



**City of Albuquerque  
Planning Department**

**APPLICATION REQUIREMENTS FOR  
SITE PLAN ADMINISTRATIVE DFT**

**SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT)**

**SITE PLAN DOCUMENTATION**

- ☒ Zone Atlas map with the entire site clearly outlined and labeled  
Can be obtained at: <https://data.cabq.gov/business/zoneatlas>
- ☒ Form SP with signatures from Hydrology, Transportation, and ABCWUA  
<https://documents.cabq.gov/planning/development-hearing-officer/Form%20PLT.pdf>
- ☒ Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- N/A ☐ Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- N/A ☐ Infrastructure List, if required for building of public infrastructure  
[https://documents.cabq.gov/planning/development-facilitation-team/DFT\\_infrastructure-list.pdf](https://documents.cabq.gov/planning/development-facilitation-team/DFT_infrastructure-list.pdf)
- ☒ Sensitive Lands Site Analysis for new site design in accordance with IDO §14-16-5-2(C), as applicable
  - ☒ The Sensitive Lands Site Analysis form can be obtained online at:  
[https://documents.cabq.gov/planning/development-review-board/Sensitive\\_lands\\_analysis\\_form.pdf](https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf)
- NA ☐ Responses to climatic and geographic responsive design considerations  
(Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at):  
[https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic\\_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

## SUPPORTIVE DOCUMENTATION

- ☒ Completed Site Plan Checklist
- ☒ Signed letter of authorization from the property owner if application is submitted by an agent
- ☒ Justification letter describing and justifying the request per the criteria in IDO §14-16-6-5(G)(3)
- NA ☐ Explanation and justification of requested deviations, if any, in accordance with IDO §14-16-6-4(N)  
*Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- ☒ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO §14-16-6-5(A)  
*(Not required for Extension)*
- ☒ Landfill disclosure statement per IDO §14-16-5-2(G) if site is within a designated landfill buffer zone
- NA ☐ Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

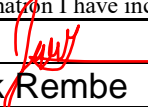
## PUBLIC NOTICE DOCUMENTATION

- ☒ Sign Posting Agreement  
[DFT SIGN POSTING AGREEMENT.pdf](#)
- ☒ Office of Neighborhood Coordination inquiry response  
<https://www.cabq.gov/office-of-neighborhood-coordination>
- NA ☐ Notice and attachments (e.g., letter and site plan sheets) sent to Neighborhood Association representatives **No neighborhood associations to notify**  
[Emailed-Mailed-Notice-PublicHearing-Print&Fill.pdf](#)
- NA ☐ Proof of email and/or first-class mailing to Neighborhood Association representatives  
**No neighborhood associations to notify**





Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

<b>MISCELLANEOUS APPLICATIONS</b>		<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input checked="" type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)		<b>PRE-APPLICATIONS</b>
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)		<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)		<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)		<b>APPEAL</b>
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)		<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)
<b>BRIEF DESCRIPTION OF REQUEST</b>		
New Multifamily Site Development. Please see narrative for detail.		
<b>APPLICATION INFORMATION</b>		
Applicant/Owner: Rembe Urban Design + Development (Jay Rembe or Jack Rembe)		Phone: 505-850-5588
Address: 1716 Central Ave SW		Email: jack@rembedesign.com
City: Albuquerque	State: New Mexico	Zip: 87104
Professional/Agent (if any): Kenny Myers		Phone: 518-364-9914
Address: 1716 Central Ave SW		Email: design@rembedesign.com
City: Albuquerque	State: NM	Zip: 87104
Proprietary Interest in Site: Architect for Rembe Urban Design + Development		List all owners:
<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>		
Lot or Tract No.: TR A-1-A-1 PLAT OF TRS A-1-A-1, B-1-A-1 & B-1-A-2 BLACKARROYO DAM CONT 8.0350 AC	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code: 101206643246110507
Zone Atlas Page(s): A-12-Z	Existing Zoning: MX-M	Proposed Zoning: MX-M (same as existing)
# of Existing Lots: 1	# of Proposed Lots: 144	Total Area of Site (Acres): 8.03
<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street:	Between: Westside Blvd	and: Golf Course
<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>		
Project #2022-007565. SI-2024-01688 - Site Plan - EPC, Major Amendment		
I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.		
Signature: 		Date: 9.18.2025
Printed Name: Jack Rembe		<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

**FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022****SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov). Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

**SITE PLAN DOCUMENTATION**

- X 1) DFT Application form completed, signed, and dated
- X 2) Form P2 with all the submittal items checked/marked
- X 3) Form SP with signatures from Hydrology, Transportation, and ABCWUA
- X 4) Zone Atlas map with the entire site clearly outlined and labeled
- X 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- N/A 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- N/A 7) Infrastructure List, if required for building of public infrastructure
- X 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):  
[https://documents.cabq.gov/planning/development-review-board/Sensitive\\_lands\\_analysis\\_form.pdf](https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf)
- N/A 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic\\_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

**SUPPORTIVE DOCUMENTATION**

- X 10) Completed Site Plan Checklist
- X 11) Letter of authorization from the property owner if application is submitted by an agent
- X 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- N/A 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- X 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (not required for Extension)

X 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

N/A 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

**PUBLIC NOTICE DOCUMENTATION**

X 17) Sign Posting Agreement

**No Neighborhood associations to notify**

N/A 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

   Office of Neighborhood Coordination neighborhood meeting inquiry response

   Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

   Completed neighborhood meeting request form(s)

   If a meeting was requested or held, copy of sign-in sheet and meeting notes

X 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

X Office of Neighborhood Coordination notice inquiry response

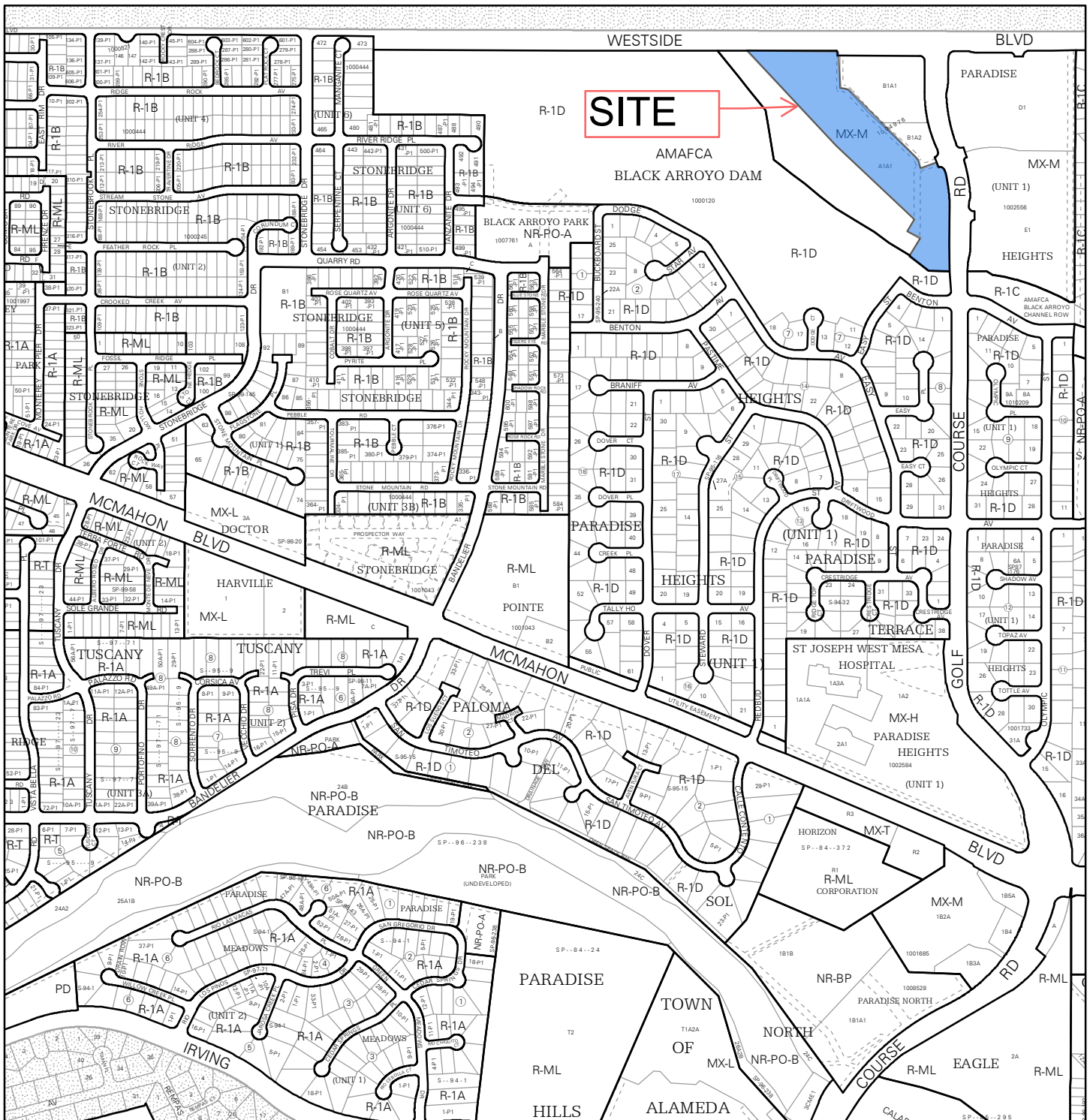
N Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

N Proof of emailed notice to affected Neighborhood Association representatives

**FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC**

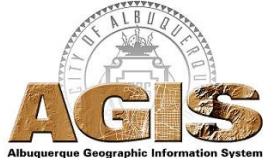
A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form P2 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Site Plan and related drawings
- \_\_\_ 5) Infrastructure List, if require
- \_\_\_ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- \_\_\_ 7) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 8) Solid Waste Department signature on Site Plan
- \_\_\_ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- \_\_\_ 10) Approved Grading and Drainage Plan
- \_\_\_ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)

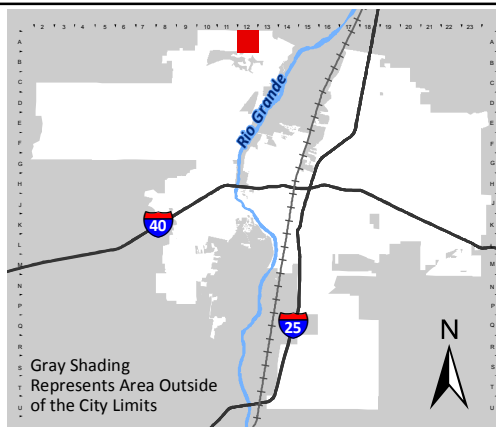


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**A-12-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

FORM SP

**FORM SP: PRE-APPROVALS/SIGNATURES**

(Revised 10/26/23)

**Legal Description & Location:** TR A-1-A-1 PLAT OF TRS A-1-A-1, B-1-A-1 & B-1-A-2 BLACKARROYO DAM CONT 8.0350 AC  
GOLF COURSE RD NW ALBUQUERQUE 87114

**Request Description:** DFT Site Plan  
Hydro file : A12D008E, Case# HYDR-2025-00197

**Hydrology:**

• Sensitive Lands Analysis (5-2(C))	<u>      </u> Approved	<u>  X  </u> NA
• Grading and Drainage Plan	<u>  X  </u> Approved	<u>      </u> NA
• AMAFCA	<u>      </u> Approved	<u>  X  </u> NA
• Bernalillo County	<u>      </u> Approved	<u>  X  </u> NA
• NMDOT	<u>      </u> Approved	<u>  X  </u> NA
• MRGCD	<u>      </u> Approved	<u>  X  </u> NA

Reggie Chan  
Hydrology Department

8/14/2025  
Date

**Transportation:**

• Traffic Circulations Layout (TCL)	<u>  X  </u> Approved	<u>      </u> NA
• Traffic Impact Study (TIS)	<u>      </u> Approved	<u>  X  </u> NA
• Neighborhood Impact Analysis (NIA)	<u>      </u> Approved	<u>  X  </u> NA
• Bernalillo County	<u>      </u> Approved	<u>  X  </u> NA
• MRCOG	<u>      </u> Approved	<u>  X  </u> NA
• NMDOT	<u>      </u> Approved	<u>  X  </u> NA
• MRGCD	<u>      </u> Approved	<u>  X  </u> NA

Ernest Armijo  
Transportation Department

8/13/2025  
Date

**Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

- Request for Availability submitted?   x   Yes        No        NA
- Availability Statement/Serviceability Letter Number       250618
- Note: Commitment for service is required prior to application approval.

Monica Macias  
ABCWUA

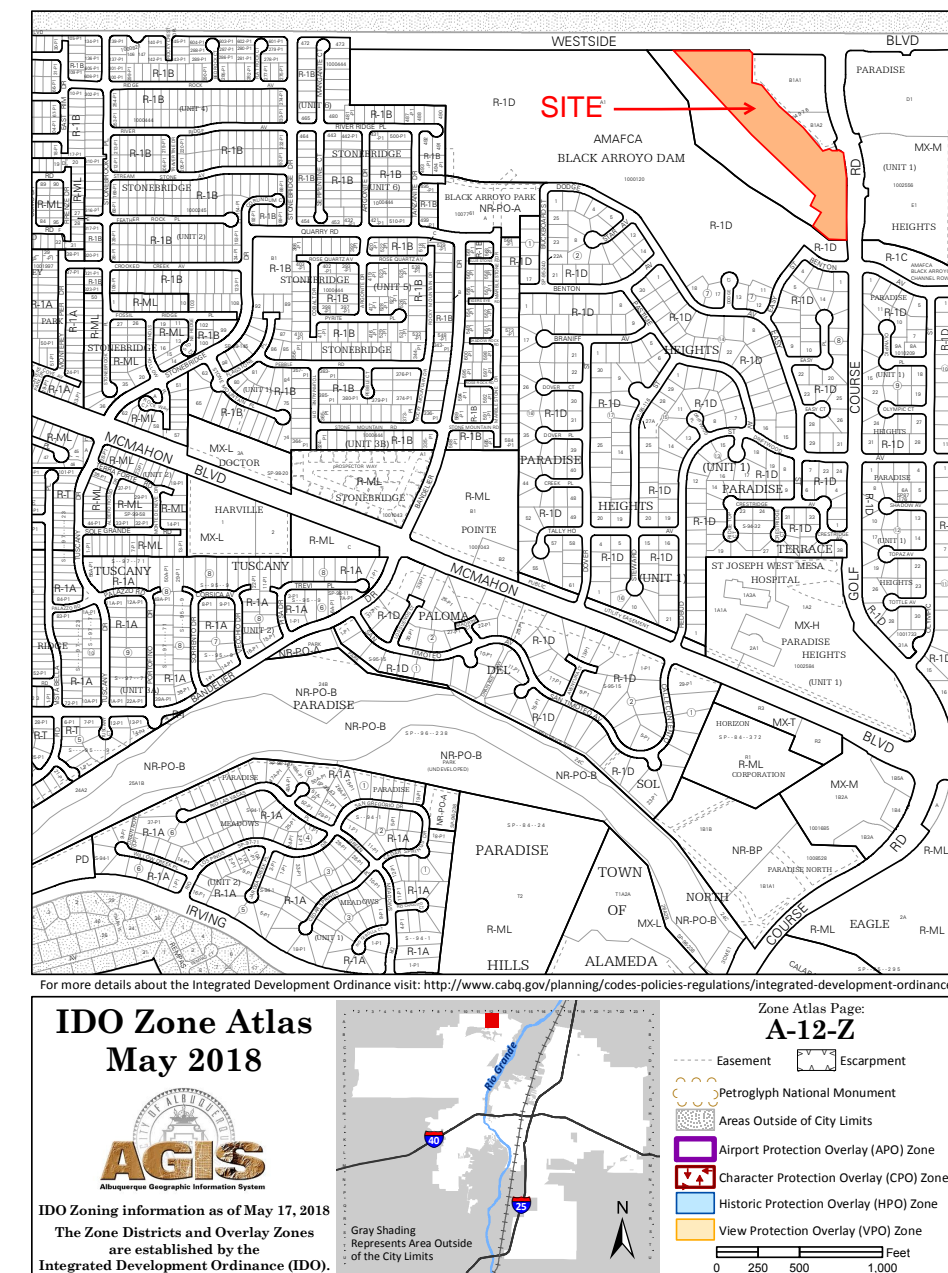
08/25/2025  
Date

- |   |                        |                  |
|---|------------------------|------------------|
| <input type="checkbox"/> Infrastructure Improvements Agreement (IIA*) | <u>      </u> Approved | <u>      </u> NA |
| <input type="checkbox"/> Solid Waste Department Signature on the Plan | <u>      </u> Approved | <u>      </u> NA |
| <input type="checkbox"/> Fire Marshall Signature on the Plan          | <u>  x  </u> Approved  | <u>      </u> NA |

\* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

SITE PLAN AND  
RELATED DRAWINGS





## SITE INFORMATION

ADDRESS:  
PROPERTY SOUTH AND WEST OF 10801 GOLF COURSE RD NW,  
ALBUQUERQUE, NM 87114

LEGAL DESCRIPTION:  
A PARCEL OF LAND SITUATED IN PROJECTED SECTION 1, T11N, R2E, N.M.P.M., TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO; SAID PARCEL BEING THE SAME AS TRACT A-1-A, B-1-A, B-1-B & C-1-A OF BLACK ARROYO DAM, FILED IN THE OFFICE OF THE COUNTY CLERK ON JULY 16, 2007 IN BK. 2007C. PG. 190. SEE PLAT FOR METES AND BOUNDS INFORMATION.

ZONE ATLAS MAP: A-12-Z  
ZONE DISTRICT: MX-M  
ADJACENT ZONING: MX-M + R-1D  
PROPOSED LAND USE: RESIDENTIAL  
DEVELOPMENT TYPE: MULTI-FAMILY  
PROJECT SIZE: 8.0350 ACRES

SETBACKS (GENERAL):

FRONT (MIN/MAX.)	5 FT./NA (WEST SIDE BLVD.)
SIDE, MIN./ MAX	0 FT. INTERIOR, 5 FT. SIDE ST.
REAR, MINIMUM	15 FT.

OPEN SPACE:  
1 OR LESS BEDROOM (BR)= 225 SF./ DU  
2 BR= 285 SF./ DU

## GENERAL NOTES

1. ALL SIDEWALKS, RAMPS, CURBOUTS, AND CURB AND GUTTER SHALL BE BUILT PER THE C.O.A. STANDARD DRAWINGS AND AQA STANDARDS.
2. CLEAR SITE DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, LIGHT FIXTURES, AND LANDSCAPING SHALL NOT BE PLACED WITHIN (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. SITE TRIANGLE SPEED IS BASED OFF OF 35 M.P.H.
3. ROADWAY:
4. REFER TO PLAT DRAWINGS FOR EXISTING AND PROPOSED EASEMENTS, PROPOSED LOT INFORMATION, AND FULL METES AND BOUNDS
5. CROWN SHALL BE SURROUNDED BY A WINDOW CASING NOT LESS THAN 2 INCHES WIDE.
6. PER IDO 4-38(B)(9A) NO MORE THAN 40% OF THE REQUIRED USABLE OPEN SPACE CAN BE PRIVATE TO A HOUSEHOLD OR OCCUR ON UPPER STOREYS. IF THE SPACE IS PRIVATE, WITH A REMAINING 69,444 SF. OF PUBLIC OPEN SPACE

## LEGEND

NEW ASPHALT

NEW CONCRETE SIDEWALKS

EXISTING SIDEWALK

PRIVATE OPEN SPACE

10'-0" P.U.E. EASEMENT

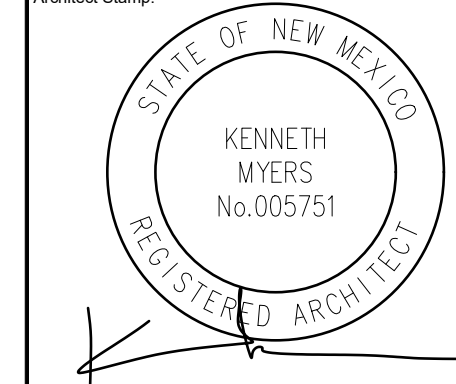
32' PRIVATE AND AMAFCA ACCESS, PRIVATE DRAINAGE AND PUBLIC WATER AND SEWER EASEMENT

## DRAWING INDEX

AS001	SITE PLAN + COVER SHEET + PROJECT INFO
AS101	ENLARGED SITE PLAN
AS102	ENLARGED SITE PLAN
TC101	TRAFFIC CONTROL LAYOUT
TC102	TRAFFIC CONTROL LAYOUT
TC103	SITE DETAILS
RO01	REFUSE PLAN
LP-01	PLANTING PLAN
LP-02	PLANTING PLAN
LS-01	LANDSCAPE PLAN
LS-02	LANDSCAPE PLAN
G1	CONCEPTUAL GRADING AND DRAINAGE PLAN
G2	CONCEPTUAL GRADING AND DRAINAGE PLAN
D1	CONCEPTUAL GRADING AND DRAINAGE PLAN
C1	AMAFCA CROSS SECTIONS
C2	AMAFCA CROSS SECTIONS
MU-1	UTILITY PLANS
MU-2	UTILITY PLANS
MU-3	UTILITY PLANS
A201	ARCHITECTURAL ELEVATIONS- BUILDING TYPE A
A202	ARCHITECTURAL ELEVATIONS- BUILDING TYPE B
A203	ARCHITECTURAL ELEVATIONS- BUILDING TYPE C
A204	ARCHITECTURAL ELEVATIONS- BUILDING TYPE D
A205	ARCHITECTURAL ELEVATIONS- BUILDING TYPE E
RO1	ARCHITECTURAL RENDERINGS

**BTR | RIO RAN**  
GOLF COURSE RD. NW  
ALBUQUERQUE, NM 87114

Architect Stamp



# REMBE

urban design + development  
1716 Central SW, Suite A  
Albuquerque, NM 87104  
t: 505-243-0188

Project:	
Drawn By: KMA	Checked By: KMA
Phase: DFT SUBMITTAL	
Date: 09/22/2025	

## SITE PLAN COVER SHEET

Sheet Number:

# AS001

[illegible]

\*Per IDO 4-3(8)(b)(a) no more than 40% of the required usable open space can be private to a household or occur on upper stories- 25,804 sf. of this project is private; with a remaining 127,166 sf. of public open space

\*\*See landscape plan for planting layout, requirements, and quantity

BUILDING LEGEND							
BUILDING #	BUILDING TYPE/ UNIT COUNT	BUILDING #	BUILDING TYPE/ UNIT COUNT	BUILDING #	BUILDING TYPE/ UNIT COUNT	BUILDING #	BUILDING TYPE/ UNIT COUNT
1	C/4	11	C/4	22	A/3	33	A/3
2	D	12	B/4	23	C/4	34	A/3
3	B/3	13	B/4	24	C/4	35	A/3
4	C/4	14	C/4	25	C/4	36	A/3
5	B/3	15	C/4	26	A/4	37	A/3
5	B/3	16	C/4	27	A/4	38	A/3
6	C/4	17	B/4	28	A/4	39	A/3
7	B/3	18	C/4	29	A/4	40	A/3
8	C/4	19	B/4	30	A/3	41	A/3
9	B/3	20	A/3	31	A/3	42	AMENITIES
10	B/3	21	A./3	32	A/3		

BUILDING TYPE	BUILDING FOOTPRINT
A/3	1,032 SF.
A/4	1,376 SF.
B/3	2,634 SF.
B/4	3,512 SF.
C/4	2,180 SF.
D	2,560 SF.
AMENITIES	3,000 SF.

Parking Calculations	Unit Count/sf.	IDO notes	Multiplier/Credit	Total Req'd	Provided
Residential Units MX-M	145	Table 5-5-1: multifamily= 1.2 SP per 1BR; 1.6 SP per to 2 BR	1.2/1.6	205.6	
Residential Community Amenity	6,000	Table 5-5-1: Residential Com. Amenity= 3 spaces per 1,000GFA	3	18	
		Plus 1 space per 3 design capacity per Table 5-5-2	12	4	
subtotal				228	
Total		5-5(C)(5)(b) Shared Parking Reduction; Table 5-5-3: Shared Parking Reduction Factors: Multi-family/ Other Non-residential= 1.3	1.3	175	218
EV charging stations	145	Per 5-5(C)(9) requires 5% of the required spaces be equip'd w/ EV charging stations 240V or greater	5%	7.25	8
EV Capable	145	Per 5-5(C)(9) requires 25% of the required spaces be provided as EV capable	25%	36.25	36
Accessible Spaces (HC)	145	Per 208.2 ADAAG for 201-300 off street spaces 7 HC spaces required; 2 van space required		7	7
Motor/Cycle	145	IDO, table 5-5-4: Between 101-150 spaces= 4 MC Spaces required		4	6
Bicycle	145	IDO, table 5-5-5: 10% of required spaces	10%	14.5	14.5

BLACK ARROYO DAM  
TRACT A-1  
MXM/R-1D  
NO STRUCTURES

SEE SHEET AS101

SEE SHEET AS102

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

**Is an Infrastructure List required?** ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.


**DFT SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

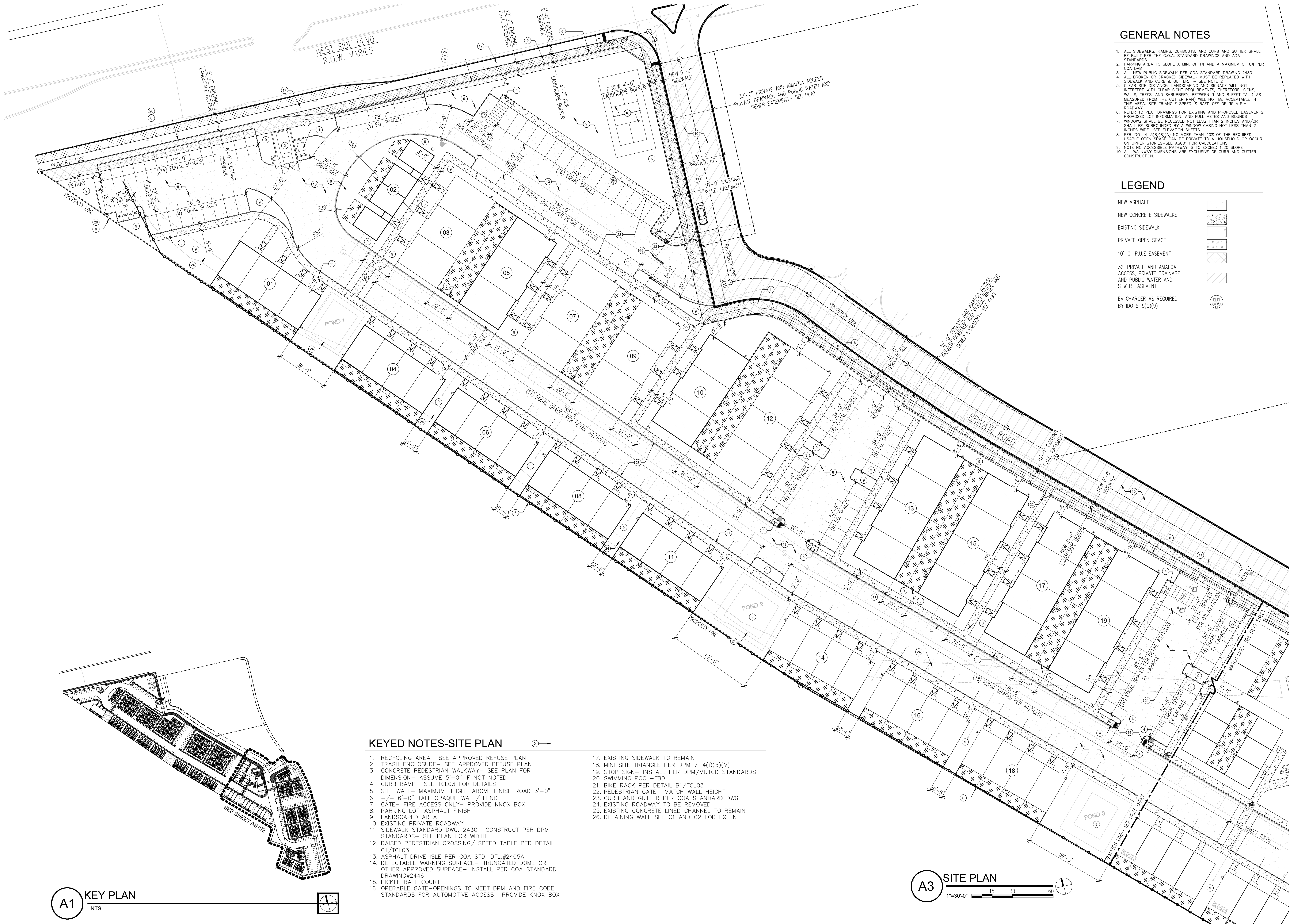
**A3 SITE PLAN**

1"=50'-0"

25 50 100







## GENERAL NOTES

1. ALL SIDEWALKS, RAMPS, CURB CUTS, AND CURB & GUTTER SHALL BE BUILT PER THE C.O.A. STANDARD DRAWINGS AND ADA STANDARDS.
2. PARKING AREA TO SLOPE A MIN. OF 1% AND A MAXIMUM OF 8% PER COA DPM.
3. ALL NEW PUBLIC SIDEWALK PER COA STANDARD DRAWING 2430.
4. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. - SEE NOTE 2.
5. CLEAR SITE DISTANCE, LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY, BETWEEN 3 AND 8 FEET TALL, AS MEASURED FROM THE GUTTER FAN) WILL NOT BE ACCEPTABLE IN THIS AREA. SITE TRIANGLE SPEED IS BASED OFF OF 35 M.P.H. ROADWAY.
6. REFER TO PLAT DRAWINGS FOR EXISTING AND PROPOSED EASEMENTS, PROPOSED LOT INFORMATION, AND FULL METES AND BOUNDS.
7. WINDOWS SHALL BE RECESSED NOT LESS THAN 2 INCHES AND/OR SHALL BE SURROUNDED BY A WINDOW CASING NOT LESS THAN 2 INCHES WIDE. - SEE ELEVATION SHEETS.
8. PER IDO 4-3(B)(8)(A) NO MORE THAN 40% OF THE REQUIRED USABLE OPEN SPACE CAN BE PRIVATE TO A HOUSEHOLD OR OCCUR ON UPPER STORIES. - SEE AS001 FOR CALCULATIONS.
9. NOTE NO ACCESSIBLE PATHWAY IS TO EXCEED 1:20 SLOPE.
10. ALL WALKWAY DIMENSIONS ARE EXCLUSIVE OF CURB AND GUTTER CONSTRUCTION.

## LEGEND

- NEW ASPHALT
- NEW CONCRETE SIDEWALKS
- EXISTING SIDEWALK
- PRIVATE OPEN SPACE
- 10'-0" P.U.E. EASEMENT
- 32" PRIVATE AND AMAFCA ACCESS, PRIVATE DRAINAGE AND PUBLIC WATER AND SEWER EASEMENT
- EV CHARGER AS REQUIRED BY IDO 5-5(C)(9)

## KEYED NOTES-SITE PLAN

1. RECYCLING AREA- SEE APPROVED REFUSE PLAN
2. TRASH ENCLOSURE- SEE APPROVED REFUSE PLAN
3. CONCRETE PEDESTRIAN WALKWAY- SEE PLAN FOR DIMENSION- ASSUME 5'-0" IF NOT NOTED
4. CURB RAMP- SEE TLO3 FOR DETAILS
5. SITE WALL- MAXIMUM HEIGHT ABOVE FINISH ROAD 3'-0"
6. +/- 6'-0" TALL OPAQUE WALL/ FENCE
7. GATE- FIRE ACCESS ONLY- PROVIDE KNOX BOX
8. PARKING LOT- ASPHALT FINISH
9. LANDSCAPED AREA
10. EXISTING PRIVATE ROADWAY
11. SIDEWALK STANDARD DWS. 2430- CONSTRUCT PER DPM STANDARDS- SEE PLAN FOR WIDTH
12. RAISED PEDESTRIAN CROSSING/ SPEED TABLE PER DETAIL C1/TLO3
13. ASPHALT DRIVE ISLE PER COA STD. DTL.#2405A
14. DETECTABLE WARNING SURFACE- TRUNCATED DOME OR OTHER APPROVED SURFACE- INSTALL PER COA STANDARD DRAWING#2446
15. PICKLE BALL COURT
16. OPERABLE GATE- OPENINGS TO MEET DPM AND FIRE CODE STANDARDS FOR AUTOMOTIVE ACCESS- PROVIDE KNOX BOX
17. EXISTING SIDEWALK TO REMAIN
18. MINI SITE TRIANGLE PER DPM 7-4(I)(5)(V)
19. STOP SIGN- INSTALL PER DPM/MUTC STANDARD
20. SWIMMING POOL- TBD
21. BIKE RACK PER DETAIL B1/TLO3
22. PEDESTRIAN GATE- MATCH WALL HEIGHT
23. CURB AND GUTTER PER COA STANDARD DWG
24. EXISTING ROADWAY TO BE REMOVED
25. EXISTING CONCRETE LINED CHANNEL TO REMAIN
26. RETAINING WALL SEE C1 AND C2 FOR EXTENT

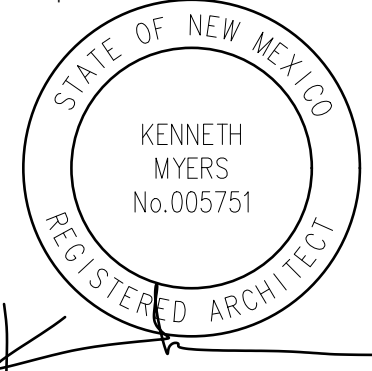
A3 SITE PLAN

1"=30'-0"

BTR | RIO RANCHO HOUSING DEVELOPMENT

GOLF COURSE RD. NW  
ALBUQUERQUE, NM 87114

Architect Stamp:



REMBE

urban design + development  
1716 Central SW, Suite A  
Albuquerque, NM 87104  
t: 505-243-0188

Project: KMA  
Phase: DFT SUBMITTAL  
Date: 09/22/2025

ARCHITECTURAL  
SITE PLAN

Sheet Number:

AS101





KEYED NOTES-SITE PLAN

1. RECYCLING AREA- SEE APPROVED REFUSE PLAN
2. TRASH ENCLOSURE- SEE APPROVED REFUSE PLAN
3. CONCRETE PEDESTRIAN WALKWAY- SEE PLAN FOR DIMENSION- ASSUME 5'-0" IF NOT NOTED
4. CURB RAMP- SEE TLO03 FOR DETAILS
5. SITE WALL- MAXIMUM HEIGHT ABOVE FINISH ROAD 3'-0"
6. +/- 6'-0" TALL OPAQUE WALL/ FENCE
7. GATE- FIRE ACCESS ONLY- PROVIDE KNOX BOX
8. PARKING LOT-ASPHALT FINISH
9. LANDSCAPED AREA
10. EXISTING PRIVATE ROADWAY
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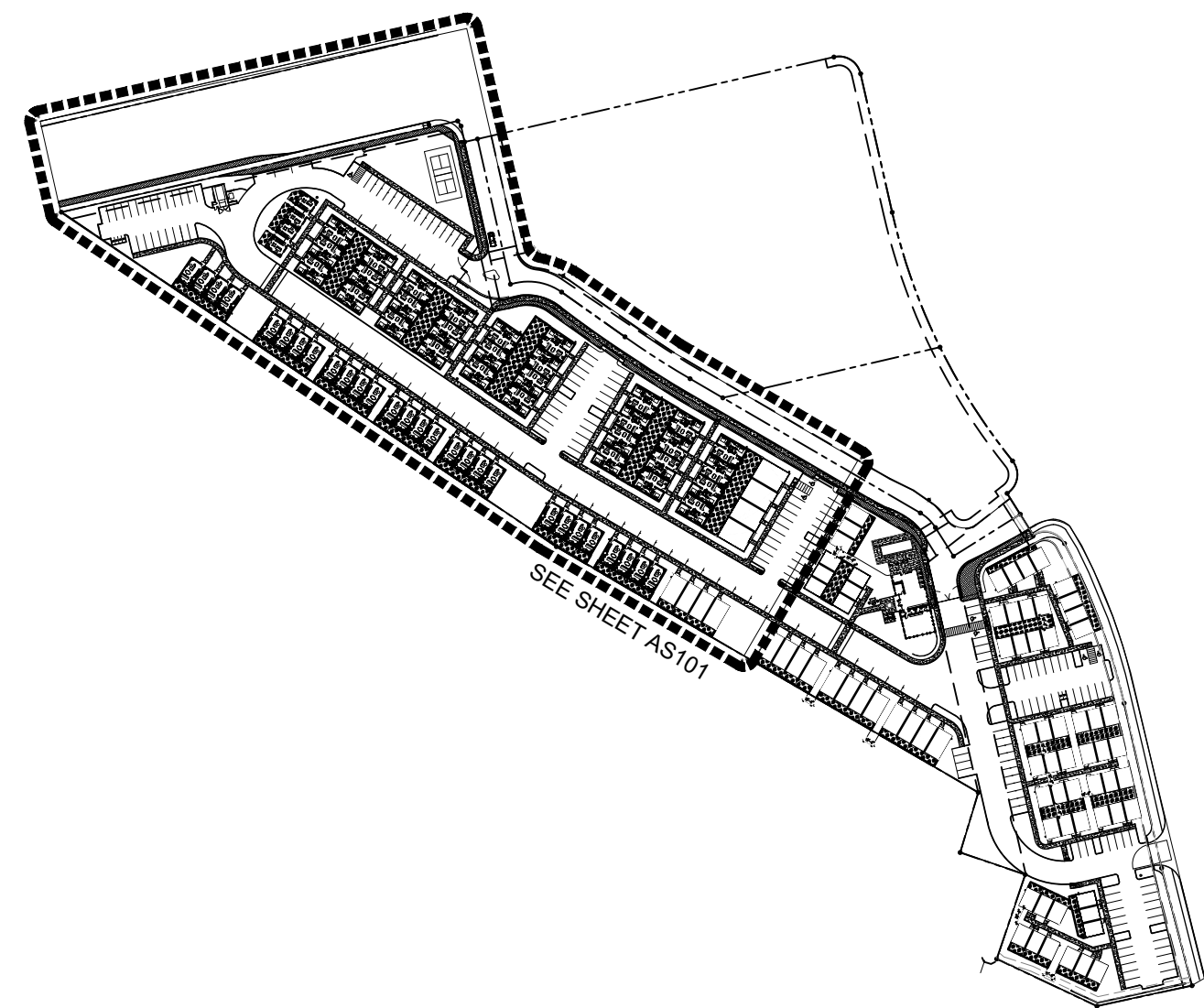
A1 ENLARGED SITE PLAN  
1'-0"=30'-0"

TCL GENERAL NOTES

1. PARKING AREA TO SLOPE A MIN. OF 1% AND A MAXIMUM OF 8% PER COA DPM
2. ALL NEW PUBLIC SIDEWALK PER COA STANDARD DRAWING 2430
3. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER- SEE NOTE 2
4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
5. NOTE NO ACCESSIBLE PATHWAY IS TO EXCEED 1:20 SLOPE
6. ALL WALKWAY DIMENSIONS ARE EXCLUSIVE OF CURB AND GUTTER CONSTRUCTION
7. PROVIDE STANARD CURB AND GUTTER PER STD. DTL.#2406 IN ALL PARKING LOTS, AND ROADWAYS

LEGEND

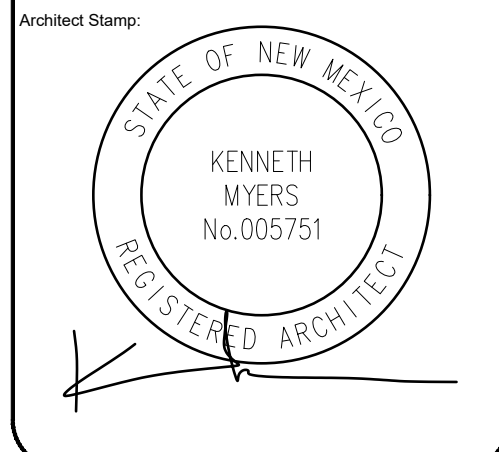
- NEW ASPHALT
- NEW CONCRETE SIDEWALKS
- EXISTING SIDEWALK
- PRIVATE OPEN SPACE
- 10'-0" P.U.E EASEMENT
- 32' PRIVATE AND AMAFCA ACCESS, PRIVATE DRAINAGE AND PUBLIC WATER AND SEWER EASEMENT
- EV CHARGER AS REQUIRED BY IDO 5-5(C)(9)



A4 KEY PLAN  
NTS

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ALBUQUERQUE, NM 87114



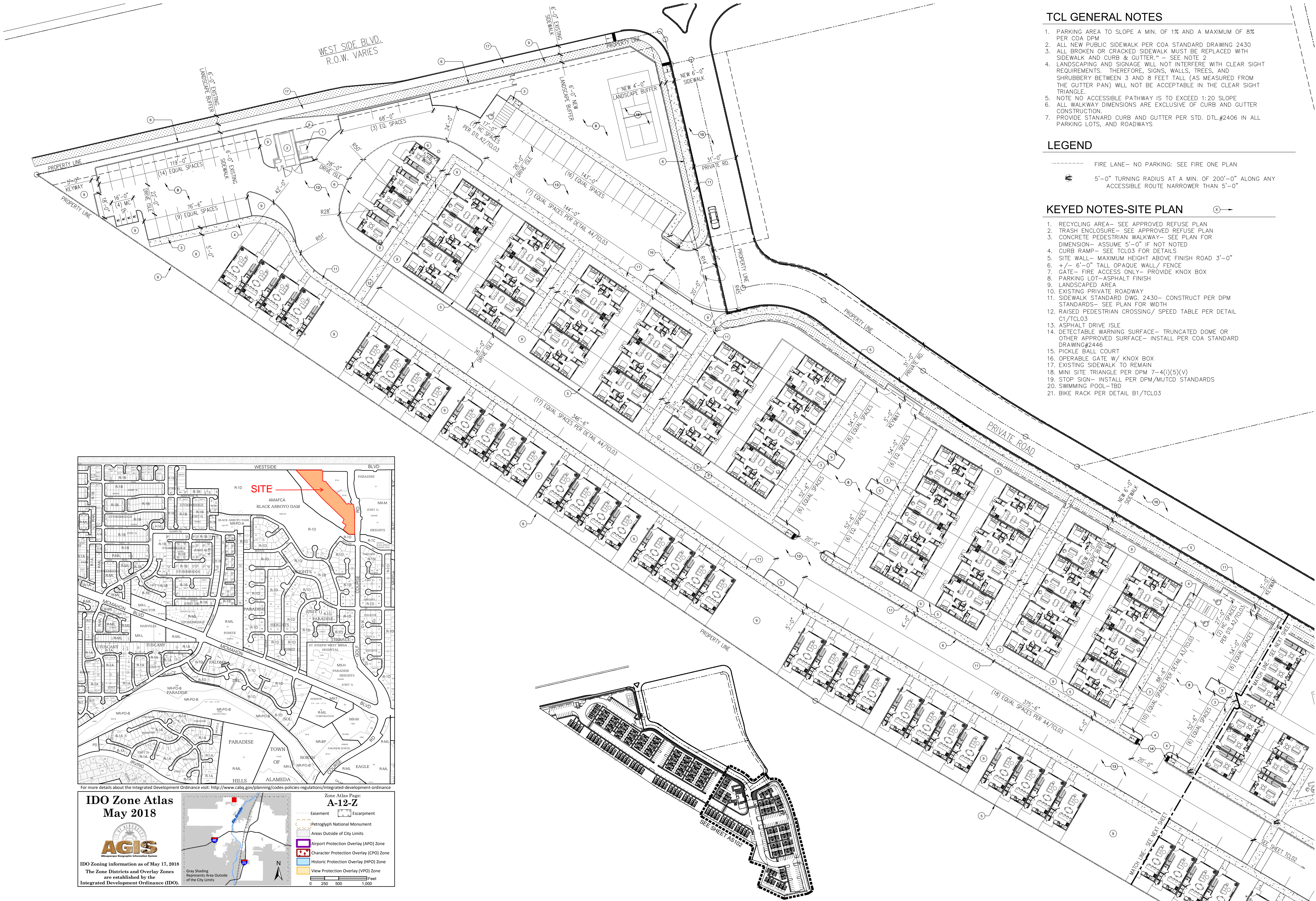
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t: 505-243-0188

Project: KMA  
Phase: DFT SUBMITTAL  
Date: 09/22/2025

ARCHITECTURAL SITE PLAN

AS102





TCL GENERAL NOTES

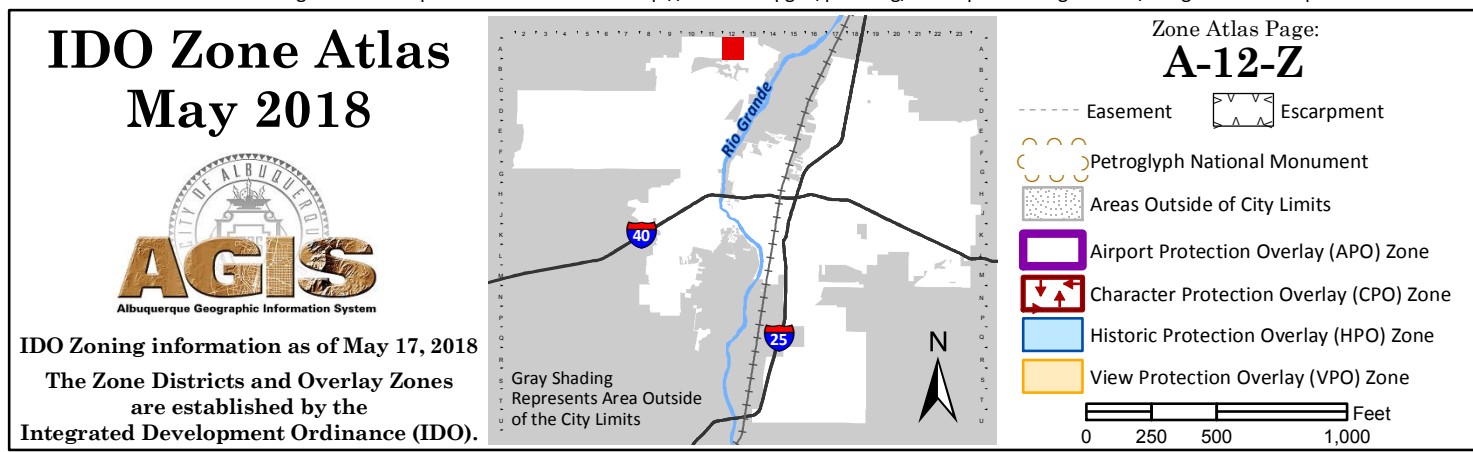
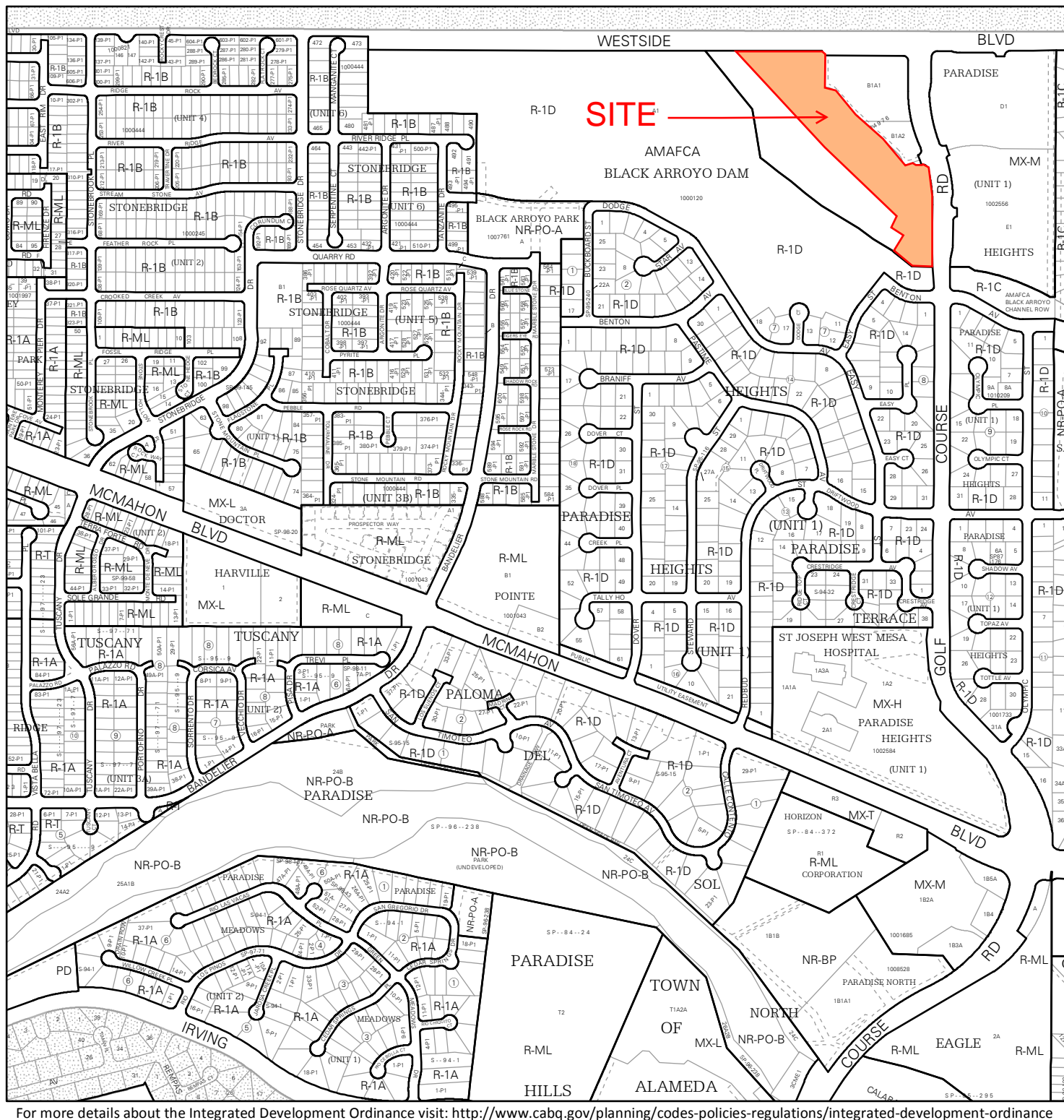
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LEGEND

- FIRE LANE- NO PARKING: SEE FIRE ONE PLAN
- 5'-0" TURNING RADIUS AT A MIN. OF 200'-0" ALONG ANY ACCESSIBLE ROUTE NARROWER THAN 5'-0"

KEYED NOTES-SITE PLAN

- 1. RECYCLING AREA- SEE APPROVED REFUSE PLAN
- 2. TRASH ENCLOSURE- SEE APPROVED REFUSE PLAN
- 3. CONCRETE PEDESTRIAN WALKWAY- SEE PLAN FOR DIMENSION- ASSUME 5'-0" IF NOT NOTED
- 4. CURB RAMP- SEE TCLO3 FOR DETAILS
- 5. SITE WALL- MAXIMUM HEIGHT ABOVE FINISH ROAD 3'-0"
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TCL GENERAL NOTES

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LEGEND

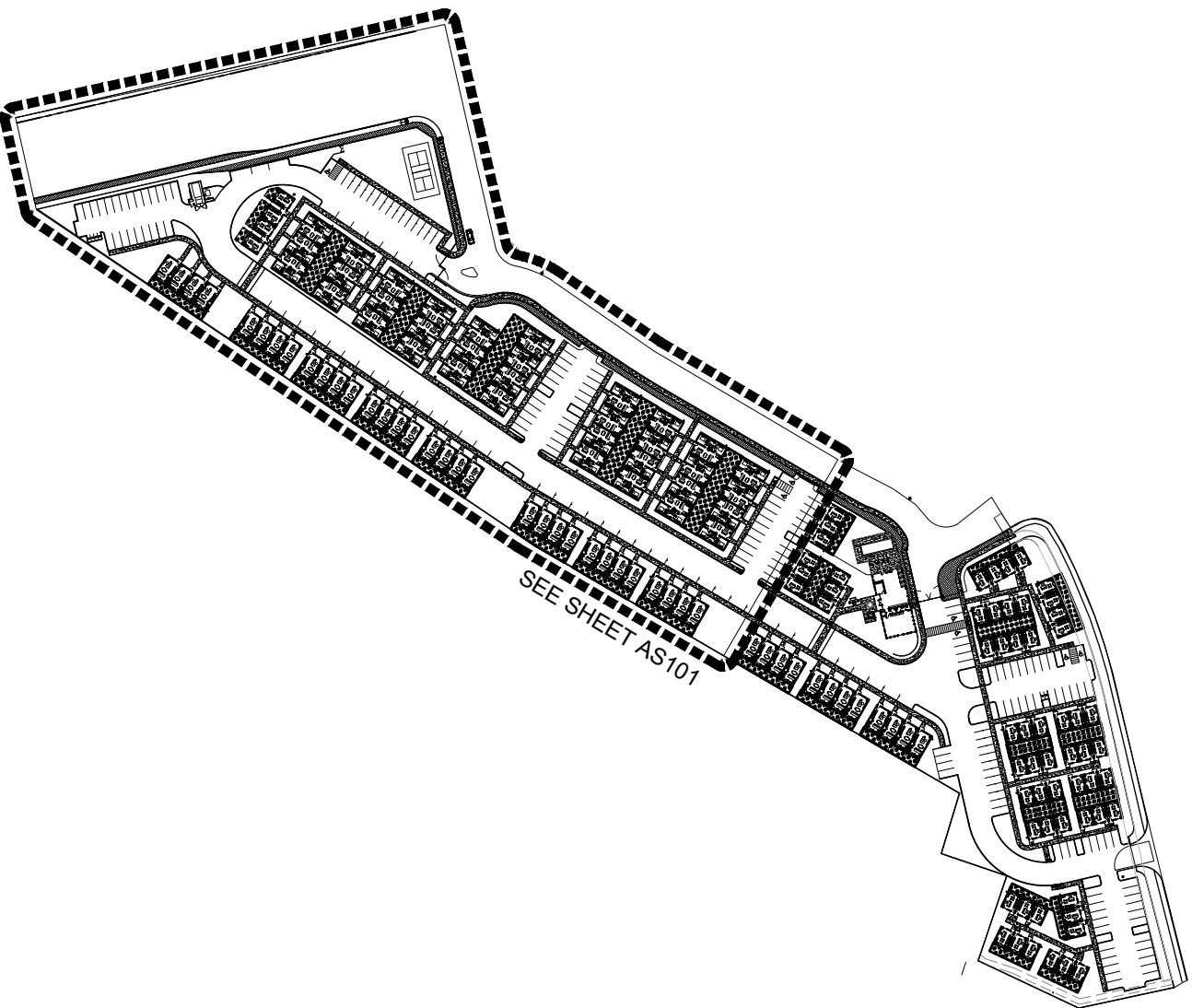
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- 20. SWIMMING POOL- TBD
- 21. BIKE RACK PER DETAIL B1/TLO3

Parking Calculations	Unit Count/sf.	IDO notes	Multiplier/Credit	Total Req'd	Provided
Residential Units MX-M	145	Table 5-5-1: multifamily= 1.2 SP per 1BR; 1.6 SP per to 2 BR	1.2/1.6	205.6	
Residential Community Amenity	6,000	Table 5-5-1: Residential Com. Amenity= 3 spaces per 1,000GFA	3	18	
		Plus 1 space per 3 design capacity per Table 5-5-2	12	4	
subtotal				228	
Total		5-5(C)(5)(b) Shared Parking Reduction; Table 5-5-3: Shared Parking Rediction Factors: Multi-family/ Other Non-residential= 1.3	1.3	175	218

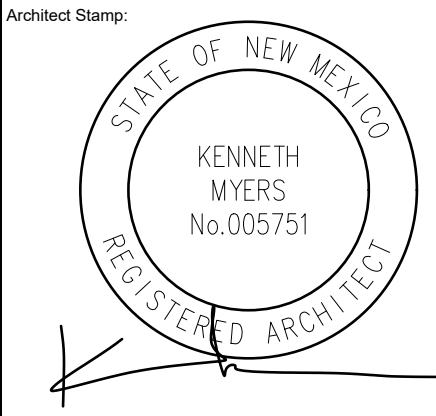
EV charging stations	145	Per 5-5(C)(9) requires 5% of the required spaces be equipud w/ EV charging stations 240V or greater	5%	7.25	8
EV Capable	145	Per 5-5(C)(9) requires 25% of the required spaces be provided as EV capable	25%	36.25	36
Accessible Spaces (HC)	145	Per 208.2 ADAAG for 201-300 off street spaces 7 HC spaces required; 2 van space required		7	7
MotorCycle	145	IDO, table 5-5-4: Between 101-150 spaces= 4 MC Spaces required		4	6
Bicycle	145	IDO, table 5-5-5: 10% of required spaces	10%	14.5	14.5



A1 SITE PLAN  
1'-0"=30'-0"

A4 KEY PLAN  
NTS

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GOLF COURSE RD. NW  
ALBUQUERQUE, NM 87114



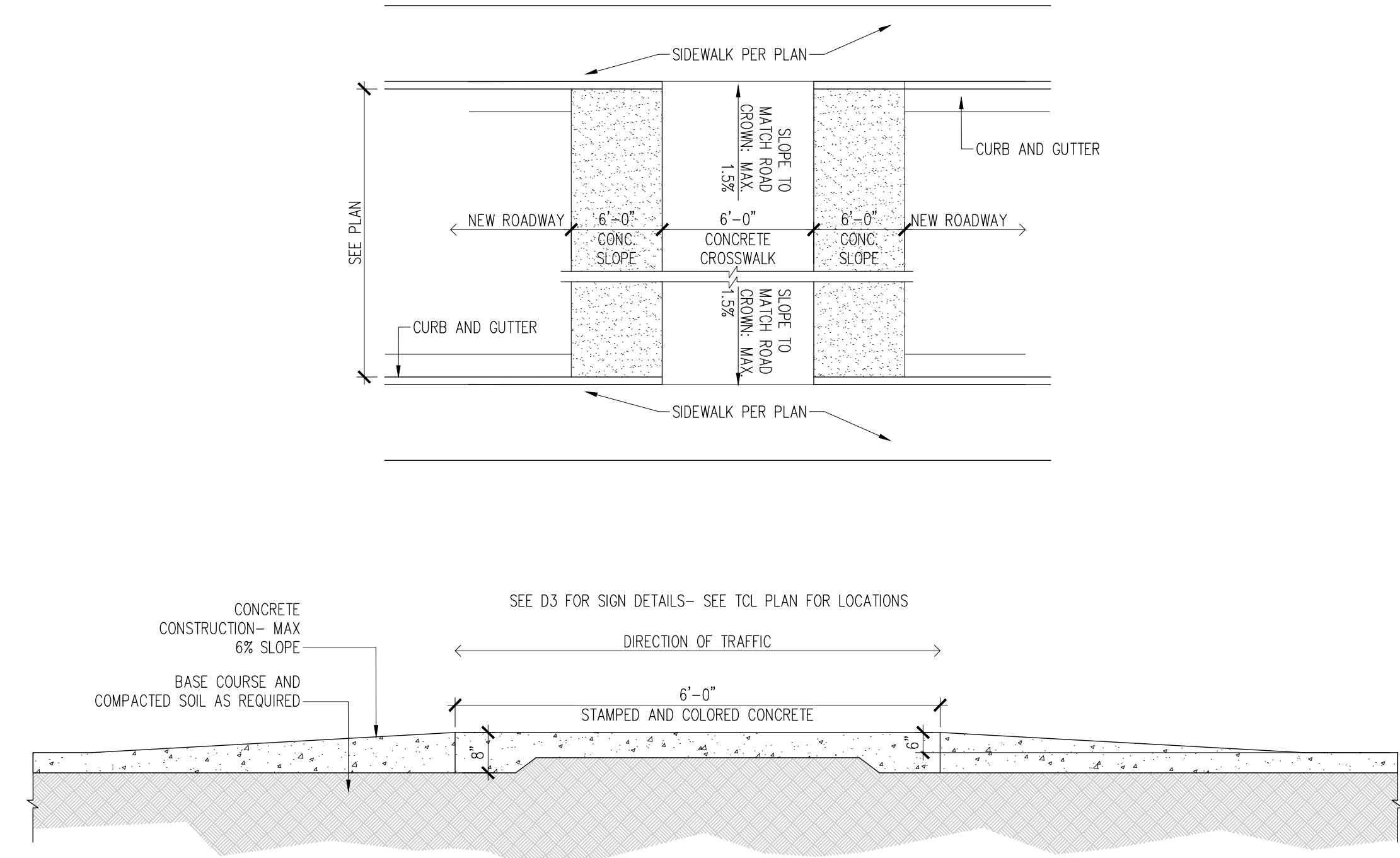
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urban design + development  
1716 Central SW, Suite A  
Albuquerque, NM 87104  
t: 505-243-0188

Project	KMA	Checked By: KMA
Phase:	DFT SUBMITTAL	
Date:	09/22/2025	

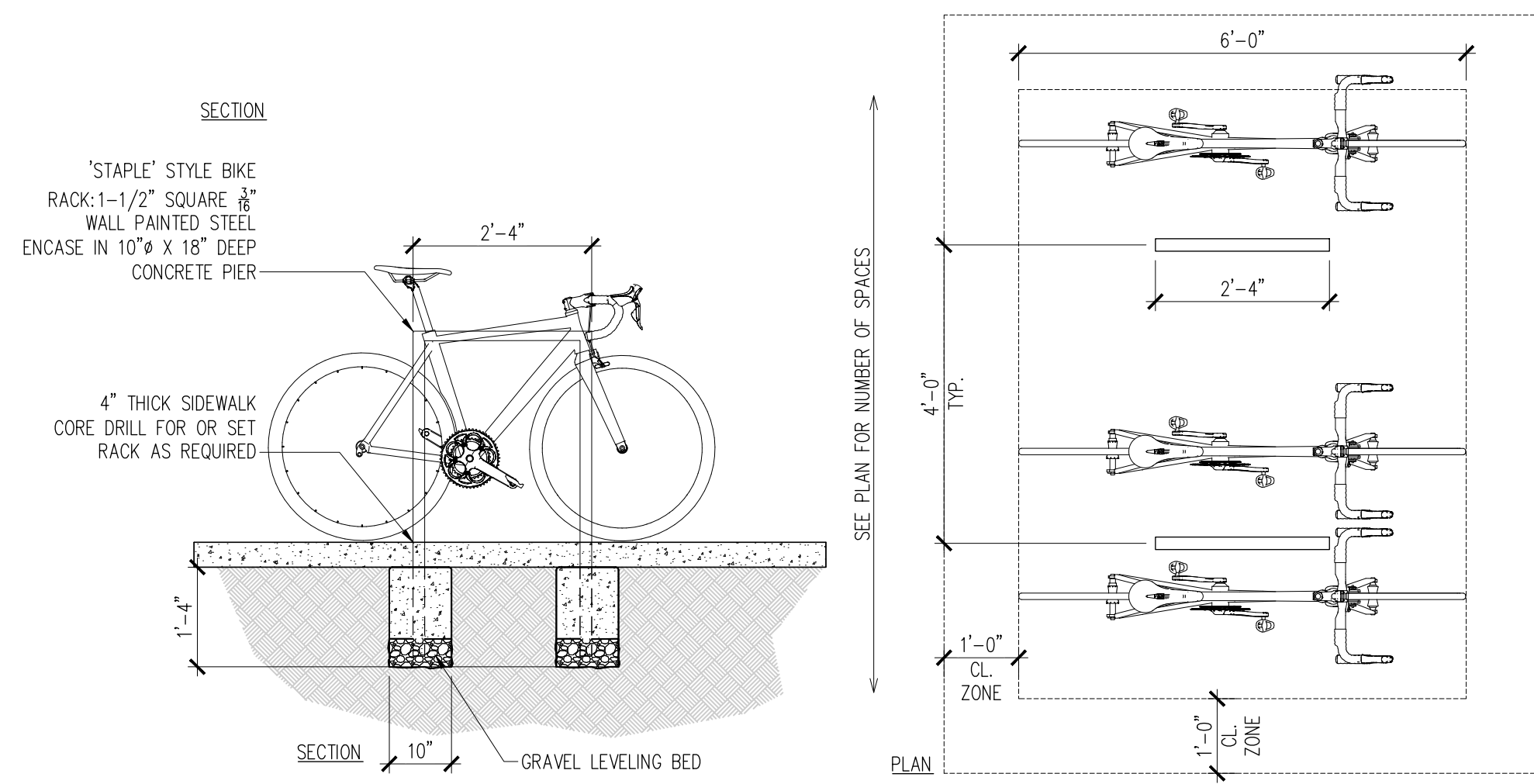
TRAFFIC CONTROL LAYOUT

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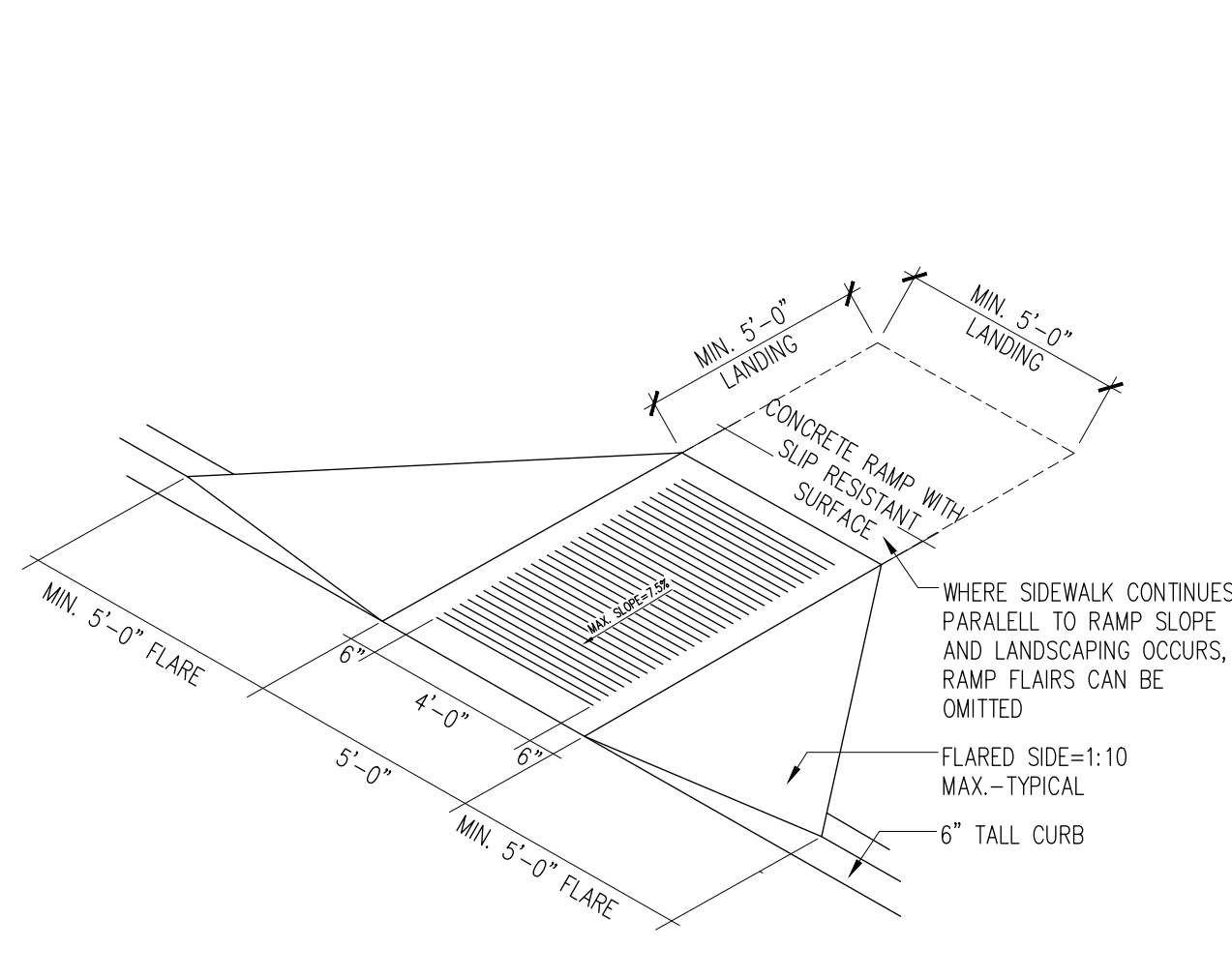
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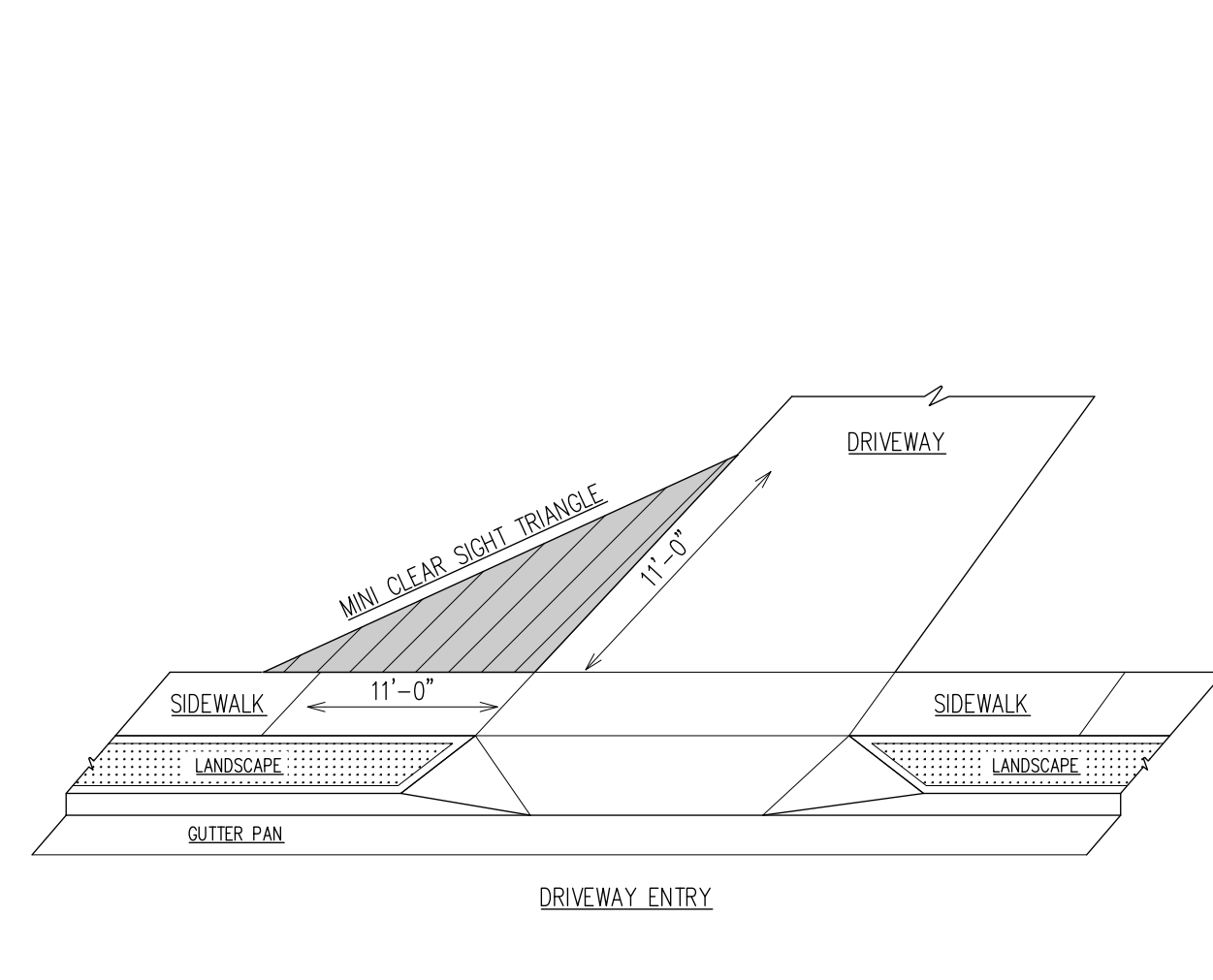
**C1** Cross Walk Detail  
NTS



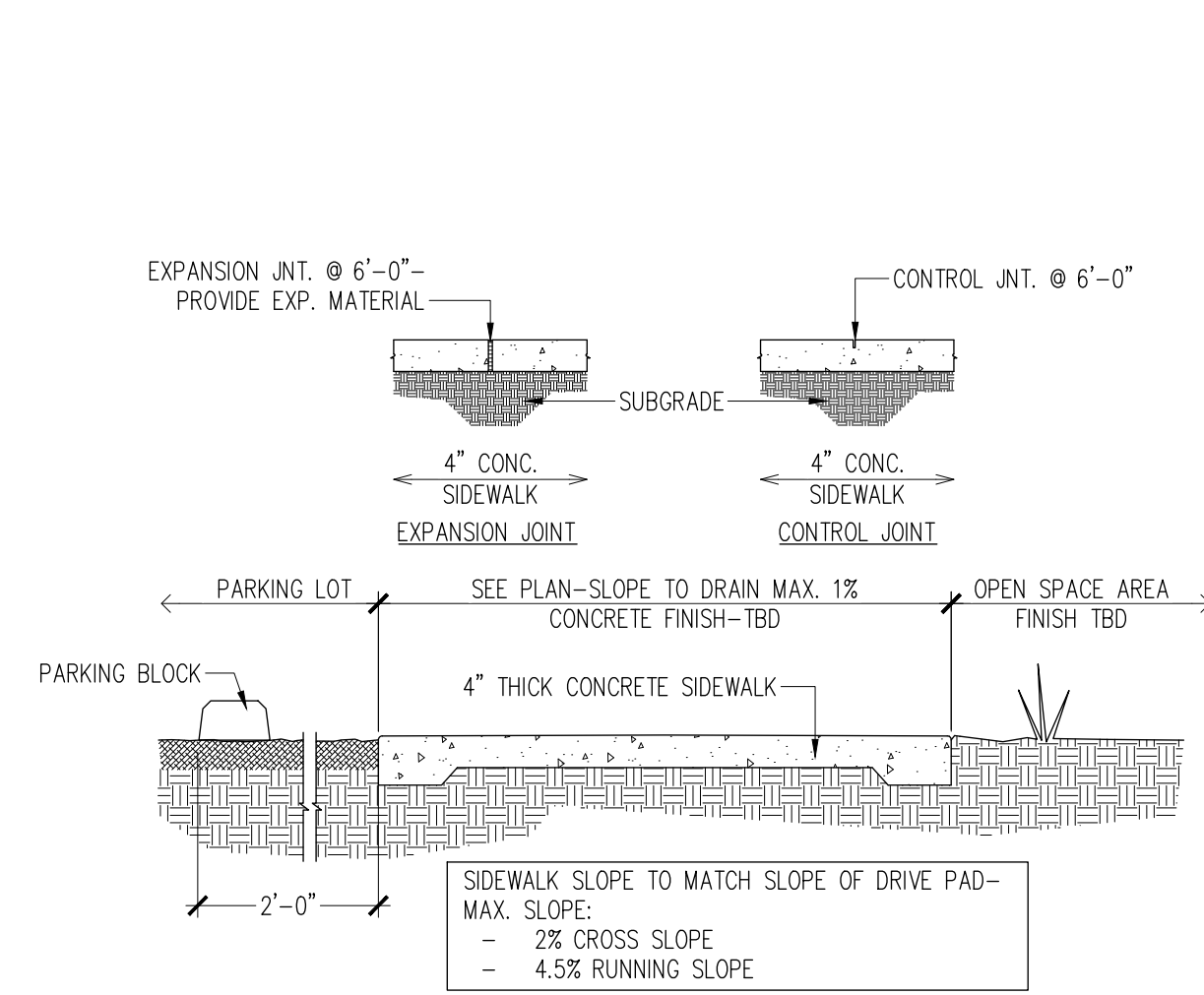
**B1** Bike Rack Detail  
1/2"=1'-0"



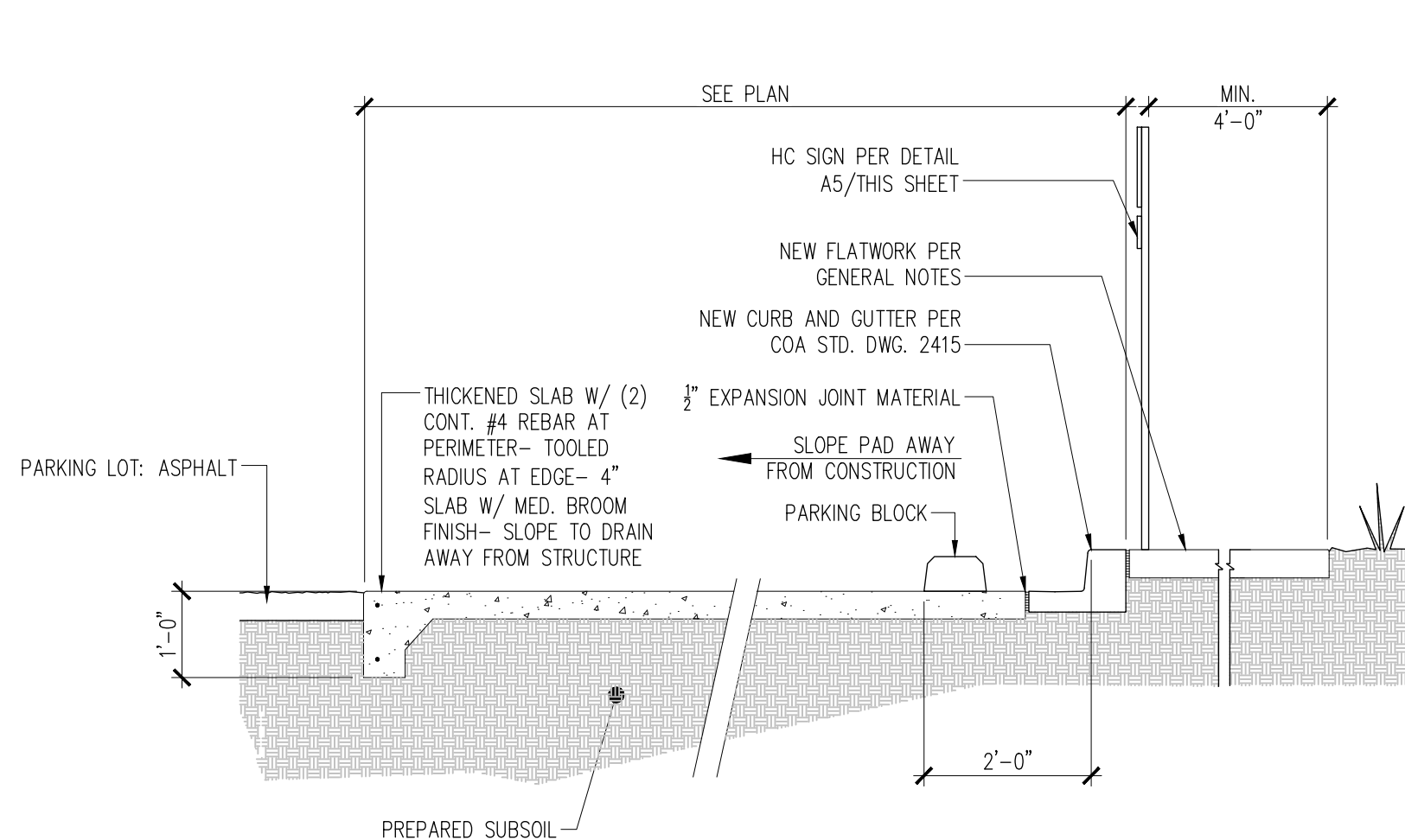
**B2** Alternate Curb Ramp Detail  
NTS



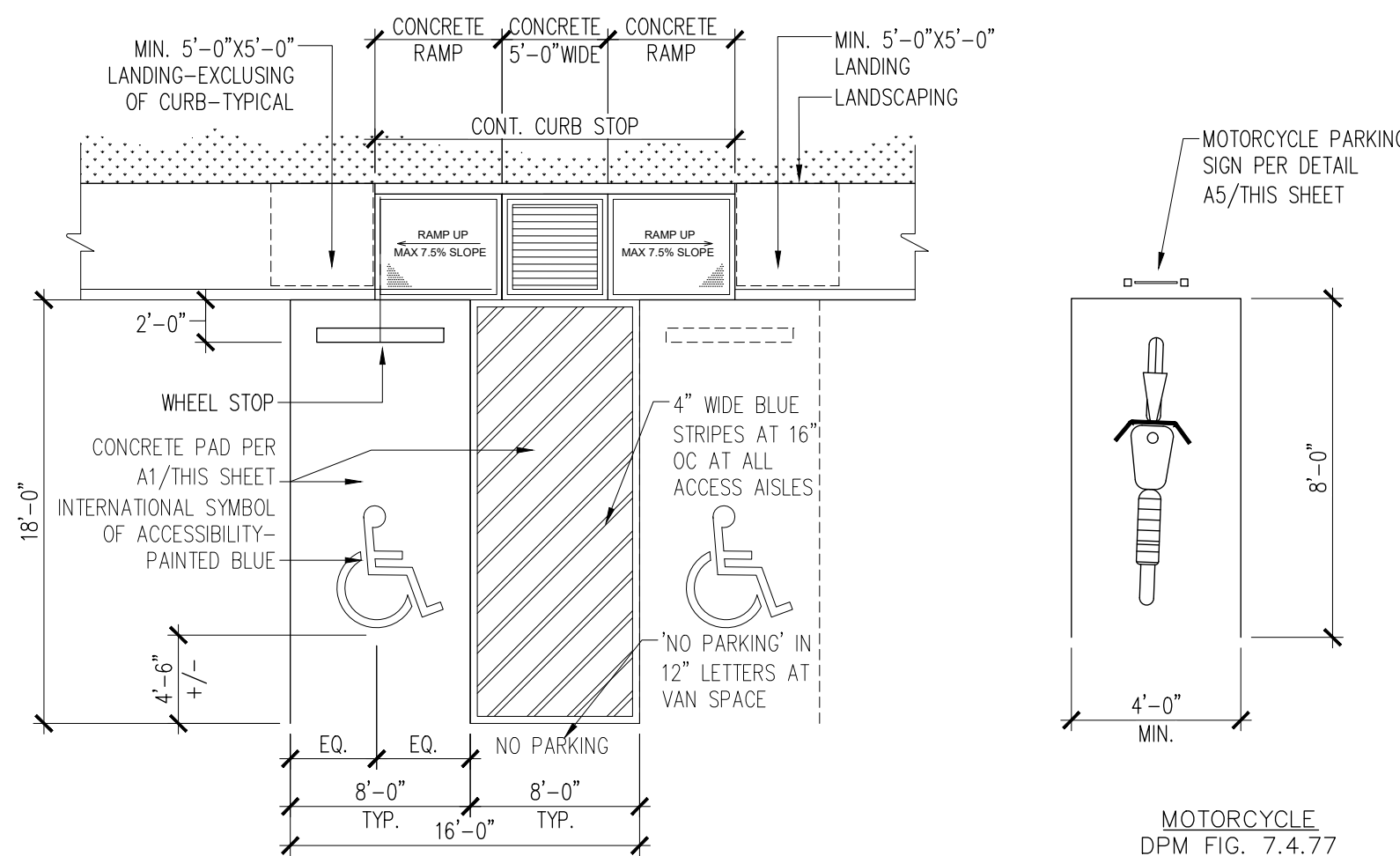
**B3** Mini-Clear Site Triangle  
NTS



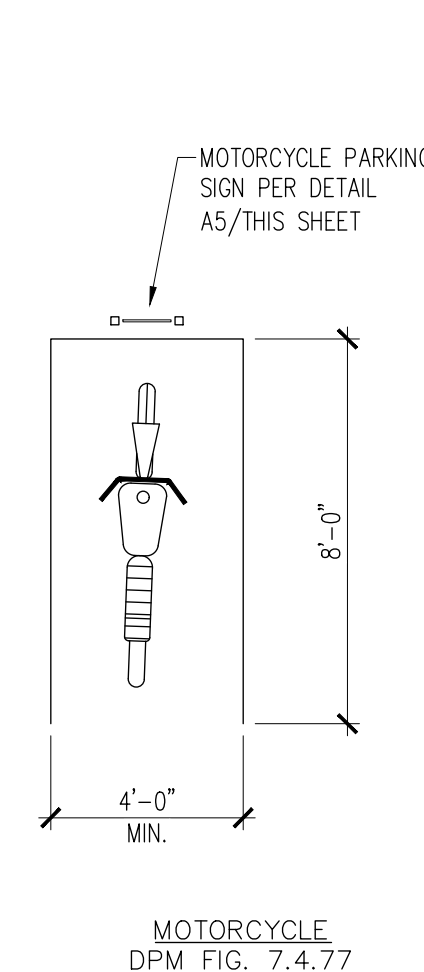
**B4** Typical Onsite Pedestrian Routes  
NTS



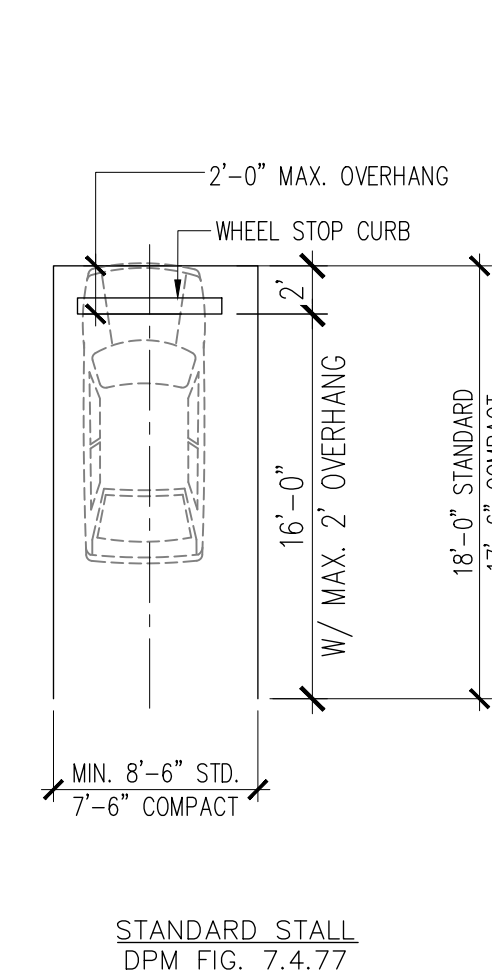
**A1** Typical HC Parking Space Detail  
1/2"=1'-0"



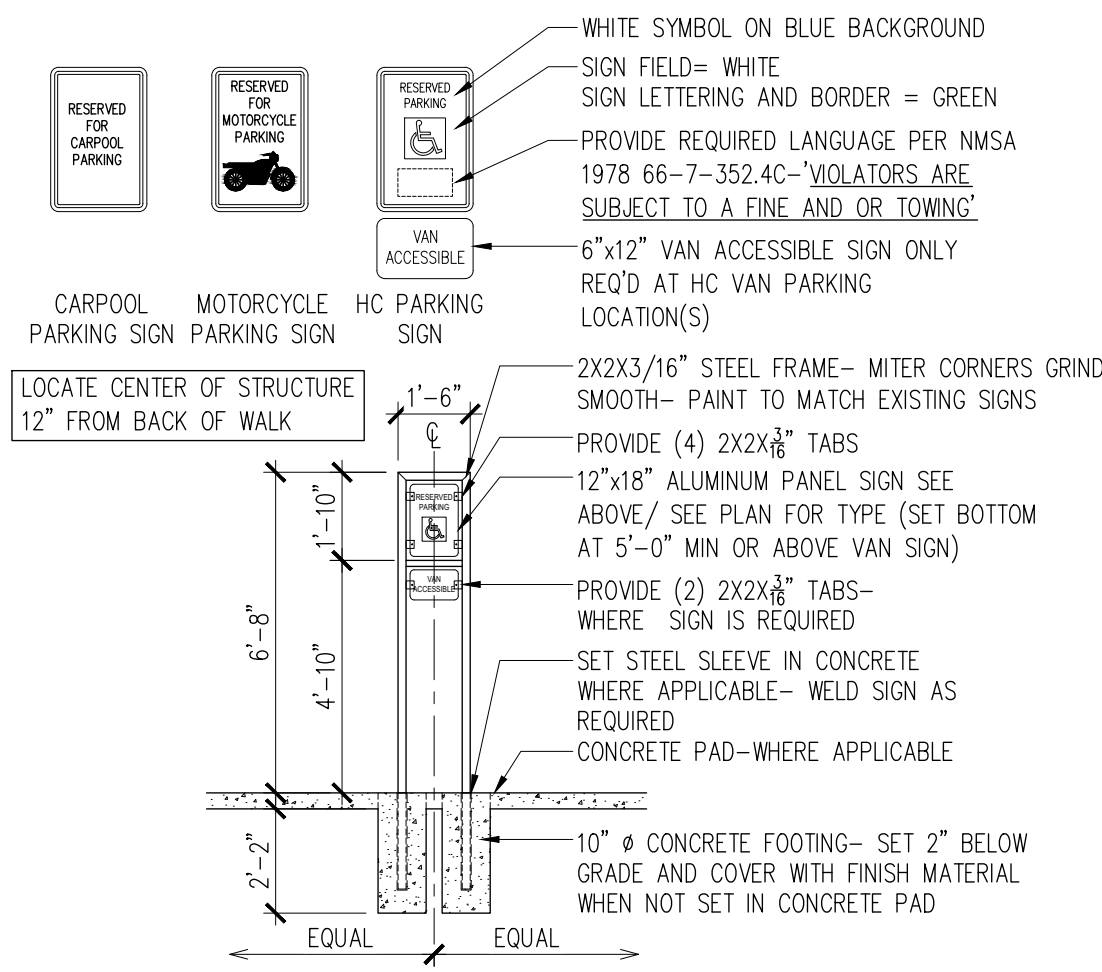
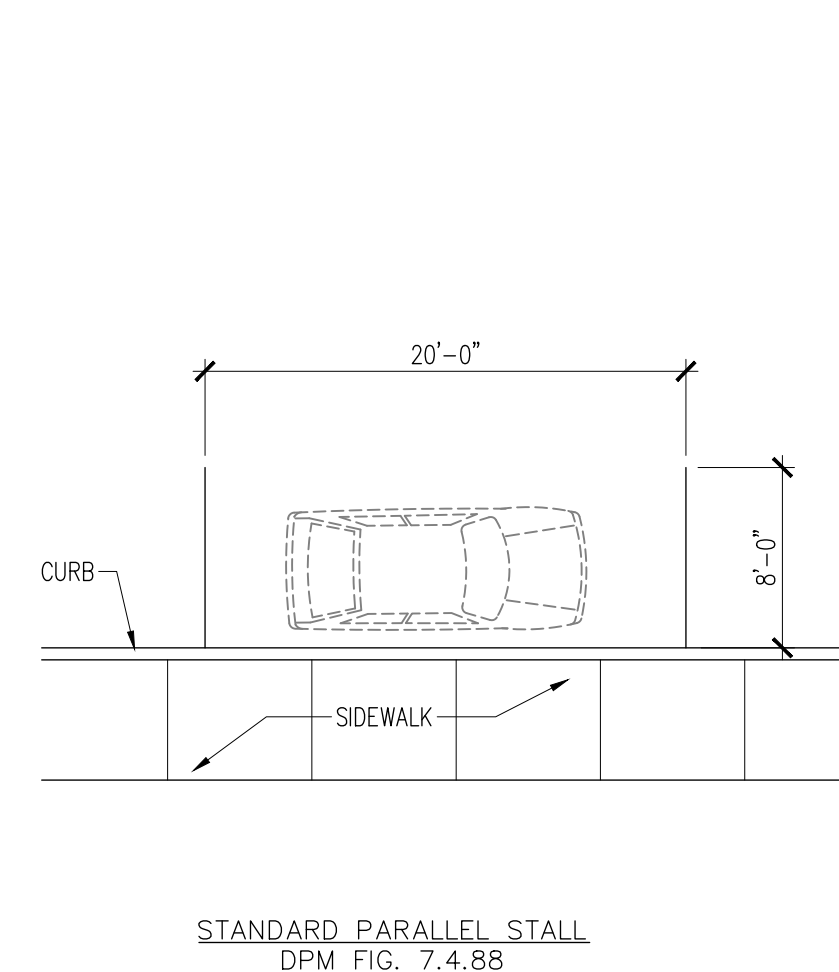
**A2** Typical HC Parking Space/Curb Ramp  
1/2"=1'-0"



**A3** Typical Parking Space Detail  
1/8"=1'-0"



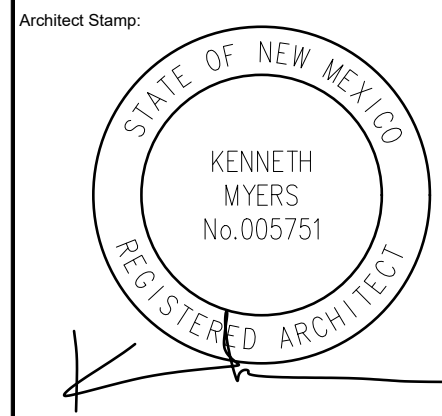
**A4** Typical Parallel Parking Space  
1/8"=1'-0"



**A5** New Post Sign Detail  
1/8"=1'-0"

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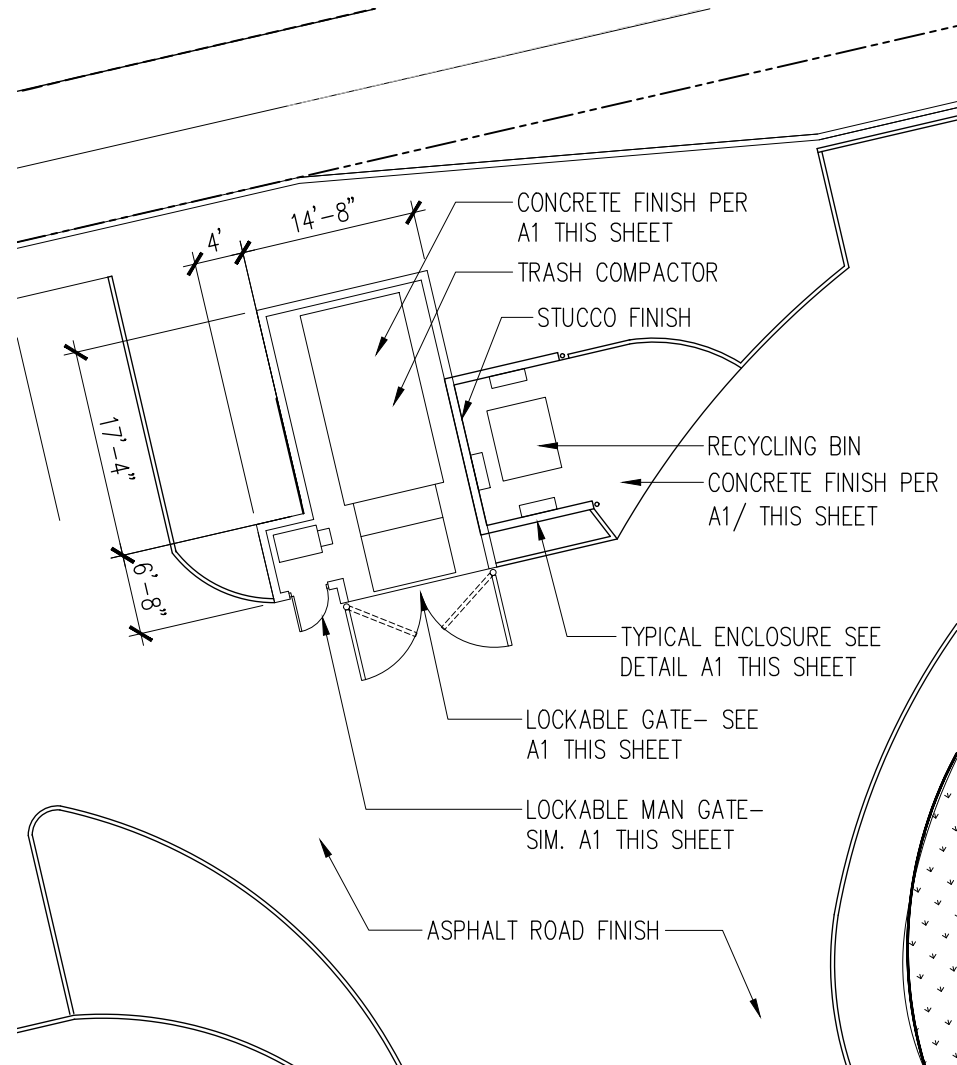
**REMBE**  
urban design + development  
1716 Central SW, Suite A  
Albuquerque, NM 87104  
t: 505-243-0188

Project: **BTR-GOLF CRSE**  
Drawn By: **KMA** Checked By: **KMA**  
Phase: **CONCEPTUAL**  
Date: **08/07/2025**  
TRAFFIC CONTROL  
LAYOUT PLAN  
DETAILS  
CONCEPTUAL

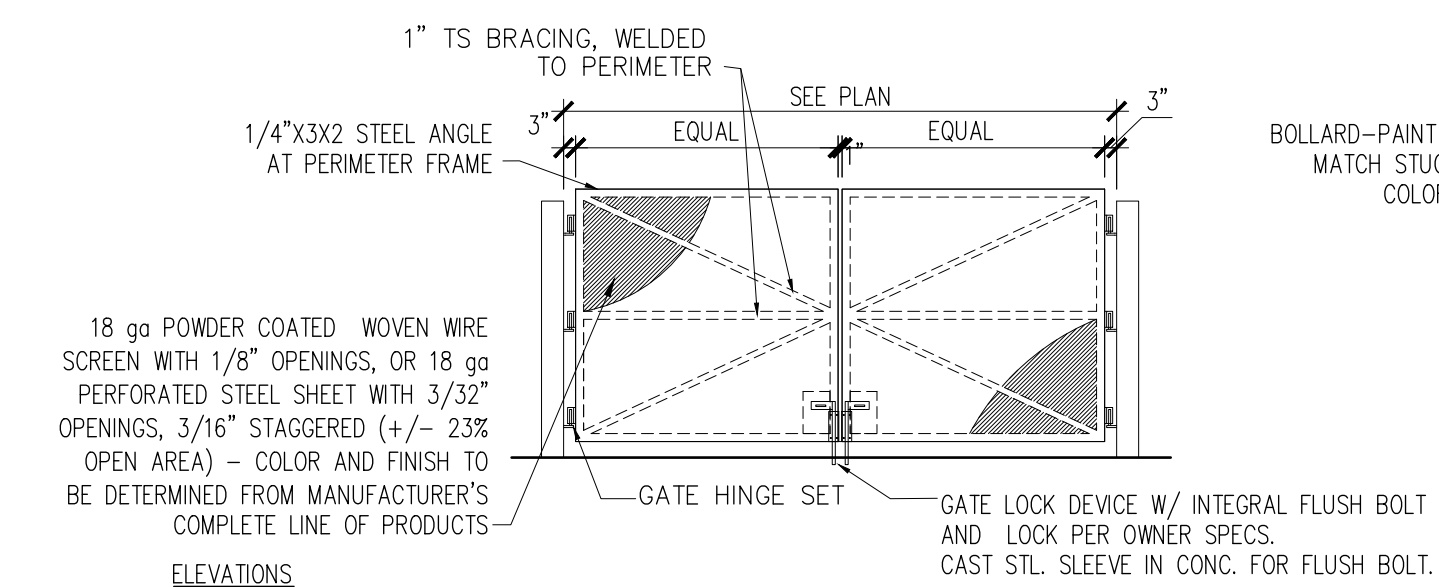
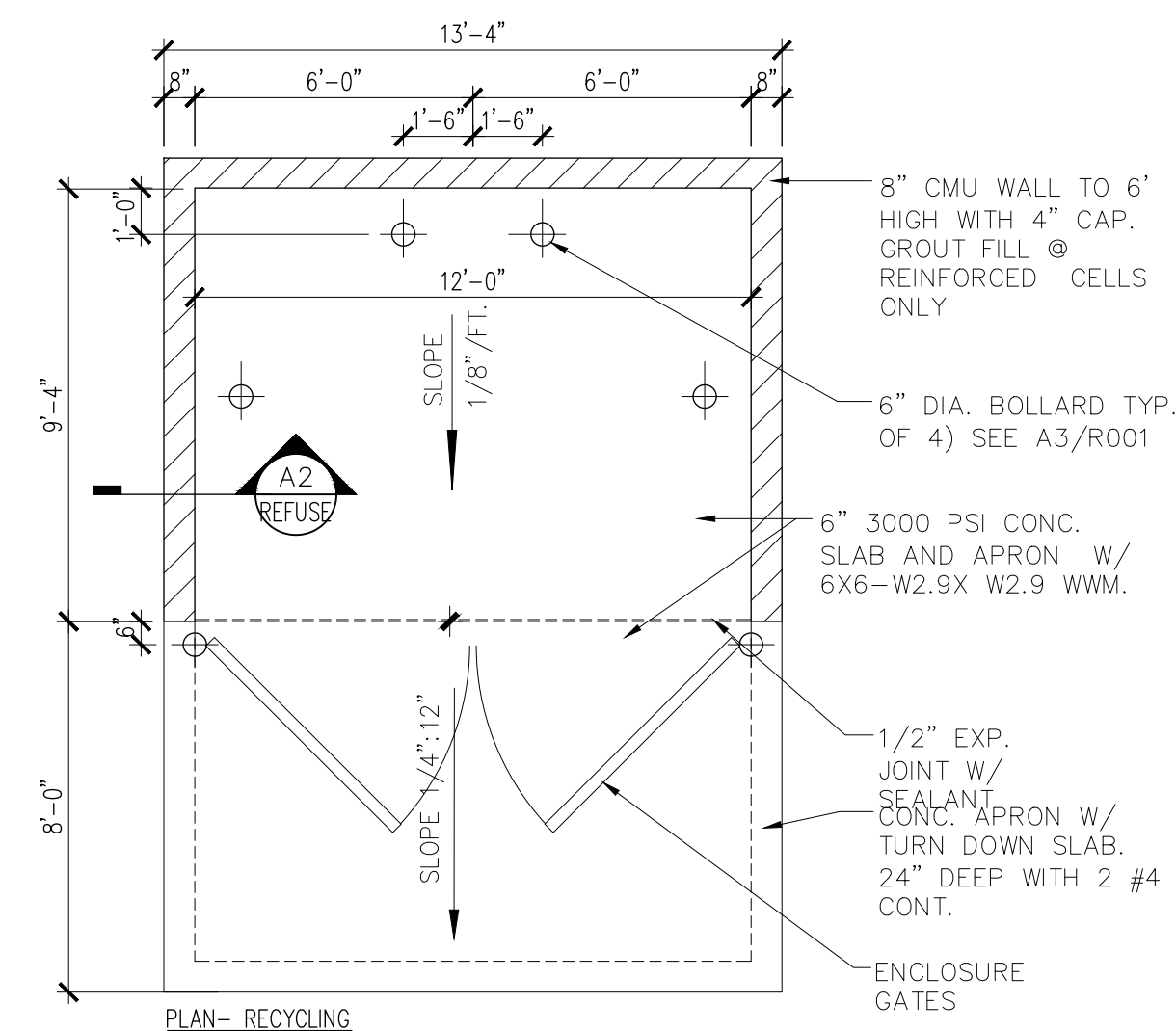
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**TCL03**

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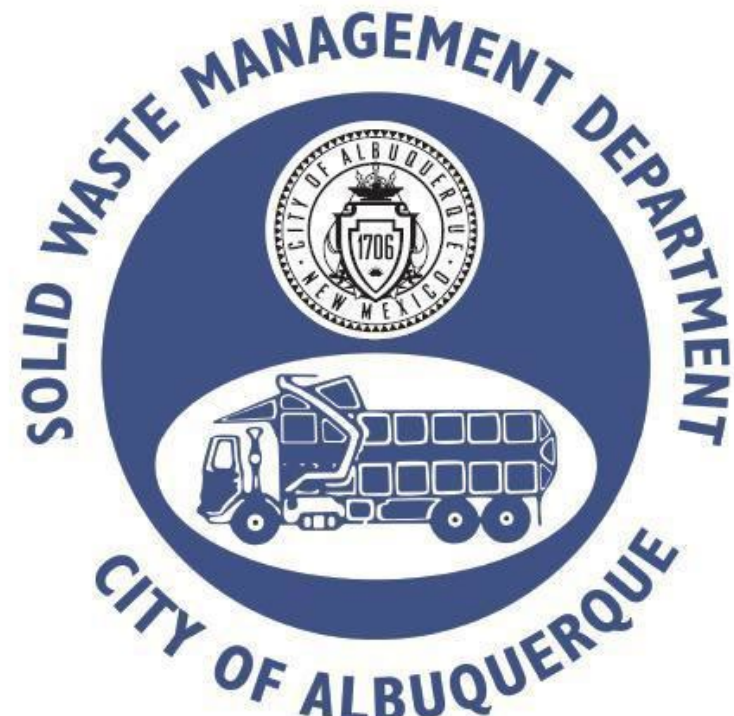




**B1** ENLARGED PLAN  
1/16"=1'-0"



**A1** TYPICAL REFUSE ENCLOSURE DETAILS  
1'-0"=50'-0"

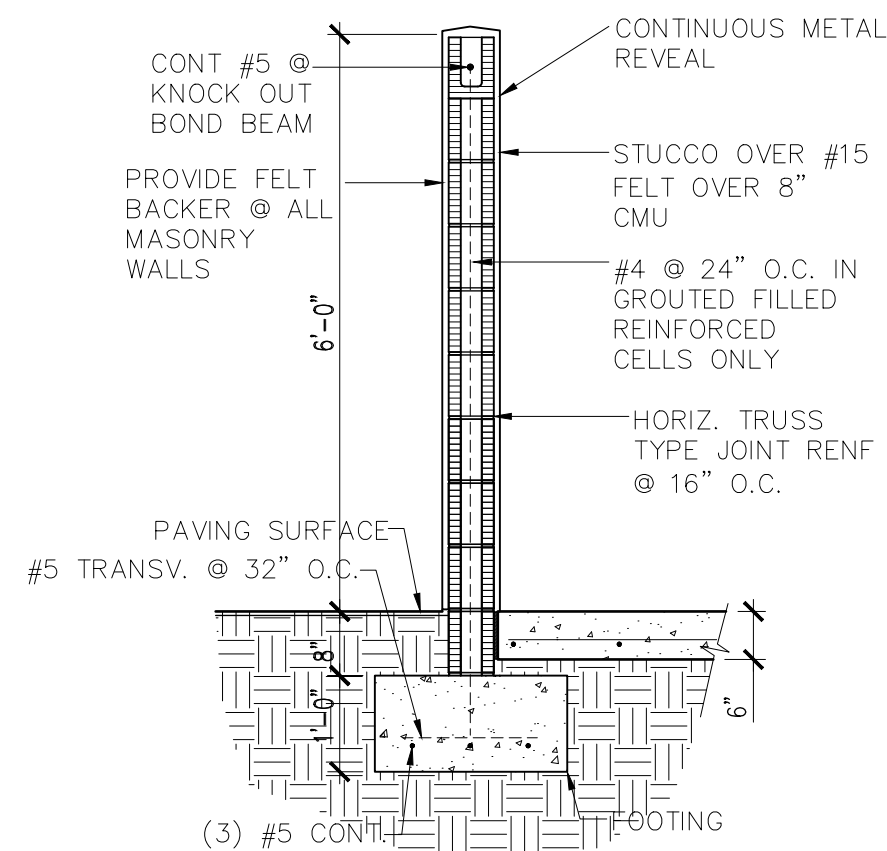


Approved for access by the Solid Waste Department.

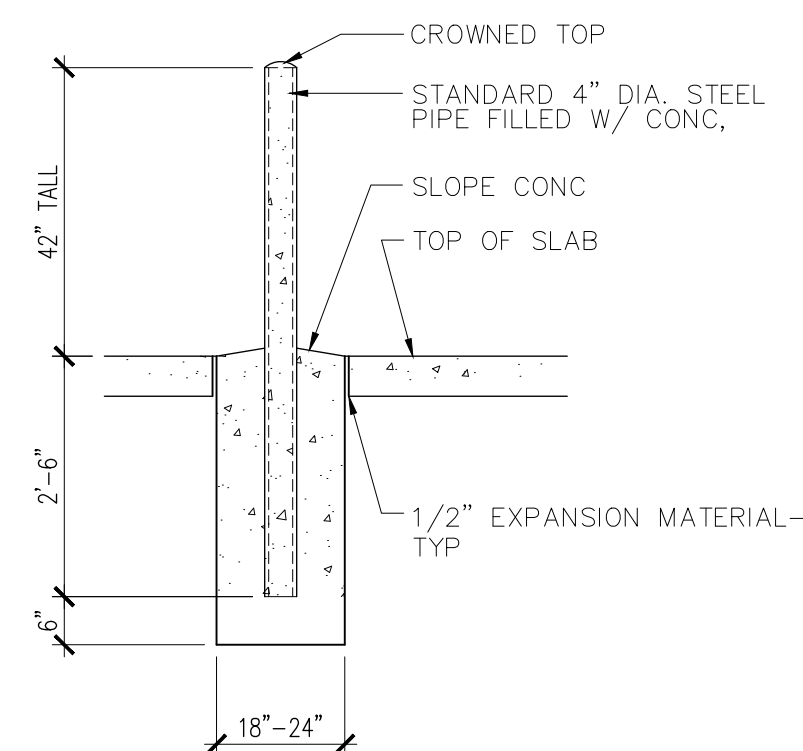
All containers must be made accessible for pick up  
between the hours of 5AM and 8PM.

Reviewer: ADRIAN MAREZ

Date: 8-8-25



**A2** TYPICAL TRASH  
ENCLOSURE WALL DETAIL  
1'-0"=50'-0"



**A3** BOLLARD DETAIL  
1'-0"=50'-0"

## SITE INFORMATION

ADDRESS: PROPERTY NORTH AND WEST OF 1860 GRIEGOS,  
ALBUQUERQUE, NM 87107  
LEGAL DESCRIPTION: TR A-1-A-1 PLAT OF TRS A-1-A-1,  
B-1-A-1 & B-1-A-2 BLACKARROYO DAM CONT 8.0350 AC  
UP2: 101206643246110507  
ZONE ATLAS MAP: A-12-Z-1  
ZONING: MX-M; ID02-4(C)  
DEVELOPMENT TYPE: LOW DENSITY; TOWNHOMES ID0 4-3(B)(6)  
PROJECT SIZE: 8.03 ACRE +/- PARCEL  
SETBACKS:  
FRONT: 5'-0"  
REAR: 15'-0"  
SIDE: 0'-0"-INTERIOR; 5'-0" STREET

## REFUSE GENERAL NOTES

- ACCESS IS PROVIDED FROM WEST SIDE BLVD. AND GOLF COURSE RD.
- PROJECT SITE TO BE OWNED AND OPERATED BY ONE OWNER.
- ROAD SIGNAGE WILL BE PROVIDED
- OPERATOR WILL PROVIDE TRASH SERVICE A PART OF RENTAL AGREEMENT-TRASH WILL BE MANAGED BY OPERATOR.
- COORDINATE DATE FOR TRASH PICK UP WITH COA SOLID WASTE
- TRIM LANDSCAPING TO MAINTAIN 14'-0" CLEARANCE OR GRATER ABOVE CURB AREA WHERE BINS WILL BE LOCATED FOR PICK UP

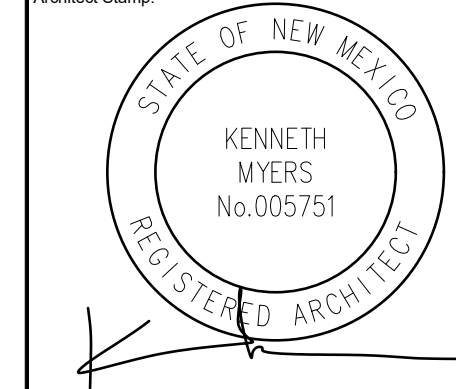
## UNIT COUNT

UNIT TYPE	UNIT SF.	BEDROOM	UNIT COUNT	TOTAL SF.
UNIT A	640 SF.	ONE BED	66	42,240 SF.
UNIT B	1,035 SF.	TWO BED	44	45,540 SF.
UNIT C	937 SF.	TWO BED	35	32,795 SF.
TOTAL			145	120,575 SF.

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Project: BTR-GOLF CRSE  
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Date: 08/08/2025

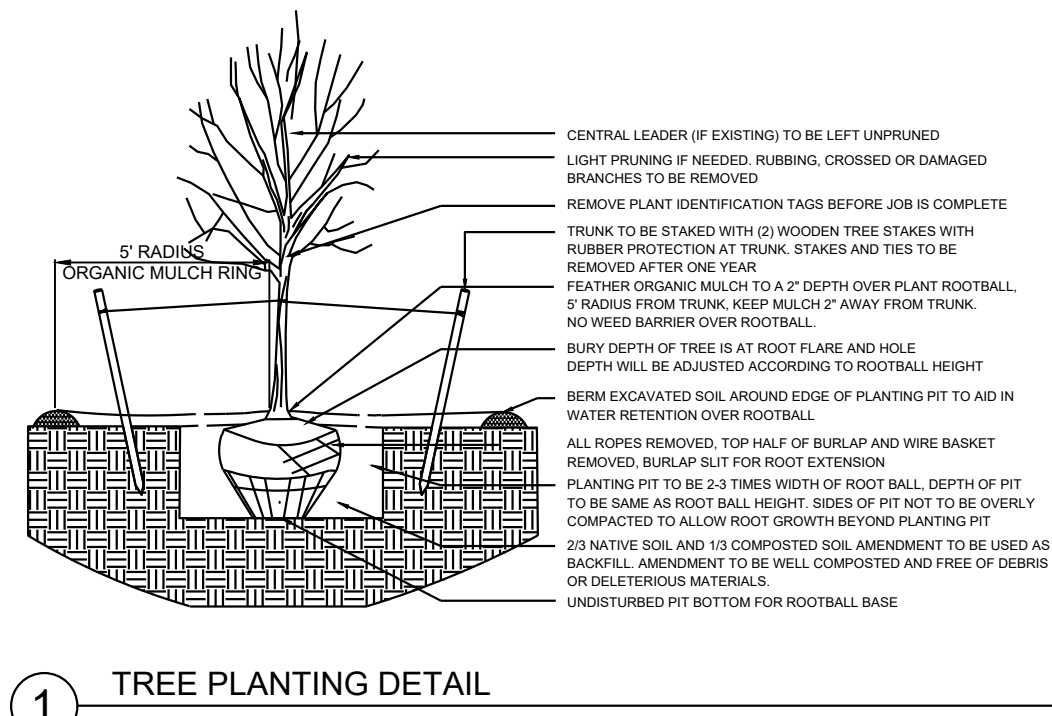
REFUSE PLAN

Sheet Number:

R001

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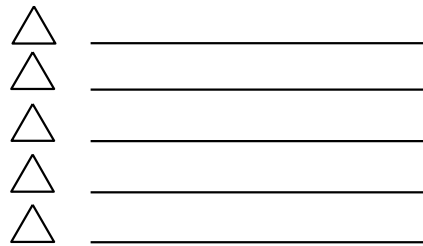
PRELIMINARY LANDSCAPE DATA		ZONING DESIGNATION		
IDO UPC#		350.457		
	GROSS LOT AREA (SF)	82,858		
	BUILDING AREA (SF)	267.599		
	NET LOT AREA (SF)			
MINIMUM LANDSCAPE		REQUIRED	PROVIDED	
	AREA (SF) - MINIMUM 15 % OF NET LOT AREA*	40,140	86,750	32%
	TOTAL VEGETATIVE COVERAGE (SF) @ PLANT MATURITY (75% OF LANDSCAPE AREA)	30,105	100,485	250%
	VEGETATIVE COVERAGE (SF) OF GROUND-LEVEL PLANTS (25% OF TOTAL, MINIMUM)	7,526	15,011	50%
PROVIDED LANDSCAPE AREA DOES NOT INCLUDE THE AREA IN THE BACK YARDS				
* PER DO 14-15-94(C)(2)(b), IN (D), UC-M5-PY AREAS, MINIMUM IS 10% OF NET LOT AREA				
* FOR MULTI-FAMILY DWELLING, MINIMUM IS 20% OF NET LOT AREA. SEE 14-15-4-3(b)(ii) FOR DETAILS				
STREET TREES - 1 PER 25 LF		REQUIRED	PROVIDED	
	STREET FRONTAGE (LF)	-	1584	
	STREET TREES	63.4	67	
* PER DO 14-15-4(d)(1)(a), TREES THAT ARE PLANTED WITHIN 20 FEET OF THE BACK OF CURB OF THE ADJUTING STREET MAY FULFIL THIS REQUIREMENT.				
COOL SEASON GRASS		MAXIMUM	PROVIDED	
	NO MORE THAN 10 % OF REQUIRED LANDSCAPE AREA	4014	3381	8%
ADDITIONAL REQUIREMENTS FOR MULTI-FAMILY DWELLING		REQUIRED	PROVIDED	
	1 TC PER SECOND FLOOR DWELLING UNIT	145	145	
* PER DO 14-16-4-3(b)(3), IN (D), UC-M5-PY AREAS, SECOND FLOOR DWELLING UNIT TREES ARE NOT REQUIRED.				
TOTALS		REQUIRED	PROVIDED	
TREES		208	276	

\*\* PER DO 14-16-4-3(c)(3)(x)(ii), IF AREAS REQUIRED TO BE LANDSCAPED BY 2 OR MORE PROVISIONS OF THIS SECTION 14-16-4-4 OVERLAP EACH OTHER, THE PROVISION REQUIRING THE GREATER AMOUNT OF LANDSCAPE SHALL BE THE CONTROLLING PROVISION.

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505.898.9615  
design@yellowstonelandscape.com



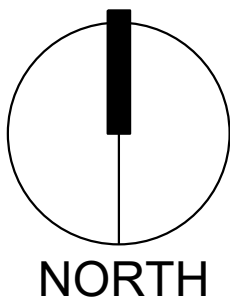
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Revisions:



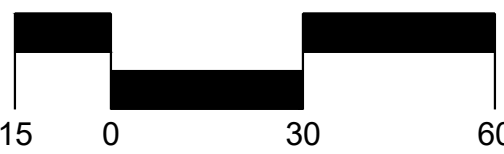
Drawn by: CC  
Reviewed by: CM

**BTR Rio Rancho  
Housing Development**

**Rio Rancho, New Mexico**



Scale: 1" = 30'



Sheet Title:

# Planting Plan

Sheet Number:

# LP-01

PROGRESS SET  
NOT FOR CONSTRUCTION

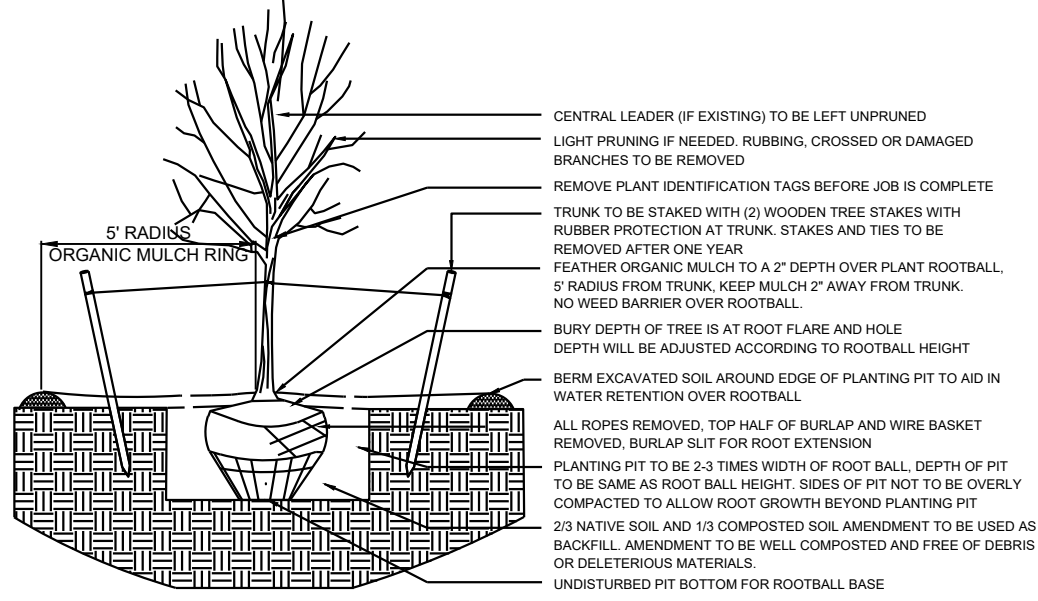


GENERAL NOTES

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR AND SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT.
- GRADING OF THE SITE PER THE GRADING PLAN IS NOT INCLUDED IN THE SCOPE OF WORK OF THE LANDSCAPE CONTRACTOR. GRADES PER THE GRADING PLAN SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR +/- 1/10TH OF A FOOT, BY OTHERS.
- ALL MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. NO CONTRACTUAL MAINTENANCE SHALL BE INCLUDED UNLESS OTHERWISE SPECIFIED IN THE BIDDING DOCUMENTS.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY RESTRICTIONS OF IRRIGATION WATER USE BY ANY GOVERNING BODY.
- PER 5-6(C)(4)(a) A MINIMUM OF 5 SPECIES MUST BE USED IN THE LANDSCAPED AREA.
- PER 5-6(C)(4)(b) ONLY TREES AND SHRUBS SELECTED FROM THE OFFICIAL ALBUQUERQUE PLANT PALETTE OF LOW WATER USE, DROUGHT TOLERANT, OR XERIC SPECIES AND SHOWN ON A LANDSCAPE PLAN CAN COUNT TOWARD THE REQUIREMENTS OF THIS SUBSECTION 14-16-5-6(C) (GENERAL LANDSCAPING STANDARDS), EXCEPT THAT, UPON PRESENTATION OF EVIDENCE, THE RELEVANT DECISION-MAKING BODY MAY AUTHORIZE ALTERNATIVE SPECIES OR CULTIVARS THAT MEET ALL OF THE FOLLOWING REQUIREMENTS:
  - MEET THE INTENDED PURPOSE OF THAT TYPE OF LANDSCAPING.
  - ARE NOT HAZARDOUS.
  - ARE NOT IDENTIFIED AS INVASIVE ON A CITY OR STATE PLANT LIST.
  - ARE NOT LISTED IN THE CITY'S WEED IDENTIFICATION HANDBOOK.
  - ARE EQUALLY HARDY TO THE NEW MEXICO CLIMATE.
- PER 5-3(D)(3)(a) 3. SHADE TREES ALONG REQUIRED PEDESTRIAN WALKWAYS ARE REQUIRED PURSUANT TO SUBSECTION 14-16-5-6(C)(4)(i) (REQUIRED PLANT MATERIALS AND SITE AMENITIES). 5-6(C)(4)(i) SHADE TREES PLANTED APPROXIMATELY 25 FEET ON-CENTER ARE REQUIRED ALONG ALL REQUIRED PEDESTRIAN WALKWAYS. IF THE WALKWAY IS LESS THAN FEET LONG, AT LEAST ONE TREE IS REQUIRED, OR, WHERE THERE IS INSUFFICIENT SPACE FOR A TREE, A TRELLIS OF AT LEAST 8 FEET HIGH FOR AT LEAST 5 FEET ALONG THE WALKWAY SHALL BE PROVIDED.
- PER 5-6(F)(1)(i) 1 OF THE IDO, ANY PARKING LOT LOCATED WITHIN 30 FEET OF THE FRONT LOT LINE SHALL BE SCREENED FROM THE STREET EITHER BY A MASONRY WALL CONSTRUCTED OF A MATERIAL SIMILAR IN TEXTURE, APPEARANCE, AND COLOR TO THE STREET-FACING FAÇADE OF THE PRIMARY BUILDING (BUT EXCLUDING EXPOSED CMU BLOCK) AT LEAST 3 BUT NOT MORE THAN 4 FEET IN HEIGHT, OR BY A LANDSCAPE BUFFER AT LEAST 10 FEET IN WIDTH WITH A CONTINUOUS LINE OF EVERGREEN SHRUBBERY 3 FEET IN HEIGHT, OR BY OTHER MEANS THAT THE PLANNING DIRECTOR DETERMINES PROVIDES EQUAL OR BETTER SCREENING OF THE HEADLIGHTS OF PARKED VEHICLES.
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- CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERIES BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

PLANT SCHEDULE

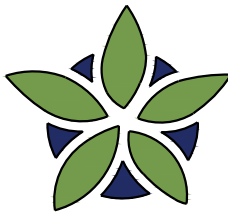
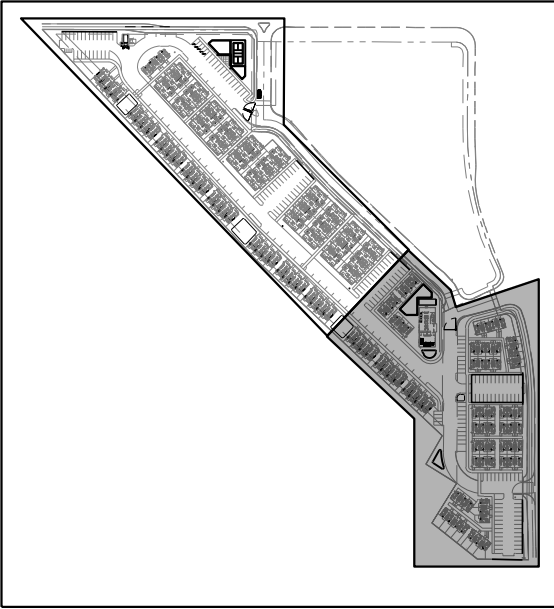
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE
DECIDUOUS TREE			
	18	ACER NEGUNDO 'SENSATION' / SENSATION BOX ELDER MAPLE	2" B&B
	98	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE SERVICEBERRY	15 GAL
	36	CRATAEGUS AMBIGUA / RUSSIAN HAWTHORN	2" B&B
	62	LAGERSTROEMIA INDICA X FAURIEI 'ZUNI' / ZUNI CRAPE MYRTLE	15 GAL
	3	PISTACIA CHINENSIS / CHINESE PISTACHE	2" B&B
	3	PRUNUS VIRGINIANA 'CANADA RED' / CANADA RED CHOKECHERRY	2" B&B
	49	ULMUS PARVIFOLIA 'ALLEE' / ALLEE® LACEBARK ELM	2" B&B
EVERGREEN TREE			
	5	PINUS NIGRA / AUSTRIAN BLACK PINE	6"
	2	QUERCUS FUSIFORMIS 'JOAN LIONETTI' / JOAN LIONETTI TEXAS LIVE OAK	2" B&B
DESERT ACCENT			
	6	DASYLIRION TEXANUM / TEXAS SOTOL	5 GAL
	62	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL
	31	YUCCA BACCATA / BANANA YUCCA	5 GAL
PERENNIAL			
	16	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	1 GAL
ORNAMENTAL GRASS			
	82	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL
	18	HELICOTRICHON SEMPERVIRENS / BLUE OAT GRASS	1 GAL
GROUND COVER			
	25	EUVONYMUS FORTUNEI 'COLORATUS' / PURPLE-LEAF WINTERCREEPER	1 GAL
	12	VINCA MAJOR / LARGE PERIWINKLE	1 GAL
DECIDUOUS SHRUBS			
	17	AMORPHA CANESCENS / LEADPLANT	5 GAL
	24	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	5 GAL
	36	BUDDLEJIA DAVIDII / BUTTERFLY BUSH	5 GAL
	21	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	5 GAL
	4	CHAMAEBATIARIA MILLEFOLIUM / FERNBUSH / FERNBUSH	5 GAL
	26	HIBISCUS SYRIACUS / ROSE OF SHARON	5 GAL
	18	LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER	5 GAL
	42	PRUNUS BESSEYI / SAND CHERRY	5 GAL
	31	PRUNUS BESSEYI 'PAWNEE BUTTES' / PROSTRATE SAND CHERRY	5 GAL
	19	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL
	22	RHUS TRILOBATA 'AUTUMN AMBER' / AUTUMN AMBER SUMAC	5 GAL
	5	RIBES AUREUM / GOLDEN CURRANT	5 GAL
	10	SALVIA GREGGII / AUTUMN SAGE CHERRY	5 GAL
EVERGREEN SHRUBS			
	28	BACCHARIS X 'STARN' / STARN COYOTE BRUSH	5 GAL
	138	BUXUS MICROPHYLLA / LITTLELEAF BOXWOOD	5 GAL
	4	CYTUS SCOPARIUS 'ALL GOLD' / SCOTCH BROOM	5 GAL
	30	ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	5 GAL
	37	JUNIPERUS SABINA 'BUFFALO' / BUFFALO JUNIPER	5 GAL
	6	MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE	5 GAL
	148	RHAMPHOLEPIS INDICA / INDIAN HAWTHORN	5 GAL
	21	SANTOLINA CHAMAECYPARISSUS / LAVENDER COTTON	1 GAL



1 TREE PLANTING DETAIL

PROGRESS SET  
NOT FOR CONSTRUCTION

PRELIMINARY LANDSCAPE DATA			ZONING DESIGNATION		
IDO UPC#					
	GROSS LOT AREA (SF)		360,457		
	BUILDING AREA (SF)		82,858		
	NET LOT AREA (SF)		267,599		
MINIMUM LANDSCAPE			REQUIRED	PROVIDED	
	AREA (SF) - MINIMUM 15 % OF NET LOT AREA*		40,140	86,750	32%
	TOTAL VEGETATIVE COVERAGE (SF) @ PLANT MATURITY (75% OF LANDSCAPE AREA)		30,105	100,485	250%
	VEGETATIVE COVERAGE (SF) OF GROUND-LEVEL PLANTS (25% OF TOTAL, MINIMUM)		7,526	15,011	50%
PROVIDED LANDSCAPE AREA DOES NOT INCLUDE THE AREA IN THE BACK YARDS					
*PER IDO 14-16-5-6(C)(3)(a), IN DT-UC-MS-PT AREAS, MINIMUM IS 10% OF NET LOT AREA					
*FOR MULTI-FAMILY DWELLING, MINIMUM IS 25% OF NET LOT AREA. SEE 14-16-4-3(B)(8) FOR DETAILS.					
STREET TREES - 1 PER 25 LF			REQUIRED	PROVIDED	
	STREET FRONTAGE (LF)		-	1584	
	STREET TREES		63.4	67	
*PER IDO 14-15-5-6(D)(1)(a) TREES THAT ARE PLANTED WITHIN 20 FEET OF THE BACK OF CURB OF THE ADJUTING STREET MAY FULFILL THIS REQUIREMENT.					
COOL SEASON GRASS			MAXIMUM	PROVIDED	
	NO MORE THAN 10 % OF REQUIRED LANDSCAPE AREA		4014	3381	8%
ADDITIONAL REQUIREMENTS FOR MULTI-FAMILY DWELLING			REQUIRED	PROVIDED	
	1 TREE PER GROUND FLOOR DWELLING UNIT		145	145	
*PER IDO 14-16-4-3(B)(8), IN DT-UC-MS-PT AREAS, SECOND FLOOR DWELLING UNIT TREES ARE NOT REQUIRED.					
TOTALS			REQUIRED	PROVIDED	
TREES			208	276	
**PER IDO 14-16-5-6(C)(3)(a), IF AREAS REQUIRED TO BE LANDSCAPED BY 2 OR MORE PROVISIONS OF THIS SECTION 14-16-5-6 OVERLAP EACH OTHER, THE PROVISION REQUIRING THE GREATER AMOUNT OF LANDSCAPING SHALL APPLY. *FOR MULTI-FAMILY DWELLING, MINIMUM IS 25% OF NET LOT AREA. SEE 14-16-4-3(B)(8) FOR DETAILS.					



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LANDSCAPE

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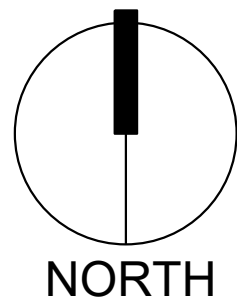
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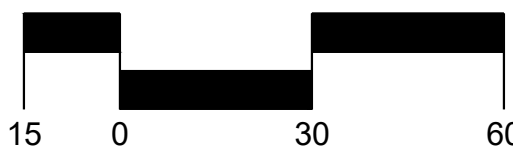
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BTR Rio Rancho  
Housing Development

Rio Rancho, New Mexico



Scale: 1" = 30'



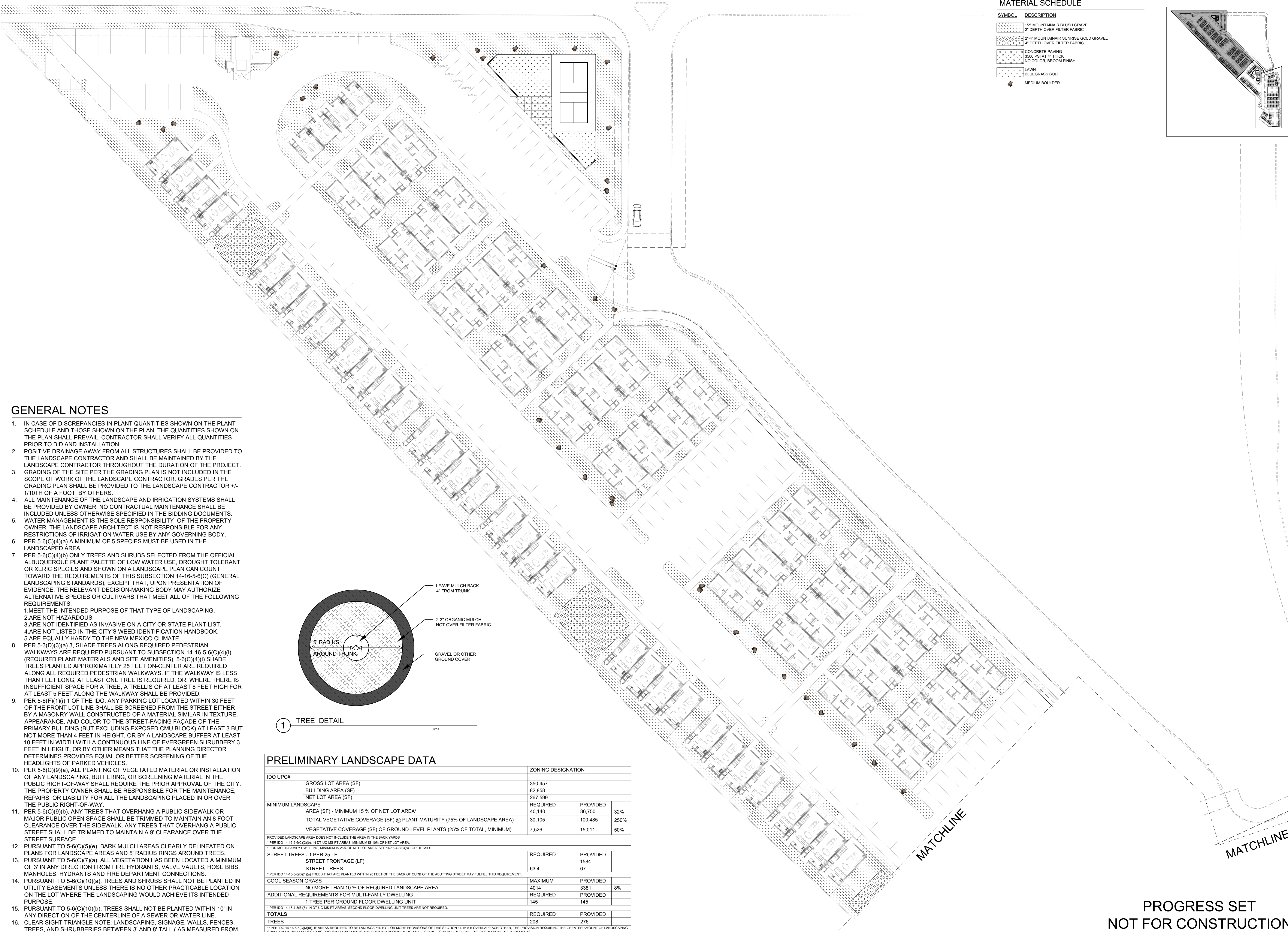
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Plan

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LP-02





GENERAL NOTES

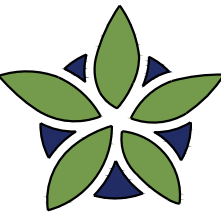
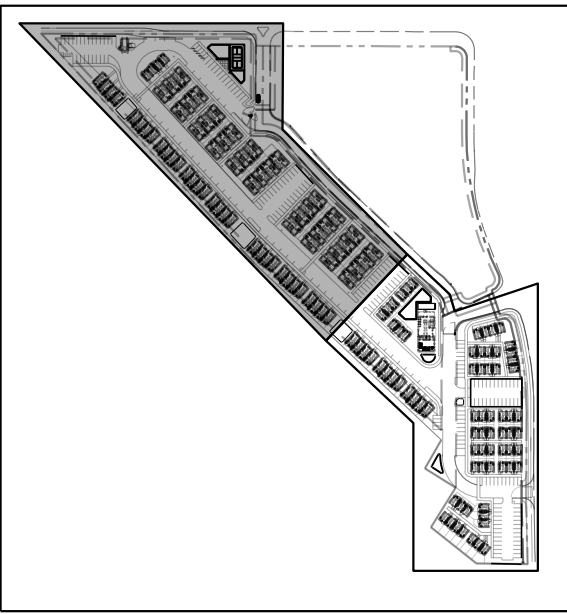
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1 TREE DETAIL

PRELIMINARY LANDSCAPE DATA		ZONING DESIGNATION		
IDO UPC#				
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	BUILDING AREA (SF)	82,858		
	NET LOT AREA (SF)	267,599		
MINIMUM LANDSCAPE		REQUIRED	PROVIDED	
	AREA (SF) - MINIMUM 15 % OF NET LOT AREA*	40,140	86,750	32%
	TOTAL VEGETATIVE COVERAGE (SF) @ PLANT MATURITY (75% OF LANDSCAPE AREA)	30,105	100,485	250%
	VEGETATIVE COVERAGE (SF) OF GROUND-LEVEL PLANTS (25% OF TOTAL, MINIMUM)	7,526	15,011	50%
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* PER IDO 14-16-5-6(C)(2)(b), IN DT-LC-MS-PT AREAS, MINIMUM IS 10% OF NET LOT AREA				
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STREET TREES - 1 PER 25 LF		REQUIRED	PROVIDED	
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MATERIAL SCHEDULE

SYMBOL	DESCRIPTION
	1/2" MOUNTAINAIR BLUSH GRAVEL 2' DEPTH OVER FILTER FABRIC
	2"-4" MOUNTAINAIR SUNRISE GOLD GRAVEL 4" DEPTH OVER FILTER FABRIC
	CONCRETE PAVING 3500 PSI AT 4" THICK NO COLOR, THICK FINISH
	LAWN BLUEGRASS SOD
	MEDIUM BOULDER



YELLOWSTONE  
LANDSCAPE

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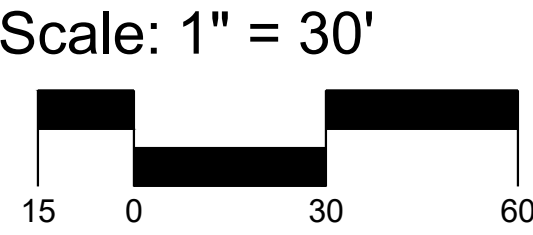
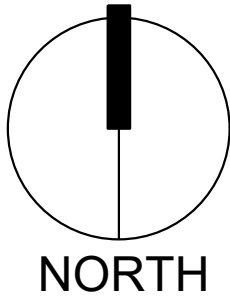


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Revisions:

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Drawn by: CC  
Reviewed by: CM

BTR Rio Rancho  
Housing Development  
Rio Rancho, New Mexico



Sheet Title:  
Landscape  
Plan

Sheet Number:

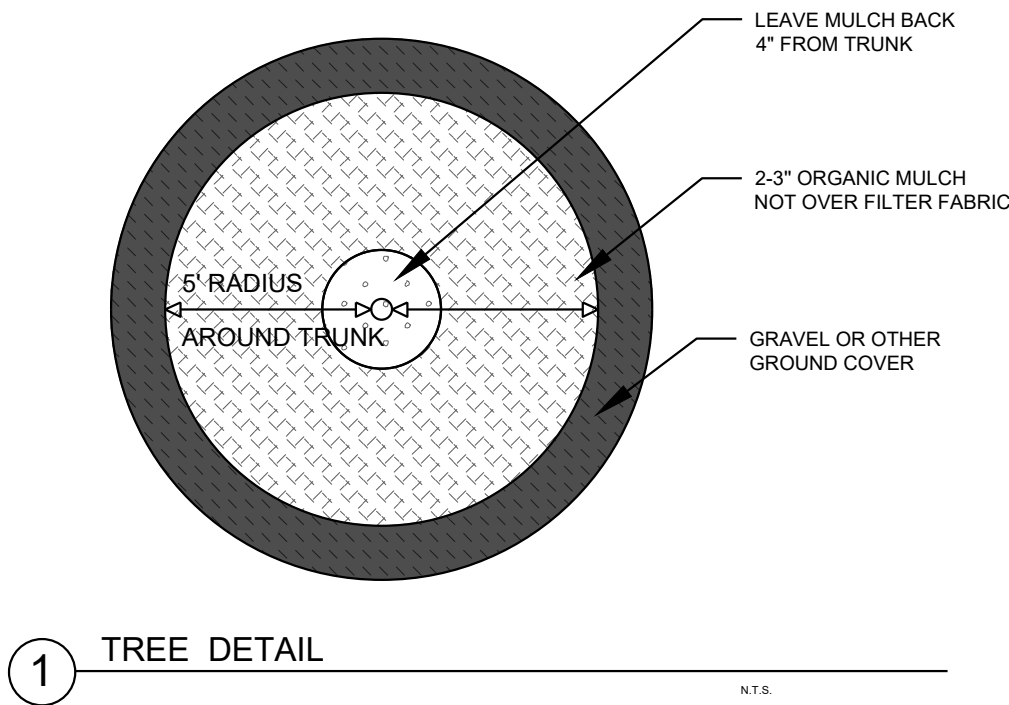
LS-01

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  - MEET THE INTENDED PURPOSE OF THAT TYPE OF LANDSCAPING.
  - ARE NOT HAZARDOUS.
  - ARE NOT IDENTIFIED AS INVASIVE ON A CITY OR STATE PLANT LIST.
  - ARE NOT LISTED IN THE CITY'S WEED IDENTIFICATION HANDBOOK.
  - ARE EQUALLY HARDY TO THE NEW MEXICO CLIMATE.
- PER 5-3(D)(3)(a) 3. SHADE TREES ALONG REQUIRED PEDESTRIAN WALKWAYS ARE REQUIRED PURSUANT TO SUBSECTION 14-16-5-6(C)(4)(ii) (REQUIRED PLANT MATERIALS AND SITE AMENITIES). 5-6(C)(4)(ii) SHADE TREES PLANTED APPROXIMATELY 25 FEET ON-CENTER ARE REQUIRED ALONG ALL REQUIRED PEDESTRIAN WALKWAYS. IF THE WALKWAY IS LESS THAN FEET LONG, AT LEAST ONE TREE IS REQUIRED, OR, WHERE THERE IS INSUFFICIENT SPACE FOR A TREE, A TRELLIS OF AT LEAST 8 FEET HIGH FOR AT LEAST 5 FEET ALONG THE WALKWAY SHALL BE PROVIDED.
- PER 5-6(F)(1)(i) 1 OF THE IDO, ANY PARKING LOT LOCATED WITHIN 30 FEET OF THE FRONT LOT LINE SHALL BE SCREENED FROM THE STREET EITHER BY A MASONRY WALL CONSTRUCTED OF A MATERIAL SIMILAR IN TEXTURE, APPEARANCE, AND COLOR TO THE STREET-FACING FAÇADE OF THE PRIMARY BUILDING (BUT EXCLUDING EXPOSED CMU BLOCK) AT LEAST 3 BUT NOT MORE THAN 4 FEET IN HEIGHT, OR BY A LANDSCAPE BUFFER AT LEAST 10 FEET IN WIDTH WITH A CONTINUOUS LINE OF EVERGREEN SHRUBBERY 3 FEET IN HEIGHT, OR BY OTHER MEANS THAT THE PLANNING DIRECTOR DETERMINES PROVIDES EQUAL OR BETTER SCREENING OF THE HEADLIGHTS OF PARKED VEHICLES.
- PER 5-6(C)(9)(a), ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
- PER 5-6(C)(9)(b), ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8 FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9' CLEARANCE OVER THE STREET SURFACE.
- PURSUANT TO 5-6(C)(5)(e), BARK MULCH AREAS CLEARLY DELINEATED ON PLANS FOR LANDSCAPE AREAS AND 5' RADIUS RINGS AROUND TREES.
- PURSUANT TO 5-6(C)(7)(a), ALL VEGETATION HAS BEEN LOCATED A MINIMUM OF 3' IN ANY DIRECTION FROM FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
- PURSUANT TO 5-6(C)(10)(a), TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS UNLESS THERE IS NO OTHER PRACTICABLE LOCATION ON THE LOT WHERE THE LANDSCAPING WOULD ACHIEVE ITS INTENDED PURPOSE.
- PURSUANT TO 5-6(C)(10)(b), TREES SHALL NOT BE PLANTED WITHIN 10' IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERIES BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.



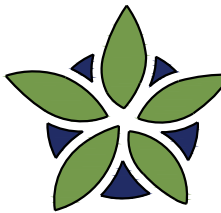
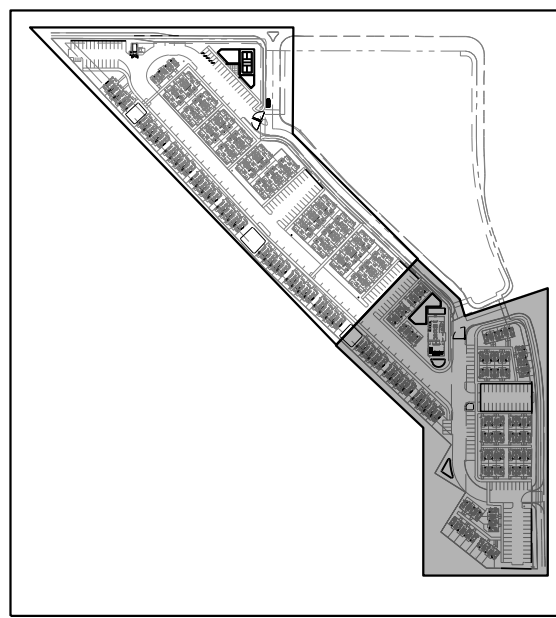
PRELIMINARY LANDSCAPE DATA			
IDO UPC#	ZONING DESIGNATION		
	GROSS LOT AREA (SF)	350,457	
	BUILDING AREA (SF)	82,858	
	NET LOT AREA (SF)	267,599	
MINIMUM LANDSCAPE	REQUIRED	PROVIDED	
	AREA (SF) - MINIMUM 15 % OF NET LOT AREA*	40,140	86,750 32%
	TOTAL VEGETATIVE COVERAGE (SF) @ PLANT MATURITY (75% OF LANDSCAPE AREA)	30,105	100,485 250%
	VEGETATIVE COVERAGE (SF) OF GROUND-LEVEL PLANTS (25% OF TOTAL, MINIMUM)	7,526	15,011 50%
*PROVIDED LANDSCAPE AREA DOES NOT INCLUDE THE AREA IN THE BACK YARDS			
**PER IDO 14-16-5-6(C)(2)(b), IN DT/LOCAL-PT AREAS, MINIMUM IS 15% OF NET LOT AREA.			
***FOR MULTI-FAMILY DWELLING, MINIMUM IS 25% OF NET LOT AREA. SEE 14-16-4-3(b)(8) FOR DETAILS.			
STREET TREES - 1 PER 25 LF	REQUIRED	PROVIDED	
	STREET FRONTAGE (LF)	-	1584
STREET TREES	REQUIRED	PROVIDED	
	63.4	67	
**PER IDO 14-15-5-4(D)(1)(a), TREES THAT ARE PLANTED WITHIN 20 FEET OF THE BACK OF CURB OF THE ABUTTING STREET MAY FULFILL THIS REQUIREMENT.			
COOL SEASON GRASS	MAXIMUM	PROVIDED	
	NO MORE THAN 10 % OF REQUIRED LANDSCAPE AREA	4014	3381 8%
ADDITIONAL REQUIREMENTS FOR MULTI-FAMILY DWELLING	REQUIRED	PROVIDED	
	145	145	
1 TREE PER GROUND FLOOR DWELLING UNIT			
*PER IDO 14-16-4-3(b)(8), IN DT/LOCAL-PT AREAS, SECOND FLOOR DWELLING UNIT TREES ARE NOT REQUIRED.			
TOTALS	REQUIRED	PROVIDED	
TREES	208	276	
**PER IDO 14-16-5-4(C)(3)(a), IF AREAS REQUIRED TO BE LANDSCAPED BY 2 OR MORE PROVISIONS OF THIS SECTION 14-16-5-4 OVERLAP EACH OTHER, THE PROVISION REQUIRING THE GREATER AMOUNT OF LANDSCAPING SHALL APPLY. ADDITIONAL AREAS REQUIRED TO BE LANDSCAPED SHALL BE ADDED TO THE TOTALS. **PER IDO 14-16-5-4(C)(3)(a), IF AREAS REQUIRED TO BE LANDSCAPED BY 2 OR MORE PROVISIONS OF THIS SECTION 14-16-5-4 OVERLAP EACH OTHER, THE PROVISION REQUIRING THE GREATER AMOUNT OF LANDSCAPING SHALL APPLY. ADDITIONAL AREAS REQUIRED TO BE LANDSCAPED SHALL BE ADDED TO THE TOTALS.			

PROGRESS SET  
NOT FOR CONSTRUCTION



MATERIAL SCHEDULE

SYMBOL	DESCRIPTION
	1/2" MOUNTAINAIR BLUSH GRAVEL 2" DEPTH OVER FILTER FABRIC
	2-4" MOUNTAINAIR SUNRISE GOLD GRAVEL 4" DEPTH OVER FILTER FABRIC
	CONCRETE PAVING 3500 PSI AT 4" THICK NO COLOR, BROOM FINISH
	LAWN BLUEGRASS SOD
	MEDIUM BOULDER



YELLOWSTONE  
LANDSCAPE

www.yellowstonelandscape.com  
P O Box 10597  
Albuquerque, NM 87184  
505.898.9615  
design@yellowstonelandscape.com

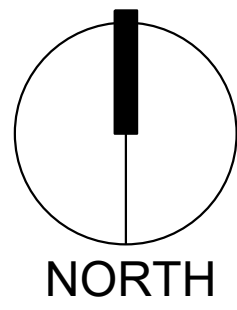


Date: 09/03/2025  
Revisions:

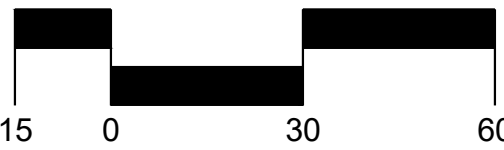
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Drawn by: CC  
Reviewed by: CM

BTR Rio Rancho  
Housing Development  
Rio Rancho, New Mexico



Scale: 1" = 30'

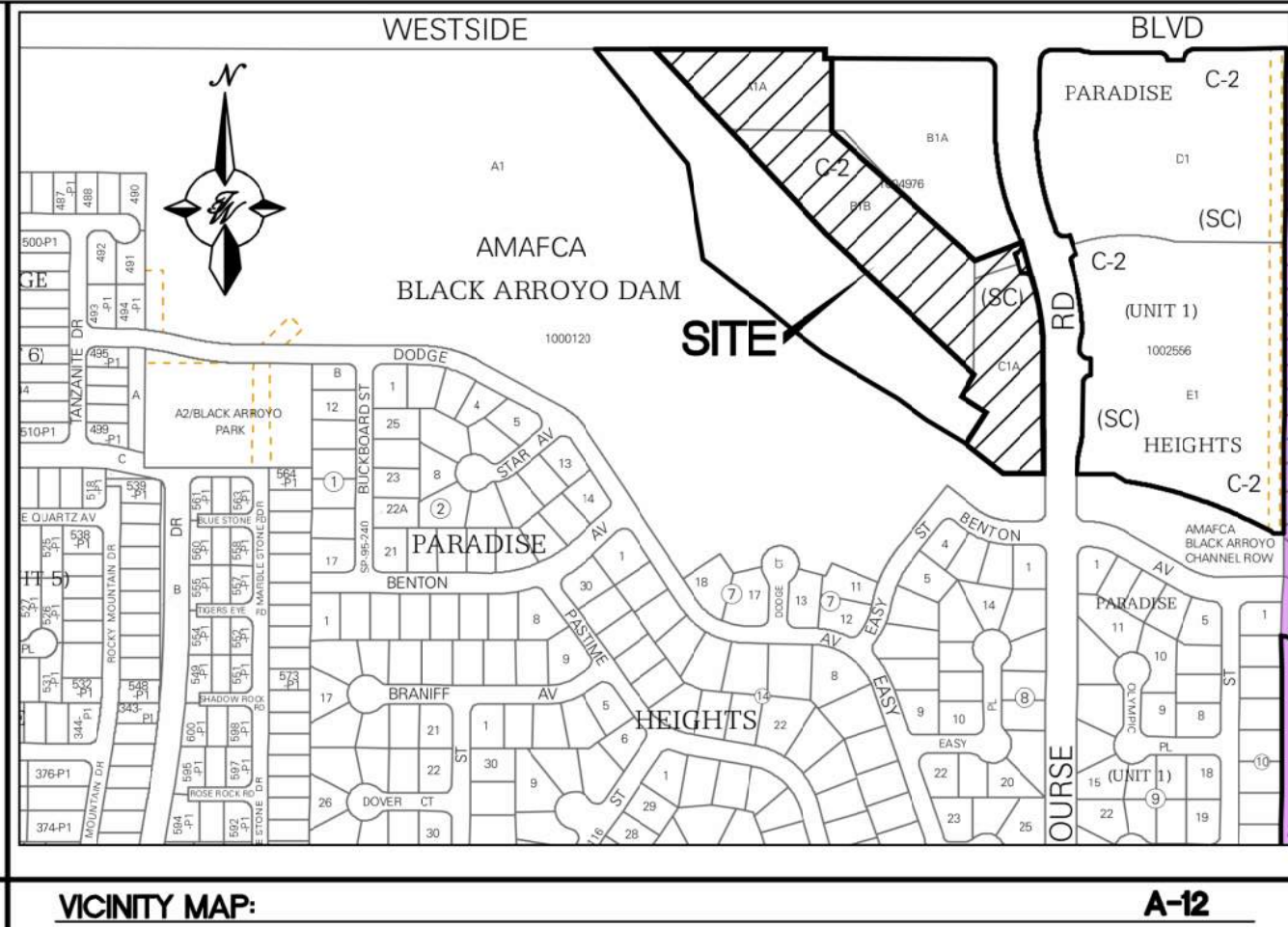
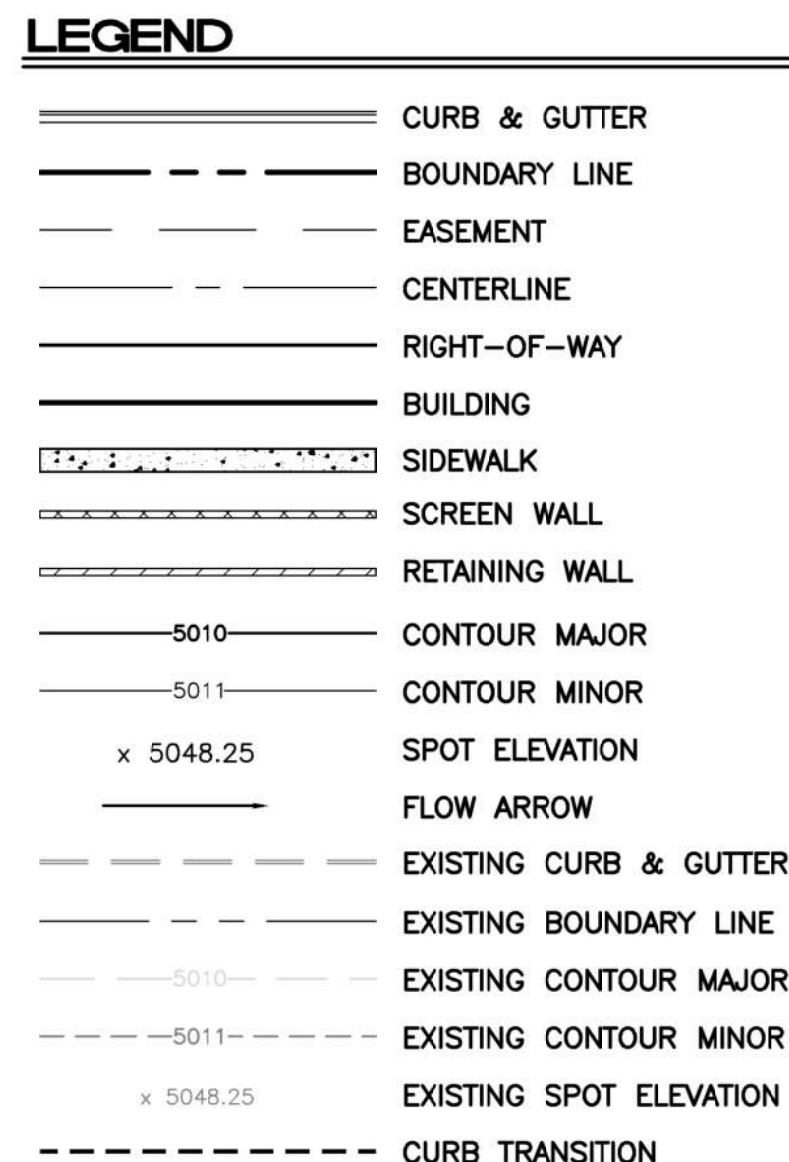


Sheet Title:  
Landscape  
Plan

Sheet Number:

LS-02

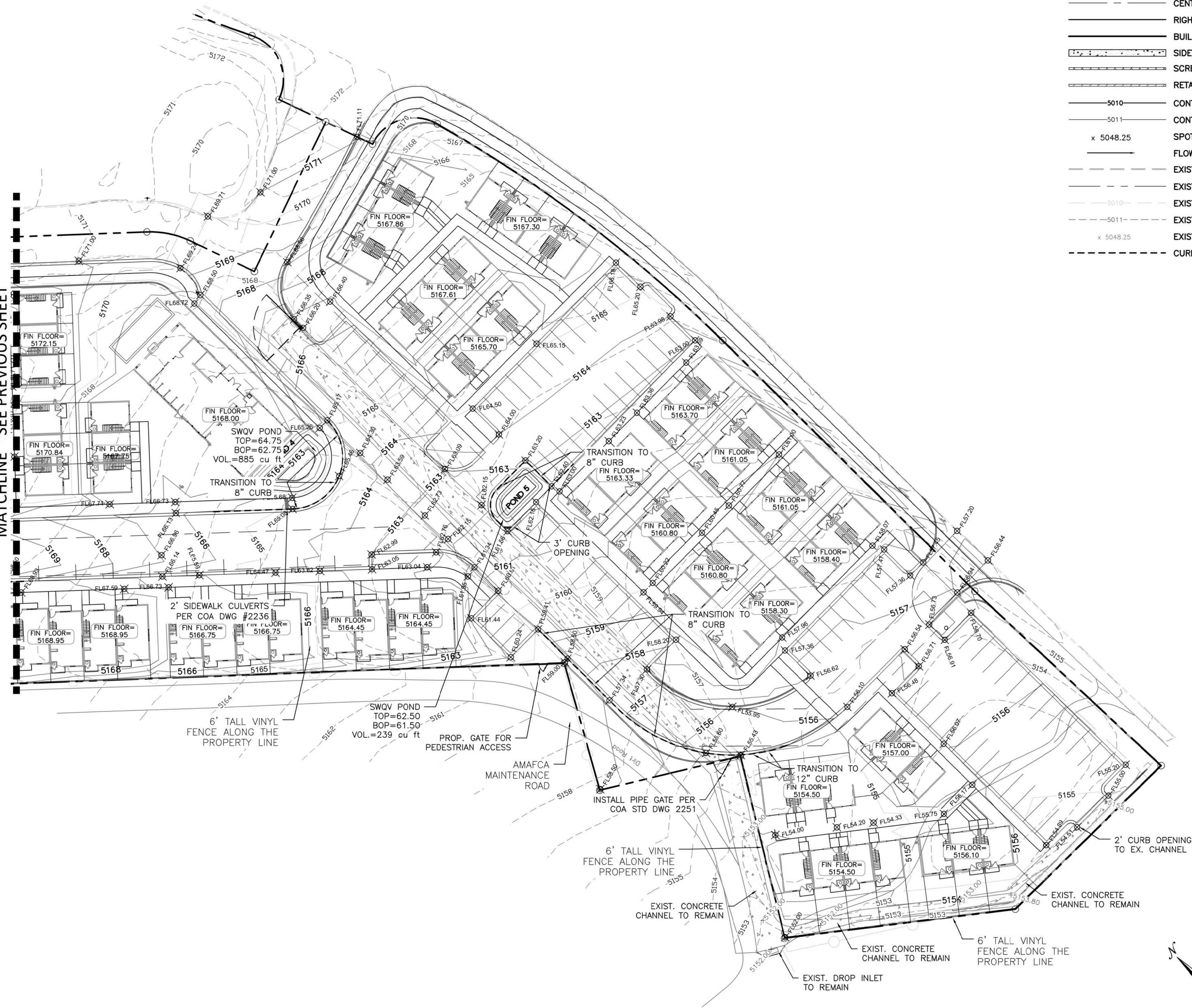






Z:\2024\2024054 Jay Rembe Subdivision on Golf Course\dwg\EPC\2024054\_GRE.dwg Jul 14, 2025 -- 4:50pm

MATCHLINE ~ SEE PREVIOUS SHEET



LEGEND

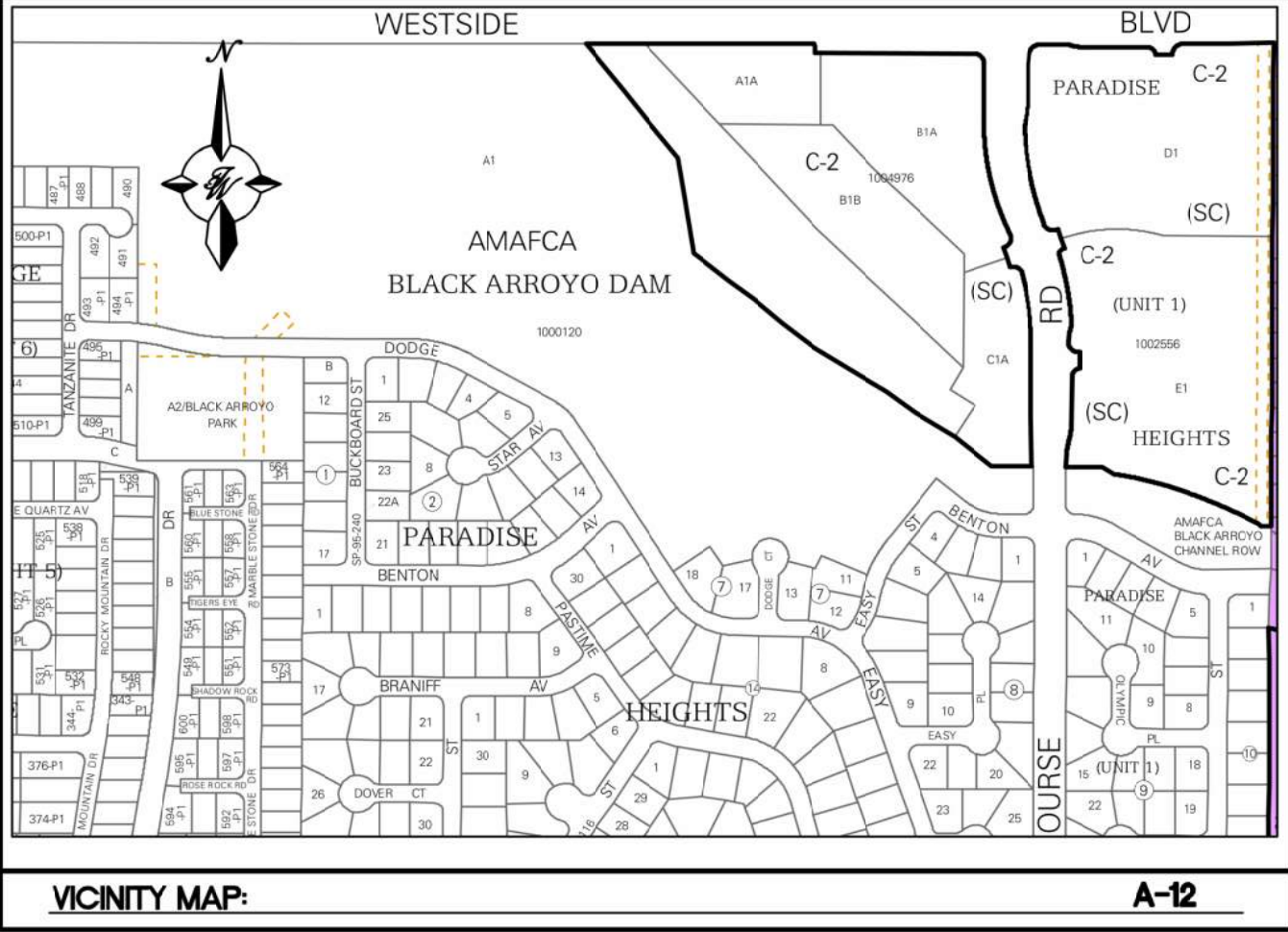
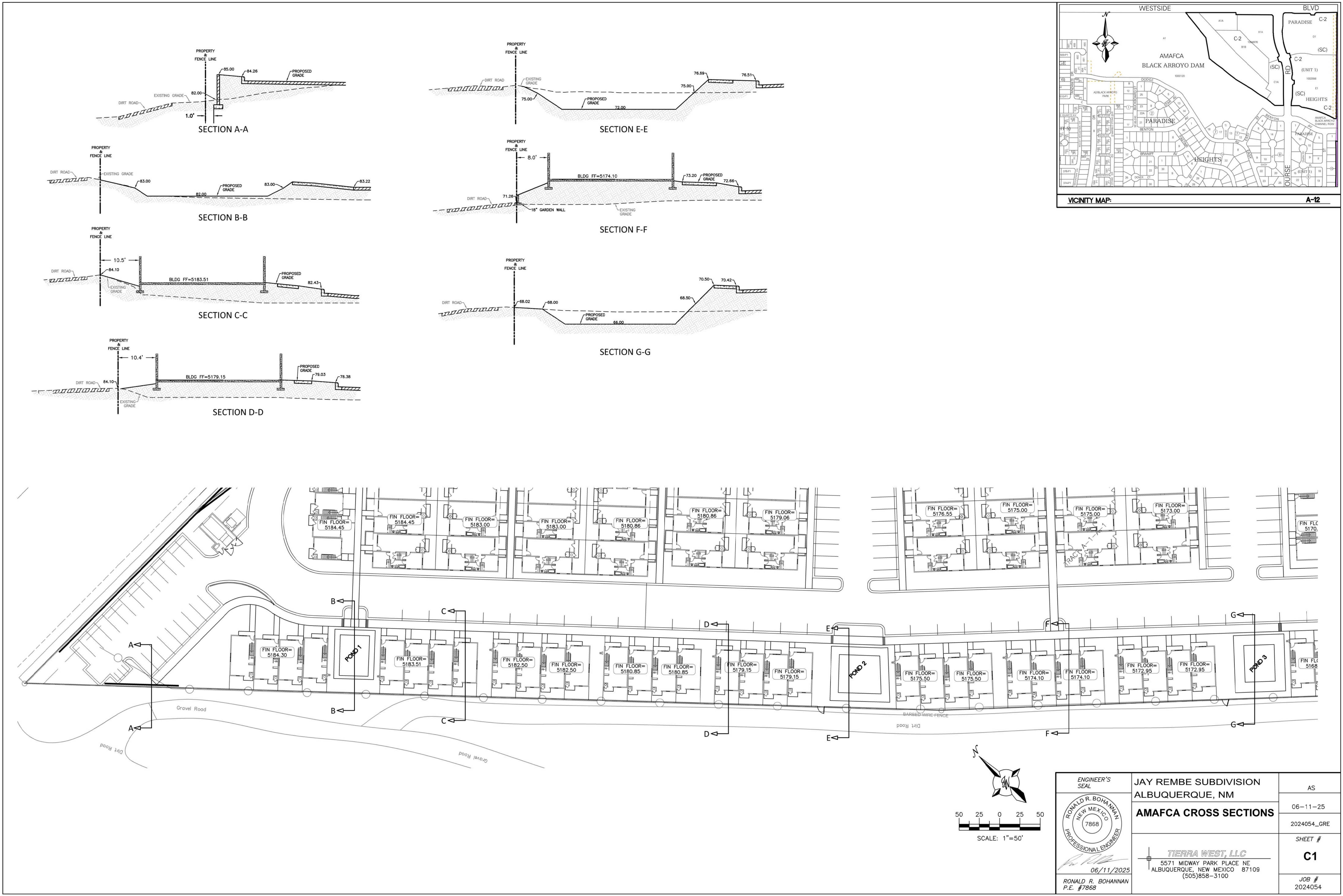
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION
- CURB TRANSITION

<div>ENGINEER'S SEAL</div> <div>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</div> <div>06/11/2025</div> <div>RONALD R. BOHANNAN P.E. #7868</div>	JAY REMBE SUBDIVISION ALBUQUERQUE, NM	AS
	CONCEPTUAL GRADING & DRAINAGE PLAN	06-11-25
	<div>TERRA WEST, LLC</div> <div>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100</div>	2024054_GRE
		SHEET # <b>G2</b> JOB # 2024054









<div>ENGINEER'S SEAL</div> <div><div>RONALD R. BOHANNAN</div><div>7868</div><div>PROFESSIONAL ENGINEER</div></div> <div><div>06/11/2025</div><div>RONALD R. BOHANNAN</div><div>P.E. #7868</div></div>	JAY REMBE SUBDIVISION ALBUQUERQUE, NM	AS
	AMAFCA CROSS SECTIONS	06-11-25
	<div><div>TERRA WEST, LLC</div><div>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100</div></div>	2024054_GRE
		SHEET #
		C1
		JOB # 2024054

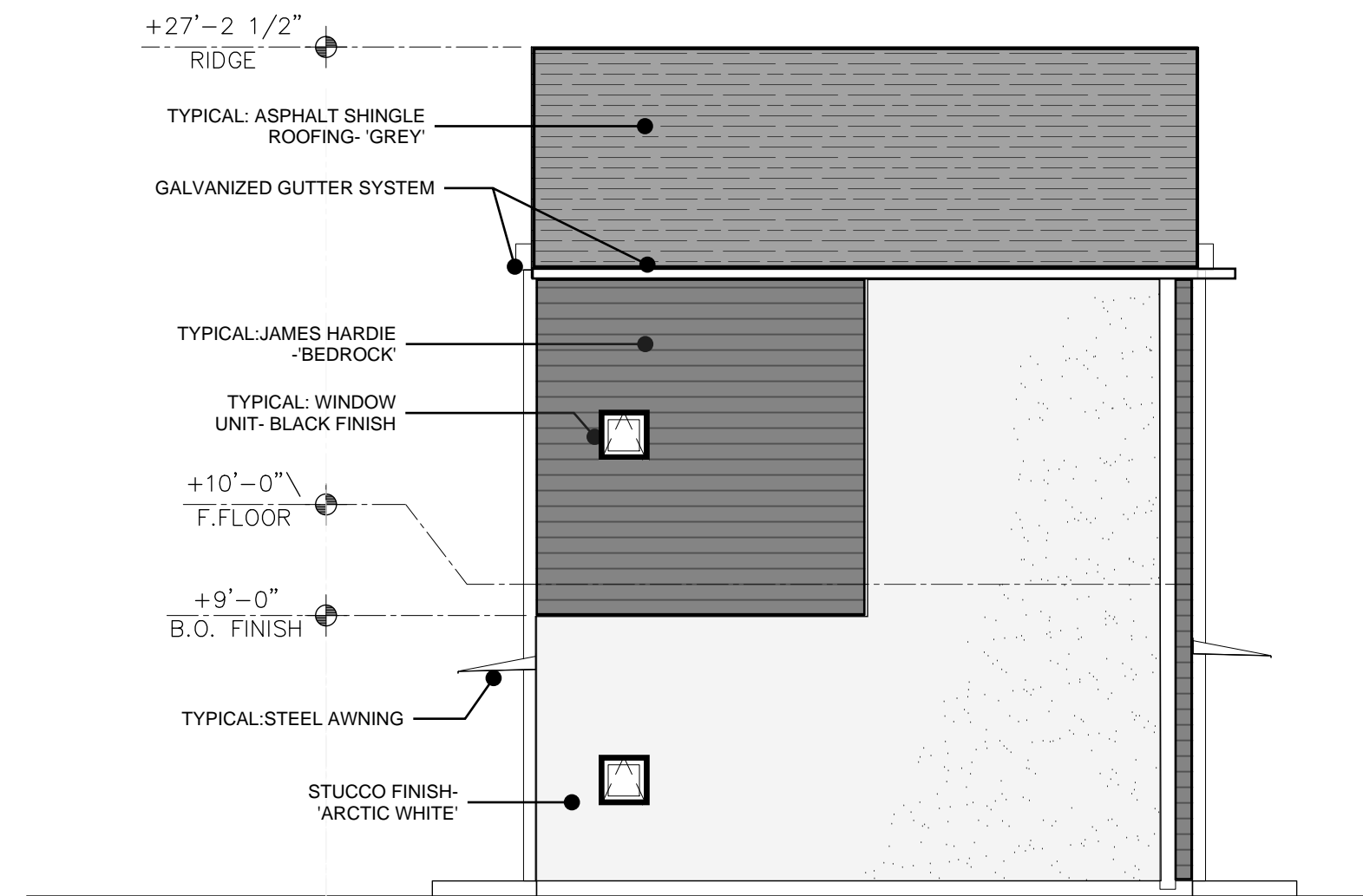








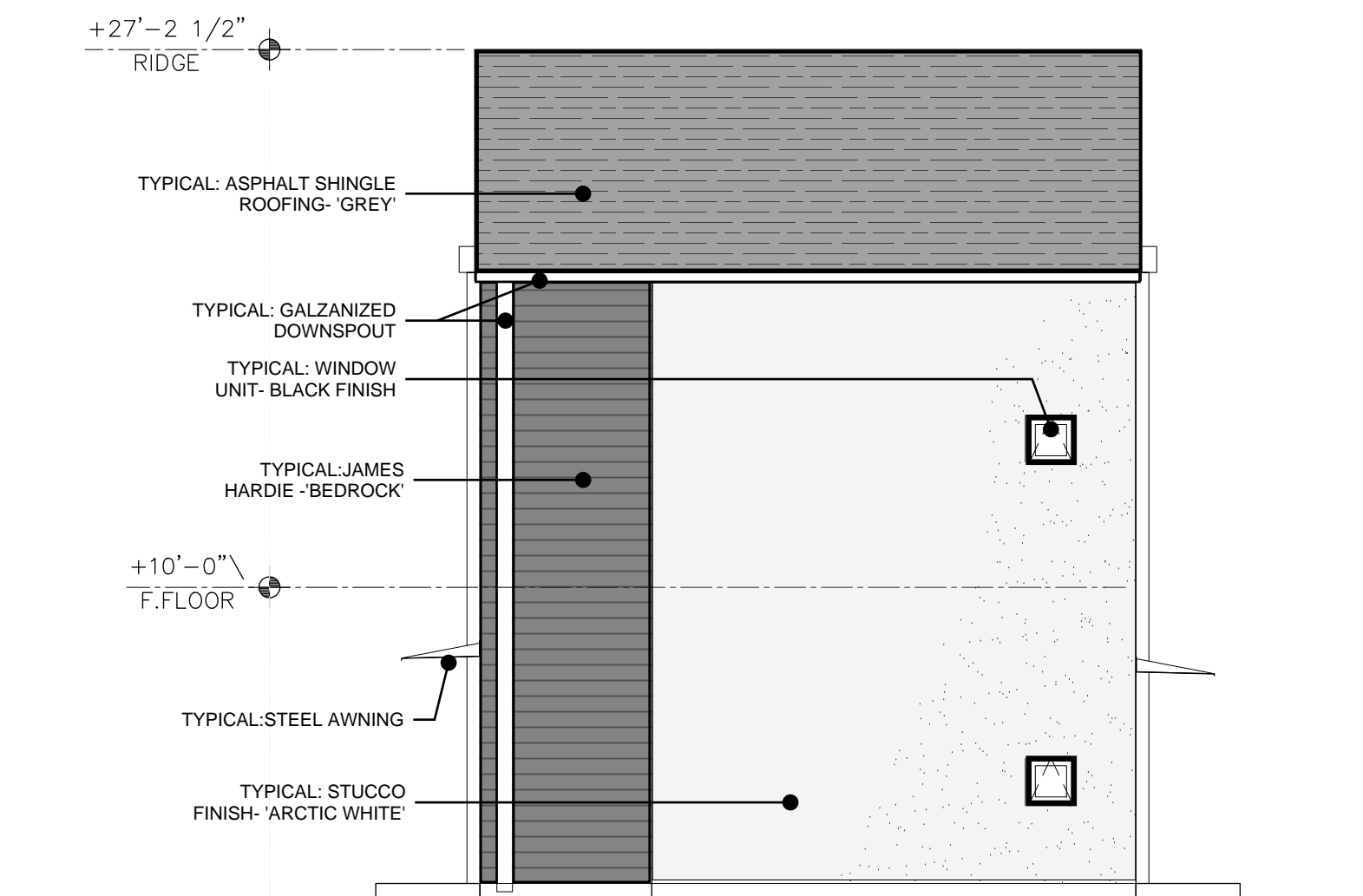
**C1** TYPICAL FRONT ELEVATION  
3/16"=1'-0"



**C2** TYPICAL SIDE ELEVATION  
3/16"=1'-0"



**B1** TYPICAL REAR ELEVATION  
3/16"=1'-0"

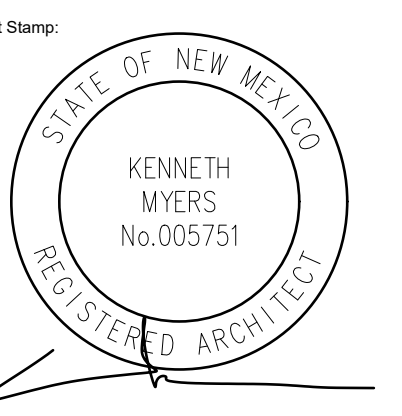


**B2** TYPICAL SIDE ELEVATION  
3/16"=1'-0"



**A1** TYPICAL ENTRY PATHWAY FACADE  
NTS

BTR | RIO RANCHO HOUSING DEVELOPMENT  
GOLF COURSE RD. NW  
ALBUQUERQUE, NM 87114



**REMBE**  
urban design + development  
1716 Central SW, Suite A  
Albuquerque, NM 87104  
t: 505-243-0188

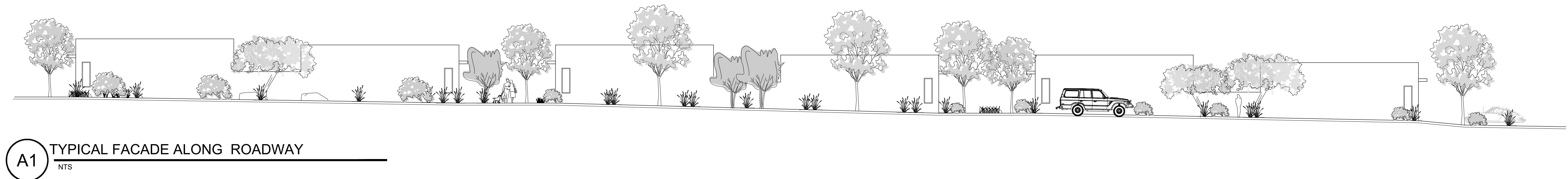
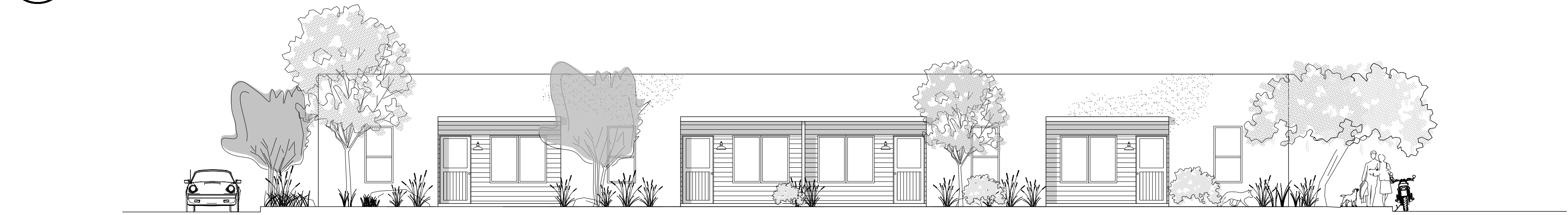
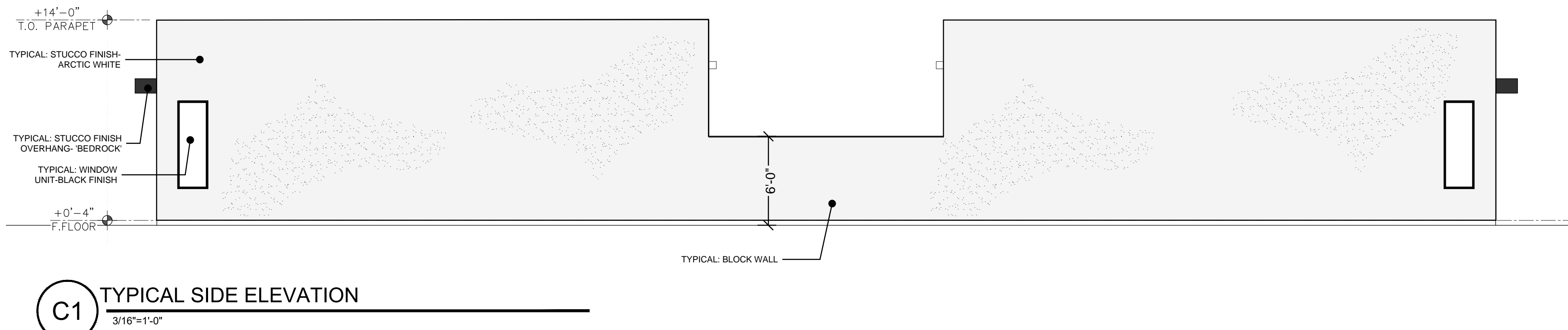
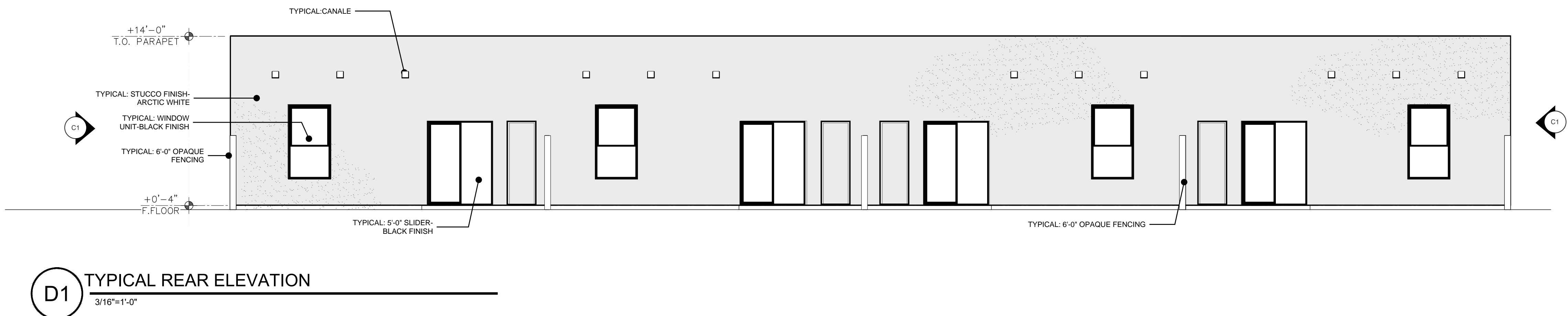
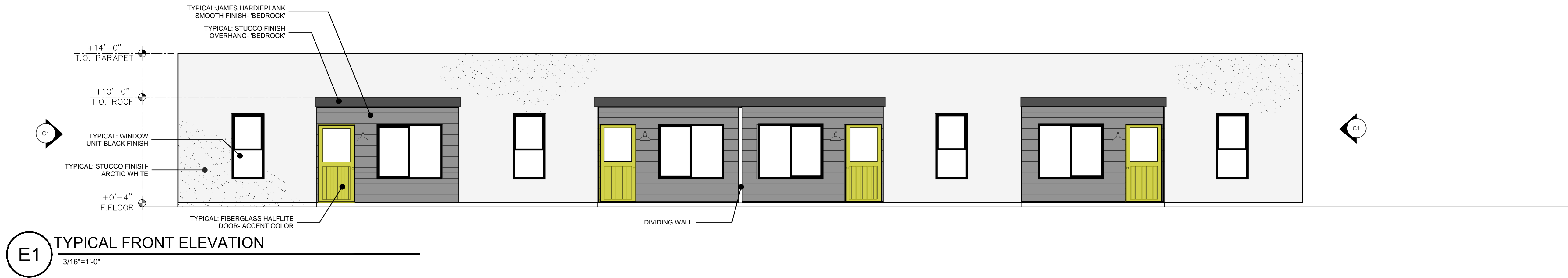
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Drawn By: **KMA** Checked By: **KMA**  
Phase: **DFT SUBMITTAL**  
Date: **09/22/2025**

ARCHITECTURAL  
ELEVATIONS  
BUILDING A

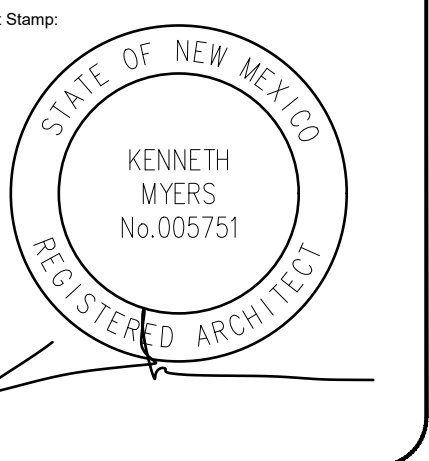
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DO NOT SCALE DRAWINGS





BTR | RIO RANCHO HOUSING DEVELOPMENT  
GOLF COURSE RD. NW  
ALBUQUERQUE, NM 87114



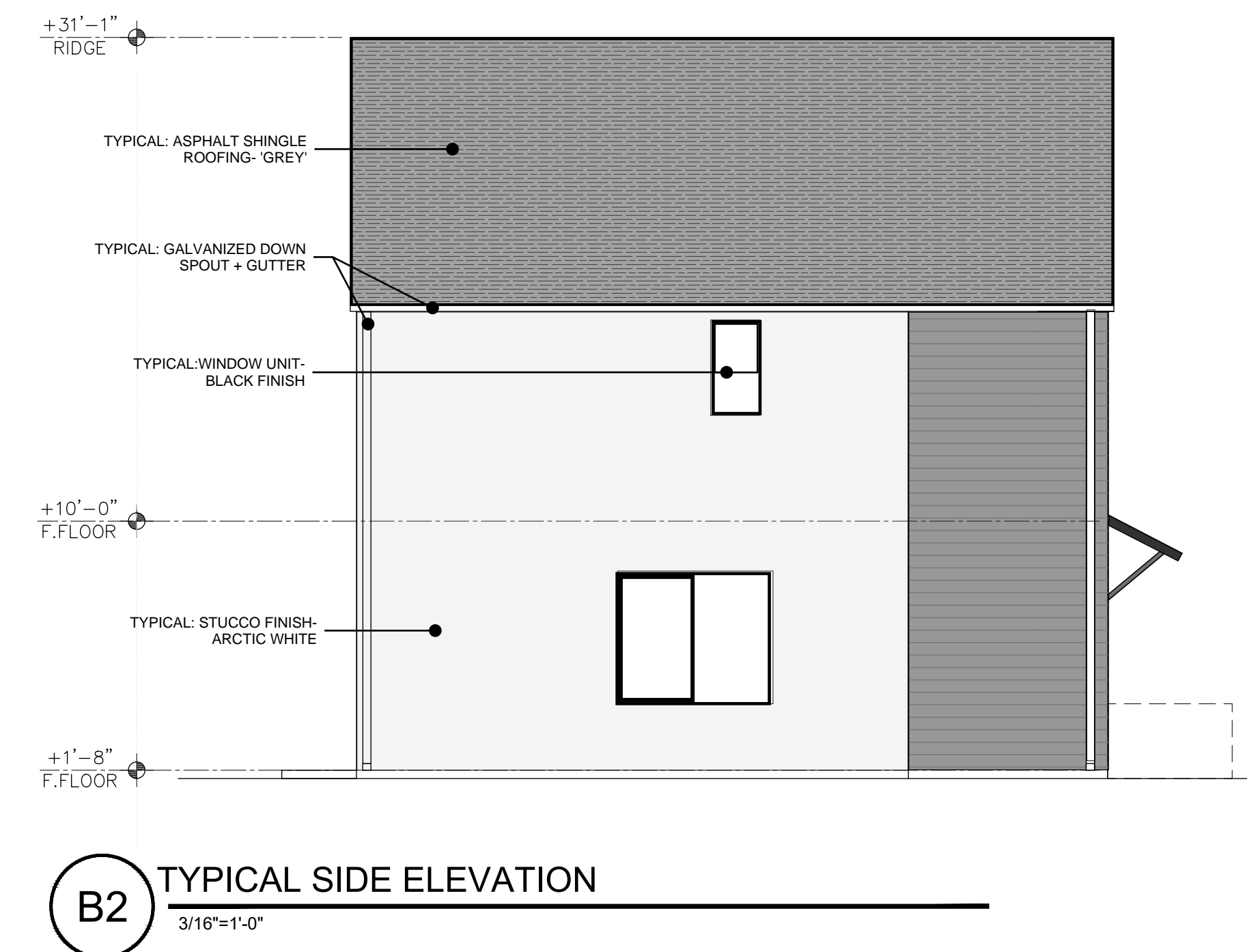
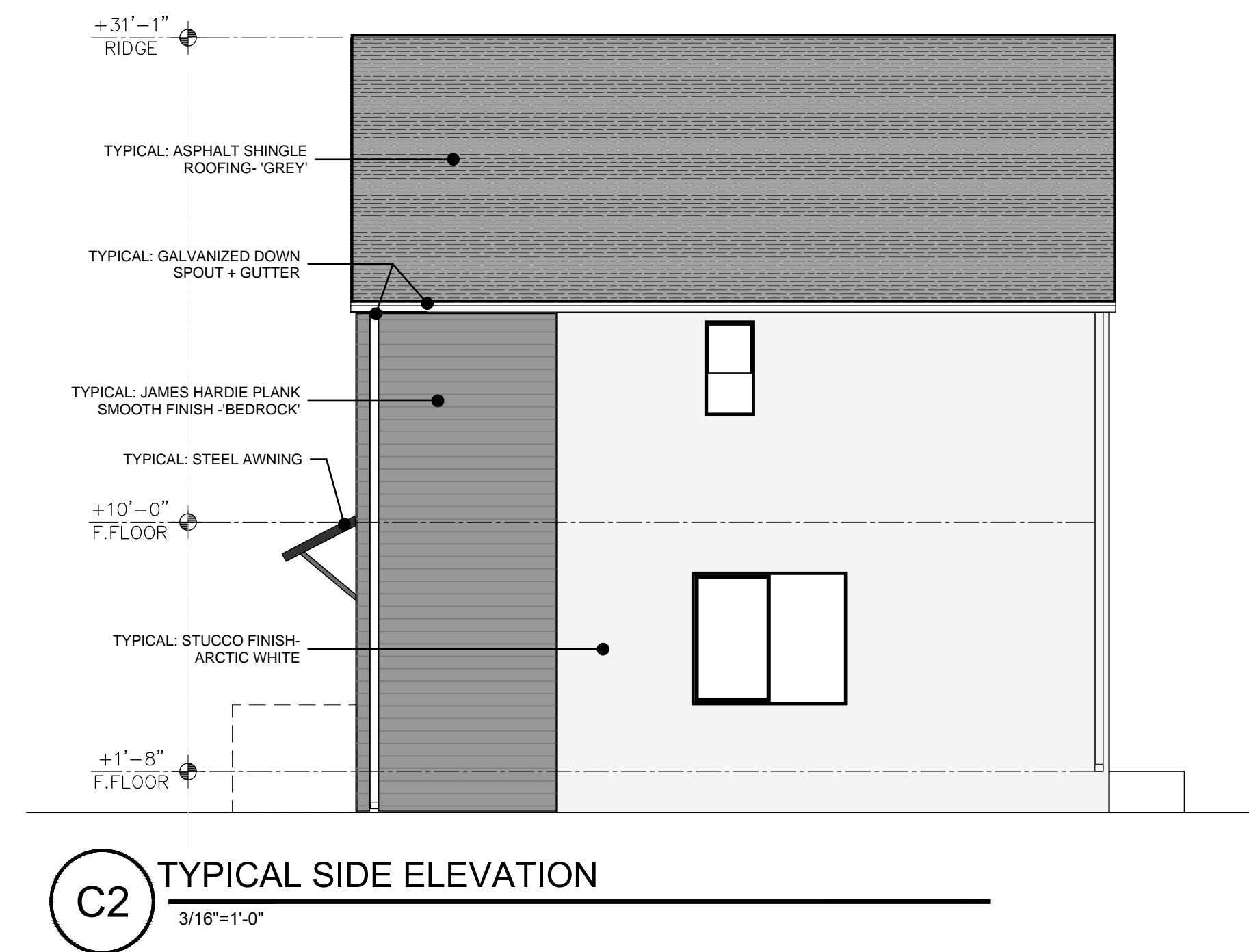
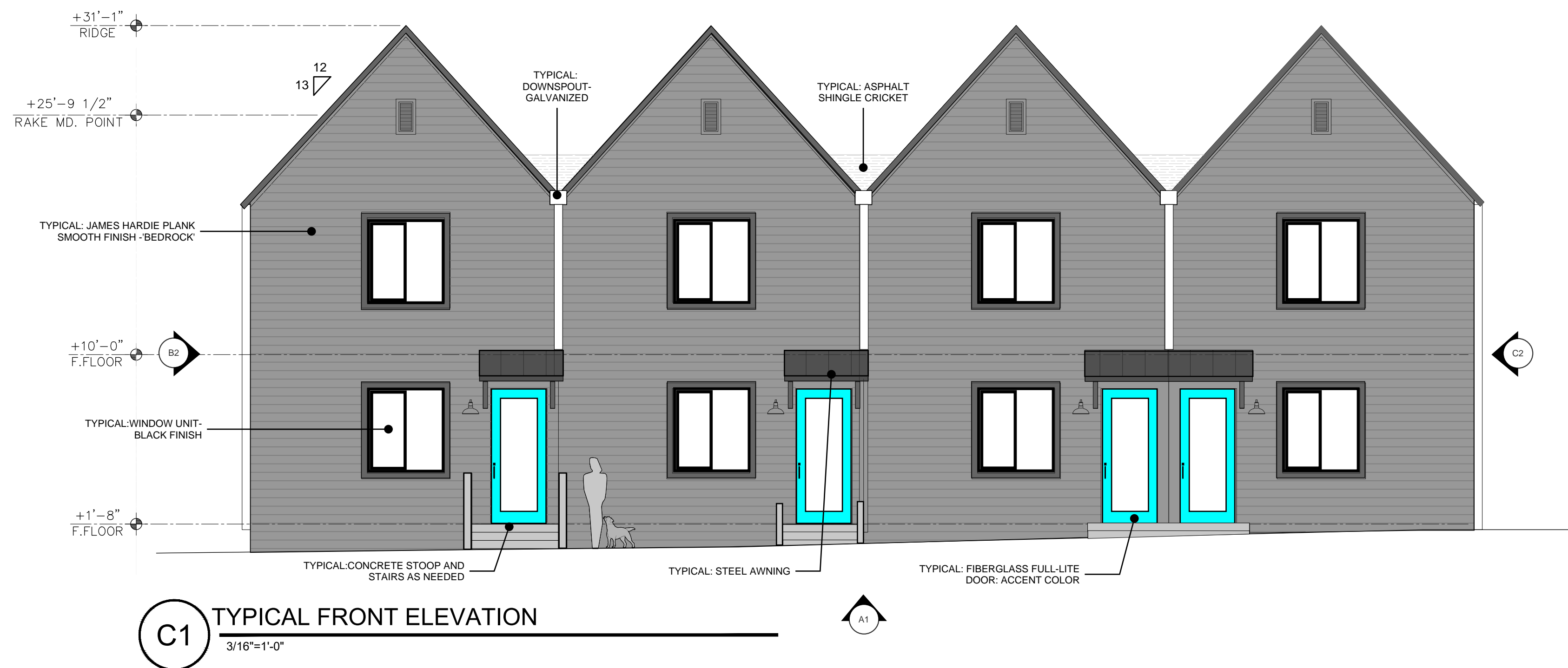
**REMBE**  
urban design + development  
1716 Central SW, Suite A  
Albuquerque, NM 87104  
t: 505-243-0188

By: <b>KMA</b>	Checked By: <b>KMA</b>
<b>DFT SUBMITTAL</b>	
<b>09/22/2025</b>	
<b>ARCHITECTURAL ELEVATIONS BUILDING B</b>	

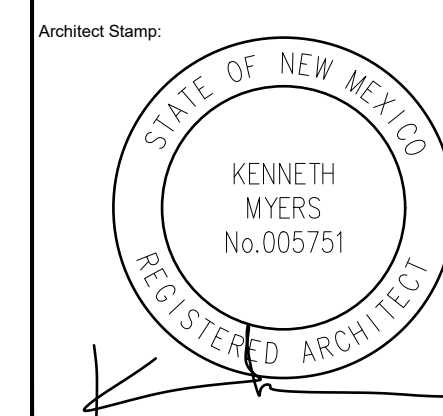
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**A202**

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GOLF COURSE RD. NW  
ALBUQUERQUE, NM 87114



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Albuquerque, NM 87104  
t: 505-243-0188

Project: KMA Checked By: KMA  
Phase: DFT SUBMITTAL  
Date: 09/22/2025

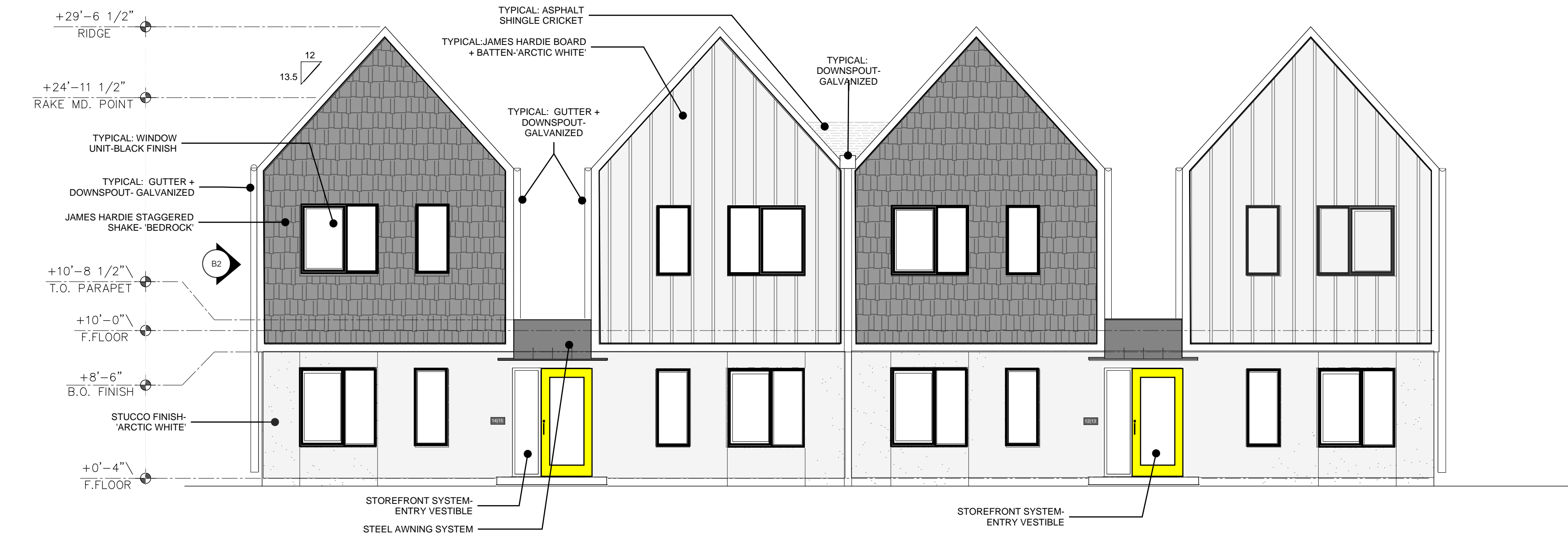
ARCHITECTURAL  
ELEVATIONS  
BUILDING C

Sheet Number:

A203

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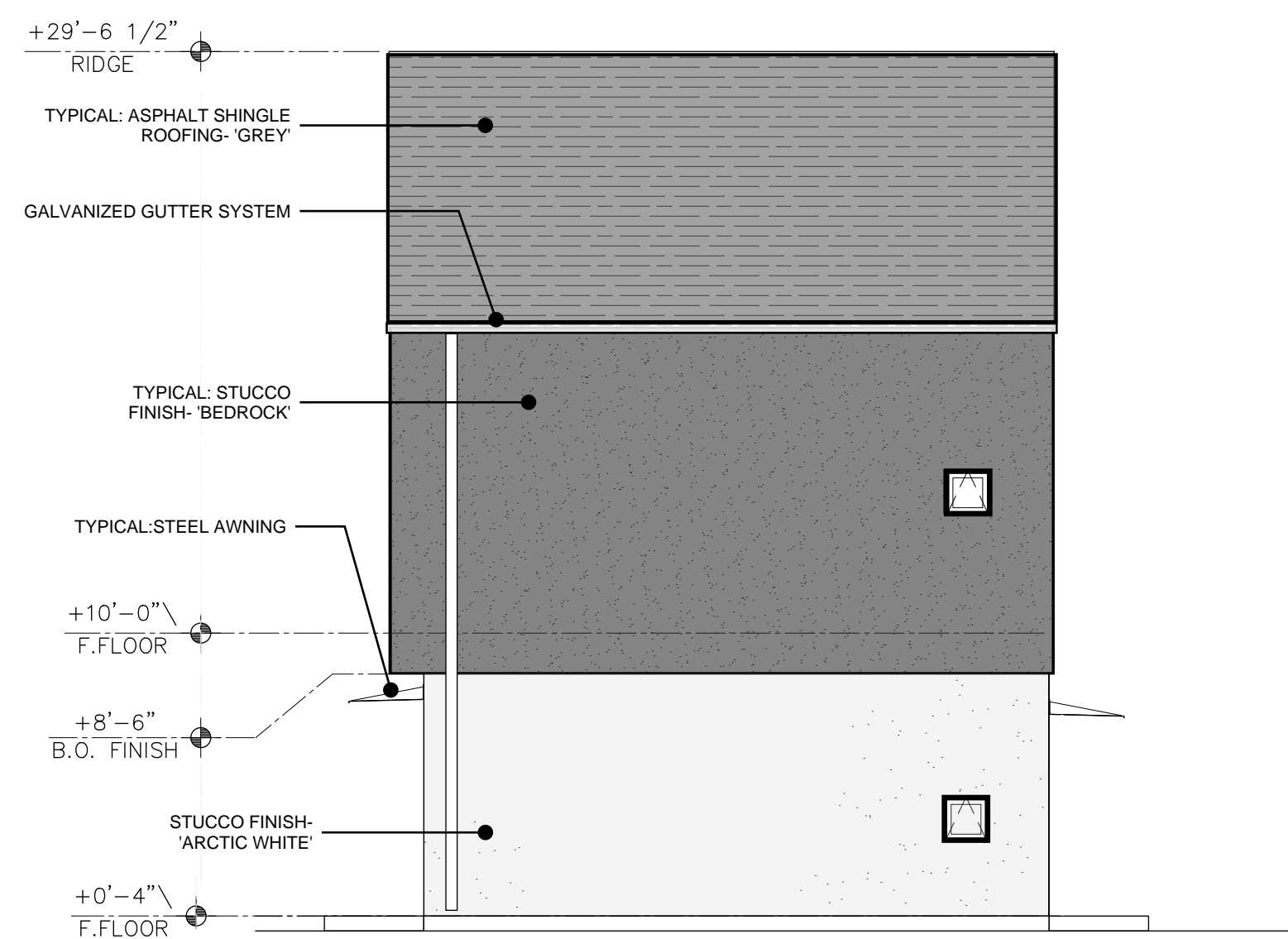




C1 FRONT ELEVATION  
3/16"=1'-0"



B1 REAR ELEVATION  
3/16"=1'-0"

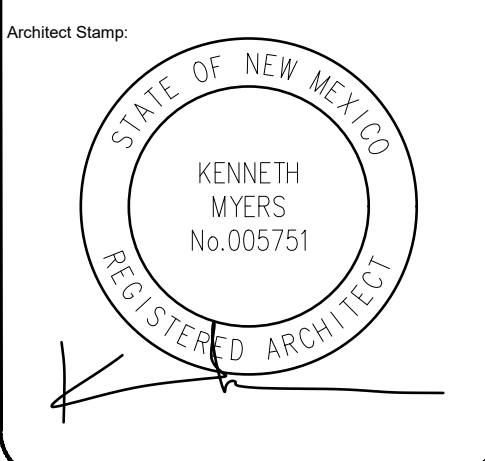


B2 TYPICAL SIDE ELEVATION  
3/16"=1'-0"



A1 WALKWAY ELEVATION  
NTS

BTR | RIO RANCHO HOUSING DEVELOPMENT  
GOLF COURSE RD. NW  
ALBUQUERQUE, NM 87114

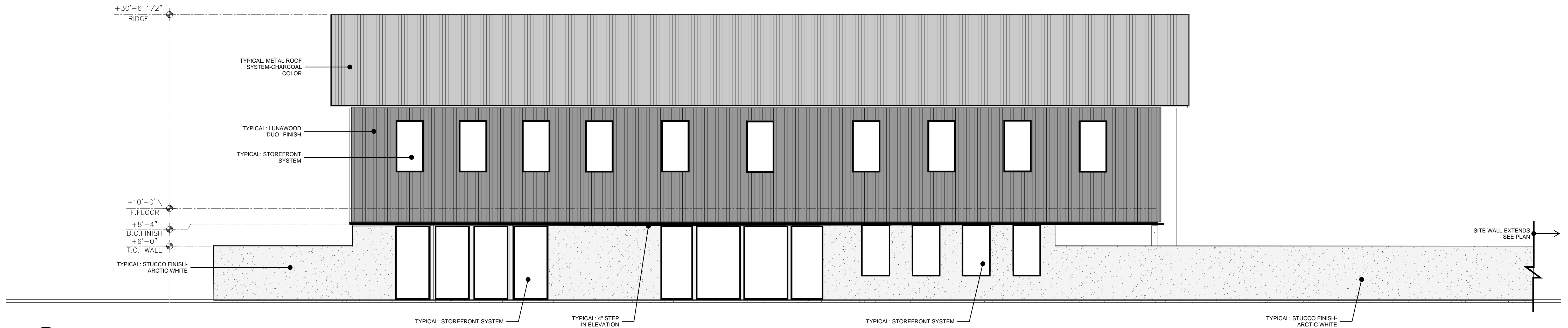


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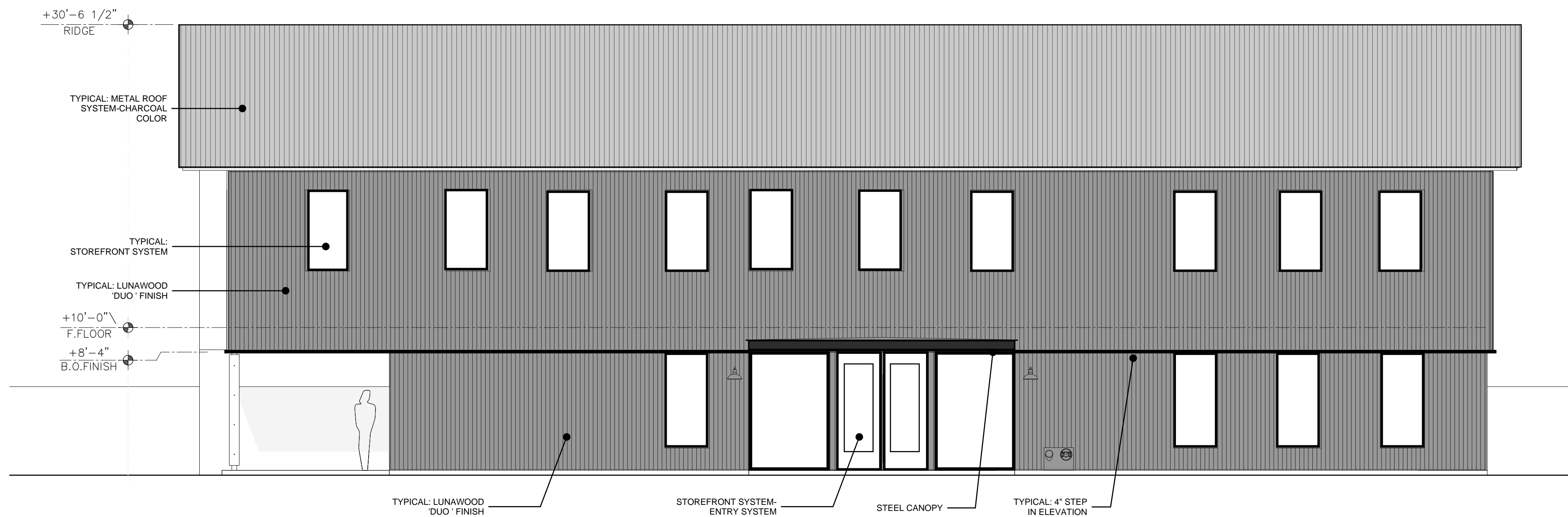
Project:	
Drawn By: KMA	Checked By: KMA
Phase: DFT SUBMITTAL	
Date: 09/22/2025	
ARCHITECTURAL ELEVATIONS BUILDING D	
Sheet Number:	

Sheet Number:  
**A204**

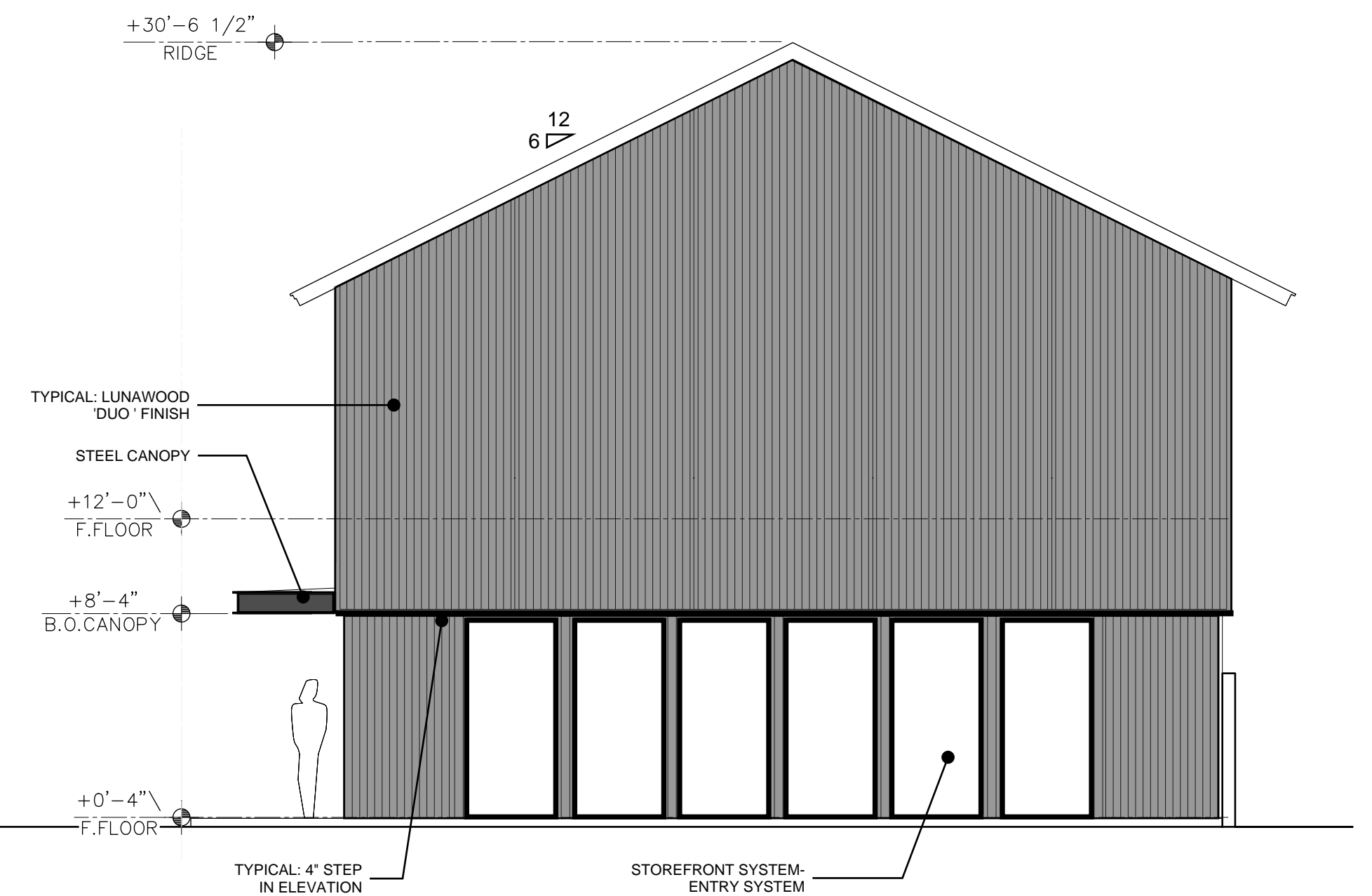
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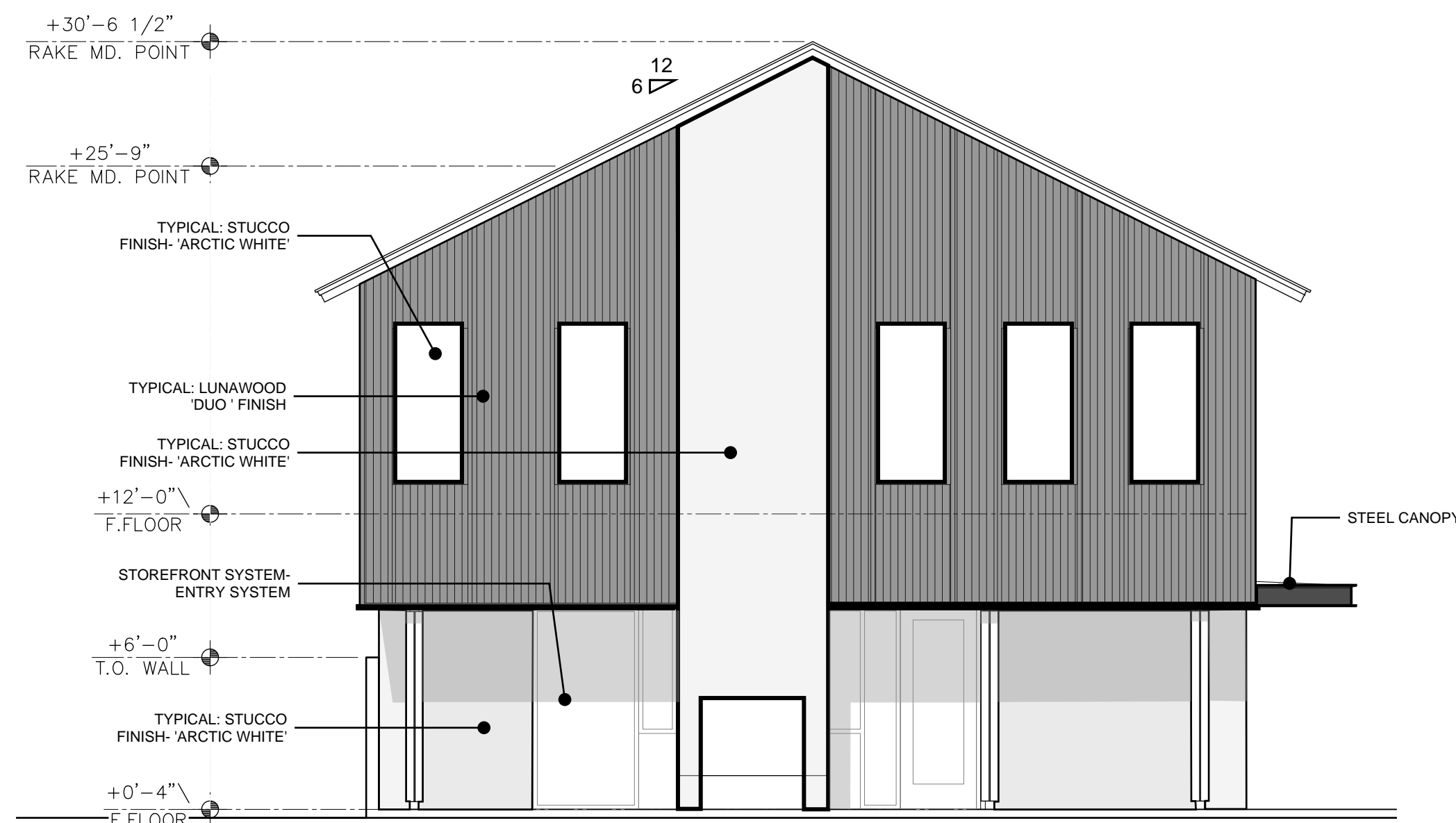
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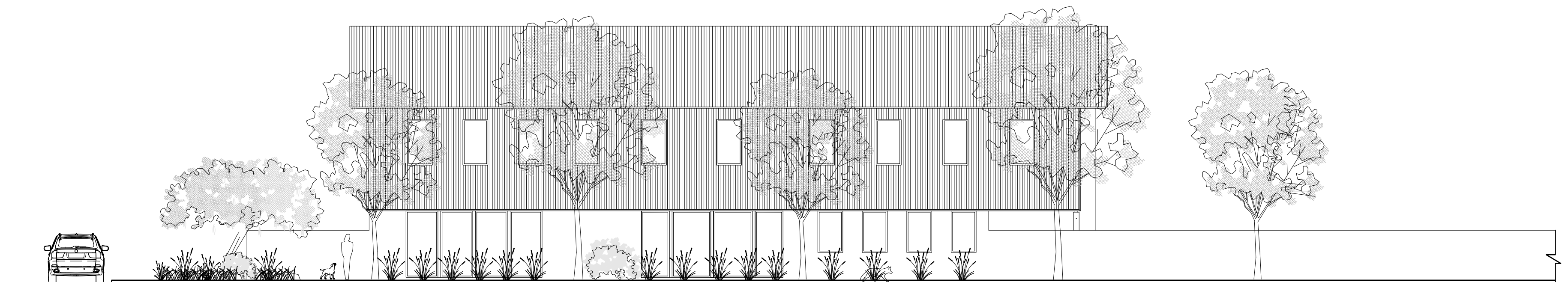
**B1** EAST ELEVATION  
3/16"=1'-0"



**B3** SOUTH ELEVATION  
3/16"=1'-0"

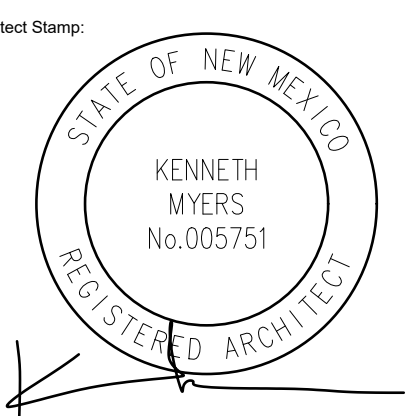


**A1** NORTH ELEVATION  
3/16"=1'-0"



**A2** NORTH ELEVATION  
NTS

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ALBUQUERQUE, NM 87114



**REMBE**  
urban design + development  
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Albuquerque, NM 87104  
t: 505-243-0188

Project: **KMA** Checked By: **KMA**  
Phase: **DFT SUBMITTAL**  
Date: **09/22/2025**

ARCHITECTURAL  
ELEVATIONS  
AMENITIES BUILDING

Sheet Number:  
**A205**

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August 21, 2025

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Klarissa Peña  
City of Albuquerque  
Councilor, District 3

Vice Chair  
Barbara Baca  
County of Bernalillo  
Commissioner, District 1

Frank A. Baca  
County of Bernalillo  
Commissioner, District 2

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City of Albuquerque  
Councilor, District 5

Eric C. Olivas  
County of Bernalillo  
Commissioner, District 5

Louie Sanchez  
City of Albuquerque  
Councilor, District 1

Timothy M. Keller  
City of Albuquerque  
Mayor

*Ex-Officio Member*  
Gilbert Benavides  
Village of Los Ranchos  
Board Trustee

*Executive Director*  
Mark S. Sanchez

*Website*  
www.abcwua.org

Donna Sandoval  
Tierra West LLC  
5571 Midway Park PL NE  
Albuquerque NM 87109

**RE: Water and Sanitary Sewer Serviceability Letter #250618**

**Project Name: Jay Rembe Subdivision**

**Project Address: N/A**

**Legal Description: TR A-1-A-1 PLAT OF TRS A-1-A-1, B-1-A-1 & B-1-A-2  
BLACKARROYO DAM CONT 8.0350 AC**

**UPC: 101206643246110507**

**Zone Atlas Map: A-12-Z**

Dear Ms. Sandoval:

**Project Description:** The subject site is located on Westside Boulevard and Golf Course Road, within the City of Albuquerque. The proposed development consists of approximately 7.4 acres and the property is currently zoned MX-M for Mixed-Used Medium Intensity. The property lies within the Pressure Zone 2WR in the Corrales Trunk.

The Request for Availability indicates plans to develop townhome apartment development within a single property.

**Service Connection Agreement Required:** This property is outside of the Water Authority's Established Service Area. Pursuant to the System Expansion Ordinance, service to this property shall be subject to a Service Connection Agreement which will establish the conditions for service. A Service Connection Agreement is required in lieu of a Development Agreement because there is no expansion or improvement of public infrastructure required to serve the development. Contact Utility Development regarding the Service Connection Agreement process.

**Existing Conditions:**

Water infrastructure in the area consists of the following:

- 18-inch PVC transmission line (project #26-7718.81-08) along Westside Boulevard SE (3W).
- Eight-inch PVC distribution line (project #26-7718.83-08) along private access road between Westside Boulevard SE and Golf Course Road NW.
- 12-inch PVC distribution line (project #NMUI-001-80) along Golf Course Road NW.

Non-potable infrastructure in the area consists of the following:

- 20-inch Ductile Iron Pipe transmission line (project #26-2320.03404-23) along Westside Boulevard SE (3W). Not allowed for service.

Sanitary sewer infrastructure in the area consists of the following:

- Eight-inch PVC sanitary sewer collector (project #26-7718.83-08) along private access road between Westside Boulevard SE and Golf Course Road NW.

**Water Service:** New metered water service to the property can be provided via routine connection to the existing eight-inch distribution main along the private access road between Westside Boulevard SE and Golf Course Road NW. The original Request for Availability include a Conceptual Utility Plan which included an onsite public fire line that looped to the public system in two locations. Since the development is taking place within a single property, there is no need for public infrastructure, therefore the development shall receive domestic and fire line service via private services extending from the existing public water line. Subsequent to the Request for Availability, the engineer provided an updated Conceptual Utility Plan which eliminated the onsite public water line and included private fire lines and private domestic services. The proposed four (4) two-inch water services are shown to be interconnected via a manifold downstream. However, the connection of these proposed meters are not standard as each shall connect to the public water line perpendicularly. The engineer is responsible for determining pressure losses and sizing the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and the collar removed.

**Non-Potable Water Service** Currently, there is no non-potable infrastructure available to serve the subject property.

**Sanitary Sewer Service:** New sanitary sewer service can be provided via routine connection to the existing eight-inch collector along the private access road between Westside Boulevard SE and Golf Course Road NW. Service for the various townhomes will be provided by extending a private sanitary sewer service line into the property. No property shall share a private sewer service with any other property. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

**Fire Protection:** From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 1,500 gallons per minute. One fire hydrant is required. There are three existing public hydrants (123 - WHYD3315, 124 - WHYD2458 and 125 - WHYD2459) available and five private hydrants are proposed with this project. As modeled using InfoWater™ computer software, the fire flow **CAN** be met by applying the required fire flow to the system as shown in the information provided by the requestor. Analysis was performed by simulating the required fire flow at fire hydrant 123 - WHYD3315 located in the alley between Westside Boulevard SE and Gulf Course Road NW on the northeast side of the property. A second Analysis was performed by simulating the required fire flow at fire hydrant 124 - WHYD2458 located in the alley between Westside Boulevard SE and Gulf Course Road NW on the southeast side of the property. For each fire line connection on the northeast side and southeast side of the property

along the alley road between Westside Boulevard SE and Golf Course Road NE shall install a backflow preventer at each connection point.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system. Private fire pumps shall not take suction directly from the public water system. If private fire pumps are proposed to connect to the public system, coordination with the Water Authority is required to determine if the private pump will have adverse impacts on the public system such as cavitation and/or water hammer.

**Cross Connection Prevention:** Per the Cross Connection Prevention and Control Ordinance, all new non-residential premises must have a reduced pressure principal backflow prevention assembly approved by the Water Authority installed at each domestic service connection at a location accessible to the Water Authority. No tees, branches, possible connection fittings, or openings are allowed between the reduced principal backflow prevention assembly and the service connection unless protected by a backflow prevention assembly. Per the Cross Connection Prevention and Control Ordinance, multi-family dwellings of three or more stories, such as apartment buildings, must adhere to the cross connection prevention requirements for non-residential premises. These requirements also apply to all remodeled non-residential premises when the work area of the building undergoing repairs, alterations, or rehabilitation, as defined in the International Existing Building Code, exceeds 50 percent of the aggregate area of the building regardless of the costs of repairs, alteration, or rehabilitation.

All non-residential irrigation water systems connected to the public water system shall have a pressure vacuum breaker, spill-resistant pressure vacuum breaker, or a reduced pressure principal backflow prevention assembly installed after the service connection. Such devices shall be approved by the Water Authority. No tees, branches, possible connection fittings, or openings are allowed between the containment backflow prevention assembly and the service connection.

All non-residential customers connected via piping to an alternative water source or an auxiliary water supply and the public water system shall install a containment reduced pressure principal backflow prevention assembly approved by the Water Authority after the potable service connection.

All new services to private fire protection systems shall be equipped with a containment reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction installed after the service connection. No tees, branches, possible connection fittings, or openings are allowed between the containment backflow prevention assembly and the service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the private fire protection system meets or exceeds ANSI/NSF Standard 60.61 throughout the entire private fire protection system, the fire sprinkler drain discharges



into atmosphere, and there are no reservoirs, fire department connections nor connections from auxiliary water supplies.

The Water Authority recommends that all backflow (containment) devices be located above ground just outside the easement or road right-of-way, the containment backflow device can be installed within the building if there are no tees, branches, possible connection fittings, or openings between the reduced principal backflow prevention assembly and the service connection unless protected by another reduced pressure backflow prevention assembly device. Contact Cross Connection at (505) 289-3465 for more information.

**Easements and Property:** Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. For larger meters that require a meter vault, a 35-foot by 35-foot easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service. A Warranty Deed shall be required when a property is to be transferred to the Water Authority for the installation of facilities to be owned by the Water Authority such as pump stations, reservoirs, wells, lift stations, or any other facility.

The Water Authority shall be granted perpetual, exclusive easement(s) in gross for the construction, installation, maintenance, repair, modification, replacement, and operation of public water and sanitary lines, equipment and facilities reasonably necessary to provide service together with free access on and over the easement and the right to remove trees, shrubs, undergrowth and any other obstacles, modifications, or structures which interfere with use of the easement.

**Pro Rata:** Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

**Design and Construction:** The design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated through the Water Authority Connection Permit process. Construction must be performed by a licensed (GF9 or GF98) and bonded public utility contractor.

**Utility Expansion Charge (UEC):** In addition to installation and construction costs, a UEC charge will be paid to the Water Authority at the time of meter sale or application for service for all properties connecting to the water and/or wastewater system. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter.

UECs associated with multi-family are determined by the criteria set forth in the Water Authority Rate Ordinance, which is amended from time to time. These specific UECs take into account the number of units within the multi-family development. If the multi-family development includes other amenities such as a clubhouse, fitness center or leasing office that will be metered separately, UECs for these amenities will not be charged as they are included in the multi-family UEC calculation. UECs associated with irrigation meters are not included in the multi-family calculation and shall be paid accordingly.

The Rate Ordinance does provide an opportunity for UEC discounts for low-income housing developments. If the development qualifies for these discounts, the developer will be required to provide documentation as stated in the Rate Ordinance. Furthermore, if the development includes both low-income and market-rate apartments, the same requirements set forth in the Rate Ordinance shall be adhered to.

Contact Customer Service at (505) 842-9287 (option 3) for more information regarding UECs.

**Water Resource Charge (WRC):** Any expansion of water service outside of the Water Authority's Established Service Area will be assessed a Water Resource Charge(s) (WRC) as provided in the Water Authority's Water and Sewer Rate Ordinance for the development of new water resources, rights, and supplies necessary to serve the development. Properties that receive only sewer service will not be charged a WRC.

Contact Customer Service at (505) 842-9287 (option 3) for more information regarding WRCs.

**Water Use:** All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Reduction Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

**Closure:** This serviceability letter does **not** provide a commitment from the Water Authority to provide services to the development. It only provides details of infrastructure that is available and potential precursors for the proposed development.

For service to be provided, an approved service connection agreement Must be supplemented by this serviceability letter. The serviceability letter will remain in effect for a period of one (1) year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at [kcadena@abcwua.org](mailto:kcadena@abcwua.org) if you have questions regarding the information presented herein or need additional information.

Sincerely,



Mark S. Sanchez  
Executive Director

Enclosures: Infrastructure Maps

f/ **Serviceability Letter #250618**

## 250618 - Water



### Legend



Hydrant



Project Location

### Water Pipe

#### Subtype

- Distribution Line
- Hydrant Leg
- In Zone Transmission
- Out Zone Transmission

### Fire Flow Analysis Points



Analysis Point - Existing Hydrant (2)





## 250618 - Sanitary Sewer



0 470 940 Feet



### Legend

Sewer Manhole

Project Location

### Sewer Pipe

#### Subtype

COLLECTOR

x x Abandoned



# 250618 - Non-Potable



0 470 940 Feet



## Legend

Non-Potable Pipes

Subtype

— Distribution Main

— Over Flow Drain Line



Project Location



## SENSITIVE LANDS SITE ANALYSIS



# Memorandum

**To:** City of Albuquerque Planning Department

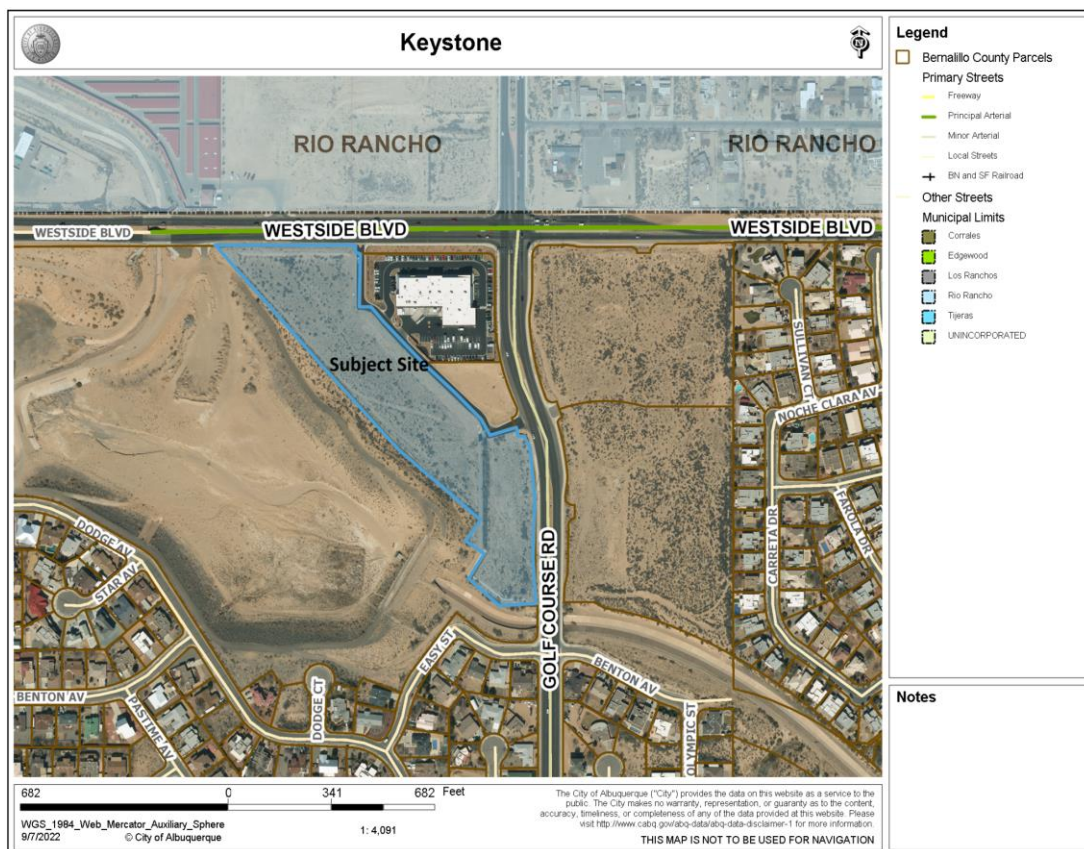
**From:** Jim Strozier, Consensus Planning, Inc.

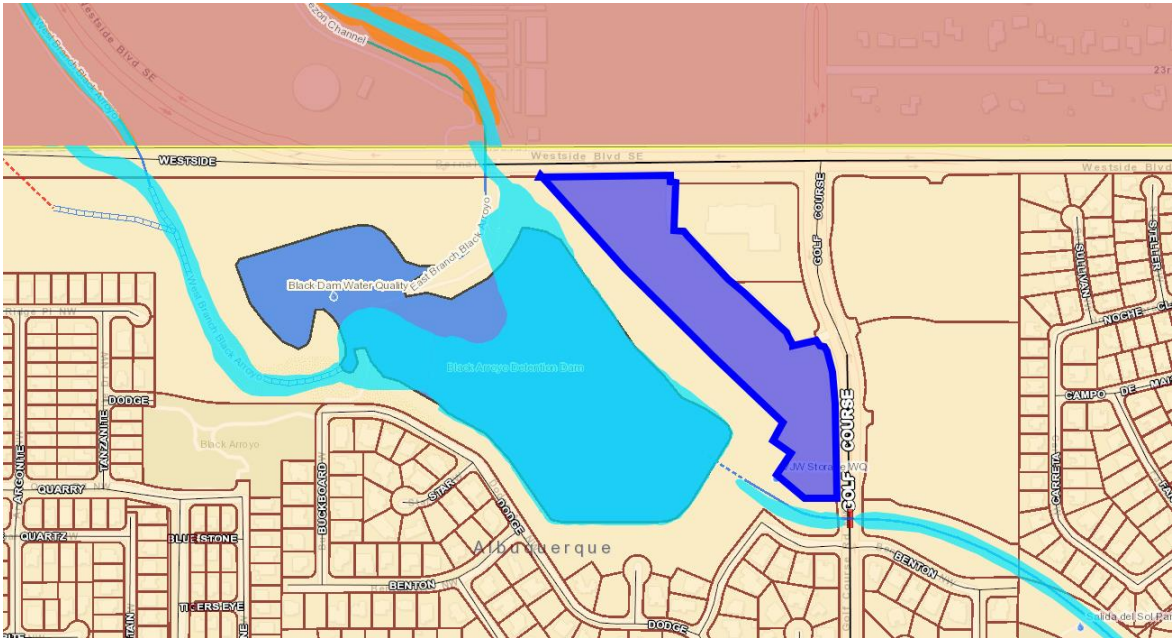
**Date:** September 8, 2022

**Re:** Sensitive Lands Analysis for Keystone

This memo responds to the Sensitive Lands criteria in IDO Section 14-16-5-2. The subject property is currently vacant. The subject property is depicted in the map below outlined and shaded in blue. We have analyzed the project site for the presence of sensitive lands and any constraints related to such lands.

1. Arroyos: The property is currently vacant, and no natural arroyos exist on the land. The subject site is depicted in dark blue on the map below. Using data provided by AMAFCAS Interactive Mapping service, the Black Arroyo Detention Dam is to the southwest of the subject site depicted in light blue and labeled on the map below. The Cabezón Channel and the West Branch Arroyo drain into the detention dam from the northwest. The Black Arroyo Channel runs along the southeast of the site also depicted in light blue on the map below.



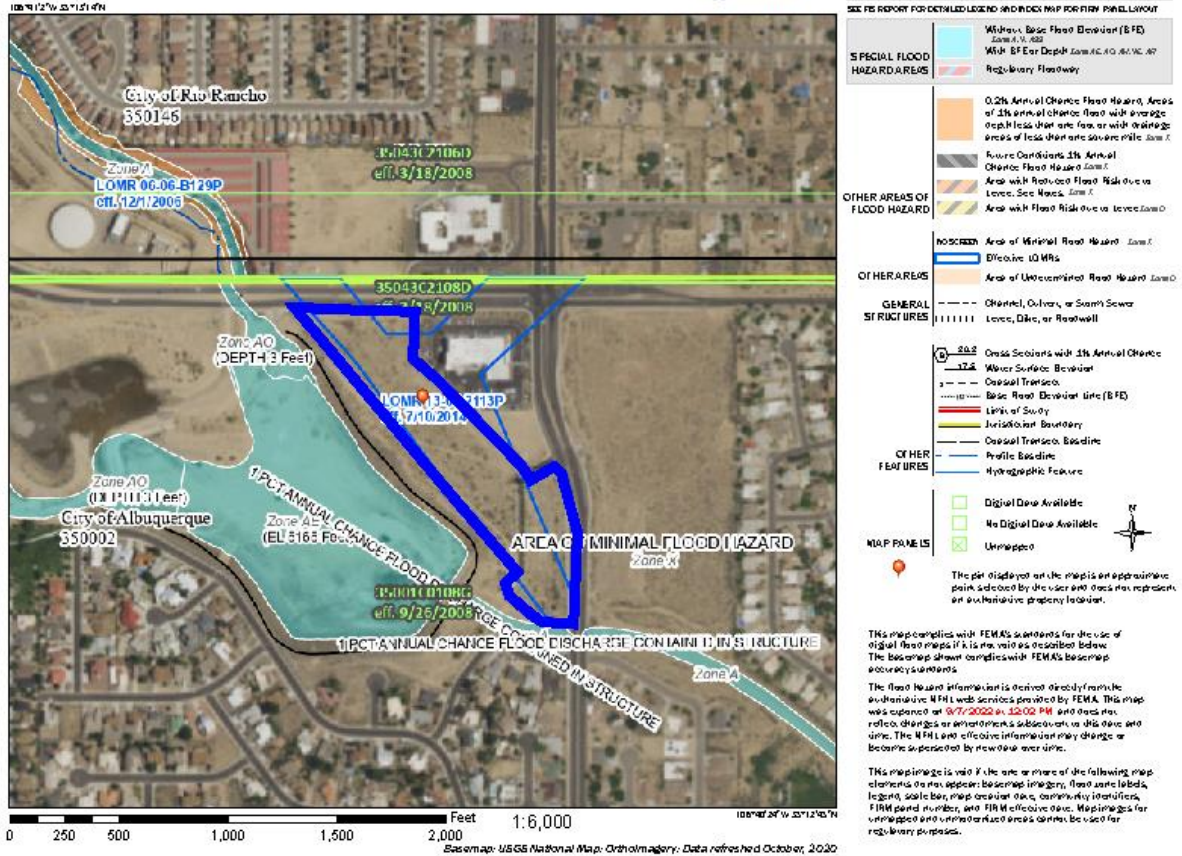


AMAFCA Map

2. Floodplains and Special Flood Hazard Areas: Using data provided by FEMA's National Flood Hazard Layer (NFHL) mapping the subject site is considered to be a flood zone X and depicted in the blue outline on the map below. Flood zone X when it is unshaded as it is on the map below is determined to be outside of the 500-year flood and protected from the 100-year flood making it an area with the lowest risk of flooding. The area to the southwest of the site is the Black Arroyo Detention Dam. The upper northwest portion of the detention dam is labeled as a flood zone AO which is defined as a river or stream flood hazard area with a 1% or greater chance of shallow annual flooding with an average depth ranging from 1-3 feet. The middle and lower southwest portion of the detention dam is labeled as a flood zone AE which is defined as having a based flood elevation of 5165 feet. The entire Black Arroyo Detention Dam area is designed to hold the type of flooding described above and will not affect the development of the subject property.



## National Flood Hazard Layer FIRMette



- Irrigation facilities (acequias): Data provided by the Middle Rio Grande Conservancy District (MRGCD) mapping shows the subject site is outside of the MRGCD jurisdiction and does not appear on any of their maps. Based on this research and due to the subject site's location and distance from the Rio Grande, there are no acequias or irrigation facilities on or near the site.
- Large stands of mature trees: The subject site is currently vacant with small shrubs and vegetation. There are no mature trees on the subject site. The images below shows the subject site and lack of any significant vegetation.

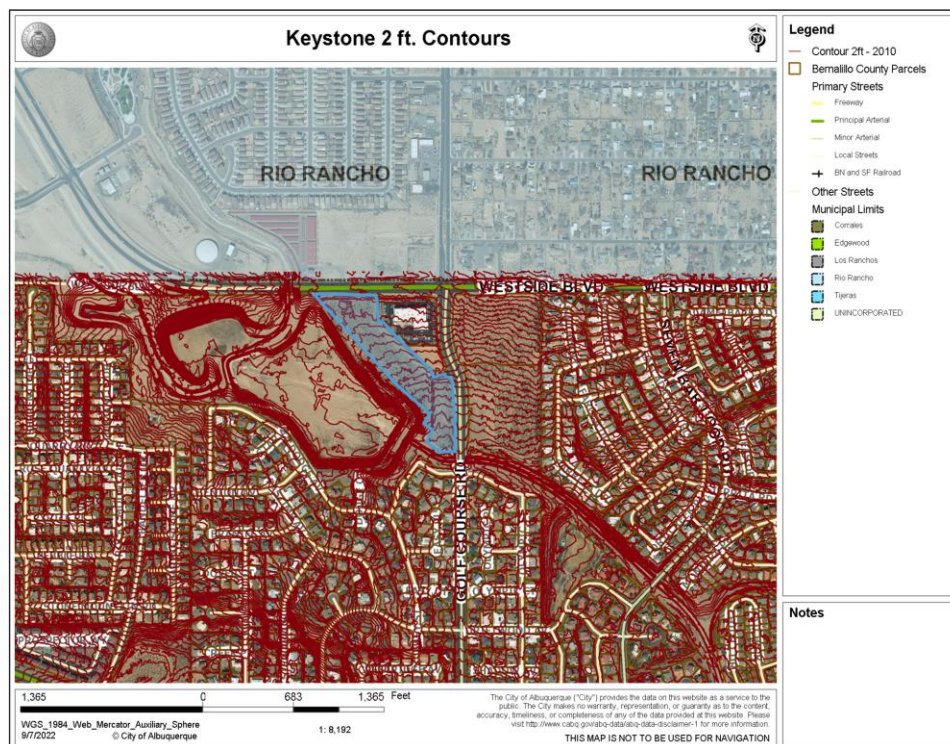


Site facing south from Westside Blvd.

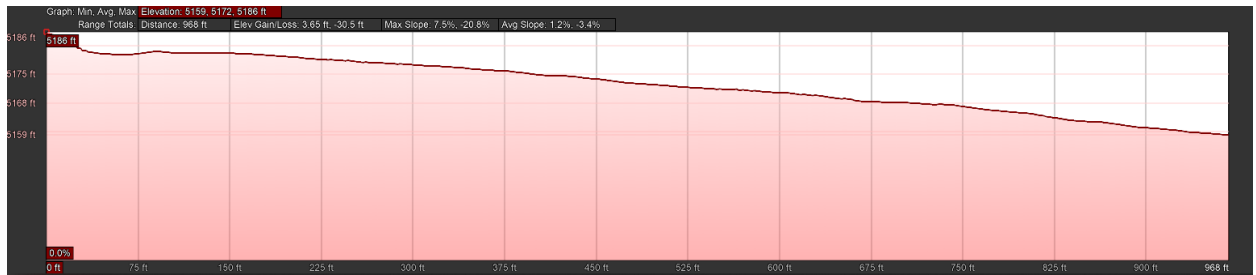


*Site facing west from Golf Course Road*

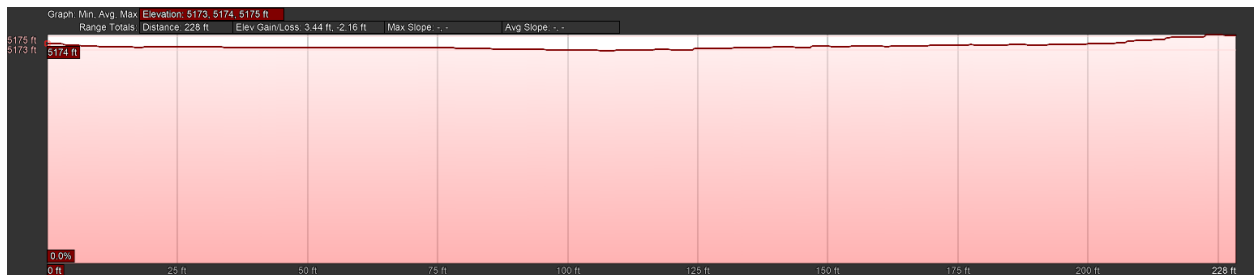
5. Riparian areas: Data provided by the National Wetlands Inventory surface water and wetlands mapping shows the subject site is not considered a riparian area.
6. Rock outcroppings: There are no rock outcroppings or formations on the subject site.
7. Significant archaeological sites: We have requested the archeological review but have not heard back. The site has been partially developed with infrastructure and an office building. The site was also completely graded with the construction of the Dam in the late 1990's.
8. Steep slopes and escarpments: The site does not include any slopes that meet the IDO definition of a steep slope or escarpment, which is a minimum slope of 9 percent or more. 2 ft contour mapping provided by the CABQ Advanced Map Viewer shows the slope for the subject site and surrounding area. Elevation profiles for the site were calculated using Google Earth Pro and are shown in the images below.







*North South Slope & Elevation Profile (Max slope 7.5%)*



*East West Slope & Elevation Profile*

9. Wetlands: Data provided by the National Wetlands Inventory surface water and wetlands mapping shows the subject site which is outlined in blue in the image below is not considered a wetland area. The Black Arroyo Detention Dam area has two emergent wetlands which are depicted in the image below. These will not be adversely affected by the proposed development of the subject site.



## SITE PLAN CHECK LIST

# SITE PLAN CHECKLIST

Project #: \_\_\_\_\_ Application #: \_\_\_\_\_

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

***I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.***

\_\_\_\_\_  
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

**The electronic format must be organized in the above manner.**

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

**NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.**

**NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.**

## SHEET #1 - SITE PLAN

### A. General Information

- X 1. Date of drawing and/or last revision
- X 2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100'



# SITE PLAN CHECKLIST

- X 3. Bar scale
- X 4. North arrow
- X 5. Legend
- X 6. Scaled vicinity map
- X 7. Property lines (clearly identify)
- X 8. Existing and proposed easements (identify each)
- NA 9. Phases of development, if applicable

## B. Proposed Development

### 1. Structural

- X A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- X B. Square footage of each structure
- X C. Proposed use of each structure
- X D. Signs (freestanding) and other improvements
- X E. Walls, fences, and screening: indicate height, length, color and materials
- X F. Dimensions of all principal site elements or typical dimensions
- NA G. Loading facilities
- NA H. Site lighting (indicate height & fixture type)
- NA I. Indicate structures within 20 feet of site
- X J. Elevation drawing of refuse container and enclosure, if applicable.
- X K. Existing zoning/land use of all abutting properties

### 2. Parking, Loading and Internal Circulation

- X A. Parking layout with spaces numbered per aisle and totaled.
  - X 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
  - X 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
  - 3. On street parking spaces
- X B. Bicycle parking & facilities
  - X 1. Bicycle racks – location and detail
  - X 2. Other bicycle facilities, if applicable
- X C. Vehicular Circulation (Refer to DPM and IDO)
  - X 1. Ingress and egress locations, including width and curve radii dimensions
  - X 2. Drive aisle locations, including width and curve radii dimensions
  - X 3. End aisle locations, including width and curve radii dimensions
  - X 4. Location & orientation of refuse enclosure, with dimensions
  - X 5. Loading, service area, and refuse service locations and dimensions
- X D. Pedestrian Circulation
  - X 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

## SITE PLAN CHECKLIST

- X 2. Location and dimension of drive aisle crossings, including paving treatment
- X 3. Location and description of amenities, including patios, benches, tables, etc.
- NA E. Off-Street Loading
  - NA 1. Location and dimensions of all off-street loading areas
- \_\_\_ F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
  - NA 1. Location and dimensions of vehicle stacking spaces and queuing lanes
  - NA 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
  - NA 3. Striping and Sign details for one-way drive through facilities

### 3. Streets and Circulation

- X A. Locate and identify adjacent public and private streets and alleys.
  - X 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - NA 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - X 3. Location of traffic signs and signals related to the functioning of the proposal
  - NA 4. Identify existing and proposed medians and median cuts
  - X 5. Sidewalk widths and locations, existing and proposed
  - NA 6. Location of street lights
  - X 7. Show and dimension clear sight triangle at each site access point
  - X 8. Show location of all existing driveways fronting and near the subject site.
- \_\_\_ B. Identify Alternate transportation facilities within site or adjacent to site
  - NA 1. Bikeways and bike-related facilities
  - NA 2. Pedestrian trails and linkages
  - NA 3. Transit facilities, including routes, bus bays and shelters existing or required

### 4. Phasing

- NA A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

- X 1. Scale - must be same as scale on sheet #1 - Site plan
- X 2. Bar Scale
- X 3. North Arrow
- X 4. Property Lines
- X 5. Existing and proposed easements
- X 6. Identify nature of ground cover materials
  - X A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - X B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
  - X C. Ponding areas either for drainage or landscaping/recreational use

## SITE PLAN CHECKLIST

- ☒ 7. Identify type, location and size of plantings (common and/or botanical names).
  - ☒ A. Existing, indicating whether it is to be preserved or removed.
  - ☒ B. Proposed, to be established for general landscaping.
  - ☒ C. Proposed, to be established for screening/buffering.
- ☒ 8. Describe irrigation system – Phase I & II . . .
- ☒ 9. Planting Beds, indicating square footage of each bed
- ☒ 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- ☒ 11. Responsibility for Maintenance (statement)
- ☒ 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- ☒ 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- ☒ 14. Planting or tree well detail
- ☒ 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- ☒ 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- ☒ 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

### SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

#### A. General Information

- ☒ 1. Scale - must be same as Sheet #1 - Site Plan
- ☒ 2. Bar Scale
- ☒ 3. North Arrow
- ☒ 4. Property Lines
- ☒ 5. Existing and proposed easements
- ☒ 6. Building footprints
- ☒ 7. Location of Retaining walls

#### B. Grading Information

- ☒ 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- ☒ 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- ☒ 3. Identify ponding areas, erosion and sediment control facilities.
- ☒ 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

# SITE PLAN CHECKLIST

## SHEET #4- UTILITY PLAN

- X A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- X B. Distribution lines
- X C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- X D. Existing water, sewer, storm drainage facilities (public and/or private).
- X E. Proposed water, sewer, storm drainage facilities (public and/or private)
- X F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

## SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

- X A. Scale
- X B. Bar Scale
- X C. Detailed Building Elevations for each facade
  - X 1. Identify facade orientation
  - X 2. Dimensions of facade elements, including overall height and width
  - X 3. Location, material and colors of windows, doors and framing
  - X 4. Materials and colors of all building elements and structures
  - X 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

### B. Building Mounted Signage

- NA 1. Site location(s)
- NA 2. Sign elevations to scale
- NA 3. Dimensions, including height and width
- NA 4. Sign face area - dimensions and square footage clearly indicated
- NA 5. Lighting
- NA 6. Materials and colors for sign face and structural elements.
- NA 7. List the sign restrictions per the IDO

## AUTHORIZATION LETTER



December 26, 2024

City of Albuquerque  
600 2<sup>nd</sup> St. NW  
Albuquerque, NM 87102

**RE: Agent Authorization Notice- for Parcel 1 & 2**

To Whom it may concern,

Dr. Harville, Calabacillas Group, a NM General Partnership, LLC hereby authorizes, Rembe Properties, LLC, to perform as the Agent of Record with the City of Albuquerque. This Agent Authorization is for the property located just south and west of Westside Blvd and Golf Course Road NW and legally described as,

**PARCEL 1:**

Tract A-1-A-1 of the Amended Plat of Tracts A-1-A-1, B-1-A-1 & B-1-A-2, BLACK ARROYO DAM, as the same is shown and designated on the Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on August 15, 2013 in Plat Book 2013C, Page 96.

**PARCEL 2:** Tracts B-1-A-1 & B-1-A-2 of the Amended Plat of Tracts A-1-A-1, B-1-A-1 & B-1-A-2, BLACK ARROYO DAM, as the same are shown and designated on the Plat.

This authorization is valid as needed to provide services associated with Site Plan Amendment for Major Subdivision process and or any other needed City of Albuquerque approval for the afore-mentioned properties or until written notice from Calabacillas Group or Rembe Properties, LLC (Agent) is given. Please direct all correspondence and communication to our Agent for the purposes of this requested Amendment to the Site Development Plan.

Sincerely,

A handwritten signature in black ink, appearing to read "Dr. Harville", written over a horizontal line.

Dr. Harville  
Calabacillas Group, a NM General Partnership, LLC

## JUSTIFICATION LETTER

September 21, 2025

Development Facilitation Team

City of Albuquerque

600 Second Street NW

Albuquerque, New Mexico 87102

RE: Site Plan-Administrative – Westside Blvd and Golf Course Rd

Dear Megan Jones,

The purpose of this letter is to request the approval of a Site Plan – Administrative for a property located on the corner of Westside Blvd and Golf course Rd. The legal description of the site is TR A-1-A-1 PLAT OF TRS A-1-A-1, B-1-A-1 & B-1-A-2 BLACKARROYO DAM CONT 8.0350 AC.

## **BACKGROUND**

A 2013 approved Site Development Plan, under project #1004976, was proposed for a self-storage development site that did not come to fruition. The pre-approved plan included a medical facility (HME Specialists) which was developed on the adjacent parcel and is currently in operation today, located on the hard corner of Westside and Golf Course.

In late 2024, we submitted our pre-application for the project (PRT 24-051) and then in early 2025 submitted a site plan EPC, Major Amendment to remove Tract A-1-A-1 from the controlling site plan, which was approved.

Today, the roughly 8.03 acre site in discussion is vacant land and is poised for created development.

## **PROJECT DESCRIPTION**

The proposed project is a build-for-rent multifamily residential community consisting of 144 attached units. In accordance with the IDO, because the development contains two or more multifamily units, the entire site is classified as a multifamily development. The project has been thoughtfully planned to provide high-quality living accommodations and a variety of shared amenities that support a vibrant, active community. On-site features include a leasing office, co-working spaces, a swimming pool, a fitness and wellness center, a pickleball court, communal gardens, and an orchard. Together, these amenities foster a balanced lifestyle by combining residential comfort with opportunities for recreation, productivity, and wellness, while creating a cohesive and community-oriented environment.

## **EXISTING CONDITIONS**

The subject site is located at the intersection of Westside Boulevard and Golf Course Road and encompasses approximately 8.03 acres. The property lies adjacent to the Black Arroyo, which provides a natural open space feature along the site's edge. The land is currently vacant and undeveloped, with no existing structures on the property. Surrounding development includes a mix of residential and commercial uses along Golf Course Road, with access provided from Westside Boulevard.

## **6-6(L)(3) REVIEW AND DECISION CRITERIA**

The following responds to the criteria for approval of a Site Plan- Administrative DFT.

### **Site Plan Administrative Criteria**

#### **6-5(G)(3)(a)**

*The Site Plan complies with all applicable standards in this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.*

#### **Response:**

The Site Plan has been prepared in accordance with the requirements of the IDO and the DPM. The property is zoned MX-M, and the proposed development is consistent with the uses and standards permitted within this zone. No zone change or variances are being requested as part of this application.

The Site Plan, Landscape Plan, and building elevations reflect sensitivity to the surrounding context and mixed-use environment. Building placement, setbacks, landscaping, parking, and pedestrian connections are designed to meet the requirements of the MX-M zone and ensure compatibility with nearby residential and commercial development.

Architectural elevations employ a coordinated color palette and material selection consistent with the intent of the IDO, providing variation and visual interest while maintaining cohesion throughout the site. Light reflectance values fall within the acceptable range, further aligning with City requirements.

The project has obtained necessary approvals including Fire 1, Grading and Drainage, Transportation Circulation Layout (TCL, Solid Waste, and a Water Serviceability Letter from ABCWUA. In addition, a traffic scoping form was submitted reviewed, and it was determined that no Traffic Impact Study (TIS) is required. These approvals confirm that the project meets applicable technical standards and demonstrates full compliance with the IDO and DPM.

#### **6-5(G)(3)(b)**

*The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development*

*or the applicant has agreed to install required infrastructure and public improvements pursuant to Subsection 14-16-1-7(B)(2) and 14-16-5-4(N) and/or a signed an Infrastructure Improvements Agreement (IIA) pursuant to Subsection 14-16-5-4(O) to add adequate capacity.*

**Response:**

The City's existing infrastructure and public improvements have adequate capacity to serve the proposed development, and the project complies with the requirements of **14-16-1-7(B)(2)** and **14-16-5-4(N)**. Drainage and grading improvements have been designed to manage stormwater on-site, traffic circulation and parking comply with the IDO and DPM, and connections to municipal water and sewer systems ensure reliable service. Any necessary easements or rights-of-way will be coordinated with the City Engineer, and all required improvements—including sidewalks, curb and gutter, pavement, storm drainage, and utilities—will be constructed to City standards. Collectively, these provisions confirm that the project will be fully served by adequate infrastructure and that all improvements will be provided in compliance with the IDO and DPM.

**6-5(G)(3)(c)**

*If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any IDO standards applicable in the zone district the subject property is in.*

**Response:**

The site is not located within a previously approved Master Development Plan and is designed to comply with IDO standards.

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**6-5(G)(3)(d)**

*If the subject property is within an approved Framework Plan, the Site Plan shall meet any relevant standards in the Framework Plan in addition to any IDO standards applicable to the type of development.*

**Response:**

There is no previously approved Framework Plan covering this property.

**CONCLUSION**

In conclusion, the proposed Site Plan-Administrative for The Future Westside and Golf Course project has been carefully designed to comply with all applicable provisions of the IDO, the DPM, and City regulations. The Site Plan demonstrates compatibility with surrounding development, provides adequate infrastructure capacity and public improvements, and ensures safe and efficient access, drainage, and utility connections. No variances, zone changes, or waivers are being requested, and all required improvements will be constructed in accordance with City standards.



Collectively, these measures ensure that the project meets the intent of the regulations, supports orderly growth, and contributes positively to the surrounding community.

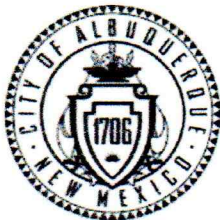
Rembe Urban Design + Development respectfully requests that the DFT approve the request for Site Plan-Administrative. We appreciate your time and consideration.

Sincerely,

Jay Rembe,

Rembe Urban Design + Development

## ARCHAEOLOGICAL ORDINANCE



## City of Albuquerque

P.O. Box 1293 Albuquerque, NM 87103

### Planning Department

Alan Varela, Interim Director

**Tim Keller, Mayor**  
**Sarita Nair, CAO**

**DATE:** November 25, 2024

**SUBJECT:** Albuquerque Archaeological Ordinance - Compliance Documentation

**Case Number(s):** PR-2022-007565, SI-2024-01643  
**Agent:** Rembe Properties, LLC  
**Applicant:** Dr. Harville, Calabacillas Group, LLC  
**Legal Description:** TR A-1-A-1 PLAT OF TRS A-1-A-1, B-1-A-1 & B-1-A-2 BLACKARROYO DAM CONT 8.0350  
**Zoning:** MX-M  
**Acreage:** 8.0350  
**Zone Atlas Page(s):** A-12-Z

**CERTIFICATE OF NO EFFECT:** ☒ Yes ☐ No

**CERTIFICATE OF APPROVAL:** ☐ Yes ☒ No

**SUPPORTING DOCUMENTATION:**

Histoic Google Earth Images, ARMS/NMCRIS Records

**SITE VISIT:** N/A

**RECOMMENDATIONS:**


The property was surveyed under NMCRIS 66728 and LA 128986 was identified or or very near this parcel. There is no determination of NRHP significance listed but the property was bladed clear by 1996. Therefore:

CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 1 "an archaeological investigation has been conducted..." and criterion 2 "The property has been disturbed through previous land use"

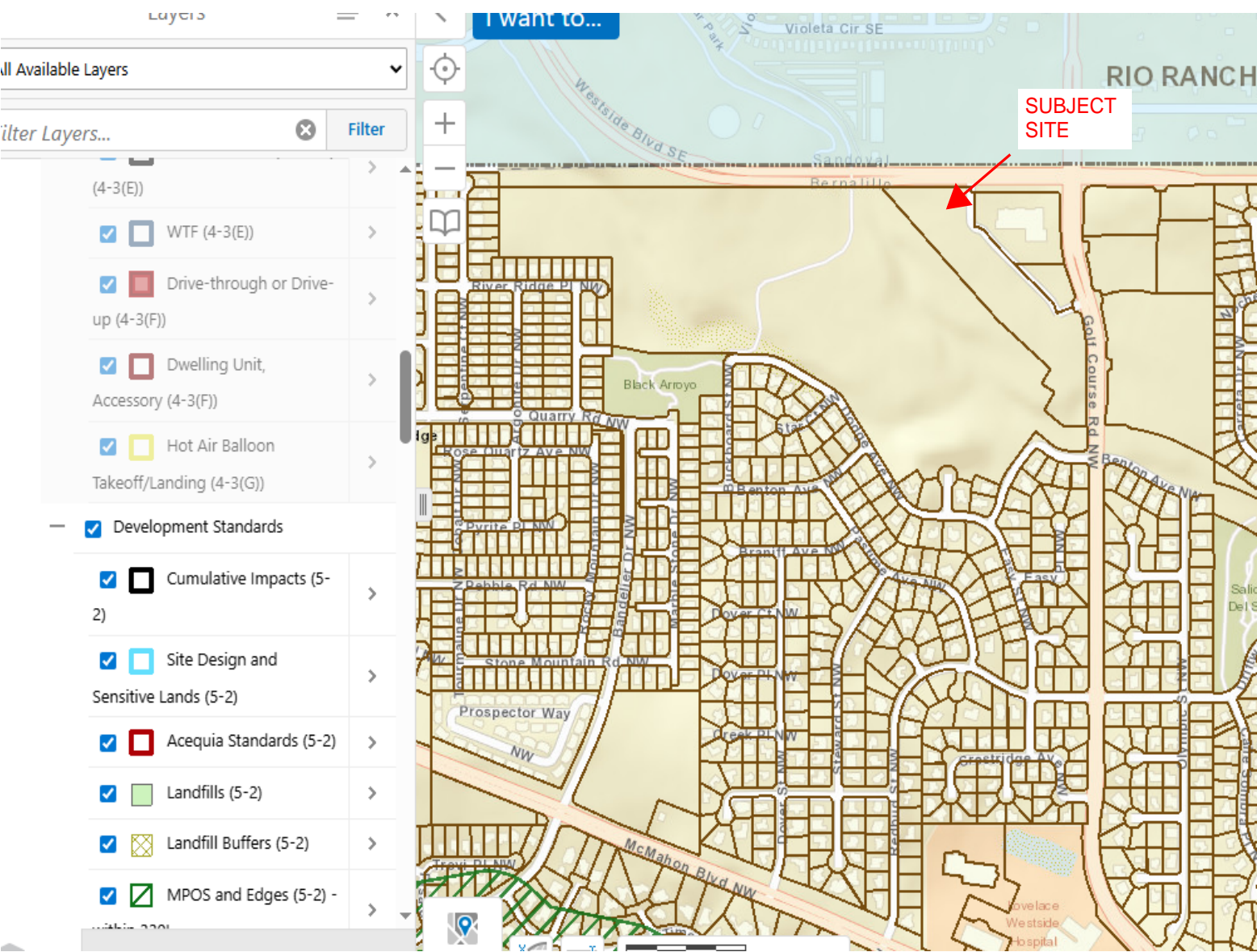
**SUBMITTED BY:**

**SUBMITTED TO:**

Planning, Development Services

  
Douglas H. M. Boggess, MA, RPA Date  
Senior Principal Investigator  
Acting City Archaeologist  
Lone Mountain Archaeological Services, Inc.

LANDFILL DISCLOSURE STATEMENT



# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

#### 4. TIME

Signs must be posted from \_\_\_\_\_ To \_\_\_\_\_

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Jack Rembe

(Applicant or Agent)

9/23/2025

(Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

**PROJECT NUMBER:** \_\_\_\_\_

## NEIGHBORHOOD COORDINATION RESPONSE

RE: Westside and Golf Course\_ Public Notice Inquiry Sheet Submission



Flores, Suzanna A. <Suzannaflores@cabq.gov>  
To: Jack Rembe



Wed 9/3/2025 1:31 PM

You replied to this message on 9/3/2025 4:52 PM.

Hello,

As of September 3, 2025 there are **NO** neighborhood associations to notify.

Thank you,

*Suzie*



**Suzie Flores**

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: [suzannaflores@cabq.gov](mailto:suzannaflores@cabq.gov)

Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)

**From:** Jack Rembe <[jack@rembedesign.com](mailto:jack@rembedesign.com)>

**Sent:** Wednesday, September 3, 2025 12:23 PM

**To:** Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>

**Subject:** RE: Westside and Golf Course\_ Public Notice Inquiry Sheet Submission

Hello, I hope you are doing well! We are working on the same project, but now getting ready to submit our DFT application. I wanted to confirm that this is still the case that there are no neighborhood associations that we need to reach out to.

Thank you,

jack rembe – Development Associate  
rembe urban design + development