINE
SEE GRADING AND DRAINAGE PLAN - SOUTH

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REVISIONS

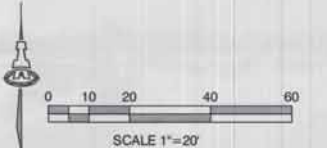
NO.	DATE	BY	REMARKS
1	5/22/15	EPC	
2	8/4/15	DRB	

REVISIONS

DESIGNED BY	DATE
BUB	8/4/2015
DRAWN BY	DATE
BUB	8/4/2015
CHECKED BY	DATE
FCA	8/4/2015

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE AND NMDOT STANDARDS APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL STATE, LOCAL, AND FEDERAL LAWS, CODES, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA AND ADA REQUIREMENTS.
- ALL SUBGRADE, OVEREXCAVATION, BACKFILL, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION, OR PRIOR TO OCCUPANCY, AS APPROPRIATE. IF PERMITS ARE DELAYED OR ISSUED WITH CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.
- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING OBSTRUCTIONS, AND CONDITION OF ALL EXISTING INFRASTRUCTURE PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT / ENGINEER AND VERIFY THE ARCHITECT / ENGINEER'S INTENT BEFORE PROCEEDING.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SAFETY.
- THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT STRUCTURES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS. EQUIPMENT SHALL ONLY OBSTRUCT DESIGNATED TRAFFIC LANES IF APPROPRIATE BARRICADING PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL IN THE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL PROVIDE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN THAT CONFORMS TO THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN BARRICADING PERMITS FROM THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- THE CONTRACTOR SHALL MAINTAIN ALL BARRICADING AND CONSTRUCTION SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- PAVEMENT GRADES IN MARKED HANDICAPPED PARKING AREAS SHALL NOT EXCEED 2.0% IN ANY DIRECTION FOR ALL ACCESSIBLE ROUTES. MAXIMUM ALLOWABLE CROSS SLOPE IS 2.0% AND MAXIMUM LONGITUDINAL SLOPE WITHOUT RAMP IS 5.0%. FOLLOW ALL ADA ACCESSIBILITY GUIDELINES OR CITY CODES, WHICHEVER IS MORE STRINGENT.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT.
- MAXIMUM SLOPES SHALL BE 4:1.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF NECESSARY DRY UTILITY ADJUSTMENTS.
- SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS ARE REQUIRED. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES, BACKFILL, AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE. PROPERTY CORNERS SHALL ONLY BE RESET BY A REGISTERED LAND SURVEYOR.
- THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AN NPDES PERMIT, AND AN EROSION AND SEDIMENT CONTROL (ESC) PERMIT FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES MEET THE EPA THRESHOLD. (SWPPP, NPDES PERMIT, AND ESC PLAN BY OTHERS). A CITY-APPROVED ESC PERMIT MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING, BUILDING, OR WORK ORDER PERMIT.
- POST-CONSTRUCTION MAINTENANCE FOR PRIVATE STORMWATER FACILITIES WILL BE THE RESPONSIBILITY OF THE FACILITIES OWNER. PERIODIC INSPECTION AND CERTIFICATIONS OF THE FACILITIES MAY BE REQUIRED BY THE CITY ENGINEER.
- STORMWATER CONTROL MEASURES SHOWN ON THIS PLAN ARE REQUIRED TO PROVIDE MANAGEMENT OF "FIRST FLUSH" (DEFINED AS THE 90TH PERCENTILE STORM EVENT, PER THE CITY DRAINAGE ORDINANCE, THE 90TH PERCENTILE STORM EVENT, WHICH IS 44 INCHES, IS TO BE MANAGED, REDUCE 0.44 INCH BY THE 0.1 INCH FOR THE INITIAL IMPERVIOUS ABSTRACTION IN TABLE A-4 OF SECTION 22 OF THE DPM. MULTIPLY THE REMAINING 0.34 INCH BY YOUR IMPERVIOUS AREA. THIS IS THE PORTION TO RETAIN).
- ADJUST ANY RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. UTILITIES IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED.
- WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS "MATCH" OR "A", TRANSITIONS SHALL BE SMOOTH.
- ALL EROSION PROTECTION TO BE FRACTURED FACE ROCK (F.F. ROCK) TO BE MINIMUM 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.).
- CONTRACTOR SHALL COMPLY WITH LOCAL REGULATIONS FOR RESEEDING OF DISTURBED AREAS.
- POND DESIGN PARAMETERS (TOP OF POND, BOTTOM OF POND, SIZE OF ORIFICE, AREA OF POND, ETC.) TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES.
- ENGINEER RECOMMENDS THAT OWNER MAINTAIN EROSION PROTECTION ELEMENTS. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.
- GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- MEASURES REQUIRED FOR EROSION AND SEDIMENT CONTROL SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL SITE PREPARATION, GRADING OPERATIONS, FOUNDATION CONSTRUCTION, AND PAVEMENT INSTALLATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, WHICH WILL BE PROVIDED BY THE OWNER OR ARCHITECT. ALL OTHER WORK SHALL, UNLESS OTHERWISE NOTED IN THE PLANS, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATION (FIRST PRIORITY), AND/OR NMDOT STANDARD SPECIFICATIONS FOR PUBLIC WORK (SECOND PRIORITY).
- FIVE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (811) FOR LOCATION OF EXISTING UTILITIES.



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Morrow Beardon Wilkinson Miller, Ltd.
mrwmla.com 505 268 2266

CITY OF ALBUQUERQUE
STRATEGIC PLANNING AND DESIGN
PARKS AND RECREATION DEPARTMENT

SOUTH LOS ALTOS CHILDREN'S PARK
DRAINAGE AND GRADING PLAN - NORTH




ISAACSON & ARFMAN, P.A.
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128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isaacson.com
2022 CG-101 EPC.dwg Aug 04, 2015

Design Review Committee	City Engineer Approval	Ms. / City / yr	Ms. / City / yr
City Project No.	Zone Map No.	Sheet	Of
613592	K-20	4	4


AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ARCHITECTURAL SEAL	
DATE	BY	NO.	DATE	NO.	BY	NO.	DATE
A 3 1/4 INCH ALUMINUM DISC STAMPED "14-K20 1990"		SET FLUSH WITH THE TOP OF THE CURB. NAVD 86.		N:1485201.9420 E:151107.3220		ELEVATION = 5381.929'	
DATE		DATE		DATE		DATE	



MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

3. **Project# 1006868**
15DRB-70336 AMENDED SDP FOR
SUBDIVISION
15DRB-70341 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL 
- TIERRA WEST LLC agent(s) for PACIFIC PASEO LAND INVESTMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 1 - 4, **DEL NORTE PLAZA** zoned SU-2 IP USES, located on HOLLY BETWEEN SAN PADRO AND PASEO DEL NORTE containing approximately 2.9907 acre(s). (C-18) **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED. THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR UTILITY COMPANY SIGNATURES, AGIS DXF, AND AMAFCA SIGNATURE.**
4. **Project# 1010559**
15DRB-70340 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL 
~~Project# 1010458 - EPC SITE PLAN
FOR SIGN OFF~~
- WILSON & COMPANY agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Tract(s) 3, **MUNICIPAL ADDITION NO.2** zoned SU-1 NOR NATIONAL GUARD ARMORY & PRD, located on COPPER AND WYOMING containing approximately 36.74 acre(s). (K-20) **THE PRELIMINARY/FINAL PLAT WAS DEFERRED TO 10/7/15. ~~THE SITE DEVELOPMENT PLAN WAS APPROVED.~~**
5. **Project# 1006864**
15DRB-70339 SIDEWALK WAIVER 
- BOHANNAN HUSTON INC agent(s) for PULTE GROUP request(s) the above action(s) for all or a portion of Lot(s) N-2-A-1 AND N-2-A-3, **WATERSHED SUBDIVISION** zoned SU-2 PDA, located on WILLOW CANYON TRAIL/ EXTENSION ACROSS MIREHAVEN ARROYO BETWEEN DEL WEBB LANE AND ACROSS THE ARROYO TO FURURE STREET IN TRACT M (H-8) **THE SIDEWALK WAIVER WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

**NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

6. **Project# 1000572**
15DRB-70347 SKETCH PLAT REVIEW
AND COMMENT 
- SURV-TEK, INC agent(s) for TWO AND THREE, LLC request(s) the above action(s) for all or a portion of Tract(s) 2 & 3, **COPPER POINTE SUBDIVISION** zoned SU-2, SU-1 FOR IP, located on COPPER POINTE WAY BETWEEN MORRIS AND EUBANK containing approximately 2.3256 acre(s). (K-21) **THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE PROVIDED**

INTER-OFFICE MEMO

DATE: August 11, 2015 Revised: August 17, 2015
TO: Jack Cloud, DRB Chair
FROM: Catalina Lehner, Senior Planner
RE: Project #1010458, Armory Park
Zone Change & Site Development Plan for Subdivision

On June 11, 2015, the EPC voted to approve a zone change and a site development plan for subdivision for a 34.1 acre site located on Copper Ave. NE, often referred to as the Old Armory Site. Staff met with the applicant's agent, Aaron Zahm, on July 15, 2015 to discuss the Conditions of Approval.

Staff reviewed an updated version of the site development plan (v.3, dated August 4, 2015) and notes the following:

1. All of the EPC's conditions of approval were incorporated into v.3 and are met (please see #4 and #5, below).
2. The Grading & Drainage Plan (sheets 3 and 4) was not part of the EPC review, but was added to fulfill Condition #11.
3. Current Planning Staff did not check Condition #12 from Transportation Development Staff.
4. Condition #13: Separate documentation is needed to demonstrate that DMD Staff was contacted regarding the intersection at Wyoming Blvd. and Copper Ave.
5. Staff notes two more minor changes from what the EPC reviewed, in addition to the four itemized in the August 4, 2015 letter:
 - a) the pathway on the site's eastern side was reduced from 10' to 6' wide, and
 - b) note #10 used to call for "concrete plaza paving per COA standard dwng 2720, similar, with integral color" and was changed to "crosswalk pavement marking".
6. Staff and the applicant discussed the process for minor site development plan changes. Basically, these changes can be made as either a standard administrative amendment (AA) or a new "micro AA" (note: the Current Planning Manager has discretions over "micro AAs", but approval and final sign-off are still required).

**The changes are in substantial compliance with the EPC approved site plan, therefore can be processed thru the DRB for final sign off by Planning. Kym Dicome, Current Planning Manager
8-17-2015**

If you have any questions regarding this case, please call me at 924-3935 or e-mail me at clehner@cabq.gov. Thank you.

INTER-OFFICE MEMO

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FROM: Catalina Lehner, Senior Planner *CLL*
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5. Staff notes two more minor changes from what the EPC reviewed, in addition to the four itemized in the August 4, 2015 letter:
 - a) the pathway on the site's eastern side was reduced from 10' to 6' wide, and
 - b) note #10 used to call for "concrete plaza paving per COA standard dwng 2720, similar, with integral color" and was changed to "crosswalk pavement marking".
6. Staff and the applicant discussed the process for minor site development plan changes. Basically, these changes can be made as either a standard administrative amendment (AA) or a new "micro AA" (note: the Current Planning Manager has discretion over "micro AAs", but approval and final sign-off are still required).

Due to the amount of minor changes, Staff advises that the applicant return the site development plan to "v.2 + conditions only", obtain final sign-off, and then pursue an AA—which is standard procedure for all site development plans. AAs can be submitted any time after final sign-off and turn-around time is pretty quick.

If you have any questions regarding this case, please call me at 924-3935 or e-mail me at clehner@cabq.gov. Thank you.



August 4, 2015

Mr. Jack Cloud, Chairman
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

Re: Final Sign-off of Site Development Plan for Subdivision, Armory Site Park -
Project# 1010458/15EPC-40018

Dear Mr. Chairman:

The purpose of this letter is to request final sign-off approval of a Site Development Plan for Subdivision application, on behalf of the City Parks and Recreation Department, and per EPC conditions for the above-referenced project.

Per Condition 1, the following is a description of the modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions.

Condition 2: I met with Ms. Catalina Lehner, Staff Planner, on July 15, 2015, to review completion of the conditions of the EPC decision.

Condition 3: Modified Keyed Note 28 to read "Future Recreation Area, Subject to Phased Development. See Note 1, Sheet 1."

Condition 4: Added Keyed Note 10 for "Crosswalk Pavement Marking" at parking lot entrance off Copper Ave.

Condition 5A: Added General Note 3b to read "The existing parking lot to the north will not be accessible to the proposed park site, except temporarily via vehicle access gate during construction only. Gate will remain locked at all other times and park users will not have access to this lot for parking."

Condition 5B: Separated Parking Calculations from Site Information on Sheet 1.

Condition 6A: Added General Note 1c to read "All landscape beds will be depressed below grade."

Condition 6B: Added General Note 1d to read "Curb notches shall be provided when adjacent to landscape beds to allow storm water to flow into them and provide supplemental irrigation of the plantings."

Condition 6C: Added General Note 1e to read "All proposed turf will be low water use blend."

Condition 7A: Added detail A3/Sheet 2 for Typical Park Sign.

Condition 8: Modified General Note 7b to read "...replaced with CMU or wrought iron."

Condition 9: Added General Note 2c to read "Additional light poles may be provided in the future, if desired."

Condition 10A: Added missing items to "Site Information" on Sheet 1.

Condition 10B: General Notes were moved to Sheet 2.

Condition 11: Grading and Drainage Plans, including requirements concerning the "First Flush" were added - See Sheets 3 and 4.

Conditions 12A through 12N: These conditions from the City Engineer (Transportation Development) were addressed prior to the final submission to EPC, so these items are not identified as plan changes since the EPC hearing.

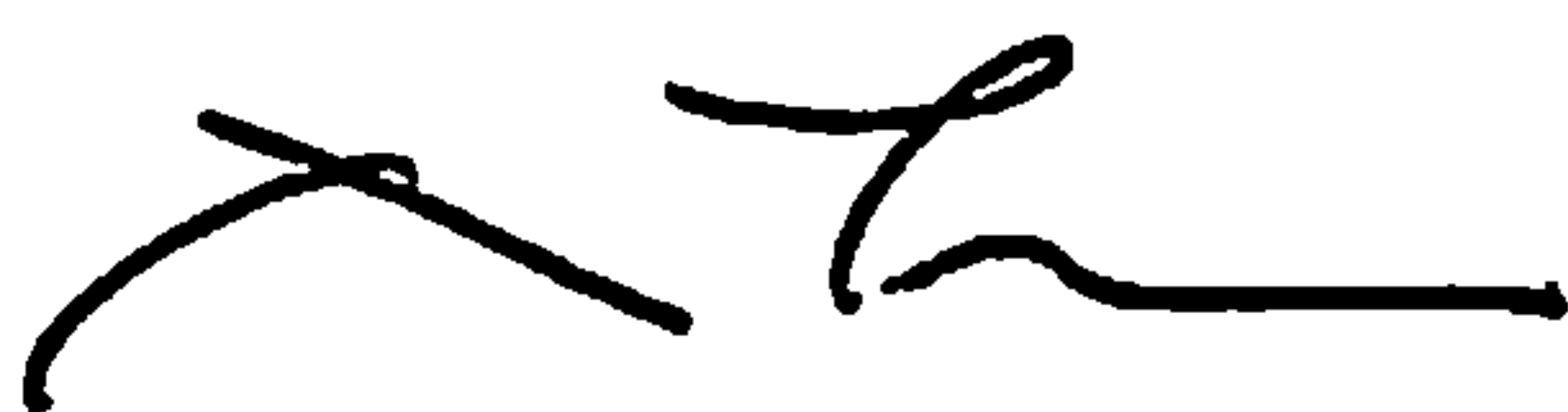
Condition 13: An email request has been made by Parks and Recreation Department to Department of Municipal Development to review pedestrian connections and safety at the signalized intersection of Wyoming Blvd. and Copper Ave.

The following are additional minor site plan changes not specifically related ^{to} conditions that have been made since the EPC hearing:

1. Turf area (Keyed Note 20, Sheet 2) was "squared off" to allow for more efficient irrigation.
2. Shape of playground area (Keyed Note 12, Sheet 2) was modified. General location ~~of turf~~ is unchanged.
3. Configuration of central plaza and fabric shade structure (Keyed Note 17, Sheet 2) were modified. General location of these elements is unchanged.
4. An additional fabric shade structure (Keyed Note 17, Sheet 2) was added to the west end of the central plaza.

On behalf of the City Parks and Recreation Department, we respectfully request that the Development Review Board approve the request for this Site Development Plan for Subdivision. Thank you for your consideration.

Sincerely,



Aaron Zahm, PLA, ASLA
Morrow Reardon Wilkinson Miller, Ltd.

cc: Christina Sandoval, Parks and Recreation Dept.
Judith Wong, Parks and Recreation Dept.

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



RECEIVED JUN 15 2015

OFFICIAL NOTIFICATION OF DECISION

June 11, 2015

City of Albuquerque
Parks & Recreation Department
Attention: Christina Sandoval
1801 4th Street NW
Albuquerque, NM 87102

Project# 1010458
15EPC-40019 Amendment to Zone Map (Zone Change)
15EPC-40018 Site Development Plan for Subdivision

LEGAL DESCRIPTION:

The above actions for an approximately 4.5 acre portion of Municipal Addition No. 2, Tract 3, EXC NLY 354 feet and portions out to the right-of-way, zoned SU-1 for National Guard Armory and PRD, to SU-1 for Parks & Recreation, located on Copper Ave. NE, between Wyoming Blvd. NE and Eubank Blvd. NE, containing approximately 34.1 acres. (K-20)

Staff Planner: Catalina Lehner

PO Box 1293

Albuquerque On June 11, 2015, the Environmental Planning Commission (EPC) voted to APPROVE Project #1010458/15EPC-40019, Amendment to the Zone Map (Zone Change), and 15EPC-40018, a Site Development Plan for Subdivision, based on the following findings and conditions:

New Mexico 87103

FINDINGS - 15EPC-40019:

www.cabq.gov

1. The subject request is for a zone map amendment (zone change) for an approximately 4.5 acre portion of Municipal Addition No. 2, Tract 3, EXC NLY 354 feet and portions out to the right-of-way, an approximately 34.1 acre site that comprises the NE corner of Copper Avenue NE and Wyoming Boulevard NE, often referred to as the "Old Armory Site."
2. The zone map amendment request is for a change from SU-1 for National Guard Armory and PRD to SU-1 for Parks and Recreation to facilitate development of a City park on an approximately 4.5 acre portion of the larger site. The smaller, 4.5 acre site fronts Copper Avenue NE and is situated in approximately the southern, middle of the larger site.
3. The subject site is within the boundaries of the Established Urban Area of the Comprehensive Plan. No sector development plans apply.
4. The subject request is accompanied by a request for a site development plan for subdivision (15EPC-40018). A site development plan is required pursuant to the SU-1 Zone, §14-16-2-22(A)(1).

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5. Because the subject site is not greater than 10 acres, the Environmental Planning Commission (EPC) is the approval authority. The subject request is not required to be transmitted to the City Council. This is a quasi-judicial matter.
6. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
7. The subject request furthers the following, applicable Comprehensive Plan Goals:
 - A. Established Urban Goal. The proposal would result in a new City park in part of the Established Urban area that is already characterized by land use variety along a major arterial (Wyoming Blvd. NE). The proposal would contribute toward greater variety, maximum choice in life styles and a visually pleasing built environment because the park would be inclusive of people with physical and mental impairments and would create relief from the built environment.
 - B. Education Goal. The proposal would facilitate development of an inclusive park. Inclusive parks are designed to provide a variety of recreational opportunities to people with a wide range of physical and mental abilities, and are meant to serve everyone—including people from various cultural and educational groups and ages.
8. The subject request furthers the following Goal and policies pertaining to the Open Space Network:
 - A. Open Space Network Goal. The proposal would facilitate development of a new City park that would offer educational and recreational opportunities for a wide variety of people, including those with physical and mental impairments, as well as provide visual relief from urbanization.
 - B. Policy II.B.1g-park system/range of needs. The proposed park would meet a wide range of needs, from people with physical and mental impairments to the general public, and would be part of a larger network of City parks that range from small, neighborhood parks to much larger parks such as Los Altos Park.
9. The subject request furthers the following Comprehensive Plan policies pertaining to land use:
 - A. Policy II.B.5d-neighborhood values/environmental conditions/other concerns. The proposed new development would respect neighborhood values because there is general neighborhood support for the use. The park is a low-impact use that would improve the area scenically and is not too intense for its location. The design would be very respectful of social and recreational concerns because the park would serve all users, including those with physical and/or mental impairments. The design incorporates elements of Albuquerque and thus would also respect cultural concerns.
 - B. Policy II.B.5m- site design/visual environment. The proposal would generally improve the quality of the visual environment. The new park's design would include landscaping appropriate to the context and cultural design elements.

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10. The subject request generally furthers the Environmental Protection & Heritage Conservation Goal and Policy II.C.8b- public facilities beautification. Generally, the proposal would help improve the quality of the developed landscape in the area by facilitating development of a new park that would include landscaping, some cultural design features and facilities for inclusive recreation (Goal). The proposed new park, a type of public facility, would be designed to include landscaping, play structures and features that would beautify and improve the subject site (policy).
11. The subject request partially furthers the Transportation and Transit Goal and Policy II.D.4g- pedestrian opportunities/development. The proposed park would be located in an Established Urban area with good access to Transit. Wyoming Blvd. NE is an Enhanced Transit Corridor and bus service is frequent. The proposed park would be accessible for transit dependent people. Bus stops are within 0.2 mile of the park entrance. However, pedestrian crossings across Wyoming Blvd. are angled and not particularly convenient (Goal). The new park is designed to provide accessible, asphalt paths throughout the site. A direct pedestrian connection to Copper Ave. NE is shown. A connection to the northern parking area is needed (policy).
12. The applicant has adequately justified the sector development plan map amendment (zone change) request pursuant to Resolution 270-1980:
 - A. Section 1A: The applicant has demonstrated that the proposed zone change furthers a preponderance of applicable Goals and policies in the Comprehensive Plan and that there is no significant conflict with either. Therefore, the proposed zone map amendment is consistent with the health, safety, morals and general welfare of the City.
 - B. Section 1B: The proposed zoning would allow a use that benefits the adjacent neighborhood by providing recreation and visual relief and is unlikely to adversely affect stability in the area. The applicant has provided a sound justification for the change by demonstrating that the request furthers a preponderance of applicable Goals and policies in the Comprehensive Plan.
 - C. Section 1C: The applicant has adequately demonstrated that a preponderance of applicable Goals and policies in the Comprehensive Plan support the request. There is no "significant conflict" with an adopted element of the Comprehensive Plan.
 - D. Section 1D: A different use category is more advantageous to the community as articulated in the Comprehensive Plan. The policy-based discussion demonstrates that the proposed zoning category would be more advantageous to the community than the current zoning.
 - E. Section 1E: The proposed SU-1 zoning is limited in scope to parks and recreation and, pursuant to the SU-1 zone, is tied to the associated site development plan. Anything not shown on the site development plan would not be allowed. No permissive uses associated with the proposed zoning would be harmful to the neighborhood or community.

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- F. Section 1F: The proposed zone change would not require major or unprogrammed capital expenditures by the City. Funding for the proposed project has been programmed into the bond cycle and City budget.
 - G. Section 1G: Economic considerations pertaining to the applicant are a factor in the zone change request, but the applicant is not using them as the determining factor.
 - H. Section 1H: The requested zoning would not allow for apartment, office or commercial uses. Even if it did, location on a collector or major street is not being used, in itself, as justification for the zone change.
 - I. Section 1I: The requested SU-1 zoning is a justifiable spot zone in this case because it has been demonstrated that the park could function as a transition between the commercial and retail uses west of Wyoming Blvd. and the recreational uses to the east, and between the single-family home neighborhood and the commercial and multi-family uses to the north.
 - J. Section 1J: The request would not result in a "strip of land along a street" and therefore would not create a strip zone.
13. The applicant has adequately justified the zone map amendment (zone change) pursuant to R270-1980. The policy-based response to Section 1C demonstrates how the request furthers applicable Goals and policies in the Comprehensive Plan. There is no "significant conflict" with the adopted elements of applicable Plans (Section 1C). The remaining sections (1A, 1B, 1E-1J) are sufficiently addressed.
14. The affected neighborhood organizations are the South Los Altos Neighborhood Association (SLNA), the La Mesa Community Improvement Association, the Trumbull Village Association and the District 6 Coalition, which were notified. Property owners within 100 feet of the subject site were also notified. As of this writing, Staff has not received any inquiries or comments. The SLNA supports the proposal.

CONDITION –15EPC-40019:

- 1. Final approval of the accompanying site development plan for subdivision (15EPC-40018) by the Development Review Board (DRB) is required and shall occur within the time period specified in Zoning Code §14-16-4-1(C)(16)(b), Amendment Procedure.

FINDINGS –15EPC-40018:

- 1. The subject request is for a zone map amendment (zone change) for an approximately 4.5 acre portion of Municipal Addition No. 2, Tract 3, EXC NLY 354 feet and portions out to the right-of-way, an approximately 34.1 acre site that comprises the NE corner of Copper Avenue NE and Wyoming Boulevard NE, often referred to as the "Old Armory Site."
- 2. The zone map amendment request is for a change from SU-1 for National Guard Armory and PRD

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to SU-1 for Parks and Recreation to facilitate development of a City park on an approximately 4.5 acre portion of the larger site. The smaller, 4.5 acre site fronts Copper Avenue NE and is situated in approximately the southern, middle of the larger site.

3. The subject site is within the boundaries of the Established Urban Area of the Comprehensive Plan. No sector development plans apply.
4. The subject request is accompanied by a request for a zone map amendment (zone change) (15EPC-40019). The zone map amendment has been adequately justified pursuant to R270-1980.
5. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The subject request furthers the following, applicable Comprehensive Plan Goals:
 - A. Established Urban Goal. The proposal would result in a new City park in part of the Established Urban area that is already characterized by land use variety along a major arterial (Wyoming Blvd. NE). The proposal would contribute toward greater variety, maximum choice in life styles and a visually pleasing built environment because the park would be inclusive of people with physical and mental impairments and would create relief from the built environment.
 - B. Education Goal. The proposal would facilitate development of an inclusive park. Inclusive parks are designed to provide a variety of recreational opportunities to people with a wide range of physical and mental abilities, and are meant to serve everyone— including people from various cultural and educational groups and ages.
7. The subject request furthers the following Goal and policies pertaining to the Open Space Network:
 - A. Open Space Network Goal. The proposal would facilitate development of a new City park that would offer educational and recreational opportunities for a wide variety of people, including those with physical and mental impairments, as well as provide visual relief from urbanization.
 - B. Policy II.B.1g-park system/range of needs. The proposed park would meet a wide range of needs, from people with physical and mental impairments to the general public, and would be part of a larger network of City parks that range from small, neighborhood parks to much larger parks such as Los Altos Park.
8. The subject request furthers the following Comprehensive Plan policies pertaining to land use:
 - A. Policy II.B.5d-neighborhood values/environmental conditions/other concerns. The proposed new development would respect neighborhood values because there is general neighborhood support for the use. The park is a low-impact use that would improve the area scenically and is not too intense for its location. The design would be very respectful of social and

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recreational concerns because the park would serve all users, including those with physical and/or mental impairments. The design incorporates elements of Albuquerque and thus would also respect cultural concerns.

- B. Policy II.B.5m- site design/visual environment. The proposal would generally improve the quality of the visual environment. The new park's design would include landscaping appropriate to the context and cultural design elements.
9. The subject request generally furthers the Environmental Protection & Heritage Conservation Goal and Policy II.C.8b- public facilities beautification. Generally, the proposal would help improve the quality of the developed landscape in the area by facilitating development of a new park that would include landscaping, some cultural design features and facilities for inclusive recreation (Goal). The proposed new park, a type of public facility, would be designed to include landscaping, play structures and features that would beautify and improve the subject site (policy).
 10. The subject request partially furthers the Transportation and Transit Goal and Policy II.D.4g- pedestrian opportunities/development. The proposed park would be located in an Established Urban area with good access to Transit. Wyoming Blvd. NE is an Enhanced Transit Corridor and bus service is frequent. The proposed park would be accessible for transit dependent people. Bus stops are within 0.2 mile of the park entrance. However, pedestrian crossings across Wyoming Blvd. are angled and not particularly convenient (Goal). The new park is designed to provide accessible, asphalt paths throughout the site. A direct pedestrian connection to Copper Ave. NE is shown. A connection to the northern parking area is needed (policy).
 11. Conditions of approval are needed to clarify the site development plan.
 12. The affected neighborhood organizations are the South Los Altos Neighborhood Association (SLNA), the La Mesa Community Improvement Association, the Trumbull Village Association and the District 6 Coalition, which were notified. Property owners within 100 feet of the subject site were also notified. As of this writing, Staff has not received any inquiries or comments. The SLNA supports the proposal.

CONDITIONS -15EPC-40018:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to final approval, the applicant shall meet with the Staff planner to ensure that conditions of approval are met. Evidence of this meeting shall be provided at the time of application.

↑ met w/ Catelino 7/15 @ 4pm.

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3. Phasing:

Add a note to Sheet 2 to indicate that the Future Recreation Areas will be subject to phased development and cross-reference Note 4, Sheet 1. ✓

4. Pedestrian Connections:

A clearly delineated cross walk shall be provided to connect the sidewalks in front of the park's southern entrance. ✓

5. Parking:

A. A note shall be added to explain the relationship between the park property and the parking lot to the north. ✓

B. The parking calculations shall be separated out of the items required to be listed pursuant to the definition of site development plan for subdivision. ✓

6. Landscaping:

A. A note shall be added to indicate that landscaping beds will be depressed below grade. ✓

B. Curb notches shall be provided, where water can flow into them, to allow supplemental irrigation of the landscape beds. ✓

C. A standard shall be added to specify that the turf will be a low water use blend. ✓

✓ [7. Signage: A sign detail that specifies color(s), material(s) and illumination shall be provided.

8. Walls/Fencing: Add "or wrought iron" to note 7B. ✓

9. Lighting: A new note 2c shall be added to allow additional light poles in the future, if desired. ✓

10. Organizational:

✓ → A. The elements required pursuant to the definition of a site development plan for subdivision shall be listed under "Site Information" and cross-reference as necessary.

B. The General Note, or Design Standards, shall be moved to Sheet 2. ✓

11. Grading and Drainage:

✓ [A Grading and Drainage Plan is required per the COA DPM. New requirements concerning the "First Flush" shall be addressed.

12. Conditions from the City Engineer (Transportation Development):

✓ A. Address ADA accessibility of internal park pathways with regard to longitudinal slopes.

✓ B. Provide a 35-foot by 35-foot clear sight triangle for the entrance all of the way to the roadway curb as per the DPM, Chapter 23, Section 3.D.5. Add the language to the clear sight triangle, "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs,

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walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area.”

- ✓ C. Label parking requirements and associated accessible parking spaces required as per Table 1106.1. Also, within this section, show requirements for motorcycle and bicycle parking as per 14-16-3-1 of the Zoning Code.
 - ✓ D. Provide architect's stamp.
 - ✓ E. Show property lines.
 - ✓ F. Replace curb ramps at entrance to Copper Avenue to match current ADA standards. Include detectable warning devices.
 - ✓ G. Label curb tie-in at access to site and label curb for median as applicable. Label width of entry off of Copper Avenue, all curb radii within parking lot, and typical length of parking spaces. Label the 8-foot width for van accessible aisles.
 - ✓ H. Provide all necessary curb ramp details. Detectable warning devices will be required for any curb within the COA right-of-way. For parallel ramps adjacent to the ADA van accessible aisles, provide a minimum ramp width of 6 feet from the back of curb.
 - ✓ I. The van-accessible aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
 - ✓ J. Include ADA van accessible signs for each of the handicapped spaces adjacent to this aisle. These signs shall also include the new required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing."
 - ✓ K. One-way vehicular paths require pavement directional signage and a posted "Do Not Enter" sign at the point of egress.
 - ✓ L. Service vehicle and/or refuse vehicle maneuvering must be contained on-site.
 - ✓ M. For Keyed Note 4, call out for detectable warning devices to be installed.
 - N. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).
13. Request that the Department of Municipal Development (DMD) review the pedestrian connection at Wyoming Blvd. and Copper Ave. prior to final DRB sign-off.

Email from
PBR
to DMD

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **JUNE 26, 2015**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City

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Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.


You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,


ref Suzanne Lubar
Planning Director



SL/CLL

cc: COA, Parks & Rec. Dept, Attn. Christina Sandoval, 1801 4th Street NW, Albuquerque, NM 87102
Aaron Zahm, MRWM Landscape Architects, 210 La Veta NE, Albuquerque, NM 87108
Eileen Jessen, South Los Altos NA, 420 General Hodges NE, Albuquerque, NM 87123
James P. Ahrend, South Los Altos NA, 304 General Bradley NE, Albuquerque, NM 87123
Nancy Bearce, La Mesa Community Improvement Assoc., 600 San Pablo NE, Albuquerque, NM 87108
Charles Bennett, La Mesa Community Improvement Assoc., 600 San Pablo NE, Albuquerque, NM 87108
Joanne Landry, Trumbull Village Association, 7501 Trumbull SE, Albuquerque, NM 87108
Valarie Gutierrez, Trumbull Village Association, 627 Chana St. SE, #4, Albuquerque, NM 87108
Roger Flegel, District 6 Coalition, 605 Valencia NE, Albuquerque, NM 87108

Untitled Map

Write a description for your map.

Legend

-  Daniel Webster Park
-  Daniel Webster Park

Officer Daniel Webster
Children's Park
400 Wyoming Blvd NE

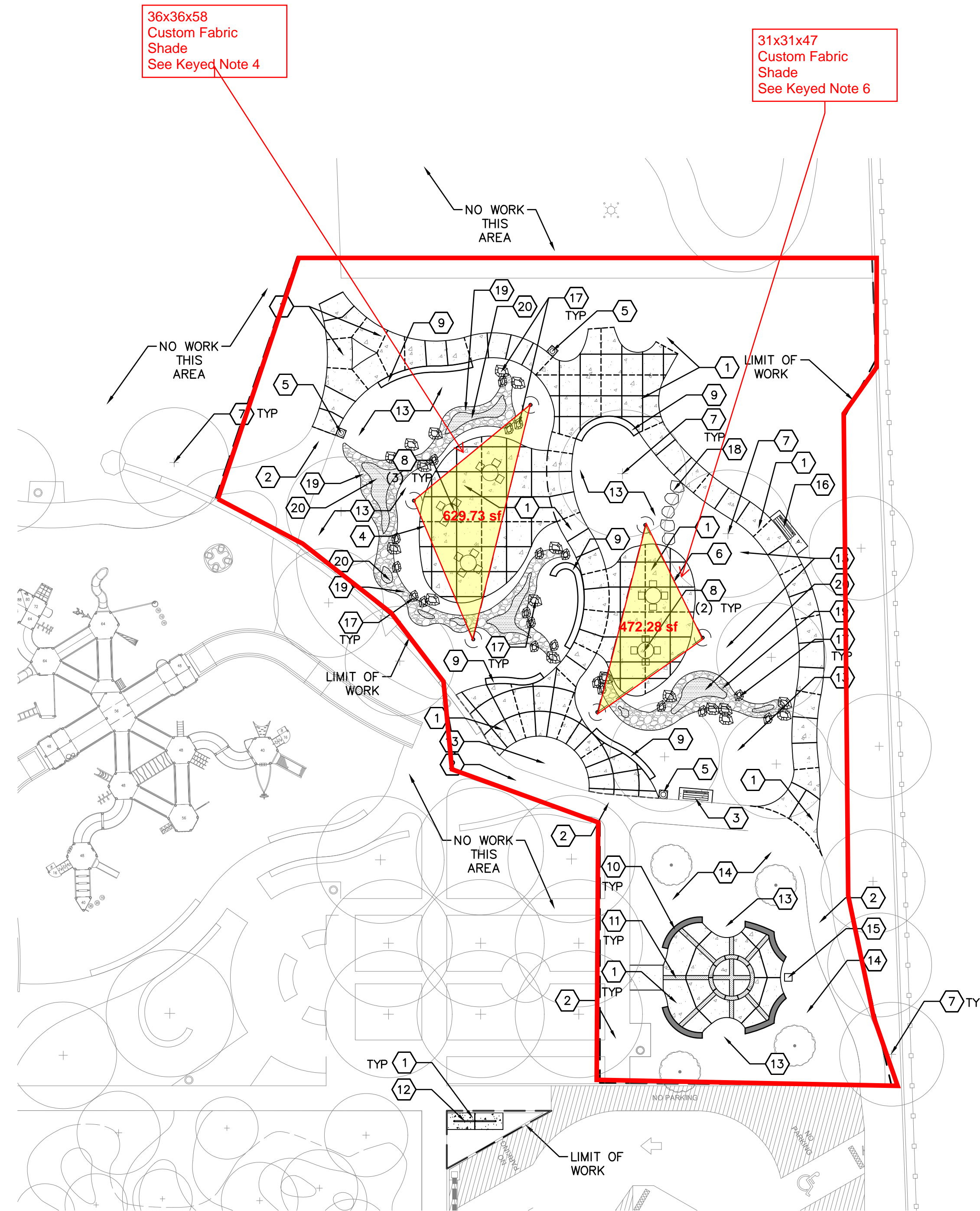
Work Area

Daniel Webster Park

Daniel Webster Park



NOTE: The Parks and Recreation Department (PRD) disposes of all refuse at all PRD properties (Zoned NR-PO-A). Existing and to remain.



2 CONSTRUCTION PLAN
SCALE: 1"=20'-0"

CONSTRUCTION KEYED NOTES

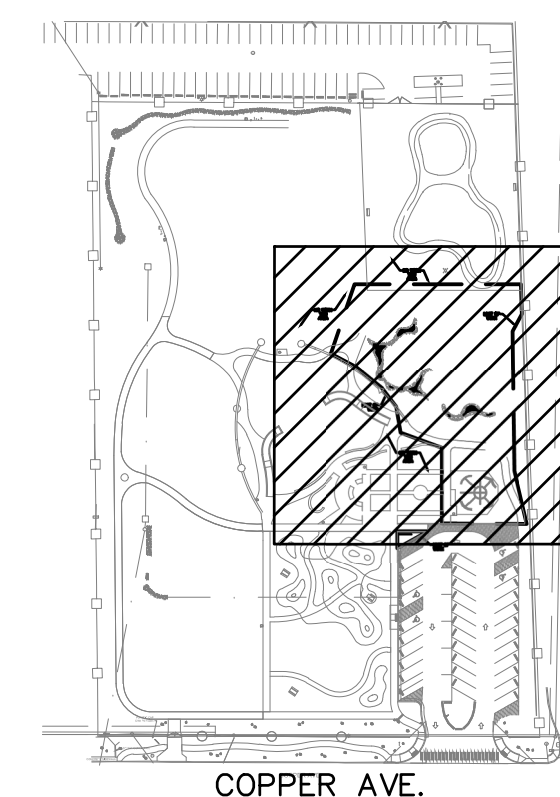
1. CONSTRUCT STANDARD GRAY CONCRETE WALK PER COA STD. DWG. 2720. SEE CONSTRUCTION GENERAL NOTE A AND E.
2. EXISTING CONCRETE PAVING TO REMAIN.
3. FURNISH AND INSTALL 6" BENCH, DUMOR MODEL 58 AS AVAILABLE FROM EXERPLAY (505) 457-5444. LOCATION SHOWN APPROXIMATE, CONFIRM LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. SURFACE MOUNT OVER 3" X 8" X 4" CONCRETE PAD.
4. FURNISH AND INSTALL 36"X36"X58" CUSTOM FABRIC SHADE STRUCTURE AS AVAILABLE FROM PLAY (505) 321-0453. CONTRACTOR SHALL PROVIDE ENGINEER'S DRAWINGS INCLUDING ALL FOOTINGS, ANCHORS, MATERIALS, AND CONNECTIONS. CONTRACTOR SHALL INSTALL STRUCTURE PER ALL MANUFACTURER'S SPECIFICATIONS.
5. FURNISH AND INSTALL BENCH OVER SEAT WALL PER DETAILS 1/LS501 AND 2/LS501. APPROVED EQUAL COLOR OR OPEN SURFACE MOUNT OVER 3" X 8" X 4" CONCRETE PAD.
6. FURNISH AND INSTALL 31"X31"X47" CUSTOM FABRIC SHADE STRUCTURE AS AVAILABLE FROM PLAY (505) 321-0453. CONTRACTOR SHALL PROVIDE ENGINEER'S DRAWINGS INCLUDING ALL FOOTINGS, ANCHORS, MATERIALS, AND CONNECTIONS. CONTRACTOR SHALL INSTALL STRUCTURE PER ALL MANUFACTURER'S SPECIFICATIONS.
7. EXISTING TREE TO REMAIN.
8. FURNISH AND INSTALL PICNIC TABLES. (4) MODEL #L1449 LATITUDE TABLE, 4 SEATS AND (1) #L1415 LATITUDE TABLE, 3 SEATS BY ANOVA. TABLE, SUPPORT, AND SEATS TO BE COLOR BLUE.
9. CONSTRUCT FREESTANDING CONCRETE SEAT WALL PER DETAILS 1/LS501 AND 2/LS501.
10. CONSTRUCT 18" WIDE FREESTANDING CONCRETE SEAT WALL WITH CHAMFER BANDS PER DETAILS 3/LS501 AND 4/LS501.
11. CONSTRUCT 12" WIDE CONCRETE ACCENT BAND WITH INTEGRAL COLOR PER COA STD. DWG. 2720. SEE CONSTRUCTION GENERAL NOTES A AND E. COLOR SHALL BE GRAPHITE (CARBON) #8084 BY DAVIS COLORS, OR APPROVED EQUAL. COLORING POWDER APPLICATION RATE SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.
12. RE-INSTALL DUMOR MODEL 125-30, BIKE RACK WITH POWDER COAT. EMBEDMENT MOUNT PER MANUFACTURER'S SPECIFICATIONS.
13. LANDSCAPE AREA - SEE PLANTING PLAN.
14. EXISTING LANDSCAPE TO REMAIN.
15. EXISTING MEMORIAL MONUMENT TO REMAIN.
16. INSTALL STOCKPILED BENCH. SURFACE MOUNT OVER 3" X 8" X 4" CONCRETE PAD.
17. FURNISH AND INSTALL 18-27 C.F. SILVER MIST BOULDER TO MIN. DEPTH 8" OVER COMPACTED SUBGRADE.
18. FURNISH AND INSTALL FLAGSTONE PATH.
19. FURNISH AND INSTALL AT 4" DEPTH PLATED BLUE STRIPE SILVER MIST. AS AVAILABLE FROM NEW MEXICO TRAVERTINE (505) 864-6300, OR APPROVED EQUAL. FILL VOIDS BETWEEN PLATED COBBLE WITH 1" MINUS SILVER MIST GRAVEL/CRUSHER FINES. SEE KEYED NOTE 2 ON SHEET LP101.
20. FURNISH AND INSTALL "COYOTE MIST" CRUSHER FINES, AS AVAILABLE FROM JPR GRAVEL, INC. (505) 503-7766, OR APPROVED EQUAL. INSTALL TO A 4" DEPTH. SEE KEYED NOTE 2 ON SHEET LP101.

CONSTRUCTION GENERAL NOTES

- A. CONTROL JOINTS IN CONCRETE SURFACES SHALL BE LOCATED NO MORE THAN 6' APART OR AS SHOWN ON PLAN. EXPANSION JOINTS SHALL BE LOCATED NO MORE THAN 20' APART. EXPANSION JOINTS SHALL BE INSTALLED WHEREVER CONCRETE PAVING ABUTS WALLS, CURBS, EXISTING PAVING, OR OTHER HARD SURFACES.
- B. ALL VERTICAL CONCRETE WORK SHALL CONFORM TO C.O.A. STANDARD SPECIFICATION SECTION 510.
- C. WHERE VERTICAL CONCRETE ELEMENTS (KEYED NOTES 2, 5, AND 21) ARE SHOWN ADJOINING EACH OTHER, REBAR SHALL BE CONTINUOUS BETWEEN THESE ELEMENTS.
- D. CONCRETE PAVING JOINT PATTERN IS CRITICAL TO DESIGN. REVIEW LAYOUT WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

HATCH LEGEND

- 4" THICK CONCRETE - SEE KEYED NOTE 1.
- 12" WIDE COLORED CONCRETE BAND - SEE KEYED NOTE 11.
- 18" WIDE FREESTANDING SEATWALL - SEE KEYED NOTE 10.
- PLATED BLUE STRIPE SILVER MIST - SEE KEYED NOTE 19.
- CRUSHER FINES - SEE KEYED NOTE 20.
- LIMIT OF WORK



1 KEY PLAN
SCALE: NTS

MRWM
LANDSCAPE ARCHITECTS
mrwmla.com 505 268 2266

CITY OF ALBUQUERQUE
STRATEGIC PLANNING AND DESIGN
PARKS AND RECREATION DEPARTMENT

OFFICER DANIEL WEBSTER CHILDREN'S PARK, PHASE 3

LS101 - CONSTRUCTION PLAN

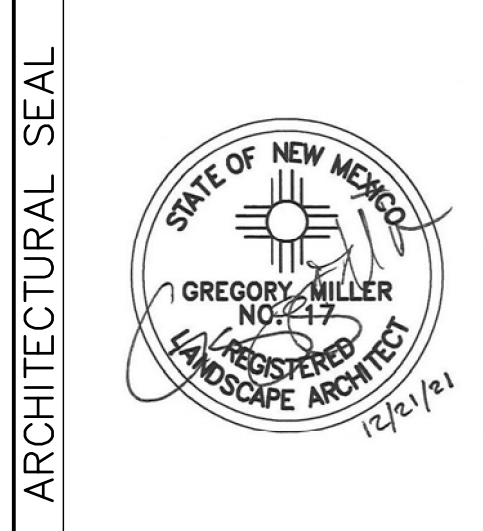
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. XXXXXX	Zone Map No. K-20	Sheet LS101
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AS-BUILT INFORMATION	
CONTRACTOR	
WORK BY	
INSPECTOR'S ACCEPTANCE BY	
DESIGNATION BY	
DRAWINGS CORRECTED BY	
MICRO-FILM INFORMATION	
RECORDED BY	
NO.	

BENCH MARKS	

SURVEY INFORMATION	
FIELD NOTES	
NO.	
BY	
DATE	



REVISIONS	
NO.	
DATE	
REMARKS	

100% CONSTRUCTION DOCUMENTS
 DATE: DECEMBER 21, 2021
 OFFICER DANIEL WEBSTER
 CHILDREN'S PARK, PHASE 3
 PROJECT#: XXXXXX
 RECORD DRAWINGS
 DATE:



Test Report No. 20220714-01 Date: December 08, 2022

Sample Description: Alkal Earth/Brick Cells
Fiber Material Content: High Density Polyethylene

Flame Propagation of Textiles and Films
NFPA 701 Test Method 2 (Flat Specimens) - 2010 Edition

Run	Dimensions (inches)	Char Length (inches)	Average Flame Retardance (s)	Flaming Residue (s)
1	5x47	9.0	0.0	0.0
2	5x47	10.0	0.0	0.0
3	5x47	8.0	0.0	0.0
4	5x47	9.1	0.0	0.0
5	5x47	9.4	0.0	0.0
6	5x47	8.4	0.0	0.0
7	5x47	8.6	0.0	0.0
8	5x47	10.1	0.0	0.0
9	5x47	8.8	0.0	0.0
10	5x47	8.4	0.0	0.0

Observations: Slight charring, shrinking.

Requirements: A material tested in single sheets shall not continue flaming... removed from contact with the specimen. The char length is the length of the specimen that remains after flaming has ceased for 10 seconds.

Remarks: The char length meets the requirements of NFPA 701 Test Method 2 (Flat Specimens) - 2010 Edition, when tested in its original state.

Submittals: The submittal sample meets the requirements of NFPA 701 Test Method 2 (Flat Specimens) - 2010 Edition, when tested in its original state.

SGS logo and signature of Doug S. Kalkbrenner, Manager - Textile Laboratory

DESIGN CRITERIA

2015 INTERNATIONAL BUILDING CODE

RISK CATEGORY: II

DEAD LOAD: FABRIC: 0.50 PSF

SNOW LOAD: GROUND SNOW LOAD: 10 PSF

ROOF SNOW LOAD: 5 PSF (SEE OWNER'S NOTES)

SNOW EXPOSURE FACTOR: 1.0

SNOW LOAD IMPORTANCE FACTOR: 1.0

THERMAL FACTOR: 1.2

LIVE LOAD: ROOF LIVE LOAD: 5 PSF

WIND LOAD: ULTIMATE DESIGN WIND SPEED: 115 MPH

NOMINAL DESIGN WIND SPEED: 90 MPH

WIND IMPORTANCE FACTOR: 1.0

WIND EXPOSURE CATEGORY: C

WIND ENCLOSURE TYPE: OPEN

GUST EFFECT FACTOR: 0.85

SEISMIC DESIGN: SEISMIC LOAD DOES NOT CONTROL THE DESIGN BASED ON THE ASSUMPTION THAT THE FABRIC HAS NEGLIGIBLE MASS

OWNER NOTES

1. FABRIC MEMBRANE(S) MUST BE REMOVED IF LIVE LOAD/ROOF SNOW LOAD IS EXPECTED TO EXCEED 5 PSF AND/OR THE WIND SPEED IS EXPECTED TO EXCEED A NOMINAL DESIGN WIND SPEED OF 90 MPH OR 75 MPH SUSTAINED WIND LOAD TO PREVENT DAMAGE.

2. THE OWNER ACCEPTS FULL RESPONSIBILITY OF REMOVING THE FABRIC FROM THE STEEL FRAME WHEN ANY OR ALL OF THESE CONDITIONS MAY OCCUR.

3. THE STEEL STRUCTURE WITH THE FABRIC REMOVED, WAS DESIGNED TO WITHSTAND DEAD LOADS, ROOF LIVE LOADS, SNOW LOADS AND WIND SPEEDS AS SPECIFIED ABOVE PER THE LOCAL CODE REQUIREMENTS. IF THE ABOVE LOADS ARE EXCEEDED OR ADDITIONAL LOADS ARE INDUCED STRUCTURAL FAILURE MAY OCCUR. THE OWNER IS RESPONSIBLE FOR AND ACCEPTS FULL LIABILITY FOR ANY ISSUES CAUSED BY EXCEEDING THE DESIGN CRITERIA LOADS.

GENERAL NOTES

1. FABRIC MEETS NFPA 701-10.

2. ALL EXPOSED STEEL TO BE POWDER COATED.

FOUNDATION DESIGN

MINIMUM CONCRETE COMPRESSIVE STRENGTH AFTER 28 DAYS: 3,000 PSI

STEEL REINFORCEMENT: ASTM-A615, GRADE 60

ASSUMED VERTICAL FOUNDATION PRESSURE: 1,500 PSF

ASSUMED LATERAL BEARING PRESSURE: 100 PSF/FT

THE VERTICAL AND LATERAL BEARING PRESSURE VALUES WERE CONSIDERED PER CONDITIONS OF CURRENT BUILDING CODE.

FOUNDATION NOTES:

1. THE FOUNDATION DESIGN IS BASED ON TABLE 1804.2 OF THE INTERNATIONAL BUILDING CODE, CLASS 5 SOIL MATERIAL. IF DIFFERENT SOIL CONDITIONS ARE ENCOUNTERED, IT IS RECOMMENDED THAT A SITE SPECIFIC GEOTECHNICAL REPORT IS CONDUCTED TO DETERMINE THE LOAD BEARING VALUES OF THE SOIL. OWNER / CONTRACTOR ASSUME FULL LIABILITY IF NO GEOTECHNICAL INVESTIGATIONS ARE CONDUCTED.

2. IF THE FOOTING DEPTH DOES NOT MEET LOCAL FROST REQUIREMENTS, FOOTINGS SHALL BE RE-DESIGNED UNDER THE DIRECTION OF AN ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCAL FROST DEPTH.

MATERIALS

1. ALL MATERIALS LISTED BELOW MAY NOT BE SPECIFIC TO THIS PROJECT.

MEMBER TYPE	ASTM	MIN. YIELD STRENGTH
W SHAPES	A992	50 KSI
RECTANGULAR HSS TUBES	A500(GRADE B)	46 KSI
SQUARE HSS TUBES	A500(GRADE B)	46 KSI
ROUND HSS TUBES	A500(GRADE B)	42 KSI
SCHEDULE PIPE	A500(GRADE B&C)	50 KSI
ROUND MECHANICAL TUBING	A519	45 KSI
MISCELLANEOUS PLATES/SHAPES	A36	36 KSI
CONNECTION BOLTS	SAE J429(GRADE 5)	92 KSI
HEADED ANCHOR BOLTS	F1554	36 KSI
HOOKED ANCHOR BOLTS	A307	36 KSI

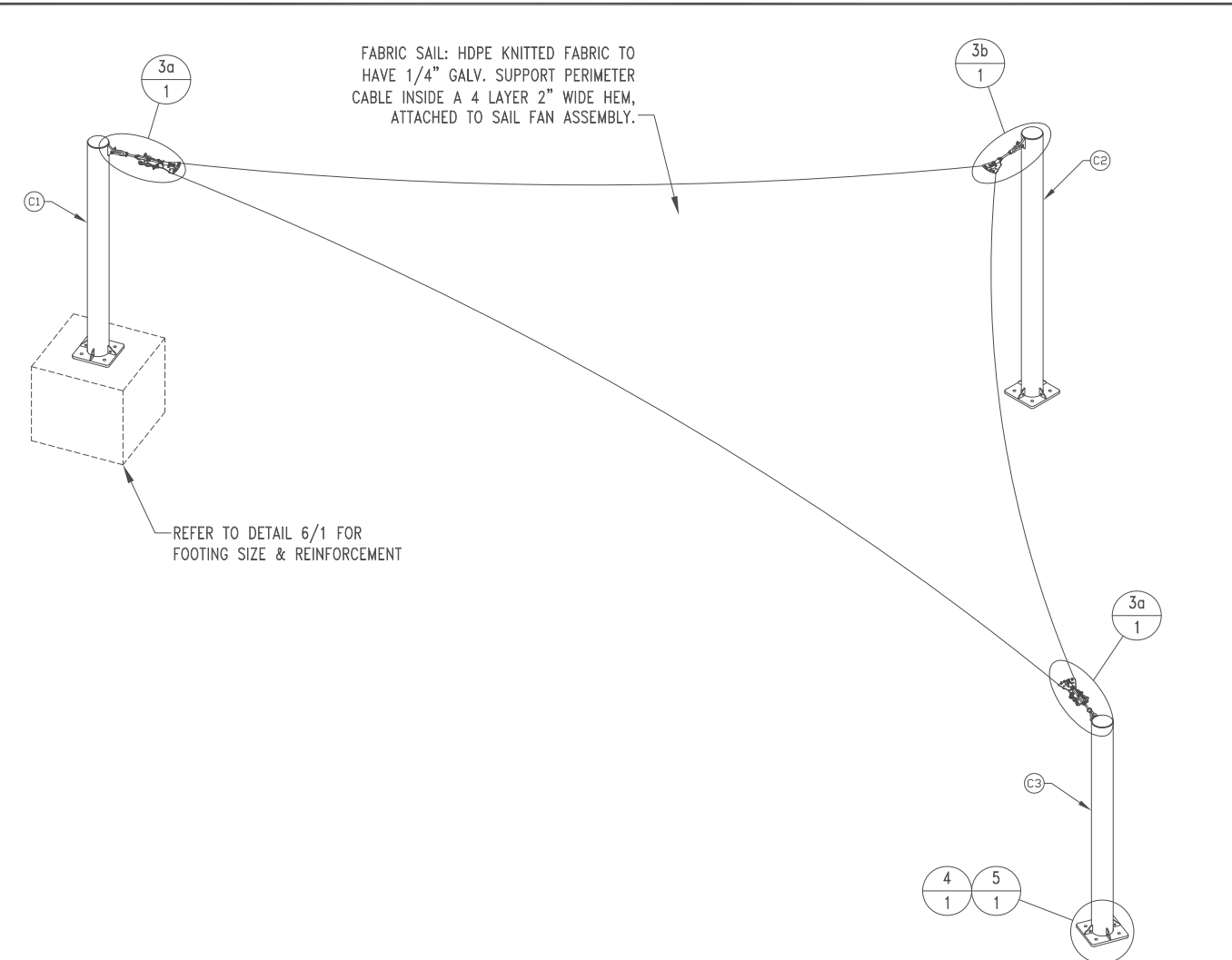
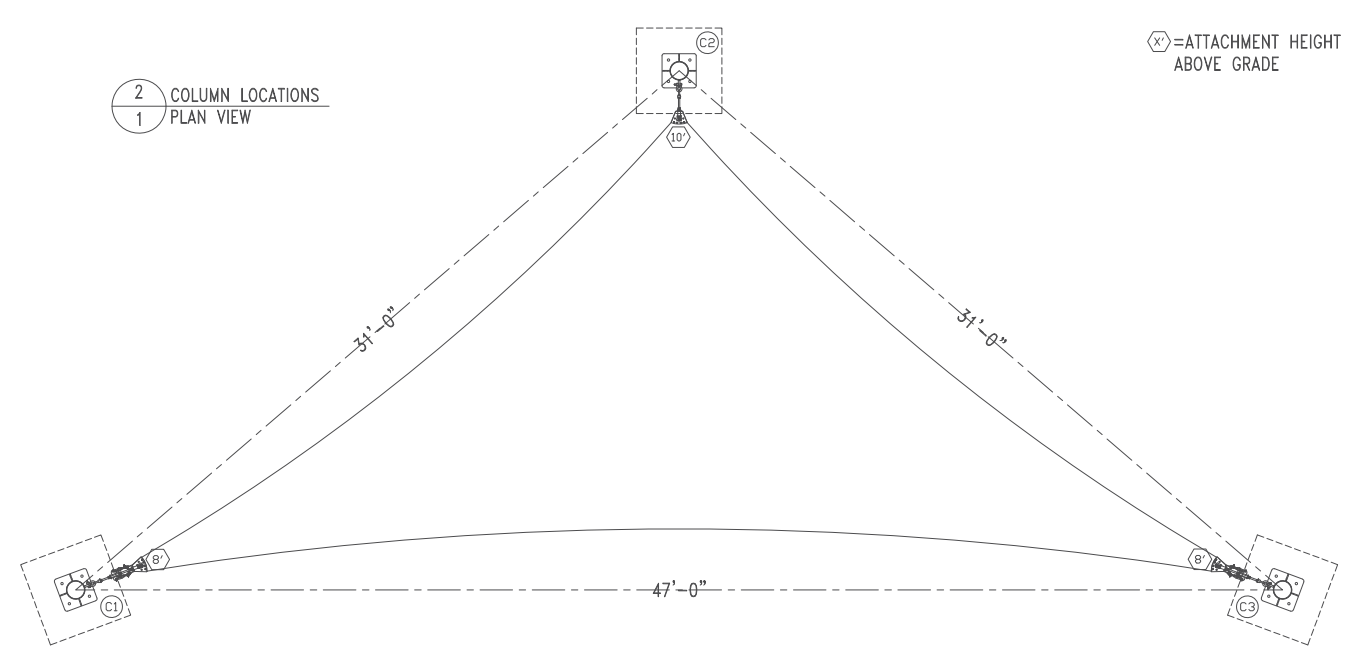
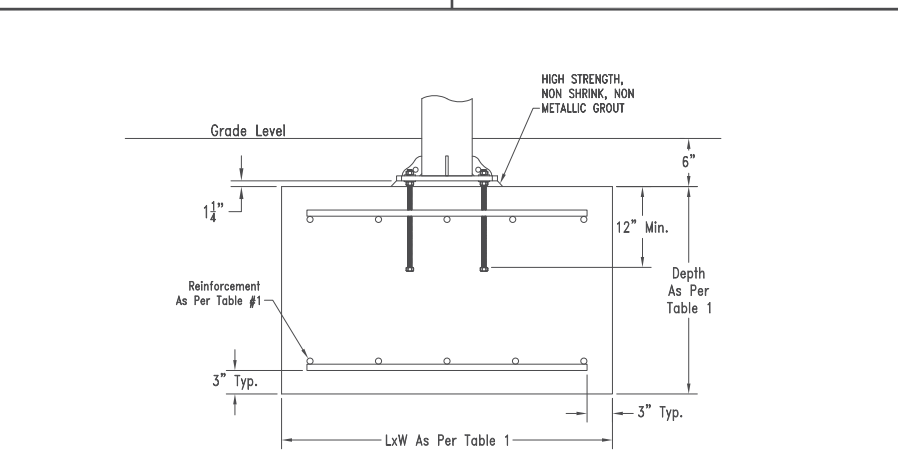
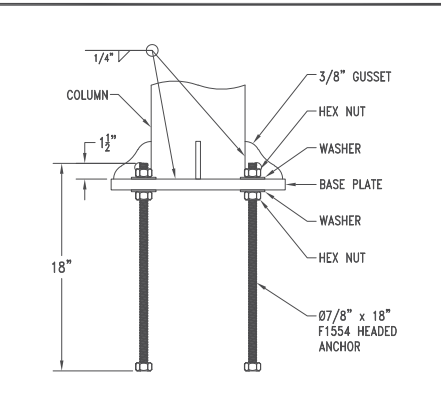
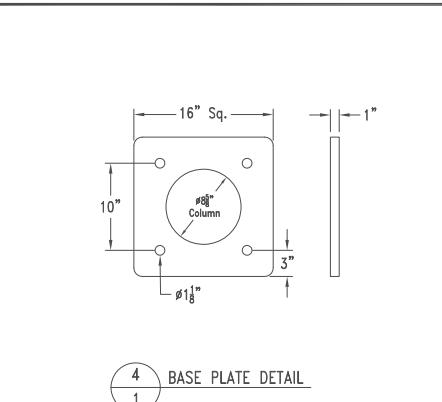
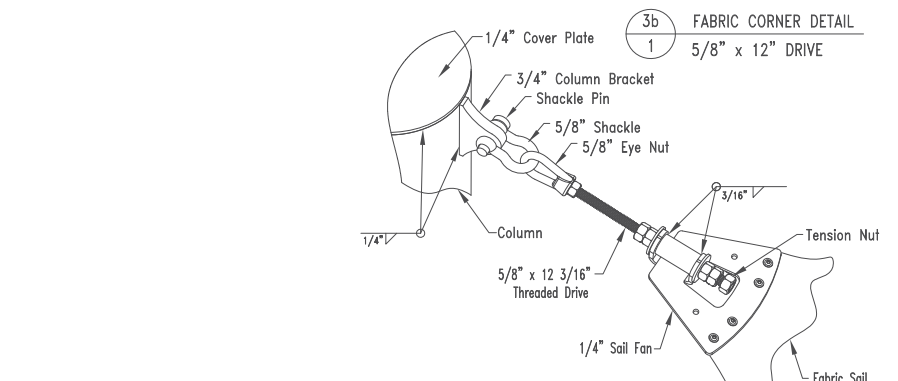
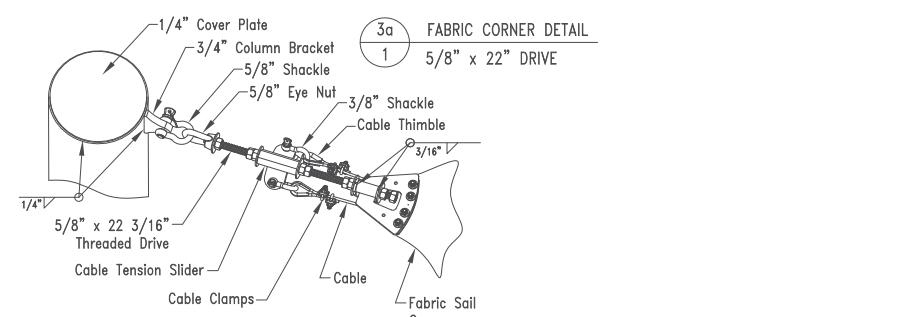
3/16" GALVANIZED AIRCRAFT CABLE SHALL HAVE A NOMINAL STRENGTH OF 4,200 LBS.

1/4" GALVANIZED AIRCRAFT CABLE SHALL HAVE A NOMINAL STRENGTH OF 7,000 LBS.

5/16" GALVANIZED AIRCRAFT CABLE SHALL HAVE A NOMINAL STRENGTH OF 9,800 LBS.

TABLE 1

STRUCTURE STYLE	COLUMN HEIGHT ABOVE GRADE	COLUMN SIZE	FOOTING SIZE	FOOTING REINFORCEMENT
TRIANGULAR	C1 = 8'	8.0" ID Sch-40	5.0'x5.0'x3.0'	(5)#6 EW, TOP & BOT.
SAIL	C2 = 10'	8.0" ID Sch-40	5.0'x5.0'x3.0'	(5)#6 EW, TOP & BOT.
	C3 = 8'	8.0" ID Sch-40	5.0'x5.0'x3.0'	(5)#6 EW, TOP & BOT.



(X) = ATTACHMENT HEIGHT ABOVE GRADE



SUPERIOR SHADE
150 Adamson Industrial Blvd.
Carrollton, GA 30117

STATE OF NEW MEXICO
DANIEL WEBSTER PARK
19 GENERAL VANDENBURG ST
ALBUQUERQUE, NM 87123

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Revisions:	
Date:	By:

Drawn: K. MADDEN
Date: 3/25/2022

Chkd: _____
Date: _____

#233259B

SEAL: THOMAS R. SADLER
NEW MEXICO REGISTERED PROFESSIONAL ENGINEER
13371
Digitally signed by Thomas R. Sadler
Date: 2022.04.01 07:42:31 -05'00'

1
Sheet No.



Test Report No. 20220714-01 Date: December 08, 2022

Sample Description: Algal Enclosed Shade Cloth
Fiber Material Content: High Density Polyethylene

Flame Propagation of Textiles and Films
NFPA 701 Test Method 2 (Flat Specimens) - 2010 Edition

Specimen	Dimensions (inches)	Char Length (inches)	After Flame (seconds/maximum)	Flaming Residue (seconds/maximum)
1	5x47	9.0	0.0	0.0
2	5x47	10.0	0.0	0.0
3	5x47	8.0	0.0	0.0
4	5x47	9.1	0.0	0.0
5	5x47	9.4	0.0	0.0
6	5x47	8.4	0.0	0.0
7	5x47	8.6	0.0	0.0
8	5x47	10.1	0.0	0.0
9	5x47	8.8	0.0	0.0
10	5x47	8.4	0.0	0.0

Observations: Slight charring, shrinking.

Requirements: A material tested in single sheets shall not continue flaming... removed from contact with the specimen. The char length is the length of the specimen that has melted or charred... Portions or residues of material being tested that burn or char from the specimen shall not continue to flame for more than 2 seconds after reaching the floor of the test apparatus.

Remarks: The submitted sample meets the requirements of NFPA 701 Test Method 2 (Flat Specimens) - 2010 Edition, when tested in its original state.

Submittals and Testing: Applied to the specifications of NFPA 701 Test Method 2 (Flat Specimens) - 2010 Edition, when tested in its original state.

Signature of Test Engineer: [Signature]

Signature of Project Manager: [Signature]

Signature of Supervisor: [Signature]

Signature of Manager: [Signature]

Signature of Director: [Signature]

Signature of President: [Signature]

DESIGN CRITERIA

2015 INTERNATIONAL BUILDING CODE

RISK CATEGORY: II

DEAD LOAD: FABRIC: 0.50 PSF

SNOW LOAD: GROUND SNOW LOAD: 10 PSF

ROOF SNOW LOAD: 5 PSF (SEE OWNER'S NOTES)

SNOW EXPOSURE FACTOR: 1.0

SNOW LOAD IMPORTANCE FACTOR: 1.0

THERMAL FACTOR: 1.2

LIVE LOAD: ROOF LIVE LOAD: 5 PSF

WIND LOAD: ULTIMATE DESIGN WIND SPEED: 115 MPH

NOMINAL DESIGN WIND SPEED: 90 MPH

WIND IMPORTANCE FACTOR: 1.0

WIND EXPOSURE CATEGORY: C

WIND ENCLOSURE TYPE: OPEN

GUST EFFECT FACTOR: 0.85

SEISMIC DESIGN: SEISMIC LOAD DOES NOT CONTROL THE DESIGN BASED ON THE ASSUMPTION THAT THE FABRIC HAS NEGLIGIBLE MASS

OWNER NOTES

- FABRIC MEMBRANE(S) MUST BE REMOVED IF LIVE LOAD/ROOF SNOW LOAD IS EXPECTED TO EXCEED 5 PSF AND/OR THE WIND SPEED IS EXPECTED TO EXCEED A NOMINAL DESIGN WIND SPEED OF 90 MPH OR 75 MPH SUSTAINED WIND LOAD TO PREVENT DAMAGE.
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GENERAL NOTES

- FABRIC MEETS NFPA 701-10.
- ALL EXPOSED STEEL TO BE POWDER COATED.

FOUNDATION DESIGN

MINIMUM CONCRETE COMPRESSIVE STRENGTH AFTER 28 DAYS: 3,000 PSI
 STEEL REINFORCEMENT: ASTM-A615, GRADE 60
 ASSUMED VERTICAL FOUNDATION PRESSURE: 1,500 PSF
 ASSUMED LATERAL BEARING PRESSURE: 100 PSF/FF
 THE VERTICAL AND LATERAL BEARING PRESSURE VALUES WERE CONSIDERED PER CONDITIONS OF CURRENT BUILDING CODE.

FOUNDATION NOTES

- THE FOUNDATION DESIGN IS BASED ON TABLE 1806.2 OF THE INTERNATIONAL BUILDING CODE, CLASS 5 SOIL MATERIAL. IF DIFFERENT SOIL CONDITIONS ARE ENCOUNTERED, IT IS RECOMMENDED THAT A SITE SPECIFIC GEOTECHNICAL REPORT IS CONDUCTED TO DETERMINE THE LOAD BEARING VALUES OF THE SOIL. OWNER / CONTRACTOR ASSUME FULL LIABILITY IF NO GEOTECHNICAL INVESTIGATIONS ARE CONDUCTED.
- IF THE FOOTING DEPTH DOES NOT MEET LOCAL FROST REQUIREMENTS, FOOTINGS SHALL BE RE-DESIGNED UNDER THE DIRECTION OF AN ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCAL FROST DEPTH.

MATERIALS

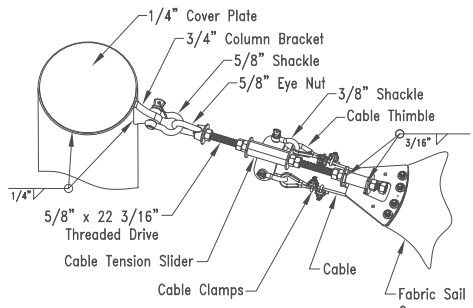
- ALL MATERIALS LISTED BELOW MAY NOT BE SPECIFIC TO THIS PROJECT.

MEMBER TYPE	ASTM	MIN. YIELD STRENGTH
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RECTANGULAR HSS TUBES	A500(GRADE B)	46 KSI
SQUARE HSS TUBES	A500(GRADE B)	46 KSI
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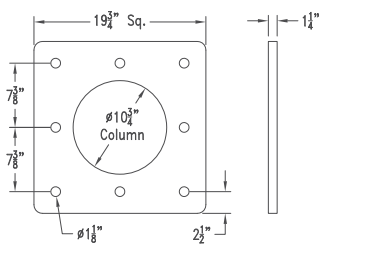
3/16" GALVANIZED AIRCRAFT CABLE SHALL HAVE A NOMINAL STRENGTH OF 4,200 LBS.
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TABLE 1

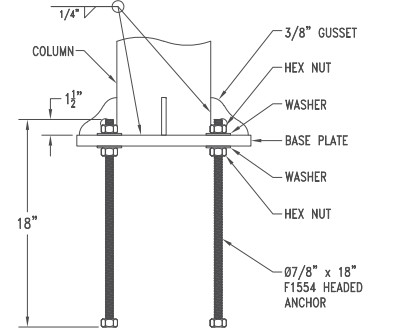
STRUCTURE STYLE	COLUMN HEIGHT ABOVE GRADE	COLUMN SIZE	FOOTING SIZE	FOOTING REINFORCEMENT
TRIANGULAR SAIL	C1 = 12'	10.0" ID Sch-40	6.0'x6.0'x3.0'	(6)#6 EW, TOP & BOT.
	C2 = 8'	8.0" ID Sch-40	4.5'x4.5'x3.0'	(5)#6 EW, TOP & BOT.
	C3 = 12'	10.0" ID Sch-40	6.0'x6.0'x3.0'	(6)#6 EW, TOP & BOT.



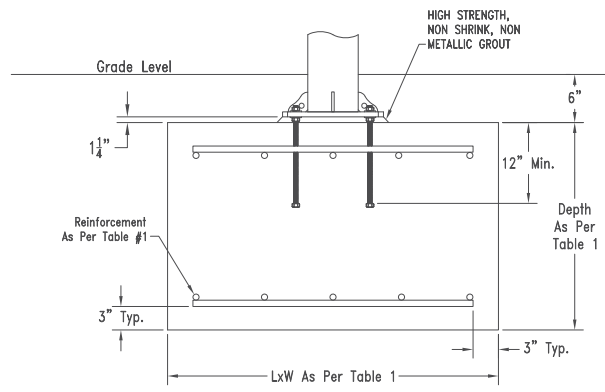
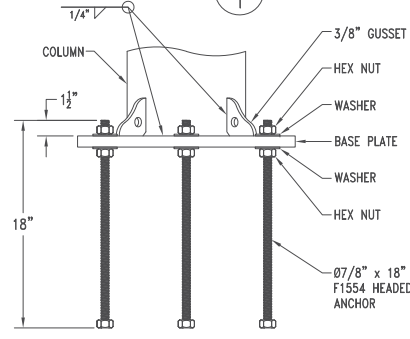
3 FABRIC CORNER DETAIL
1 5/8" x 22" DRIVE



4 BASE PLATE DETAIL

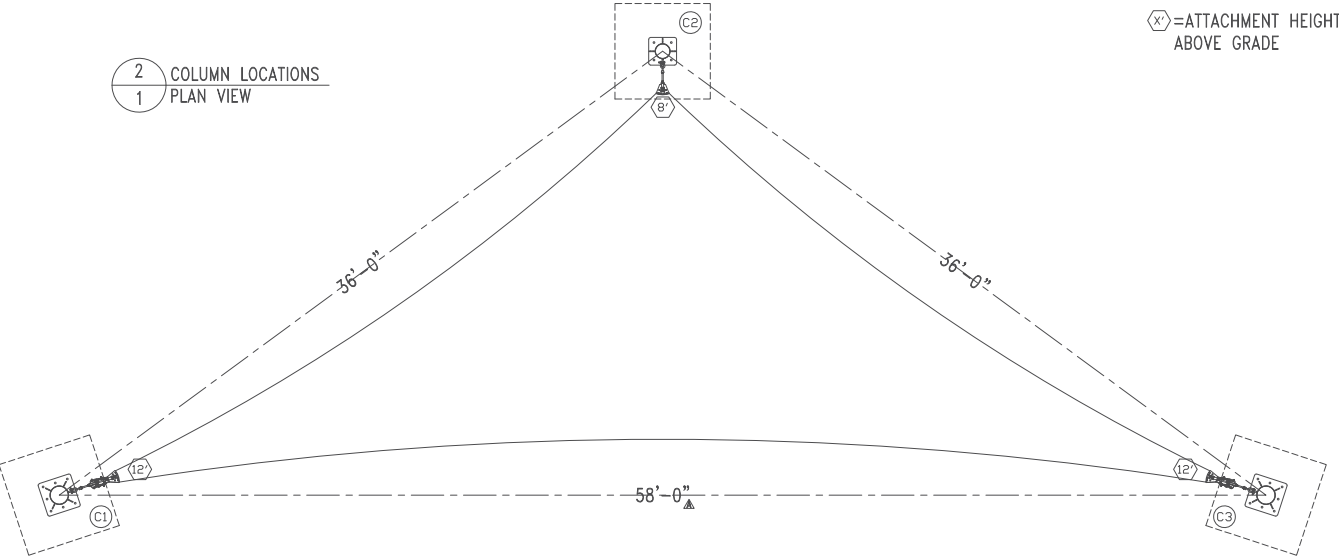


5 ANCHOR DETAIL
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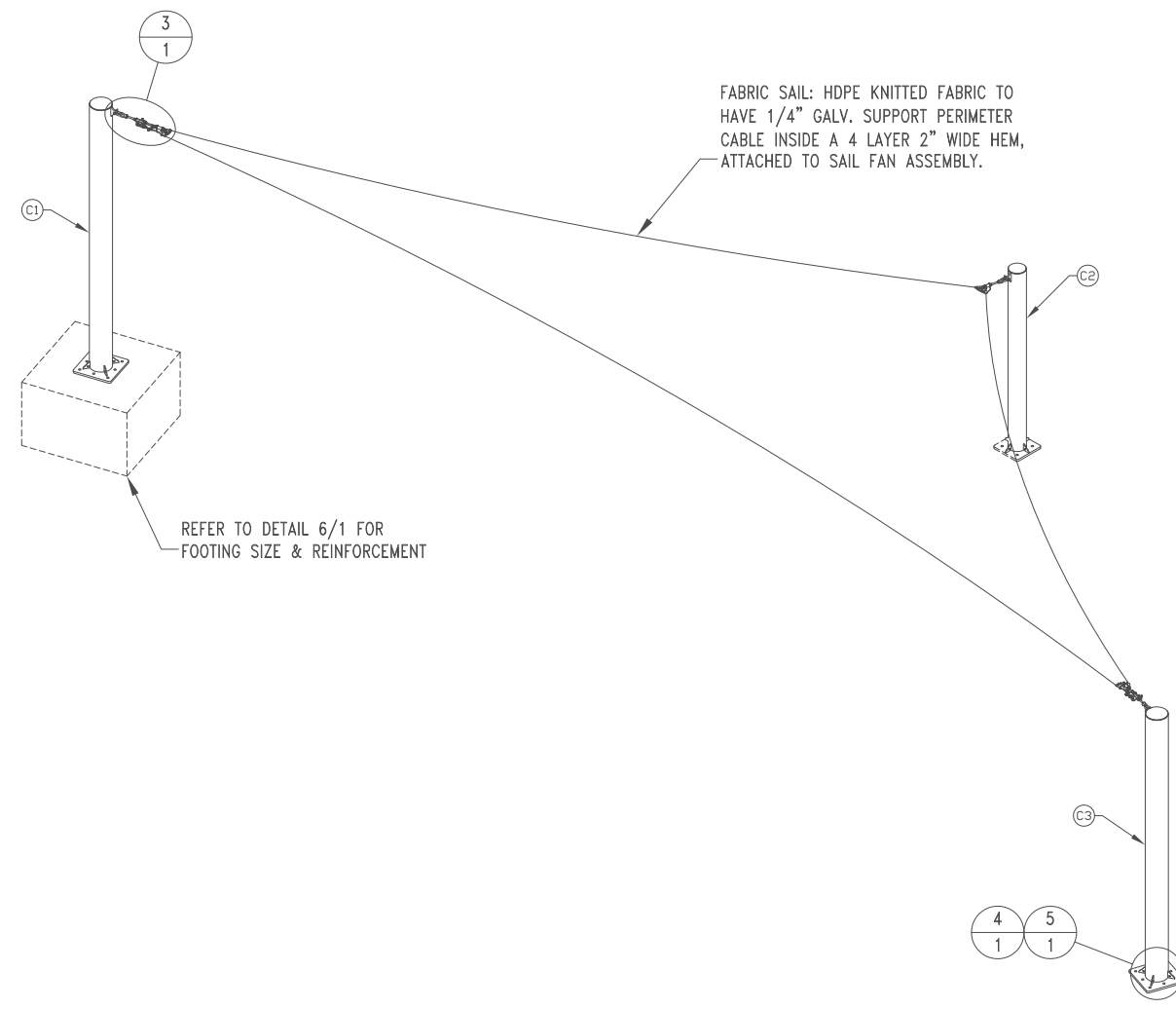
6 FOOTING DETAIL
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2 COLUMN LOCATIONS PLAN VIEW
1



(X) = ATTACHMENT HEIGHT ABOVE GRADE

3
1



FABRIC SAIL: HDPE KNITTED FABRIC TO HAVE 1/4" GALV. SUPPORT PERIMETER CABLE INSIDE A 4 LAYER 2" WIDE HEM, ATTACHED TO SAIL FAN ASSEMBLY.

REFER TO DETAIL 6/1 FOR FOOTING SIZE & REINFORCEMENT

1 HYPERBOLIC SAIL SHADE
1



SUPERIOR SHADE
150 Adamson Industrial Blvd.
Carrollton, GA 30117

STATE OF NEW MEXICO
DANIEL WEBSTER PARK
19 GENERAL VANDENBURG ST
ALBUQUERQUE, NM 87123

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Revisions:	
Date:	By:
5/9/2022	TKM

Drawn: K. MADDEN
Date: 3/25/2022

Chkd:
Date:

#233259A

SEAL:

 Digitally signed by Thomas R. Sadler
 Date: 2022.05.09 09:10:00 -05'00'

1
Sheet No.