

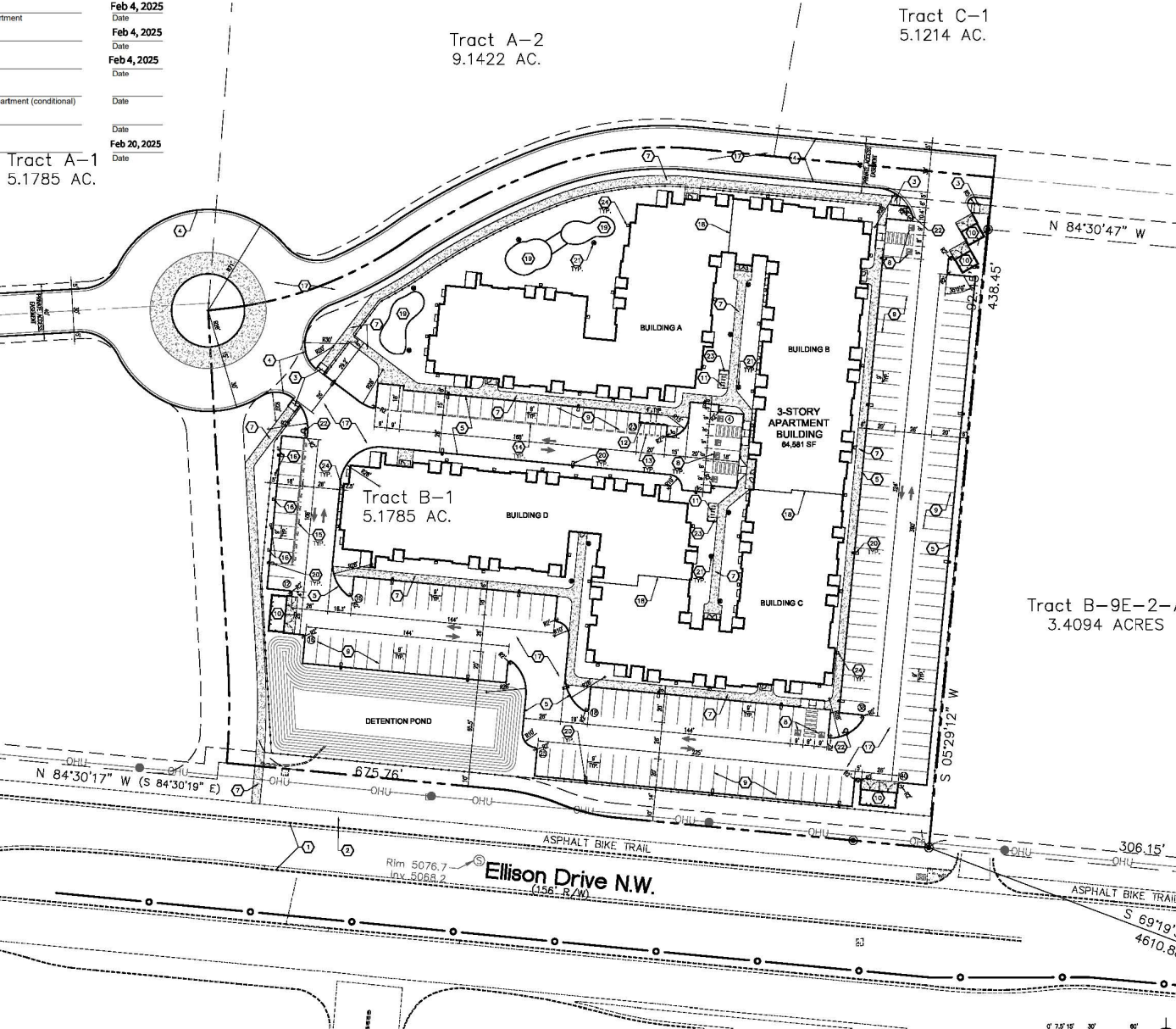
PROJECT NUMBER: PR-2023-007518

Application Number: SI-2024-01671

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Consult: Designer
Traffic Engineering, Transportation Division
Date: Feb 4, 2025
ABCWUA
Date: May 9, 2025
City Public
Date: Feb 4, 2025
Parks and Recreation Department
Date: Feb 4, 2025
Hydrology
Date: Feb 4, 2025
Code Enforcement
Date: Feb 4, 2025
* Environmental Health Department (conditional)
Date: Feb 4, 2025
Solid Waste Management
Date: Feb 20, 2025
Planning Department
Date: Feb 20, 2025



1 ARCHITECTURAL SITE PLAN
SCALE 1" = 30'

VICINITY MAP

SITE DATA:

PROJECT ADDRESS: CIBOLA LOOP NW & ELLISON RD. NW

LEGAL DESCRIPTION: TRACT B-1, CIBOLA LOOP SUBDIVISION

PROPERTY SIZE: 5.1785 ACRES

CURRENT ZONING: R-ME

PROPOSED USE: MULTI-FAMILY RESIDENTIAL

TOTAL BUILDING FOOTPRINT: 64,581 SF

TOTAL BUILDING AREA: 192,903 SF (3 STORIES)

GENERAL NOTES

A. "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.

PARKING REQUIREMENTS

PARKING REQUIREMENTS	EXISTING	REQUIRED	PROVIDED
171 UNIT MULTIFAMILY APARTMENTS			
12 3-BEDROOM UNITS	1.8 PER UNIT	21	21
83 2-BEDROOM UNITS	1.8 PER UNIT	149	149
66 1-BEDROOM UNITS	1.2 PER UNIT	79	79
TOTAL OFF-STREET PARKING SPACES REQUIRED		249	249
VEHICLE TRAVEL CORRIDOR REDUCTION	20% REDUCTION	100	100
ELECTRIC VEHICLE CHARGING SPACES	3% OF REQUIRED	8	8
TOTAL OFF-STREET PARKING SPACES PROVIDED		249	249
ACCESSIBLE PARKING SPACES	101-500 SPACES	8	8
MOTORCYCLE PARKING	101-500 SPACES	5	5
BICYCLE PARKING SPACES	3 OR 10% REQUIRED	10	10

* EV CHARGING SPACES COUNT AS 2 SPACES

USABLE OPEN SPACE REQUIREMENTS

(80) 1-BEDROOM UNITS X 225 SF = 14,850 SF
(83) 2-BEDROOM UNITS X 285 SF = 23,655 SF
(66) 3-BEDROOM UNITS X 330 SF = 21,780 SF
TOTAL OPEN SPACE REQUIRED = 60,285 SF

TOTAL OPEN SPACE PROVIDED = 62,000 SF

THE USABLE OPEN SPACE AREA CONSISTS OF LANDSCAPED AREAS, PEDESTRIAN WALKWAYS, PARKOUR DECKS AREAS AND APARTMENT UNIT BALCONIES. THE BUILDING PARKING, DRIVE AREAS AND THE DETENTION POND ARE EXCLUDED FROM THE CALCULATION.

KEYED NOTES

- EXISTING CONCRETE CURB & GUTTER TO REMAIN
- EXISTING ASPHALT DRIVE TO REMAIN
- NEW PARALLEL CURB RAMP FOR ADA STANDARD DECKS 24" X 24"
- NEW 4" CONCRETE CURB & GUTTER, SEE DETAIL 2/AS/01
- NEW 4" CONCRETE PARALLEL CURB, SEE DETAIL 1/AS/01
- NEW ACCESSIBLE CURB RAMP, SEE DETAIL 12/AS/01 OR 15/AS/01
- NEW CONCRETE SIDEWALK, SEE DETAIL 3/AS/01
- NEW ACCESSIBLE PARKING SPACES, SEE DETAIL 3/AS/01
- NEW 4" WIDE PAINTED STRIPING
- NEW NEWEL POSTS, SEE DETAILS ON SHEET AS/01
- NEW MOTORCYCLE PARKING SIGN, SEE DETAIL 11/AS/01
- NEW BICYCLE PARKING SIGN, SEE DETAIL 11/AS/01
- NEW MOTORCYCLE (M/C) PARKING SPACE PAVEMENT MARKING
- NEW "COMPACT CAR" PARKING SPACE PAVEMENT MARKING
- NEW EV CHARGING ONLY SPACE PAVEMENT MARKING
- NEW ELECTRIC VEHICLE CHARGING STATION, 1 STATION FOR 2 SPACES. REFER TO ELECTRICAL FOR MORE INFORMATION
- NEW ASPHALT FINISH, SEE DETAIL 15/AS/01 FOR LIGHT DUTY ASPHALT WITHIN THE PARKING DRIVE AREA AND 1/AS/01 FOR HEAVY DUTY ASPHALT WITHIN THE DRIVE LANE
- 2-HOUR FIRE SEPARATION WALL BELOW ROOF
- PROVIDE EXERCISE AREA EQUIPMENT TO BE PROVIDED BY OWNER
- NEW PARKING LOT LIGHT MOUNTED AT 16' ABOVE FINISH GROUND
- NEW POST TOP AREA LIGHT MOUNTED AT 17' ABOVE FINISH GROUND
- NEW FINISH THE SIDEWALK, REFER TO THE UTILITY PLAN FOR DETAILS
- NEW FIBERGLASS REINFORCED PLASTIC BULK LOCKER BY HANCOCK - MODEL #301
- NEW WALL MOUNTED LIGHT - MOUNT AT 10'-0" ABOVE FINISH FLOOR

GRAPHIC LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING CONCRETE CURB & GUTTER
- PROPOSED BUILDING
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED CONCRETE SIDEWALK
- PROPOSED DETENTION POND

NOT FOR CONSTRUCTION

PROJECT: CIBOLA LOOP APARTMENTS
PROJECT NUMBER: SI-2024-01671
DATE: 01/20/2025
SCALE: AS NOTED

DRAWN BY: CDC
DATE: 01/20/2025
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SCALE: AS NOTED











PR-2023-007518_SI-2024-01671_SignatureSheet

Final Audit Report

2025-05-09

Created:	2025-02-04
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAOnQa5eepXzpZeRSw1YTgUfZ8lvBQByy9

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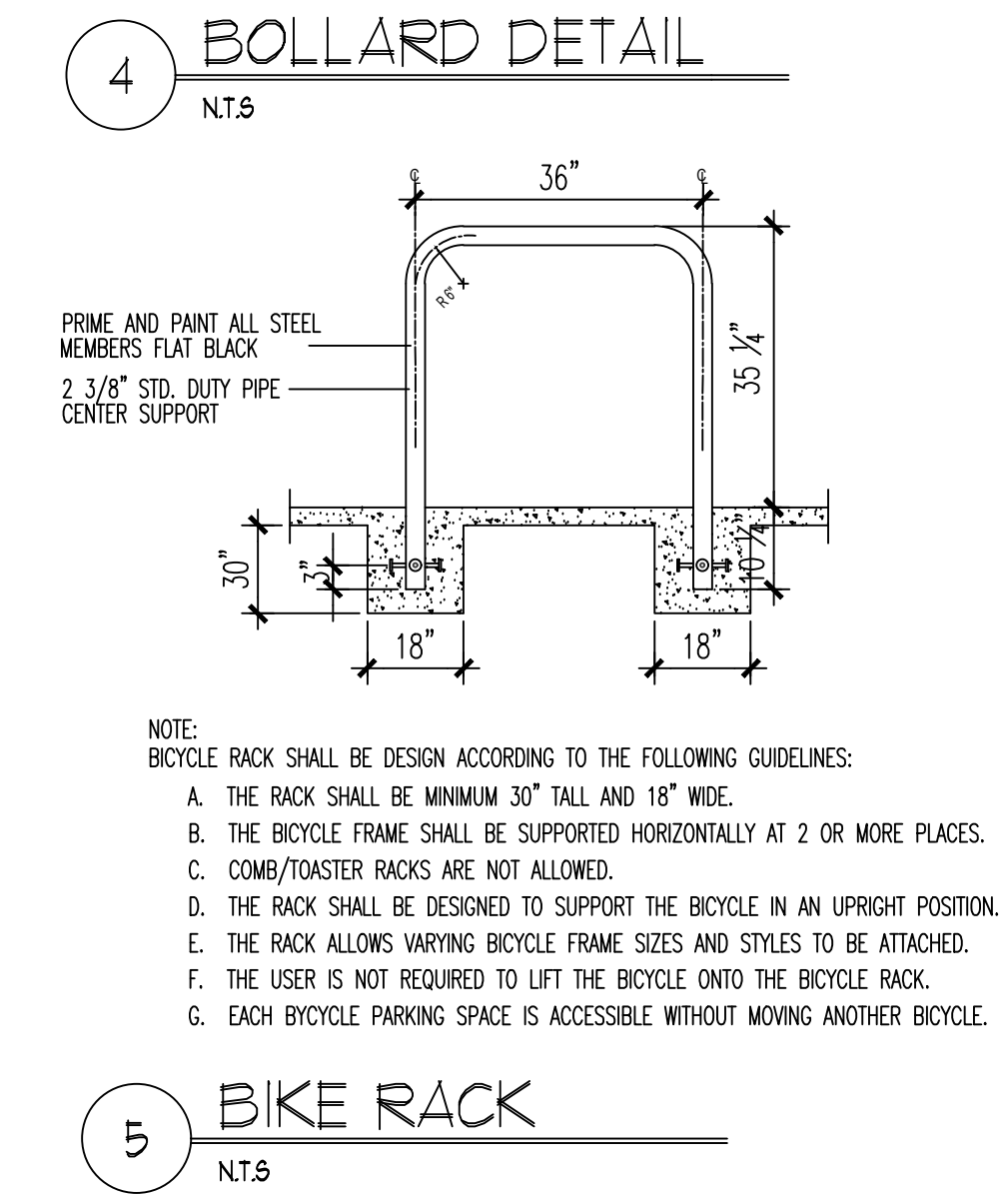
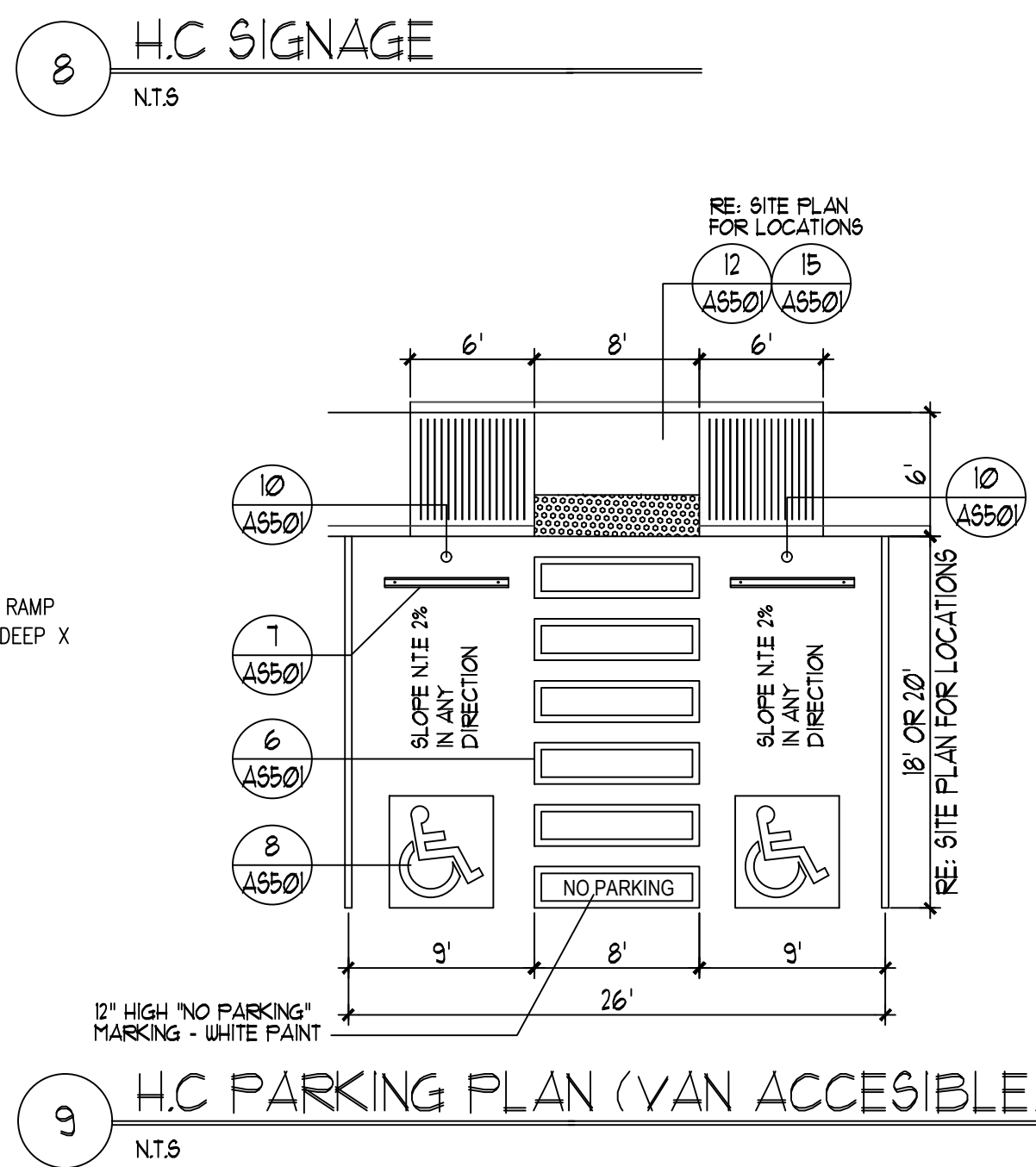
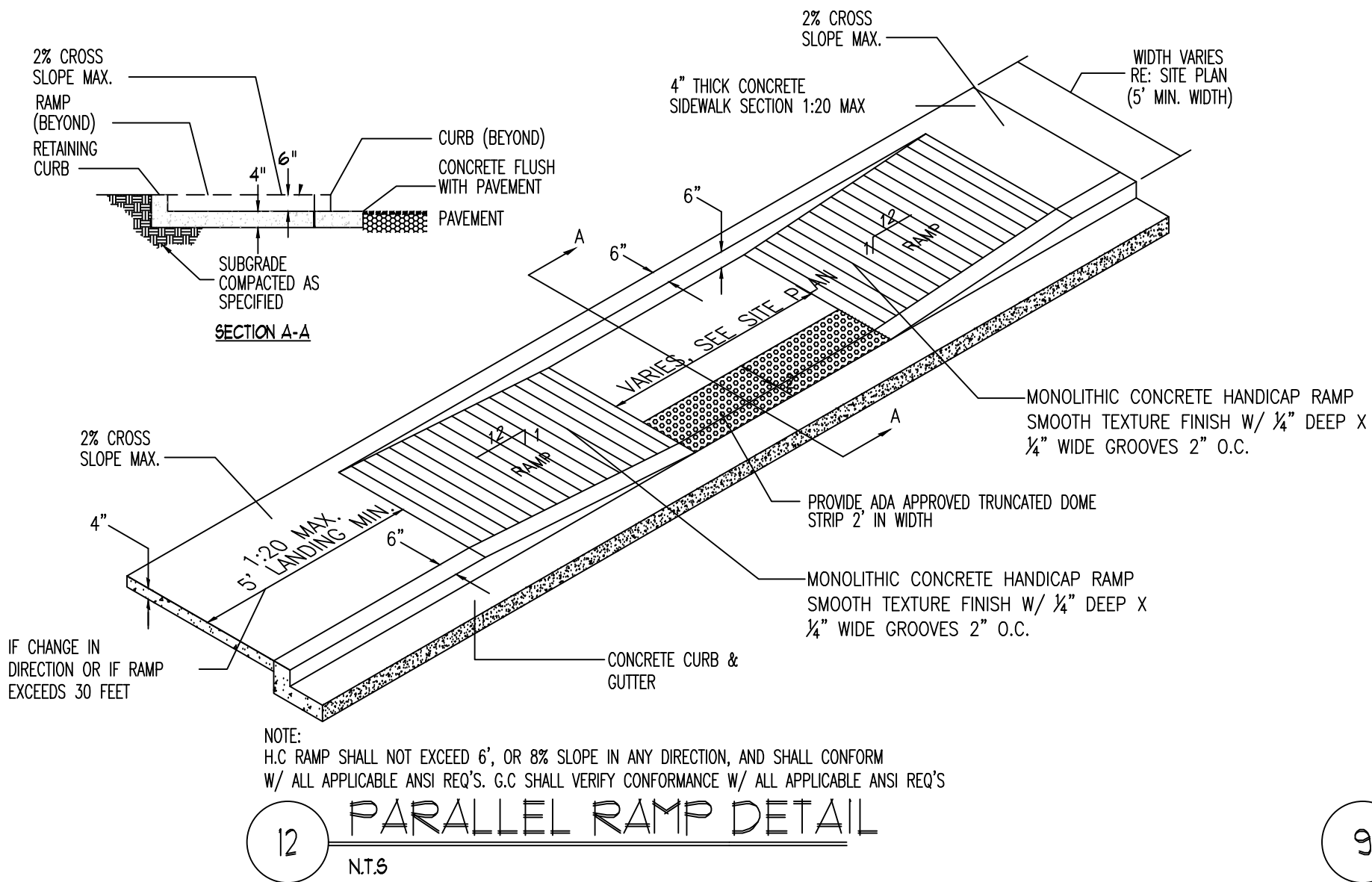
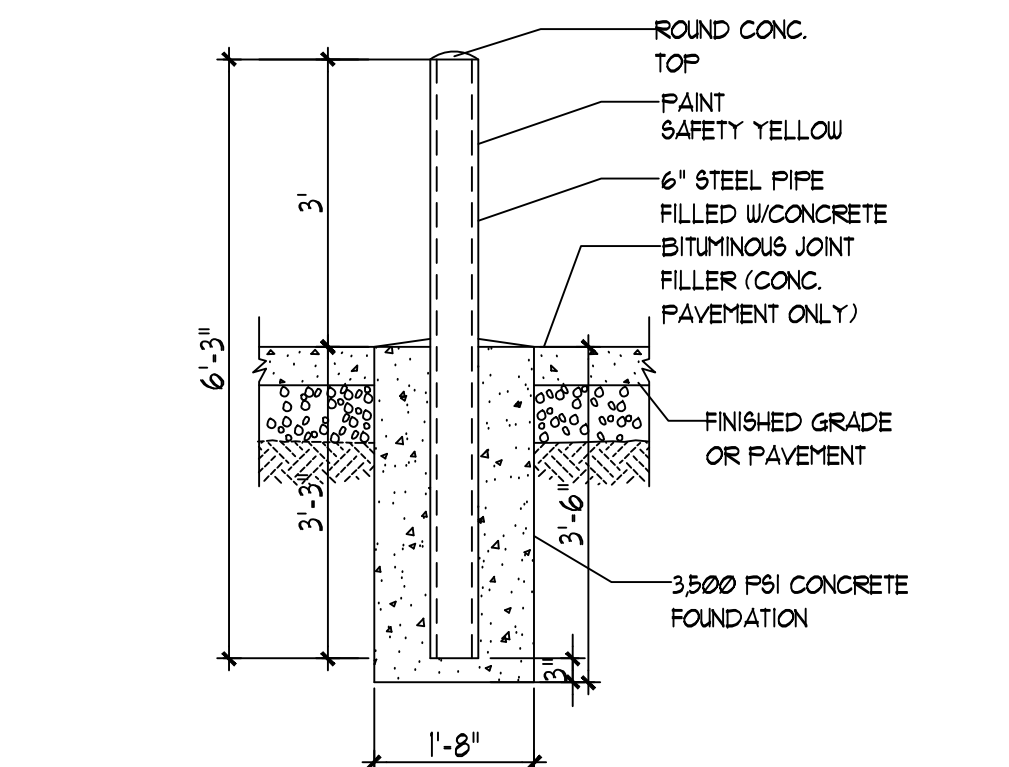
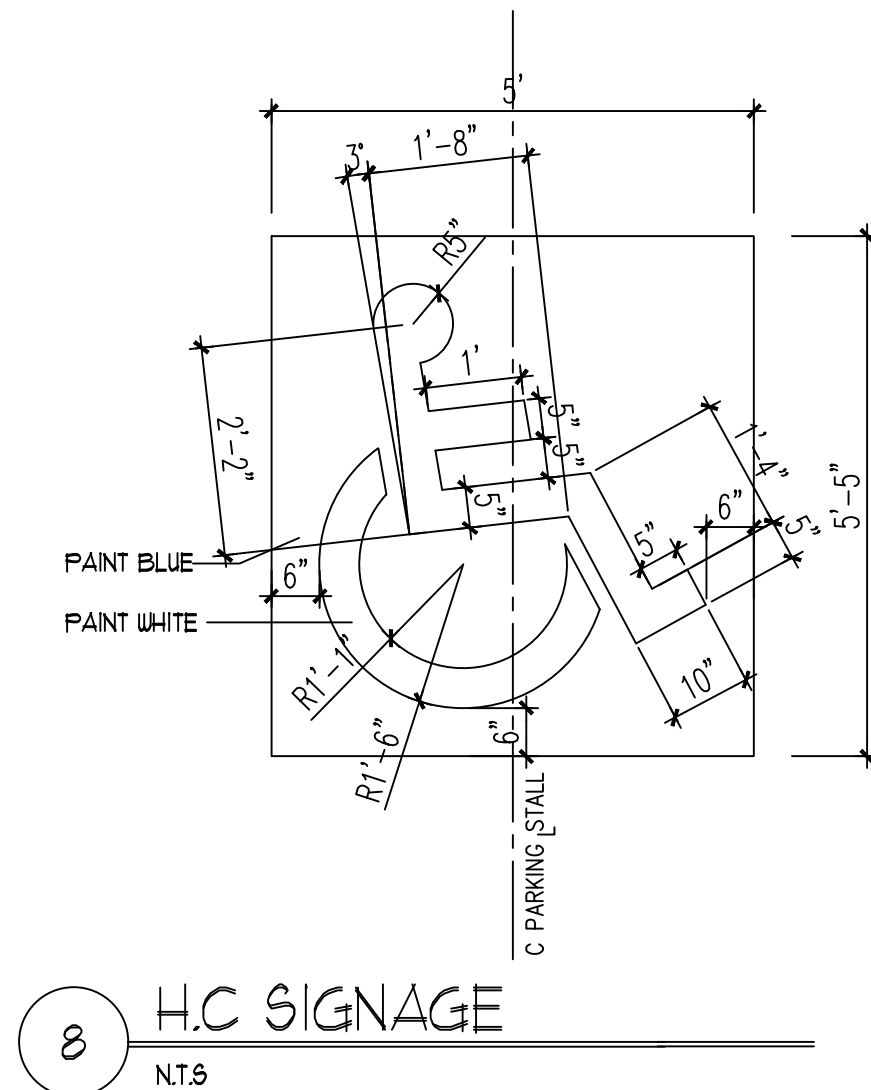
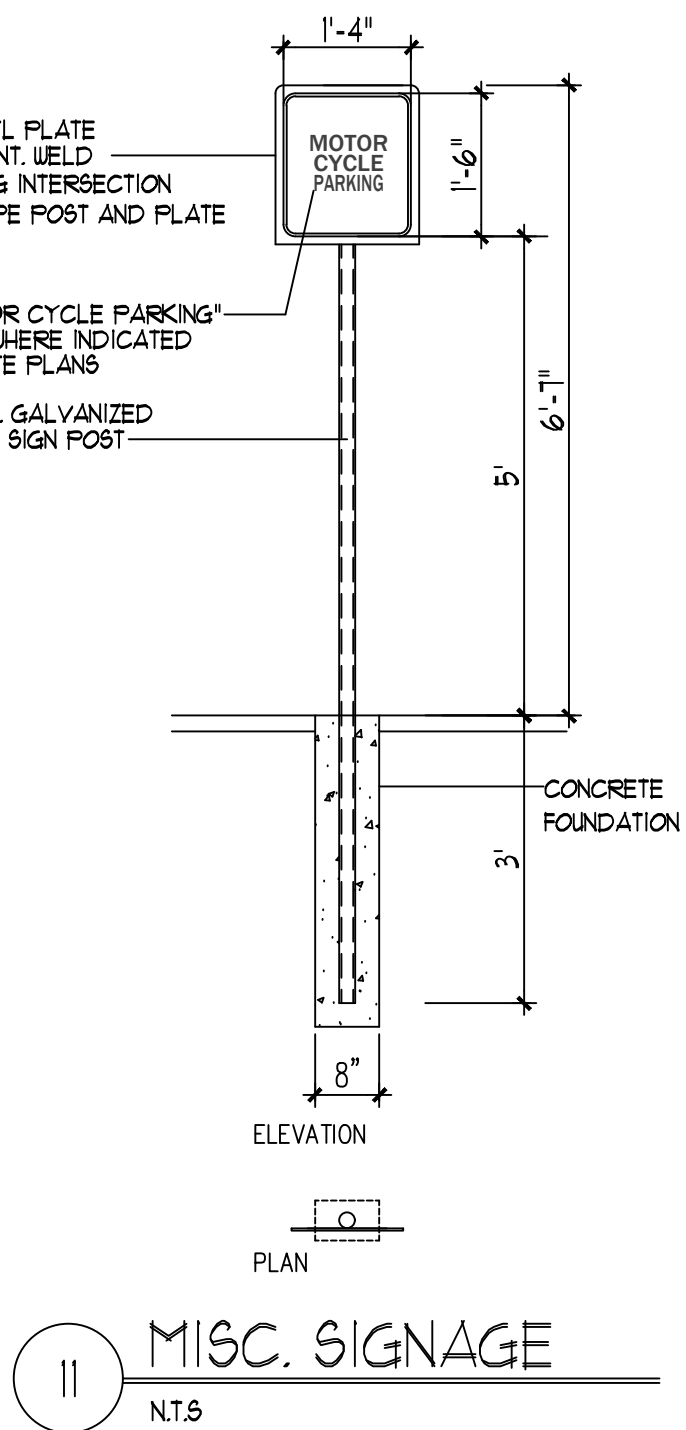
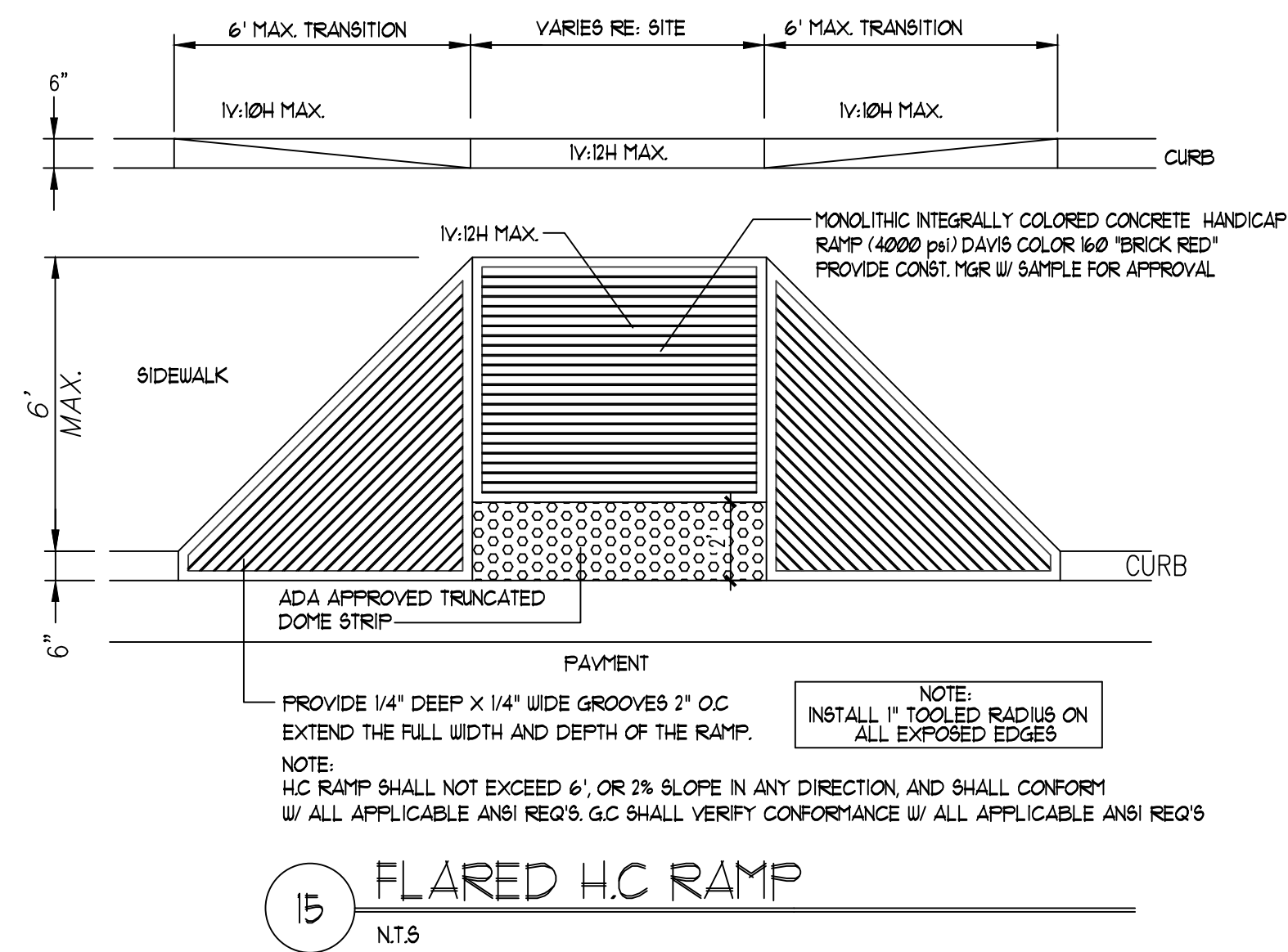
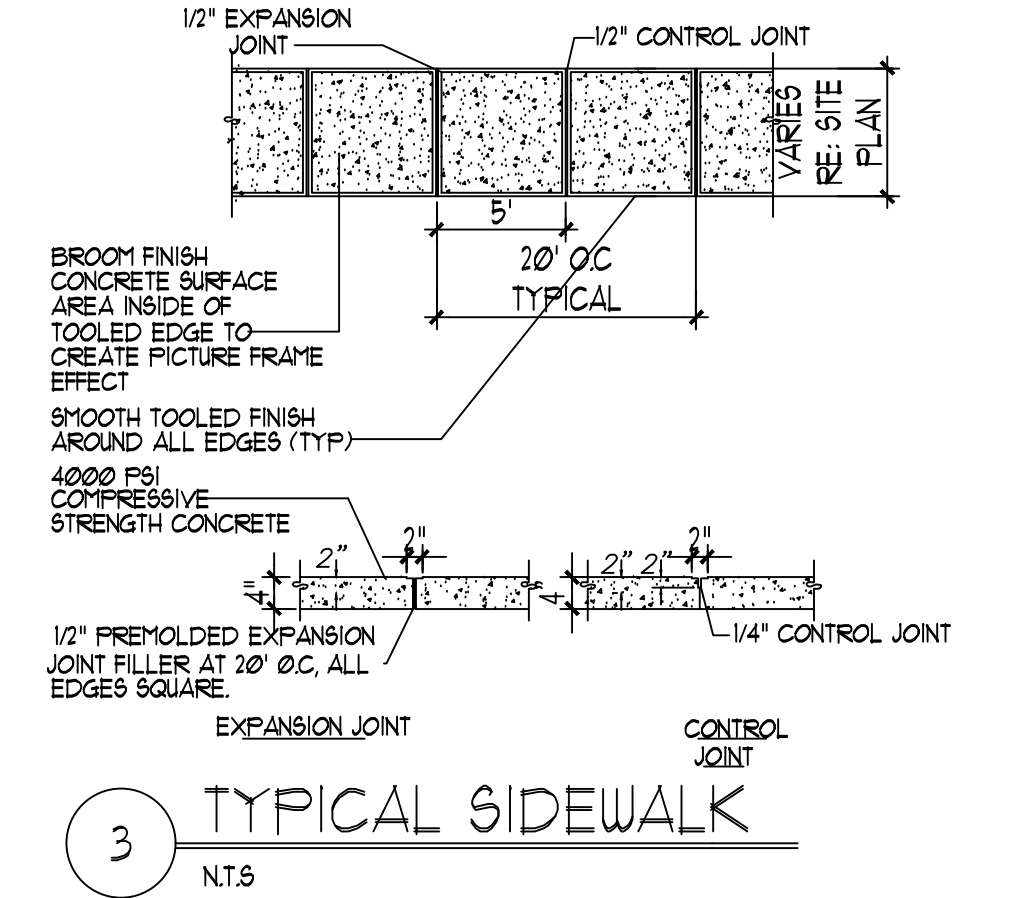
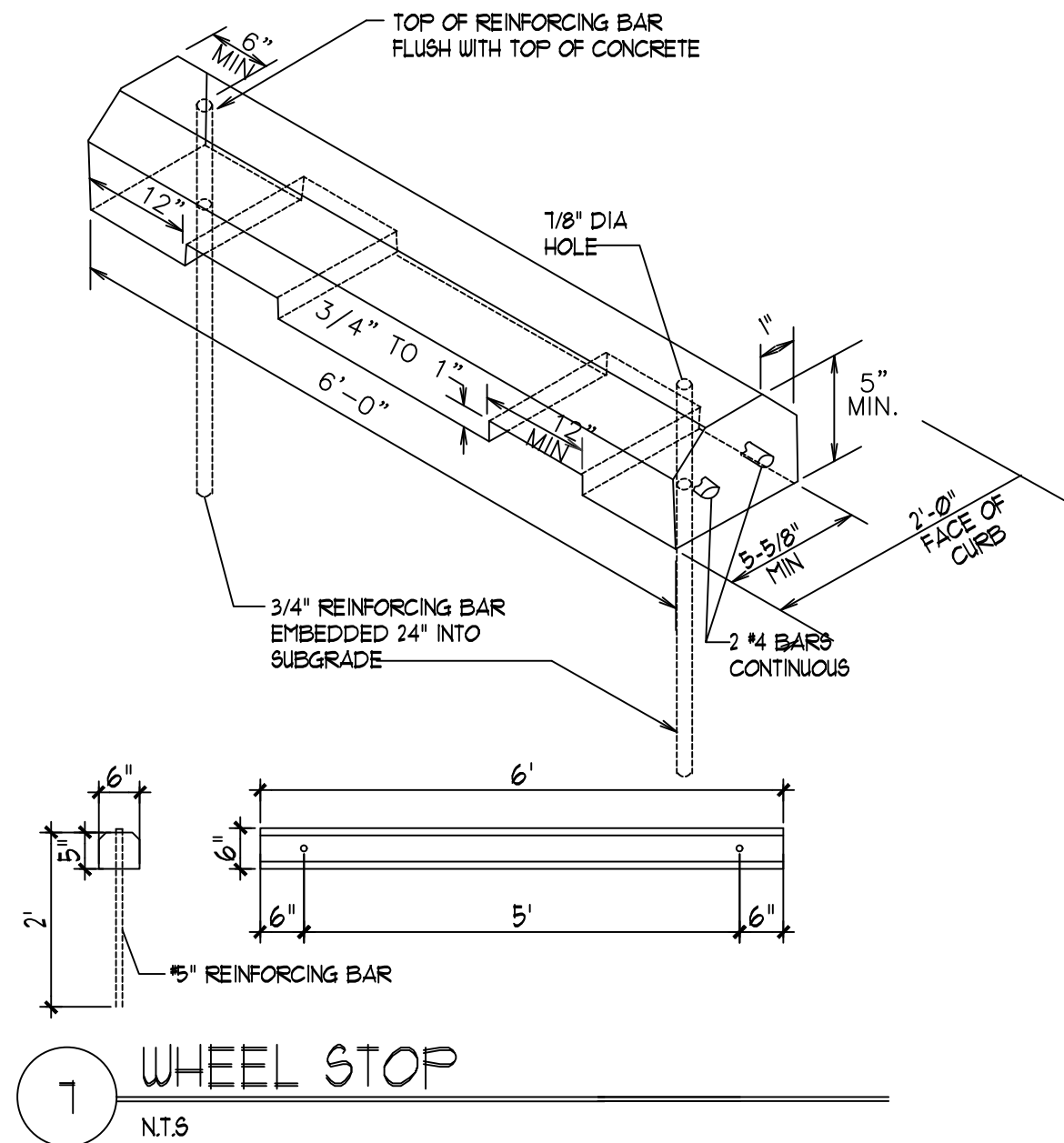
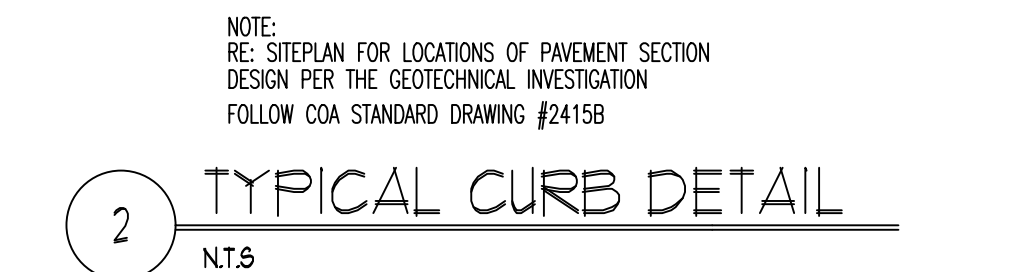
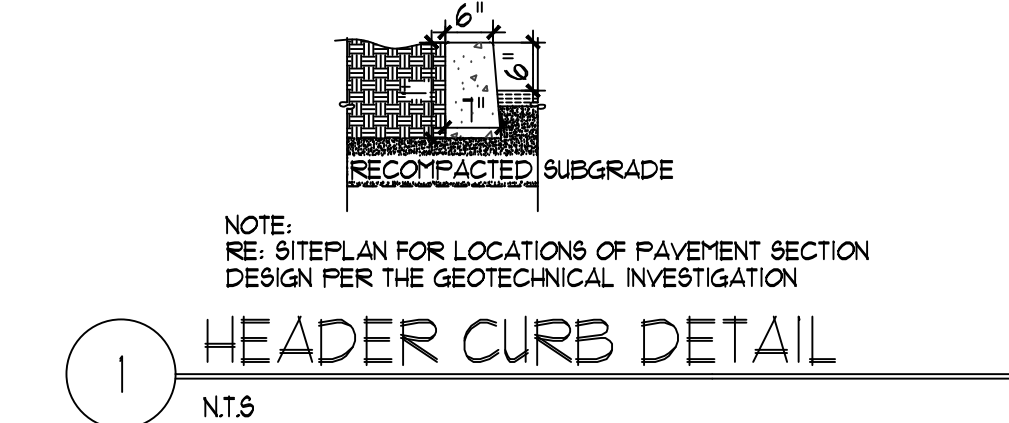
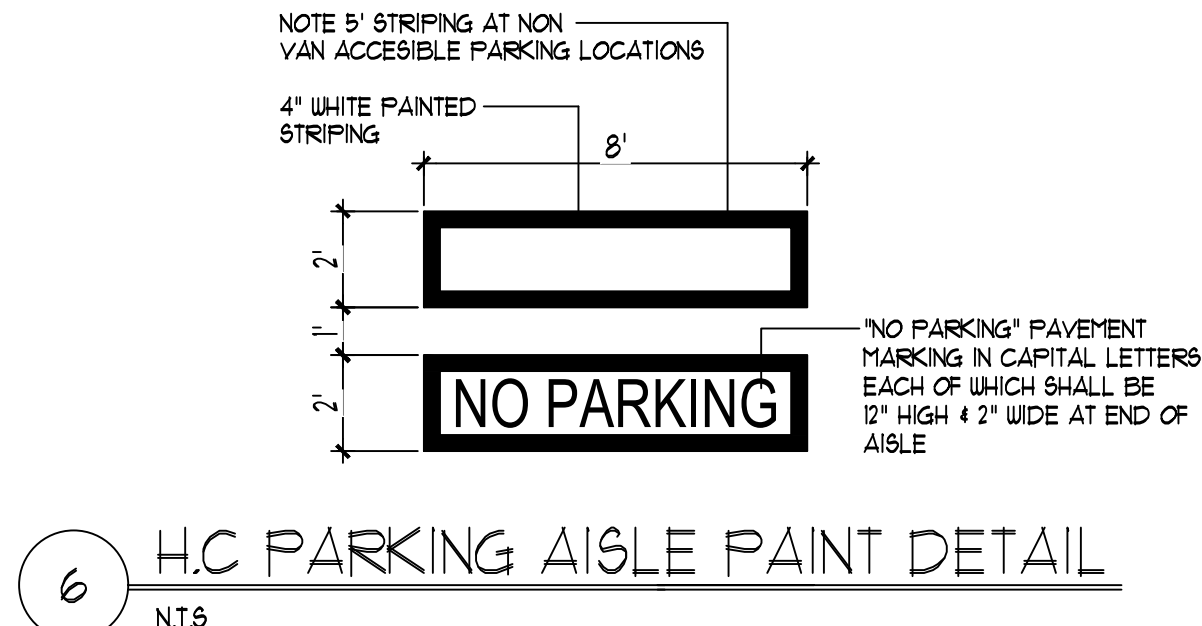
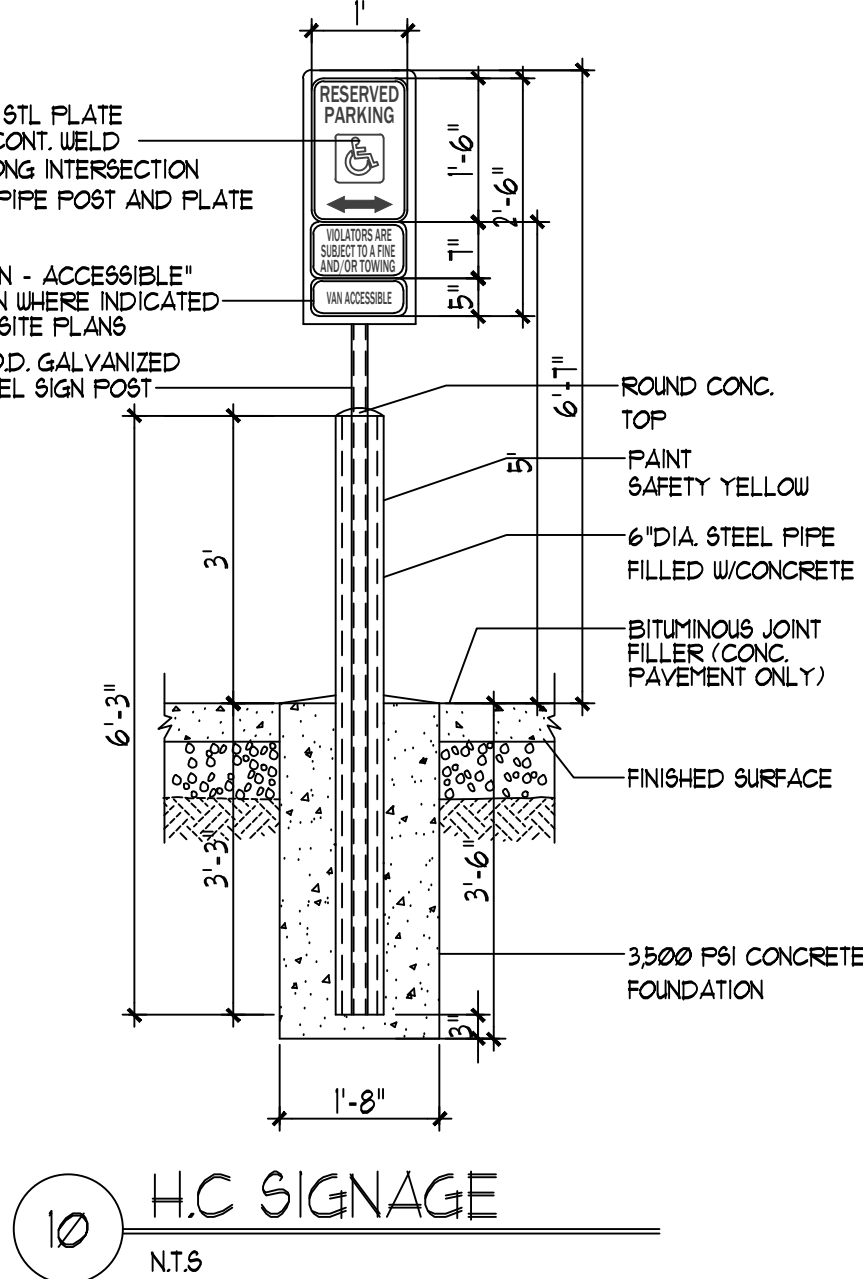
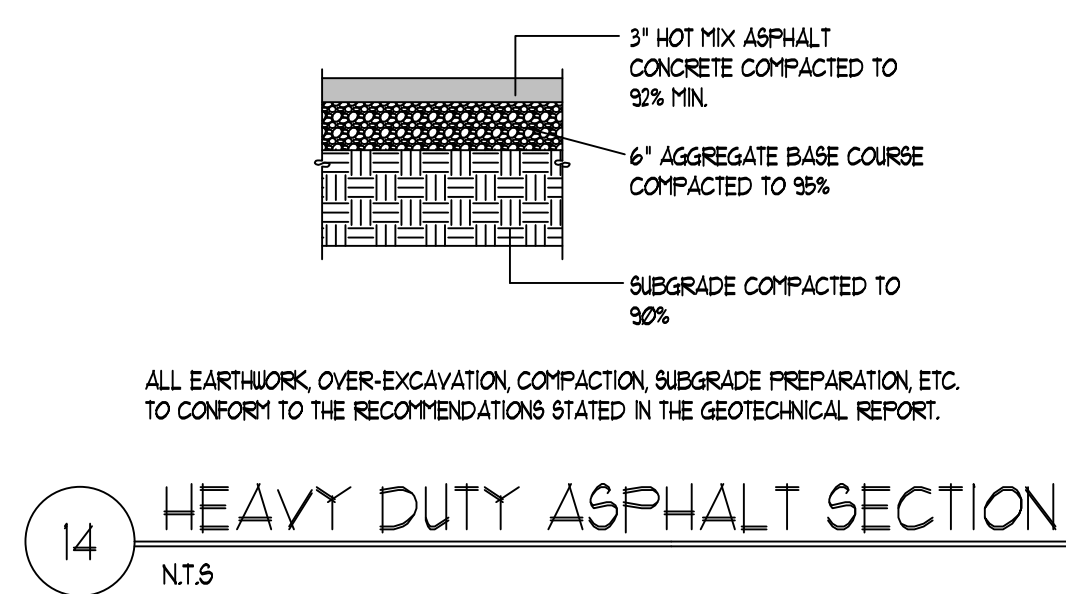
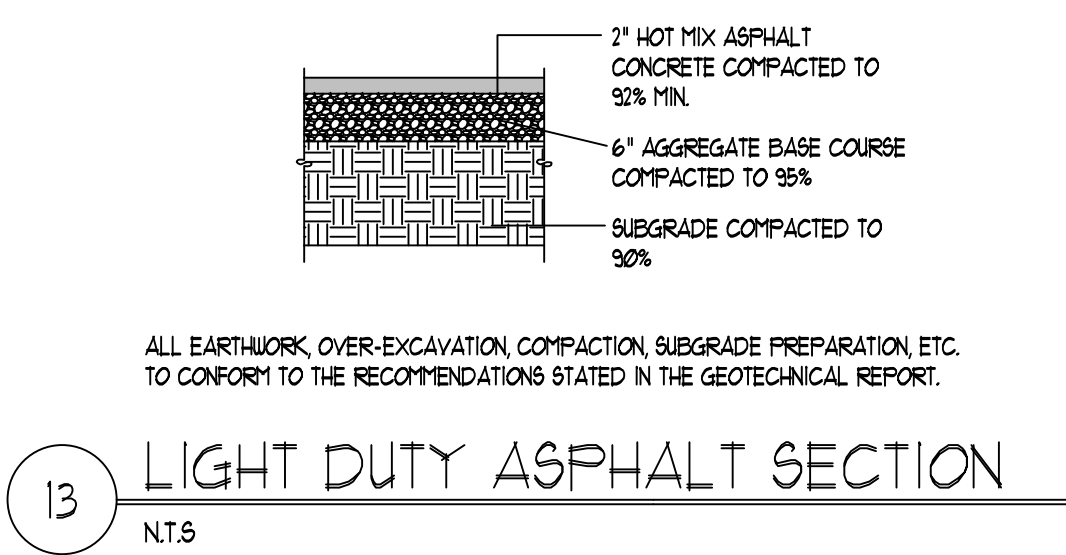
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 Document e-signed by David Gutierrez (dggutierrez@abcwua.org)

Signature Date: 2025-05-09 - 8:51:48 PM GMT - Time Source: server

 Agreement completed.

2025-05-09 - 8:51:48 PM GMT



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PHONE (505) 338-1499

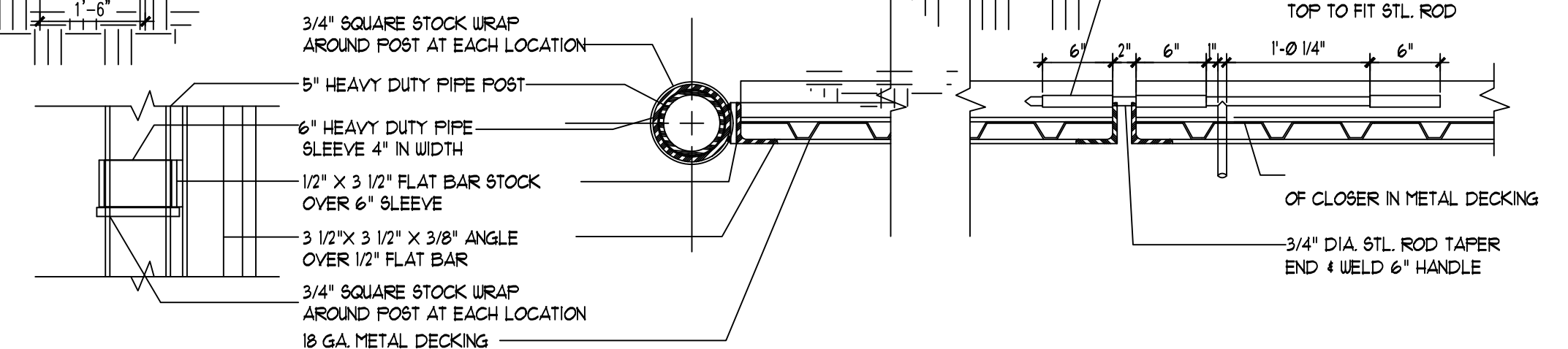
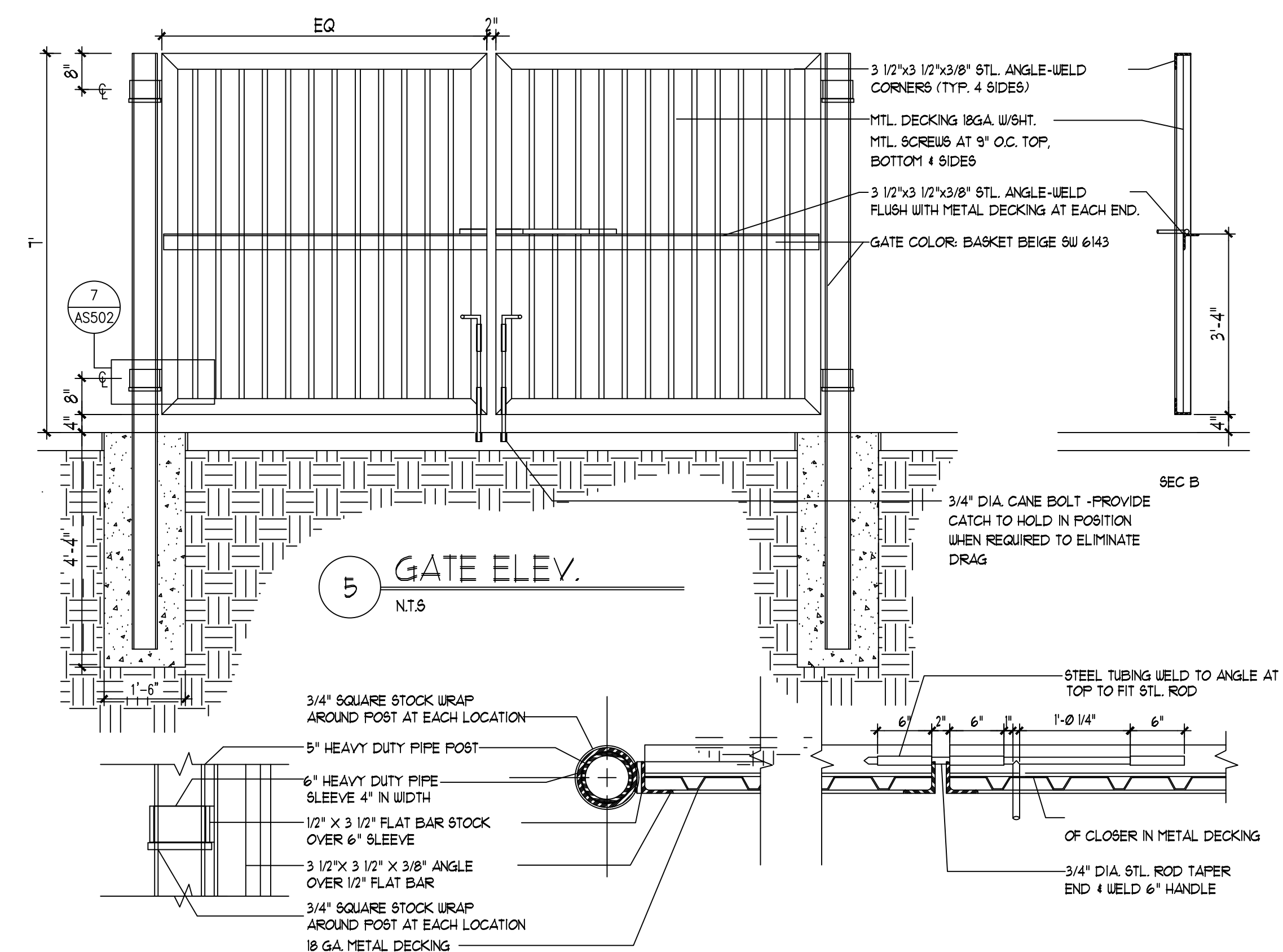
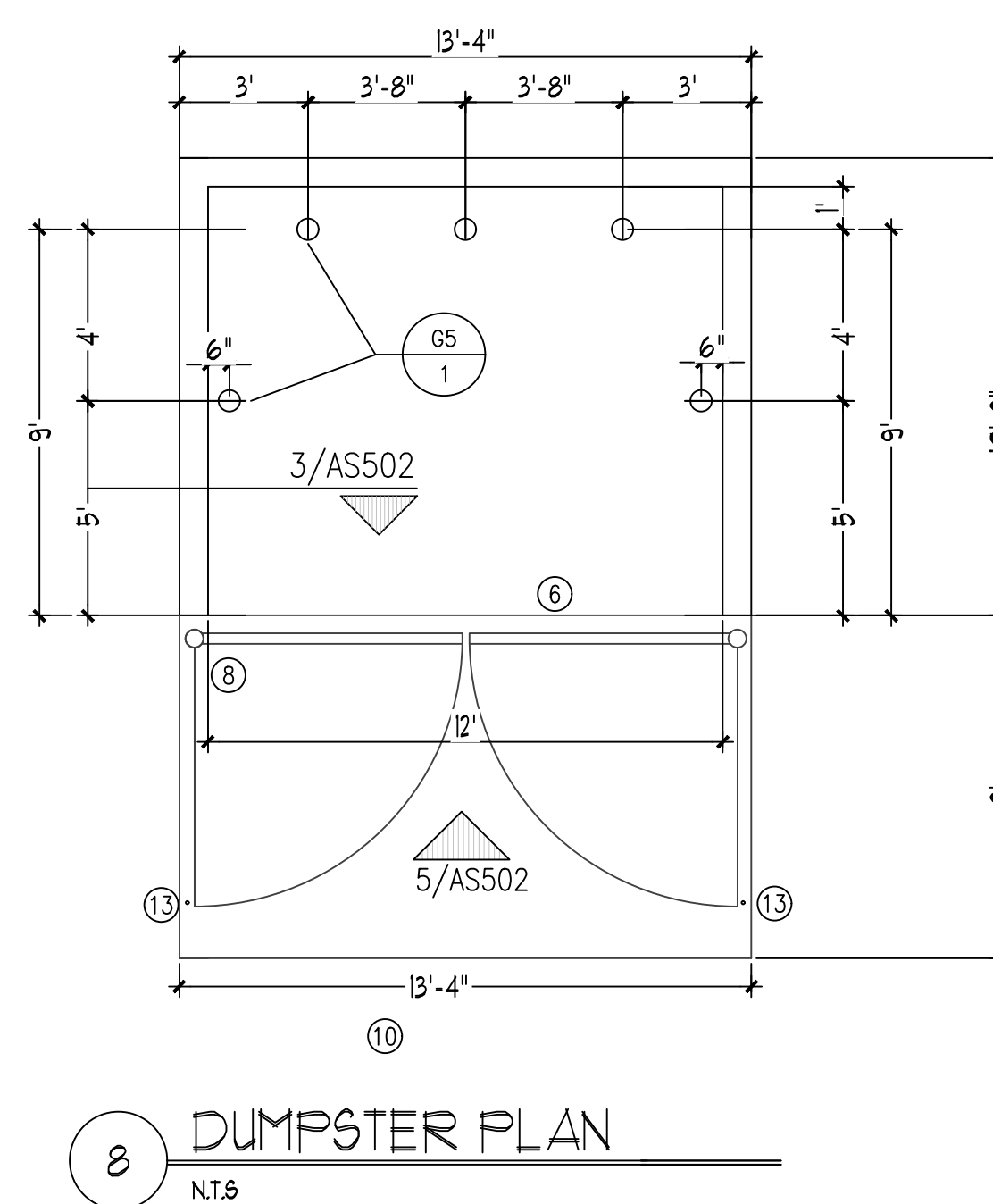
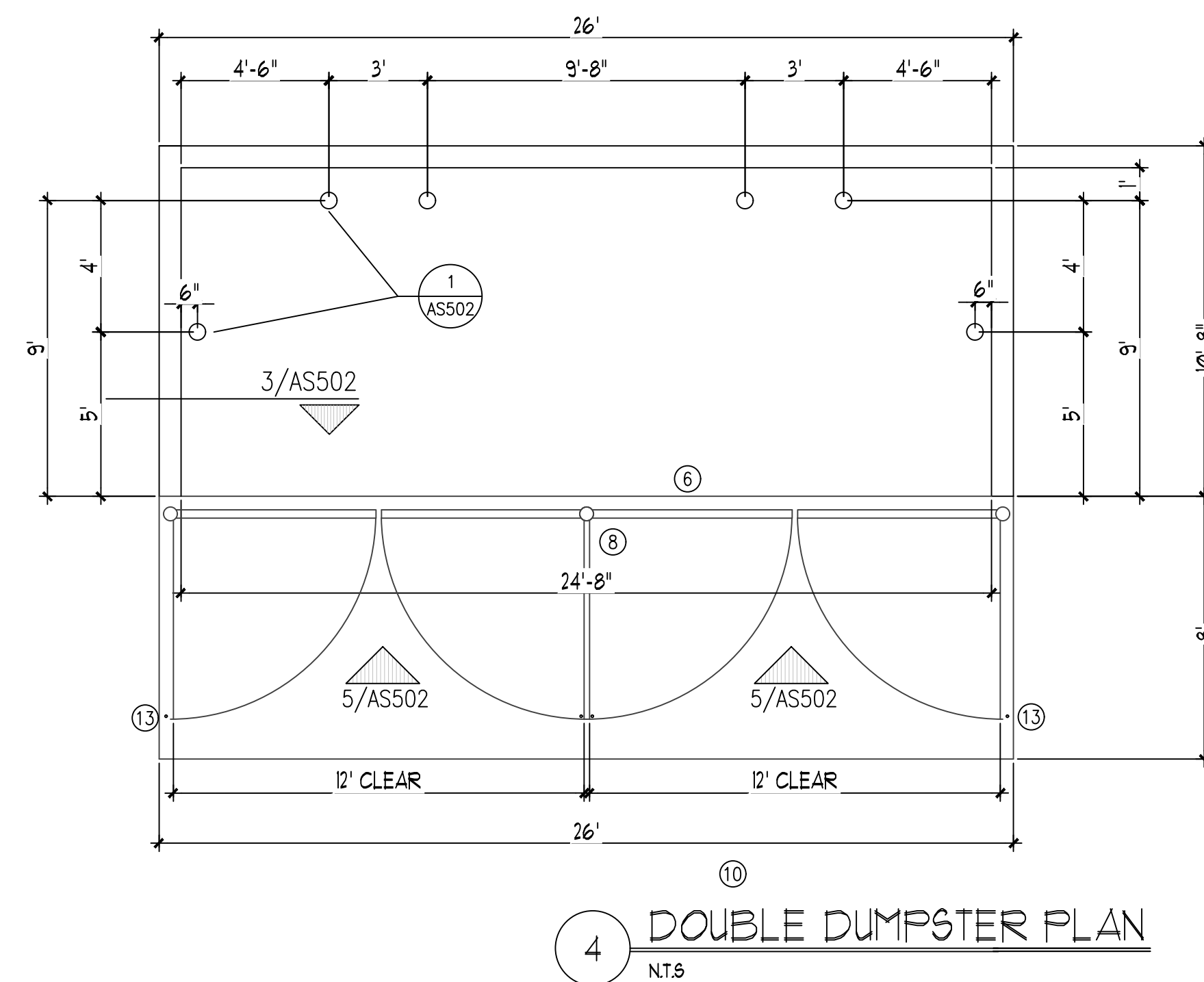
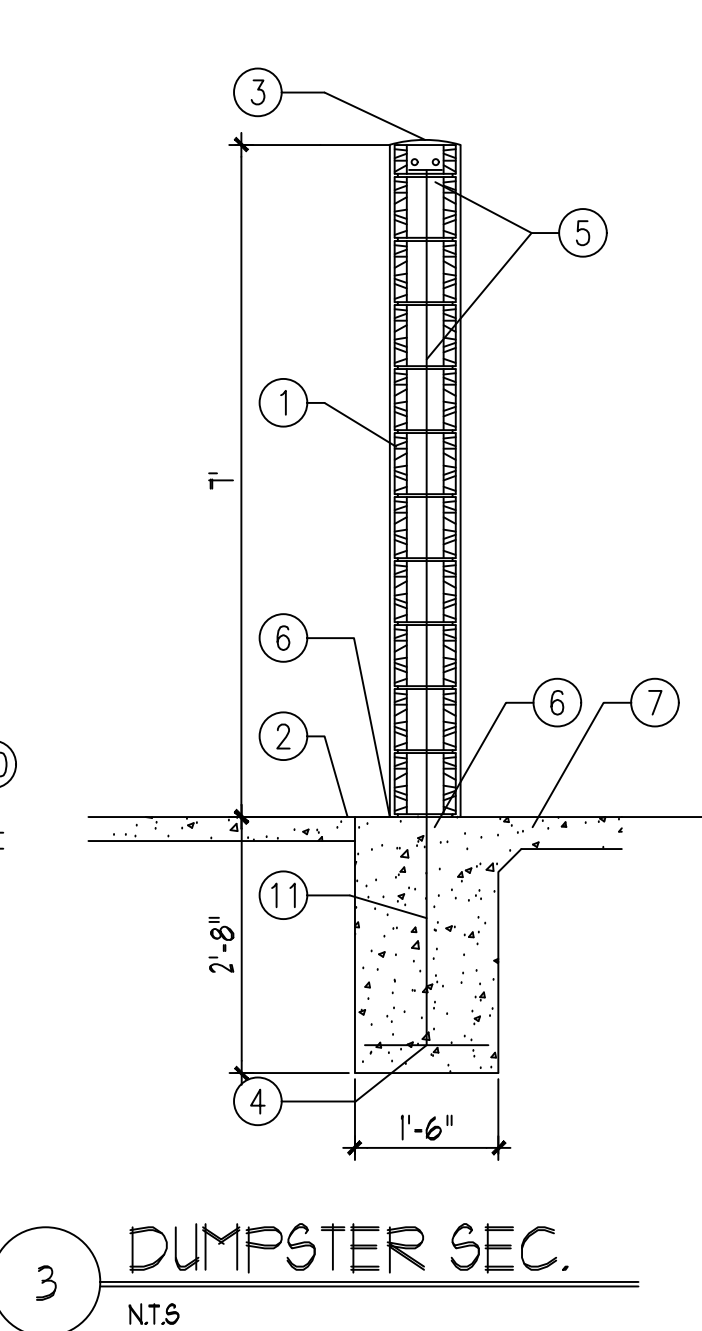
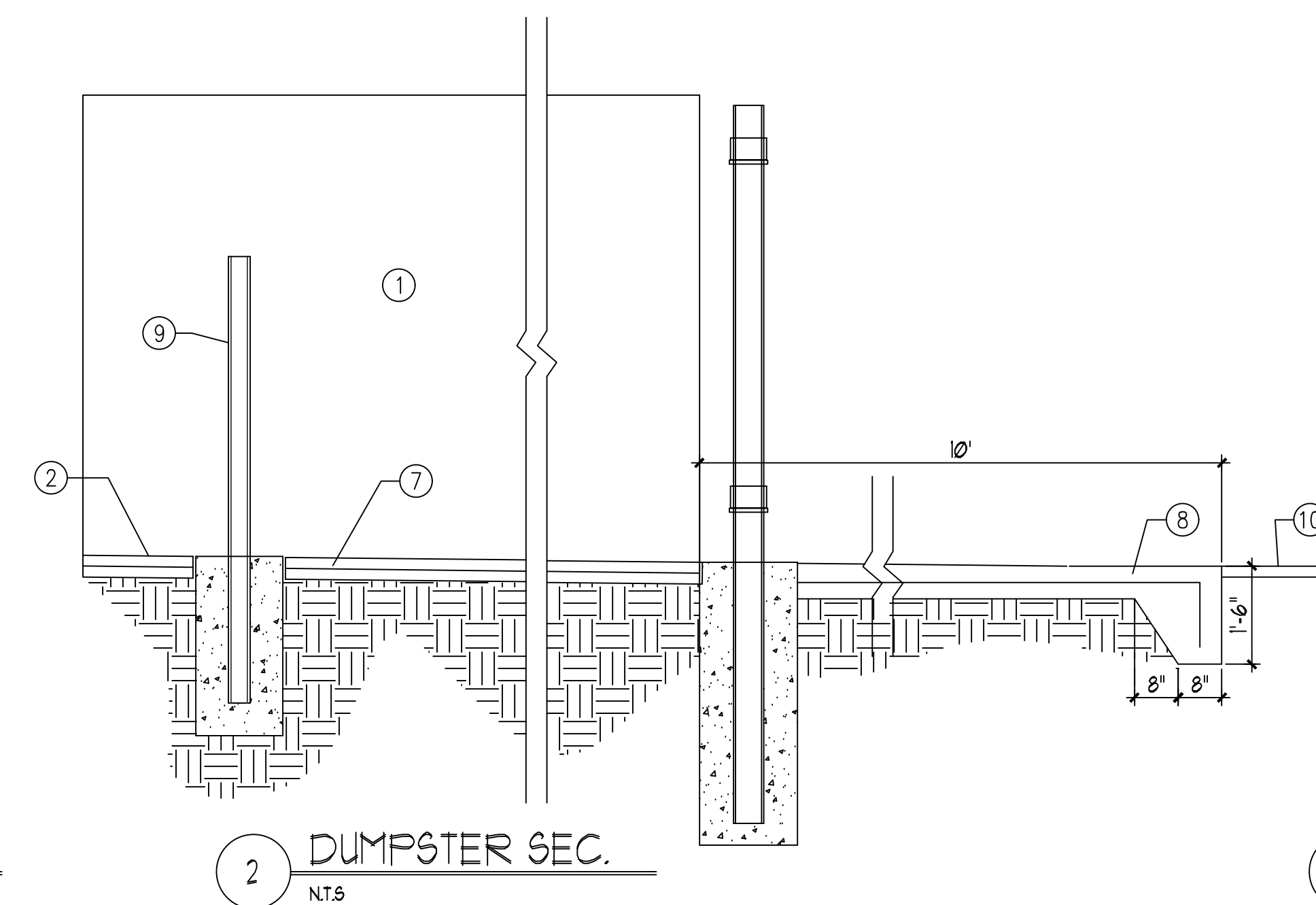
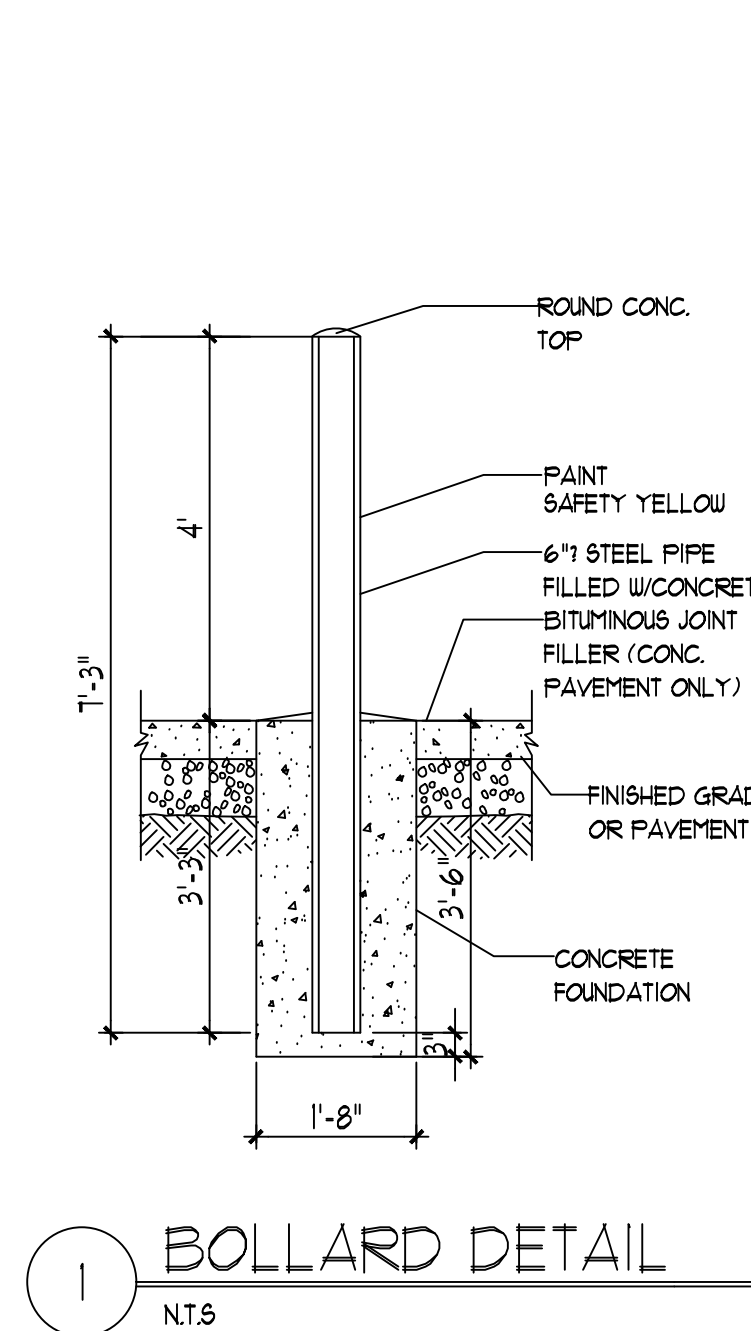


NOT FOR CONSTRUCTION

PROJECT TITLE CIBOLA LOOP APARTMENTS CIBOLA LOOP NW ALBUQUERQUE, NM	PROJECT MANAGER STEPHEN DUNBAR, AIA	JOB NO. --	DRAWN BY: CDC
SHEET TITLE SITE DETAILS			

DATE: 08/01/2024
SCALE: AS NOTED

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of: 1

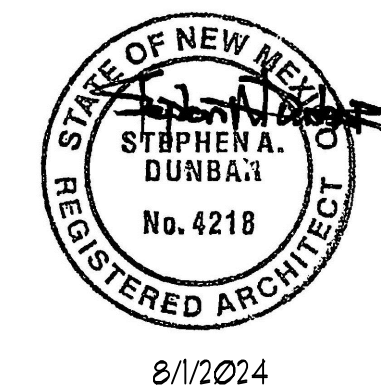


- ① 8" CH WALL WITH 7" COAT STD. STUCCO SYSTEM. COLOR TO MATCH SLAB BASE
- ② FINISH GRADE
- ③ SLOPE STUCCO CAP.
- ④ 4" x 4" BARS CONT. @ BOTTOM OF FOOTING 16" x 16" ON CENTER ACROSS BOTTOM OF FOOTING.
- ⑤ 2-5" BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS. 5" BARS @ 32" O.C. VERTICAL. GREAT BENT REINFORCED CELLS. DURALUM® 18" O.C. HORIZONTAL.
- ⑥ 12" EXPANSION JOINT MATERIAL.
- ⑦ 6" CONCRETE SLAB 4000 PSI 3/4" AGGREGATE WITH 6"x6 - 10x10 W/LM.
- ⑧ 6" CONCRETE APRON 4000 PSI 3/4" AGGREGATE WITH 6"x6 - 10x10 W/LM TURNDOWN EDGE.
- ⑨ 6" CONCRETE FILL PIPE IN 18" DIA. X 7'-6" DEEP CONC. FOOTING PAINT TO MATCH STUCCO FINISH.
- ⑩ ASPHALT FLYING
- ⑪ GROUT ALL CELLS SOLD BELOW GRADE. TYPICAL
- ⑫ NOT USED
- ⑬ PROVIDE PIN HOLE TO CATCH CANE BOLT IN OPEN POSITION



REV	DATE	BY	REVISION
6			
5			
4			
3			
2			
1			

MODULUS ARCHITECTS
8220 SAN PEDRO DR. NE, SUITE 520
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PHONE (505) 338-1499



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PROJECT TITLE		DRAWN BY:	
CIBOLA LOOP APARTMENTS		CDC	
CIBOLA LOOP NW		JOB NO.	--
ALBUQUERQUE, NM		PROJECT MANAGER	
		STEPHEN DUNBAR, AIA	
SHEET TITLE			
SITE DETAILS			

DATE:

08/01/2024

SCALE:

AS NOTED

sheets: -

AS 502

of: -



1 PARTIAL NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 PARTIAL NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"

KEYED NOTES:

1. WALL MOUNTED LIGHT FIXTURE
2. PRE-FINISHED, CANTILEVERED METAL CANOPY.

EXTERIOR FINISHES					
MARK	MATERIAL	MANUFACTURER	SPECIFICATION	COLOR	PRODUCT COLOR NAME
A	COMPOSITE WOOD FASCIA	TIMBERTECH	—	BROWN	TIGERWOOD
B	BOARD & BATTEN METAL WALL PANEL	PAC-CLAD	—	SLATE	BURNISHED SLATE
C	12x24 EXTERIOR TILE	DALTILE	DIGNITARY SERIES — COLORBODY PORCELAIN	TAUPE	SUPERIOR TAUPE #DR08
D	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT	—	TAN	#394 — EARTHWARE
E	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT	—	CREAM	#472 — CAPTAIN
F	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT	—	WARM GRAY	#104 — DOVER SKY
G	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT	—	BLACK/BROWN	#151 — COZY BLACK
H	METAL PARAPET FASCIA	PAC-CLAD	—	SILVER	ANODIC CLEAR

MODULUS ARCHITECTS
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ALBUQUERQUE, NEW MEXICO 87113
PHONE (505) 338-1499

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PROJECT TITLE
CIBOLA LOOP APARTMENTS
CIBOLA LOOP NW
ALBUQUERQUE, NM

PROJECT MANAGER
STEPHEN DUNBAR, AIA

JOB NO.
--

DRAWN BY:
CDC

SHEET TITLE
EXTERIOR ELEVATIONS

DATE:
01/20/2025

SCALE:
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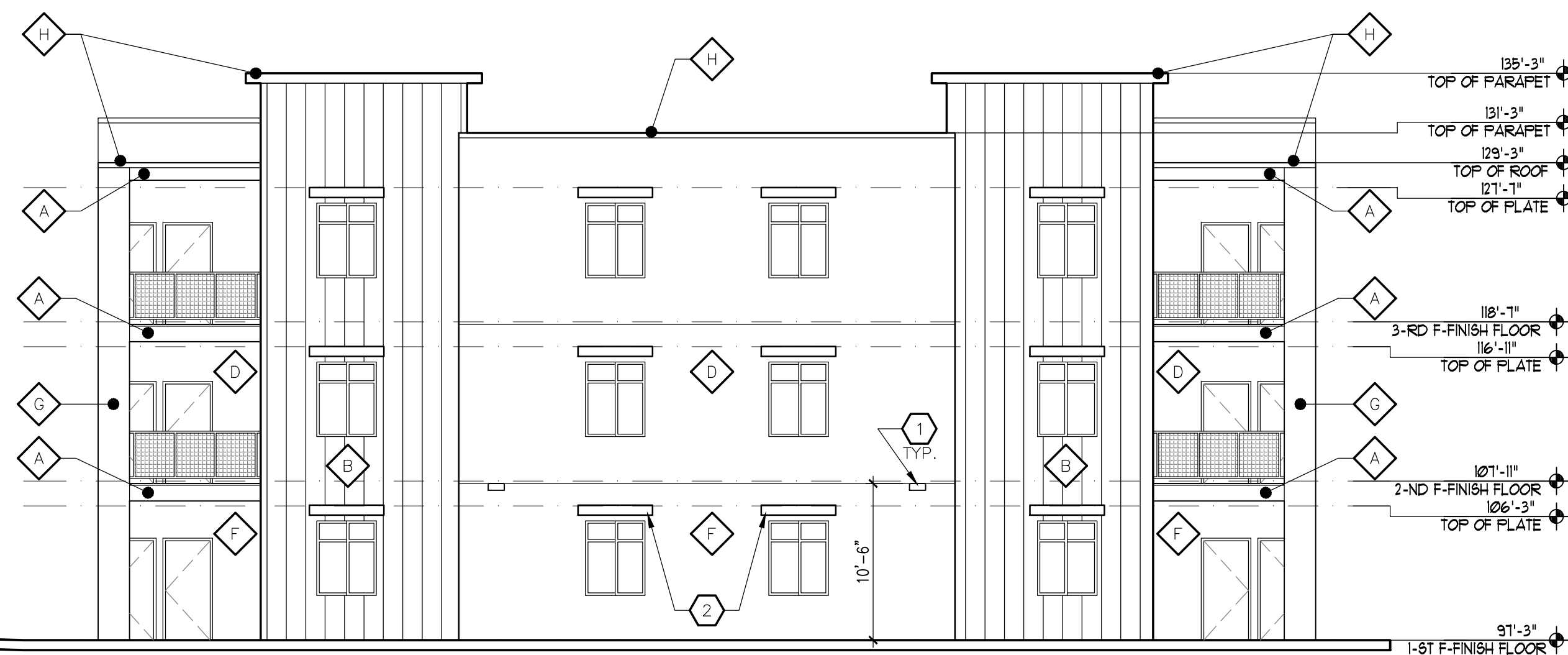
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SCALE: 1/8" = 1'-0"



2 PARTIAL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



EXTERIOR FINISHES				
MARK	MATERIAL	MANUFACTURER	SPECIFICATION	
D	COMPOSITE WOOD FASCIA	TIMBERTECH		COLOR: BROWN PRODUCT COLOR NAME: TIGERWOOD
E	BOARD & BATTEN METAL WALL PANEL	PAC-CLAD		SLATE BURNISHED SLATE
D	12x24 EXTERIOR TILE	DALTILE	DIGNITARY SERIES - COLORBODY PORCELAIN	TAUPE SUPERIOR TAUPE #DR08
D	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT		TAN #394 - EARTHWARE
E	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT		CREAM #472 - CAPTAIN
E	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT		WARM GRAY #104 - DOVER SKY
D	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT		BLACK/BROWN #151 - COZY BLACK
H	METAL PARAPET FASCIA	PAC-CLAD		SILVER ANODIC CLEAR

KEYED NOTES:

1. WALL MOUNTED LIGHT FIXTURE
2. PRE-FINISHED, CANTILEVERED METAL CANOPY.

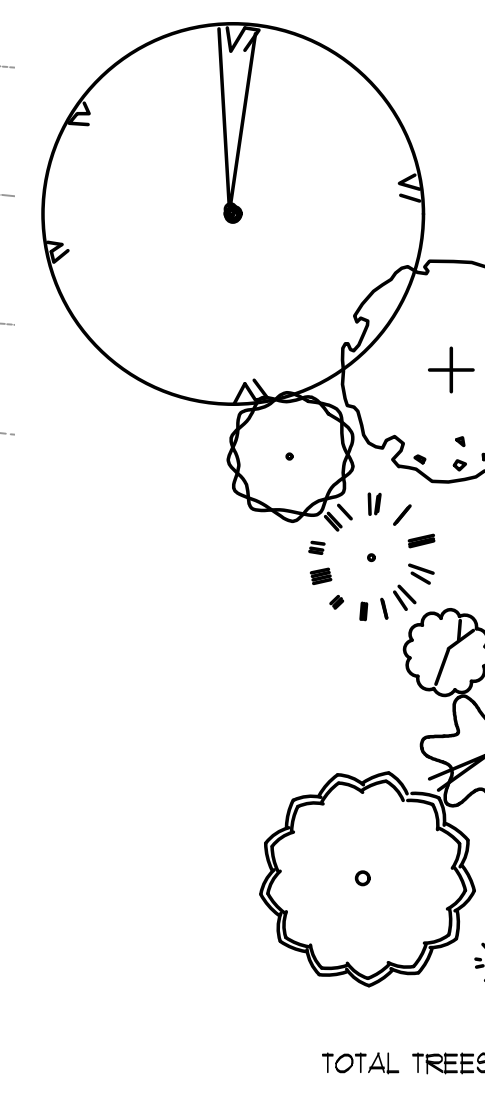
MODULUS ARCHITECTS

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PHONE (505) 338-1499

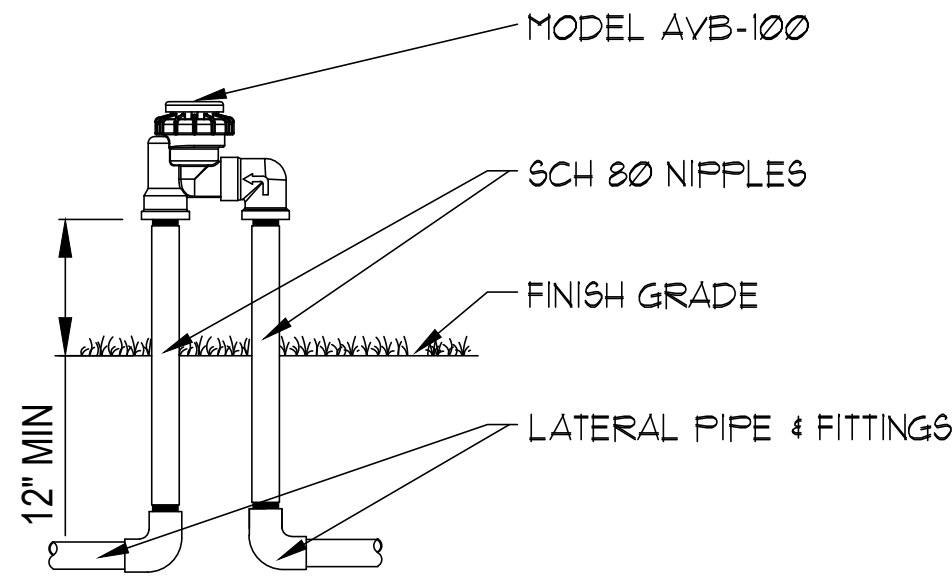
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PROJECT TITLE CIBOLA LOOP APARTMENTS CIBOLA LOOP NW ALBUQUERQUE, NM		JOB NO. --		DRAWN BY: CDC	
PROJECT MANAGER STEPHEN DUNBAR, AIA		SHEET TITLE EXTERIOR ELEVATIONS			

DATE: 01/20/2025	SHEET: -
SCALE: AS NOTED	glt. -



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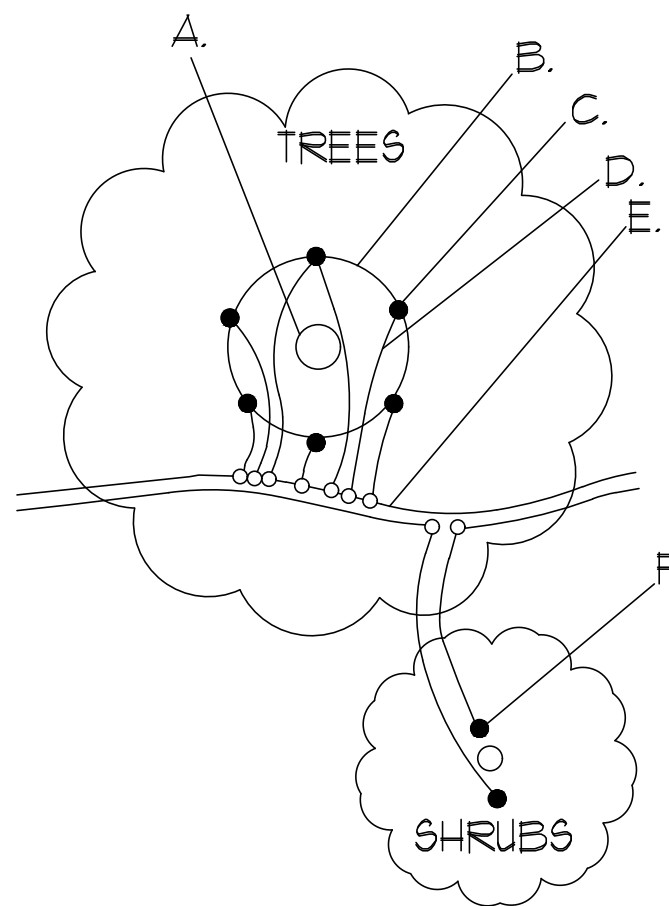


NOTE:
ATMOSPHERIC VACUUM BREAKERS SHOULD BE
INSTALLED 6 - 12" ABOVE THE HIGHEST SPRINKLER
HEAD WITHIN THE ZONE, OR, ACCORDING TO LOCAL
CODE.

- NOTES:
1. INSTALLATION TO BE COMPLETED IN
ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.
 3. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY
INFORMATION VISIT www.CADDdetails.com/info
REFERENCE NUMBER 301-025n.

AVB VALVES-AVB W / SCH 80 NIPPLE RISERS

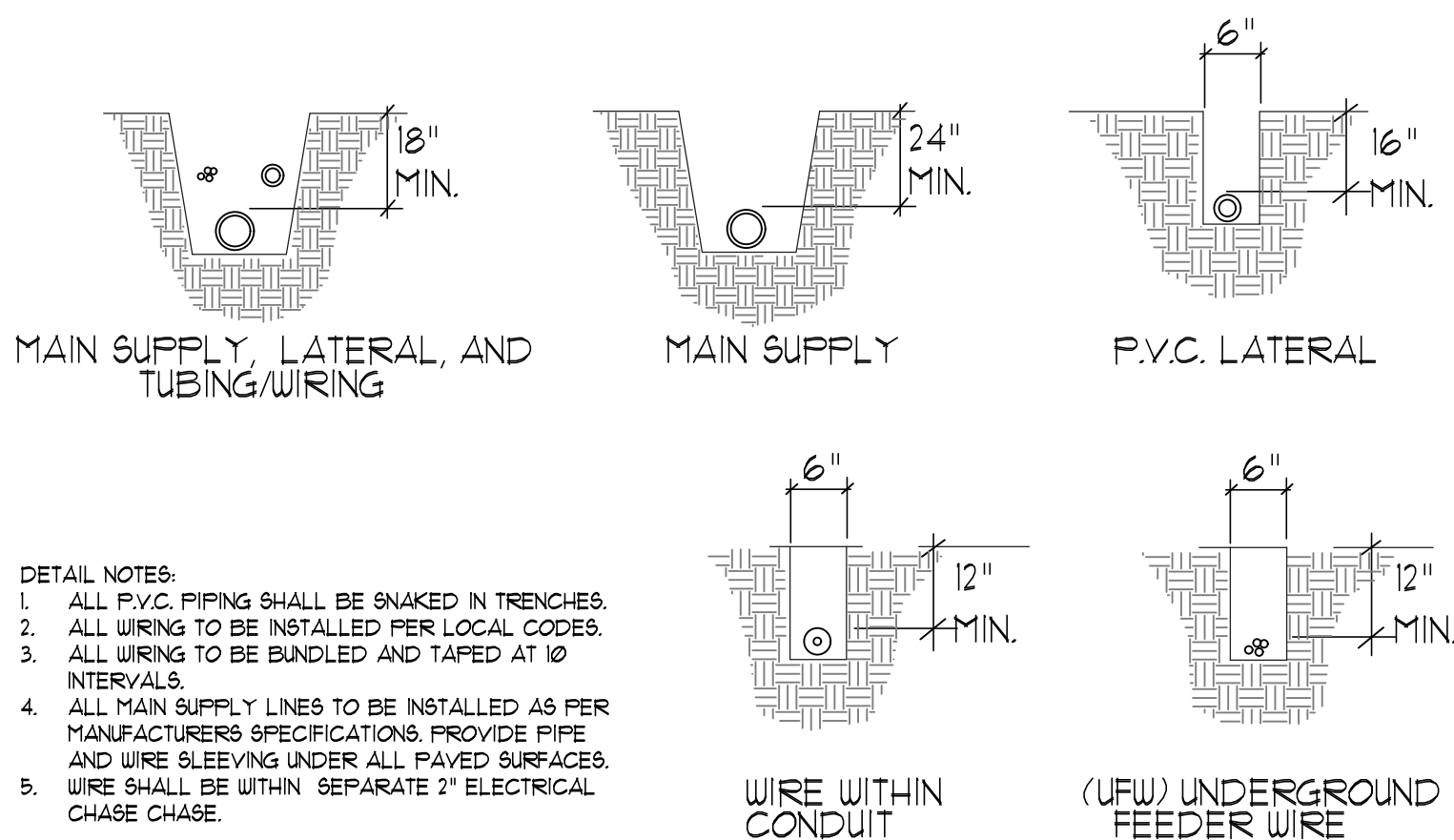
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- A. TREE TRUNK/ROOT CROWN
B. 24" CIRCLE FROM TRUNK
C. EMITTERS
D. 1/8" DISTRIBUTION LINE
E. PE DRIPLINE
F. EMITTER PLACED WITHIN 6" OF PLANT STEM
NOTE: PLACE EMITTER ABOVE PLANT ON SLOPE

EMITTER PLACEMENT DETAIL

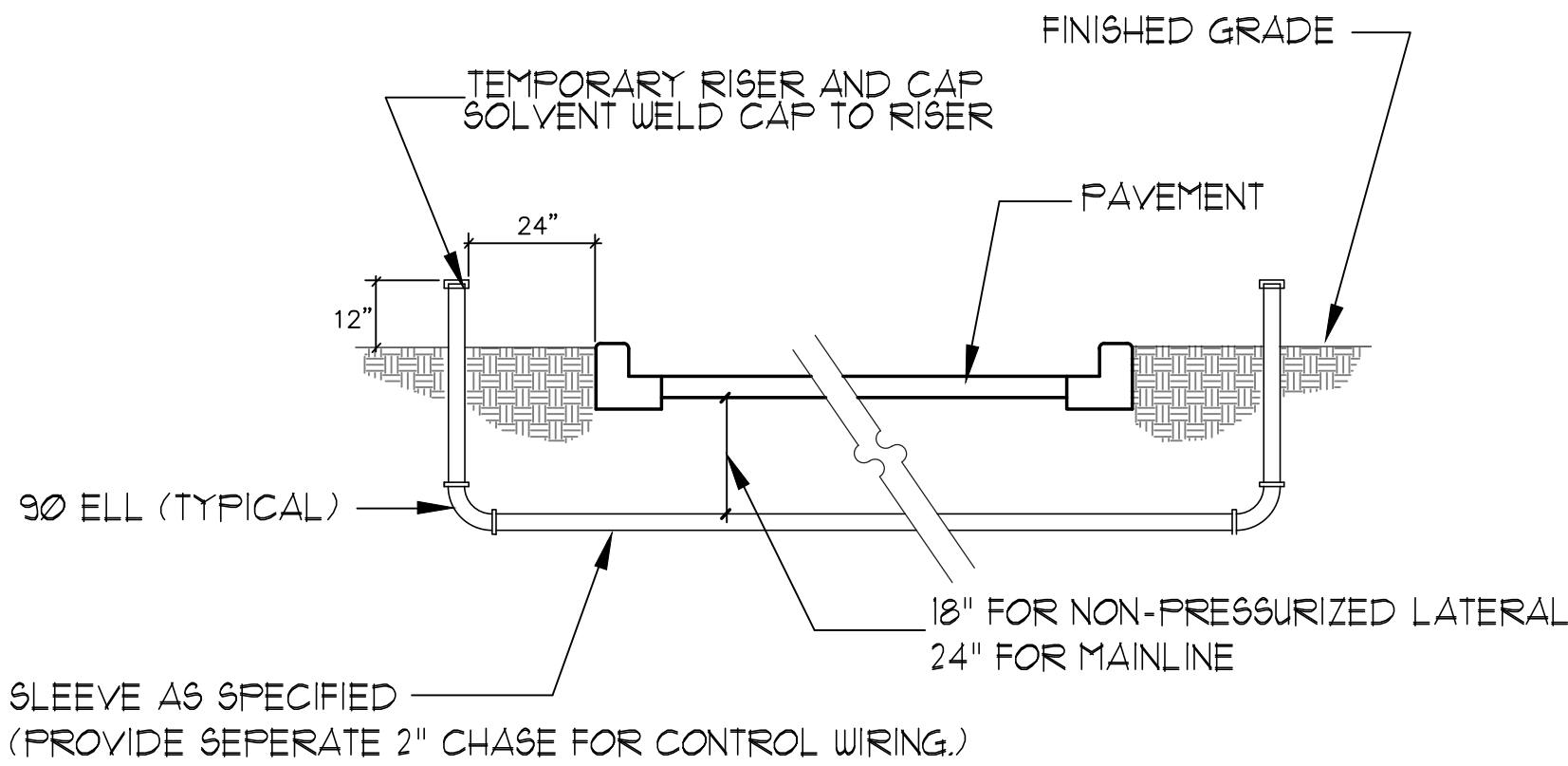
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- DETAIL NOTES:
1. ALL P.V.C. PIPING SHALL BE SNAKE IN TRENCHES.
 2. ALL WIRING TO BE INSTALLED PER LOCAL CODES.
 3. ALL WIRING TO BE BUNDLED AND TAPED AT 10' INTERVALS.
 4. ALL MAIN SUPPLY LINES TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. PROVIDE PIPE AND WIRE SLEEVING UNDER ALL PAVED SURFACES.
 5. WIRE SHALL BE WITHIN SEPARATE 2" ELECTRICAL CHASE CHASE.

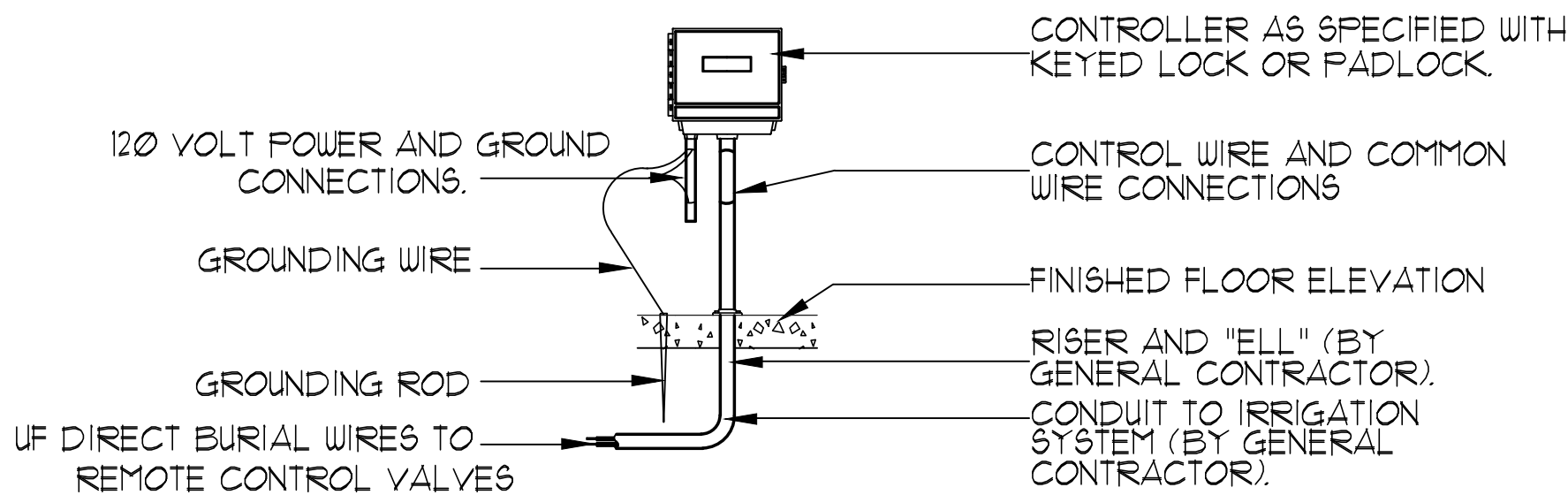
TRENCHING DETAIL

N.T.S.



SLEEVE INSTALLATION DETAIL

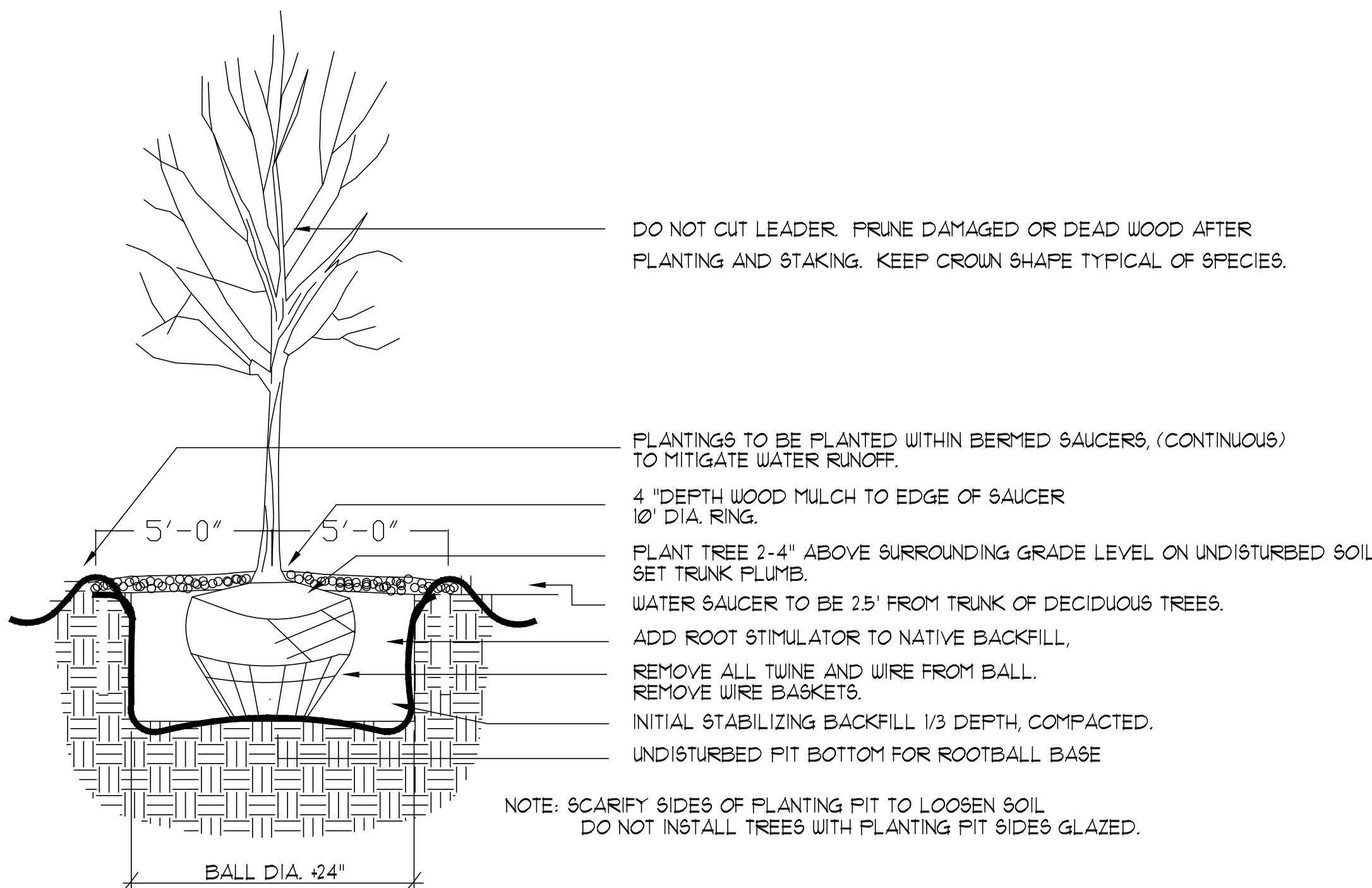
N.T.S.



- DETAIL NOTES:
1. ELECTRICAL POWER TO BE SUPPLIED BY OTHERS.
 2. ALL WIRING TO BE INSTALLED PER LOCAL CODES.
 3. SEE ELECTRICAL PLANS FOR LOCATION OF CONTROLLER.
 4. CONTROLLER TO BE MOUNTED APPROXIMATELY 5'-0" ABOVE FINISHED FLOOR ELEVATION.

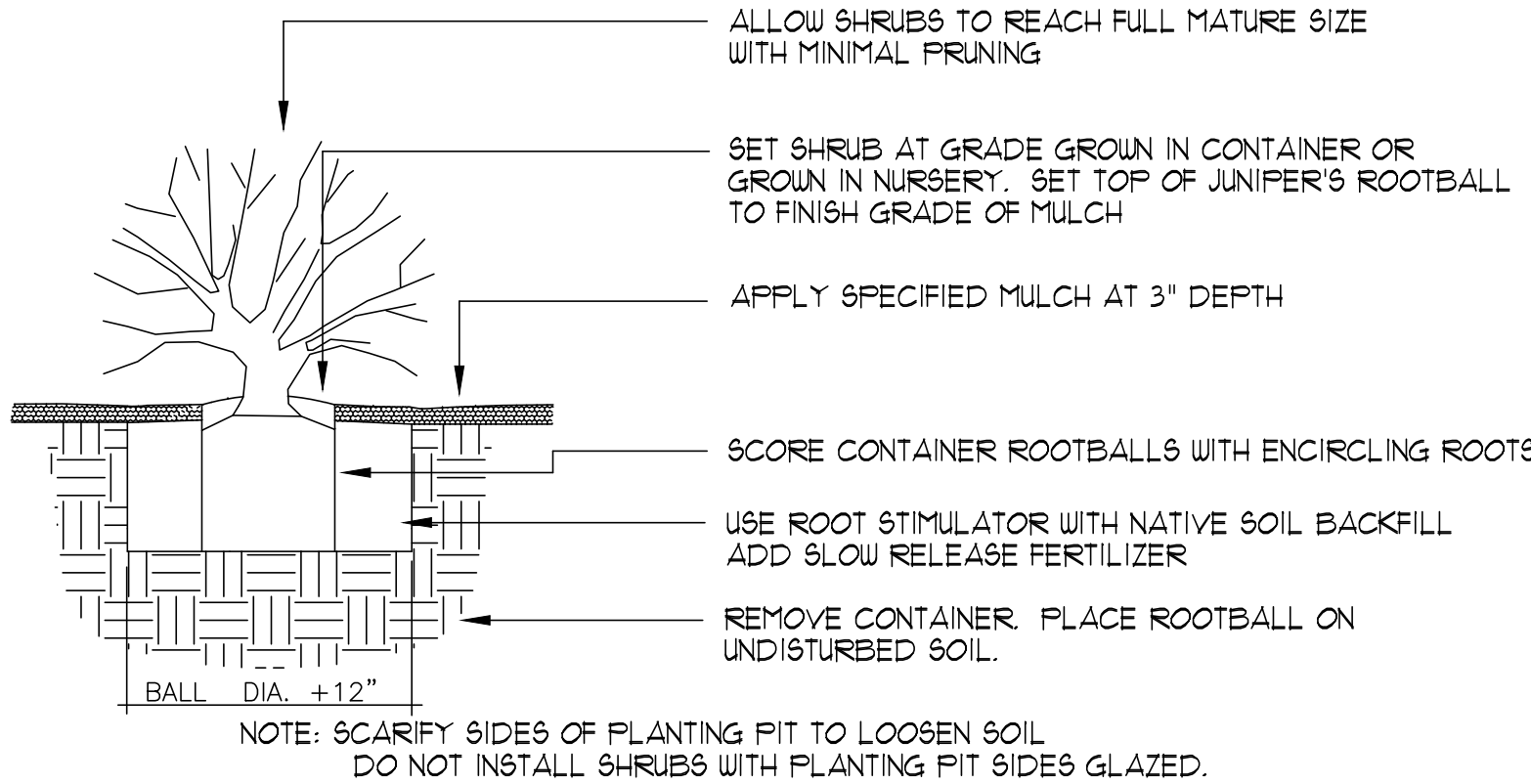
CONTROLLER DETAIL

N.T.S.



TREE PLANTING DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.

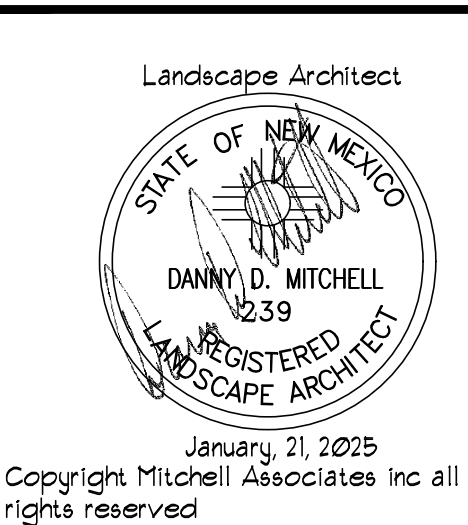


danny@mitchellassociatesinc.com

505.639.9583

MODULUS ARCHITECTS

8220 SAN PEDRO DR. NE, SUITE 520
ALBUQUERQUE, NEW MEXICO 87113
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE Cibola Lp. Apartments	DRAWN BY:
PROJECT MANAGER	JOB NO.
SHEET TITLE Landscape Details	

DATE:	Sheet: Project No: 2024-021
SCALE: AS NOTED	DRAWING NO: LS-101

City of Albuquerque Integrated Development Ordinance-Landscaping, Buffering, and Screening Provided for Reference

PURPOSE

The Section 14-16-5-6 regulates landscaping to ensure visually attractive, sustainable desert landscapes that aid in the creation of a quality public realm. The City recognizes landscape as a visual component to quality environments that enhance Albuquerque's overall appearance and provide other public benefit through:

- 5-6(A)(1) Providing visual relief from urbanization.
- 5-6(A)(2) Establishing a consistent, attractive streetscape that generates a sense of continuity and a strong positive city image.
- 5-6(A)(3) Improving the aesthetic appearance of commercial, industrial, and multi-family residential development to protect and enhance public and private investments and property values.
- 5-6(A)(4) Ensuring the use of native and/or adapted, low water-use, or xeric species and regionally appropriate, sustainable design and maintenance techniques to conserve water resources.
- 5-6(A)(5) Contributing to the processes of air purification, oxygen regeneration, groundwater recharge, and stormwater runoff retention. Landscape should be designed to retain soil moisture, prevent erosion, encourage the growth of abutting plantings, and mitigate urban heat-island effects, while aiding in the abatement of air and water pollution, dust, noise, heat, and glare.
- 5-6(A)(6) Providing screening of some types of facilities, structures, and equipment.
- 5-6(A)(7) Providing shade and comfort for pedestrians and visually narrowing streets, which has been shown to reduce vehicle speeding and accidents.

5-6(B) APPLICABILITY

5-6(B)(1) The provisions of this Section 14-16-5-6 shall apply to any of the following, unless specified otherwise in this IDO:

- 5-6(B)(1)(a) Construction of a new building containing multi-family, mixed-use, or non-residential development, or an accessory parking structure.
- 5-6(B)(1)(b) Construction of a new parking lot containing 25 or more spaces, or expansion of an existing parking lot by 25 spaces or more.
- 5-6(B)(1)(c) Expansion of the gross floor area of an existing building containing multi-family, mixed-use, or non-residential development by 2500 square feet or more, or 25 percent or more, whichever is less.
- 5-6(B)(1)(d) Renovation or redevelopment of an existing building containing multi-family, mixed-use, or non-residential development, including, but not limited to reconstruction after fire, flood, or other damage where the value of the renovation or redevelopment, indicated by building permits, is \$500,000 or more.
- 5-6(B)(2) In the case of walls provided for buffering or screening requirements with conflicting standards in this Section 14-16-5-6, Section 14-16-5-5 (Parking and

Loading), and Section 14-16-5-3 (Neighborhood Edges), the highest specified wall height allowance prevails.

5-6(B)(3) Requirements for walls provided to meet buffering and screening requirements prevail over minimum wall height regulations in Section 14-16-5-7 (Walls and Fences), but shall be subject to any other applicable material and design requirements in Subsection 14-16-5-7(E).

5-6(C) GENERAL LANDSCAPING STANDARDS

The following standards apply to all landscaping, screening, or buffering required by this Section 14-16-5-6:

5-6(C)(1) Landscape Plan Required

A landscape plan with designed landscaped areas shall be submitted as a part of all development applications where landscaping, buffering, or screening is required, unless the relevant decision-making body determines that compliance with the provisions of this Section 14-16-5-6 can be demonstrated without the use of a landscape plan. A landscape plan may be submitted without any other required application materials. If compliance with this Section 14-16-5-6 can be demonstrated in the combined materials, landscaping shall be maintained pursuant to the requirements of Subsection 14-16-5-5(B)(6).

5-6(C)(2) Minimum Landscape Area

5-6(C)(2)(a) Except as noted in Subsection (b) below, a minimum of 15 percent of the net lot area of each development shall contain landscaping.

5-6(C)(2)(b) In DT-UC-MB areas, a minimum of 10 percent of the net lot area of each development shall contain landscaping. In these areas, landscaping required to meet this requirement need not be at ground level. (See Figure below.)

5-6(C)(2)(c) The natural realistic spread of trees and shrubs will be used to calculate required vegetative coverage as follows:

1. Tree canopies and ground-level plants shall cover a minimum of 15 percent of the lot landscape area as measured by canopy width or the area beneath the drip line of the plants.
2. The size of the actual vegetation, if the required vegetative coverage, a minimum of 25 percent shall be provided as ground-level plants (shrubs, grasses, etc.) as measured of the mature size of the actual vegetation. (See Figure below.)

5-6(C)(2)(d) See also Subsections 14-16-5-6(D) (Street Frontage Landscaping), 14-16-5-6(E) (Edge Buffer Landscaping), and 14-16-5-6(F) (Parking Lot Landscaping) for additional landscaping requirements.

5-6(C)(3) Overlapping Requirements

5-6(C)(3)(a) If areas required to be landscaped by 2 or more provisions of this Section 14-16-5-6 overlap each other, the provision requiring the greater amount of landscaping shall apply and landscaping provided that meets the greater requirement shall count toward fulfilling the overlapping requirement.

1. See Subsection 14-16-5-6(C)(12) (Existing Vegetation Credit).

2. See Subsection 14-16-5-6(C)(13) (Stormwater Management Features).
3. See Subsection 14-16-5-6(D) (Street Frontage Landscaping).
4. See Subsection 14-16-5-6(E) (Edge Buffer Landscaping).
5. See Subsection 14-16-5-6(F) (Parking Lot Landscaping).

5-6(C)(3)(b) Landscaped areas may count toward satisfying usable open space requirements specified for Residential zone districts in Table 5-1-1 and for Mixed-use zone districts in Table 5-1-2.

5-6(C)(3)(c) Gardens and community gardens provided may count toward satisfying the requirements of Subsection 14-16-5-6(C)(2) (Minimum Landscape Area).

5-6(C)(3)(d) Any landscaping provided to meet requirements in Subsection 14-16-5-2(1) (Major Arroyo Standards) may count toward any required landscaping in this Section 14-16-5-6 but shall be subject to Subsection 14-16-5-6(C) (General Landscaping Standards).

5-6(C)(3)(e) Any covered or uncovered outdoor seating and gathering areas provided to meet requirements in Subsection 14-16-5-1(E)(3) (Outdoor Seating and Gathering Areas) may count toward up to 1/3 of required landscaping in Section 14-16-5-6 but shall be subject to standards in Subsection 14-16-5-6(C) (General Landscaping Standards).

5-6(C)(4) Required Plant Materials and Site Amenities

5-6(C)(4)(a) A minimum of 5 species must be used in the landscaped area.

5-6(C)(4)(b) Only trees and shrubs selected from the Official Albuquerque Plant Palette of low water, drought tolerant, or xeric species and shown on a landscape plan that count toward the requirements of this Subsection 14-16-5-6(C) (General Landscaping Standards), except that, upon presentation of evidence, the relevant decision-making body may authorize alternative species or cultivars that meet all of the following requirements:

1. Meet the intended purpose of that type of landscaping.
2. Are not hazardous.
3. Are not identified as invasive on a City or State plant list.
4. Are not listed in the City's Weeded Identification Handbook.
5. Are equally hardy to the New Mexico climate.

5-6(C)(4)(c) Installation of any trees, shrubs, or other vegetation included in a State list of prohibited or invasive species or listed as noxious weeds in the City's Weeded Identification Handbook is prohibited.

5-6(C)(4)(d) No more than 10 percent of required landscape areas shall be cool season grass species. Irrigated cool season grass shall not be planted on slopes exceeding 14 percent or planted in narrow or irregularly shaped areas (10 feet or less in any dimension) in order to avoid water waste. Any cool season grass shall be installed at

least 3 feet in any direction from any impermeable hard surface. (A buffer using organic mulch can be used when planting cool season grass adjacent to impermeable surface).

5-6(C)(4)(e) Landscaping abutting arroyos shall consist of native plants that are included on the Official Albuquerque Plant Palette.

5-6(C)(4)(f) Artificial turfgrass shall not be counted as living vegetative material or to meet the requirements of this Subsection 14-16-5-6(C) (General Landscaping Standards).

5-6(C)(4)(g) All vegetation shall comply with Article 9-3-2 and Parts 6-1-1 and 6-6-2 of ROA 1994 (Pollen Control, Water Conservation Landscaping and Water Waste, and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable.

5-6(C)(4)(h) All required plant materials shall be free of disease and insects and shall conform to the American Standard for Nursery Stock (ANSI) of the American Nursery and Landscape Association.

5-6(C)(4)(i) Shade trees planted approximately 25 feet from center are required along all required pedestrian walkways. If the walkway is less than 25 feet long, at least one tree is required, or where there is insufficient space for 2 trees, a trellis of at least 8 feet high for at least 5 feet along the walkway shall be provided.

5-6(C)(4)(j) In DT-UC-MB areas, landscaped areas other than street frontage shall include pedestrian furniture, pedestrian amenities, or trash receptacles to encourage pedestrian use.

5-6(C)(4)(k) See also Subsection 14-16-5-6(D) (Street Frontage Landscaping) for additional landscaping requirements.

5-6(C)(5) Soil Condition and Planting Backfill

5-6(C)(5)(a) All vegetated landscaping required by this Section 14-16-5-6 shall be planted in uncompacted soil.

5-6(C)(5)(b) If used, use of barriers shall be permeable to optimize stormwater infiltration and prevent runoff.

5-6(C)(5)(c) The use of gravel or crusher fines as ground cover is limited to a maximum of 75 percent of the ground cover, or 50 percent in DT-UC-MB areas. 5-6(C)(5)(d) A minimum of 1 inches of organic mulch is required in all planting areas, with 3-4 inches recommended.

5-6(C)(5)(e) Organic mulch is required as ground cover under trees in a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, used barrier fabric is prohibited.

5-6(C)(5)(f) All landscaped areas shall be protected from vehicular encroachment by curbs or wheel stops located 2 feet outside the landscaped area, with openings to accommodate surface collection of stormwater runoff in vegetated areas and stormwater infiltration areas.

5-6(C)(5)(g) Minimum Plant Sizes at Installation

All vegetation required by this Section 14-16-5-6 shall meet the minimum size requirements in Table 5-6-1 unless specified otherwise in this IDO.

Table 5-6-1: Minimum Plant Sizes	
Plant subcategory (Type/Species)	Minimum size
Deciduous Street Trees	12 ft. crown in 15' above grade
Deciduous Small Trees	1.5-2 cal. cal. in 15' above grade
Evergreen Tree	8 ft. height
Shrubs	Minimum 2 bushy stems, combined caliper of 2 in.
Ground cover and turf	1 gallon container size

5-6(C)(6) Plant Material Spacing

5-6(C)(6)(a) Vegetation required by this Section 14-16-5-6 shall be located at least 3 feet in any direction from any fire hydrants, valve vaults, hose bibs, manholes, hydrants, and fire department connections.

5-6(C)(6)(b) Where tree planting requirements are based on the length of the street frontage, areas occupied by driveways and drive aisles shall be included when calculating the number of trees required to be planted, and all trees that would otherwise be required in driveways or drive aisles shall be planted in other landscaped front yard areas.

5-6(C)(6)(c) The Planning Director may authorize adjustments to any spacing requirements when required due to topography, drainage, utilities or obstructions, provided that the total amount of required landscaping is not reduced.

5-6(C)(7) Protecting Clear Sight Triangle

The clear sight triangle shall be maintained at all exits of parking areas and street intersections.

5-6(C)(8) Planting in or over the Public Right-of-Way

5-6(C)(8)(a) All buffering or vegetative material or installation of any landscaping, buffering, or screening material in the public right-of-way shall require the prior approval of the City. The property owner shall be responsible for the maintenance, repairs, or liability for all the landscaping placed in or over the public right-of-way.

5-6(C)(8)(b) Any trees that overhang a public sidewalk or Major Public Open Space shall be trimmed to maintain an 8 foot clearance over the sidewalk. Any trees that overhang a public street shall be trimmed to maintain a 9 foot clearance over the street surface.

5-6(C)(8)(c) Where landscaping is installed in the public right-of-way the applicant shall install an adequate irrigation system that meets the minimum technical requirements in Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM with a separate meter for the landscape area.

5-6(C)(8)(d) All watering and irrigation systems shall be installed in the public right-of-way.

5-6(C)(8)(e) Planting near Utilities

5-6(C)(8)(e)(i) Trees and shrubs shall not be planted in utility easements unless there is no other practicable location or the lot where the landscaping would interfere with its intended purpose. The Planning Director may adjust the location of required landscaping to avoid utility easements, provided that the total amount of landscaping and buffering required is not reduced.

5-6(C)(8)(e)(ii) Trees or shrubs planted within utility easements shall comply with the requirements of the utility provider to minimize effects on facilities, maintenance and repair.

5-6(C)(8)(e)(iii) If overhead distribution electric lines are present and large trees are not planted due to potential interferences with the electric lines, one ornamental tree with a mature height of 7 feet shall be planted per 20 feet of street frontage. New trees planted near electric transmission lines shall be no taller than 25 feet in height at maturity to avoid conflicts with existing electric facilities.

5-6(C)(8)(e)(iv) All screening and vegetation surrounding ground-mounted transformers and utility pads must allow 10 feet of clearance for access and to ensure the safety of the work crews and public during maintenance and repair.

5-6(C)(8)(f) Trees shall not be planted near existing or proposed street light poles.

5-6(C)(8)(g) Standards in the DPM may apply to tree planting in or near other utility easements, such as gas lines.

5-6(C)(9) Parking on Landscaped Areas Prohibited

5-6(C)(9)(a) Prohibited on Landscaped Areas

5-6(C)(9)(b) Prohibited on Landscaped Areas

5-6(C)(9)(c) Prohibited on Landscaped Areas

5-6(C)(9)(d) Prohibited on Landscaped Areas

5-6(C)(9)(e) Prohibited on Landscaped Areas

5-6(C)(9)(f) Prohibited on Landscaped Areas

5-6(C)(9)(g) Prohibited on Landscaped Areas

5-6(C)(9)(h) Prohibited on Landscaped Areas

5-6(C)(9)(i) Prohibited on Landscaped Areas

5-6(C)(9)(j) Prohibited on Landscaped Areas

5-6(C)(9)(k) Prohibited on Landscaped Areas

5-6(C)(9)(l) Prohibited on Landscaped Areas

5-6(C)(9)(m) Prohibited on Landscaped Areas

5-6(C)(9)(n) Prohibited on Landscaped Areas

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5-6(C)(9)(p) Prohibited on Landscaped Areas

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5-6(C)(9)(s) Prohibited on Landscaped Areas

5-6(C)(9)(t) Prohibited on Landscaped Areas

5-6(C)(9)(u) Prohibited on Landscaped Areas

5-6(C)(9)(v) Prohibited on Landscaped Areas

5-6(C)(9)(w) Prohibited on Landscaped Areas

5-6(C)(9)(x) Prohibited on Landscaped Areas

5-6(C)(9)(y) Prohibited on Landscaped Areas

5-6(C)(9)(z) Prohibited on Landscaped Areas

5-6(C)(10) Planting Area by Tree Height at Maturity

5-6(C)(10)(a) Planting Area by Tree Height at Maturity

5-6(C)(10)(b) Planting Area by Tree Height at Maturity

5-6(C)(10)(c) Planting Area by Tree Height at Maturity

5-6(C)(10)(d) Planting Area by Tree Height at Maturity

5-6(C)(10)(e) Planting Area by Tree Height at Maturity

5-6(C)(10)(f) Planting Area by Tree Height at Maturity

5-6(C)(10)(g) Planting Area by Tree Height at Maturity

5-6(C)(10)(h) Planting Area by Tree Height at Maturity

5-6(C)(10)(i) Planting Area by Tree Height at Maturity

5-6(C)(10)(j) Planting Area by Tree Height at Maturity

5-6(C)(10)(k) Planting Area by Tree Height at Maturity

5-6(C)(10)(l) Planting Area by Tree Height at Maturity

5-6(C)(10)(m) Planting Area by Tree Height at Maturity

5-6(C)(10)(n) Planting Area by Tree Height at Maturity

5-6(C)(10)(o) Planting Area by Tree Height at Maturity

5-6(C)(10)(p) Planting Area by Tree Height at Maturity

5-6(C)(10)(q) Planting Area by Tree Height at Maturity

5-6(C)(10)(r) Planting Area by Tree Height at Maturity

5-6(C)(10)(s) Planting Area by Tree Height at Maturity

5-6(C)(10)(t) Planting Area by Tree Height at Maturity

5-6(C)(10)(u) Planting Area by Tree Height at Maturity

5-6(C)(10)(v) Planting Area by Tree Height at Maturity

5-6(C)(10)(w) Planting Area by Tree Height at Maturity

5-6(C)(10)(x) Planting Area by Tree Height at Maturity

5-6(C)(10)(y) Planting Area by Tree Height at Maturity

5-6(C)(10)(z) Planting Area by Tree Height at Maturity

5-6(C)(11) Additional Frontage Landscaping

5-6(C)(11)(a) General

5-6(C)(11)(b) General

5-6(C)(11)(c) General

5-6(C)(11)(d) General

5-6(C)(11)(e) General

5-6(C)(11)(f) General

5-6(C)(11)(g) General

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5-6(C)(19)(t) General

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5-6(C)(19)(v) General

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5-6(C)(19)(y) General

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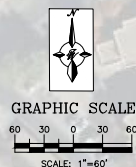
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CAUTION
ALL EXISTING UTILITIES/TOPOGRAPHY SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

BENCHMARK - NAVD 88
ACS MONUMENT "6, A13" HAVING AN ELEVATION OF 5103.431 FEET

NOTE:
REFER HYDRO NUM FILE A13D0118 FOR PREVIOUS GRADING AND DRAINAGE REPORT.

Cibola Loop NW



City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 11/01/2024
BY: [Signature]
Hydrology # A13D0118
THESE PLANS AND/OR REPORT ARE
CONCEPTUAL ONLY. MORE INFORMATION MAY
BE NEEDED IN THEM AND SUBMITTED TO
HYDROLOGY FOR BUILDING PERMIT APPROVAL.

RETENTION POND UNDER
CONSTRUCTION

STORM
CULVERT

STORM
CULVERT

EXISTING DETENTION POND DESIGN
MAX PEAK STORAGE= 2089 AC-FT
MAX STORAGE+ OVERTFLOW=88 AC-FT
DEPTH= 40 FT DEPTH TO OVERTFLOW=23 FT

TOTAL PEAK
INFLOW
Q=185.2 CFS

DETENTION POND TO BE
RE-CONFIGURED WITH
DEVELOPMENT OF TRACT
A-1 ALLOWABLE OUTFLOW
=13.6 CFS

PROPOSED
RETAINING
WALL
0-6 FT TALL

PROPOSED
TEMPORARY 18"
OUTFLOW PIPE

PROPOSED DETENTION POND
TOP ELEV = 5086 FT
TOP AREA = 11,281 SF
BOTTOM ELEV = 5074 FT
BOTTOM AREA = 700 SF
TOTAL VOLUME = 47,259 CF

NEW 12" POND
STAND PIPE
PIPE

PROPOSED
RETAINING
WALL
6 FT TALL

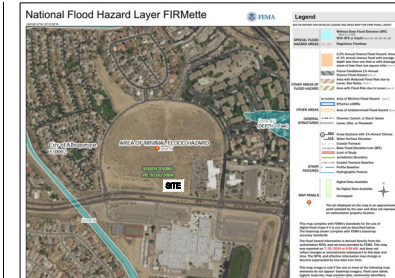
EXISTING 18"
OUTFLOW PIPE

PROPOSED
RETAINING
WALL
6 FT TALL

PROPOSED
RETAINING
WALL
0-6 FT TALL



ZONE ATLAS MAP: A-19-Z




FIRM MAP: 35001C01080

LEGAL DESCRIPTION:
TRACT B-1 BULK PLAT TRACTS A-1, A-2, B-1 & C-1 CIBOLA LOOP SUBDIVISION CONT 5.1785 AC

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASTMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- PROPOSED SIDEWALK
- RETAINING WALL
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION
- FLOW ARROW
- EXISTING CONCRETE SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION
- BASIN

ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	CIBOLA LOOP APARTMENTS ALBUQUERQUE, NM CONCEPTUAL GRADING & DRAINAGE PLAN TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87110 (505) 858-3100 www.terrawestllc.com	DRAWN BY LN DATE 07/16/2024 2024040_BASINS SHEET # GR-1 JOB # 2024040
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Cibola Loop NW

Existing Conditions															
		Basin Descriptions								100-Year, 24-Hr					
Basin ID	Tract	Area (sf)	Area (acres)	Area (sq miles)	Treatment A %	Treatment A (acres)	Treatment B %	Treatment B (acres)	Treatment C %	Treatment C (acres)	Treatment D %	Treatment D (acres)	Runoff (in)	Volume (ac-ft)	Flow cfs
H1	A	332,374	7.63	0.01192	75%	5.723	0%	0.000	25%	1.908	0%	0.000	0.640	0.405	7.36
H2	A	206,021	4.73	0.00739	95%	4.493	0%	0.000	5%	0.236	0%	0.000	0.560	0.222	4.98
Total		538,395	12.36	0.01931		10.216		0.000		2.144		0.000		0.627	12.34

EXISTING CONDITIONS:
BASINS H1 AND H2 ARE CURRENTLY UNDEVELOPED WITH AN EXISTING DETENTION POND LOCATED ON THE SOUTHWEST SIDE OF THE PROJECT SITE. UNDEVELOPED STORM WATER RUNOFF CURRENTLY SHEET FLOWS INTO THE EXISTING DETENTION POND FROM NORTH TO SOUTH. NO OTHER BASIN CONTRIBUTE TO SITE FLOWS AS DEPICTED IN THE EXHIBIT.

TRACT A-2
MULTIGENERATIONAL CENTER
FULL RETENTION
FLOW DOES NOT CONTRIBUTE
TO SITE FLOWS

TRACT C-1
POLICE STATION
Q_{ALLOW}=8.5 CFS
FLOW DOES NOT
CONTRIBUTE TO SITE
FLOWS

RETENTION POND
UNDER
CONSTRUCTION
REFER HYDROLOGY
FILE: A330025

BASIN H1
7.63 ACRES

BASIN H2
4.73 ACRES




TRACT B-9E-2-A
POLICE STATION
Q_{ALLOW}=2.1 CFS
FLOW DOES NOT
CONTRIBUTE TO SITE
FLOWS

EXISTING DETENTION
POND TO BE
RE-CONFIGURED WITH
DEVELOPMENT OF TRACT
A-1. ALLOWABLE OUTFLOW
=5.6 CFS



LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- - - BUILDING
- - - PROPOSED SIDEWALK
- - - RETAINING WALL
- - - CONTOUR MAJOR
- - - CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- - - EXISTING CONCRETE SIDEWALK
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - EXISTING CONTOUR MAJOR
- - - EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION
- - - BASIN

<div>ENGINEER'S SEAL</div> <div></div> <div>RONALD R. BOHANNAN P.E. #7868</div>	<div>CIBOLA LOOP APARTMENTS</div> <div>ALBUQUERQUE, NM</div> <div>EXISTING BASIN MAP</div>	<div>DRAWN BY LN</div> <div>DATE 07/16/2024</div> <div>2024040_BASINS</div>
<div>11/06/2024</div> <div>RONALD R. BOHANNAN P.E.</div>	<div></div> <div>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierwestllc.com</div>	<div>SHEET # GR-2</div> <div>JOB # 2024040</div>

PROPOSED DETENTION POND STORAGE				
ACTUAL ELEV.	H (FT)	VOLUME (CFS)	S (AC-FT)	VOLUME (AC-FT)
5074	0.00	0	0.00	0.0000
5075	0.00	1099	0.00	0.0252
5076	0.00	3031	0.00	0.0696
5077	0.00	5869	0.00	0.1347
5078	0.00	9689	0.00	0.2224
5079	0.00	14572	0.00	0.3345
5080	0.00	20629	0.00	0.4736
5081	1.00	27368	3.76	0.6425
5082	2.00	35820	5.35	0.8463
5083	3.00	47259	6.55	1.0849

Cibola Loop NW

TRACT A-2
MULTIGENERATIONAL CENTER
FULL RETENTION
FLOW DOES NOT CONTRIBUTE
TO SITE FLOWS

RETENTION POND
UNDER
CONSTRUCTION
REFER HYDROLOGY
FILE: A330025

BASIN D1.2
3.22 ACRES
FLOW=3.51 CFS

BASIN D1.1
1.37 ACRES
FLOW=5.04 CFS

BASIN D2
4.73 ACRES
FLOW = 15.70 CFS

BASIN D1.3
3.04 ACRES
FLOW=4.81 CFS

EXISTING DETENTION
POND TO BE
RE-CONFIGURED WITH
DEVELOPMENT OF TRACT
A-1. ALLOWABLE OUTFLOW
= 5.6 CFS

PROPOSED DETENTION POND
INFLOW = 5074 CFS
OUTFLOW = 5.76 CFS

TRACT C-1
POLICE STATION
Q_ALLOW=8.5 CFS
FLOW DOES NOT
CONTRIBUTE TO SITE
FLOWS

TRACT B-9E-2-A
POLICE STATION
Q_ALLOW=2.1 CFS
FLOW DOES NOT
CONTRIBUTE TO SITE
FLOWS

Proposed Conditions

Basin Descriptions														100-Year, 24-Hr				
Basin ID	Tract	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		Runoff (in)	Volume (ac-ft)	Flow cfs			
					%	(acres)	%	(acres)	%	(acres)	%	(acres)						
D1.1	A	59,550	1.37	0.00214	0%	0.000	0%	0.000	0%	0.000	100%	1.367	2.040	0.233	5.04			
D1.2	A	140,469	3.22	0.00504	100%	3.225	0%	0.000	0%	0.000	0%	0.000	0.550	0.148	3.51			
D1.3	A	132,355	3.04	0.00475	50%	1.519	0%	0.000	50%	1.519	0%	0.000	0.760	0.192	4.81			
D2	A	206,021	4.73	0.00739	0%	0.000	0%	0.000	30%	1.419	70%	3.311	1.730	0.680	15.70			
Total		538,395	12.36	0.01931		4.744		0.000		2.938		4.678		1.253	29.060			

PROPOSED CONDITIONS:

THE DEVELOPED PROJECT SITE CONSISTS OF A NEW RESIDENTIAL APARTMENT DEVELOPMENT AS WELL AS A ROADWAY AND ROUNDABOUT IMPROVEMENTS. BASIN D1.1 AND D2 ARE PROPOSED TO SHEET FLOW INTO A NEW DETENTION POND ON THE SOUTHWEST CORNER OF BASIN D2. THE PROPOSED DETENTION POND PER THE ATTACHED AHYMO CALCULATIONS REDUCES THE COMBINED FLOW RATE OF 5.04 CFS AND 15.70 CFS RESPECTIVELY (20.74 CFS TOTAL) TO 3.76 CFS.

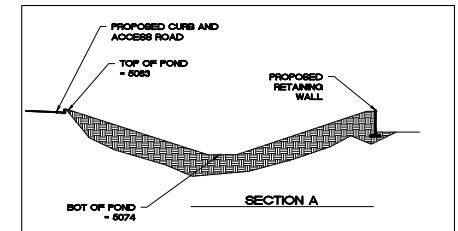
BASINS D1.2 AND D1.3 SHALL CONTINUE TO FLOW TOWARDS THE EXISTING DETENTION POND AT HISTORIC RATES UNTIL FURTHER DEVELOPMENT IS IMPLEMENTED.

THE TOTAL DEVELOPED DISCHARGE IS 12.11 CFS WHICH IS LESS THAN THE HISTORIC RATE OF 12.34 CFS

LEGEND

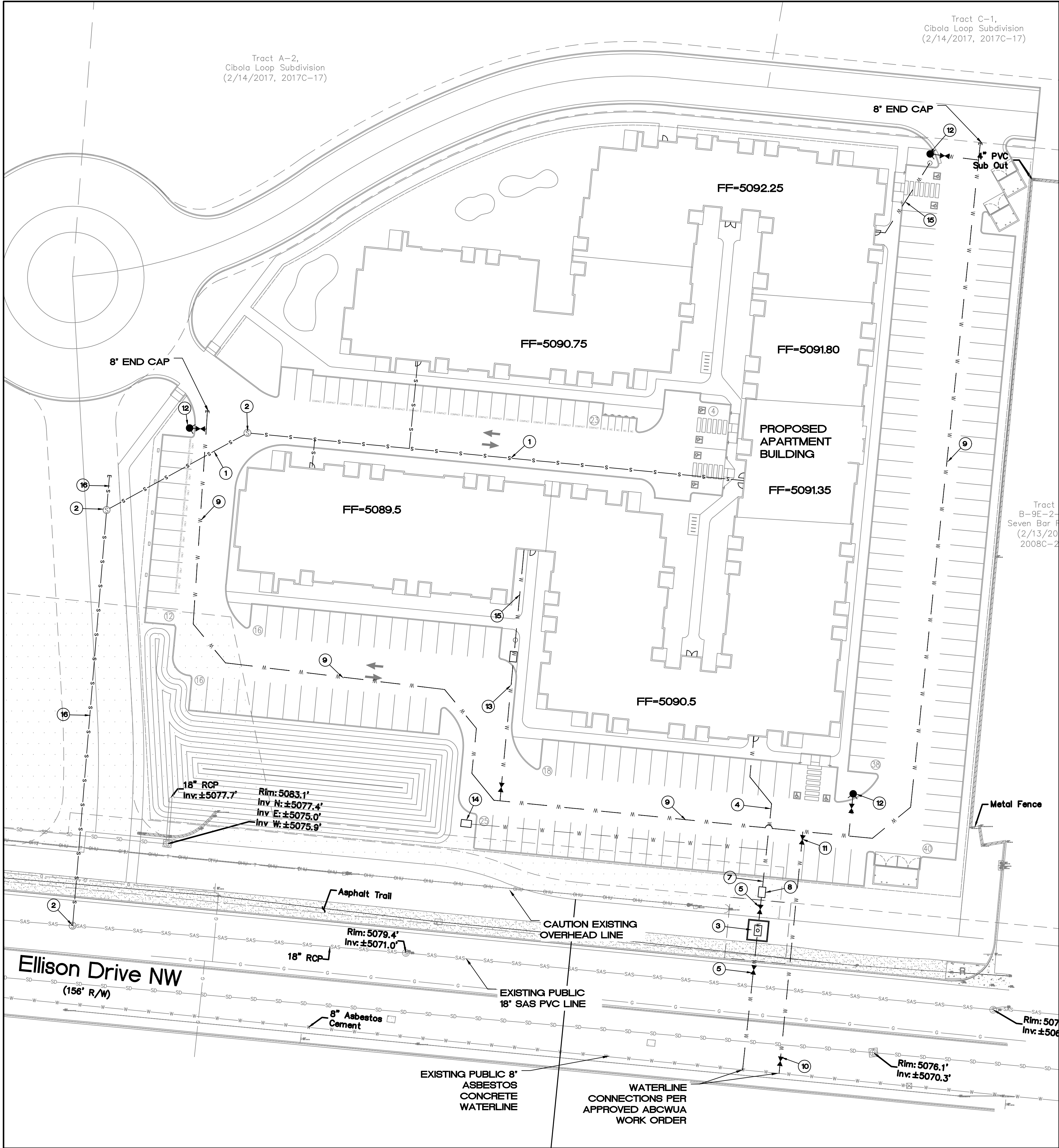
—	CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	CENTERLINE
---	RIGHT-OF-WAY
---	BUILDING
---	PROPOSED SIDEWALK
---	RETAINING WALL
5010	CONTOUR MAJOR
5011	CONTOUR MINOR
x 5048.25	SPOT ELEVATION
→	FLOW ARROW
---	EXISTING CONCRETE SIDEWALK
---	EXISTING CURB & GUTTER
---	EXISTING BOUNDARY LINE
---	EXISTING CONTOUR MAJOR
---	EXISTING CONTOUR MINOR
x 5048.25	EXISTING SPOT ELEVATION
---	BASIN

Stormwater Quality Volume	
Total Impervious Area =	2 Area in "Treatment D"
Retainage depth = 0.42" Per DPM	0.0350
Retention Volume =	0.035 x area D
Area D (4.678) =	203.773
Volume Required =	7.132.06
Volume Provided =	20,629.00



City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 11/06/2024
BY: [Signature]
Hydrologist # A3300118
THESE PLANS AND/OR REPORT ARE
CONCEPTUAL ONLY. MORE INFORMATION MAY
BE NEEDED IN THEM AND SUBMITTED TO
HYDROLOGY FOR BUILDING PERMIT APPROVAL.

 RONALD R. BOHANNAN P.E. #7868	ENGINEER'S SEAL 11/06/2024	CIBOLA LOOP APARTMENTS ALBUQUERQUE, NM PROPOSED BASIN MAP 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87110 (505) 858-3100 www.terrawestllc.com	DRAWN BY LN DATE 07/16/2024 2024040_BASINS SHEET # GR-2 JOB # 2024040



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 36" SD
- STORM SEWER LINE
- PUBLIC SANITARY SEWER LINE
- PRIVATE SANITARY SEWER LINE
- WATERLINE
- FIRE LINE
- SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING INLET
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- EXISTING OVERHEAD UTILITIES
- EXISTING UNDERGROUND UTILITIES
- EXISTING GAS
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE

KEYED NOTES

- PRIVATE 8" PVC SAS SERVICE LINE AT 2% SLOPE
INSTALL CLEAN OUTS PER UPC
- NEW STANDARD CONCRETE MANHOLE PER ABCWUA DWG 2101
- 3" WATER SERVICE LINE AND METER BOX PER ABCWUA DWG 2370
- PRIVATE 4" DOMESTIC WATER LINE
- PUBLIC 3" GATE VALVE PER ABCWUA DWG 2326
- PRIVATE 4" GATE VALVE PER ABCWUA DWG 2326
- 3" TO 4" WATERLINE REDUCER
- BACKFLOW PREVENTOR PER ABCWUA DWG 2385
- 8" PVC PRIVATE FIRE LINE
- 8" PUBLIC GATE VALVE PER ABCWUA DWG 2326
- 8" PRIVATE GATE VALVE PER ABCWUA DWG 2326
- FIRE HYDRANT WITH 6" FIRE LINE, 6" GATE VALVE
PER ABCWUA DWG 2340
- 6" PVC FIRE LINE WITH 6" GATE VALVE
- BACKFLOW PREVENTER FOR IRRIGATION SYSTEM
REFER LANDSCAPE PLAN FOR CONTINUATION
- 6" PVC FIRE LINE
- NEW PUBLIC 8" SANITARY SEWER LINE PER APPROVED WORK ORDER

CAUTION:

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GENERAL UTILITY NOTES:

ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH THE ALBUQUERQUE BERNALILLO WATER UTILITY AUTHORITY (ABCWUA) LATEST DETAILS AND SPECIFICATIONS.

- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- IRRIGATION AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY. CALL 811 FOR PUBLIC UTILITIES LOCATES.
- PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.

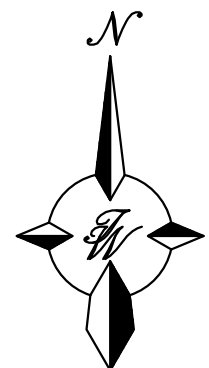
GENERAL UTILITY NOTES:

- CONTRACTOR MUST COORDINATE WATER SYSTEM WITH SEWER SYSTEM TO PREVENT ANY CONFLICTS WHERE THESE LINES INTERSECT ONE ANOTHER.
- PROVIDE 3 FEET OF COVER MINIMUM FOR ALL PROPOSED WATER LINES.
- AREAS WHERE WATER PIPES CROSS OVER SEWER PIPES SHALL NOT HAVE ANY JOINTS.
- NO FENCES, SIGNS, TREES OR ROCKWALLS TO BE PLACED WITHIN UTILITY EASEMENTS.
- CONTACT UTILITY COMPANIES FOR EXACT LOCATION OF UNDERGROUND UTILITIES IN THIS AREA BEFORE EXCAVATION.
- INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FEET AS PER O.S.H.A. STANDARDS.
- PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING SLEEVES, TEES, BENDS, PLUGS AND ALL FITTINGS. REFER TO ABCWUA STANDARD DETAIL DRAWING 2320
- P.V.C. PIPE SHALL BE PLACED WITH SELECT BEDDING MATERIAL ALL AROUND.
- CAUTION: VERIFY LOCATION & DEPTH OF EXISTING GAS MAIN IN THE AREA OF CONSTRUCTION, BEFORE INSTALLING WATER LINE.
- CONTRACTOR TO ADJUST WATER VALVES TO FINAL GRADE WHERE NECESSARY.

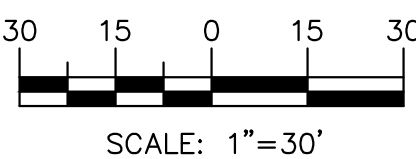
ABCWUA NOTES:

COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.


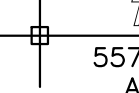
COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.

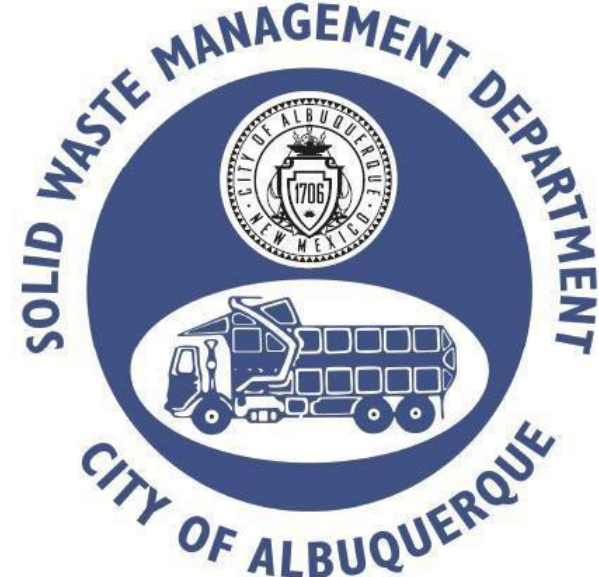


GRAPHIC SCALE



PRELIMINARY NOT FOR CONSTRUCTION

ENGINEER'S SEAL	CIBOLA LOOP APARTMENTS ALBUQUERQUE, NM	DRAWN BY LN
	SITE UTILITY PLAN	DATE 11/22/2024
	 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2024040_MUB
RONALD R. BOHANNAN P.E. #7868		SHEET # MU-1
		JOB # 2024040



Approved for access by the Solid Waste Department.

All containers must be made accessible for pick up

between the hours of 7AM and 8PM.

Reviewer: Herman Gallegos

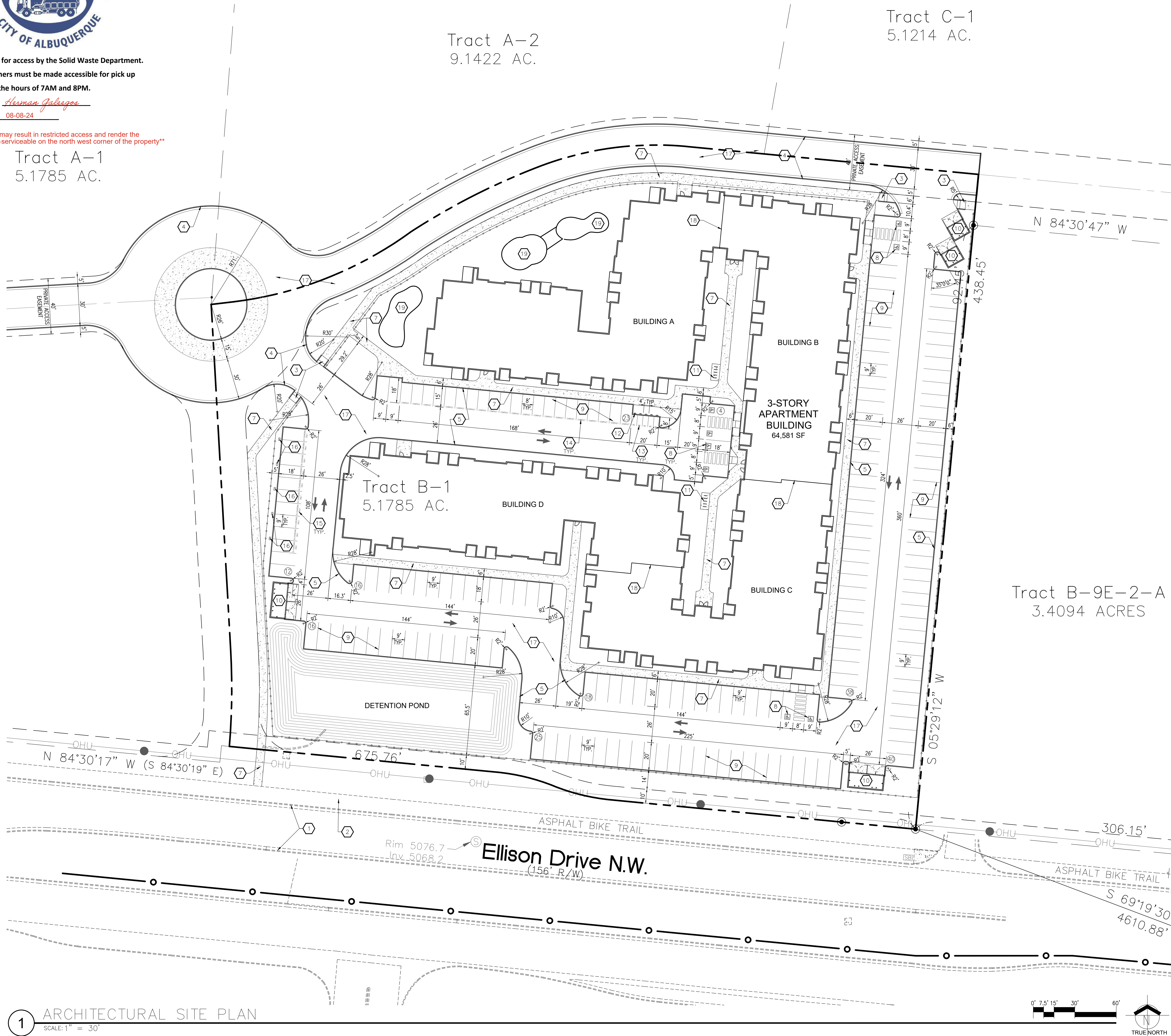
Date: 08-08-24

171 Units
If gates are added may result in restricted access and render the trash enclosure non-serviceable on the north west corner of the property

Tract A-1
5.1785 AC.

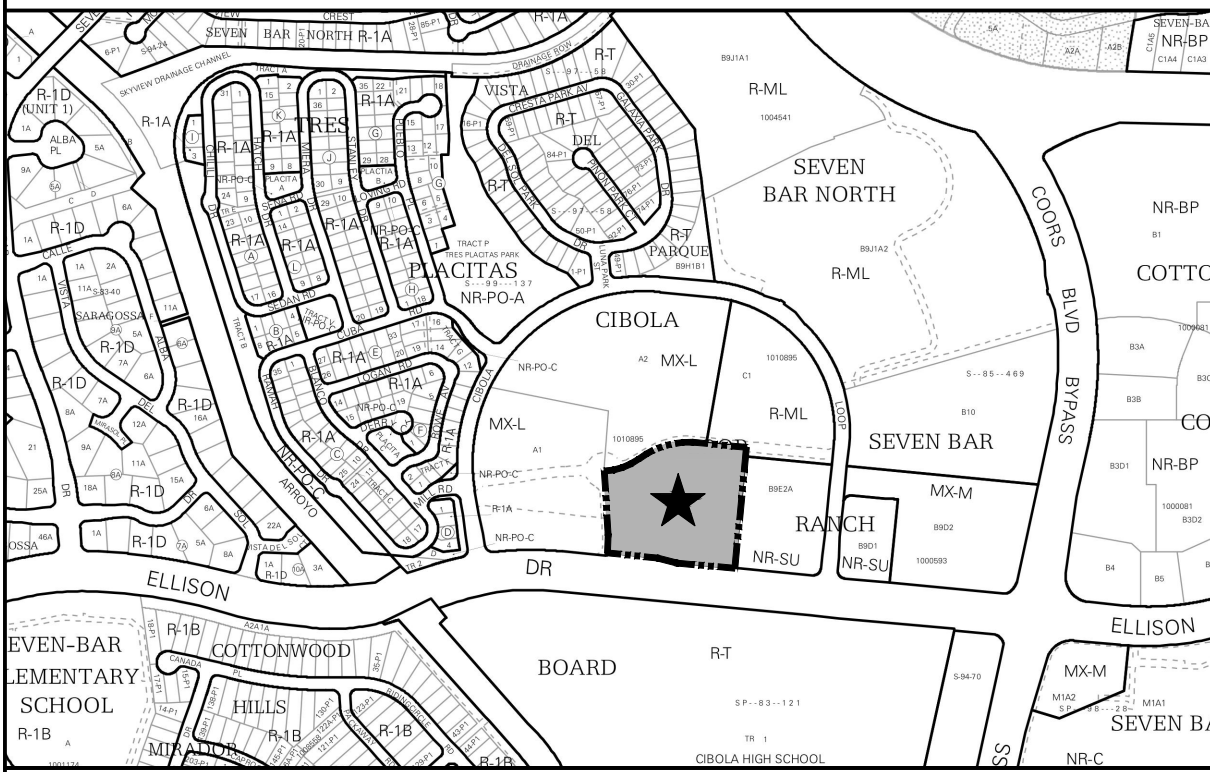
Tract A-2
9.1422 AC.

Tract C-1
5.1214 AC.



Tract B-9E-2-A
3.4094 ACRES

VICINITY MAP:



SITE DATA:

PROJECT ADDRESS: CIBOLA LOOP NW & ELLISON RD. NW
LEGAL DESCRIPTION: TRACT B-1, CIBOLA LOOP SUBDIVISION
PROPERTY SIZE: 5.1785 ACRES
CURRENT ZONING: R-ML
PROPOSED USE: MULTI-FAMILY RESIDENTIAL
TOTAL BUILDING FOOTPRINT: 64,581 SF
TOTAL BUILDING AREA: 192,903 SF (3 STORIES)

GENERAL NOTES

A. "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.

PARKING REQUIREMENTS

BUILDING DATA			
171 UNIT MULTIFAMILY APARTMENTS			
PARKING REQUIREMENTS	RATIO	REQUIRED	PROVIDED
12 3-BEDROOM UNITS	1.8 PER UNIT	21	--
93 2-BEDROOM UNITS	1.6 PER UNIT	148	--
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TOTAL OFF-STREET PARKING SPACES REQUIRED	--	248	--
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ELECTRIC VEHICLE CHARGING SPACES	5% OF REQUIRED	9	*10
TOTAL OFF-STREET PARKING SPACES PROVIDED	--	--	202
ACCESSIBLE PARKING SPACES	101-300 SPACES	8	8
MOTORCYCLE PARKING	151-300 SPACES	5	5
BICYCLE PARKING SPACES	3 OR 10% REQUIRED	10	10

* EV CHARGING SPACES COUNT AS 2 SPACES

USABLE OPEN SPACE REQUIREMENTS

(66) 1-BEDROOM UNITS X 225 SF = 14,850 SF
(93) 2-BEDROOM UNITS X 285 SF = 26,505 SF
(12) 3-BEDROOM UNITS X 350 SF = 4,200 SF
TOTAL OPEN SPACE REQUIRED = 45,555 SF
TOTAL OPEN SPACE PROVIDED = 62,920 SF

KEYED NOTES

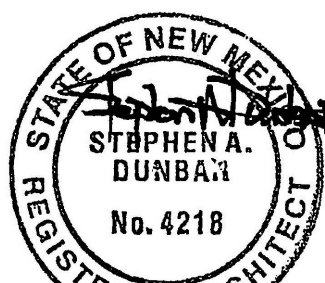
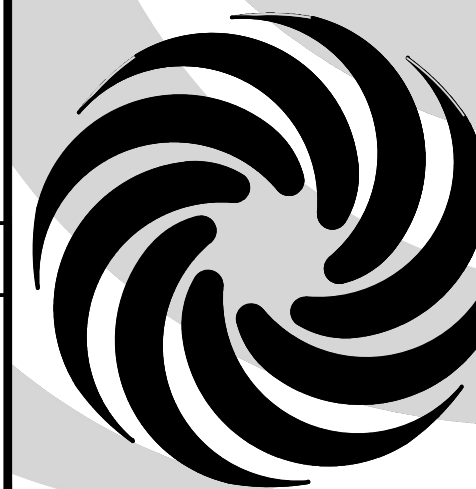
- EXISTING CONCRETE CURB & GUTTER TO REMAIN
- EXISTING ASPHALT TRAIL TO REMAIN
- NEW PARALLEL CURB RAMP PER CDA STANDARD DETAILS 2440 & 2441
- NEW 6" CONCRETE CURB & GUTTER, SEE DETAIL 2/AS501
- NEW 6" CONCRETE HEADER CURB, SEE DETAIL 1/AS501
- NEW ACCESSIBLE CURB RAMP, SEE DETAIL 12/AS501 OR 15/AS501
- NEW CONCRETE SIDEWALK, SEE DETAIL 3/AS501
- NEW ACCESSIBLE PARKING SPACES, SEE DETAIL 9/AS501
- NEW 4" WIDE PAINTED STRIPING
- NEW REFUSE ENCLOSURE, SEE DETAILS ON SHEET AS502
- NEW BICYCLE RACKS, SEE DETAIL 5/AS501
- NEW MOTORCYCLE PARKING SIGN, SEE DETAIL 11/AS501
- NEW MOTORCYCLE ("MC") PARKING SPACE PAVEMENT MARKING
- NEW "COMPACT CAR" PARKING SPACE PAVEMENT MARKING
- NEW "EV CHARGING ONLY" SPACE PAVEMENT MARKING
- NEW ELECTRIC VEHICLE CHARGING STATION, 1 STATION FOR 2 SPACES. REFER TO ELECTRICAL FOR MORE INFORMATION.
- NEW ASPHALT PAVING, SEE DETAIL 13/AS501 FOR LIGHT DUTY ASPHALT WITHIN THE PARKING STALL AREA AND 14/AS501 FOR HEAVY DUTY ASPHALT WITHIN THE DRIVE LANES
- 2-HOUR FIRE SEPARATION WALL BELOW ROOF
- PARKOUR EXERCISE AREA, EQUIPMENT TO BE PROVIDED BY OWNER

GRAPHIC LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING EASEMENT LINE
---	EXISTING CONCRETE CURB & GUTTER
---	PROPOSED BUILDING
---	PROPOSED CONCRETE CURB
---	PROPOSED CONCRETE CURB & GUTTER
---	PROPOSED CONCRETE SIDEWALK
---	PROPOSED DETENTION POND

MODULUS ARCHITECTS

8220 SAN PEDRO DR. NE, SUITE 520
ALBUQUERQUE, NEW MEXICO 87113
PHONE (505) 338-1499



8/6/2024

NOT FOR CONSTRUCTION

PROJECT TITLE
CIBOLA LOOP APARTMENTS
CIBOLA LOOP NW
ALBUQUERQUE, NM

DRAWN BY:
CDC

JOB NO.
--

PROJECT MANAGER
STEPHEN DUNBAR, AIA

SHEET TITLE
ARCHITECTURAL SITE PLAN

DATE:
08/06/2024

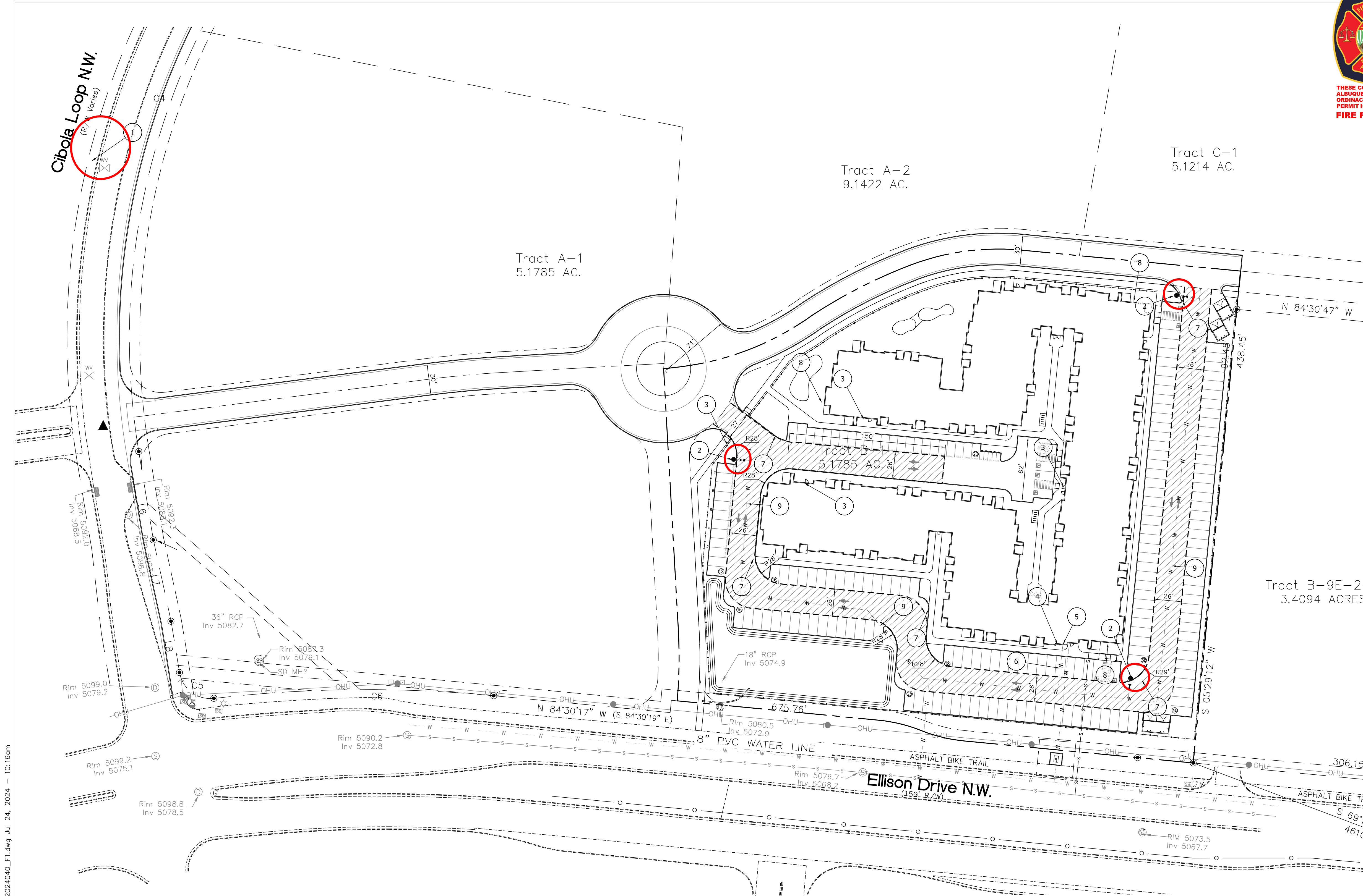
SCALE:
AS NOTED

Sheet:
AS101

1

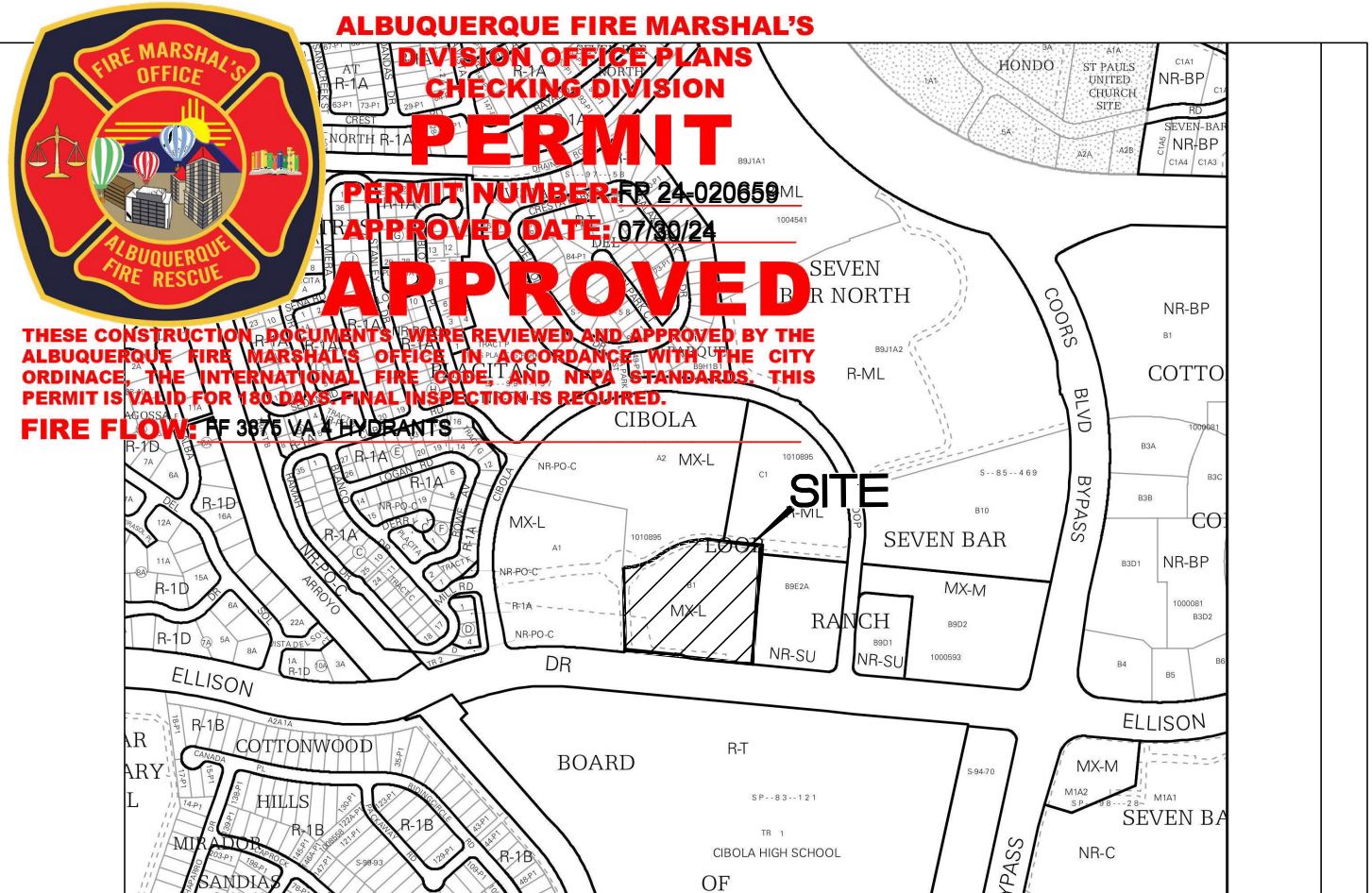
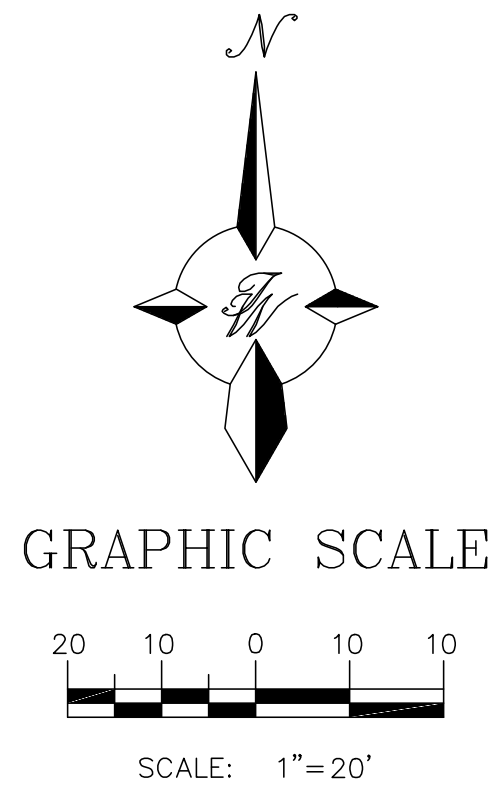
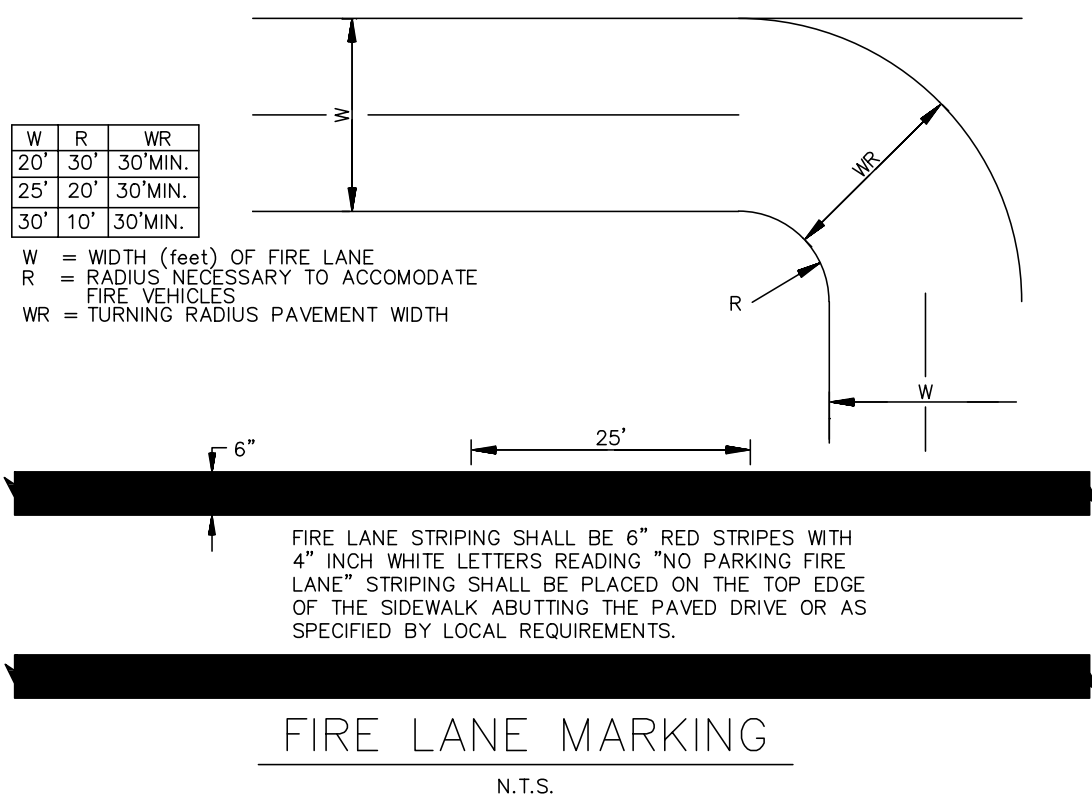
ARCHITECTURAL SITE PLAN
SCALE: 1" = 30'

\\TWNAS\Z_Drive\2024\2024040 Cibola Loop Multifamily.dwg (PFC\2024040_F1.dwg Jul 24, 2024 -- 10:16am



NOTES

- ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL.
- FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS.
- KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.
- THERE ARE NO OVERHEAD OBSTRUCTIONS PRESENT ABOVE THE FIRE ACCESS ROAD.
- CLASS 1 STAND PIPE: STAND PIPE SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING.



LEGAL DESCRIPTION:

TR B-1 BULK PLAT TRACTS A-1, A-2, B-1 & C-1 CIBOLA LOOP SUBDIVISION CONT 5.1785 AC

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- BUILDING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- ACCESS ROAD
- NO PARKING FIRE LANE LINE
- EXISTING FIRE HYDRANT
- PROPOSED HYDRANT

KEYED NOTES

- EXISTING FIRE HYDRANT
- PROPOSED PRIVATE FIRE HYDRANT, WITH 6" FIRE LINE AND 6" VALVE
- KNOX BOX
- FDC
- PIV
- 6" FIRE LINE
- FIRE LANE CURB MARKINGS BOTH SIDE OF STREET
- BUILDING ADDRESS LOCATION
- NEW 8" PRIVATE FIRE LINE

ADDRESS:
N/A CIBOLA LP NW ALBUQUERQUE
87114
UPC:
101306632712340310

LIGHT MIXED USE: MX-L
OCCUPANCY TYPE: (R-2)

BUILDING
BUILDING AREA: 182,600 SF
3 STORY HIGH BUILDING - 36 FT
CONSTRUCTION TYPE: V-A
BUILDING IS SPRINKLERED
FIRE-FLOW = 3,875 GPM
STAND PIPE SYSTEM REQUIRED

<div>ENGINEER'S SEAL</div> <div></div> <div>RONALD R. BOHANNAN P.E. #7868</div>	CIBOLA LOOP APARTMENTS ALBUQUERQUE, NM	DRAWN BY LN
	FIRE ONE PLAN	DATE 07/16/2024
	<div>TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.terrawestllc.com</div>	SHEET # F1 JOB # 2024040

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 19th, 2024

Craig Calvert,
Modulus Architects & Land Use Planning, Inc.
8220 San Pedro Dr. NE,
Albuquerque, NM 87113

**Re: Cibola Loop Apartments
99999 CIBOLA LOOP NW
Traffic Circulation Layout-DFT Approval
Engineer's/Architect's Stamp 08/01/24 (A13D011B)**

Dear Mr. Calvert,

The conceptual TCL submittal received 08/02/2024 is approved for DHO and/or DFT submittal. When submitting this project through the building permit process, a full Traffic Circulation Layout will need to be submitted and approved prior to building permit. . **When submitting a TCL for Building Permit Approval, provide the following:**

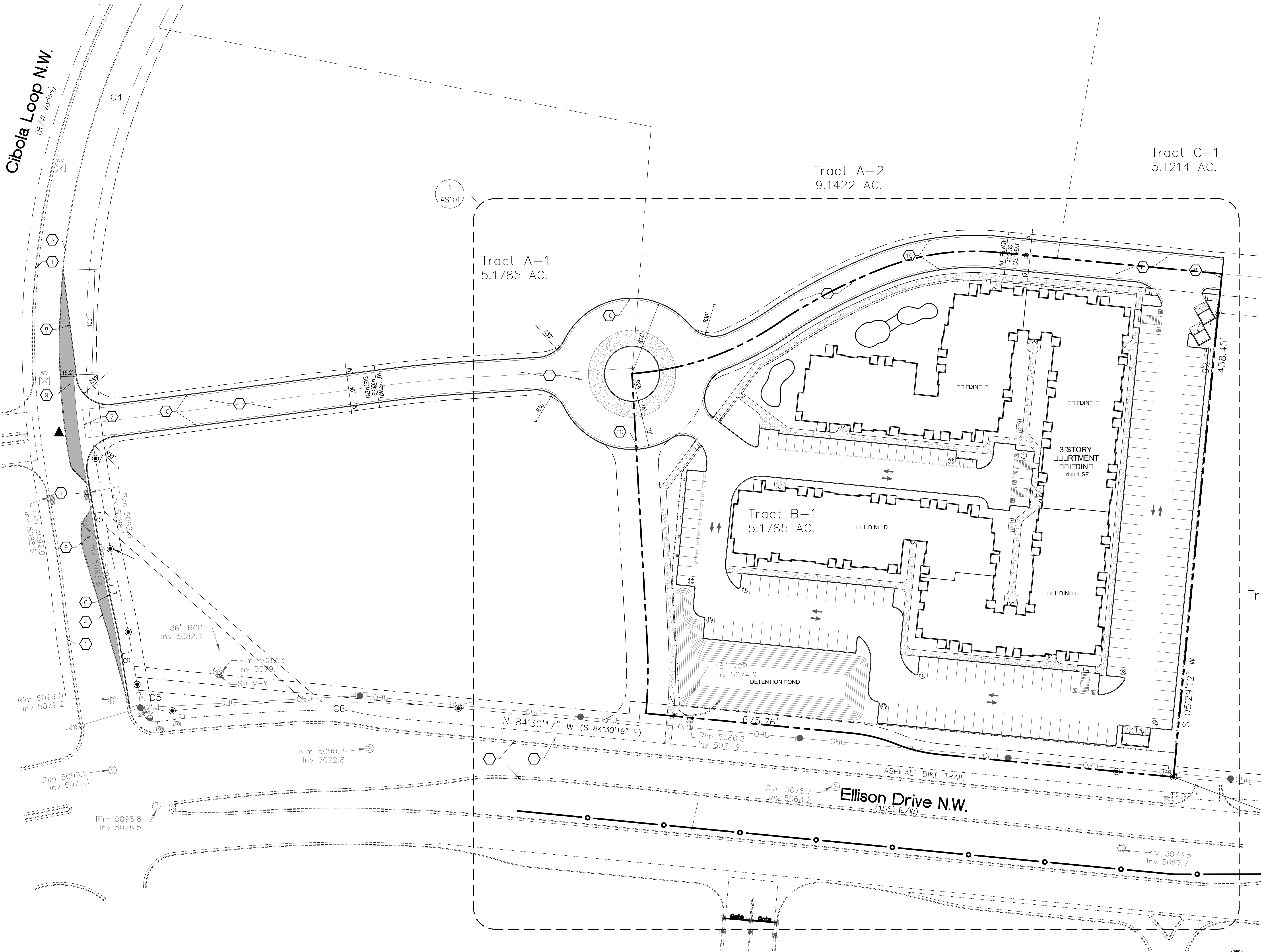
- 1. An approved infrastructure list.**
- 2. Approved Traffic Impact Study.**
- 3. Show sidewalk on both sides of the road connecting the property to the Cibola loop and also side walk for roundabout. .**

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to plndrs@cabq.gov for log in and evaluation by Transportation.

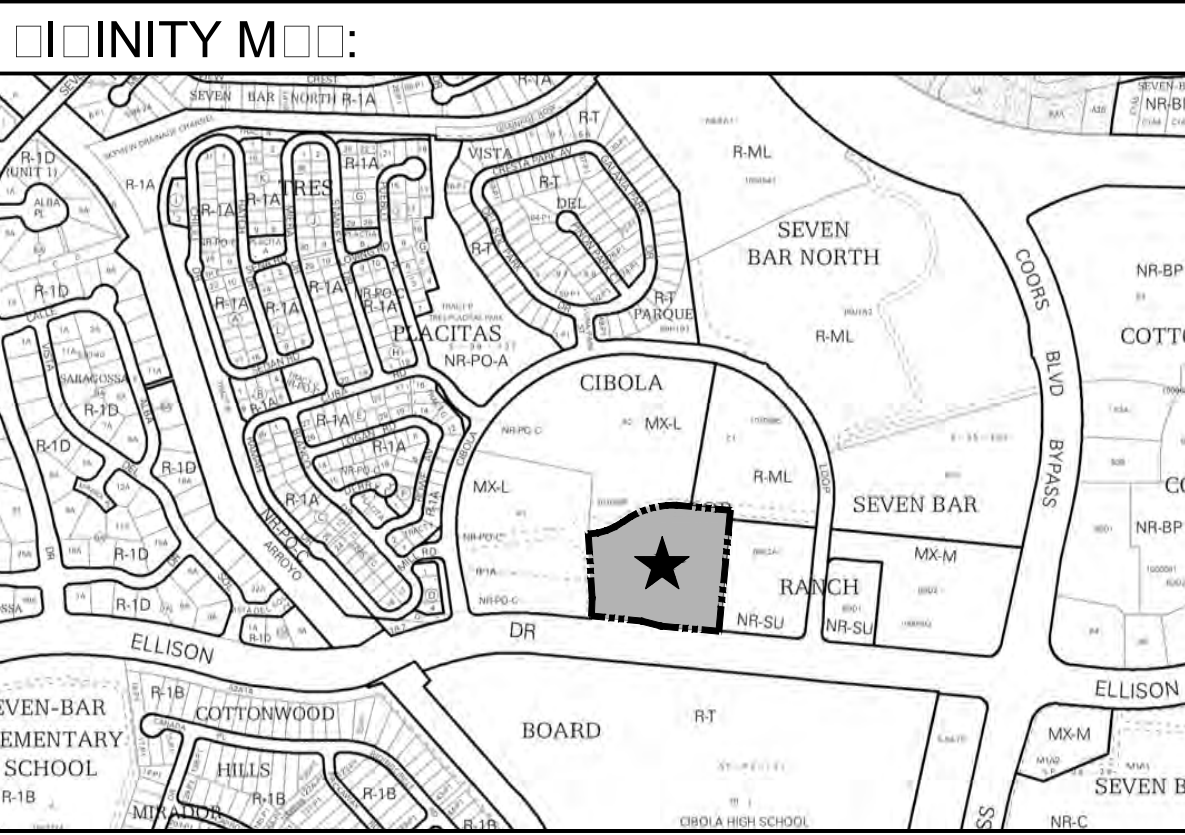
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



1 OVERALL SITE PLAN
SCALE: 1" = 40'



SITE DATA:	
PROJECT ADDRESS:	CIBOLA LOOP NW & ELLISON RD. NW
LEGAL DESCRIPTION:	TRACT B-1, CIBOLA LOOP SUBDIVISION
PROPERTY SIZE:	5.1785 ACRES
CURRENT ZONING:	R-ML
PROPOSED USE:	MULTI-FAMILY RESIDENTIAL
TOTAL BUILDING FOOTPRINT:	64,581 SF
TOTAL BUILDING AREA:	192,903 SF (3 STORIES)

KEYED NOTES


- EXISTING CONCRETE CURB & GUTTER TO REMAIN
- EXISTING ASPHALT TRAIL TO REMAIN
- EXISTING ASPHALT CURB TO REMAIN
- EXISTING ASPHALT CURB TO BE REMOVED & DISPOSED OF.
- EXISTING STORM DRAIN INLET TO REMAIN
- NEW CONCRETE CURB & GUTTER PER COA STANDARD DETAIL 2415A
- NEW CONCRETE VALLEY GUTTER PER COA STANDARD DETAIL 2420
- NEW TEMPORARY ASPHALT CURB PER COA STANDARD DETAIL 2415B
- HATCHED AREA INDICATES NEW ASPHALT DRIVE LANE FOR EXPANDED RIGHT-OF-WAY. SEE COA STANDARD DETAIL 2405A-B
- NEW 6" CONCRETE CURB & GUTTER, SEE DETAIL 2/AS501
- NEW ASPHALT PAVING, SEE DETAIL 13/AS501 FOR LIGHT DUTY ASPHALT WITHIN THE PARKING STALL AREA AND 14/AS501 FOR HEAVY DUTY ASPHALT WITHIN THE DRIVE LANES

EXISTING PROPERTY LINE	EXISTING EASEMENT LINE
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PROPOSED CONCRETE CURB	PROPOSED CONCRETE CURB & GUTTER
PROPOSED CONCRETE SIDEWALK	PROPOSED DETENTION POND

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

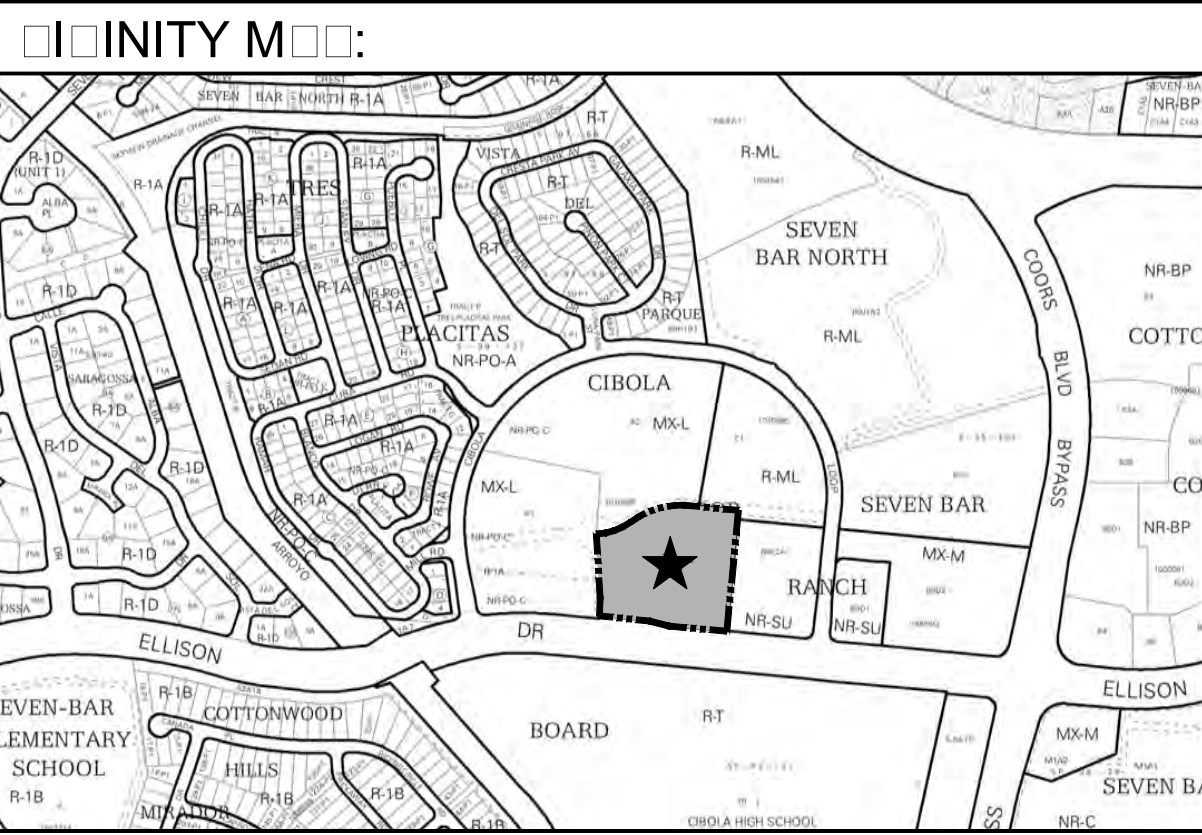
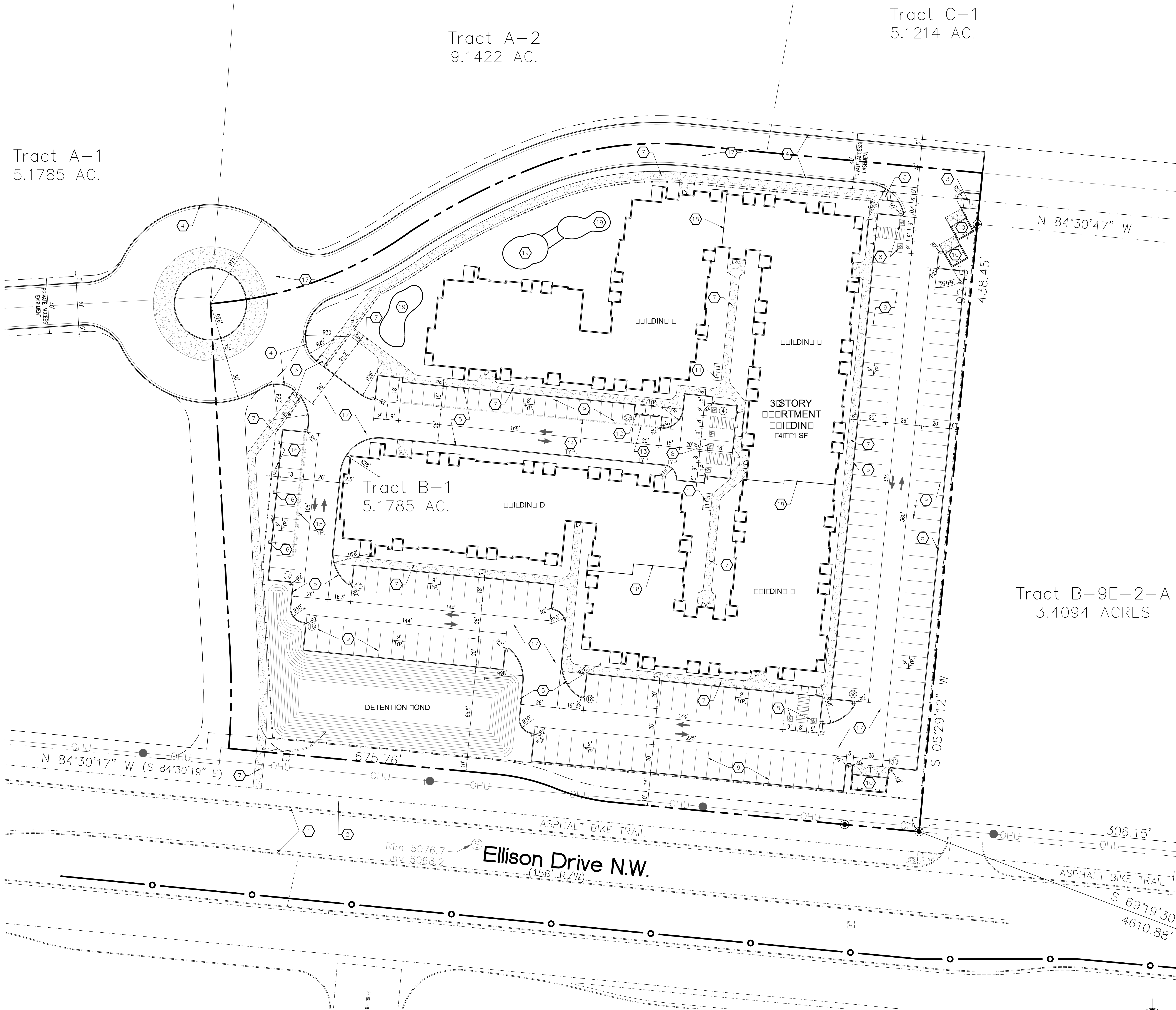


MODULUS ARCHITECTS
8220 SAN PEDRO DR. NE, SUITE 520
ALBUQUERQUE, NEW MEXICO 87113
PHONE (505) 338-1499



STEPHEN A. DUNBAR
No. 4218
8/12/2024

NOT FOR CONSTRUCTION	
PROJECT TITLE CIBOLA LOOP APARTMENTS CIBOLA LOOP NW ALBUQUERQUE, NM	DRAWN BY: CDC
PROJECT MANAGER STEPHEN DUNBAR, AIA	JOB NO. --
SHEET TITLE OVERALL SITE PLAN	
DATE: 08/10/2024	Sheet: 1
SCALE: AS NOTED	AS1000 0'



PROJECT ADDRESS:	CIBOLA LOOP NW & ELLISON RD. NW
LEGAL DESCRIPTION:	TRACT B-1, CIBOLA LOOP SUBDIVISION
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- KEYED NOTES**
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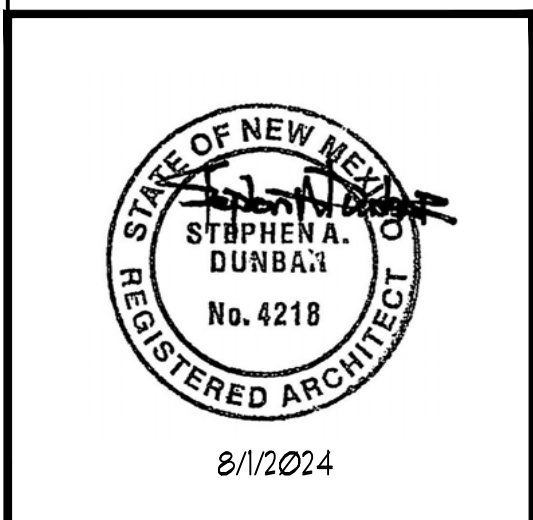
NOT FOR CONSTRUCTION	
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LEGEND	
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---	PROPOSED BUILDING
---	PROPOSED CONCRETE CURB
---	PROPOSED CONCRETE CURB & GUTTER
---	PROPOSED CONCRETE SIDEWALK
---	PROPOSED DETENTION POND

REV	DATE	BY	REVISION
A			
A			
A			
A			
A			

MODULUS ARCHITECTS

8220 SAN PEDRO DR. NE, SUITE 520
ALBUQUERQUE, NEW MEXICO 87113
PHONE (505) 338-1499



PROJECT TITLE	CIBOLA LOOP APARTMENTS
PROJECT ADDRESS	CIBOLA LOOP NW, ALBUQUERQUE, NM
PROJECT MANAGER	STEPHEN DUNBAR, AIA
JOB NO.	--
DRAWN BY:	CDC
SHEET TITLE	ARCHITECTURAL SITE PLAN
DATE:	08/01/2024
SCALE:	AS NOTED