



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS		<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)	
<input checked="" type="checkbox"/> Site Plan Administrative DFT (Forms P & P2)		PRE-APPLICATIONS	
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)		<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)	
<input type="checkbox"/> Amendment to Infrastructure List (Form S3)		<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)	
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)		APPEAL	
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)		<input type="checkbox"/> Administrative Decision (Form A)	
BRIEF DESCRIPTION OF REQUEST			
Development of an apartment complex and all the site features. 64,581 SF (footprint), 192,903 SF (total building area with 3 stories)			
APPLICATION INFORMATION			
Applicant/Owner: VIENTECILLO LLC (property owner)		Phone: _____	
Address: PO BOX 14798		Email: _____	
City: ALBUQUERQUE	State: NM	Zip: 87191-479	
Professional/Agent (if any): Modulus Architects & Land Use Planning, Inc. (agent)		Phone: (505) 338-1499	
Address: 8220 SAN PEDRO DR. NE, SUITE 520		Email: rokoye@modulusarchitects.com	
City: Albuquerque	State: NM	Zip: 87113	
Proprietary Interest in Site: Agent		List all owners: VIENTECILLO LLC	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)			
Lot or Tract No.: B-1		Block: _____	Unit: _____
Subdivision/Addition: CIBOLA LOOP		MRGCD Map No.: _____	UPC Code: 101306632712340310
Zone Atlas Page(s): A-13-Z	Existing Zoning: MX-L		Proposed Zoning _____
# of Existing Lots: 1	# of Proposed Lots: 1		Total Area of Site (Acres): 5.1785
LOCATION OF PROPERTY BY STREETS			
Site Address/Street: 99999 CIBOLA LOOP NW		Between: Ellison Dr NW and Cibola Loop NW	
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)			
PR-2023-007518			
I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.			
Signature: Regina Okoye		Date: 12/2/2024	
Printed Name: Regina Okoye		<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent	

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022**_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Form SP with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- ___ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- ___ 7) Infrastructure List, if required for building of public infrastructure
- ___ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- ___ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- ___ 10) Completed Site Plan Checklist
- ___ 11) Letter of authorization from the property owner if application is submitted by an agent
- ___ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- ___ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- ___ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

___ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

___ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

___ 17) Sign Posting Agreement

___ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

___ Office of Neighborhood Coordination neighborhood meeting inquiry response

___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

___ Completed neighborhood meeting request form(s)

___ If a meeting was requested or held, copy of sign-in sheet and meeting notes

___ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

___ Proof of emailed notice to affected Neighborhood Association representatives

_ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

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- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Site Plan and related drawings
- ___ 5) Infrastructure List, if require
- ___ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- ___ 7) Letter of authorization from the property owner if application is submitted by an agent
- ___ 8) Solid Waste Department signature on Site Plan
- ___ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- ___ 10) Approved Grading and Drainage Plan
- ___ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)



MODULUS ARCHITECTS & LAND USE PLANNING, INC.

8220 San Pedro Drive NE, Suite 520

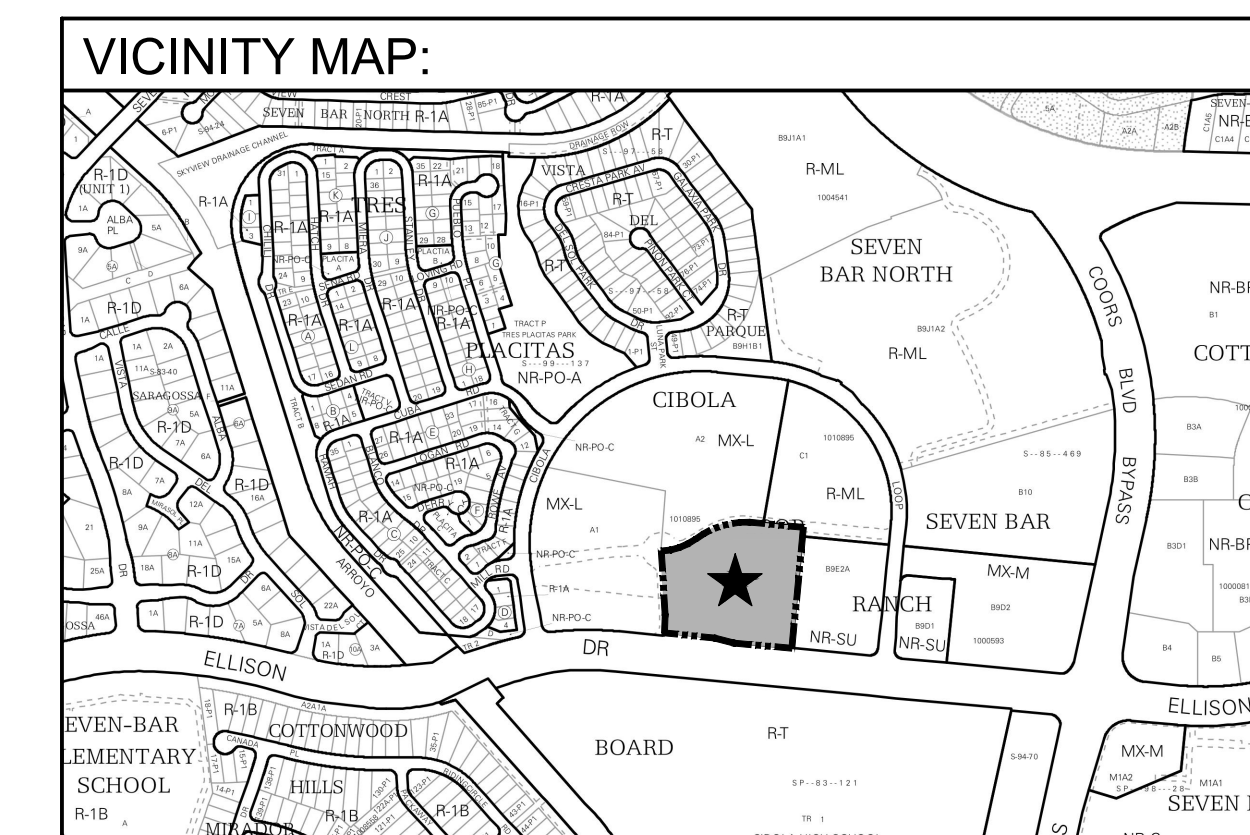
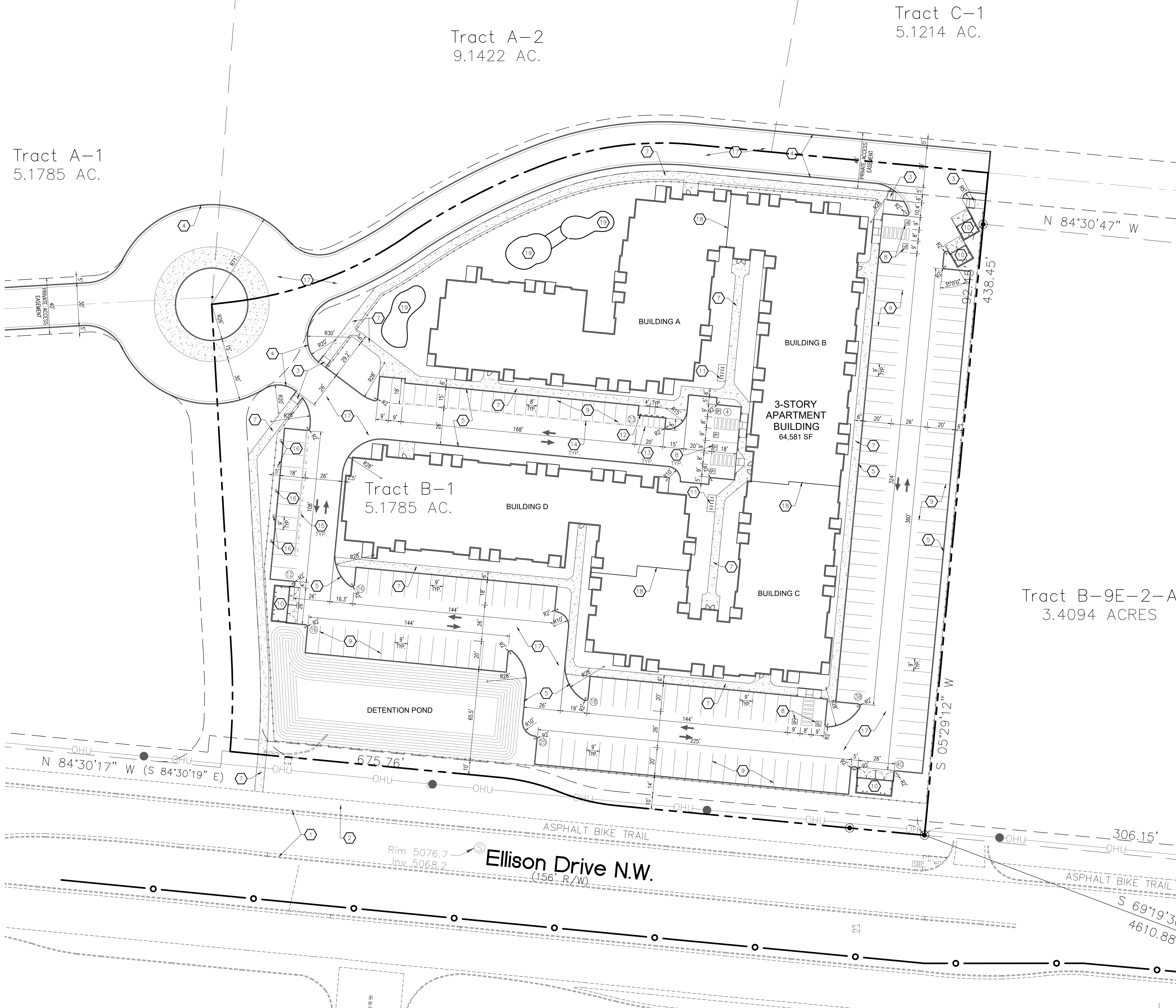
Albuquerque, NM 87113

Phone (505) 338-1499

www.modulusarchitects.com

Site Plan and Related Drawings (DFT Plans) (PDF Files in this section)

1. Site Plan
2. Detail Sheets
3. Elevations
4. Landscaping Plan
5. Grading and Drainage Plan
6. Utility Plan
7. Infrastructure List



SITE DATA:

PROJECT ADDRESS: CIBOLA LOOP NW & ELLISON RD. NW

LEGAL DESCRIPTION: TRACT B-1, CIBOLA LOOP SUBDIVISION

PROPERTY SIZE: 5.1785 ACRES

CURRENT ZONING: R-ML

PROPOSED USE: MULTI-FAMILY RESIDENTIAL

TOTAL BUILDING FOOTPRINT: 64,581 SF

TOTAL BUILDING AREA: 192,903 SF (3 STORIES)

GENERAL NOTES

A. "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.

PARKING REQUIREMENTS

BUILDING DATA
171 UNIT MULTIFAMILY APARTMENTS

PARKING REQUIREMENTS	RATIO	REQUIRED	PROVIDED
12 3-BEDROOM UNITS	1.8 PER UNIT	21	-
93 2-BEDROOM UNITS	1.6 PER UNIT	148	-
66 1-BEDROOM UNITS	1.2 PER UNIT	79	-
TOTAL OFF-STREET PARKING SPACES REQUIRED	-	248	-
MAJOR TRANSIT CORRIDOR REDUCTION	20% REDUCTION	198	192
ELECTRIC VEHICLE CHARGING SPACES	5% OF REQUIRED	9	*10
TOTAL OFF-STREET PARKING SPACES PROVIDED	-	-	202
ACCESSIBLE PARKING SPACES	101-300 SPACES	8	8
MOTORCYCLE PARKING	151-300 SPACES	5	5
BICYCLE PARKING SPACES	3 OR 10% REQUIRED	10	10

* EV CHARGING SPACES COUNT AS 2 SPACES

USABLE OPEN SPACE REQUIREMENTS

(66) 1-BEDROOM UNITS X 225 SF = 14,850 SF
 (93) 2-BEDROOM UNITS X 285 SF = 26,505 SF
 (112) 3-BEDROOM UNITS X 350 SF = 39,200 SF
 TOTAL OPEN SPACE REQUIRED = 45,555 SF

TOTAL OPEN SPACE PROVIDED = 62,920 SF

THE USABLE OPEN SPACE AREA CONSISTS OF LANDSCAPED AREAS, PEDESTRIAN WALKWAYS, PARKOUR EXERCISE AREAS AND APARTMENT UNIT BALCONIES. THE BUILDING, PARKING, DRIVE AISLES AND THE DETENTION POND ARE EXCLUDED FROM THIS CALCULATION.

- KEYED NOTES**
- EXISTING CONCRETE CURB & GUTTER TO REMAIN
 - EXISTING ASPHALT TRAIL TO REMAIN
 - NEW PARALLEL CURB RAMP PER CDA STANDARD DETAILS 2440 & 2441
 - NEW 6" CONCRETE CURB & GUTTER, SEE DETAIL 2/AS501
 - NEW 6" CONCRETE HEADER CURB, SEE DETAIL 1/AS501
 - NEW ACCESSIBLE CURB RAMP, SEE DETAIL 12/AS501 OR 15/AS501
 - NEW CONCRETE SIDEWALK, SEE DETAIL 3/AS501
 - NEW ACCESSIBLE PARKING SPACES, SEE DETAIL 9/AS501
 - NEW 4" WIDE PAINTED STRIPING
 - NEW REFUSE ENCLOSURE, SEE DETAILS ON SHEET AS502
 - NEW BICYCLE RACKS, SEE DETAIL 5/AS501
 - NEW MOTORCYCLE PARKING SIGN, SEE DETAIL 11/AS501
 - NEW MOTORCYCLE ("MC") PARKING SPACE PAVEMENT MARKING
 - NEW "COMPACT CAR" PARKING SPACE PAVEMENT MARKING
 - NEW "EV CHARGING ONLY" SPACE PAVEMENT MARKING
 - NEW ELECTRICAL VEHICLE CHARGING STATION, 1 STATION FOR 2 SPACES. REFER TO ELECTRICAL FOR MORE INFORMATION.
 - NEW ASPHALT PAVING, SEE DETAIL 13/AS501 FOR LIGHT DUTY ASPHALT WITHIN THE PARKING STALL AREA AND 14/AS501 FOR HEAVY DUTY ASPHALT WITHIN THE DRIVE LANES
 - 2-HOUR FIRE SEPARATION WALL BELOW ROOF
 - PARKOUR EXERCISE AREA, EQUIPMENT TO BE PROVIDED BY OWNER

GRAPHIC LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING CONCRETE CURB & GUTTER
- PROPOSED BUILDING
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED CONCRETE SIDEWALK
- PROPOSED DETENTION POND

REVISION

REV	DATE	BY
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MODULUS ARCHITECTS

8220 SAN PEDRO DR. NE, SUITE 520
 ALBUQUERQUE, NEW MEXICO 87113
 PHONE (505) 338-1499

STATE OF NEW MEXICO
 REGISTERED ARCHITECT
 STEPHEN A. DUNBAR
 No. 4218
 8/6/2024

NOT FOR CONSTRUCTION

PROJECT TITLE: CIBOLA LOOP APARTMENTS
 CIBOLA LOOP NW
 ALBUQUERQUE, NM

JOB NO. ...

DRAWN BY: CDC

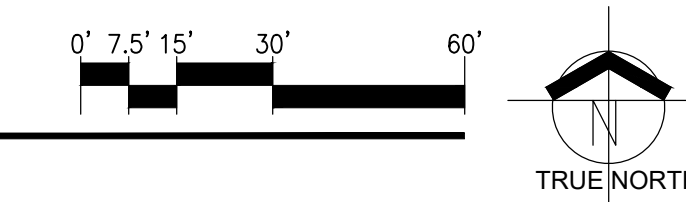
PROJECT MANAGER: STEPHEN DUNBAR, AIA

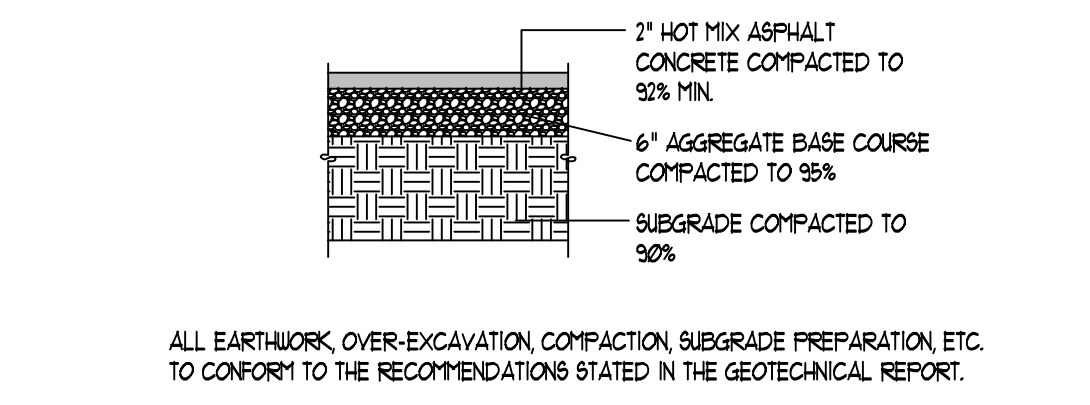
SHEET TITLE: ARCHITECTURAL SITE PLAN

DATE: 08/06/2024

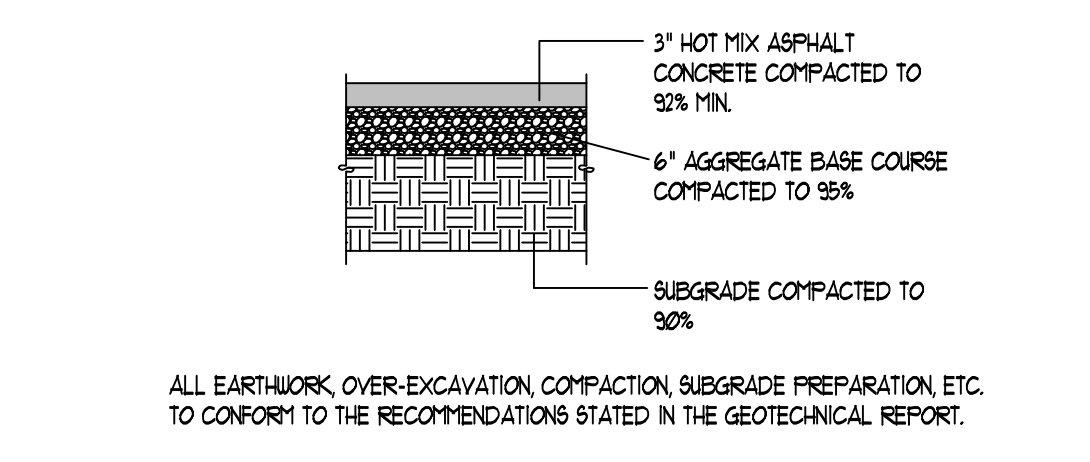
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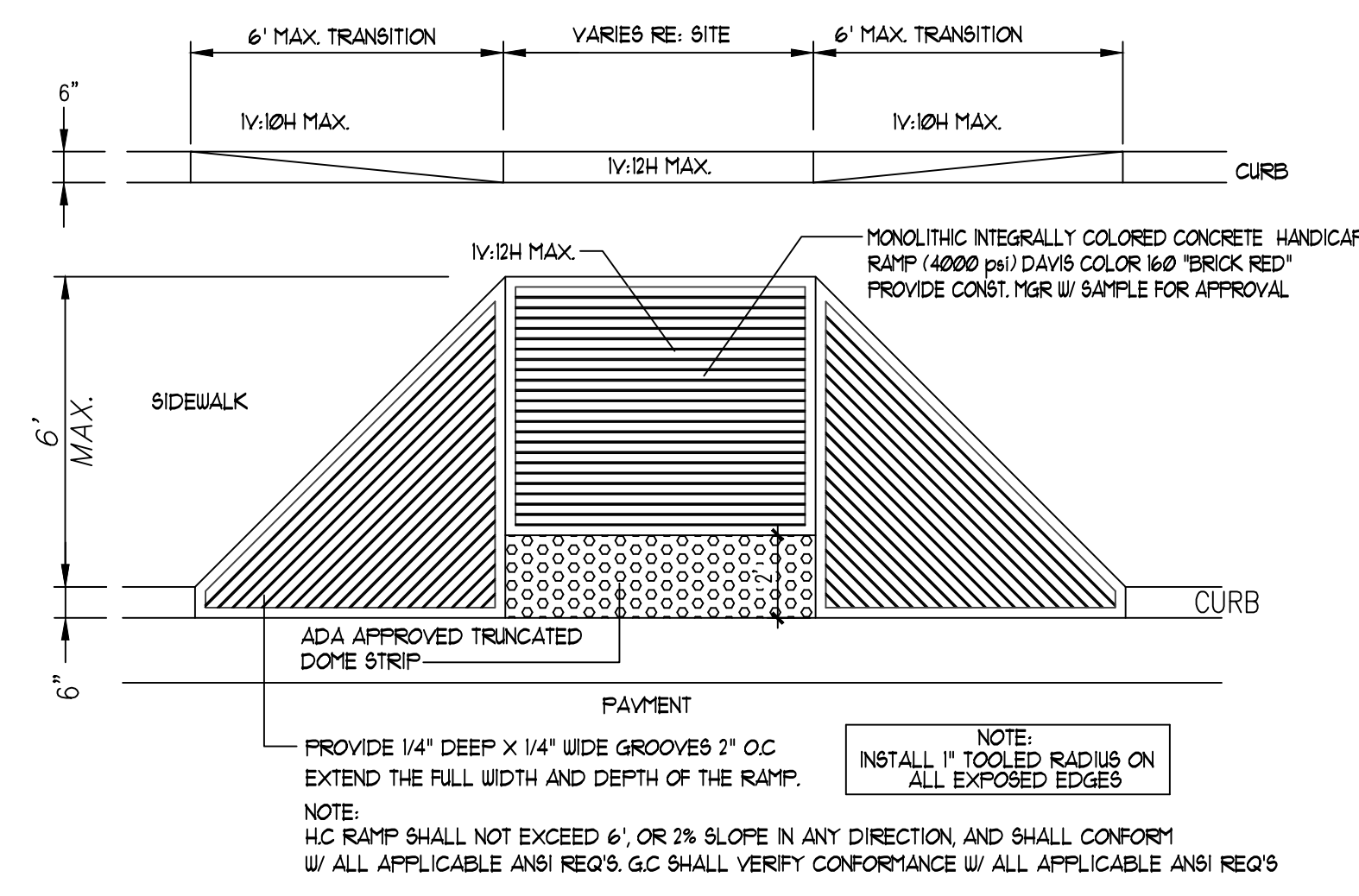




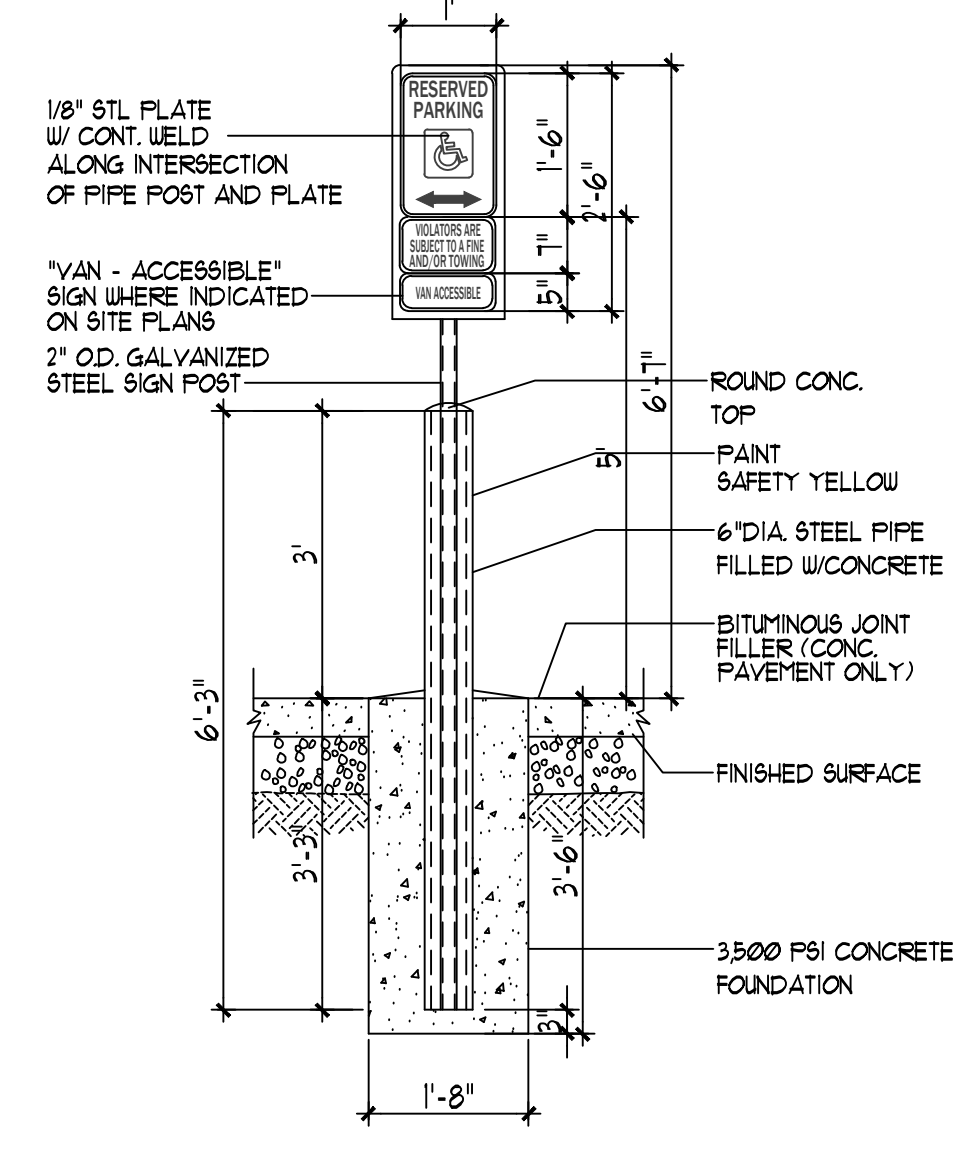
13 LIGHT DUTY ASPHALT SECTION
NT.S



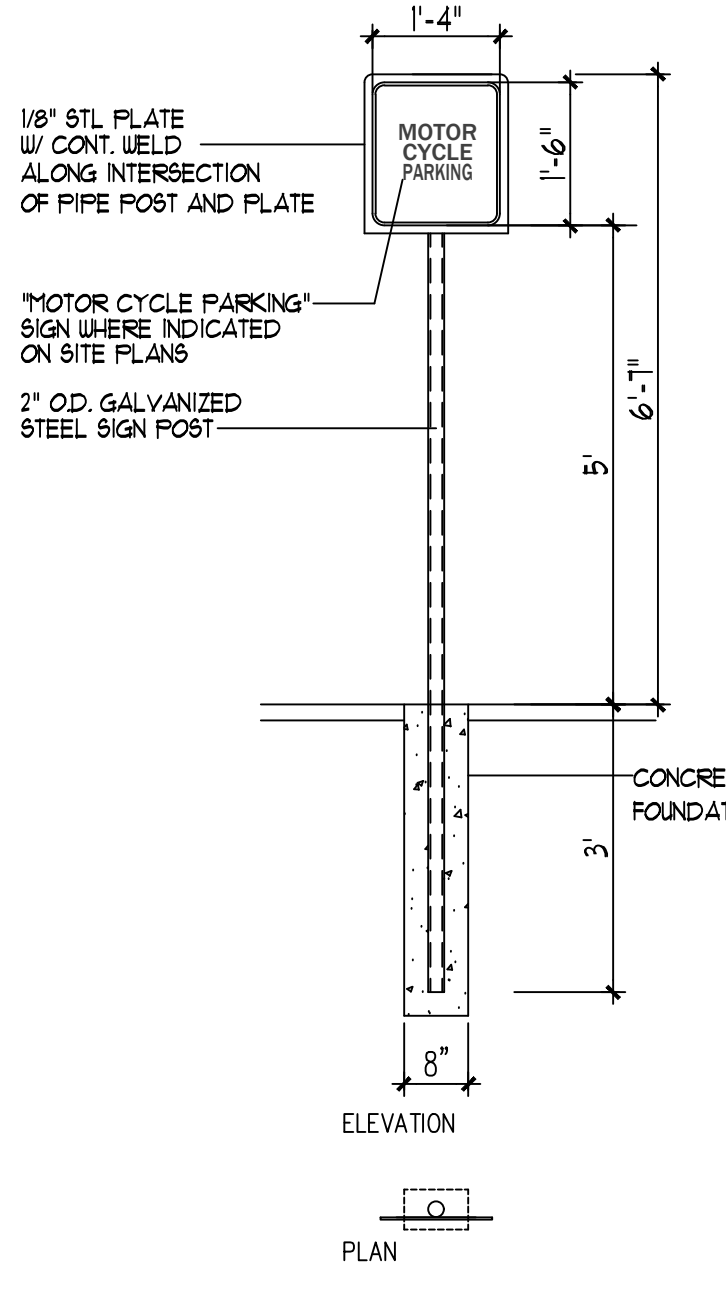
14 HEAVY DUTY ASPHALT SECTION
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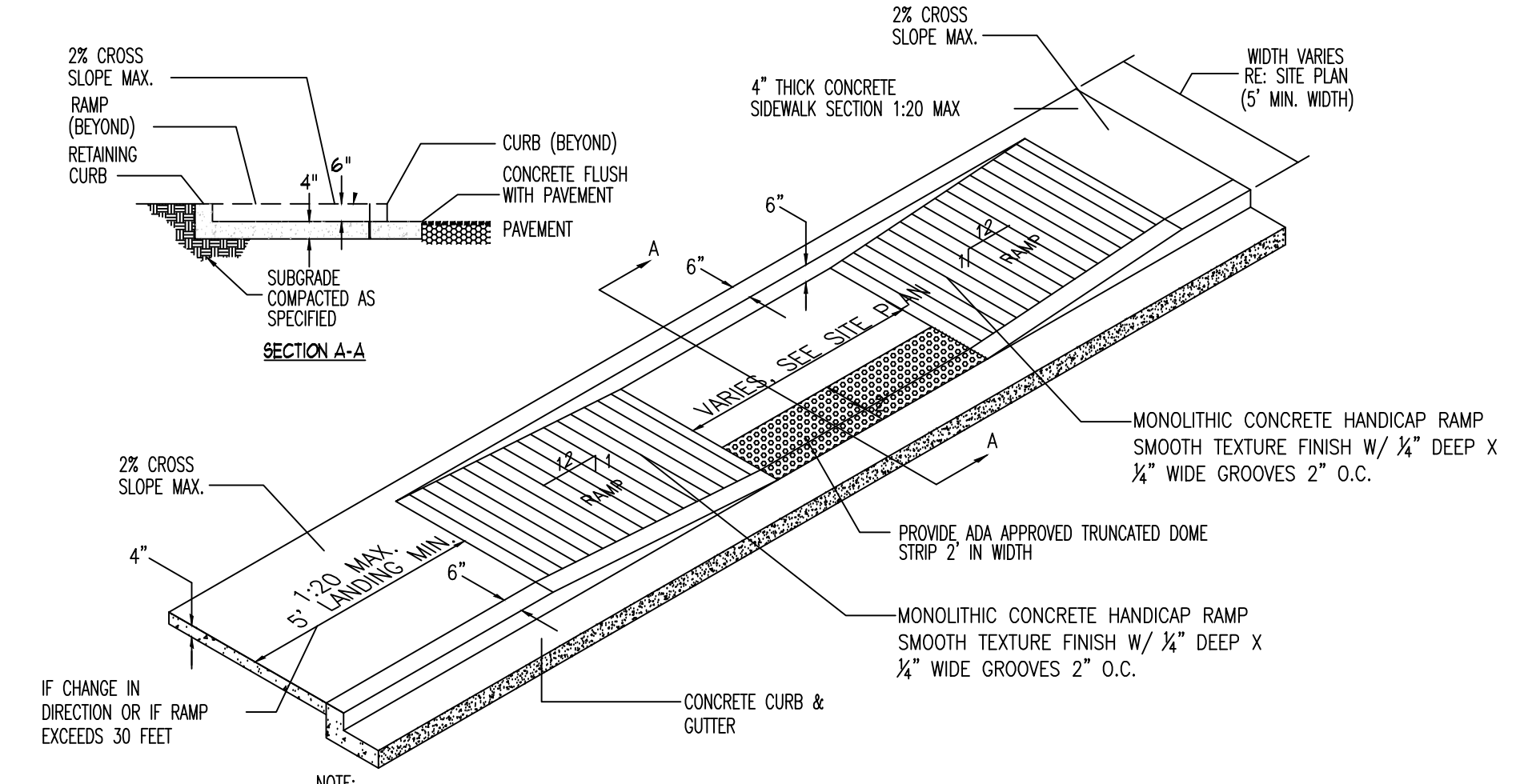
15 FLARED H.C RAMP
NT.S



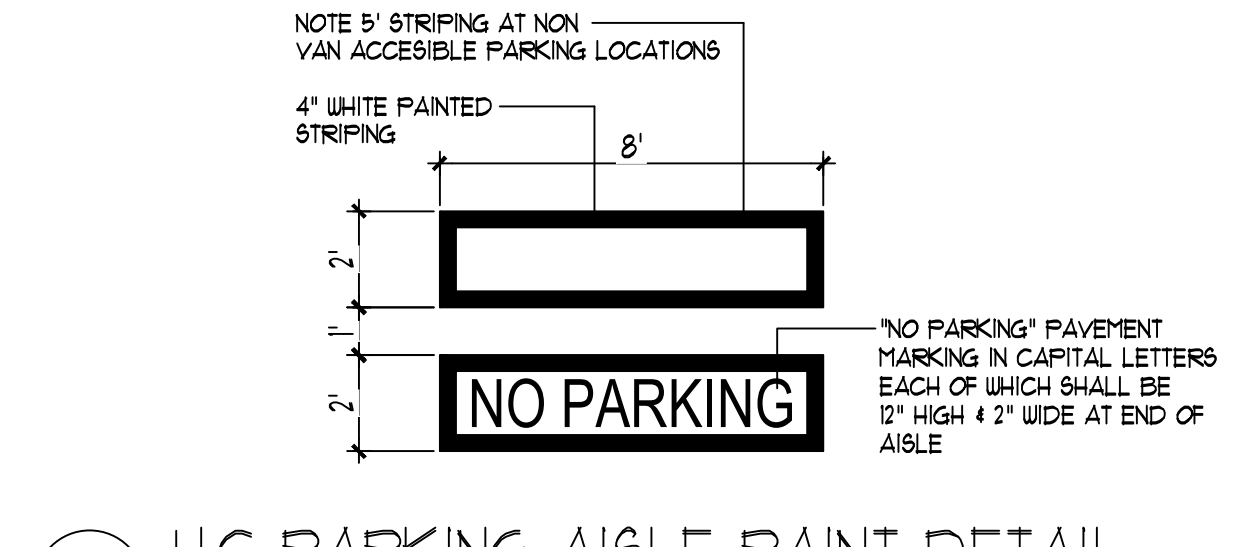
10 H.C SIGNAGE
NT.S



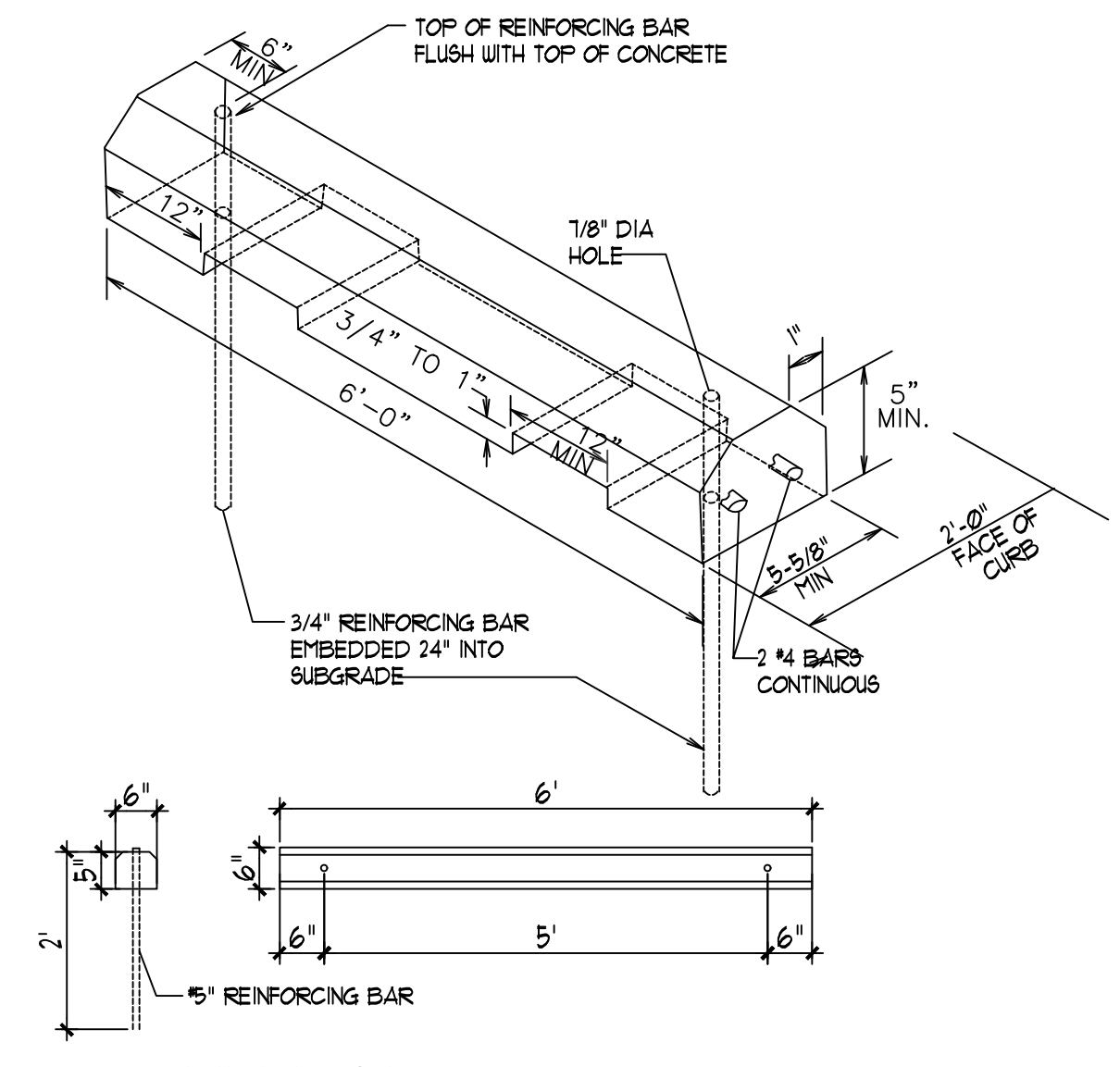
11 MISC. SIGNAGE
NT.S



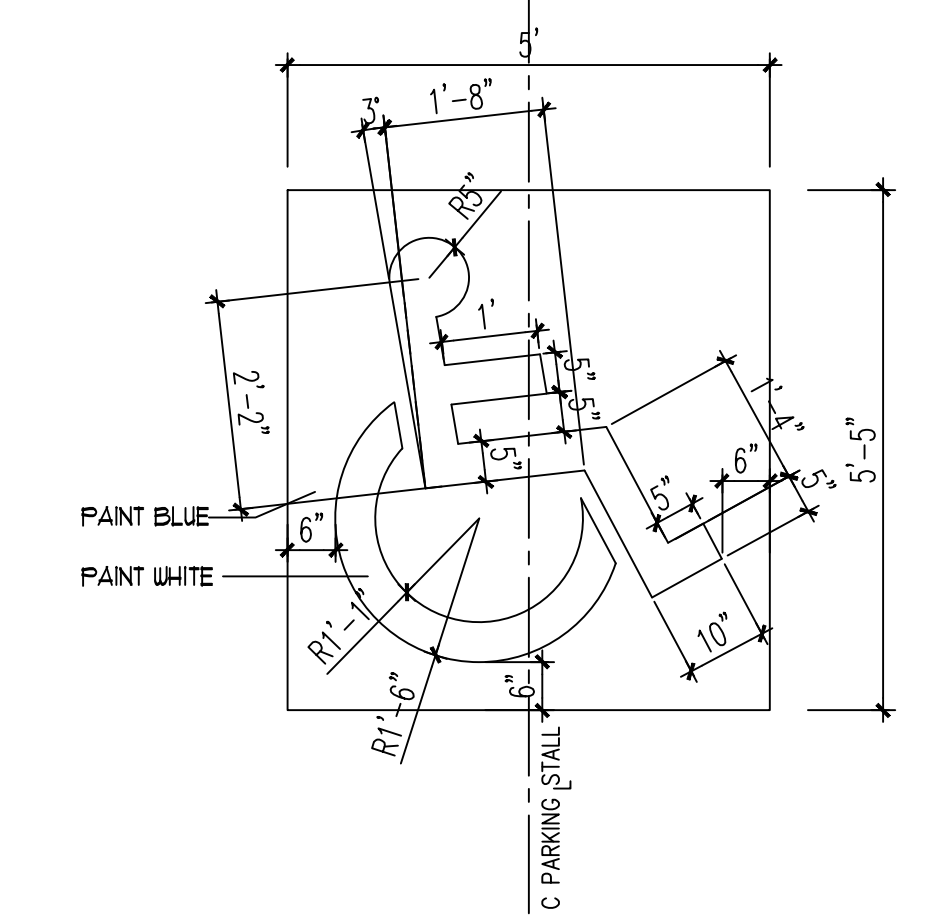
12 PARALLEL RAMP DETAIL
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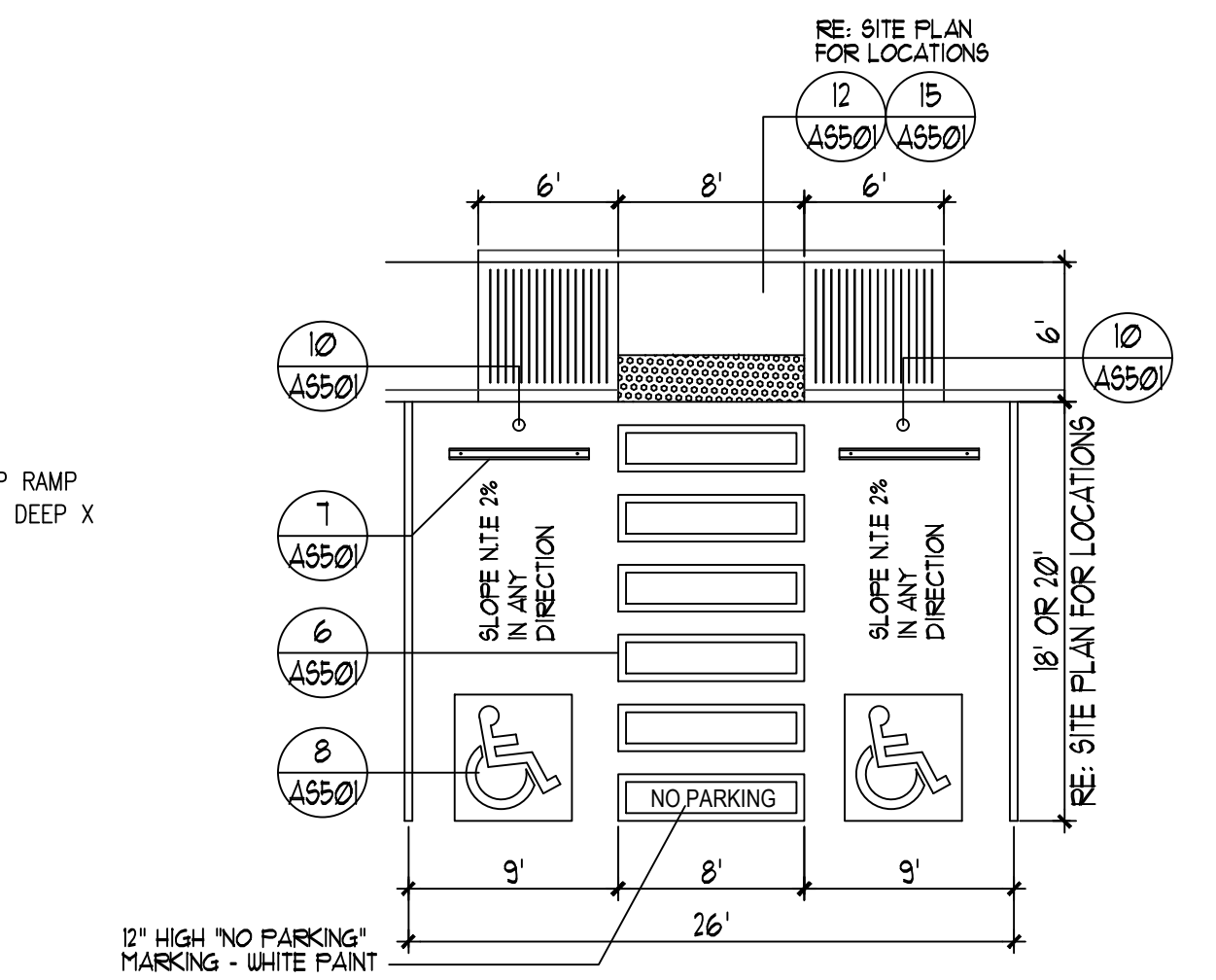
6 H.C PARKING AISLE PAINT DETAIL
NT.S



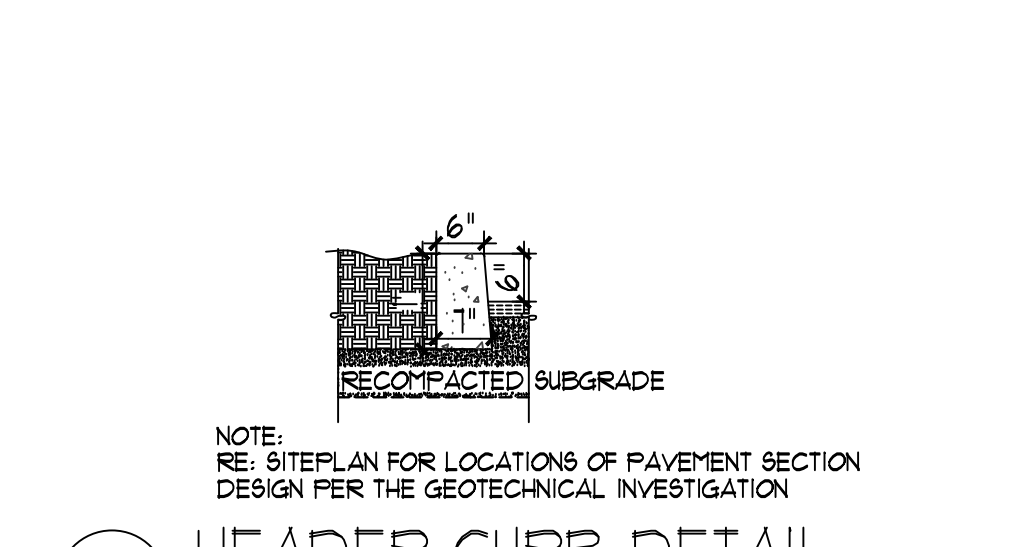
7 WHEEL STOP
NT.S



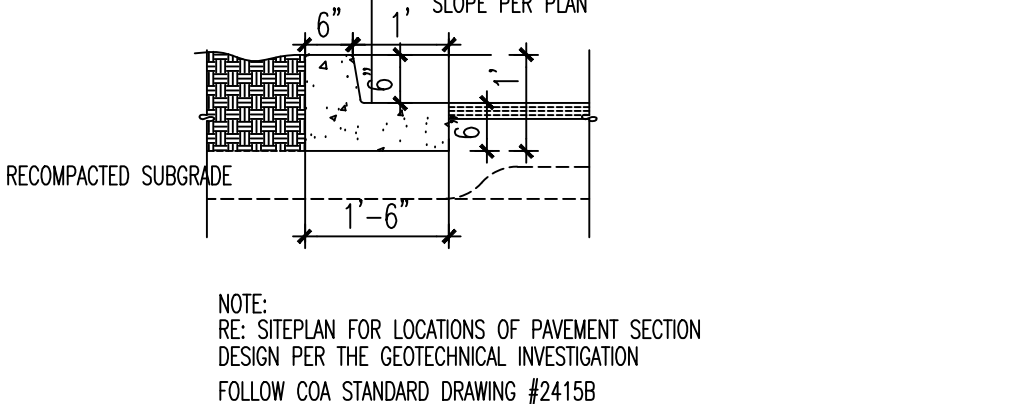
8 H.C SIGNAGE
NT.S



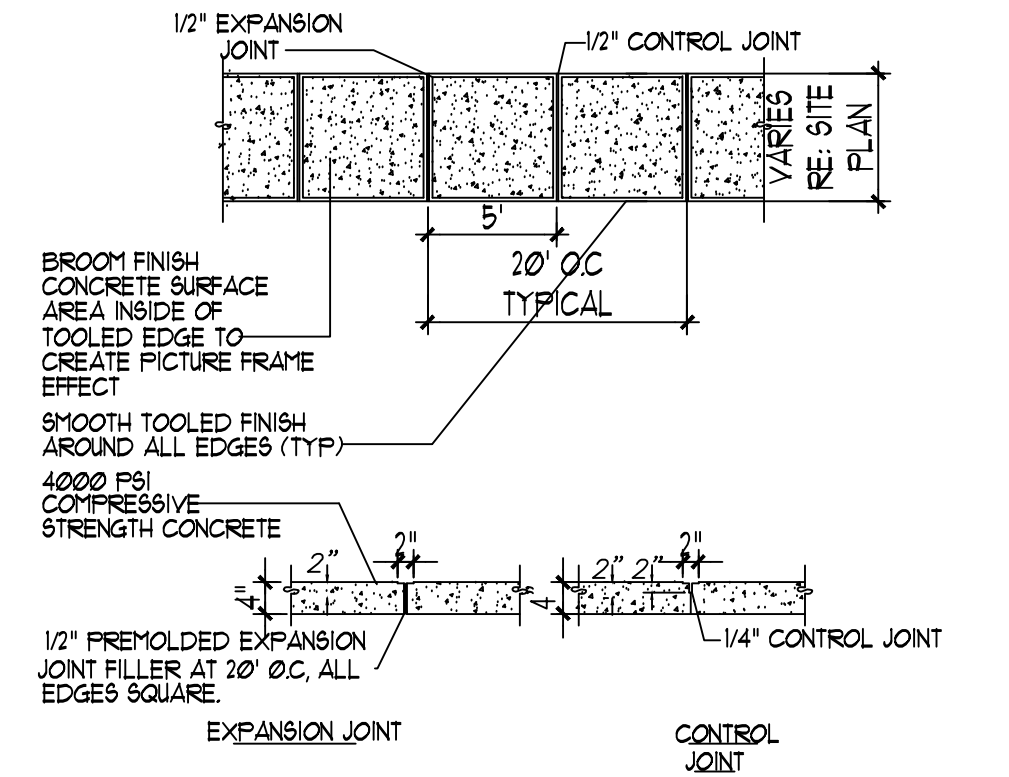
9 H.C PARKING PLAN (VAN ACCESSIBLE)
NT.S



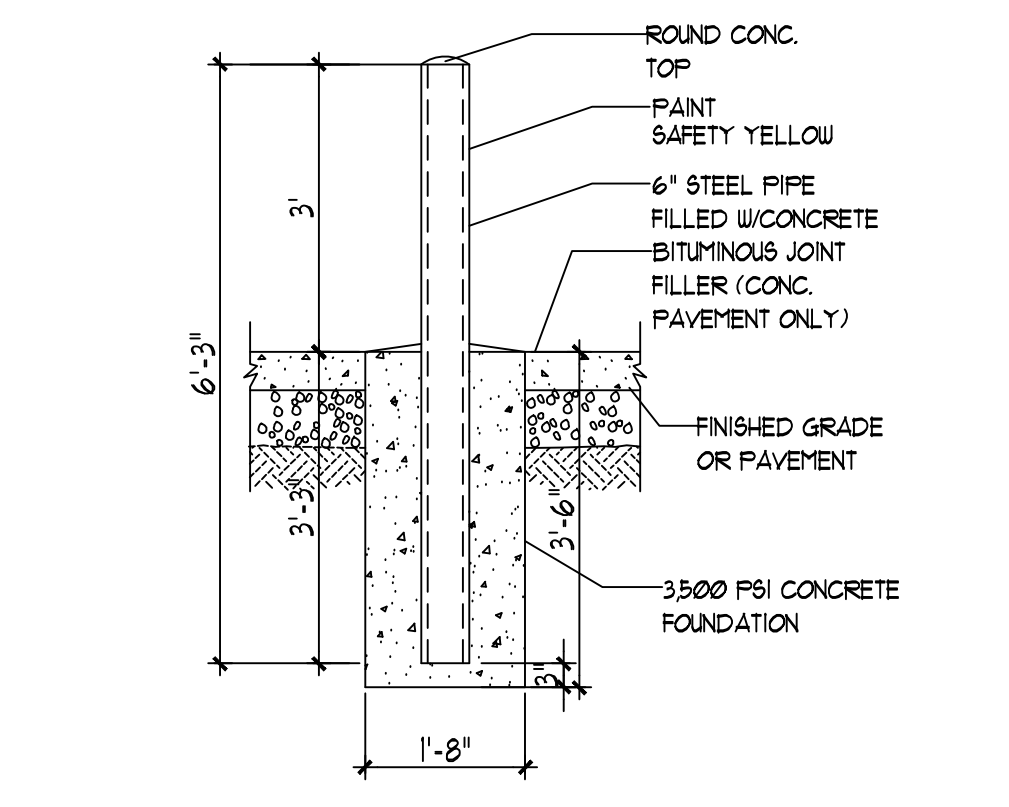
1 HEADER CURB DETAIL
NT.S



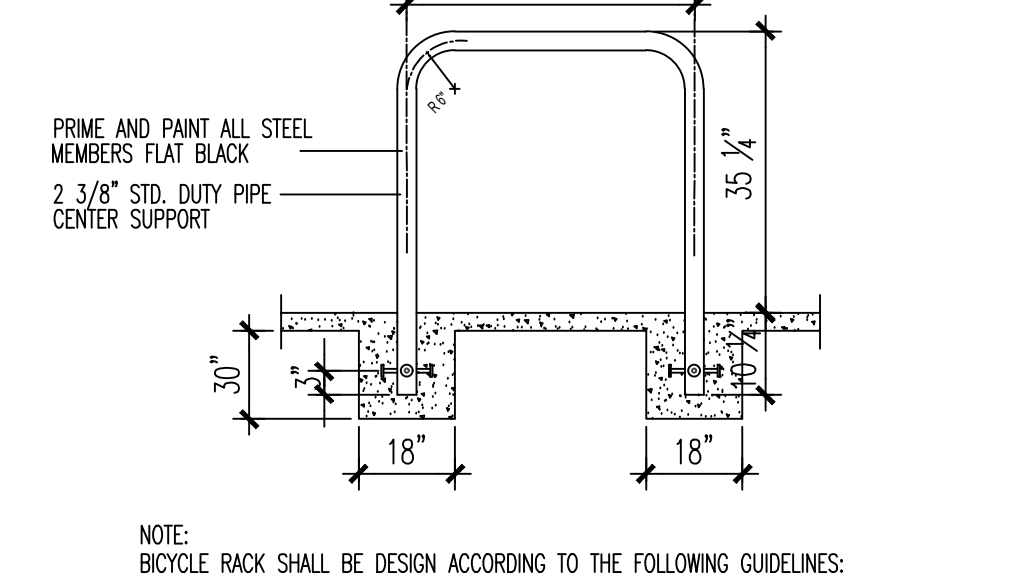
2 TYPICAL CURB DETAIL
NT.S



3 TYPICAL SIDEWALK
NT.S



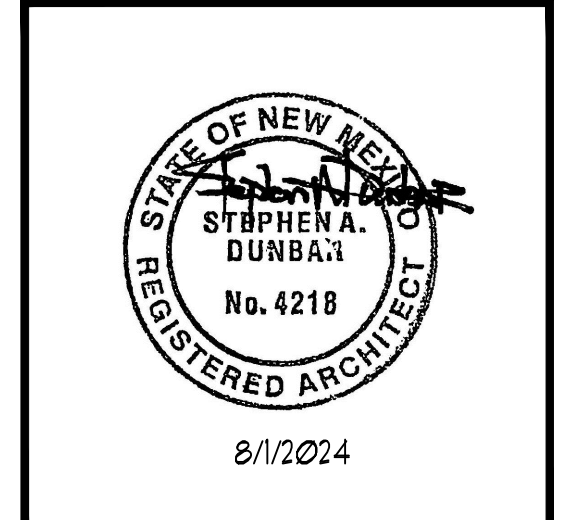
4 BOLLARD DETAIL
NT.S



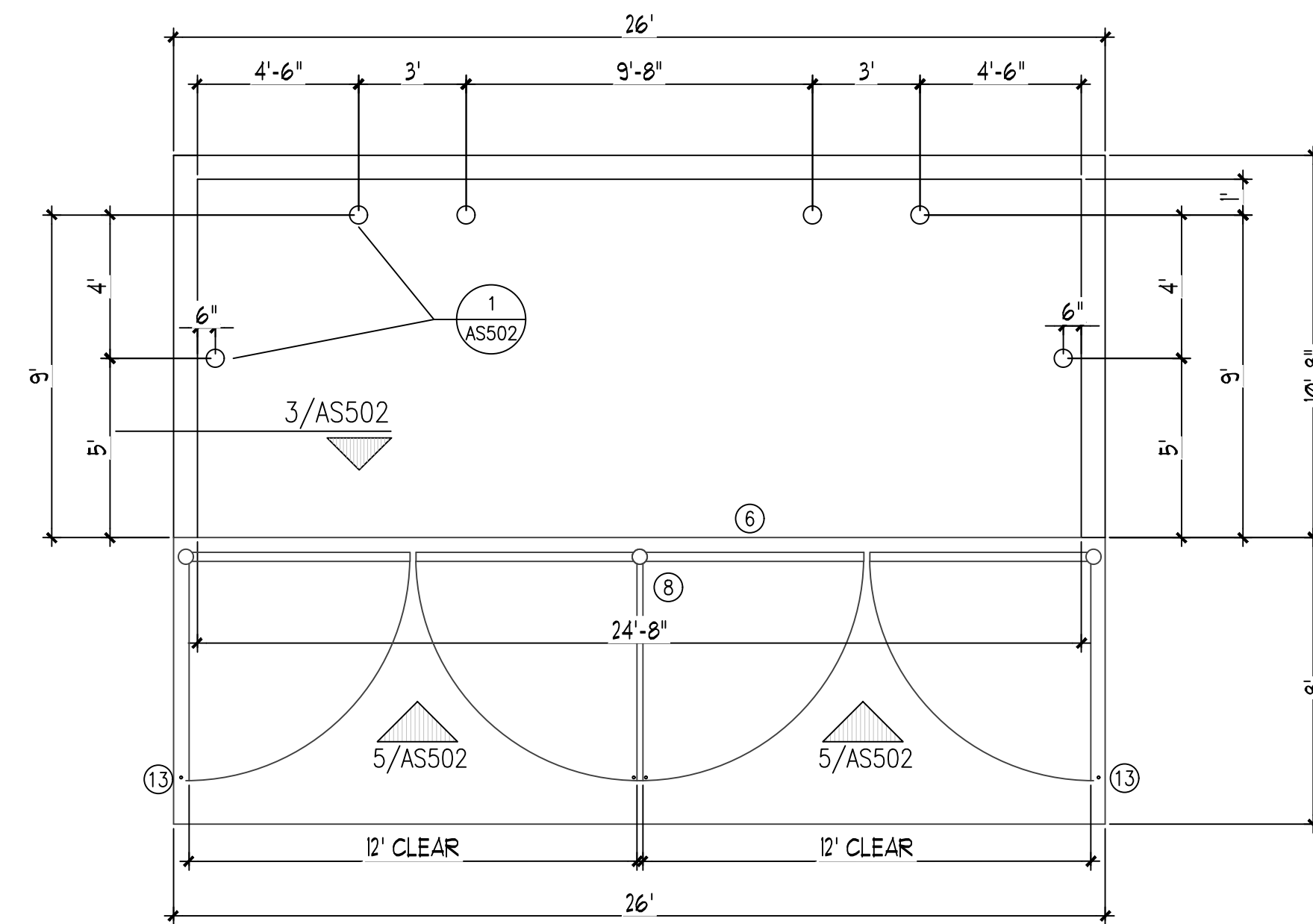
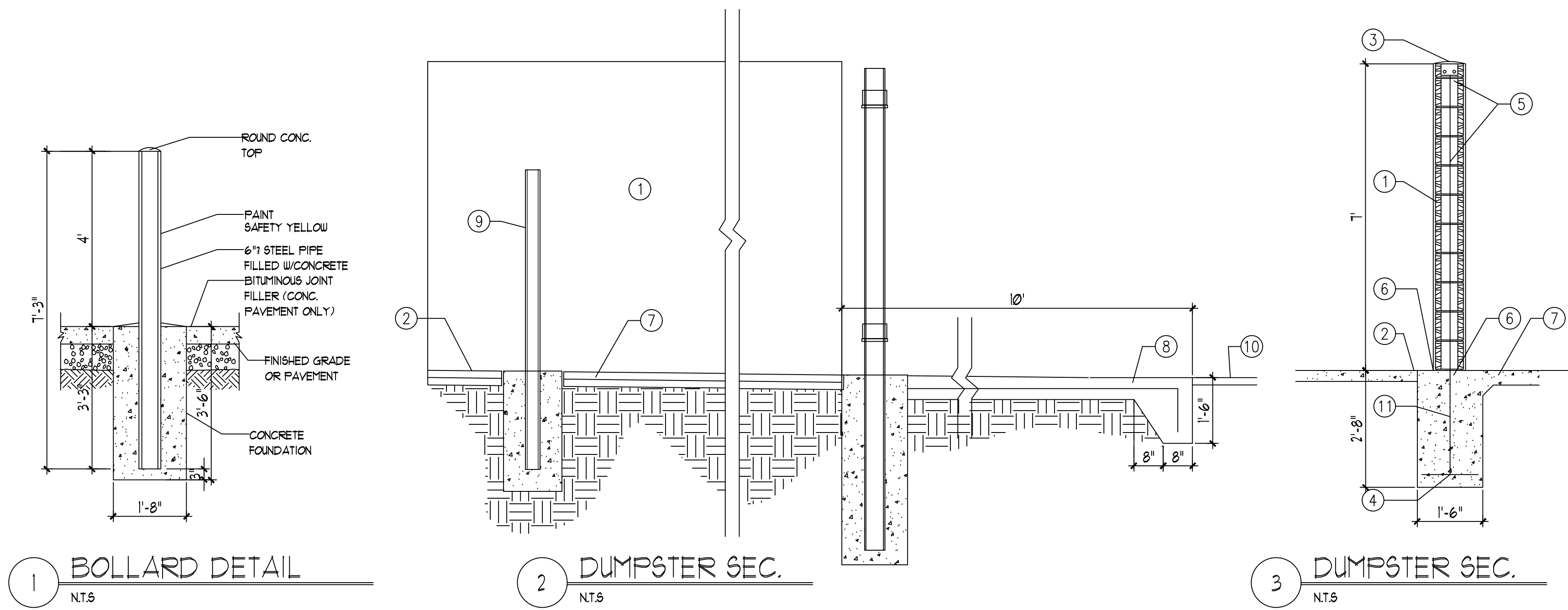
5 BIKE RACK
NT.S

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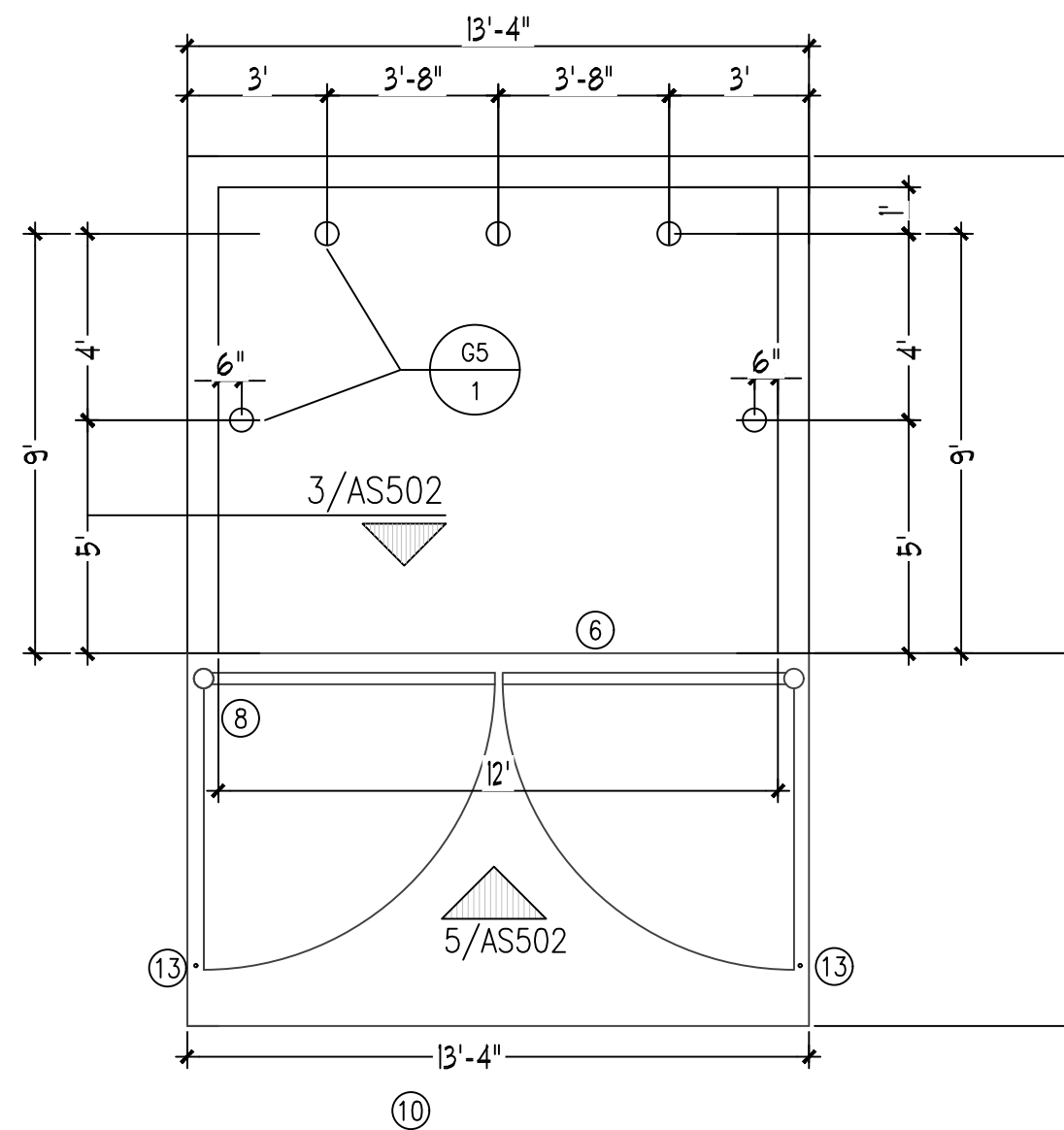
MODULUS ARCHITECTS
8220 SAN PEDRO DR. NE, SUITE 520
ALBUQUERQUE, NEW MEXICO 87113
PHONE (505) 338-1499



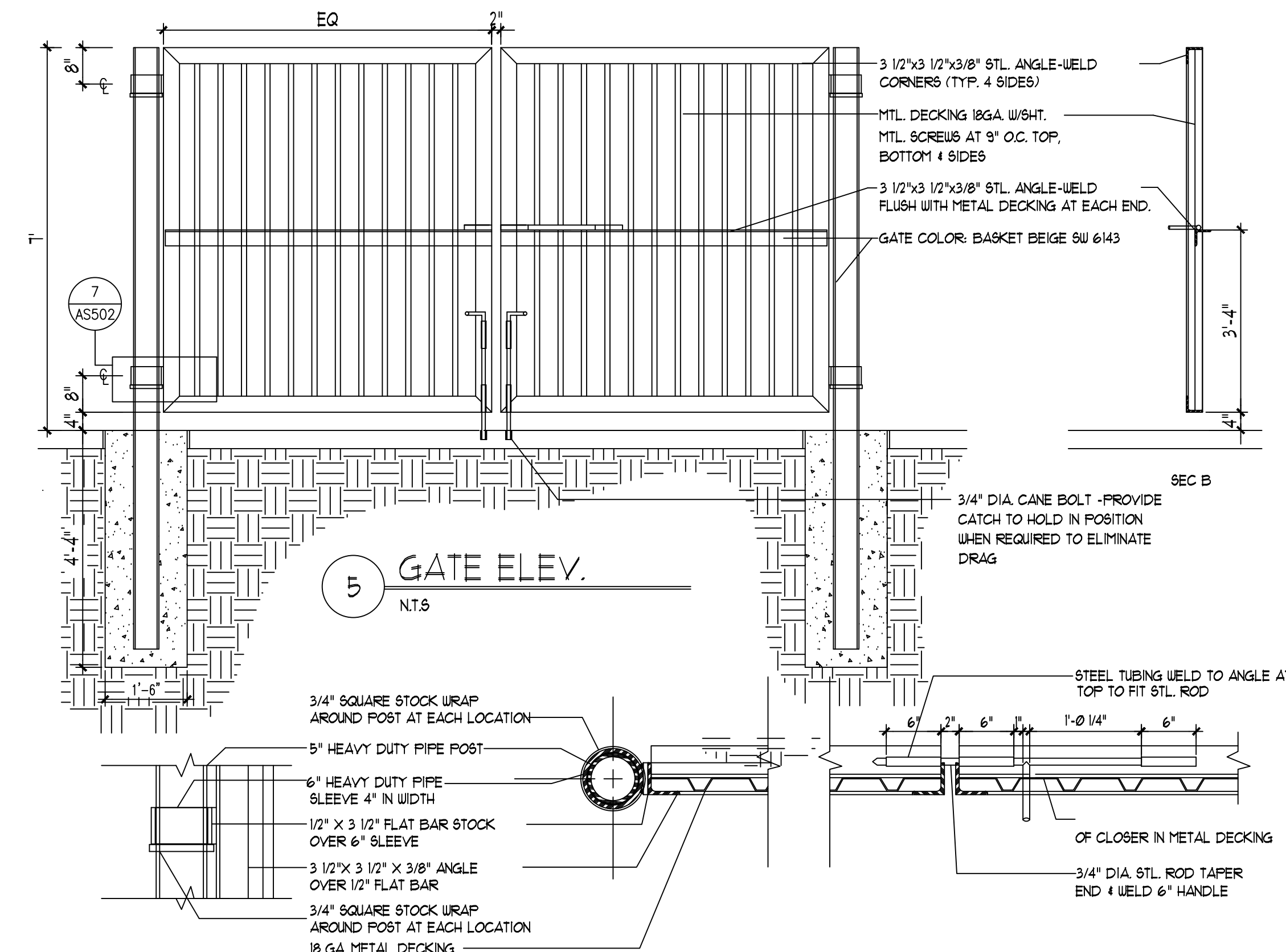
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PROJECT MANAGER STEPHEN DUNBAR, AIA	JOB NO. ..
SHEET TITLE SITE DETAILS	SHEET NO. ..
DATE 08/01/2024	SCALE AS NOTED



4 DOUBLE DUMPSTER PLAN
NTS



8 DUMPSTER PLAN
NTS



5 GATE ELEV.
NTS

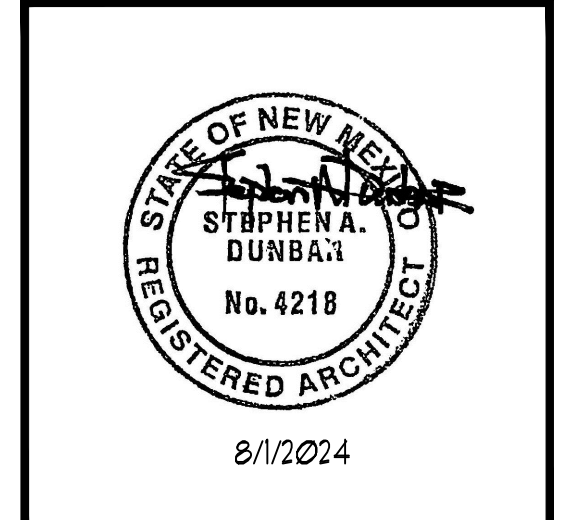
7 GATE POST/SLIDE BOLT DETAIL
NTS

- KEYED NOTES
- 1 8" CMU WALL WITH 2 COAT SYN. STUCCO SYSTEM. COLOR TO MATCH BLDG. BASE
 - 2 FINISH GRADE
 - 3 SLOPE STUCCO CAP
 - 4 4" x 4" BARS CONT. @ BOTTOM OF FOOTING 14" @ 18" O.C. ACROSS BOTTOM OF FOOTING
 - 5 1-5 SLABS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS 15 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS. DURAWALL @ 16" O.C. HORIZONTAL.
 - 6 1/2" EXPANSION JOINT MATERIAL
 - 7 6" CONCRETE SLAB 4000 PSI 3/4" AGGREGATE WITH 6x6 - 10x10 W/M.
 - 8 6" CONCRETE APRON 4000 PSI 3/4" AGGREGATE WITH 6x6 - 10x10 W/M W/ TURN-DOWN EDGE.
 - 9 6" CONCRETE FILLED PIPE IN 1/6" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
 - 10 ASPHALT PAVING
 - 11 GROUT ALL CELLS SOLID BELOW GRADE. TYPICAL.
 - 12 NOT USED
 - 13 PROVIDE PIN HOLE TO CATCH CANE BOLT IN OPEN POSITION

6 ENCLOSURE NOTES
NTS

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 ALBUQUERQUE, NEW MEXICO 87113
 PHONE (505) 338-1499



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PROJECT TITLE	CIBOLA LOOP APARTMENTS
PROJECT MANAGER	STEPHEN DUNBAR, AIA
JOB NO.	...
DRAWN BY:	CDC
SHEET TITLE	SITE DETAILS

DATE:	08/01/2024	sheet:	-
SCALE:	AS NOTED	AS502	of



1 PARTIAL NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 PARTIAL NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES				
MARK	MATERIAL	MANUFACTURER	SPECIFICATION	PRODUCT COLOR NAME
◆	COMPOSITE WOOD FASCIA	TIMBERTECH	-	BROWN TIGERWOOD
◆	BOARD & BATTEN METAL WALL PANEL	PAC-CLAD	-	SLATE BURNISHED SLATE
◆	12x24 EXTERIOR TILE	DALTILE	DIGNITARY SERIES - COLORBODY PORCELAIN	TAUPE SUPERIOR TAUPE #DR08
◆	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT	-	TAN #394 - EARTHWARE
◆	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT	-	CREAM #472 - CAPTAIN
◆	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT	-	WARM GRAY #104 - DOVER SKY
◆	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT	-	BLACK/BROWN #151 - COZY BLACK
◆	METAL PARAPET FASCIA	PAC-CLAD	-	SILVER ANODIC CLEAR

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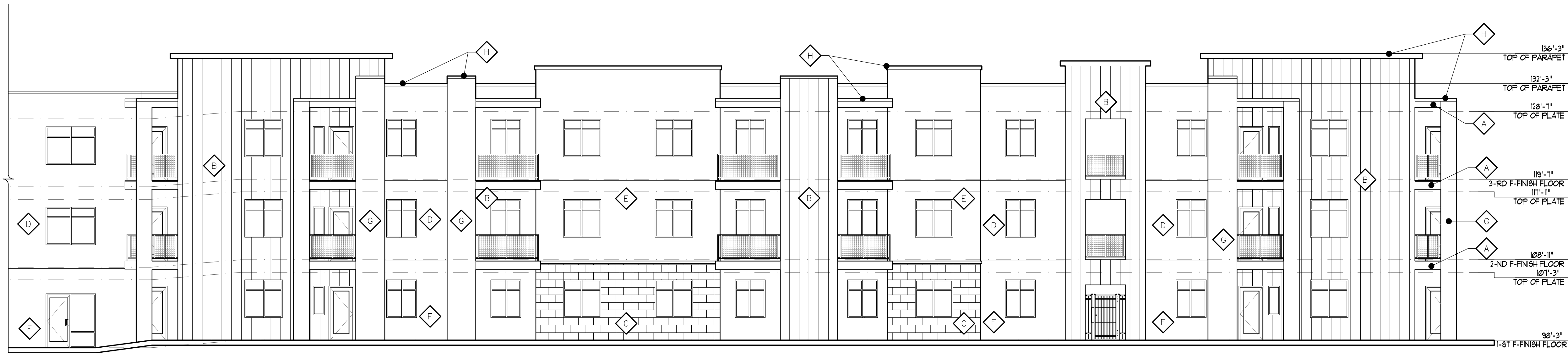
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PROJECT TITLE CIBOLA LOOP APARTMENTS CIBOLA LOOP NW ALBUQUERQUE, NM	JOB NO. ..	DRAWN BY: CDC
PROJECT MANAGER STEPHEN DUNBAR, AIA	SHEET TITLE EXTERIOR ELEVATIONS	

DATE: 08/06/2024 sheet: -
 SCALE: AS NOTED A201
 qt. -



1 PARTIAL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 PARTIAL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES					
MARK	MATERIAL	MANUFACTURER	SPECIFICATION	COLOR	PRODUCT COLOR NAME
1	COMPOSITE WOOD FASCIA	TIMBERTECH		BROWN	TIGERWOOD
2	BOARD & BATTEN METAL WALL PANEL	PAC-CLAD		SLATE	BURNISHED SLATE
3	12x24 EXTERIOR TILE	DALTILE	DIGNITARY SERIES - COLORBODY PORCELAIN	TAUPE	SUPERIOR TAUPE #DR0B
4	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT		TAN	#394 - EARTHWARE
5	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT		CREAM	#472 - CAPTAIN
6	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT		WARM GRAY	#104 - DOVER SKY
7	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT		BLACK/BROWN	#151 - COZY BLACK
8	METAL PARAPET FASCIA	PAC-CLAD		SILVER	ANODIC CLEAR

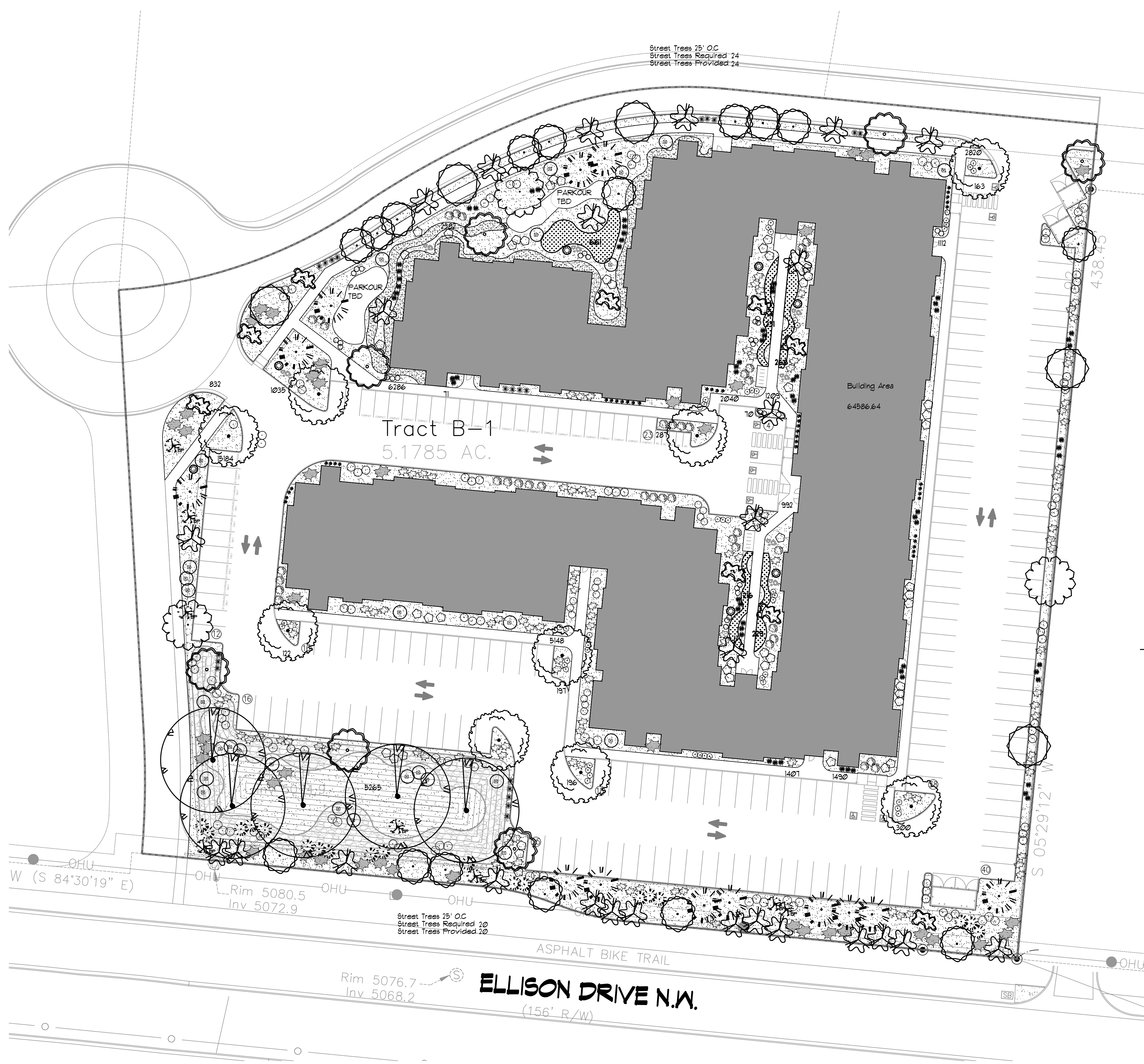
REV	DATE	BY	REVISION
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PRELIMINARY
NOT FOR
CONSTRUCTION

NOT FOR CONSTRUCTION

PROJECT TITLE CIBOLA LOOP APARTMENTS CIBOLA LOOP NW ALBUQUERQUE, NM	JOB NO. ..	DRAWN BY: CDC
PROJECT MANAGER STEPHEN DUNBAR, AIA	SHEET TITLE EXTERIOR ELEVATIONS	
DATE: 08/06/2024	SHEET: -	
SCALE: AS NOTED	A202	



LANDSCAPE LEGEND

TREES						
QTY.	SIZE	COMMON/BOTANICAL NAME	DIM'S	WATER USE	COVERAGE	TOTAL COVERAGE
5	2" CAL	Cottonwood <i>Populus deltoides</i> var. <i>alifanifera</i>	50'x60'	M+	2826	1430.00
9	2" CAL	Ash <i>Fraxinus</i> sp.	40'x35'	M	361.63	8654.61
5	2" CAL	Desert Willow <i>Chilopsis linearis</i>	20'x25'	L	430.63	2453.15
16	2" CAL	Purpleleaf Plum <i>Prunus caroliniana</i>	20'x20'	M	314	5024.00
3	2" CAL	Frontier Elm <i>Ulmus Frontier</i>	40'x30'	M	106.5	2195.0
9	2" CAL	Crape Myrtle <i>Lagerstroemia indica</i> /Multi-stem Tree Form	6'x12'	M	113.04	1071.36
13	4'-6'	Pinon <i>Pinus edulis</i>	30'x20'	M	314	4082.00
21	2" CAL	New Mexico Olive <i>Forestiera neomexicana</i>	15'x15'	M	176.62	4168.74
1	2" CAL	Mexican Elder <i>Sambucus mexicana</i>	20'x25'	M	430.63	3434.41
19	6'	Blue Arrow Juniper <i>Juniperus scopulorum</i> "Blue Arrow"	12'x4'	M	12.56	238.64
TOTAL TREES:					TOTAL COVERAGE:	49927.47

Note: All trees shall have a 5' rad. circle of wood chips, per COA requirement.

Shrubs & Groundcovers

QTY.	SIZE	COMMON/BOTANICAL NAME	DIM'S	WATER USE	COVERAGE	TOTAL COVERAGE
40	9 GAL	Feather Reed Grass <i>Calamagrostis arundinacea</i>	25'x2'	M	314	125.60
109	9 GAL	Rosemary <i>Rosmarinus officinalis prostratus</i>	1'x5'	M	19.63	2136.1
33	9 GAL	India Hawthorn <i>Raphirolepis indica</i>	3'x5'	M	19.63	647.79
41	9 GAL	Buffalo Juniper <i>Juniperus sabinia</i> "Buffalo"	1'x8'	M	50.21	2061.07
8	9 GAL	Yellow Bird of Paradise <i>Caesalpinia gilliesii</i>	10'x10'	RW	78.50	628.00
64	9 GAL	Dwarf Fountain Grass <i>Pennisetum alopecuroides Hamelin</i>	3'x3'	M	1.07	452.48
21	9 GAL	Red Yucca <i>Hesperaloe parviflora</i>	3'x3'	L	1.07	148.47
73	9 GAL	Apache Plume <i>Fallugia paradoxa</i>	6'x5'	L	19.63	1432.99
26	9 GAL	Chamisa <i>Chrysothamnus nauseosus</i>	5'x5'	L	19.63	1066.8
28	9 GAL	Gro-Low Sumac <i>Rhus aromatica</i> "Gro-Low"	3'x8'	M	50.21	1407.36
35	9 GAL	Wintergreen Barberry <i>Berberis julianae</i>	5'x5'	M	19.63	681.05
1	9 GAL	Butterfly Bush <i>Buddleia davidii</i>	5'x5'	M	20.63	144.1
30	9 GAL	Cherry Sage <i>Salvia Greggii</i>	2'x3'	M	1.07	212.10
50	9 GAL	Blue Mist <i>Caryopteris x clandonensis</i>	3'x3'	M	1.07	3535.0
14	9 GAL	Fern Bush <i>Chamaebatiaria millefolium</i>	5'x6'	L	28.26	395.64
TOTAL SHRUBS:					TOTAL COVERAGE:	15430.1

21	2-3cf	Boulders To be placed at contractor discretion
46226		Landscape Gravel / Filter Fabric 3/4" Crushed Grey Submit samples of gravel and cobble for approval
1625		Sod
6078		Oversize Landscape Gravel / Filter Fabric 2-4" Adobe Rose
2382		Santa Fe Brown Crusher Fine
5673100		Total Landscape Area Provided

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	225575.46
TOTAL BUILDING AREA (SF)	64586.64
TOTAL NET LOT AREA (SF)	160988.82
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIRED	24148
TOTAL ON-SITE LANDSCAPE PROVIDED (SF)	56731.00
TOTAL VEGETATIVE COVERAGE REQUIRED (SF)	42173
TOTAL VEGETATIVE COVERAGE PROVIDED (SF)	57465.48
TOTAL GROUND VEGETATIVE COVERAGE REQUIRED (SF)	10543
TOTAL GROUND VEGETATIVE COVERAGE PROVIDED (SF)	15430.1

Organic Mulch No Fabric
Submit samples of organic mulch for approval
Organic Mulch 25% Required
Note: Each Tree, min. 5' rad. 78.5sf
113 Trees x 78.5 sf = 8870.5
See Tree Detail, a 5' radius of organic mulch is required around each tree w/out Filter Fabric
Note: Each Shrub, min. 2' rad. 12.56sf
589 Shrubs x 12.56 sf = 7397.84
Total Mulch Provided 16268.34
Total Mulch Required 11509
Parking Lot Landscape Area Calculation
Total Parking 188 Spaces
180 sf each x 188 space = 33840
Landscape required 33840x 0.15 = 21333
Landscape Required 5076 sf
Landscape Provided 19045sf
Tree Required 19
Tree Provided 19
Deciduous Tree Required 14
Deciduous Tree Provided 19

NOTE: Organic mulch is only used as a requirement of the City of Albuquerque, IDO. Organic mulch will need to be refreshed often as it is washed and blown away and will result in a negative impact on the health of the plant material. Additionally, historically organic mulch used in commercial projects has clogged storm sewers creating damage to commercial properties, lawsuits, and damages assessed to landscape architects and contractors. Designer assumes no responsibility for flooding or erosion as the result of the use of Organic Mulch as required by the City of Albuquerque.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.
The Property Owner shall maintain landscaping in a living, healthy, and attractive condition. Dead or Dying plant material shall be replaced immediately. Shrubs shall be left to grow in to natural form and shall not be pruned, sheared or otherwise decimated. Trees shall not be pollarded. Only licensed, insured Certified Arborist shall be allowed to prune or shape trees.
It is the intent of this plan to comply with the City Of Albuquerque Water, IDO Ordinance.
It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.
Water management is the sole responsibility of the Property Owner.
Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed, or other treatment.
Contractor shall supply to the owner samples and prices of various gravel samples for approval prior to installing.
25% of landscape area shall be covered with organic mulch per City of Albuquerque Ordinance. Mulch shall be a minimum of 4" deep in areas as shown on the plan. Landscape maintenance providers shall ensure that all organic mulch areas are maintained and refreshed on a regular basis. Filter Fabric shall not be placed in areas to receive organic mulch.

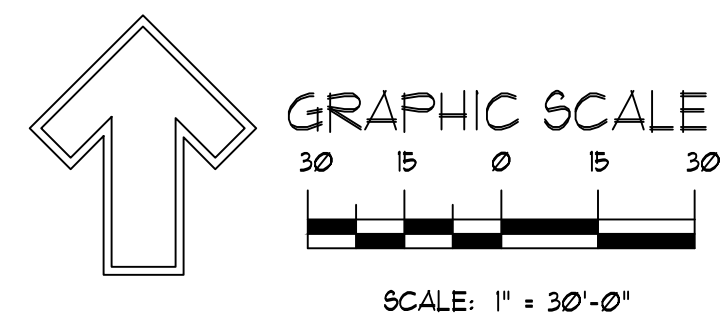
Landscape shall be watered by a complete underground irrigation system operated by automatic timer.
Trees and shrubs shall be zoned separately.
Landscaping shall be installed according to the approved plan; installation shall be completed within 60 days of the related building's occupancy.
No substitutions or alterations to this plan with out the express written permission of the Landscape Architect, and approval of the City of Albuquerque, approved permit est.

Clear Site Triangle Note:
Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery between 5 and 8 feet between the intersection of the gutter panel are not included within the clear site triangle. Per Section 5-6(D) (1) (a) Required Street Trees
Trees are GENERALLY required along street frontages every 25 feet on center unless otherwise specified in Part 6-2-2 of ROA 1994 (Street Trees)

Section 6-6-2-b Street Trees (A)
1. Size of the trees at maturity should be in proportion to the planting space provided for them. ... Smaller species of trees will require closer spacing and larger trees will require greater spacing. Spacing shall be approved as part of the plan approval process.
2. On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced

Drainage Basin Treatments
Per City of Albuquerque
Drainage Basin Treatments
The bottom and sides must be seeded with a native mix per City Standard specification 1022 depending on soil type for that City area. Please reference this native seed selection and the section on plan sheet.

For pond bottoms: Gravel 1/2 to 1 inch mulch One layer thick, not stacked
Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.
Maintenance will be per City of Albuquerque Specification 1023.91 and 1023.92.
Contractor must used the basin during/after the first growing season.
Needs city inspection. Stormwater Quality Ordinance-final stabilization must be accepted by the City.



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

MODULUS ARCHITECTS
8220 SAN PEDRO DR. NE, SUITE 520
ALBUQUERQUE, NEW MEXICO 87113
PHONE (505) 338-1499 FAX (505) 338-1498

Landscape Architect
STATE OF NEW MEXICO
DANNY D. MITCHELL
239
REGISTERED LANDSCAPE ARCHITECT
August 28, 2024

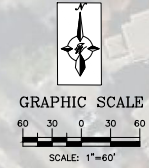
PROJECT TITLE	DRAWN BY:	FV
PROJECT NUMBER	JOB NO.	
SHEET NUMBER	SHEET TITLE	
DATE:	Sheet	Project NO.
SCALE:	AS NOTED	2024-001
		DRAWING NO.
		LS-101

CAUTION
 ALL EXISTING UTILITIES/TOPOGRAPHY SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILT, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

BENCHMARK - NAVD 88
 ACS MONUMENT "6, A13" HAVING AN ELEVATION OF 5103.431 FEET

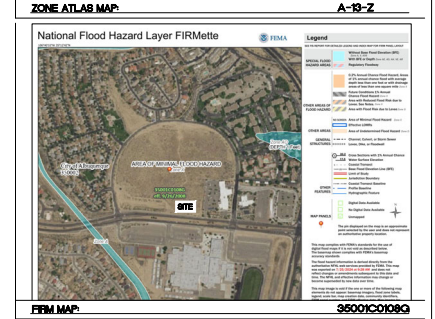
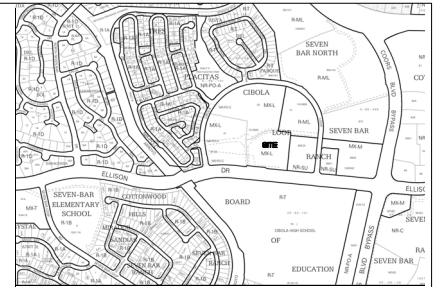
NOTE:
 REFER HYDRO NUM FILE A13D0118 FOR PREVIOUS GRADING AND DRAINAGE REPORT.

Cibola Loop NW



City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 11/21/2024
 BY: [Signature]
 HydroTeam # A13D0118

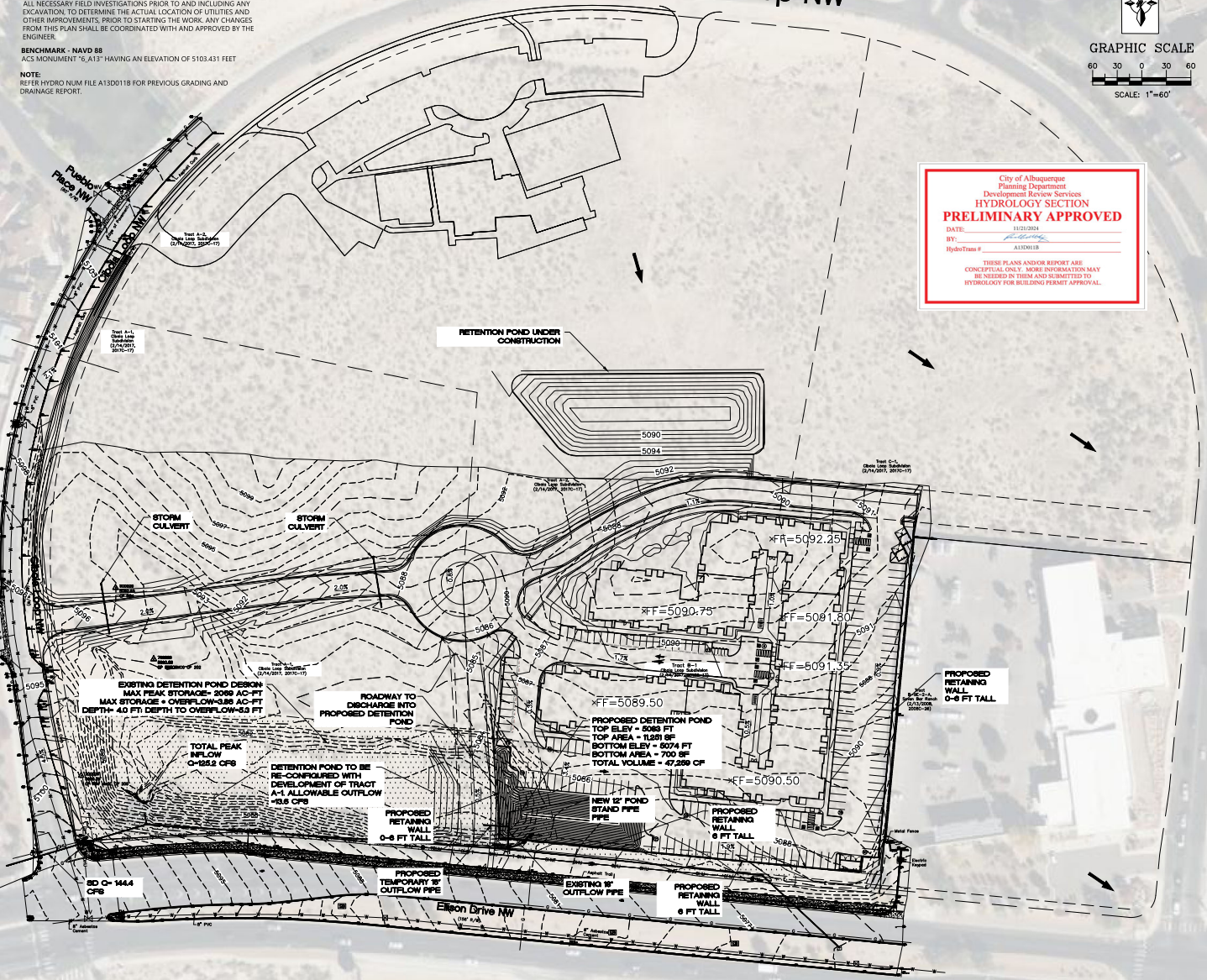
THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.



LEGAL DESCRIPTION:
 TRACT B-1 BULK PLAT TRACTS A-1, A-2, B-1 & C-1 CIBOLA LOOP SUBDIVISION CONT. 5.1785 AC

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	PROPOSED SIDEWALK
	RETAINING WALL
	5010 CONTOUR MAJOR
	5011 CONTOUR MINOR
	x 5048.25 SPOT ELEVATION
	FLOW ARROW
	EXISTING CONCRETE SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	5010 EXISTING CONTOUR MAJOR
	5011 EXISTING CONTOUR MINOR
	x 5048.25 EXISTING SPOT ELEVATION
	BASIN



	CIBOLA LOOP APARTMENTS ALBUQUERQUE, NM	DRAWN BY LN
	CONCEPTUAL GRADING & DRAINAGE PLAN	DATE 07/16/2024
11/08/2024 RONALD R. BOHANNAN P.E. #7868	 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87119 (505) 858-3100 www.terrawestllc.com	2024040_BASINS SHEET # GR-1 JOB # 2024040

\\TWMSVZ_01m\2024\20240400 Cibola Loop Multifamily\yany\DWG\20240400_BASINS.dwg Nov 06, 2024 - 3:25pm

Cibola Loop NW

Basin ID		Area		Area		Basin Descriptions				100-Year, 24-Hr					
ID	Tract	(sf)	(acres)	(sq miles)	%	(acres)	%	(acres)	%	(acres)	%	(ac)	(ac-ft)	cfs	
H1	A	332,374	7.63	0.01192	75%	5,723	0%	0.000	25%	1,908	0%	0.000	0.640	0.405	7.36
H2	A	206,021	4.73	0.00739	95%	4,493	0%	0.000	5%	0.236	0%	0.000	0.560	0.222	4.98
Total		538,395	12.36	0.01931		10,216	0.000		2,144		0.000		0.627	12.34	

EXISTING CONDITIONS:
 BASINS H1 AND H2 ARE CURRENTLY UNDEVELOPED WITH AN EXISTING DETENTION POND LOCATED ON THE SOUTHWEST SIDE OF THE PROJECT SITE. UNDEVELOPED STORM WATER RUNOFF CURRENTLY SHEET FLOWS INTO THE EXISTING DETENTION POND FROM NORTH TO SOUTH. NO OTHER BASIN CONTRIBUTE TO SITE FLOWS AS DEPICTED IN THE EXHIBIT.

TRACT A-2
 MULTIGENERATIONAL CENTER
 FULL RETENTION
 FLOW DOES NOT CONTRIBUTE
 TO SITE FLOWS

TRACT C-1
 POLICE STATION
 Q_ALLOW=8.5 CFS
 FLOW DOES NOT
 CONTRIBUTE TO SITE
 FLOWS

TRACT B-9E-2-A
 POLICE STATION
 Q_ALLOW=2.1 CFS
 FLOW DOES NOT
 CONTRIBUTE TO SITE
 FLOWS

RETENTION POND
 UNDER
 CONSTRUCTION
 REFER HYDROLOGY
 FILE: A130025

BASIN H1
 7.63 ACRES

BASIN H2
 4.73 ACRES



EXISTING DETENTION
 POND TO BE
 RE-CONFIGURED WITH
 DEVELOPMENT OF TRACT
 A-1. ALLOWABLE OUTFLOW
 =5.6 CFS

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 11/06/2024
 BY: [Signature]
 HydroTeam #: A130118

THESE PLANS AND/OR REPORT ARE
 CONCEPTUAL ONLY. MORE INFORMATION MAY
 BE NEEDED IN THEM AND SUBMITTED TO
 HYDROLOGY FOR BUILDING PERMIT APPROVAL.

LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▭ PROPOSED SIDEWALK
- ▭ RETAINING WALL
- 5010— CONTOUR MAJOR
- 5011— CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- ▭ EXISTING CONCRETE SIDEWALK
- ▭ EXISTING CURB & GUTTER
- ▭ EXISTING BOUNDARY LINE
- 5010— EXISTING CONTOUR MAJOR
- 5011— EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION
- - - BASIN

 11/06/2024 RONALD R. BOHANNAN P.E. #7868	CIBOLA LOOP APARTMENTS ALBUQUERQUE, NM EXISTING BASIN MAP	DRAWN BY LN DATE 07/16/2024 2024040_BASINS SHEET # GR-2 JOB # 2024040
	 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87110 (505) 858-3100 www.terrawestllc.com	

PROPOSED DETENTION POND STORAGE				
ACTUAL ELEV. (F.T.)	H (F.T.)	VOLUME (CF)	S (CFS)	VOLUME (AC-FT)
5074	0.00	0	0.00	0.0000
5075	0.00	1099	0.00	0.0252
5076	0.00	3031	0.00	0.0696
5077	0.00	5869	0.00	0.1347
5078	0.00	9689	0.00	0.2224
5079	0.00	14572	0.00	0.3345
5080	0.00	20629	0.00	0.4736
5081	1.00	27368	3.76	0.6425
5082	2.00	35820	5.35	0.8463
5083	3.00	47259	6.55	1.0849

Cibola Loop NW

Proposed Conditions

Basin ID	Tract	Area (sf)	Area (acres)	Area (sq miles)	Basin Descriptions				100-Year, 24-Hr						
					Treatment A (%)	Treatment B (%)	Treatment C (%)	Treatment D (%)	Runoff (in)	Volume (ac-ft)	Flow (cfs)				
D1.1	A	59,550	1.37	0.00214	0%	0.000	0%	0.000	100%	1.367	2,040	0.233	5.04		
D1.2	A	140,469	3.22	0.00504	100%	3.225	0%	0.000	0%	0.000	0.550	0.148	3.51		
D1.3	A	132,355	3.04	0.00475	50%	1,519	0%	0.000	50%	1,519	0%	0.000	0.760	0.192	4.81
D2	A	206,021	4.73	0.00739	0%	0.000	0%	0.000	30%	1,419	70%	3.311	1,730	0.680	15.70
Total		538,395	12.36	0.01931		4,744	0.000	2,938		4,678		1,253	29,060		

PROPOSED CONDITIONS:
 THE DEVELOPED PROJECT SITE CONSISTS OF A NEW RESIDENTIAL APARTMENT DEVELOPMENT AS WELL AS A ROADWAY AND ROUNDABOUT IMPROVEMENTS. BASIN D1.1 AND D2 ARE PROPOSED TO SHEET FLOW INTO A NEW DETENTION POND ON THE SOUTHWEST CORNER OF BASIN D2. THE PROPOSED DETENTION POND PER THE ATTACHED AHYMO CALCULATIONS REDUCES THE COMBINED FLOW RATE OF 5.04 CFS AND 15.70 RESPECTIVELY (20.74 CFS TOTAL) TO 3.76 CFS.

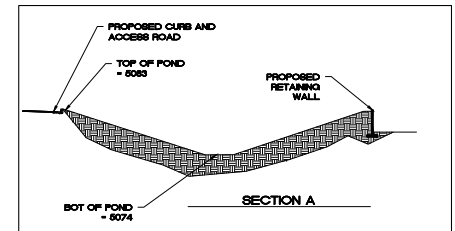
BASINS D1.2 AND D1.3 SHALL CONTINUE TO FLOW TOWARDS THE EXISTING DETENTION POND AT HISTORIC RATES UNTIL FURTHER DEVELOPMENT IS IMPLEMENTED.

THE TOTAL DEVELOPED DISCHARGE IS 12.11 CFS WHICH IS LESS THAN THE HISTORIC RATE OF 12.34 CFS

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- PROPOSED SIDEWALK
- RETAINING WALL
- 5010 CONTOUR MAJOR
- 5011 CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- EXISTING CONCRETE SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 5010 EXISTING CONTOUR MAJOR
- 5011 EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION
- BASIN

Stormwater Quality Volume	
Total Impervious Area =	2Area in "Treatment D"
Retention depth = 0.42' Per DPM	0.0350 FT
Retention Volume =	0.035 x area D CF
Area D (4.678)	203,773 SF
Volume Required =	7,132.06 CF
Volume Provided =	20,629.00 CF



City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 11/06/2024
 BY: [Signature]
 HydroTeam #: A1300118

THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

	ENGINEER'S SEAL	CIBOLA LOOP APARTMENTS ALBUQUERQUE, NM	DRAWN BY LN
	11/06/2024	PROPOSED BASIN MAP	DATE 07/16/2024
		TERRA WEST LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87110 (505) 858-3100 www.terrawestllc.com	2024040_BASINS
RONALD R. BOHANNAN P.E. #7868			SHEET # GR-2
			JOB # 2024040

AHYMO PROGRAM (AHYMO-S4)

- Version: S4.01a - Rel: 01a

RUN DATE (MON/DAY/YR) = 11/06/2024

START TIME (HR:MIN:SEC) = 14:08:05

USER NO.= AHYMO_Temp_User:20122010

INPUT FILE = \\TWNAS\Z_Drive\2024\2024040 Cibola Loop

Multifamily\Drainage\2024040-Hymo.txt

```

*****
*                               *
*           Cibola Loop Apartments           *
*                               *
*           100-YEAR 24-HR STORM (UNDER EXISTING CONDITIONS) *
*                               *
*Zone 1                               *
*NOAA ATLAS 14, VOLUME 1, VERSION 5      *
*LATITUDE: 35.2070°                     *
*LONGITUDE: -106.6640°                   *
*ELEVATION: 5091.00 FT                   *
*****

```

START TIME=0.0

```

*
*
RAINFALL TYPE=1 RAIN QUARTER=0.0 IN
          RAIN ONE=1.76 IN RAIN SIX=2.29 IN
          RAIN DAY=2.62 IN DT=0.15 HR

```

AZ) - D1 6-HOUR RAINFALL DIST. - BASED ON NOAA ATLAS 14 FOR CONVECTIVE AREAS (NM &

DT =	0.150000 HOURS						END TIME =	6.000000 HOURS						
	0.0000	0.0111	0.0245	0.0543	0.0934	0.1362	0.1872							
	0.2698	0.4198	0.8074	1.5512	1.7813	1.8967	1.9646							
	2.0114	2.0481	2.0742	2.0892	2.1030	2.1159	2.1280							
	2.1393	2.1500	2.1601	2.1698	2.1792	2.1882	2.1969							
	2.2054	2.2136	2.2215	2.2292	2.2367	2.2440	2.2511							
	2.2580	2.2647	2.2712	2.2776	2.2839	2.2900								

```

*
* EXISTING BASIN H1
*

```

```

COMPUTE NM HYD ID=1 HYD NO=H1 AREA=0.01192 SQ MI
PER A=75.00 PER B=0.00 PER C=25.00 PER D=0.00
TP=0.29 HR MASS RAINFALL=-1

```

```

K = 0.328505HR TP = 0.290000HR K/TP RATIO = 1.132777 SHAPE CONSTANT, N
= 3.124531
UNIT PEAK = 11.995 CFS UNIT VOLUME = 0.9970 B = 291.83 P60 =
1.7600
AREA = 0.011920 SQ MI IA = 0.57500 INCHES INF = 1.46000 INCHES PER
HOURLY RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = 0.150000

```

PRINT HYD ID=1 CODE=1

HYDROGRAPH FROM AREA H1

```

RUNOFF VOLUME = 0.63699 INCHES = 0.4050 ACRE-FEET
PEAK DISCHARGE RATE = 7.36 CFS AT 1.650 HOURS BASIN AREA = 0.0119 SQ. MI.

```

```

*
* EXISTING BASIN H2
*

```

```

COMPUTE NM HYD ID=1 HYD NO=H2 AREA=0.00739 SQ MI
PER A=95.00 PER B=0.00 PER C=5.00 PER D=0.00
TP=0.21 HR MASS RAINFALL=-1

```

```

K = 0.257365HR TP = 0.210000HR K/TP RATIO = 1.225546 SHAPE CONSTANT, N
= 2.904745
UNIT PEAK = 9.6411 CFS UNIT VOLUME = 0.9850 B = 273.97 P60 =
1.7600
AREA = 0.007390 SQ MI IA = 0.63500 INCHES INF = 1.62800 INCHES PER

```

HOURL

RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = 0.150000

PRINT HYD ID=1 CODE=1

HYDROGRAPH FROM AREA H2

RUNOFF VOLUME = 0.56338 INCHES = 0.2220 ACRE-FEET
PEAK DISCHARGE RATE = 4.98 CFS AT 1.500 HOURS BASIN AREA = 0.0074 SQ. MI.

* 100-YEAR 24-HR STORM (UNDER PROPOSED CONDITIONS) *

* PROPOSED BASIN D1.1

COMPUTE NM HYD ID=1 HYD NO=D11 AREA=0.00214 SQ MI
PER A=0.00 PER B=0.00 PER C=0.00 PER D=100.00
TP=0.18 HR MASS RAINFALL=-1

K = 0.098100HR TP = 0.180000HR K/TP RATIO = 0.545000 SHAPE CONSTANT, N
= 7.106428
UNIT PEAK = 6.2568 CFS UNIT VOLUME = 1.053 B = 526.28 P60 =
1.7600
AREA = 0.002140 SQ MI IA = 0.10000 INCHES INF = 0.04000 INCHES PER
HOURL

RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = 0.150000

PRINT HYD ID=1 CODE=1

HYDROGRAPH FROM AREA D11

RUNOFF VOLUME = 2.03792 INCHES = 0.2326 ACRE-FEET
PEAK DISCHARGE RATE = 5.04 CFS AT 1.500 HOURS BASIN AREA = 0.0021 SQ. MI.

* PROPOSED BASIN D1.2

COMPUTE NM HYD ID=2 HYD NO=D12 AREA=0.00504 SQ MI
PER A=100.00 PER B=0.00 PER C=0.00 PER D=0.00
TP=0.20 HR MASS RAINFALL=-1

K = 0.249748HR TP = 0.200000HR K/TP RATIO = 1.248739 SHAPE CONSTANT, N
= 2.856080
UNIT PEAK = 6.8009 CFS UNIT VOLUME = 0.9815 B = 269.88 P60 =
1.7600
AREA = 0.005040 SQ MI IA = 0.65000 INCHES INF = 1.67000 INCHES PER
HOURL

RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = 0.150000

PRINT HYD ID=2 CODE=1

HYDROGRAPH FROM AREA D12

RUNOFF VOLUME = 0.54897 INCHES = 0.1476 ACRE-FEET
PEAK DISCHARGE RATE = 3.51 CFS AT 1.500 HOURS BASIN AREA = 0.0050 SQ. MI.

* PROPOSED BASIN D1.3

COMPUTE NM HYD ID=3 HYD NO=D13 AREA=0.00475 SQ MI
PER A=50.00 PER B=0.00 PER C=50.00 PER D=0.00

TP=0.20 HR MASS RAINFALL=-1

K = 0.203363HR TP = 0.200000HR K/TP RATIO = 1.016815 SHAPE CONSTANT, N
= 3.471394
UNIT PEAK = 7.5582 CFS UNIT VOLUME = 0.9946 B = 318.24 P60 =
1.7600
AREA = 0.004750 SQ MI IA = 0.50000 INCHES INF = 1.25000 INCHES PER
HOUR
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = 0.150000
PRINT HYD ID=3 CODE=1

HYDROGRAPH FROM AREA D13

RUNOFF VOLUME = 0.75760 INCHES = 0.1919 ACRE-FEET
PEAK DISCHARGE RATE = 4.81 CFS AT 1.500 HOURS BASIN AREA = 0.0048 SQ. MI.

* PROPOSED BASIN D2

*
COMPUTE NM HYD ID=4 HYD NO=D2 AREA=0.00739 SQ MI
PER A=0.00 PER B=0.00 PER C=30.00 PER D=70.00
TP=0.18 HR MASS RAINFALL=-1

K = 0.098100HR TP = 0.180000HR K/TP RATIO = 0.545000 SHAPE CONSTANT, N
= 7.106428
UNIT PEAK = 15.125 CFS UNIT VOLUME = 1.054 B = 526.28 P60 =
1.7600
AREA = 0.005173 SQ MI IA = 0.10000 INCHES INF = 0.04000 INCHES PER
HOUR
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = 0.150000

K = 0.141280HR TP = 0.180000HR K/TP RATIO = 0.784891 SHAPE CONSTANT, N
= 4.574880
UNIT PEAK = 4.8261 CFS UNIT VOLUME = 1.013 B = 391.84 P60 =
1.7600
AREA = 0.002217 SQ MI IA = 0.35000 INCHES INF = 0.83000 INCHES PER
HOUR
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = 0.150000

PRINT HYD ID=4 CODE=1

HYDROGRAPH FROM AREA D2

RUNOFF VOLUME = 1.72651 INCHES = 0.6805 ACRE-FEET
PEAK DISCHARGE RATE = 15.70 CFS AT 1.500 HOURS BASIN AREA = 0.0074 SQ. MI.

*
ADD HYD ID=5 HYD = 100.1 ID I = 1 ID II = 4
PRINT HYD ID=5 CODE=1

PARTIAL HYDROGRAPH 100.10

RUNOFF VOLUME = 1.79634 INCHES = 0.9130 ACRE-FEET
PEAK DISCHARGE RATE = 20.74 CFS AT 1.500 HOURS BASIN AREA = 0.0095 SQ. MI.

*

* ROUTE BASINS TO POND 1 *

ROUTE RESERVOIR ID=6 HYD NO=POND.1 INFLOW ID=5 CODE=1
 OUTFLOW(CFS) STORAGE(AC-FT) ELEVATION(FT)
 0.0000 0.0000 74.00
 1.0000 0.4736 80.00
 3.7800 0.6425 81.00
 5.3500 0.8453 82.00
 6.5500 1.0849 83.00

* * * * *

TIME (HRS)	INFLOW (CFS)	ELEV (FEET)	VOLUME (AC-FT)	OUTFLOW (CFS)
0.00	0.00	74.00	0.000	0.00
0.15	0.00	74.00	0.000	0.00
0.30	0.00	74.00	0.000	0.00
0.45	0.00	74.00	0.000	0.00
0.60	0.00	74.00	0.000	0.00
0.75	0.57	74.04	0.004	0.01
0.90	1.09	74.17	0.014	0.03
1.05	1.85	74.40	0.031	0.07
1.20	3.47	74.80	0.063	0.13
1.35	9.68	75.80	0.142	0.30
1.50	20.74	78.11	0.324	0.68
1.65	13.73	80.29	0.523	1.81
1.80	6.82	80.85	0.618	3.37
1.95	4.06	80.99	0.641	3.76
2.10	2.69	80.97	0.637	3.69
2.25	1.90	80.87	0.621	3.43
2.40	1.32	80.75	0.601	3.09
2.55	0.82	80.62	0.578	2.72
2.70	0.56	80.48	0.555	2.34
2.85	0.42	80.36	0.534	2.00
3.00	0.32	80.25	0.516	1.70
3.15	0.26	80.16	0.500	1.44
3.30	0.22	80.08	0.487	1.21
3.45	0.19	80.01	0.475	1.03
3.60	0.17	79.89	0.465	0.98
3.75	0.16	79.76	0.455	0.96
3.90	0.16	79.64	0.445	0.94
4.05	0.15	79.52	0.436	0.92
4.20	0.15	79.40	0.426	0.90
4.35	0.15	79.28	0.417	0.88
4.50	0.15	79.17	0.408	0.86
4.65	0.16	79.06	0.400	0.84
4.80	0.16	78.96	0.391	0.83
4.95	0.16	78.85	0.383	0.81
5.10	0.16	78.75	0.375	0.79
5.25	0.17	78.65	0.367	0.78
5.40	0.17	78.56	0.360	0.76
5.55	0.17	78.47	0.353	0.74
5.70	0.18	78.38	0.346	0.73
5.85	0.18	78.30	0.339	0.72
6.00	0.19	78.21	0.333	0.70
6.15	0.08	78.13	0.326	0.69
6.30	0.03	78.03	0.318	0.67
6.45	0.02	77.93	0.310	0.65
6.60	0.01	77.83	0.302	0.64
6.75	0.01	77.73	0.294	0.62
6.90	0.00	77.63	0.287	0.61
7.05	0.00	77.54	0.279	0.59
7.20	0.00	77.45	0.272	0.57
7.35	0.00	77.36	0.265	0.56
7.50	0.00	77.27	0.258	0.55
7.65	0.00	77.19	0.252	0.53
7.80	0.00	77.11	0.245	0.52
7.95	0.00	77.03	0.239	0.50
8.10	0.00	76.95	0.233	0.49
8.25	0.00	76.87	0.227	0.48

TIME INFLOW ELEV VOLUME OUTFLOW

(HRS)	(CFS)	(FEET)	(AC-FT)	(CFS)
8.40	0.00	76.80	0.221	0.47
8.55	0.00	76.73	0.215	0.45
8.70	0.00	76.65	0.210	0.44
8.85	0.00	76.59	0.204	0.43
9.00	0.00	76.52	0.199	0.42
9.15	0.00	76.45	0.194	0.41
9.30	0.00	76.39	0.189	0.40
9.45	0.00	76.33	0.184	0.39
9.60	0.00	76.27	0.179	0.38
9.75	0.00	76.21	0.174	0.37
9.90	0.00	76.15	0.170	0.36
10.05	0.00	76.10	0.166	0.35
10.20	0.00	76.04	0.161	0.34
10.35	0.00	75.99	0.157	0.33
10.50	0.00	75.94	0.153	0.32
10.65	0.00	75.89	0.149	0.31
10.80	0.00	75.84	0.145	0.31
10.95	0.00	75.79	0.141	0.30
11.10	0.00	75.75	0.138	0.29
11.25	0.00	75.70	0.134	0.28
11.40	0.00	75.66	0.131	0.28
11.55	0.00	75.61	0.127	0.27
11.70	0.00	75.57	0.124	0.26
11.85	0.00	75.53	0.121	0.26
12.00	0.00	75.49	0.118	0.25
12.15	0.00	75.45	0.115	0.24
12.30	0.00	75.42	0.112	0.24
12.45	0.00	75.38	0.109	0.23
12.60	0.00	75.34	0.106	0.22
12.75	0.00	75.31	0.103	0.22
12.90	0.00	75.28	0.101	0.21
13.05	0.00	75.24	0.098	0.21
13.20	0.00	75.21	0.096	0.20
13.35	0.00	75.18	0.093	0.20
13.50	0.00	75.15	0.091	0.19
13.65	0.00	75.12	0.088	0.19
13.80	0.00	75.09	0.086	0.18
13.95	0.00	75.06	0.084	0.18
14.10	0.00	75.03	0.082	0.17
14.25	0.00	75.01	0.080	0.17
14.40	0.00	74.98	0.077	0.16
14.55	0.00	74.96	0.075	0.16
14.70	0.00	74.93	0.074	0.16
14.85	0.00	74.91	0.072	0.15
15.00	0.00	74.88	0.070	0.15
15.15	0.00	74.86	0.068	0.14
15.30	0.00	74.84	0.066	0.14
15.45	0.00	74.82	0.065	0.14
15.60	0.00	74.80	0.063	0.13
15.75	0.00	74.78	0.061	0.13
15.90	0.00	74.76	0.060	0.13
16.05	0.00	74.74	0.058	0.12
16.20	0.00	74.72	0.057	0.12
16.35	0.00	74.70	0.055	0.12
16.50	0.00	74.68	0.054	0.11
16.65	0.00	74.66	0.052	0.11
TIME (HRS)	INFLOW (CFS)	ELEV (FEET)	VOLUME (AC-FT)	OUTFLOW (CFS)
16.80	0.00	74.65	0.051	0.11
16.95	0.00	74.63	0.050	0.10
17.10	0.00	74.61	0.048	0.10
17.25	0.00	74.60	0.047	0.10
17.40	0.00	74.58	0.046	0.10
17.55	0.00	74.57	0.045	0.09
17.70	0.00	74.55	0.044	0.09
17.85	0.00	74.54	0.042	0.09
18.00	0.00	74.52	0.041	0.09
18.15	0.00	74.51	0.040	0.09

18.30	0.00	74.50	0.039	0.08
18.45	0.00	74.48	0.038	0.08
18.60	0.00	74.47	0.037	0.08
18.75	0.00	74.46	0.036	0.08
18.90	0.00	74.45	0.035	0.07
19.05	0.00	74.44	0.034	0.07
19.20	0.00	74.42	0.034	0.07
19.35	0.00	74.41	0.033	0.07
19.50	0.00	74.40	0.032	0.07
19.65	0.00	74.39	0.031	0.07
19.80	0.00	74.38	0.030	0.06
19.95	0.00	74.37	0.029	0.06
20.10	0.00	74.36	0.029	0.06
20.25	0.00	74.35	0.028	0.06
20.40	0.00	74.34	0.027	0.06
20.55	0.00	74.34	0.026	0.06
20.70	0.00	74.33	0.026	0.05
20.85	0.00	74.32	0.025	0.05
21.00	0.00	74.31	0.024	0.05
21.15	0.00	74.30	0.024	0.05
21.30	0.00	74.29	0.023	0.05
21.45	0.00	74.29	0.023	0.05
21.60	0.00	74.28	0.022	0.05
21.75	0.00	74.27	0.021	0.05
21.90	0.00	74.27	0.021	0.04
22.05	0.00	74.26	0.020	0.04
22.20	0.00	74.25	0.020	0.04
22.35	0.00	74.25	0.019	0.04
22.50	0.00	74.24	0.019	0.04
22.65	0.00	74.23	0.018	0.04
22.80	0.00	74.23	0.018	0.04
22.95	0.00	74.22	0.017	0.04
23.10	0.00	74.22	0.017	0.04
23.25	0.00	74.21	0.017	0.03
23.40	0.00	74.20	0.016	0.03
23.55	0.00	74.20	0.016	0.03
23.70	0.00	74.19	0.015	0.03
23.85	0.00	74.19	0.015	0.03
24.00	0.00	74.18	0.015	0.03
24.15	0.00	74.18	0.014	0.03
24.30	0.00	74.17	0.014	0.03
24.45	0.00	74.17	0.013	0.03
24.60	0.00	74.17	0.013	0.03
24.75	0.00	74.16	0.013	0.03
24.90	0.00	74.16	0.012	0.03
25.05	0.00	74.15	0.012	0.03

TIME (HRS)	INFLOW (CFS)	ELEV (FEET)	VOLUME (AC-FT)	OUTFLOW (CFS)
25.20	0.00	74.15	0.012	0.02
25.35	0.00	74.15	0.011	0.02
25.50	0.00	74.14	0.011	0.02
25.65	0.00	74.14	0.011	0.02
25.80	0.00	74.13	0.011	0.02
25.95	0.00	74.13	0.010	0.02
26.10	0.00	74.13	0.010	0.02
26.25	0.00	74.12	0.010	0.02
26.40	0.00	74.12	0.010	0.02
26.55	0.00	74.12	0.009	0.02
26.70	0.00	74.11	0.009	0.02
26.85	0.00	74.11	0.009	0.02
27.00	0.00	74.11	0.009	0.02
27.15	0.00	74.11	0.008	0.02
27.30	0.00	74.10	0.008	0.02
27.45	0.00	74.10	0.008	0.02
27.60	0.00	74.10	0.008	0.02
27.75	0.00	74.10	0.008	0.02
27.90	0.00	74.09	0.007	0.02
28.05	0.00	74.09	0.007	0.02
28.20	0.00	74.09	0.007	0.01
28.35	0.00	74.09	0.007	0.01

28.50	0.00	74.08	0.007	0.01
28.65	0.00	74.08	0.006	0.01
28.80	0.00	74.08	0.006	0.01
28.95	0.00	74.08	0.006	0.01
29.10	0.00	74.08	0.006	0.01
29.25	0.00	74.07	0.006	0.01
29.40	0.00	74.07	0.006	0.01
29.55	0.00	74.07	0.006	0.01
29.70	0.00	74.07	0.005	0.01
29.85	0.00	74.07	0.005	0.01
30.00	0.00	74.06	0.005	0.01
30.15	0.00	74.06	0.005	0.01
30.30	0.00	74.06	0.005	0.01
30.45	0.00	74.06	0.005	0.01
30.60	0.00	74.06	0.005	0.01
30.75	0.00	74.06	0.004	0.01
30.90	0.00	74.06	0.004	0.01
31.05	0.00	74.05	0.004	0.01
31.20	0.00	74.05	0.004	0.01
31.35	0.00	74.05	0.004	0.01
31.50	0.00	74.05	0.004	0.01
31.65	0.00	74.05	0.004	0.01
31.80	0.00	74.05	0.004	0.01
31.95	0.00	74.05	0.004	0.01
32.10	0.00	74.04	0.004	0.01
32.25	0.00	74.04	0.003	0.01
32.40	0.00	74.04	0.003	0.01
32.55	0.00	74.04	0.003	0.01
32.70	0.00	74.04	0.003	0.01
32.85	0.00	74.04	0.003	0.01
33.00	0.00	74.04	0.003	0.01
33.15	0.00	74.04	0.003	0.01
33.30	0.00	74.04	0.003	0.01
33.45	0.00	74.04	0.003	0.01

TIME (HRS)	INFLOW (CFS)	ELEV (FEET)	VOLUME (AC-FT)	OUTFLOW (CFS)
33.60	0.00	74.03	0.003	0.01
33.75	0.00	74.03	0.003	0.01
33.90	0.00	74.03	0.003	0.01
34.05	0.00	74.03	0.003	0.01
34.20	0.00	74.03	0.002	0.01
34.35	0.00	74.03	0.002	0.01
34.50	0.00	74.03	0.002	0.00

PEAK DISCHARGE = 3.756 CFS - PEAK OCCURS AT HOUR 1.95

MAXIMUM WATER SURFACE ELEVATION = 80.991

MAXIMUM STORAGE = 0.6411 AC-FT INCREMENTAL TIME= 0.150000HRS

PRINT HYD ID=6 CODE=1

HYDROGRAPH FROM AREA POND.1

RUNOFF VOLUME = 1.79634 INCHES = 0.9130 ACRE-FEET
 PEAK DISCHARGE RATE = 3.76 CFS AT 1.950 HOURS BASIN AREA = 0.0095 SQ. MI.

*

FINISH

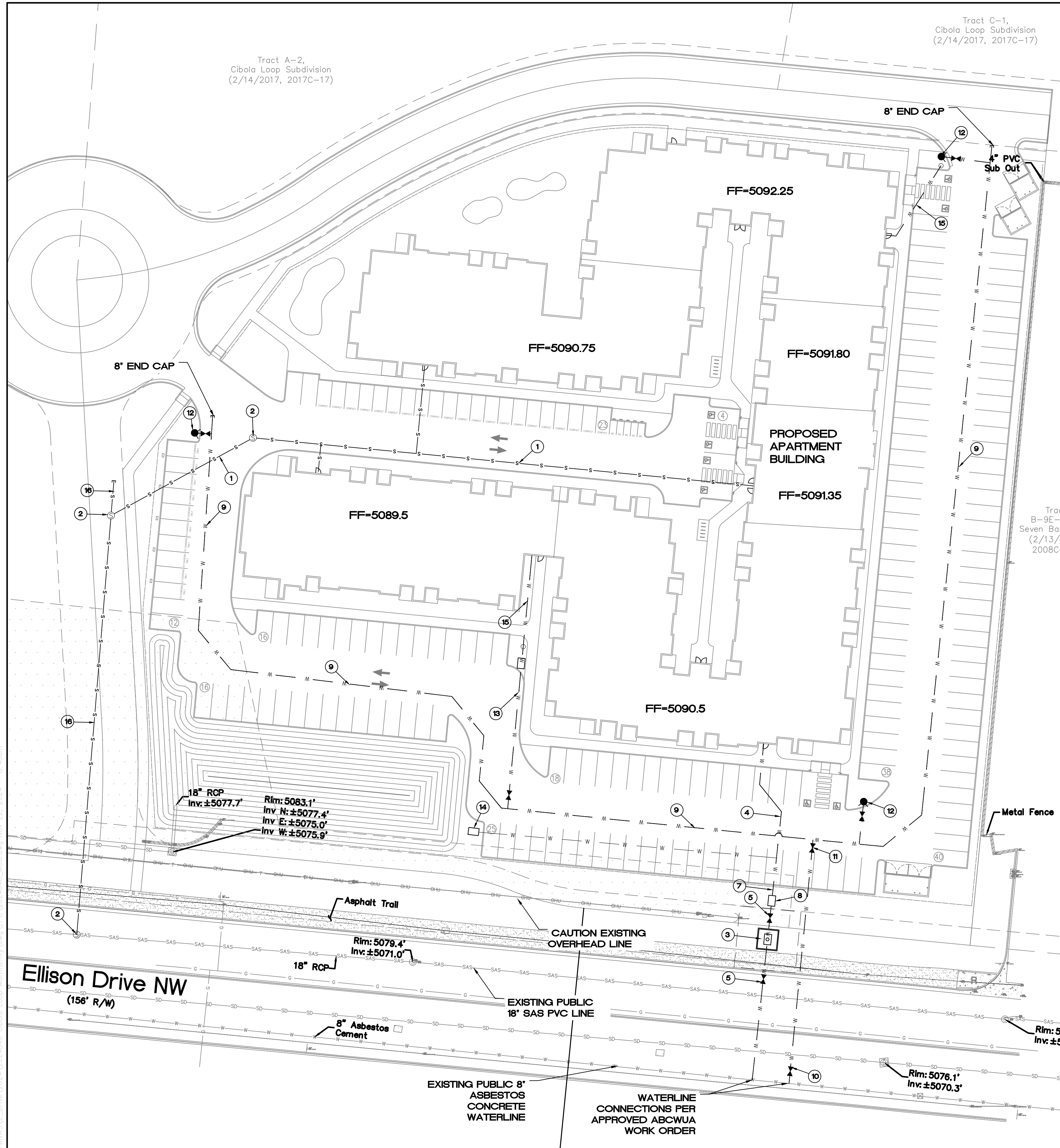
NORMAL PROGRAM FINISH

END TIME (HR:MIN:SEC) = 14:08:05

Tract A-2,
Cibola Loop Subdivision
(2/14/2017, 2017C-17)

Tract C-1,
Cibola Loop Subdivision
(2/14/2017, 2017C-17)

Tract
B-9E-2-
Seven Bar F
(2/13/20
2008C-2



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 36" SD — STORM SEWER LINE
- PUBLIC SANITARY SEWER LINE
- PRIVATE SANITARY SEWER LINE
- WATERLINE
- FIRE LINE
- SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING INLET
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- EX. UOE — EXISTING OVERHEAD UTILITIES
- EX. 2" GAS — EXISTING GAS
- EX. 8" SAS — EXISTING SANITARY SEWER LINE
- EX. 10" WL — EXISTING WATER LINE
- EX. 18" RCP — EXISTING STORM SEWER LINE

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH THE ALBUQUERQUE BERNALILLO WATER UTILITY AUTHORITY (ABCWUA) LATEST DETAILS AND SPECIFICATIONS.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
5. IRRIGATION AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
6. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
7. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY. CALL 811 FOR PUBLIC UTILITIES LOCATES.
8. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.

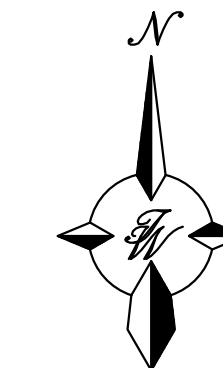
GENERAL UTILITY NOTES:

1. CONTRACTOR MUST COORDINATE WATER SYSTEM WITH SEWER SYSTEM TO PREVENT ANY CONFLICTS WHERE THESE LINES INTERSECT ONE ANOTHER.
2. PROVIDE 3 FEET OF COVER MINIMUM FOR ALL PROPOSED WATER LINES.
3. AREAS WHERE WATER PIPES CROSS OVER SEWER PIPES SHALL NOT HAVE ANY JOINTS.
4. NO FENCES, SIGNS, TREES OR ROCKWALLS TO BE PLACED WITHIN UTILITY EASEMENTS.
5. CONTACT UTILITY COMPANIES FOR EXACT LOCATION OF UNDERGROUND UTILITIES IN THIS AREA BEFORE EXCAVATION.
6. INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FEET AS PER O.S.H.A. STANDARDS.
7. PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING SLEEVES, TEES, BENDS, PLUGS AND ALL FITTINGS. REFER TO ABCWUA STANDARD DETAIL DRAWING 2320
8. P.V.C. PIPE SHALL BE PLACED WITH SELECT BEDDING MATERIAL ALL AROUND.
9. CAUTION: VERIFY LOCATION & DEPTH OF EXISTING GAS MAIN IN THE AREA OF CONSTRUCTION, BEFORE INSTALLING WATER LINE.
10. CONTRACTOR TO ADJUST WATER VALVES TO FINAL GRADE WHERE NECESSARY.

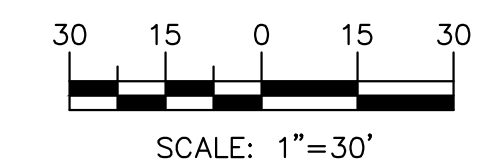
ABCWUA NOTES:

COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.

COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.



GRAPHIC SCALE



KEYED NOTES

- 1 PRIVATE 8" PVC SAS SERVICE LINE AT 2% SLOPE INSTALL CLEAN OUTS PER UPC
- 2 NEW STANDARD CONCRETE MAN-HOLE PER ABCWUA DWG 2101
- 3 3" WATER SERVICE LINE AND METER BOX PER ABCWUA DWG 2370
- 4 PRIVATE 4" DOMESTIC WATER LINE
- 5 PUBLIC 3" GATE VALVE PER ABCWUA DWG 2326
- 6 PRIVATE 4" GATE VALVE PER ABCWUA DWG 2326
- 7 9" TO 4" WATERLINE REDUCER
- 8 BACKFLOW PREVENTOR PER ABCWUA DWG 2385
- 9 8" PVC PRIVATE FIRE LINE
- 10 8" PUBLIC GATE VALVE PER ABCWUA DWG 2326
- 11 8" PRIVATE GATE VALVE PER ABCWUA DWG 2326
- 12 FIRE HYDRANT WITH 6" FIRE LINE, 6" GATE VALVE PER ABCWUA DWG 2340
- 13 6" PVC FIRE LINE WITH 6" GATE VALVE
- 14 BACKFLOW PREVENTER FOR IRRIGATION SYSTEM REFER LANDSCAPE PLAN FOR CONTINUATION
- 15 6" PVC FIRE LINE
- 16 NEW PUBLIC 8" SANITARY SEWER LINE PER APPROVED WORK ORDER

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

PRELIMINARY NOT FOR CONSTRUCTION		
<small>ENGINEER'S SEAL</small>	CIBOLA LOOP APARTMENTS ALBUQUERQUE, NM	<small>DRAWN BY</small> LN
	SITE UTILITY PLAN	<small>DATE</small> 11/22/2024
	<small>TERRA WEST, LLC</small> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	<small>SHEET #</small> MU-1
<small>RONALD R. BOHANNAN P.E. #7868</small>		<small>JOB #</small> 2024040

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DFT Project No.: _____
DFT Application No.: _____

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT FACILITATION TEAM (DFT) REQUIRED INFRASTRUCTURE LIST**

Cibola Loop Apartments

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACT B-1 BULK PLAT TRACTS A-1, A-2, B-1 & C-1 CIBOLA LOOP SUBDIVISION

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	Private P.E.	City Cnst Engineer
		8"	New Sanitary Sewer Collector Including 2 Manholes	Along west property line of Tract B-1	Ellison Dr	240 ft North from Ellison Dr	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private		City Cnst Engineer	
							Inspector	P.E.		
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____

- 2 _____

- 3 _____

AGENT / OWNER	DEVELOPMENT FACILITATION TEAM APPROVALS	
---------------	---	--

Luis Noriega P.E.
NAME (print)

Tierra West LLC
FIRM

[Signature] 12/02/2024
SIGNATURE - date

PLANNING - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & RECREATION - date

AMAFCA - date

CODE ENFORCEMENT - date

HYDROLOGY - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



MODULUS ARCHITECTS & LAND USE PLANNING, INC.

8220 San Pedro Drive NE, Suite 520

Albuquerque, NM 87113

Phone (505) 338-1499

www.modulusarchitects.com

City Approvals (PDF Files in this section)

1. Hydrology Letter of Approval
2. Traffic Circulation Layout (TCL) Approval Letter/
Plan
3. ABCWUA Water Availability Statement
4. Solid Waste Approval
5. Fire One Plan

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 21, 2024

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: Cibola Loop Multifamily
Conceptual Grading Plan
Engineer's Stamp Date: 11/06/2024
Hydrology File: A13D011B**

Dear Mr. Bohannon:

Based upon the information provided in your submittal received 11/06/2024, the Conceptual Grading Plan is preliminarily approved for action by the Development Facilitation Team (DFT) on the Site Plan for a Building Permit.

PO Box 1293

PRIOR TO BUILDING PERMIT / WORK ORDER:

Albuquerque

1. Please submit a more detailed Grading & Drainage Plan to Hydrology for review and approval. This digital (.pdf) is emailed to PLNDRS@cabq.gov along with the Drainage Transportation Information Sheet.

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

If you have any questions, please contact me at 505-924-3362 or richardmartinez@cabq.gov.

Sincerely,

Richard Martinez, P.E.
Senior Engineer, Hydrology
Planning Department

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 19th, 2024

Craig Calvert,
Modulus Architects & Land Use Planning, Inc.
8220 San Pedro Dr. NE,
Albuquerque, NM 87113

**Re: Cibola Loop Apartments
99999 CIBOLA LOOP NW
Traffic Circulation Layout-DFT Approval
Engineer's/Architect's Stamp 08/01/24 (A13D011B)**

Dear Mr. Calvert,

The conceptual TCL submittal received 08/02/2024 is approved for DHO and/or DFT submittal. When submitting this project through the building permit process, a full Traffic Circulation Layout will need to be submitted and approved prior to building permit. . **When submitting a TCL for Building Permit Approval, provide the following:**

- 1. An approved infrastructure list.**
- 2. Approved Traffic Impact Study.**
- 3. Show sidewalk on both sides of the road connecting the property to the Cibola loop and also side walk for roundabout. .**

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to plndrs@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: PLAT (#of lots) _____ RESIDENCE
DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

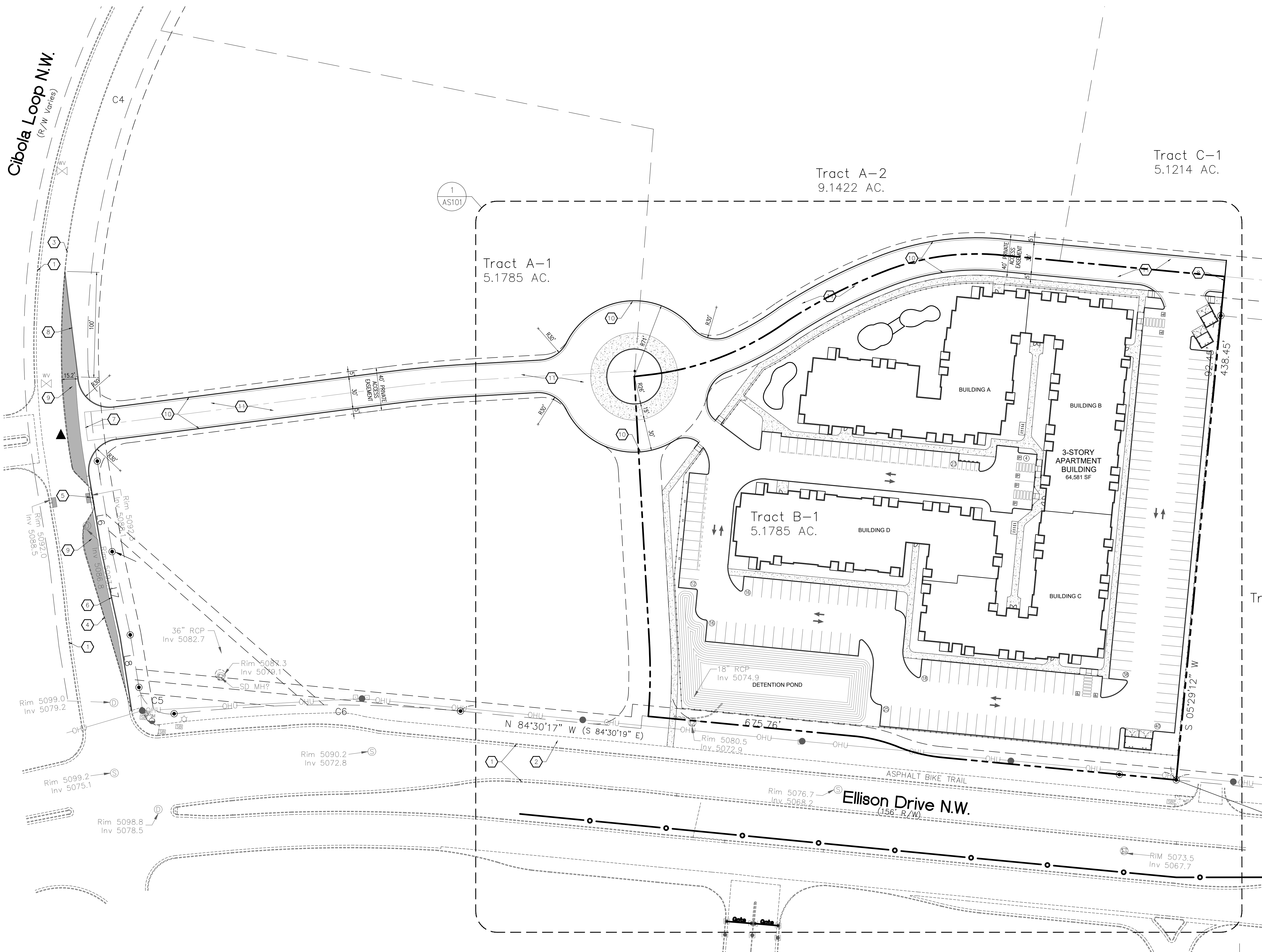
TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING & DRAINAGE PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DFT
APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

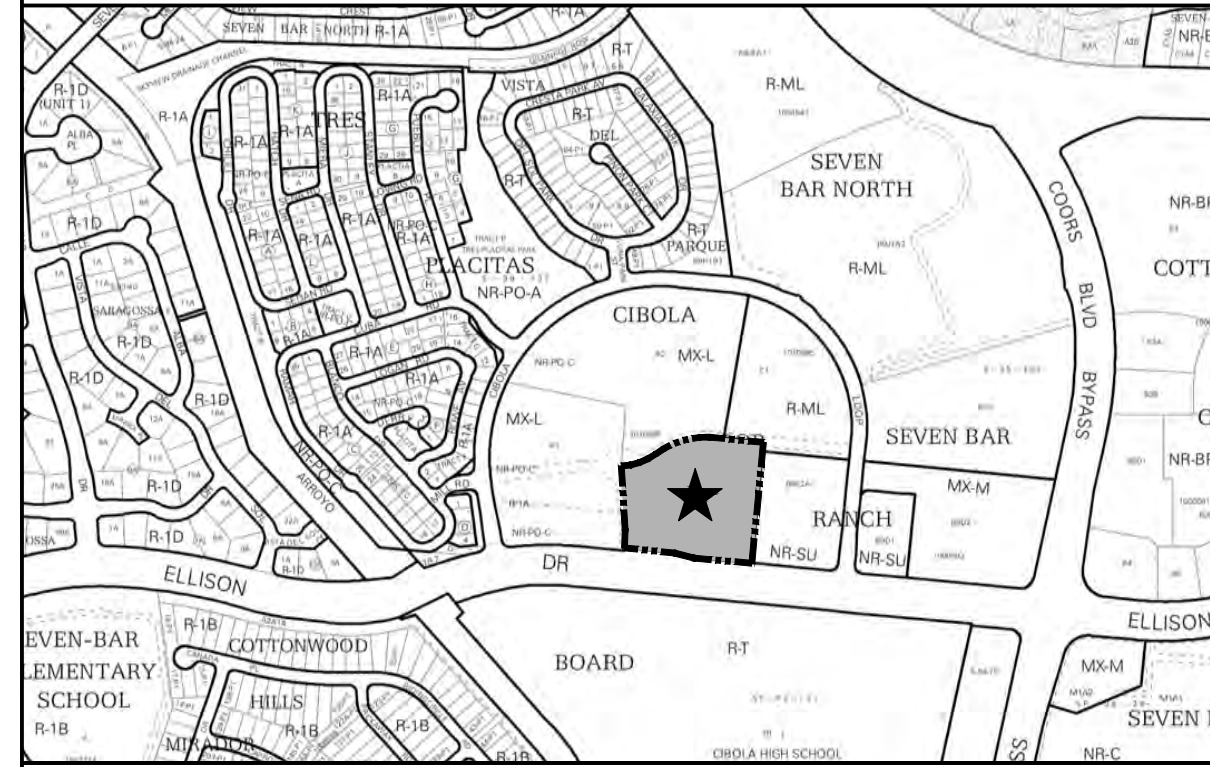
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DFT APPROVAL
- PRELIMINARY PLAT APPROVAL
- FINAL PLAT APPROVAL
- SITE PLAN FOR BLDG PERMIT DFT
APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- OTHER (SPECIFY) _____

DATE SUBMITTED: _____



1 OVERALL SITE PLAN
SCALE: 1" = 40'

VICINITY MAP:



SITE DATA:

PROJECT ADDRESS: CIBOLA LOOP NW & ELLISON RD. NW
 LEGAL DESCRIPTION: TRACT B-1, CIBOLA LOOP SUBDIVISION
 PROPERTY SIZE: 5.1785 ACRES
 CURRENT ZONING: R-ML
 PROPOSED USE: MULTI-FAMILY RESIDENTIAL
 TOTAL BUILDING FOOTPRINT: 64,581 SF
 TOTAL BUILDING AREA: 192,903 SF (3 STORIES)

KEYED NOTES

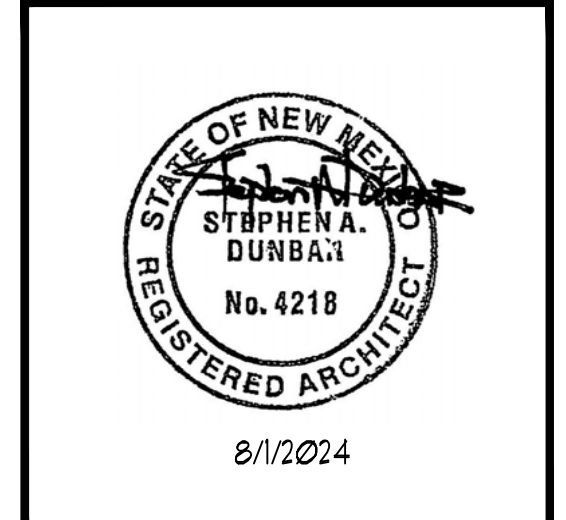
- EXISTING CONCRETE CURB & GUTTER TO REMAIN
- EXISTING ASPHALT TRAIL TO REMAIN
- EXISTING ASPHALT CURB TO REMAIN
- EXISTING ASPHALT CURB TO BE REMOVED & DISPOSED OF.
- EXISTING STORM DRAIN INLET TO REMAIN
- NEW CONCRETE CURB & GUTTER PER COA STANDARD DETAIL 2415A
- NEW CONCRETE VALLEY GUTTER PER COA STANDARD DETAIL 2420
- NEW TEMPORARY ASPHALT CURB PER COA STANDARD DETAIL 2415B
- HATCHED AREA INDICATES NEW ASPHALT DRIVE LANE FOR EXPANDED RIGHT-OF-WAY.
- SEE COA STANDARD DETAIL 2405A-B
- NEW 4" CONCRETE CURB & GUTTER, SEE DETAIL 2/AS501
- NEW ASPHALT PAVING, SEE DETAIL 13/AS501 FOR LIGHT DUTY ASPHALT WITHIN THE PARKING STALL AREA AND 14/AS501 FOR HEAVY DUTY ASPHALT WITHIN THE DRIVE LANES

GRAPHIC LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING CONCRETE CURB & GUTTER
- PROPOSED BUILDING
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED CONCRETE SIDEWALK
- PROPOSED DETENTION POND

REV	DATE	BY	REVISION

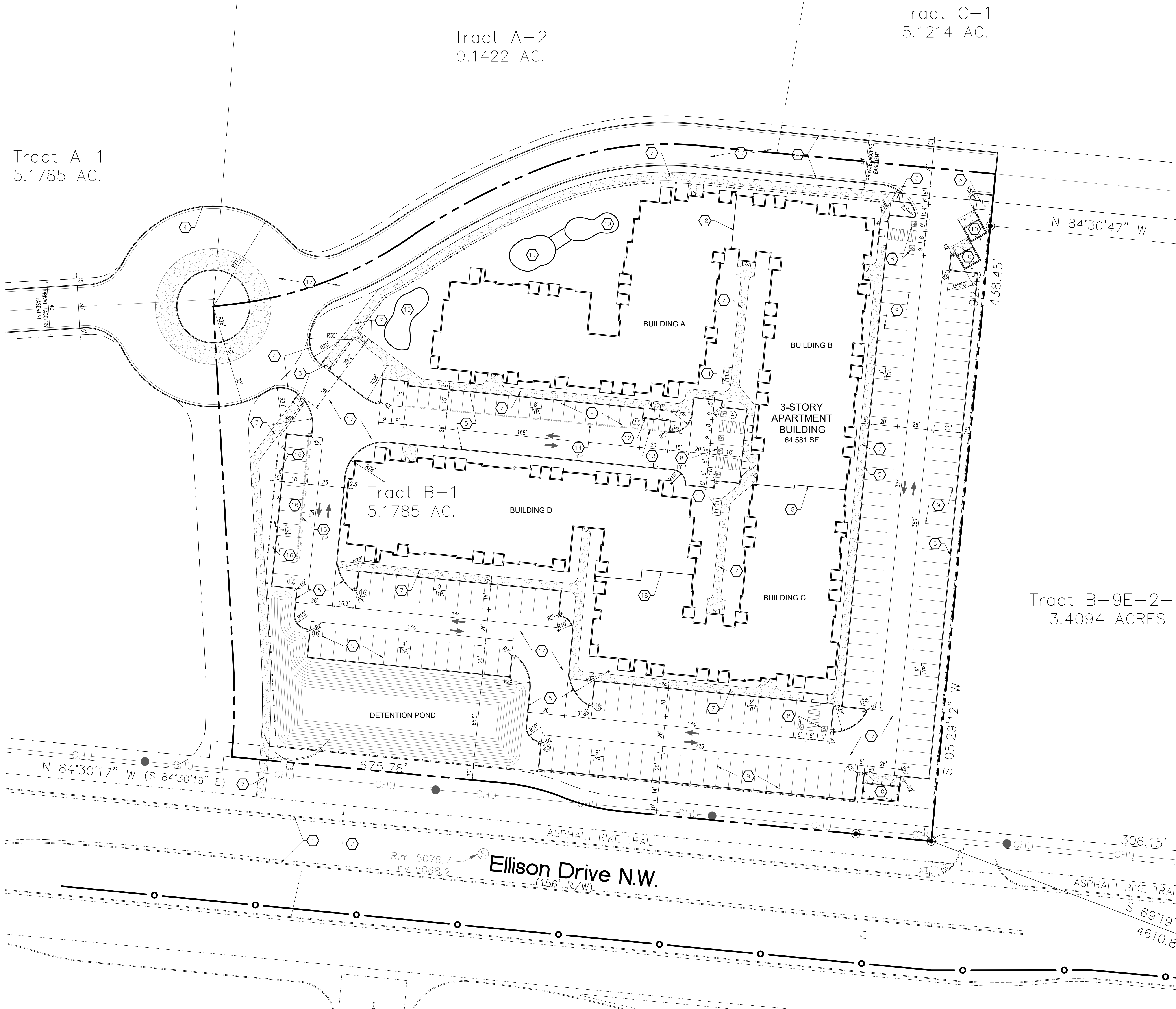
MODULUS ARCHITECTS
 8220 SAN PEDRO DR. NE, SUITE 520
 ALBUQUERQUE, NEW MEXICO 87113
 PHONE (505) 338-1499



NOT FOR CONSTRUCTION

PROJECT TITLE CIBOLA LOOP APARTMENTS CIBOLA LOOP NW ALBUQUERQUE, NM	DRAWN BY: CDC
PROJECT MANAGER STEPHEN DUNBAR, AIA	JOB NO. --
SHEET TITLE OVERALL SITE PLAN	DATE 08/10/2024

SCALE: AS NOTED
 SHEET: AS100



VICINITY MAP:

SITE DATA:

PROJECT ADDRESS: CIBOLA LOOP NW & ELLISON RD. NW

LEGAL DESCRIPTION: TRACT B-1, CIBOLA LOOP SUBDIVISION

PROPERTY SIZE: 5.1785 ACRES

CURRENT ZONING: R-ML

PROPOSED USE: MULTI-FAMILY RESIDENTIAL

TOTAL BUILDING FOOTPRINT: 64,581 SF

TOTAL BUILDING AREA: 192,903 SF (3 STORIES)

GENERAL NOTES

A. "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.

PARKING REQUIREMENTS

BUILDING DATA

171 UNIT MULTIFAMILY APARTMENTS

PARKING REQUIREMENTS	RATIO	REQUIRED	PROVIDED
12 3-BEDROOM UNITS	1.8 PER UNIT	21	-
93 2-BEDROOM UNITS	1.6 PER UNIT	148	-
66 1-BEDROOM UNITS	1.2 PER UNIT	79	-
TOTAL OFF-STREET PARKING SPACES REQUIRED	-	248	-
MAJOR TRANSIT CORRIDOR REDUCTION	20% REDUCTION	198	192
ELECTRIC VEHICLE CHARGING SPACES	5% OF REQUIRED	9	*10
TOTAL OFF-STREET PARKING SPACES PROVIDED	-	-	202
ACCESSIBLE PARKING SPACES	101-300 SPACES	8	8
MOTORCYCLE PARKING	151-300 SPACES	5	5
BICYCLE PARKING SPACES	3 OR 10% REQUIRED	10	10

* EV CHARGING SPACES COUNT AS 2 SPACES

USABLE OPEN SPACE REQUIREMENTS

(66) 1-BEDROOM UNITS X 225 SF = 14,850 SF
 (93) 2-BEDROOM UNITS X 285 SF = 26,505 SF
 (12) 3-BEDROOM UNITS X 350 SF = 4,200 SF
 TOTAL OPEN SPACE REQUIRED = 45,555 SF

TOTAL OPEN SPACE PROVIDED = 62,920 SF

- KEYED NOTES**
- EXISTING CONCRETE CURB & GUTTER TO REMAIN
 - EXISTING ASPHALT TRAIL TO REMAIN
 - NEW PARALLEL CURB RAMP PER CDA STANDARD DETAILS 2440 & 2441
 - NEW 6" CONCRETE CURB & GUTTER, SEE DETAIL 2/AS501
 - NEW 6" CONCRETE HEADER CURB, SEE DETAIL 1/AS501
 - NEW ACCESSIBLE CURB RAMP, SEE DETAIL 12/AS501 OR 15/AS501
 - NEW CONCRETE SIDEWALK, SEE DETAIL 3/AS501
 - NEW ACCESSIBLE PARKING SPACES, SEE DETAIL 9/AS501
 - NEW 4" WIDE PAINTED STRIPING
 - NEW REFUSE ENCLOSURE, SEE DETAILS ON SHEET AS502
 - NEW BICYCLE RACKS, SEE DETAIL 5/AS501
 - NEW MOTORCYCLE PARKING SIGN, SEE DETAIL 11/AS501
 - NEW MOTORCYCLE ("MC") PARKING SPACE PAVEMENT MARKING
 - NEW "COMPACT CAR" PARKING SPACE PAVEMENT MARKING
 - NEW "EV CHARGING ONLY" SPACE PAVEMENT MARKING
 - NEW ELECTRICAL VEHICLE CHARGING STATION, 1 STATION FOR 2 SPACES. REFER TO ELECTRICAL FOR MORE INFORMATION.
 - NEW ASPHALT PAVING, SEE DETAIL 13/AS501 FOR LIGHT DUTY ASPHALT WITHIN THE PARKING STALL AREA AND 14/AS501 FOR HEAVY DUTY ASPHALT WITHIN THE DRIVE LANES
 - 2-HOUR FIRE SEPARATION WALL BELOW ROOF
 - PARKOUR EXERCISE AREA, EQUIPMENT TO BE PROVIDED BY OWNER

GRAPHIC LEGEND

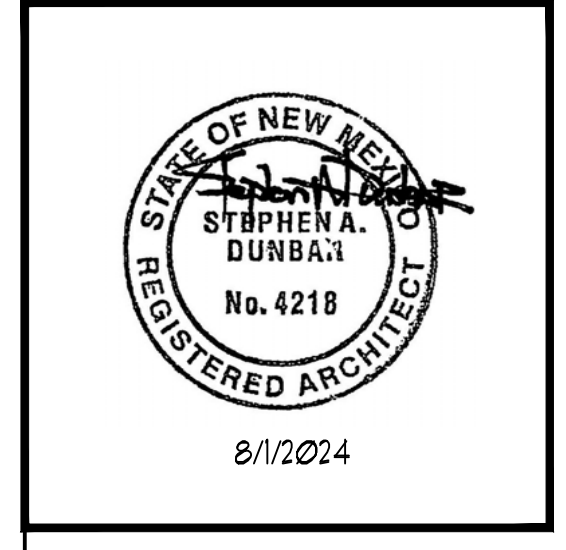
- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING CONCRETE CURB & GUTTER
- PROPOSED BUILDING
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED CONCRETE SIDEWALK
- PROPOSED DETENTION POND

REVISION

REV	DATE	BY
1		
2		
3		
4		
5		

MODULUS ARCHITECTS

8220 SAN PEDRO DR. NE, SUITE 520
 ALBUQUERQUE, NEW MEXICO 87113
 PHONE (505) 338-1499



NOT FOR CONSTRUCTION

PROJECT TITLE: CIBOLA LOOP APARTMENTS
 CIBOLA LOOP NW
 ALBUQUERQUE, NM

JOB NO.:

PROJECT MANAGER: STEPHEN DUNBAR, AIA

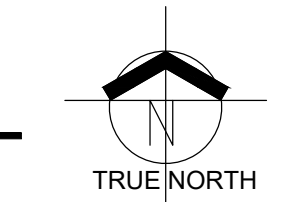
DRAWN BY: CDC

SHEET TITLE: ARCHITECTURAL SITE PLAN

DATE: 08/01/2024

SCALE: AS NOTED

1 ARCHITECTURAL SITE PLAN
 SCALE: 1" = 30'



November 7, 2024

Chair
Eric C. Olivas
County of Bernalillo
Commissioner, District 5

Vice Chair
Louie Sanchez
City of Albuquerque
Councilor, District 1

Barbara Baca
County of Bernalillo
Commissioner, District 1

Joaquin Baca
City of Albuquerque
Councilor, District 2

Adriann Barboa
County of Bernalillo
Commissioner, District 3

Klarissa Peña
City of Albuquerque
Councilor, District 3

Timothy M. Keller
City of Albuquerque
Mayor

Ex-Officio Member
Gilbert Benavides
Village of Los Ranchos
Board Trustee

Executive Director
Mark S. Sanchez

Website
www.abcwua.org

Luis Noriega
Tierra West LLC
5571 Midway Park Place NE

RE: Water and Sanitary Sewer Serviceability Letter #240720
Project Name: Cibola Loop Multi Family
Project Address: Cibola Loop NW Albuquerque 87114
Legal Description: Tr B-1 Bulk Plat Tracts A-1, A-2, B-1 & C-1 Cibola Loop
Subdivision CONT 5.1785AC
UPC: 101306632712340310
Zone Atlas Map: A-13-Z

Dear Mr. Noriega:

Project Description: The subject site is located in Cibola Loop, north of Ellison Drive, within the City of Albuquerque. The proposed development consists of approximately 5.18 acres and the property is currently zoned MX-L; mixed-use, light intensity for residential development. The property lies within the Pressure Zone 2WR in the Corrales Trunk.

The Request for Availability indicates plans to access water and sanitary sewer utilities for new 171-unit multi-family apartment building.

Development Agreement Required: This property is outside of the Water Authority's Established Service Area. Pursuant to the System Expansion Ordinance, service to this property shall be subject to a Development Agreement approved by the Water Authority Board which will establish the conditions for service. Per this ordinance, Board approval shall only be given if the development conforms to the provisions of applicable comprehensive plans and/or planning documents or policies. Contact Utility Development regarding the Development Agreement process.

Existing Conditions:

There is an existing Irrigation Institutional account for this property assigned to 4051 Ellison Drive NW.

Water infrastructure in the area consists of the following:

- Eight-inch PVC distribution line (project #26-3727.90-97) along Ellison Drive.
- Eight-inch asbestos cement distribution line (project #07-002-75) along Ellison Drive.
- Eight-inch PVC distribution line (project #26-2750-86) along Cibola Loop
- Eight-inch PVC distribution line (project #26-5182.90-96) along Cibola Loop
- Eight-inch PVC distribution line (project #26-5752.81-98) along Cibola Loop
- Eight-inch PVC distribution line (project #26-6069.81-04) along Cibola Loop

Sanitary sewer infrastructure in the area consists of the following:

- 18-inch PVC sanitary sewer interceptor, (project #26-3727.90-97) along Ellison Road.
- Eight-inch PVC sanitary sewer collector (project #26-2750-86) along Cibola Loop.
- Eight-inch PVC sanitary sewer collector (project #26-5182.90-96) along Cibola Loop.
- Eight-inch PVC sanitary sewer collector (project #26-5752.81-98) along Cibola Loop.

Water Service: New metered water service to the property can be provided via routine connection to the eight-inch line in Ellison Road. The engineer is responsible for determining pressure losses and sizing the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Fire hydrants shall be on main lines when water lines are extended, in conjunction with coordination with the Fire Marshal and according to spacing criteria that varies according to proposed land use adjacent to the water line. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and the collar removed.

Non-Potable Water Service: Currently, there is no non-potable infrastructure available to serve the subject property.

Sanitary Sewer Service: New sanitary sewer service to the property can be provided contingent upon a developer-funded project to extend a public eight-inch collector from the existing 18-inch PVC interceptor in Ellison Drive, at a new manhole on the 18-inch interceptor, north for a sufficient distance that this property, UPC# 101306632712340310, and the property to the west, UPC# 101306627014140306, may connect perpendicularly. Once this new public eight-inch collector is constructed the property may obtain sanitary sewer service via routine connection to the new eight-inch collector. No property shall share a private sewer service with any other property. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

Fire Protection: From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 3,875 GPM gallons per minute. Four fire hydrants are required. There is one existing hydrant available and three new hydrants are proposed with this project. As modeled using InfoWater™ computer software, the fire flow **CAN** be met by applying the required fire flow to the system as shown in the information provided by the requestor. Analysis was performed by simulating the required fire flow at the existing and proposed fire hydrant locations.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

Cross Connection Prevention: Per the Cross Connection Prevention and Control Ordinance, all new non-residential premises must have a reduced pressure principal backflow prevention assembly approved by the Water Authority installed at each domestic service connection at a location accessible to the Water Authority. No tees, branches, possible connection fittings, or openings are allowed between the reduced principal backflow prevention assembly and the service connection unless protected by a backflow prevention assembly. Per the Cross Connection Prevention and Control Ordinance, multi-family dwellings of three or more stories, such as apartment buildings, must adhere to the cross-connection prevention requirements for non-residential premises. These requirements also apply to all remodeled non-residential premises when the work area of the building undergoing repairs, alterations, or rehabilitation, as defined in the International Existing Building Code, exceeds 50 percent of the aggregate area of the building regardless of the costs of repairs, alteration, or rehabilitation.

All non-residential irrigation water systems connected to the public water system shall have a pressure vacuum breaker, spill-resistant pressure vacuum breaker, or a reduced pressure principal backflow prevention assembly installed after the service connection. Such devices shall be approved by the Water Authority. No tees, branches, possible connection fittings, or openings are allowed between the containment backflow prevention assembly and the service connection.

All non-residential customers connected via piping to an alternative water source, or an auxiliary water supply and the public water system shall install a containment reduced pressure principal backflow prevention assembly approved by the Water Authority after the potable service connection.

All new services to private fire protection systems shall be equipped with a containment reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction installed after the service connection. No tees, branches, possible connection fittings, or openings are allowed between the containment backflow prevention assembly and the service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the private fire protection system meets or exceeds ANSI/NSF Standard 60.61 throughout the entire private fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections nor connections from auxiliary water supplies.

The Water Authority recommends that all backflow (containment) devices be located above ground just outside the easement or road right-of-way, the containment backflow device can be installed within the building if there are no tees, branches, possible connection fittings, or openings between the reduced principal backflow prevention assembly and the service connection unless protected by another reduced pressure backflow prevention assembly device. Contact Cross Connection at (505) 289-3465 for more information.

Easements and Property: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. For larger meters that require a meter vault, a 35-foot by 35-foot easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service. A Warranty Deed shall be required when a property is to be transferred to the Water Authority for the installation of facilities to be owned by the Water Authority such as pump stations, reservoirs, wells, lift stations, or any other facility.

The Water Authority shall be granted perpetual, exclusive easement(s) in gross for the construction, installation, maintenance, repair, modification, replacement, and operation of public water and sanitary lines, equipment and facilities reasonably necessary to provide service together with free access on and over the easement and the right to remove trees, shrubs, undergrowth and any other obstacles, modifications, or structures which interfere with use of the easement.

Pro Rata: As described in this statement, the extension of public water and sanitary sewer lines may be eligible for partial reimbursement through the Pro Rata process as detailed in the Water Authority Water and Wastewater System Expansion Ordinance.

Design and Construction: The design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated through the City of Albuquerque via the Work Order process. Designs must be performed by a licensed, professional engineer registered in the state of New Mexico. Construction must be performed by a licensed (GF 9 or GF 98) and bonded public utility contractor.

Utility Expansion Charge (UEC): In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of application for service. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter.

UECs associated with multi-family are determined by the criteria set forth in the Water Authority Rate Ordinance, which is amended from time to time. These specific UECs take into account the number of units within the multi-family development. If the multi-family development includes other amenities such as a clubhouse, fitness center or leasing office that will be metered separately, UECs for these amenities will not be charged as they are included in the multi-family UEC calculation. UECs associated with irrigation meters are not included in the multi-family calculation and shall be paid accordingly.

The Rate Ordinance does provide an opportunity for UEC discounts for low-income housing developments. If the development qualifies for these discounts, the developer will be required to provide documentation as stated in the Rate Ordinance. Furthermore, if the development includes both low-income and market-rate apartments, the same requirements set forth in the Rate Ordinance shall be adhered to. Contact Customer Service at (505) 842-9287 (option 3) for more information regarding UECs.

Water Resource Charge (WRC): Any expansion of water service outside of the Water Authority's Established Service Area will be assessed a Water Resource Charge(s) (WRC) as provided in the Water Authority's Water and Sewer Rate Ordinance for the development of new water resources, rights, and supplies necessary to serve the development. Properties that receive only sewer service will not be charged a WRC. Contact Customer Service at (505) 842-9287 (option 3) for more information regarding WRCs.

Water Use: All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Reduction Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This serviceability letter does **not** provide a commitment from the Water Authority to provide services to the development. It only provides details of infrastructure that is available and potential precursors for the proposed development.

For service to be provided, an approved development agreement must be supplemented by this serviceability letter. The serviceability letter will remain in effect for a period of one (1) year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

Sincerely,

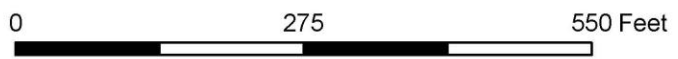
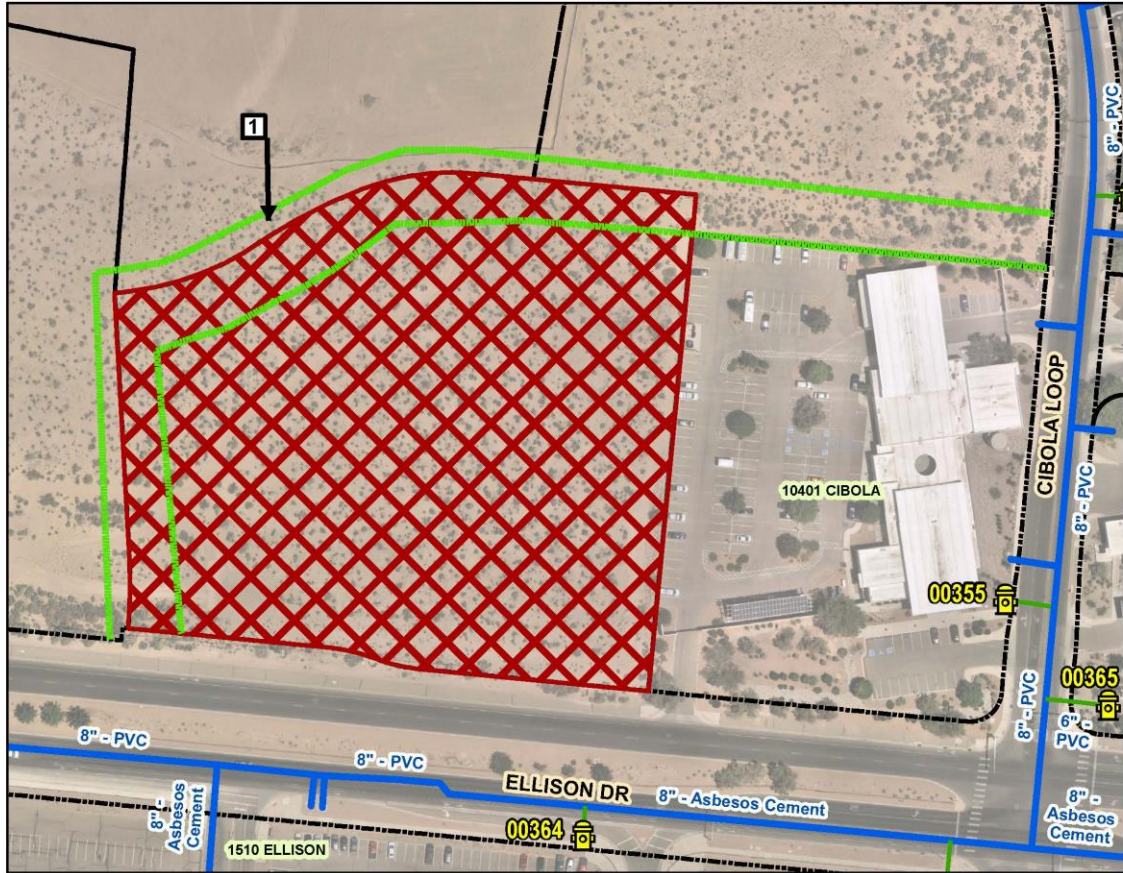


Mark S. Sanchez
Executive Director







Enclosures: Infrastructure Maps

f/ **Serviceability Letter #240720**

240720 - Water

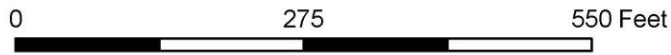
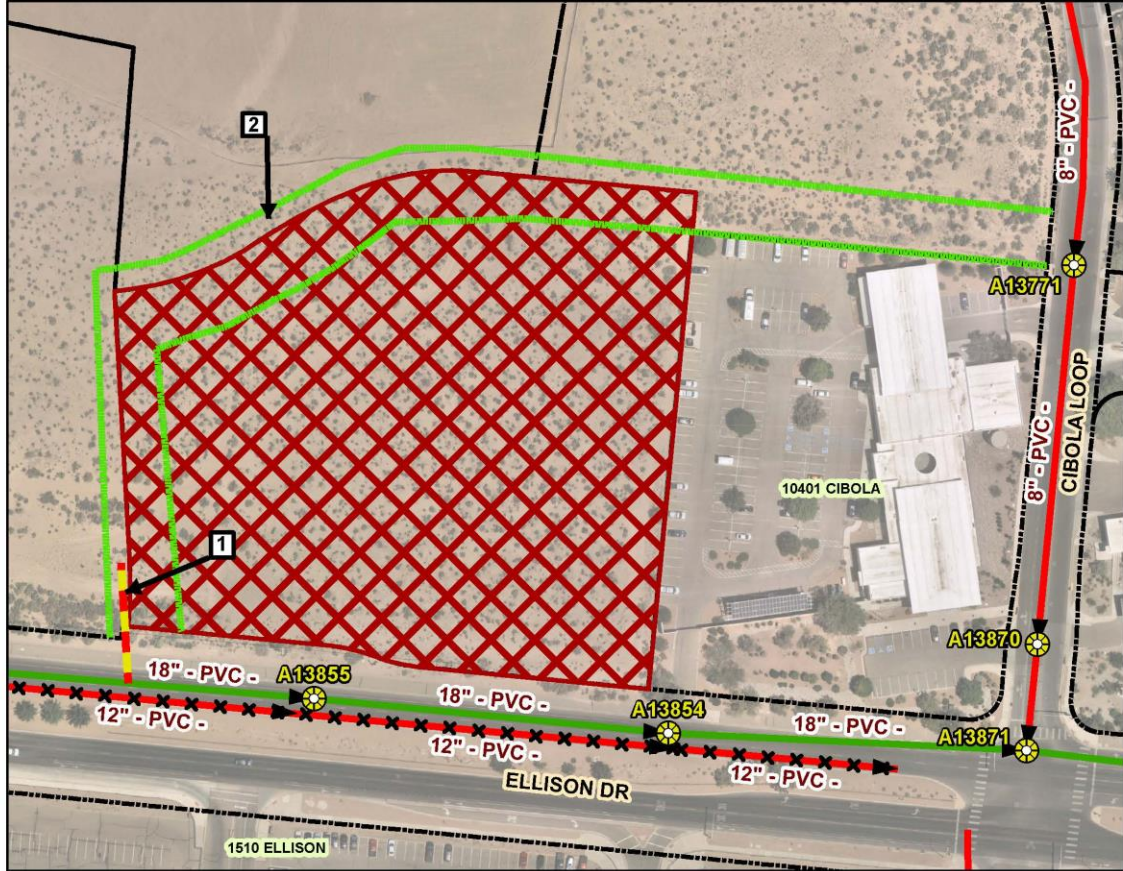


Legend

-  Hydrant
-  Project Location
- Water Pipe**
- Subtype**
-  Distribution Line
-  Hydrant Leg
-  --- General Map Keyed Notes
-  1 - City Easment



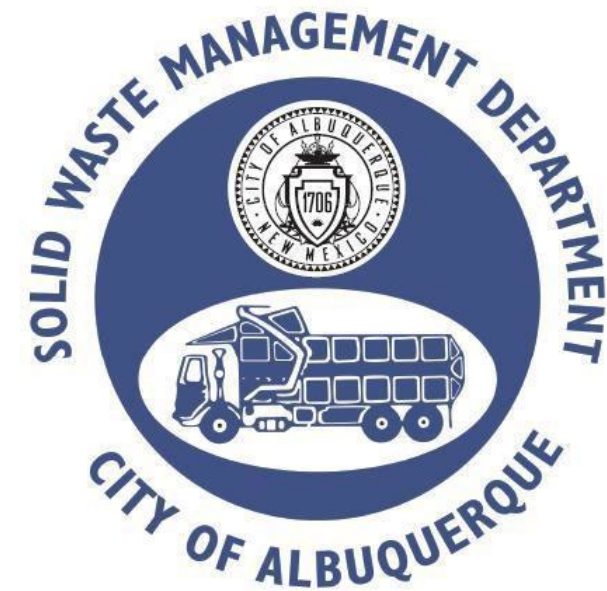
240720 - Sanitary Sewer



Legend

- Sewer Manhole
- Project Location
- Sewer Pipe**
- Subtype**
- COLLECTOR
- INTERCEPTOR
- Abandoned
- General Map Keyed Notes
- 1 - New SAS collector
- 2 - City Easement





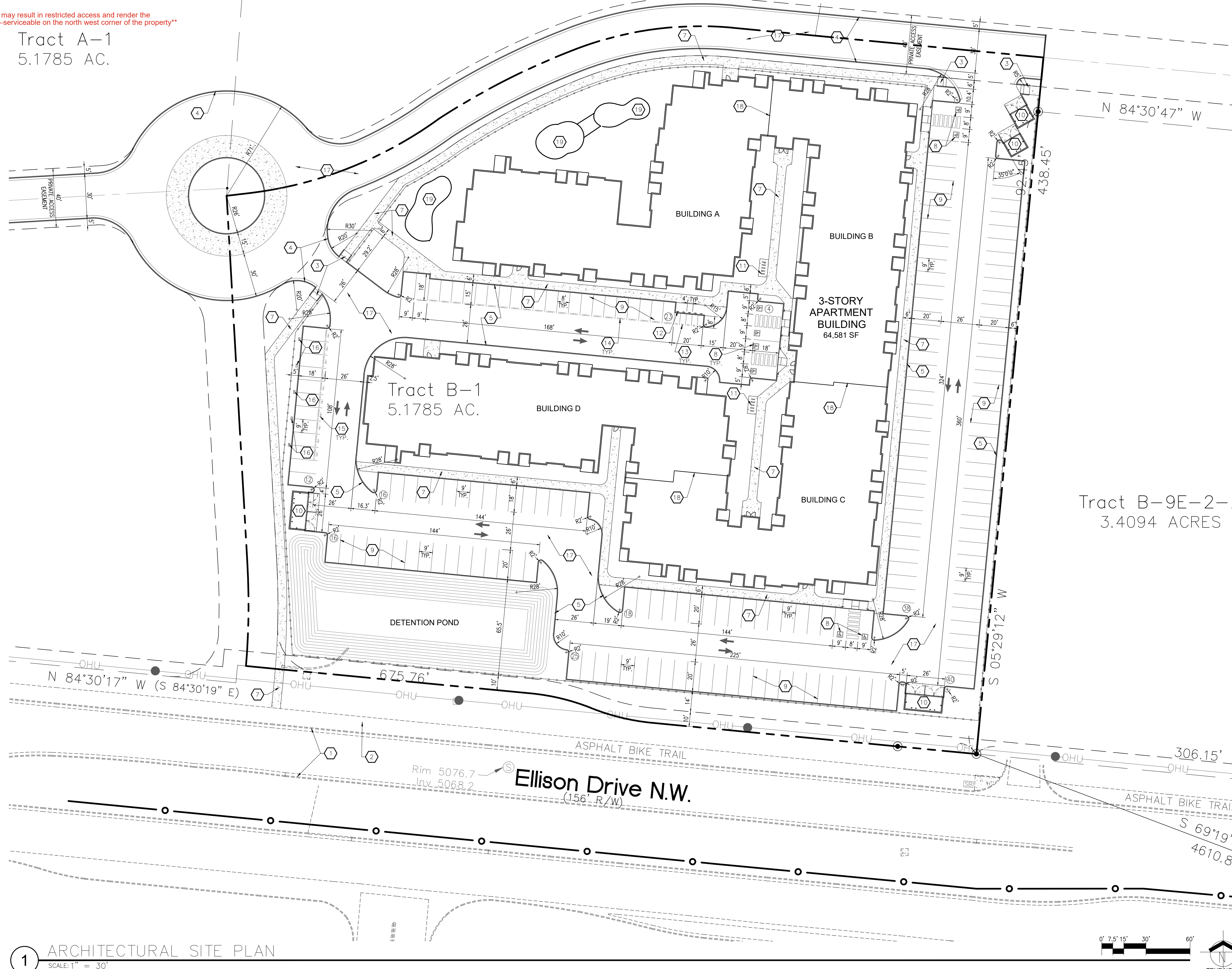
Approved for access by the Solid Waste Department.
 All containers must be made accessible for pick up
 between the hours of 7AM and 8PM.
 Reviewer: Herman Gallegos
 Date: 08-08-24

171 Units
 **If gates are added may result in restricted access and render the
 trash enclosure non-serviceable on the north west corner of the property**

Tract A-1
 5.1785 AC.

Tract A-2
 9.1422 AC.

Tract C-1
 5.1214 AC.



VICINITY MAP:

SITE DATA:

PROJECT ADDRESS: CIBOLA LOOP NW & ELLISON RD. NW
 LEGAL DESCRIPTION: TRACT B-1, CIBOLA LOOP SUBDIVISION
 PROPERTY SIZE: 5.1785 ACRES
 CURRENT ZONING: R-ML
 PROPOSED USE: MULTI-FAMILY RESIDENTIAL
 TOTAL BUILDING FOOTPRINT: 64,581 SF
 TOTAL BUILDING AREA: 192,903 SF (3 STORIES)

GENERAL NOTES
 A. "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.

PARKING REQUIREMENTS

BUILDING DATA	RATIO	REQUIRED	PROVIDED
171 UNIT MULTIFAMILY APARTMENTS			
12 3-BEDROOM UNITS	1.8 PER UNIT	21	-
93 2-BEDROOM UNITS	1.6 PER UNIT	148	-
66 1-BEDROOM UNITS	1.2 PER UNIT	79	-
TOTAL OFF-STREET PARKING SPACES REQUIRED		248	-
MAJOR TRANSIT CORRIDOR REDUCTION	20% REDUCTION	198	192
ELECTRIC VEHICLE CHARGING SPACES	5% OF REQUIRED	9	*10
TOTAL OFF-STREET PARKING SPACES PROVIDED		-	202
ACCESSIBLE PARKING SPACES	101-300 SPACES	8	8
MOTORCYCLE PARKING	151-300 SPACES	5	5
BICYCLE PARKING SPACES	3 OR 10% REQUIRED	10	10

* EV CHARGING SPACES COUNT AS 2 SPACES

USABLE OPEN SPACE REQUIREMENTS

(66) 1-BEDROOM UNITS X 225 SF = 14,850 SF
(93) 2-BEDROOM UNITS X 285 SF = 26,505 SF
(112) 3-BEDROOM UNITS X 350 SF = 39,200 SF
TOTAL OPEN SPACE REQUIRED = 45,555 SF
TOTAL OPEN SPACE PROVIDED = 62,920 SF

- KEYED NOTES
- EXISTING CONCRETE CURB & GUTTER TO REMAIN
 - EXISTING ASPHALT TRAIL TO REMAIN
 - NEW PARALLEL CURB RAMP PER CDA STANDARD DETAILS 2440 & 2441
 - NEW 6" CONCRETE CURB & GUTTER, SEE DETAIL 2/AS501
 - NEW 6" CONCRETE HEADER CURB, SEE DETAIL 1/AS501
 - NEW ACCESSIBLE CURB RAMP, SEE DETAIL 12/AS501 OR 15/AS501
 - NEW CONCRETE SIDEWALK, SEE DETAIL 3/AS501
 - NEW ACCESSIBLE PARKING SPACES, SEE DETAIL 9/AS501
 - NEW 4" WIDE PAINTED STRIPING
 - NEW REFUSE ENCLOSURE, SEE DETAILS ON SHEET AS502
 - NEW BICYCLE RACKS, SEE DETAIL 5/AS501
 - NEW MOTORCYCLE PARKING SIGN, SEE DETAIL 11/AS501
 - NEW MOTORCYCLE ("MC") PARKING SPACE PAVEMENT MARKING
 - NEW "COMPACT CAR" PARKING SPACE PAVEMENT MARKING
 - NEW "EV CHARGING ONLY" SPACE PAVEMENT MARKING
 - NEW ELECTRIC VEHICLE CHARGING STATION, 1 STATION FOR 2 SPACES. REFER TO ELECTRICAL FOR MORE INFORMATION.
 - NEW ASPHALT PAVING, SEE DETAIL 13/AS501 FOR LIGHT DUTY ASPHALT WITHIN THE PARKING STALL AREA AND 14/AS501 FOR HEAVY DUTY ASPHALT WITHIN THE DRIVE LANES
 - 2-HOUR FIRE SEPARATION WALL BELOW ROOF
 - PARKOUR EXERCISE AREA, EQUIPMENT TO BE PROVIDED BY OWNER

NOT FOR CONSTRUCTION

PROJECT TITLE: CIBOLA LOOP APARTMENTS
 CIBOLA LOOP NW
 ALBUQUERQUE, NM

PROJECT MANAGER: STEPHEN DUNBAR, AIA
 SHEET TITLE: ARCHITECTURAL SITE PLAN

DRAWN BY: CDC

JOB NO.:

DATE: 08/06/2024

SCALE: AS NOTED

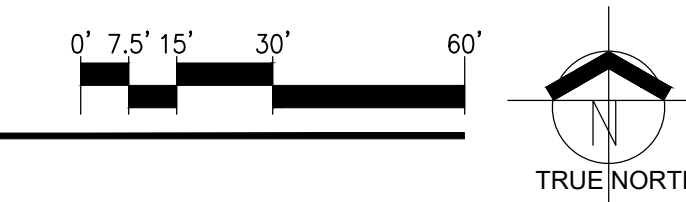
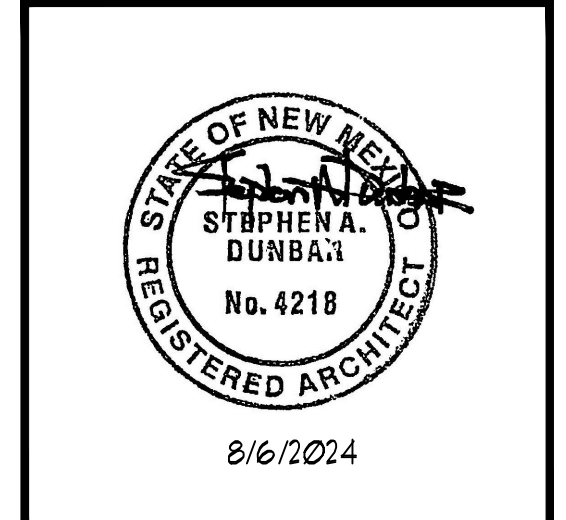
GRAPHIC LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING CONCRETE CURB & GUTTER
- PROPOSED BUILDING
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED CONCRETE SIDEWALK
- PROPOSED DETENTION POND

REVISION

REV	DATE	BY
1		
2		
3		
4		
5		

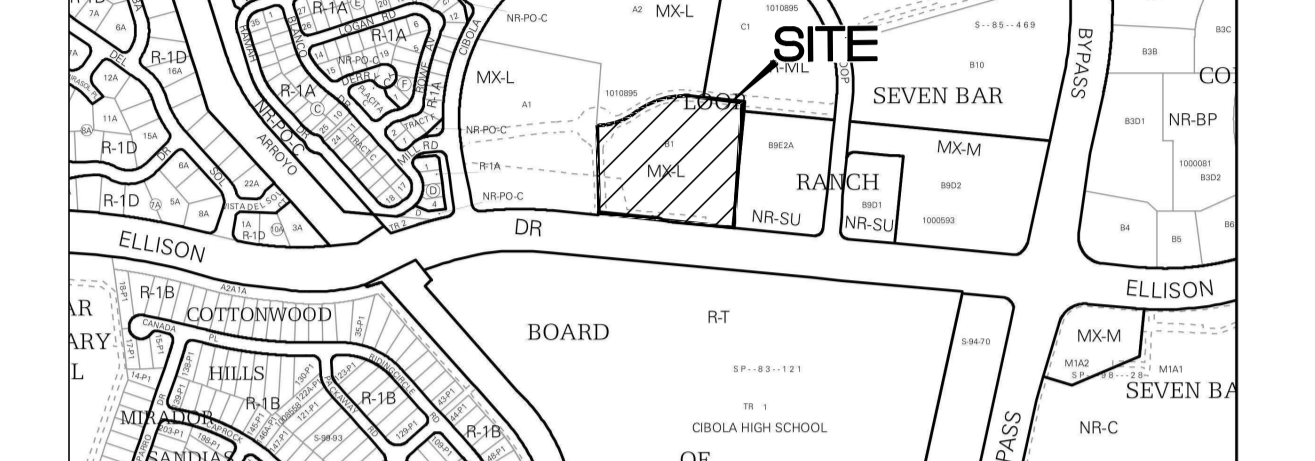
MODULUS ARCHITECTS
 8220 SAN PEDRO DR. NE, SUITE 520
 ALBUQUERQUE, NEW MEXICO 87113
 PHONE (505) 338-1499





**ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: 24-020659-AL
APPROVED DATE: 07/30/24
APPROVED**

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. NO CONSTRUCTION IS ALLOWED WITHOUT THIS PERMIT. FIRE FLOW AT 3075 GPM. INSURANCE IS REQUIRED.



VICINITY MAP A-13-Z

LEGAL DESCRIPTION:
TR B-1 BULK PLAT TRACTS A-1, A-2, B-1 & C-1 CIBOLA LOOP SUBDIVISION CONT 5.1785 AC

LEGEND

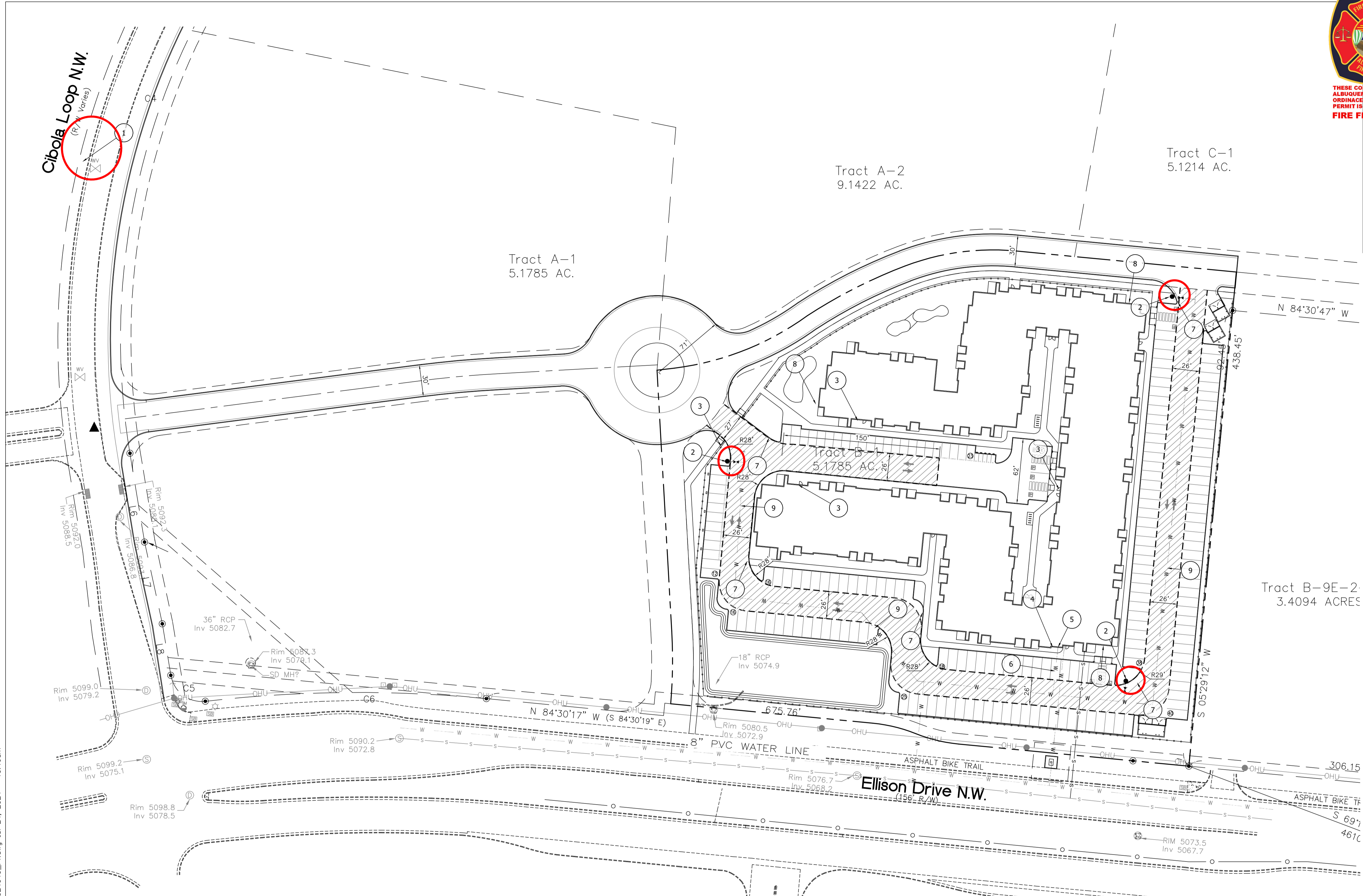
	CURB & GUTTER
	BOUNDARY LINE
	BUILDING
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	ACCESS ROAD
	NO PARKING FIRE LANE LINE
	EXISTING FIRE HYDRANT
	PROPOSED HYDRANT

- KEYED NOTES**
- 1 EXISTING FIRE HYDRANT
 - 2 PROPOSED PRIVATE FIRE HYDRANT, WITH 6" FIRE LINE AND 6" VALVE
 - 3 KNOX BOX
 - 4 FDC
 - 5 PIV
 - 6 6" FIRE LINE
 - 7 FIRE LANE CURB MARKINGS BOTH SIDE OF STREET
 - 8 BUILDING ADDRESS LOCATION
 - 9 NEW 8" PRIVATE FIRE LINE

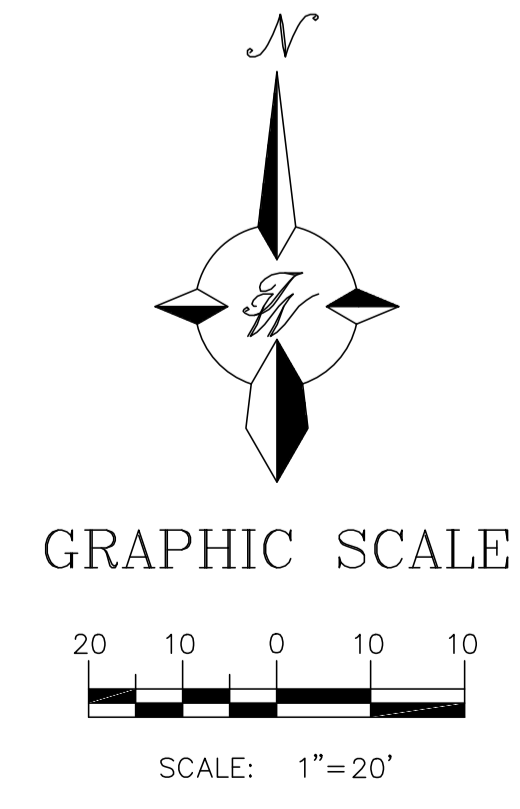
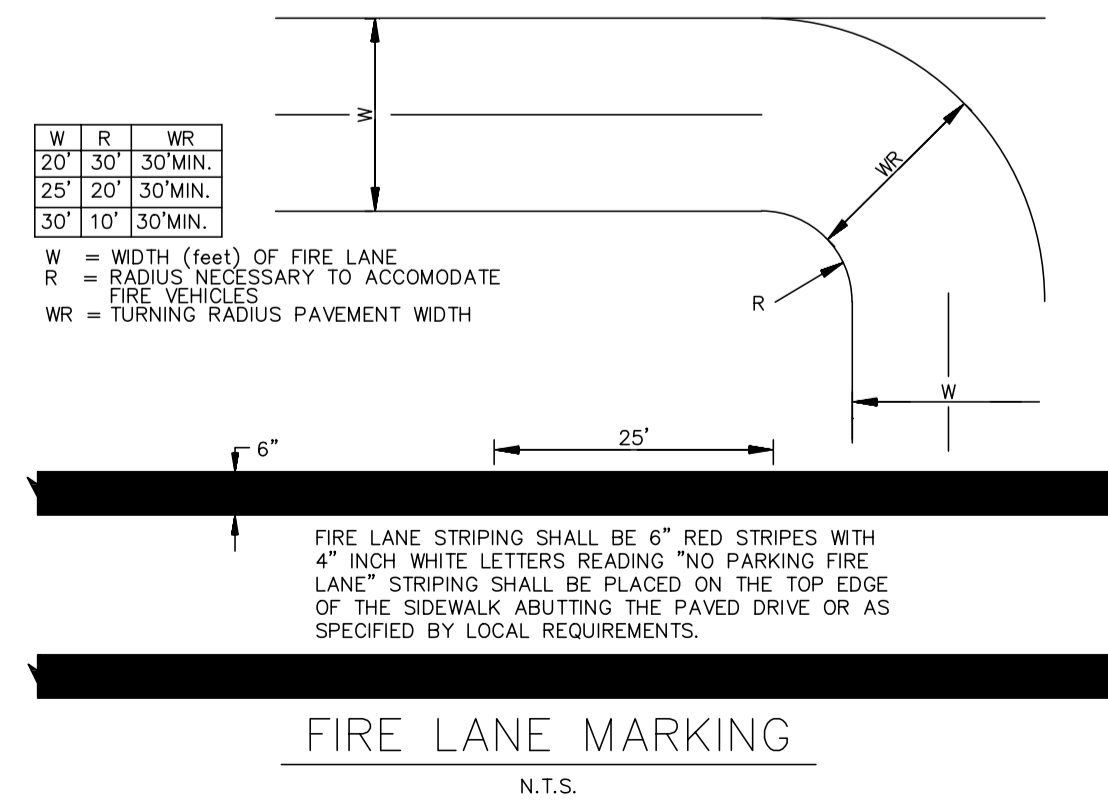
ADDRESS:
N/A CIBOLA LP NW ALBUQUERQUE
87114
UPC:
101306632712340310

LIGHT MIXED USE: MX-L
OCCUPANCY TYPE: (R-2)

BUILDING
BUILDING AREA: 182,600 SF
3 STORY HIGH BUILDING - 36 FT
CONSTRUCTION TYPE: V-A
BUILDING IS SPRINKLERED
FIRE-FLOW = 3,875 GPM
STAND PIPE SYSTEM REQUIRED



- NOTES**
- ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL.
 - FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS.
 - KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.
 - THERE ARE NO OVERHEAD OBSTRUCTIONS PRESENT ABOVE THE FIRE ACCESS ROAD.
 - CLASS 1 STAND PIPE: STAND PIPE SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING.



ENGINEER'S SEAL	CIBOLA LOOP APARTMENTS ALBUQUERQUE, NM	DRAWN BY LN
		DATE 07/16/2024
	FIRE ONE PLAN	SHEET # F1
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	JOB # 2024040

\\TMSASZ-Drive_2024\2024040 Cibola Loop Multifamily.dwg\FPC\2024040_F1.dwg Jul 24, 2024 - 10:16am



MODULUS ARCHITECTS & LAND USE PLANNING, INC.

8220 San Pedro Drive NE, Suite 520

Albuquerque, NM 87113

Phone (505) 338-1499

www.modulusarchitects.com

Supporting Documents (PDF Files in this section)

1. Sensitive Land Site Analysis
2. Site Plan Checklist
3. Letter of Authorization
4. Justification Narrative
5. Archaeological Certificate
6. Sign Posting Agreement

August 7, 2023

Ms. Jolene Wolfley
City of Albuquerque – DFT
600 2nd Street NW
Albuquerque NM 87102

**RE: CIBOLA LOOP MULTIFAMILY
CIBOLA LP NW ALBUQUERQUE 87114
TRACT B-1 BULK PLAT TRACTS A-1, A-2, B-1 & C-1 CIBOLA LOOP SUBDIVISION
CONT 5.1785 AC
SENSITIVE LANDS ANALYSIS**

Dear Ms. Wolfley:

This report outlines the constraints identified within the proposed site plan being comprised of TRACT B-1 BULK PLAT TRACTS A-1, A-2, B-1 & C-1 CIBOLA LOOP SUBDIVISION located along Ellison Rd Albuquerque, NM 87114 (the “subject site”). The subject site is zoned Mixed-Use Low Intensity (MX-L) and lies west of the Rio Grande River. The site is currently vacant with desert shrubs and grasses. A portion of a large detention pond is located along the southwest corner of the site, power poles and overhead electrical lines to the south and a police station to the east.

Tierra West, LLC has performed a Sensitive Lands Analysis report as required under the Integrated Development Ordinance (IDO) Section 5-2(C) for new subdivisions of land, documenting the following:

Item:	Presence:	Commentary:
Floodplains and Flood Hazard	Area of minimal flood hazard	The site is in an area with minimal flood risk
Steep Slopes	None	The overall site is not in an area with steep slopes
Unstable Soils	None	Based on USDS Web Soil Survey Data the site soils are mainly Loamy fine Sand
Wetlands (Constant supply of water)	None	No areas of standing water present on the site
Arroyo	None	No arroyos were identified
Irrigation Facilities	None	No irrigation facilities were identified
Escarpment	None	No areas of escarpment were identified
Large stands of mature trees	None	No large mature trees present
Archeological sites	None	No archaeological issues have been uncovered.





In conclusion, none of the above features have been determined to be present on this site. Various attached documents along with the above photos of the site support our findings of no onsite sensitive land issues.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



10/02/2024

A handwritten signature in black ink, appearing to read "Ron R. Bohannon".

Ronald R. Bohannon, P.E

JN: 2024040
RRB/Luis

SITE PLAN CHECKLIST

- X 3. Bar scale
- X 4. North arrow
- X 5. Legend
- X 6. Scaled vicinity map
- X 7. Property lines (clearly identify)
- X 8. Existing and proposed easements (identify each)
- N/A 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- X A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- X B. Square footage of each structure
- X C. Proposed use of each structure
- X D. Signs (freestanding) and other improvements
- X E. Walls, fences, and screening: indicate height, length, color and materials
- X F. Dimensions of all principal site elements or typical dimensions
- X G. Loading facilities
- X H. Site lighting (indicate height & fixture type)
- X I. Indicate structures within 20 feet of site
- X J. Elevation drawing of refuse container and enclosure, if applicable.
- X K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- X A. Parking layout with spaces numbered per aisle and totaled.
 - X 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - X 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - N/A 3. On street parking spaces
- X B. Bicycle parking & facilities
 - X 1. Bicycle racks – location and detail
 - N/A 2. Other bicycle facilities, if applicable
- X C. Vehicular Circulation (Refer to DPM and IDO)
 - X 1. Ingress and egress locations, including width and curve radii dimensions
 - X 2. Drive aisle locations, including width and curve radii dimensions
 - X 3. End aisle locations, including width and curve radii dimensions
 - X 4. Location & orientation of refuse enclosure, with dimensions
 - X 5. Loading, service area, and refuse service locations and dimensions
- X D. Pedestrian Circulation
 - X 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas

- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.

- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

City of Albuquerque
Environmental Planning Commission
600 2nd Street NW
Albuquerque, NM 87102

November 30, 2023

RE: AGENT AUTHORIZATION NOTICE – ELLISON DRIVE AND CIBOLA LOOP, ALBUQUERQUE NM 87114

To Whom It May Concern,

Vientecillo, LLC., hereby authorizes Modulus Architects & Land Use Planning, Inc., to perform as the Agent of Record with the City of Albuquerque. This Agent Authorization is for the property located at Ellison Drive NW and Cibola Loop, Albuquerque NM 87114 and legally identified as shown:

UPC: 101306632712340310

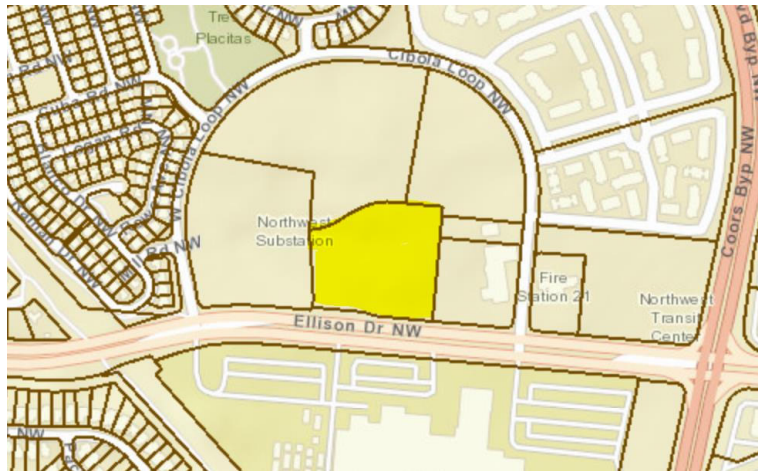
Owner: VIENTECILLO LLC

Owner Address: PO BOX 14798 ALBUQUERQUE NM 87191-4798

Situs Address: CIBOLA LP NW ALBUQUERQUE 87114

Legal Description: TR B-1 BULK PLAT TRACTS A-1, A-2, B-1 & C-1 CIBOLA LOOPSUBDIVISION CONT 5.1785 AC

Acres: 5.1785



Sincerely,

- Signature Here 



December 2, 2024

Development Facilitation Team (DFT)
City of Albuquerque
600 2nd Street NW,
Albuquerque, NM 87102

RE: SITE PLAN ADMINISTRATIVE - DEVELOPMENT FACILITATION TEAM (DFT)

PROJECT ADDRESS – 99999 CIBOLA LOOP NW ALBUQUERQUE NM 87114.

Dear Development Facilitation Team,

Modulus Architects, Inc., hereafter referred to as “Agent” represents VIENTECILLO LLC hereafter referred to as “Property Owner”. We, “Agent,” are requesting approval of a Site Plan – DFT for multi-family development greater than 50 units. The proposed development is a self-storage development that does include major public infrastructure. The subject site is currently undeveloped. The subject site is approximately 5.18 acres and has a legal description of the following:

Tract B1
TR B-1 BULK PLAT TRACTS A-1, A-2, B-1 & C-1 CIBOLA LOOP SUBDIVISION CONT 5.1785 AC

Figure 1: Overall Subject Site (Highlighted in Blue)





PROPOSED DEVELOPMENT

The purpose of this application is to get a Site Plan approval because the size of the development exceeds 50 units of multi-family development that does require public infrastructure. The subject site is currently undeveloped and is a vacant dirt lot. We are proposing to develop this site into a 3-story apartment building. The details are as followed:

1. Total building footprint – 64,581sf
2. Total building area – 192,903sf (3 stories)
3. Open space areas
4. Parking area – ADA, EV spaces, motorcycle, compact
5. Apartment amenities – parkour exercise area
6. There is one (1) access point off that is internal on a proposed round-about.

This letter will provide background and justification of the review and decision criteria for the proposed Site Plan Administrative - DFT.

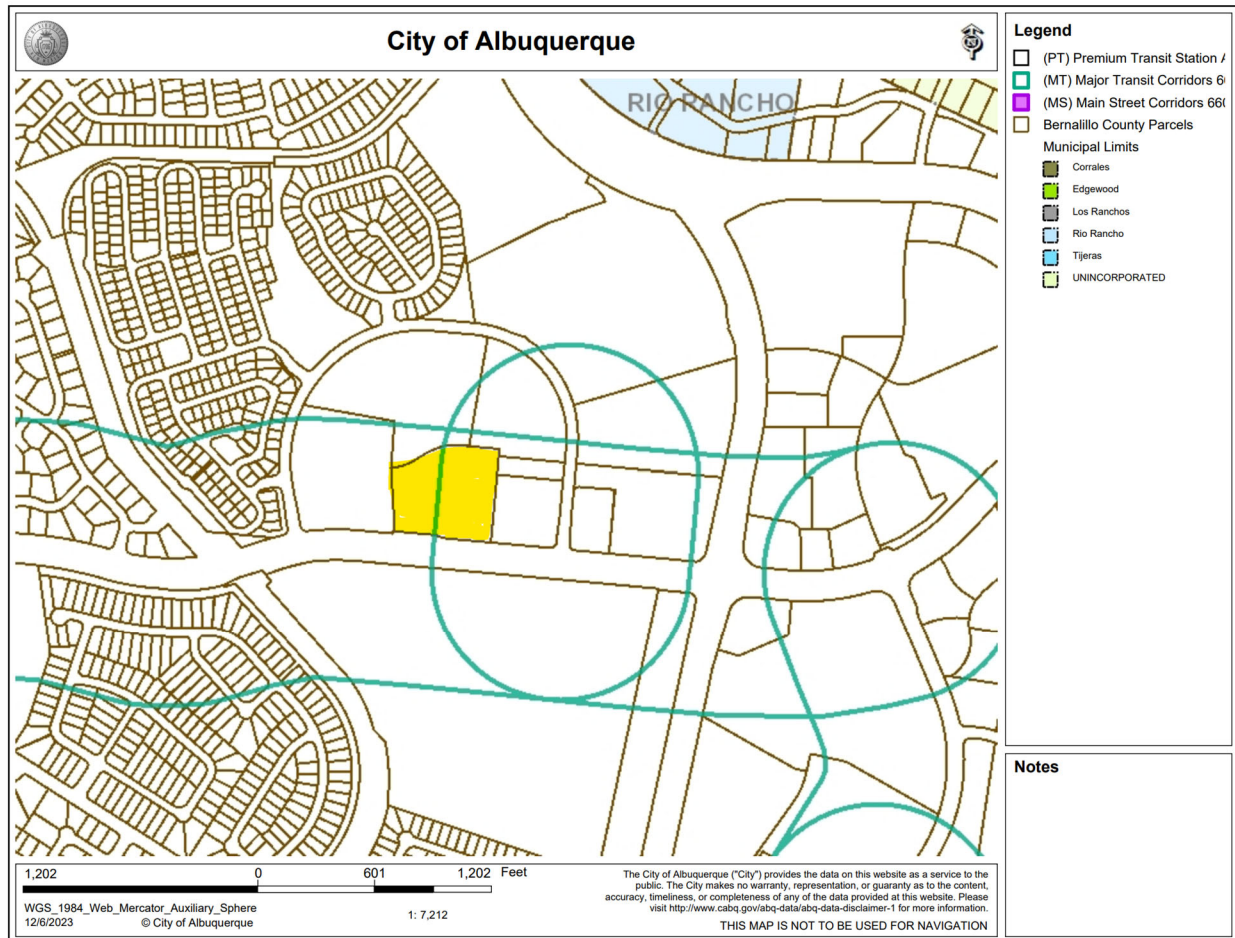
ZONING

On January 18, 2024 the EPC approved a Zone Map Amendment for the subject site from MX-L to R-ML. Multi-family is a permissive primary use within the R-ML zone district. The proposed use follows all the requirements of the IDO and the DPM. The site plan follows all Use-Specific Standards for the proposed use.

Prior to this, the site was zoned SU-1 for R-2 uses in the Seven Bar Sector Plan in 1985 and rezoned in 2008. In 2008, a Site Development for Subdivision to allow the development of multifamily housing and senior multifamily housing was also approved by the EPC for a portion of the site (1003570, 08 EPC 40036 and 37). **The site has remained vacant and the SPS was terminated in July of 2016 because, pursuant to 14-16-3-11, Site Development Plan Termination, these plans are valid for seven years after approval and can be terminated if less 50% of the site has developed.** As a result, this site is controlled by the IDO.

Figure 4: Comprehensive Plan Corridor Designation

Ellison Drive is a designated Major Transit Corridor and Cibola Loop is a designated Major Transit Corridor, both are abutting the subject site.



The property is part of the Northwest Mesa Community Planning Area. The ABC Comprehensive Plan defines the Northwest Mesa CPA as a predominantly residential community, adjacent to the volcanoes and volcanic Northwest Mesa Escarpment and overlooking the river and mountains.

The overall site is bounded by Ellison Road (Urban Principal Arterial) which is a designated Major Transit Corridor to the south and within this loop of Cibola Loop to the west, north and east which is also a designated Major Transit Corridor area. Slightly to the east of Cibola Loop is Coors Blvd.

The site is located within the Seven Bar Loop Rd & Cottonwood Drive Major Transit Corridor, within the Cottonwood Center Employment Center, within the Coors Blvd Character Protection Overlay Zone (CPO-2) and within an Area of Change as designated in the Albuquerque Comprehensive Plan. The site is also within the Northwest Mesa Community Planning area. A traffic impact scoping form was submitted to the City's Traffic Engineer and it was deemed that a traffic study was not required for this site.

**6-5(G) SITE PLAN – ADMINISTRATIVE
6-5(G)(3) REVIEW AND DECISION CRITERIA**

Any application for a Site Plan – Administrative shall be approved if it meets all of the following criteria:



6-6(G)(3)(a) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

Applicant Response: In 2008, a Site Development for Subdivision to allow the development of multifamily housing and senior multifamily housing was also approved by the EPC for a portion of the site (1003570, 08 EPC 40036 and 37). The site has remained vacant and the SPS was terminated in July of 2016 because, pursuant to 14-16-3-11, Site Development Plan Termination, these plans are valid for seven years after approval and can be terminated if less 50% of the site has developed. As a result, this site is controlled by the IDO. On January 18, 2024 the EPC approved a Zone Map Amendment for the subject site from MX-L to R-ML. Multi-family is a permissive primary use within the R-ML zone district.

The Site Plan complies with all standards of the IDO as adopted and amended as well any DPM standards, and other adopted City regulations. These standards included Dimensional (Table 5-1-1), Use-Specific Standards (Multi-family (4-3(B)(8)), Access and Connectivity (5-3), Parking and Loading (5-5), Landscaping, Buffering, and Screening (5-6), and Signs (5-12).

6-5(G)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development or the applicant has agreed to install required infrastructure and public improvements pursuant to Subsection 14-16-1-7(B)(2) and 14-16-5-4(N) and/or a signed an Infrastructure Improvements Agreement (IIA) pursuant to Subsection 14-16-5-4(O) to add adequate capacity.

Applicant Response: The project required the City's existing infrastructure and public improvements to be upgraded. This application includes an IL and the applicant agrees to install the public improvements via a IIA.

6-5(G)(3)(c) If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any IDO standards applicable in the zone district the subject property is in.

Applicant Response: The subject property is not located within an approved Master Development Plan.

6-6(H)(3)(g) If the subject property is within an approved Framework Plan, the Site Plan shall meet any relevant standards in the Framework Plan in addition to any IDO standards applicable to the type of development.

Applicant Response: The subject property is not located within an approved Framework Plan.



CONCLUSION

The purpose of this request is to get Site Plan approval of a multi-family development that is greater than 50 units. The subject site is currently undeveloped and is a vacant dirt lot. We are proposing to develop this site into an apartment complex.

A Site Plan – Administrative shall be approved if it meets all of the criteria from 14-16-6-5(G)(3)(a)-(g). Our request meets all of the identified criterion. This proposed development follows all standards of the IDO, as adopted and amended, as well any DPM standards.

Best Regards,

Regina Okoye, Vice President

Modulus Architects & Land Use Planning, Inc.

8220 San Pedro Dr. NE, Suite 520 (Paseo Nuevo Building)

Albuquerque, New Mexico 87113

Office 505.338.1499 (Ext. 1003)

Mobile + Text 505.267.7686

Direct: 505.808.3868

Email: rokoye@modulusarchitects.com

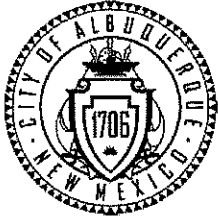
Website: www.modulusarchitects.com

Join us on Facebook: [Modulus Architects on Facebook](#)

Join us on Instagram: [Modulus Architects on Instagram](#)

New Mexico | Texas | Arizona | Colorado | Florida | Utah | Illinois





City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Alan Varela, Interim Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: August 28, 2024

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR-2023-007518 SI-2024-01242
Agent: Modulus Architects and Land Use Planning, Inc.
Applicant: VIENTECILLO LLC
Legal Description: TR B-1 BULK PLAT TRs. A-1, A-2, B-1 & C-1 Cibola Loop Subdivision
Zoning: R-ML
Acreage: 5.1785
Zone Atlas Page(s): A-13-Z

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

Historic Google Earth images, ARMS/NMCRIS Records

SITE VISIT: N/A

RECOMMENDATIONS:

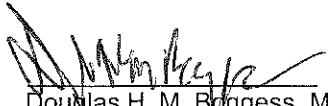
The property was surveyed under NMCRIS 109639 with no significant finds. Therefore:

CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 1 "an archaeological investigation has been conducted..."

SUBMITTED BY:

SUBMITTED TO:

Planning, Development Services

 8-28-2024
Douglas H. M. Boggess, MA, RPA Date

Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from _____ To _____

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Regina Okoye

(Applicant or Agent)

12/2/2024

(Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: _____



MODULUS ARCHITECTS & LAND USE PLANNING, INC.

8220 San Pedro Drive NE, Suite 520

Albuquerque, NM 87113

Phone (505) 338-1499

www.modulusarchitects.com

Neighborhood Meeting Notices (PDF Files in this section)

1. Office of Neighborhood Coordination
Correspondence
2. Proof of Neighborhood Meeting Notices
3. Email Receipt of Neighborhood Notices
4. Facilitated Meeting Notes

Regina Okoye

From: Office of Neighborhood Coordination <onc@cabq.gov>
Sent: Monday, September 23, 2024 4:23 PM
To: Regina Okoye
Subject: 99999 CIBOLA LOOP NW_Public Notice Inquiry Sheet Submission
Attachments: 04 - IDOZoneAtlasPage_A-13-Z.pdf

PLEASE NOTE:
The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Cibola Loop NA	learrael@aol.com	Julie	Rael	learrael@aol.com	10700 Del Sol Park Drive NW	Albuquerque	NM	87114	5052358189	
Cibola Loop NA	learrael@aol.com	Ginny	Forrest	gforrest47@comcast.net	4113 Logan Road NW	Albuquerque	NM	87114	5054170373	
Westside Coalition of Neighborhood Associations		Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120	5059852391	5058982114
Westside Coalition of Neighborhood Associations		Elizabeth	Haley	elizabethkayhaley@gmail.com	6005 Chaparral Circle NW	Albuquerque	NM	87114	5054074381	

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
- The Administrative Decision form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ_Public_Notice_Checklist.pdf
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each: <https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>

Sent: Monday, September 23, 2024 3:42 PM

To: Office of Neighborhood Coordination <ROKOYE@MODULUSARCHITECTS.COM>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:

Other (please specify in field below)

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Development Facilitation Team

Contact Name

Regina Okoye

Telephone Number

5052677686

Email Address

ROKOYE@MODULUSARCHITECTS.COM

Company Name

Modulus Architects

Company Address

8220 San Pedro Dr. NE, Suite 520

City

Albuquerque

State

NM

ZIP

87113

Legal description of the subject site for this project:

UPC: 101306632712340310

Owner: VIENTECILLO LLC

Owner Address: PO BOX 14798 ALBUQUERQUE NM 87191-4798

Situs Address: CIBOLA LP NW ALBUQUERQUE 87114

Legal Description: TR B-1 BULK PLAT TRACTS A-1, A-2, B-1 & C-1 CIBOLA LOOPSUBDIVISION CONT 5.1785 AC

Acres: 5.1785

Tax Year: 2024

Physical address of subject site:

99999 CIBOLA LOOP NW

Subject site cross streets:

Coors Blvd NW and St Josephs Dr NW

Other subject site identifiers:

This site is located on the following zone atlas page:

A-13-Z

Captcha

x

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: _____

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [IDO §14-16-6-4\(K\)](#)¹ to Neighborhood Association Representatives on the attached list from the Office of Neighborhood Coordination (ONC). The Neighborhood Association Representative Contact List from the ONC must be included as an attachment.²

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.³

Email address to respond yes or no: _____

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

All Neighborhood Associations have 15 calendar days from the date of this offer letter (09/24/2024) in which to respond. Once we are notified that you would like a meeting, a meeting must be scheduled for a date within 30 calendar days but no fewer than 15 calendar days after the Neighborhood Association accepts the meeting request, unless an earlier date is agreed upon.

Information Required by [IDO §14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* _____
Location Description _____
2. Property Owner* _____
3. Agent/Applicant* [if applicable] _____
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Site Plan - Administrative⁴
 - Conditional Use Approval
 - Demolition Outside of an HPO⁵
 - Expansion of Nonconforming Use or Structure
 - Historic Design Standards and Guidelines
 - Master Development Plan

¹ See [IDO Table 6-1-1](#) for notice requirements.

² Pursuant to [IDO §14-16-6-4\(K\)\(2\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

³ If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

⁴ Required for applications that meet thresholds established in [IDO §14-16-6-4\(B\)\(1\)\(b\)](#).

⁵ This procedure applies only if the Historic Preservation Planner determines, pursuant to [IDO §14-16-6-6\(B\)\(2\)](#) (Demolition Outside of an HPO Procedure), that a hearing is necessary.

[Note: Items with an asterisk (*) are required.]

- Site Plan - EPC
- Vacation of Public Right-of-way – Council
- Vacation of Public Right-of-way – DHO
- Variance – EPC
- Variance – ZHE
- Variance – DHO
- Waiver – DHO
- Adoption or Amendment of Historic Designation
- Amendment to IDO Text – Small Area
- Zoning Map Amendment – EPC
- Zoning Map Amendment – Council

Summary of project/request^{6*}:

THE PROPOSED PROJECT IS A THREE STORY APARTMENT BUILDING. THE PROJECT IS LOCATED ALONG ELLISON RD, JUST WEST OF COORS. THE STRUCTURE HAS A TOTAL BUILDING AREA OF 64,58 SF. THE AMENITIES INCLUDE A PARKOUR EXERCISE AREA WITH EV CHARGING SPACE. THE PROPOSED USE IS ALLOWED WITHIN R-ML ZONE DISTRICT.

5. This type of application will be decided by^{*}: City Staff (Development Facilitation Team (DFT))
 OR at a public hearing by:
- Development Hearing Officer (DHO) Environmental Planning Commission (EPC)
 - Landmarks Commission (LC) Zoning Hearing Examiner (ZHE)
 - City Council

6. Where more information about the project can be found^{*7}:

Preferred project contact name: _____

Email: _____

Phone: _____

Online website or project page: _____

Attachments: _____

Information Required for Mail/Email Notice by [IDO §14-16-6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{*8} _____
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above

⁶ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁷ Address (mailing or email), phone number, or website to be provided by the applicant.

⁸ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

3. The following exceptions to IDO standards will be requested for this project*:

- Deviation(s) Variance(s) Waiver(s)

Explanation:

4. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*
- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information from IDO Zoning Map⁹:

- 1. Area of Property [typically in acres] _____
- 2. IDO Zone District _____
- 3. Overlay Zone(s) [if applicable] _____
- 4. Center or Corridor Area [if applicable] Cottonwood Center Employment Center _____
- 5. Current Land Use(s) [vacant, if none] _____

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁹ Available here: <https://tinyurl.com/idozoningmap>

Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

Notificación de Acceso Lingüístico.

Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。

Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaaszil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihgii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice*: _____

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [§14-16-6-4\(K\) Public Notice](#). This notice is being provided to the Neighborhood Representatives on the attached list from the City of Albuquerque’s Office of Neighborhood Coordination.

Project Information Required by [IDO §14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* _____
Location Description _____
2. Property Owner* _____
3. Agent/Contractor [if other than the property owner] _____
4. Application(s) Type* per IDO [Table 6-1-1](#)
 - Historic Certificate of Appropriateness – Minor
 - Sign Permit
 - Alternative Signage Plan
 - Wall/Fence Permit
 - Site Plan – Administrative

Summary of project/request*:

THE PROPOSED PROJECT IS A THREE STORY APARTMENT BUILDING. THE PROJECT IS LOCATED ALONG ELLISON RD, JUST WEST OF COORS. THE STRUCTURE HAS A TOTAL BUILDING AREA OF 64,58 SF. THE AMENITIES INCLUDE A PARKOUR EXERCISE AREA WITH EV CHARGING SPACE. THE PROPOSED USE IS ALLOWED WITHIN R-ML ZONE DISTRICT.

5. This application will be decided by staff. Please contact devhelp@cabq.gov or call the Planning Department at 505-924-3860 and select option for Development Review Services.

6. Where more information about the project can be found*:

Preferred project contact information:

Name: _____

Email: _____

Phone: _____

[Note: Items with an asterisk (*) are required.]

- Attachments:
 - Neighborhood Association Representative Contact List from the City’s Office of Neighborhood Coordination*
 - Others: _____
- Online website or project page: _____

Project Information Required for Email Notice by [IDO §14-16-6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*¹ _____
2. Project Illustrations, as relevant*²

- Architectural drawings
- Elevations of the proposed building(s)
- Other illustrations of the proposed application

See attachments or the website/project page noted above for the items marked above

3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s)	Variance(s) ³	Waiver(s) ⁴
Explanation*:		

4. **For Site Plan – Administrative Applications only***,

Attach the proposed site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas. *
- b. Access and circulation for vehicles and pedestrians. *
- c. Maximum height of any proposed structures, with building elevations. *
- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

¹ Available online here: <http://data.cabq.gov/business/zoneatlas/>

² While not required, it is recommended that a site plan be included illustrating the location of existing buildings, if any, and the proposed project.

³ Separate notice is required for Variance Applications.

⁴ Separate notice is required for Waiver Applications.

[Note: Items with an asterisk (*) are required.]

Pre-submittal Neighborhood Meeting date, if it occurred: _____

Brief Meeting Summary:

[Note: The meeting report by the Office of Alternative Dispute Resolution is required to be provided in the application materials.]

Additional Information from IDO Zoning Map⁵:

- 1. Area of Property [typically in acres] _____
- 2. IDO Zone District(s) _____
- 3. Overlay Zone(s) [if applicable] _____
- 4. Center or Corridor Area [if applicable] Cottonwood Center Employment Center
- 5. Current Land Use(s) [vacant, if none] _____

Carlisle Seven Bar Loop Rd & Cottonwood Drive Major Transit Corridor Major Transit Corridor

NOTE: Pursuant to [IDO §14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice for a Site Plan – Administrative application that proposes more than 100 multi-family dwelling units or more than 50,000 s.f. of nonresidential development. To request a facilitated meeting, contact the Planning Department at devhelp@cabq.gov or 505-924-3860 and select the option for “Development Review Services”.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map:

<https://tinyurl.com/idozoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

Notificación de Acceso Lingüístico.

Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。

Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaaszil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihgii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART I - PROCESS

Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:

Application Type: Site Plan Administrative - DFT

Decision-making Body: Development Facilitation Team (DFT)

Pre-Application meeting required: Yes No

Neighborhood meeting required: Yes No

Mailed Notice required: Yes No

Electronic Mail required: Yes No

Is this a Site Plan Application: Yes No Note: if yes, see second page

PART II - DETAILS OF REQUEST

Address of property listed in application: 3601 Seven Bar Loop Rd NW

Name of property owner: Branch Turner & Margaret

Name of applicant: Modulus Architect & Land Use Planning (agent)

Date, time, and place of public meeting or hearing, if applicable:

N/A

Address, phone number, or website for additional information:

Regina Okoye with Modulus Architects & Land Use Planning 505.338.1499 (Ext. 1003) / Rokoye@modulusarchitects.com

PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE

Zone Atlas page indicating subject property.

Drawings, elevations, or other illustrations of this request.

Summary of pre-submittal neighborhood meeting, if applicable.

Summary of request, including explanations of deviations, variances, or waivers.

IMPORTANT:

PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO IDO §14-16-6-4(K). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Regina Okoye Digitally signed by Regina Okoye DN: cn=Modulus Architects & Land Use Planning, Inc., o=Regina Okoye, e=rokoye@modulusarchitects.com Reason: I am the author of this document Location: Date: 2024.07.10 10:46:07-06'00' Foxit PDF Reader Version: 2023.3.0

7/29/24 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO §14-16-6-9(B)(3) and may lead to a denial of your application.



**OFFICIAL PUBLIC NOTIFICATION FORM
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PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN & LC APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

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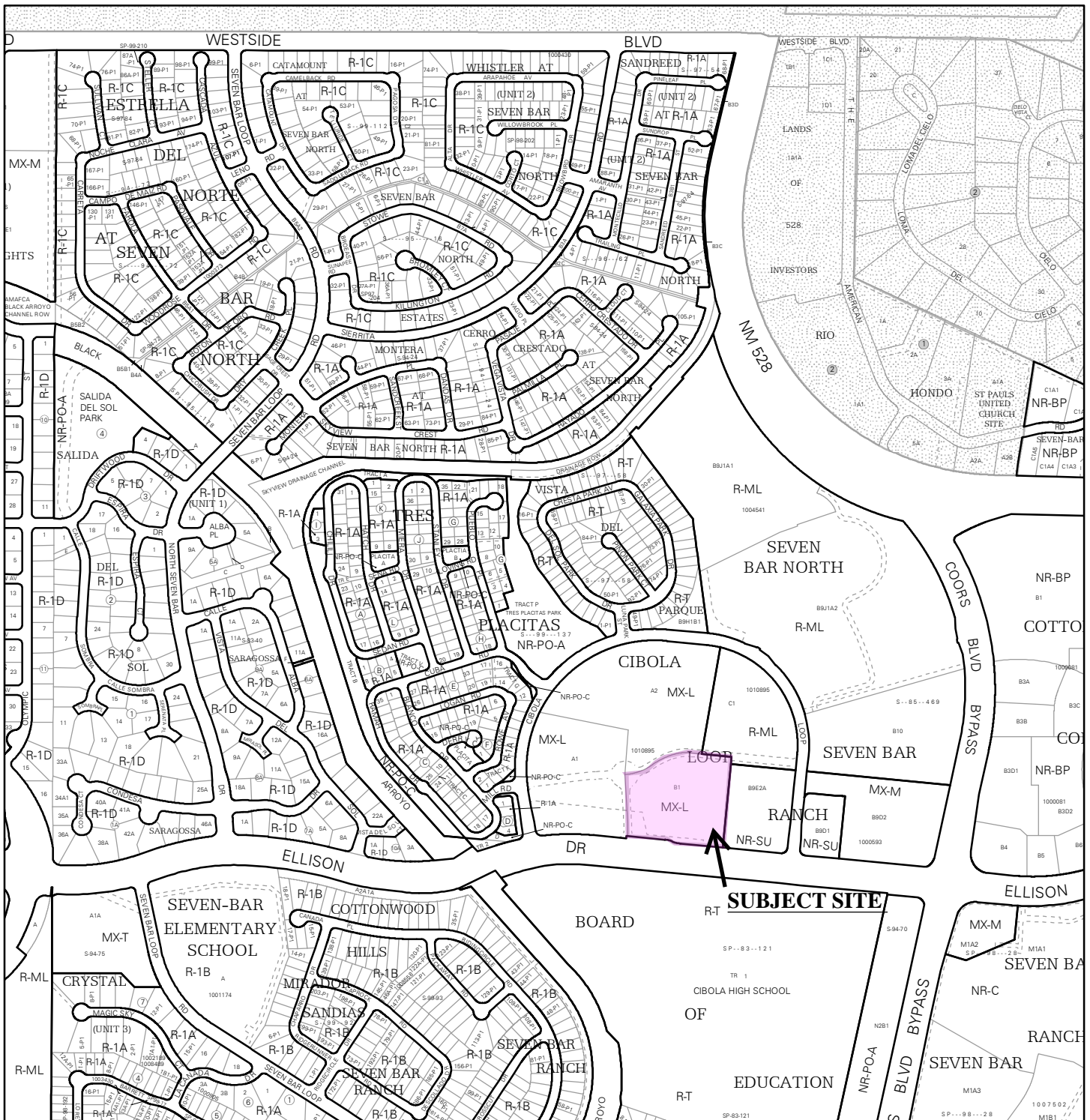
Notificación de Acceso Lingüístico.

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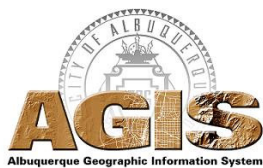
Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

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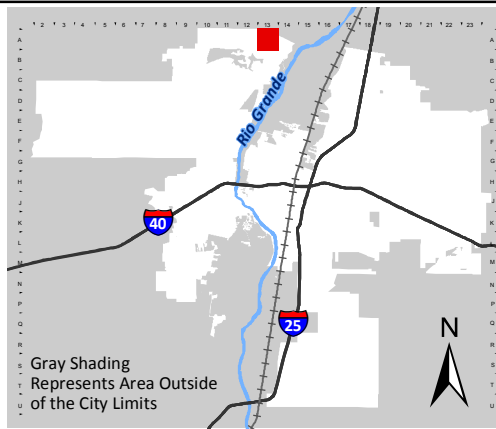


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



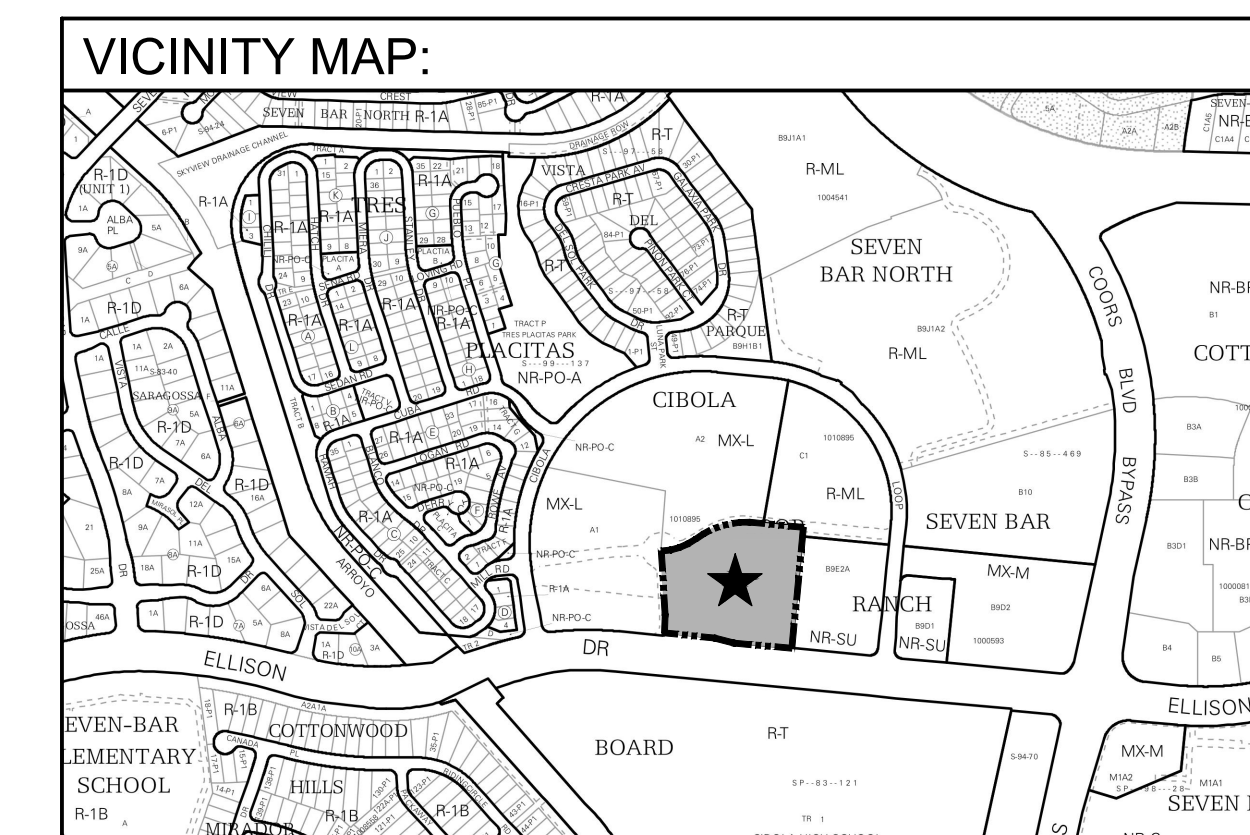
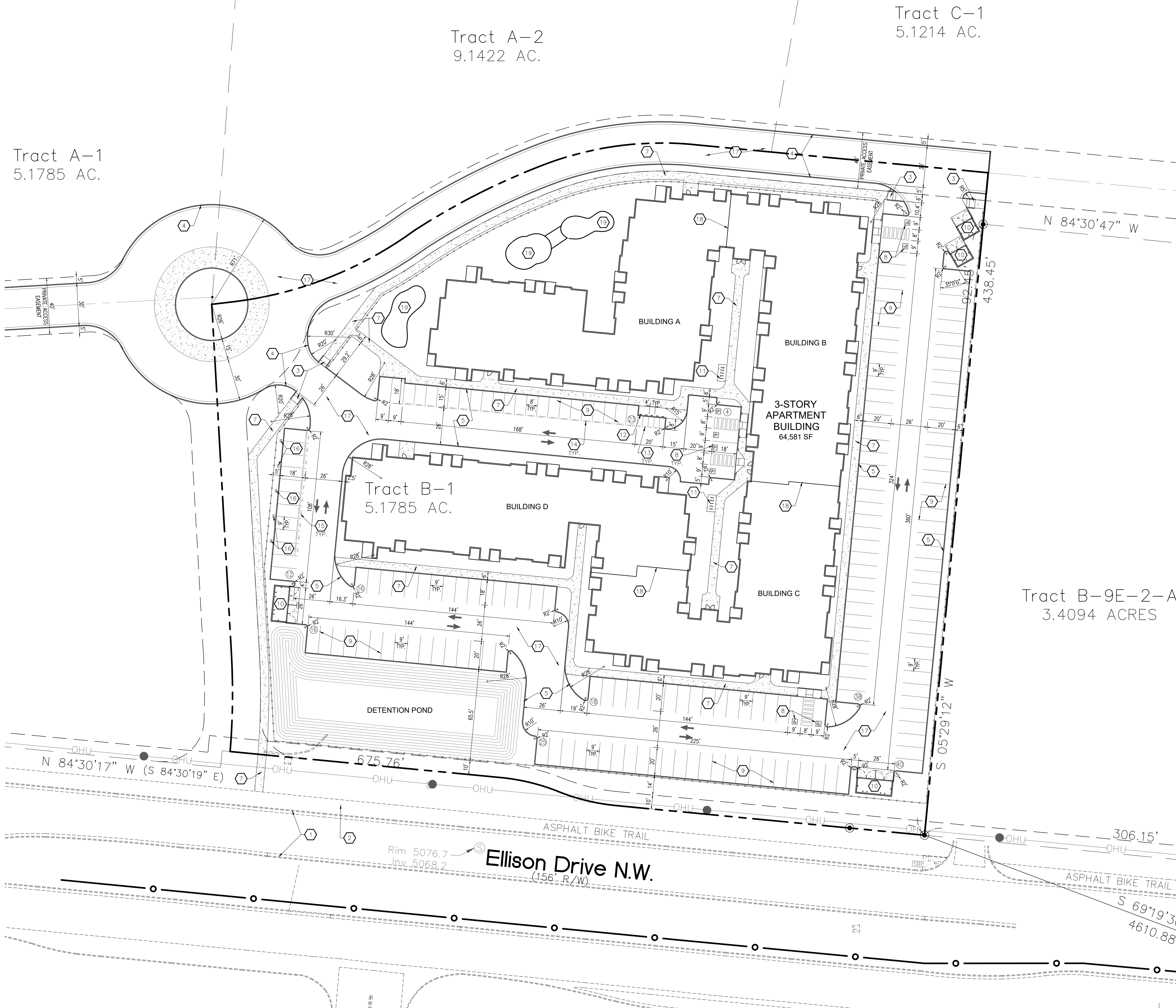
IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
A-13-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



SITE DATA:

PROJECT ADDRESS: CIBOLA LOOP NW & ELLISON RD. NW

LEGAL DESCRIPTION: TRACT B-1, CIBOLA LOOP SUBDIVISION

PROPERTY SIZE: 5.1785 ACRES

CURRENT ZONING: R-ML

PROPOSED USE: MULTI-FAMILY RESIDENTIAL

TOTAL BUILDING FOOTPRINT: 64,581 SF

TOTAL BUILDING AREA: 192,903 SF (3 STORIES)

GENERAL NOTES

A. "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.

PARKING REQUIREMENTS

BUILDING DATA

171 UNIT MULTIFAMILY APARTMENTS

PARKING REQUIREMENTS	RATIO	REQUIRED	PROVIDED
12 3-BEDROOM UNITS	1.8 PER UNIT	21	-
93 2-BEDROOM UNITS	1.6 PER UNIT	148	-
66 1-BEDROOM UNITS	1.2 PER UNIT	79	-
TOTAL OFF-STREET PARKING SPACES REQUIRED	-	248	-
MAJOR TRANSIT CORRIDOR REDUCTION	20% REDUCTION	198	192
ELECTRIC VEHICLE CHARGING SPACES	5% OF REQUIRED	9	*10
TOTAL OFF-STREET PARKING SPACES PROVIDED	-	-	202
ACCESSIBLE PARKING SPACES	101-300 SPACES	8	8
MOTORCYCLE PARKING	151-300 SPACES	5	5
BICYCLE PARKING SPACES	3 OR 10% REQUIRED	10	10

* EV CHARGING SPACES COUNT AS 2 SPACES

USABLE OPEN SPACE REQUIREMENTS

(66) 1-BEDROOM UNITS X 225 SF = 14,850 SF

(93) 2-BEDROOM UNITS X 285 SF = 26,505 SF

(112) 3-BEDROOM UNITS X 350 SF = 39,200 SF

TOTAL OPEN SPACE REQUIRED = 45,555 SF

TOTAL OPEN SPACE PROVIDED = 62,920 SF

- KEYED NOTES**
- EXISTING CONCRETE CURB & GUTTER TO REMAIN
 - EXISTING ASPHALT TRAIL TO REMAIN
 - NEW PARALLEL CURB RAMP PER CDA STANDARD DETAILS 2440 & 2441
 - NEW 6" CONCRETE CURB & GUTTER, SEE DETAIL 2/AS501
 - NEW 6" CONCRETE HEADER CURB, SEE DETAIL 1/AS501
 - NEW ACCESSIBLE CURB RAMP, SEE DETAIL 12/AS501 OR 15/AS501
 - NEW CONCRETE SIDEWALK, SEE DETAIL 3/AS501
 - NEW ACCESSIBLE PARKING SPACES, SEE DETAIL 9/AS501
 - NEW 4" WIDE PAINTED STRIPING
 - NEW REFUSE ENCLOSURE, SEE DETAILS ON SHEET AS502
 - NEW BICYCLE RACKS, SEE DETAIL 5/AS501
 - NEW MOTORCYCLE PARKING SIGN, SEE DETAIL 11/AS501
 - NEW MOTORCYCLE ("MC") PARKING SPACE PAVEMENT MARKING
 - NEW "COMPACT CAR" PARKING SPACE PAVEMENT MARKING
 - NEW "EV CHARGING ONLY" SPACE PAVEMENT MARKING
 - NEW ELECTRICAL VEHICLE CHARGING STATION, 1 STATION FOR 2 SPACES. REFER TO ELECTRICAL FOR MORE INFORMATION.
 - NEW ASPHALT PAVING, SEE DETAIL 13/AS501 FOR LIGHT DUTY ASPHALT WITHIN THE PARKING STALL AREA AND 14/AS501 FOR HEAVY DUTY ASPHALT WITHIN THE DRIVE LANES
 - 2-HOUR FIRE SEPARATION WALL BELOW ROOF
 - PARKOUR EXERCISE AREA, EQUIPMENT TO BE PROVIDED BY OWNER

GRAPHIC LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING CONCRETE CURB & GUTTER
- PROPOSED BUILDING
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED CONCRETE SIDEWALK
- PROPOSED DETENTION POND

REVISION

REV	DATE	BY
1		
2		
3		
4		
5		

MODULUS ARCHITECTS

8220 SAN PEDRO DR. NE, SUITE 520
ALBUQUERQUE, NEW MEXICO 87113
PHONE (505) 338-1499

STATE OF NEW MEXICO
REGISTERED ARCHITECT
STEPHEN A. DUNBAR
No. 4218
8/12/2024

NOT FOR CONSTRUCTION

PROJECT TITLE: CIBOLA LOOP APARTMENTS
CIBOLA LOOP NW
ALBUQUERQUE, NM

JOB NO. ...

DRAWN BY: CDC

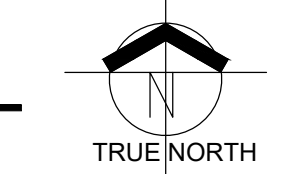
PROJECT MANAGER: STEPHEN DUNBAR, AIA

SHEET TITLE: ARCHITECTURAL SITE PLAN

DATE: 08/01/2024

SCALE: AS NOTED

AS 101





1 PARTIAL NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 PARTIAL NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES					
MARK	MATERIAL	MANUFACTURER	SPECIFICATION	COLOR	PRODUCT COLOR NAME
◇	COMPOSITE WOOD FASCIA	TIMBERTECH	-	BROWN	TIGERWOOD
◇	BOARD & BATTEN METAL WALL PANEL	PAC-CLAD	-	SLATE	BURNISHED SLATE
◇	12x24 EXTERIOR TILE	DALTILE	DIGNITARY SERIES - COLORBODY PORCELAIN	TAUPE	SUPERIOR TAUPE #DR08
◇	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT	-	TAN	#394 - EARTHWARE
◇	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT	-	CREAM	#472 - CAPTAIN
◇	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT	-	WARM GRAY	#104 - DOVER SKY
◇	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT	-	BLACK/BROWN	#151 - COZY BLACK
◇	METAL PARAPET FASCIA	PAC-CLAD	-	SILVER	ANODIC CLEAR

REV	BY	DATE	REVISION
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MODULUS ARCHITECTS
 8220 SAN PEDRO DR. NE, SUITE 520
 ALBUQUERQUE, NEW MEXICO 87113
 PHONE (505) 338-1499

PRELIMINARY
NOT FOR
CONSTRUCTION

NOT FOR CONSTRUCTION

PROJECT TITLE: CIBOLA LOOP APARTMENTS
 CIBOLA LOOP NW
 ALBUQUERQUE, NM

PROJECT MANAGER: STEPHEN DUNBAR, AIA

JOB NO.: ..

DRAWN BY: CDC

SHEET TITLE: EXTERIOR ELEVATIONS

DATE: 08/06/2024

SCALE: AS NOTED

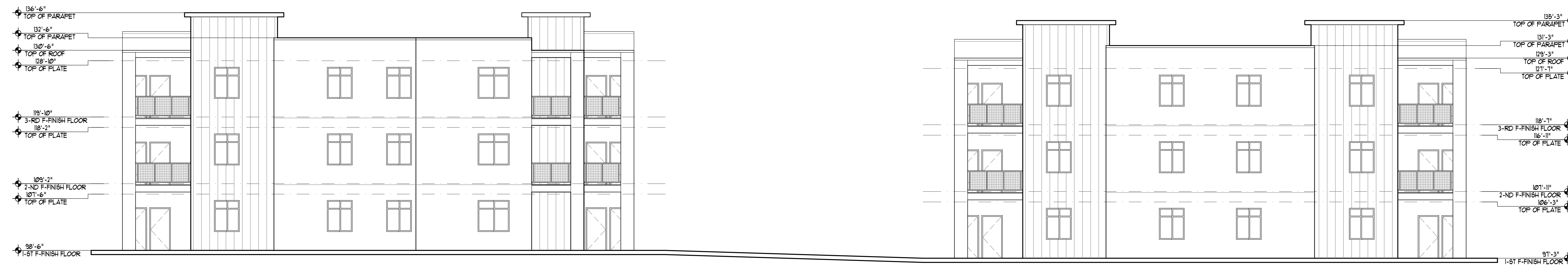
SHEET: A201



1 PARTIAL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 PARTIAL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

REV	BY	DATE	REVISION
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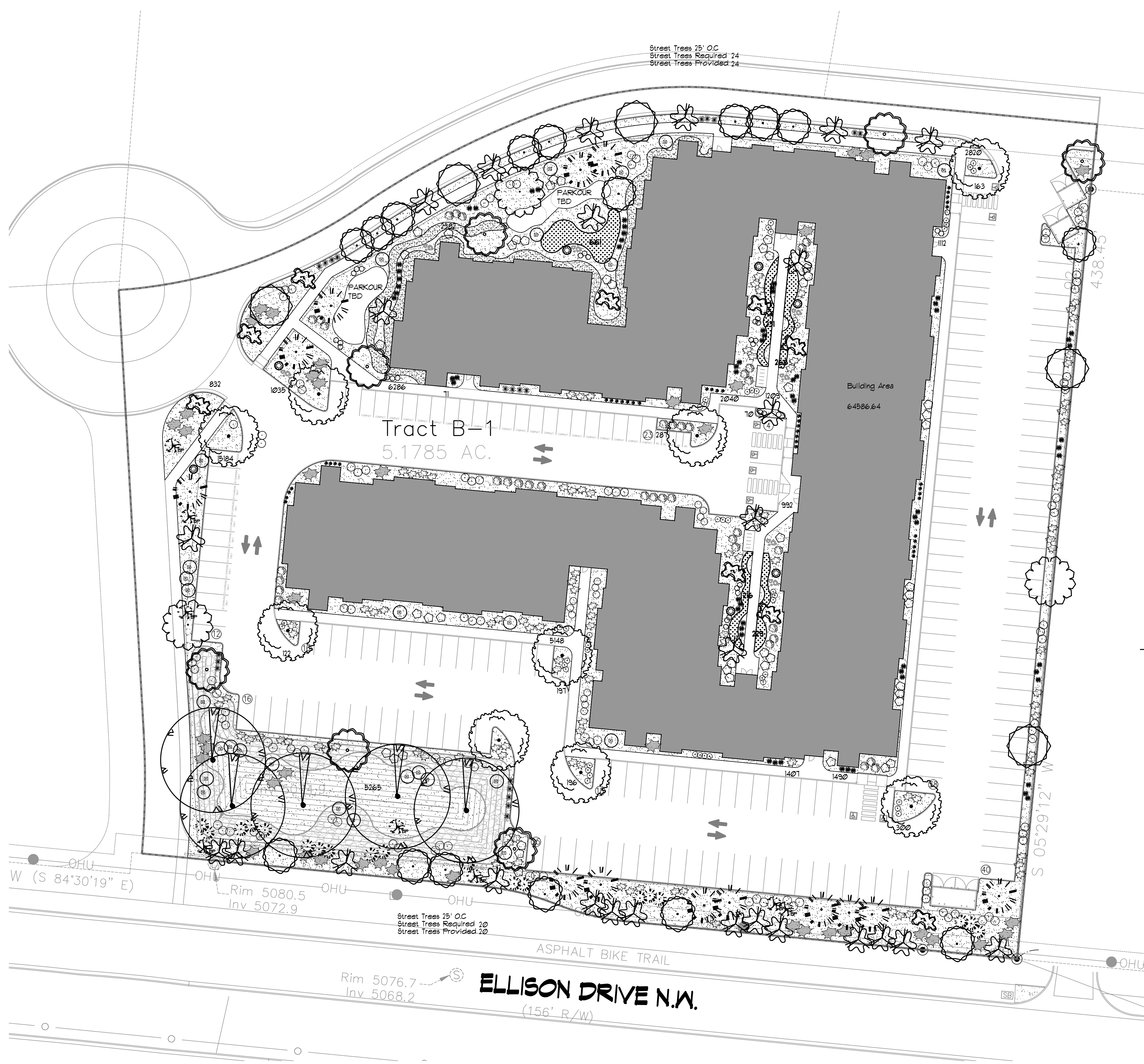
MODULUS ARCHITECTS
 8220 SAN PEDRO DR. NE, SUITE 520
 ALBUQUERQUE, NEW MEXICO 87113
 PHONE (505) 338-1499

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT TITLE CIBOLA LOOP APARTMENTS CIBOLA LOOP NW ALBUQUERQUE, NM	JOB NO. ..	DRAWN BY: CDC
PROJECT MANAGER STEPHEN DUNBAR, AIA	SHEET TITLE EXTERIOR ELEVATIONS	

DATE: 05/17/2024	SHEET: -
SCALE: AS NOTED	of: A202

NOT FOR CONSTRUCTION



LANDSCAPE LEGEND

TREES						
QTY.	SIZE	COMMON/BOTANICAL NAME	DIM'S	WATER USE	COVERAGE	TOTAL COVERAGE
5	2" CAL	Cottonwood <i>Populus deltoides</i> var. <i>alifanifera</i>	50'x60'	M+	2826	1430.00
9	2" CAL	Ash <i>Fraxinus</i> sp.	40'x35'	M	361.3	8654.61
5	2" CAL	Desert Willow <i>Chilopsis linearis</i>	20'x25'	L	430.63	2453.15
16	2" CAL	Purpleleaf Plum <i>Prunus caroliniana</i>	20'x20'	M	314	5024.00
3	2" CAL	Frontier Elm <i>Ulmus 'Frontier'</i>	40'x30'	M	106.5	2195.0
9	2" CAL	Crape Myrtle <i>Lagerstroemia indica</i> /Multi-stem Tree Form	6'x12'	M	113.04	1071.36
13	4'-6'	Pinon <i>Pinus edulis</i>	30'x20'	M	314	4082.00
21	2" CAL	New Mexico Olive <i>Forestiera neomexicana</i>	15'x15'	M	176.62	4168.74
1	2" CAL	Mexican Elder <i>Sambucus mexicana</i>	20'x25'	M	430.63	3434.41
19	6'	Blue Arrow Juniper <i>Juniperus scopulorum</i> 'Blue Arrow'	12'x4'	M	12.56	238.64
TOTAL TREES:					TOTAL COVERAGE:	49927.47

Note: All trees shall have a 5' rad. circle of wood chips, per COA requirement.

Shrubs & Groundcovers

QTY.	SIZE	COMMON/BOTANICAL NAME	DIM'S	WATER USE	COVERAGE	TOTAL COVERAGE
40	9 GAL	Feather Reed Grass <i>Calamagrostis arundinacea</i>	25'x2'	M	314	125.60
109	9 GAL	Rosemary <i>Rosmarinus officinalis prostratus</i>	1'x5'	M	13.63	2196.1
33	9 GAL	India Hawthorn <i>Raphirolepis indica</i>	3'x5'	M	13.63	647.79
41	9 GAL	Buffalo Juniper <i>Juniperus sabinia</i> 'Buffalo'	1'x8'	M	50.21	2061.07
8	9 GAL	Yellow Bird of Paradise <i>Caesalpinia gilliesii</i>	10'x10'	RW	78.50	678.00
64	9 GAL	Dwarf Fountain Grass <i>Pennisetum alopecuroides Hamelin</i>	3'x3'	M	1.07	452.48
21	9 GAL	Red Yucca <i>Hesperaloe parviflora</i>	3'x3'	L	1.07	148.47
73	9 GAL	Apache Plume <i>Fallugia paradoxa</i>	6'x5'	L	13.63	1432.99
26	9 GAL	Chamisa <i>Chrysanthamnus nauseosus</i>	5'x5'	L	13.63	106.68
28	9 GAL	Gro-Low Sumac <i>Rhus aromatica</i> 'Gro-Low'	3'x8'	M	50.21	1407.36
35	9 GAL	Wintergreen Barberry <i>Berberis julianae</i>	5'x5'	M	13.63	681.05
1	9 GAL	Butterfly Bush <i>Buddleia davidii</i>	5'x5'	M	20.63	144.41
30	9 GAL	Cherry Sage <i>Salvia Greggii</i>	2'x3'	M	1.07	212.10
50	9 GAL	Blue Mist <i>Caryopteris x clandonensis</i>	3'x3'	M	1.07	3535.0
14	9 GAL	Fern Bush <i>Chamaebatiaria millefolium</i>	5'x6'	L	28.26	395.64
TOTAL SHRUBS:					TOTAL COVERAGE:	15430.1

21	2-3cf	Boulders To be placed at contractor discretion				
46226		Landscape Gravel / Filter Fabric 3/4" Crushed Grey Submit samples of gravel and cobble for approval				
1625		Sod				
6078		Oversize Landscape Gravel / Filter Fabric 2-4" Adobe Rose				
2382		Santa Fe Brown Crusher Fine				
5673100		Total Landscape Area Provided				

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	225575.46
TOTAL BUILDING AREA (SF)	64586.64
TOTAL NET LOT AREA (SF)	160988.82
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIRED	24148
TOTAL ON-SITE LANDSCAPE PROVIDED (SF)	56731.00
TOTAL VEGETATIVE COVERAGE REQUIRED (SF)	42173
TOTAL VEGETATIVE COVERAGE PROVIDED (SF)	57465.48
TOTAL GROUND VEGETATIVE COVERAGE REQUIRED (SF)	10843
TOTAL GROUND VEGETATIVE COVERAGE PROVIDED (SF)	15430.1

Organic Mulch No Fabric
Submit samples of organic mulch for approval
Organic Mulch 25% Required
Note: Each Tree, min. 5' rad. 78.5sf
113 Trees x 78.5 sf = 8870.5
See Tree Detail, a 5' radius of organic mulch is required around each tree w/out Filter Fabric
Note: Each Shrub, min. 2' rad. 12.56sf
589 Shrubs x 12.56 sf = 7397.84
Total Mulch Provided 16268.34
Total Mulch Required 11509
Parking Lot Landscape Area Calculation
Total Parking 188 Spaces
180 sf each x 188 space = 33840
Landscape required 33840x 0.15 = 2133
Landscape Required 5076 sf
Landscape Provided 19045sf
Tree Required 19
Tree Provided 19
Deciduous Tree Required 14
Deciduous Tree Provided 19

NOTE: Organic mulch is only used as a requirement of the City of Albuquerque, IDO. Organic mulch will need to be refreshed often as it is washed and blown away and will result in a negative impact on the health of the plant material. Additionally, historically organic mulch used in commercial projects has clogged storm sewers creating damage to commercial properties, lawsuits, and damages assessed to landscape architects and contractors. Designer assumes no responsibility for flooding or erosion as the result of the use of Organic Mulch as required by the City of Albuquerque.

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.
The Property Owner shall maintain landscaping in a living, healthy, and attractive condition. Dead or Dying plant material shall be replaced immediately. Shrubs shall be left to grow in to natural form and shall not be pruned, sheared or otherwise decimated. Trees shall not be pollarded. Only licensed, insured Certified Arborist shall be allowed to prune or shape trees.
It is the intent of this plan to comply with the City Of Albuquerque Water, IDO Ordinance.
It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.
Water management is the sole responsibility of the Property Owner.
Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed, or other treatment.
Contractor shall supply to the owner samples and prices of various gravel samples for approval prior to installing.
25% of landscape area shall be covered with organic mulch per City of Albuquerque Ordinance. Mulch shall be a minimum of 4" deep in areas as shown on the plan. Landscape maintenance providers shall ensure that all organic mulch areas are maintained and refreshed on a regular basis. Filter Fabric shall not be placed in areas to receive organic mulch.
Landscape shall be watered by a complete underground irrigation system operated by automatic timer.
Trees and shrubs shall be zoned separately.
Landscaping shall be installed according to the approved plan; installation shall be completed within 60 days of the related building's occupancy.
No substitutions or alterations to this plan with out the express written permission of the Landscape Architect, and approval of the City of Albuquerque, approved permit est.
Clear Site Triangle Note:
Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery between 5 and 8 feet between the curb and the gutter panel are not included within the clear site triangle. Per Section 5-6(D) (1) (a) Required Street Trees
Trees are GENERALLY required along street frontages every 25 feet on center unless otherwise specified in Part 6-2-2 of ROA 1994 (Street Trees)
Section 6-6-2-b Street Trees (A)
1. Size of the trees at maturity should be in proportion to the planting space provided for them. ... Smaller species of trees will require closer spacing and larger trees will require greater spacing. Spacing shall be approved as part of the plan approval process.
2. On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced.

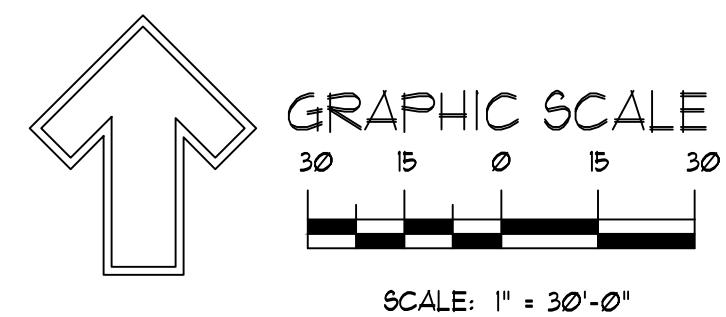
Drainage Basin Treatments
Per City of Albuquerque
Drainage Basin Treatments
The bottom and sides must be seeded with a native mix per City Standard specification 1022 depending on soil type for that City area. Please reference this native seed selection and the section on plan sheet.
For pond bottoms: Gravel 1/2 to 1 inch mulch. One layer thick, not stacked.
Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.
Maintenance will be per City of Albuquerque Specification 1023.91 and 1023.92.
Contractor must used the basin during/after the first growing season.
Needs city inspection. Stormwater Quality Ordinance-final stabilization must be accepted by the City.

MODULUS ARCHITECTS
8220 SAN PEDRO DR. NE, SUITE 520
ALBUQUERQUE, NEW MEXICO 87113
PHONE (505) 338-1499 FAX (505) 338-1498



Landscape Architect
STATE OF NEW MEXICO
DANNY D. MITCHELL
239
REGISTERED LANDSCAPE ARCHITECT
August 28, 2024

PROJECT TITLE	
PROJECT NUMBER	
SHEET TITLE	
DRAWN BY:	FV
JOB NO.	
DATE:	
Sheet:	
Project NO:	2024-001
DRAWING NO:	
AS NOTED	LS-101



Mitchell Associates, inc
Landscape Architecture
Danny Mitchell
danny@mitchellassociatesinc.com 505.639.9583

Regina Okoye

From: Regina Okoye
Sent: Tuesday, September 24, 2024 11:18 AM
To: 'learrael@aol.com'; 'gforrest47@comcast.net'; 'aboard111@gmail.com'; 'elizabethkayhaley@gmail.com'
Subject: Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque - 99999 CIBOLA LOOP NW
Attachments: 8.6 - Elevation.pdf; 8.7 - Elevation 2.pdf; 8.8 - Landscape Plan.pdf; ONC response.pdf; 8.1 - NeighborhoodMeetingRequest-Print&Fill.pdf; 8.2 - Emailed-Notice-Administrative-Print&Fill.pdf; 8.3 - CABQ_Public_Notice_Checklist.pdf; 8.4 - IDOZoneAtlasPage_A-13-Z.PDF; 8.5 - Site Plan.pdf

**Neighborhood Meeting Request
for a Proposed Project in the City of Albuquerque**

Date of Request*: 9/24/24

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [IDO §14-16-6-4\(K\)](#)¹ to Neighborhood Association Representatives on the attached list from the Office of Neighborhood Coordination (ONC). The Neighborhood Association Representative Contact List from the ONC must be included as an attachment.²

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.³

Email address to respond yes or no: Rokoye@modulusarchitects.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

All Neighborhood Associations have 15 calendar days from the date of this offer letter (09/24/2024) in which to respond. Once we are notified that you would like a meeting, a meeting must be scheduled for a date within 30 calendar days but no fewer than 15 calendar days after the Neighborhood Association accepts the meeting request, unless an earlier date is agreed upon.

Information Required by [IDO §14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 99999 CIBOLA LOOP NW
Location Description Along Ellison DR NW
2. Property Owner* VIENTECILLO LLC
3. Agent/Applicant* *[if applicable]* Modulus Architect & Land Use Planning (agent)
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Site Plan - Administrative⁴
 - Conditional Use Approval
 - Demolition Outside of an HPO⁵
 - Expansion of Nonconforming Use or Structure
 - Historic Design Standards and Guidelines
 - Master Development Plan

- Site Plan - EPC
- Vacation of Public Right-of-way – Council
- Vacation of Public Right-of-way – DHO
- Variance – EPC
- Variance – ZHE
- Variance – DHO
- Waiver – DHO
- Adoption or Amendment of Historic Designation
- Amendment to IDO Text – Small Area
- Zoning Map Amendment – EPC
- Zoning Map Amendment – Council

Summary of project/request^{6*}:

THE PROPOSED PROJECT IS A THREE STORY APARTMENT BUILDING. THE PROJECT IS LOCATED ALONG ELLISON RD, JUST WEST OF COORS. THE STRUCTURE HAS A TOTAL BUILDING AREA OF 64.58 SF. THE AMENITIES INCLUDE A PARKOUR EXERCISE AREA WITH EV CHARGING SPACE. THE PROPOSED USE IS ALLOWED WITHIN R-ML ZONE DISTRICT.

5. This type of application will be decided by*: City Staff (Development Facilitation Team (DFT))

OR at a public hearing by:

- Development Hearing Officer (DHO)
- Environmental Planning Commission (EPC)
- Landmarks Commission (LC)
- Zoning Hearing Examiner (ZHE)
- City Council

6. Where more information about the project can be found^{7*}:

Preferred project contact name: Regina Okoye
 Email: Rokoye@modulusarchitects.com
 Phone: 505.338.1499 (Ext. 1003)
 Online website or project page: _____
 Attachments: _____

Information Required for Mail/Email Notice by [IDO §14-16-6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{8*} A-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards will be requested for this project*:

- Deviation(s)
- Variance(s)
- Waiver(s)

Explanation:

N/A

4. For Site Plan Applications only*, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*
- d. For residential development*: Maximum number of proposed dwelling units.
- e. For non-residential development*:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information from IDO Zoning Map⁹:

- 1. Area of Property [typically in acres] +/- 5.1785
- 2. IDO Zone District R-ML
- 3. Overlay Zone(s) [if applicable] CPO-2
- 4. Center or Corridor Area [if applicable] Seven Bar Loop Rd & Cottonwood Drive Major Transit Corridor
Cottonwood Center Employment Center
- 5. Current Land Use(s) [vacant, if none] Vacant

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Regina Okoye, Vice President

Modulus Architects & Land Use Planning, Inc.

8220 San Pedro Dr. NE, Suite 520 (Paseo Nuevo Building)

Albuquerque, New Mexico 87113

Office 505.338.1499 (Ext. 1003)

Mobile + Text 505.267.7686

Direct: 505.808.3868

Email: rokoye@modulusarchitects.com

Website: www.modulusarchitects.com

Join us on Facebook: [Modulus Architects on Facebook](#)

Join us on Instagram: [Modulus Architects on Instagram](#)

New Mexico | Texas | Arizona | Colorado | Florida | Utah | Illinois

CITY OF ALBUQUERQUE
LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT
9999 Cibola Loop NW Pre-application for Site Plan

Project #: Pre-app (Administrative Site Plan approval by Development Facilitation Team)

Property Description/Address: 9999 Cibola Loop NW along Ellison NW

Date Submitted: 23 October 2024

Submitted By: Philip Crump

Meeting Date, Time: Monday 21 October 2024, 5:30-7:30 pm

Meeting Location: Via Google Meet

Facilitators: Philip Crump and Kathleen Oweegon

Applicant/Agent: Vientecillo / Modulus Architects & Land Use Planning, Inc.

Neighborhood Associations/Interested Parties: Cibola Loop NA, West Side Coalition of NAs

Background/Meeting Summary:

This was the second meeting for this proposed developments. The first, held in December 2023, reviewed the (ultimately successful) application to the EPC for a zone change. This pre-application meeting reviewed the site plan and elevations for a 171-unit three-story apartment building on the south side of the larger Cibola Loop parcel.

In her presentation, the agent/architect noted that there have been several development proposals over the years for this area. In this case, the project is intended to complement and coordinate with the City's Multigenerational Center being built in the northwest area of the larger parcel. She responded to questions provided in advance by the local neighborhood association as well as additional questions posed by attendees. (the list of 38 questions and responses is appended to this report.)

Concerns and queries expressed by neighbors included potential traffic congestion, noise and disruption during construction, ongoing responsiveness to neighbors, as well as features of the site plan and elevations. There were several questions about the necessity of yet another apartment building in that area of the West Side.

Outcome:

There was no specific opposition or support expressed for the proposal. Neighborhood attendees seemed to appreciate the full responses by the agent to their questions and concerns.

Meeting Specifics: ["Responses to questions" below refer to brief answers to the questions provided in advance; the complete text of questions and responses is appended to this report.]

1. Proposal background and description

- a. The area has been the subject of unsuccessful development proposals over the last twenty years or so.
 - i. The current team has been working on this project for about a year.
- b. The EPC granted this project a zone change from MX-L to RM-L.
 - i. MX-L allows multifamily housing, requiring commercial activity on the ground floor; this project is to be wholly residential.
- c. The City is currently constructing a Multigenerational Center within Cibola Loop, along the northwest side.
 - i. This team has been working with the Center architects to develop this site plan in unison with the Center's—in design, grading and drainage, and utility infrastructure.
 1. A big change following consultation with City's architects and engineers was moving access from Ellison to Cibola Loop.
 - a. Access will be via a new roadway coming off Cibola Loop that will be for ingress and egress to the proposed apartment complex, and will not be a public thoroughfare.
- d. There are to be 171 units—one- two- and three-bedrooms in a three-story structure.

CITY OF ALBUQUERQUE
LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT
9999 Cibola Loop NW Pre-application for Site Plan

- i. A certificate of “no effect” has already been issued by the city archaeologists and there are no sensitive lands identified.
- i. The project is going to exceed all IDO requirements for ensuring that green space parks and public amenities are included in the design.
 - i. We are committed to providing accessible and enjoyable areas for the community as part of the IDO landscaping standards.
 - 1. We are providing over 40% of the site in landscaping or some form of permeable landscaping materials, open space, or green space; the city only requires 15%.
- j. The landscaping and drainage systems are designed to reduce runoff by incorporating permeable surfaces and erosion control techniques, actually helping to improve soil stability, and manage stormwater more effectively than the current conditions.
- k. We are working with the multi-generational center to coordinate our grading and drainage plans so that they work in unison.
 - i. This will greatly improve this area in terms of water and soil erosion from what exists today.

4. Responses to questions—Infrastructure (Questions 14-17)

- a. As for existing infrastructure (water and sewer), the Water Utility Authority tells us whether there is adequate infrastructure or not.
 - i. If it is required that any infrastructure is to be improved or built, we will build it.
- b. We are working closely with the local utility waste management and traffic authorities to ensure all systems are properly supported.
 - i. the project will include improvements to utilities and roads where needed.
 - ii. We will follow all City guidelines to ensure that waste management is handled efficiently.
- c. There was a private agreement among the property sellers--a shared responsibility for maintenance among all property owners.
 - i. The City will require that all of that maintenance of infrastructure on our property be provided by our developer; that is a non-negotiable.

5. Responses to questions—Project details (Questions 20-34)

- a. Besides the zone change already granted, there are no requests for deviations or variances for this project.
 - i. Our requested use density and site plan are all permissive uses and are consistent with the zoning regulations.
 - ii. The zoning in place at that time already allowed for multifamily housing, so there was no change of the uses.
- b. Only after Site Plan approval will we apply for a building permit.
- c. There are 171 one, two, and three bedroom units proposed.
 - i. Based on the City calculations, there should be a total of 248 parking spaces.
 - 1. These are reduced 20% by being on a major transit corridor, with a gain of 10 spaces for EV charging, for a total of 202 spaces.
 - a. This exceeds the calculated requirement of 198 spaces.
- d. This project will help alleviate the housing shortage on the West Side.
 - i. It will help balance growth with affordability, preventing displacement and offering a range of housing options at all income levels.
- e. The impact of new apartments on property values varies in most cases.
 - i. Well-planned developments enhance surrounding property values by improving the local economy and infrastructure.

CITY OF ALBUQUERQUE
LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT
9999 Cibola Loop NW Pre-application for Site Plan

- f. While there will be no commercial activity in the site itself; the increased number of area residents increases the customer base.
 - i. There is another parcel within Cibola Loop available for sale to a business.
- g. We hope to break ground in the second quarter of 2025.
 - i. It is anticipated that construction will take about 18 months.
- h. The project developer/owner and management company will be responsible for the upkeep of the property and all amenities.

6. Responses to questions—Traffic (Questions 35-38)

- a. Even with the Cibola High School traffic, the roadway is designed for that level of service.
- b. A traffic impact and assessment form was submitted to the City and determined to not be required since the trips per AM and PM peak hours are not enough to have a significant impact.
- c. The project is not going to have any impact on parking availability as the apartment project is designed to provide enough on-site parking for all of its residents.
- d. We are not proposing a change to traffic circulation.
 - i. We removed our request to have access from Ellison Drive, so there is no change to the traffic circulation other than the interior road from Cibola Loop for our residents.

7. Stormwater control and drainage

- a. There is a large detention pond in the SW corner of the property.
 - i. Tierra West, familiar with the area, was brought in to create the grading and drainage plan.
 - 1. The plan coordinates with the Multigenerational Center.
 - 2. We anticipate that the pond will not need expansion.
- b. The City requires us to maintain all of our runoff on site but because of the topography, the calculations accommodate all of the runoff from other sites now coming down to this corner.
 - i. The detention pond is not included in calculation of open space.
 - ii. Its purpose is to hold, clean and then release stormwater.
 - 1. Because of landscaping and permeable surfaces, we do not anticipate much standing water.

8. Landscaping and outdoor space

- a. There is to be tree planting around the detention pond, to help with water infiltration and to screen it from Ellison.
 - i. The number of trees exceeds the City requirements.
- b. A neighbor asked whether the potential size of root systems was taken into account, due to sidewalk heaving.
 - i. The agent said they use only trees approved on the city forester's tree list of what they are allowed to choose from.
 - 1. The landscape architects selected trees from that list.
 - 2. Action Item: The agent will ask the landscape architects about sizes of root systems.
- c. Landscaping is provided around the perimeter, as a buffer from nearby residents, especially on the north and west.
- d. The developer prefers outdoor spaces which are usable for more residents than a pool or clubhouse.
 - i. There is a public walking trail around the entire perimeter of the site.
 - 1. And in the northwest area, is exercise equipment and a dog park.

CITY OF ALBUQUERQUE
LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT
9999 Cibola Loop NW Pre-application for Site Plan

- a. There is no kids' amenity planned, but that can be discussed with the developer.

9. Amenities

- a. While the property will not be gated, the amenities are for residents only.
 - i. The public is welcome to use the perimeter walking trail.
 - 1. The trail currently is designed to be concrete.
- b. There will be a washer/dryer in every unit.
- c. A neighbor suggested that inside space, especially in the winter time, would be nice.
 - i. There could be exercise rooms and popular gathering spaces.
 - 1. The agent said that suggestion would be passed to the developer.
- d. The facility will not include a clubhouse or swimming pool.

10. Parking and traffic

- a. It was suggested that, especially with the reduction in parking spaces due to proximity to transportation, that there will not be sufficient on-site parking, with overflow onto public streets.
 - i. Even when people want to ride a bus, bus routes on the West Side have been reduced.
- b. The agent said that the site was attractive in part because it really addresses parking and the need for reliance on vehicles.
 - i. It is adjacent to one of the area's largest employment centers as well as the Northwest Transportation Center, with the high school across the street.
 - 1. Folks are within walking or cycling distance to one of the biggest employment centers and the transit hub.
 - ii. This is a perfect location for up-and-coming residents who are saving for a home and want to reduce to one car per family.
 - 1. We are not asking for a variance to reduce the amount of parking.
- c. In response to a question, the agent said that the City's traffic study determined that even with the build-out of the multigenerational center and our project, it was still not going to create enough traffic that current roadway system could not adequately manage.
 - i. Action Item: The agent will provide the City's traffic study.
- d. Cibola High School drop-off and pick-up creates a lot of congestion in the neighborhood.
 - i. The agent reported that APS did review the project during the zoning application, but not since.
 - 1. Any questions would have to be posed to the high school or APS.

11. Site staffing

- a. A neighbor asked whether there would be a management office onsite.
 - i. The agent said that there will be a leasing office open during business hours, but that she was not sure whether the local management company would have such a presence as well.
 - 1. Action Item: The agent will find out whether the management company will have regular presence on-site.

12. Need for more apartments

- a. A neighbor said there may be too many apartments, with vacancies and houses for sale.
 - i. The agent reported that the Mayor's housing initiative showed a need for 17,000 more units.
 - ii. While there may be a lot of houses for sale, there are a lot of people who can't afford a house or don't choose to buy a house right now because of a multitude of factors.

CITY OF ALBUQUERQUE
LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT
9999 Cibola Loop NW Pre-application for Site Plan

1. Vacancy in apartments may be specific to owners and operators.

1. Action Items:

- a. The agent will report:
 - (1) Square footage of each size of unit in the building.
 - (2) The sizes of root systems.
 - (3) The city's traffic study.
 - (4) Whether the management company will have regular presence on-site.

Next Steps:

The agent anticipates application to the Development Facilitation Team by November 12, 2024. The later option is December 2, 2024.

Per cabq.gov: The Development Facilitation Team (DFT) reviews Site Plans for commercial projects greater than 50,000 square feet; multi-family projects greater than 50 units; and projects that require major public infrastructure (except those that require EPC review per the IDO). All other Site Plans are reviewed as part of the building permit review. The DFT reviews site plans to ensure compliance with zoning and engineering requirements

The DFT includes staff representing: Planning, Code Enforcement, Hydrology, Traffic Engineer, Parks and Recreation, and Albuquerque-Bernalillo County Water Utility Authority (ABCWUA).

Names & Affiliations of Attendees:

Jerome Maldonado	Vientecillo LLC
Angela M. Piarowski	Modulus Architects
Regina Okoye	Modulus Architects
Julie Rael	Cibola Loop NA
Ginny Forrest	Cibola Loop NA
Angela Gonzales	Cibola Loop NA
Gilbert Padilla	Cibola Loop NA
René Horvath	West Side Coalition of NAs
Elizabeth Haley	West Side Coalition of NAs
Debbie Trujillo	Cibola Loop NA
Dan Ware	Cibola Loop NA
April Klug	Cibola Loop homeowner
Juin "Jon" Sheafe	Tres Placitas homeowner
Anelies Marroquin	
Fred Lackey	
Tyson Hummell	CABQ ADR Coordinator
Kathleen Oweegon	Facilitator
Philip Crump	Facilitator



MODULUS ARCHITECTS & LAND USE PLANNING, INC.

8220 San Pedro Drive NE, Suite 520

Albuquerque, NM 87113

Phone (505) 338-1499

www.modulusarchitects.com

Neighborhood Public Notices (PDF Files in this section)

1. Office of Neighborhood Coordination
Correspondence
2. Complete Notification Forms
3. Email Receipt of Neighborhood Notices

Regina Okoye

From: Flores, Suzanna A. <Suzannaflor@cabq.gov>
Sent: Tuesday, November 19, 2024 8:36 AM
To: Regina Okoye
Subject: 99999 CIBOLA LOOP NW _Public Notice Inquiry Sheet Submission
Attachments: 04 - IDOZoneAtlasPage_A-13-Z.pdf

PLEASE NOTE:
The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Cibola Loop NA	learrael@aol.com	Julie	Rael	learrael@aol.com	10700 Del Sol Park Drive NW	Albuquerque	NM	87114	5052358189	
Cibola Loop NA	learrael@aol.com	Ginny	Forrest	gforrest47@comcast.net	4113 Logan Road NW	Albuquerque	NM	87114	5054170373	
Westside Coalition of Neighborhood Associations		Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120	5059852391	5058982114
Westside Coalition of Neighborhood Associations		Elizabeth	Haley	elizabethkayhaley@gmail.com	6005 Chaparral Circle NW	Albuquerque	NM	87114	5054074381	

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
- The Administrative Decision form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ_Public_Notice_Checklist.pdf
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each: <https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>

Sent: Monday, November 18, 2024 1:38 PM

To: Office of Neighborhood Coordination <ROKOYE@MODULUSARCHITECTS.COM>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:

Administrative Decision

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Development Facilitation Team

Contact Name

Regina Okoye

Telephone Number

5052677686

Email Address

ROKOYE@MODULUSARCHITECTS.COM

Company Name

Modulus Architects

Company Address

8220 San Pedro Dr. NE, Suite 520

City

Albuquerque

State

NM

ZIP

87113

Legal description of the subject site for this project:

UPC: 101306632712340310

Owner: VIENTECILLO LLC

Owner Address: PO BOX 14798 ALBUQUERQUE NM 87191-4798

Situs Address: CIBOLA LP NW ALBUQUERQUE 87114

Legal Description: TR B-1 BULK PLAT TRACTS A-1, A-2, B-1 & C-1 CIBOLA LOOPSUBDIVISION CONT 5.1785 AC

Acres: 5.1785

Tax Year: 2024

Physical address of subject site:

99999 CIBOLA LOOP NW

Subject site cross streets:

[Ellison Dr and Coors Blvd Bypass.](#)

Other subject site identifiers:

This site is located on the following zone atlas page:

A-13-Z

Captcha

x

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice*: _____

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [§14-16-6-4\(K\) Public Notice](#). This notice is being provided to the Neighborhood Representatives on the attached list from the City of Albuquerque’s Office of Neighborhood Coordination.

Project Information Required by [IDO §14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* _____
Location Description _____
2. Property Owner* _____
3. Agent/Contractor [if other than the property owner] _____
4. Application(s) Type* per IDO [Table 6-1-1](#)
 - Historic Certificate of Appropriateness – Minor
 - Sign Permit
 - Alternative Signage Plan
 - Wall/Fence Permit
 - Site Plan – Administrative

Summary of project/request*:

THE PROPOSED PROJECT IS A THREE STORY APARTMENT BUILDING. THE PROJECT IS LOCATED ALONG ELLISON RD, JUST WEST OF COORS. THE STRUCTURE HAS A TOTAL BUILDING AREA OF 64,58 SF. THE AMENITIES INCLUDE A PARKOUR EXERCISE AREA WITH EV CHARGING SPACE. THE PROPOSED USE IS ALLOWED WITHIN R-ML ZONE DISTRICT.

5. This application will be decided by staff. Please contact devhelp@cabq.gov or call the Planning Department at 505-924-3860 and select option for Development Review Services.

6. Where more information about the project can be found*:

Preferred project contact information:

Name: _____

Email: _____

Phone: _____

[Note: Items with an asterisk (*) are required.]

- Attachments:
 - Neighborhood Association Representative Contact List from the City's Office of Neighborhood Coordination*
 - Others: _____

- Online website or project page: _____

Project Information Required for Email Notice by [IDO §14-16-6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*¹ _____
2. Project Illustrations, as relevant*²

- Architectural drawings
- Elevations of the proposed building(s)
- Other illustrations of the proposed application

See attachments or the website/project page noted above for the items marked above

3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s)	Variance(s) ³	Waiver(s) ⁴
Explanation*:		

4. **For Site Plan – Administrative Applications only***,

Attach the proposed site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas. *
- b. Access and circulation for vehicles and pedestrians. *
- c. Maximum height of any proposed structures, with building elevations. *
- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

¹ Available online here: <http://data.cabq.gov/business/zoneatlas/>

² While not required, it is recommended that a site plan be included illustrating the location of existing buildings, if any, and the proposed project.

³ Separate notice is required for Variance Applications.

⁴ Separate notice is required for Waiver Applications.

[Note: Items with an asterisk (*) are required.]

Pre-submittal Neighborhood Meeting date, if it occurred: _____

Brief Meeting Summary:

A facilitated neighborhood meeting was offered and held on 10.21.2024. This was the second meeting for this proposed developments. The first, held in December 2023, reviewed the (ultimately successful) application to the EPC for a zone change. This pre-application meeting reviewed the site plan and elevations for a 171-unit three-story apartment building on the south side of the larger Cibola Loop parcel. In her presentation, the agent/architect noted that there have been several development proposals over the years for this area. In this case, the project is intended to complement and coordinate with the City's Multigenerational Center being built in the northwest area of the larger parcel. She responded to questions provided in advance by the local neighborhood association as well as additional questions posed by attendees. (the list of 38 questions and responses is appended to this report.) Concerns and queries expressed by neighbors included potential traffic congestion, noise and disruption during construction, ongoing responsiveness to neighbors, as well as features of the site plan and elevations. There were several questions about the necessity of yet another apartment building in that area of the West Side.

[Note: The meeting report by the Office of Alternative Dispute Resolution is required to be provided in the application materials.]

Additional Information from IDO Zoning Map⁵:

1. Area of Property [typically in acres] _____
2. IDO Zone District(s) _____
3. Overlay Zone(s) [if applicable] _____
4. Center or Corridor Area [if applicable] Cottonwood Center Employment Center
5. Current Land Use(s) [vacant, if none] _____

Carlisle Seven Bar Loop Rd & Cottonwood Drive Major Transit Corridor Major Transit Corridor

NOTE: Pursuant to [IDO §14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice for a Site Plan – Administrative application that proposes more than 100 multi-family dwelling units or more than 50,000 s.f. of nonresidential development. To request a facilitated meeting, contact the Planning Department at devhelp@cabq.gov or 505-924-3860 and select the option for “Development Review Services”.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map:

<https://tinyurl.com/idozoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

Notificación de Acceso Lingüístico.

Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。

Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaaszil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihgii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART I - PROCESS

Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:

Application Type: Site Plan Administrative - DFT

Decision-making Body: Development Facilitation Team (DFT)

Pre-Application meeting required: Yes No

Neighborhood meeting required: Yes No

Mailed Notice required: Yes No

Electronic Mail required: Yes No

Is this a Site Plan Application: Yes No Note: if yes, see second page

PART II - DETAILS OF REQUEST

Address of property listed in application: 99999 CIBOLA LOOP NW

Name of property owner: VIENTECILLO LLC

Name of applicant: Modulus Architect & Land Use Planning (agent)

Date, time, and place of public meeting or hearing, if applicable:

N/A

Address, phone number, or website for additional information:

Regina Okoye with Modulus Architects & Land Use Planning 505.338.1499 (Ext. 1003) / Rokoye@modulusarchitects.com

PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE

Zone Atlas page indicating subject property.

Drawings, elevations, or other illustrations of this request.

Summary of pre-submittal neighborhood meeting, if applicable.

Summary of request, including explanations of deviations, variances, or waivers.

IMPORTANT:

PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO IDO §14-16-6-4(K).
PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON
APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Regina Okoye (Applicant signature) 12/2/24 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO §14-16-6-9(B)(3) and may lead to a denial of your application.



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PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN & LC APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

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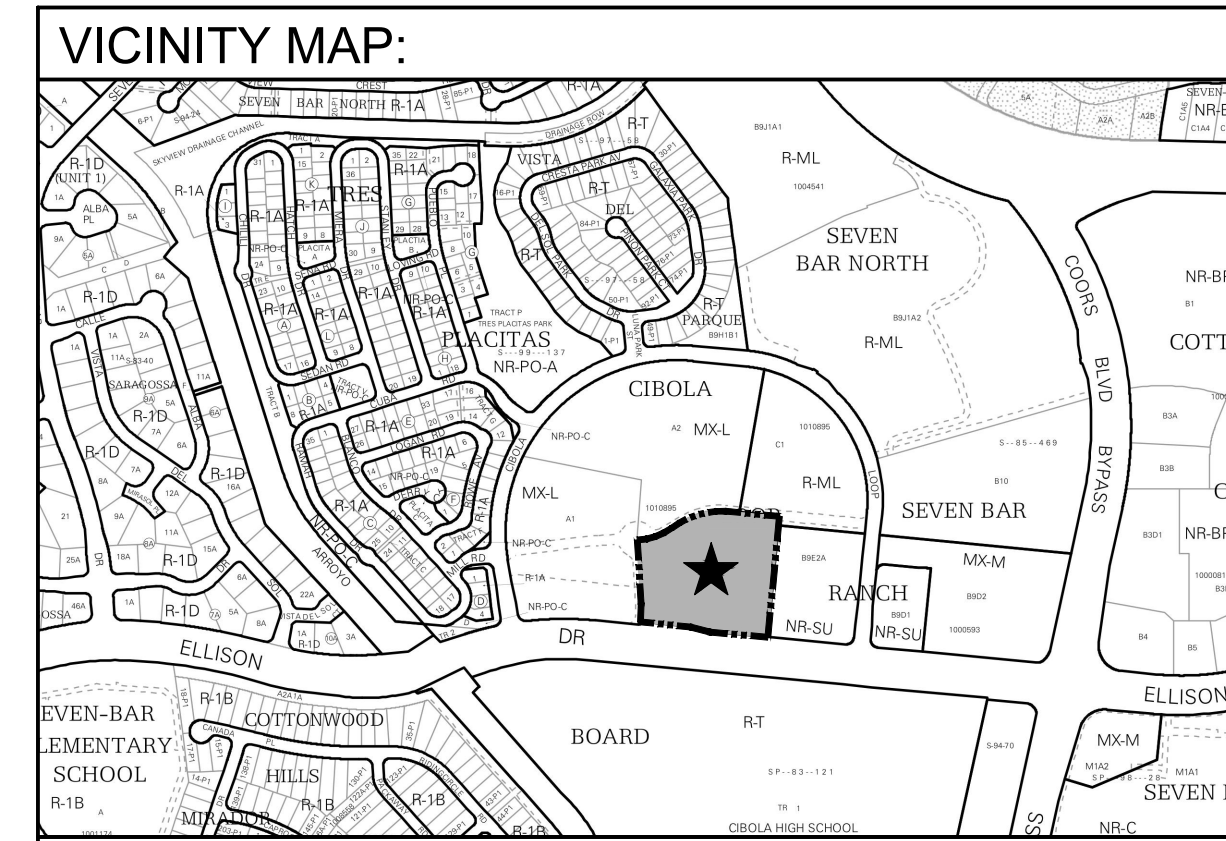
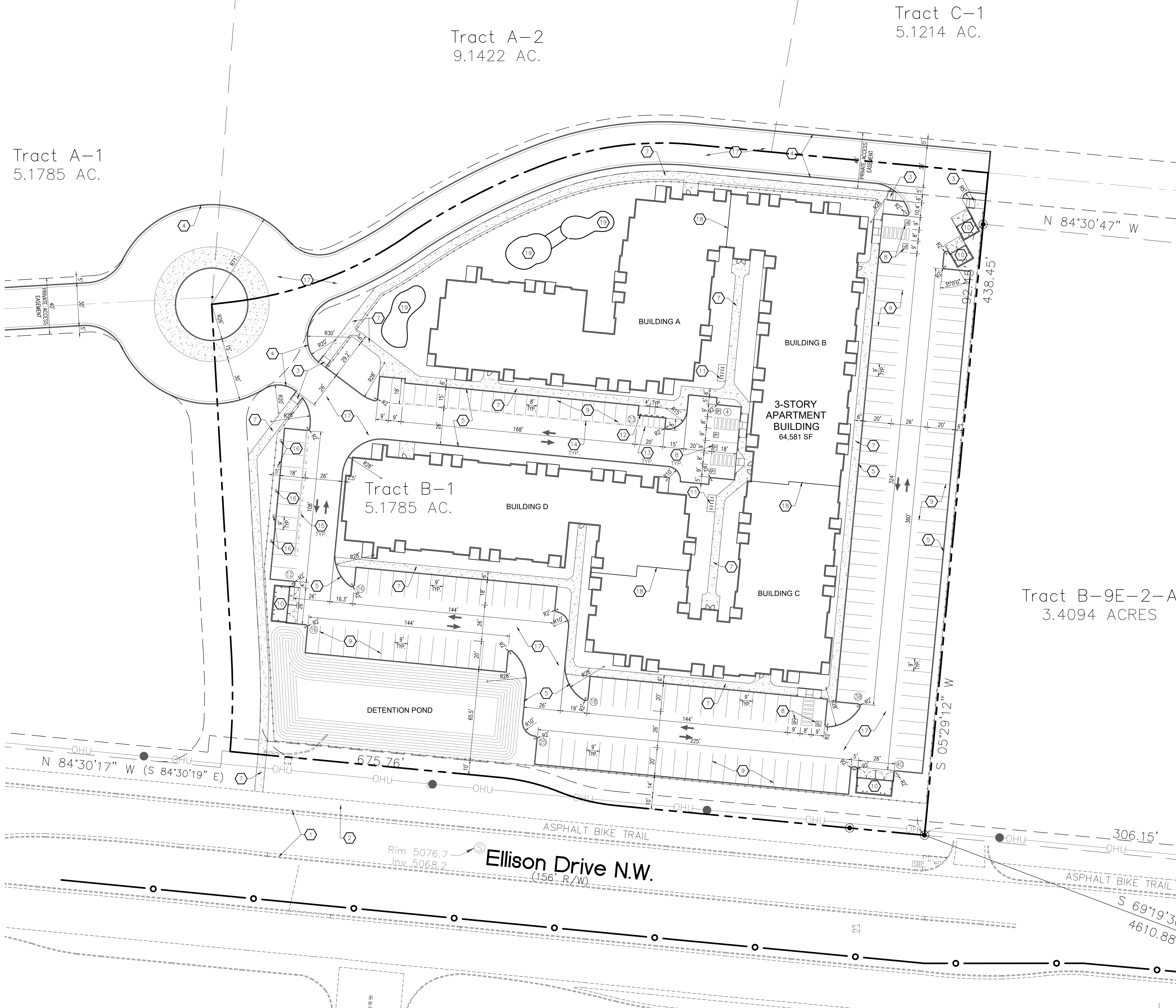
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SITE DATA:

PROJECT ADDRESS: CIBOLA LOOP NW & ELLISON RD. NW

LEGAL DESCRIPTION: TRACT B-1, CIBOLA LOOP SUBDIVISION

PROPERTY SIZE: 5.1785 ACRES

CURRENT ZONING: R-ML

PROPOSED USE: MULTI-FAMILY RESIDENTIAL

TOTAL BUILDING FOOTPRINT: 64,581 SF

TOTAL BUILDING AREA: 192,903 SF (3 STORIES)

GENERAL NOTES

A. "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.

PARKING REQUIREMENTS

BUILDING DATA
171 UNIT MULTIFAMILY APARTMENTS

PARKING REQUIREMENTS	RATIO	REQUIRED	PROVIDED
12 3-BEDROOM UNITS	1.8 PER UNIT	21	-
93 2-BEDROOM UNITS	1.6 PER UNIT	148	-
66 1-BEDROOM UNITS	1.2 PER UNIT	79	-
TOTAL OFF-STREET PARKING SPACES REQUIRED	-	248	-
MAJOR TRANSIT CORRIDOR REDUCTION	20% REDUCTION	198	192
ELECTRIC VEHICLE CHARGING SPACES	5% OF REQUIRED	9	*10
TOTAL OFF-STREET PARKING SPACES PROVIDED	-	-	202
ACCESSIBLE PARKING SPACES	101-300 SPACES	8	8
MOTORCYCLE PARKING	151-300 SPACES	5	5
BICYCLE PARKING SPACES	3 OR 10% REQUIRED	10	10

* EV CHARGING SPACES COUNT AS 2 SPACES

USABLE OPEN SPACE REQUIREMENTS

(66) 1-BEDROOM UNITS X 225 SF = 14,850 SF
 (93) 2-BEDROOM UNITS X 285 SF = 26,505 SF
 (112) 3-BEDROOM UNITS X 350 SF = 39,200 SF
 TOTAL OPEN SPACE REQUIRED = 45,555 SF

TOTAL OPEN SPACE PROVIDED = 62,920 SF

THE USABLE OPEN SPACE AREA CONSISTS OF LANDSCAPED AREAS, PEDESTRIAN WALKWAYS, PARKOUR EXERCISE AREAS AND APARTMENT UNIT BALCONIES. THE BUILDING, PARKING, DRIVE AISLES AND THE DETENTION POND ARE EXCLUDED FROM THIS CALCULATION.

- KEYED NOTES**
- EXISTING CONCRETE CURB & GUTTER TO REMAIN
 - EXISTING ASPHALT TRAIL TO REMAIN
 - NEW PARALLEL CURB RAMP PER CDA STANDARD DETAILS 2440 & 2441
 - NEW 6" CONCRETE CURB & GUTTER, SEE DETAIL 2/AS501
 - NEW 6" CONCRETE HEADER CURB, SEE DETAIL 1/AS501
 - NEW ACCESSIBLE CURB RAMP, SEE DETAIL 12/AS501 OR 15/AS501
 - NEW CONCRETE SIDEWALK, SEE DETAIL 3/AS501
 - NEW ACCESSIBLE PARKING SPACES, SEE DETAIL 9/AS501
 - NEW 4" WIDE PAINTED STRIPING
 - NEW REFUSE ENCLOSURE, SEE DETAILS ON SHEET AS502
 - NEW BICYCLE RACKS, SEE DETAIL 5/AS501
 - NEW MOTORCYCLE PARKING SIGN, SEE DETAIL 11/AS501
 - NEW MOTORCYCLE ("MC") PARKING SPACE PAVEMENT MARKING
 - NEW "COMPACT CAR" PARKING SPACE PAVEMENT MARKING
 - NEW "EV CHARGING ONLY" SPACE PAVEMENT MARKING
 - NEW ELECTRICAL VEHICLE CHARGING STATION, 1 STATION FOR 2 SPACES. REFER TO ELECTRICAL FOR MORE INFORMATION.
 - NEW ASPHALT PAVING, SEE DETAIL 13/AS501 FOR LIGHT DUTY ASPHALT WITHIN THE PARKING STALL AREA AND 14/AS501 FOR HEAVY DUTY ASPHALT WITHIN THE DRIVE LANES
 - 2-HOUR FIRE SEPARATION WALL BELOW ROOF
 - PARKOUR EXERCISE AREA, EQUIPMENT TO BE PROVIDED BY OWNER

GRAPHIC LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING CONCRETE CURB & GUTTER
	PROPOSED BUILDING
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE CURB & GUTTER
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DETENTION POND

REVISION

REV	DATE	BY
1		
2		
3		
4		
5		

MODULUS ARCHITECTS

8220 SAN PEDRO DR. NE, SUITE 520
 ALBUQUERQUE, NEW MEXICO 87113
 PHONE (505) 338-1499

STATE OF NEW MEXICO
 REGISTERED ARCHITECT
 STEPHEN A. DUNBAR
 No. 4218
 8/6/2024

NOT FOR CONSTRUCTION

PROJECT TITLE: CIBOLA LOOP APARTMENTS
 CIBOLA LOOP NW
 ALBUQUERQUE, NM

JOB NO. ...

PROJECT MANAGER: STEPHEN DUNBAR, AIA

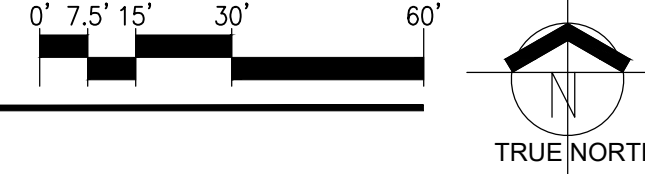
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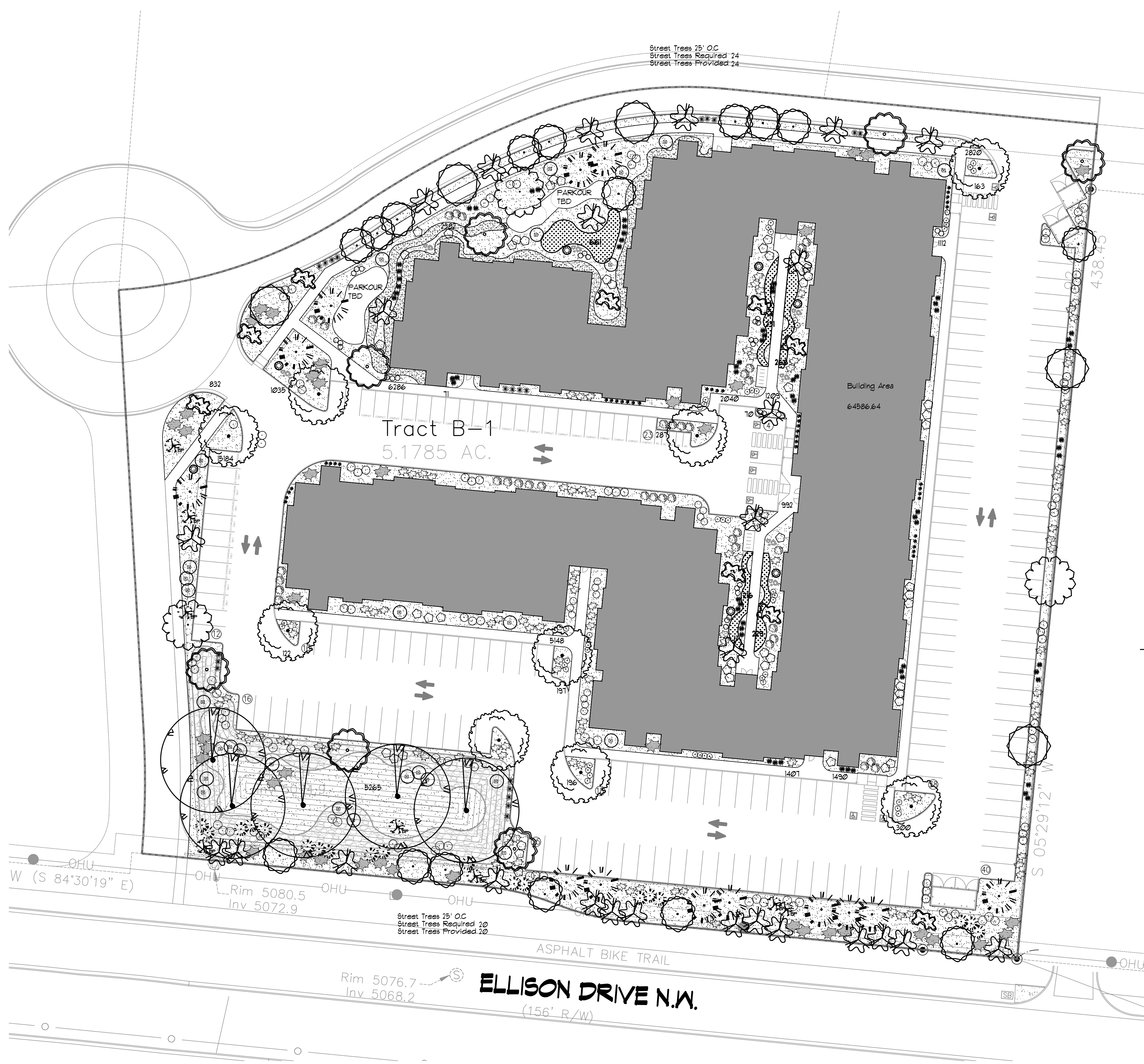
SHEET TITLE: ARCHITECTURAL SITE PLAN

DATE: 08/06/2024

SCALE: AS NOTED

AS|O|I





LANDSCAPE LEGEND

TREES						
QTY.	SIZE	COMMON/BOTANICAL NAME	DIM'S	WATER USE	COVERAGE	TOTAL COVERAGE
5	2" CAL	Cottonwood <i>Populus deltoides</i> var. <i>alifanifera</i>	50'x60'	M+	2826	1430.00
9	2" CAL	Ash <i>Fraxinus</i> sp.	40'x35'	M	361.63	8654.61
5	2" CAL	Desert Willow <i>Chilopsis linearis</i>	20'x25'	L	430.63	2453.15
16	2" CAL	Purpleleaf Plum <i>Prunus caroliniana</i>	20'x20'	M	314	5024.00
3	2" CAL	Frontier Elm <i>Ulmus 'Frontier'</i>	40'x30'	M	106.5	2195.0
9	2" CAL	Crape Myrtle <i>Lagerstroemia indica</i> /Multi-stem Tree Form	6'x12'	M	113.04	1071.36
13	4'-6'	Pinon <i>Pinus edulis</i>	30'x20'	M	314	4082.00
21	2" CAL	New Mexico Olive <i>Forestiera neomexicana</i>	15'x15'	M	176.62	4168.74
1	2" CAL	Mexican Elder <i>Sambucus mexicana</i>	20'x25'	M	430.63	3434.41
19	6'	Blue Arrow Juniper <i>Juniperus scopulorum</i> 'Blue Arrow'	12'x4'	M	12.56	238.64
TOTAL TREES:					TOTAL COVERAGE:	49927.47

Note: All trees shall have a 5' rad. circle of wood chips, per COA requirement.

Shrubs & Groundcovers

QTY.	SIZE	COMMON/BOTANICAL NAME	DIM'S	WATER USE	COVERAGE	TOTAL COVERAGE
40	9 GAL	Feather Reed Grass <i>Calamagrostis arundinacea</i>	25'x2'	M	314	125.60
109	9 GAL	Rosemary <i>Rosmarinus officinalis prostratus</i>	1'x5'	M	19.63	2136.1
33	9 GAL	India Hawthorn <i>Raphirolepis indica</i>	3'x5'	M	19.63	647.79
41	9 GAL	Buffalo Juniper <i>Juniperus sabinia</i> 'Buffalo'	1'x8'	M	50.21	2061.01
8	9 GAL	Yellow Bird of Paradise <i>Caesalpinia gilliesii</i>	10'x10'	RW	78.50	628.00
64	9 GAL	Dwarf Fountain Grass <i>Pennisetum alopecuroides Hamelin</i>	3'x3'	M	1.01	451.48
21	9 GAL	Red Yucca <i>Hesperaloe parviflora</i>	3'x3'	L	1.01	148.41
73	9 GAL	Apache Plume <i>Fallugia paradoxa</i>	6'x5'	L	19.63	1432.99
26	9 GAL	Chamisa <i>Chrysanthamnus nauseosus</i>	5'x5'	L	19.63	1066.8
28	9 GAL	Gro-Low Sumac <i>Rhus aromatica</i> 'Gro-Low'	3'x8'	M	50.21	1407.36
35	9 GAL	Wintergreen Barbary <i>Berberis julianae</i>	5'x5'	M	19.63	681.05
1	9 GAL	Butterfly Bush <i>Buddleia davidii</i>	5'x5'	M	20.63	144.1
30	9 GAL	Cherry Sage <i>Salvia greggii</i>	2'x3'	M	1.01	212.10
50	9 GAL	Blue Mist <i>Caryopteris x clandonensis</i>	3'x3'	M	1.01	3535.0
14	9 GAL	Fern Bush <i>Chamaebatiaria millefolium</i>	5'x6'	L	28.26	395.64
TOTAL SHRUBS:					TOTAL COVERAGE:	15430.1

21	2-3cf	Boulders To be placed at contractor discretion				
46226		Landscape Gravel / Filter Fabric 3/4" Crushed Grey Submit samples of gravel and cobble for approval				
1625		Sod				
6078		Oversize Landscape Gravel / Filter Fabric 2-4" Adobe Rose				
2382		Santa Fe Brown Crusher Fine				
5623100		Total Landscape Area Provided				

LANDSCAPE CALCULATIONS

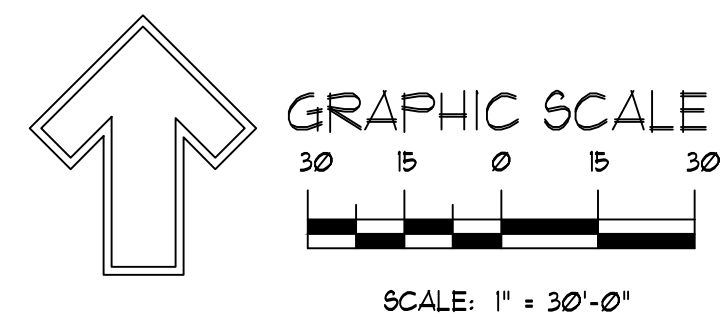
TOTAL LOT AREA	225575.46
TOTAL BUILDING AREA (SF)	64586.64
TOTAL NET LOT AREA (SF)	160988.82
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIRED	24148
TOTAL ON-SITE LANDSCAPE PROVIDED (SF)	56231.00
TOTAL VEGETATIVE COVERAGE REQUIRED (SF)	42173
TOTAL VEGETATIVE COVERAGE PROVIDED (SF)	57465.48
TOTAL GROUND VEGETATIVE COVERAGE REQUIRED (SF)	10843
TOTAL GROUND VEGETATIVE COVERAGE PROVIDED (SF)	15430.1

Organic Mulch No Fabric
Submit samples of organic mulch for approval
Organic Mulch 25% Required
Note: Each Tree, min. 5' rad. 78.5sf
113 Trees x 78.5 sf = 8870.5
See Tree Detail, a 5' radius of organic mulch is required around each tree w/out Filter Fabric
Note: Each Shrub, min. 2' rad. 12.56sf
589 Shrubs x 12.56 sf = 7397.84
Total Mulch Provided 16226.34
Total Mulch Required 11509
Parking Lot Landscape Area Calculation
Total Parking 188 Spaces
180 sf each x 188 space = 33840
Landscape required 33840x 0.15 = 2133
Landscape Required 5076 sf
Landscape Provided 19045sf
Tree Required 19
Tree Provided 19
Deciduous Tree Required 14
Deciduous Tree Provided 19

NOTE: Organic mulch is only used as a requirement of the City of Albuquerque, IDO. Organic mulch will need to be refreshed often as it is washed and blown away and will result in a negative impact on the health of the plant material. Additionally, historically organic mulch used in commercial projects has clogged storm sewers creating damage to commercial properties, lawsuits, and damages assessed to landscape architects and contractors. Designer assumes no responsibility for flooding or erosion as the result of the use of Organic Mulch as required by the City of Albuquerque.

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.
The Property Owner shall maintain landscaping in a living, healthy, and attractive condition. Dead or Dying plant material shall be replaced immediately. Shrubs shall be left to grow in to natural form and shall not be pruned, sheared or otherwise decimated. Trees shall not be pollarded. Only licensed, insured Certified Arborist shall be allowed to prune or shape trees.
It is the intent of this plan to comply with the City Of Albuquerque Water, IDO Ordinance.
It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.
Water management is the sole responsibility of the Property Owner.
Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed, or other treatment.
Contractor shall supply to the owner samples and prices of various gravel samples for approval prior to installing.
25% of landscape area shall be covered with organic mulch per City of Albuquerque Ordinance. Mulch shall be a minimum of 4" deep in areas as shown on the plan. Landscape maintenance providers shall ensure that all organic mulch areas are maintained and refreshed on a regular basis. Filter Fabric shall not be placed in areas to receive organic mulch.
Landscape shall be watered by a complete underground irrigation system operated by automatic timer.
Trees and shrubs shall be zoned separately.
Landscaping shall be installed according to the approved plan; installation shall be completed within 60 days of the related building's occupancy.
No substitutions or alterations to this plan with out the express written permission of the Landscape Architect, and approval of the City of Albuquerque, approved permit est.
Clear Site Triangle Note:
Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery between 5 and 8 feet between the intersection of the gutter panel are not included within the clear site triangle. Per Section 5-6(D) (1) (a) Required Street Trees
Trees are GENERALLY required along street frontages every 25 feet on center unless otherwise specified in Part 6-2-2 of RDA 1994 (Street Trees)
Section 6-6-2-b Street Trees (A)
1. Size of the trees at maturity should be in proportion to the planting space provided for them. ... Smaller species of trees will require closer spacing and larger trees will require greater spacing. Spacing shall be approved as part of the plan approval process.
2. On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced.

Drainage Basin Treatments
Per City of Albuquerque
Drainage Basin Treatments
The bottom and sides must be seeded with a native mix per City Standard specification 1022 depending on soil type for that City area. Please reference this native seed selection and the section on plan sheet.
For pond bottoms: Gravel 1/2 to 1 inch mulch One layer thick, not stacked
Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.
Maintenance will be per City of Albuquerque Specification 1023.91 and 1023.92.
Contractor must used the basin during/after the first growing season.
Needs city inspection. Stormwater Quality Ordinance-final stabilization must be accepted by the City.

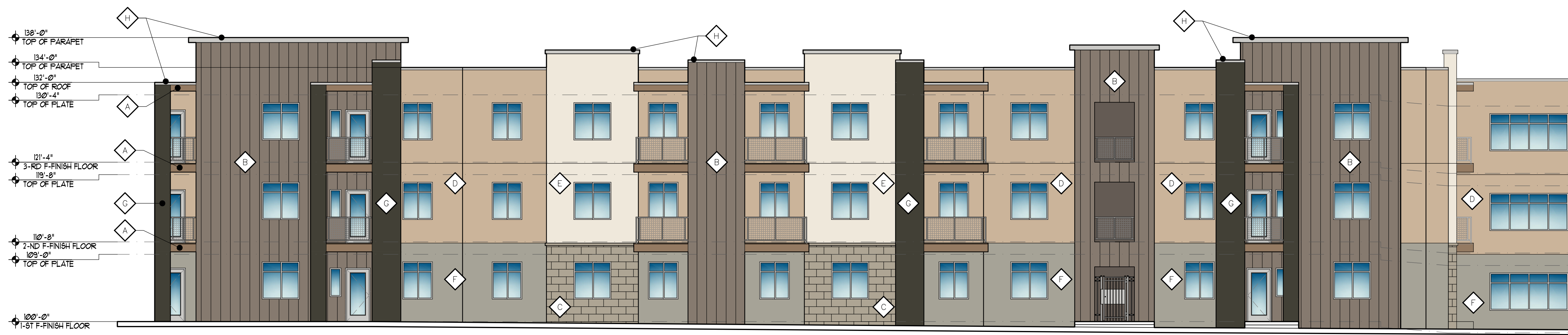


REV	DATE	BY	REVISION
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MODULUS ARCHITECTS
8220 SAN PEDRO DR. NE, SUITE 520
ALBUQUERQUE, NEW MEXICO 87113
PHONE (505) 338-1499 FAX (505) 338-1498

Landscape Architect
STATE OF NEW MEXICO
DANNY D. MITCHELL
239
REGISTERED LANDSCAPE ARCHITECT
August 28, 2024

PROJECT TITLE	DRAWN BY:
PROJECT NUMBER	FW
JOB NO.	
SHEET TITLE	
DATE:	Sheet
SCALE:	Project NO.
AS NOTED	2024-001
	DRAWING NO.
	LS-101



1 PARTIAL NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 PARTIAL NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES					
MARK	MATERIAL	MANUFACTURER	SPECIFICATION	COLOR	PRODUCT COLOR NAME
◆	COMPOSITE WOOD FASCIA	TIMBERTECH	-	BROWN	TIGERWOOD
◆	BOARD & BATTEN METAL WALL PANEL	PAC-CLAD	-	SLATE	BURNISHED SLATE
◆	12x24 EXTERIOR TILE	DALTILE	DIGNITARY SERIES - COLORBODY PORCELAIN	TAUPE	SUPERIOR TAUPE #DR08
◆	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT	-	TAN	#394 - EARTHWARE
◆	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT	-	CREAM	#472 - CAPTAIN
◆	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT	-	WARM GRAY	#104 - DOVER SKY
◆	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT	-	BLACK/BROWN	#151 - COZY BLACK
◆	METAL PARAPET FASCIA	PAC-CLAD	-	SILVER	ANODIC CLEAR

REV	DATE	BY	REVISION
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MODULUS ARCHITECTS
 8220 SAN PEDRO DR. NE, SUITE 520
 ALBUQUERQUE, NEW MEXICO 87113
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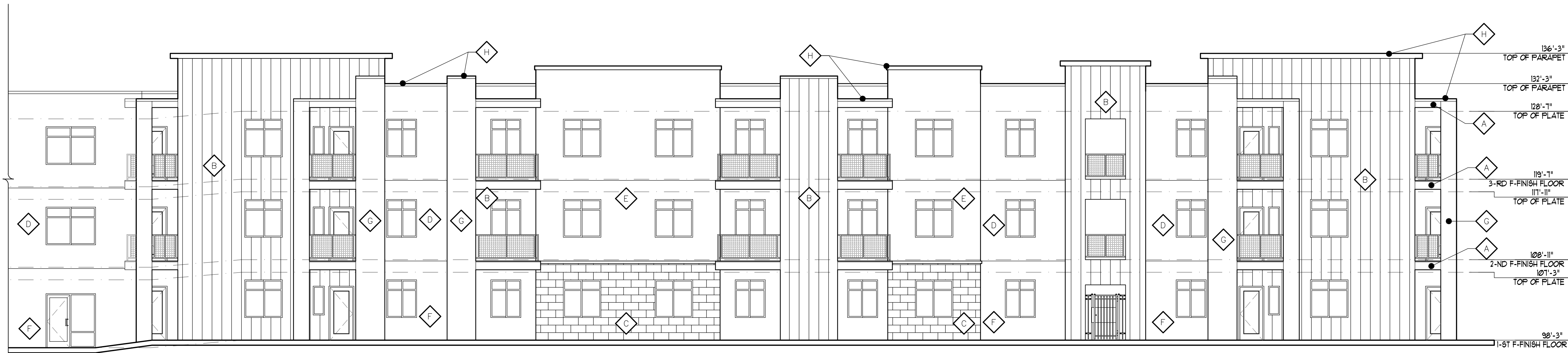
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CONSTRUCTION

NOT FOR CONSTRUCTION

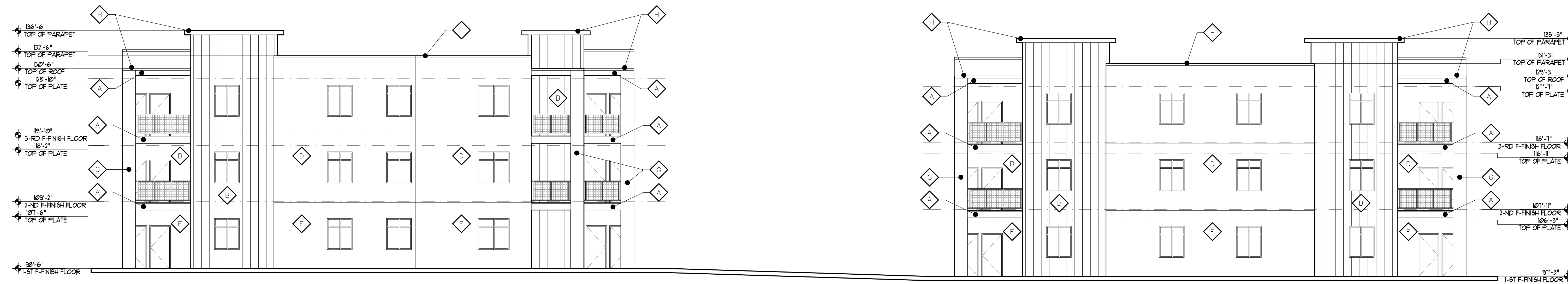
PROJECT TITLE CIBOLA LOOP APARTMENTS CIBOLA LOOP NW ALBUQUERQUE, NM	JOB NO. ..	DRAWN BY: CDC
PROJECT MANAGER STEPHEN DUNBAR, AIA	SHEET TITLE EXTERIOR ELEVATIONS	
DATE 08/06/2024	SHEET NO. A201	SCALE AS NOTED



1 PARTIAL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 PARTIAL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES					
MARK	MATERIAL	MANUFACTURER	SPECIFICATION	COLOR	PRODUCT COLOR NAME
1	COMPOSITE WOOD FASCIA	TIMBERTECH		BROWN	TIGERWOOD
2	BOARD & BATTEN METAL WALL PANEL	PAC-CLAD		SLATE	BURNISHED SLATE
3	12x24 EXTERIOR TILE	DALTILE	DIGNITARY SERIES - COLORBODY PORCELAIN	TAUPE	SUPERIOR TAUPE #DR0B
4	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT		TAN	#394 - EARTHWARE
5	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT		CREAM	#472 - CAPTAIN
6	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT		WARM GRAY	#104 - DOVER SKY
7	3-COAT STUCCO WITH ACRYLIC FINISH	DRYVIT		BLACK/BROWN	#151 - COZY BLACK
8	METAL PARAPET FASCIA	PAC-CLAD		SILVER	ANODIC CLEAR

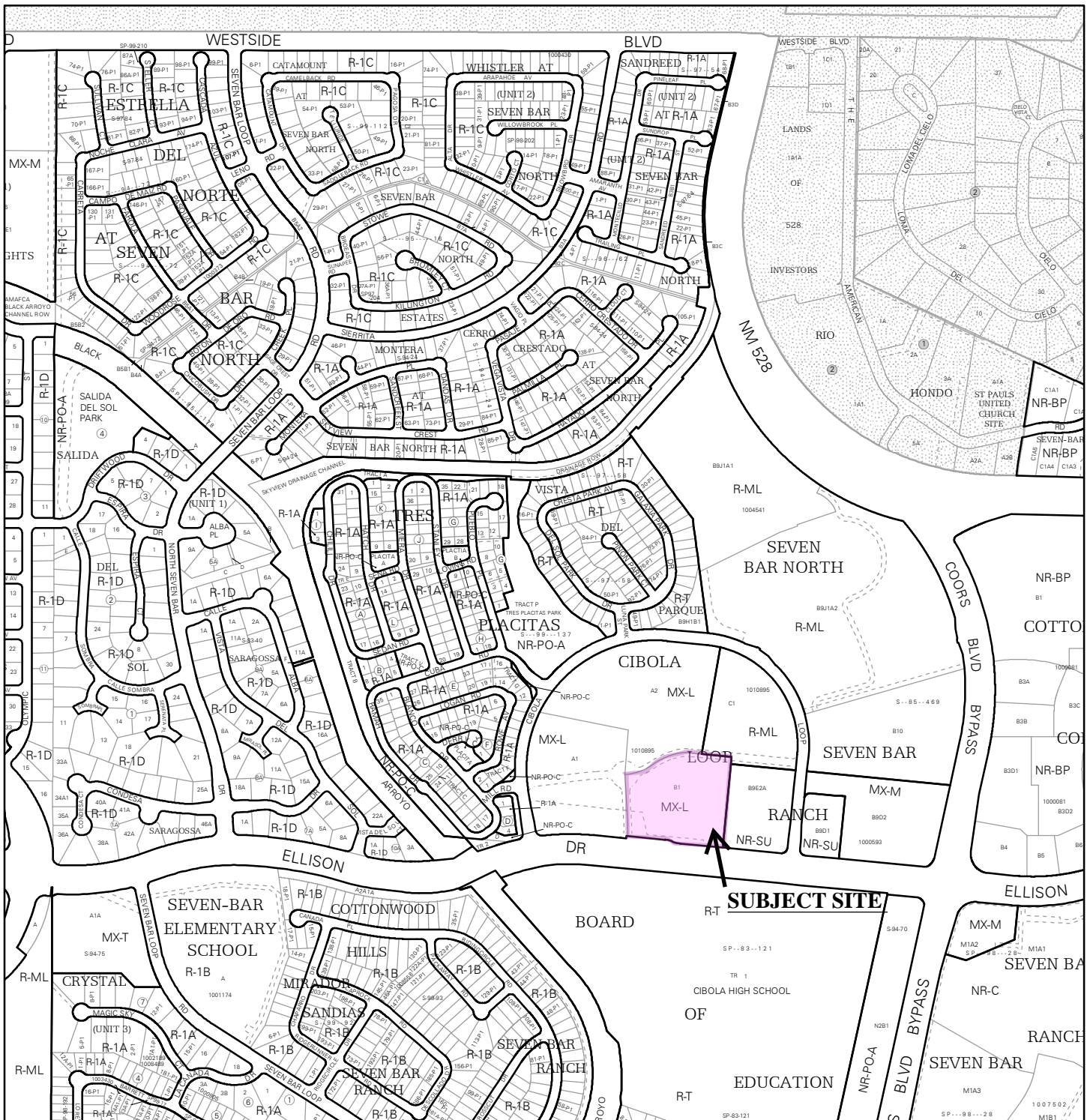
REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

MODULUS ARCHITECTS
 8220 SAN PEDRO DR. NE, SUITE 520
 ALBUQUERQUE, NEW MEXICO 87113
 PHONE (505) 338-1499

PRELIMINARY
NOT FOR
CONSTRUCTION

NOT FOR CONSTRUCTION

PROJECT TITLE CIBOLA LOOP APARTMENTS CIBOLA LOOP NW ALBUQUERQUE, NM	JOB NO. ..	DRAWN BY: CDC
PROJECT MANAGER STEPHEN DUNBAR, AIA	SHEET TITLE EXTERIOR ELEVATIONS	
DATE: 08/06/2024	SHEET: -	
SCALE: AS NOTED	A202	



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
A-13-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

Regina Okoye

From: Regina Okoye
Sent: Monday, December 2, 2024 10:09 AM
To: 'learrael@aol.com'; 'gforrest47@comcast.net'; 'aboard111@gmail.com'; 'elizabethkayhaley@gmail.com'
Cc: Angela Piarowski
Subject: Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail - 99999 Cibola Loop NW
Attachments: 8.2 - Emailed-Notice-Administrative-Print&Fill.pdf; ONC Response.pdf; Cibola Loop_AS101_20241126.pdf; 4.4 - Cibola Loop Apartments, LS- 101b- PL.PDF; 4.3 - Cibola Loop_A202.pdf; 4.2 - Cibola Loop_A201.pdf; 04 - IDOZoneAtlasPage_A-13-Z.PDF; 8.3 - CABQ_Public_Notice_Checklist.pdf

**Public Notice of a Proposed Project in the City of Albuquerque
Administrative Review/Decision – Electronic Mail**

Date of Notice*: 12/2/24

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [§14-16-6-4\(K\) Public Notice](#). This notice is being provided to the Neighborhood Representatives on the attached list from the City of Albuquerque's Office of Neighborhood Coordination.

Project Information Required by [IDO §14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 99999 CIBOLA LOOP NW
Location Description Along Ellison DRNW
2. Property Owner* VIENTECILLO LLC
3. Agent/Contractor [if other than the property owner] Modulus Architect & Land Use Planning (agent)
4. Application(s) Type* per IDO [Table 6-1-1](#)
 - Historic Certificate of Appropriateness – Minor
 - Sign Permit
 - Alternative Signage Plan
 - Wall/Fence Permit
 - Site Plan – Administrative

Summary of project/request*:

THE PROPOSED PROJECT IS A THREE STORY APARTMENT BUILDING. THE PROJECT IS LOCATED ALONG ELLISON RD, JUST WEST OF COORS. THE STRUCTURE HAS A TOTAL BUILDING AREA OF 64,58 SF. THE AMENITIES INCLUDE A PARKOUR EXERCISE AREA WITH EV CHARGING SPACE. THE PROPOSED USE IS ALLOWED WITHIN R-ML ZONE DISTRICT.

5. This application will be decided by staff. Please contact devhelp@cabq.gov or call the Planning Department at 505-924-3860 and select option for Development Review Services.

6. Where more information about the project can be found*:

Preferred project contact information:

Name: Regina Okoye
Email: Rokoye@modulusarchitects.com
Phone: 505.338.1499 (Ext. 1003)

- Attachments:
 - Neighborhood Association Representative Contact List from the City's Office of Neighborhood Coordination*
 - Others: _____
- Online website or project page: _____

Project Information Required for Email Notice by [IDO §14-16-6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*¹ A-13-Z
2. Project Illustrations, as relevant*²
 - Architectural drawings
 - Elevations of the proposed building(s)
 - Other illustrations of the proposed application

See attachments or the website/project page noted above for the items marked above
3. The following exceptions to IDO standards have been requested for this project*:
 - Deviation(s) Variance(s)³ Waiver(s)⁴

Explanation*:
N/A

4. **For Site Plan – Administrative Applications only***,

Attach the proposed site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*
- d. For residential development*: Maximum number of proposed dwelling units.
- e. For non-residential development*:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

[Note: Items with an asterisk (*) are required.]

Pre-submittal Neighborhood Meeting date, if it occurred: 10.21.2024

Brief Meeting Summary:

A facilitated neighborhood meeting was offered and held on 10.21.2024. This was the second meeting for this proposed developments. The first, held in December 2023, reviewed the (ultimately successful) application to the EPC for a zone change. This pre-application meeting reviewed the site plan and elevations for a 171-unit three-story apartment building on the south side of the larger Cibola Loop parcel. In her presentation, the agent/architect noted that there have been several development proposals over the years for this area. In this case, the project is intended to complement and coordinate with the City's Multigenerational Center being built in the northwest area of the larger parcel. She responded to questions provided in advance by the local neighborhood association as well as additional questions posed by attendees. (The list of 38 questions and responses is appended to this report.) Concerns and queries expressed by neighbors included potential traffic congestion, noise and disruption during construction, ongoing responsiveness to neighbors, as well as features of the site plan and elevations. There were several questions about the necessity of yet another apartment building in that area of the West Side.

[Note: The meeting report by the Office of Alternative Dispute Resolution is required to be provided in the application materials.]

Additional Information from IDO Zoning Map⁵:

1. Area of Property [typically in acres] +/- 5.1785
2. IDO Zone District(s) R-ML
3. Overlay Zone(s) [if applicable] CPO-2
4. Center or Corridor Area [if applicable] Seven Bar Loop Rd & Cottonwood Drive Major Transit Corridor
5. Current Land Use(s) [vacant, if none] Vacant

Carlisle Seven Bar Loop Rd & Cottonwood Drive Major Transit Corridor Major Transit Corridor

NOTE: Pursuant to [IDO §14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice for a Site Plan – Administrative application that proposes more than 100 multi-family dwelling units or more than 50,000 s.f. of nonresidential development. To request a facilitated meeting, contact the Planning Department at devhelp@cabo.gov or 505-924-3860 and select the option for “Development Review Services”.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map:

<https://tinyurl.com/idozoningmap>

Regina Okoye, Vice President

Modulus Architects & Land Use Planning, Inc.

8220 San Pedro Dr. NE, Suite 520 (Paseo Nuevo Building)

Albuquerque, New Mexico 87113

Office 505.338.1499 (Ext. 1003)

Mobile + Text 505.267.7686

Direct: 505.808.3868

Email: rokoye@modulusarchitects.com

Meet Modulus Link Here: [Meet Modulus Architects & Land Use Planning Here!](#)

Website: www.modulusarchitects.com

Join us on Facebook: [Modulus Architects on Facebook](#)

Join us on Instagram: [Modulus Architects on Instagram](#)

New Mexico | Texas | Arizona | Colorado | Florida | Utah | Illinois

