

LOT AND BUILDING INFORMATION								
Total area:		8.035 ACRES		350,005 SQUARE FT.				
UNIT TYPE	BEDROOM COUNT	UNIT SQUARE FOOTAGE	UNIT FOOTPRINT SF.	UNIT COUNT	TOTAL SF. PER UNIT TYPE	TOTAL FOOTPRINT PER UNIT	*OPEN SPACE REQUIREMENTS=225 SF. PER 1 BD; 285 PER 2BD	**OPEN SPACE PROVIDED
Unit A	1	640	344	66	42,240	22,704	14,850	
Unit B	2	878	878	35	30,730	30,730	9,975	
Unit C	2	1035	545	44	45,540	23,980	12,540	
AMENITIES		6000	3000	1	6,000	3,000		
Total				145	124,510	80,414	37,365	152,970

\*Per IDO 4-3(B)(8)(a) no more than 40% of the required usable open space can be private to a household or occur on upper stories- 25,804 sf. of this project is private; with a remaining 127,166 sf. of public open space  
\*\*See landscape plan for planting layout, requirements, and quantity

BUILDING LEGEND							
BUILDING #	BUILDING TYPE/ UNIT COUNT	BUILDING #	BUILDING TYPE/ UNIT COUNT	BUILDING #	BUILDING TYPE/ UNIT COUNT	BUILDING #	BUILDING TYPE/ UNIT COUNT
1	C/4	11	C/4	22	A/3	33	A/3
2	D	12	B/4	23	C/4	34	A/3
3	B/3	13	B/4	24	C/4	35	A/3
4	C/4	14	C/4	25	C/4	36	A/3
5	B/3	15	C/4	26	A/4	37	A/3
5	B/3	16	C/4	27	A/4	38	A/3
6	C/4	17	B/4	28	A/4	39	A/3
7	B/3	18	C/4	29	A/4	40	A/3
8	C/4	19	B/4	30	A/3	41	A/3
9	B/3	20	A/3	31	A/3	42	AMENITIES
10	B/3	21	A/3	32	A/3		

BUILDING TYPE	BUILDING FOOTPRINT
A/3	1,032 SF.
A/4	1,376 SF.
B/3	2,634 SF.
B/4	3,512 SF.
C/4	2,180 SF.
D	2,560 SF.
AMENITIES	3,000 SF.

Parking Calculations	Unit Count/sf.	IDO notes	Multiplier/Credit	Total Req'd	Provided
Residential Units MX-M	145	Table 5-5-1: multifamily= 1.2 SP per 1BR; 1.6 SP per 2 BR	1.2/1.6	205.6	
Residential Community Amenity	6,000	Table 5-5-1: Residential Com. Amenity= 3 spaces per 1,000GFA	3	18	
		Plus 1 space per 3 design capacity per Table 5-5-2	12	4	
subtotal				228	
Total		5-5(C)(5)(b) Shared Parking Reduction; Table 5-5-3: Shared Parking Rediction Factors: Multi-family/ Other Non-residential= 1.3	1.3	175	218
EV charging stations	145	Per 5-5(C)(9) requires 5% of the required spaces be equipped w/ EV charging stations 240V or greater	5%	7.25	8
EV Capable	145	Per 5-5(C)(9) requires 25% of the required spaces be provided as EV capable	25%	36.25	36
Accessible Spaces (HC)	145	Per 208.2 ADAAG for 201-300 off street spaces 7 HC spaces required; 2 van space required		7	7
MotorCycle	145	IDO, table 5-5-4: Between 101-150 spaces= 4 MC Spaces required		4	6
Bicycle	145	IDO, table 5-5-5: 10% of required spaces	10%	14.5	14.5

## SITE INFORMATION

ADDRESS:  
PROPERTY SOUTH AND WEST OF 10801 GOLF COURSE RD NW,  
ALBUQUERQUE, NM 87114

LEGAL DESCRIPTION:  
A PARCEL OF LAND SITUATED IN PROJECTED SECTION 1, T11N, R2E, N.M.P.M.,  
TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNILLO COUNTY, NEW  
MEXICO; SAID PARCEL BEING THE SAME AS TRACT A-1-A, B-1-A, B-1-B &  
C-1-A OF BLACK ARROYO DAM, FILED IN THE OFFICE OF THE COUNTY CLERK  
ON JULY 16, 2007 IN BK. 2007C, PG. 190. SEE PLAT FOR METES AND  
BOUNDS INFORMATION.

ZONE ATLAS MAP:A-12-Z  
ZONE DISTRICT: MX-M  
ADJACENT ZONING: MX-M + R-1D  
PROPOSED LAND USE: RESIDENTIAL  
DEVELOPMENT TYPE: MULTI-FAMILY  
PROJECT SIZE:8.0350 ACRES

SETBACKS (GENERAL):  
FRONT (MIN/MAX): 5 FT./NA (WEST SIDE BLVD.)  
SIDE, MIN./ MAX 0 FT. INTERIOR, 5 FT. SIDE ST.  
REAR, MINIMUM 15 FT.

OPEN SPACE:  
1 OR LESS BEDROOM (BR)= 225 SF./ DU  
2 BR+= 285 SF./ DU

## GENERAL NOTES

- ALL SIDEWALKS, RAMPS, CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER THE C.O.A. STANDARD DRAWINGS AND ADA STANDARDS.
- CLEAR SITE DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY, BETWEEN 3 AND 8 FEET TALL, AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. SITE TRIANGLE SPEED IS BAED OFF OF 35 M.P.H. ROADWAY.
- REFER TO PLAT DRAWINGS FOR EXISTING AND PROPOSED EASEMENTS, PROPOSED LOT INFORMATION, AND FULL METES AND BOUNDS.
- WINDOWS SHALL BE RECESSED NOT LESS THAN 2 INCHES AND/OR SHALL BE SURROUNDED BY A WINDOW CASING NOT LESS THAN 2 INCHES WIDE.
- PER IDO 4-3(B)(8)(A) NO MORE THAN 40% OF THE REQUIRED USABLE OPEN SPACE CAN BE PRIVATE TO A HOUSEHOLD OR OCCUR ON UPPER STORIES= 37,365 SF. OF THIS PROJECT IS PRIVATE; WITH A REMAINING 68,444 SF. OF PUBLIC OPEN SPACE

## LEGEND

NEW ASPHALT	
NEW CONCRETE SIDEWALKS	
EXISTING SIDEWALK	
PRIVATE OPEN SPACE	
10'-0" P.U.E. EASEMENT	
32' PRIVATE AND AMAFCA ACCESS, PRIVATE DRAINAGE AND PUBLIC WATER AND SEWER EASEMENT	

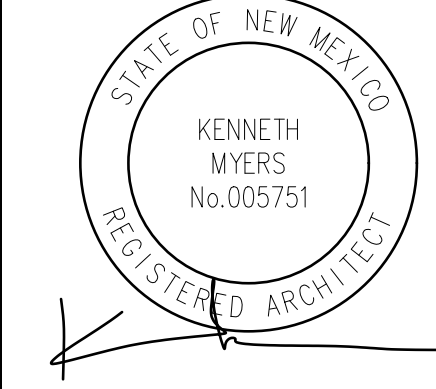
## DRAWING INDEX

AS001	SITE PLAN + COVER SHEET + PROJECT INFO
AS101	ENLARGED SITE PLAN
AS102	ENLARGED SITE PLAN
TC103	TRAFFIC CONTROL LAYOUT DETAILS
RO01	REFUSE PLAN
F-1	FIRE ONE PLAN
F-2	FIRE ONE PLAN
F-3	FIRE ONE PLAN
LP-01	PLANTING PLAN
LP-02	PLANTING PLAN
LS-01	LANDSCAPE PLAN
LS-02	LANDSCAPE PLAN
G1	CONCEPTUAL GRADING AND DRAINAGE PLAN
G2	CONCEPTUAL GRADING AND DRAINAGE PLAN
D1	CONCEPTUAL GRADING AND DRAINAGE PLAN
C1	AMAFCA CROSS SECTIONS
C2	AMAFCA CROSS SECTIONS
MU-1	UTILITY PLANS
MU-2	UTILITY PLANS
MU-3	UTILITY PLANS
A201	ARCHITECTURAL ELEVATIONS- BUILDING TYPE A
A202	ARCHITECTURAL ELEVATIONS- BUILDING TYPE B
A203	ARCHITECTURAL ELEVATIONS- BUILDING TYPE C
A204	ARCHITECTURAL ELEVATIONS- BUILDING TYPE D
A205	ARCHITECTURAL ELEVATIONS- BUILDING TYPE E
R01	ARCHITECTURAL RENDERINGS

BTR | RIO RANCHO HOUSING DEVELOPMENT

GOLF COURSE RD. NW  
ALBUQUERQUE, NM 87114

Architect Stamp:



REMBE

urban design + development  
1716 Central SW, Suite A  
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t: 505-243-0188

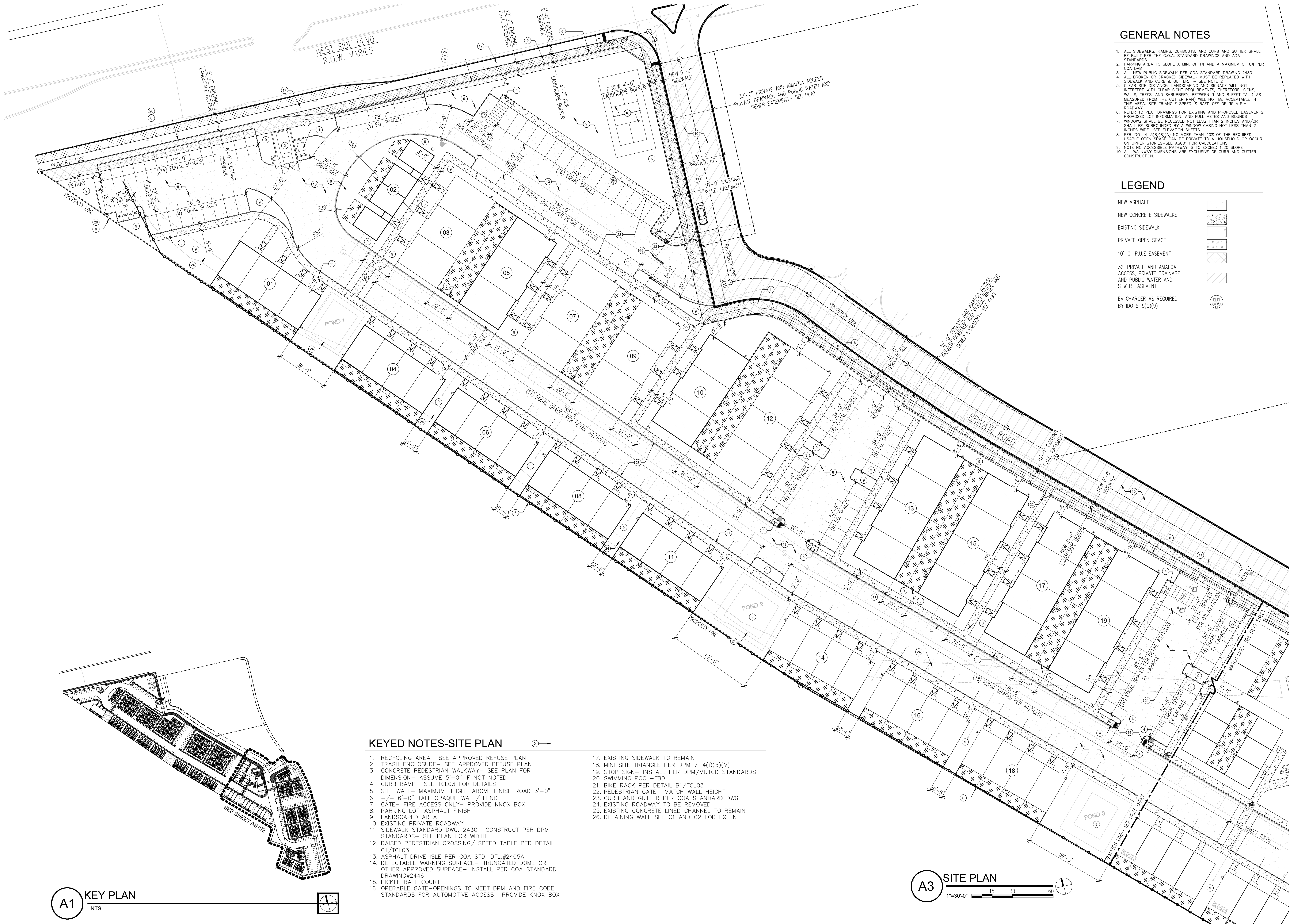
Project:	KMA	Checked By:	KMA
Phase:	DFT SUBMITTAL		
Date:	09/22/2025		

SITE PLAN COVER SHEET

Sheet Number:

AS001





- ### GENERAL NOTES
1. ALL SIDEWALKS, RAMPS, CURBCUTS, AND CURB AND GUTTER SHALL BE BUILT PER THE C.O.A. STANDARD DRAWINGS AND ADA STANDARDS.
  2. PARKING AREA TO SLOPE A MIN. OF 1% AND A MAXIMUM OF 8% PER COA DPM.
  3. ALL NEW PUBLIC SIDEWALK PER COA STANDARD DRAWING 2430.
  4. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. - SEE NOTE 2.
  5. CLEAR SITE DISTANCE, LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY, BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER FAN) WILL NOT BE ACCEPTABLE IN THIS AREA. SITE TRIANGLE SPEED IS BASED OFF OF 35 M.P.H. ROADWAY.
  6. REFER TO PLAT DRAWINGS FOR EXISTING AND PROPOSED EASEMENTS, PROPOSED LOT INFORMATION, AND FULL METES AND BOUNDS.
  7. WINDOWS SHALL BE RECESSED NOT LESS THAN 2 INCHES AND/OR SHALL BE SURROUNDED BY A WINDOW CASING NOT LESS THAN 2 INCHES WIDE- SEE ELEVATION SHEETS.
  8. PER IDO 4-3(B)(8)(A) NO MORE THAN 40% OF THE REQUIRED USABLE OPEN SPACE CAN BE PRIVATE TO A HOUSEHOLD OR OCCUR ON UPPER STORIES-SEE AS001 FOR CALCULATIONS.
  9. NOTE NO ACCESSIBLE PATHWAY IS TO EXCEED 1:20 SLOPE.
  10. ALL WALKWAY DIMENSIONS ARE EXCLUSIVE OF CURB AND GUTTER CONSTRUCTION.

- ### LEGEND
- NEW ASPHALT
  - NEW CONCRETE SIDEWALKS
  - EXISTING SIDEWALK
  - PRIVATE OPEN SPACE
  - 10'-0" P.U.E. EASEMENT
  - 32" PRIVATE AND AMAFCA ACCESS, PRIVATE DRAINAGE AND PUBLIC WATER AND SEWER EASEMENT
  - EV CHARGER AS REQUIRED BY IDO 5-5(C)(9)

- ### KEYED NOTES-SITE PLAN
1. RECYCLING AREA- SEE APPROVED REFUSE PLAN
  2. TRASH ENCLOSURE- SEE APPROVED REFUSE PLAN
  3. CONCRETE PEDESTRIAN WALKWAY- SEE PLAN FOR DIMENSION- ASSUME 5'-0" IF NOT NOTED
  4. CURB RAMP- SEE TLO3 FOR DETAILS
  5. SITE WALL- MAXIMUM HEIGHT ABOVE FINISH ROAD 3'-0"
  6. +/- 6'-0" TALL OPAQUE WALL/ FENCE
  7. GATE- FIRE ACCESS ONLY- PROVIDE KNOX BOX
  8. PARKING LOT- ASPHALT FINISH
  9. LANDSCAPED AREA
  10. EXISTING PRIVATE ROADWAY
  11. SIDEWALK STANDARD DWS. 2430- CONSTRUCT PER DPM STANDARDS- SEE PLAN FOR WIDTH
  12. RAISED PEDESTRIAN CROSSING/ SPEED TABLE PER DETAIL C1/TLO3
  13. ASPHALT DRIVE ISLE PER COA STD. DTL.#2405A
  14. DETECTABLE WARNING SURFACE- TRUNCATED DOME OR OTHER APPROVED SURFACE- INSTALL PER COA STANDARD DRAWING#2446
  15. PICKLE BALL COURT
  16. OPERABLE GATE-OPENINGS TO MEET DPM AND FIRE CODE STANDARDS FOR AUTOMOTIVE ACCESS- PROVIDE KNOX BOX
  17. EXISTING SIDEWALK TO REMAIN
  18. MINI SITE TRIANGLE PER DPM 7-4(I)(5)(V)
  19. STOP SIGN- INSTALL PER DPM/MUTC STANDARD
  20. SWIMMING POOL-TBD
  21. BIKE RACK PER DETAIL B1/TLO3
  22. PEDESTRIAN GATE- MATCH WALL HEIGHT
  23. CURB AND GUTTER PER COA STANDARD DWG
  24. EXISTING ROADWAY TO BE REMOVED
  25. EXISTING CONCRETE LINED CHANNEL TO REMAIN
  26. RETAINING WALL SEE C1 AND C2 FOR EXTENT

**A1 KEY PLAN**  
NTS

**A3 SITE PLAN**  
1"=30'-0"

**BTR | RIO RANCHO HOUSING DEVELOPMENT**  
GOLF COURSE RD. NW  
ALBUQUERQUE, NM 87114

Architect Stamp:  
STATE OF NEW MEXICO  
KENNETH MYERS  
No.005751  
REGISTERED ARCHITECT

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1716 Central SW, Suite A  
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t: 505-243-0188

Project: **KMA** Checked By: **KMA**  
Phase: **DFT SUBMITTAL**  
Date: **09/22/2025**  
ARCHITECTURAL SITE PLAN  
Sheet Number:  
**AS101**





KEYED NOTES-SITE PLAN

1. RECYCLING AREA- SEE APPROVED REFUSE PLAN
2. TRASH ENCLOSURE- SEE APPROVED REFUSE PLAN
3. CONCRETE PEDESTRIAN WALKWAY- SEE PLAN FOR DIMENSION- ASSUME 5'-0" IF NOT NOTED
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5. SITE WALL- MAXIMUM HEIGHT ABOVE FINISH ROAD 3'-0"
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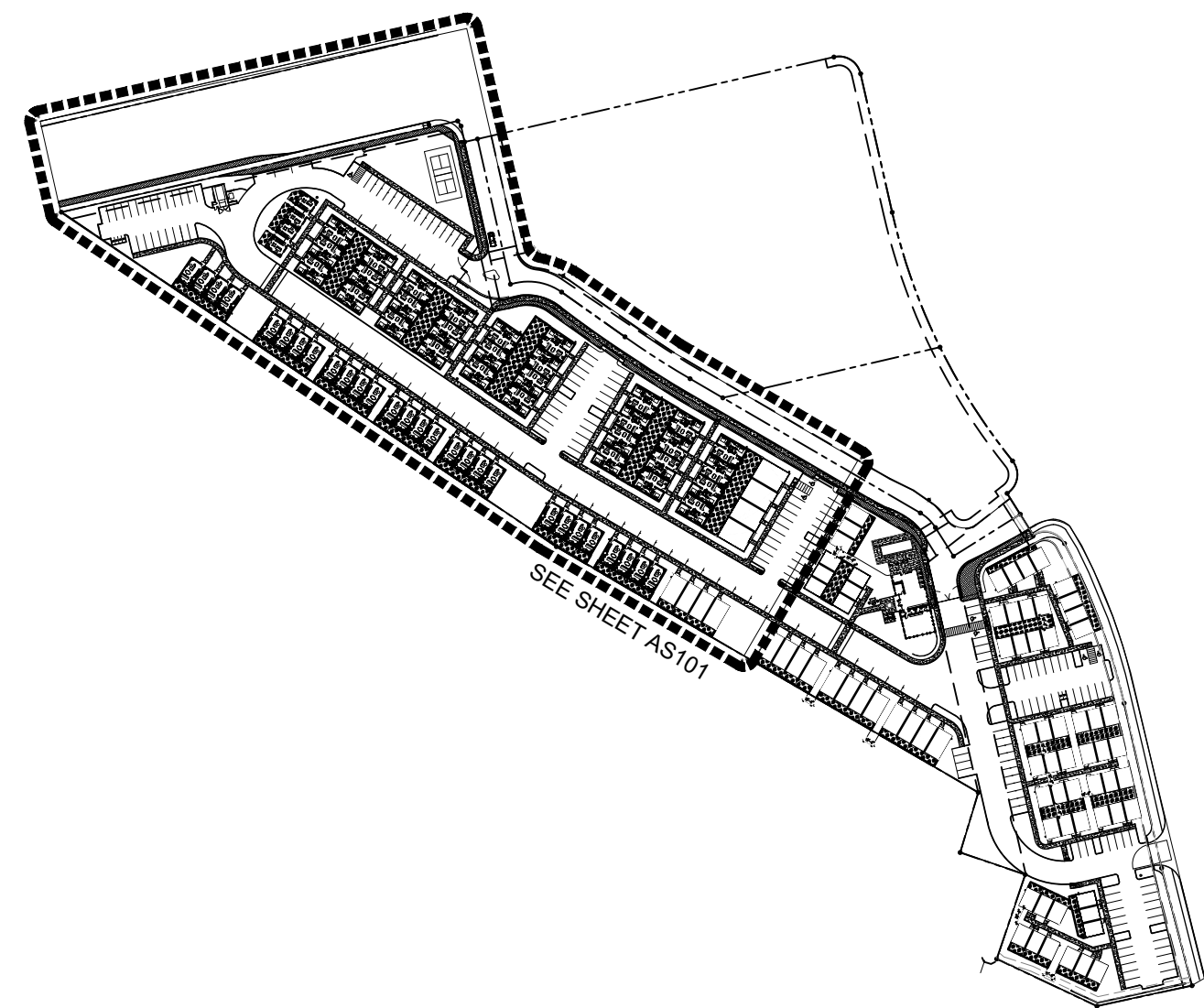
A1 ENLARGED SITE PLAN  
1'-0"=30'-0"

TCL GENERAL NOTES

1. PARKING AREA TO SLOPE A MIN. OF 1% AND A MAXIMUM OF 8% PER COA DPM
2. ALL NEW PUBLIC SIDEWALK PER COA STANDARD DRAWING 2430
3. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER- SEE NOTE 2
4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
5. NOTE NO ACCESSIBLE PATHWAY IS TO EXCEED 1:20 SLOPE
6. ALL WALKWAY DIMENSIONS ARE EXCLUSIVE OF CURB AND GUTTER CONSTRUCTION
7. PROVIDE STANARD CURB AND GUTTER PER STD. DTL.#2406 IN ALL PARKING LOTS, AND ROADWAYS

LEGEND

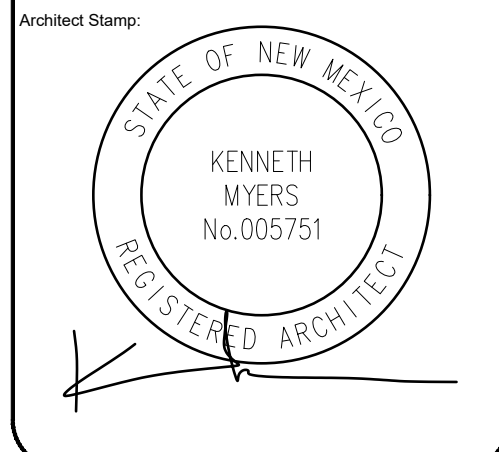
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A4 KEY PLAN  
NTS

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GOLF COURSE RD. NW  
ALBUQUERQUE, NM 87114



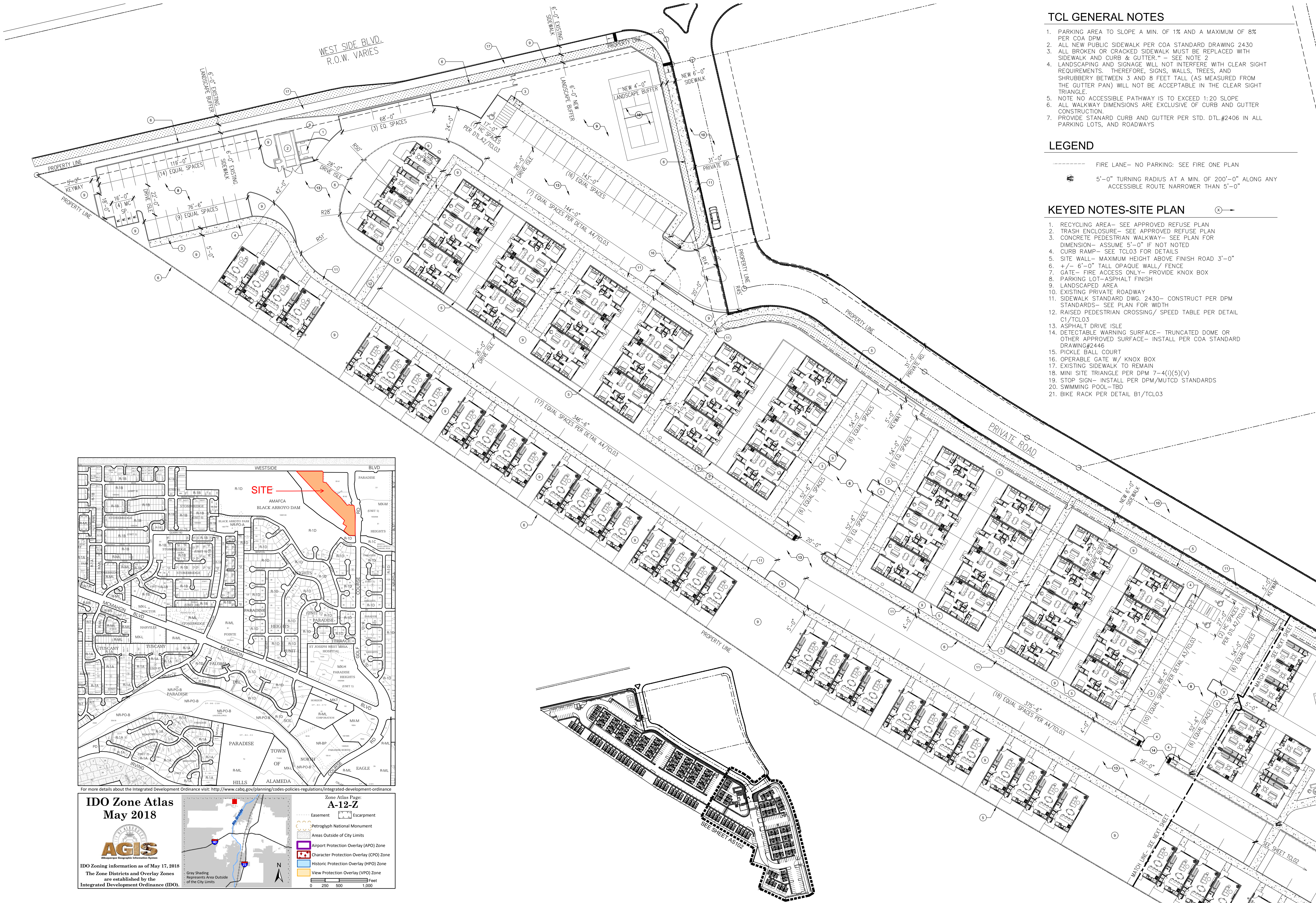
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Project: KMA  
Phase: DFT SUBMITTAL  
Date: 09/22/2025

ARCHITECTURAL SITE PLAN

AS102





TCL GENERAL NOTES

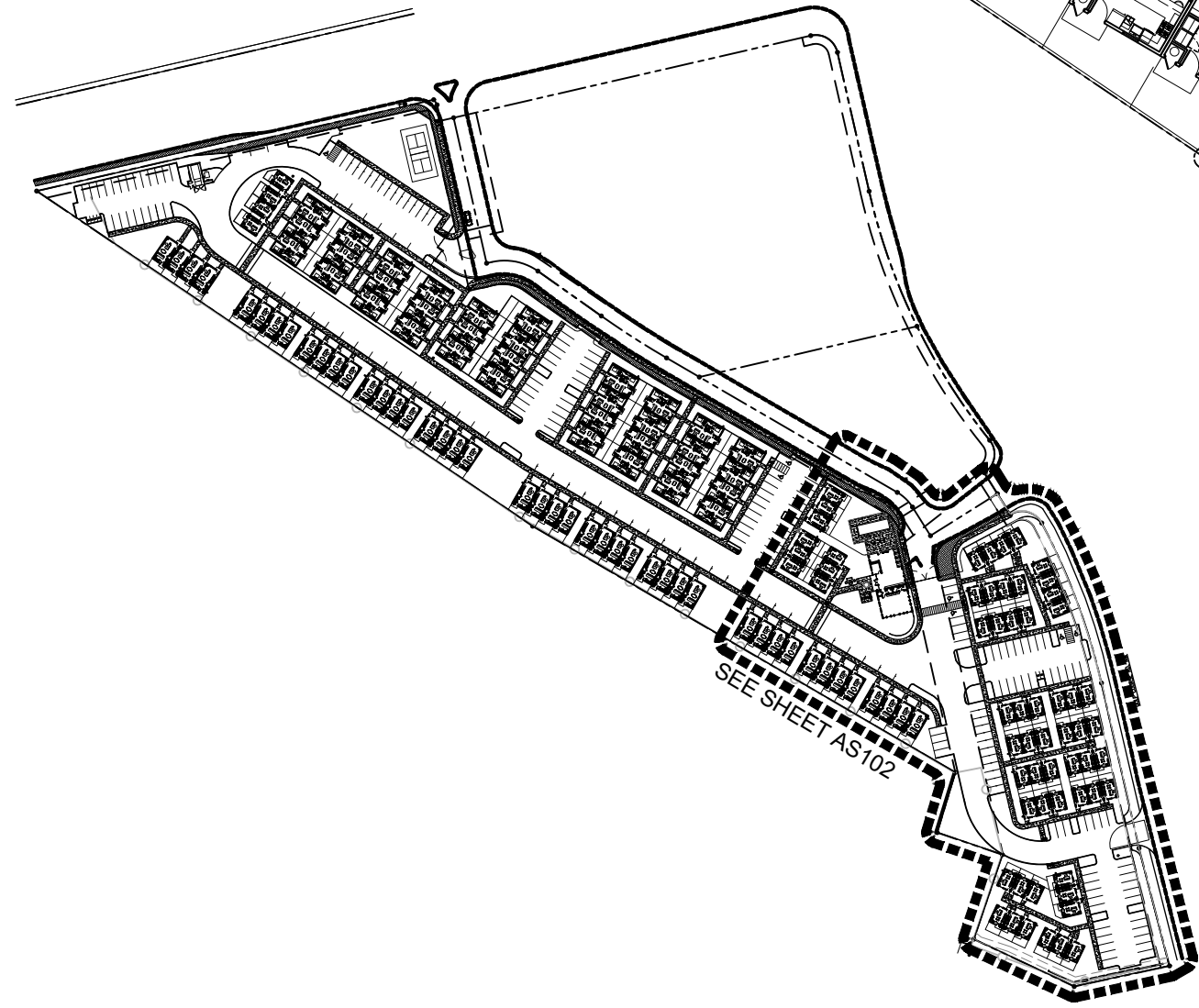
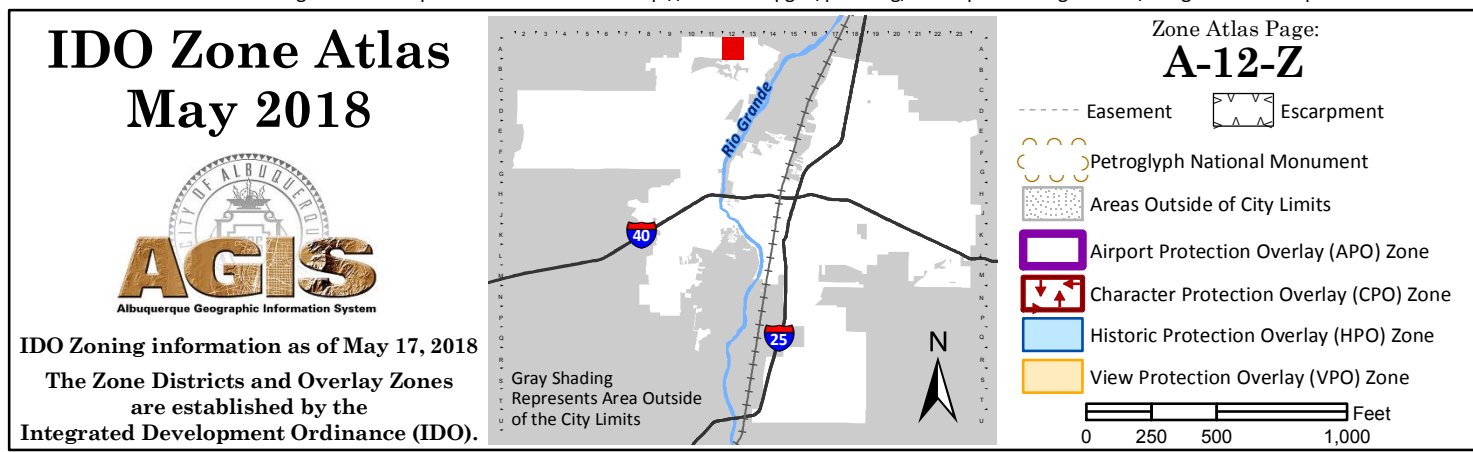
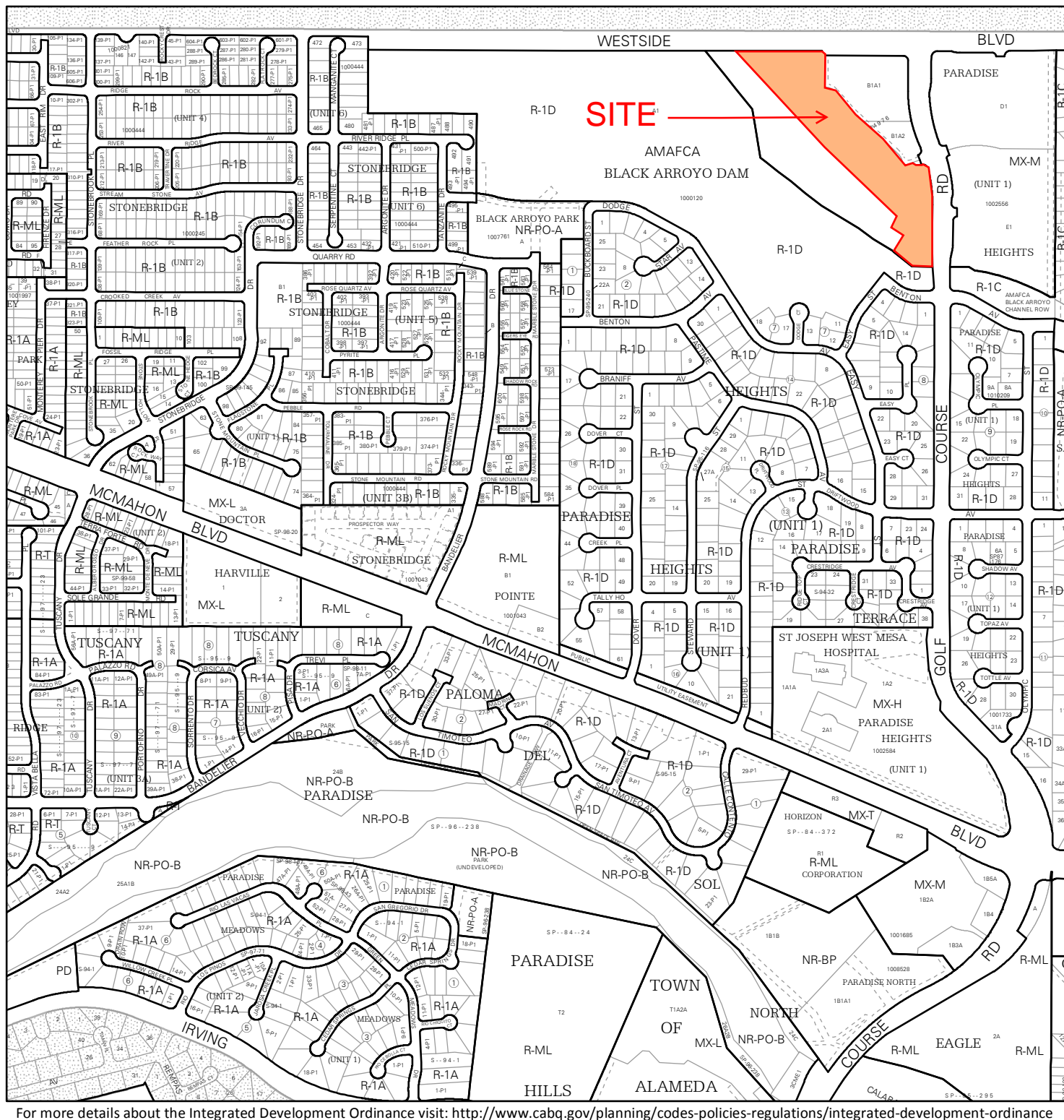
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- 7. PROVIDE STANARD CURB AND GUTTER PER STD. DTL.#2406 IN ALL PARKING LOTS, AND ROADWAYS

LEGEND

- FIRE LANE- NO PARKING: SEE FIRE ONE PLAN
- 5'-0" TURNING RADIUS AT A MIN. OF 200'-0" ALONG ANY ACCESSIBLE ROUTE NARROWER THAN 5'-0"

KEYED NOTES-SITE PLAN

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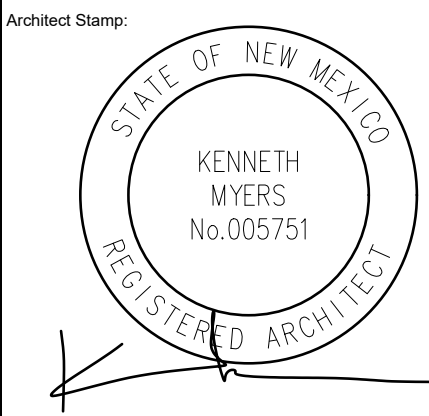
A1 ZONE ATLAS MAP  
NTS

A2 KEY PLAN  
NTS

A3 SITE PLAN  
1"=30'-0"

BTR | RIO RANCHO HOUSING DEVELOPMENT

GOLF COURSE RD. NW  
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Project: KMA  
Phase: DFT SUBMITTAL  
Date: 09/22/2025

TRAFFIC CONTROL  
LAYOUT PLAN

Sheet Number:

TCL01





TCL GENERAL NOTES

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LEGEND

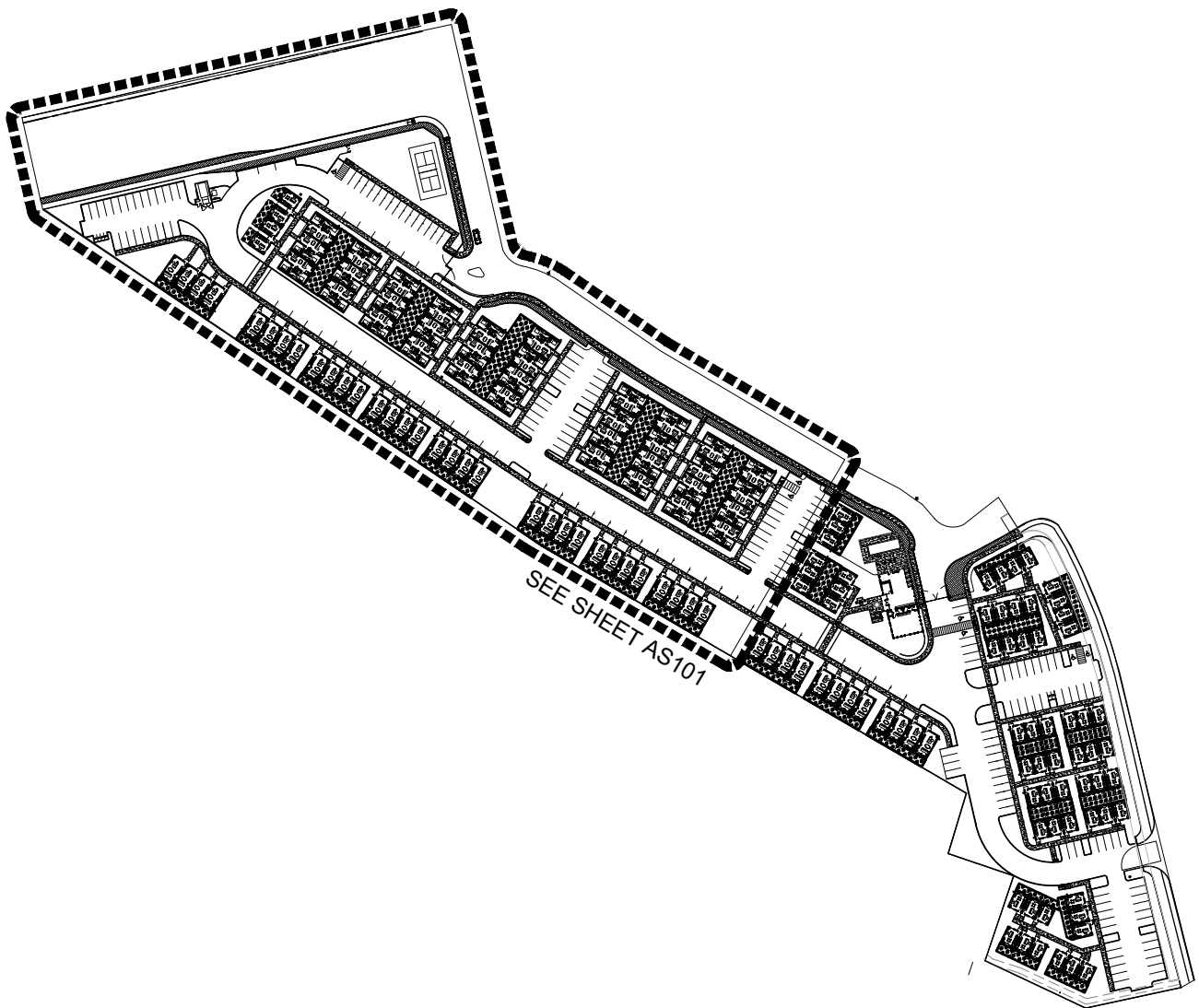
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Parking Calculations	Unit Count/sf.	IDO notes	Multiplier/Credit	Total Req'd	Provided
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		Plus 1 space per 3 design capacity per Table 5-5-2	12	4	
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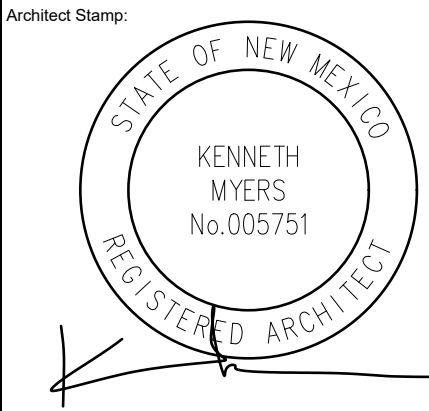
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EV Capable	145	Per 5-5(C)(9) requires 25% of the required spaces be provided as EV capable	25%	36.25	36
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MotorCycle	145	IDO, table 5-5-4: Between 101-150 spaces= 4 MC Spaces required		4	6
Bicycle	145	IDO, table 5-5-5: 10% of required spaces	10%	14.5	14.5



A1 SITE PLAN  
1'-0"=30'-0"

A4 KEY PLAN  
NTS

BTR | RIO RANCHO HOUSING DEVELOPMENT  
GOLF COURSE RD. NW  
ALBUQUERQUE, NM 87114



REMBE  
urban design + development  
1716 Central SW, Suite A  
Albuquerque, NM 87104  
t: 505-243-0188

Project:	KMA	Checked By:	KMA
Phase:	DFT SUBMITTAL		
Date:	09/22/2025		

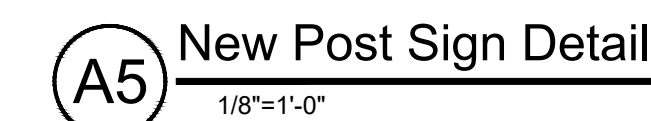
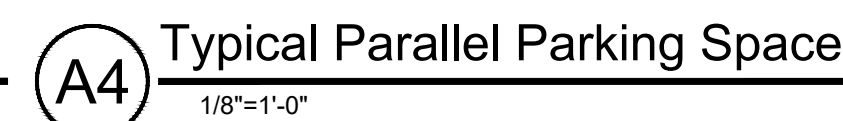
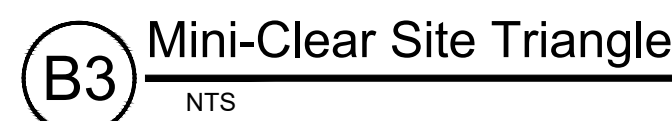
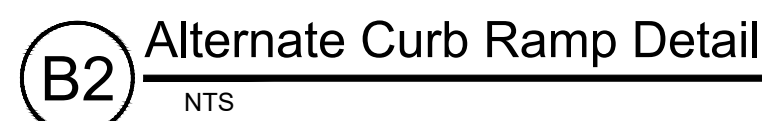
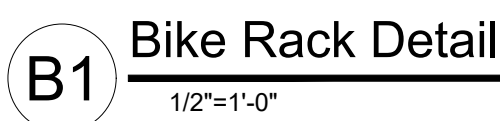
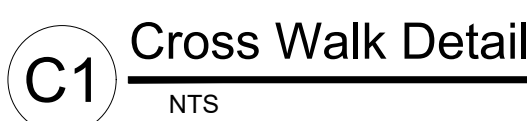
TRAFFIC CONTROL LAYOUT

Sheet Number:

TCL02

DO NOT SCALE DRAWINGS

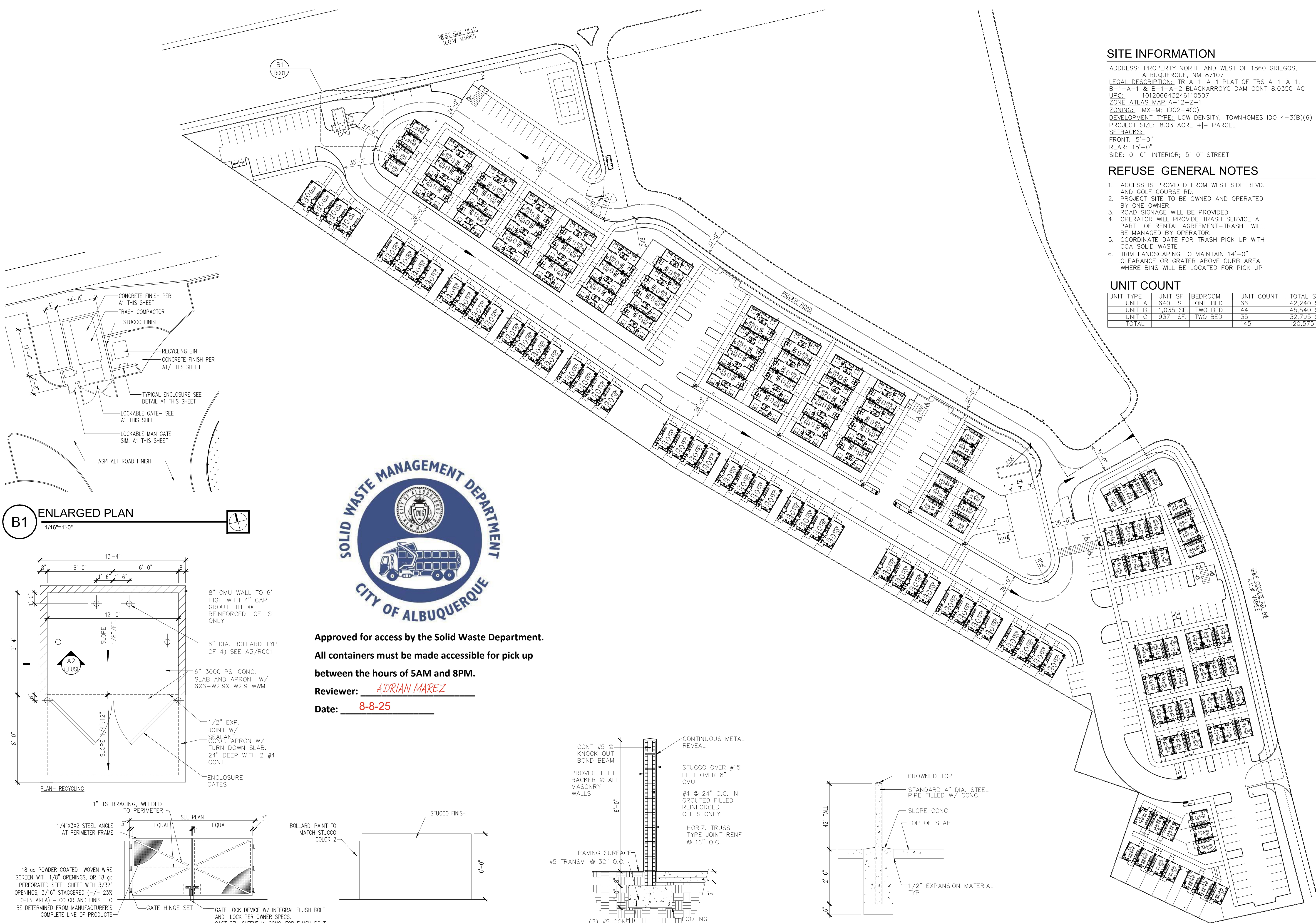




Sheet Number:

# TCL03





SITE INFORMATION

ADDRESS: PROPERTY NORTH AND WEST OF 1860 GRIEGOS, ALBUQUERQUE, NM 87107  
LEGAL DESCRIPTION: TR A-1-A-1 PLAT OF TRS A-1-A-1, B-1-A-1 & B-1-A-2 BLACKARROYO DAM CONT 8.0350 AC UPL: 101206643246110507  
ZONE ATLAS MAP: A-12-Z-1  
ZONING: MX-M; ID02-4(C)  
DEVELOPMENT TYPE: LOW DENSITY; TOWNHOMES ID0 4-3(B)(6)  
PROJECT SIZE: 8.03 ACRE +/- PARCEL  
SETBACKS:  
FRONT: 5'-0"  
REAR: 15'-0"  
SIDE: 0'-0"-INTERIOR; 5'-0" STREET

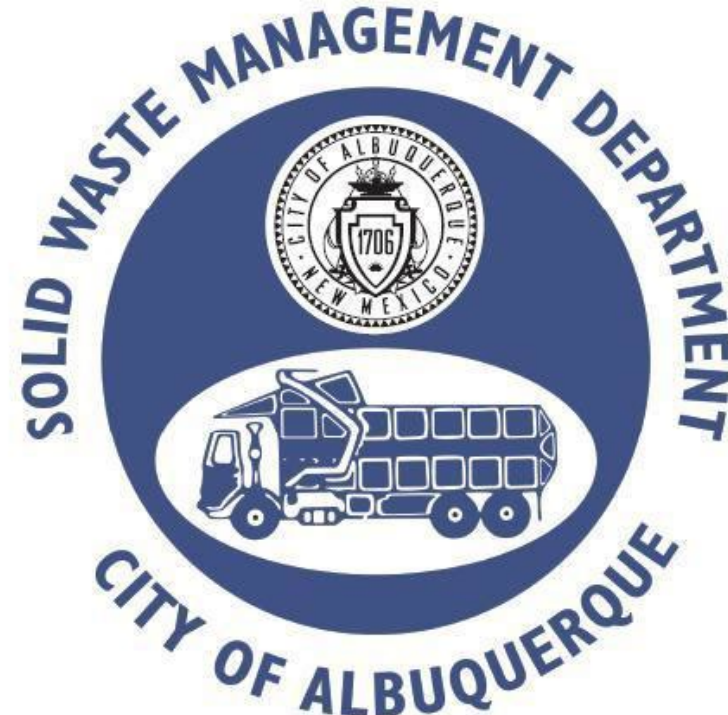
REFUSE GENERAL NOTES

- ACCESS IS PROVIDED FROM WEST SIDE BLVD. AND GOLF COURSE RD.
- PROJECT SITE TO BE OWNED AND OPERATED BY ONE OWNER.
- ROAD SIGNAGE WILL BE PROVIDED
- OPERATOR WILL PROVIDE TRASH SERVICE A PART OF RENTAL AGREEMENT-TRASH WILL BE MANAGED BY OPERATOR.
- COORDINATE DATE FOR TRASH PICK UP WITH COA SOLID WASTE
- TRIM LANDSCAPING TO MAINTAIN 14'-0" CLEARANCE OR GRATER ABOVE CURB AREA WHERE BINS WILL BE LOCATED FOR PICK UP

UNIT COUNT

UNIT TYPE	UNIT SF.	BEDROOM	UNIT COUNT	TOTAL SF.
UNIT A	640 SF.	ONE BED	66	42,240 SF.
UNIT B	1,035 SF.	TWO BED	44	45,540 SF.
UNIT C	937 SF.	TWO BED	35	32,795 SF.
TOTAL			145	120,575 SF.

B1 ENLARGED PLAN  
1/16"=1'-0"

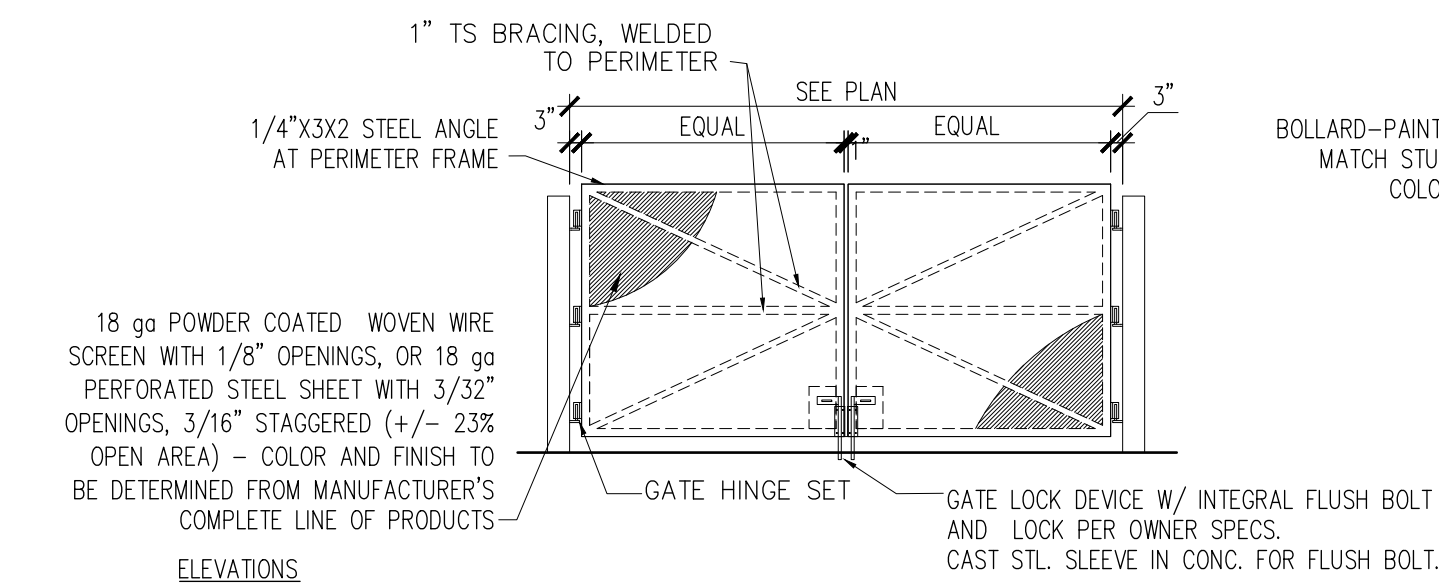
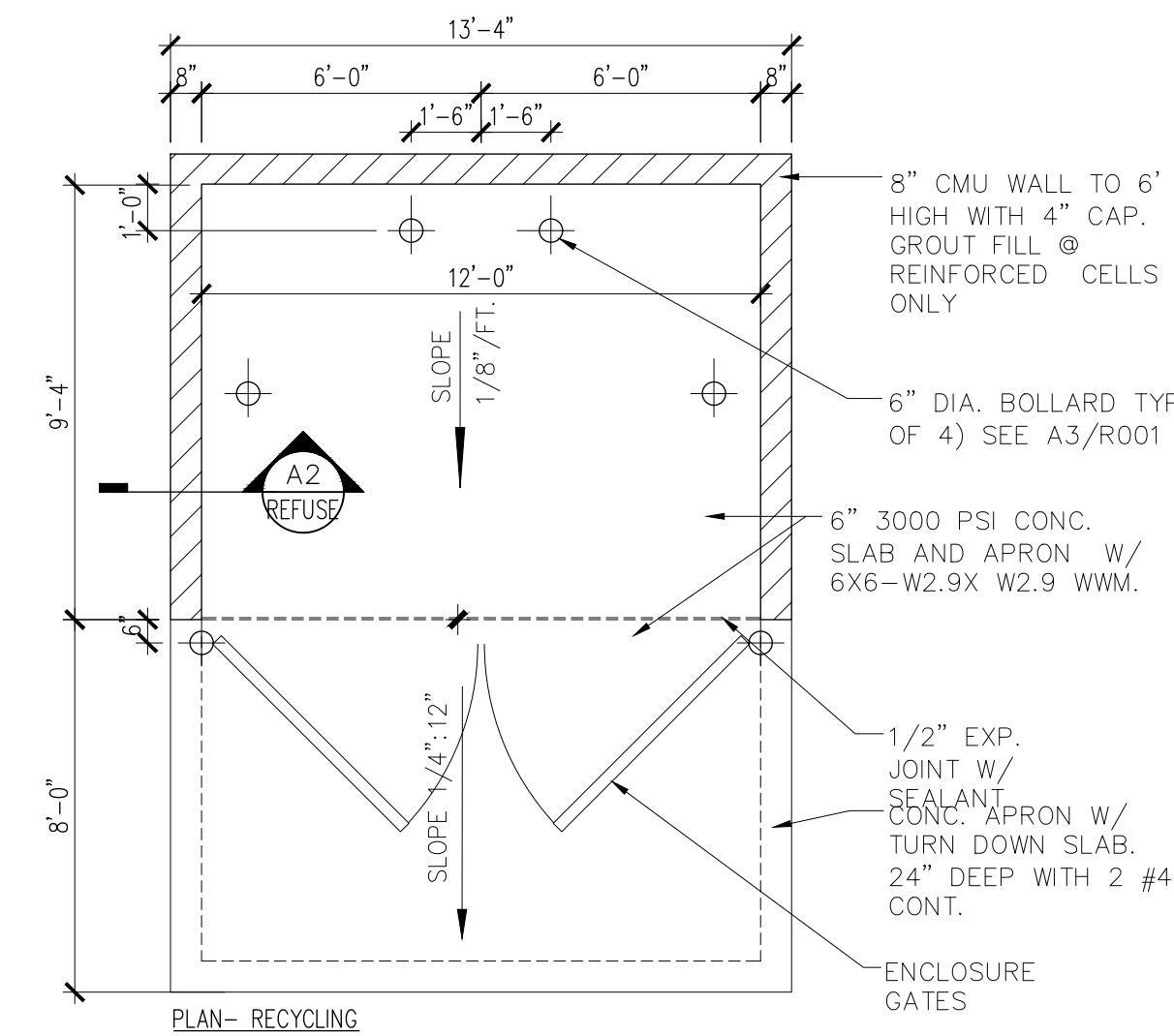


Approved for access by the Solid Waste Department.

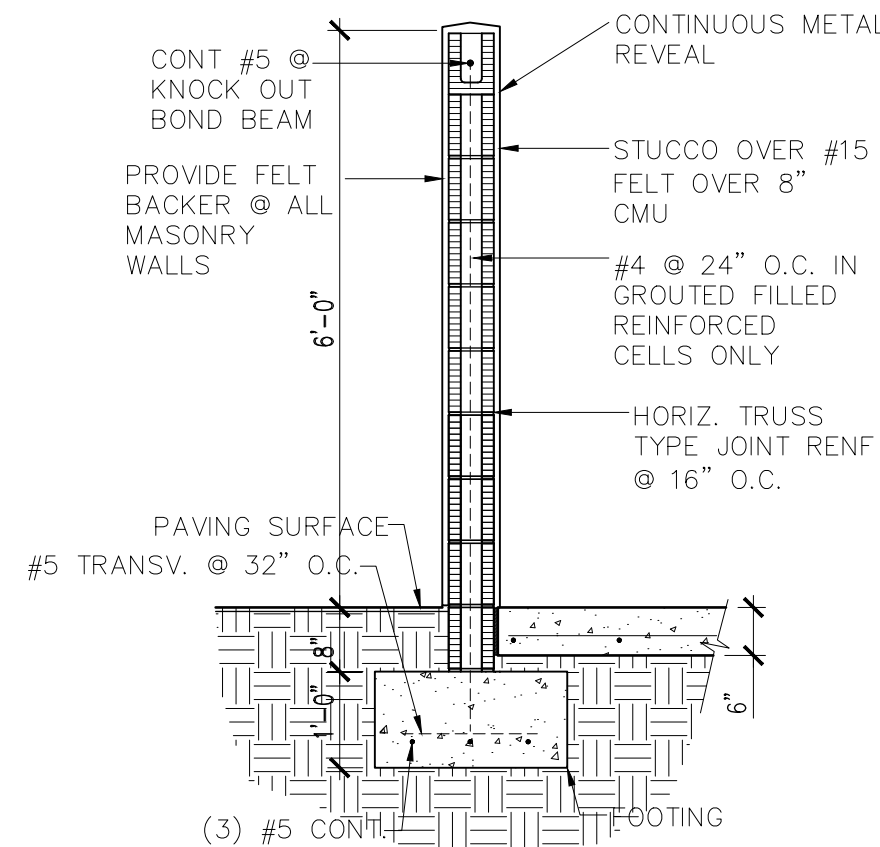
All containers must be made accessible for pick up between the hours of 5AM and 8PM.

Reviewer: ADRIAN MAREZ

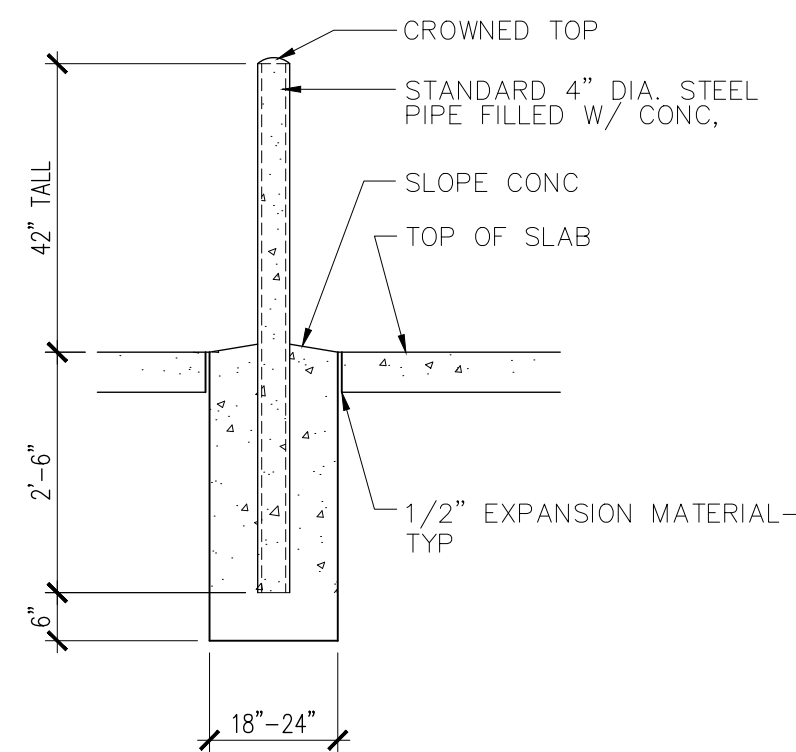
Date: 8-8-25



A1 TYPICAL REFUSE ENCLOSURE DETAILS  
1'-0"=50'-0"



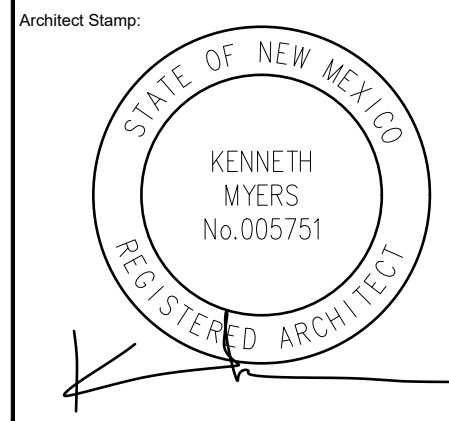
A2 TYPICAL TRASH ENCLOSURE WALL DETAIL  
1'-0"=50'-0"



A3 BOLLARD DETAIL  
1'-0"=50'-0"

A4 SITE PLAN- REFUSE PLAN  
1'-0"=50'-0"

BTR | RIO RANCHO HOUSING DEVELOPMENT  
GOLF COURSE RD. NW  
ALBUQUERQUE, NM 87114



REMBE  
urban design + development  
1716 Central SW, Suite A  
Albuquerque, NM 87104  
t: 505-243-0188

Project:	BTR-GOLF CRSE
Drawn By:	KMA
Checked By:	KMA
Phase:	CONCEPTUAL
Date:	08/08/2025

REFUSE PLAN

Sheet Number:  
R001

DO NOT SCALE DRAWINGS



KEYED NOTES

- 1

EXISTING UNOBSTRUCTED PUBLIC FIRE HYDRANT
- 2

UNIT NUMBERS (TYP.) ADDRESS
- 3

KNOX BOX
- 4

PROPOSED FIRE HYDRANT AND 6" GATE VALVE
- 5

PIV
- 6

FDC

NOTES

1. ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL.
2. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS.
3. KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.

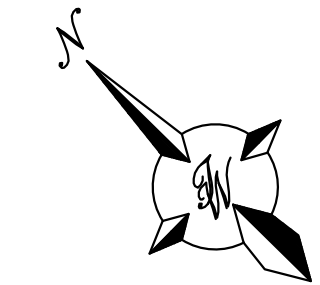
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- BUILDING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- FIRE ACCESS
- NO PARKING FIRE LANE LINE
- EXISTING FIRE HYDRANT
- PROPOSED HYDRANT

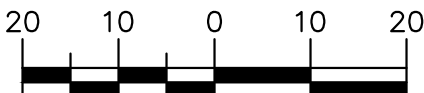


ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION  
**PERMIT**  
PERMIT NUMBER: FP-25-100251  
APPROVED DATE: 06/12/2025  
**APPROVED**

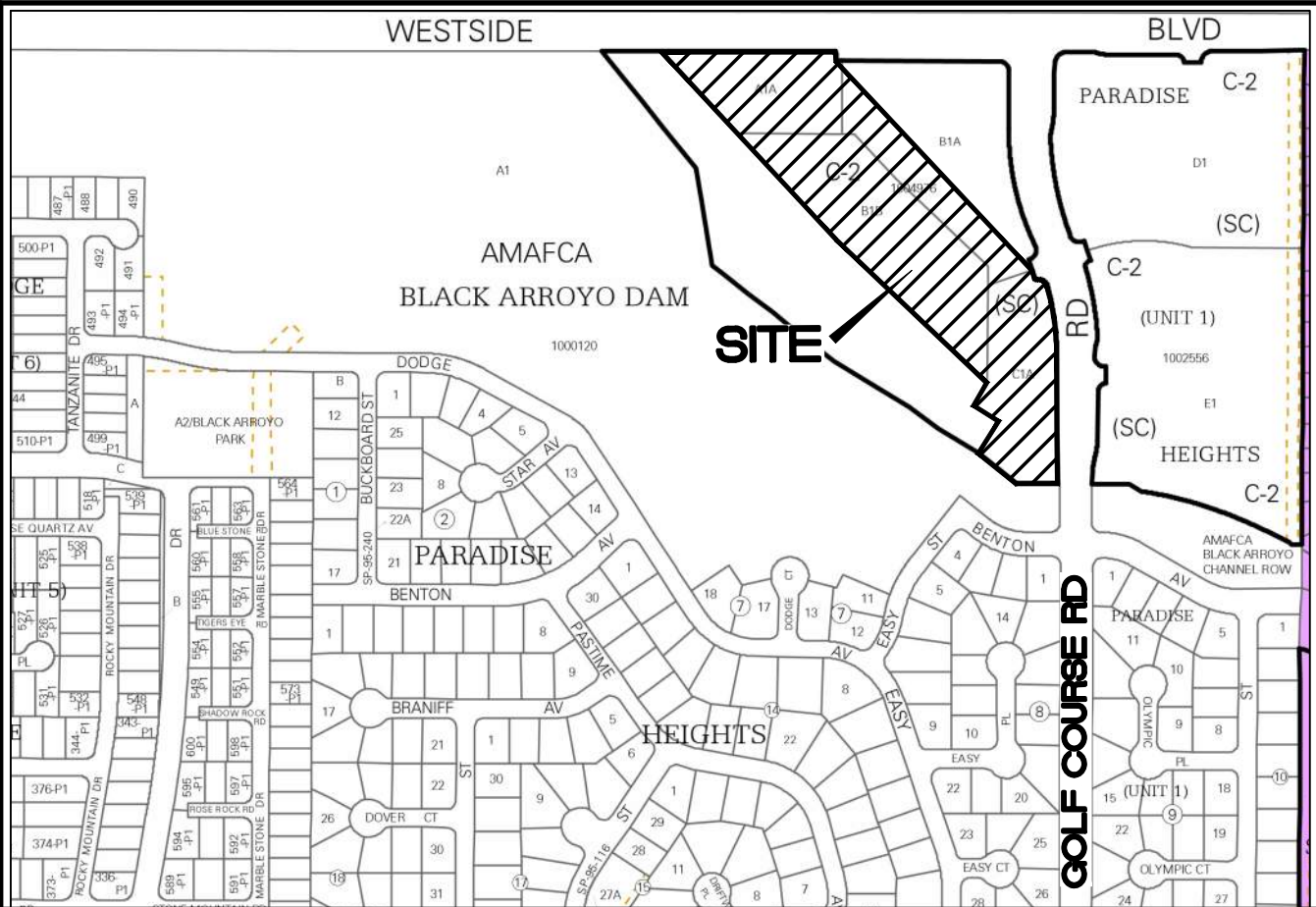
THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.  
**FIRE FLOW: 1500 GPM/ 1 HYDRANT**



GRAPHIC SCALE



SCALE: 1"=20'

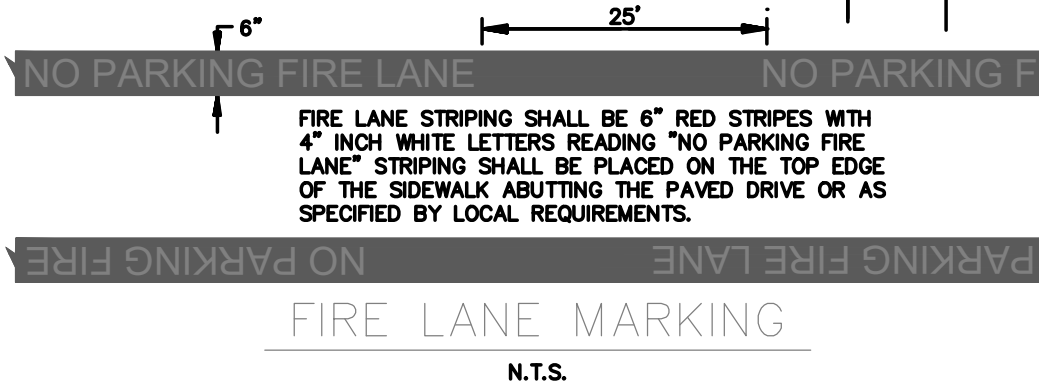
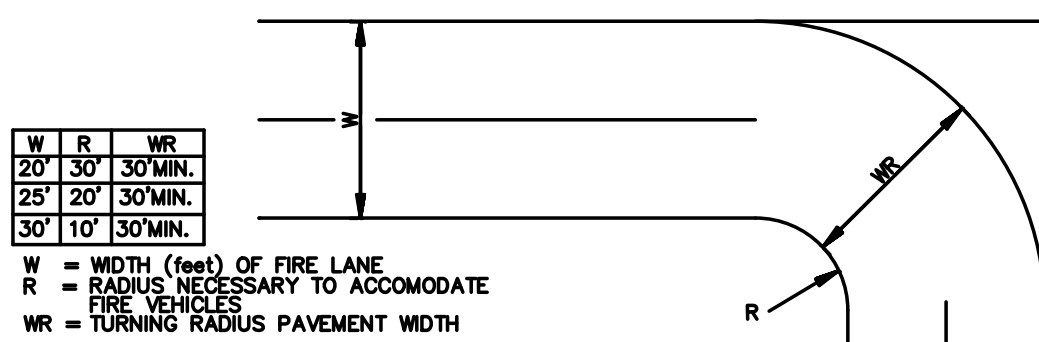


VICINITY MAP

A-12-Z

LEGAL DESCRIPTION:

BLACK ARROYO DAM SUBDIVISION - ALBUQUERQUE, BERNILLO COUNTY, NEW MEXICO



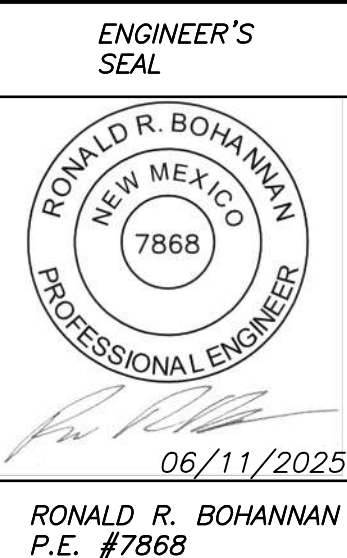
ALBUQUERQUE, NM

RESIDENTIAL  
OCCUPANCY TYPE: TOWNHOMES  
ASSEMBLY NFPA 101 2018 CHAPTER 6

**BUILDING A**  
BUILDING AREA: 650 SF  
CONSTRUCTION TYPE: V-B  
BUILDING IS NON-SPRINKLED  
MAX BUILDING HEIGHT 28' TO PEAK  
FIRE-FLOW = 1,500 GPM

**BUILDING B**  
BUILDING AREA: 1,035 SF  
CONSTRUCTION TYPE: V-B  
BUILDING IS NON-SPRINKLED  
MAX BUILDING HEIGHT 28' TO PEAK  
FIRE-FLOW = 1,500 GPM

**BUILDING C**  
BUILDING AREA: 940 SF  
CONSTRUCTION TYPE: V-B  
BUILDING IS NON-SPRINKLED  
MAX BUILDING HEIGHT 28' TO PEAK  
FIRE-FLOW = 1,500 GPM



JAY REMBE SUBDIVISION  
ALBUQUERQUE, NM  
**FIRE ONE  
PLAN**

**TIERRA WEST, LLC**  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505)858-3100

AS  
06-11-25  
SHEET #  
**F-1**  
JOB #  
2024054

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

MATCHLINE ~ SEE NEXT SHEET



KEYED NOTES

- 1

EXISTING UNOBSTRUCTED  
PUBLIC FIRE HYDRANT
- 2

UNIT NUMBERS (TYP.)  
ADDRESS
- 3

KNOX BOX
- 4

PROPOSED FIRE HYDRANT AND  
6" GATE VALVE
- 5

PIV
- 6

FDC

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IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE  
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FEET ABOVE GRADE AND SHALL BE ILLUMINATED.

ALBUQUERQUE, NM

RESIDENTIAL  
OCCUPANCY TYPE: TOWNHOMES  
ASSEMBLY NFPA 101 2018 CHAPTER 6

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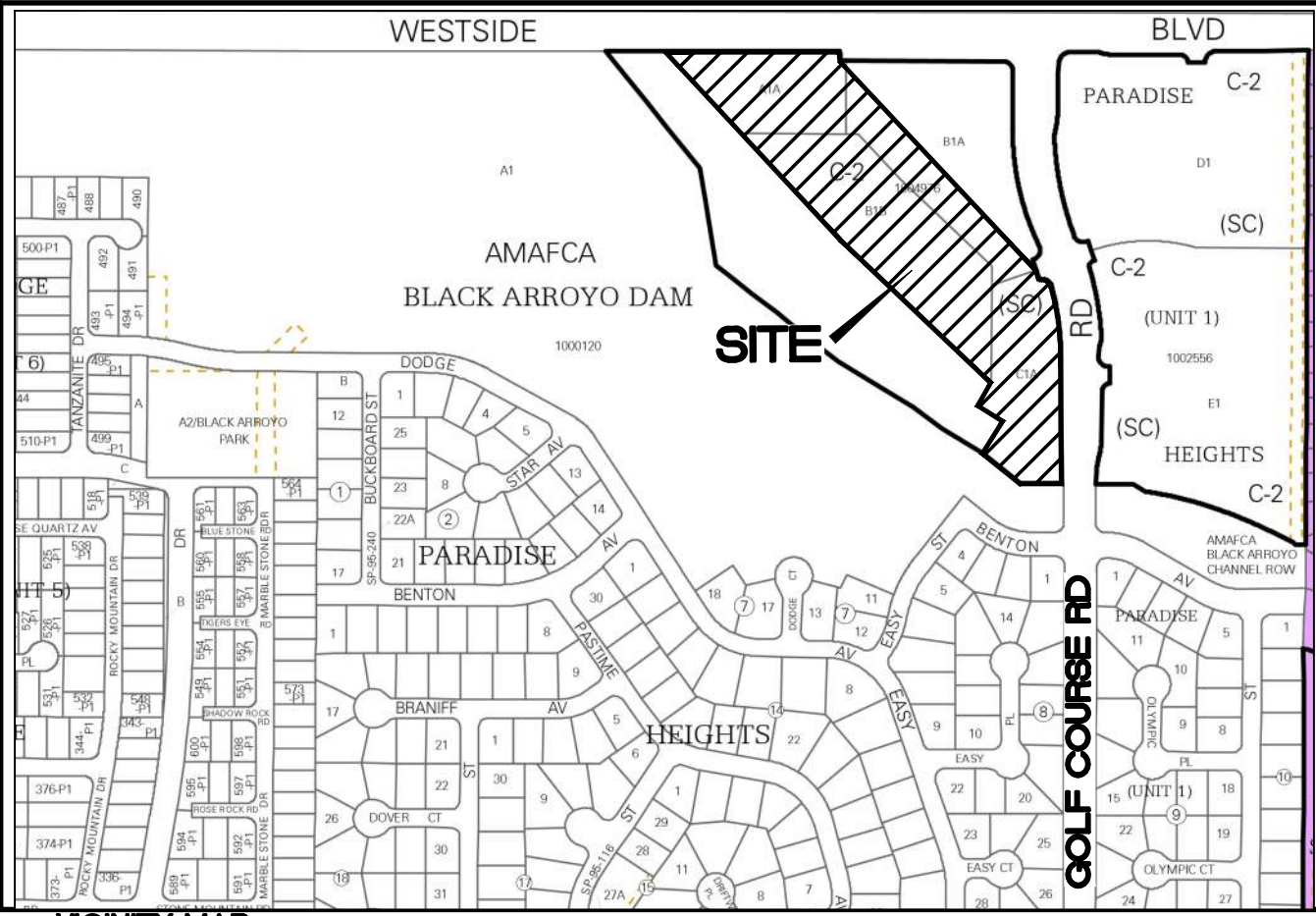
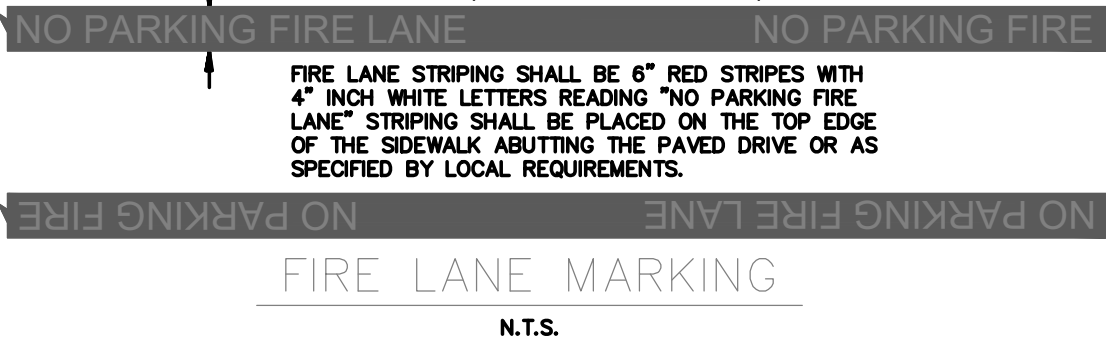
**BUILDING B**  
BUILDING AREA: 1,035 SF  
CONSTRUCTION TYPE: V-B  
BUILDING IS NON-SPRINKLED  
MAX BUILDING HEIGHT 28' TO PEAK  
FIRE-FLOW = 1,500 GPM

**BUILDING C**  
BUILDING AREA: 940 SF  
CONSTRUCTION TYPE: V-B  
BUILDING IS NON-SPRINKLED  
MAX BUILDING HEIGHT 28' TO PEAK  
FIRE-FLOW = 1,500 GPM

**AMENITIES BUILDING**  
BUILDING AREA: 940 SF  
CONSTRUCTION TYPE: V-B  
BUILDING IS NON-SPRINKLED  
MAX BUILDING HEIGHT 28' TO PEAK  
FIRE-FLOW = 1,500 GPM

W	R	WR
20'	30'	30' MIN.
25'	20'	30' MIN.
30'	10'	30' MIN.

W = WIDTH (feet) OF FIRE LANE  
R = RADIUS NECESSARY TO ACCOMMODATE  
FIRE VEHICLES  
WR = TURNING RADIUS PAVEMENT WIDTH



**LEGAL DESCRIPTION:**  
BLACK ARROYO DAM SUBDIVISION - ALBUQUERQUE, BERNILLO COUNTY, NEW MEXICO

MATCHLINE ~ SEE PREVIOUS SHEET

- LEGEND**
- CURB & GUTTER
  - BOUNDARY LINE
  - BUILDING
  - EXISTING CURB & GUTTER
  - EXISTING BOUNDARY LINE
  - FIRE ACCESS
  - NO PARKING FIRE LANE LINE
  - EXISTING FIRE HYDRANT
  - PROPOSED HYDRANT

CAUTION

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ENGINEER'S SEAL  
RONALD R. BOHANNAN  
NEW MEXICO  
7868  
PROFESSIONAL ENGINEER  
06/11/2025  
RONALD R. BOHANNAN  
P.E. #7868

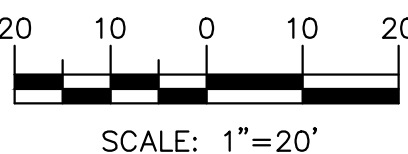
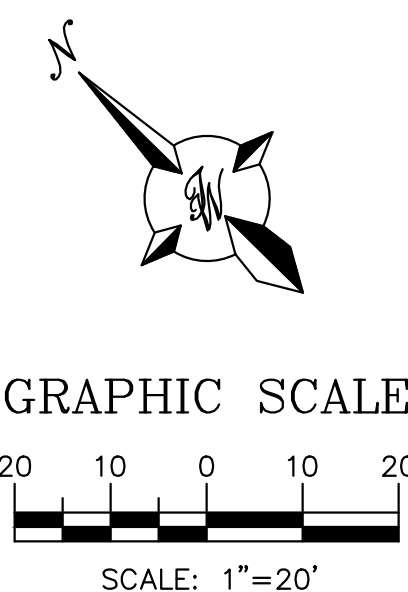
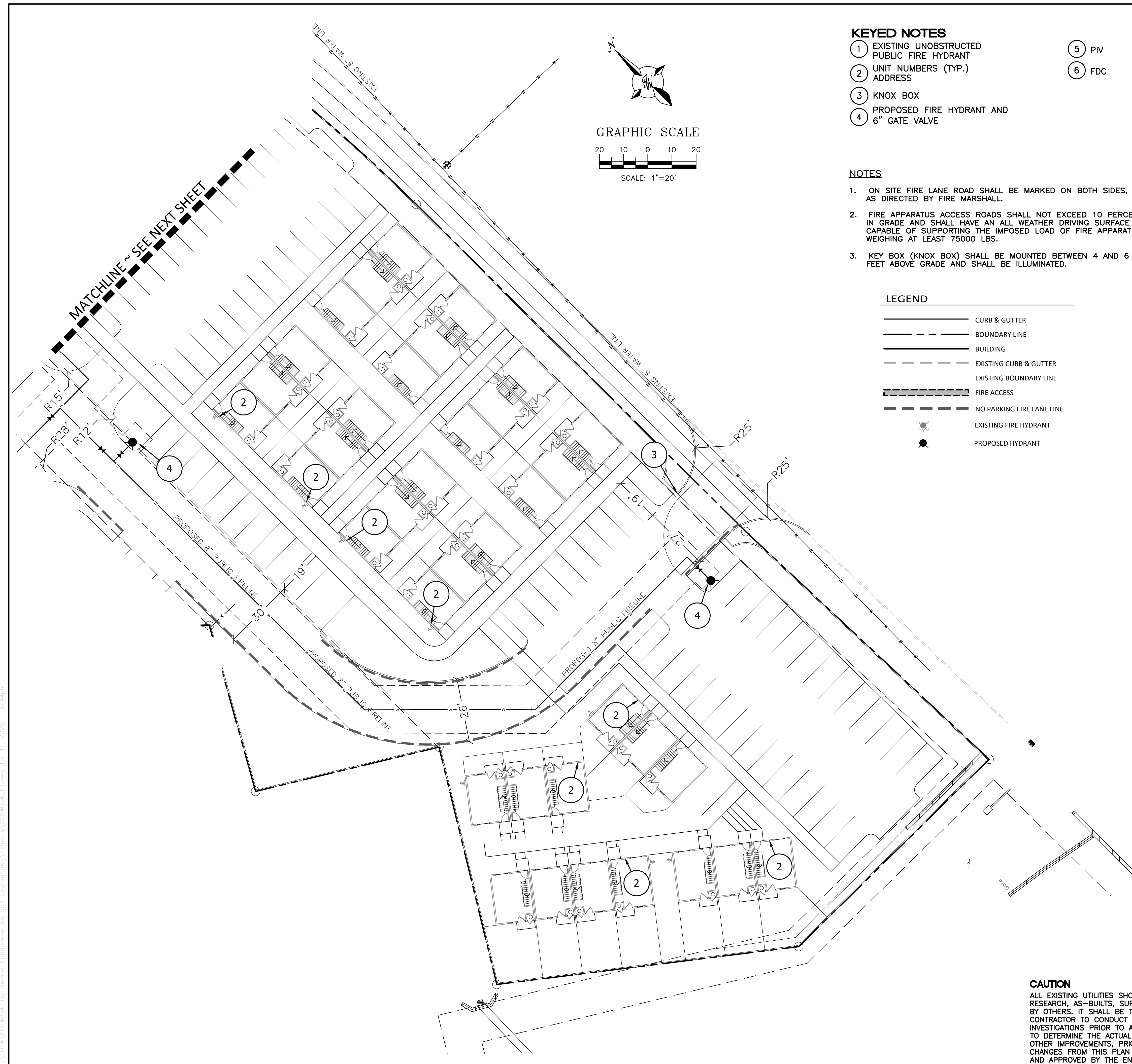
JAY REMBE SUBDIVISION  
ALBUQUERQUE, NM

FIRE ONE  
PLAN

TIERRA WEST, LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505)858-3100

AS  
06-11-25  
SHEET #  
F-2  
JOB #  
2024054














## KEYED NOTES

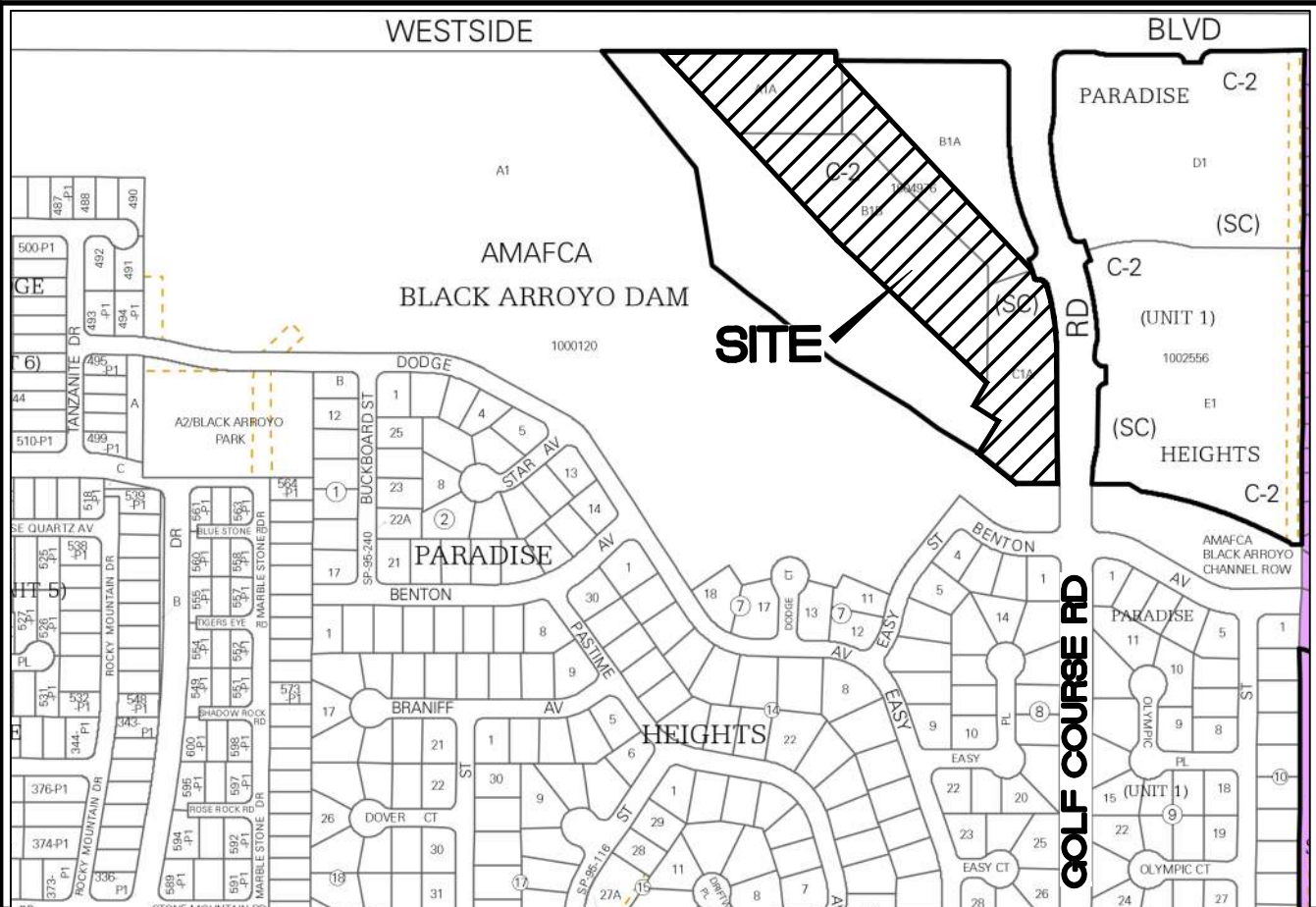
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|--|-------|
| ① EXISTING UNOBSTRUCTED<br>PUBLIC FIRE HYDRANT | ⑤ PIV |
| ② UNIT NUMBERS (TYP.)<br>ADDRESS               | ⑥ FDO |
| ③ KNOX BOX                                     |       |
| ④ PROPOSED FIRE HYDRANT AND<br>6" GATE VALVE   |       |

## NOTES

1. ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL.
2. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS.
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## LEGEND

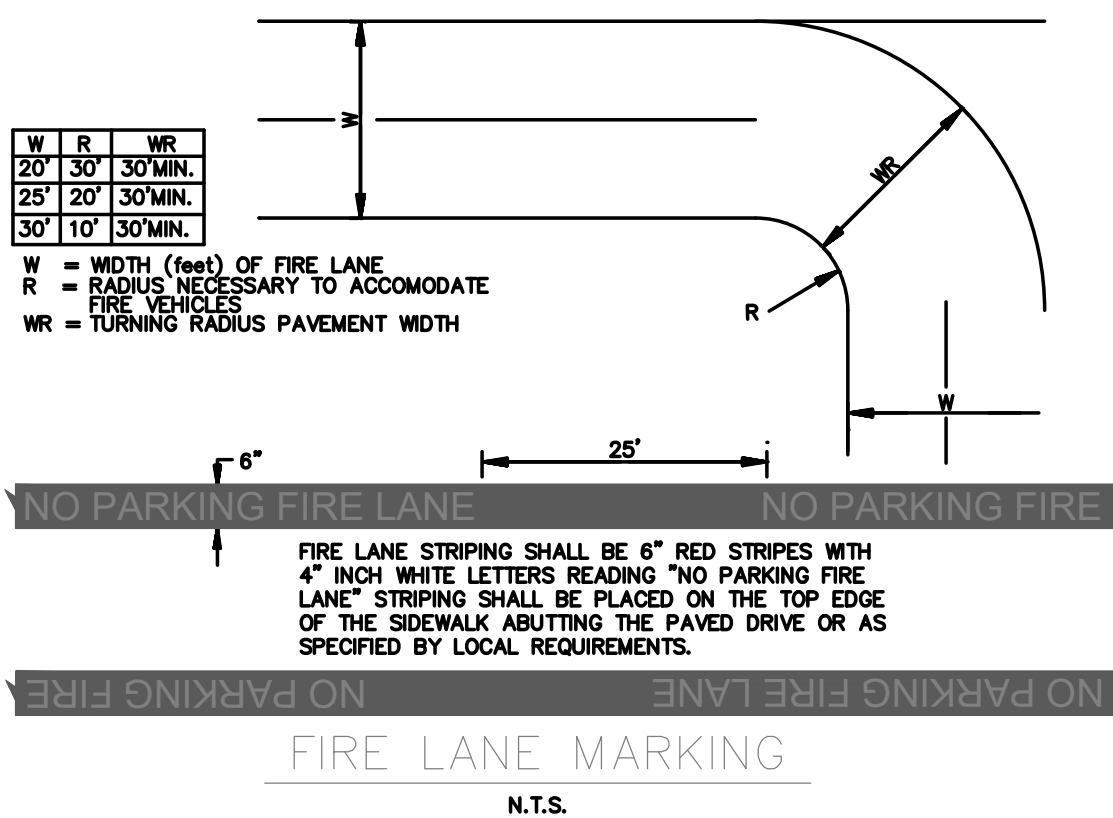
-  CURB & GUTTER  
 BOUNDARY LINE  
 BUILDING  
 EXISTING CURB & GUTTER  
 EXISTING BOUNDARY LINE  
 FIRE ACCESS  
 NO PARKING FIRE LANE LINE  
 EXISTING FIRE HYDRANT  
 PROPOSED HYDRANT



**A-12-Z**

## LEGAL DESCRIPTION

BLACK ARROYO DAM SUBDIVISION – ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



N.T.S

ALBUQUERQUE, NM

RESIDENTIAL  
OCCUPANCY TYPE: TOWNHOMES  
ASSEMBLY NFPA 101 2018 CHAPTER 6

**BUILDING A**  
**BUILDING AREA: 650 SF**  
**CONSTRUCTION TYPE: V-B**  
**BUILDING IS NON-SPRINKLED**  
**MAX BUILDING HEIGHT 28' TO PEAK**  
**FIRE-FLOW = 1,500 GPM**

BUILDING B  
BUILDING AREA: 1,035 SF  
CONSTRUCTION TYPE: V-B  
BUILDING IS NON-SPRINKLED  
MAX BUILDING HEIGHT 28' TO PEAK  
FIRE-FLOW = 1,500 GPM

BUILDING C  
BUILDING AREA: 940 SF  
CONSTRUCTION TYPE: V-B  
BUILDING IS NON-SPRINKLED  
MAX BUILDING HEIGHT 28' TO PEAK  
FIRE-FLOW = 1,500 GPM



JAY REMBE SUBDIVISION  
ALBUQUERQUE, NM

## FIRE ONE PLAN

**TIERRA WEST, LLC**  
5571 MIDWAY PARK PLACE N  
ALBUQUERQUE, NEW MEXICO 87105  
(505)858-3100

AS

6-11-25

SHEET #

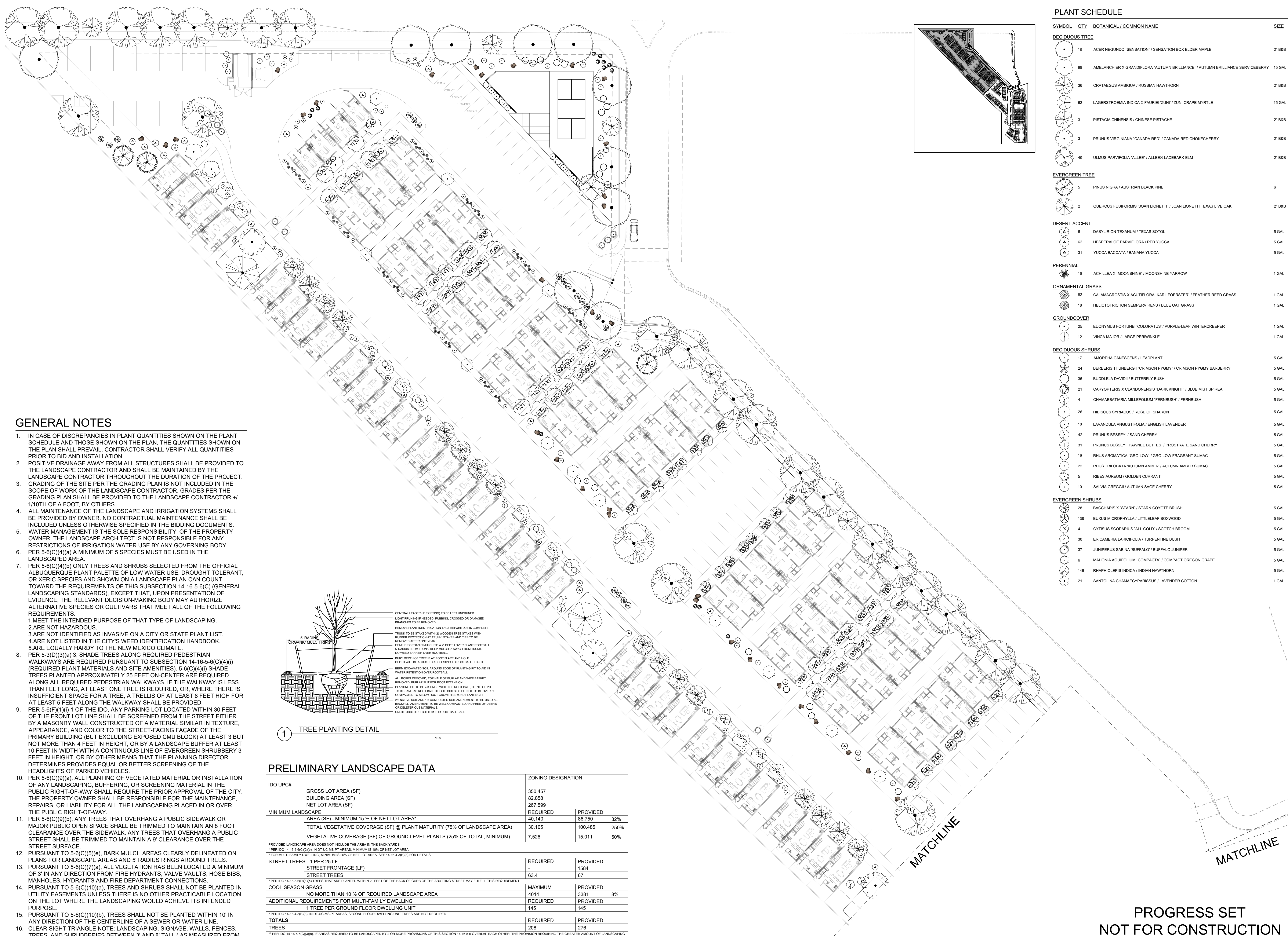
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## CAUTION

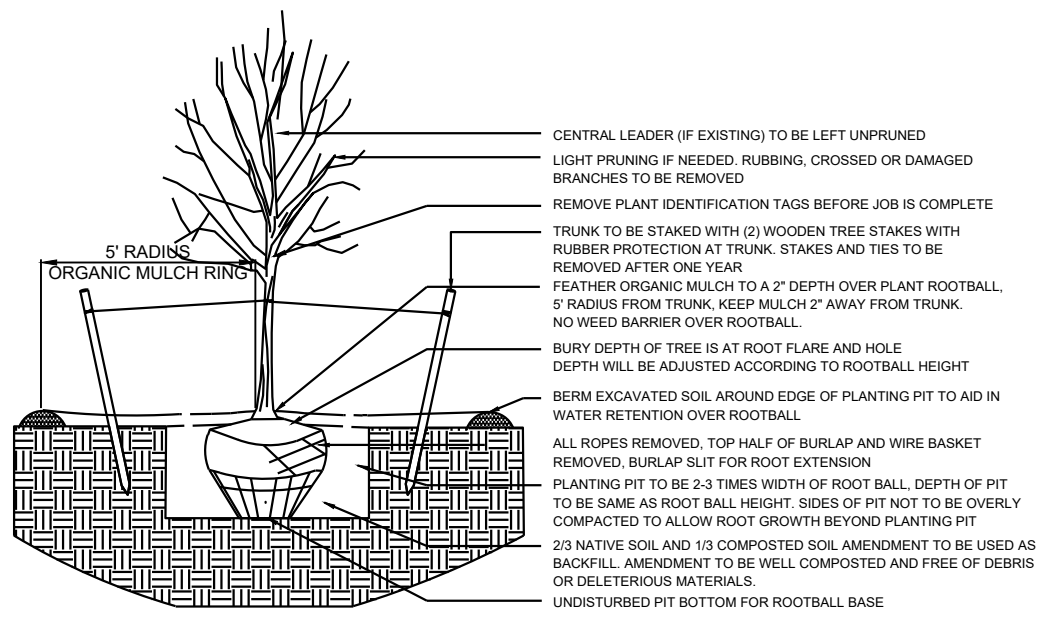
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GENERAL NOTES

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR AND SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT.
- GRADING OF THE SITE PER THE GRADING PLAN IS NOT INCLUDED IN THE SCOPE OF WORK OF THE LANDSCAPE CONTRACTOR. GRADES PER THE GRADING PLAN SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR +/- 1/10TH OF A FOOT, BY OTHERS.
- ALL MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. NO CONTRACTUAL MAINTENANCE SHALL BE INCLUDED UNLESS OTHERWISE SPECIFIED IN THE BIDDING DOCUMENTS.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY RESTRICTIONS OF IRRIGATION WATER USE BY ANY GOVERNING BODY.
- PER 5-6(C)(4)(a) A MINIMUM OF 5 SPECIES MUST BE USED IN THE LANDSCAPED AREA.
- PER 5-6(C)(4)(b) ONLY TREES AND SHRUBS SELECTED FROM THE OFFICIAL ALBUQUERQUE PLANT PALETTE OF LOW WATER USE, DROUGHT TOLERANT, OR XERIC SPECIES AND SHOWN ON A LANDSCAPE PLAN CAN COUNT TOWARD THE REQUIREMENTS OF THIS SUBSECTION 14-16-5-6(C) (GENERAL LANDSCAPING STANDARDS), EXCEPT THAT, UPON PRESENTATION OF EVIDENCE, THE RELEVANT DECISION-MAKING BODY MAY AUTHORIZE ALTERNATIVE SPECIES OR CULTIVARS THAT MEET ALL OF THE FOLLOWING REQUIREMENTS:
  - MEET THE INTENDED PURPOSE OF THAT TYPE OF LANDSCAPING.
  - ARE NOT HAZARDOUS.
  - ARE NOT IDENTIFIED AS INVASIVE ON A CITY OR STATE PLANT LIST.
  - ARE NOT LISTED IN THE CITY'S WEED IDENTIFICATION HANDBOOK.
  - ARE EQUALLY HARDY TO THE NEW MEXICO CLIMATE.
- PER 5-3(D)(3)(a) 3. SHADE TREES ALONG REQUIRED PEDESTRIAN WALKWAYS ARE REQUIRED PURSUANT TO SUBSECTION 14-16-5-6(C)(4)(i) (REQUIRED PLANT MATERIALS AND SITE AMENITIES). 5-6(C)(4)(i) SHADE TREES PLANTED APPROXIMATELY 25 FEET ON-CENTER ARE REQUIRED ALONG ALL REQUIRED PEDESTRIAN WALKWAYS. IF THE WALKWAY IS LESS THAN FEET LONG, AT LEAST ONE TREE IS REQUIRED, OR, WHERE THERE IS INSUFFICIENT SPACE FOR A TREE, A TRELLIS OF AT LEAST 8 FEET HIGH FOR AT LEAST 5 FEET ALONG THE WALKWAY SHALL BE PROVIDED.
- PER 5-6(F)(1)(i) 1 OF THE IDO, ANY PARKING LOT LOCATED WITHIN 30 FEET OF THE FRONT LOT LINE SHALL BE SCREENED FROM THE STREET EITHER BY A MASONRY WALL CONSTRUCTED OF A MATERIAL SIMILAR IN TEXTURE, APPEARANCE, AND COLOR TO THE STREET-FACING FACADE OF THE PRIMARY BUILDING (BUT EXCLUDING EXPOSED CMU BLOCK) AT LEAST 3 BUT NOT MORE THAN 4 FEET IN HEIGHT, OR BY A LANDSCAPE BUFFER AT LEAST 10 FEET IN WIDTH WITH A CONTINUOUS LINE OF EVERGREEN SHRUBBERY 3 FEET IN HEIGHT, OR BY OTHER MEANS THAT THE PLANNING DIRECTOR DETERMINES PROVIDES EQUAL OR BETTER SCREENING OF THE HEADLIGHTS OF PARKED VEHICLES.
- PER 5-6(C)(9)(a), ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
- PER 5-6(C)(9)(b), ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8 FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9' CLEARANCE OVER THE STREET SURFACE.
- PURSUANT TO 5-6(C)(5)(e), BARK MULCH AREAS CLEARLY DELINEATED ON PLANS FOR LANDSCAPE AREAS AND 5' RADIUS RINGS AROUND TREES.
- PURSUANT TO 5-6(C)(7)(a), ALL VEGETATION HAS BEEN LOCATED A MINIMUM OF 3' IN ANY DIRECTION FROM FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
- PURSUANT TO 5-6(C)(10)(a), TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS UNLESS THERE IS NO OTHER PRACTICABLE LOCATION ON THE LOT WHERE THE LANDSCAPING WOULD ACHIEVE ITS INTENDED PURPOSE.
- PURSUANT TO 5-6(C)(10)(b), TREES SHALL NOT BE PLANTED WITHIN 10' IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

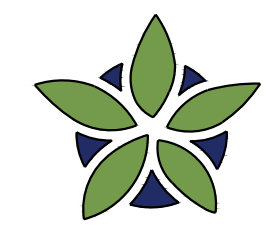


1 TREE PLANTING DETAIL

PRELIMINARY LANDSCAPE DATA				ZONING DESIGNATION
IDO UPC#	GROSS LOT AREA (SF)	350,457		
	BUILDING AREA (SF)	82,858		
	NET LOT AREA (SF)	267,599		
MINIMUM LANDSCAPE	AREA (SF) - MINIMUM 15 % OF NET LOT AREA*	REQUIRED	PROVIDED	
		40,140	86,750	32%
	TOTAL VEGETATIVE COVERAGE (SF) @ PLANT MATURITY (75% OF LANDSCAPE AREA)	30,105	100,485	250%
	VEGETATIVE COVERAGE (SF) OF GROUND-LEVEL PLANTS (25% OF TOTAL, MINIMUM)	7,526	15,011	50%
PROVIDED LANDSCAPE AREA DOES NOT INCLUDE THE AREA IN THE BACK YARDS				
* PER IDO 14-16-5-6(C)(2)(b), IN DT-UC-MSP-PT AREAS, MINIMUM IS 10% OF NET LOT AREA.				
* FOR MULTI-FAMILY DWELLING, MINIMUM IS 25% OF NET LOT AREA. SEE 14-16-4-3(B)(8) FOR DETAILS.				
STREET TREES - 1 PER 25 LF		REQUIRED	PROVIDED	
[STREET FRONTAGE (LF)]		-	1584	
STREET TREES		63.4	67	
* PER IDO 14-16-5-6(C)(1)(b), TREES THAT ARE PLANTED WITHIN 20 FEET OF THE BACK OF CURB OF THE ABUTTING STREET MAY FULFILL THIS REQUIREMENT.				
COOL SEASON GRASS		MAXIMUM	PROVIDED	
	NO MORE THAN 10 % OF REQUIRED LANDSCAPE AREA	4014	3381	8%
ADDITIONAL REQUIREMENTS FOR MULTI-FAMILY DWELLING		REQUIRED	PROVIDED	
	1 TREE PER GROUND FLOOR DWELLING UNIT	145	145	
* PER IDO 14-16-4-3(B)(8), IN DT-UC-MSP-PT AREAS, SECOND FLOOR DWELLING UNIT TREES ARE NOT REQUIRED.				
TOTALS		REQUIRED	PROVIDED	
		208	276	
* PER IDO 14-16-5-6(C)(3)(a), IF AREAS REQUIRED TO BE LANDSCAPED BY 2 OR MORE PROVISIONS OF THIS SECTION 14-16-5-6 OVERLAP EACH OTHER, THE PROVISION REQUIRING THE GREATER AMOUNT OF LANDSCAPING SHALL APPLY. * PER IDO 14-16-5-6(C)(3)(b), IF AREAS REQUIRED TO BE LANDSCAPED BY 2 OR MORE PROVISIONS OF THIS SECTION 14-16-5-6 OVERLAP EACH OTHER, THE PROVISION REQUIRING THE GREATER AMOUNT OF LANDSCAPING SHALL APPLY. * PER IDO 14-16-5-6(C)(3)(c), IF AREAS REQUIRED TO BE LANDSCAPED BY 2 OR MORE PROVISIONS OF THIS SECTION 14-16-5-6 OVERLAP EACH OTHER, THE PROVISION REQUIRING THE GREATER AMOUNT OF LANDSCAPING SHALL APPLY.				

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE
DECIDUOUS TREE			
	18	ACER NEGUNDO 'SENSATION' / SENSATION BOX ELDER MAPLE	2" BAB
	98	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE SERVICEBERRY	15 GAL
	36	CRATAEGUS AMBIGUA / RUSSIAN HAWTHORN	2" BAB
	62	LAGERSTROEMIA INDICA X FAURIEI 'ZUNI' / ZUNI CRAPE MYRTLE	15 GAL
	3	PISTACIA CHINENSIS / CHINESE PISTACHE	2" BAB
	3	PRUNUS VIRGINIANA 'CANADA RED' / CANADA RED CHOKECHERRY	2" BAB
	49	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	2" BAB
EVERGREEN TREE			
	6	PINUS NIGRA / AUSTRIAN BLACK PINE	6"
	2	QUERCUS FUSIFORMIS 'JOAN LIONETTI' / JOAN LIONETTI TEXAS LIVE OAK	2" BAB
DESERT ACCENT			
	6	DASYLIRION TEXANUM / TEXAS SOTOL	5 GAL
	62	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL
	31	YUCCA BACCATA / BANANA YUCCA	5 GAL
PERENNIAL			
	16	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	1 GAL
ORNAMENTAL GRASS			
	82	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL
	18	HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS	1 GAL
GROUND COVER			
	25	EUONYMUS FORTUNEI 'COLORATUS' / PURPLE-LEAF WINTERCREEPER	1 GAL
	12	VINCA MAJOR / LARGE PERIWINKLE	1 GAL
DECIDUOUS SHRUBS			
	17	AMORPHA CANESCENS / LEADPLANT	5 GAL
	24	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	5 GAL
	36	BUDDLEJA DAVIDI / BUTTERFLY BUSH	5 GAL
	21	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	5 GAL
	4	CHAMAEBATARIA MILLEFOLIUM 'FERNBUSH' / FERNBUSH	5 GAL
	26	HIBISCUS SYRIACUS / ROSE OF SHARON	5 GAL
	18	LAVANDULA ANGSTIFOLIA / ENGLISH LAVENDER	5 GAL
	42	PRUNUS BESSEYI / SAND CHERRY	5 GAL
	31	PRUNUS BESSEYI 'PAWNEE BUTTIES' / PROSTRATE SAND CHERRY	5 GAL
	19	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL
	22	RHUS TRILOBATA 'AUTUMN AMBER' / AUTUMN AMBER SUMAC	5 GAL
	5	RIBES AUREUM / GOLDEN CURRANT	5 GAL
	10	SALVIA GREGGII / AUTUMN SAGE CHERRY	5 GAL
EVERGREEN SHRUBS			
	28	BACCHARIS X 'STARN' / STARN COYOTE BRUSH	5 GAL
	138	BUXUS MICROPHYLLA / LITTLELEAF BOXWOOD	5 GAL
	4	CYRTSUS SCOPARIUS 'ALL GOLD' / SCOTCH BROOM	5 GAL
	30	ERICAMERIA LARGICFOLIA / TURPENTINE BUSH	5 GAL
	37	JUNIPERUS SABINA 'BUFFALO' / BUFFALO JUNIPER	5 GAL
	6	MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE	5 GAL
	146	RHAPHIOLEPIS INDICA / INDIAN HAWTHORN	5 GAL
	21	SANTOLINA CHAMAECYPARISSUS / LAVENDER COTTON	1 GAL



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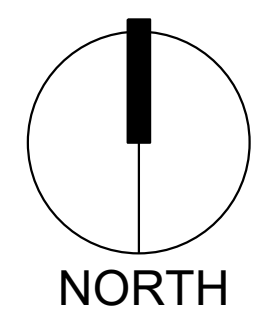


Date: 09/03/2025  
Revisions:

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Drawn by: CC  
Reviewed by: CM

BTR Rio Rancho  
Housing Development  
Rio Rancho, New Mexico



Scale: 1" = 30'  
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Sheet Title:  
Planting  
Plan

Sheet Number:

LP-01

PROGRESS SET  
NOT FOR CONSTRUCTION

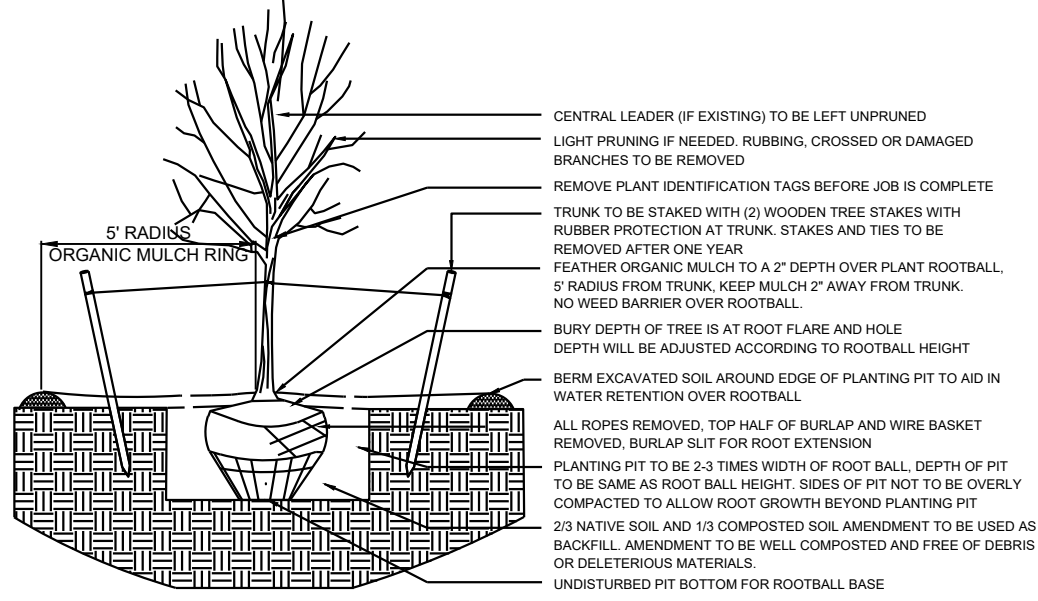


GENERAL NOTES

1. IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
2. POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR AND SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT.
3. GRADING OF THE SITE PER THE GRADING PLAN IS NOT INCLUDED IN THE SCOPE OF WORK OF THE LANDSCAPE CONTRACTOR. GRADES PER THE GRADING PLAN SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR +/- 1/10TH OF A FOOT, BY OTHERS.
4. ALL MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. NO CONTRACTUAL MAINTENANCE SHALL BE INCLUDED UNLESS OTHERWISE SPECIFIED IN THE BIDDING DOCUMENTS.
5. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY RESTRICTIONS OF IRRIGATION WATER USE BY ANY GOVERNING BODY.
6. PER 5-6(C)(4)(a) A MINIMUM OF 5 SPECIES MUST BE USED IN THE LANDSCAPED AREA.
7. PER 5-6(C)(4)(b) ONLY TREES AND SHRUBS SELECTED FROM THE OFFICIAL ALBUQUERQUE PLANT PALETTE OF LOW WATER USE, DROUGHT TOLERANT, OR XERIC SPECIES AND SHOWN ON A LANDSCAPE PLAN CAN COUNT TOWARD THE REQUIREMENTS OF THIS SUBSECTION 14-16-5-6(C) (GENERAL LANDSCAPING STANDARDS), EXCEPT THAT, UPON PRESENTATION OF EVIDENCE, THE RELEVANT DECISION-MAKING BODY MAY AUTHORIZE ALTERNATIVE SPECIES OR CULTIVARS THAT MEET ALL OF THE FOLLOWING REQUIREMENTS:
1. MEET THE INTENDED PURPOSE OF THAT TYPE OF LANDSCAPING.
2. ARE NOT HAZARDOUS.
3. ARE NOT IDENTIFIED AS INVASIVE ON A CITY OR STATE PLANT LIST.
4. ARE NOT LISTED IN THE CITY'S WEED IDENTIFICATION HANDBOOK.
5. ARE EQUALLY HARDY TO THE NEW MEXICO CLIMATE.
8. PER 5-3(D)(3)(a) 3. SHADE TREES ALONG REQUIRED PEDESTRIAN WALKWAYS ARE REQUIRED PURSUANT TO SUBSECTION 14-16-5-6(C)(4)(i) (REQUIRED PLANT MATERIALS AND SITE AMENITIES). 5-6(C)(4)(i) SHADE TREES PLANTED APPROXIMATELY 25 FEET ON-CENTER ARE REQUIRED ALONG ALL REQUIRED PEDESTRIAN WALKWAYS. IF THE WALKWAY IS LESS THAN FEET LONG, AT LEAST ONE TREE IS REQUIRED, OR, WHERE THERE IS INSUFFICIENT SPACE FOR A TREE, A TRELLIS OF AT LEAST 8 FEET HIGH FOR AT LEAST 5 FEET ALONG THE WALKWAY SHALL BE PROVIDED.
9. PER 5-6(F)(1)(i) 1 OF THE IDO, ANY PARKING LOT LOCATED WITHIN 30 FEET OF THE FRONT LOT LINE SHALL BE SCREENED FROM THE STREET EITHER BY A MASONRY WALL CONSTRUCTED OF A MATERIAL SIMILAR IN TEXTURE, APPEARANCE, AND COLOR TO THE STREET-FACING FAÇADE OF THE PRIMARY BUILDING (BUT EXCLUDING EXPOSED CMU BLOCK) AT LEAST 3 BUT NOT MORE THAN 4 FEET IN HEIGHT, OR BY A LANDSCAPE BUFFER AT LEAST 10 FEET IN WIDTH WITH A CONTINUOUS LINE OF EVERGREEN SHRUBBERY 3 FEET IN HEIGHT, OR BY OTHER MEANS THAT THE PLANNING DIRECTOR DETERMINES PROVIDES EQUAL OR BETTER SCREENING OF THE HEADLIGHTS OF PARKED VEHICLES.
10. PER 5-6(C)(9)(a), ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
11. PER 5-6(C)(9)(b), ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8 FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9' CLEARANCE OVER THE STREET SURFACE.
12. PURSUANT TO 5-6(C)(5)(e), BARK MULCH AREAS CLEARLY DELINEATED ON PLANS FOR LANDSCAPE AREAS AND 5' RADIUS RINGS AROUND TREES.
13. PURSUANT TO 5-6(C)(7)(a), ALL VEGETATION HAS BEEN LOCATED A MINIMUM OF 3' IN ANY DIRECTION FROM FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
14. PURSUANT TO 5-6(C)(10)(a), TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS UNLESS THERE IS NO OTHER PRACTICABLE LOCATION ON THE LOT WHERE THE LANDSCAPING WOULD ACHIEVE ITS INTENDED PURPOSE.
15. PURSUANT TO 5-6(C)(10)(b), TREES SHALL NOT BE PLANTED WITHIN 10' IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
16. CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERIES BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

PLANT SCHEDULE

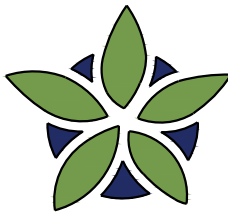
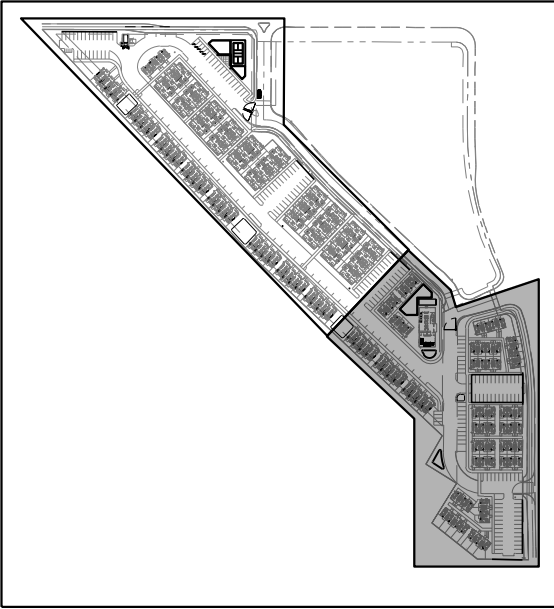
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE
DECIDUOUS TREE			
	18	ACER NEGUNDO 'SENSATION' / SENSATION BOX ELDER MAPLE	2" B&B
	98	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE SERVICEBERRY	15 GAL
	36	CRATAEGUS AMBIGUA / RUSSIAN HAWTHORN	2" B&B
	62	LAGERSTROEMIA INDICA X FAURIEI 'ZUNI' / ZUNI CRAPE MYRTLE	15 GAL
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	3	PRUNUS VIRGINIANA 'CANADA RED' / CANADA RED CHOKECHERRY	2" B&B
	49	ULMUS PARVIFOLIA 'ALLEE' / ALLEE® LACEBARK ELM	2" B&B
EVERGREEN TREE			
	5	PINUS NIGRA / AUSTRIAN BLACK PINE	6"
	2	QUERCUS FUSIFORMIS 'JOAN LIONETTI' / JOAN LIONETTI TEXAS LIVE OAK	2" B&B
DESERT ACCENT			
	6	DASYLIRION TEXANUM / TEXAS SOTOL	5 GAL
	62	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL
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PERENNIAL			
	16	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	1 GAL
ORNAMENTAL GRASS			
	82	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL
	18	HELICOTRICHON SEMPERVIRENS / BLUE OAT GRASS	1 GAL
GROUND COVER			
	25	EUVONYMUS FORTUNEI 'COLORATUS' / PURPLE-LEAF WINTERCREEPER	1 GAL
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DECIDUOUS SHRUBS			
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	4	CHAMAEBATIARIA MILLEFOLIUM / FERNBUSH / FERNBUSH	5 GAL
	26	HIBISCUS SYRIACUS / ROSE OF SHARON	5 GAL
	18	LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER	5 GAL
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	19	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL
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EVERGREEN SHRUBS			
	28	BACCHARIS X 'STARN' / STARN COYOTE BRUSH	5 GAL
	138	BUXUS MICROPHYLLA / LITTLE-LEAF BOXWOOD	5 GAL
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	6	MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE	5 GAL
	148	RHAMPHOLEPIS INDICA / INDIAN HAWTHORN	5 GAL
	21	SANTOLINA CHAMAECYPARISSUS / LAVENDER COTTON	1 GAL



1 TREE PLANTING DETAIL

PROGRESS SET  
NOT FOR CONSTRUCTION

PRELIMINARY LANDSCAPE DATA			ZONING DESIGNATION		
IDO UPC#					
	GROSS LOT AREA (SF)		350,457		
	BUILDING AREA (SF)		82,858		
	NET LOT AREA (SF)		267,599		
MINIMUM LANDSCAPE	AREA (SF) - MINIMUM 15 % OF NET LOT AREA*		REQUIRED	PROVIDED	
			40,140	86,750	32%
	TOTAL VEGETATIVE COVERAGE (SF) @ PLANT MATURITY (75% OF LANDSCAPE AREA)		30,105	100,485	250%
	VEGETATIVE COVERAGE (SF) OF GROUND-LEVEL PLANTS (25% OF TOTAL, MINIMUM)		7,526	15,011	50%
PROVIDED LANDSCAPE AREA DOES NOT INCLUDE THE AREA IN THE BACK YARDS					
* PER IDO 14-16-5-6(C)(3)(a), IF AREAS REQUIRED TO BE LANDSCAPED BY 2 OR MORE PROVISIONS OF THIS SECTION 14-16-5-6 OVERLAP EACH OTHER, THE PROVISION REQUIRING THE GREATER AMOUNT OF LANDSCAPING SHALL APPLY. AND, A MINIMUM OF 5 SPECIES MUST BE USED IN THE LANDSCAPED AREA. SEE 14-16-4-3(B)(8) FOR DETAILS.					
* FOR MULTI-FAMILY DWELLING, MINIMUM IS 25% OF NET LOT AREA. SEE 14-16-4-3(B)(8) FOR DETAILS.					
STREET TREES - 1 PER 25 LF			REQUIRED	PROVIDED	
	STREET FRONTAGE (LF)		-	1584	
	STREET TREES		63.4	67	
* PER IDO 14-15-5-6(D)(1)(a), TREES THAT ARE PLANTED WITHIN 20 FEET OF THE BACK OF CURB OF THE ADJUTING STREET MAY FULFILL THIS REQUIREMENT.					
COOL SEASON GRASS			MAXIMUM	PROVIDED	
	NO MORE THAN 10 % OF REQUIRED LANDSCAPE AREA		4014	3381	8%
	ADDITIONAL REQUIREMENTS FOR MULTI-FAMILY DWELLING		REQUIRED	PROVIDED	
1 TREE PER GROUND FLOOR DWELLING UNIT		145	145		
* PER IDO 14-16-4-3(B)(8), IN DT-UC-MS-PT AREAS, SECOND FLOOR DWELLING UNIT TREES ARE NOT REQUIRED.					
TOTALS			REQUIRED	PROVIDED	
TREES			208	276	
** PER IDO 14-16-5-6(C)(3)(a), IF AREAS REQUIRED TO BE LANDSCAPED BY 2 OR MORE PROVISIONS OF THIS SECTION 14-16-5-6 OVERLAP EACH OTHER, THE PROVISION REQUIRING THE GREATER AMOUNT OF LANDSCAPING SHALL APPLY. AND, A MINIMUM OF 5 SPECIES MUST BE USED IN THE LANDSCAPED AREA. SEE 14-16-4-3(B)(8) FOR DETAILS.					



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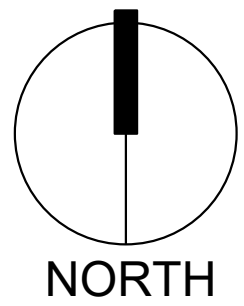
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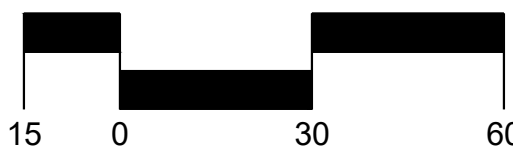
Drawn by: CC  
Reviewed by: CM

BTR Rio Rancho  
Housing Development

Rio Rancho, New Mexico



Scale: 1" = 30'



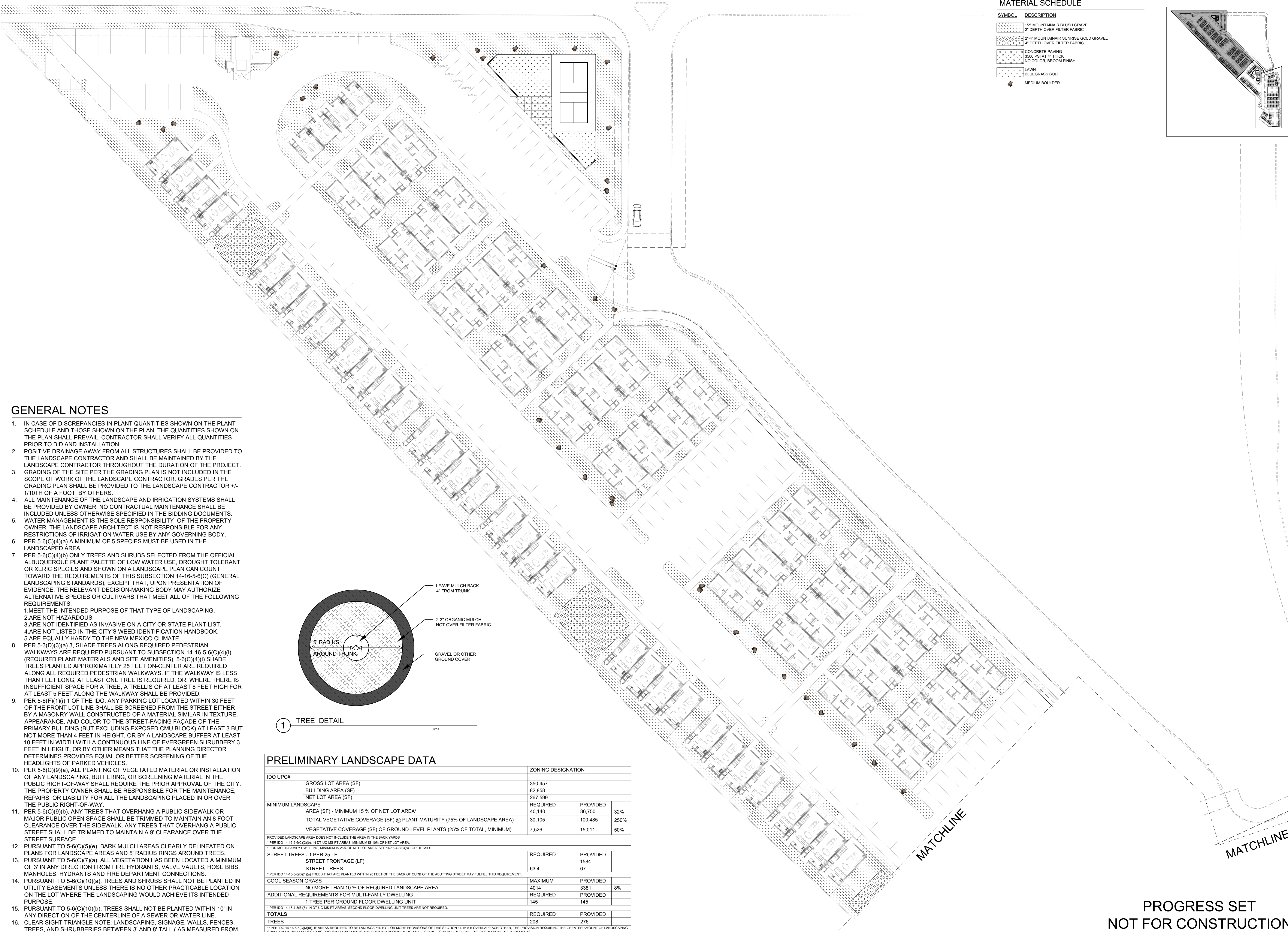
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GENERAL NOTES

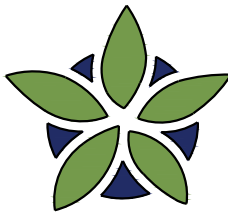
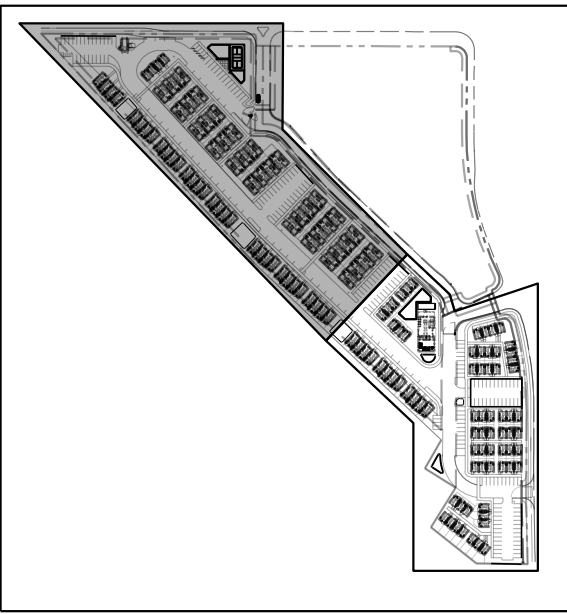
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  - ARE NOT IDENTIFIED AS INVASIVE ON A CITY OR STATE PLANT LIST.
  - ARE NOT LISTED IN THE CITY'S WEED IDENTIFICATION HANDBOOK.
  - ARE EQUALLY HARDY TO THE NEW MEXICO CLIMATE.
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- PER 5-6(F)(1)(i) 1 OF THE IDO, ANY PARKING LOT LOCATED WITHIN 30 FEET OF THE FRONT LOT LINE SHALL BE SCREENED FROM THE STREET EITHER BY A MASONRY WALL CONSTRUCTED OF A MATERIAL SIMILAR IN TEXTURE, APPEARANCE, AND COLOR TO THE STREET-FACING FAÇADE OF THE PRIMARY BUILDING (BUT EXCLUDING EXPOSED CMU BLOCK) AT LEAST 3 BUT NOT MORE THAN 4 FEET IN HEIGHT, OR BY A LANDSCAPE BUFFER AT LEAST 10 FEET IN WIDTH WITH A CONTINUOUS LINE OF EVERGREEN SHRUBBERY 3 FEET IN HEIGHT, OR BY OTHER MEANS THAT THE PLANNING DIRECTOR DETERMINES PROVIDES EQUAL OR BETTER SCREENING OF THE HEADLIGHTS OF PARKED VEHICLES.
- PER 5-6(C)(9)(a), ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
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- PURSUANT TO 5-6(C)(5)(e), BARK MULCH AREAS CLEARLY DELINEATED ON PLANS FOR LANDSCAPE AREAS AND 5' RADIUS RINGS AROUND TREES.
- PURSUANT TO 5-6(C)(7)(a), ALL VEGETATION HAS BEEN LOCATED A MINIMUM OF 3' IN ANY DIRECTION FROM FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
- PURSUANT TO 5-6(C)(10)(a), TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS UNLESS THERE IS NO OTHER PRACTICABLE LOCATION ON THE LOT WHERE THE LANDSCAPING WOULD ACHIEVE ITS INTENDED PURPOSE.
- PURSUANT TO 5-6(C)(10)(b), TREES SHALL NOT BE PLANTED WITHIN 10' IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

1 TREE DETAIL

PRELIMINARY LANDSCAPE DATA		ZONING DESIGNATION		
IDO UPC#				
	GROSS LOT AREA (SF)	350,457		
	BUILDING AREA (SF)	82,858		
	NET LOT AREA (SF)	267,599		
MINIMUM LANDSCAPE		REQUIRED	PROVIDED	
	AREA (SF) - MINIMUM 15 % OF NET LOT AREA*	40,140	86,750	32%
	TOTAL VEGETATIVE COVERAGE (SF) @ PLANT MATURITY (75% OF LANDSCAPE AREA)	30,105	100,485	250%
	VEGETATIVE COVERAGE (SF) OF GROUND-LEVEL PLANTS (25% OF TOTAL, MINIMUM)	7,526	15,011	50%
* PROVIDED LANDSCAPE AREA DOES NOT INCLUDE THE AREA IN THE BACK YARDS				
* PER IDO 14-16-5-6(C)(2)(b), IN DT-LC-MS-PT AREAS, MINIMUM IS 10% OF NET LOT AREA				
* FOR MULTI-FAMILY DWELLINGS, MINIMUM IS 20% OF NET LOT AREA. SEE 14-16-4-3(B)(8) FOR DETAILS.				
STREET TREES - 1 PER 25 LF		REQUIRED	PROVIDED	
	[STREET FRONTAGE (LF)]	-	1584	
	STREET TREES	63.4	67	
* PER IDO 14-16-5-6(C)(3)(a), TREES THAT ARE PLANTED WITHIN 20 FEET OF THE BACK OF CURB OF THE ABUTTING STREET MAY FULFILL THIS REQUIREMENT.				
COOL SEASON GRASS		MAXIMUM	PROVIDED	
	NO MORE THAN 10 % OF REQUIRED LANDSCAPE AREA	4014	3381	8%
ADDITIONAL REQUIREMENTS FOR MULTI-FAMILY DWELLING		REQUIRED	PROVIDED	
	1 TREE PER GROUND FLOOR DWELLING UNIT	145	145	
* PER IDO 14-16-4-3(B)(8), IN DT-LC-MS-PT AREAS, SECOND FLOOR DWELLING UNIT TREES ARE NOT REQUIRED.				
TOTALS		REQUIRED	PROVIDED	
TREES		208	276	
* PER IDO 14-16-5-6(C)(3)(a), IF AREAS REQUIRED TO BE LANDSCAPED BY 2 OR MORE PROVISIONS OF THIS SECTION 14-16-5-6 OVERLAP EACH OTHER, THE PROVISION REQUIRING THE GREATER AMOUNT OF LANDSCAPING SHALL APPLY. ADDITIONAL AREAS REQUIRED TO MEET THE PROVIDED REQUIREMENT SHALL BE PLANTED TO MEET THE PROVIDED REQUIREMENT.				

MATERIAL SCHEDULE

SYMBOL	DESCRIPTION
	1/2" MOUNTAINAIR BLUSH GRAVEL 2' DEPTH OVER FILTER FABRIC
	2"-4" MOUNTAINAIR SUNRISE GOLD GRAVEL 4" DEPTH OVER FILTER FABRIC
	CONCRETE PAVING 3500 PSI AT 4" THICK NO COLOR, THICK FINISH
	LAWN BLUEGRASS SOD
	MEDIUM BOULDER



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LANDSCAPE

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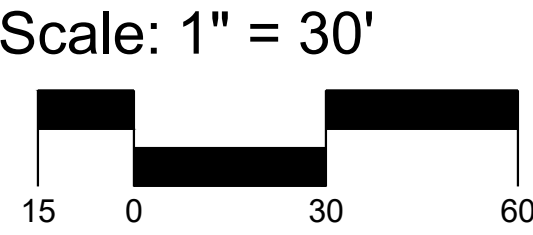
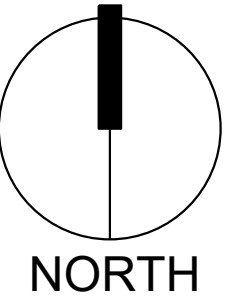


Date: 09/03/2025  
Revisions:

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Drawn by: CC  
Reviewed by: CM

BTR Rio Rancho  
Housing Development  
Rio Rancho, New Mexico



Sheet Title:  
Landscape  
Plan

Sheet Number:

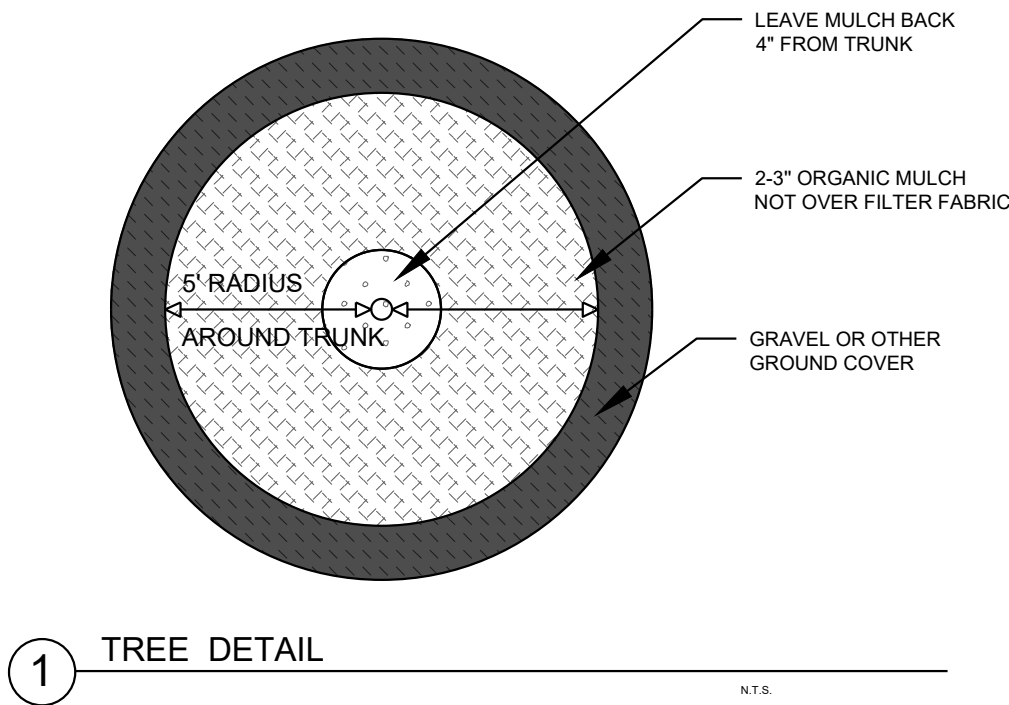
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PROGRESS SET  
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GENERAL NOTES

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR AND SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT.
- GRADING OF THE SITE PER THE GRADING PLAN IS NOT INCLUDED IN THE SCOPE OF WORK OF THE LANDSCAPE CONTRACTOR. GRADES PER THE GRADING PLAN SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR +/- 1/10TH OF A FOOT, BY OTHERS.
- ALL MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. NO CONTRACTUAL MAINTENANCE SHALL BE INCLUDED UNLESS OTHERWISE SPECIFIED IN THE BIDDING DOCUMENTS.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY RESTRICTIONS OF IRRIGATION WATER USE BY ANY GOVERNING BODY.
- PER 5-6(C)(4)(a) A MINIMUM OF 5 SPECIES MUST BE USED IN THE LANDSCAPED AREA.
- PER 5-6(C)(4)(b) ONLY TREES AND SHRUBS SELECTED FROM THE OFFICIAL ALBUQUERQUE PLANT PALETTE OF LOW WATER USE, DROUGHT TOLERANT, OR XERIC SPECIES AND SHOWN ON A LANDSCAPE PLAN CAN COUNT TOWARD THE REQUIREMENTS OF THIS SUBSECTION 14-16-5-6(C) (GENERAL LANDSCAPING STANDARDS), EXCEPT THAT, UPON PRESENTATION OF EVIDENCE, THE RELEVANT DECISION-MAKING BODY MAY AUTHORIZE ALTERNATIVE SPECIES OR CULTIVARS THAT MEET ALL OF THE FOLLOWING REQUIREMENTS:
  - MEET THE INTENDED PURPOSE OF THAT TYPE OF LANDSCAPING.
  - ARE NOT HAZARDOUS.
  - ARE NOT IDENTIFIED AS INVASIVE ON A CITY OR STATE PLANT LIST.
  - ARE NOT LISTED IN THE CITY'S WEED IDENTIFICATION HANDBOOK.
  - ARE EQUALLY HARDY TO THE NEW MEXICO CLIMATE.
- PER 5-3(D)(3)(a) 3. SHADE TREES ALONG REQUIRED PEDESTRIAN WALKWAYS ARE REQUIRED PURSUANT TO SUBSECTION 14-16-5-6(C)(4)(ii) (REQUIRED PLANT MATERIALS AND SITE AMENITIES). 5-6(C)(4)(ii) SHADE TREES PLANTED APPROXIMATELY 25 FEET ON-CENTER ARE REQUIRED ALONG ALL REQUIRED PEDESTRIAN WALKWAYS. IF THE WALKWAY IS LESS THAN FEET LONG, AT LEAST ONE TREE IS REQUIRED, OR, WHERE THERE IS INSUFFICIENT SPACE FOR A TREE, A TRELIS OF AT LEAST 8 FEET HIGH FOR AT LEAST 5 FEET ALONG THE WALKWAY SHALL BE PROVIDED.
- PER 5-6(F)(1)(i) 1 OF THE IDO, ANY PARKING LOT LOCATED WITHIN 30 FEET OF THE FRONT LOT LINE SHALL BE SCREENED FROM THE STREET EITHER BY A MASONRY WALL CONSTRUCTED OF A MATERIAL SIMILAR IN TEXTURE, APPEARANCE, AND COLOR TO THE STREET-FACING FAÇADE OF THE PRIMARY BUILDING (BUT EXCLUDING EXPOSED CMU BLOCK) AT LEAST 3 BUT NOT MORE THAN 4 FEET IN HEIGHT, OR BY A LANDSCAPE BUFFER AT LEAST 10 FEET IN WIDTH WITH A CONTINUOUS LINE OF EVERGREEN SHRUBBERY 3 FEET IN HEIGHT, OR BY OTHER MEANS THAT THE PLANNING DIRECTOR DETERMINES PROVIDES EQUAL OR BETTER SCREENING OF THE HEADLIGHTS OF PARKED VEHICLES.
- PER 5-6(C)(9)(a), ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
- PER 5-6(C)(9)(b), ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8 FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9' CLEARANCE OVER THE STREET SURFACE.
- PURSUANT TO 5-6(C)(5)(e), BARK MULCH AREAS CLEARLY DELINEATED ON PLANS FOR LANDSCAPE AREAS AND 5' RADIUS RINGS AROUND TREES.
- PURSUANT TO 5-6(C)(7)(a), ALL VEGETATION HAS BEEN LOCATED A MINIMUM OF 3' IN ANY DIRECTION FROM FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
- PURSUANT TO 5-6(C)(10)(a), TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS UNLESS THERE IS NO OTHER PRACTICABLE LOCATION ON THE LOT WHERE THE LANDSCAPING WOULD ACHIEVE ITS INTENDED PURPOSE.
- PURSUANT TO 5-6(C)(10)(b), TREES SHALL NOT BE PLANTED WITHIN 10' IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERIES BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.



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	TOTAL VEGETATIVE COVERAGE (SF) @ PLANT MATURITY (75% OF LANDSCAPE AREA)	30,105	100,485 250%
	VEGETATIVE COVERAGE (SF) OF GROUND-LEVEL PLANTS (25% OF TOTAL, MINIMUM)	7,526	15,011 50%
*PROVIDED LANDSCAPE AREA DOES NOT INCLUDE THE AREA IN THE BACK YARDS			
**PER IDO 14-16-5-6(C)(2)(b), IN DT/LOCAL-PT AREAS, MINIMUM IS 15% OF NET LOT AREA.			
***FOR MULTI-FAMILY DWELLING, MINIMUM IS 25% OF NET LOT AREA. SEE 14-16-4-3(b)(8) FOR DETAILS.			
STREET TREES - 1 PER 25 LF	REQUIRED	PROVIDED	
	STREET FRONTAGE (LF)	-	1584
STREET TREES	REQUIRED	PROVIDED	
	63.4	67	
**PER IDO 14-15-5-4(D)(1)(a), TREES THAT ARE PLANTED WITHIN 20 FEET OF THE BACK OF CURB OF THE ABUTTING STREET MAY FULFILL THIS REQUIREMENT.			
COOL SEASON GRASS	MAXIMUM	PROVIDED	
	NO MORE THAN 10 % OF REQUIRED LANDSCAPE AREA	4014	3381 8%
ADDITIONAL REQUIREMENTS FOR MULTI-FAMILY DWELLING	REQUIRED	PROVIDED	
	145	145	
1 TREE PER GROUND FLOOR DWELLING UNIT			
*PER IDO 14-16-4-3(b)(8), IN DT/LOCAL-PT AREAS, SECOND FLOOR DWELLING UNIT TREES ARE NOT REQUIRED.			
TOTALS	REQUIRED	PROVIDED	
TREES	208	276	
**PER IDO 14-16-5-4(C)(3)(a), IF AREAS REQUIRED TO BE LANDSCAPED BY 2 OR MORE PROVISIONS OF THIS SECTION 14-16-5-4 OVERLAP EACH OTHER, THE PROVISION REQUIRING THE GREATER AMOUNT OF LANDSCAPING SHALL APPLY. ADDITIONAL AREAS REQUIRED TO BE LANDSCAPED SHALL BE ADDED TO THE TOTALS. **PER IDO 14-16-5-4(C)(3)(a), IF AREAS REQUIRED TO BE LANDSCAPED BY 2 OR MORE PROVISIONS OF THIS SECTION 14-16-5-4 OVERLAP EACH OTHER, THE PROVISION REQUIRING THE GREATER AMOUNT OF LANDSCAPING SHALL APPLY. ADDITIONAL AREAS REQUIRED TO BE LANDSCAPED SHALL BE ADDED TO THE TOTALS.			

PROGRESS SET  
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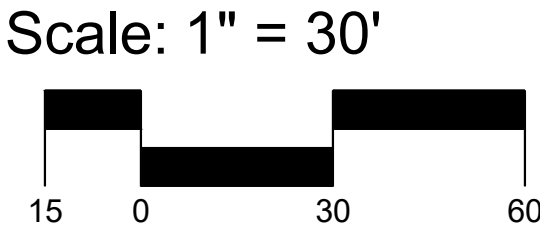
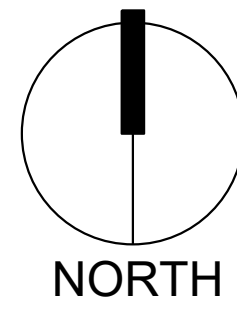
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Drawn by: CC  
Reviewed by: CM

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Housing Development

Rio Rancho, New Mexico



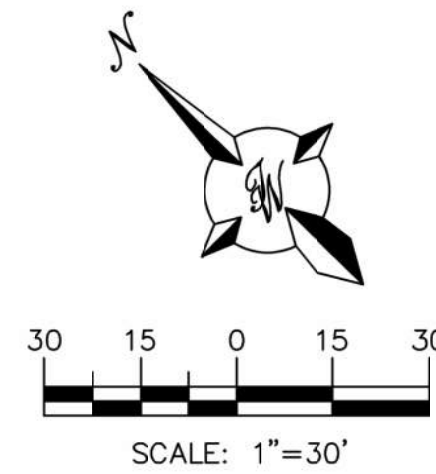
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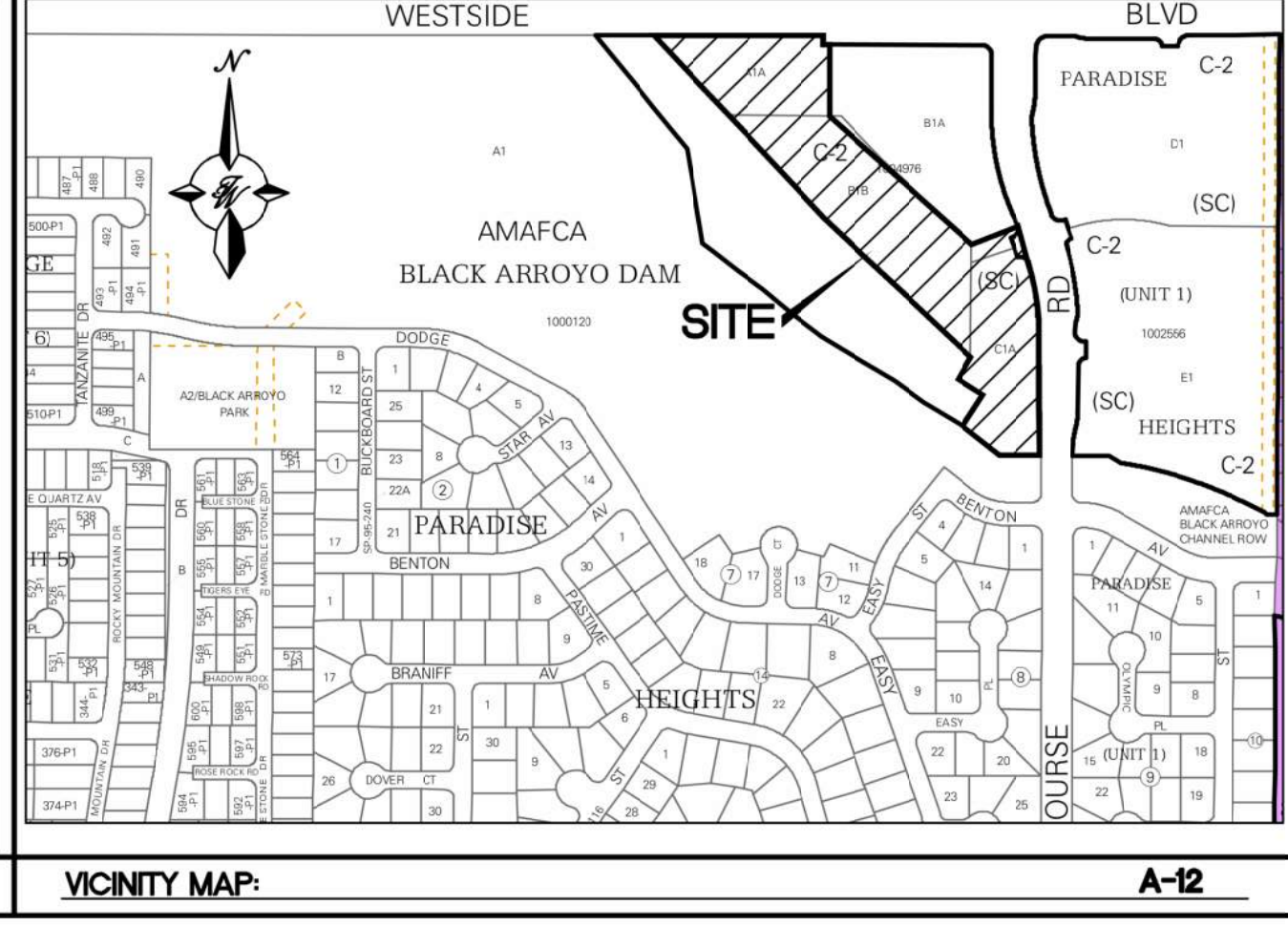
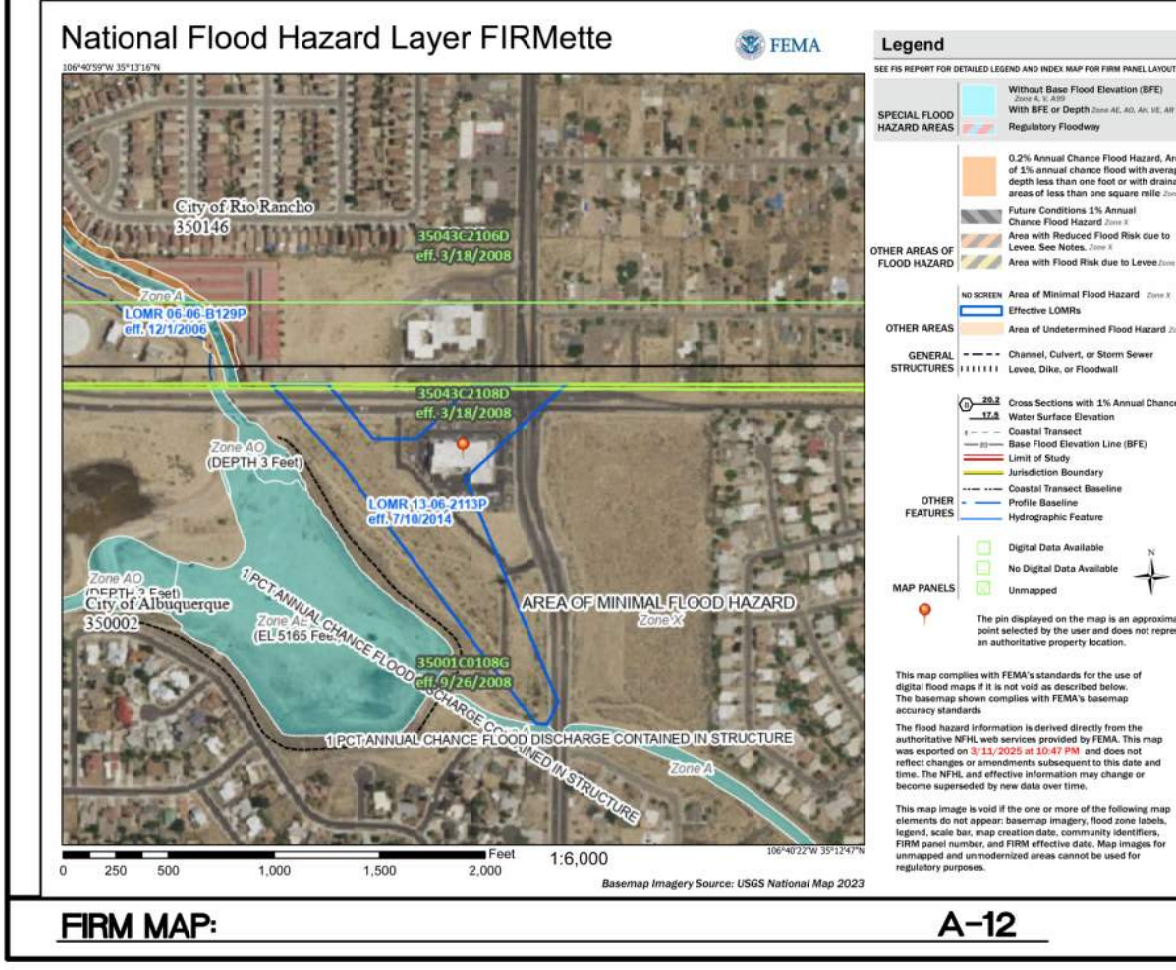
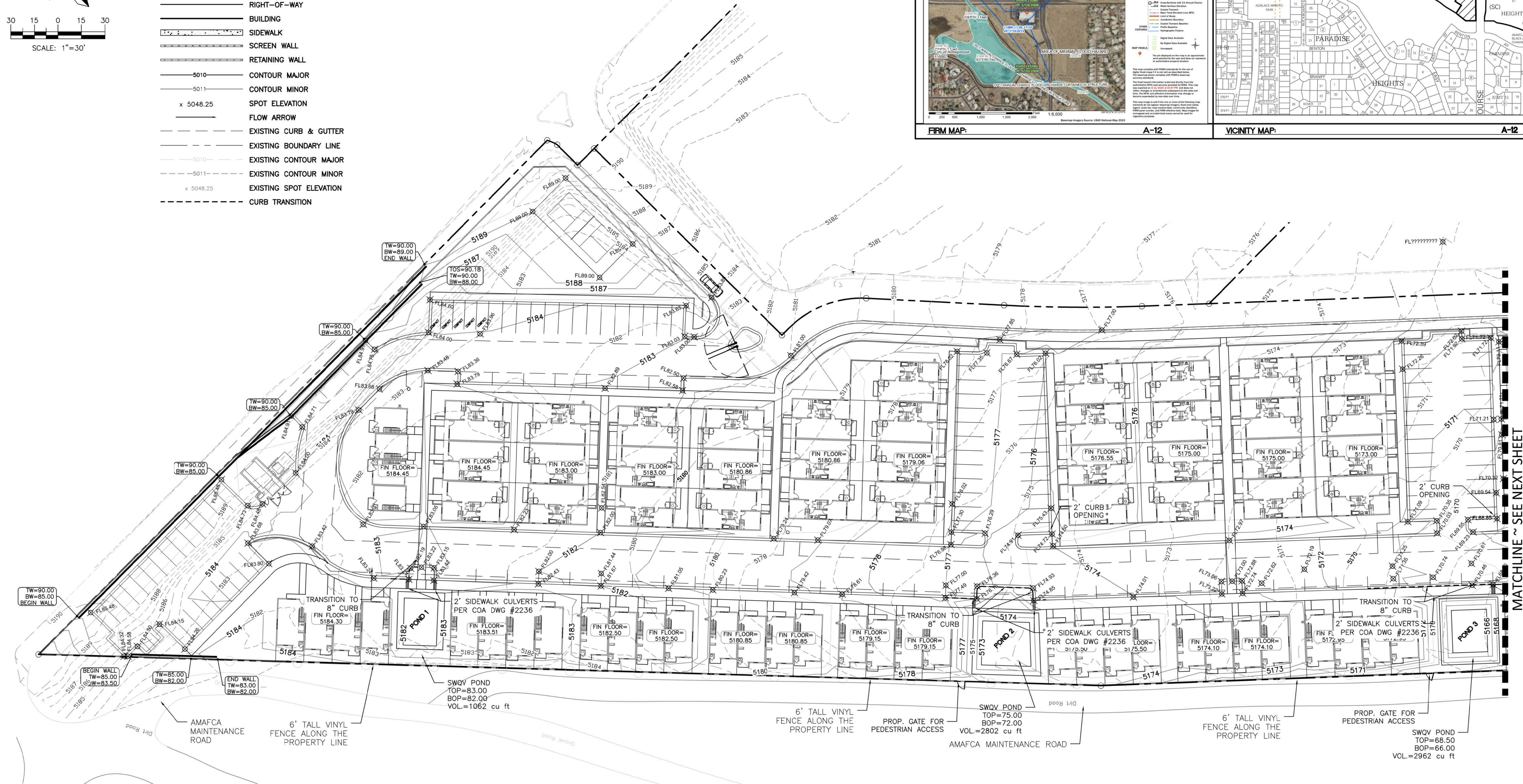


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### LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- 5010 CONTOUR MAJOR
- 5011 CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 5010 EXISTING CONTOUR MAJOR
- 5011 EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION
- CURB TRANSITION



<div>ENGINEER'S SEAL</div> <div></div> <div>RONALD R. BOHANNAN P.E. #7868</div>	JAY REMBE SUBDIVISION ALBUQUERQUE, NM		AS
	<b>CONCEPTUAL GRADING &amp; DRAINAGE PLAN</b>		06-11-25
	 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100		SHEET # <b>G1</b>
			JOB # 2024054







Weir Equation:

Q= Flow  
C = 2.95  
L= Length of weir  
H = Height of Weir

Pond 1 Inlet/Outlet

Q = 2.95\*2.0\*0.673/2

Q= 3.24 cfs > Q = 2.21 cfs

Pond 2 Inlet/Outlet

Q = 2.95\*4.5\*0.673/2

Q= 7.28 cfs < Q = 6.99 cfs

Pond 3 Inlet/Outlet

Q = 2.95\*4.0\*0.673/2

Q= 6.47 cfs < Q = 6.01 cfs

Pond 4 Inlet/Outlet

Q = 2.95\*4.0\*0.673/2

Q= 6.47 cfs < Q = 6.01 cfs

Pond 5 Inlet/Outlet

Q = 2.95\*3.0\*0.673/2

Q= 4.85 cfs < Q = 4.49 cfs

Pond 6 Inlet/Outlet

Q = 2.95\*5.0\*0.673/2

Q= 8.09 cfs < Q = 8.09 cfs

Channel Inlet

Q = 2.95\*15.0\*1.003/2

Q= 44.25 cfs < Q = 43.31 cfs

#### EXISTING DRAINAGE:

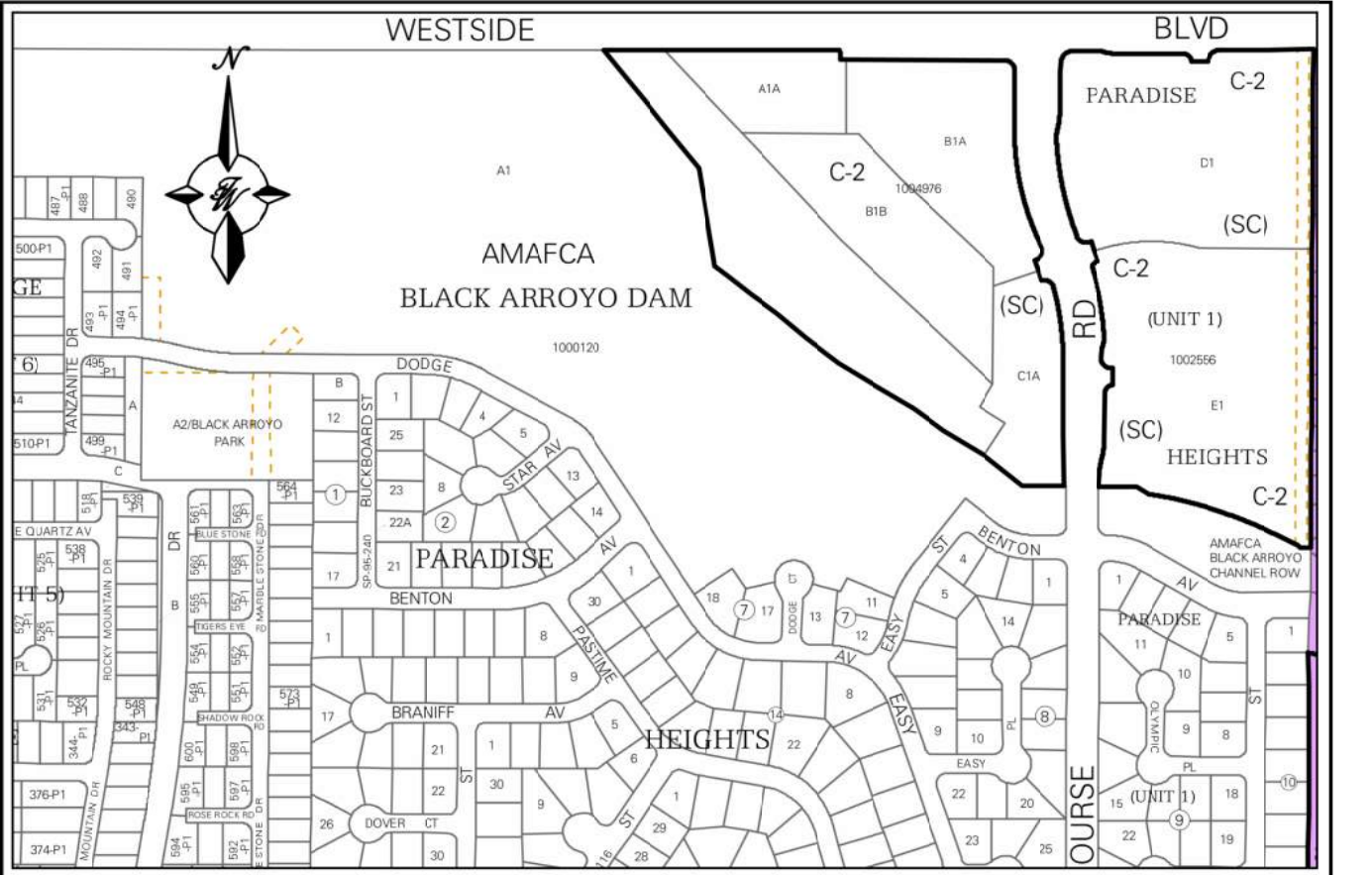
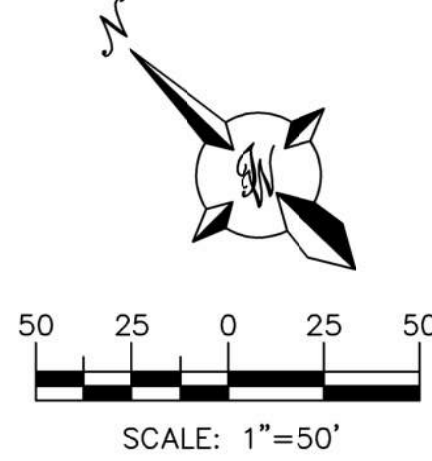
THIS SITE IS CURRENTLY VACANT AND IS BOUNDED BY A COMMERCIAL BUILDING TO THE EAST, THE BLACK ARROYO TO THE SOUTH, THE BLACK ARROYO DAM TO THE WEST AND WESTSIDE BOULEVARD TO THE NORTH CONTAINING APPROXIMATELY 8.05 ACRES. THE SITE IS WITHIN THE VJW STORAGE OVERALL DRAINAGE PLAN (A-12/DOOR) COMPLETED BY WILSON & CO. AND CONSISTS OF BASINS 201, 203, 204, 206 AND HALF OF 205. THE SITE DRAINS FROM NORTH TO SOUTH ONTO AN INTERNAL PRIVATE ROADWAY AND COBBLE SWALE. THE EXISTING COBBLE SWALE DRAINS TO A CONCRETE CHANNEL WHICH HAS A WATER QUALITY DROP INLET AT THE END OF IT. THE INLET CAPTURES THE FLOWS AND DISCHARGES THEM TO THE BLACK ARROYO CHANNEL VIA A STORM SEWER. THE ALLOWABLE DEVELOPED DISCHARGE FOR THIS PROJECT AREA IS 34.00 CFS. THE TOTAL ALLOWABLE DEVELOPED DISCHARGE TO THE WATER QUALITY INLET IS 51.40 CFS

THERE ARE NO OFFSITE FLOWS THAT ENTER THE SITE. THE SITE IS LOCATED ON FIRM MAP 35043C2108D AS SHOWN ABOVE. THE MAP SHOWS THAT THE SITE DOES NOT LIE WITHIN A FLOOD ZONE.

#### PROPOSED DRAINAGE:

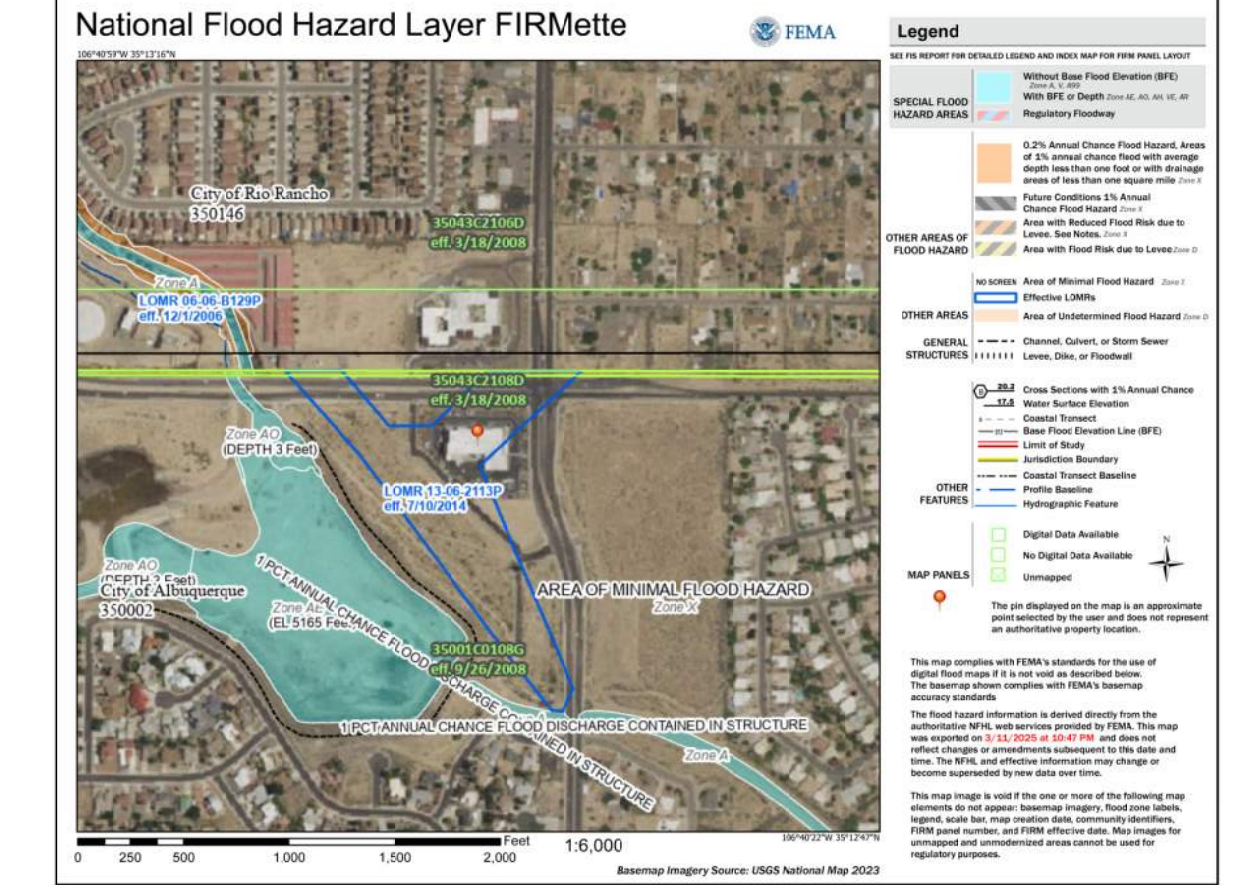
THE SITE CONSISTS OF NINE BASINS. BASIN "A" AND "B" CONSISTS OF PARKING LOTS AND HALF OF THE INTERNAL ROADWAY DISCHARGING 3.63 CFS INTO BASIN "G". BASINS "C"-"F" CONSIST OF BUILDINGS AND PARKING LOTS AND WILL DISCHARGE 16.37 CFS INTO BASIN "G". BASIN "G" ALSO ACCEPTS 17.40 CFS FROM THE EXISTING DEVELOPMENT THAT'S PART OF THE ORIGINAL DRAINAGE PLAN. BASIN "G" AND "H" WILL DRAIN TO THE EXISTING CONCRETE CHANNEL FOR A COMBINED TOTAL OF 43.33 CFS. BASIN "I" DRAINS TO AN EXISTING CONCRETE CHANNEL ALONG THE SOUTH PROPERTY LINE THAT CONNECTS TO THE SAME DROP INLET AS THE MAIN CHANNEL AND WILL DISCHARGE 1.96 CFS. IN TOTAL, THIS PROJECT WILL DISCHARGE 27.89 CFS WHICH IS LESS THAN THE 34.00 CFS ALLOWED BY THE APPROVED DRAINAGE PLAN. THE TOTAL DISCHARGE TO THE WATER QUALITY INLET IS 45.29 CFS.

THE WATER QUALITY VOLUME IS CAPTURED IN SEVERAL DEPRESSED LANDSCAPED AREAS LOCATED THROUGHOUT THE PROJECT. THE REQUIRED SWQV VOLUME IS 8,172 CUBIC FEET AND THE DEPRESSED LANDSCAPED AREAS WILL RETAIN 8,326 TOTAL CUBIC FEET.



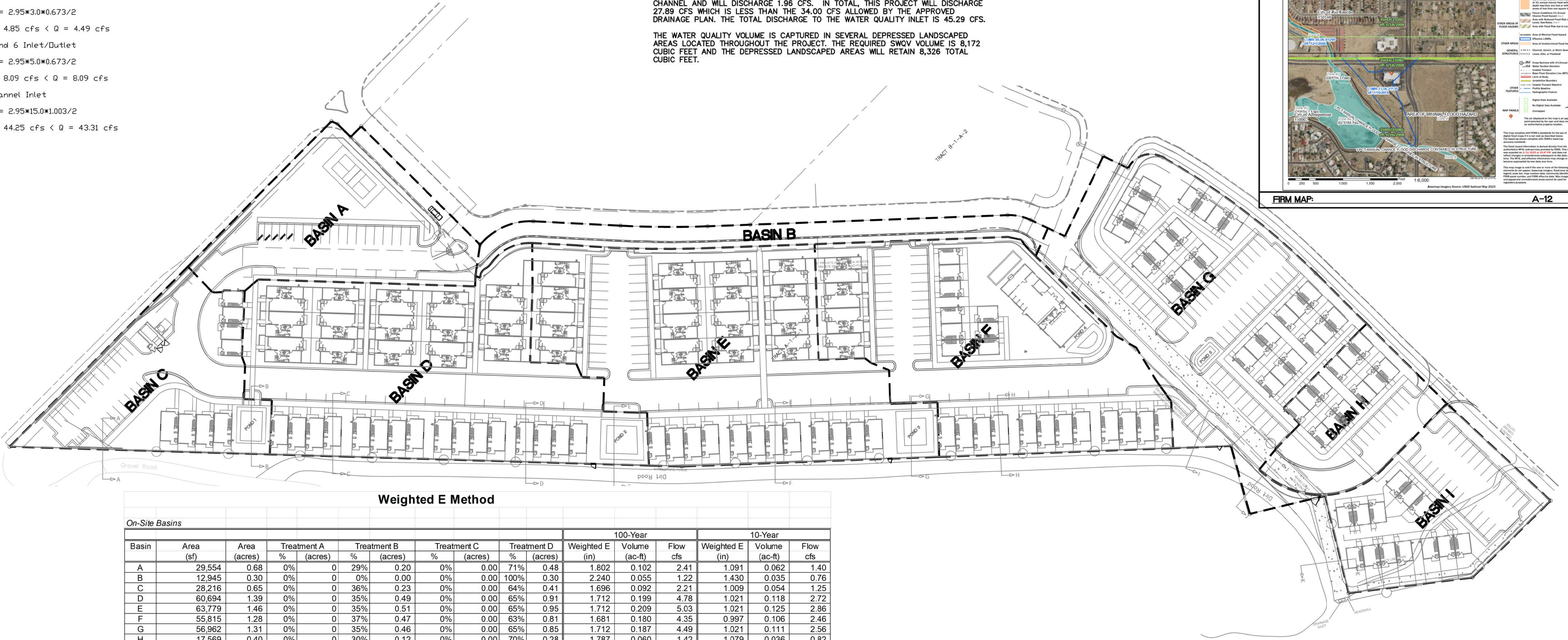
VICINITY MAP:

A-12



FIRM MAP:

A-12



#### Weighted E Method

##### On-Site Basins

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
A	29,554	0.68	0%	0	29%	0.20	0%	0.00	71%	0.48	1.802	0.102	2.41	1.091	0.062	1.40
B	12,945	0.30	0%	0	0%	0.00	0%	0.00	100%	0.30	2.240	0.055	1.22	1.430	0.035	0.76
C	28,216	0.65	0%	0	36%	0.23	0%	0.00	64%	0.41	1.696	0.092	2.21	1.009	0.054	1.25
D	60,694	1.39	0%	0	35%	0.49	0%	0.00	65%	0.91	1.712	0.199	4.78	1.021	0.118	2.72
E	63,779	1.46	0%	0	35%	0.51	0%	0.00	65%	0.95	1.712	0.209	5.03	1.021	0.125	2.86
F	55,815	1.28	0%	0	37%	0.47	0%	0.00	63%	0.81	1.681	0.180	4.35	0.997	0.106	2.46
G	56,962	1.31	0%	0	35%	0.46	0%	0.00	65%	0.85	1.712	0.187	4.49	1.021	0.111	2.56
H	17,569	0.40	0%	0	30%	0.12	0%	0.00	70%	0.28	1.787	0.060	1.42	1.079	0.036	0.82
I	24,923	0.57	0%	0	35%	0.20	0%	0.00	65%	0.37	1.712	0.082	1.96	1.021	0.049	1.12
		8.05								5.36			27.89			

#### Equations:

Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)

Volume = Weighted D \* Total Area

Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad

Water Quality Calculation: 0.42" x 5.36 ac = 8,172 cubic feet (0.1876 ac-ft)

#### Excess Precipitation, E (inches)

Zone 1	100-Year	10 - Year
Ea	0.55	0.11
Eb	0.73	0.26
Ec	0.95	0.43
Ed	2.24	1.43

#### Peak Discharge (cfs/acre)

Zone 1	100-Year	10 - Year
Qa	1.54	0.3
Qb	2.16	0.81
Qc	2.87	1.46
Qd	4.12	2.57

ENGINEER'S SEAL

RONALD R. BOHANNAN  
NEW MEXICO  
7868  
PROFESSIONAL ENGINEER

06/11/2025

RONALD R. BOHANNAN  
P.E. #7868

JAY REMBE SUBDIVISION  
ALBUQUERQUE, NM

CONCEPTUAL DRAINAGE  
PLAN

TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505)858-3100

AS

06-11-25

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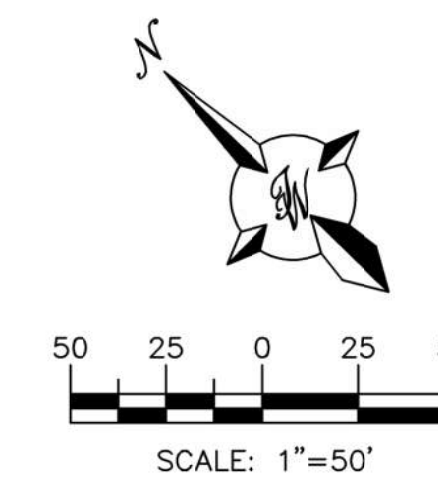
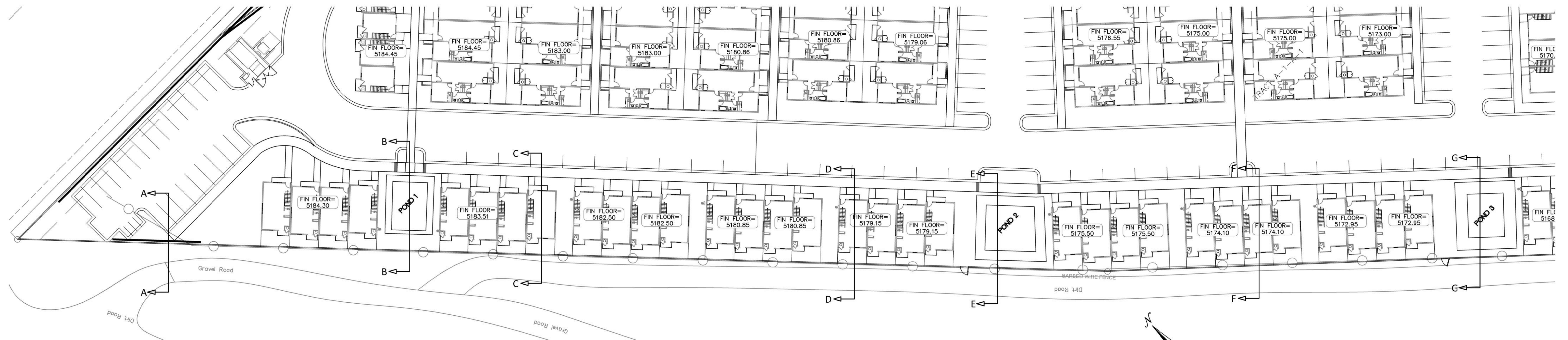
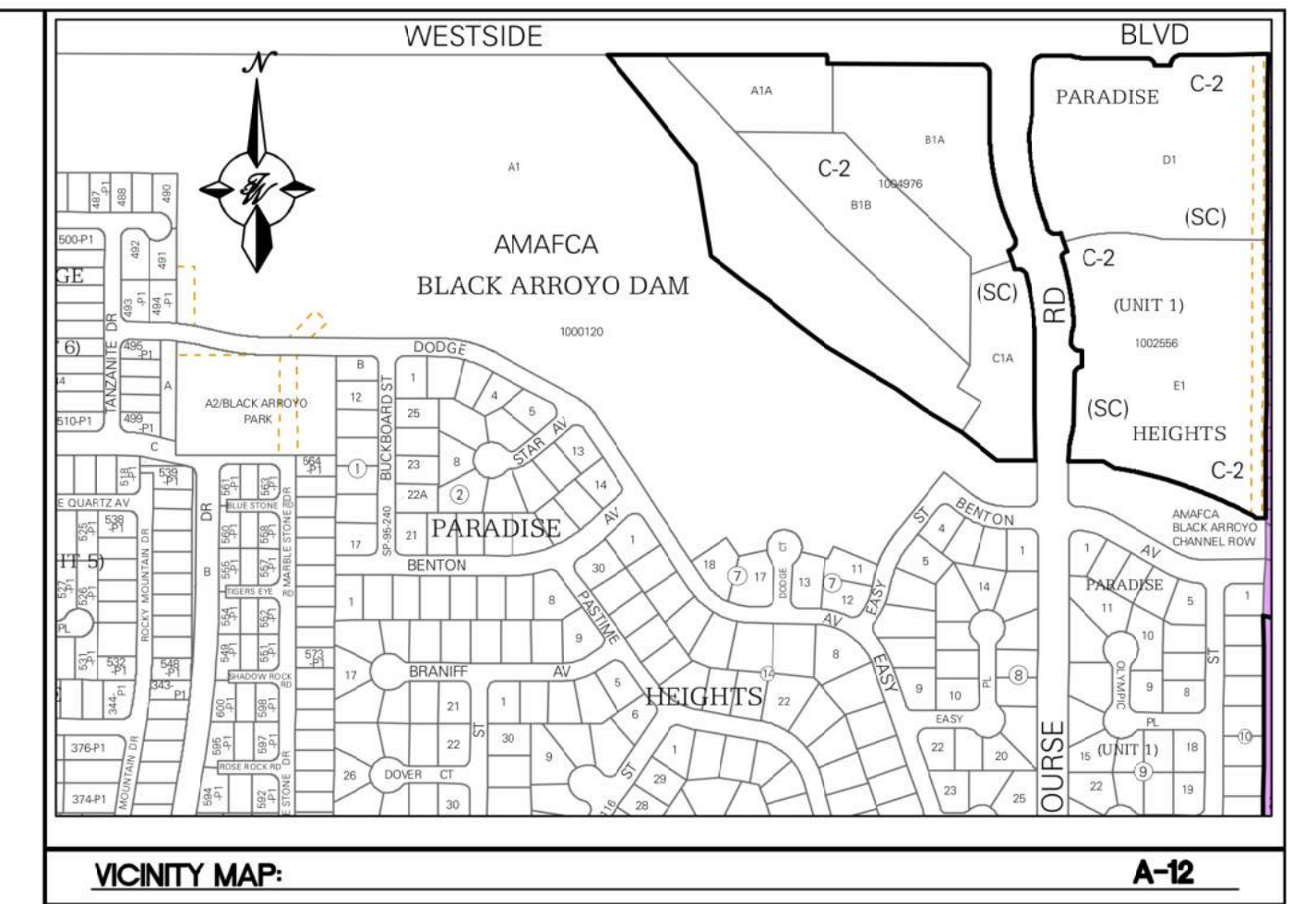
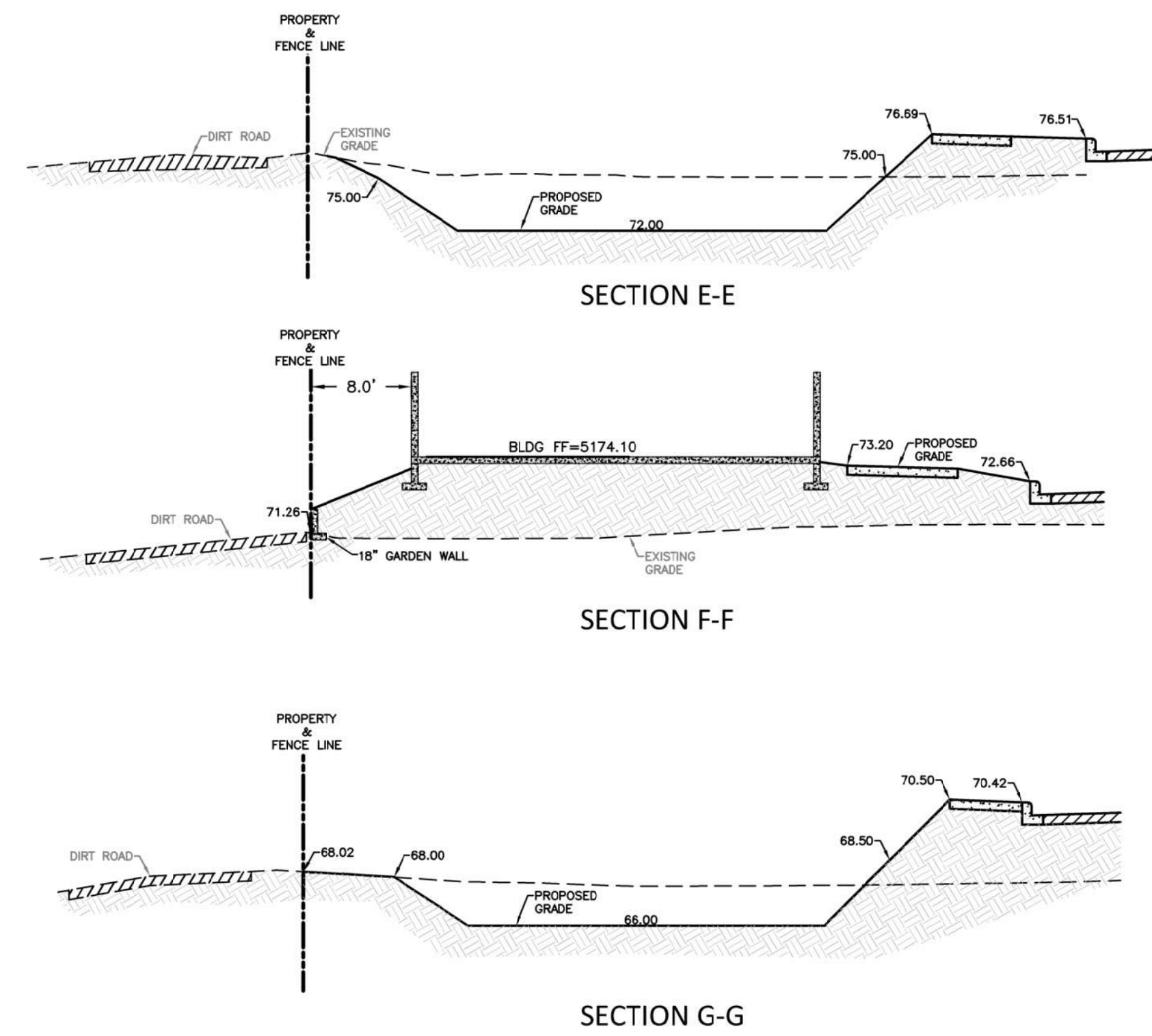
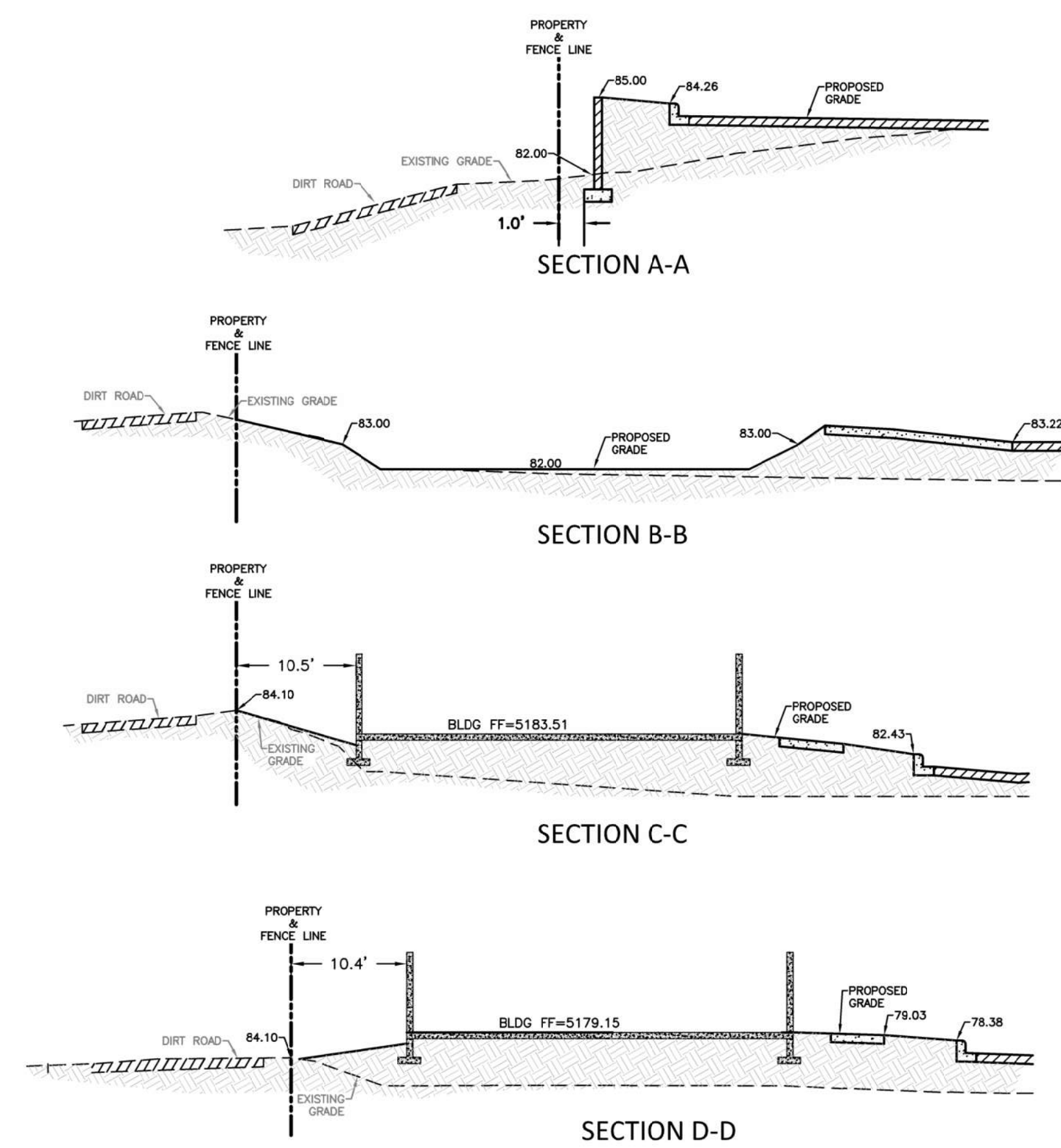
SHEET #




D1

JOB #

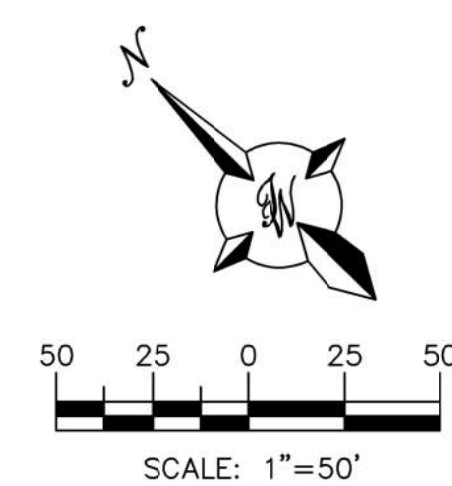
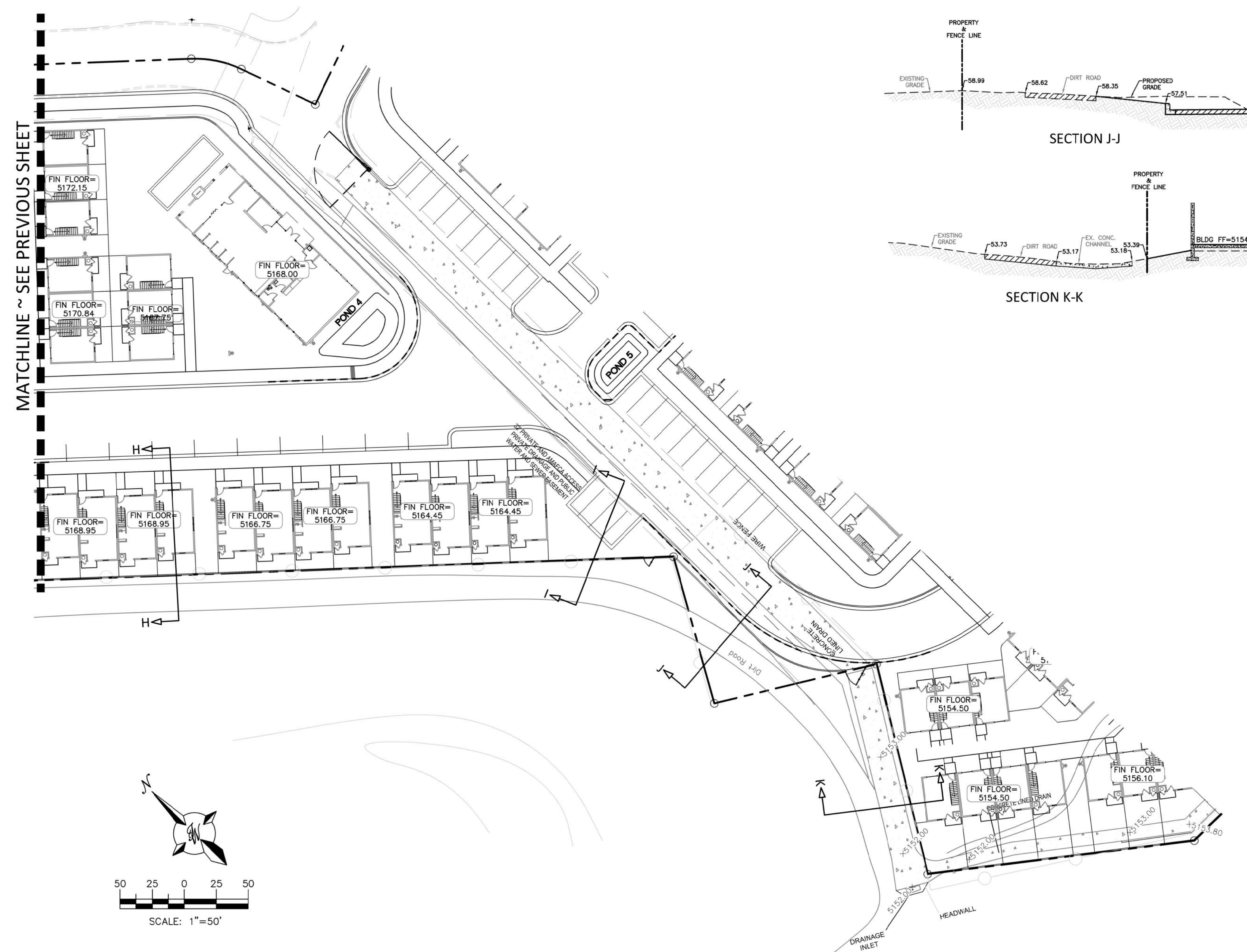
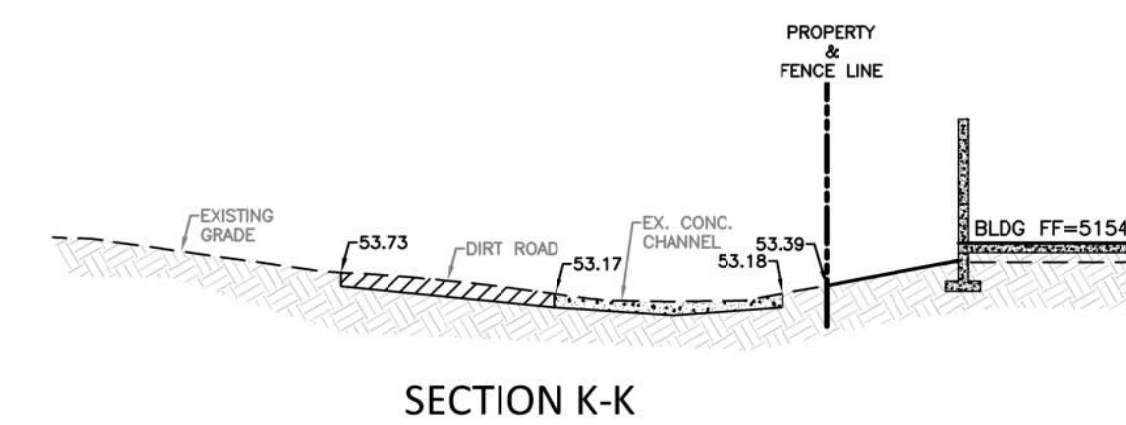
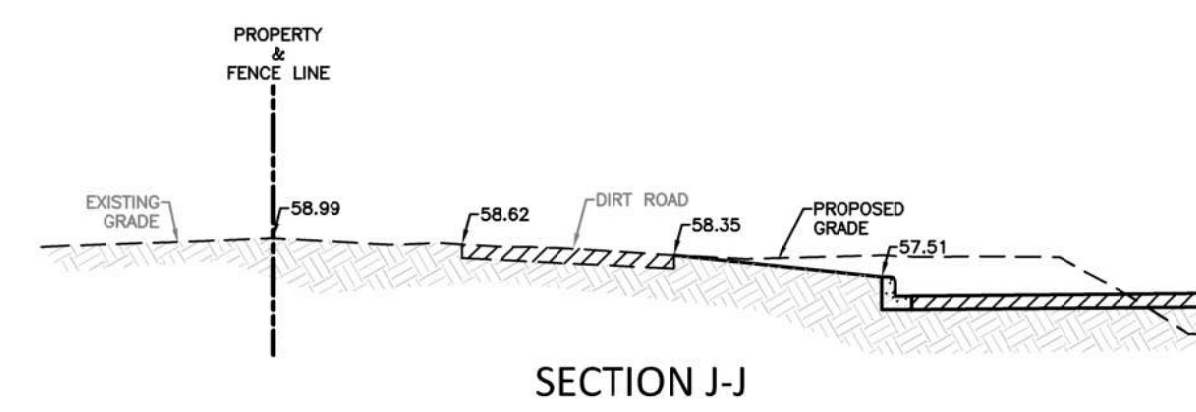
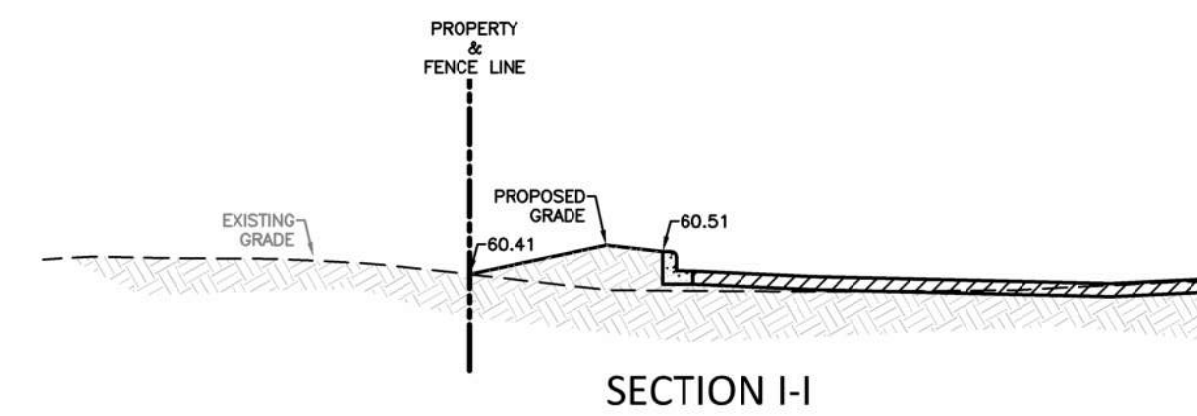
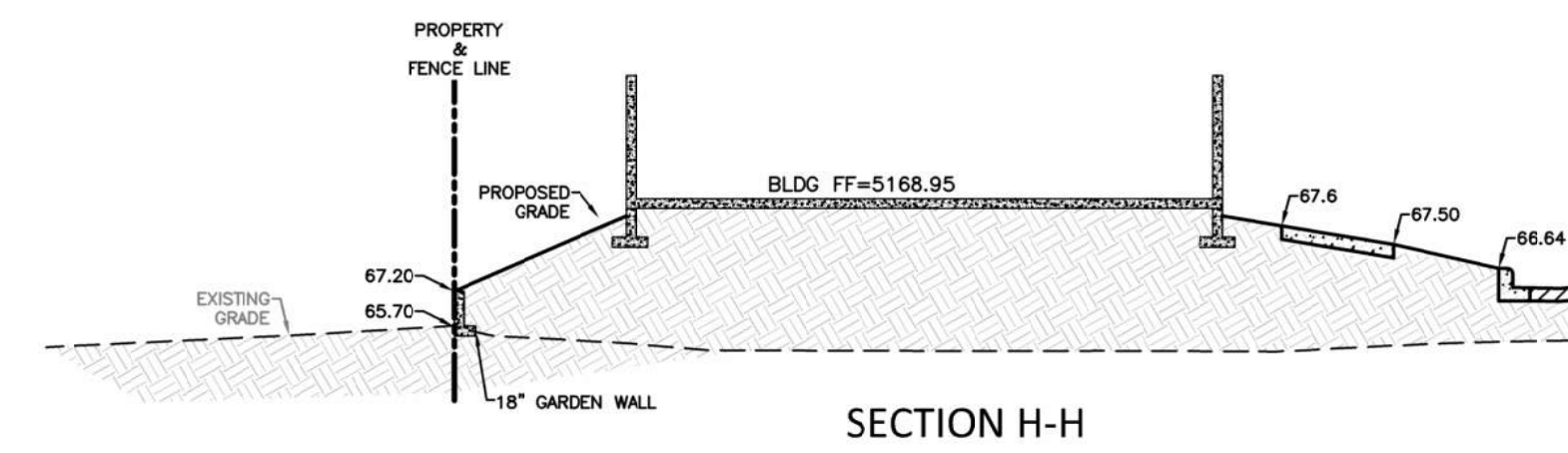
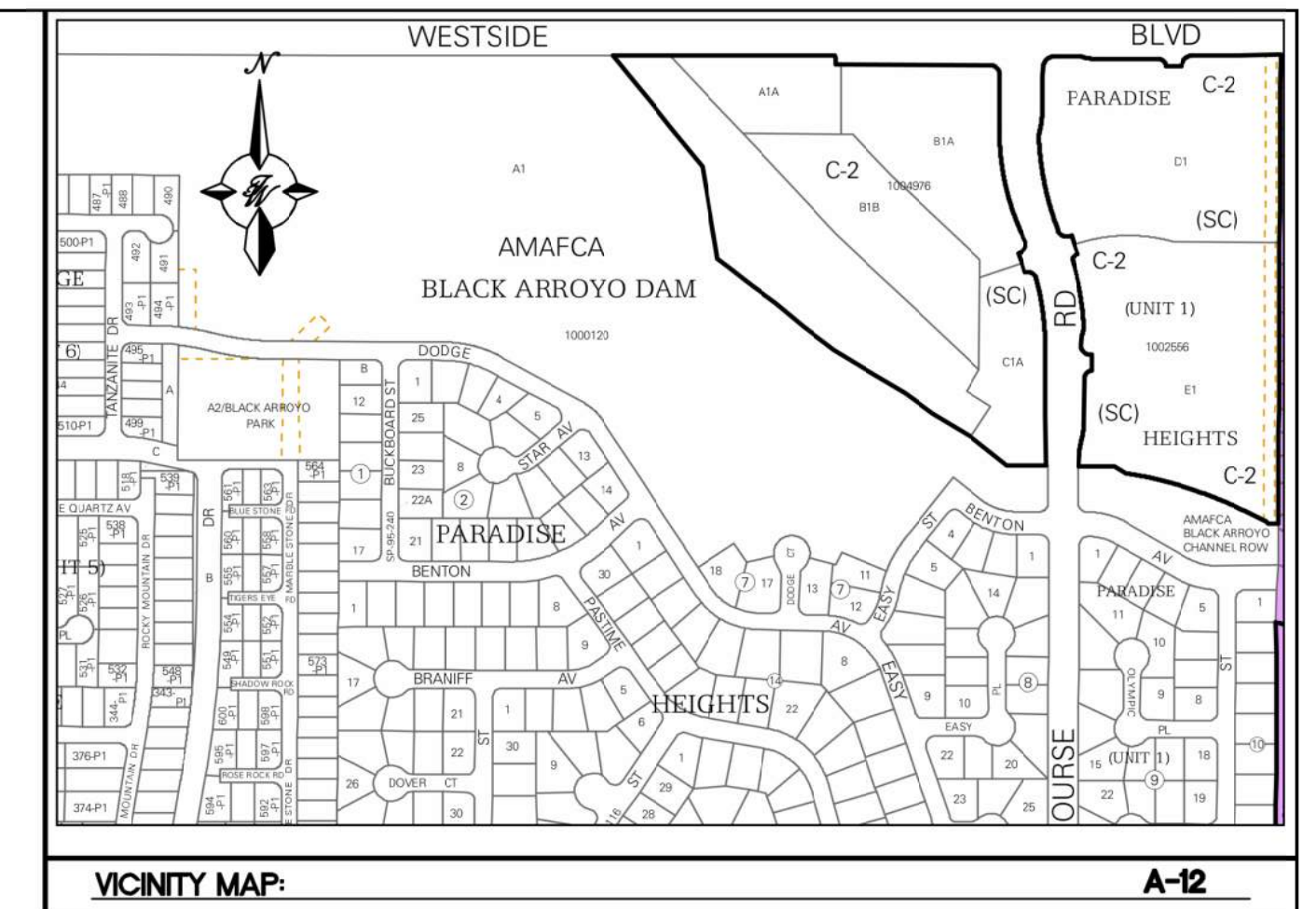
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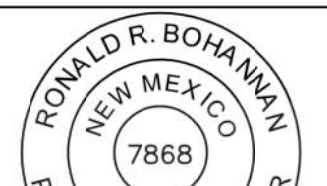





<p>ENGINEER'S SEAL</p>	<p>JAY REMBE SUBDIVISION ALBUQUERQUE, NM</p>	<p>AS</p>
	<p><b>AMAFCA CROSS SECTIONS</b></p>	<p>06-11-25</p> <p>2024054_GRE</p>
 <p>06/11/2025</p>	<p> <i>TERRA WEST, LLC</i></p> <p>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100</p>	<p>SHEET #</p> <p><b>C1</b></p>
<p>RONALD R. BOHANNAN P.E. #7868</p>		<p>JOB #</p> <p>2024054</p>





<p>ENGINEER'S SEAL</p>	<p>JAY REMBE SUBDIVISION ALBUQUERQUE, NM</p>	<p>AS</p>
 <p>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</p> <p><i>Ronald R. Bohannan</i></p> <p>06/11/2025</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	<p><b>AMAFCA CROSS SECTIONS</b></p>	<p>06-11-25</p> <p>2024054_GRE</p> <p>SHEET #</p> <p><b>C2</b></p>
	 <p>TIERRA WEST, LLC</p> <p>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100</p>	<p>JOB # 2024054</p>



GENERAL NOTE:

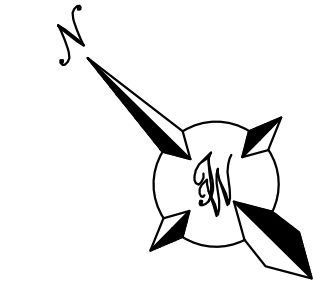
1. THIS PLAN IS CONCEPTUAL ONLY TO SHOW PROPOSED USES AND DEPICT CONCEPTUAL UTILITY CHANGES.

GENERAL UTILITY NOTES:

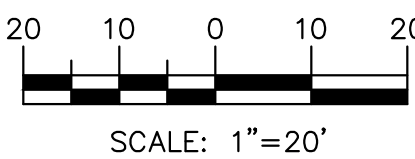
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2. 3.5' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING.
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9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. REFERENCE COA STD DWG #'S 2302, 2303, 2324, 2342, AND 2365 FOR WATER TRACER WIRES.
11. REFERENCE COA STD DWG #'S 2191 AND 2190 FOR TRACER WIRE INSTALLATION.
12. CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS.

LEGEND

- ==== CURB & GUTTER
- BOUNDARY LINE
- - - PROPOSED EASEMENT
- - - EXISTING EASEMENT
- ===== BUILDING
- ===== SIDEWALK
- ===== EXISTING CURB & GUTTER
- SAS --- PROPOSED SANITARY SEWER LINE
- - - SAS - - - PROPOSED WATERLINE
- SAS --- EXISTING SANITARY SEWER LINE
- - - SAS - - - EXISTING WATERLINE
- PROPOSED HYDRANT
- ⌵ PROPOSED GATE VALVE
- ⊕ EXISTING HYDRANT
- ⌵ EXISTING GATE VALVE
- ⊙ LIGHT POLE
- ⊙ NEW WATER METER

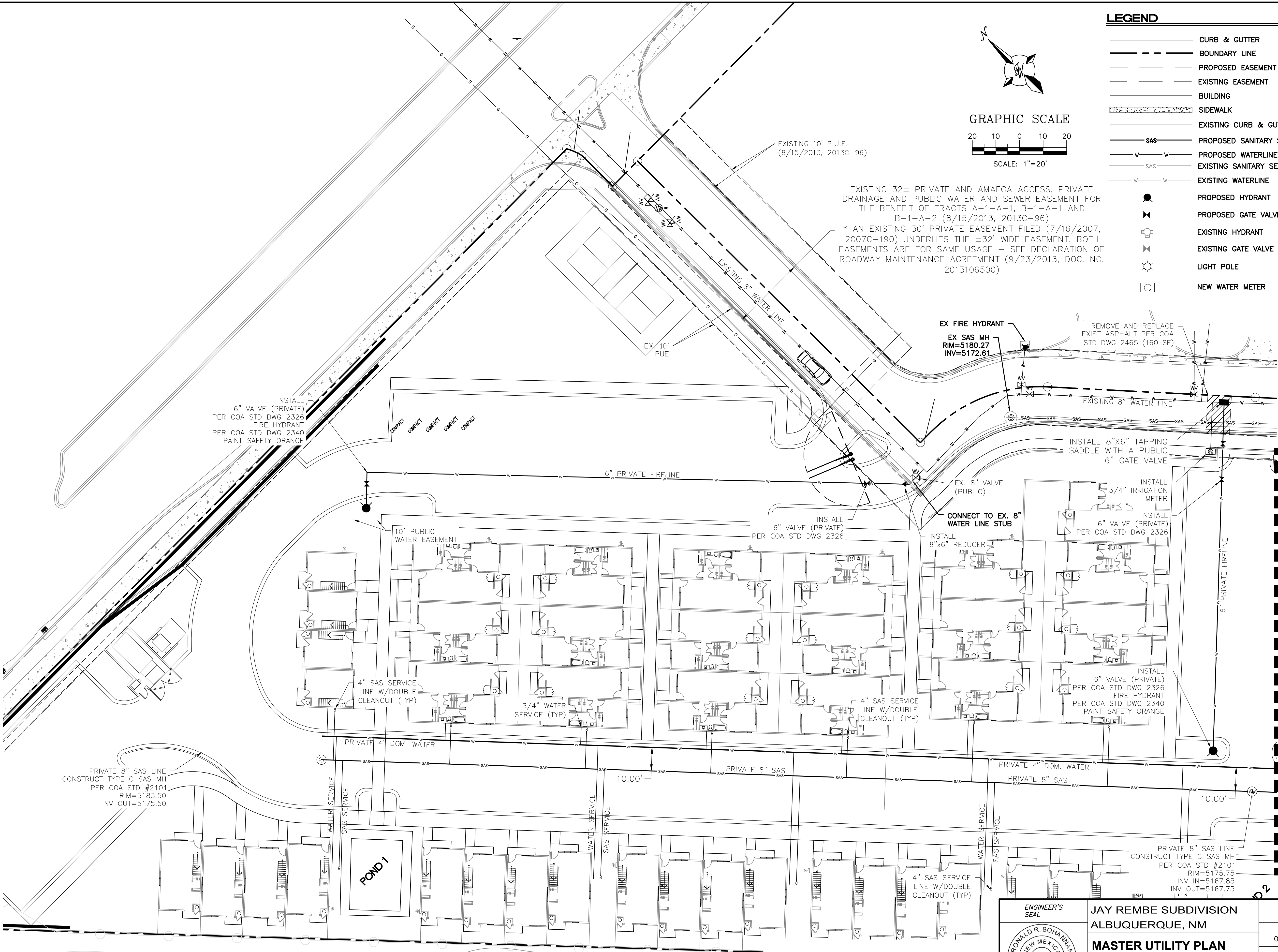


GRAPHIC SCALE



EXISTING 32± PRIVATE AND AMAFCA ACCESS, PRIVATE DRAINAGE AND PUBLIC WATER AND SEWER EASEMENT FOR THE BENEFIT OF TRACTS A-1-A-1, B-1-A-1 AND B-1-A-2 (8/15/2013, 2013C-96)

\* AN EXISTING 30' PRIVATE EASEMENT FILED (7/16/2007, 2007C-190) UNDERLIES THE ±32' WIDE EASEMENT. BOTH EASEMENTS ARE FOR SAME USAGE - SEE DECLARATION OF ROADWAY MAINTENANCE AGREEMENT (9/23/2013, DOC. NO. 2013106500)



CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

NOTES

1. ALL ONSITE WATER, SANITARY SEWER AND FIRE LINES SHALL BE DEEMED PUBLIC.
2. BUILDING MOUNTED SITE LIGHTING FIXTURES TO COMPLY WITH NEW MEXICO NIGHT SKY ORDINANCE.



JAY REMBE SUBDIVISION  
ALBUQUERQUE, NM  
MASTER UTILITY PLAN

TIERRA WEST, LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505)858-3100

MATCHLINE ~ SEE NEXT SHEET

AS

06-11-25

2024054\_MUE

SHEET #

MU-1

JOB #

2024054



## LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	PROPOSED EASEMENT
	EXISTING EASEMENT
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATERLINE
	EXISTING SANITARY SEWER LINE
	EXISTING WATERLINE
	PROPOSED HYDRANT
	PROPOSED GATE VALVE
	EXISTING HYDRANT
	EXISTING GATE VALVE
	LIGHT POLE
	NEW WATER METER

EXISTING 32± PRIVATE AND AMAFCA ACCESS, PRIVATE DRAINAGE AND PUBLIC WATER AND SEWER EASEMENT FOR THE BENEFIT OF TRACTS A-1-A-1, B-1-A-1 AND B-1-A-2 (8/15/2013, 2013C-96)  
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REMOVE AND REPLACE EXIST ASPHALT PER COA STD DWG 2465 (160 SF)

INSTALL 8"x6" TAPPING SADDLE WITH A PUBLIC 6" GATE VALVE

TRACT A-1-A-2 (8/15/2013, 2013C-96) (8/15/2013, 2013C-96)

EX FIRE HYDRANT

EX SAS MH  
RIM=5169.92  
INV=5162.19

EXISTING 10' P.U.E.  
(8/15/2013, 2013C-96)

GRAPHIC SCALE

20 10 0 10 20

SCALE: 1"=20'

MATCHLINE ~ SEE PREVIOUS SHEET

MATCHLINE ~ SEE NEXT SHEET

EX SAS MH  
RIM=5176.92  
INV=5169.21

EXISTING PUBLIC 8" WATER LINE

EXISTING PUBLIC 8" SAS

EXISTING PUBLIC 8" WATER LINE

EX FIRE HYDRANT  
EX 8" WL STUB

EX 6" SAS STUB  
INV=5162.72

4-2" METERS  
MANIFOLD FOR  
2" WATER LINES TO  
ONE 4" WATER LINE

INSTALL  
3/4" IRRIGATION  
METER

EXISTING 10' P.U.E.  
(8/15/2013, 2013C-96)

INSTALL  
6" VALVE (PRIVATE)  
PER COA STD DWG 2326

INSTALL  
6" VALVE (PRIVATE)  
PER COA STD DWG 2326  
FIRE HYDRANT  
PER COA STD DWG 2340  
PAINT SAFETY ORANGE

3/4" WATER  
SERVICE (TYP)

PRIVATE 4" DOM. WATER

PRIVATE 8" SAS

CONNECT TO EX. PUBLIC  
8" SAS MAIN  
CONSTRUCT TYPE C SAS MH  
PER COA STD #2101  
RIM=5162.35  
INV IN=5155.73  
INV OUT=5155.63

EXISTING 32± PRIVATE AND AMAFCA ACCESS, PRIVATE DRAINAGE AND PUBLIC WATER AND SEWER EASEMENT FOR THE BENEFIT OF TRACTS A-1-A-1, B-1-A-1 AND B-1-A-2 (8/15/2013, 2013C-96)  
(9/23/2013, DOC. NO. 2013106500)

## GENERAL UTILITY NOTES:

- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH ABCWA STANDARDS AND SPECIFICATIONS LATEST EDITION.
- 3.5' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
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- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'

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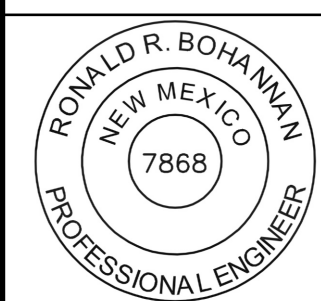
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## NOTES:

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- BUILDING MOUNTED SITE LIGHTING FIXTURES TO COMPLY WITH NEW MEXICO NIGHT SKY ORDINANCE.

## CAUTION

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ENGINEER'S  
SEAL

06/11/2025

RONALD R. BOHANNAN  
P.E. #7868JAY REMBE SUBDIVISION  
ALBUQUERQUE, NM

MASTER UTILITY PLAN

TIERRA WEST, LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505)858-3100

AS

06-11-25

2024054\_MUE

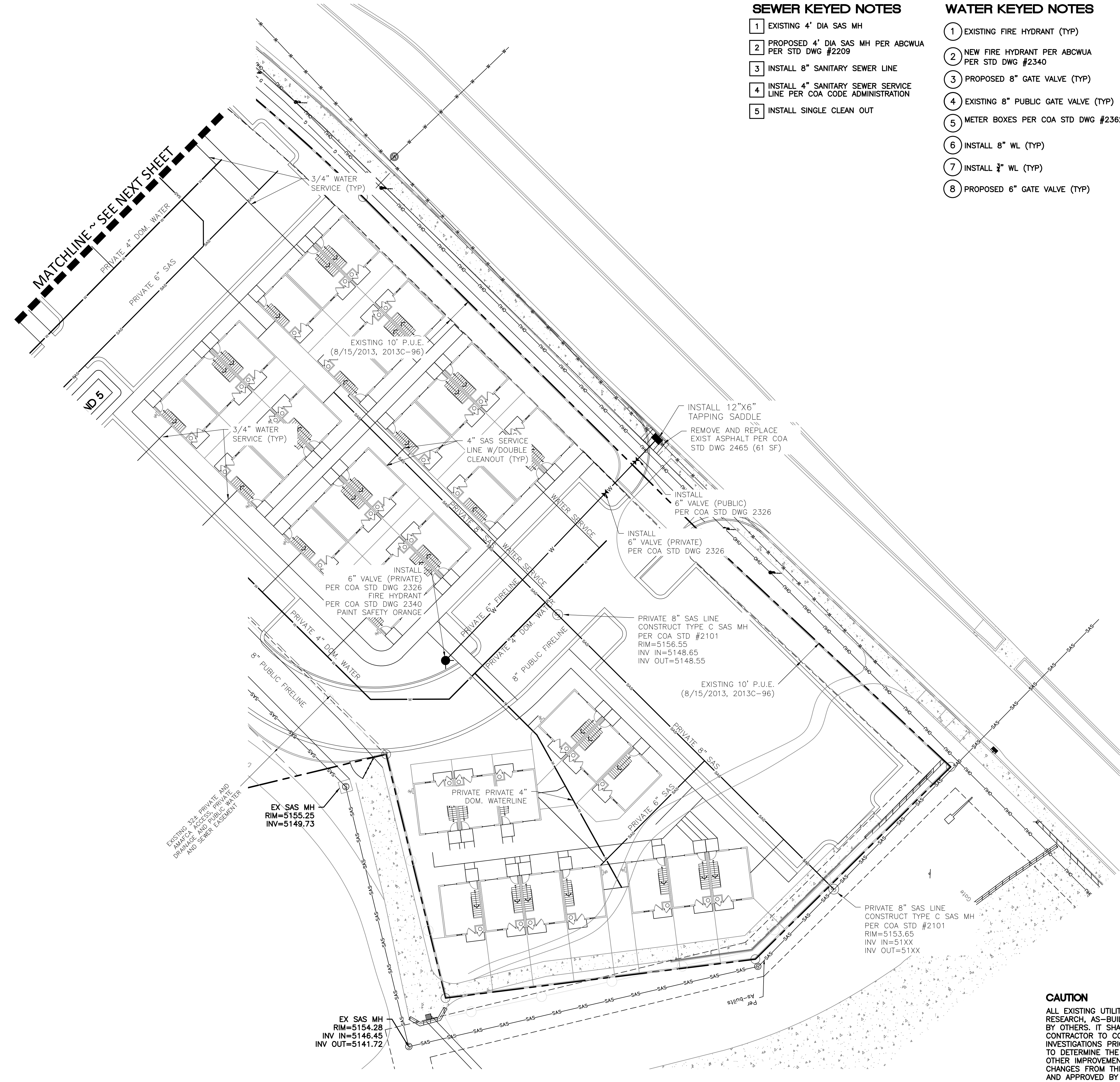
SHEET #

MU-2

JOB #

2024054





SEWER KEYED NOTES

- 1 EXISTING 4' DIA SAS MH
- 2 PROPOSED 4' DIA SAS MH PER ABCWUA PER STD DWG #2209
- 3 INSTALL 8" SANITARY SEWER LINE
- 4 INSTALL 4" SANITARY SEWER SERVICE LINE PER COA CODE ADMINISTRATION
- 5 INSTALL SINGLE CLEAN OUT

WATER KEYED NOTES

- 1 EXISTING FIRE HYDRANT (TYP)
- 2 NEW FIRE HYDRANT PER ABCWUA PER STD DWG #2340
- 3 PROPOSED 8" GATE VALVE (TYP)
- 4 EXISTING 8" PUBLIC GATE VALVE (TYP)
- 5 METER BOXES PER COA STD DWG #2362
- 6 INSTALL 8" WL (TYP)
- 7 INSTALL 3/4" WL (TYP)
- 8 PROPOSED 6" GATE VALVE (TYP)

GENERAL NOTES

- 1. THIS PLAN IS CONCEPTUAL ONLY TO SHOW PROPOSED USES AND DEPICT CONCEPTUAL UTILITY CHANGES.

SAS STRUCTURE TABLE

STRUCTURE	RIM	INV(IN)	INV(OUT)
MH1 (4' DIA)	5019.61	5004.30	5004.20
MH2 (4' DIA)	5016.41	5007.98	5007.88
MH3 (4' DIA)	5016.08	5008.40	5008.30
MH4 (4' DIA)	5015.49	5008.87	5008.77
MH5 (4' DIA)	5014.32	5009.66	5009.56
MH6 (4' DIA)	5018.14	5011.45	5011.45
MH7 (4' DIA)	5024.01	5007.78	5007.68
MH8 (4' DIA)	5024.07	5011.96	5011.86
MH9 (4' DIA)	5024.02	5014.55	5014.45

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LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- PROPOSED EASEMENT
- EXISTING EASEMENT
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- SAS PROPOSED SANITARY SEWER LINE
- PROPOSED WATERLINE
- EXISTING SANITARY SEWER LINE
- EXISTING WATERLINE
- PROPOSED HYDRANT
- PROPOSED GATE VALVE
- EXISTING HYDRANT
- EXISTING GATE VALVE
- LIGHT POLE
- NEW WATER METER

NOTES

- 1. ALL ONSITE WATER, SANITARY SEWER AND FIRE LINES SHALL BE DEEMED PUBLIC.
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	ENGINEER'S SEAL	JAY REMBE SUBDIVISION	AS
		ALBUQUERQUE, NM	06-11-25
	MASTER UTILITY PLAN		2024054_MUE
			SHEET #
		MU-3	
		JOB #	
		2024054	

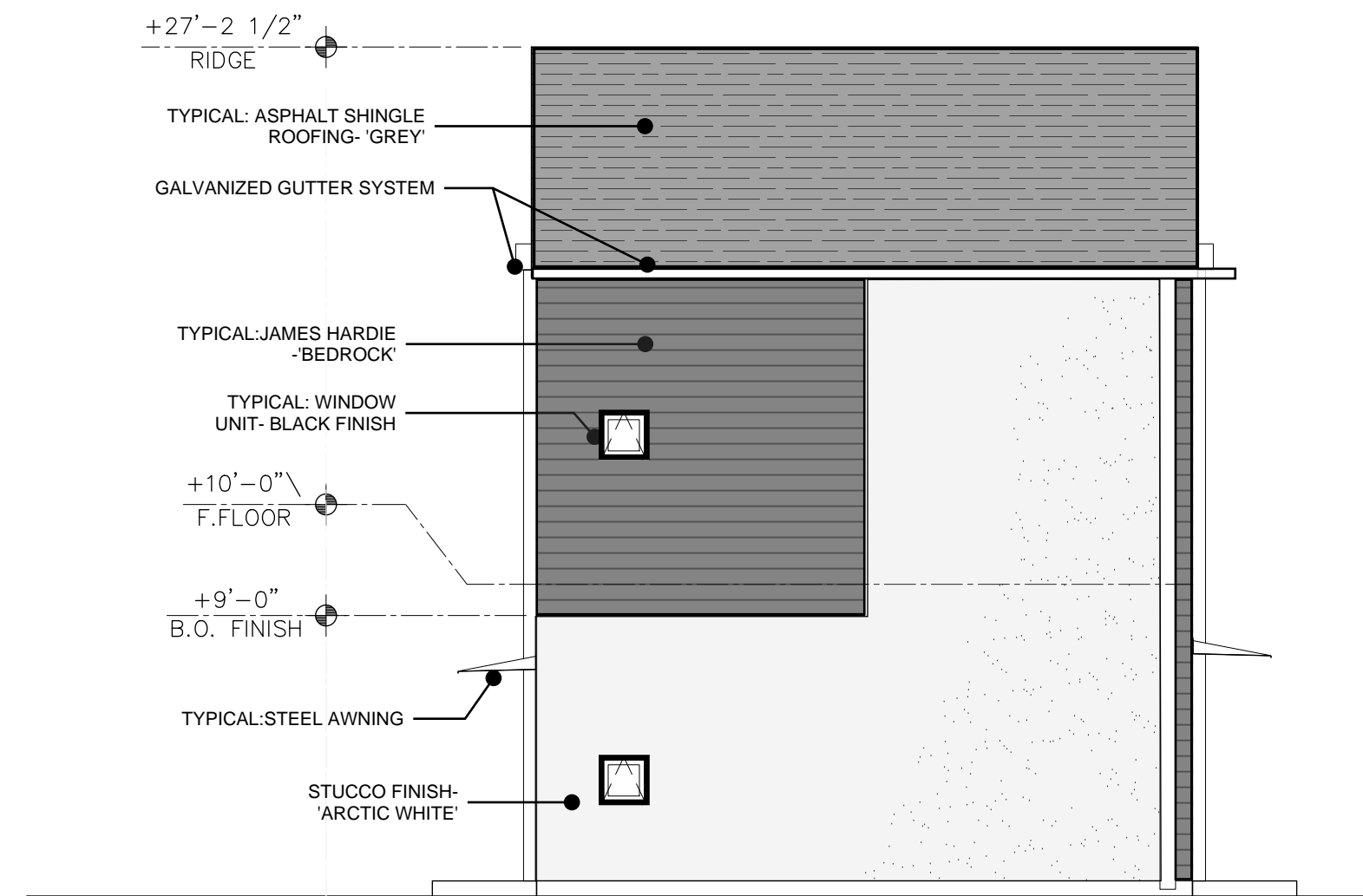
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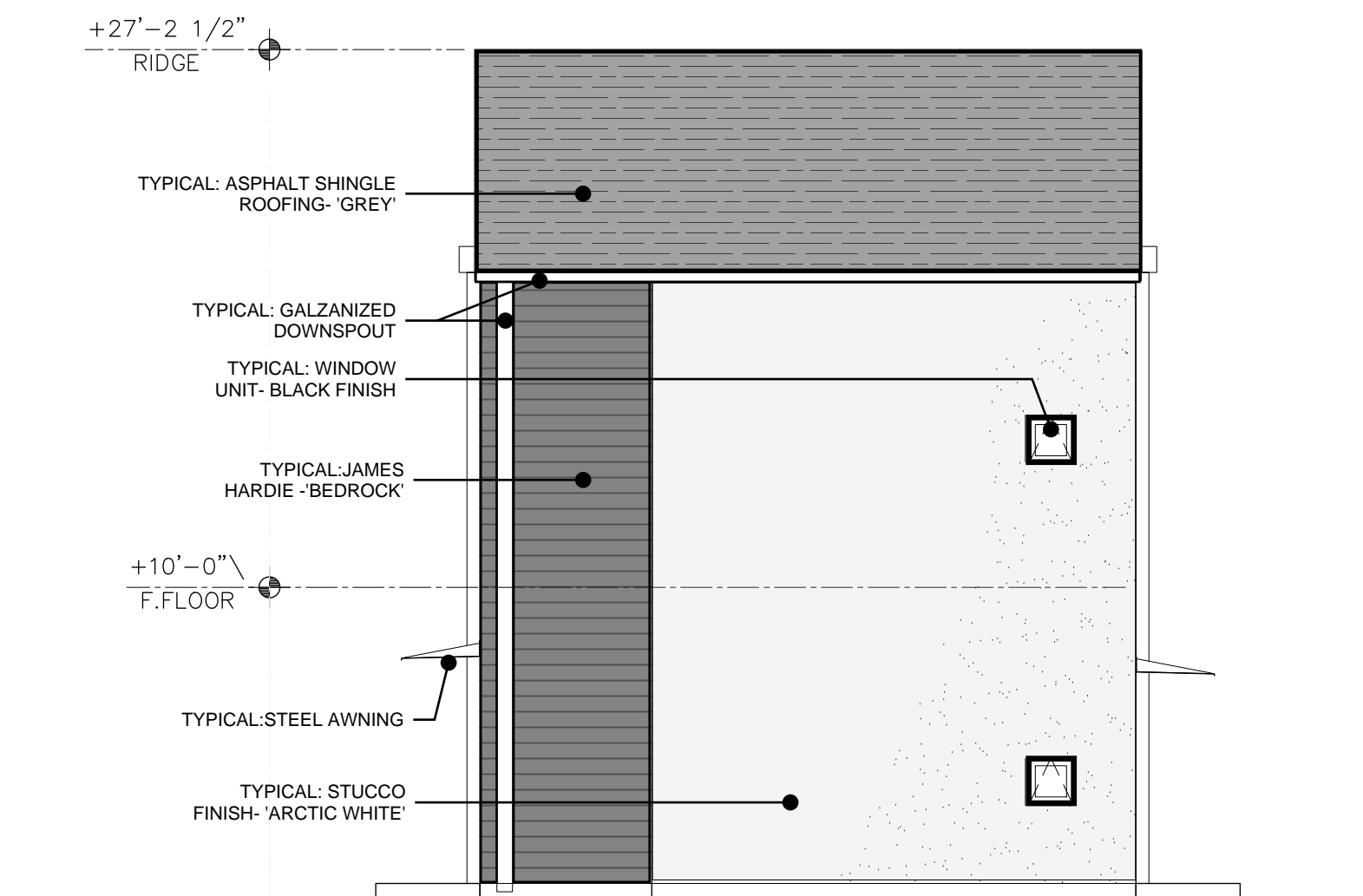
**C1** TYPICAL FRONT ELEVATION  
3/16"=1'-0"



**C2** TYPICAL SIDE ELEVATION  
3/16"=1'-0"



**B1** TYPICAL REAR ELEVATION  
3/16"=1'-0"

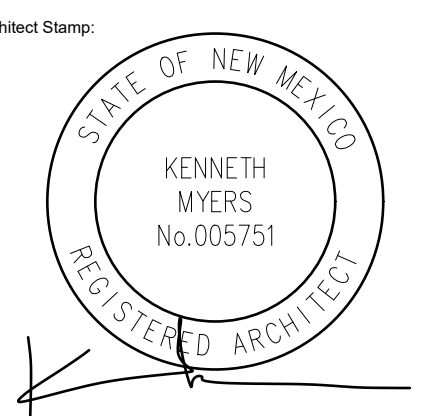


**B2** TYPICAL SIDE ELEVATION  
3/16"=1'-0"



**A1** TYPICAL ENTRY PATHWAY FACADE  
NTS

**BTR | RIO RANCHO HOUSING DEVELOPMENT**  
GOLF COURSE RD. NW  
ALBUQUERQUE, NM 87114



**REMBE**  
urban design + development  
1716 Central SW, Suite A  
Albuquerque, NM 87104  
t: 505-243-0188

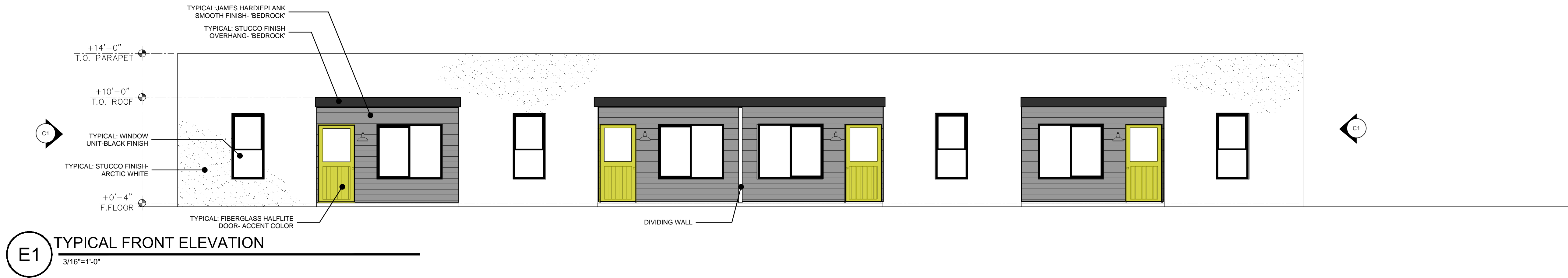
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Drawn By:	KMA
Checked By:	KMA
Phase:	DFT SUBMITTAL
Date:	09/22/2025

ARCHITECTURAL  
ELEVATIONS  
BUILDING A

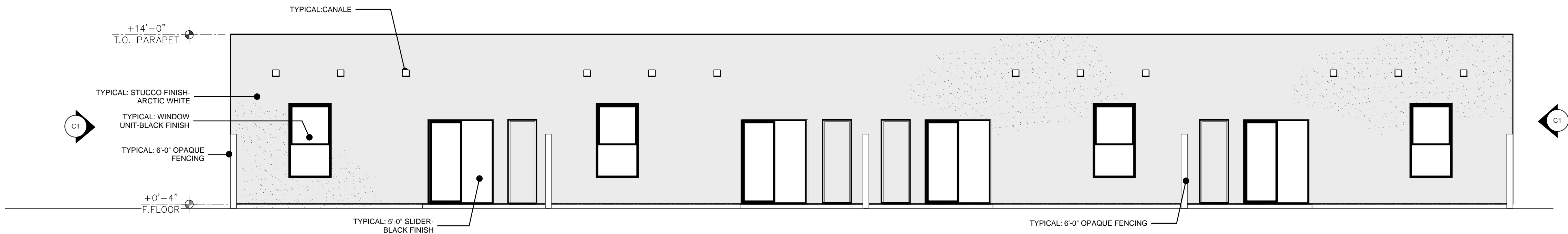
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DO NOT SCALE DRAWINGS

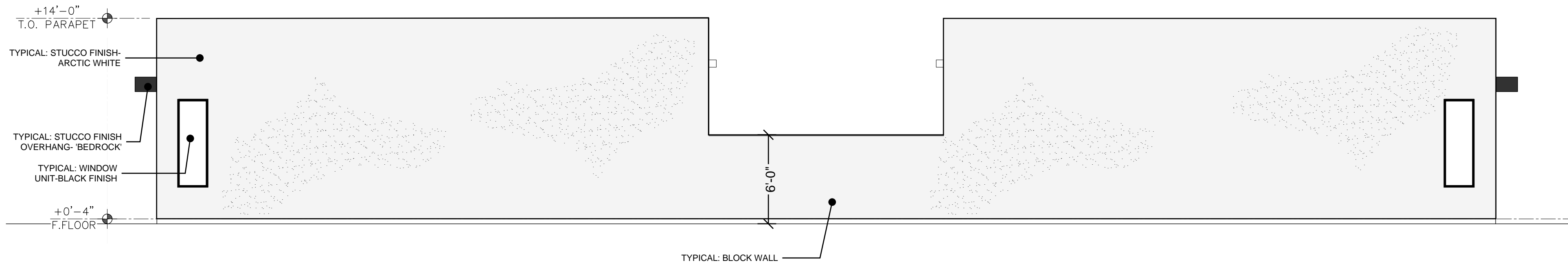




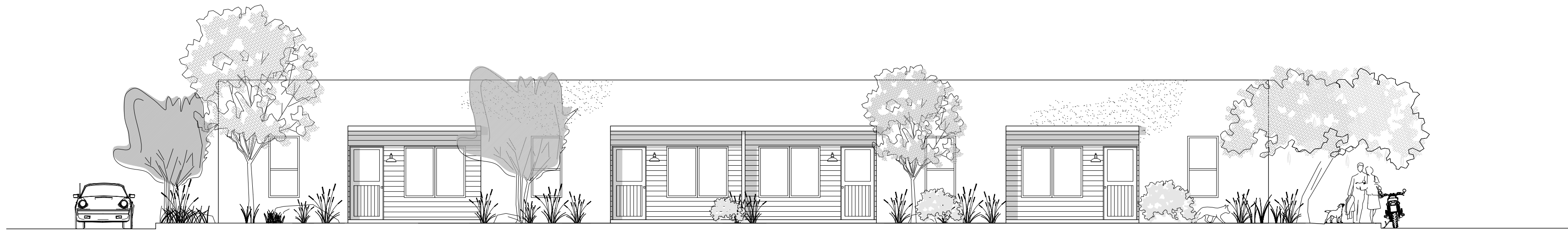
E1 TYPICAL FRONT ELEVATION  
3/16"=1'-0"



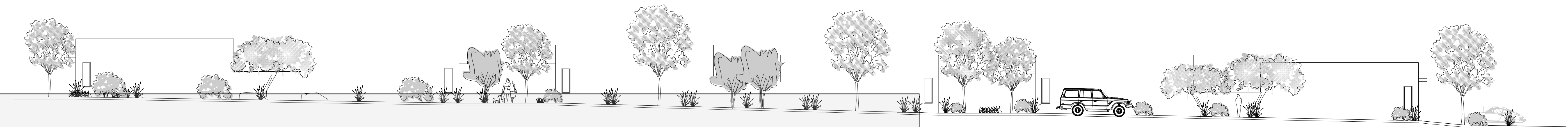
D1 TYPICAL REAR ELEVATION  
3/16"=1'-0"



C1 TYPICAL SIDE ELEVATION  
3/16"=1'-0"



B1 TYPICAL ENTRY PATHWAY FACADE  
NTS

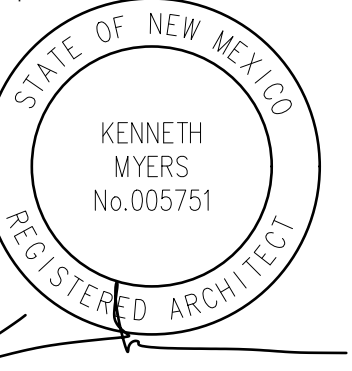


A1 TYPICAL FACADE ALONG ROADWAY  
NTS

BTR | RIO RANCHO HOUSING DEVELOPMENT

GOLF COURSE RD. NW  
ALBUQUERQUE, NM 87114

Architect Stamp:



REMBE

urban design + development  
1716 Central SW, Suite A  
Albuquerque, NM 87104  
t: 505-243-0188

Project:	Drawn By: KMA	Checked By: KMA
Phase:	DFT SUBMITTAL	
Date:	09/22/2025	

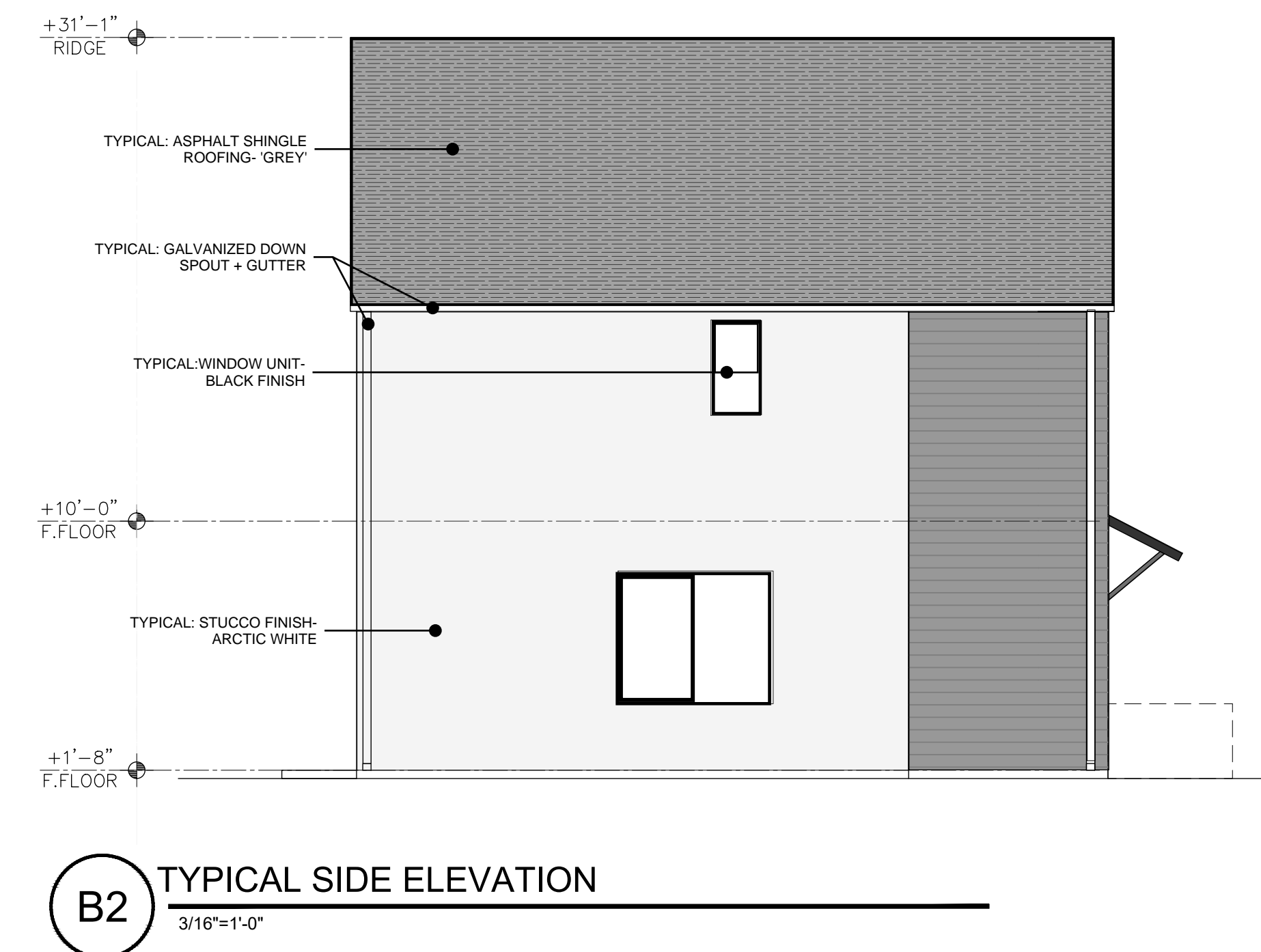
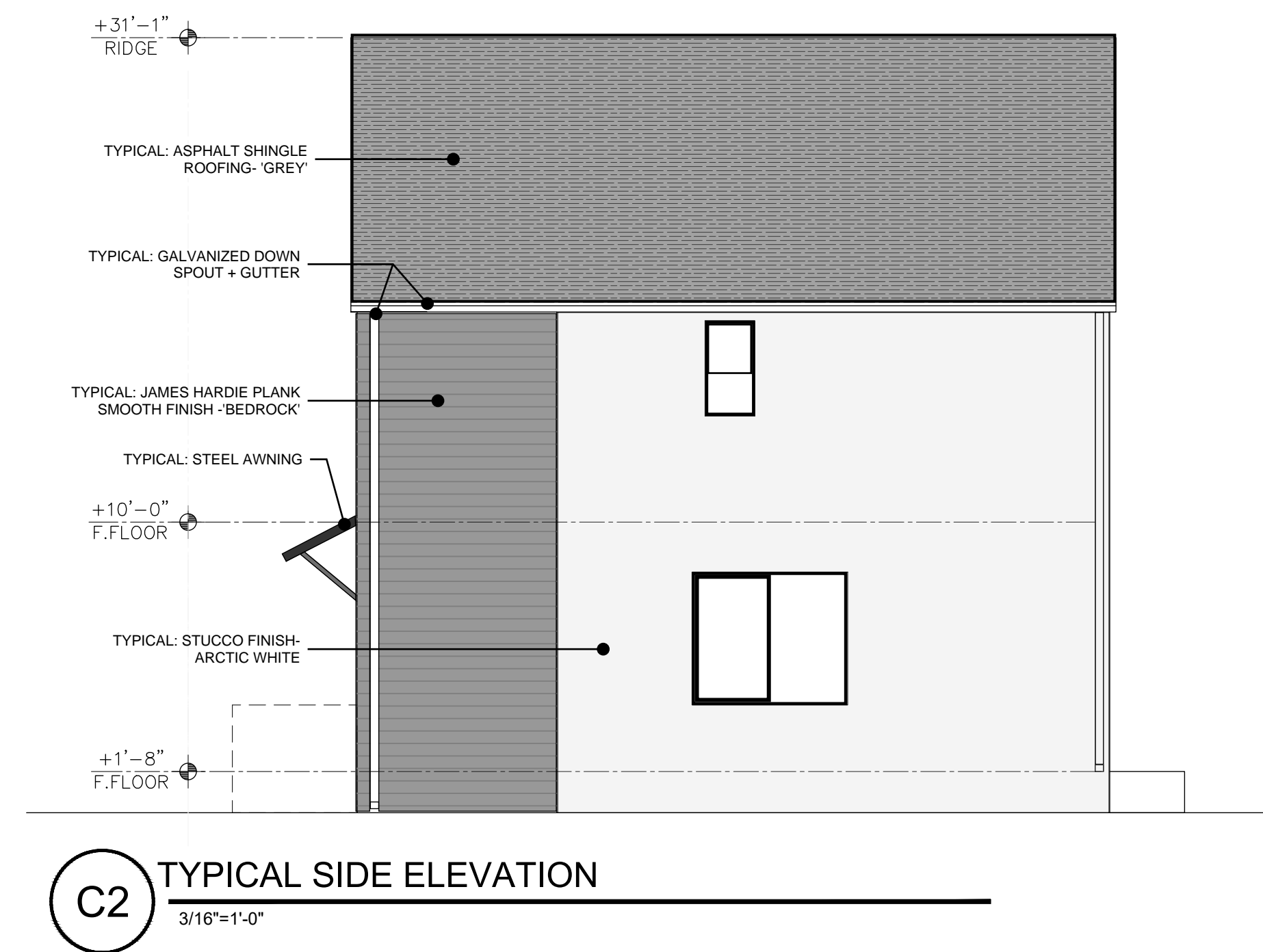
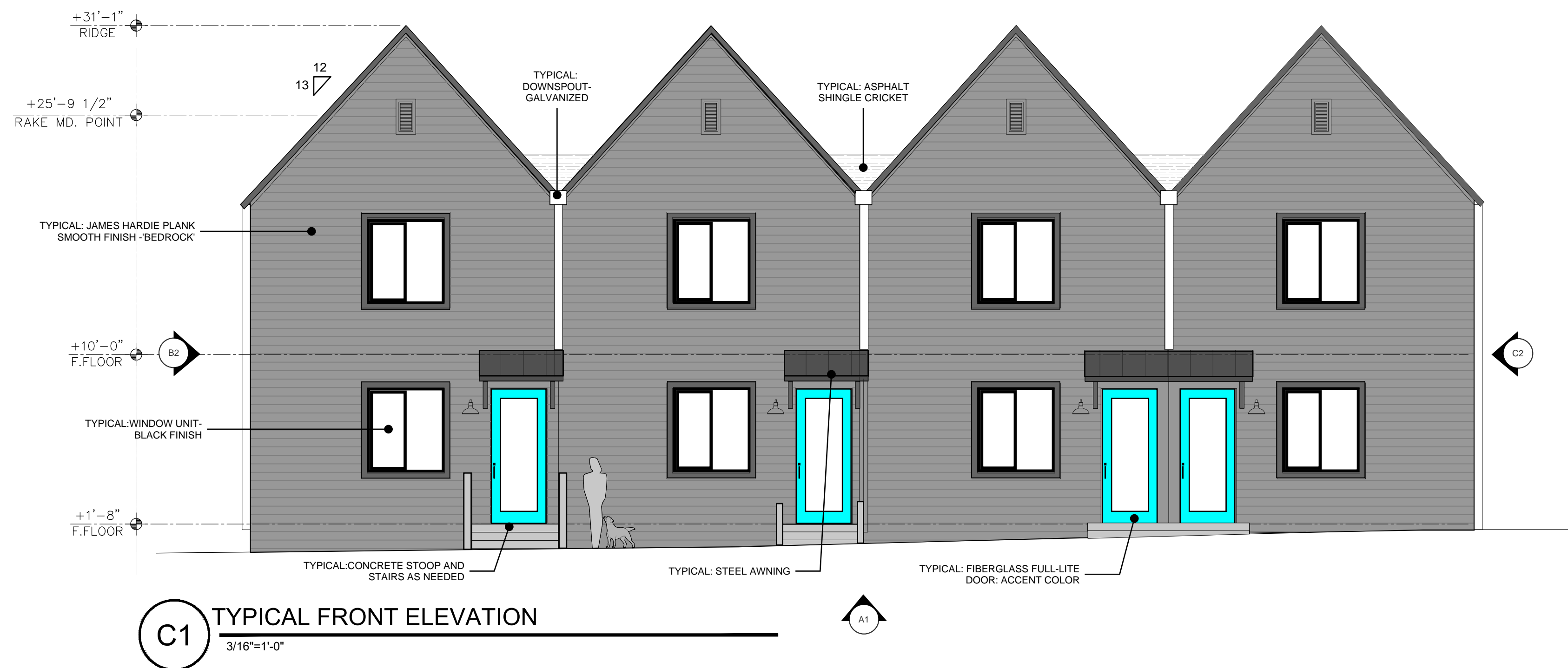
ARCHITECTURAL  
ELEVATIONS  
BUILDING B

Sheet Number:

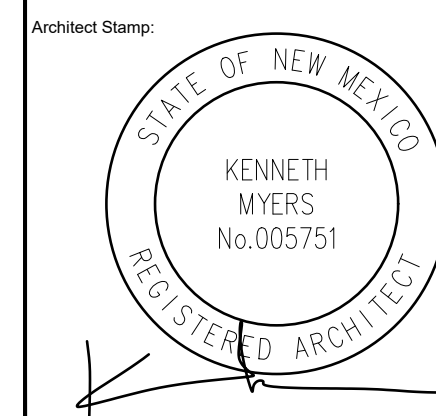
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DO NOT SCALE DRAWINGS





BTR | RIO RANCHO HOUSING DEVELOPMENT  
GOLF COURSE RD. NW  
ALBUQUERQUE, NM 87114



REMBE  
urban design + development  
1716 Central SW, Suite A  
Albuquerque, NM 87104  
t: 505-243-0188

Project: KMA  
Phase: DFT SUBMITTAL  
Date: 09/22/2025

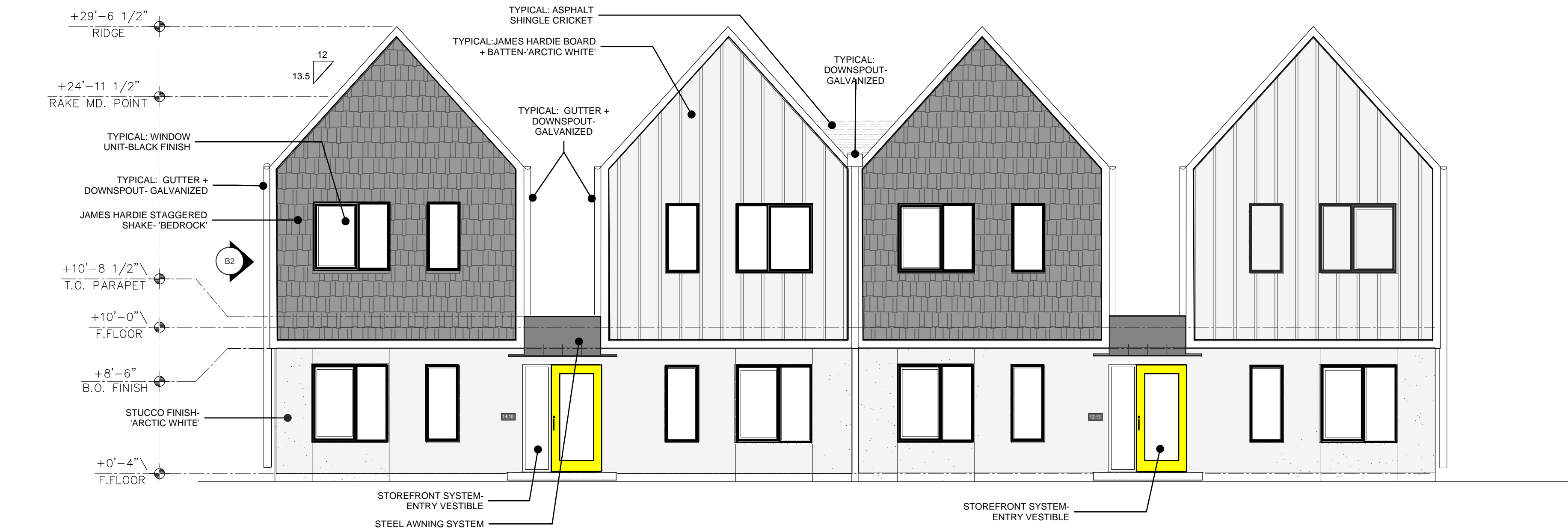
ARCHITECTURAL  
ELEVATIONS  
BUILDING C

Sheet Number:

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DO NOT SCALE DRAWINGS

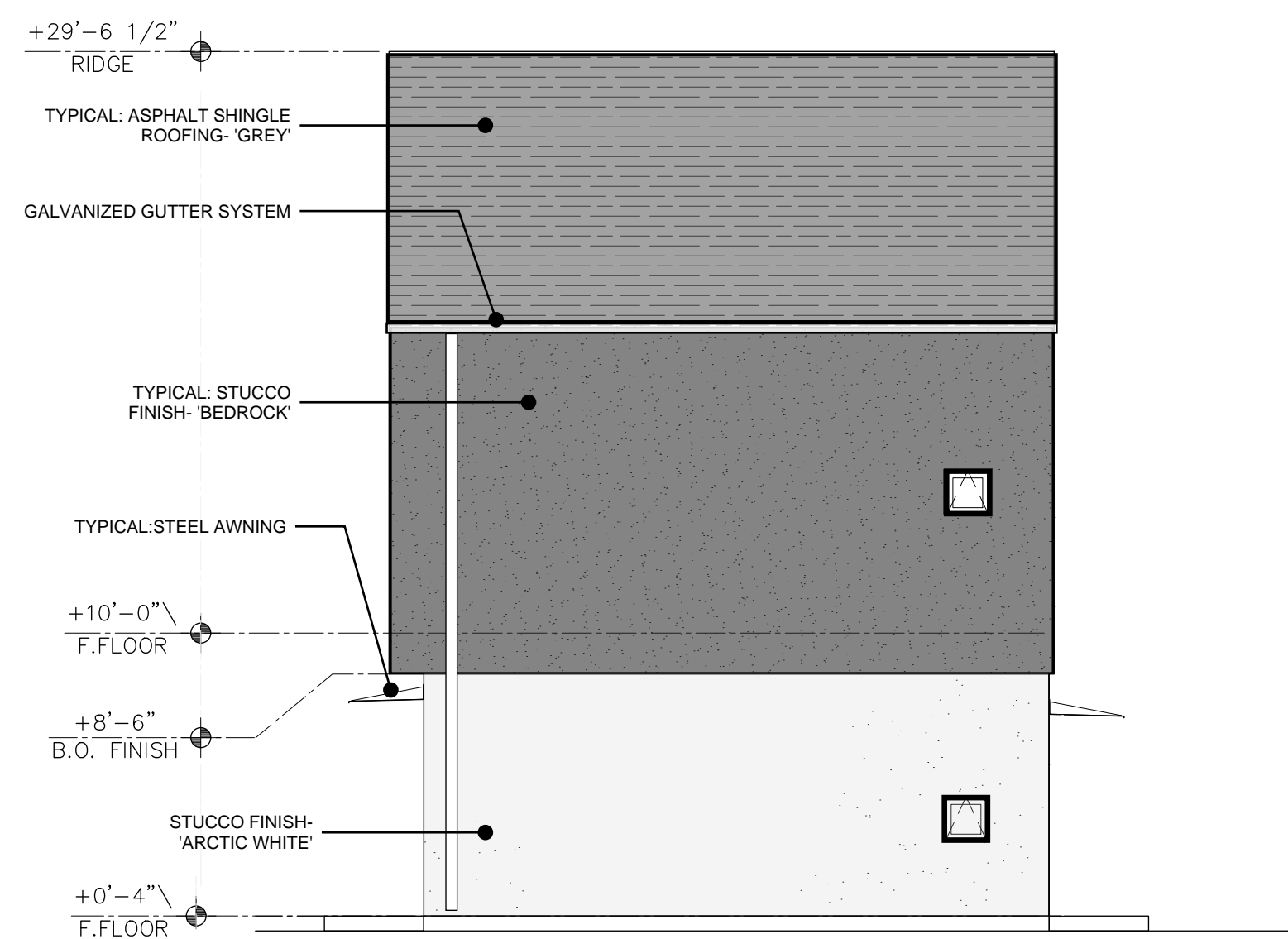




C1 FRONT ELEVATION  
3/16"=1'-0"



B1 REAR ELEVATION  
3/16"=1'-0"



B2 TYPICAL SIDE ELEVATION  
3/16"=1'-0"

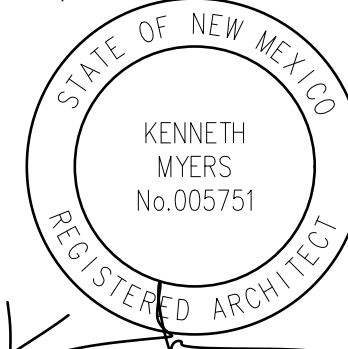


A1 WALKWAY ELEVATION  
NTS

BTR | RIO RANCHO HOUSING DEVELOPMENT

GOLF COURSE RD. NW  
ALBUQUERQUE, NM 87114

Architect Stamp:



REMBE

urban design + development  
1716 Central SW, Suite A  
Albuquerque, NM 87104  
t: 505-243-0188

Project: KMA  
Phase: DFT SUBMITTAL  
Date: 09/22/2025

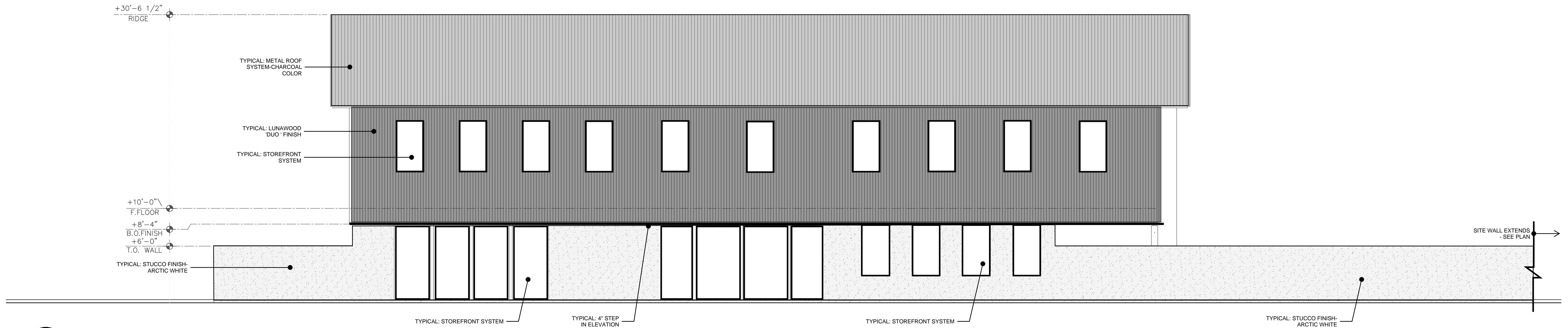
ARCHITECTURAL  
ELEVATIONS  
BUILDING D

Sheet Number:

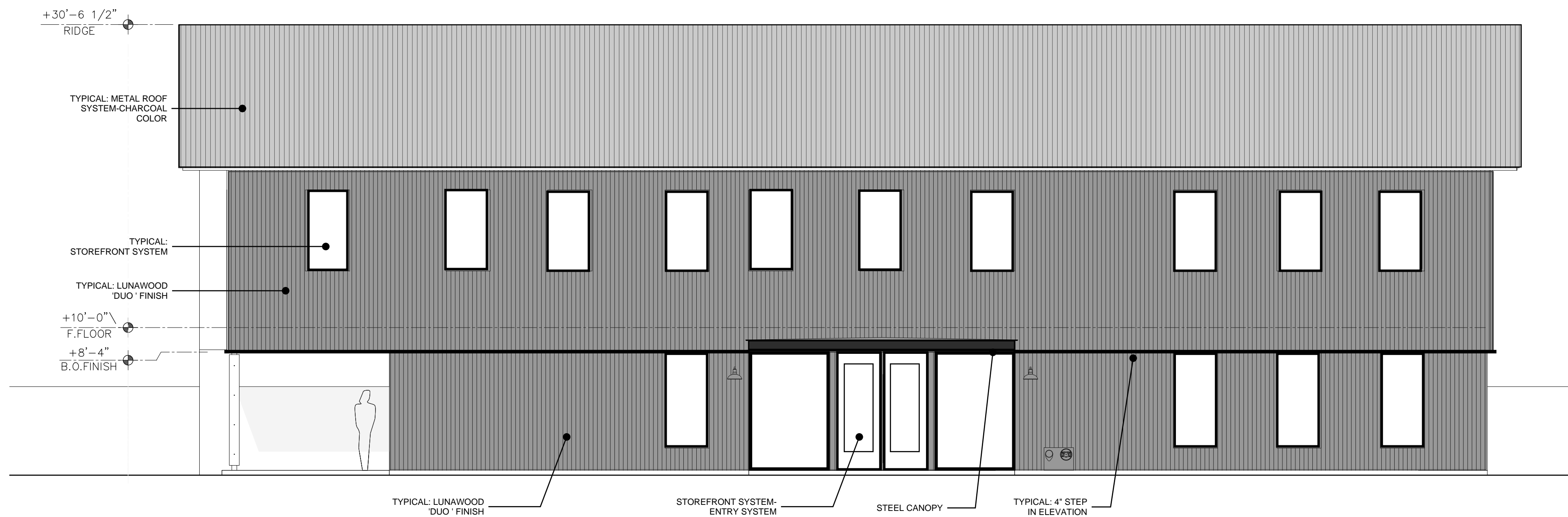
A204

DO NOT SCALE DRAWINGS

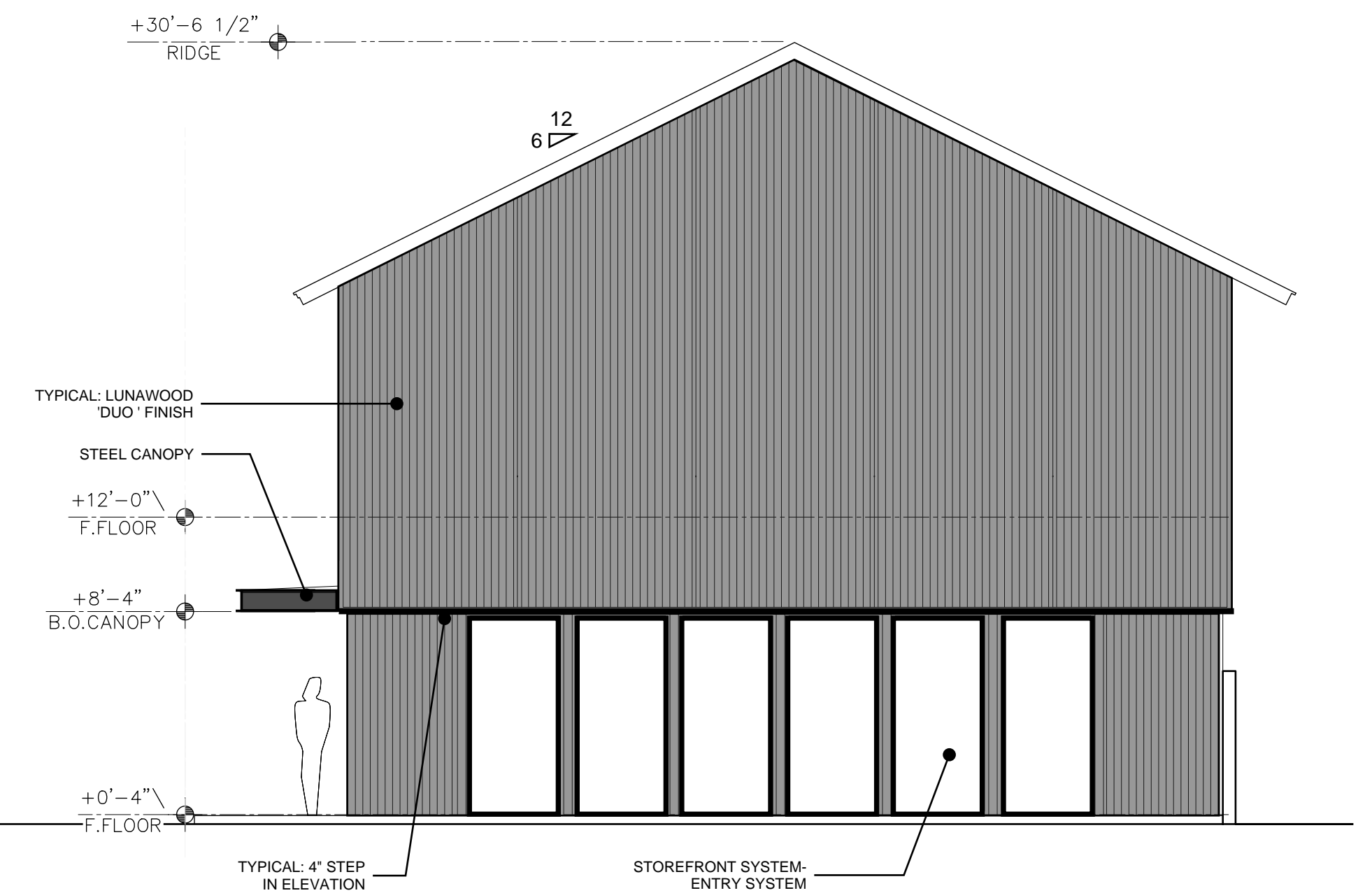




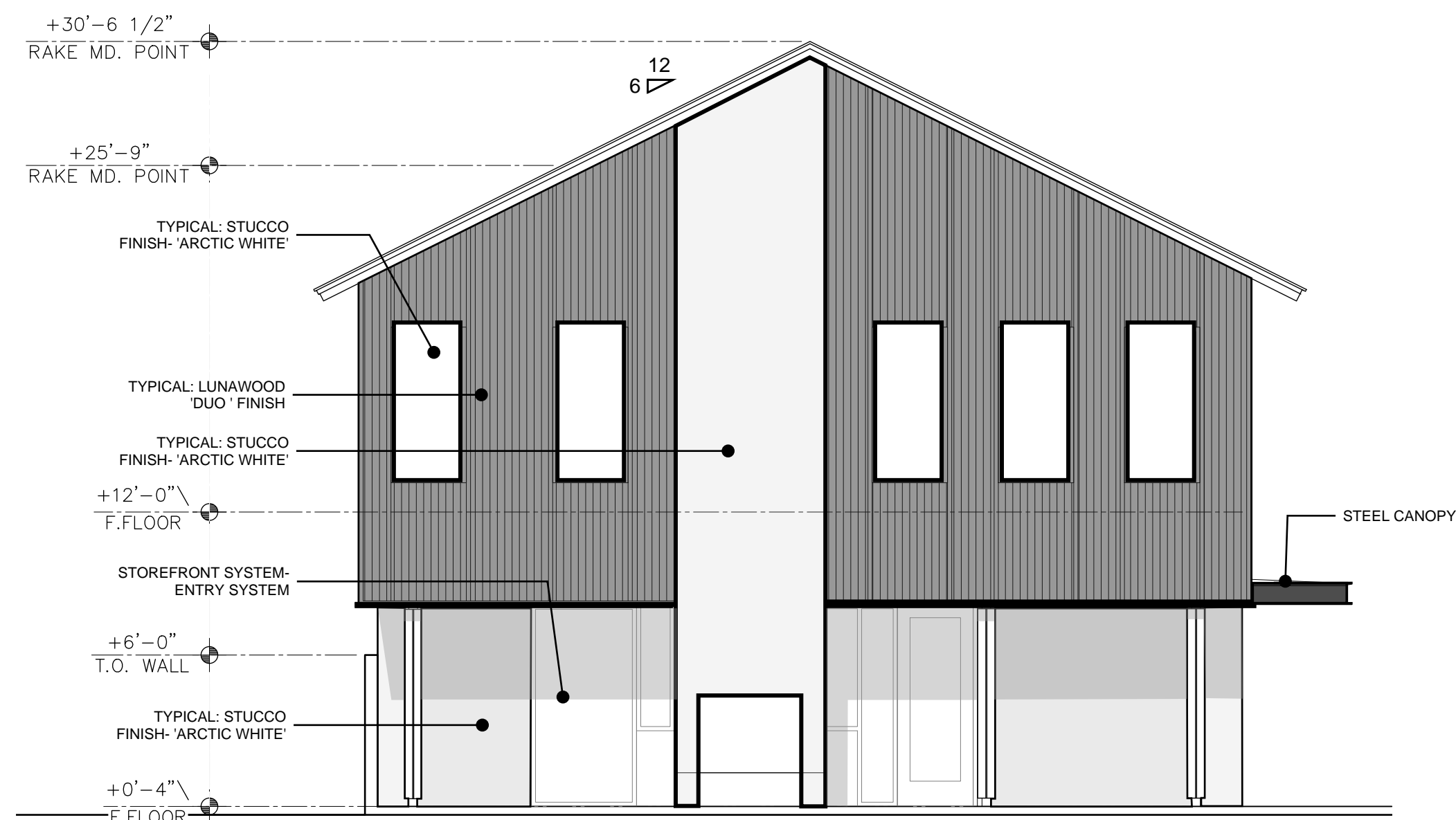
**C1** WESTERN ELEVATION  
3/16"=1'-0"



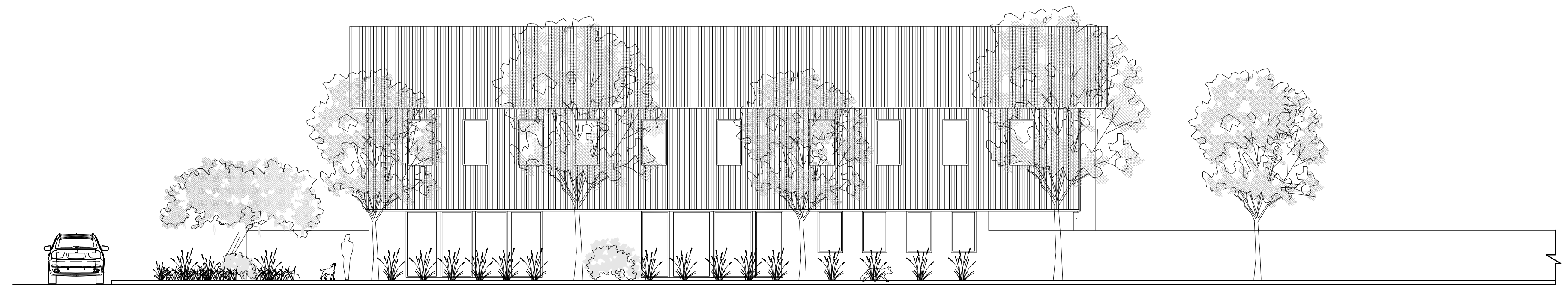
**B1** EAST ELEVATION  
3/16"=1'-0"



**B3** SOUTH ELEVATION  
3/16"=1'-0"

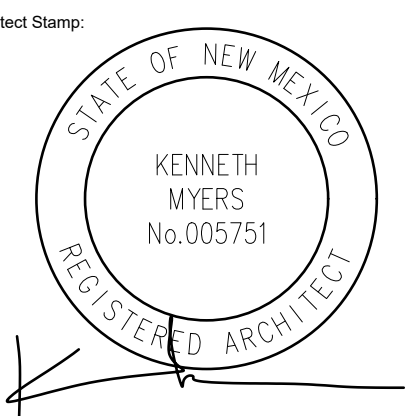


**A1** NORTH ELEVATION  
3/16"=1'-0"



**A2** NORTH ELEVATION  
NTS

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Project: **KMA** Checked By: **KMA**  
Phase: **DFT SUBMITTAL**  
Date: **09/22/2025**

ARCHITECTURAL  
ELEVATIONS  
AMENITIES BUILDING

Sheet Number:  
**A205**

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