

October 29, 2025
Development Facilitative Team (DFT)
600 2nd St NW, Albuquerque, NM 87102

RE: Project: PR-2022-007565; SP2025-00075- SITE PLAN DFT Comment responses

To whom it may concern,
I am in receipt of comments provided on 10/22/2025 and have provided the following revisions, and responses to those comments:

Code Enforcement

1. Wall along Westside is shown as a 6-foot opaque wall. However, the wall height is limited to 3 ft in height in front yard setback, as per IDO 5-7(D) Table 5-7-1, or up to 4 feet on the front parking lot edge as meeting a parking lot buffer requirement, as per IDO 5-6(F)(1)(i).
Response: Site plan has been revised to show a 4'-0" screen wall along the front parking lot edge. This wall will provide the required parking lot buffer as indicated in Comment #2.
2. Parking spaces along Westside require parking lot buffer wall, as noted above, or will require a 10-foot landscape buffer, as per the same section, IDO 5-6(F)(1)(i). This is cited in the Landscape Plan note #9, but it does not appear to be implemented
Response: A 4-foot tall parking lot screen wall will be used for in lieu of the 10-foot landscape buffer referenced.
3. Lighting: Light fixtures, IDO 5-8(E): General Design and Illumination Standards. Provide documentation showing how requirements are being met:
 - a. Light fixture types/detail sheets to show how the light fixtures meet required cut-off angle requirements for building mounted and pole mounted lighting.
 - b. Provide detail sheet of light poles (if any), with height limited as per IDO Table 5-8-1.
Response: No light poles to be incorporated into this project.
4. Lighting: Designation for Zone District, IDO 5-8(F): Must show compliance with standards:
 - a. Lighting Designation, IDO 5-8(F), Table 5-8-2. Property is designated an LZ-2 light zone.
Response: A lighting sheet has been added to the set. This designation has been included in the notes.
 - b. Light Trespass, IDO 5-8(F)(4), Table 5-8-3: Provide photometric site plan showing how total illumination (from interior and exterior light sources) complies with light trespass requirements at the property line for the LZ-2 light zone.
Response: A photometric site plan has been added to the set which illustrates compliance.
5. Lighting: Total Lumen Allowance, IDO 5-8(G): Provide documentation of compliance with Total Lumen Allowance and Total Lumens allowed per dwelling, IDO Table 5-8-4.
Response: A lighting sheet has been added to the set. Compliance has been indicated in the notes.

6. Lighting: Additional Standards, IDO 5-8(H): Show compliance with IDO 5-8(H)(1)(b) Residential Recreational Amenity and Private Parks, regarding lighting for small courts (the pickleball courts).

Response: Courts will be closed at dusk. No additional lighting to be added for this location.

7. Signage to be submitted by separate permit and meet requirements of IDO 5-12, Table 5-12-3.

Response: Signage to be submitted by separate permit.

Hydrology

Hydrology has further comments.

Water Authority

1. Availability Statement #250618 has been issued and provides the conditions for service. Routine connections are available.

Response: Confirmed.

2. Need to have Service Connection Agreement approved prior to final approval. Master Utility Plan.

Response: Service Agreement has been requested.

3. Need to show all utility easements as "public" or "private" and dimension each easement.

Response: All existing easements have been labeled on the master utility plan. No additional easements are being requested, public or private.

Transportation

1. No Comments.
2. As a reminder, an approved full TCL will be required prior to building permit.

Planning

1. Add a detail to the elevations sheet showing the proposed 6' opaque fence shown as keyed note #6 on the site plan.

Response: Detail showing proposed material and construction of the opaque fence has been added to sheet A201.

2. One (1) tree is required per 10 parking spaces. Calculations must be added to the landscape plan data.

Response: This has been added to drawings

3. At least 75 percent of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet.

Response: Design meets this requirement

4. Project and application numbers must be added to the Site Plan.

Response: Project and application numbers have been added to the site plan/ signature page.

5. Add the gravel coverage calculations for the 1/2" Blush Gravel and 2-4" Gold Gravel.

Response: This has been added to the drawings

6. For any required infrastructure, a completed IL-Infrastructure List will be needed for public Infrastructure needs.

Response: All infrastructure is private and therefore does not require an infrastructure list.

7. An IIA-Infrastructure Improvements Agreement with a financial guarantee will be required prior to final signoff of the site plan or plat.

Response: All infrastructure is private and therefore does not require an IIA.

Parks and Recreation

1. There is existing paved multi-use trail along the northside of Westside Blvd adjacent to the northern edge of the project site. Please confirm compliance with the following:

- a. Screening of mechanical equipment and support areas

Response: All equipment will be at grade and will be screened by the 6'-0" opaque wall designated as keyed note #6 on site plan.

- b. Loading Service and Refuse areas.

Response: The project will provide a compactor as approved by the solid Waste Department. The compactor will be screened with a 6'-0" stucco enclosure as detailed on sheet R001.

2. Are any walls are being proposed along Westside Blvd.?

Response: There will be a 4-foot parking lot buffer wall installed along Westside Blvd. See Responses #1 and #2 for Code Enforcement.

3. Parking lot screening will be required along Westside Blvd. Parks and Recreation defers to Planning Department.

Response: See response #1.

4. Serviceberries struggle with heat and high UV rays and are only recommended as an understory planting, per local nurseries. Serviceberry is also not on the Official Plant Palette. Please replace it with another species.

Response: Serviceberry has been removed from the project and replaced with plants from the official plant palette.

PROJECT: _____

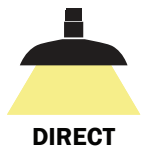
TYPE: _____

QUANTITY: _____



PN: 4W

APPLICATION	<ul style="list-style-type: none"> • WALL MOUNT • INDOOR OR OUTDOOR RATED
DIMENSION	<ul style="list-style-type: none"> • 16" (40CM)
ILLUMINATION	<ul style="list-style-type: none"> • DIRECT • LED 90CRI • 1,342 - 1,846 LUMENS
ELECTRICAL	<ul style="list-style-type: none"> • 120V, 277V, AND 347V • 10kA SURGE SUPPRESSION STANDARD
DRIVER	<ul style="list-style-type: none"> • WALL MOUNT (INTEGRAL) • REMOTE MOUNT (INDOOR OR OUTDOOR)
DIFFUSERS	<ul style="list-style-type: none"> • CLEAR OR FROSTED, ELONGATED, GLASS GLOBE
MOUNTING	<ul style="list-style-type: none"> • WALL, MOUNTED TO A 4"(10CM) J-BOX
CONSTRUCTION	<ul style="list-style-type: none"> • ALUMINUM
FINISHES	<ul style="list-style-type: none"> • AVAILABLE ANODIZED, BRUSHED, AND IN SEVERAL TMS POWDER COATED FINISHES • CUSTOM RAL FINISHES AVAILABLE
DIMMING	<ul style="list-style-type: none"> • 0 - 10V STANDARD DIMMING
WEIGHT	<ul style="list-style-type: none"> • 6.7 LB MAXIMUM





FORTE™ WALL

PROJECT: _____
 TYPE: _____
 QUANTITY: _____

4W

1 2 3 4 5 6 7 8 9 10

1.	I					O				
APPLICATION	INDOOR					OUTDOOR				

2.	100IN	15LED	17LED	19LED
ILLUMINATION	MED BASE (MAX 100W INC)	15W LED	17W LED	19W LED
LED (W)	100W	15W	17W PAR38 E26 MED. BASE, 4000K, 60°	19W
LUMENS	1342	1383	---	1846

3.	---	30K	35K	40K
LED CCT	NONE	3000K	3500K	4000K

4.	120	277	347
VOLTAGE	120V	277V	347V

5.	---	WM	N1	N4
DRIVER	NONE	WALL MOUNT (INTEGRAL)	REMOTE INDOOR MOUNT (NEMA 1)	REMOTE OUTDOOR MOUNT (NEMA4)

6.	F04	F05	F15	F16	F09	F31	F18	F06	F07	F08
FINISH ¹	MATTE WHITE	GLOSS WHITE	MATTE BLACK	GLOSS BLACK	PEWTER	SILVER METALLIC	SATIN ALUMINUM	CLAY BROWN	ZEUS BROWN	MIDNIGHT BLUE
	F10	F11	F13	F14	F21	F22	F24	F25	F26	F28
	FIRE RED	CITRUS ORANGE	FOREST GREEN	SUNSHINE YELLOW	ARCH. BRONZE	HARVEST GOLD	MELTED PLATINUM	MELTED GOLD	MELTED COPPER	DARK CAMPAGNE
	F32	F33	F38	F39	F40	F41	F42	F43	F44	F45
	BRONZE METALLIC	PYRITE BRONZE	MEADOW GREEN	AQUA BLUE	BUBBLE PINK	ELECTRIC PURPLE	FAUX CHROME	FAUX GOLD	FAUX COPPER	COPPER METALLIC
	RAL	BR	AN							
	CUSTOM (SPECIFY RAL)	BRUSHED ALUMINUM	ANODIZED							

7.	---	DIML
DIMMING	NONE	LED DIMMING (0 - 10V, CURRENT - SINKING)

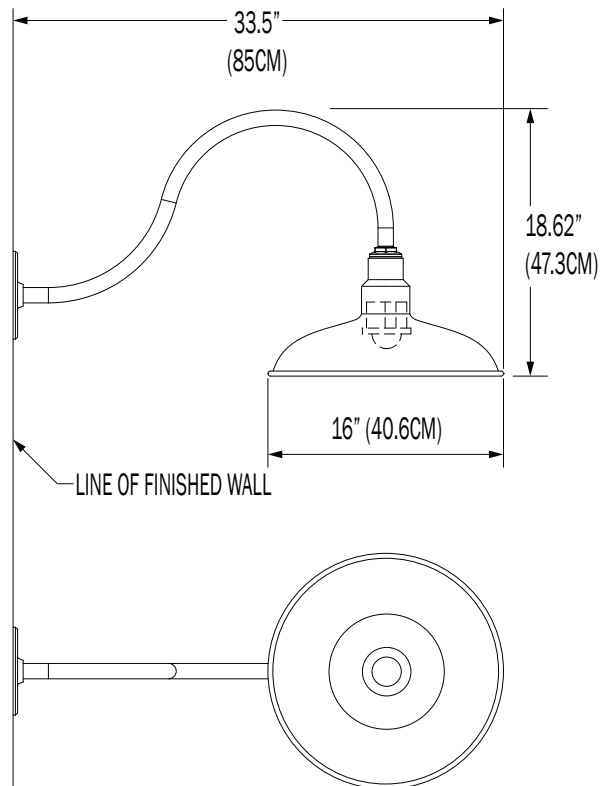
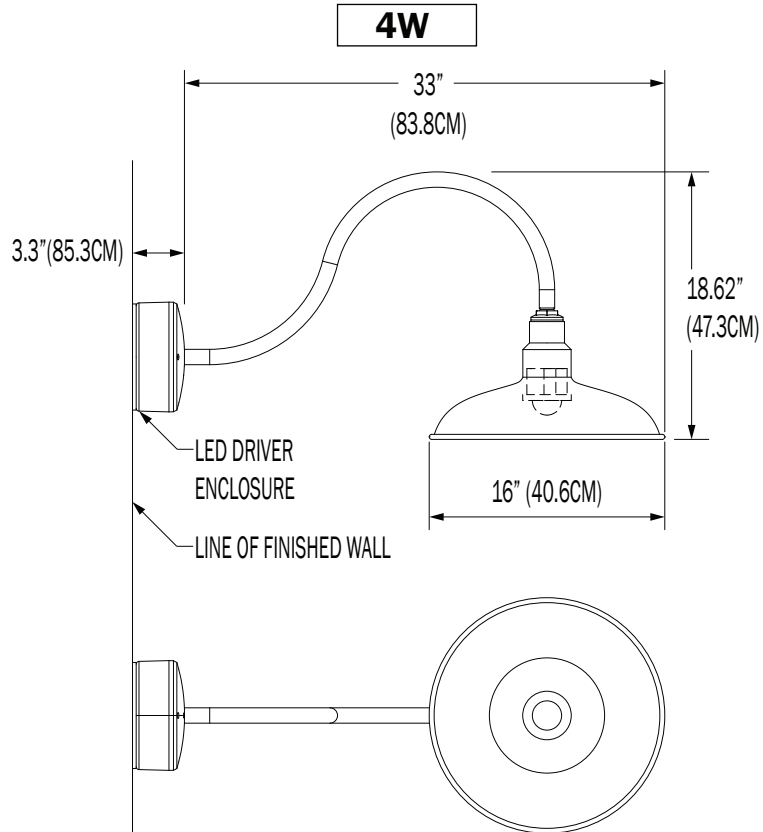
8.	---	EM	EMC	EMR	EMCR
EMERGENCY ²	NONE	INTEGRAL	INTEGRAL COLD PACK	REMOTE	REMOTE COLD PACK

9.	---	G1	G2
GLOBE/LENS ³	NONE	CLEAR, ELONGATED GLOBE	FROSTED GLOBE

10.	---	W16
WIRE GUARD	NONE	16" WIRE GUARD

1. TEXTURED FINISHES ARE APPLIED TO ALL AREAS OF THE REFLECTOR
 2. 10W AT 90 MINUTES. EMERGENCY OPTION IS ONLY AVAILABLE IN 120 - 277V SYSTEMS
 3. GLOBES ARE NOT AVAILABLE WITH 17W LED PAR 38 LAMPS

NOTE: SOME OPTIONS MAY NOT BE COMPATIBLE WITH OTHERS. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. CONTACT TMS LIGHTING FOR UPDATED SPECIFICATIONS.



CUSTOM

NOTE: THIS FIXTURE CAN BE CUSTOMIZE. DIMENSION, LAMP TYPES, ENCLOSURE, AND COLOR CAN BE MODIFIED TO SUIT YOUR LIGHTING AND ARCHITECTURAL REQUIREMENTS. CONTACT YOUR LOCAL REPRESENTATIVE FOR MORE DETAILS: <https://tmslighting.com/sales-agents.html>

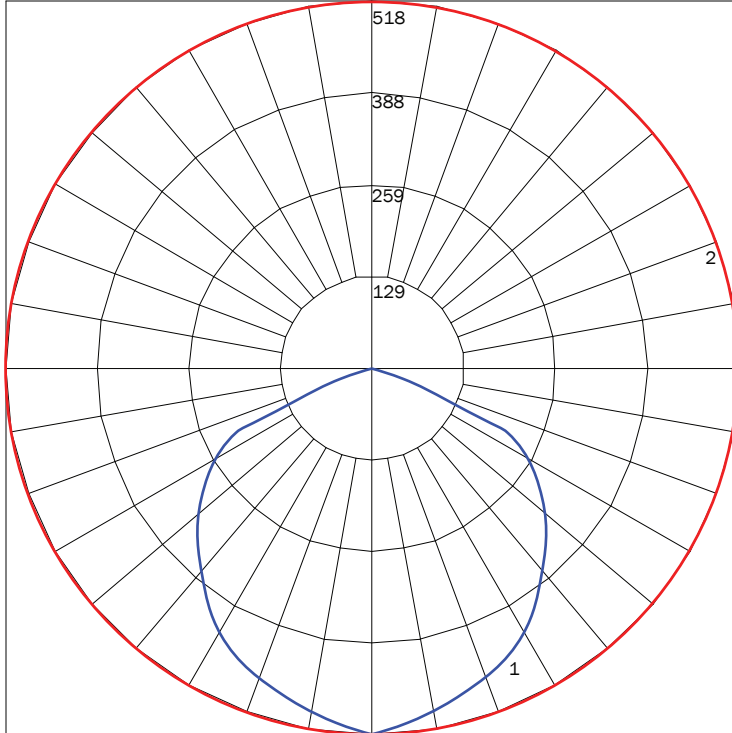
DIRECT

PN	ILLUMINATION	LUMENS	WATTAGE
4W	100IN	1342	100
	15LED	1383	15
	19LED	1846	19

IES INDOOR REPORT

PHOTOMETRIC FILENAME : 4W 15LED 35K WM F05.IES

POLAR GRAPH



MAXIMUM CANDELA = 517.65 LOCATED AT HORIZONTAL ANGLE = 90, VERTICAL ANGLE = 0
 # 1 - VERTICAL PLANE THROUGH HORIZONTAL ANGLES (90 - 270) (THROUGH MAX. CD.)
 # 2 - HORIZONTAL CONE THROUGH VERTICAL ANGLE (0) (THROUGH MAX. CD.)

LUMINAIRE LUMENS

1383

TOTAL LUMINAIRE EFFICIENCY

98%

LUMINAIRE EFFICACY RATING

92

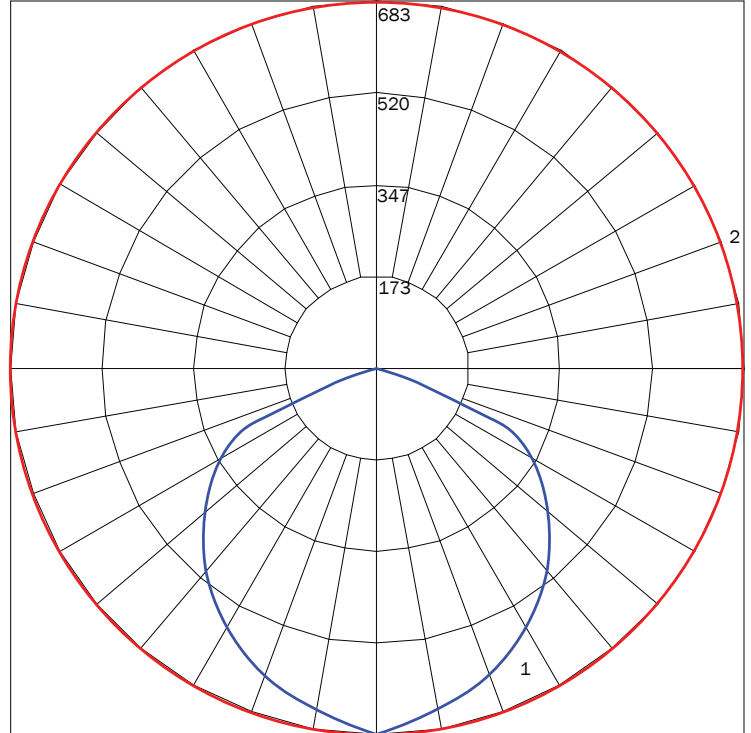
TOTAL LUMINAIRE WATTS

15

IES INDOOR REPORT

PHOTOMETRIC FILENAME : 4W 19LED 35K WM F05.IES

POLAR GRAPH



MAXIMUM CANDELA = 693.43 LOCATED AT HORIZONTAL ANGLE = 90, VERTICAL ANGLE = 0
 # 1 - VERTICAL PLANE THROUGH HORIZONTAL ANGLES (90 - 270) (THROUGH MAX. CD.)
 # 2 - HORIZONTAL CONE THROUGH VERTICAL ANGLE (0) (THROUGH MAX. CD.)

LUMINAIRE LUMENS

1846

TOTAL LUMINAIRE EFFICIENCY

98%

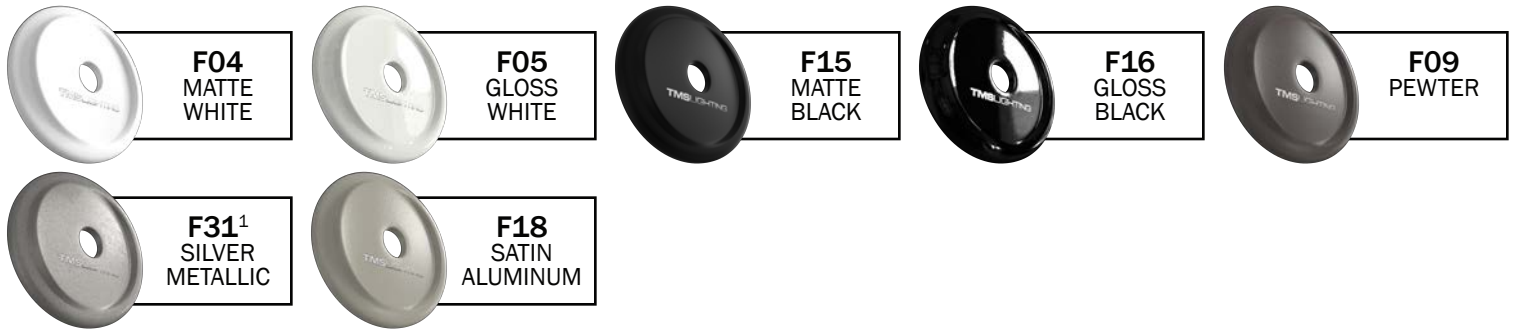
LUMINAIRE EFFICACY RATING

92

TOTAL LUMINAIRE WATTS

20

FINISHES



PREMIUM FINISHES



PREMIUM MATERIALS



1: FINISHES IS APPLIED TO THE INTERIOR AND EXTERIOR OF THE FIXTURE.

2: MATERIALS ARE CONSISTENT (INTERIOR & EXTERIOR). STEMS AND CANOPIES WILL BE F16 GLOSS BLACK.

NOTE: ALL FINISHES NOT MARKED WITH NOTATION (1) ARE APPLIED TO THE EXTERIOR ONLY. THE INTERIOR WILL BE F05 GLOSS WHITE. MATTE FINISHES AVAILABLE. CONSULT FACTORY.

FINISHES ARE SUBJECT TO AVAILABILITY AND MAY NOT BE APPLICABLE TO ALL FIXTURES OR FOR QUICKSHIP.

DISPLAYED FINISHES DIFFER BETWEEN SCREENS AS WELL AS PRINTERS AND MAY NOT ACCURATELY DEPICT COLOR.

TM LED Path Light

DESIGNER BASE



PROJECT

CATALOG #

TYPE

NOTES

Designed for mid-sized landscapes, the TM provides unmatched elegance and function in the aluminum constructed category. Its small cap provides a stylish presentation, but doesn't compromise on shine. Not only does it accomplish the function of path lighting, it does so with grace and style.

Quick Facts

- Die-cast aluminum

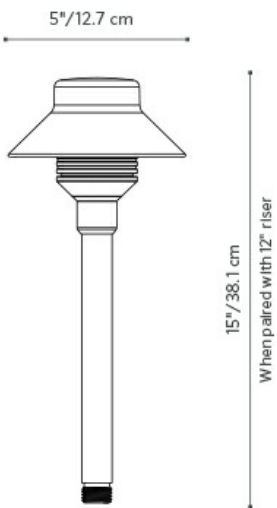
■ Lumileds® Integrated LEDs

■ Compatible with Luxor® technology

■ Input voltage: 10-15V
- Two-layer marine-grade anodization and powder coat finish

■ ProAim™ adjustability

■ Phase and PWM dimmable



Note: Example model shown has a 12" riser.

Footcandles (Lux)	TM Path Light - Recommended Spacing			
	1 LED		3 LED	
	12" Riser	18" Riser	12" Riser	18" Riser
0.1 fc (1.1 lx)	10.0' (3.0 m)	12.0' (3.7 m)	12.0' (3.7 m)	15.0' (4.6 m)
0.3 fc (3.2 lx)	7.5' (2.3 m)	6.0' (1.8 m)	9.0' (2.7 m)	12.0' (3.7 m)
0.5 fc (5.4 lx)	5.0' (1.5 m)	4.5' (1.4 m)	8.2' (2.5 m)	9.5' (2.9 m)
0.8 fc (8.6 lx)	3.5' (1.1 m)	3.5' (1.1 m)	7.5' (2.3 m)	7.0' (2.1 m)
1.0 fc (10.8 lx)	3.0' (0.9 m)	3.0' (0.9 m)	6.5' (2.0 m)	6.0' (1.8 m)
0.1 fc (1.1 lx) minimum spacing recommended for residential projects				
0.3 fc (3.2 lx) minimum spacing recommended for commercial projects				

Output	1LED	3LED	ZDC
Total Lumens†	62	166	73
Input Voltage	10 to 15V	10 to 15V	11 to 15V
Input Power (W)	1.9	4.0	6.0
Power Consumption (VA)	2.2	4.4	7.2
Efficacy (lm/W)	34	43	16
Color Rendering Index (CRI)	85	85	80+
Max Candela	55	91	41
Dimming			
Primary Dimming (Transformer)	Consult transformer specifications		
Secondary Dimming (Fixture)	Phase-cut**	Phase-cut**	Luxor
RGBW Available	No	No	Yes
Luxor Compatibility			
Default	Zoning	Zoning	--
ZD Option	Zoning/Dimming	Zoning/Dimming	--
ZDC Option	--	--	Zoning/Dimming/Color
Minimum Rated Life L70 (Hrs)	72,000	72,000	55,000

**For optimal performance, use a trailing-edge, phase-cut dimmer.

†Measured using the 2,700K CCT option.

TM Path Light - Recommended Spacing

Footcandles (Lux)	1 LED		3 LED	
	12" Riser	18" Riser	12" Riser	18" Riser
0.1 fc (1.1 lx)	10.0' (3.0 m)	12.0' (3.7 m)	12.0' (3.7 m)	15.0' (4.6 m)
0.3 fc (3.2 lx)	7.5' (2.3 m)	6.0' (1.8 m)	9.0' (2.7 m)	12.0' (3.7 m)
0.5 fc (5.4 lx)	5.0' (1.5 m)	4.5' (1.4 m)	8.2' (2.5 m)	9.5' (2.9 m)
0.8 fc (8.6 lx)	3.5' (1.1 m)	3.5' (1.1 m)	7.5' (2.3 m)	7.0' (2.1 m)
1.0 fc (10.8 lx)	3.0' (0.9 m)	3.0' (0.9 m)	6.5' (2.0 m)	6.0' (1.8 m)

0.1 fc (1.1 lx) minimum spacing recommended for residential projects
0.3 fc (3.2 lx) minimum spacing recommended for commercial projects

TM LED Path Light SPECIFICATIONS

About FX Luminaire

As a leading manufacturer of landscape and architectural lighting, FX Luminaire provides innovative products, resources, and support to help customers bring their visions to life. The company offers a range of specification-driven solutions, including fixtures, controls, and accessories, to enhance residential and commercial landscapes.

Materials

Die-cast aluminum A380 housing, top/shade, and riser.

LED

Integrated LED module with Lumileds LEDs. Gold-plated connectors and conformal coated for maximum reliability and corrosion resistance. Proprietary on-board intelligent driver uses firmware-controlled temperature regulation, maximizing LED life. Field upgradeable and replaceable, the LEDs are rated to 72,000 hrs. Maximum drive current: 1 A.

Optics

Conical reflector maximizes distribution according to riser height. Color temperature lenses accessories available.

Threads

Machined aluminum with ½"-14 (13 mm) NPSM threads.

Finish

Two-layer protection of sulfuric acid anodization and polyester TGIC powder coat, providing superior outdoor weathering in all conditions. Tested to ASTM standards.

Hardware

Includes 12" (305 mm) ABS slotted installation spike.

Wiring

18 AWG (1 mm); SPT-1W; 220°F (105°C); 300V; 10' (3 m) length without riser.

Sockets

Socket contains MoistureBlock™ technology, preventing moisture from wicking up into sealed areas of the fixture.

Power

Input 10-15 VAC/VDC, 50/60Hz. Remote transformer required (specify separately).

Housing

Die-cast aluminum housing with capacity for 1LED, 3LED, or ZDC integrated LEDs.

Weight

4.0 lbs. (1.8 kg)

Lens

Frosted polycarbonate lens with high tolerance for thermal expansion, stress, and abuse.

International Compliance

Compliant per IEC 60598-1 and IEC 60598-2-4 when used with International Spike Kit ("EKITSPIKE") or alternate mount greater than or equal to IP65.

Ambient Operating Temperature

0°F to 140°F (-18°C to 60°C)

Installation Requirements

Designed for installation in the downward lighting direction only.

Control

Luxor ZD or ZDC options utilize Luxor technology to zone light fixtures in up to 250 groups, dim each group in 1% increments between 0 and 100%, or change to one of 30,000 colors with RGBW LEDs. Select the ZD option for zoning/dimming or ZDC for zoning/dimming/color. Standard fixture is zoneable with Luxor.

Manufacturing

ISO 9001:2015 certified facility.

Warranty

10-Year Limited Warranty

Listings



TM LED Path Light ORDERING INFORMATION

Fixture	Top Finish	Riser	Control	Power	Color Temp	Riser Height	Finish
TMLEDTA	BZ Bronze Metallic	A (Aluminum)	[Default] Zone with Luxor, On/Off, Phase Dimmable	1 LED 2.0W/2.4VA	[Default] Warm (2700K)	12RA	BZ Bronze Metallic
	DG Desert Granite		ZD Zone/Dim with Luxor	3 LED 4.0W/4.4VA	S Soft (3000K)	18RA	FB Black
	WI Weathered Iron		ZDC Zone/Dim/Color with Luxor	[default ZDC option] 6.0W/7.2VA		24RA	DG Desert Granite
	SB Sedona Brown						WI Weathered Iron
	FB Flat Black						SB Sedona Brown
	FW Flat White						FW Flat White
	SV Silver						SV Silver

-

-

-

-

-

-

-












EXAMPLE FIXTURE CONFIGURATION: TMLEDTA-XX-XXXX-XX

TM Path Light - Recommended Spacing



	1 LED		3 LED	
Footcandles (Lux)	12" Riser	18" Riser	12" Riser	18" Riser
0.1 fc (1.1 lx)	10.0' (3.0 m)	12.0' (3.7 m)	12.0' (3.7 m)	15.0' (4.6 m)
0.3 fc (3.2 lx)	7.5' (2.3 m)	6.0' (1.8 m)	9.0' (2.7 m)	12.0' (3.7 m)
0.5 fc (5.4 lx)	5.0' (1.5 m)	4.5' (1.4 m)	8.2' (2.5 m)	9.5' (2.9 m)
0.8 fc (8.6 lx)	3.5' (1.1 m)	3.5' (1.1 m)	7.5' (2.3 m)	7.0' (2.1 m)
1.0 fc (10.8 lx)	3.0' (0.9 m)	3.0' (0.9 m)	6.5' (2.0 m)	6.0' (1.8 m)



0.1 fc (1.1 lx) minimum spacing recommended for residential projects
0.3 fc (3.2 lx) minimum spacing recommended for commercial projects

MOUNTING OPTIONS: Specify Separately

Mounts	Catalog No.		Mounts	Catalog No.	
Long Slot Spike	250015840000		Three-Prong Spike	250020020000	
Super Slot Spike	753900		Straight Coupling	COUP-XX*	
Ground Mount for 2.0" Schedule 40 Post Mounting with 1/2" Thread	GM-XX*		Mini J-Box for 1/2" Thread	MJB-050-XX*	
ProAim® Ratcheting Spike	PARS		Super J-Box Spike	SJ-XX*	
VersaBox® Mount with 1/2" Thread	VB-050-XX*		Variable Height Riser for Up Lights	VHR-UL	
Aluminum Riser, 3/4" Diameter	YY*-R-XX*				

POWER OPTIONS: Specify Separately

Power	Catalog No.	
Luxor Low-Voltage CUBE	LCM-LV	
Step-Down Transformer, UV (120/277 V to 12 V)	ST-UV	

Power	Catalog No.	
Plug-In Transformer, 6 W	MT-6W	
Surge Protection Module-	SURGE-MOD	

PB LED Up Light DESIGNER PREMIUM



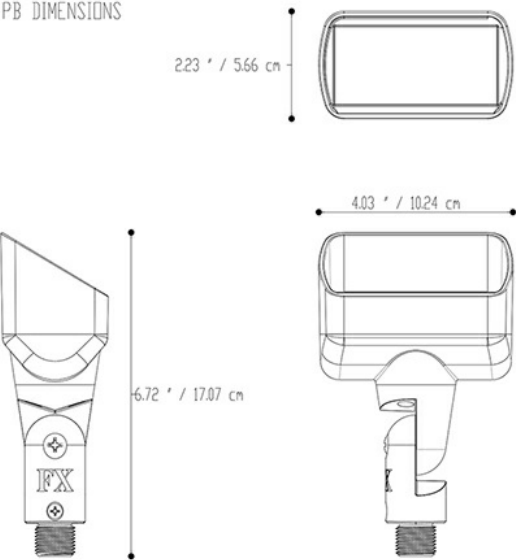
PROJECT
CATALOG #
TYPE
NOTES

The PB is a compact LED Wall Wash lighting solution. Available in one or three LED, and ZDC options. The wider angle of the PB allows a broader lighting option for larger structures and spaces. Engineered with solid construction, yet petite in size.

Quick Facts

- Die-cast aluminum or brass
- Two-layer marine-grade anodization and powder coat finish
- Natural brass and antique finishes
- Lumileds® Integrated LEDs
- ProAim™ adjustability
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V

PB DIMENSIONS



Output	1LED	3LED	3LEDT	ZDC
Total Lumens†	105	265	145	125-255
Input Voltage	10 to 15V	10 to 15V	10 to 15V	11 to 15V
Input Power (W)	1.9	4.0	4.2	6.0
VA	2.2	4.4	4.5	7.2
Efficacy (Lumens/Watt)	57	68	42	37
Color Rendering Index (CRI)	83	84	--	83
Center Beam Candlepower			304	122
Ver Wide Flood (90)	53	136		
Dimming	PWM, Phase**	PWM, Phase**	PWM, Phase**	--
RGBW Available	No	No	No	Yes
Luxor Compatibility				
Default	Zoning	Zoning	--	Zoning
ZD Option	Zoning/Dimming	Zoning/Dimming	Zoning/Dimming	--
ZDC Option	--	--	--	Zoning/Dimming/Color
Minimum Rated Life (L70)	L70 (hrs) 72,000	L70 (hrs) 72,000	L70 (hrs) 72,000	L70 (hrs) 72,000

** For optimal performance, use a trailing-edge, phase-cut dimmer.
† Measured using the 3,900K CCT lens. Multipliers for other CCTs include 0.80 (2,700K), 0.65 (4,500K), and 0.65 (5,200K).

PB LED Up Light SPECIFICATIONS

About FX Luminaire

As a leading manufacturer of landscape and architectural lighting, FX Luminaire provides innovative products, resources, and support to help customers bring their visions to life. The company offers a range of specification-driven solutions, including fixtures, controls, and accessories, to enhance residential and commercial landscapes.

Materials

Die-cast C360 brass housing, shroud, and knuckle/base assembly with brass hardware.

Knuckle

Die-cast brass knuckle with ½"-14 (13 mm) NPSM threads. Compress and lock features prevent slip after installation. 9° increments adjustability over 220

LED

Integrated module with Cree LEDs. Gold-plated connectors and conformal coated for maximum reliability and corrosion resistance. Proprietary on-board intelligent driver uses firmware-controlled temperature regulation, maximizing LED life. Field upgradeable and replaceable, the LEDs are rated to 50,000 hrs. Maximum drive current: 1 A.

Optics

Polycarbonate color temperature adjustment lenses included with fixture: 2,700K (preinstalled), 3,900K (no lens), 4,500K, and 5,200K. Color temperature lenses field serviceable. Beam angle is calculated using LM-79 method for SSL luminaires.

Finish

Options of natural brass finish, or antiqued finish with brushed (Antique Bronze) or tumbled (Antique Tumbled) effect. Antique finishes sealed with a clear TGIC powder coat layer

Hardware

Brass angle lock screw with setscrew. Includes ProAim ratcheting ABS spike for 360° horizontal rotation in 10° increments. Tamperresistant locking screw included.

Wiring

18 AWG (1 mm); SPT-1W; 220°F (105°C); 300V; 10' (3 m) length.

Sockets

Socket contains MoistureBlock™ technology, preventing moisture from wicking up into sealed areas of the fixture.

Power

Input 10-15VAC/VDC 50/60Hz. Remote transformer required (specify separately).

Housing

Die-cast brass housing with capacity for 1LED, 3LED, or ZDC integrated LEDs.

Glare Control

Die-cast brass shroud with 30° cutoff.

Weight

2.4 lbs. (1.1 kg)

Lens

Tempered frosted glass lens with shock resistance and high tolerance for thermal expansion and stress.

Ambient Operating Temperature

0°F to 140°F (-18°C to 60°C)

Installation Requirements

Designed for installation in the upward direction only.

Control

ZD or ZDC options utilize Luxor technology to zone light fixtures in up to 250 groups, dim each group in 1% increments between 0 and 100%, or change to one of 30,000 colors with RGBW LEDs. Select the ZD option for zoning/dimming or ZDC for zoning/dimming/color. Standard fixture is zoneable with Luxor

Manufacturing

ISO 9001:2015 certified facility

Warranty

10-year limited warranty

Listings



PB LED Up Light ORDERING INFORMATION

Fixture Control		Power	Color Temp	Compliance	Finish
PB	[Default] Zone with Luxor, On/Off, Phase Dimmable	1 LED 2.0W/2.4VA	[Default] Warm (2700K)	[default] North America (UL Listed)	BZ Bronze Metallic
	ZD Zone/Dim with Luxor	3 LED 4.0W/4.4VA	S Soft (3000K)	E International (CE Certified)	FB Black
	ZDC Zone/Dim/Color with Luxor	3 LEDT Wildlife-Friendly (585-595 nm)	C Cool (4000K)		DG Desert Granite
		[default ZDC option] 6.0W/7.2VA	[Default] Wildlife-friendly amber		WI Weathered Iron
			[Default] RGBW, ZDC Option Required		SB Sedona Brown
					FW Flat White
					SV Silver
					AB Antique Bronze
					AT Antique Tumbled
					NP Nickel Plate
					BS Natural Brass

-

-

-

-

-

EXAMPLE FIXTURE CONFIGURATION: PB-XX-XXXX-XX

PB-1LED - Illuminance at a Distance

Distance	Center Beam fc	Beam Width	
Feet (Meters)	Foot-Candles (Lux)	Vertical : 77.2 °	Horizontal : 90.8 °
3' (0.9 m)	5.9 fc (63 lx)	4.8 ft (1.5 m)	6.1 ft (1.9 m)
6.0' (1.8 m)	1.5 fc (16 lx)	9.6 ft (2.9 m)	12.2 ft (3.7 m)
9.0' (2.7 m)	0.7 fc (7 lx)	14.4 ft (4.4 m)	18.2 ft (5.5 m)
12.0' (3.7 m)	0.4 fc (4 lx)	19.2 ft (5.9 m)	24.3 ft (7.4 m)
15.0' (4.6 m)	0.2 fc (3 lx)	23.9 ft (7.3 m)	30.4 ft (9.3 m)
18.0' (5.4 m)	0.2 fc (2 lx)	28.7 ft (8.7 m)	36.5 ft (11.1 m)

PB-3LED - Illuminance at a Distance

Distance	Center Beam fc	Beam Width	
Feet (Meters)	Foot-Candles (Lux)	Vertical : 77.1 °	Horizontal : 91.8 °
3' (0.9 m)	15 fc (161 lx)	4.8 ft (1.5 m)	6.2 ft (1.9 m)
6.0' (1.8 m)	3.8 fc (40 lx)	9.6 ft (2.9 m)	12.4 ft (3.8 m)
9.0' (2.7 m)	1.7 fc (18 lx)	14.4 ft (4.4 m)	18.6 ft (5.7 m)
12.0' (3.7 m)	0.9 fc (10 lx)	19.1 ft (5.8 m)	24.8 ft (7.6 m)
15.0' (4.6 m)	0.6 fc (6 lx)	23.9 ft (7.3 m)	30.9 ft (9.4 m)
18.0' (5.4 m)	0.4 fc (5 lx)	28.7 ft (8.7 m)	37.1 ft (11.3 m)


























PB-3LEDT - Illuminance at a Distance

Distance	Center Beam fc	Beam Width	
Feet (Meters)	Foot-Candles (Lux)	Vertical : 29.2 °	Horizontal : 30.3 °
4.0' (1.2 m)	19 fc (203 lx)	2 ft (0.6 m)	2.2 ft (0.7 m)
8.0' (2.4 m)	5 fc (60 lx)	4 ft (1.3 m)	4.3 ft (1.3 m)
12.0' (3.7 m)	2 fc (23 lx)	6 ft (1.9 m)	6.5 ft (2.0 m)
16.0' (4.9 m)	1.2 fc (13 lx)	8 ft (2.5 m)	8.7 ft (2.7 m)
20.0' (6.1 m)	0.8 fc (9 lx)	10 ft (3.2 m)	10.8 ft (3.3 m)
24.0' (7.3 m)	0.5 fc (5 lx)	13 ft (3.9 m)	13 ft (3.9 m)




PB-ZDC - Illuminance at a Distance

Distance	Center Beam fc	Beam Width	
Feet (Meters)	Foot-Candles (Lux)	Vertical : 52.3 °	Horizontal : 54.1 °
4.0' (1.2 m)	7.6 fc (82 lx)	4 ft (1.2 m)	4 ft (1.3 m)
8.0' (2.4 m)	1.8 fc (21 lx)	8 ft (2.4 m)	8 ft (2.5 m)
12.0' (3.7 m)	0.9 fc (10 lx)	12 ft (3.6 m)	12 ft (3.8 m)
16.0' (4.9 m)	0.5 fc (5 lx)	16 ft (4.8 m)	16 ft (5.0 m)
20.0' (6.1 m)	0.3 fc (3 lx)	20 ft (6.0 m)	20 ft (6.2 m)
24.0' (7.3 m)	0.2 fc (2 lx)	24 ft (7.2 m)	25 ft (7.5 m)

MOUNTING OPTIONS: Specify Separately

Mounts	Catalog No.		Mounts	Catalog No.	
Long Slot Spike	250015840000		Three-Prong Spike	250020020000	
Lock Ring	250030410000SP		Super Slot Spike	753900	
Straight Coupling	COUP-XX*		90° Coupling	ELBW-050-XX*	
Gutter Mount	GM-SS		Ground Mount for 2.0" Schedule 40 Post Mounting with ½" Thread	GM-XX*	
2.5" Post Mount with Stabilizer	LS6054		Mini J-Box for ½" Thread	MJB-050-XX*	
Mini Mount	MM-050-XX*		ProAim® Ratcheting Spike	PARS	
Post Mount for 1.5" Schedule 40 Post Mounting with ½" Thread	PM-XX*		Super J-Box Spike	SJ-XX*	
TreeBox® Mount with ½" Thread	TB-XX*		T-Mount Coupling with ½" Thread	TMNT-050-XX*	
Tree Ring	TR-YY*-8P-XX*		VersaBox® Mount with ½" Thread	VB-050-XX*	
Variable Height Riser for Up Lights	VHR-UL		Wall Mount Knuckle	WM-XX*	
Single-Gang Wall Plate with ½" Thread	WP-1G-050-XX*		Round Wall Plate with ½" Thread	WP-RD-050-XX*	
1.0" (25 mm) Copper Riser for GT Path Light	YY*-R-GT-XX*		Sign Light Riser, Aluminum	YY*-R-SL-XX*	
Aluminum Riser, ¾" Diameter	YY*-R-XX*				

POWER OPTIONS: Specify Separately

Power	Catalog No.		Power	Catalog No.	
Plug-In Transformer, 6 W	MT-6W		Step-Down Transformer, UV (120/277 V to 12 V)	ST-UV	
	SURGE-MOD				

FB LED Up Light DESIGNER BASE

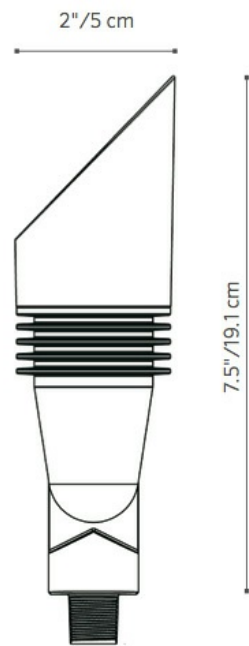


PROJECT
CATALOG #
TYPE
NOTES

Similar in style to its bigger brother the NP, the FB fits nicely into smaller landscapes and tight spaces. Accommodating up to a 3 LED Board, the FB offers all the same Up Light benefits of the NP in a more compact package.

Quick Facts

- Die-cast aluminum
- Two-layer marine-grade anodization and powder coat finish
- Cree® Integrated LEDs
- ProAim™ adjustability
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V



Output	1 LED	3 LED
Total Lumens†	114	282
Input Voltage	10 to 15V	10 to 15V
Input Power	1.9 W	4.0 W
Power Consumption (VA)	2.2 W	4.4 W
Efficacy (lm/W)	63	72
Color Rendering Index (CRI)	83	83
Center Beam Candle Power (CBCP)*		
Flood (35)	244	567
Dimming		
Primary Dimming (Transformer level)	Consult transformer specifications	
Secondary Dimming (Fixture level)	Phase-cut**	Phase-cut**
RGBW Available	No	No
Luxor Compatibility		
Default	Zoning	Zoning
ZD Option	--	Zoning/Dimming
ZDC Option	--	--
Mininum Rated Life L70 (Hrs)	72,000	72,000

*Information for Wide Flood available in IES files
**For optimal performance, use a trailing-edge (reverse phase-cut) dimmer
†Measured using the 2,700K CCT option

FX Luminaire

FX Luminaire is an industry-leading manufacturer of landscape and architectural lighting products with a focus on the advancement of LED technology and digital lighting control with zoning, dimming, and color adjustment capabilities. We offer a full spectrum of specification-driven lighting fixtures that can be utilized to create elegant, cutting-edge landscape lighting systems for commercial or residential applications. Our products are available exclusively via our extensive professional distributor network.

Materials

Die-cast aluminum A380 housing and shroud with stainless steel hardware. Die-cast zinc/aluminum alloy knuckle.

Knuckle

Die-cast zinc/aluminum alloy knuckle with ½"-14 (13 mm) NPSM threads. Compress and lock features prevent slip after installation. 9° increments adjustability over 220° of vertical adjustment.

LED

Integrated module with Cree LEDs. Gold-plated connectors and conformal coated for maximum reliability and corrosion resistance. Proprietary on-board intelligent driver uses firmware-controlled temperature regulation, maximizing LED life. Field upgradeable and replaceable, the LEDs are rated to 50,000 hrs. Maximum drive current: 1 A.

Optics

Polycarbonate color temperature adjustment lenses included with fixture: 2,700K (preinstalled), 3,900K (no lens), 4,500K, and 5,200K. Interchangeable optics for 10°, 20°, 30°-32°, or 55-58° distributions ordered pre-assembled to fixture. For additional color filters, spread lenses, hex baffles, etc., use MR-16 sized accessories (MR-16: 1.95" (49.5 mm) dia. x 1.1 mm thickness). Beam angle is calculated using LM-79 method for SSL luminaires.

Finish

Two-layer protection of sulfuric acid anodization and polyester TGIC powder coat, providing superior outdoor weathering in all conditions. Tested to ASTM standards.

Hardware

Stainless steel angle lock screw. Includes 10" (254 mm) ABS slotted installation spike.

Wiring

18 AWG (1 mm); SPT-1W; 220°F (105°C); 300V; 5' (1.5 m) length.

Sockets

Socket contains MoistureBlock™ technology, preventing moisture from wicking up into sealed areas of the fixture.

Power

Input 10-15VAC/VDC 50/60Hz. Remote transformer required (specify separately).

Housing

Die-cast aluminum housing with capacity for 1LED, 3LED, or ZDC integrated LEDs.

Glare Control

Die-cast aluminum shroud with 45° cutoff shroud.

Weight

1.92 lbs. (0.87 kg)

Lens

Tempered glass lens with shock resistance and high tolerance for thermal expansion and stress.

International Compliance

Compliant per IEC 60598-1 and IEC 60598-2-7 when used with the ground mount ("GM-XX"), or alternate mount greater than or equal to IP65, or by selecting the "e" version.

Ambient Operating Temperature

0°F to 140°F (-18°C to 60°C)

Sustainability

Innovation meets conservation in the design and manufacturing of our products. Where we can, we use recycled materials while maintaining superior functionality. Our LED products provide high-quality light at optimal energy efficiency, lifespan, and durability.

Installation Requirements

Designed for installation in the upward direction only.

Control

ZD option utilizes Luxor technology to zone light fixtures in up to 250 groups, and dim each group in 1% increments between 0 and 100%. Select the ZD option for zoning/dimming. Standard fixture is zoneable with Luxor.

Manufacturing

ISO 9001:2015 certified facility

Warranty

10 Years

Listings



Fixture	Control	Power	Compliance	Finish
FB	[Default] Zone with Luxor, On/Off, Phase Dimmable	1 LED 2.0W/2.4VA	[default] 12V (North America)	BZ Bronze Metallic
	ZD Zone/Dim with Luxor	3 LED 4.0W/4.4VA	E International (CE Certified)	FB Black
				DG Desert Granite
				WI Weathered Iron
				SB Sedona Brown
				FW Flat White
				SV Silver



EXAMPLE FIXTURE CONFIGURATION: FB-XX-XXXX-XX
























FB 1LED - Illuminance at a Distance

Distance	Center Beam fc	Beam Width	
Feet (Meters)	Foot-Candles (Lux)	Vertical : 19.3 °	Horizontal : 19.9 °
20.0' (6.1 m)	19.3 fc (208 lx)	1.4' (0.4 m)	1.4' (0.4 m)
4.0' (1.2 m)	4.8 fc (52 lx)	2.7' (0.9 m)	2.8' (0.9 m)
8.0' (2.4 m)	2.1 fc (23 lx)	4.1' (1.3 m)	4.2' (1.3 m)
12.0' (3.7 m)	1.2 fc (13 lx)	5.4' (1.7 m)	5.6' (1.7 m)
16.0' (4.9 m)	0.8 fc (9 lx)	6.8' (2.1 m)	7.0' (2.1 m)
24.0' (7.3 m)	0.5 fc (5 lx)	8.1' (2.6 m)	8.4' (2.6 m)

FB 3LED - Illuminance at a Distance

Distance	Center Beam fc	Beam Width	
Feet (Meters)	Foot-Candles (Lux)	Vertical : 17.3 °	Horizontal : 17.2 °
20.0' (6.1 m)	69.2 fc (745 lx)	1.2' (0.4 m)	1.2' (0.4 m)
4.0' (1.2 m)	17.3 fc (186 lx)	2.4' (0.7 m)	2.4' (0.7 m)
8.0' (2.4 m)	7.7 fc (83 lx)	3.6' (1.1 m)	3.6' (1.1 m)
12.0' (3.7 m)	4.3 fc (46 lx)	4.9' (1.5 m)	4.9' (1.5 m)
16.0' (4.9 m)	2.8 fc (30 lx)	6.1' (1.9 m)	6.1' (1.9 m)
24.0' (7.3 m)	1.9 fc (21 lx)	7.3' (2.2 m)	7.3' (2.2 m)



MOUNTING OPTIONS: Specify Separately

Mounts	Catalog No.		Mounts	Catalog No.	
Long Slot Spike	250015840000		Three-Prong Spike	250020020000	
Lock Ring	250030410000SP		Super Slot Spike	753900	
Straight Coupling	COUP-XX*		90° Coupling	ELBW-050-XX*	
Gutter Mount	GM-SS		Ground Mount with ½" Thread	GM-XX*	
Mini J-Box for ½" Thread	MJB-050-XX*		Mini Mount	MM-050-XX*	
ProAim® Ratcheting Spike	PARS		Post Mount	PM-XX*	
Super J-Box Spike	SJ-XX*		TreeBox® Mount with ½" Thread	TB-XX*	
T-Mount Coupling with ½" Thread	TMNT-050-XX*		Tree Ring	TR-YY*-8P-XX*	
VersaBox® Mount with ½" Thread	VB-050-XX*		Variable Height Riser for Up Lights	VHR-UL	
Wall Mount Knuckle	WM-XX*		Single-Gang Wall Plate with ½" Thread	WP-1G-050-XX*	
Round Wall Plate with ½" Thread	WP-RD-050-XX*		Sign Light Riser, Aluminum	YY*-R-SL-XX*	
Aluminum Riser, ¾" Diameter	YY*-R-XX*				

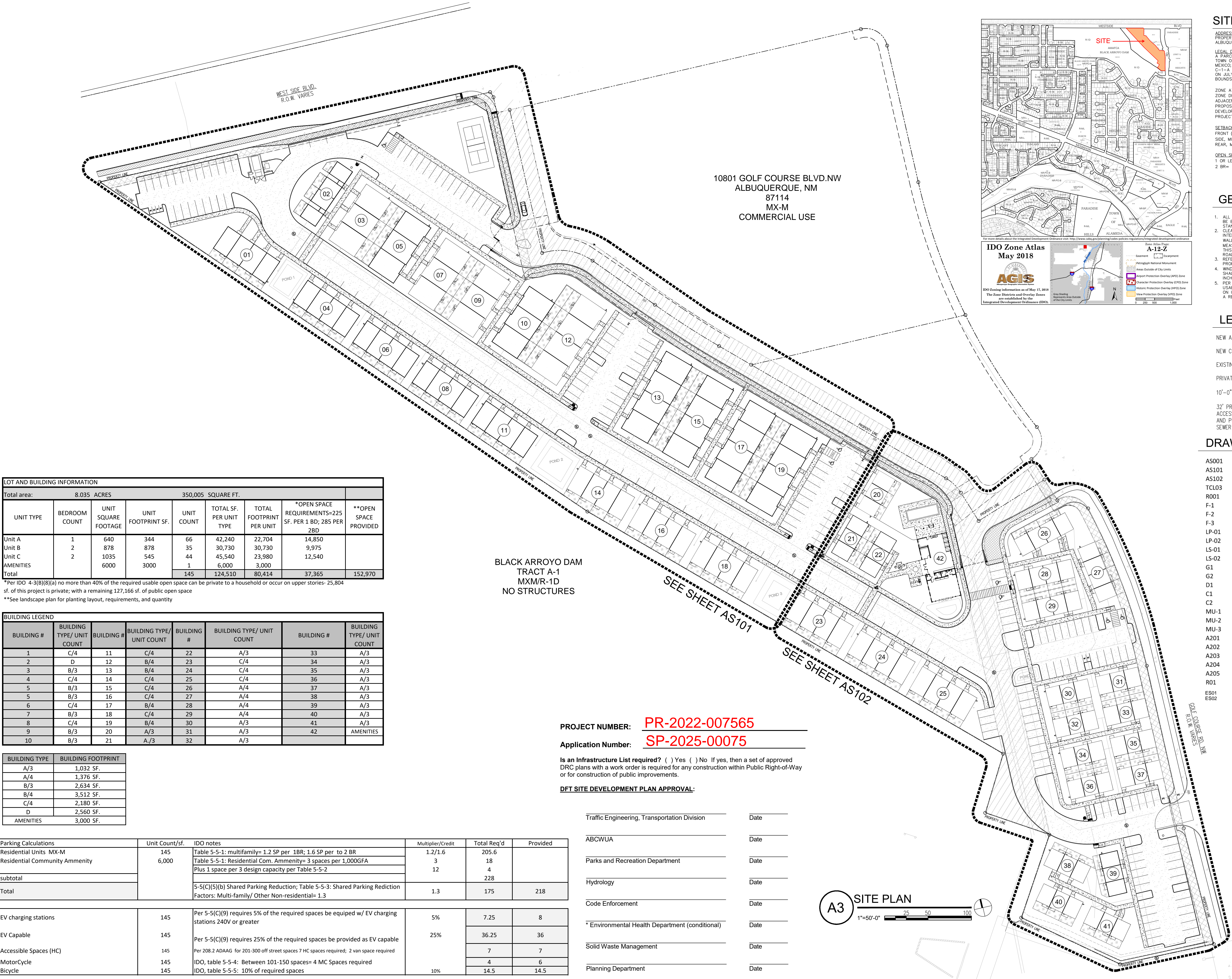
GLARE CONTROL: Specify Separately

Glare Control	Catalog No.		Glare Control	Catalog No.
Hex Baffle for MR-16 LED Lamps	250015260000			

POWER OPTIONS: Specify Separately

Power	Catalog No.	
Plug-In Transformer, 6 W	MT-6W	
Surge Protection Module	SURGE-MOD	
-		

Power	Catalog No.	
Step-Down Transformer, UV (120/277 V to 12 V)	ST-UV	



LOT AND BUILDING INFORMATION								
Total area:		8.035 ACRES		350,005 SQUARE FT.				
UNIT TYPE	BEDROOM COUNT	UNIT SQUARE FOOTAGE	UNIT FOOTPRINT SF.	UNIT COUNT	TOTAL SF. PER UNIT TYPE	TOTAL FOOTPRINT PER UNIT	*OPEN SPACE REQUIREMENTS=225 SF. PER 1 BD; 285 PER 2BD	**OPEN SPACE PROVIDED
Unit A	1	640	344	66	42,240	22,704	14,850	
Unit B	2	878	878	35	30,730	30,730	9,975	
Unit C	2	1035	545	44	45,540	23,980	12,540	
AMENITIES		6000	3000	1	6,000	3,000		
Total				145	124,510	80,414	37,365	152,970

*Per IDO 4-3(B)(8)(a) no more than 40% of the required usable open space can be private to a household or occur on upper stories- 25,804 sf. of this project is private; with a remaining 127,166 sf. of public open space
**See landscape plan for planting layout, requirements, and quantity

BUILDING LEGEND							
BUILDING #	BUILDING TYPE/ UNIT COUNT	BUILDING #	BUILDING TYPE/ UNIT COUNT	BUILDING #	BUILDING TYPE/ UNIT COUNT	BUILDING #	BUILDING TYPE/ UNIT COUNT
1	C/4	11	C/4	22	A/3	33	A/3
2	D	12	B/4	23	C/4	34	A/3
3	B/3	13	B/4	24	C/4	35	A/3
4	C/4	14	C/4	25	C/4	36	A/3
5	B/3	15	C/4	26	A/4	37	A/3
5	B/3	16	C/4	27	A/4	38	A/3
6	C/4	17	B/4	28	A/4	39	A/3
7	B/3	18	C/4	29	A/4	40	A/3
8	C/4	19	B/4	30	A/3	41	A/3
9	B/3	20	A/3	31	A/3	42	AMENITIES
10	B/3	21	A/3	32	A/3		

BUILDING TYPE	BUILDING FOOTPRINT
A/3	1,032 SF.
A/4	1,376 SF.
B/3	2,634 SF.
B/4	3,512 SF.
C/4	2,180 SF.
D	2,560 SF.
AMENITIES	3,000 SF.

Parking Calculations	Unit Count/sf.	IDO notes	Multiplier/Credit	Total Req'd	Provided
Residential Units MX-M	145	Table 5-5-1: multifamily= 1.2 SP per 1BR; 1.6 SP per 2 BR	1.2/1.6	205.6	
Residential Community Amenity	6,000	Table 5-5-1: Residential Com. Amenity= 3 spaces per 1,000GFA	3	18	
		Plus 1 space per 3 design capacity per Table 5-5-2	12	4	
subtotal				228	
Total		5-5(C)(5)(b) Shared Parking Reduction; Table 5-5-3: Shared Parking Rediction Factors: Multi-family/ Other Non-residential= 1.3	1.3	175	218
EV charging stations	145	Per 5-5(C)(9) requires 5% of the required spaces be equipped w/ EV charging stations 240V or greater	5%	7.25	8
EV Capable	145	Per 5-5(C)(9) requires 25% of the required spaces be provided as EV capable	25%	36.25	36
Accessible Spaces (HC)	145	Per 208.2 ADAAG for 201-300 off street spaces 7 HC spaces required; 2 van space required		7	7
MotorCycle	145	IDO, table 5-5-4: Between 101-150 spaces= 4 MC Spaces required		4	6
Bicycle	145	IDO, table 5-5-5: 10% of required spaces	10%	14.5	14.5

BLACK ARROYO DAM
TRACT A-1
MXM/R-1D
NO STRUCTURES

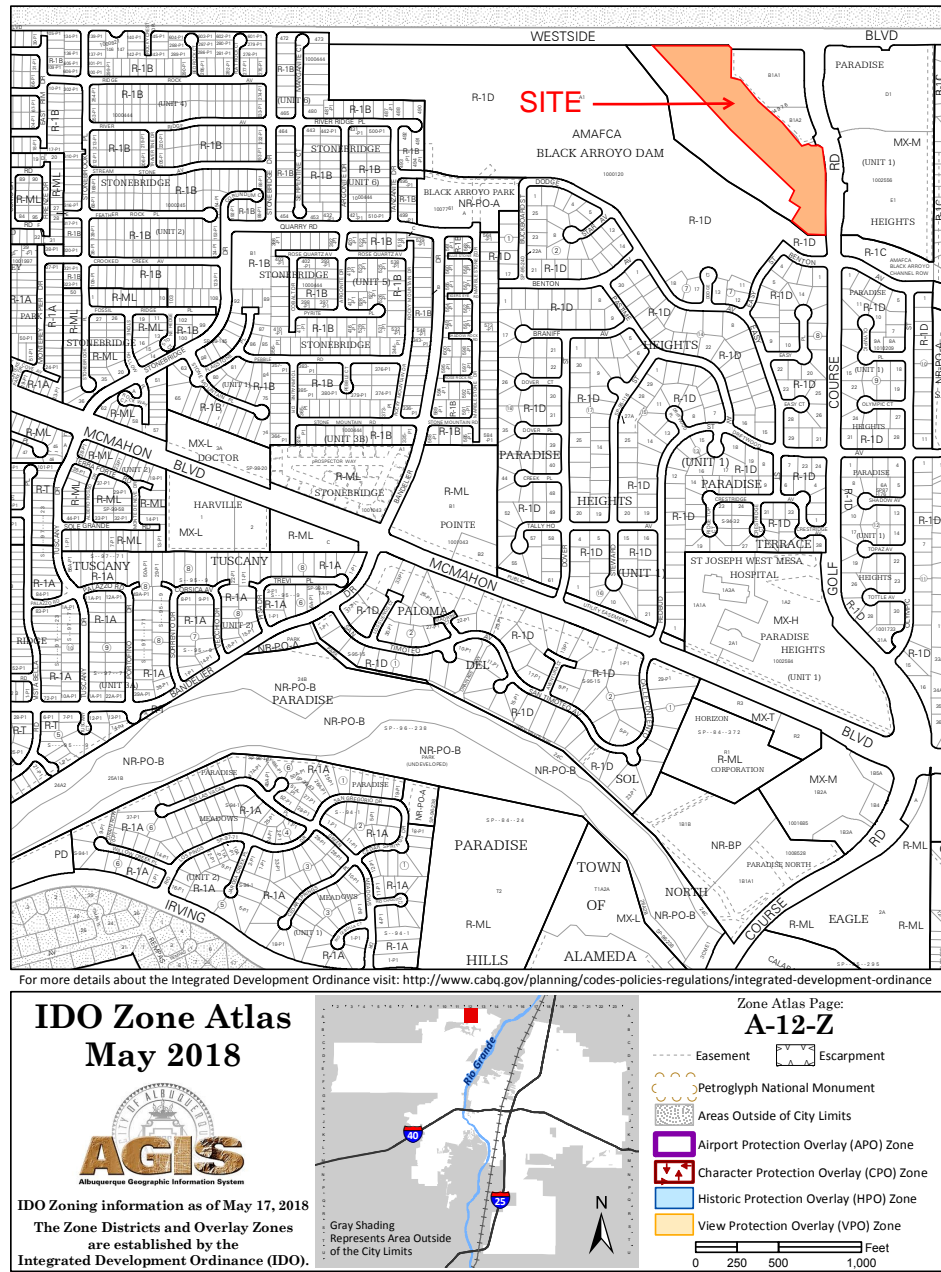
PROJECT NUMBER: **PR-2022-007565**
Application Number: **SP-2025-00075**

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

A3 SITE PLAN
1"=50'-0"



SITE INFORMATION

ADDRESS:
PROPERTY SOUTH AND WEST OF 10801 GOLF COURSE RD NW,
ALBUQUERQUE, NM 87114

LEGAL DESCRIPTION:
A PARCEL OF LAND SITUATED IN PROJECTED SECTION 1, T11N, R2E, N.M.P.M.,
TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNILLO COUNTY, NEW
MEXICO; SAID PARCEL BEING THE SAME AS TRACT A-1-A, B-1-A, B-1-B &
C-1-A OF BLACK ARROYO DAM, FILED IN THE OFFICE OF THE COUNTY CLERK
ON JULY 16, 2007 IN BK. 2007C, PG. 190. SEE PLAT FOR METES AND
BOUNDS INFORMATION.

ZONE ATLAS MAP: A-12-Z
ZONE DISTRICT: MX-M
ADJACENT ZONING: MX-M + R-1D
PROPOSED LAND USE: RESIDENTIAL
DEVELOPMENT TYPE: MULTI-FAMILY
PROJECT SIZE: 8.0350 ACRES

SETBACKS (GENERAL):
FRONT (MIN/MAX): 5 FT./NA (WEST SIDE BLVD.)
SIDE, MIN./ MAX 0 FT. INTERIOR, 5 FT. SIDE ST.
REAR, MINIMUM 15 FT.

OPEN SPACE:
1 OR LESS BEDROOM (BR)= 225 SF./ DU
2 BR+= 285 SF./ DU

GENERAL NOTES

- ALL SIDEWALKS, RAMPS, CURBOOTS, AND CURB AND GUTTER SHALL BE BUILT PER THE C.O.A. STANDARD DRAWINGS AND ADA STANDARDS.
- CLEAR SITE DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY, BETWEEN 3 AND 8 FEET TALL, AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. SITE TRIANGLE SPEED IS BASED OFF OF 35 M.P.H. ROADWAY.
- REFER TO PLAT DRAWINGS FOR EXISTING AND PROPOSED EASEMENTS, PROPOSED LOT INFORMATION, AND FULL METES AND BOUNDS.
- WINDOWS SHALL BE RECESSED NOT LESS THAN 2 INCHES AND/OR SHALL BE SURROUNDED BY A WINDOW CASING NOT LESS THAN 2 INCHES WIDE.
- PER IDO 4-3(B)(8)(A) NO MORE THAN 40% OF THE REQUIRED USABLE OPEN SPACE CAN BE PRIVATE TO A HOUSEHOLD OR OCCUR ON UPPER STORIES= 37,365 SF. OF THIS PROJECT IS PRIVATE; WITH A REMAINING 68,444 SF. OF PUBLIC OPEN SPACE

LEGEND

NEW ASPHALT	
NEW CONCRETE SIDEWALKS	
EXISTING SIDEWALK	
PRIVATE OPEN SPACE	
10'-0" P.U.E. EASEMENT	
32' PRIVATE AND AMAFCA ACCESS, PRIVATE DRAINAGE AND PUBLIC WATER AND SEWER EASEMENT	

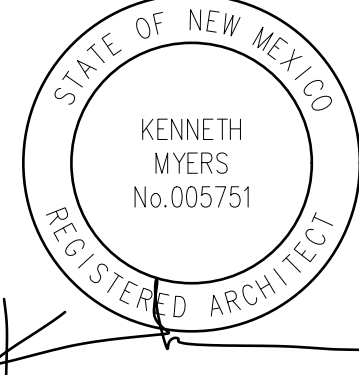
DRAWING INDEX

AS001	SITE PLAN + COVER SHEET + PROJECT INFO
AS101	ENLARGED SITE PLAN
AS102	ENLARGED SITE PLAN
TCL03	TRAFFIC CONTROL LAYOUT DETAILS
R001	REFUSE PLAN
F-1	FIRE ONE PLAN
F-2	FIRE ONE PLAN
F-3	FIRE ONE PLAN
LP-01	PLANTING PLAN
LP-02	PLANTING PLAN
LS-01	LANDSCAPE PLAN
LS-02	LANDSCAPE PLAN
G1	CONCEPTUAL GRADING AND DRAINAGE PLAN
G2	CONCEPTUAL GRADING AND DRAINAGE PLAN
D1	CONCEPTUAL GRADING AND DRAINAGE PLAN
C1	AMAFCA CROSS SECTIONS
C2	AMAFCA CROSS SECTIONS
MU-1	UTILITY PLANS
MU-2	UTILITY PLANS
MU-3	UTILITY PLANS
A201	ARCHITECTURAL ELEVATIONS- BUILDING TYPE A
A202	ARCHITECTURAL ELEVATIONS- BUILDING TYPE B
A203	ARCHITECTURAL ELEVATIONS- BUILDING TYPE C
A204	ARCHITECTURAL ELEVATIONS- BUILDING TYPE D
A205	ARCHITECTURAL ELEVATIONS- BUILDING TYPE E
R01	ARCHITECTURAL RENDERINGS
ES01	PHOTOMETRIC SITE PLAN
ES02	PHOTOMETRIC SITE PLAN

BTR | RIO RANCHO HOUSING DEVELOPMENT

GOLF COURSE RD. NW
ALBUQUERQUE, NM 87114

Architect Stamp:



REMBE

urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
t: 505-243-0188

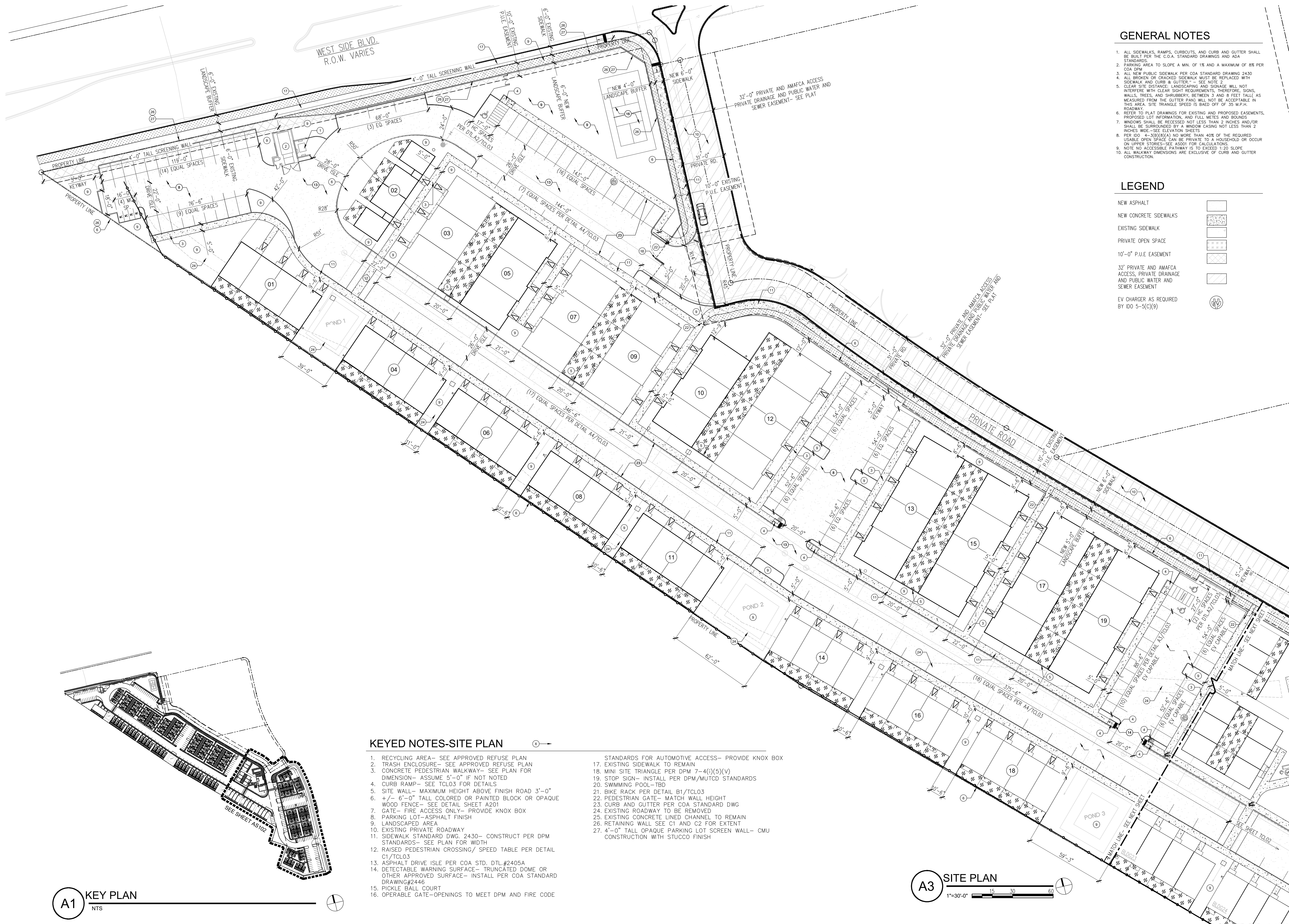
Project	Drawn By: KMA	Checked By: KMA
Phase:	DFT SUBMITTAL	
Date:	09/22/2025	

SITE PLAN COVER SHEET

Sheet Number:

AS001

DO NOT SCALE DRAWINGS



GENERAL NOTES

1. ALL SIDEWALKS, RAMPS, CURBCUTS, AND CURB AND GUTTER SHALL BE BUILT PER THE C.O.A. STANDARD DRAWINGS AND ADA STANDARDS
2. PARKING AREA TO SLOPE A MIN. OF 1% AND A MAXIMUM OF 8% PER COA DPM
3. ALL NEW PUBLIC SIDEWALK PER COA STANDARD DRAWING 2430
4. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER-- SEE NOTE 2
5. CLEAR SITE DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY, BETWEEN 3 AND 8 FEET TALL, AS MEASURED FROM THE GUTTER PLAN, WILL NOT BE ACCEPTABLE IN THIS AREA. SITE TRIANGLE SPEED IS BADA OFF OF 35 M.P.H. ROADWAY.
6. REFER TO PLAT DRAWINGS FOR EXISTING AND PROPOSED EASEMENTS, PROPOSED LOT INFORMATION, AND FULL METES AND BOUNDS
7. WINDOWS SHALL BE RECESSED NOT LESS THAN 2 INCHES AND/OR SHALL BE SURROUNDED BY A WINDOW CASING NOT LESS THAN 2 INCHES WIDE--SEE ELEVATION SHEETS
8. PER IDO 4-3(B)(8)(A) NO MORE THAN 40% OF THE REQUIRED USABLE OPEN SPACE CAN BE PRIVATE TO A HOUSEHOLD OR OCCUR ON UPPER STORIES--SEE ADDOT FOR CALCULATIONS.
9. NOTE NO ACCESSIBLE PATHWAY IS TO EXCEED 1:20 SLOPE
10. ALL WALKWAY DIMENSIONS ARE EXCLUSIVE OF CURB AND GUTTER CONSTRUCTION.

LEGEND

- NEW ASPHALT
- NEW CONCRETE SIDEWALKS
- EXISTING SIDEWALK
- PRIVATE OPEN SPACE
- 10'-0" P.U.E. EASEMENT
- 32" PRIVATE AND AMAFCA ACCESS, PRIVATE DRAINAGE AND PUBLIC WATER AND SEWER EASEMENT
- EV CHARGER AS REQUIRED BY IDO 5-5(C)(9)

KEYED NOTES-SITE PLAN

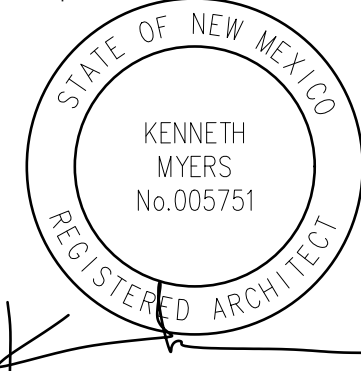
1. RECYCLING AREA-- SEE APPROVED REFUSE PLAN
2. TRASH ENCLOSURE-- SEE APPROVED REFUSE PLAN
3. CONCRETE PEDESTRIAN WALKWAY-- SEE PLAN FOR DIMENSION-- ASSUME 5'-0" IF NOT NOTED
4. CURB RAMP-- SEE TLO3 FOR DETAILS
5. SITE WALL-- MAXIMUM HEIGHT ABOVE FINISH ROAD 3'-0"
6. +/- 6'-0" TALL COLORED OR PAINTED BLOCK OR OPAQUE WOOD FENCE-- SEE DETAIL SHEET A201
7. GATE-- FIRE ACCESS ONLY-- PROVIDE KNOX BOX
8. PARKING LOT-- ASPHALT FINISH
9. LANDSCAPED AREA
10. EXISTING PRIVATE ROADWAY
11. SIDEWALK STANDARD DWG. 2430-- CONSTRUCT PER DPM STANDARDS-- SEE PLAN FOR WIDTH
12. RAISED PEDESTRIAN CROSSING/ SPEED TABLE PER DETAIL C1/TLO3
13. ASPHALT DRIVE ISLE PER COA STD. DTL.#2405A
14. DETECTABLE WARNING SURFACE-- TRUNCATED DOME OR OTHER APPROVED SURFACE-- INSTALL PER COA STANDARD DRAWING#2446
15. PICKLE BALL COURT
16. OPERABLE GATE--OPENINGS TO MEET DPM AND FIRE CODE

- STANDARDS FOR AUTOMOTIVE ACCESS-- PROVIDE KNOX BOX
17. EXISTING SIDEWALK TO REMAIN
 18. MINI SITE TRIANGLE PER DPM 7-4(I)(5)(V)
 19. STOP SIGN-- INSTALL PER DPM/MUTCD STANDARDS
 20. SWIMMING POOL-- TBD
 21. BIKE RACK PER DETAIL B1/TLO3
 22. PEDESTRIAN GATE-- MATCH WALL HEIGHT
 23. CURB AND GUTTER PER COA STANDARD DWG
 24. EXISTING ROADWAY TO BE REMOVED
 25. EXISTING CONCRETE LINED CHANNEL TO REMAIN
 26. RETAINING WALL SEE C1 AND C2 FOR EXTENT
 27. 4'-0" TALL OPAQUE PARKING LOT SCREEN WALL-- CMU CONSTRUCTION WITH STUCCO FINISH

BTR | RIO RANCHO HOUSING DEVELOPMENT

GOLF COURSE RD. NW
ALBUQUERQUE, NM 87114

Architect Stamp:



REMBE

urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
t: 505-243-0188

Project: KMA
Phase: DFT SUBMITTAL

Date:

ARCHITECTURAL
SITE PLAN

Sheet Number:

AS101



KEYED NOTES-SITE PLAN

1. RECYCLING AREA- SEE APPROVED REFUSE PLAN
2. TRASH ENCLOSURE- SEE APPROVED REFUSE PLAN
3. CONCRETE PEDESTRIAN WALKWAY- SEE PLAN FOR DIMENSION- ASSUME 5'-0" IF NOT NOTED
4. CURB RAMP- SEE TLO03 FOR DETAILS
5. SITE WALL- MAXIMUM HEIGHT ABOVE FINISH ROAD 3'-0"
6. +/- 6'-0" TALL COLORED OR PAINTED BLOCK OR OPAQUE WOOD FENCE- SEE DETAIL SHEET A201
7. GATE- FIRE ACCESS ONLY- PROVIDE KNOX BOX
8. PARKING LOT-ASPHALT FINISH
9. LANDSCAPED AREA
10. EXISTING PRIVATE ROADWAY
11. SIDEWALK STANDARD DWG. 2430- CONSTRUCT PER DPM STANDARDS- SEE PLAN FOR WIDTH
12. RAISED PEDESTRIAN CROSSING/ SPEED TABLE PER DETAIL C1/TLO03
13. ASPHALT DRIVE ISLE PER COA STD. DTL.#2405A
14. DETECTABLE WARNING SURFACE- TRUNCATED DOME OR OTHER APPROVED SURFACE- INSTALL PER COA STANDARD DRAWING#2446
15. PICKLE BALL COURT
16. OPERABLE GATE-OPENINGS TO MEET DPM AND FIRE CODE

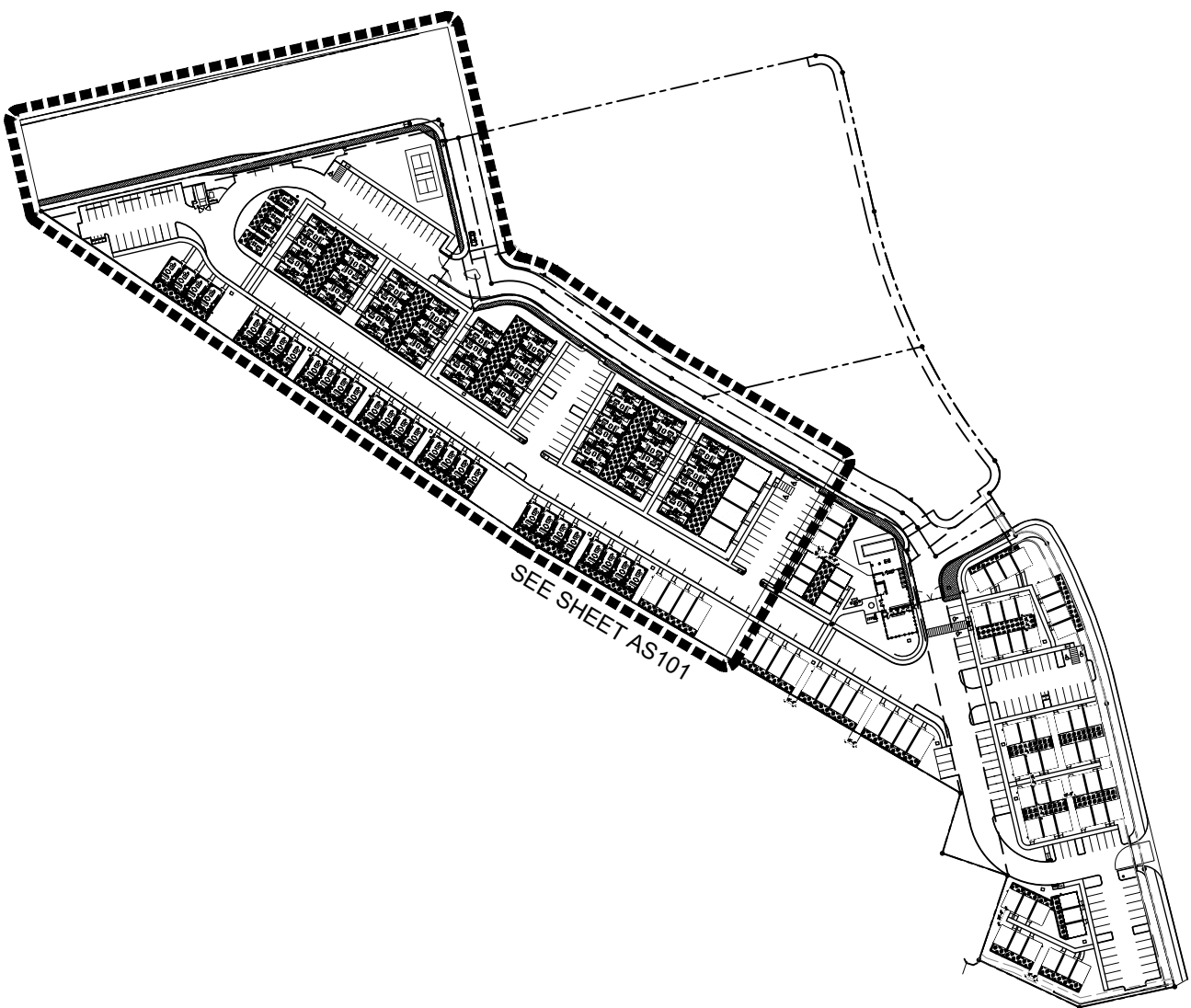
- STANDARDS FOR AUTOMOTIVE ACCESS- PROVIDE KNOX BOX
17. EXISTING SIDEWALK TO REMAIN
 18. MINI SITE TRIANGLE PER DPM 7-4(i)(5)(V)
 19. STOP SIGN- INSTALL PER DPM/MUTCD STANDARDS
 20. SWIMMING POOL-TBD
 21. BIKE RACK PER DETAIL B1/TLO03
 22. PEDESTRIAN GATE- MATCH WALL HEIGHT
 23. CURB AND GUTTER PER COA STANDARD DWG
 24. EXISTING ROADWAY TO BE REMOVED
 25. EXISTING CONCRETE LINED CHANNEL TO REMAIN
 26. RETAINING WALL SEE C1 AND C2 FOR EXTENT
 27. 4'-0" TALL OPAQUE PARKING LOT SCREEN WALL- CMU CONSTRUCTION WITH STUCCO FINISH

TCL GENERAL NOTES

1. PARKING AREA TO SLOPE A MIN. OF 1% AND A MAXIMUM OF 8% PER COA DPM
2. ALL NEW PUBLIC SIDEWALK PER COA STANDARD DRAWING 2430
3. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER." - SEE NOTE 2
4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
5. NOTE NO ACCESSIBLE PATHWAY IS TO EXCEED 1:20 SLOPE
6. ALL WALKWAY DIMENSIONS ARE EXCLUSIVE OF CURB AND GUTTER CONSTRUCTION.
7. PROVIDE STANARD CURB AND GUTTER PER STD. DTL.#2406 IN ALL PARKING LOTS, AND ROADWAYS

LEGEND

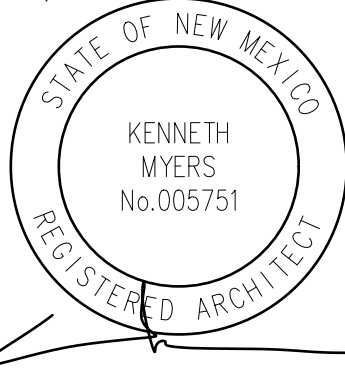
- NEW ASPHALT
- NEW CONCRETE SIDEWALKS
- EXISTING SIDEWALK
- PRIVATE OPEN SPACE
- 10'-0" P.U.E. EASEMENT
- 32' PRIVATE AND AMAFCA ACCESS, PRIVATE DRAINAGE AND PUBLIC WATER AND SEWER EASEMENT
- EV CHARGER AS REQUIRED BY IDO 5-5(C)(9)



BTR | RIO RANCHO HOUSING DEVELOPMENT

GOLF COURSE RD. NW
ALBUQUERQUE, NM 87114

Architect Stamp:



REMBE

urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
t: 505-243-0188

Project:
Drawn By: KMA Checked By: KMA
Phase: DFT SUBMITTAL

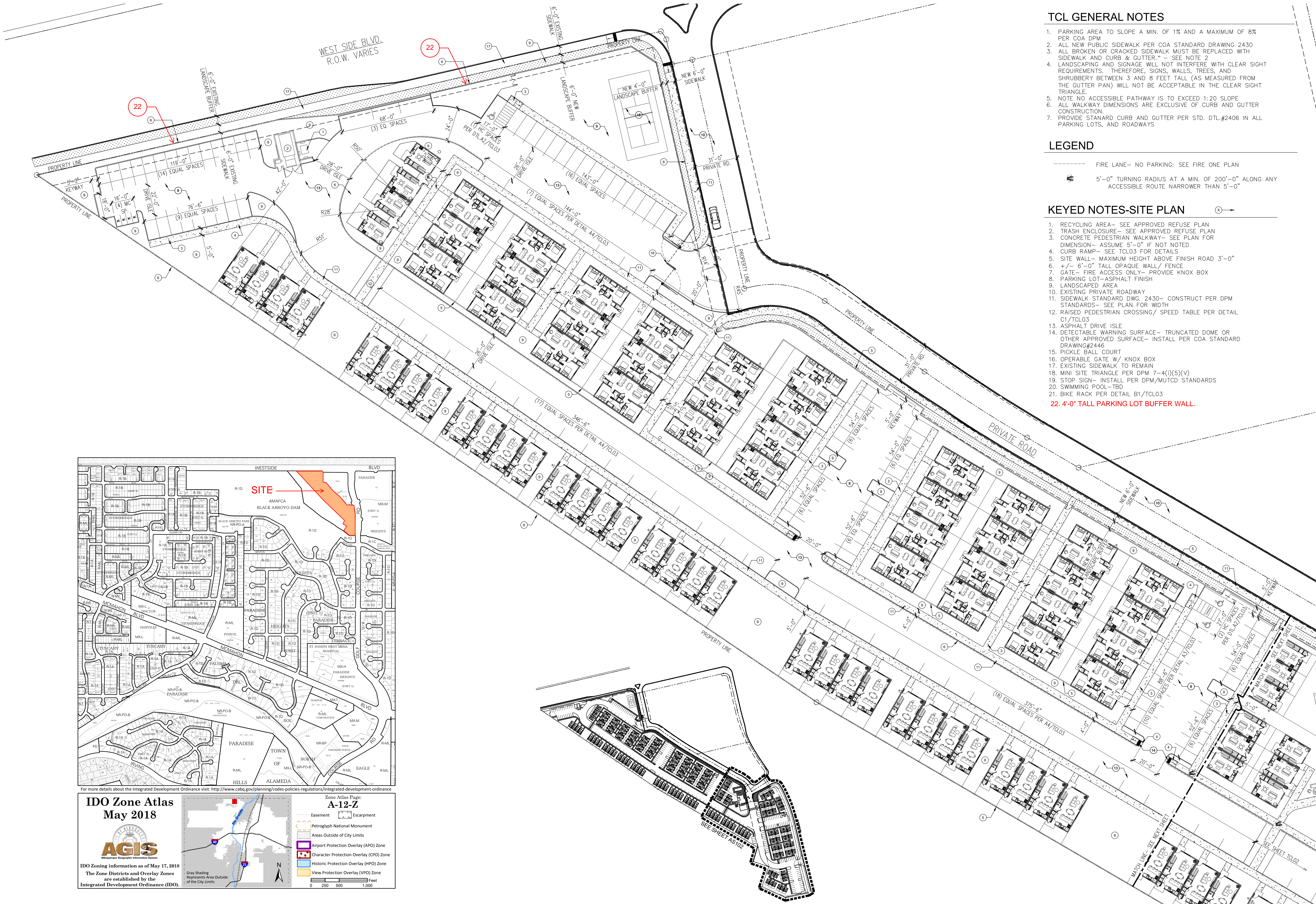
Date:

ARCHITECTURAL SITE PLAN

Sheet Number:

AS102

DO NOT SCALE DRAWINGS



TCL GENERAL NOTES

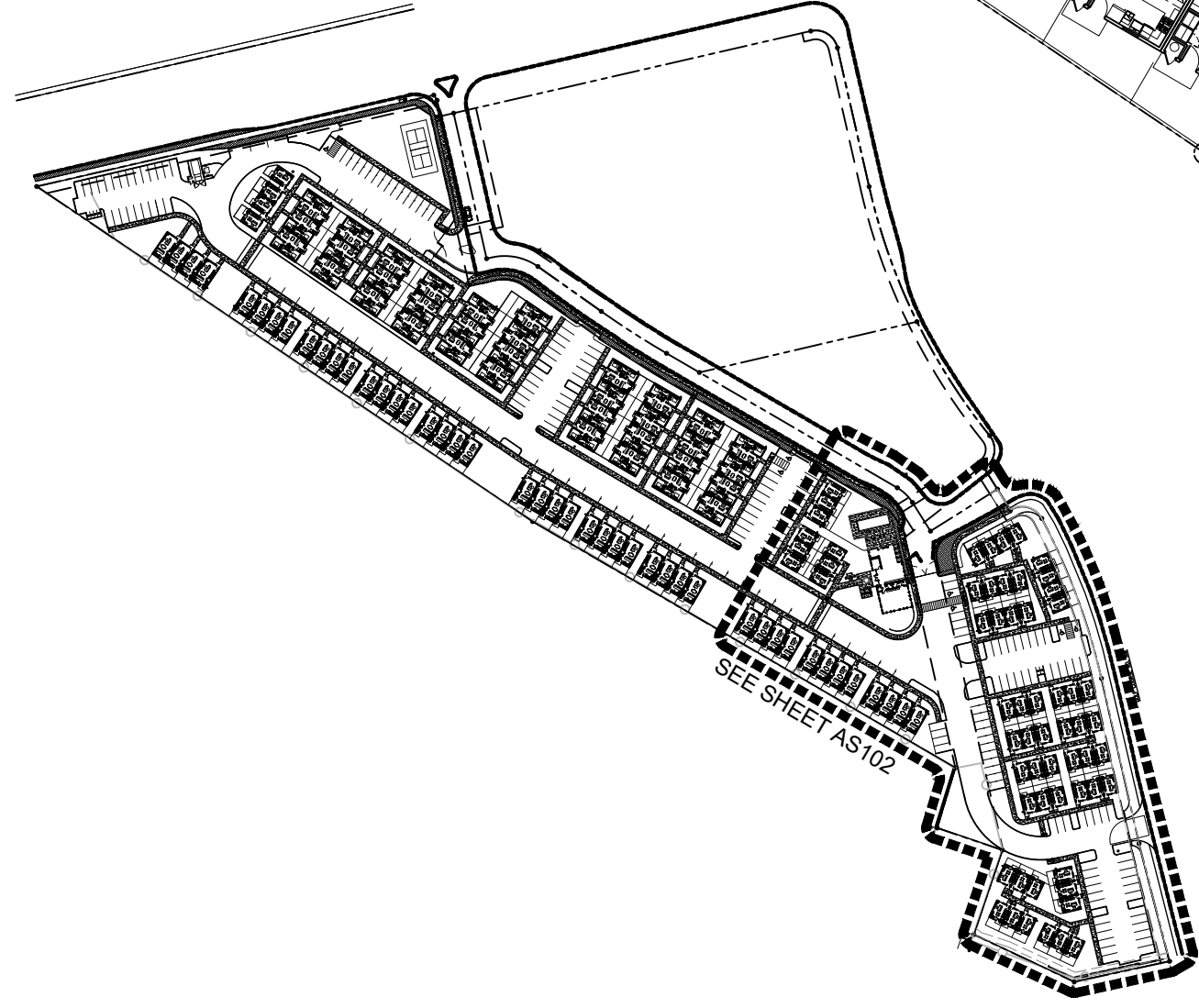
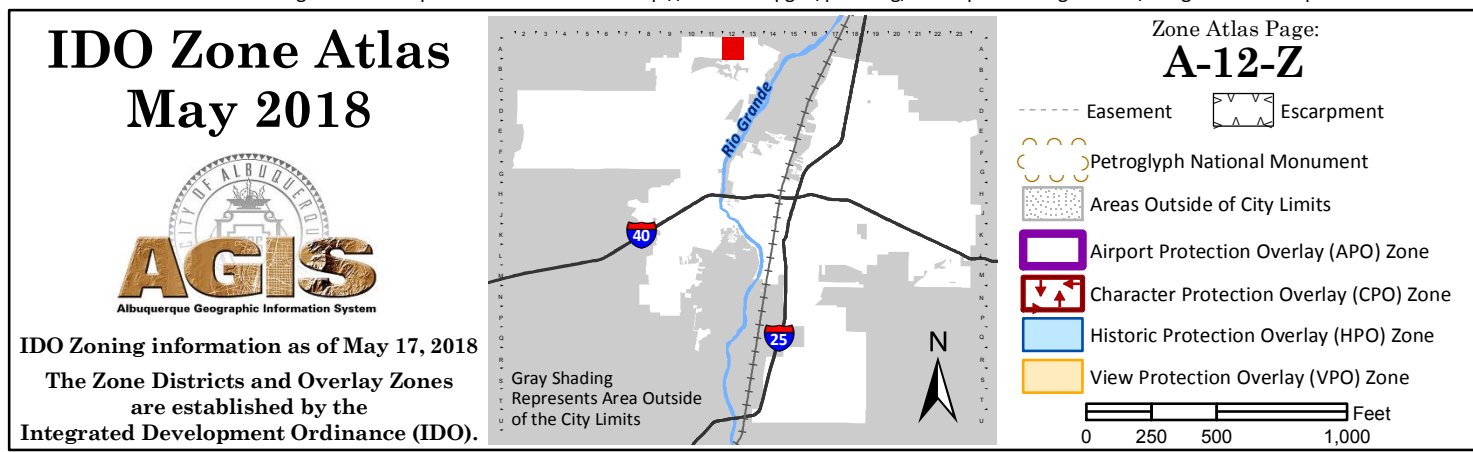
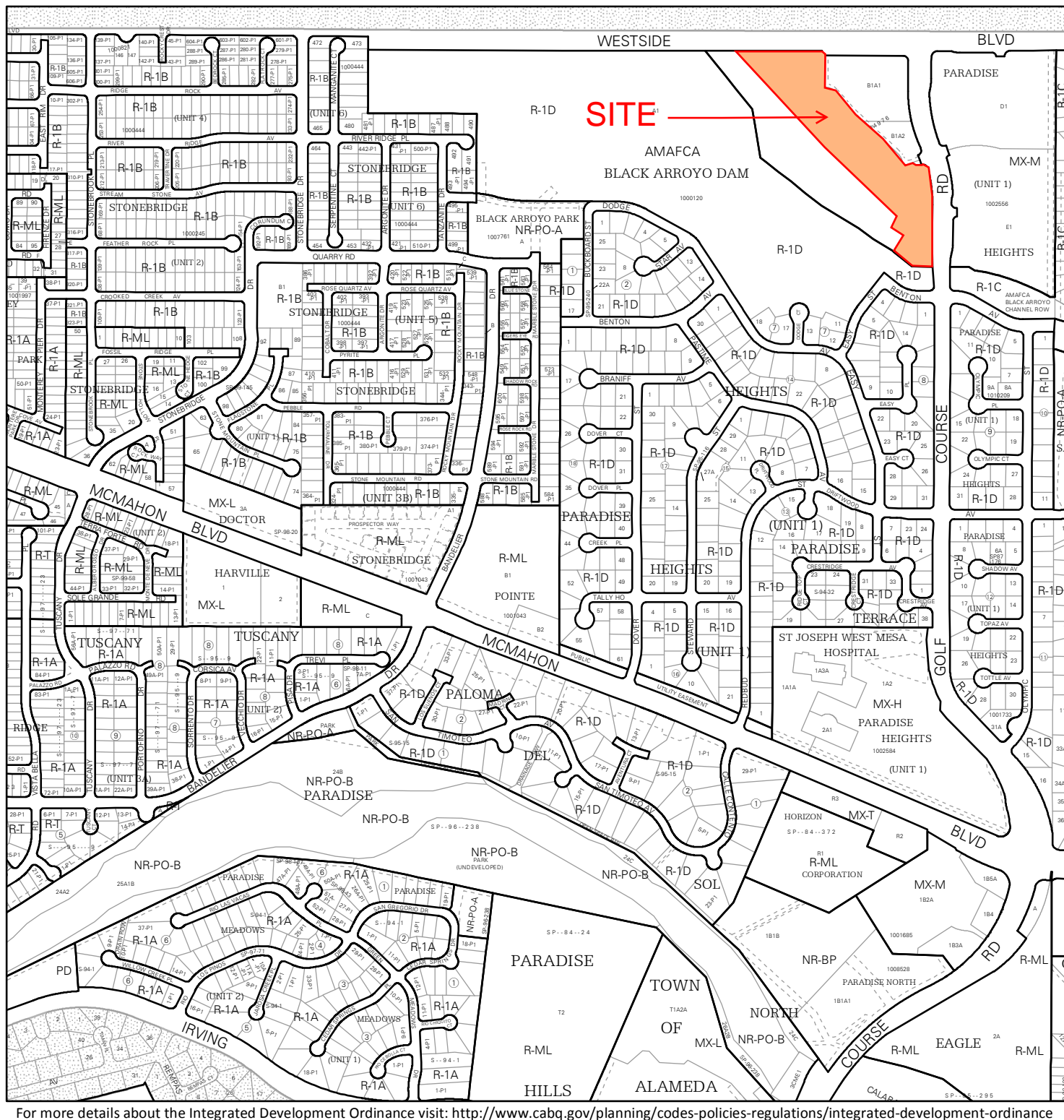
- 1. PARKING AREA TO SLOPE A MIN. OF 1% AND A MAXIMUM OF 8% PER COA DPM
- 2. ALL NEW PUBLIC SIDEWALK PER COA STANDARD DRAWING 2430
- 3. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER." - SEE NOTE 2
- 4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- 5. NOTE NO ACCESSIBLE PATHWAY IS TO EXCEED 1:20 SLOPE
- 6. ALL WALKWAY DIMENSIONS ARE EXCLUSIVE OF CURB AND GUTTER CONSTRUCTION.
- 7. PROVIDE STANARD CURB AND GUTTER PER STD. DTL.#2406 IN ALL PARKING LOTS, AND ROADWAYS

LEGEND

- FIRE LANE- NO PARKING: SEE FIRE ONE PLAN
- 5'-0" TURNING RADIUS AT A MIN. OF 200'-0" ALONG ANY ACCESSIBLE ROUTE NARROWER THAN 5'-0"

KEYED NOTES-SITE PLAN

- 1. RECYCLING AREA- SEE APPROVED REFUSE PLAN
- 2. TRASH ENCLOSURE- SEE APPROVED REFUSE PLAN
- 3. CONCRETE PEDESTRIAN WALKWAY- SEE PLAN FOR DIMENSION- ASSUME 5'-0" IF NOT NOTED
- 4. CURB RAMP- SEE TCLO3 FOR DETAILS
- 5. SITE WALL- MAXIMUM HEIGHT ABOVE FINISH ROAD 3'-0"
- 6. +/- 6'-0" TALL OPAQUE WALL/ FENCE
- 7. GATE- FIRE ACCESS ONLY- PROVIDE KNOX BOX
- 8. PARKING LOT- ASPHALT FINISH
- 9. LANDSCAPED AREA
- 10. EXISTING PRIVATE ROADWAY
- 11. SIDEWALK STANDARD DWG. 2430- CONSTRUCT PER DPM STANDARDS- SEE PLAN FOR WIDTH
- 12. RAISED PEDESTRIAN CROSSING/ SPEED TABLE PER DETAIL C1/TCLO3
- 13. ASPHALT DRIVE ISLE
- 14. DETECTABLE WARNING SURFACE- TRUNCATED DOME OR OTHER APPROVED SURFACE- INSTALL PER COA STANDARD DRAWING#2446
- 15. PICKLE BALL COURT
- 16. OPERABLE GATE W/ KNOX BOX
- 17. EXISTING SIDEWALK TO REMAIN
- 18. MINI SITE TRIANGLE PER DPM 7-4(i)(5)(V)
- 19. STOP SIGN- INSTALL PER DPM/MUTCD STANDARDS
- 20. SWIMMING POOL-TBD
- 21. BIKE RACK PER DETAIL B1/TCLO3
- 22. 4'-0" TALL PARKING LOT BUFFER WALL.





TCL GENERAL NOTES

- 1. PARKING AREA TO SLOPE A MIN. OF 1% AND A MAXIMUM OF 8% PER COA DPM
- 2. ALL NEW PUBLIC SIDEWALK PER COA STANDARD DRAWING 2430
- 3. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER." - SEE NOTE 2
- 4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- 5. NOTE NO ACCESSIBLE PATHWAY IS TO EXCEED 1:20 SLOPE
- 6. ALL WALKWAY DIMENSIONS ARE EXCLUSIVE OF CURB AND GUTTER CONSTRUCTION
- 7. PROVIDE STANDAR CURB AND GUTTER PER STD. DTL.#2406 IN ALL PARKING LOTS, AND ROADWAYS

LEGEND

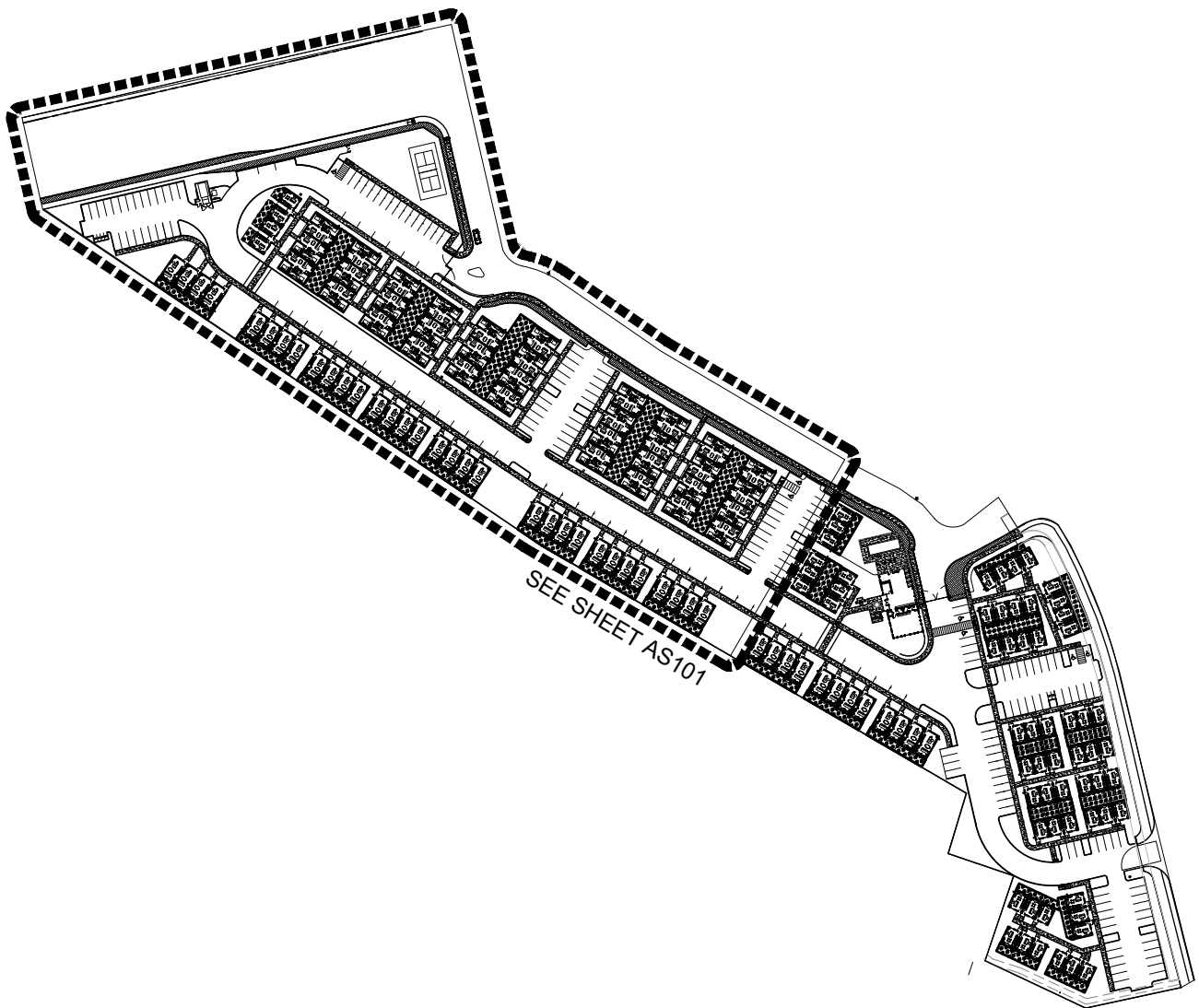
- FIRE LANE- NO PARKING: SEE FIRE ONE PLAN
- 5'-0" TURNING RADIUS AT A MIN. OF 200'-0" ALONG ANY ACCESSIBLE ROUTE NARROWER THAN 5'-0"

KEYED NOTES-SITE PLAN

- 1. RECYCLING AREA- SEE APPROVED REFUSE PLAN
- 2. TRASH ENCLOSURE- SEE APPROVED REFUSE PLAN
- 3. CONCRETE PEDESTRIAN WALKWAY- SEE PLAN FOR DIMENSION- ASSUME 5'-0" IF NOT NOTED
- 4. CURB RAMP- SEE TLO3 FOR DETAILS
- 5. SITE WALL- MAXIMUM HEIGHT ABOVE FINISH ROAD 3'-0"
- 6. +/- 6'-0" TALL OPAQUE WALL/ FENCE
- 7. GATE- FIRE ACCESS ONLY- PROVIDE KNOX BOX
- 8. PARKING LOT- ASPHALT FINISH
- 9. LANDSCAPED AREA
- 10. EXISTING PRIVATE ROADWAY
- 11. SIDEWALK STANDARD DWG. 2430- CONSTRUCT PER DPM STANDARDS- SEE PLAN FOR WIDTH
- 12. RAISED PEDESTRIAN CROSSING/ SPEED TABLE PER DETAIL C1/TLO3
- 13. ASPHALT ROAD WAY PER COA STD. DTL.#2405A
- 14. DETECTABLE WARNING SURFACE- TRUNCATED DOME OR OTHER APPROVED SURFACE- INSTALL PER COA STANDARD DRAWING#2446
- 15. PICKLE BALL COURT
- 16. OPERABLE GATE W/ KNOX BOX
- 17. EXISTING SIDEWALK TO REMAIN
- 18. MINI SITE TRIANGLE PER DPM 7-4(i)(5)(V)
- 19. STOP SIGN- INSTALL PER DPM/MUTCD STANDARDS
- 20. SWIMMING POOL- TBD
- 21. BIKE RACK PER DETAIL B1/TLO3

Parking Calculations	Unit Count/sf.	IDO notes	Multiplier/Credit	Total Req'd	Provided
Residential Units MX-M	145	Table 5-5-1: multifamily= 1.2 SP per 1BR; 1.6 SP per to 2 BR	1.2/1.6	205.6	
Residential Community Amenity	6,000	Table 5-5-1: Residential Com. Amenity= 3 spaces per 1,000GFA	3	18	
		Plus 1 space per 3 design capacity per Table 5-5-2	12	4	
subtotal				228	
Total		5-5(C)(5)(b) Shared Parking Reduction; Table 5-5-3: Shared Parking Rediction Factors: Multi-family/ Other Non-residential= 1.3	1.3	175	218

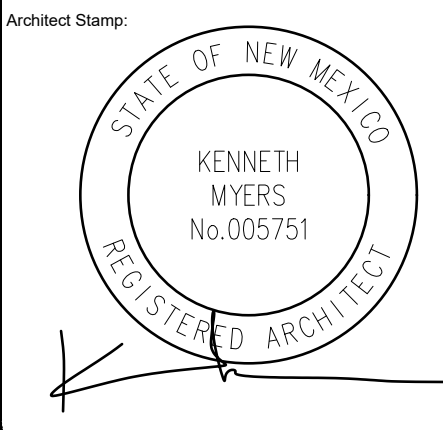
EV charging stations	145	Per 5-5(C)(9) requires 5% of the required spaces be equipud w/ EV charging stations 240V or greater	5%	7.25	8
EV Capable	145	Per 5-5(C)(9) requires 25% of the required spaces be provided as EV capable	25%	36.25	36
Accessible Spaces (HC)	145	Per 208.2 ADAAG for 201-300 off street spaces 7 HC spaces required; 2 van space required		7	7
MotorCycle	145	IDO, table 5-5-4: Between 101-150 spaces= 4 MC Spaces required		4	6
Bicycle	145	IDO, table 5-5-5: 10% of required spaces	10%	14.5	14.5



A1 SITE PLAN
1'-0"=30'-0"

A4 KEY PLAN
NTS

BTR | RIO RANCHO HOUSING DEVELOPMENT
GOLF COURSE RD. NW
ALBUQUERQUE, NM 87114

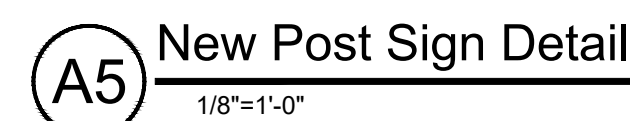
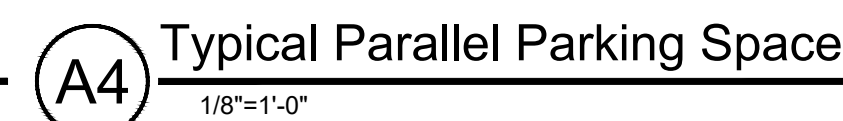
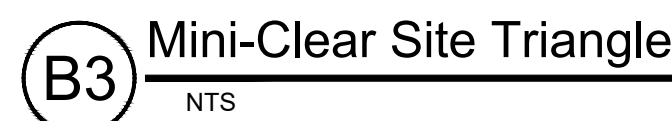
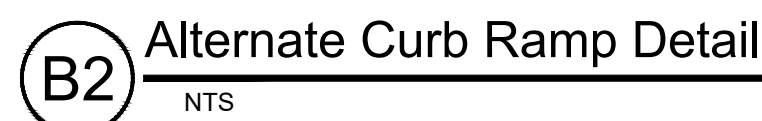
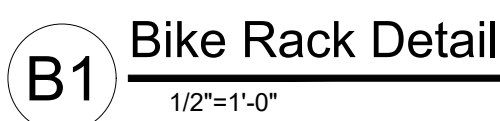
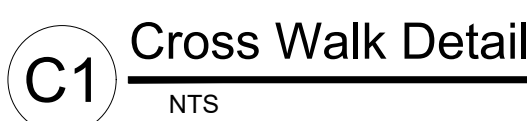


REMBE
urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
t: 505-243-0188

Project	KMA	Checked By: KMA
Phase:	DFT SUBMITTAL	
Date:	09/22/2025	

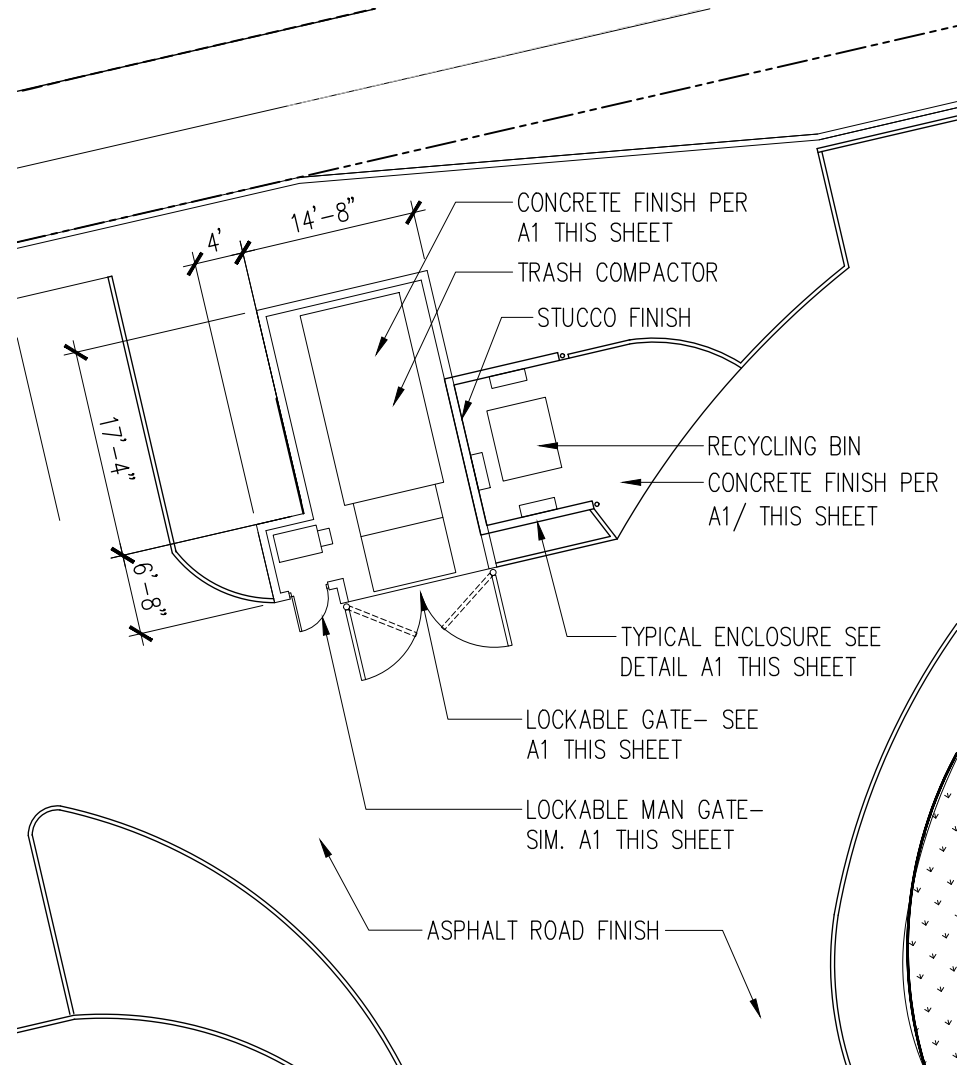
TRAFFIC CONTROL LAYOUT

Sheet Number:
TCL02

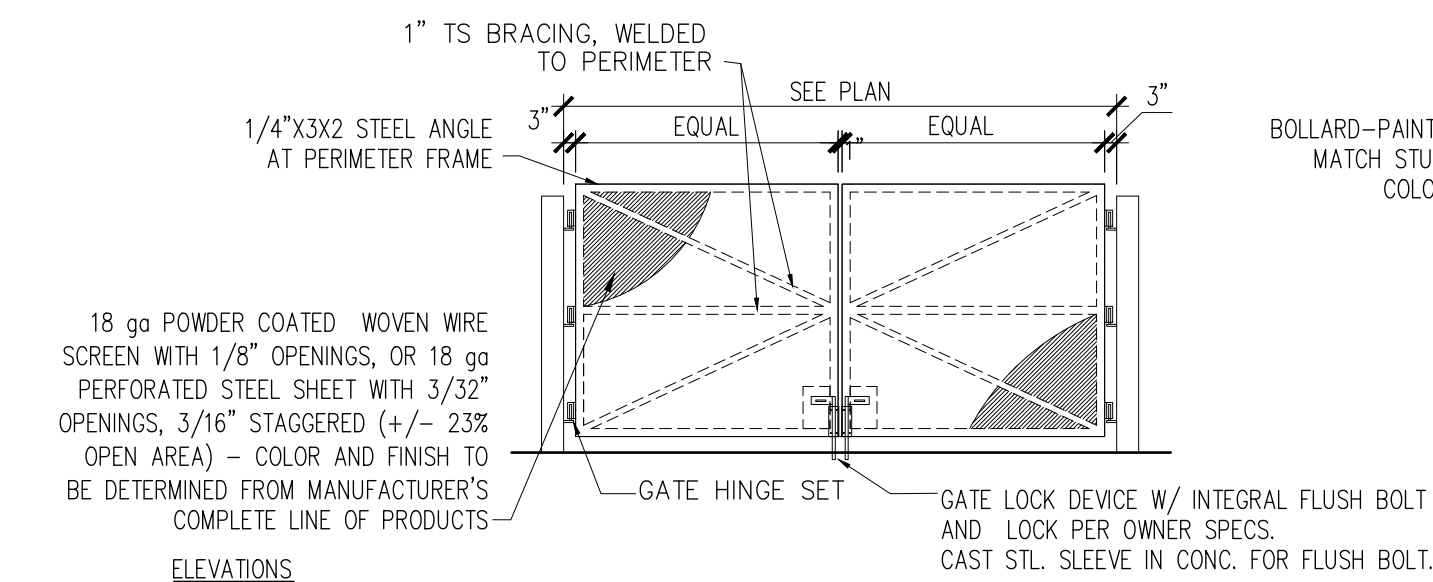
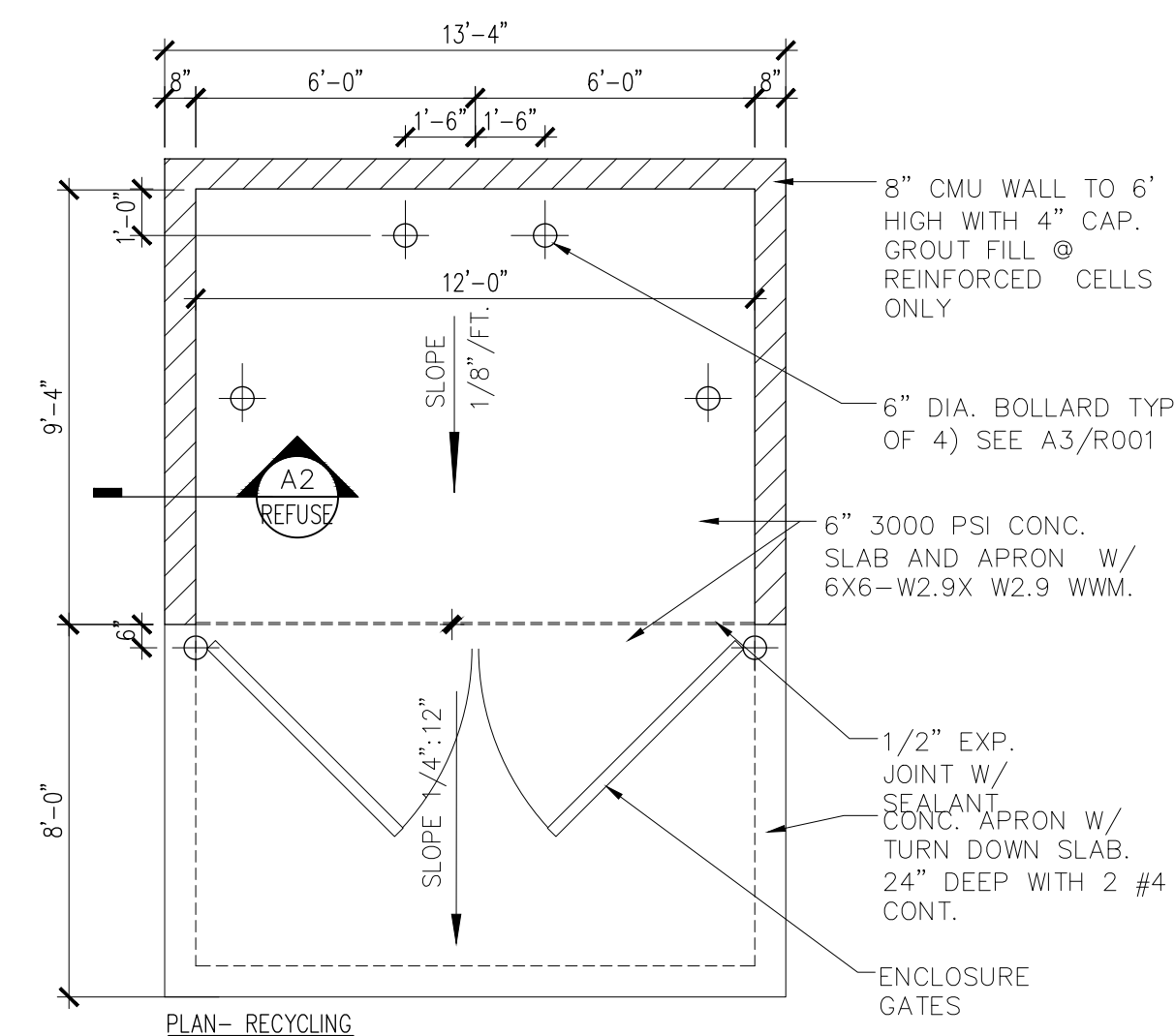


TCL03

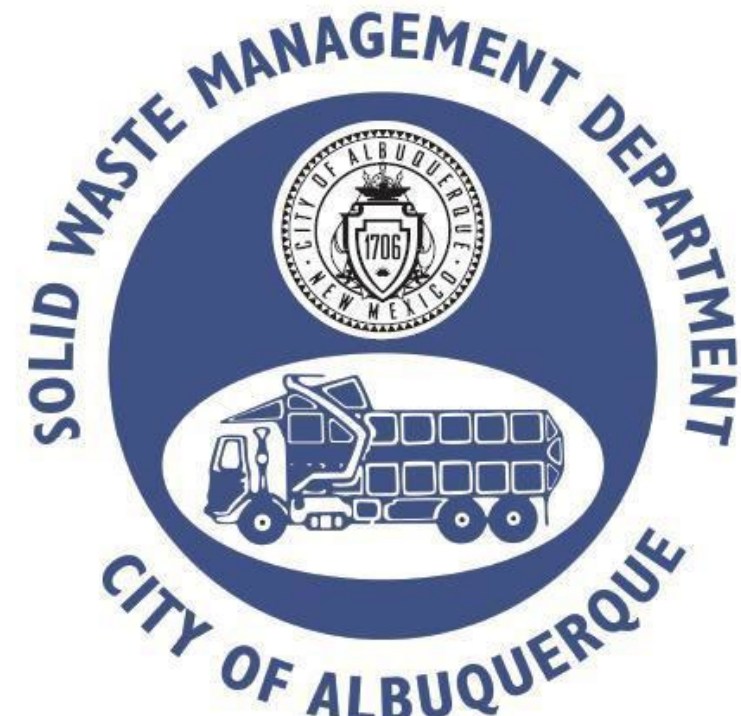
DO NOT SCALE DRAWINGS



B1 ENLARGED PLAN
1/16"=1'-0"



A1 TYPICAL REFUSE ENCLOSURE DETAILS
1'-0"=50'-0"



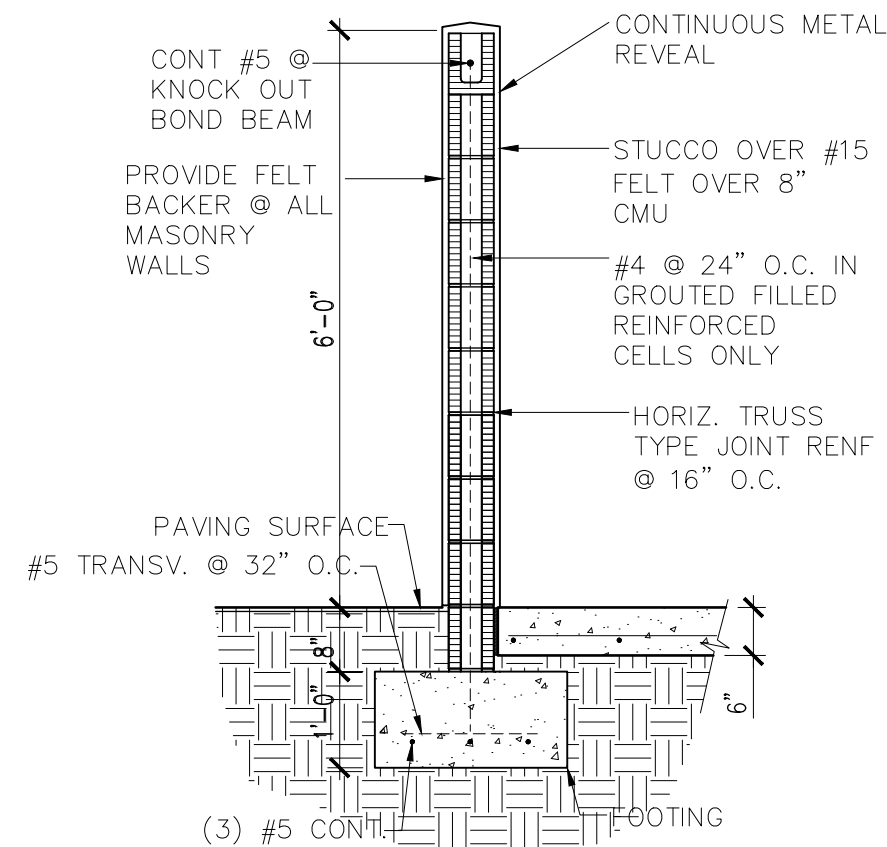
Approved for access by the Solid Waste Department.

All containers must be made accessible for pick up

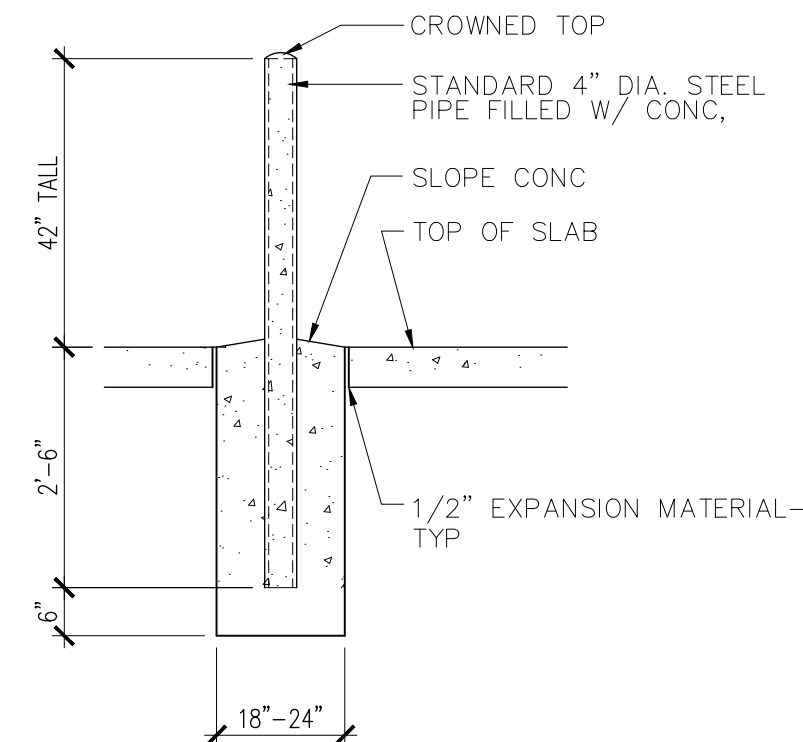
between the hours of 5AM and 8PM.

Reviewer: ADRIAN MAREZ

Date: 8-8-25



A2 TYPICAL TRASH ENCLOSURE WALL DETAIL
1'-0"=50'-0"



A3 BOLLARD DETAIL
1'-0"=50'-0"

SITE INFORMATION

ADDRESS: PROPERTY NORTH AND WEST OF 1860 GRIEGOS, ALBUQUERQUE, NM 87107
LEGAL DESCRIPTION: TR A-1-A-1 PLAT OF TRS A-1-A-1, B-1-A-1 & B-1-A-2 BLACKARROYO DAM CONT 8.0350 AC UPLC: 101206643246110507
ZONE ATLAS MAP: A-12-Z-1
ZONING: MX-M; ID02-4(C)
DEVELOPMENT TYPE: LOW DENSITY; TOWNHOMES ID0 4-3(B)(6)
PROJECT SIZE: 8.03 ACRE +/- PARCEL
SETBACKS:
FRONT: 5'-0"
REAR: 15'-0"
SIDE: 0'-0"-INTERIOR; 5'-0" STREET

REFUSE GENERAL NOTES

- ACCESS IS PROVIDED FROM WEST SIDE BLVD. AND GOLF COURSE RD.
- PROJECT SITE TO BE OWNED AND OPERATED BY ONE OWNER.
- ROAD SIGNAGE WILL BE PROVIDED
- OPERATOR WILL PROVIDE TRASH SERVICE A PART OF RENTAL AGREEMENT-TRASH WILL BE MANAGED BY OPERATOR.
- COORDINATE DATE FOR TRASH PICK UP WITH COA SOLID WASTE
- TRIM LANDSCAPING TO MAINTAIN 14'-0" CLEARANCE OR GRATER ABOVE CURB AREA WHERE BINS WILL BE LOCATED FOR PICK UP

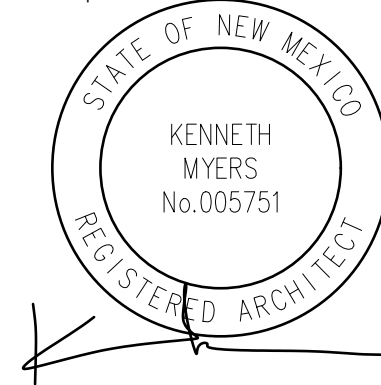
UNIT COUNT

UNIT TYPE	UNIT SF.	BEDROOM	UNIT COUNT	TOTAL SF.
UNIT A	640 SF.	ONE BED	66	42,240 SF.
UNIT B	1,035 SF.	TWO BED	44	45,540 SF.
UNIT C	937 SF.	TWO BED	35	32,795 SF.
TOTAL			145	120,575 SF.

BTR | RIO RANCHO HOUSING DEVELOPMENT

GOLF COURSE RD. NW
ALBUQUERQUE, NM 87114

Architect Stamp:



REMBE

urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
t: 505-243-0188

Project: **BTR-GOLF CRSE**
Drawn By: **KMA** Checked By: **KMA**
Phase: **CONCEPTUAL**
Date: **08/08/2025**

REFUSE PLAN

Sheet Number:

R001

DO NOT SCALE DRAWINGS

KEYED NOTES

- 1 EXISTING UNOBSTRUCTED PUBLIC FIRE HYDRANT
- 2 UNIT NUMBERS (TYP.) ADDRESS
- 3 KNOX BOX
- 4 PROPOSED FIRE HYDRANT AND 6" GATE VALVE

- 5 PIV
- 6 FDC

NOTES

1. ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL.
2. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS.
3. KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- BUILDING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- FIRE ACCESS
- NO PARKING FIRE LANE LINE
- ☼ EXISTING FIRE HYDRANT
- PROPOSED HYDRANT



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION

PERMIT

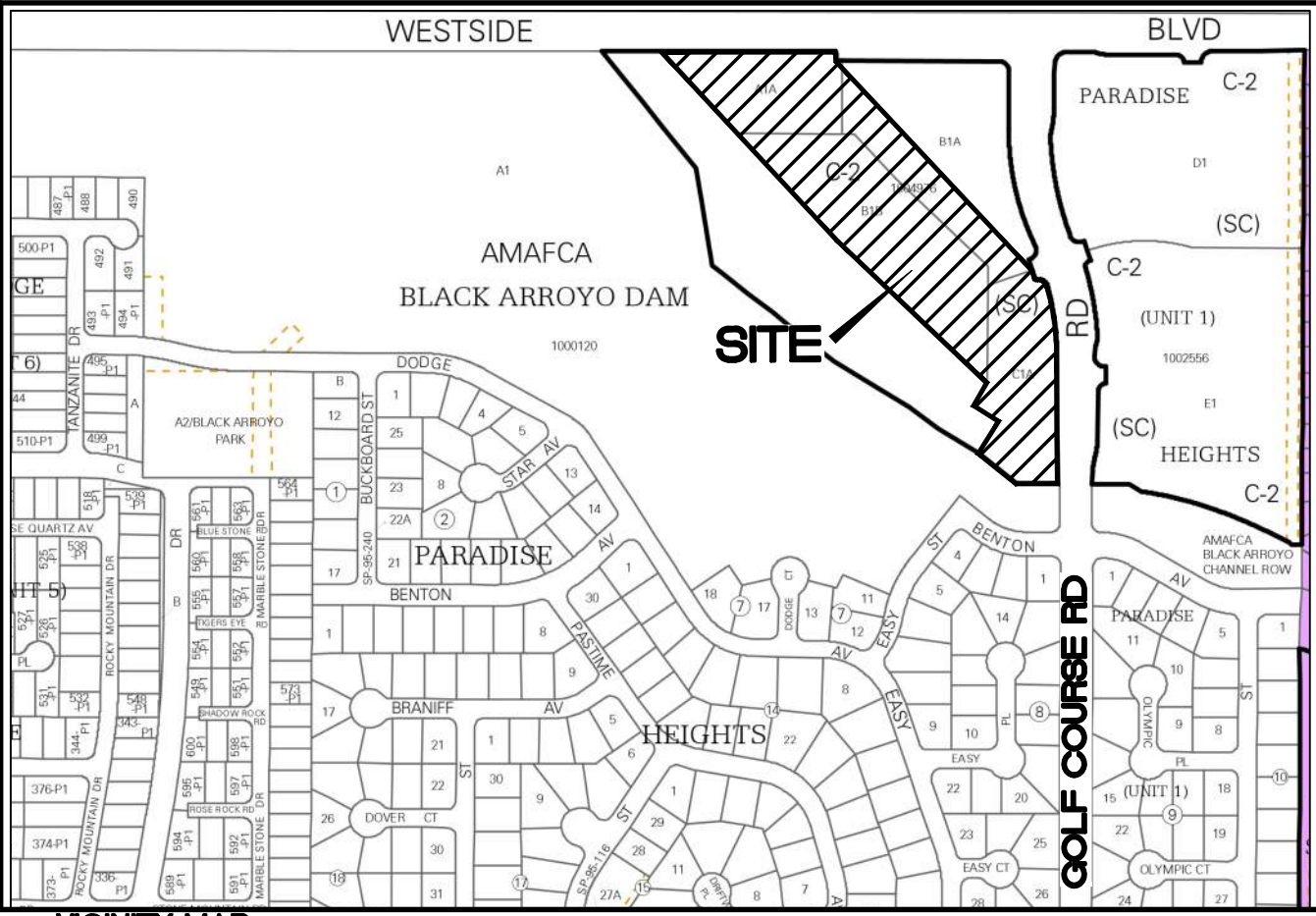
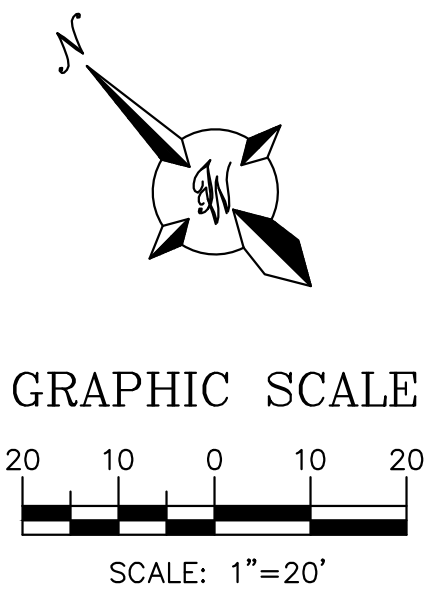
PERMIT NUMBER: FP-25-100251

APPROVED DATE: 06/12/2025

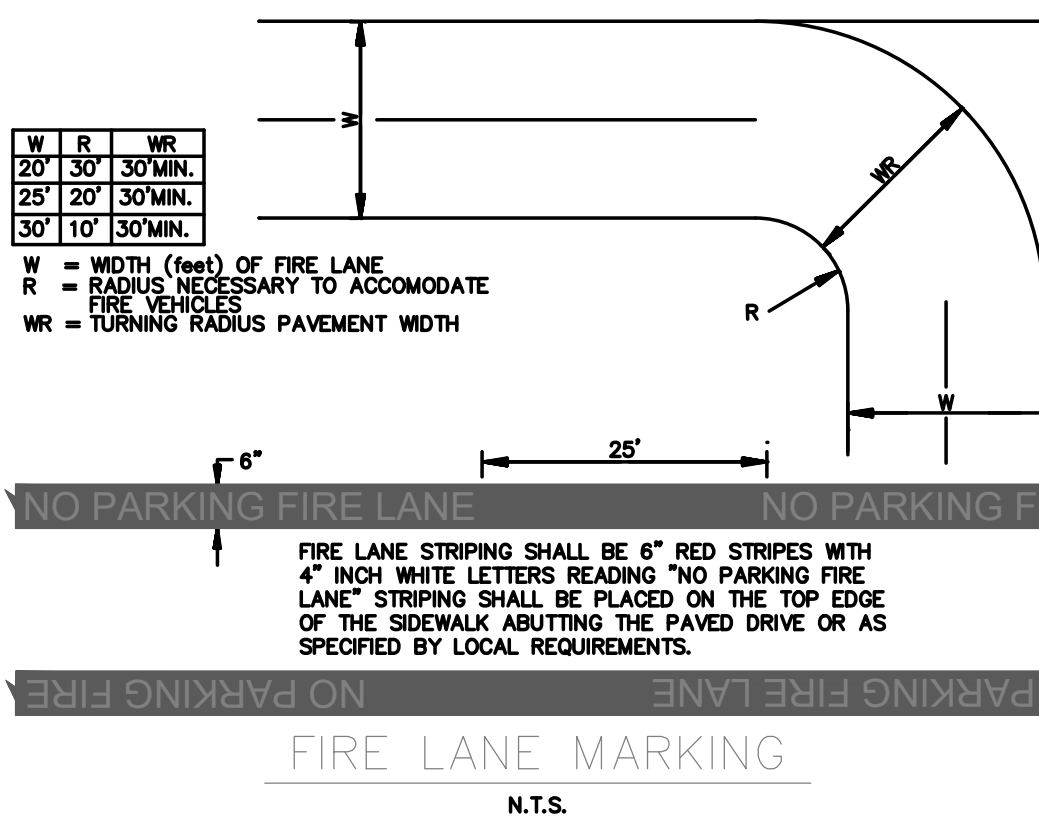
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

FIRE FLOW: 1500 GPM/ 1 HYDRANT



LEGAL DESCRIPTION:
BLACK ARROYO DAM SUBDIVISION - ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



ALBUQUERQUE, NM

RESIDENTIAL
OCCUPANCY TYPE: TOWNHOMES
ASSEMBLY NFPA 101 2018 CHAPTER 6

BUILDING A
BUILDING AREA: 650 SF
CONSTRUCTION TYPE: V-B
BUILDING IS NON-SPRINKLED
MAX BUILDING HEIGHT 28' TO PEAK
FIRE-FLOW = 1,500 GPM

BUILDING B
BUILDING AREA: 1,035 SF
CONSTRUCTION TYPE: V-B
BUILDING IS NON-SPRINKLED
MAX BUILDING HEIGHT 28' TO PEAK
FIRE-FLOW = 1,500 GPM

BUILDING C
BUILDING AREA: 940 SF
CONSTRUCTION TYPE: V-B
BUILDING IS NON-SPRINKLED
MAX BUILDING HEIGHT 28' TO PEAK
FIRE-FLOW = 1,500 GPM

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	ENGINEER'S SEAL	JAY REMBE SUBDIVISION	AS
	RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER	ALBUQUERQUE, NM	06-11-25
		FIRE ONE PLAN	
		TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET # F-1 JOB # 2024054

KEYED NOTES

- 1

EXISTING UNOBSTRUCTED
PUBLIC FIRE HYDRANT
- 2

UNIT NUMBERS (TYP.)
ADDRESS
- 3

KNOX BOX
- 4

PROPOSED FIRE HYDRANT AND
6" GATE VALVE
- 5

PIV
- 6

FDC

NOTES

1. ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES,
AS DIRECTED BY FIRE MARSHALL.
2. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT
IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE
CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS
WEIGHING AT LEAST 75000 LBS.
3. KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6
FEET ABOVE GRADE AND SHALL BE ILLUMINATED.

ALBUQUERQUE, NM

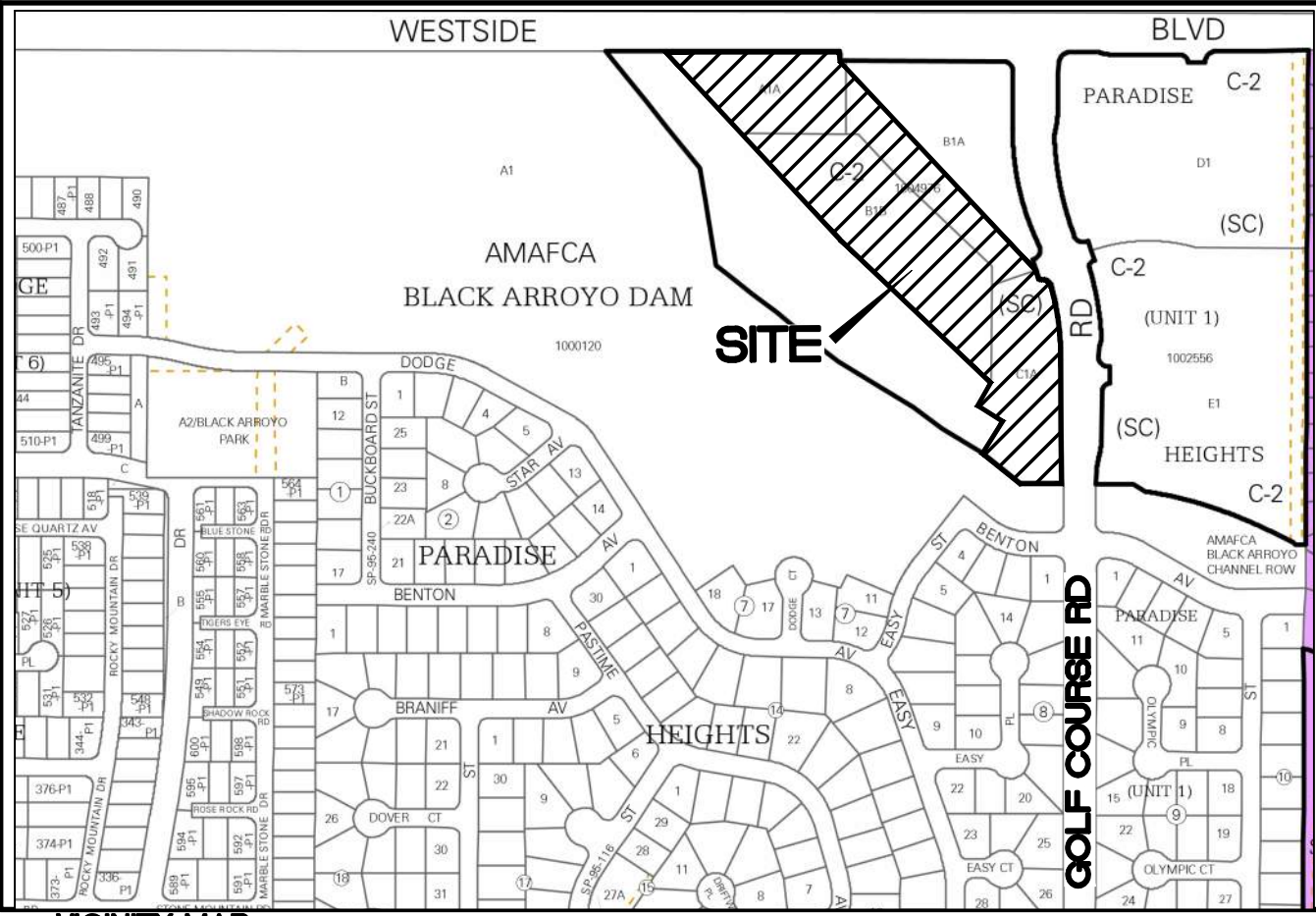
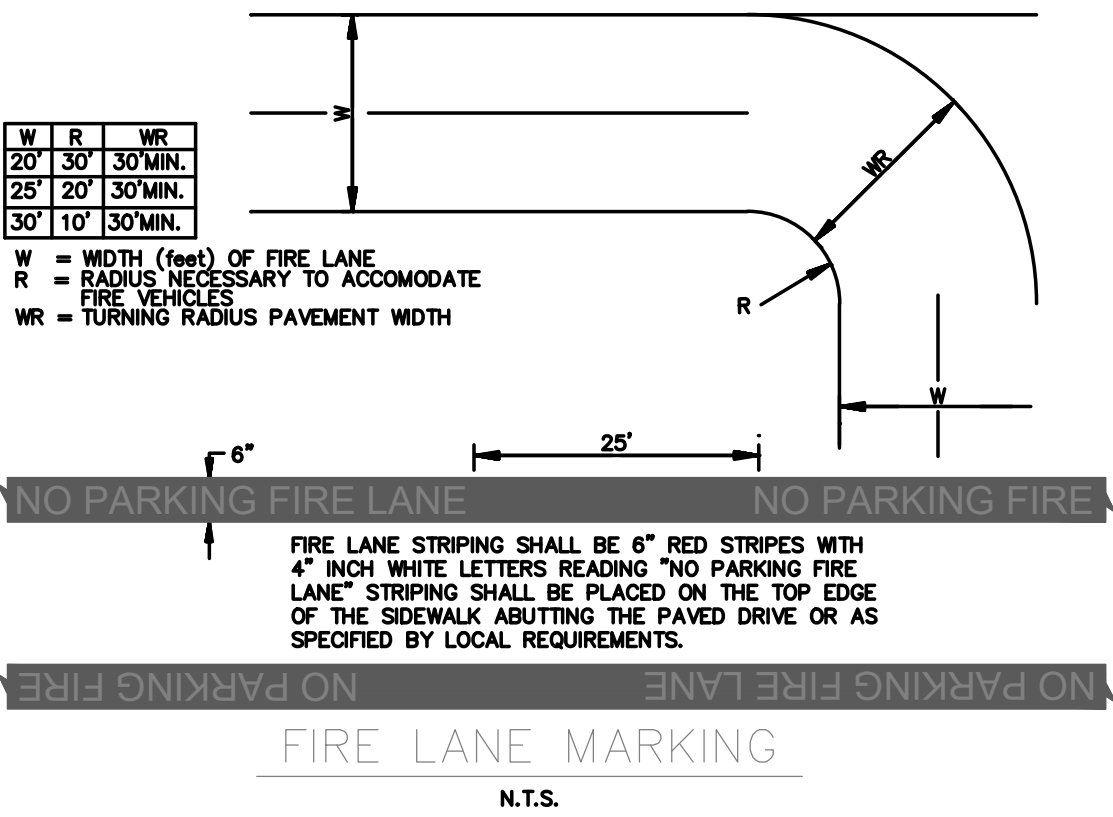
RESIDENTIAL
OCCUPANCY TYPE: TOWNHOMES
ASSEMBLY NFPA 101 2018 CHAPTER 6

BUILDING A
BUILDING AREA: 650 SF
CONSTRUCTION TYPE: V-B
BUILDING IS NON-SPRINKLED
MAX BUILDING HEIGHT 28' TO PEAK
FIRE-FLOW = 1,500 GPM

BUILDING B
BUILDING AREA: 1,035 SF
CONSTRUCTION TYPE: V-B
BUILDING IS NON-SPRINKLED
MAX BUILDING HEIGHT 28' TO PEAK
FIRE-FLOW = 1,500 GPM

BUILDING C
BUILDING AREA: 940 SF
CONSTRUCTION TYPE: V-B
BUILDING IS NON-SPRINKLED
MAX BUILDING HEIGHT 28' TO PEAK
FIRE-FLOW = 1,500 GPM

AMENITIES BUILDING
BUILDING AREA: 940 SF
CONSTRUCTION TYPE: V-B
BUILDING IS NON-SPRINKLED
MAX BUILDING HEIGHT 28' TO PEAK
FIRE-FLOW = 1,500 GPM



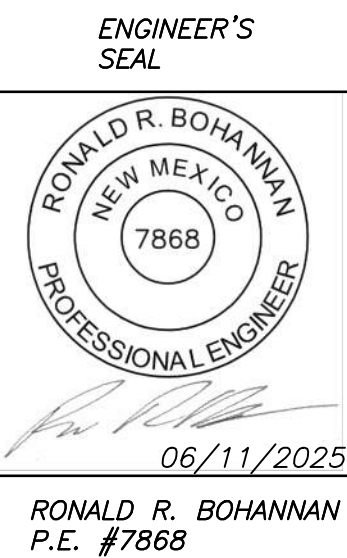
MATCHLINE ~ SEE PREVIOUS SHEET

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- BUILDING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- FIRE ACCESS
- NO PARKING FIRE LANE LINE
- EXISTING FIRE HYDRANT
- PROPOSED HYDRANT

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



JAY REMBE SUBDIVISION
ALBUQUERQUE, NM

FIRE ONE
PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NEW MEXICO 87109
(505)858-3100

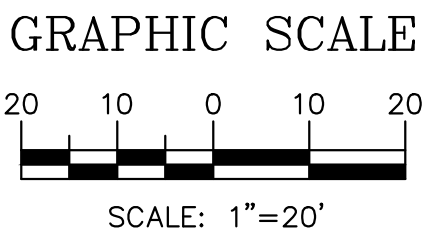
AS

06-11-25

SHEET #

F-2

JOB #
2024054

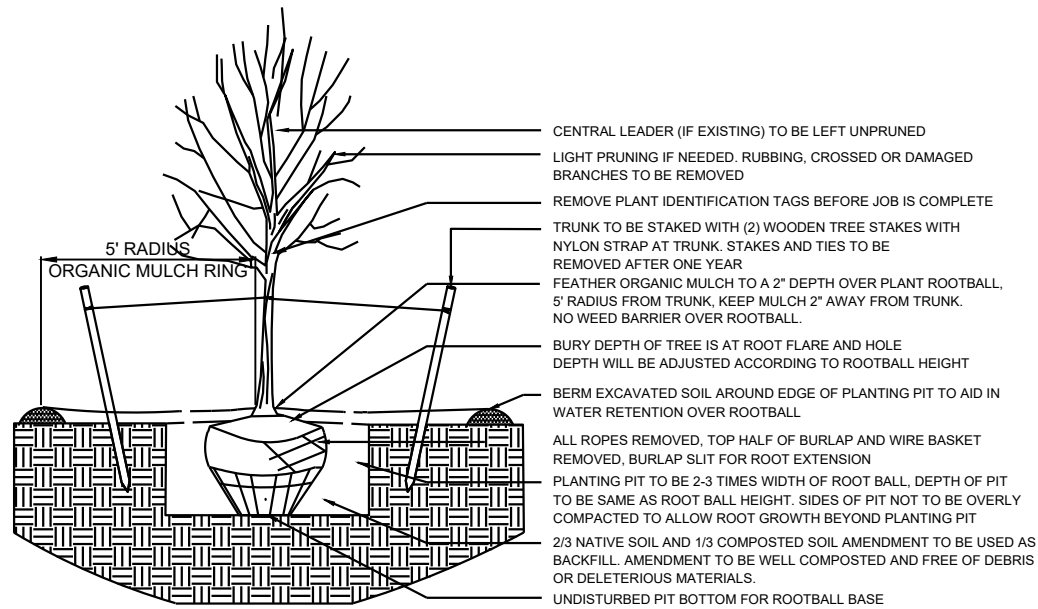


MATCHLINE ~ SEE NEXT SHEET



GENERAL NOTES

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR AND SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT.
- GRADING OF THE SITE PER THE GRADING PLAN IS NOT INCLUDED IN THE SCOPE OF WORK OF THE LANDSCAPE CONTRACTOR. GRADES PER THE GRADING PLAN SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR +/- 1/10TH OF A FOOT, BY OTHERS.
- ALL MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. NO CONTRACTUAL MAINTENANCE SHALL BE INCLUDED UNLESS OTHERWISE SPECIFIED IN THE BIDDING DOCUMENTS.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY RESTRICTIONS OF IRRIGATION WATER USE BY ANY GOVERNING BODY.
- PER 5-6(C)(4)(a) A MINIMUM OF 5 SPECIES MUST BE USED IN THE LANDSCAPED AREA.
- PER 5-6(C)(4)(b) ONLY TREES AND SHRUBS SELECTED FROM THE OFFICIAL ALBUQUERQUE PLANT PALETTE OF LOW WATER USE, DROUGHT TOLERANT, OR XERIC SPECIES AND SHOWN ON A LANDSCAPE PLAN CAN COUNT TOWARD THE REQUIREMENTS OF THIS SUBSECTION 14-16-5-6(C) (GENERAL LANDSCAPING STANDARDS), EXCEPT THAT, UPON PRESENTATION OF EVIDENCE, THE RELEVANT DECISION-MAKING BODY MAY AUTHORIZE ALTERNATIVE SPECIES OR CULTIVARS THAT MEET ALL OF THE FOLLOWING REQUIREMENTS:
 - MEET THE INTENDED PURPOSE OF THAT TYPE OF LANDSCAPING.
 - ARE NOT HAZARDOUS.
 - ARE NOT IDENTIFIED AS INVASIVE ON A CITY OR STATE PLANT LIST.
 - ARE NOT LISTED IN THE CITY'S WEED IDENTIFICATION HANDBOOK.
 - ARE EQUALLY HARDY TO THE NEW MEXICO CLIMATE.
- PER 5-3(D)(3)(a) 3. SHADE TREES ALONG REQUIRED PEDESTRIAN WALKWAYS ARE REQUIRED PURSUANT TO SUBSECTION 14-16-5-6(C)(4)(i) (REQUIRED PLANT MATERIALS AND SITE AMENITIES). 5-6(C)(4)(i) SHADE TREES PLANTED APPROXIMATELY 25 FEET ON-CENTER ARE REQUIRED ALONG ALL REQUIRED PEDESTRIAN WALKWAYS. IF THE WALKWAY IS LESS THAN FEET LONG, AT LEAST ONE TREE IS REQUIRED, OR, WHERE THERE IS INSUFFICIENT SPACE FOR A TREE, A TRELLIS OF AT LEAST 8 FEET HIGH FOR AT LEAST 5 FEET ALONG THE WALKWAY SHALL BE PROVIDED.
- PER 5-6(F)(1)(i) 1 OF THE IDO, ANY PARKING LOT LOCATED WITHIN 30 FEET OF THE FRONT LOT LINE SHALL BE SCREENED FROM THE STREET EITHER BY A MASONRY WALL CONSTRUCTED OF A MATERIAL SIMILAR IN TEXTURE, APPEARANCE, AND COLOR TO THE STREET-FACING FAÇADE OF THE PRIMARY BUILDING (BUT EXCLUDING EXPOSED CMU BLOCK) AT LEAST 3 BUT NOT MORE THAN 4 FEET IN HEIGHT, OR BY A LANDSCAPE BUFFER AT LEAST 10 FEET IN WIDTH WITH A CONTINUOUS LINE OF EVERGREEN SHRUBBERY 3 FEET IN HEIGHT, OR BY OTHER MEANS THAT THE PLANNING DIRECTOR DETERMINES PROVIDES EQUAL OR BETTER SCREENING OF THE HEADLIGHTS OF PARKED VEHICLES.
- PER 5-6(C)(9)(a), ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
- PER 5-6(C)(9)(b), ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8 FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9' CLEARANCE OVER THE STREET SURFACE.
- PURSUANT TO 5-6(C)(5)(e), BARK MULCH AREAS CLEARLY DELINEATED ON PLANS FOR LANDSCAPE AREAS AND 5' RADIUS RINGS AROUND TREES PURSUANT TO 5-6(C)(7)(a), ALL VEGETATION HAS BEEN LOCATED A MINIMUM OF 2' IN ANY DIRECTION FROM FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
- PURSUANT TO 5-6(C)(10)(a), TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS UNLESS THERE IS NO OTHER PRACTICABLE LOCATION ON THE LOT WHERE THE LANDSCAPING WOULD ACHIEVE ITS INTENDED PURPOSE.
- PURSUANT TO 5-6(C)(10)(b), TREES SHALL NOT BE PLANTED WITHIN 10' IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERIES BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.



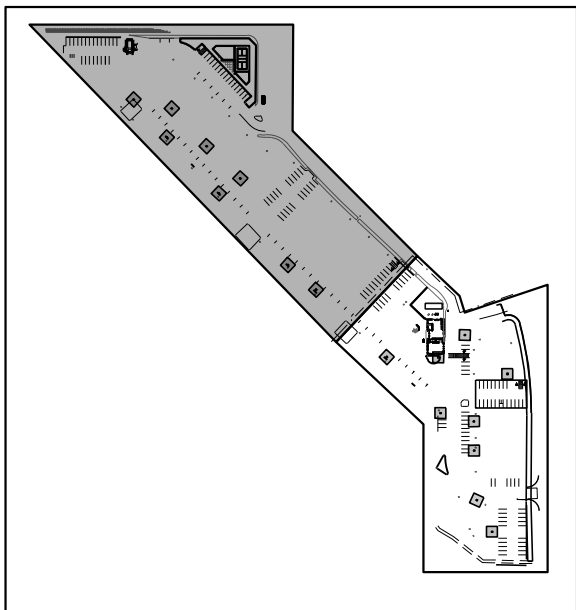
1 TREE PLANTING DETAIL

LANDSCAPE DATA

IDO UPC#		ZONING DESIGNATION		
101906403903830134				
GROSS LOT AREA (SF)		350,457		
BUILDING AREA (SF)		82,858		
NET LOT AREA (SF)		267,599		
MINIMUM LANDSCAPE		REQUIRED	PROVIDED	
AREA (SF) - MINIMUM 15 % OF NET LOT AREA*		40,140	115,519	43%
TOTAL VEGETATIVE COVERAGE (SF) @ PLANT MATURITY (75% OF LANDSCAPE AREA)		30,105	104,672	261%
VEGETATIVE COVERAGE (SF) OF GROUND-LEVEL PLANTS (25% OF TOTAL, MINIMUM)		7,526	14,722	49%
*PER IDO 14-16-5-6(C)(2)(b), IN DT-UC-M5-PT AREAS, MINIMUM IS 10% OF NET LOT AREA.				
**FOR MULTI-FAMILY DWELLING, MINIMUM IS 20% OF NET LOT AREA. SEE 14-16-4-3(b)(8) FOR DETAILS.				
PLANTING AREA MULCH		REQUIRED	PROVIDED	
GRAVEL OR CRUSHER FINES (SF)		MAX. 75%	78,548	68%
*PER IDO 14-15-5-6(C)(3). The use of gravel or crusher fines as ground cover is limited to a maximum 50 percent in DT-UC-M5 areas.				
STREET TREES - 1 PER 25 LF		REQUIRED	PROVIDED	
STREET FRONTAGE (LF)		-	1584	
STREET TREES		63.4	67	
*PER IDO 14-15-5-6(C)(3)(b) TREES THAT ARE PLANTED WITHIN 50 FEET OF THE BACK OF CURB OF THE ADJUTING STREET MAY FULFILL THIS REQUIREMENT.				
PEDESTRIAN WALKWAY TREES - 1 PER 25 LF		REQUIRED	PROVIDED	
WALKWAY (LF)		-	4440	
PEDESTRIAN WALKWAY TREES		178	197	
PARKING LOT INTERIOR		REQUIRED	PROVIDED	
PARKING STALLS		-	220	
TREES (1 PER 10 PARKING SPACES)		22.0	22	
*PER IDO 14-16-5-6(F)(3), FOR PARKING LOTS CONTAINING 50 OR FEWER SPACES, MINIMUM IS 10% OF PARKING LOT AREA.				
COOL SEASON GRASS		REQUIRED	PROVIDED	
NO MORE THAN 10 % OF REQUIRED LANDSCAPE AREA		4014	3381	8%
ADDITIONAL REQUIREMENTS FOR MULTI-FAMILY DWELLING		REQUIRED	PROVIDED	
1 TREE PER GROUND FLOOR DWELLING UNIT		145	145	
*PER IDO 14-16-4-3(b)(8), IN DT-UC-M5-PT AREAS, SECOND FLOOR DWELLING UNIT TREES ARE NOT REQUIRED.				
TOTALS		REQUIRED	PROVIDED	
TREES		264	280	
*PER IDO 14-16-5-6(C)(3)(a), IF AREAS REQUIRED TO BE LANDSCAPED BY 2 OR MORE PROVISIONS OF THIS SECTION 14-16-5-6 OVERLAP EACH OTHER, THE PROVISION REQUIRING THE GREATER AMOUNT OF LANDSCAPING SHALL APPLY, AND LANDSCAPING PROVIDED THAT MEETS THE GREATER REQUIREMENT SHALL COUNT TOWARD FULFILLING THE OVERLAPPING REQUIREMENTS.				

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	COVERAGE
DECIDUOUS TREE					
21		ACER NEGUNDO 'SENSATION' / SENSATION BOX ELDER MAPLE	2" B&B	MEDIUM	40' X 30'
42		CERCIS RENIFORMIS 'OKLAHOMA' / OKLAHOMA RED BUD	15 GAL	MEDIUM	15' X 12'
36		CRATAEGUS AMBIGUA / RUSSIAN HAWTHORN	2" B&B	MEDIUM	20' X 15'
72		FORESTIERA NEOMEXICANA / NEW MEXICAN OLIVE	15 GAL	MEDIUM	15' X 15'
46		ILEX VOMITORIA / YALPON HOLLY	15 GAL	HIGH	15' X 15'
3		PISTACIA CHINENSIS / CHINESE PISTACHE	2" B&B	MEDIUM	60' X 60'
3		PRUNUS VIRGINIANA 'CANADA RED' / CANADA RED CHOKECHERRY	2" B&B	MEDIUM	20' X 20'
50		ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	2" B&B	MEDIUM	45' X 30'
EVERGREEN TREE					
5		PINUS NIGRA / AUSTRIAN BLACK PINE	6"	MEDIUM	35' X 25'
2		QUERCUS FUSIFORMIS 'JOAN LIONETTI' / JOAN LIONETTI TEXAS LIVE OAK	2" B&B	MEDIUM	35' X 40'
SYMBOL QTY BOTANICAL / COMMON NAME SIZE WATER H X W					
DESERT ACCENT					
6		DASYLIRION TEXANUM / TEXAS SOTOL	5 GAL	RW	5' X 5'
62		HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	RW	3' X 3'
31		YUCCA BACCATA / BANANA YUCCA	5 GAL	RW	4' X 5'
PERENNIAL					
16		ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	1 GAL	MEDIUM	2' X 2'
ORNAMENTAL GRASS					
82		CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	MEDIUM	30" X 2'
18		HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS	1 GAL	MEDIUM	2' X 2'
GROUND COVER					
25		EUONYMUS FORTUNEI 'COLORATUS' / PURPLE-LEAF WINTERCREEPER	1 GAL	MEDIUM	2' X 5'
12		VINCA MAJOR / LARGE PERIWINKLE	1 GAL	MEDIUM	1' X 4'
DECIDUOUS SHRUBS					
17		AMORPHA CANESCENS / LEADPLANT	5 GAL	MEDIUM	2' X 3'
24		BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	5 GAL	MEDIUM	2' X 2'
36		BUDDLEJA DAVIDI / BUTTERFLY BUSH	5 GAL	MEDIUM	5' X 7'
21		CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	5 GAL	LOW	3' X 3'
4		CHAMAEBATARIA MILLEFOLIUM 'FERNBUSH' / FERNBUSH	5 GAL	LOW	5' X 6'
26		HIBISCUS SYRIACUS / ROSE OF SHARON	5 GAL	MEDIUM	10' X 10'
18		LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER	5 GAL	MEDIUM	3' X 3'
29		PRUNUS BESSEYI / SAND CHERRY	5 GAL	MEDIUM	4' X 4'
37		PRUNUS BESSEYI 'PAWNEE BUTTES' / PROSTRATE SAND CHERRY	5 GAL	MEDIUM	2' X 6'
17		RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	LOW	2' X 6'
22		RHUS TRILOBATA 'AUTUMN AMBER' / AUTUMN AMBER SUMAC	5 GAL	MEDIUM	2' X 6'
4		RIBES AUREUM / GOLDEN CURRANT	5 GAL	MEDIUM	6' X 6'
10		SALVIA GREGGII / AUTUMN SAGE CHERRY	5 GAL	LOW	3' X 4'
EVERGREEN SHRUBS					
27		BACCHARIS X 'STARN' / STARN COYOTE BRUSH	5 GAL	LOW	2' X 5'
138		BUXUS MICROPHYLLA / LITTLELEAF BOXWOOD	5 GAL	MEDIUM	4' X 4'
6		CYTISUS SCOPARIUS 'ALL GOLD' / SCOTCH BROOM	5 GAL	MEDIUM	4' X 6'
30		ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	5 GAL	LOW	3' X 4'
37		JUNPERUS SABINA 'BUFFALO' / BUFFALO JUMPER	5 GAL	LOW	2' X 5'
6		MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE	5 GAL	MEDIUM	2' X 4'
146		RHAPHIOLEPIS INDICA / INDIAN HAWTHORN	5 GAL	MEDIUM	3' X 4'
21		SANTOLINA CHAMAECYPARISSUS / LAVENDER COTTON	1 GAL	LOW	2' X 3'



YELLOWSTONE
LANDSCAPE

www.yellowstonelandscape.com
P O Box 10597
Albuquerque, NM 87184
505.898.9615
design@yellowstonelandscape.com



10/29/25

Date: 09/03/2025

Revisions:

10/29/2025

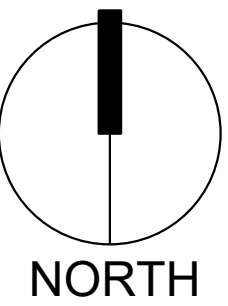
△
△
△
△
△

Drawn by: CC

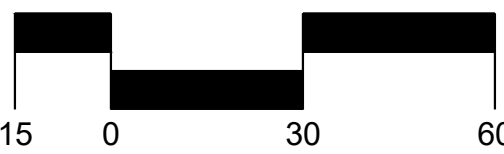
Reviewed by: CM

BTR Rio Rancho
Housing Development

Rio Rancho, New Mexico



Scale: 1" = 30'



Sheet Title:

Planting
Plan

Sheet Number:

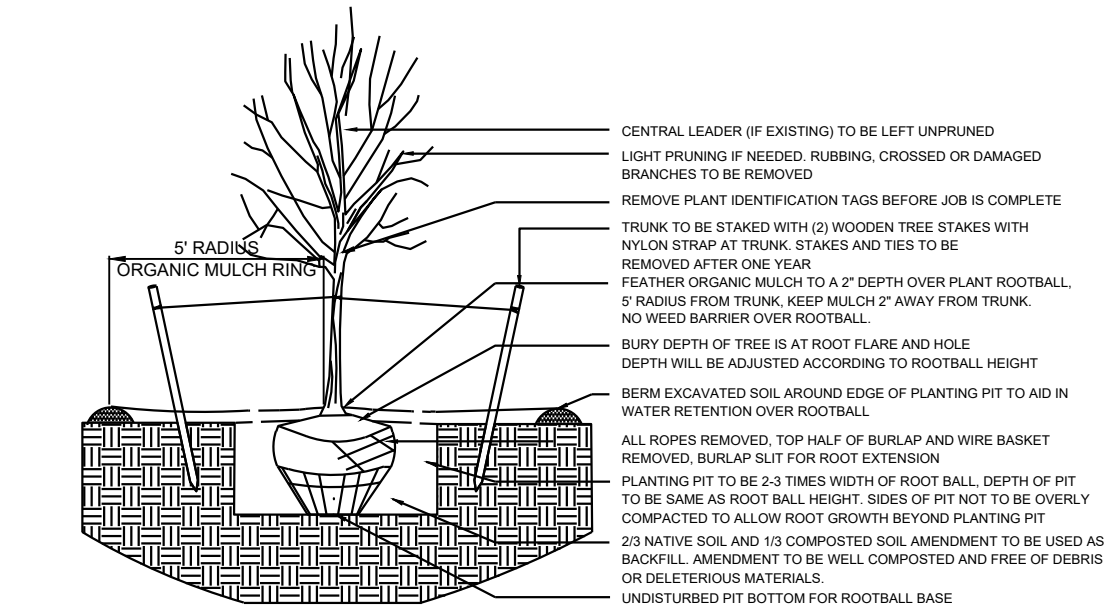
LP-01

GENERAL NOTES

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR AND SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT.
- GRADING OF THE SITE PER THE GRADING PLAN IS NOT INCLUDED IN THE SCOPE OF WORK OF THE LANDSCAPE CONTRACTOR. GRADES PER THE GRADING PLAN SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR +/- 1/10TH OF A FOOT, BY OTHERS.
- ALL MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. NO CONTRACTUAL MAINTENANCE SHALL BE INCLUDED UNLESS OTHERWISE SPECIFIED IN THE BIDDING DOCUMENTS.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY RESTRICTIONS OF IRRIGATION WATER USE BY ANY GOVERNING BODY.
- PER 5-6(C)(4)(a) A MINIMUM OF 5 SPECIES MUST BE USED IN THE LANDSCAPED AREA.
- PER 5-6(C)(4)(b) ONLY TREES AND SHRUBS SELECTED FROM THE OFFICIAL ALBUQUERQUE PLANT PALETTE OF LOW WATER USE, DROUGHT TOLERANT, OR XERIC SPECIES AND SHOWN ON A LANDSCAPE PLAN CAN COUNT TOWARD THE REQUIREMENTS OF THIS SUBSECTION 14-16-5-6(C) (GENERAL LANDSCAPING STANDARDS), EXCEPT THAT, UPON PRESENTATION OF EVIDENCE, THE RELEVANT DECISION-MAKING BODY MAY AUTHORIZE ALTERNATIVE SPECIES OR CULTIVARS THAT MEET ALL OF THE FOLLOWING REQUIREMENTS:
 - MEET THE INTENDED PURPOSE OF THAT TYPE OF LANDSCAPING.
 - ARE NOT HAZARDOUS.
 - ARE NOT IDENTIFIED AS INVASIVE ON A CITY OR STATE PLANT LIST.
 - ARE NOT LISTED IN THE CITY'S WEED IDENTIFICATION HANDBOOK.
 - ARE EQUALLY HARDY TO THE NEW MEXICO CLIMATE.
- PER 5-3(D)(3)(a) 3. SHADE TREES ALONG REQUIRED PEDESTRIAN WALKWAYS ARE REQUIRED PURSUANT TO SUBSECTION 14-16-5-6(C)(4)(i) (REQUIRED PLANT MATERIALS AND SITE AMENITIES). 5-6(C)(4)(i) SHADE TREES PLANTED APPROXIMATELY 25 FEET ON-CENTER ARE REQUIRED ALONG ALL REQUIRED PEDESTRIAN WALKWAYS. IF THE WALKWAY IS LESS THAN FEET LONG, AT LEAST ONE TREE IS REQUIRED, OR, WHERE THERE IS INSUFFICIENT SPACE FOR A TREE, A TRELLIS OF AT LEAST 8 FEET HIGH FOR AT LEAST 5 FEET ALONG THE WALKWAY SHALL BE PROVIDED.
- PER 5-6(F)(1)(i) 1 OF THE IDO, ANY PARKING LOT LOCATED WITHIN 30 FEET OF THE FRONT LOT LINE SHALL BE SCREENED FROM THE STREET EITHER BY A MASONRY WALL CONSTRUCTED OF A MATERIAL SIMILAR IN TEXTURE, APPEARANCE, AND COLOR TO THE STREET-FACING FAÇADE OF THE PRIMARY BUILDING (BUT EXCLUDING EXPOSED CMU BLOCK) AT LEAST 3 BUT NOT MORE THAN 4 FEET IN HEIGHT, OR BY A LANDSCAPE BUFFER AT LEAST 10 FEET IN WIDTH WITH A CONTINUOUS LINE OF EVERGREEN SHRUBBERY 3 FEET IN HEIGHT, OR BY OTHER MEANS THAT THE PLANNING DIRECTOR DETERMINES PROVIDES EQUAL OR BETTER SCREENING OF THE HEADLIGHTS OF PARKED VEHICLES.
- PER 5-6(C)(9)(a), ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
- PER 5-6(C)(9)(b), ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8 FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9' CLEARANCE OVER THE STREET SURFACE.
- PURSUANT TO 5-6(C)(5)(e), BARK MULCH AREAS CLEARLY DELINEATED ON PLANS FOR LANDSCAPE AREAS AND 5' RADIUS RINGS AROUND TREES.
- PURSUANT TO 5-6(C)(7)(a), ALL VEGETATION HAS BEEN LOCATED A MINIMUM OF 3' IN ANY DIRECTION FROM FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
- PURSUANT TO 5-6(C)(10)(a), TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS UNLESS THERE IS NO OTHER PRACTICABLE LOCATION ON THE LOT WHERE THE LANDSCAPING WOULD ACHIEVE ITS INTENDED PURPOSE.
- PURSUANT TO 5-6(C)(10)(b), TREES SHALL NOT BE PLANTED WITHIN 10' IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERIES BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	COVERAGE
DECIDUOUS TREE					
	21	ACER NEGUNDO 'SENSATION' / SENSATION BOX ELDER MAPLE	2" B&B	MEDIUM	40' X 30'
	42	CERCIS RENIFORMIS 'OKLAHOMA' / OKLAHOMA RED BUD	15 GAL	MEDIUM	15' X 12'
	36	CRATAEGUS AMBIGUA / RUSSIAN HAWTHORN	2" B&B	MEDIUM	20' X 15'
	72	FORESTIERA NEOMEXICANA / NEW MEXICAN OLIVE	15 GAL	MEDIUM	15' X 15'
	46	ILEX VOMITORIA / YAUPOH HOLLY	15 GAL	HIGH	15' X 15'
	3	PISTACIA CHINENSIS / CHINESE PISTACHE	2" B&B	MEDIUM	60' X 80'
	3	PRUNUS VIRGINIANA 'CANADA RED' / CANADA RED CHOKECHERRY	2" B&B	MEDIUM	20' X 20'
	50	ULMUS PARVIFOLIA 'ALLEE' / ALLEES LACEBARK ELM	2" B&B	MEDIUM	45' X 30'
EVERGREEN TREE					
	5	PINUS NIGRA / AUSTRIAN BLACK PINE	6"	MEDIUM	35' X 25'
	2	QUERCUS FUSIFORMIS 'JOAN LIONETTI' / JOAN LIONETTI TEXAS LIVE OAK	2" B&B	MEDIUM	35' X 40'
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	H X W
DESERT ACCENT					
	6	DASYLIRION TEXANUM / TEXAS SOTOL	5 GAL	RW	5' X 5'
	62	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	RW	3' X 3'
	31	YUCCA BACCATA / BANANA YUCCA	5 GAL	RW	4' X 5'
PERENNIAL					
	16	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	1 GAL	MEDIUM	2' X 2'
ORNAMENTAL GRASS					
	62	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	MEDIUM	30" X 2'
	6	HELICOTTRICHON SEMPERVIRENS / BLUE OAT GRASS	1 GAL	MEDIUM	2' X 2'
GROUNDCOVER					
	25	EUONYMUS FORTUNEI 'COLORATUS' / PURPLE-LEAF WINTERCREEPER	1 GAL	MEDIUM	2' X 5'
	12	VINCA MAJOR / LARGE PERIWINKLE	1 GAL	MEDIUM	1' X 4'
DECIDUOUS SHRUBS					
	17	AMORPHA CANESCENS / LEADPLANT	5 GAL	MEDIUM	2' X 3'
	24	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	5 GAL	MEDIUM	2' X 2'
	36	BUDDLEJA DAVIDII / BUTTERFLY BUSH	5 GAL	MEDIUM	5' X 7'
	21	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	5 GAL	LOW	3' X 3'
	4	CHAMAEBATIA MILLEFOLIUM 'FERNBUSH' / FERNBUSH	5 GAL	LOW	5' X 6'
	26	HIBISCUS SYRIACUS / ROSE OF SHARON	5 GAL	MEDIUM	10' X 10'
	18	LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER	5 GAL	MEDIUM	3' X 3'
	29	PRUNUS BESSEYI / SAND CHERRY	5 GAL	MEDIUM	4' X 4'
	37	PRUNUS BESSEYI 'PAWNEE BUTTES' / PROSTRATE SAND CHERRY	5 GAL	MEDIUM	2' X 4'
	17	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	LOW	2' X 6'
	22	RHUS TRILOBATA 'AUTUMN AMBER' / AUTUMN AMBER SUMAC	5 GAL	MEDIUM	2' X 6'
	4	RIBES AUREUM / GOLDEN CURRANT	5 GAL	MEDIUM	6' X 6'
	10	SALVIA GREGGII / AUTUMN SAGE CHERRY	5 GAL	LOW	3' X 4'
EVERGREEN SHRUBS					
	27	BACCHARIS X 'STARNI' / STARN COYOTE BRUSH	5 GAL	LOW	2' X 5'
	136	BUXUS MICROPHYLLA / LITTLELEAF BOXWOOD	5 GAL	MEDIUM	4' X 4'
	6	CYTISUS SCOPARIUS 'ALL GOLD' / SCOTCH BROOM	5 GAL	MEDIUM	4' X 6'
	30	ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	5 GAL	LOW	3' X 4'
	37	JUNIPERUS SABINA 'BUFFALO' / BUFFALO JUNIPER	5 GAL	LOW	2' X 5'
	6	MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE	5 GAL	MEDIUM	2' X 4'
	146	RHAMPHOLEPIS INDICA / INDIAN HAWTHORN	5 GAL	MEDIUM	3' X 4'
	21	SANTOLINA CHAMAECYPARISSUS / LAVENDER COTTON	1 GAL	LOW	2' X 3'



1 TREE PLANTING DETAIL

N.T.S.

10' PLANTING BUFFER AROUND TRANSFORMERS, TYP.

LANDSCAPE DATA		ZONING DESIGNATION	
IDO UPC#	101906403903830134		
GROSS LOT AREA (SF)	350,457		
BUILDING AREA (SF)	62,358		
NET LOT AREA (SF)	267,599		
MINIMUM LANDSCAPE	REQUIRED	PROVIDED	
AREA (SF) - MINIMUM 15 % OF NET LOT AREA*	40,140	115,519	43%
TOTAL VEGETATIVE COVERAGE (SF) @ PLANT MATURITY (75% OF LANDSCAPE AREA)	30,105	104,672	261%
VEGETATIVE COVERAGE (SF) OF GROUND-LEVEL PLANTS (25% OF TOTAL, MINIMUM)	7,526	14,722	49%
* PER IDO 14-16-5-6(C)(5) IN DT-UC-MIS-PT AREAS, MINIMUM IS 10% OF NET LOT AREA.			
* FOR MULTIFAMILY DWELLING, MINIMUM IS 25% OF NET LOT AREA, SEE 14-16-4-3(B)(3) FOR DETAILS.			
PLANTING AREA MULCH	REQUIRED	PROVIDED	
GRAVEL OR CRUSHER FINES (SF)	MAX. 75%	78,548	68%
* PER IDO 14-16-5-6(C)(5) The use of gravel or crusher fines as ground cover is limited to a maximum 50 percent in DT-UC-MIS areas.			
STREET TREES - 1 PER 25 LF	REQUIRED	PROVIDED	
STREET FRONTAGE (LF)	1584		
STREET TREES	63.4	67	
* PER IDO 14-16-5-6(D)(1)(ii) TREES THAT ARE PLANTED WITHIN 20 FEET OF THE BACK OF CURBS OF THE ADJUTING STREET MAY FULFILL THIS REQUIREMENT.			
PEDESTRIAN WALKWAY TREES - 1 PER 25 LF WALKWAY (LF)	REQUIRED	PROVIDED	
	-	4440	
PEDESTRIAN WALKWAY TREES	178	197	
PARKING LOT INTERIOR	REQUIRED	PROVIDED	
PARKING STALLS	220		
TREES (1 PER 10 PARKING SPACES)	22.0	22	
* PER IDO 14-16-5-6(F)(2), FOR PARKING LOTS CONTAINING 50 OR FEWER SPACES, MINIMUM IS 10% OF PARKING LOT AREA.			
COOL SEASON GRASS	REQUIRED	PROVIDED	
NO MORE THAN 10 % OF REQUIRED LANDSCAPE AREA	4014	3381	8%
ADDITIONAL REQUIREMENTS FOR MULTI-FAMILY DWELLING	REQUIRED	PROVIDED	
1 TREE PER GROUND FLOOR DWELLING UNIT	145	145	
* PER IDO 14-16-4-3(B)(8), IN DT-UC-MIS-PT AREAS, SECOND FLOOR DWELLING UNIT TREES ARE NOT REQUIRED.			
TOTALS	REQUIRED	PROVIDED	
TREES	264	280	

* PER IDO 14-16-5-6(C)(3)(ii), IF AREAS REQUIRED TO BE LANDSCAPED BY 2 OR MORE PROVISIONS OF THIS SECTION 14-16-5-6 OVERLAP EACH OTHER, THE PROVISION REQUIRING THE GREATER AMOUNT OF LANDSCAPING SHALL APPLY, AND LANDSCAPING PROVIDED THAT MEETS THE GREATER REQUIREMENT SHALL COUNT TOWARD FULFILLING THE OVERLAPPING REQUIREMENTS.

Date: 09/03/2025

Revisions:

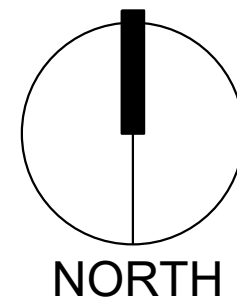
△ 10/29/2025
△
△
△
△

Drawn by: CC

Reviewed by: CM

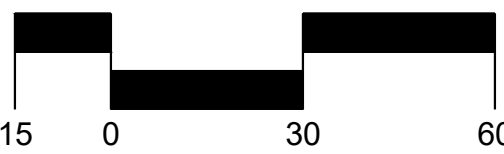
BTR Rio Rancho
Housing Development

Rio Rancho, New Mexico



NORTH

Scale: 1" = 30'

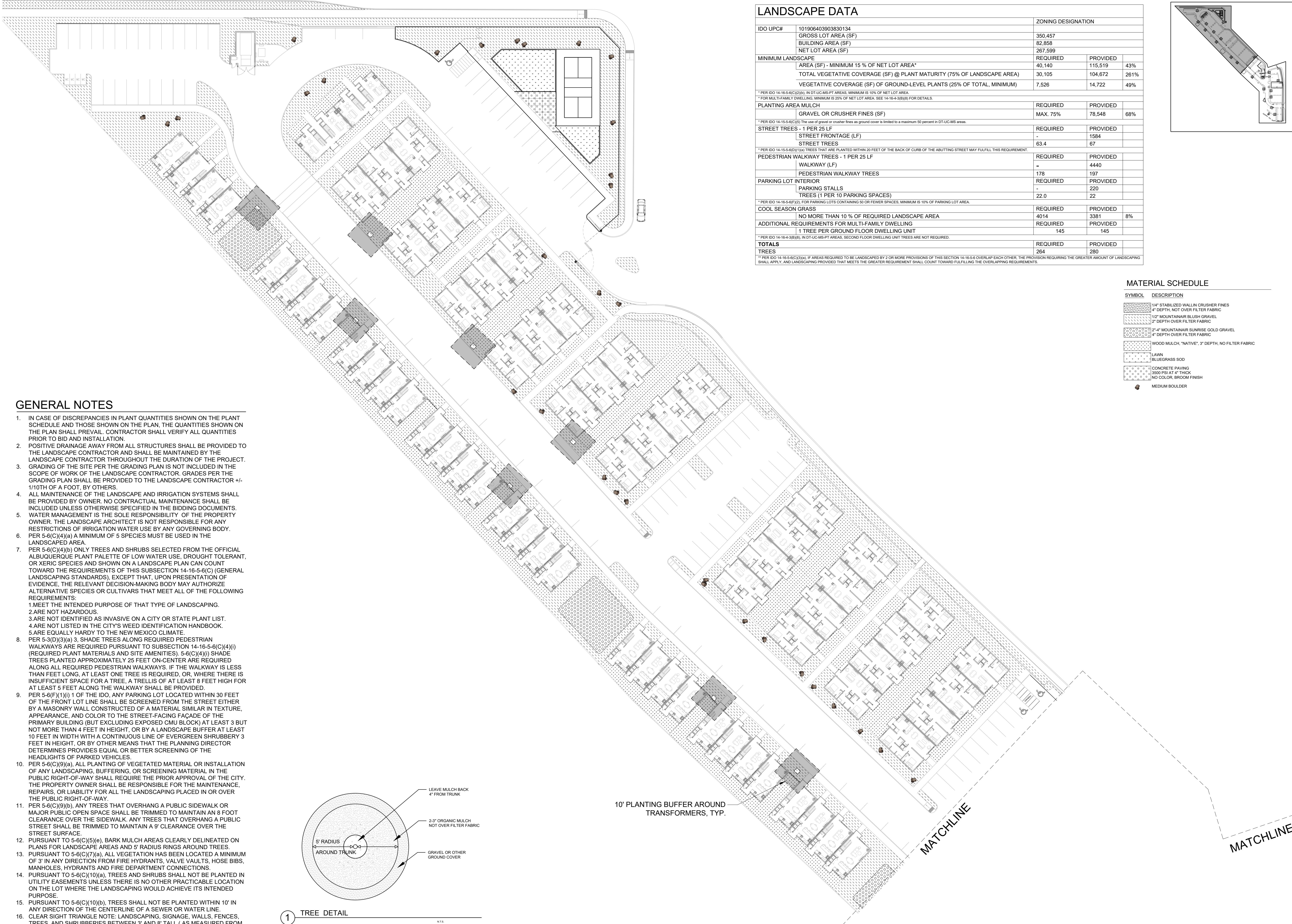


Sheet Title:

Planting
Plan

Sheet Number:

LP-02



LANDSCAPE DATA

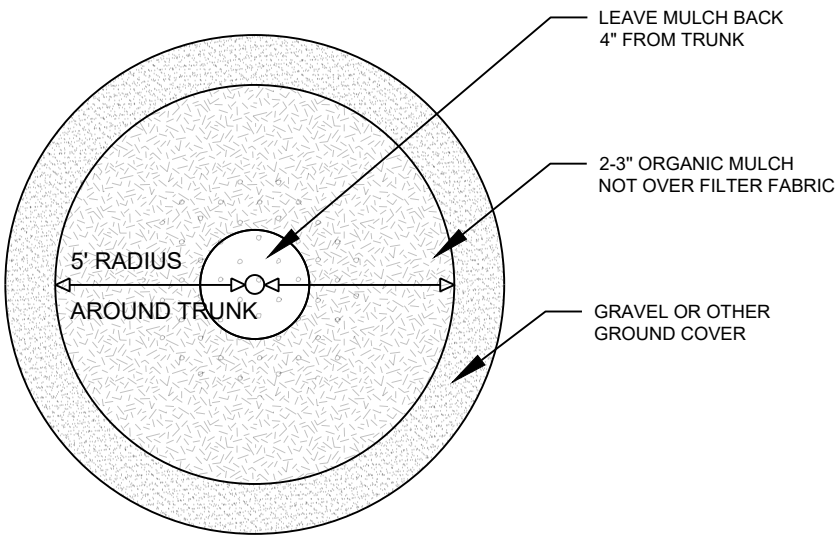
IDO UPC#		ZONING DESIGNATION		
101906403003830134				
GROSS LOT AREA (SF)		350,457		
BUILDING AREA (SF)		82,858		
NET LOT AREA (SF)		267,599		
MINIMUM LANDSCAPE		REQUIRED	PROVIDED	
AREA (SF) - MINIMUM 15% OF NET LOT AREA*		40,140	115,519	43%
TOTAL VEGETATIVE COVERAGE (SF) @ PLANT MATURITY (75% OF LANDSCAPE AREA)		30,105	104,672	261%
VEGETATIVE COVERAGE (SF) OF GROUND-LEVEL PLANTS (25% OF TOTAL, MINIMUM)		7,526	14,722	49%
* PER IDO 14-16-5-6(C)(2)(b), IN DT-UC-MS-PT AREAS, MINIMUM IS 10% OF NET LOT AREA.				
* FOR MULTI-FAMILY DWELLING, MINIMUM IS 25% OF NET LOT AREA. SEE 14-16-4-3(B)(9) FOR DETAILS.				
PLANTING AREA MULCH		REQUIRED	PROVIDED	
GRAVEL OR CRUSHER FINES (SF)		MAX. 75%	78,548	68%
* PER IDO 14-16-5-6(C)(3), THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM 50 PERCENT IN DT-UC-MS AREAS.				
STREET TREES - 1 PER 25 LF		REQUIRED	PROVIDED	
STREET FRONTAGE (LF)		-	1584	
STREET TREES		63.4	67	
* PER IDO 14-16-5-6(D)(1)(a), TREES THAT ARE PLANTED WITHIN 20 FEET OF THE BACK OF CURB OF THE ABUTTING STREET MAY FULFILL THIS REQUIREMENT.				
PEDESTRIAN WALKWAY TREES - 1 PER 25 LF		REQUIRED	PROVIDED	
WALKWAY (LF)		-	4440	
PEDESTRIAN WALKWAY TREES		178	197	
PARKING LOT INTERIOR		REQUIRED	PROVIDED	
PARKING STALLS		-	220	
TREES (1 PER 10 PARKING SPACES)		22.0	22	
* PER IDO 14-16-5-6(F)(2), FOR PARKING LOTS CONTAINING 50 OR FEWER SPACES, MINIMUM IS 10% OF PARKING LOT AREA.				
COOL SEASON GRASS		REQUIRED	PROVIDED	
NO MORE THAN 10% OF REQUIRED LANDSCAPE AREA		4014	3381	8%
ADDITIONAL REQUIREMENTS FOR MULTI-FAMILY DWELLING		REQUIRED	PROVIDED	
1 TREE PER GROUND FLOOR DWELLING UNIT		145	145	
* PER IDO 14-16-4-3(B)(8), IN DT-UC-MS-PT AREAS, SECOND FLOOR DWELLING UNIT TREES ARE NOT REQUIRED.				
TOTALS		REQUIRED	PROVIDED	
TREES		264	280	
* PER IDO 14-16-5-6(C)(3)(a), IF AREAS REQUIRED TO BE LANDSCAPED BY 2 OR MORE PROVISIONS OF THIS SECTION 14-16-5-6 OVERLAP EACH OTHER, THE PROVISION REQUIRING THE GREATER AMOUNT OF LANDSCAPING SHALL APPLY, AND LANDSCAPING PROVIDED THAT MEETS THE GREATER REQUIREMENT SHALL COUNT TOWARD FULFILLING THE OVERLAPPING REQUIREMENTS.				

MATERIAL SCHEDULE

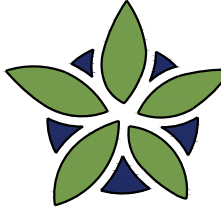
SYMBOL	DESCRIPTION
	1/4" STABILIZED WALL IN CRUSHER FINES 4" DEPTH, NO OVER FILTER FABRIC
	1/2" MOUNTAINAIR BLUSH GRAVEL 2" DEPTH OVER FILTER FABRIC
	3/4" MOUNTAINAIR SUNRISE GOLD GRAVEL 4" DEPTH OVER FILTER FABRIC
	WOOD MULCH, "NATIVE", 3" DEPTH, NO FILTER FABRIC
	LAWN
	BLUEGRASS SOD
	CONCRETE PAVING 3500 PSI AT 4" THICK NO COLOR, BROOM FINISH
	MEDIUM BOULDER

GENERAL NOTES

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR AND SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT.
- GRADING OF THE SITE PER THE GRADING PLAN IS NOT INCLUDED IN THE SCOPE OF WORK OF THE LANDSCAPE CONTRACTOR. GRADES PER THE GRADING PLAN SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR +/- 1/10TH OF A FOOT, BY OTHERS.
- ALL MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. NO CONTRACTUAL MAINTENANCE SHALL BE INCLUDED UNLESS OTHERWISE SPECIFIED IN THE BIDDING DOCUMENTS.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY RESTRICTIONS OF IRRIGATION WATER USE BY ANY GOVERNING BODY.
- PER 5-6(C)(4)(a) A MINIMUM OF 5 SPECIES MUST BE USED IN THE LANDSCAPED AREA.
- PER 5-6(C)(4)(b) ONLY TREES AND SHRUBS SELECTED FROM THE OFFICIAL ALBUQUERQUE PLANT PALETTE OF LOW WATER USE, DROUGHT TOLERANT, OR XERIC SPECIES AND SHOWN ON A LANDSCAPE PLAN CAN COUNT TOWARD THE REQUIREMENTS OF THIS SUBSECTION 14-16-5-6(C) (GENERAL LANDSCAPING STANDARDS), EXCEPT THAT, UPON PRESENTATION OF EVIDENCE, THE RELEVANT DECISION-MAKING BODY MAY AUTHORIZE ALTERNATIVE SPECIES OR CULTIVARS THAT MEET ALL OF THE FOLLOWING REQUIREMENTS:
 - MEET THE INTENDED PURPOSE OF THAT TYPE OF LANDSCAPING.
 - ARE NOT HAZARDOUS.
 - ARE NOT IDENTIFIED AS INVASIVE ON A CITY OR STATE PLANT LIST.
 - ARE NOT LISTED IN THE CITY'S WEED IDENTIFICATION HANDBOOK.
 - ARE EQUALLY HARDY TO THE NEW MEXICO CLIMATE.
- PER 5-3(D)(3)(a) 3. SHADE TREES ALONG REQUIRED PEDESTRIAN WALKWAYS ARE REQUIRED PURSUANT TO SUBSECTION 14-16-5-6(C)(4)(i) (REQUIRED PLANT MATERIALS AND SITE AMENITIES). 5-6(C)(4)(ii) SHADE TREES PLANTED APPROXIMATELY 25 FEET ON-CENTER ARE REQUIRED ALONG ALL REQUIRED PEDESTRIAN WALKWAYS. IF THE WALKWAY IS LESS THAN FEET LONG, AT LEAST ONE TREE IS REQUIRED, OR, WHERE THERE IS INSUFFICIENT SPACE FOR A TREE, A TRELLIS OF AT LEAST 8 FEET HIGH FOR AT LEAST 5 FEET ALONG THE WALKWAY SHALL BE PROVIDED.
- PER 5-6(F)(1)(i) 1 OF THE IDO, ANY PARKING LOT LOCATED WITHIN 30 FEET OF THE FRONT LOT LINE SHALL BE SCREENED FROM THE STREET EITHER BY A MASONRY WALL CONSTRUCTED OF A MATERIAL SIMILAR IN TEXTURE, APPEARANCE, AND COLOR TO THE STREET-FACING FAÇADE OF THE PRIMARY BUILDING (BUT EXCLUDING EXPOSED CMU BLOCK) AT LEAST 3 BUT NOT MORE THAN 4 FEET IN HEIGHT, OR BY A LANDSCAPE BUFFER AT LEAST 10 FEET IN WIDTH WITH A CONTINUOUS LINE OF EVERGREEN SHRUBBERY 3 FEET IN HEIGHT, OR BY OTHER MEANS THAT THE PLANNING DIRECTOR DETERMINES PROVIDES EQUAL OR BETTER SCREENING OF THE HEADLIGHTS OF PARKED VEHICLES.
- PER 5-6(C)(9)(a), ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
- PER 5-6(C)(9)(b), ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8 FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9' CLEARANCE OVER THE STREET SURFACE.
- PURSUANT TO 5-6(C)(5)(e), BARK MULCH AREAS CLEARLY DELINEATED ON PLANS FOR LANDSCAPE AREAS AND 5' RADIUS RINGS AROUND TREES
- PURSUANT TO 5-6(C)(7)(a), ALL VEGETATION HAS BEEN LOCATED A MINIMUM OF 3' IN ANY DIRECTION FROM FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
- PURSUANT TO 5-6(C)(10)(a), TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS UNLESS THERE IS NO OTHER PRACTICABLE LOCATION ON THE LOT WHERE THE LANDSCAPING WOULD ACHIEVE ITS INTENDED PURPOSE.
- PURSUANT TO 5-6(C)(10)(b), TREES SHALL NOT BE PLANTED WITHIN 10' IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERIES BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.



10' PLANTING BUFFER AROUND TRANSFORMERS, TYP.



YELLOWSTONE
LANDSCAPE

www.yellowstonelandscape.com

P O Box 10597

Albuquerque, NM 87184

505.898.9615

design@yellowstonelandscape.com



10/29/25

Date: 09/03/2025

Revisions:

△ 10/29/2025

△

△

△

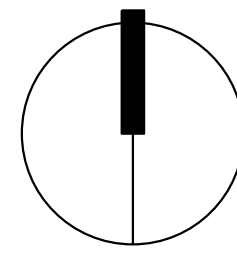
△

Drawn by: CC

Reviewed by: CM

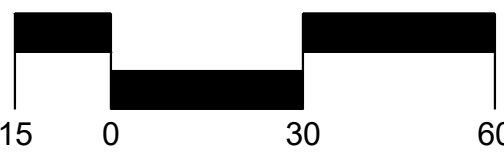
BTR Rio Rancho
Housing Development

Rio Rancho, New Mexico



NORTH

Scale: 1" = 30'



Sheet Title:

Landscape
Plan

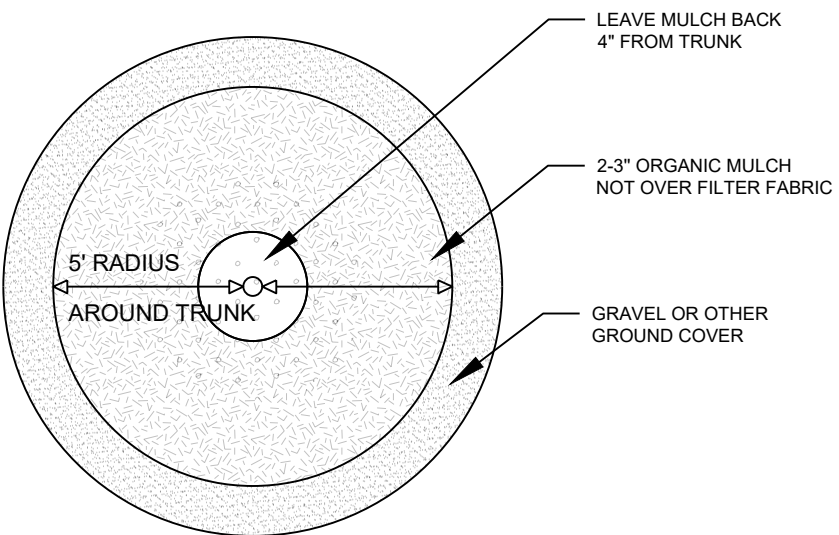
Sheet Number:

LS-01

GENERAL NOTES

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR AND SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT.
- GRADING OF THE SITE PER THE GRADING PLAN IS NOT INCLUDED IN THE SCOPE OF WORK OF THE LANDSCAPE CONTRACTOR. GRADES PER THE GRADING PLAN SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR +/- 1/10TH OF A FOOT, BY OTHERS.
- ALL MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. NO CONTRACTUAL MAINTENANCE SHALL BE INCLUDED UNLESS OTHERWISE SPECIFIED IN THE BIDDING DOCUMENTS.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY RESTRICTIONS OF IRRIGATION WATER USE BY ANY GOVERNING BODY.
- PER 5-6(C)(4)(a) A MINIMUM OF 5 SPECIES MUST BE USED IN THE LANDSCAPED AREA.
- PER 5-6(C)(4)(b) ONLY TREES AND SHRUBS SELECTED FROM THE OFFICIAL ALBUQUERQUE PLANT PALETTE OF LOW WATER USE, DROUGHT TOLERANT, OR XERIC SPECIES AND SHOWN ON A LANDSCAPE PLAN CAN COUNT TOWARD THE REQUIREMENTS OF THIS SUBSECTION 14-16-5-6(C) (GENERAL LANDSCAPING STANDARDS), EXCEPT THAT, UPON PRESENTATION OF EVIDENCE, THE RELEVANT DECISION-MAKING BODY MAY AUTHORIZE ALTERNATIVE SPECIES OR CULTIVARS THAT MEET ALL OF THE FOLLOWING REQUIREMENTS:
 - MEET THE INTENDED PURPOSE OF THAT TYPE OF LANDSCAPING.
 - ARE NOT HAZARDOUS.
 - ARE NOT IDENTIFIED AS INVASIVE ON A CITY OR STATE PLANT LIST.
 - ARE NOT LISTED IN THE CITY'S WEED IDENTIFICATION HANDBOOK.
 - ARE EQUALLY HARDY TO THE NEW MEXICO CLIMATE.
- PER 5-3(D)(3)(a) 3. SHADE TREES ALONG REQUIRED PEDESTRIAN WALKWAYS ARE REQUIRED PURSUANT TO SUBSECTION 14-16-5-6(C)(4)(i) (REQUIRED PLANT MATERIALS AND SITE AMENITIES). 5-6(C)(4)(i) SHADE TREES PLANTED APPROXIMATELY 25 FEET ON-CENTER ARE REQUIRED ALONG ALL REQUIRED PEDESTRIAN WALKWAYS. IF THE WALKWAY IS LESS THAN FEET LONG, AT LEAST ONE TREE IS REQUIRED, OR, WHERE THERE IS INSUFFICIENT SPACE FOR A TREE, A TRELLIS OF AT LEAST 8 FEET HIGH FOR AT LEAST 5 FEET ALONG THE WALKWAY SHALL BE PROVIDED.
- PER 5-6(F)(1)(i) 1 OF THE IDO, ANY PARKING LOT LOCATED WITHIN 30 FEET OF THE FRONT LOT LINE SHALL BE SCREENED FROM THE STREET EITHER BY A MASONRY WALL CONSTRUCTED OF A MATERIAL SIMILAR IN TEXTURE, APPEARANCE, AND COLOR TO THE STREET-FACING FAÇADE OF THE PRIMARY BUILDING (BUT EXCLUDING EXPOSED CMU BLOCK) AT LEAST 3 BUT NOT MORE THAN 4 FEET IN HEIGHT, OR BY A LANDSCAPE BUFFER AT LEAST 10 FEET IN WIDTH WITH A CONTINUOUS LINE OF EVERGREEN SHRUBBERY 3 FEET IN HEIGHT, OR BY OTHER MEANS THAT THE PLANNING DIRECTOR DETERMINES PROVIDES EQUAL OR BETTER SCREENING OF THE HEADLIGHTS OF PARKED VEHICLES.
- PER 5-6(C)(9)(a), ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
- PER 5-6(C)(9)(b), ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8 FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9' CLEARANCE OVER THE STREET SURFACE.
- PURSUANT TO 5-6(C)(5)(e), BARK MULCH AREAS CLEARLY DELINEATED ON PLANS FOR LANDSCAPE AREAS AND 5' RADIUS RINGS AROUND TREES.
- PURSUANT TO 5-6(C)(7)(a), ALL VEGETATION HAS BEEN LOCATED A MINIMUM OF 3' IN ANY DIRECTION FROM FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
- PURSUANT TO 5-6(C)(10)(a), TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS UNLESS THERE IS NO OTHER PRACTICABLE LOCATION ON THE LOT WHERE THE LANDSCAPING WOULD ACHIEVE ITS INTENDED PURPOSE.
- PURSUANT TO 5-6(C)(10)(b), TREES SHALL NOT BE PLANTED WITHIN 10' IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERIES BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

LANDSCAPE DATA		ZONING DESIGNATION		
IDO UPC#	101906403903830134			
	GROSS LOT AREA (SF)	350,457		
	BUILDING AREA (SF)	82,858		
	NET LOT AREA (SF)	267,599		
MINIMUM LANDSCAPE	REQUIRED	PROVIDED		
	AREA (SF) - MINIMUM 15 % OF NET LOT AREA*	40,140	115,519	43%
	TOTAL VEGETATIVE COVERAGE (SF) @ PLANT MATURITY (75% OF LANDSCAPE AREA)	30,105	104,672	261%
	VEGETATIVE COVERAGE (SF) OF GROUND-LEVEL PLANTS (25% OF TOTAL, MINIMUM)	7,526	14,722	49%
	* PER IDO 14-16-5-6(C)(2)(b), IN DT-UC-MS-PT AREAS, MINIMUM IS 10% OF NET LOT AREA.			
* FOR MULTI-FAMILY DWELLING, MINIMUM IS 25% OF NET LOT AREA. SEE 14-16-4-3(B)(8) FOR DETAILS.				
PLANTING AREA MULCH		REQUIRED	PROVIDED	
GRAVEL OR CRUSHER FINES (SF)		MAX. 75%	78,548	68%
* PER IDO 14-15-5-6(C)(5) The use of gravel or crusher fines as ground cover is limited to a maximum 50 percent in DT-UC-MS areas.				
STREET TREES - 1 PER 25 LF	REQUIRED	PROVIDED		
	-	1584		
	63.4	67		
* PER IDO 14-16-5-6(D)(2)(a) TREES THAT ARE PLANTED WITHIN 20 FEET OF THE BACK OF CURB OF THE ABUTTING STREET MAY FULFILL THIS REQUIREMENT.				
PEDESTRIAN WALKWAY TREES - 1 PER 25 LF	REQUIRED	PROVIDED		
	-	4440		
	178	197		
PARKING LOT INTERIOR	REQUIRED	PROVIDED		
	-	220		
	22.0	22		
* PER IDO 14-16-5-6(F)(2), FOR PARKING LOTS CONTAINING 50 OR FEWER SPACES, MINIMUM IS 10% OF PARKING LOT AREA.				
COOL SEASON GRASS		REQUIRED	PROVIDED	
NO MORE THAN 10 % OF REQUIRED LANDSCAPE AREA		4014	3381	8%
ADDITIONAL REQUIREMENTS FOR MULTI-FAMILY DWELLING	REQUIRED	PROVIDED		
	1 TREE PER GROUND FLOOR DWELLING UNIT	145	145	
* PER IDO 14-16-4-3(B)(8), IN DT-UC-MS-PT AREAS, SECOND FLOOR DWELLING UNIT TREES ARE NOT REQUIRED.				
TOTALS		REQUIRED	PROVIDED	
TREES		264	280	
* PER IDO 14-16-5-6(C)(3)(a) IF AREAS REQUIRED TO BE LANDSCAPED BY 2 OR MORE PROVISIONS OF THIS SECTION 14-16-5-6 OVERLAP EACH OTHER, THE PROVISION REQUIRING THE GREATER AMOUNT OF LANDSCAPING SHALL APPLY, AND LANDSCAPING PROVIDED THAT MEETS THE GREATER REQUIREMENT SHALL COUNT TOWARD FULFILLING THE OVERLAPPING REQUIREMENTS.				



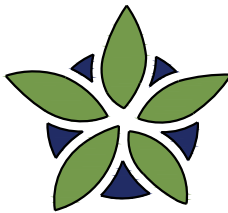
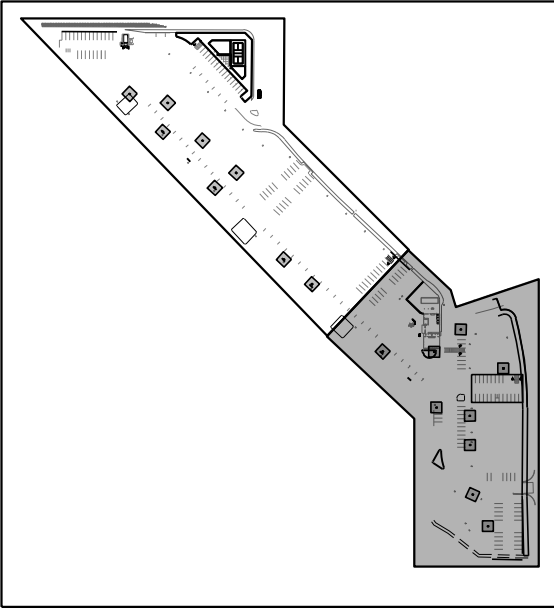
1 TREE DETAIL

N.T.S.

10' PLANTING BUFFER AROUND TRANSFORMERS, TYP.

MATERIAL SCHEDULE

SYMBOL	DESCRIPTION
	1/4\" STABILIZED WALLIN CRUSHER FINES 4\" DEPTH, NOT OVER FILTER FABRIC
	1/2\" MOUNTAINAIR BLUSH GRAVEL 2\" DEPTH OVER FILTER FABRIC
	2\" 4\" MOUNTAINAIR SUNRISE GOLD GRAVEL 4\" DEPTH OVER FILTER FABRIC
	WOOD MULCH, \"NATIVE\", 3\" DEPTH, NO FILTER FABRIC
	LAWN
	BLUEGRASS SOD
	CONCRETE PAVING 3500 PSI AT 4\" THICK NO COLOR, BROOM FINISH
	MEDIUM BOULDER



YELLOWSTONE
LANDSCAPE

www.yellowstonelandscape.com
P O B o x 1 0 5 9 7
Albuquerque, NM 8 7 1 8 4
5 0 5 . 8 9 8 . 9 6 1 5
design@yellowstonelandscape.com



10/29/25

Date: 09/03/2025

Revisions:

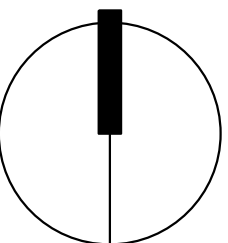
- △ 10/29/2025
△
△
△
△

Drawn by: CC

Reviewed by: CM

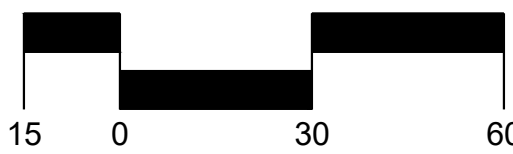
BTR Rio Rancho
Housing Development

Rio Rancho, New Mexico



NORTH

Scale: 1" = 30'

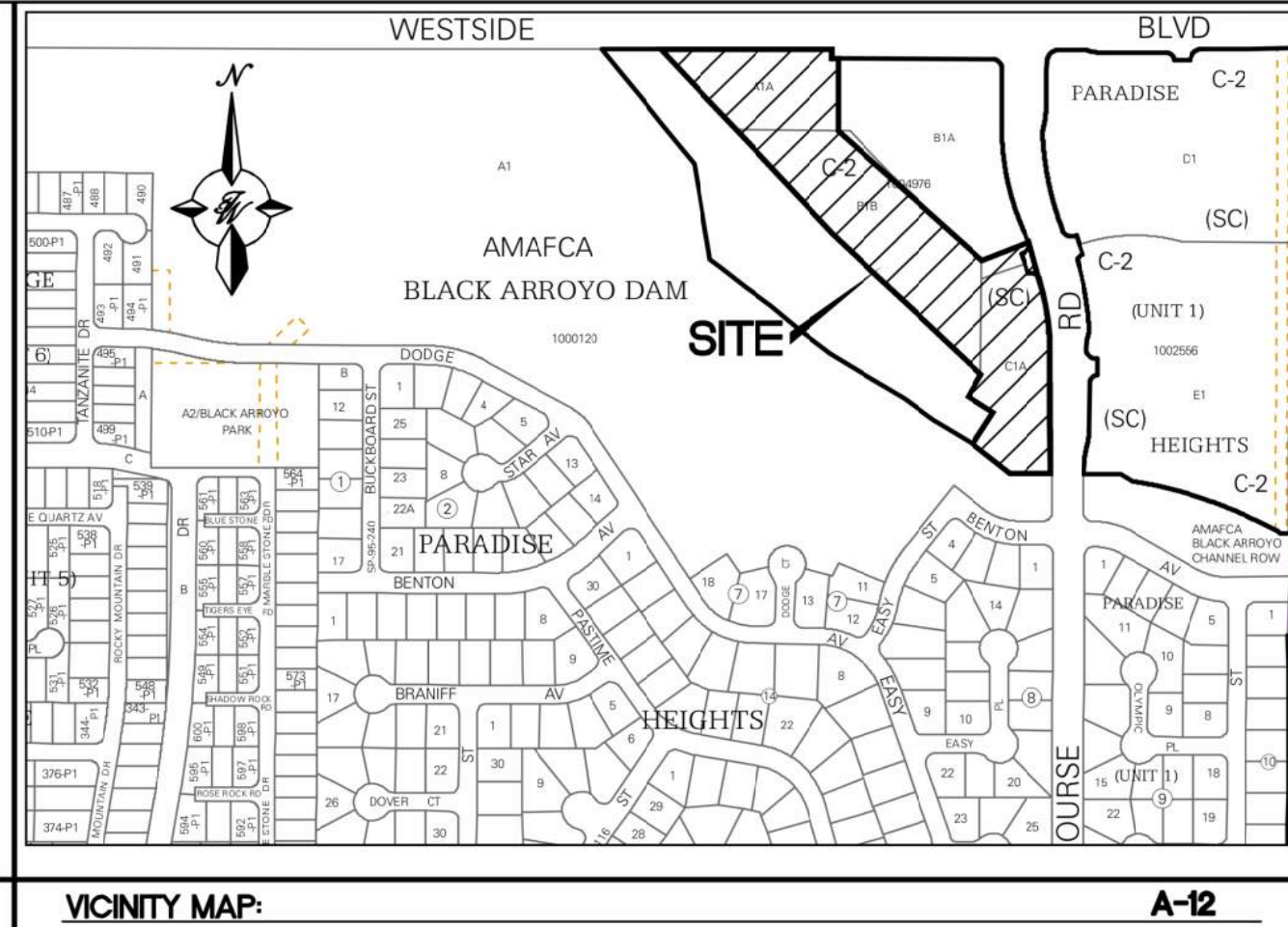
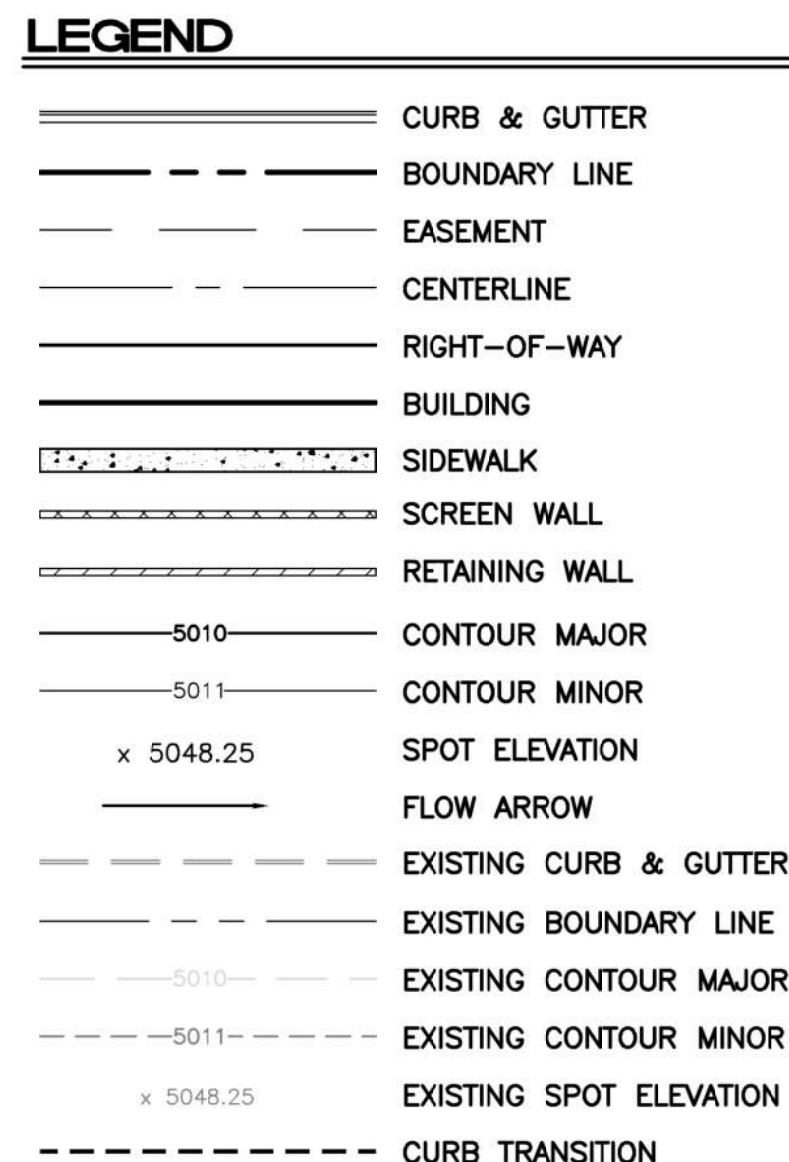


Sheet Title:

Landscape
Plan

Sheet Number:

LS-02



ENGINEER'S
SEAL

RONALD R. BOHANNAN
NEW MEXICO
7868
PROFESSIONAL ENGINEER

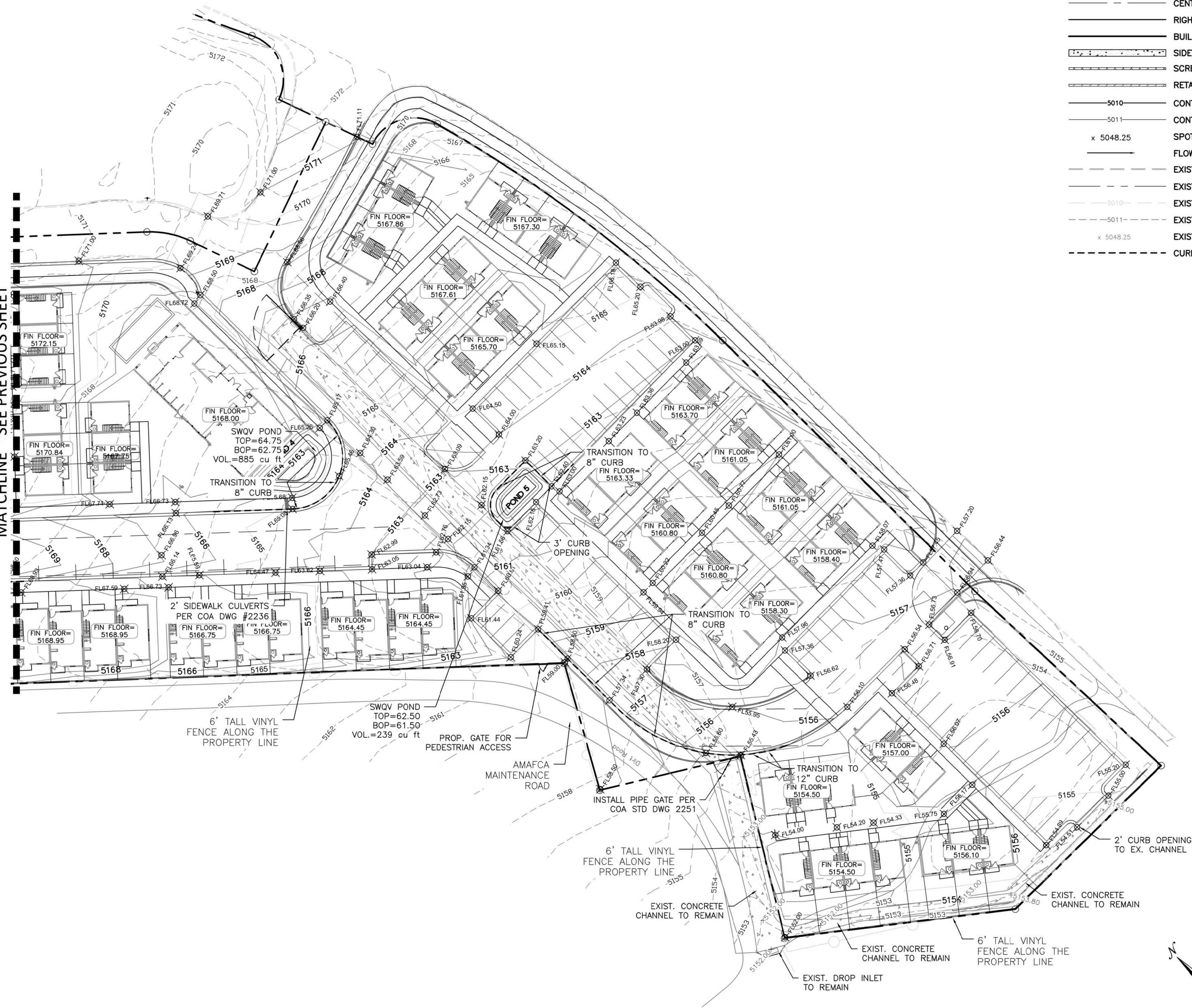
R. Bohannan

06/11/2023

RONALD R. BOHANNAN
P.E. #7868

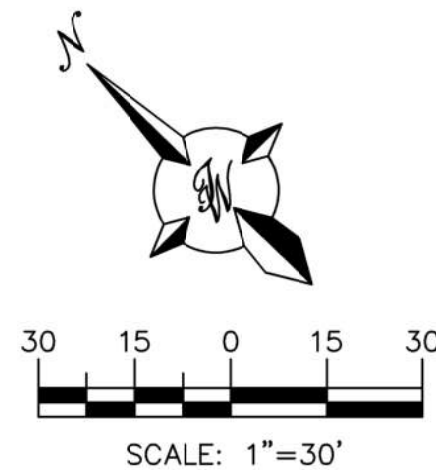
Z:\2024\2024054 Jay Rembe Subdivision on Golf Course\dwg\EPC\2024054_GRE.dwg Jul 14, 2025 -- 4:50pm

MATCHLINE ~ SEE PREVIOUS SHEET



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION
- CURB TRANSITION



<div>ENGINEER'S SEAL</div> <div></div> <div>RONALD R. BOHANNAN P.E. #7868</div>	JAY REMBE SUBDIVISION ALBUQUERQUE, NM	AS
	CONCEPTUAL GRADING & DRAINAGE PLAN	06-11-25
	<div> TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100</div>	2024054_GRE
		SHEET #
		G2
		JOB # 2024054

Weir Equation:

Q = Flow
C = 2.95
L = Length of weir
H = Height of Weir

Pond 1 Inlet/Outlet

Q = 2.95*2.0*0.673/2

Q = 3.24 cfs > Q = 2.21 cfs

Pond 2 Inlet/Outlet

Q = 2.95*4.5*0.673/2

Q = 7.28 cfs < Q = 6.99 cfs

Pond 3 Inlet/Outlet

Q = 2.95*4.0*0.673/2

Q = 6.47 cfs < Q = 6.01 cfs

Pond 4 Inlet/Outlet

Q = 2.95*4.0*0.673/2

Q = 6.47 cfs < Q = 6.01 cfs

Pond 5 Inlet/Outlet

Q = 2.95*3.0*0.673/2

Q = 4.85 cfs < Q = 4.49 cfs

Pond 6 Inlet/Outlet

Q = 2.95*5.0*0.673/2

Q = 8.09 cfs < Q = 8.09 cfs

Channel Inlet

Q = 2.95*15.0*1.003/2

Q = 44.25 cfs < Q = 43.31 cfs

EXISTING DRAINAGE:

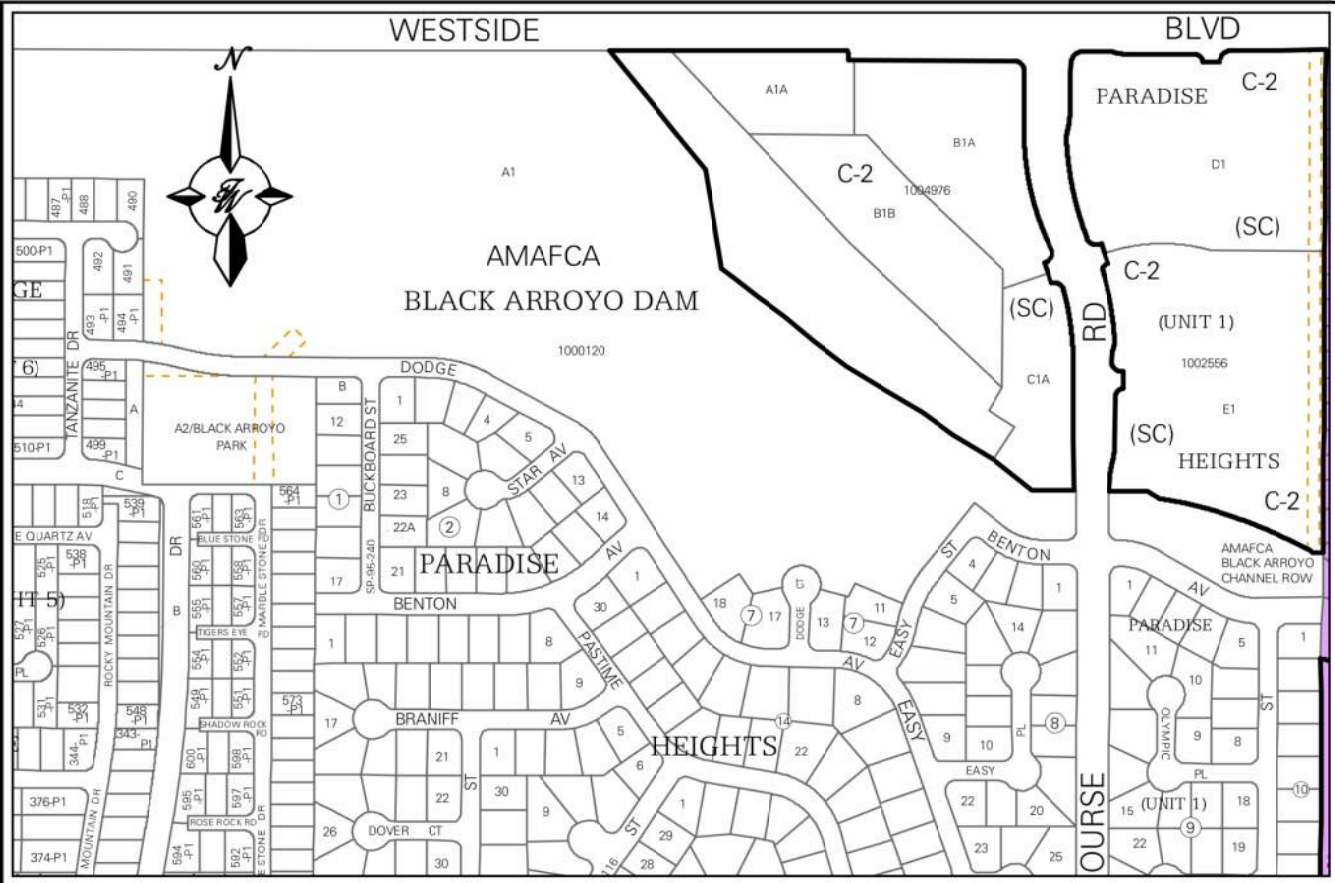
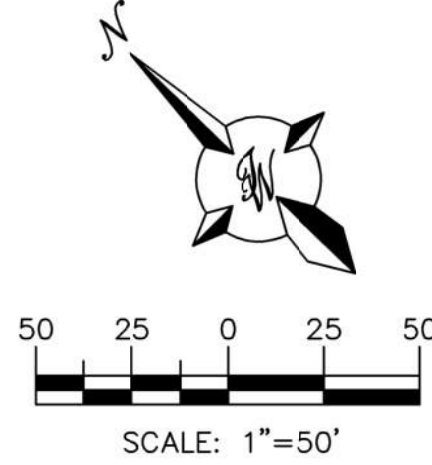
THIS SITE IS CURRENTLY VACANT AND IS BOUNDED BY A COMMERCIAL BUILDING TO THE EAST, THE BLACK ARROYO TO THE SOUTH, THE BLACK ARROYO DAM TO THE WEST AND WESTSIDE BOULEVARD TO THE NORTH CONTAINING APPROXIMATELY 8.05 ACRES. THE SITE IS WITHIN THE VJW STORAGE OVERALL DRAINAGE PLAN (A-12/DOOR) COMPLETED BY WILSON & CO. AND CONSISTS OF BASINS 201, 203, 204, 206 AND HALF OF 205. THE SITE DRAINS FROM NORTH TO SOUTH ONTO AN INTERNAL PRIVATE ROADWAY AND COBBLE SWALE. THE EXISTING COBBLE SWALE DRAINS TO A CONCRETE CHANNEL WHICH HAS A WATER QUALITY DROP INLET AT THE END OF IT. THE INLET CAPTURES THE FLOWS AND DISCHARGES THEM TO THE BLACK ARROYO CHANNEL VIA A STORM SEWER. THE ALLOWABLE DEVELOPED DISCHARGE FOR THIS PROJECT AREA IS 34.00 CFS. THE TOTAL ALLOWABLE DEVELOPED DISCHARGE TO THE WATER QUALITY INLET IS 51.40 CFS.

THERE ARE NO OFFSITE FLOWS THAT ENTER THE SITE. THE SITE IS LOCATED ON FIRM MAP 35043C2108D AS SHOWN ABOVE. THE MAP SHOWS THAT THE SITE DOES NOT LIE WITHIN A FLOOD ZONE.

PROPOSED DRAINAGE:

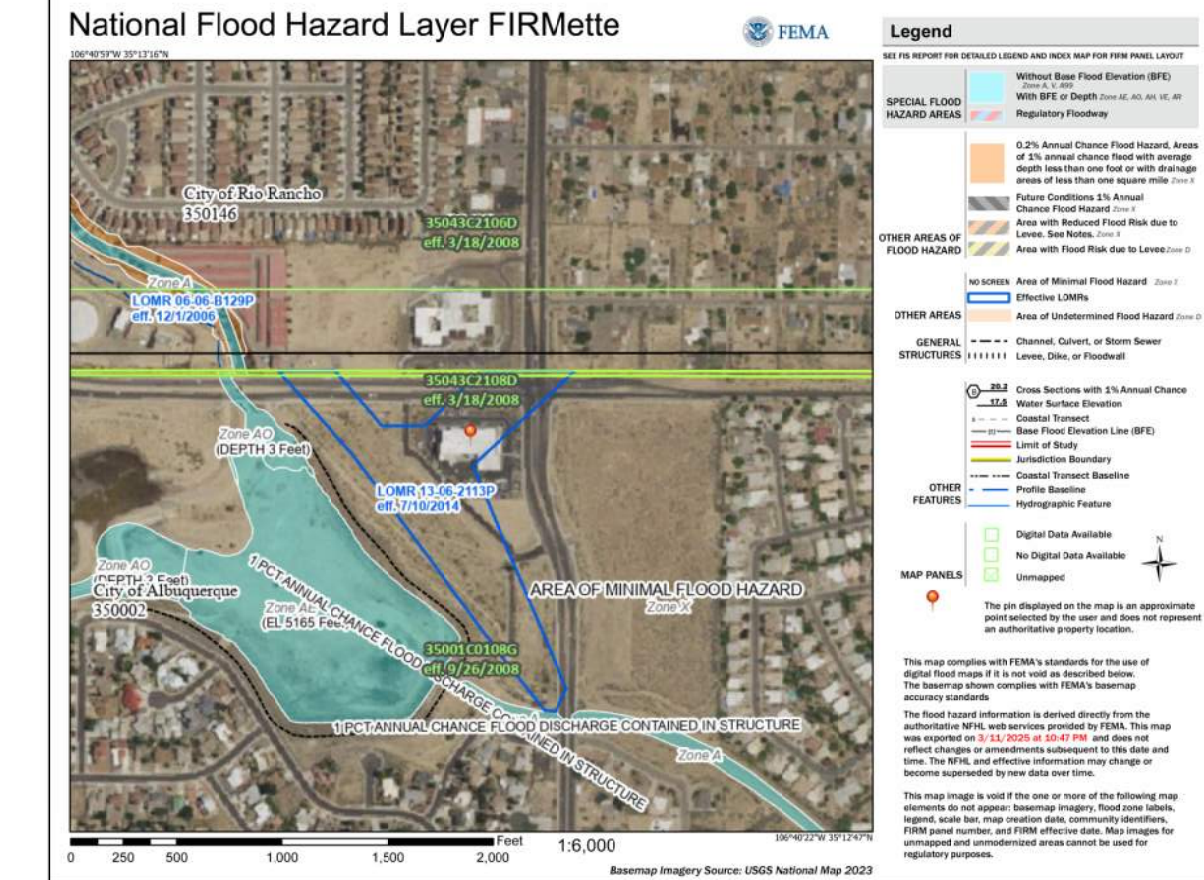
THE SITE CONSISTS OF NINE BASINS. BASIN "A" AND "B" CONSISTS OF PARKING LOTS AND HALF OF THE INTERNAL ROADWAY DISCHARGING 3.63 CFS INTO BASIN "G". BASINS "C"-"F" CONSIST OF BUILDINGS AND PARKING LOTS AND WILL DISCHARGE 16.37 CFS INTO BASIN "G". BASIN "G" ALSO ACCEPTS 17.40 CFS FROM THE EXISTING DEVELOPMENT THAT'S PART OF THE ORIGINAL DRAINAGE PLAN. BASIN "G" AND "H" WILL DRAIN TO THE EXISTING CONCRETE CHANNEL FOR A COMBINED TOTAL OF 43.33 CFS. BASIN "I" DRAINS TO AN EXISTING CONCRETE CHANNEL ALONG THE SOUTH PROPERTY LINE THAT CONNECTS TO THE SAME DROP INLET AS THE MAIN CHANNEL AND WILL DISCHARGE 1.96 CFS. IN TOTAL, THIS PROJECT WILL DISCHARGE 27.89 CFS WHICH IS LESS THAN THE 34.00 CFS ALLOWED BY THE APPROVED DRAINAGE PLAN. THE TOTAL DISCHARGE TO THE WATER QUALITY INLET IS 45.29 CFS.

THE WATER QUALITY VOLUME IS CAPTURED IN SEVERAL DEPRESSED LANDSCAPED AREAS LOCATED THROUGHOUT THE PROJECT. THE REQUIRED SWQV VOLUME IS 8,172 CUBIC FEET AND THE DEPRESSED LANDSCAPED AREAS WILL RETAIN 8,326 TOTAL CUBIC FEET.



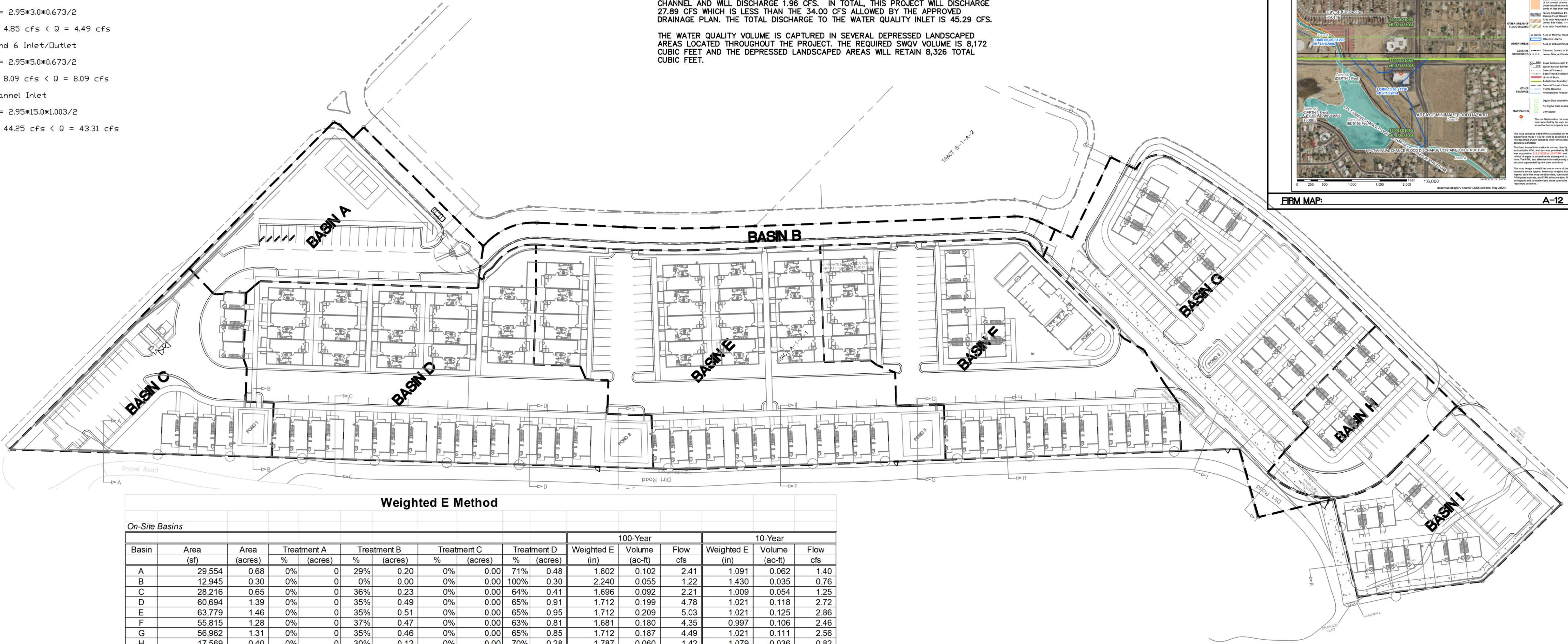
VICINITY MAP:

A-12



FIRM MAP:

A-12



Weighted E Method

On-Site Basins										
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D	
			%	(acres)	%	(acres)	%	(acres)	%	(acres)
A	29,554	0.68	0%	0	29%	0.20	0%	0.00	71%	0.48
B	12,945	0.30	0%	0	0%	0.00	0%	0.00	100%	0.30
C	28,216	0.65	0%	0	36%	0.23	0%	0.00	64%	0.41
D	60,694	1.39	0%	0	35%	0.49	0%	0.00	65%	0.91
E	63,779	1.46	0%	0	35%	0.51	0%	0.00	65%	0.95
F	55,815	1.28	0%	0	37%	0.47	0%	0.00	63%	0.81
G	56,962	1.31	0%	0	35%	0.46	0%	0.00	65%	0.85
H	17,569	0.40	0%	0	30%	0.12	0%	0.00	70%	0.28
I	24,923	0.57	0%	0	35%	0.20	0%	0.00	65%	0.37
		8.05							5.36	
									27.89	

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Water Quality Calculation: 0.42" x 5.36 ac = 8,172 cubic feet (0.1876 ac-ft)

Excess Precipitation, E (inches)			
Zone 1	100-Year	10 - Year	
Ea	0.55	0.11	
Eb	0.73	0.26	
Ec	0.95	0.43	
Ed	2.24	1.43	

Peak Discharge (cfs/acre)			
Zone 1	100-Year	10 - Year	
Qa	1.54	0.3	
Qb	2.16	0.81	
Qc	2.87	1.46	
Qd	4.12	2.57	

ENGINEER'S SEAL

RONALD R. BOHANNAN
NEW MEXICO
7868
PROFESSIONAL ENGINEER

06/11/2025
RONALD R. BOHANNAN
P.E. #7868

JAY REMBE SUBDIVISION
ALBUQUERQUE, NM

CONCEPTUAL DRAINAGE
PLAN

TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NEW MEXICO 87109
(505)858-3100

AS

06-11-25

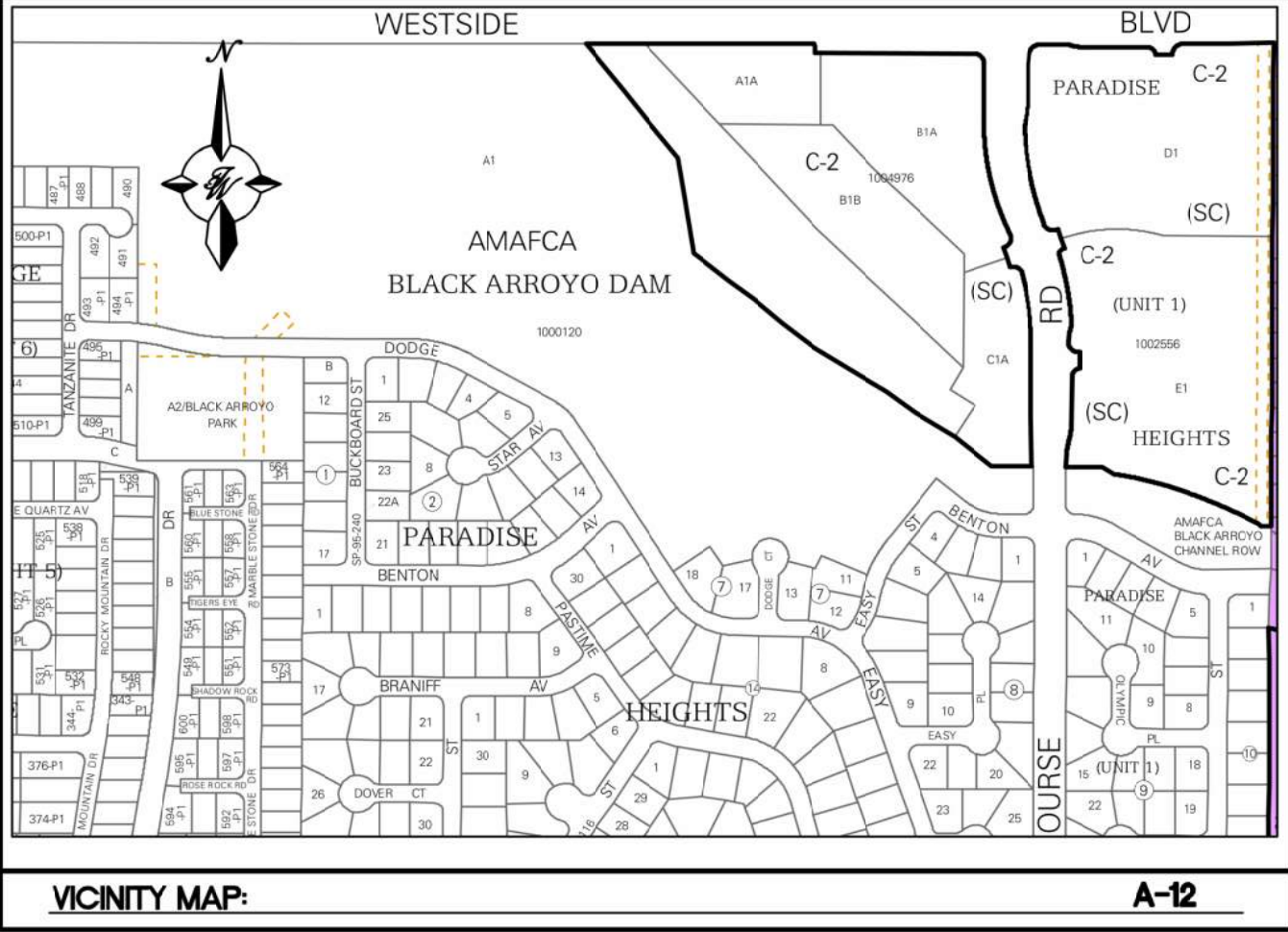
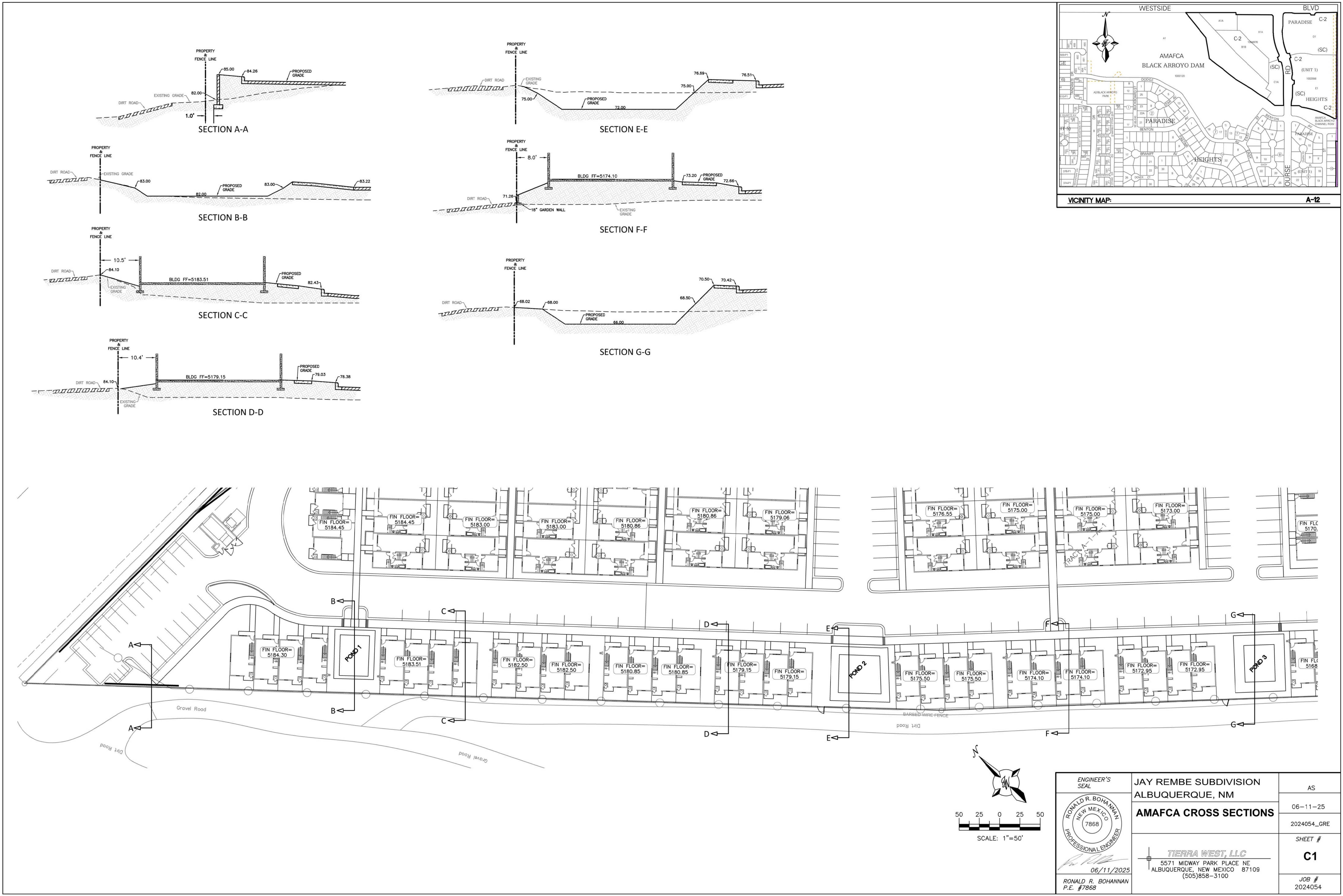
2024054_GRE

SHEET #

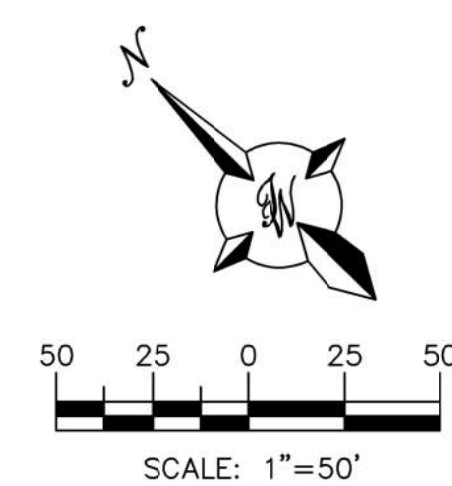
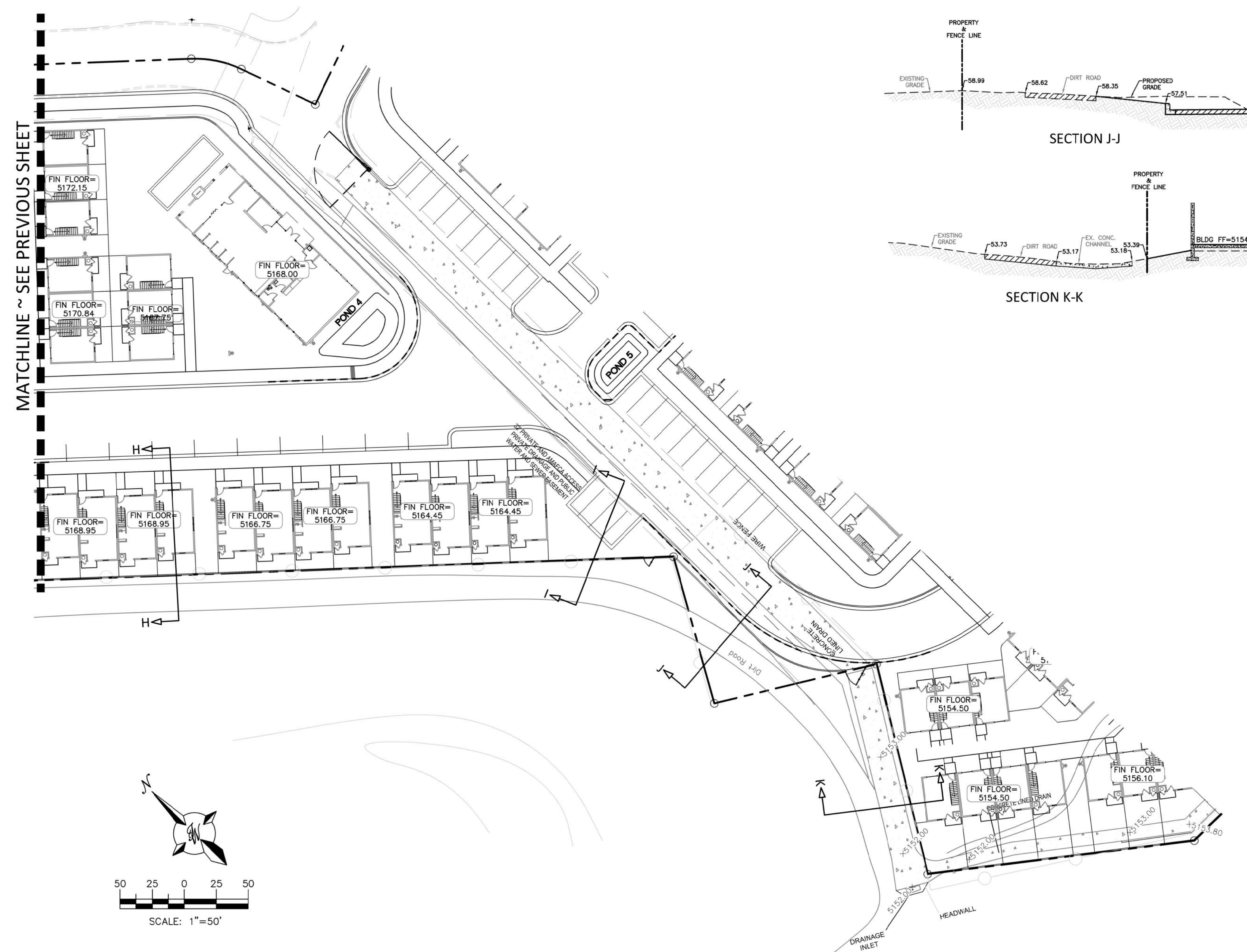
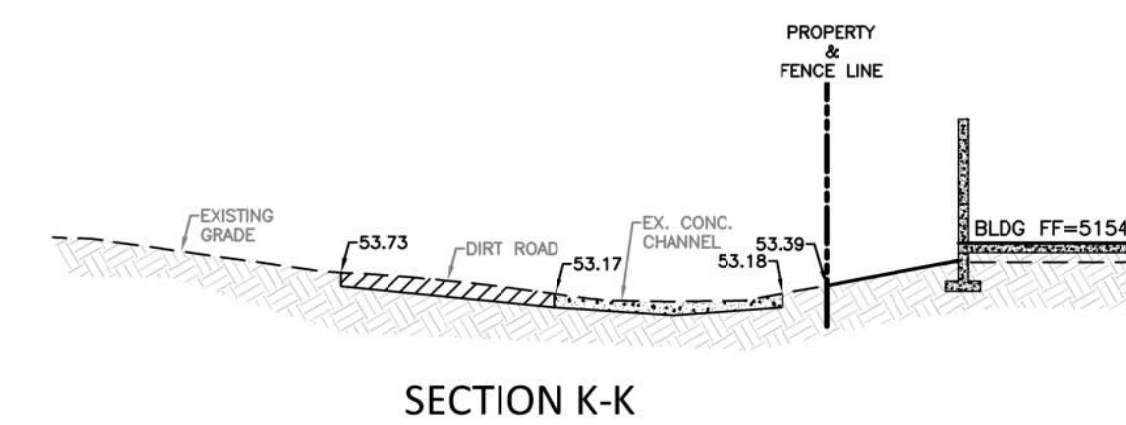
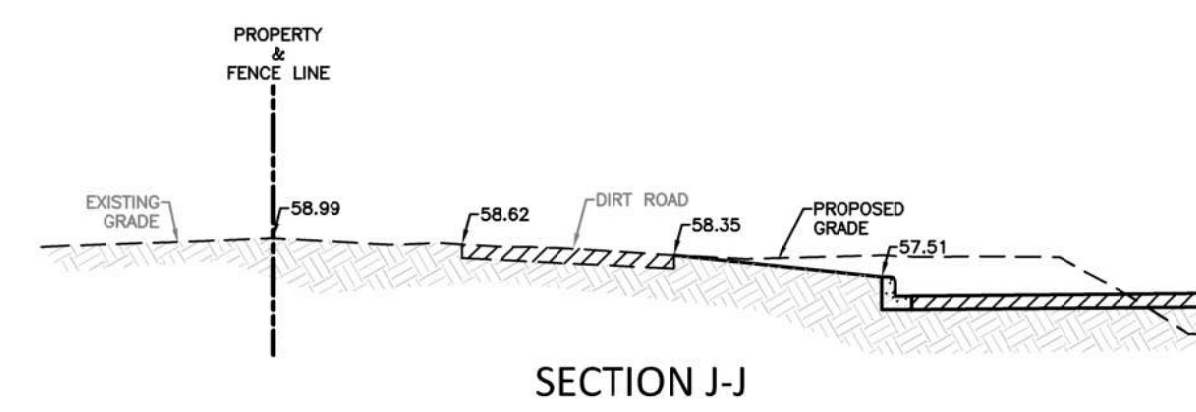
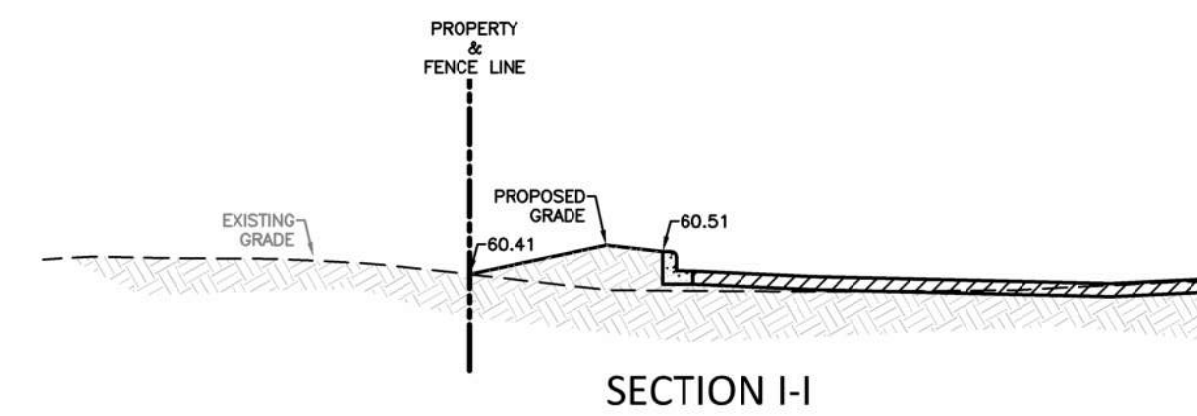
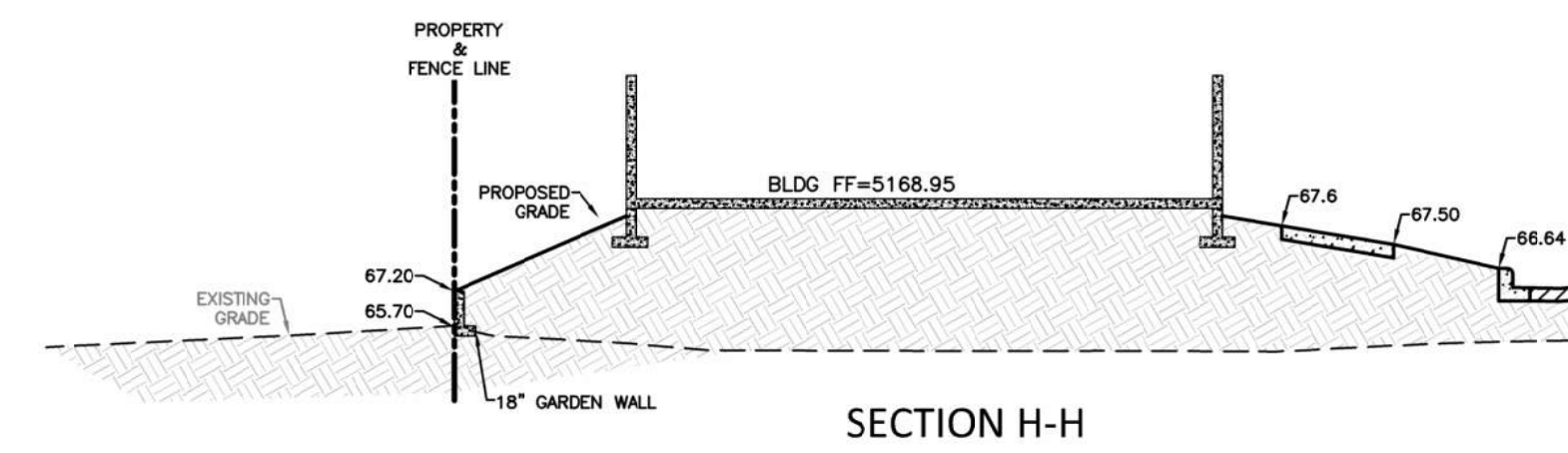
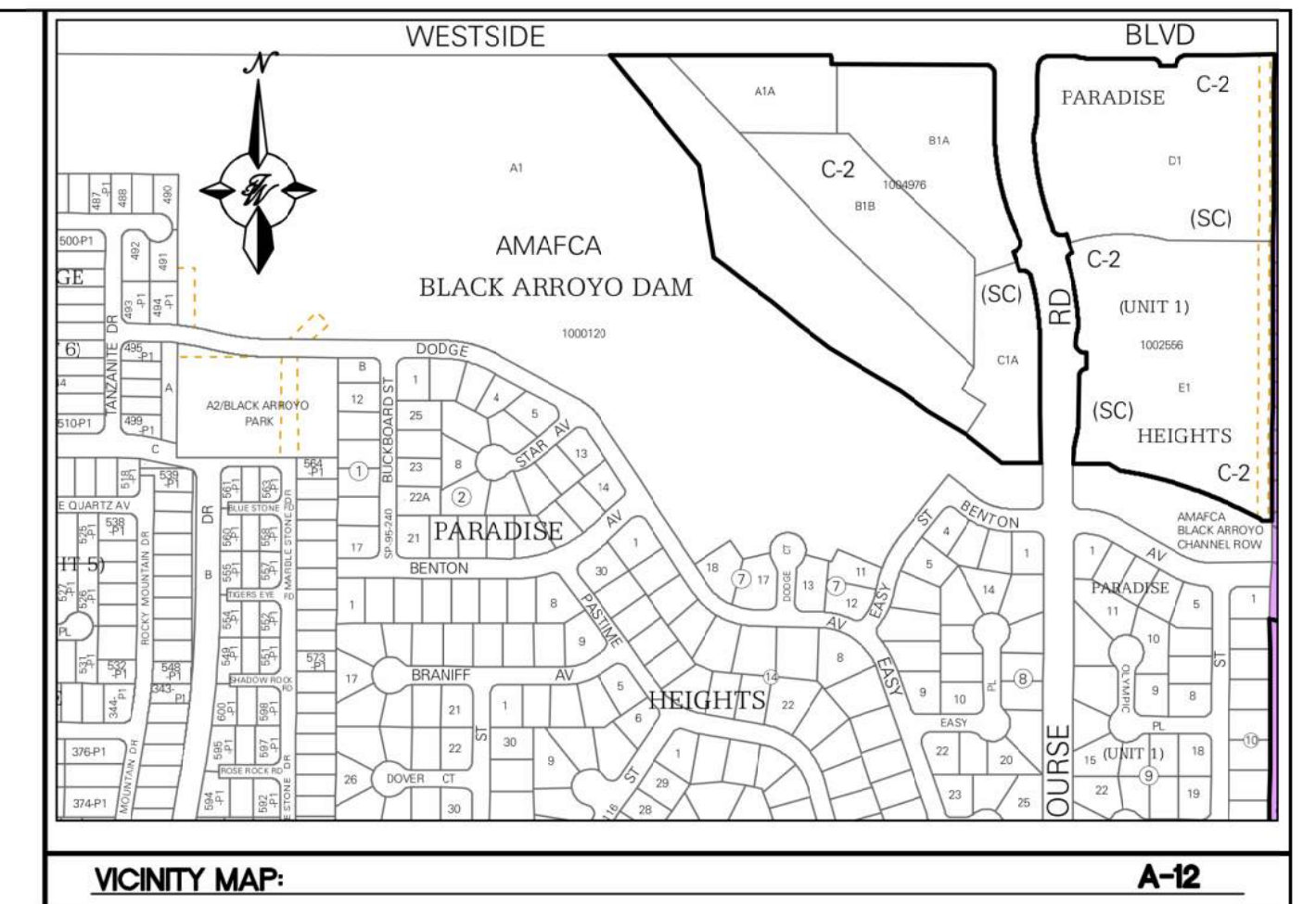
D1

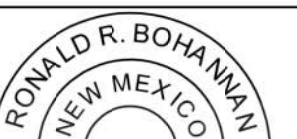


JOB #

2024054



<div>ENGINEER'S SEAL</div> <div></div> <div>RONALD R. BOHANNAN P.E. #7868</div>	JAY REMBE SUBDIVISION ALBUQUERQUE, NM		AS
	AMAFCA CROSS SECTIONS		06-11-25
	<div>TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100</div>		2024054_GRE
			SHEET #
			C1
		JOB #	2024054



<p>ENGINEER'S SEAL</p>	<p>JAY REMBE SUBDIVISION ALBUQUERQUE, NM</p>	<p>AS</p>
	<p>AMAFCA CROSS SECTIONS</p>	<p>06-11-25</p> <p>2024054_GRE</p>
 <p>06/11/2025</p>	 <p><i>TERRA WEST, LLC</i></p> <p>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100</p>	<p>SHEET #</p> <p>C2</p>
<p>RONALD R. BOHANNAN P.E. #7868</p>		<p>JOB #</p> <p>2024054</p>

GENERAL NOTE:

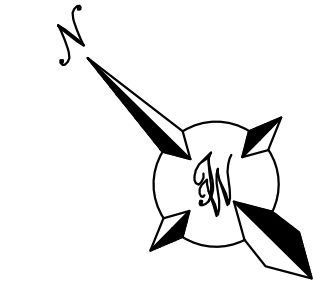
1. THIS PLAN IS CONCEPTUAL ONLY TO SHOW PROPOSED USES AND DEPICT CONCEPTUAL UTILITY CHANGES.

GENERAL UTILITY NOTES:

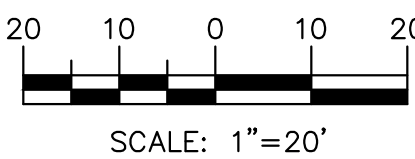
1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH ABCWUA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 3.5' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS, BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. REFERENCE COA STD DWG #'S 2302, 2303, 2324, 2342, AND 2365 FOR WATER TRACER WIRES
11. REFERENCE COA STD DWG #'S 2191 AND 2190 FOR TRACER WIRE INSTALLATION
12. CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

LEGEND

- ===== CURB & GUTTER
- BOUNDARY LINE
- PROPOSED EASEMENT
- EXISTING EASEMENT
- ===== BUILDING
- ===== SIDEWALK
- ===== EXISTING CURB & GUTTER
- SAS ----- PROPOSED SANITARY SEWER LINE
- W ----- PROPOSED WATERLINE
- SAS ----- EXISTING SANITARY SEWER LINE
- W ----- EXISTING WATERLINE
- PROPOSED HYDRANT
- ⌵ PROPOSED GATE VALVE
- ⊕ EXISTING HYDRANT
- ⌵ EXISTING GATE VALVE
- ⊙ LIGHT POLE
- ⊙ NEW WATER METER

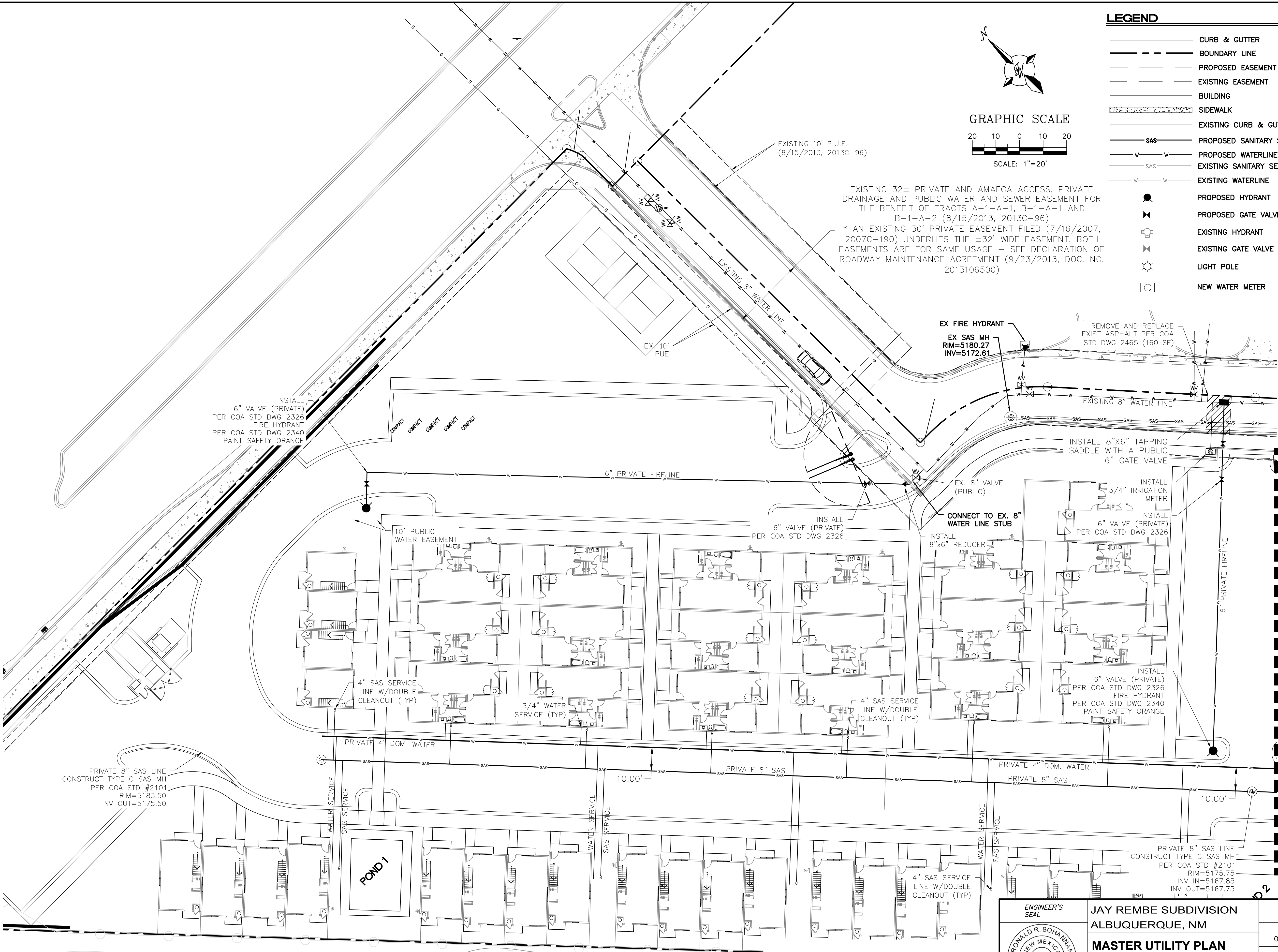


GRAPHIC SCALE



EXISTING 32± PRIVATE AND AMAFCA ACCESS, PRIVATE DRAINAGE AND PUBLIC WATER AND SEWER EASEMENT FOR THE BENEFIT OF TRACTS A-1-A-1, B-1-A-1 AND B-1-A-2 (8/15/2013, 2013C-96)

* AN EXISTING 30' PRIVATE EASEMENT FILED (7/16/2007, 2007C-190) UNDERLIES THE ±32' WIDE EASEMENT. BOTH EASEMENTS ARE FOR SAME USAGE - SEE DECLARATION OF ROADWAY MAINTENANCE AGREEMENT (9/23/2013, DOC. NO. 2013106500)



MATCHLINE ~ SEE NEXT SHEET

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

NOTES

1. ALL ONSITE WATER, SANITARY SEWER AND FIRE LINES SHALL BE DEEMED PUBLIC.
2. BUILDING MOUNTED SITE LIGHTING FIXTURES TO COMPLY WITH NEW MEXICO NIGHT SKY ORDINANCE.



JAY REMBE SUBDIVISION
ALBUQUERQUE, NM

MASTER UTILITY PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NEW MEXICO 87109
(505)858-3100

AS

06-11-25

2024054_MUE

SHEET #

MU-1

JOB #

2024054

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	PROPOSED EASEMENT
	EXISTING EASEMENT
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATERLINE
	EXISTING SANITARY SEWER LINE
	EXISTING WATERLINE
	PROPOSED HYDRANT
	PROPOSED GATE VALVE
	EXISTING HYDRANT
	EXISTING GATE VALVE
	LIGHT POLE
	NEW WATER METER

EXISTING 32± PRIVATE AND AMAFCA ACCESS, PRIVATE DRAINAGE AND PUBLIC WATER AND SEWER EASEMENT FOR THE BENEFIT OF TRACTS A-1-A-1, B-1-A-1 AND B-1-A-2 (8/15/2013, 2013C-96)
* AN EXISTING 30' PRIVATE EASEMENT FILED (7/16/2007, 2007C-190) UNDERLIES THE ±32' WIDE EASEMENT. BOTH EASEMENTS ARE FOR SAME USAGE - SEE DECLARATION OF ROADWAY MAINTENANCE AGREEMENT (9/23/2013, DOC. NO. 2013106500)

REMOVE AND REPLACE EXIST ASPHALT PER COA STD DWG 2465 (160 SF)

INSTALL 8"x6" TAPPING SADDLE WITH A PUBLIC 6" GATE VALVE

TRACT A-1-A-2 (8/15/2013, 2013C-96) USED AS A REFERENCE

EX FIRE HYDRANT

EX SAS MH
RIM=5169.92
INV=5162.19

EXISTING 10' P.U.E.
(8/15/2013, 2013C-96)

GRAPHIC SCALE

20 10 0 10 20

SCALE: 1"=20'

MATCHLINE ~ SEE PREVIOUS SHEET

MATCHLINE ~ SEE NEXT SHEET

GENERAL UTILITY NOTES:

- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH ABCWA STANDARDS AND SPECIFICATIONS LATEST EDITION.
- 3.5' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'

- ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
- ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
- REFERENCE COA STD DWG #'S 2302, 2303, 2324, 2342, AND 2365 FOR WATER TRACER WIRES

- REFERENCE COA STD DWG #'S 2191 AND 2190 FOR TRACER WIRE INSTALLATION

- CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

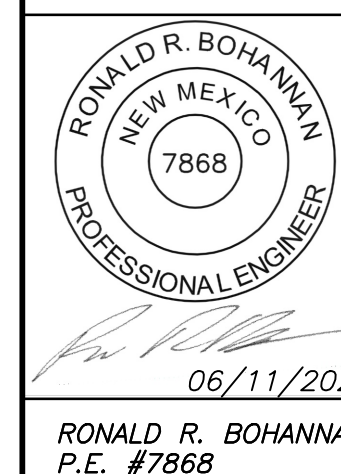
NOTES:

- ALL ONSITE WATER, SANITARY SEWER AND FIRE LINES SHALL BE DEEMED PUBLIC.
- BUILDING MOUNTED SITE LIGHTING FIXTURES TO COMPLY WITH NEW MEXICO NIGHT SKY ORDINANCE.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL

JAY REMBE SUBDIVISION
ALBUQUERQUE, NM

MASTER UTILITY PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NEW MEXICO 87109
(505)858-3100

AS

06-11-25

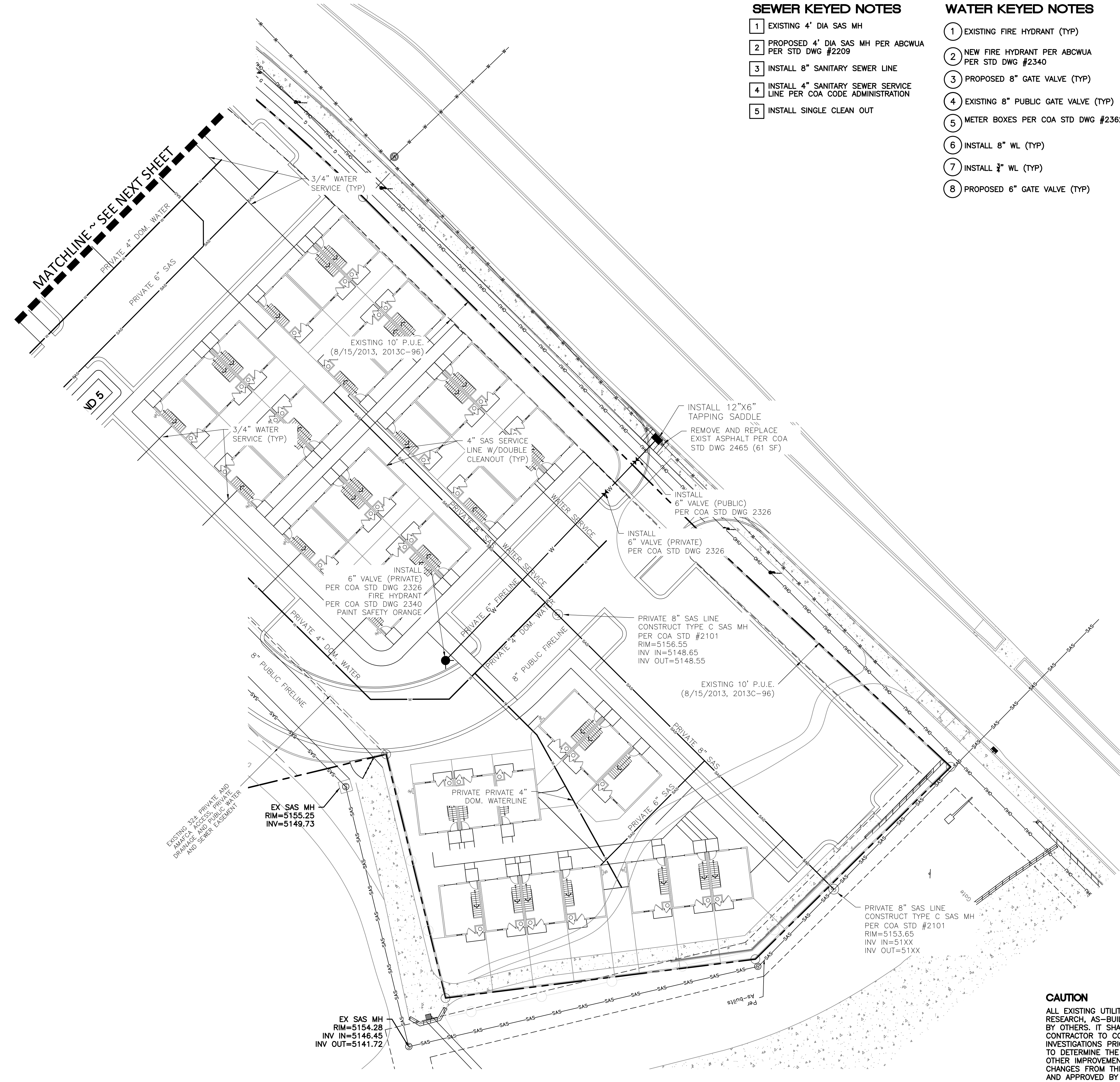
2024054_MUE

SHEET #

MU-2

JOB #

2024054



SEWER KEYED NOTES

- 1 EXISTING 4' DIA SAS MH
- 2 PROPOSED 4' DIA SAS MH PER ABCWUA PER STD DWG #2209
- 3 INSTALL 8" SANITARY SEWER LINE
- 4 INSTALL 4" SANITARY SEWER SERVICE LINE PER COA CODE ADMINISTRATION
- 5 INSTALL SINGLE CLEAN OUT

WATER KEYED NOTES

- 1 EXISTING FIRE HYDRANT (TYP)
- 2 NEW FIRE HYDRANT PER ABCWUA PER STD DWG #2340
- 3 PROPOSED 8" GATE VALVE (TYP)
- 4 EXISTING 8" PUBLIC GATE VALVE (TYP)
- 5 METER BOXES PER COA STD DWG #2362
- 6 INSTALL 8" WL (TYP)
- 7 INSTALL 3/4" WL (TYP)
- 8 PROPOSED 6" GATE VALVE (TYP)

GENERAL NOTES

- 1. THIS PLAN IS CONCEPTUAL ONLY TO SHOW PROPOSED USES AND DEPICT CONCEPTUAL UTILITY CHANGES.

SAS STRUCTURE TABLE

STRUCTURE	RIM	INV(IN)	INV(OUT)
MH1 (4' DIA)	5019.61	5004.30	5004.20
MH2 (4' DIA)	5016.41	5007.98	5007.88
MH3 (4' DIA)	5016.08	5008.40	5008.30
MH4 (4' DIA)	5015.49	5008.87	5008.77
MH5 (4' DIA)	5014.32	5009.66	5009.56
MH6 (4' DIA)	5018.14	5011.45	5011.45
MH7 (4' DIA)	5024.01	5007.78	5007.68
MH8 (4' DIA)	5024.07	5011.96	5011.86
MH9 (4' DIA)	5024.02	5014.55	5014.45

GENERAL UTILITY NOTES:

- 1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH ABCWUA STANDARDS AND SPECIFICATIONS LATEST EDITION.
- 2. 3.5' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- 3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
- 4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
- 5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- 6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
- 7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
- 8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- 9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
- 10. REFERENCE COA STD DWG #'S 2302, 2303, 2324, 2342, AND 2365 FOR WATER TRACER WIRES
- 11. REFERENCE COA STD DWG #'S 2191 AND 2190 FOR TRACER WIRE INSTALLATION
- 12. CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- PROPOSED EASEMENT
- EXISTING EASEMENT
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- SAS PROPOSED SANITARY SEWER LINE
- PROPOSED WATERLINE
- EXISTING SANITARY SEWER LINE
- EXISTING WATERLINE
- PROPOSED HYDRANT
- PROPOSED GATE VALVE
- EXISTING HYDRANT
- EXISTING GATE VALVE
- LIGHT POLE
- NEW WATER METER

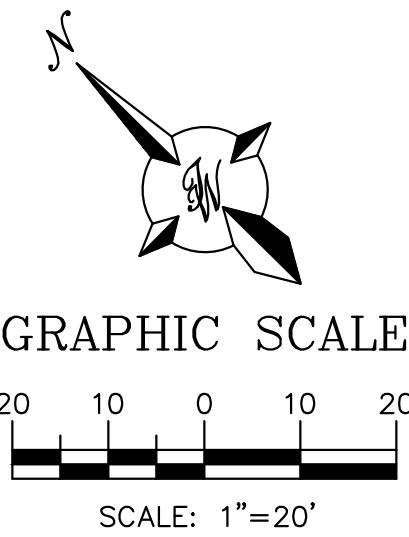
NOTES

- 1. ALL ONSITE WATER, SANITARY SEWER AND FIRE LINES SHALL BE DEEMED PUBLIC.
- 2. BUILDING MOUNTED SITE LIGHTING FIXTURES TO COMPLY WITH NEW MEXICO NIGHT SKY ORDINANCE.

	ENGINEER'S SEAL	JAY REMBE SUBDIVISION	AS
		ALBUQUERQUE, NM	06-11-25
	MASTER UTILITY PLAN	2024054_MUE	
	 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100	SHEET #	MU-3
	RONALD R. BOHANNAN P.E. #7868		JOB # 2024054

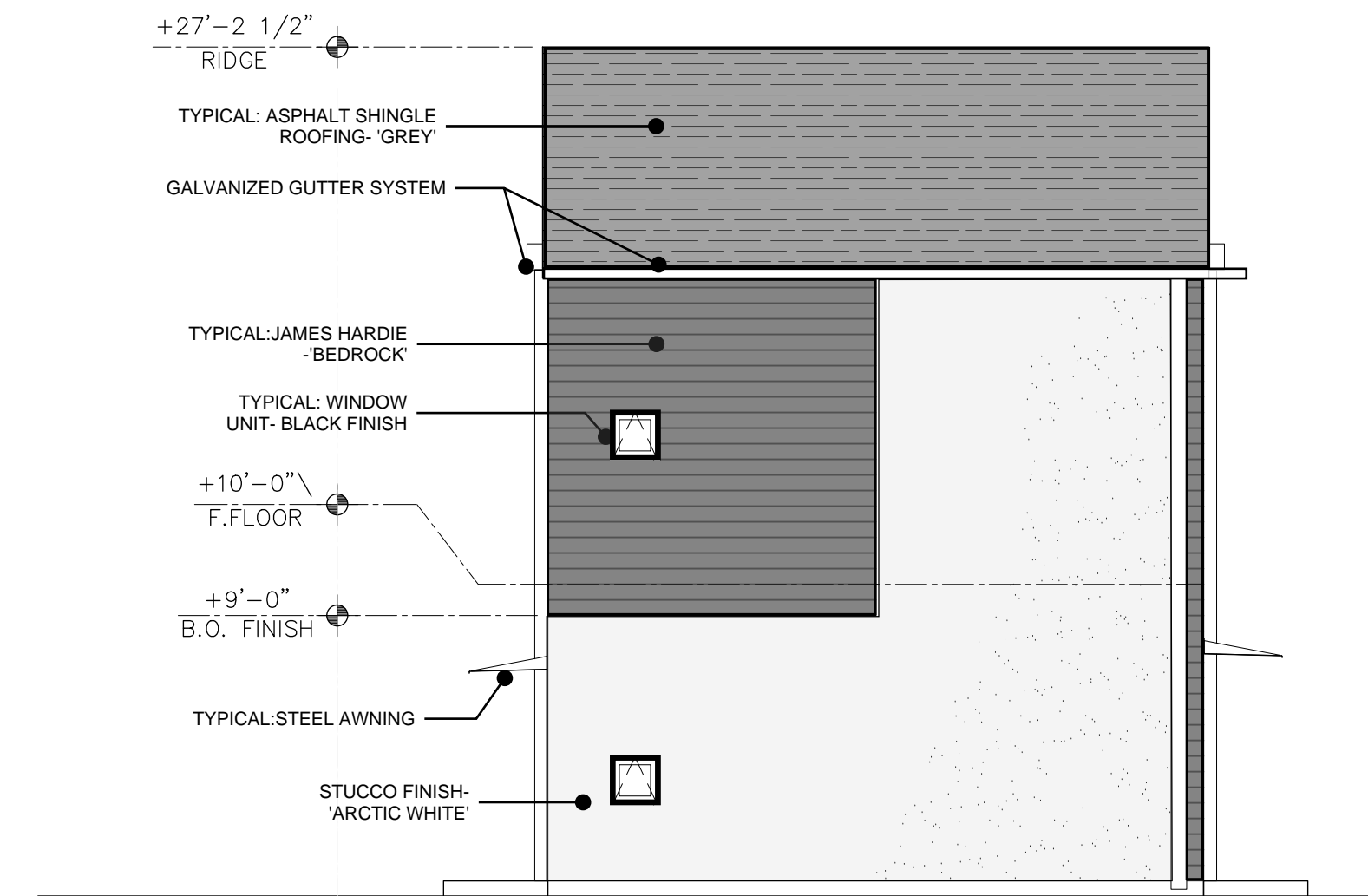
CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.





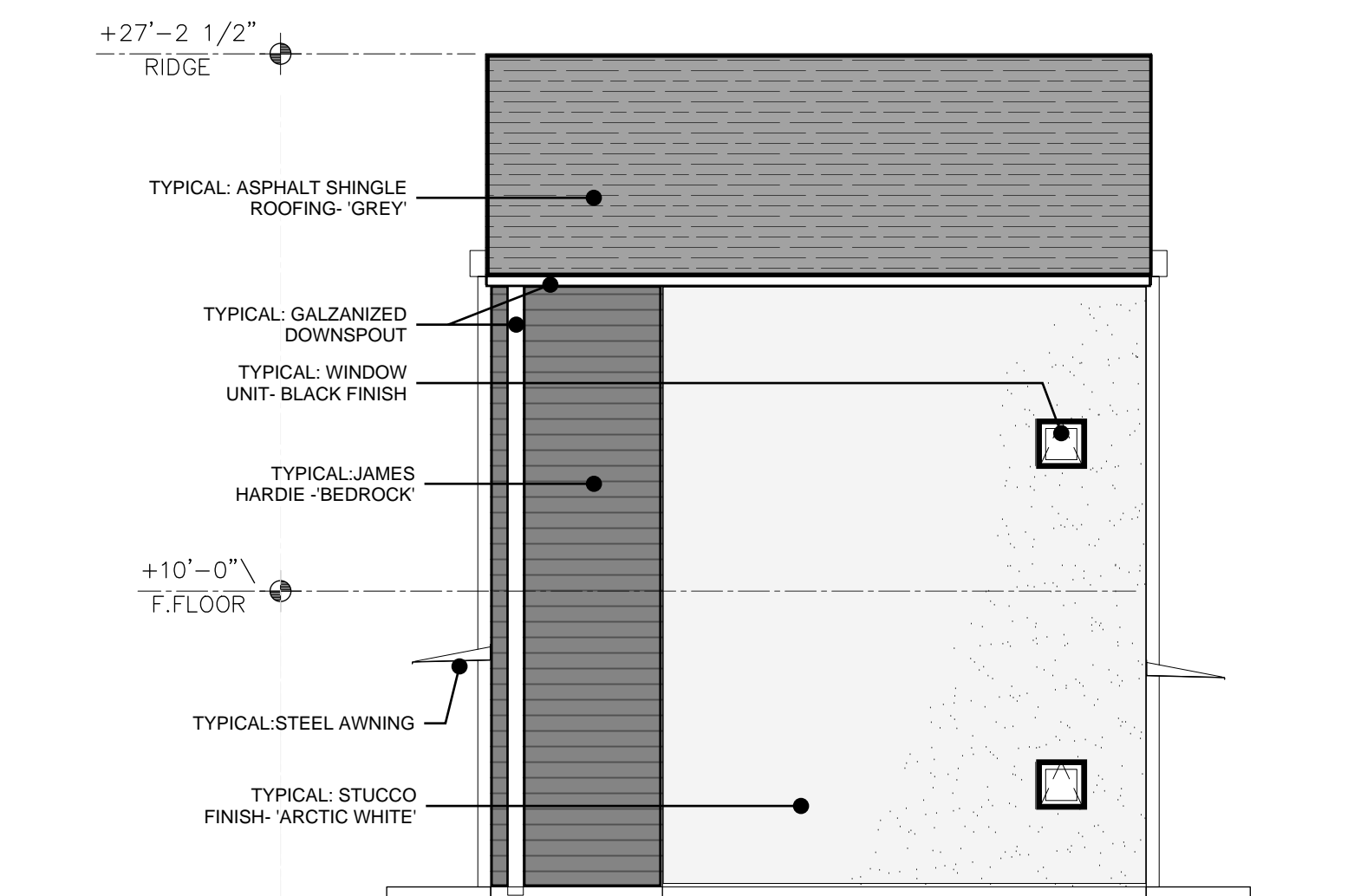
C1 TYPICAL FRONT ELEVATION
3/16"=1'-0"



C2 TYPICAL SIDE ELEVATION
3/16"=1'-0"



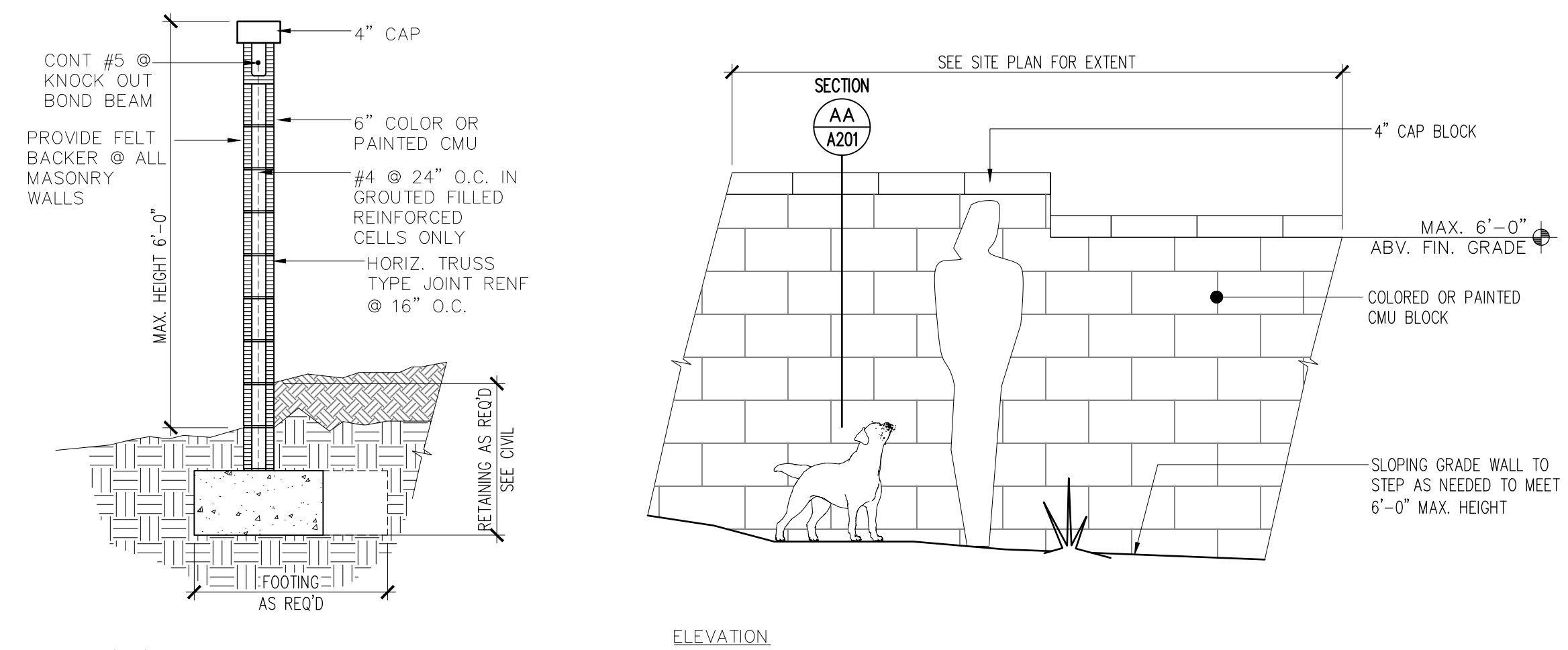
B1 TYPICAL REAR ELEVATION
3/16"=1'-0"



B2 TYPICAL SIDE ELEVATION
3/16"=1'-0"

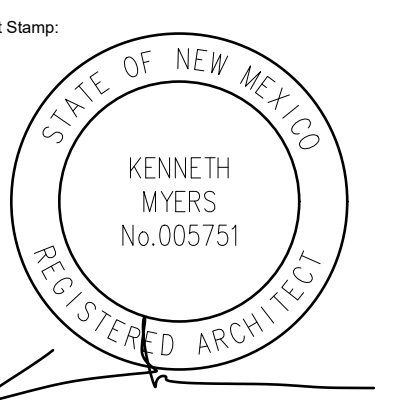


A1 TYPICAL ENTRY PATHWAY FACADE
NTS



A2 TYPICAL SITE WALL DETAIL
1/2"=1'-0"

BTR | RIO RANCHO HOUSING DEVELOPMENT
GOLF COURSE RD. NW
ALBUQUERQUE, NM 87114



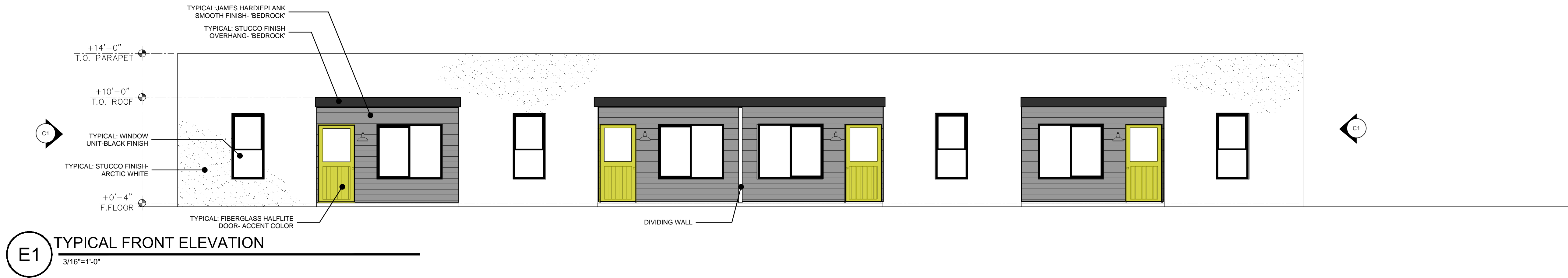
REMBE
urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
t: 505-243-0188

Project:
Drawn By: **KMA** Checked By: **KMA**
Phase: **DFT SUBMITTAL**
Date: **09/22/2025**

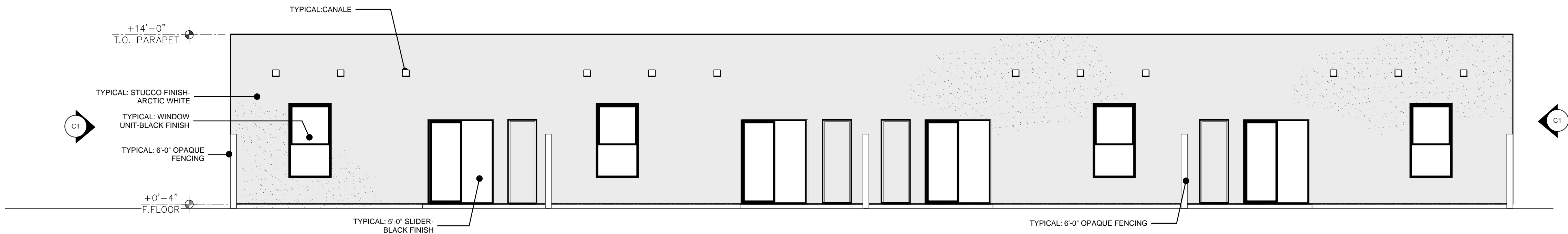
ARCHITECTURAL
ELEVATIONS
BUILDING A

Sheet Number:
A201

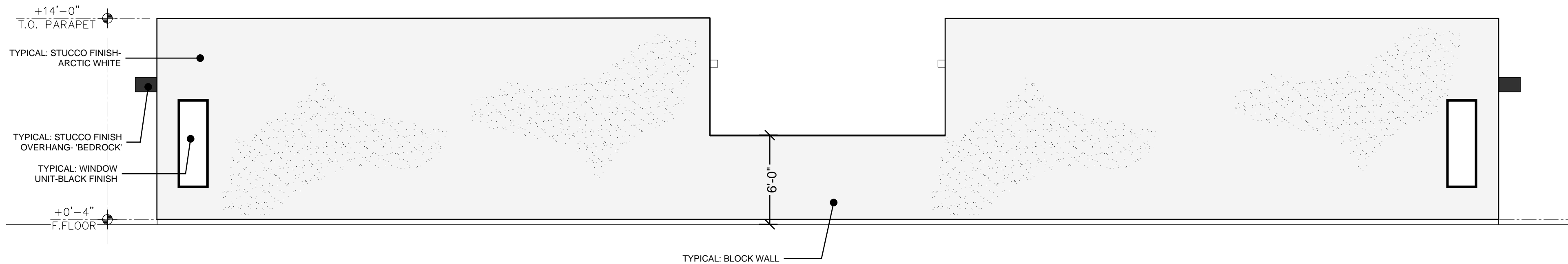
DO NOT SCALE DRAWINGS



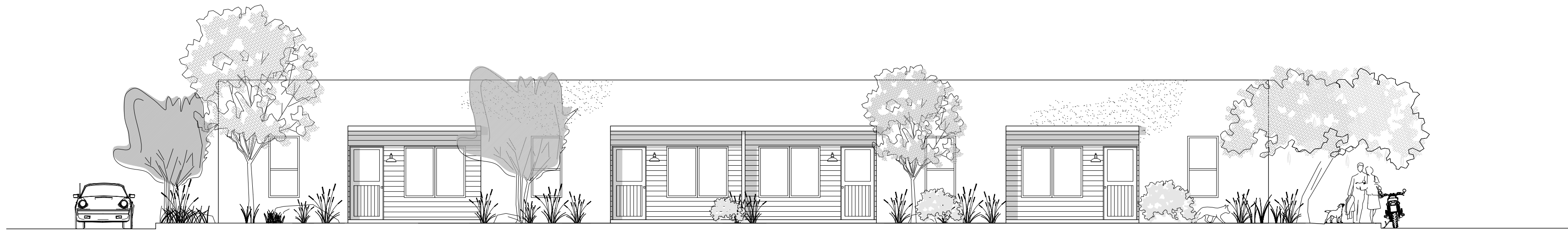
E1 TYPICAL FRONT ELEVATION
3/16"=1'-0"



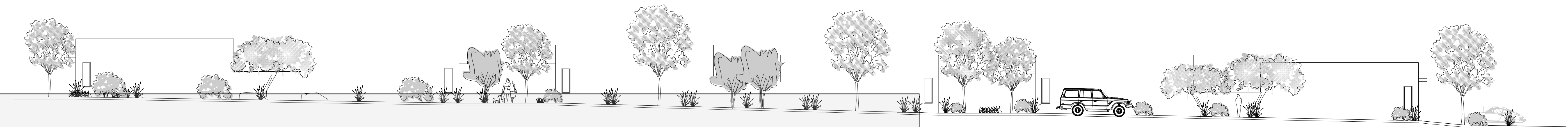
D1 TYPICAL REAR ELEVATION
3/16"=1'-0"



C1 TYPICAL SIDE ELEVATION
3/16"=1'-0"



B1 TYPICAL ENTRY PATHWAY FACADE
NTS

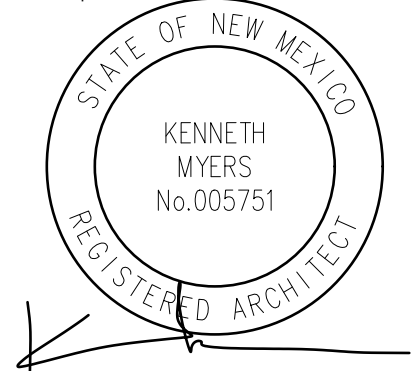


A1 TYPICAL FACADE ALONG ROADWAY
NTS

BTR | RIO RANCHO HOUSING DEVELOPMENT

GOLF COURSE RD. NW
ALBUQUERQUE, NM 87114

Architect Stamp:



REMBE

urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
t: 505-243-0188

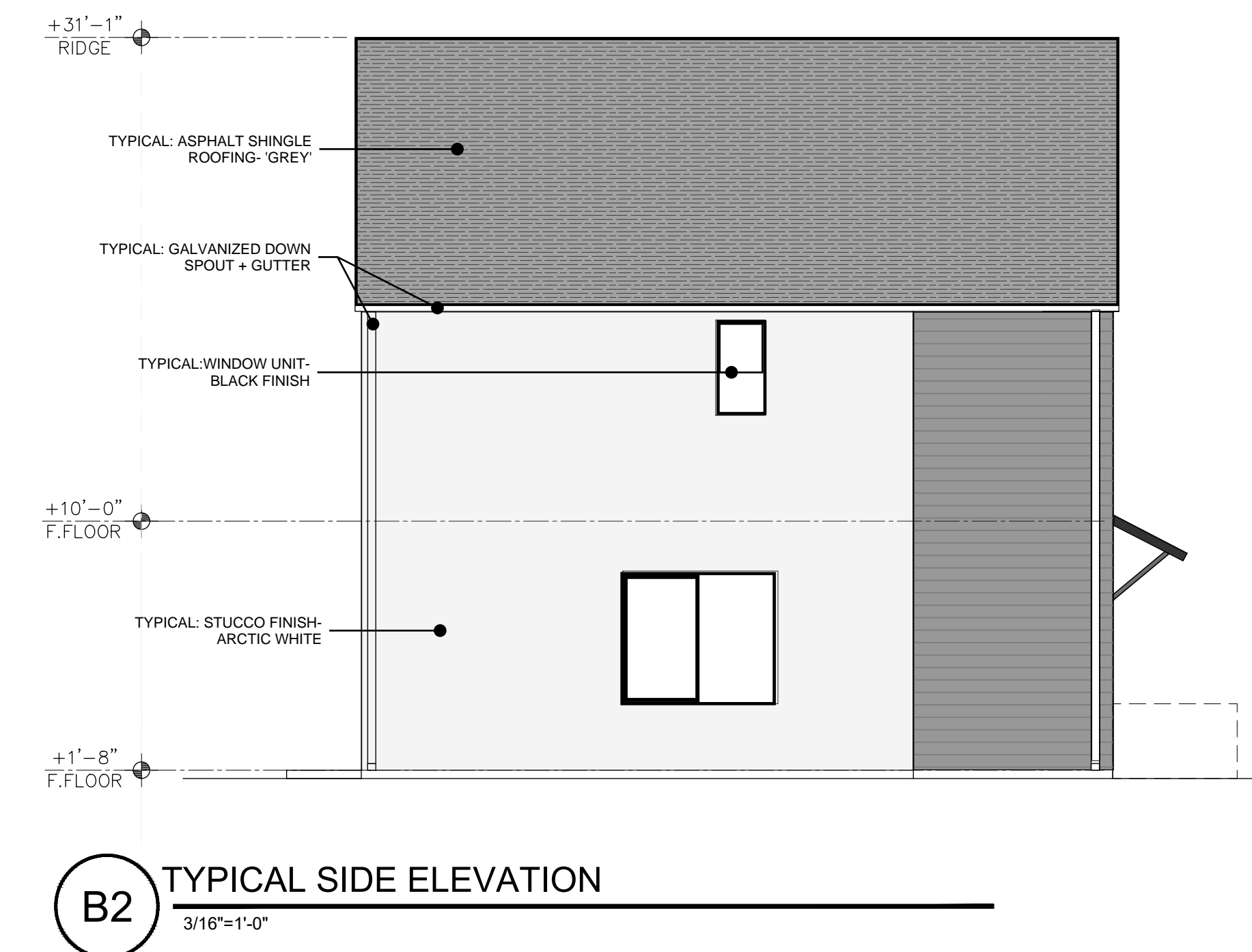
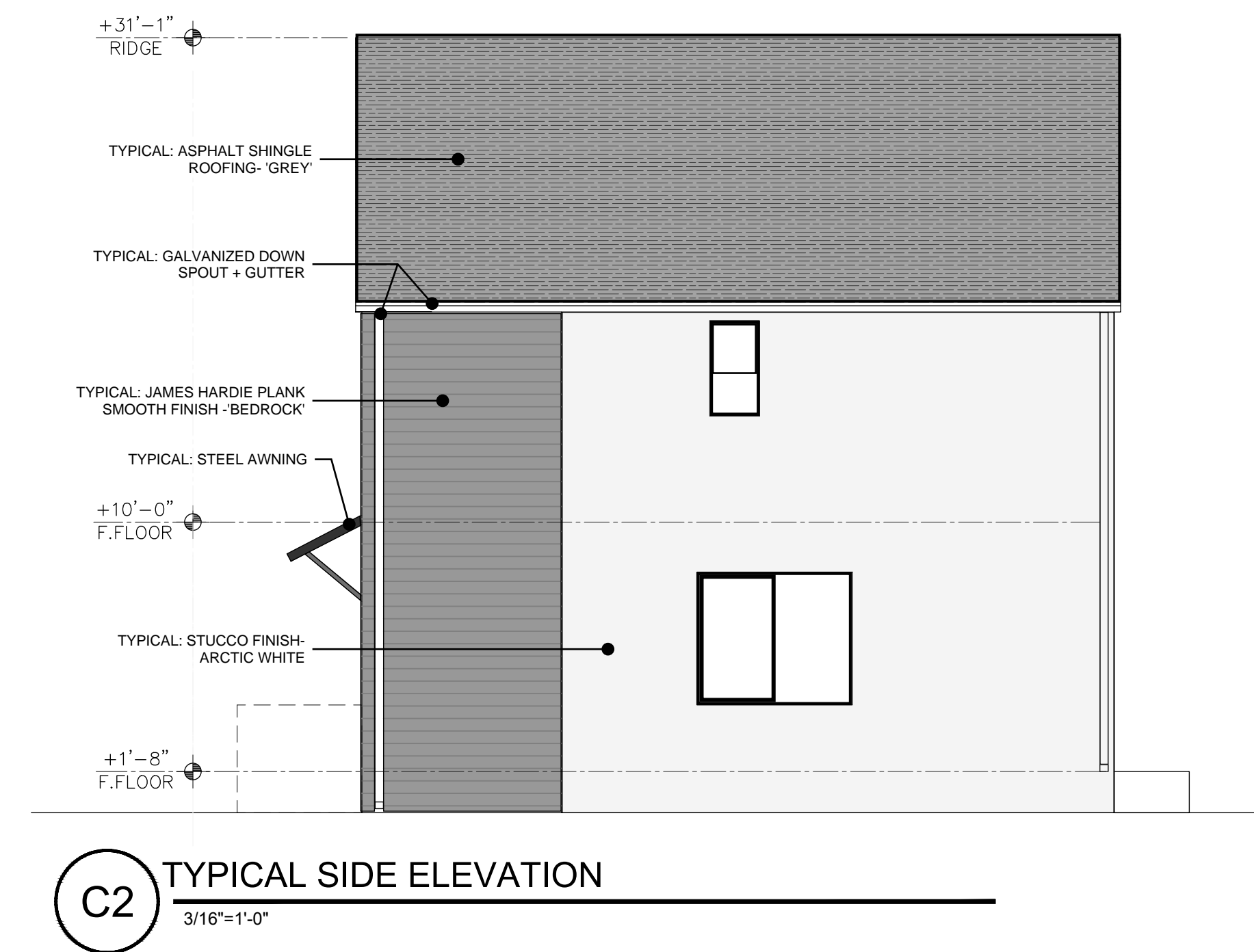
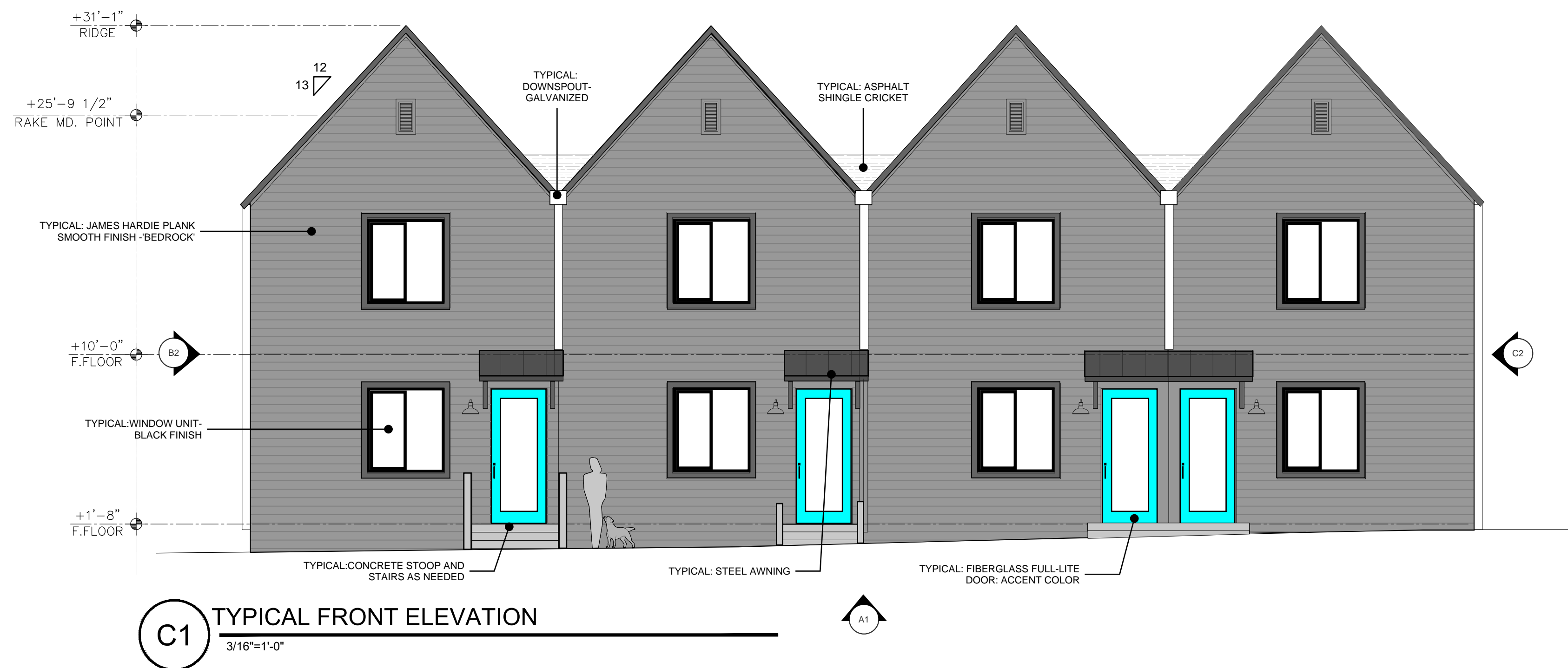
Project:	Drawn By: KMA	Checked By: KMA
Phase:	DFT SUBMITTAL	
Date:	09/22/2025	

ARCHITECTURAL
ELEVATIONS
BUILDING B

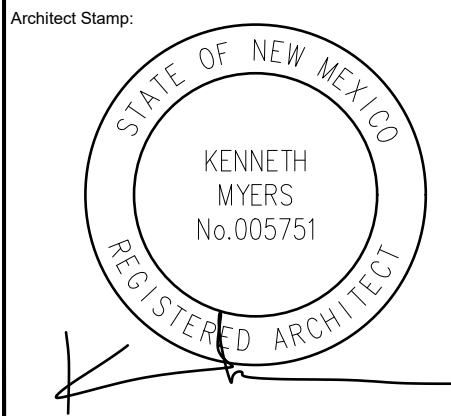
Sheet Number:

A202

DO NOT SCALE DRAWINGS



BTR | RIO RANCHO HOUSING DEVELOPMENT
GOLF COURSE RD. NW
ALBUQUERQUE, NM 87114



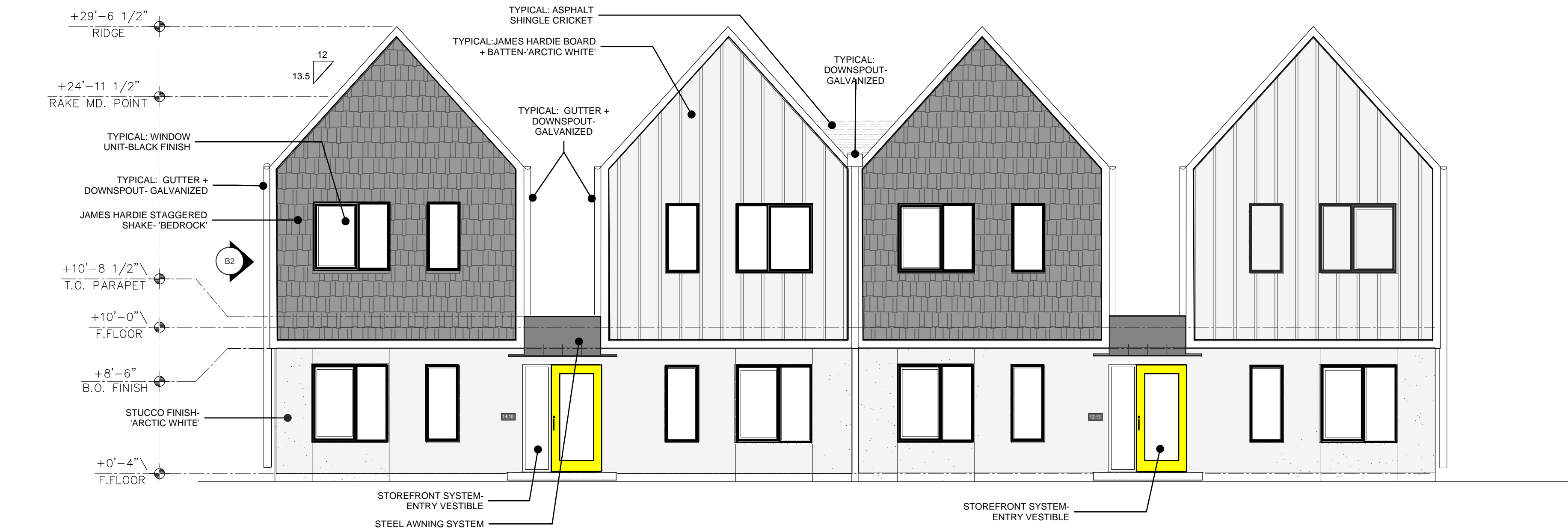
REMBE
urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
t: 505-243-0188

Project:	KMA	Checked By:	KMA
Phase:	DFT SUBMITTAL		
Date:	09/22/2025		

ARCHITECTURAL
ELEVATIONS
BUILDING C

Sheet Number:
A203

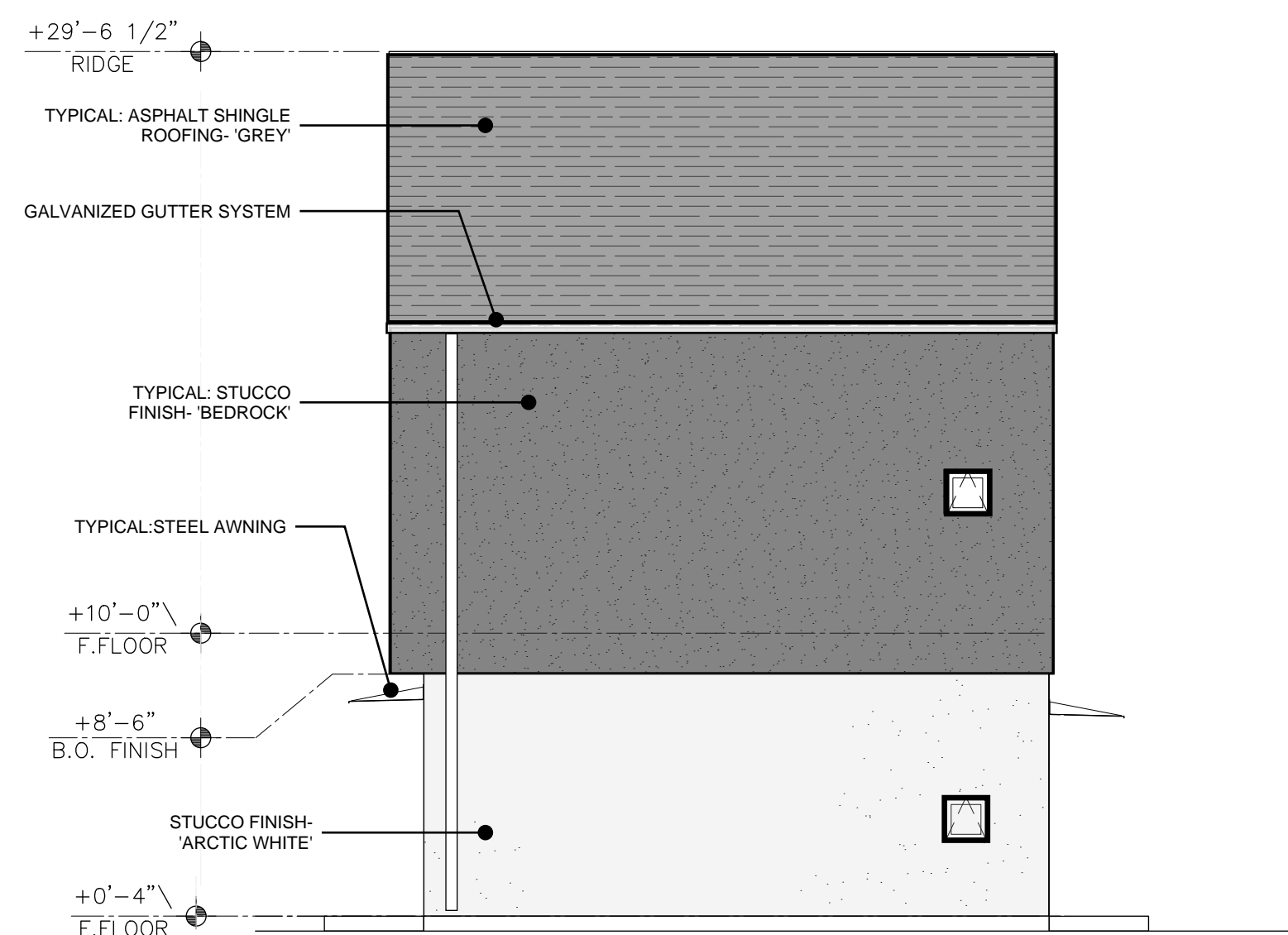
DO NOT SCALE DRAWINGS



C1 FRONT ELEVATION
3/16"=1'-0"



B1 REAR ELEVATION
3/16"=1'-0"



B2 TYPICAL SIDE ELEVATION
3/16"=1'-0"

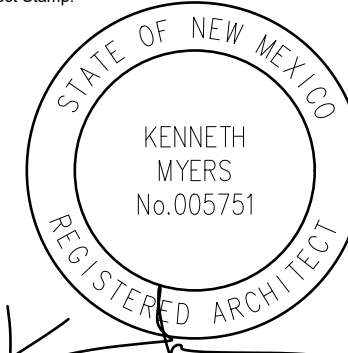


A1 WALKWAY ELEVATION
NTS

BTR | RIO RANCHO HOUSING DEVELOPMENT

GOLF COURSE RD. NW
ALBUQUERQUE, NM 87114

Architect Stamp:



REMBE

urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
t: 505-243-0188

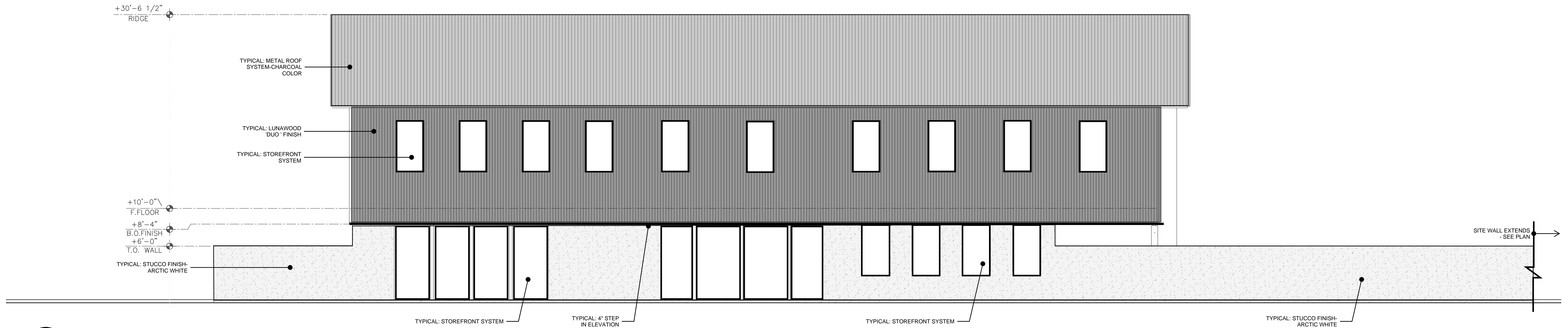
Project: **KMA** Checked By: **KMA**
Phase: **DFT SUBMITTAL**
Date: **09/22/2025**

ARCHITECTURAL
ELEVATIONS
BUILDING D

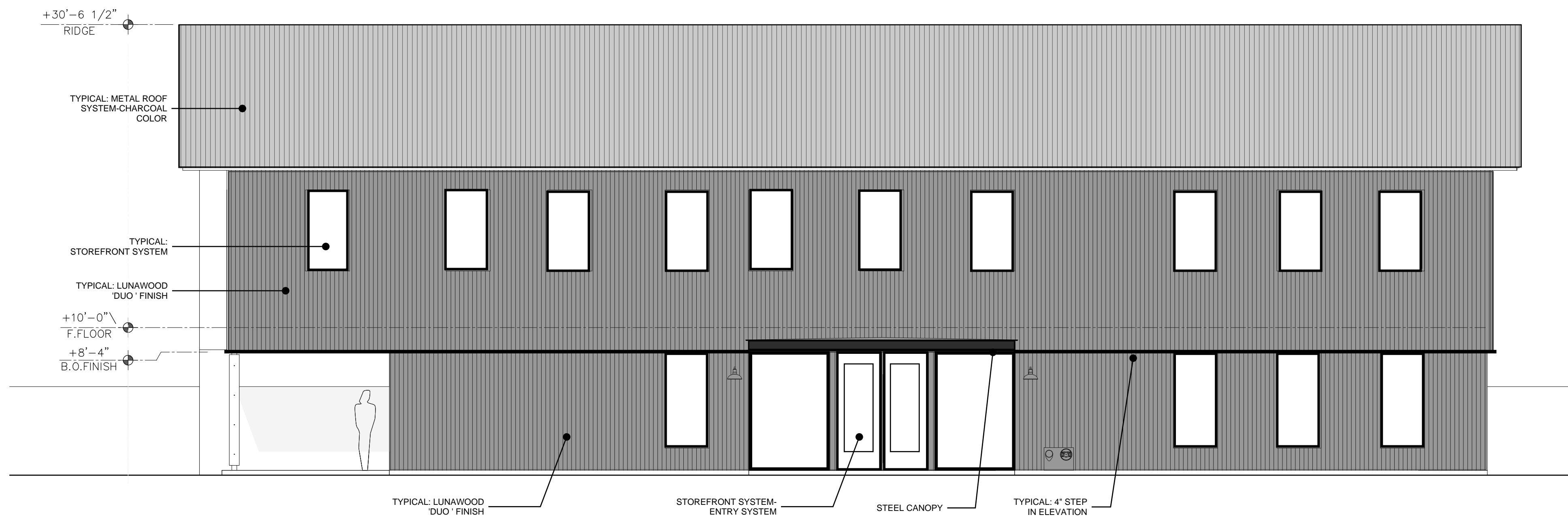
Sheet Number:

A204

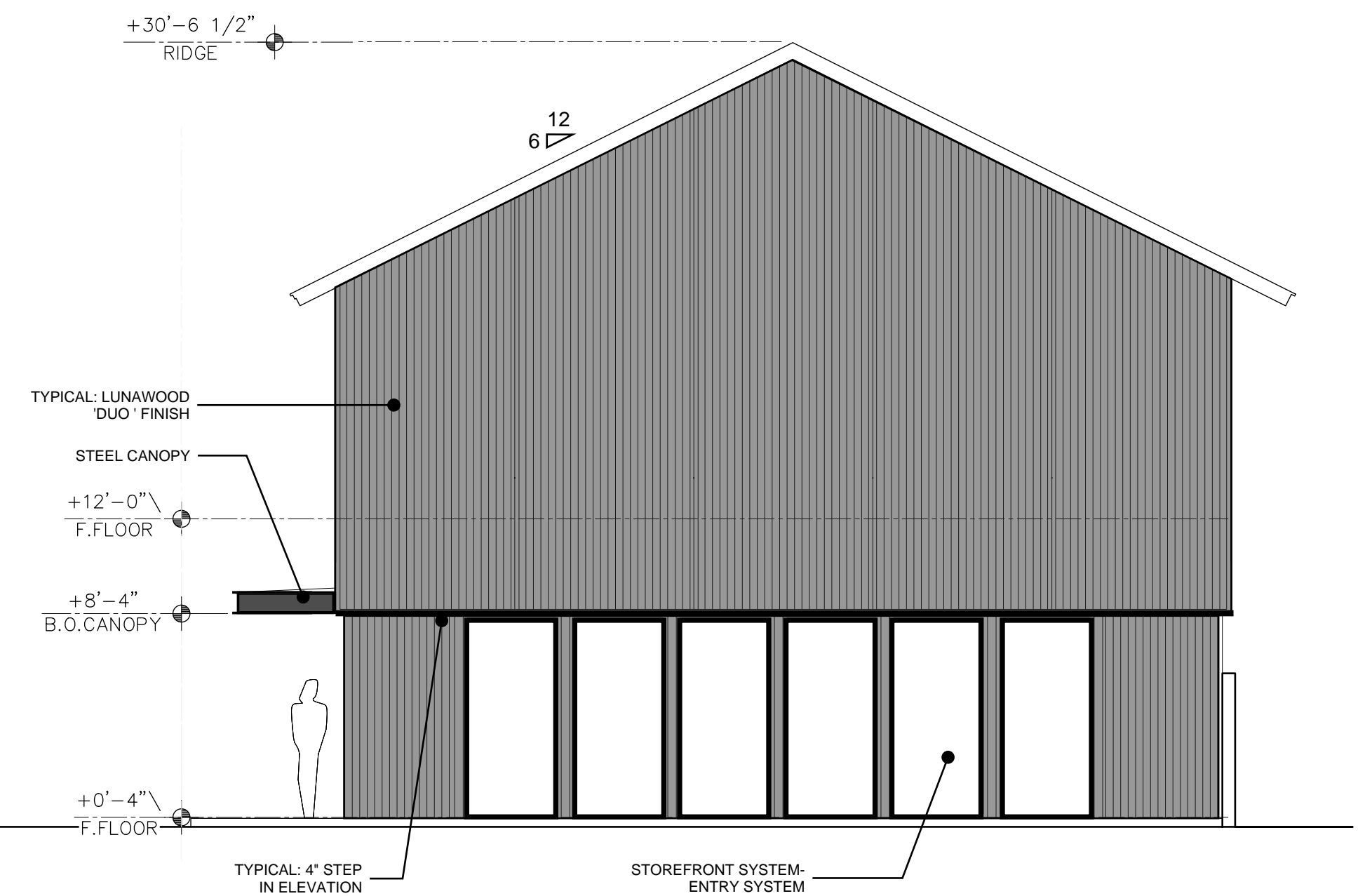
DO NOT SCALE DRAWINGS



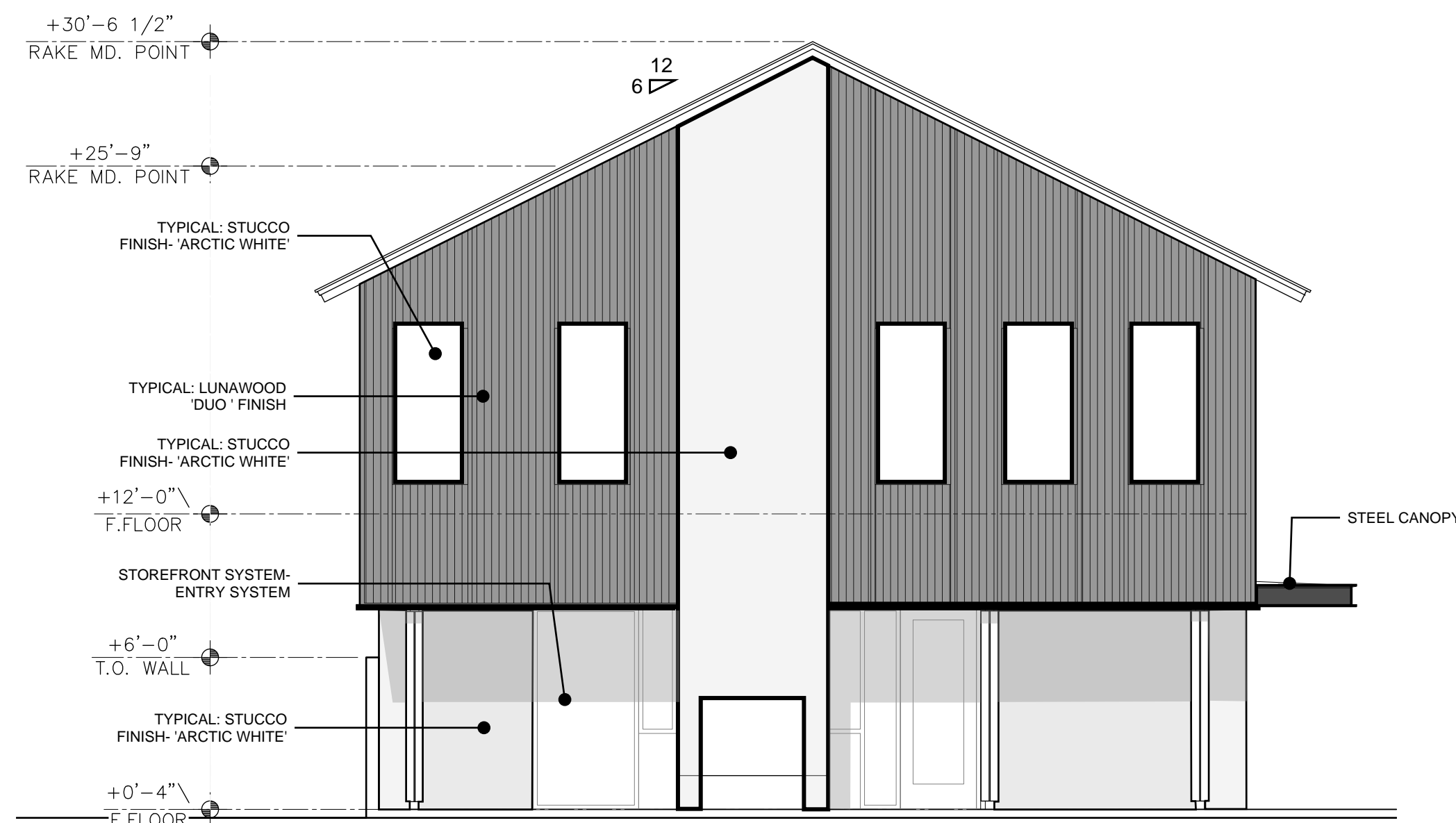
C1 WESTERN ELEVATION
3/16"=1'-0"



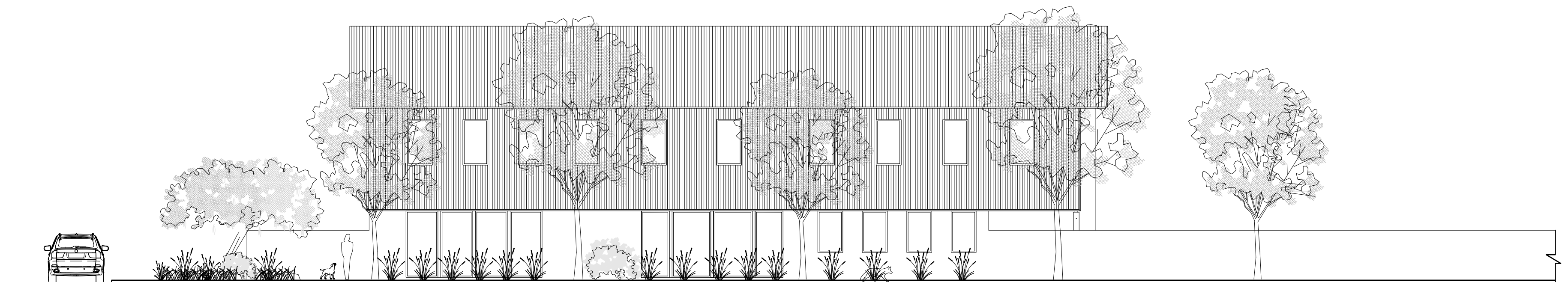
B1 EAST ELEVATION
3/16"=1'-0"



B3 SOUTH ELEVATION
3/16"=1'-0"

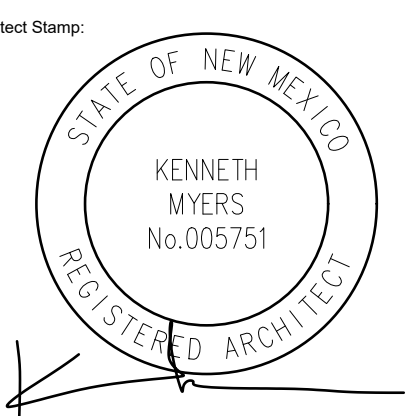


A1 NORTH ELEVATION
3/16"=1'-0"



A2 NORTH ELEVATION
NTS

BTR | RIO RANCHO HOUSING DEVELOPMENT
GOLF COURSE RD. NW
ALBUQUERQUE, NM 87114



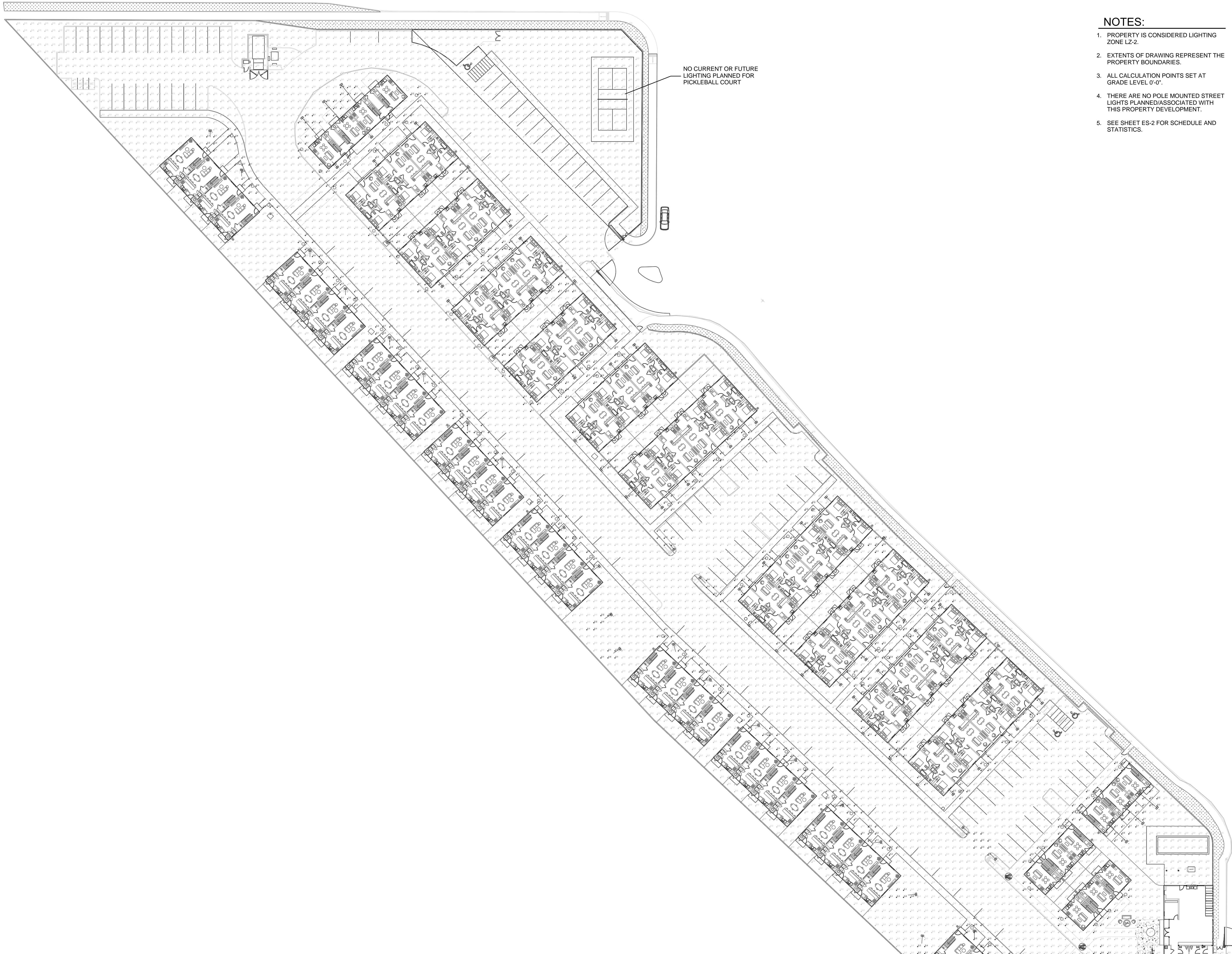
REMBE
urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
t: 505-243-0188

Project: **KMA** Checked By: **KMA**
Phase: **DFT SUBMITTAL**
Date: **09/22/2025**

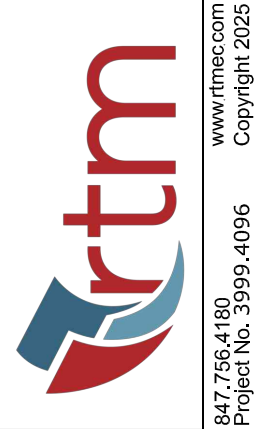
ARCHITECTURAL
ELEVATIONS
AMENITIES BUILDING

Sheet Number:
A205

DO NOT SCALE DRAWINGS



- NOTES:**
1. PROPERTY IS CONSIDERED LIGHTING ZONE LZ-2.
 2. EXTENTS OF DRAWING REPRESENT THE PROPERTY BOUNDARIES.
 3. ALL CALCULATION POINTS SET AT GRADE LEVEL 0'-0".
 4. THERE ARE NO POLE MOUNTED STREET LIGHTS PLANNED/ASSOCIATED WITH THIS PROPERTY DEVELOPMENT.
 5. SEE SHEET ES-2 FOR SCHEDULE AND STATISTICS.



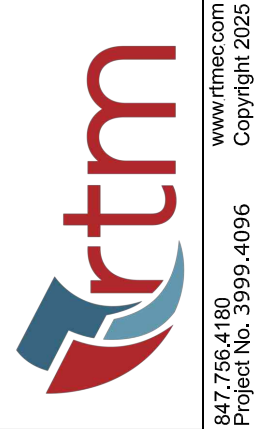
BTR | RIO RENCHO HOUSING DEVELOPMENT
GOLF COURSE RD.
ALBUQUERQUE, NM 87114

Current Issue:	
PIM SET	
Issued:	
Sheet Title:	
Date:	10/29/2025
Designed:	KFN
Reviewed:	DGD
Project No:	25.BG3999.4096
Sheet No:	
ES-1	
Scale:	As Shown



NOTES:

1. PROPERTY IS CONSIDERED LIGHTING ZONE LZ-2.
2. EXTENTS OF DRAWING REPRESENT THE PROPERTY BOUNDARIES.
3. ALL CALCULATION POINTS SET AT GRADE LEVEL 0'-0".
4. THERE ARE NO POLE MOUNTED STREET LIGHTS PLANNED/ASSOCIATED WITH THIS PROPERTY DEVELOPMENT.



BTR | RIO RENCHO HOUSING DEVELOPMENT
GOLF COURSE RD.
ALBUQUERQUE, NM 87114

Current Issue:

PNM SET

Issued:

Sheet Title:

Date:	10/29/2025
Designed:	KFN
Reviewed:	DGD
Project No:	25.BG3999.4096

Sheet No:

ES-2

Scale: As Shown

October 29, 2025
Development Facilitative Team (DFT)
600 2nd St NW, Albuquerque, NM 87102

RE: Project: PR-2022-007565; SP2025-00075- SITE PLAN DFT Comment responses

To whom it may concern,
I am in receipt of comments provided on 10/22/2025 and have provided the following revisions, and responses to those comments:

Code Enforcement

1. Wall along Westside is shown as a 6-foot opaque wall. However, the wall height is limited to 3 ft in height in front yard setback, as per IDO 5-7(D) Table 5-7-1, or up to 4 feet on the front parking lot edge as meeting a parking lot buffer requirement, as per IDO 5-6(F)(1)(i).
Response: Site plan has been revised to show a 4'-0" screen wall along the front parking lot edge. This wall will provide the required parking lot buffer as indicated in Comment #2.
2. Parking spaces along Westside require parking lot buffer wall, as noted above, or will require a 10-foot landscape buffer, as per the same section, IDO 5-6(F)(1)(i). This is cited in the Landscape Plan note #9, but it does not appear to be implemented
Response: A 4-foot tall parking lot screen wall will be used for in lieu of the 10-foot landscape buffer referenced.
3. Lighting: Light fixtures, IDO 5-8(E): General Design and Illumination Standards. Provide documentation showing how requirements are being met:
 - a. Light fixture types/detail sheets to show how the light fixtures meet required cut-off angle requirements for building mounted and pole mounted lighting.
 - b. Provide detail sheet of light poles (if any), with height limited as per IDO Table 5-8-1.
Response: No light poles to be incorporated into this project.
4. Lighting: Designation for Zone District, IDO 5-8(F): Must show compliance with standards:
 - a. Lighting Designation, IDO 5-8(F), Table 5-8-2. Property is designated an LZ-2 light zone.
Response: A lighting sheet has been added to the set. This designation has been included in the notes.
 - b. Light Trespass, IDO 5-8(F)(4), Table 5-8-3: Provide photometric site plan showing how total illumination (from interior and exterior light sources) complies with light trespass requirements at the property line for the LZ-2 light zone.
Response: A photometric site plan has been added to the set which illustrates compliance.
5. Lighting: Total Lumen Allowance, IDO 5-8(G): Provide documentation of compliance with Total Lumen Allowance and Total Lumens allowed per dwelling, IDO Table 5-8-4.
Response: A lighting sheet has been added to the set. Compliance has been indicated in the notes.

6. Lighting: Additional Standards, IDO 5-8(H): Show compliance with IDO 5-8(H)(1)(b) Residential Recreational Amenity and Private Parks, regarding lighting for small courts (the pickleball courts).

Response: Courts will be closed at dusk. No additional lighting to be added for this location.

7. Signage to be submitted by separate permit and meet requirements of IDO 5-12, Table 5-12-3.

Response: Signage to be submitted by separate permit.

Hydrology

Hydrology has further comments.

Water Authority

1. Availability Statement #250618 has been issued and provides the conditions for service. Routine connections are available.

Response: Confirmed.

2. Need to have Service Connection Agreement approved prior to final approval. Master Utility Plan.

Response: Service Agreement has been requested.

3. Need to show all utility easements as "public" or "private" and dimension each easement.

Response: All existing easements have been labeled on the master utility plan. No additional easements are being requested, public or private.

Transportation

1. No Comments.
2. As a reminder, an approved full TCL will be required prior to building permit.

Planning

1. Add a detail to the elevations sheet showing the proposed 6' opaque fence shown as keyed note #6 on the site plan.

Response: Detail showing proposed material and construction of the opaque fence has been added to sheet A201.

2. One (1) tree is required per 10 parking spaces. Calculations must be added to the landscape plan data.

Response: This has been added to drawings

3. At least 75 percent of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet.

Response: Design meets this requirement

4. Project and application numbers must be added to the Site Plan.

Response: Project and application numbers have been added to the site plan/ signature page.

5. Add the gravel coverage calculations for the 1/2" Blush Gravel and 2-4" Gold Gravel.

Response: This has been added to the drawings

6. For any required infrastructure, a completed IL-Infrastructure List will be needed for public Infrastructure needs.

Response: All infrastructure is private and therefore does not require an infrastructure list.

7. An IIA-Infrastructure Improvements Agreement with a financial guarantee will be required prior to final signoff of the site plan or plat.

Response: All infrastructure is private and therefore does not require an IIA.

Parks and Recreation

1. There is existing paved multi-use trail along the northside of Westside Blvd adjacent to the northern edge of the project site. Please confirm compliance with the following:

- a. Screening of mechanical equipment and support areas

Response: All equipment will be at grade and will be screened by the 6'-0" opaque wall designated as keyed note #6 on site plan.

- b. Loading Service and Refuse areas.

Response: The project will provide a compactor as approved by the solid Waste Department. The compactor will be screened with a 6'-0" stucco enclosure as detailed on sheet R001.

2. Are any walls are being proposed along Westside Blvd.?

Response: There will be a 4-foot parking lot buffer wall installed along Westside Blvd. See Responses #1 and #2 for Code Enforcement.

3. Parking lot screening will be required along Westside Blvd. Parks and Recreation defers to Planning Department.

Response: See response #1.

4. Serviceberries struggle with heat and high UV rays and are only recommended as an understory planting, per local nurseries. Serviceberry is also not on the Official Plant Palette. Please replace it with another species.

Response: Serviceberry has been removed from the project and replaced with plants from the official plant palette.