



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Forms P2)	<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Forms S & S1)	<input checked="" type="checkbox"/> Amendment to Site Plan (Forms P & P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Forms S & S1)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Minor - Final Plat (Forms S & S2)	<input type="checkbox"/> Temporary Deferral of S/W (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Forms S & S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	<input type="checkbox"/> Sketch Plan Review and Comment (Form P2)
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
DRB Site Plan (Forms P & P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

BRIEF DESCRIPTION OF REQUEST
 Review and approve improvements to the existing New Mexico Cancer Center (NMCC) located at 4901 Lang Ave NE.
 Improvements include the addition of approximately 17,500 square feet of proton therapy space and reconfiguration of surface parking.

APPLICATION INFORMATION		
Applicant/Owner: New Mexico Cancer Center LLC (NMCC), attention: Bob McElearney		Phone: 312-218-4454
Address: 4901 Lang Ave. NE		Email: bob.mcelearney@yahoo.com
City: Albuquerque	State: NM	Zip: 87109
Professional/Agent (if any): Allen Whitaker		Phone: 202-230-7479
Address: 722 12th Street NW Suite 100		Email: allen.whitaker@stantec.com
City: Washington	State: DC	Zip: 20005
Proprietary Interest in Site: Architect with Stantec Architecture		List <u>all</u> owners: NMCC

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: 1A2B1	Block: 0000	Unit: N/A
Subdivision/Addition: Journal Center	MRGCD Map No.: N/A	UPC Code: 101706342452010602
Zone Atlas Page(s): D-17-Z	Existing Zoning: NR-BP	Proposed Zoning: NR-BP
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 5.96

LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 4901 Lang Ave NE	Between: Headline Blvd	and: Jefferson St

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)
2005C179 , 94C431

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:		Date: Aug. 31, 2022
Printed Name: Allen Whitaker		<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF *shall be organized* with the Development Review Application and this Form P2 at the front followed by the remaining documents *in the order provided on this form.*

- SKETCH PLAN – DRB
- SITE PLAN – DRB
- MAJOR AMENDMENT TO SITE PLAN – DRB
- EXTENSION OF SITE PLAN – DRB

- NA Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- X PDF of application as described above
- X Zone Atlas map with the entire site clearly outlined and labeled
- X Letter of authorization from the property owner if application is submitted by an agent
- NA Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*
- X Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(l)(3)
- X Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)
Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.
- X Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) *(not required for Extension)*
- X Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C) *(not required for extension)*
 - X Office of Neighborhood Coordination neighborhood meeting inquiry response
 - X Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - X Completed neighborhood meeting request form(s)
 - NA If a meeting was requested or held, copy of sign-in sheet and meeting notes
- X Sign Posting Agreement
- X Required notices with content per IDO Section 14-16-6-4(K)(1) *(not required for extension)*
 - X Office of Neighborhood Coordination notice inquiry response
 - X Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.
 - X Proof of emailed notice to affected Neighborhood Association representatives
 - X Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing
- X Completed Site Plan Checklist
- X Site Plan and related drawings
- X Copy of the original approved Site Plan or Master Development Plan *(for amendments and extensions)*
- X Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)
- X Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily site plans except if the development is industrial or the multifamily is less than 25 units
- NA Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2.)(d.) if site is within a designated landfill buffer zone
- NA Infrastructure List, if required

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS - EPC

Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF *shall be organized* with the Development Review Application and this Form P2 at the front followed by the remaining documents *in the order provided on this form.*

- ___ Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- ___ PDF of application as described above
- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Solid Waste Department signature on Site Plan
- ___ Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- ___ Approved Grading and Drainage Plan
- ___ Copy of Site Plan with Fire Marshal’s stamp, i.e. “Fire 1” plan *(not required for Master Development Plans)*
- ___ Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- ___ Site Plan and related drawings
- ___ Infrastructure List, if require

FORM P: PRE-APPROVALS/SIGNATURES

Please refer to the DRB public meeting schedule for meeting dates and deadlines. Your attendance is required.

Legal Description & Location: TR 1-A-2-B-1 PLAT OF TRACT 1A-2-B-1 JOURNAL CENTER
4901 Lang Avenue NE, Albuquerque, NM 87109

Job Description: New Mexico Cancer Center Building Expansion for Cancer Treatment Equipment

Hydrology:

- Grading and Drainage Plan X Approved _____ NA
- AMAFCA _____ Approved X NA
- Bernalillo County _____ Approved X NA
- NMDOT _____ Approved X NA
- MRGCD _____ Approved X NA

Renée C. Brissette
Hydrology Department

09/01/22
Date

Transportation:

- Traffic Circulations Layout (TCL) X Approved _____ NA
- Traffic Impact Study (TIS) _____ Approved X NA
- Neighborhood Impact Analysis (NIA) _____ Approved X NA
- Bernalillo County _____ Approved X NA
- MRCOG _____ Approved X NA
- NMDOT _____ Approved X NA
- MRGCD _____ Approved X NA

Ernest Armijo
Transportation Department

8/30/2022
Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Water/Sewer Availability Statement/Serviceability Letter X Approved _____ NA
- ABCWUA Development Agreement _____ Approved X NA
- ABCWUA Service Connection Agreement _____ Approved X NA

Edwin Bergeron
ABCWUA

8/29/2022
Date

- Infrastructure Improvements Agreement (IIA*) _____ Approved X NA
- Solid Waste Department Signature on the plan X Approved _____ NA
- Fire Marshall Signature on the plan X Approved _____ NA

* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)



August 10, 2022

Barbara L. McAneny MD, CEO
New Mexico Cancer Center
4901 Lang Avenue, NE
Albuquerque, NM 87109

Re: New Mexico Cancer Center – Proton Therapy Expansion Project
4901 Lang Avenue NE, Albuquerque, NM 87109
Tr1-A-2-B-1 Plat of Tract 1A-2-B-1 Journal Center

Dear Dr. McAneny,

The Journal Center Architectural Review Committee (JCARC) has reviewed the draft Site Development Plan prepared by Stantec dated February 23, 2022, with revisions dated March 8, 2022 for the proposed Proton Therapy Expansion Project.

JCARC approves the proposed design. Titan Journal Center Land, LLC will work with NMCC to provide any additional documentation required by the city's Development Review Board.

Please do not hesitate to call our office if you have any questions as you move forward with this project.

Sincerely,

Journal Center Corporation
Journal Center Architectural Review Committee

Lowell A. Hare
President & CEO



NMCC

NEW MEXICO CANCER CENTER

New Mexico Oncology Hematology Consultants, Ltd.

www.nmcancercenter.org

January 28, 2022

Re: New Mexico Cancer Center Letter of Authorization regarding
New Mexico Proton Advanced Therapy (NMPACT) Project

To Whom it May Concern:

As the Managing Member of the New Mexico Cancer Center (NMCC), I hereby authorize Allen Whitaker of Stantec to submit development applications and plans on behalf of NMCC for the New Mexico Proton Advanced Therapy (NMPACT) project.

The project duration is approximately January 2022 to July 2024, with operations beginning September 2024.

Please don't hesitate to contact me if you have any questions.

Respectfully,

Barbara L. McAneny, MD
Managing Member New Mexico Cancer Center, LLC
CEO New Mexico Oncology Hematology Consultants, Ltd.
Phone: (505) 842-8171

Medical Oncology Hematology

Barbara L. McAneny, MD
Amy G. Alidina, MD
Annette C. Fontaine, MD, MBA
Jose W. Avitia, MD
Juhee Sidhu, MD
Ronald P. Kubica, MD
Sofia Palacio, MD
Courtney Marquez, PA-C
DiDi Garcia, PA-C
Debra Winkeljohn, CNS
Tyler Booth, CNP

Radiation Oncology

Gregg E. Franklin, MD, PhD
Susan Guo, MD
Kara Bucci, MD

Hematology and Coagulation

J. Randle Adair, DO, PhD
Alteefa Chaudhury, MD

Rheumatology

James B. Steier, MD
Sabeen Yaqub, MD

Pulmonary

Jeffrey Dorf, MD
Cory Hicks, MD
Jennifer Vergeer, AG-ACNP, BC

Urology

Damara Kaplan, PhD, MD
Peter A. Headley, MD
Jamie Edens, PA-C
Jaren Gravagne, CNP

Surgical ENT

Roland Z. Gerencer, MD, FACS, FRCSC

Palliative Care

Francesco Standoli, MD

Primary Care/Survivorship/Genetics

Torre Near, MD
Emily Deaton, MD
Donald Pearsall, MD
Karen Spielbusch, CFNP

Clinical Counseling

Cynthia Sontag, LCSW

New Mexico Cancer Center Foundation

Brittany Karnezis, Executive Director

Leadership

Barbara L. McAneny, MD, CEO
Annette C. Fontaine, MD, MBA, CMO
Laura M. Marez, CPA, CGMA, CFO



Stantec

Stantec Architecture Inc.

722 12th Street NW Suite 100, Washington DC 20005-3957

September 2, 2022

City of Albuquerque Planning Department
Plaza del Sol Building
600 Second NW
Albuquerque, NM 87102

Reference: New Mexico Proton Advance Cancer Therapy (NMPACT) Addition at New Mexico Cancer Center (NMCC) – Justification Letter

Dear Planning Staff:

I am an agent for NMCC and this letter provides a description of the proposed addition and justification for approval of the project per the criteria in IDO Section 14-16-6-13.

The proposed improvements include the addition of approximately 17,500 square feet of proton therapy space and reconfiguration of surface parking at NMCC located at 4901 Lang Ave NE.

The Site Plan for this development was approved in 2006. This amended Site Plan complies with all applicable provisions in the IDO and DPM as well as other adopted City regulations and conditions specifically applied to development of the property including prior permits per 6-6(l)(3)(a) except as identified here:

- The Client requests that the calculation for required parking spaces be based upon projected building occupancy (staff, patients, family) versus building area; see the attached letter from NMCC with supporting documents.

The addition will provide a new treatment therapy but will not exceed capacity of the City's existing infrastructure and public improvements per 6-6(l)(3)(b). All proposed ADA routes will be designed to meet current standards.

The subject property is within the Journal Center Master Development and shall meet all relevant standards applicable per 6-6(l)(3)(c).

Thank you for your review of this important project. Please let me know if you have any questions.

Sincerely,

STANTEC ARCHITECTURE INC.

Allen Whitaker, AIA
Principal

Phone: 202.230.7479

Allen.whitaker@stantec.com

Design with community in mind



City of Albuquerque Planning Department
Page 2 of 2

Reference: New Mexico Proton Advance Cancer Therapy (NMPACT) Addition at New Mexico Cancer Center (NMCC) – Justification Letter

Attachment: NMCC letter on Estimate for Additional Parking Spaces, dated Aug. 31, 2022

cc: Dr. Barbara McAneny, NMCC CEO
Ms. Laura Marez, NMCC COO
Mr. Bob McElearney, NMPACT PM

August 31, 2022

Robert Webb
DRB Planner
City of Albuquerque Planning Department
600 2nd Street NW
Albuquerque, New Mexico 87102

Mr. Webb,

New Mexico Cancer Center is excited to break ground on the first proton center in the State of New Mexico! This technology will bring life saving treatment to patients from all over the region and provide a better quality of life.

We appreciate the Design Review Board's partnership as we embark on this challenging and rewarding project. Our goal is to provide what is required to support the patients, staff and guests that will be visiting this center for many years to come. However, this project is unique in that the approximately 17,500 square feet that will be added on to the existing center is not directly related to the number of occupants. The majority of the spaces that comprise this addition will be equipment rooms or mass concrete and will not be areas that are occupied by employees or patients.

Furthermore, due to the similar type of treatments that will take place, the additional headcount will be minimal as several of the services are already being performed in the existing cancer center. We have created a graph that illustrates the number of total parking spaces that are currently available and the usage of those spaces every half hour. This information was collected over a 1-week period from August 8, 2022 – August 12, 2022. We have also provided a future project of parking spaces that takes into account the number of spaces that will be lost due to the expansion (55) and the additional volume of patients and staff at any given time. Based on these graphs you will see that the actual number of spaces that are required to support the new addition is only around 7 additional spaces at the peak time of 10:00 am. This is the maximum number of occupants that would be onsite at any given time when the center is at full capacity.

We have also included a floor plan that highlights the spaces which are mechanical support rooms, mass concrete or other non-occupiable areas and should not be taken into account when completing the parking calculations.

NMCC is requesting that a variance be made on the total number of parking spaces required due to the unique nature of this building expansion and based on the real data that has been obtained of actual parking conditions and availability. Based on the information presented with this submission, we would request that no more than 10 spaces be required to be added to this project as this would still be more than enough to accommodate all patients, staff and guests. Please feel free to reach out with any further questions or clarifications.

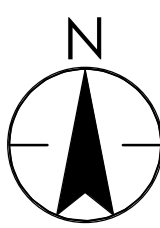
Sincerely,

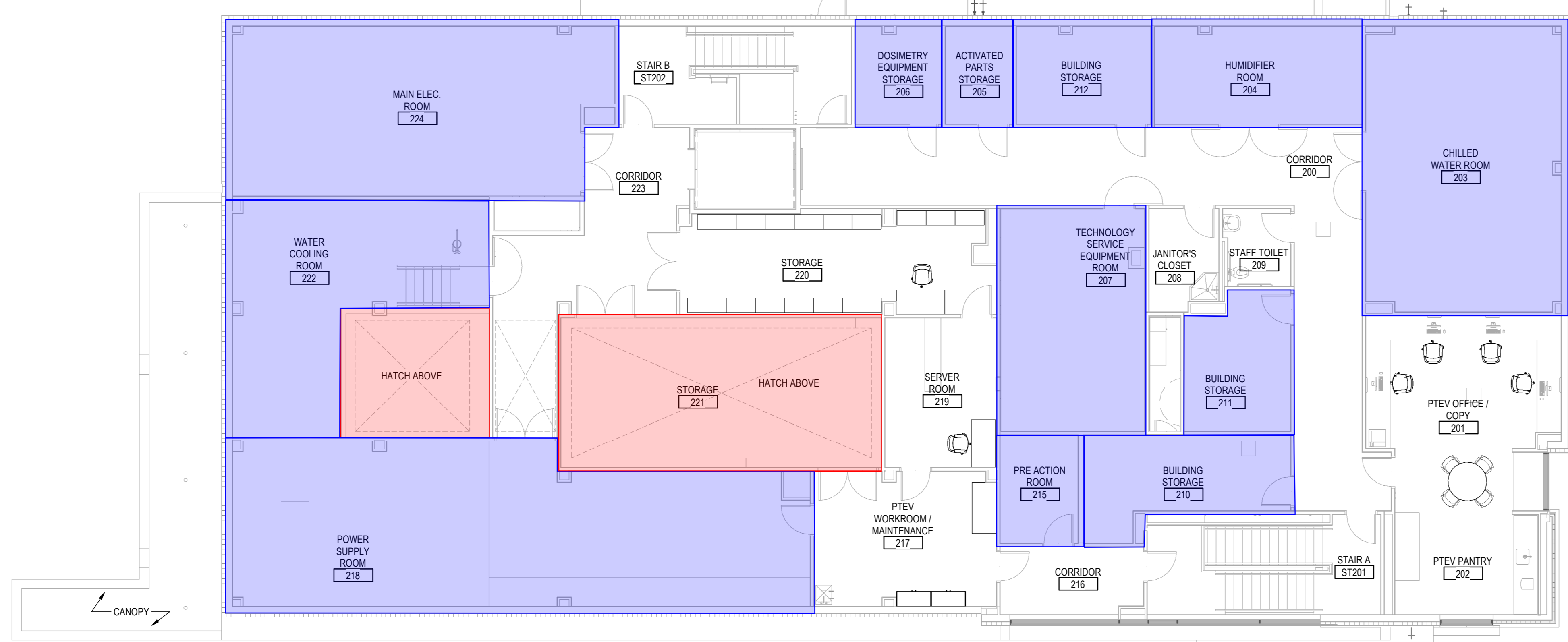


Laura Marez
Chief Financial Officer
New Mexico Cancer Center

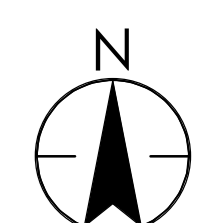


- Mass Concrete
- Equipment Rooms

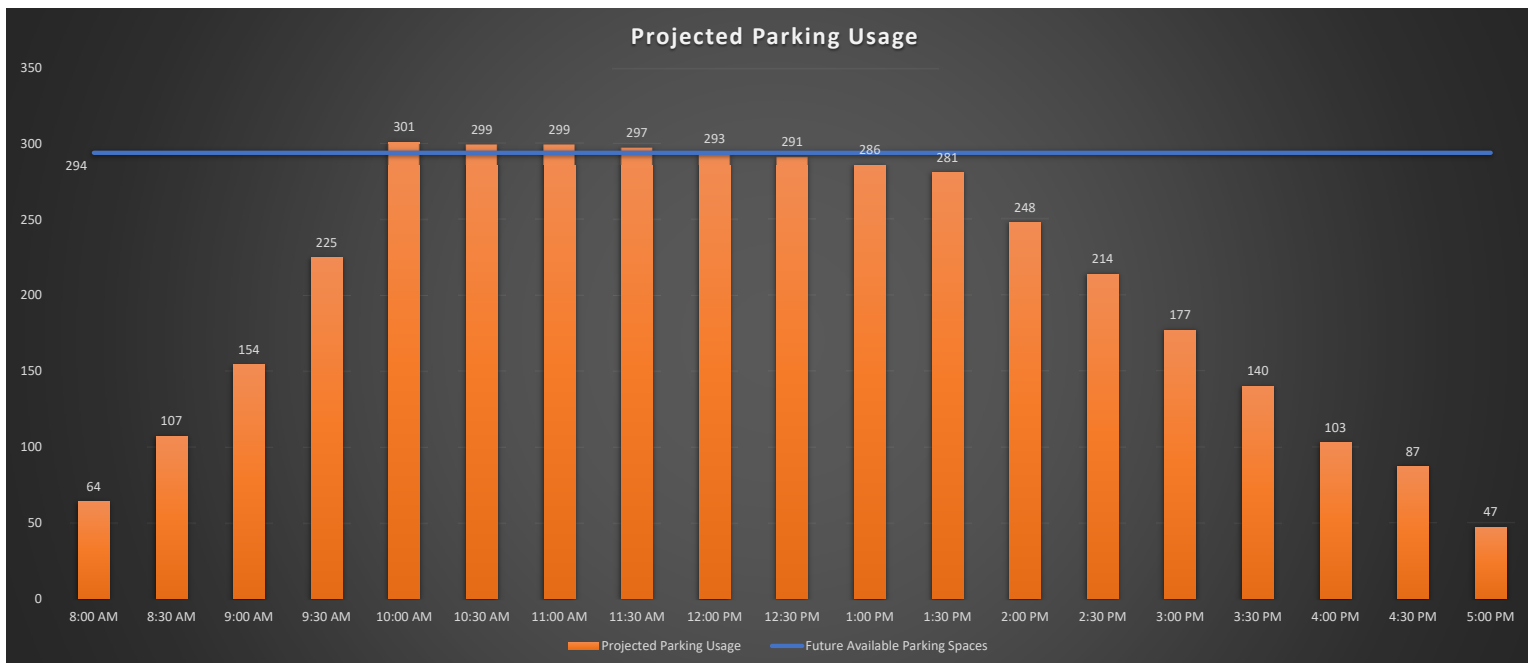
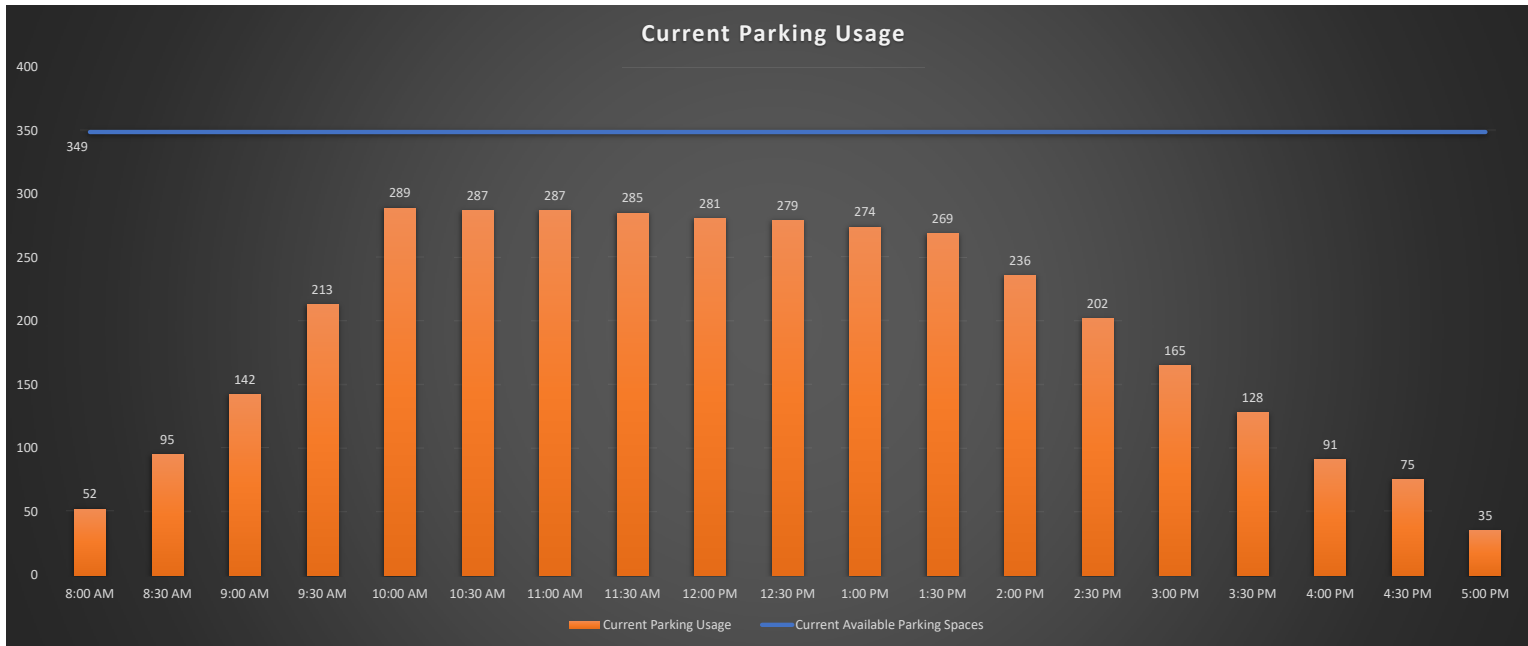




- Mass Concrete
- Equipment Rooms



Current and Projected Parking Usage 4901 Lang Ave NE



PRE-APPLICATION REVIEW TEAM (PRT) MEETING REQUEST

Pre-application Review Team (PRT) Meetings are available to help applicants identify and understand the allowable uses, development standards, and processes that pertain to their request. ***PRT Meetings are for informational purposes only; they are non-binding and do not constitute any type of approval.*** Any statements regarding zoning at a PRT Meeting are not certificates of zoning. The interpretation of specific uses allowed in any zone district is the responsibility of the Zoning Enforcement Officer (ZEO).

When you submit PRT notes to meet a Pre-application Meeting requirement in Table 6-1-1, you will be charged a \$50 PRT fee.

<i>Official Use only</i>		
PA#: _____	Received By: _____	Date: _____
APPOINTMENT DATE & TIME: _____		

Applicant Name: Allen Whitaker Phone#: 202-230-74-79 Email: allen.whitaker@stantec.com

PROJECT INFORMATION:

For the most accurate and comprehensive responses, please complete this request as fully as possible and submit any relevant information, including site plans, sketches, and previous approvals.

Size of Site: 6 acres Existing Zoning: NR-BP Proposed Zoning: NR-BP

Previous case number(s) for this site: 2005C179, 94C431

Applicable Overlays or Mapped Areas: Category: 05 | Office Description: 05 | Medical or dental clinic

Residential – Type and No. of Units: N/A

Non-residential – Estimated building square footage: 73,230 No. of Employees: 196

Mixed-use – Project specifics: N/A

LOCATION OF REQUEST:

Physical Address: 4901 Lang Ave. NE Zone Atlas Page (Please identify subject site on the map and attach) D-17-Z

BRIEFLY DESCRIBE YOUR REQUEST (What do you plan to develop on this site?)

16,500 SF building addition to the New Mexico Cancer Center. Addition to house one proton radiation therapy treatment room and supporting technical and clinical space.

QUESTIONS OR CONCERNS (Please be specific so that our staff can do the appropriate research)

1. Please provide parking and landscape requirements for the addition as well as any other development restrictions and processes that should be considered during design and planning.

2. Headline Boulevard has been developed adjacent to this site with parking in the right of way. May this parking be included in the total parking count?

3. The small building addition will replace existing sidewalk, parking lot, and a small section of landscape. What level of drainage analysis will be required?

4. The area of the building addition includes a significant portion that is cast-in-place concrete and unoccupied equipment support. Can this square footage be removed for the purpose of calculating parking demand?

From: [Duarte, Leroy D.](#)
To: [Whitaker, Allen](#)
Subject: PRT 22-002
Date: Friday, January 7, 2022 5:08:12 PM
Attachments: [image003.png](#)
[PRT Notes 22-002 LD .pdf](#)
[Major-Minor-Amendment-PRT handout.pdf](#)

Hello,

Please see attached for PRT notes. If you have any additional questions or questions regarding the notes, feel free to reach me at any time.

Thank you,



LEROY DUARTE

current planner

urban design & development

o 505.924.3452

e lduarte@cabq.gov

cabq.gov/planning

PRE-APPLICATION MEETING NOTES

PA#: 22-002 Notes Provided (date): 01/04/22

Site Address and/or Location: 4901 Langley Ave. NE

Pre-application notes are for informational purposes only and are non-binding. They do not constitute an approval of any kind. Additional research may be necessary to determine the exact type of process and/or application required. Factors unknown and/or thought of as minor at this time could become significant as a case progresses.

Request 16,500 sf building addition to the New Mexico Cancer Center. Addition to house one proton radiation therapy treatment room and supporting technical and clinical space.

Basic Site Information

Current Use(s): Office/ Medical or dental clinic Size (acreage): 6 acres

Zoning: NR-BP Overlay Zone(s): N/A

Comprehensive Plan Designations

Development Area: Change Corridor(s): Commuter

Center: N/A Near Major Public Open Space (MPOS)?: N/A

Integrated Development Ordinance (IDO)

Please refer to the IDO for requirements regarding dimensional standards, parking, landscaping, walls, signage, etc. <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

Proposed Use(s): Radiation therapy treatment room

Use Specific Standards: _____

Applicable Definition(s): _____

Sensitive Lands: *Please see IDO Section 14-16-5-2 for information about required analysis, development standards, and changes to process that may result if this Section applies.*

Notice

Neighborhood Meeting Offer Required? (see IDO Table 6-1-1). If yes, please refer to:

<https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

Process

Decision Type(s) (see IDO Table 6-1-1): 6-4(Z) Amendments of Pre-IDO Approvals

Specific Procedure(s)*: Major Amendment

**Please refer to specific procedures for relevant decision criteria required to be addressed.*

Decision Making Body/ies: DRB Is this a PRT requirement? Yes

Handouts Provided

- Zoning Map Amendment Site Plan Amendments Site Plan- EPC Site Plan- DRB
- Site Plan- Admin Variance-ZHE Conditional Use Subdivision
- Site History/Research Transportation Hydrology Fire

If you have additional questions, please contact Staff at planningprt@cabq.gov or at (505) 924-3860. Please include the PA# with your inquiry.

Additional Notes:

1. Please provide parking and landscape requirements for the addition as well as any other development restrictions and processes that should be considered during design and planning.

If no controlling site development plan exists, please refer to IDO section 5-5 Parking and Loading and section 5-6 Landscaping, Buffering, and Screening for requirements.

2. Headline Boulevard has been developed adjacent to this site with parking in their right of way. May this parking be included in the total parking count.

If a parking agreement has been made with development and site, then it may be included to the parking count. Otherwise it may not be included.

3. The small building addition will replace existing sidewalk, parking lot, and a small section of landscape. What level of drainage analysis will be required?

Please contact Ernest Armijo, P.E. (earmijo@cabq.gov) with hydrology for more info.

4. The area of the building addition includes a significant portion that is cast-in-place concrete and unoccupied equipment support. Can this square footage be removed for the purpose of calculating parking demand?

Yes, however please be aware that there could be potential negative impacts if use of building were to change.

From: [Whitaker, Allen](#)
To: peggy.norton@yahoo.com
Cc: [Whitaker, Allen](#); [Laura Marez \(lauram@nmohc.com\)](mailto:lauram@nmohc.com); [Bob McElearney](#); [Wolf, Richard](#)
Subject: Public Notice and Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque
Date: Tuesday, April 26, 2022 3:03:49 PM
Attachments: [4901 Lang Ave NE Neighborhood Meeting Inquiry Sheet Submission.msg](#)
[NMCC Major Site Amendment to Site Plan Public Notice.pdf](#)
[Emailed-Norton-Notice-PublicMeetingHearing-N. Valley.pdf](#)
[NeighborhoodMeetingRequest-Norton.pdf](#)

Hello Peggy,

I have your name from the Office of Neighborhood Coordination (see attached email). I'm an architect working for NMCC on a project in Albuquerque and acting as their agent for building permitting, etc.

Your neighborhood association has been identified for notification as well as the offer of a Neighborhood Meeting. The forms I am required to complete are attached – one each for Public Notice and Meeting Request. I am also attaching architectural and engineering drawings that provide you with information of the proposed project.

If there are any questions, please let me know.

Thank you.

Allen Whitaker, AIA
Principal, Healthcare

Direct: 202 478-3795

Mobile: 202 230-7479

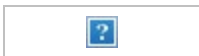
Fax: 202 822-3898

Allen.Whitaker@stantec.com

Stantec

722 12th Street NW Suite 100

Washington DC 20005-3957



The content of this email is the confidential property of Stantec and should not be copied, modified, retransmitted, or used for any purpose except with Stantec's written authorization. If you are not the intended recipient, please delete all copies and notify us immediately.

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: April 25, 2022

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: North Valley Coalition

Name of NA Representative*: Peggy Norton

Email Address* or Mailing Address* of NA Representative¹: peggynorton@yahoo.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: allen.whitaker@stantec.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 4901 Land Ave NE
Location Description New Mexico Cancer Center (NMCC)
2. Property Owner* New Mexico Cancer Center LLC
3. Agent/Applicant* [if applicable] Allen Whitaker
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

Review / approve improvements to the existing NMCC located at 4901 Lang Ave NE. Project includes the addition of approx. 17,500 SF of proton therapy space and reconfig. of surf. parking.

5. This type of application will be decided by^{*}: City Staff
OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council
6. Where more information about the project can be found^{*4}:
on request to: allen.whitaker@stantec.com

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{*5} D-17-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project^{*}:
 Deviation(s) Variance(s) Waiver(s)
Explanation:
The area of the building addition includes a significant portion that is cast-in-place concrete and unoccupied equipment support. We request this square footage be removed for the purpose of calculating parking demand.
4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)^{*}: Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

- 1. From the IDO Zoning Map⁶:
 - a. Area of Property [typically in acres] 5.96 acres
 - b. IDO Zone District NR-BP
 - c. Overlay Zone(s) [if applicable] NA
 - d. Center or Corridor Area [if applicable] NA
 - 2. Current Land Use(s) [vacant, if none] Professional Offices - Doctors
-

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: District 4 Coalition of Neighborhood Assoc. [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: April 25, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: North Valley Coalition

Name of NA Representative*: Peggy Norton

Email Address* or Mailing Address* of NA Representative¹: peggynorton@yahoo.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 4901 Lang Ave NE
Location Description New Mexico Cancer Center (NMCC)
2. Property Owner* New Mexico Cancer Center LLC
3. Agent/Applicant* *[if applicable]* Allen Whitaker
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*:

Review / approve improvements to the existing NMCC located at 4901 Land Ave NE.

Improvements include the addition of 17,500 SF proton therapy space and the reconfiguration of surface parking.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

- 1. Area of Property [typically in acres] 5.96 acres
 - 2. IDO Zone District NR-BP
 - 3. Overlay Zone(s) [if applicable] NA
 - 4. Center or Corridor Area [if applicable] NA
- Current Land Use(s) [vacant, if none] Professional Offices - Doctors
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: District 4 Coalition of Neighborhood Assoc. [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

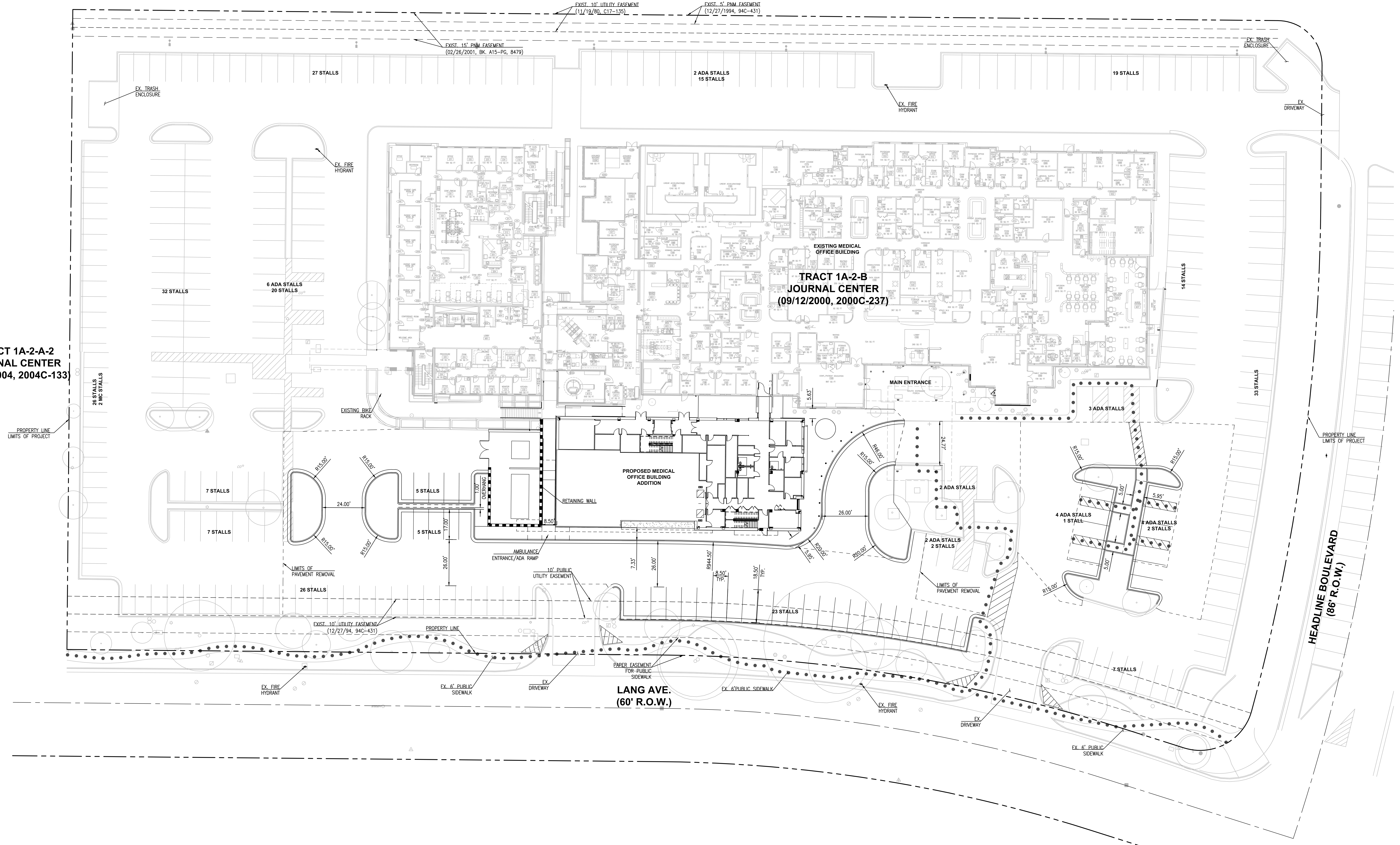
**TRACT 1A-2-A-2
JOURNAL CENTER
(05/03/2004, 2004C-133)**

**PASEO DEL NORTE
(154.67' R.O.W.)**

**HEADLINE BOULEVARD
(86' R.O.W.)**

**LANG AVE.
(60' R.O.W.)**

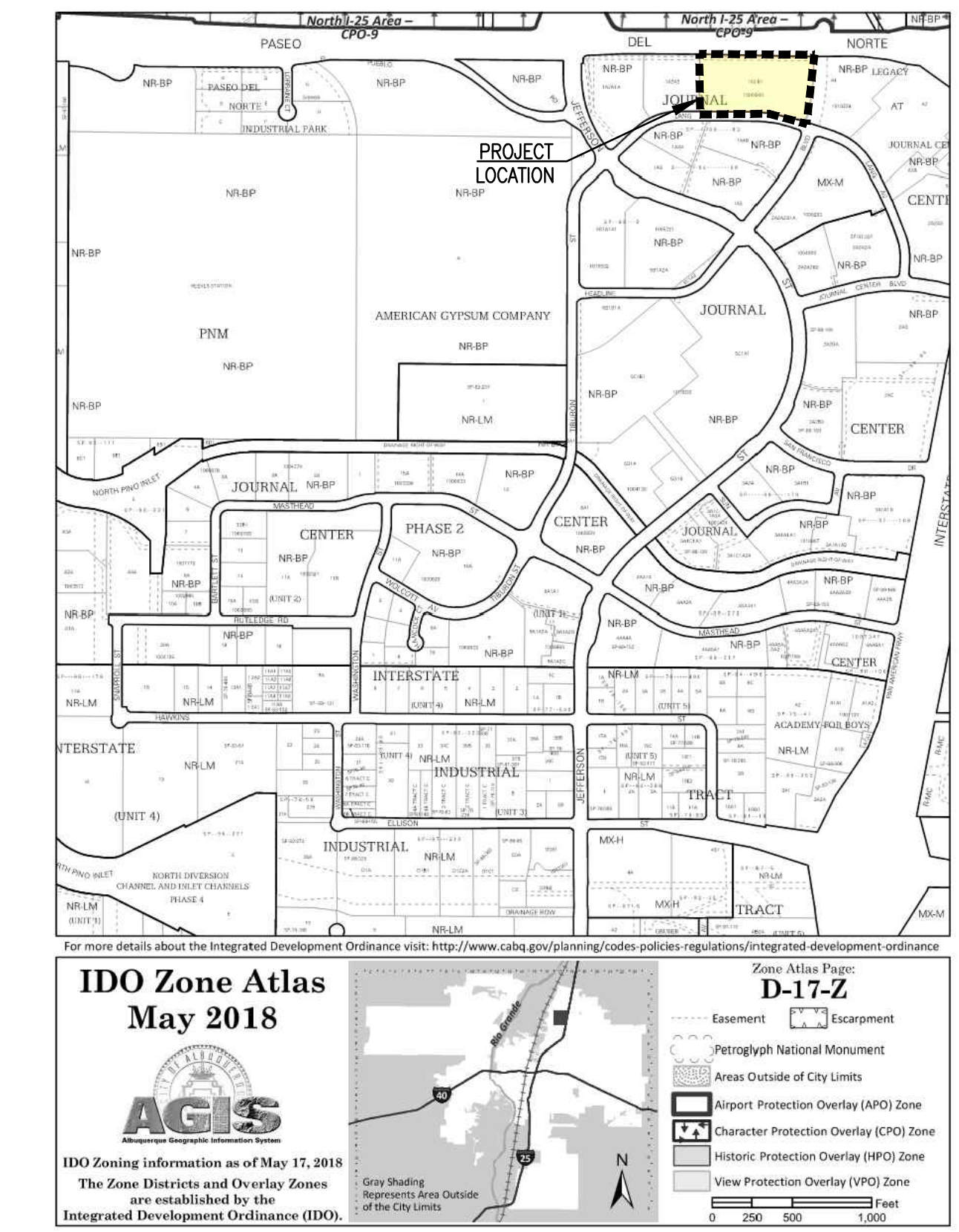
**TRACT 1A-2-B
JOURNAL CENTER
(09/12/2000, 2000C-237)**



PARKING TABULATION

CAMPUS COMPONENT	BLDG AREA (S.F.)	REQUIRED PARKING STALLS	PARKING RATIO TO BLDG AREA
EXISTING CLINIC AND MOB PROTON ADDITION	79,001 S.F. 14,219 S.F.**	320* 74	247 200
TOTAL	93,720 S.F.	394	
EXISTING STALLS PROVIDED ON-SITE	349		
STALLS LOST BY PROTON ADDITION (52)			
REVISED TOTAL ON-SITE	297		
NON-ADA STALLS	274		
ADA STALLS	23		
TOTAL REQUIRED		394	
DELTA OF ON-SITE AND REQUIRED	97***		
NON-ADA STALLS	97		

*PER APPROVED 2006 SITE PLAN - PROJECT NO. 1000560, APP. NO. 06DRB-01023
**17,472 S.F. REDUCED BY 2,753 S.F. (REPRESENTS MASS CONCRETE AND NON-OCCUP. PROTON AREA)
***STALLS TO BE PROVIDED OFF-SITE BY OWNER



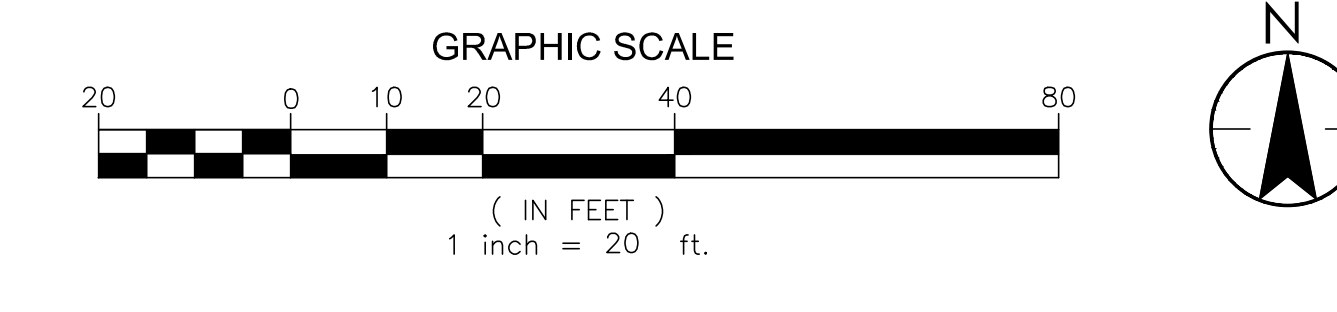
PROJECT NUMBER: _____
APPLICATION NUMBER: _____

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRB PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OF FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE _____
WATER UTILITY DEPARTMENT	DATE _____
PARKS AND RECREATION DEPARTMENT	DATE _____
CITY ENGINEER	DATE _____
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE _____
SOLID WASTE MANAGEMENT	DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE _____

*ENVIRONMENTAL HEALTH, IF NECESSARY



MAJOR AMENDMENT TO SITE PLAN - DRB	2022.04.13
JOURNAL CENTER SITE PLAN REVIEW	2022.03.29
Issue/Revision	YYYYMMDD

**PRELIMINARY
NOT FOR
CONSTRUCTION**
Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project Logo

Client/Project
NMPACT

NEW MEXICO CANCER CENTER

4901 LANG AVE. NE
ALBUQUERQUE, NM 87109

Title
SITE PLAN

Project No.
177920075
Revision

Scale
1" = 20'
Drawing No.
C-101

From: [Peggy Norton](#)
To: [Whitaker, Allen](#)
Subject: Re: Public Notice and Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque
Date: Friday, April 29, 2022 6:31:21 PM
Attachments: [image001.png](#)
[image003.png](#)
[image007.png](#)
[image008.png](#)
[image004.png](#)

We neither support nor oppose the project and will not request a meeting.

Peggy Norton, President
North Valley Coalition

On Friday, April 29, 2022, 10:09:49 AM MDT, Whitaker, Allen <allen.whitaker@stantec.com> wrote:

[Resending with Read Receipt as required by City of ABQ.](#)

Allen Whitaker, AIA

Principal, Healthcare

Direct: 202 478-3795
Mobile: 202 230-7479
Fax: 202 822-3898
Allen.Whitaker@stantec.com

Stantec
722 12th Street NW Suite 100
Washington DC 20005-3957



The content of this email is the confidential property of Stantec and should not be copied, modified, retransmitted, or used for any purpose except with Stantec's written authorization. If you are not the intended recipient, please delete all copies and notify us immediately.

From: Whitaker, Allen
Sent: Tuesday, April 26, 2022 3:04 PM
To: peggynorton@yahoo.com
Cc: Whitaker, Allen <Allen.Whitaker@stantec.com>; Laura Marez (lauram@nmohc.com) <lauram@nmohc.com>; Bob McElearney <bob.mcelearney@yahoo.com>; Wolf, Richard <Richard.Wolf@stantec.com>
Subject: Public Notice and Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Hello Peggy,

I have your name from the Office of Neighborhood Coordination (see attached email). I'm an architect working for NMCC on a project in Albuquerque and acting as their agent for building permitting, etc.

Your neighborhood association has been identified for notification as well as the offer of a Neighborhood Meeting. The forms I am required to complete are attached – one each for Public Notice and Meeting Request. I am also attaching architectural and engineering drawings that provide you with information of the proposed project.

If there are any questions, please let me know.

Thank you.

Allen Whitaker, AIA

Principal, Healthcare

Direct: 202 478-3795
Mobile: 202 230-7479
Fax: 202 822-3898
Allen.Whitaker@stantec.com

Stantec
722 12th Street NW Suite 100
Washington DC 20005-3957



The content of this email is the confidential property of Stantec and should not be copied, modified, retransmitted, or used for any purpose except with Stantec's written authorization. If you are not the intended recipient, please delete all copies and notify us immediately.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
North Valley Coalition	Peggy	Norton	peggnorton@yahoo.com	P.O. Box 70232	Albuquerque	NM	87197	5058509293	5053459567
North Valley Coalition	Doyle	Kimbrough	newmexmba@aol.com	2327 Campbell Road NW	Albuquerque	NM	87104	5052490938	5053441364
District 4 Coalition of Neighborhood Associations	Daniel	Regan	dlreganabq@gmail.com	4109 Chama Street NE	Albuquerque	NM	87109	5052802549	
District 4 Coalition of Neighborhood Associations	Mildred	Griffee	mgriffee@noeste.org	PO Box 90986	Albuquerque	NM	87199	5052800082	

PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit: <https://www.cabq.gov/planning/urban-design-development/public-notice>. The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf. The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>

Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://do.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>



Dalaina L. Carmona

Senior Administrative Assistant

Office of Neighborhood Coordination

Council Services Department

1 Civic Plaza NW, Suite 9087, 9th Floor

Albuquerque, NM 87102

505-768-3334

dcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org <webmaster=cabq.gov@mailgun.org> **On Behalf Of** webmaster@cabq.gov

Sent: Friday, April 22, 2022 9:12 AM

To: Office of Neighborhood Coordination <allen.whitaker@stantec.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Allen J Whitaker

Telephone Number

2022307479

Email Address

allen.whitaker@stantec.com

Company Name

Stantec

Company Address

722 12th St NW

City

Washington

State

DC

ZIP

20005

Legal description of the subject site for this project:

TR 1A-2-B-1 PLAT OF TRACT 1A-2-B-1 JOURNAL CENTERCONT 6.00 ACRES

Physical address of subject site:

4901 Lang Ave NE

Subject site cross streets:

Jefferson Street and Headline Blvd

Other subject site identifiers:

NMCC

This site is located on the following zone atlas page:

D-17-Z

Captcha

x

From: [Whitaker, Allen](#)
To: newmexmba@aol.com
Cc: [Whitaker, Allen](#); [Laura Marez \(lauram@nmohc.com\)](mailto:lauram@nmohc.com); [Bob McElearney](#); [Wolf, Richard](#)
Subject: Public Notice and Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque
Date: Tuesday, April 26, 2022 3:04:37 PM
Attachments: [4901 Lang Ave NE Neighborhood Meeting Inquiry Sheet Submission.msg](#)
[NMCC Major Site Amendment to Site Plan Public Notice.pdf](#)
[NeighborhoodMeetingRequest-Kimbrough.pdf](#)
[Emailed-Kimbrough-Notice-PublicMeetingHearing-N. Valley.pdf](#)

Hello Doyle,

I have your name from the Office of Neighborhood Coordination (see attached email). I'm an architect working for NMCC on a project in Albuquerque and acting as their agent for building permitting, etc.

Your neighborhood association has been identified for notification as well as the offer of a Neighborhood Meeting. The forms I am required to complete are attached – one each for Public Notice and Meeting Request. I am also attaching architectural and engineering drawings that provide you with information of the proposed project.

If there are any questions, please let me know.

Thank you.

Allen Whitaker, AIA

Principal, Healthcare

Direct: 202 478-3795

Mobile: 202 230-7479

Fax: 202 822-3898

Allen.Whitaker@stantec.com

Stantec

722 12th Street NW Suite 100

Washington DC 20005-3957



The content of this email is the confidential property of Stantec and should not be copied, modified, retransmitted, or used for any purpose except with Stantec's written authorization. If you are not the intended recipient, please delete all copies and notify us immediately.

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: April 25, 2022

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: North Valley Coalition

Name of NA Representative*: Doyle Kimbrough

Email Address* or Mailing Address* of NA Representative¹: newmexmba@aol.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: allen.whitaker@stantec.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 4901 Land Ave NE
Location Description New Mexico Cancer Center (NMCC)
2. Property Owner* New Mexico Cancer Center LLC
3. Agent/Applicant* [if applicable] Allen Whitaker
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

Review / approve improvements to the existing NMCC located at 4901 Lang Ave NE. Project
_____ includes the addition of approx. 17,500 SF of proton therapy space and reconfig. of surf. parking.

5. This type of application will be decided by^{*}: City Staff
OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council
6. Where more information about the project can be found^{*4}:
on request to: allen.whitaker@stantec.com

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{*5} D-17-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project^{*}:
 Deviation(s) Variance(s) Waiver(s)
Explanation:
The area of the building addition includes a significant portion that is cast-in-place concrete
and unoccupied equipment support. We request this square footage be removed for the
purpose of calculating parking demand.
4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)^{*}: Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

1. From the IDO Zoning Map⁶:
- a. Area of Property [typically in acres] 5.96 acres
 - b. IDO Zone District NR-BP
 - c. Overlay Zone(s) [if applicable] NA
 - d. Center or Corridor Area [if applicable] NA
2. Current Land Use(s) [vacant, if none] Professional Offices - Doctors
-

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: District 4 Coalition of Neighborhood Assoc. [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice*: April 25, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: North Valley Coalition

Name of NA Representative*: Doyle Kimbrough

Email Address* or Mailing Address* of NA Representative¹: newmexmba@aol.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 4901 Lang Ave NE
Location Description New Mexico Cancer Center (NMCC)
2. Property Owner* New Mexico Cancer Center LLC
3. Agent/Applicant* *[if applicable]* Allen Whitaker
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*:

Review / approve improvements to the existing NMCC located at 4901 Land Ave NE.

Improvements include the addition of 17,500 SF proton therapy space and the reconfiguration of surface parking.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

- 1. Area of Property [typically in acres] 5.96 acres
 - 2. IDO Zone District NR-BP
 - 3. Overlay Zone(s) [if applicable] NA
 - 4. Center or Corridor Area [if applicable] NA
- Current Land Use(s) [vacant, if none] Professional Offices - Doctors
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: District 4 Coalition of Neighborhood Assoc. [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

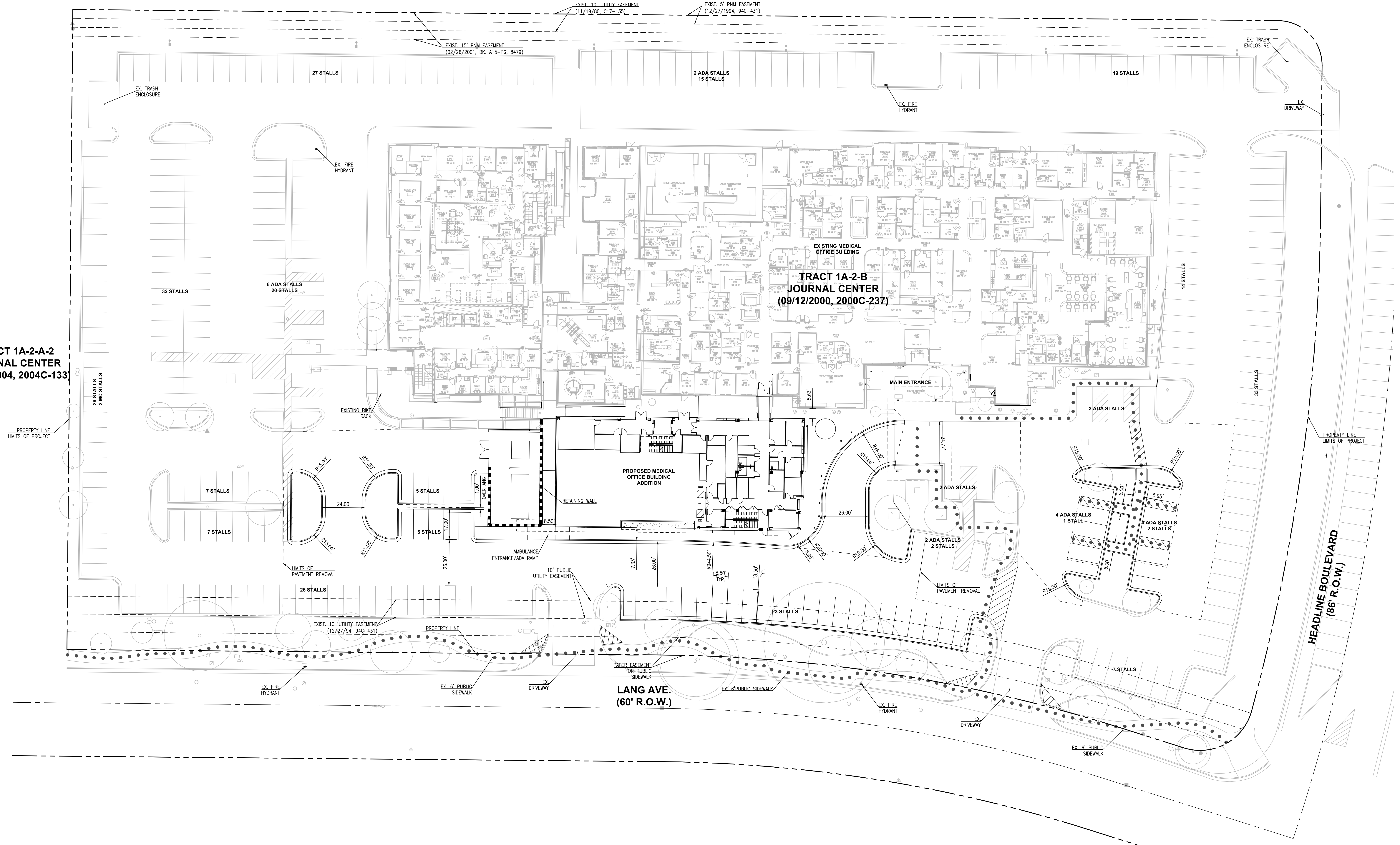
**TRACT 1A-2-A-2
JOURNAL CENTER
(05/03/2004, 2004C-133)**

**PASEO DEL NORTE
(154.67' R.O.W.)**

**HEADLINE BOULEVARD
(86' R.O.W.)**

**LANG AVE.
(60' R.O.W.)**

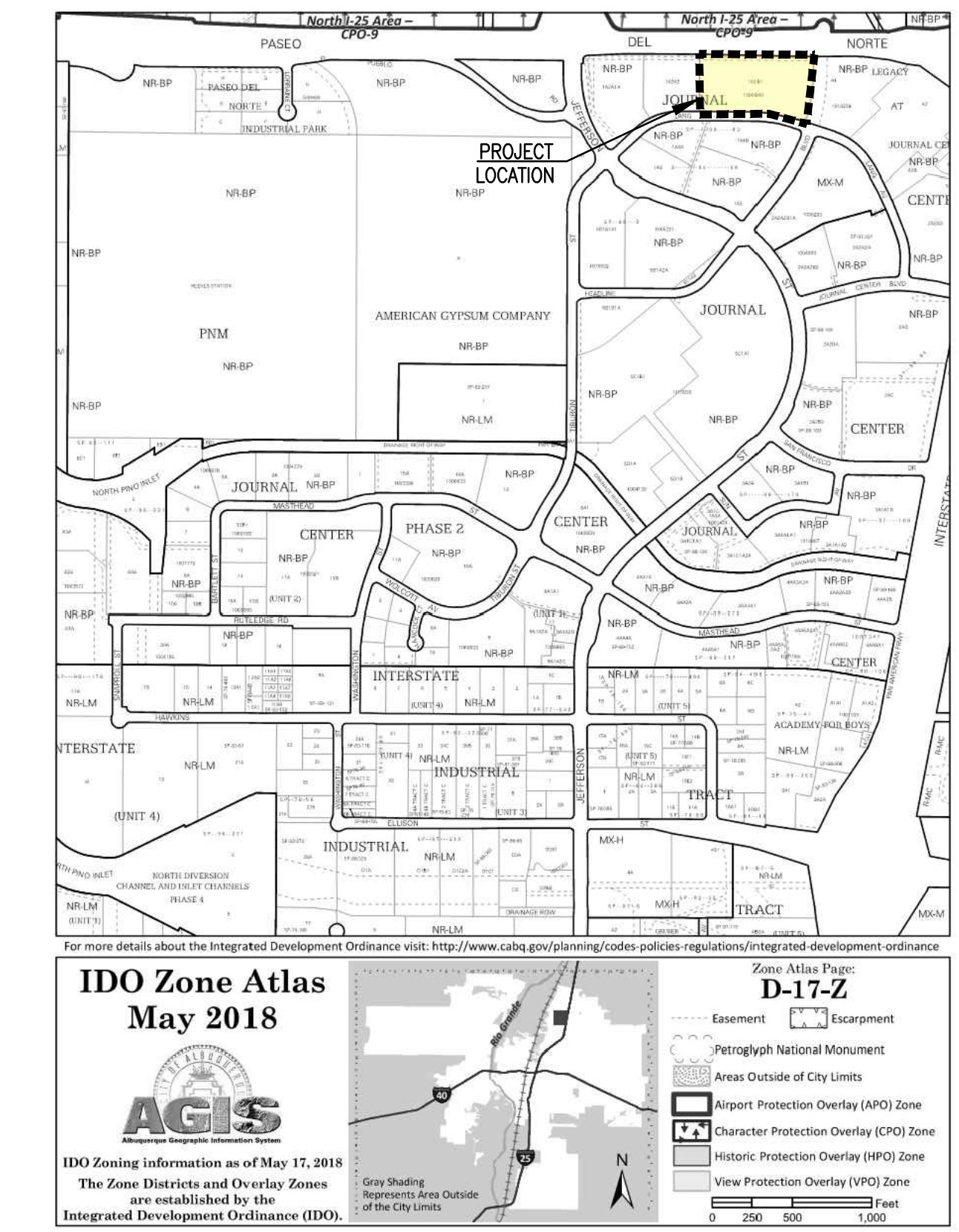
**TRACT 1A-2-B
JOURNAL CENTER
(09/12/2000, 2000C-237)**



PARKING TABULATION

CAMPUS COMPONENT	BLDG AREA (S.F.)	REQUIRED PARKING STALLS	PARKING RATIO TO BLDG AREA
EXISTING CLINIC AND MOB PROTON ADDITION	79,001 S.F. 14,219 S.F.**	320* 74	247 200
TOTAL	93,720 S.F.	394	
EXISTING STALLS PROVIDED ON-SITE	349		
STALLS LOST BY PROTON ADDITION (52)			
REVISED TOTAL ON-SITE	297		
NON-ADA STALLS	274		
ADA STALLS	23		
TOTAL REQUIRED		394	
DELTA OF ON-SITE AND REQUIRED	97**		
NON-ADA STALLS	97		

*PER APPROVED 2006 SITE PLAN - PROJECT NO. 1000560, APP. NO. 06DRB-01023
**17,472 S.F. REDUCED BY 2,753 S.F. (REPRESENTS MASS CONCRETE AND NON-OCCUP. PROTON AREA)
***STALLS TO BE PROVIDED OFF-SITE BY OWNER



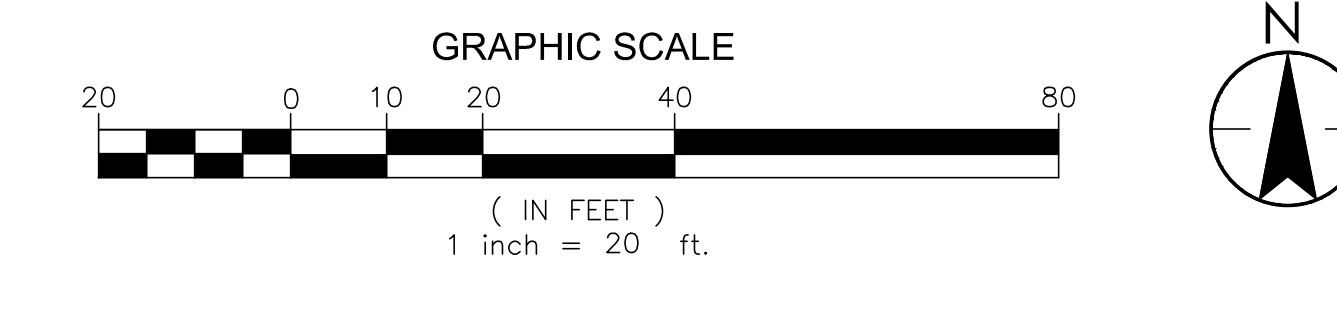
PROJECT NUMBER: _____
APPLICATION NUMBER: _____

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRB PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OF FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

*ENVIRONMENTAL HEALTH, IF NECESSARY



MAJOR AMENDMENT TO SITE PLAN - DRB	2022.04.13
JOURNAL CENTER SITE PLAN REVIEW	2020.09.29
Issue/Revision	YYYYMMDD

**PRELIMINARY
NOT FOR
CONSTRUCTION**
Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project Logo

Client/Project
NMPACT

NEW MEXICO CANCER CENTER

4901 LANG AVE. NE
ALBUQUERQUE, NM 87109

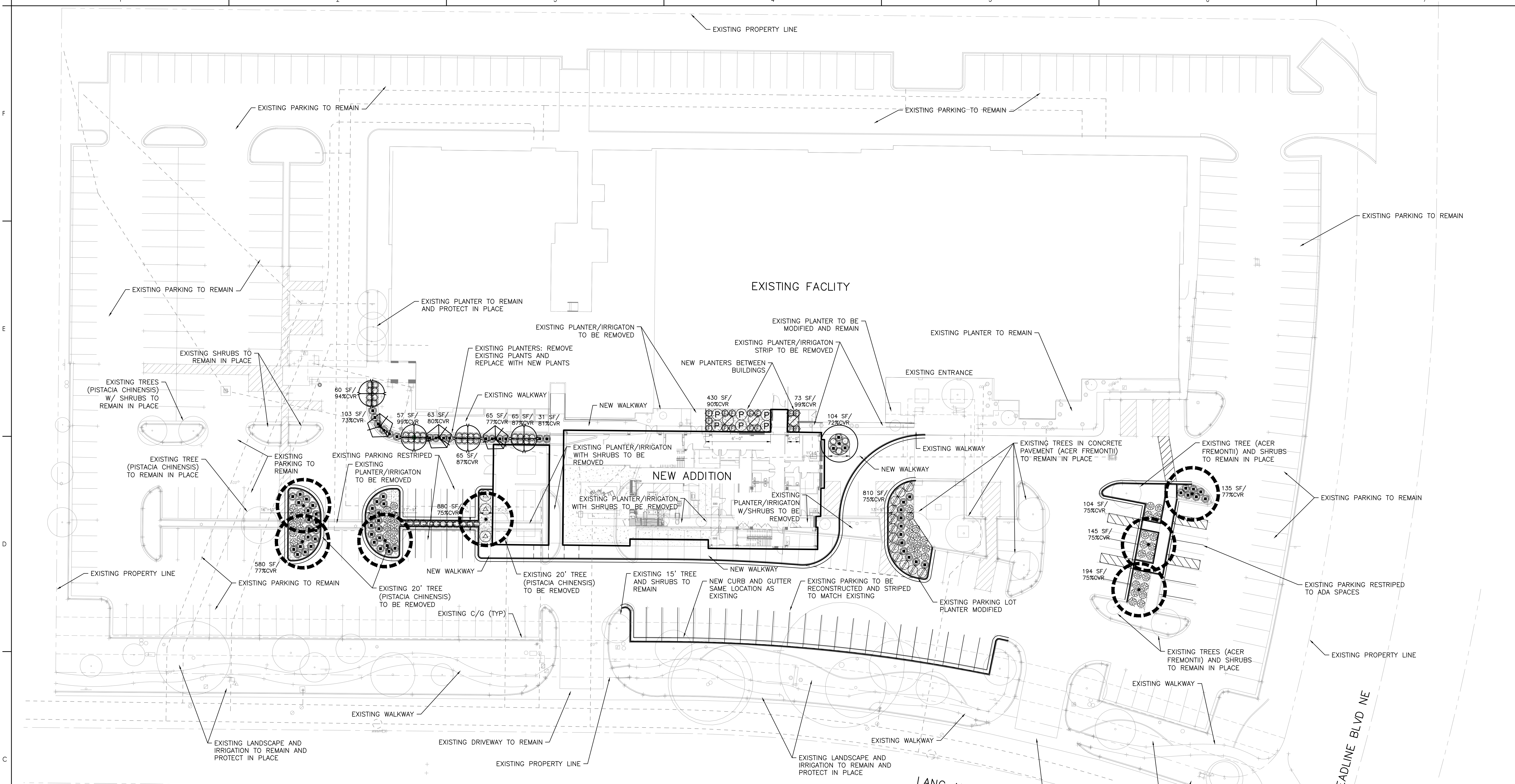
Title
SITE PLAN

Project No.
177920075

Revision

Scale
1" = 20'

Drawing No.
C-101



PLANT SCHEDULE

TREES					
SYMBOL	QTY.	BOTANICAL NAME COMMON NAME	MIN CONTAINER SIZE	MIN. SPEC. SIZE HT./W.D./CALIPER	MATURE SIZE HT./W.D.
	3	CRATAEGUS CRUS-GALLI INERMIS THORNLESS COCKSPUR HAWTHORN	36" BOX, 45 GAL OR B&B TO MIN. CAL.	5'x3'/2.5" LOW BRANCHING MULTI	15'x12'
	4	LAGERSTROEMIA INDICA X FAURIEI 'TUSCARORA' CRAPE MYRTLE	36" BOX, 45 GAL OR B&B TO MIN. CAL.	5'x3'/2.5" LOW BRANCHING MULTI	15'x12'
	3	PISTACIA CHINENSIS CHINESE PISTACHE	36" BOX, 45 GAL OR B&B TO MIN. CAL.	8'x3'/2.5" STANDARD	25'x25'
	1	QUERCUS BUCKLEYI RED ROCK OAK	36" BOX, 45 GAL OR B&B TO MIN. CAL.	8'x3'/2.5" STANDARD	20'x20'

SHRUBS/GROUNDCOVERS					
SYMBOL	QUANTITY	BOTANICAL NAME/COMMON NAME	CONTAINER SIZE	MINIMUM SIZE (HT./W.D.)	MATURE SIZE (HT./W.D.) NO PRUNING!! MINIMUM SPACING FROM OTHER PLANTS
	49	BERBERIS THUNBERGII 'ATROPURPUREA' JAPANESE BARBERRY	5 GAL.	12"x10"	4'x4' PLANT MIN. 5' APART
	3	CAMELIA 'JAPONICA' 'APRIL TRYST' APRIL TRYST CAMELIA	5 GAL.	14"x12"	7'x4'
	12	COTONEASTER BUXTIFOLIUS GREYLEAF COTONEASTER	5 GAL.	2'x9"	PLANT MIN. 5' APART
	15	DIANELLA TASMANICA 'TR20' TASRED FLAX LILY	5 GAL.	6"x8"	PLANT MIN. 18" APART
	73	HESPERALOE PARVIFLORA 'MSWNERED' PP#28910 'SANDIA GLOW' RED YUCCA	5 GAL.	10"x10"	3'x3' PLANT MIN. 3' APART
	3	PHOTINIA FRASERI RED TIP PHOTINIA	5 GAL.	14"x12"	8'x8' PLANT MIN. 8' APART
	6	PODOCARPUS NIVALIS 'PINK TIP' PINK TIP PODOCARPUS	5 GAL.	12"x14"	3'x6' PLANT MIN. 4' APART
	47	ROSEMARINUS OFFICINALIS 'SALEM' SALEM PETITE ROSEMARY	5 GAL.	8"x8"	2'x3' PLANT MIN. 18" APART

IRRIGATION SYSTEM IMPROVEMENTS

EXISTING NEW MEXICO CANCER CENTER FACILITY HAS EXISTING LANDSCAPE CONSISTING OF TREES AND SHRUBS WITH LANDSCAPE ROCK GROUNDCOVER. THE EXISTING LANDSCAPE IS SERVED BY AN EXISTING IRRIGATION SYSTEM AND RPPA. THE SYSTEM HAS AN EXISTING RAINFOUR SMART CONTROLLER THAT CONTROLS THE WATERING WITH MULTIPLE REMOTE CONTROL VALVES FOR THE ENTIRE PROPERTY. THE SYSTEM USES PRIMARILY DRIP IRRIGATION USING MULTIPORT EMITTERS AND A FEW BUBBLERS ON TREES.

GIVEN THE PROPOSED IMPROVEMENTS, THE NEW LANDSCAPING WILL BE ALL ON DRIP IRRIGATION USING THE SAME OR SIMILAR DRIP EMITTER TYPES TO IRRIGATE THE PROPOSED TREES AND SHRUBS. THE LATERALS WILL BE ALL RIGID PVC PIPE AND ANY EXISTING MAINLINE MODIFICATIONS WILL USE PVC PIPE TO MATCH EXISTING. THE PIPING WILL BE INSTALLED AT PROPER DEPTHS. THE REMOTE CONTROL VALVES WILL BE LOW FLOW TYPE WITH PRESSURE REGULATORS AND FILTERS IN VALVE BOXES. THE INTENT IS TO RELOCATE THE EXISTING REMOTE CONTROL VALVES IMPACTED BY CONSTRUCTION TO NEW PLANTER LOCATIONS. THE CONTROLLER IS EXPANDABLE AND WILL BE REPROGRAMMED TO INCLUDE THE NEW IRRIGATION WITH EXISTING FOR RUN TIMES.

THE EXISTING RPPA (REDUCED PRESSURE PRINCIPLE ASSEMBLY) WILL REMAIN AND HAS CAPACITY TO ACCOMMODATE NEW IMPROVEMENTS.

LANDSCAPE ROCK SCHEDULE

KEY:	DESCRIPTION
	LANDSCAPE INERT GROUNDCOVER (ALL PLANTERS) 1" SCREENED LANDSCAPE ROCK COLOR: SANTE FE GOLD OR SIM. TO MATCH EXISTING COLOR AND TYPE DEPTH: 2" MIN.

LANDSCAPE INFORMATION

LANDSCAPE REQUIREMENTS PER CITY OF ALBUQUERQUE ZONING CODE CHAPTER 14-16-3-10 AND/OR JOURNAL CENTER CORP (WHICHEVER MORE STRICTER) AS FOLLOWS:

REQUIRED:	PROVIDED:
TREE SIZE: SHRUB/GROUNDCOVER SIZE:	2.5" CALIPER 1 GAL
PARKING LOT: TREES: 1 PER 5 SPACES TREE FROM PARKING SPACE: MINIMUM PLANTER SIZE: MIN TREE CANOPY DECIDUOUS	(5) 100-FT MAX 36-SF 75%
	(6) 49-FT MAX 135-SF 100%

LANDSCAPE PLANTER AREAS: (SEE NOTES)

NOTES:

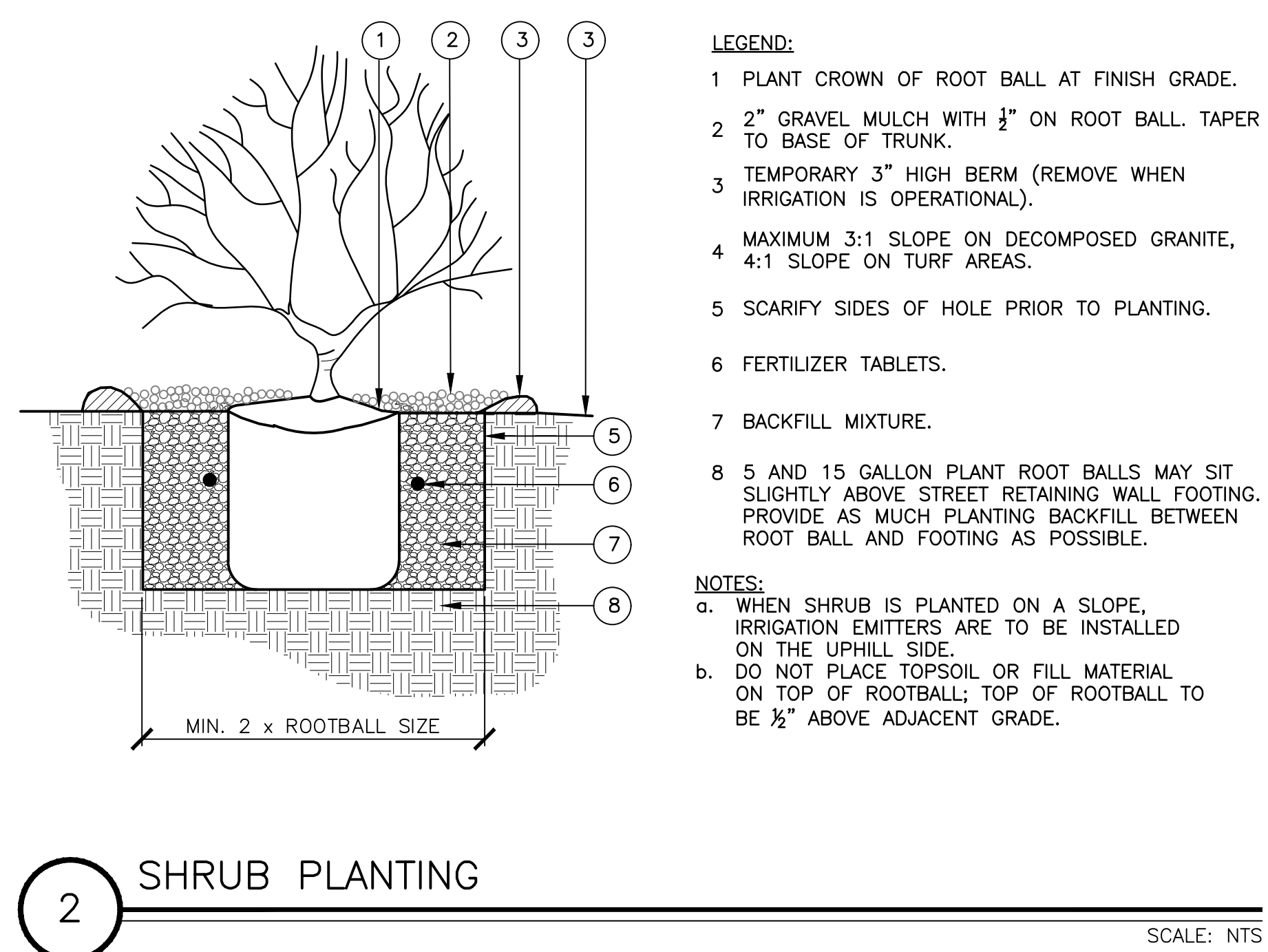
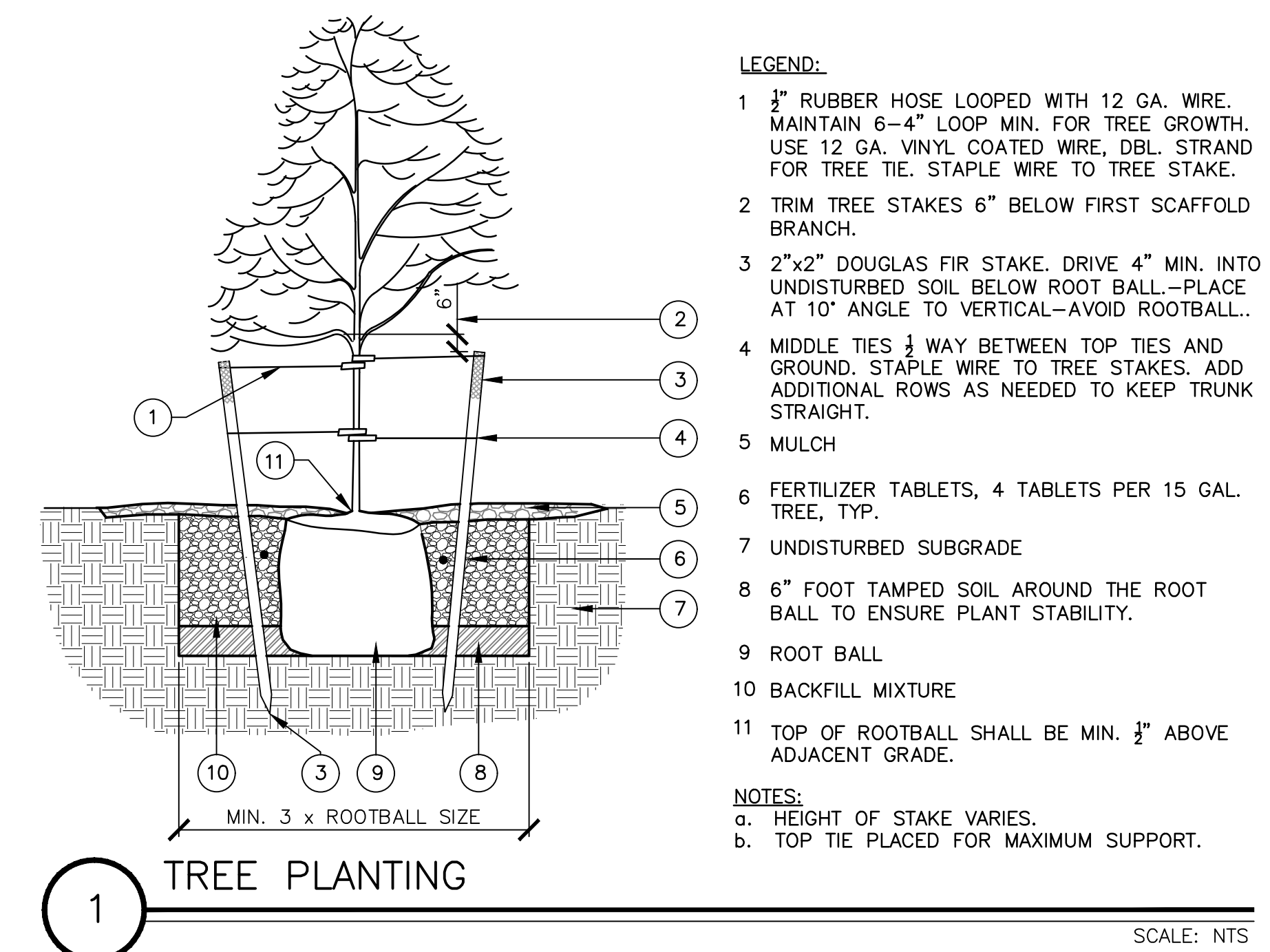
- ALL LANDSCAPING SHALL BE DRIP IRRIGATED USING THE EXISTING IRRIGATION SYSTEM, VALVES AND CONTROLLER.
- ALL NEW LANDSCAPING SHOWN ON THIS PLAN FOR THE PROPOSED NEW BUILDING ADDITION IMPROVEMENTS AND ASSOCIATED PARKING LOT MODIFICATIONS TO THE EXISTING PARKING LOT IS INTENDED TO COMPLY WITH CITY OF ALBUQUERQUE ZONING CODE CHAPTER 14-16-3-10 LANDSCAPING REGULATIONS UNLESS AS MODIFIED AS FOLLOWS:

LANDSCAPE REQUIREMENTS:

- NET LANDSCAPE AREA MINIMUM 15% - PROVIDED: N/A - EXISTING PARKING LOT IS MODIFIED TO PROVIDE FIRE LANE AS REQUIRED.
- CLEAR SIGHT LINES: N/A - IMPROVEMENTS LIMITED TO INTERIOR OF SITE. PERIMETER EXISTING LANDSCAPING TO REMAIN AND PROTECT IN PLACE.
- STANDARD LANDSCAPE BUFFERS: N/A - NO IMPROVEMENTS WILL IMPACT EXISTING LANDSCAPE BUFFERS TO REMAIN AND PROTECT IN PLACE.
- SPECIAL LANDSCAPE BUFFER REQUIREMENTS: N/A - EXISTING SITE-SURROUNDING LAND USES: COMMERCIAL-NO IMPACTS.
- SPECIAL SCREENING REQUIREMENTS FOR CERTAIN USES: ALL REQUIRED SCREENING WITHIN NEW CMU WALLS

MAINTENANCE STATEMENT:

THE EXISTING FACILITY IS CURRENTLY MAINTAINED BY A LANDSCAPE CONTRACTOR CONTRACTED BY THE OWNER. THE NEW LANDSCAPE AND IRRIGATION IMPROVEMENTS WILL ALSO BE MAINTAINED BY CONTRACTOR.



Revision	DATE
1	11/15/2022

DATE	DESCRIPTION
04/15/2022	MAJOR AMENDMENT TO SITE PLAN - I&B
04/13/2022	EARLY ELECTRICAL EQUIPMENT RELEASE PACKAGE
03/28/2022	DESIGN DEVELOPMENT
02/23/2022	JOURNAL CENTER SITE PLAN REVIEW
01/28/2022	SCHEMATIC DESIGN
02/24/21	PRELIMINARY

Permit/Seal

Cary K Baird
REGISTERED PROFESSIONAL ENGINEER
LANDSCAPE ARCHITECT
15198-02

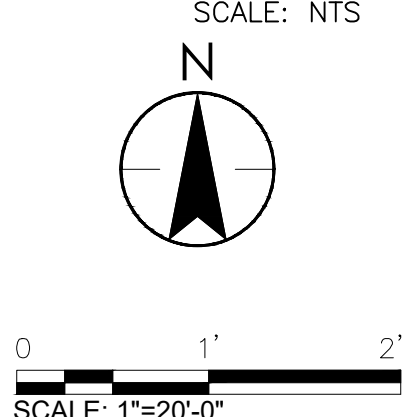
Client/Project Logo

Client/Project
NEW MEXICO PROTON ADVANCED CANCER THERAPY (NMPACT)
NEW MEXICO CANCER CENTER

4901 LANG AVE. NE
ALBUQUERQUE, NM 87109

LANDSCAPE - LANDSCAPE PLAN

Project No.	Scale	
17792075	1"=20'	
Revision	Sheet	Drawing No.
0	1 of 1	C-701

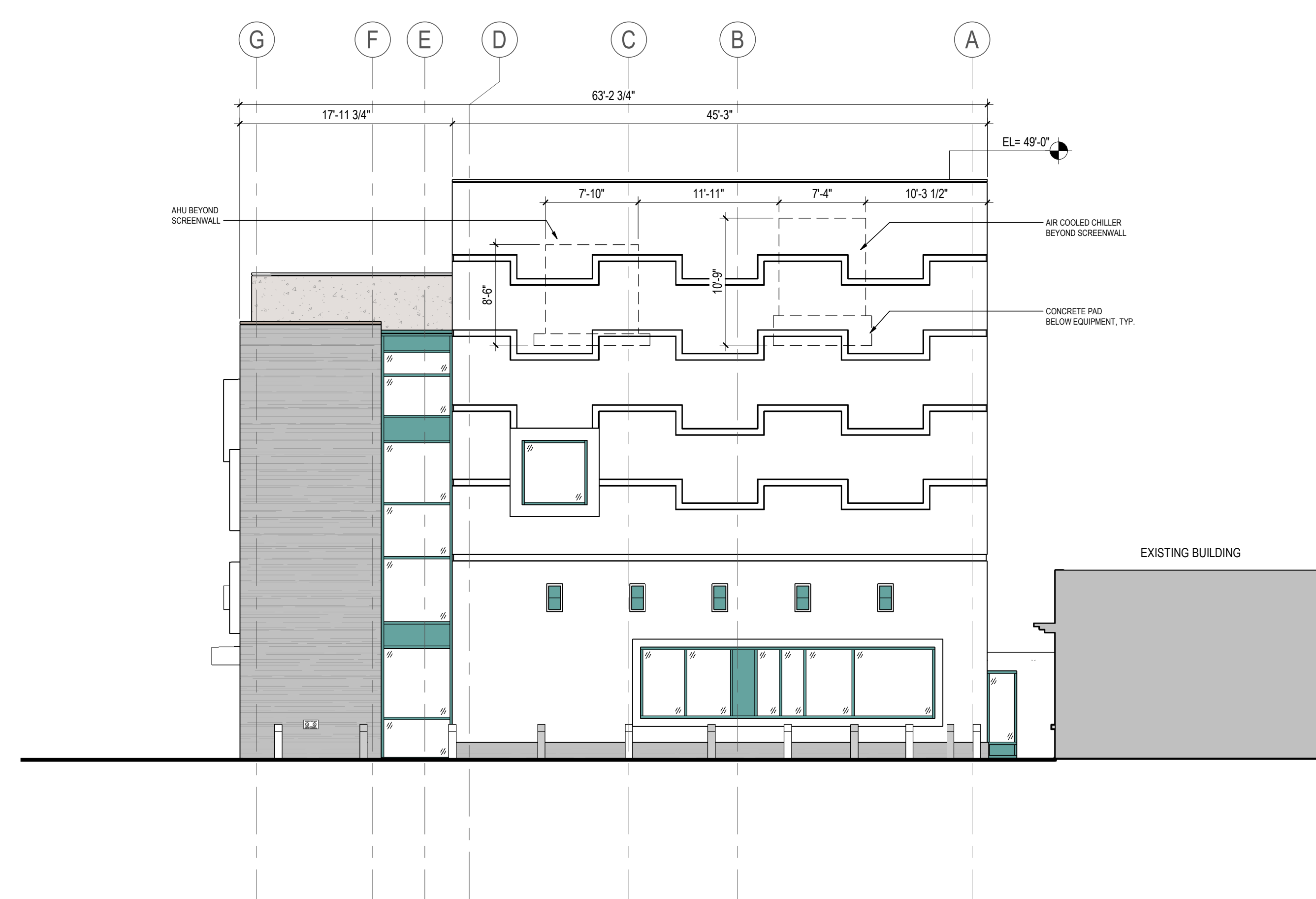


11/15/2022 10:00 AM 17792075.dwg 17792075.dwg

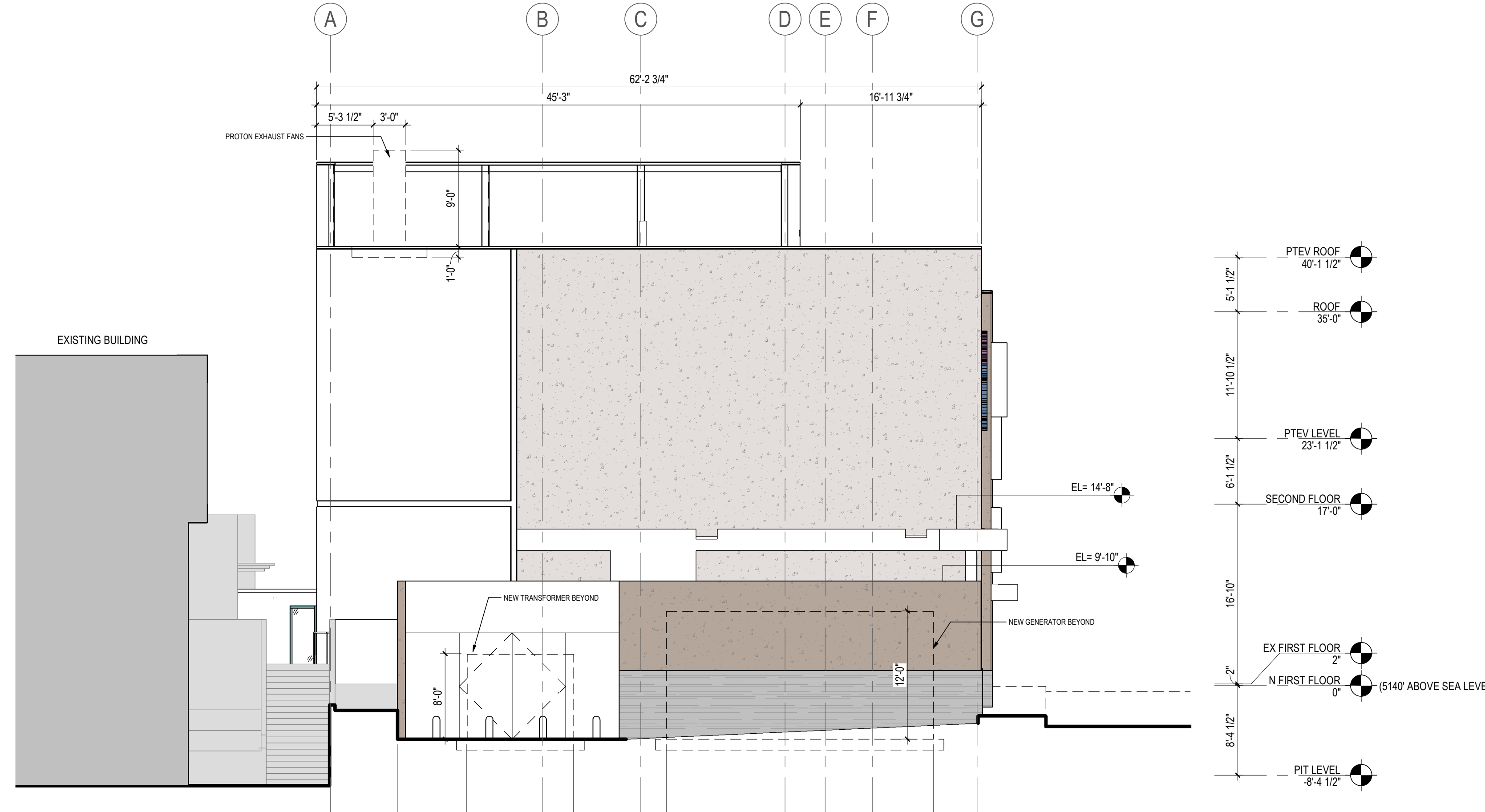
BUILDING ELEVATION LEGEND

- STUCCO
 - EP1 LIGHT STUCCO - SMOOTH
 - EP2 LIGHT STUCCO - COARSE
 - EP3 DARK STUCCO - COARSE
- STONE
 - S11 STACKED STONE
- GLAZING
 - IG1 1" CLEAR
 - IG2 1" CLEAR W/ SHADOWBOX
 - IG3 1" FROSTED GLASS
 - IG4 1" FROSTED GLASS W/ SHADOWBOX
 - IG5 SPANDREL - ACM TEAL
- EXTERIOR PAINT FINISH
 - PE1 PAINT TO MATCH EP1
 - PE3 PAINT TO MATCH EP3
 - PE4 PAINT TO MATCH IG5 (TEAL) - TYP. MULLION FRAME, ALUMINUM
- EXTERIOR CERAMIC TILE ARTWORK
 - ART1 CUSTOM ARTWORK

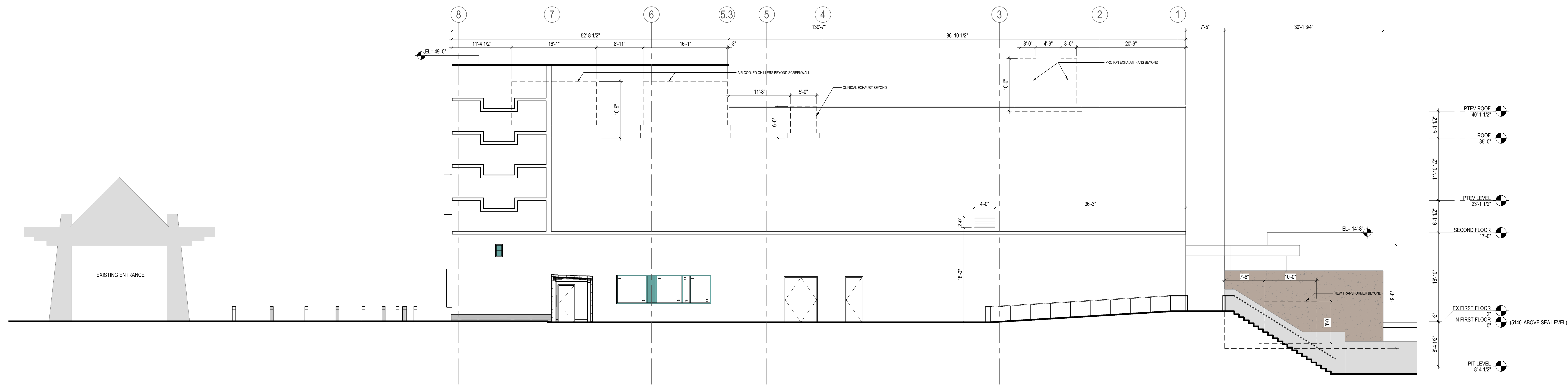
* DOORS AND DOOR FRAMES - HOLLOW METAL PAINTED TO MATCH ADJACENT FINISH COLOR



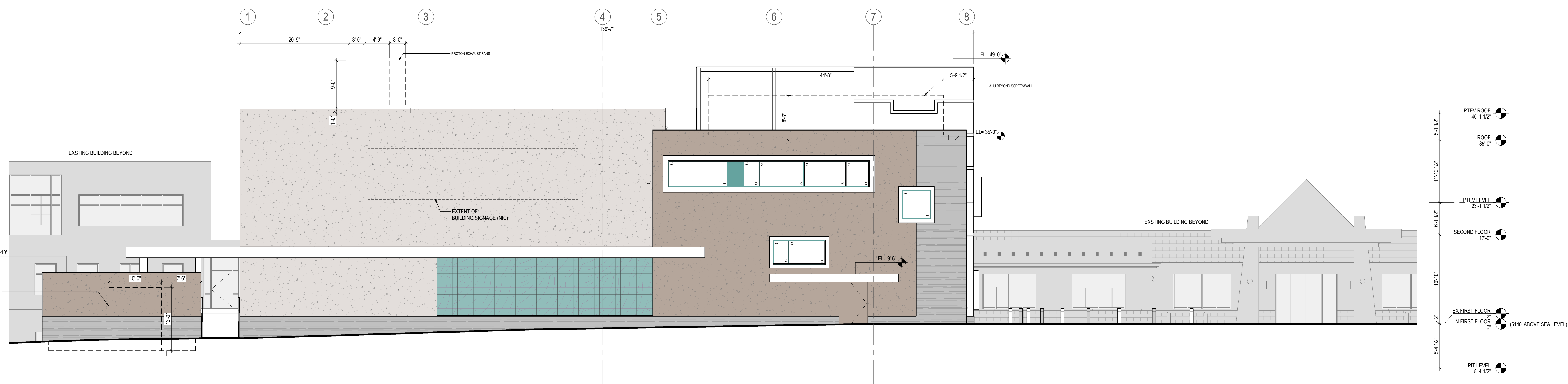
E7 EAST ELEVATION
1/8" = 1'-0"



E4 WEST ELEVATION
1/8" = 1'-0"



C7 NORTH ELEVATION
1/8" = 1'-0"



A7 SOUTH ELEVATION
1/8" = 1'-0"

NO.	DESCRIPTION	DATE
1	MAJOR AMENDMENT TO SITE PLAN - ORS	04/15/2022
2	DESIGN DEVELOPMENT	03/23/2022
3	JOURNAL CENTER SITE PLAN REVIEW	02/23/2022
4	SCHEMATIC DESIGN	01/28/2022
5	Issue/Revision	YYYYMMDD

PRELIMINARY NOT FOR CONSTRUCTION
Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project Logo

Client/Project
NEW MEXICO PROTON ADVANCED CANCER THERAPY (NMPACT)

NEW MEXICO CANCER CENTER
4901 LANG AVE. NE
ALBUQUERQUE, NM 87109
Title
BUILDING ELEVATIONS

Project No. 177920075
Revision
Scale 1/8" = 1'-0"
Drawing No. **A2-100**

From: [Microsoft Outlook](#)
To: newmexmba@aol.com
Subject: Relayed: FW: Public Notice and Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque
Date: Friday, April 29, 2022 12:11:14 PM
Attachments: [FW Public Notice and Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque.msg](#)

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:
newmexmba@aol.com (newmexmba@aol.com) <mailto:newmexmba@aol.com>
Subject: FW: Public Notice and Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

From: [Whitaker, Allen](#)
To: [Daniel Regan \(direganabq@gmail.com\)](mailto:direganabq@gmail.com)
Cc: [Whitaker, Allen](#); [Bob McElearney](#); [Laura Marez \(lauram@nmohc.com\)](mailto:lauram@nmohc.com); [Wolf, Richard](#)
Subject: Public Notice and Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque
Date: Tuesday, April 26, 2022 3:08:19 PM
Attachments: [NMCC Major Site Amendment to Site Plan Public Notice.pdf](#)
[Emailed-Regan-Notice-PublicMeetingHearing-District 4.pdf](#)
[NeighborhoodMeetingRequest-Regan.pdf](#)
[4901 Lana Ave NE Neighborhood Meeting Inquiry Sheet Submission.msg](#)

Hello Daniel,

I have your name from the Office of Neighborhood Coordination (see attached email). I'm an architect working for NMCC on a project in Albuquerque and acting as their agent for building permitting, etc.

Your neighborhood association has been identified for notification as well as the offer of a Neighborhood Meeting. The forms I am required to complete are attached – one each for Public Notice and Meeting Request. I am also attaching architectural and engineering drawings that provide you with information of the proposed project.

If there are any questions, please let me know.

Thank you.

Allen Whitaker, AIA

Principal, Healthcare

Direct: 202 478-3795

Mobile: 202 230-7479

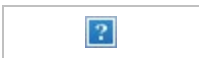
Fax: 202 822-3898

Allen.Whitaker@stantec.com

Stantec

722 12th Street NW Suite 100

Washington DC 20005-3957



The content of this email is the confidential property of Stantec and should not be copied, modified, retransmitted, or used for any purpose except with Stantec's written authorization. If you are not the intended recipient, please delete all copies and notify us immediately.

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: April 25, 2022

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: District 4 Coalition of Neighborhood Associations

Name of NA Representative*: Daniel Regan

Email Address* or Mailing Address* of NA Representative¹: dlreganabq@gmail.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: allen.whitaker@stantec.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 4901 Land Ave NE
Location Description New Mexico Cancer Center (NMCC)
2. Property Owner* New Mexico Cancer Center LLC
3. Agent/Applicant* [if applicable] Allen Whitaker
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

Review / approve improvements to the existing NMCC located at 4901 Lang Ave NE. Project
_____ includes the addition of approx. 17,500 SF of proton therapy space and reconfig. of surf. parking.

5. This type of application will be decided by^{*}: City Staff
OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council
6. Where more information about the project can be found^{*4}:
on request to: allen.whitaker@stantec.com

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{*5} D-17-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project^{*}:
 Deviation(s) Variance(s) Waiver(s)
Explanation:
The area of the building addition includes a significant portion that is cast-in-place concrete
and unoccupied equipment support. We request this square footage be removed for the
purpose of calculating parking demand.
4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)^{*}: Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

1. From the IDO Zoning Map⁶:
- a. Area of Property [typically in acres] 5.96 acres
 - b. IDO Zone District NR-BP
 - c. Overlay Zone(s) [if applicable] NA
 - d. Center or Corridor Area [if applicable] NA
2. Current Land Use(s) [vacant, if none] Professional Offices - Doctors
-

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: North Valley Coalition [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: April 25, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: District 4 Coalition of Neighborhood Associations

Name of NA Representative*: Daniel Regan

Email Address* or Mailing Address* of NA Representative¹: dlreganabq@gmail.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 4901 Lang Ave NE
Location Description New Mexico Cancer Center (NMCC)
2. Property Owner* New Mexico Cancer Center LLC
3. Agent/Applicant* *[if applicable]* Allen Whitaker
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*:

Review / approve improvements to the existing NMCC located at 4901 Land Ave NE.

Improvements include the addition of 17,500 SF proton therapy space and the reconfiguration of surface parking.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

- 1. Area of Property [typically in acres] 5.96 acres
 - 2. IDO Zone District NR-BP
 - 3. Overlay Zone(s) [if applicable] NA
 - 4. Center or Corridor Area [if applicable] NA
- Current Land Use(s) [vacant, if none] Professional Offices - Doctors
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: North Valley Coalition *[Other Neighborhood Associations, if any]*

⁶ Available here: <https://tinurl.com/idozoningmap>

From: [Dan Regan](#)
To: [Whitaker, Allen](#)
Subject: Read: Public Notice and Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque
Date: Friday, April 29, 2022 12:54:19 PM

Your message

To:
Subject: Read: Public Notice and Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque
Sent: Friday, April 29, 2022 4:54:19 PM (UTC+00:00) Monrovia, Reykjavik
was read on Friday, April 29, 2022 4:54:06 PM (UTC+00:00) Monrovia, Reykjavik.

From: [Whitaker, Allen](#)
To: mgriffie@noreste.org
Cc: [Whitaker, Allen](#); [Bob McElearney](#); [Laura Marez \(lauram@nmohc.com\)](mailto:lauram@nmohc.com); [Wolf, Richard](#)
Subject: Public Notice and Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque
Date: Tuesday, April 26, 2022 3:06:18 PM
Attachments: [4901 Lang Ave NE Neighborhood Meeting Inquiry Sheet Submission.msg](#)
[NMCC Major Site Amendment to Site Plan Public Notice.pdf](#)
[NeighborhoodMeetingRequest-Griffie.pdf](#)
[Emailed-Griffie-Notice-PublicMeetingHearing-District 4.pdf](#)

Hello Mildred,

I have your name from the Office of Neighborhood Coordination (see attached email). I'm an architect working for NMCC on a project in Albuquerque and acting as their agent for building permitting, etc.

Your neighborhood association has been identified for notification as well as the offer of a Neighborhood Meeting. The forms I am required to complete are attached – one each for Public Notice and Meeting Request. I am also attaching architectural and engineering drawings that provide you with information of the proposed project.

If there are any questions, please let me know.

Thank you.

Allen Whitaker, AIA

Principal, Healthcare

Direct: 202 478-3795

Mobile: 202 230-7479

Fax: 202 822-3898

Allen.Whitaker@stantec.com

Stantec

722 12th Street NW Suite 100

Washington DC 20005-3957



The content of this email is the confidential property of Stantec and should not be copied, modified, retransmitted, or used for any purpose except with Stantec's written authorization. If you are not the intended recipient, please delete all copies and notify us immediately.

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: April 25, 2022

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: District 4 Coalition of Neighborhood Associations

Name of NA Representative*: Mildred Griffiee

Email Address* or Mailing Address* of NA Representative¹: mgriffiee@noreste.org

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: allen.whitaker@stantec.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 4901 Land Ave NE
Location Description New Mexico Cancer Center (NMCC)
2. Property Owner* New Mexico Cancer Center LLC
3. Agent/Applicant* [if applicable] Allen Whitaker
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

Review / approve improvements to the existing NMCC located at 4901 Lang Ave NE. Project
_____ includes the addition of approx. 17,500 SF of proton therapy space and reconfig. of surf. parking.

5. This type of application will be decided by^{*}: City Staff
OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council
6. Where more information about the project can be found^{4*}:
on request to: allen.whitaker@stantec.com

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)⁵ D-17-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project^{*}:
 Deviation(s) Variance(s) Waiver(s)
Explanation:
The area of the building addition includes a significant portion that is cast-in-place concrete
and unoccupied equipment support. We request this square footage be removed for the
purpose of calculating parking demand.
4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)^{*}: Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

- 1. From the IDO Zoning Map⁶:
 - a. Area of Property [typically in acres] 5.96 acres
 - b. IDO Zone District NR-BP
 - c. Overlay Zone(s) [if applicable] NA
 - d. Center or Corridor Area [if applicable] NA
 - 2. Current Land Use(s) [vacant, if none] Professional Offices - Doctors
-

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: North Valley Coalition [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice*: April 25, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: District 4 Coalition of Neighborhood Associations

Name of NA Representative*: Mildred Griffiee

Email Address* or Mailing Address* of NA Representative¹: mgriffiee@noreste.org

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 4901 Lang Ave NE
Location Description New Mexico Cancer Center (NMCC)
2. Property Owner* New Mexico Cancer Center LLC
3. Agent/Applicant* *[if applicable]* Allen Whitaker
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*:

Review / approve improvements to the existing NMCC located at 4901 Land Ave NE.

Improvements include the addition of 17,500 SF proton therapy space and the reconfiguration of surface parking.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

- 1. Area of Property [typically in acres] 5.96 acres
 - 2. IDO Zone District NR-BP
 - 3. Overlay Zone(s) [if applicable] NA
 - 4. Center or Corridor Area [if applicable] NA
- Current Land Use(s) [vacant, if none] Professional Offices - Doctors
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: North Valley Coalition *[Other Neighborhood Associations, if any]*

⁶ Available here: <https://tinurl.com/idozoningmap>

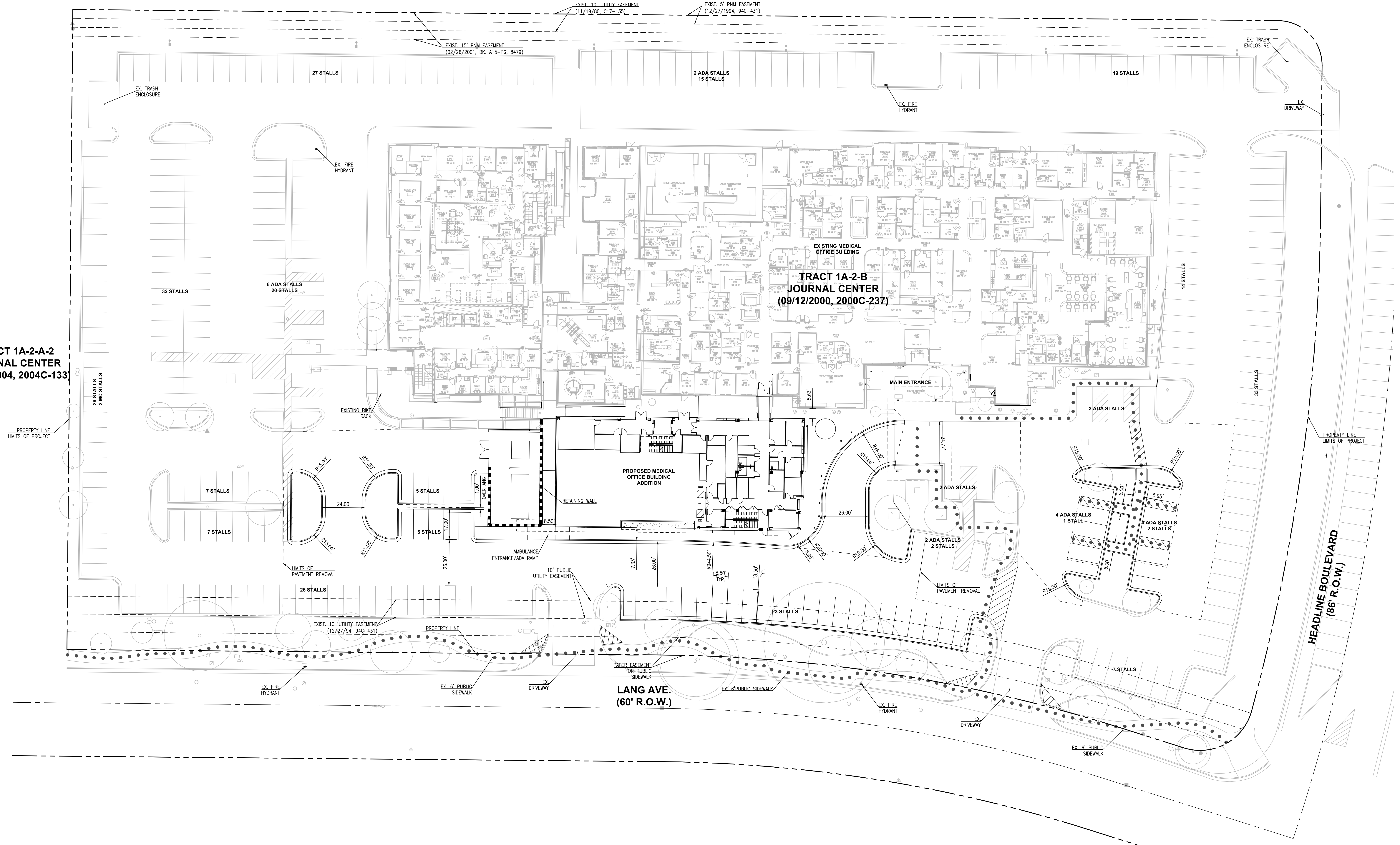
**TRACT 1A-2-A-2
JOURNAL CENTER
(05/03/2004, 2004C-133)**

**PASEO DEL NORTE
(154.67' R.O.W.)**

**HEADLINE BOULEVARD
(86' R.O.W.)**

**LANG AVE.
(60' R.O.W.)**

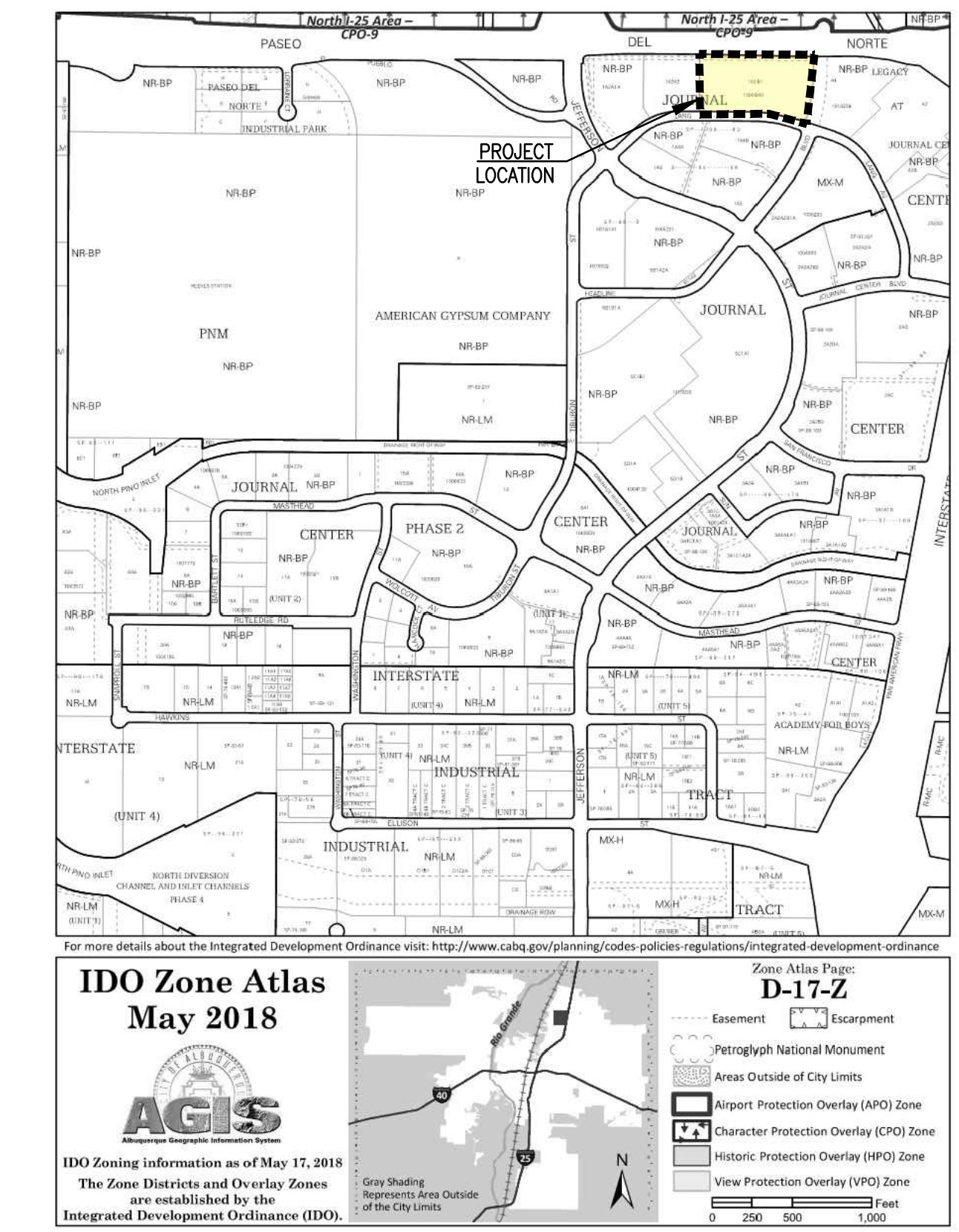
**TRACT 1A-2-B
JOURNAL CENTER
(09/12/2000, 2000C-237)**



PARKING TABULATION

CAMPUS COMPONENT	BLDG AREA (S.F.)	REQUIRED PARKING STALLS	PARKING RATIO TO BLDG AREA
EXISTING CLINIC AND MOB PROTON ADDITION	79,001 S.F. 14,219 S.F.**	320* 74	247 200
TOTAL	93,720 S.F.	394	
EXISTING STALLS PROVIDED ON-SITE	349		
STALLS LOST BY PROTON ADDITION (52)			
REVISED TOTAL ON-SITE	297		
NON-ADA STALLS	274		
ADA STALLS	23		
TOTAL REQUIRED		394	
DELTA OF ON-SITE AND REQUIRED	97***		
NON-ADA STALLS	97		

*PER APPROVED 2006 SITE PLAN - PROJECT NO. 1000560, APP. NO. 06DRB-01023
**17,472 S.F. REDUCED BY 2,753 S.F. (REPRESENTS MASS CONCRETE AND NON-OCCUP. PROTON AREA)
***STALLS TO BE PROVIDED OFF-SITE BY OWNER



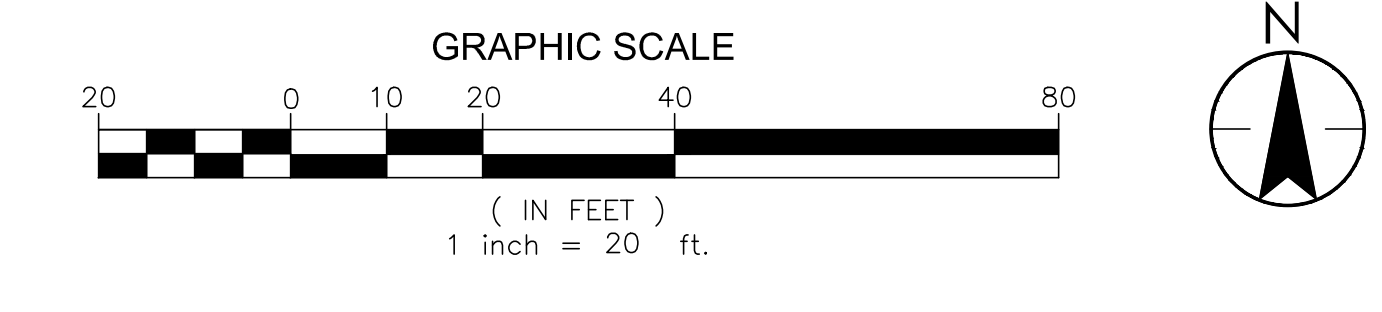
PROJECT NUMBER: _____
APPLICATION NUMBER: _____

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRB PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

*ENVIRONMENTAL HEALTH, IF NECESSARY



MAJOR AMENDMENT TO SITE PLAN - DRB	2022.04.13
JOURNAL CENTER SITE PLAN REVIEW	2020.09.29
Issue/Revision	YYYYMMDD

**PRELIMINARY
NOT FOR
CONSTRUCTION**
Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project Logo

Client/Project
NMPACT

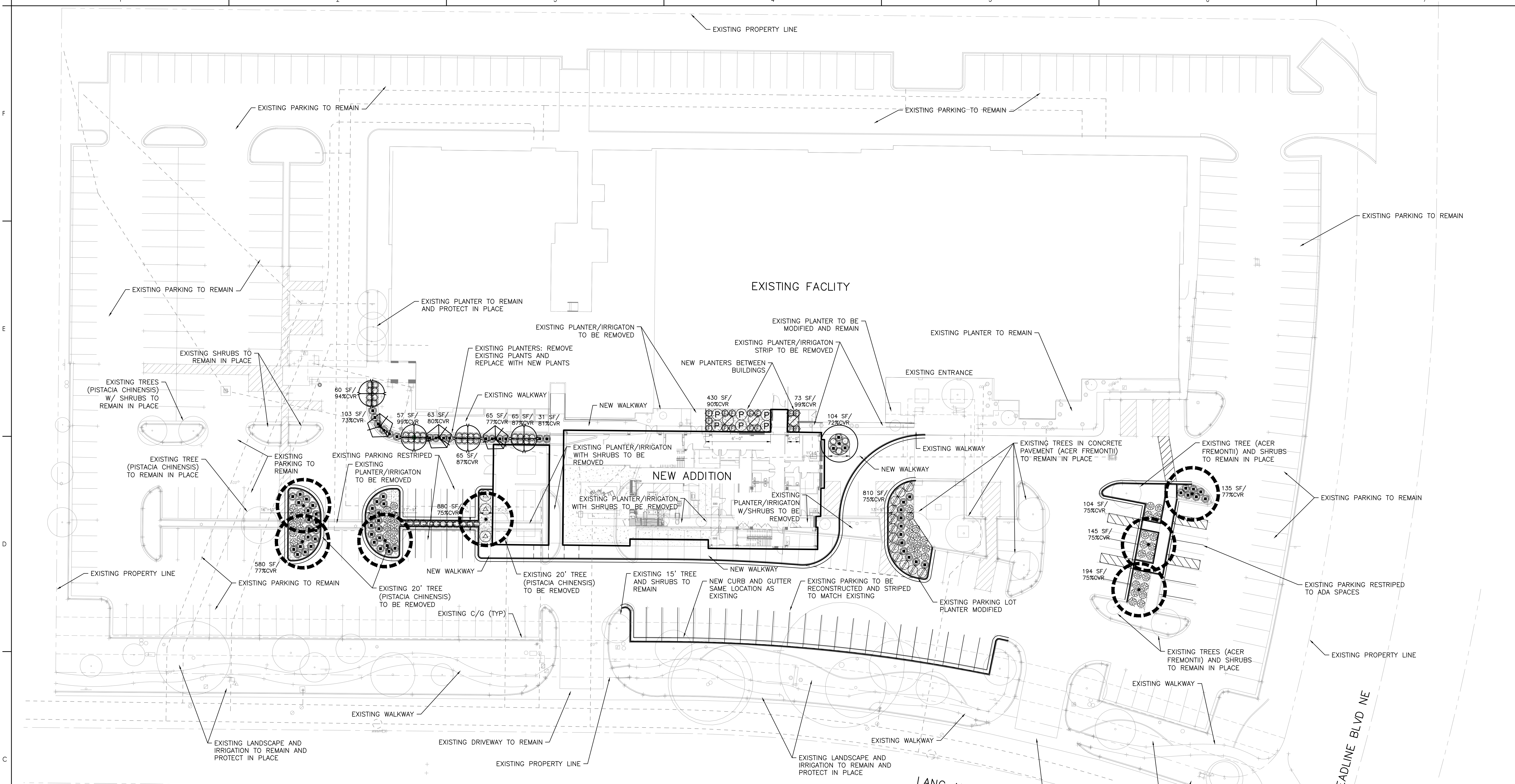
NEW MEXICO CANCER CENTER

4901 LANG AVE. NE
ALBUQUERQUE, NM 87109

Title
SITE PLAN

Project No.
177920075
Revision

Scale
1" = 20'
Drawing No.
C-101



PLANT SCHEDULE

TREES					
SYMBOL	QTY.	BOTANICAL NAME COMMON NAME	MIN CONTAINER SIZE	MIN. SPEC. SIZE HT./W.D./CALIPER	MATURE SIZE HT./W.D.
	3	CRATAEGUS CRUS-GALLI INERMIS THORNLESS COCKSPUR HAWTHORN	36" BOX, 45 GAL OR B&B TO MIN. CAL.	5'x3'/2.5" LOW BRANCHING MULTI	15'x12'
	4	LAGERSTROEMIA INDICA X FAURIEI 'TUSCARORA' CRAPE MYRTLE	36" BOX, 45 GAL OR B&B TO MIN. CAL.	5'x3'/2.5" LOW BRANCHING MULTI	15'x12'
	3	PISTACIA CHINENSIS CHINESE PISTACHE	36" BOX, 45 GAL OR B&B TO MIN. CAL.	8'x3'/2.5" STANDARD	25'x25'
	1	QUERCUS BUCKLEYI RED ROCK OAK	36" BOX, 45 GAL OR B&B TO MIN. CAL.	8'x3'/2.5" STANDARD	20'x20'

SHRUBS/GROUNDCOVERS					
SYMBOL	QUANTITY	BOTANICAL NAME/COMMON NAME	CONTAINER SIZE	MINIMUM SIZE (HT./W.D.)	MATURE SIZE (HT./W.D.) NO PRUNING!! MINIMUM SPACING FROM OTHER PLANTS
	49	BERBERIS THUNBERGII 'ATROPURPUREA' JAPANESE BARBERRY	5 GAL.	12"x10"	4'x4' PLANT MIN. 5' APART
	3	CAMELIA 'JAPONICA' 'APRIL TRYST' APRIL TRYST CAMELIA	5 GAL.	14"x12"	7'x4'
	12	COTONEASTER BUXTIFOLIUS GREYLEAF COTONEASTER	5 GAL.	2'x9"	PLANT MIN. 5' APART
	15	DIANELLA TASMANICA 'TR20' TASRED FLAX LILY	5 GAL.	6"x8"	PLANT MIN. 18" APART
	73	HESPERALOE PARVIFLORA 'MSWPERED' PP#28910 'SANDIA GLOW' RED YUCCA	5 GAL.	10"x10"	3'x3' PLANT MIN. 3' APART
	3	PHOTINIA FRASERI RED TIP PHOTINIA	5 GAL.	14"x12"	8'x8' PLANT MIN. 8' APART
	6	PODOCARPUS NIVALIS 'PINK TIP' PINK TIP PODOCARPUS	5 GAL.	12"x14"	3'x6' PLANT MIN. 4' APART
	47	ROSEMARINUS OFFICINALIS 'SALEM' SALEM PETITE ROSEMARY	5 GAL.	8"x8"	2'x3' PLANT MIN. 18" APART

IRRIGATION SYSTEM IMPROVEMENTS

EXISTING NEW MEXICO CANCER CENTER FACILITY HAS EXISTING LANDSCAPE CONSISTING OF TREES AND SHRUBS WITH LANDSCAPE ROCK GROUNDCOVER. THE EXISTING LANDSCAPE IS SERVED BY AN EXISTING IRRIGATION SYSTEM AND RPPA. THE SYSTEM HAS AN EXISTING RAINFOUR SMART CONTROLLER THAT CONTROLS THE WATERING WITH MULTIPLE REMOTE CONTROL VALVES FOR THE ENTIRE PROPERTY. THE SYSTEM USES PRIMARILY DRIP IRRIGATION USING MULTIPORT EMITTERS AND A FEW BUBBLERS ON TREES.

GIVEN THE PROPOSED IMPROVEMENTS, THE NEW LANDSCAPING WILL BE ALL ON DRIP IRRIGATION USING THE SAME OR SIMILAR DRIP EMITTER TYPES TO IRRIGATE THE PROPOSED TREES AND SHRUBS. THE LATERALS WILL BE ALL RIGID PVC PIPE AND ANY EXISTING MAINLINE MODIFICATIONS WILL USE PVC PIPE TO MATCH EXISTING. THE PIPING WILL BE INSTALLED AT PROPER DEPTHS. THE REMOTE CONTROL VALVES WILL BE LOW FLOW TYPE WITH PRESSURE REGULATORS AND FILTERS IN VALVE BOXES. THE INTENT IS TO RELOCATE THE EXISTING REMOTE CONTROL VALVES IMPACTED BY CONSTRUCTION TO NEW PLANTER LOCATIONS. THE CONTROLLER IS EXPANDABLE AND WILL BE REPROGRAMMED TO INCLUDE THE NEW IRRIGATION WITH EXISTING FOR RUN TIMES.

THE EXISTING RPPA (REDUCED PRESSURE PRINCIPLE ASSEMBLY) WILL REMAIN AND HAS CAPACITY TO ACCOMMODATE NEW IMPROVEMENTS.

LANDSCAPE ROCK SCHEDULE

KEY	DESCRIPTION
	LANDSCAPE INERT GROUNDCOVER (ALL PLANTERS) 1" SCREENED LANDSCAPE ROCK COLOR: SANTE FE GOLD OR SIM. TO MATCH EXISTING COLOR AND TYPE DEPTH: 2" MIN.

LANDSCAPE INFORMATION

LANDSCAPE REQUIREMENTS PER CITY OF ALBUQUERQUE ZONING CODE CHAPTER 14-16-3-10 AND/OR JOURNAL CENTER CORP (WHICHEVER MORE STRICTER) AS FOLLOWS:

REQUIRED:	PROVIDED:	
TREE SIZE: SHRUB/GROUNDCOVER SIZE:	2.5" CALIPER 1 GAL	2.5" CALIPER 5 GAL

PARKING LOT:
TREES: 1 PER 5 SPACES
TREE FROM PARKING SPACE:
MINIMUM PLANTER SIZE:
MIN TREE CANOPY DECIDUOUS

REQUIRED:	PROVIDED:
(5) 100-FT MAX 36-SF 75%	(6) 49-FT MAX 135-SF 100%

LANDSCAPE PLANTER AREAS: (SEE NOTES)

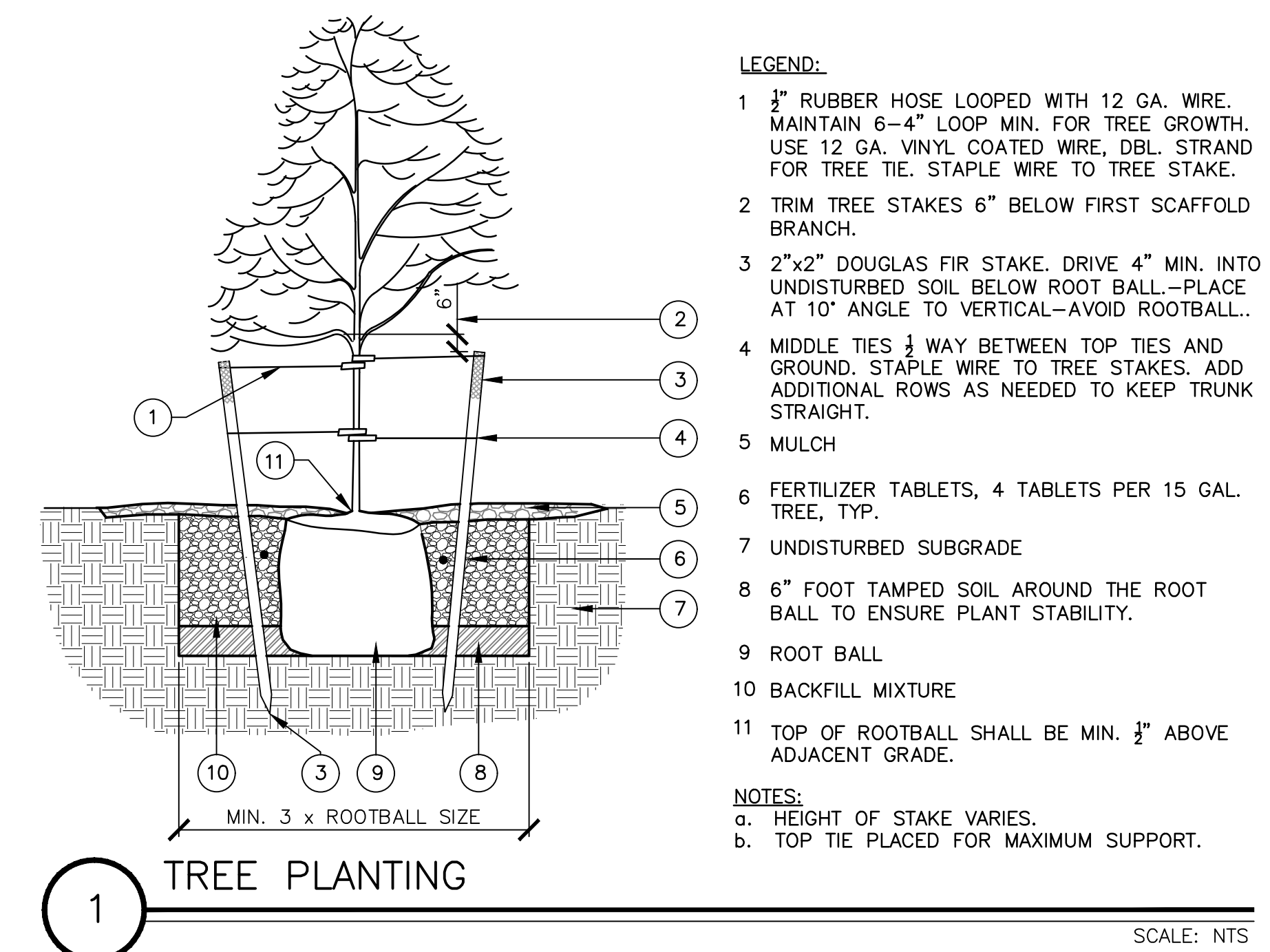
NOTES:

- ALL LANDSCAPING SHALL BE DRIP IRRIGATED USING THE EXISTING IRRIGATION SYSTEM, VALVES AND CONTROLLER.
- ALL NEW LANDSCAPING SHOWN ON THIS PLAN FOR THE PROPOSED NEW BUILDING ADDITION IMPROVEMENTS AND ASSOCIATED PARKING LOT MODIFICATIONS TO THE EXISTING PARKING LOT IS INTENDED TO COMPLY WITH CITY OF ALBUQUERQUE ZONING CODE CHAPTER 14-16-3-10 LANDSCAPING REGULATIONS UNLESS AS MODIFIED AS FOLLOWS:

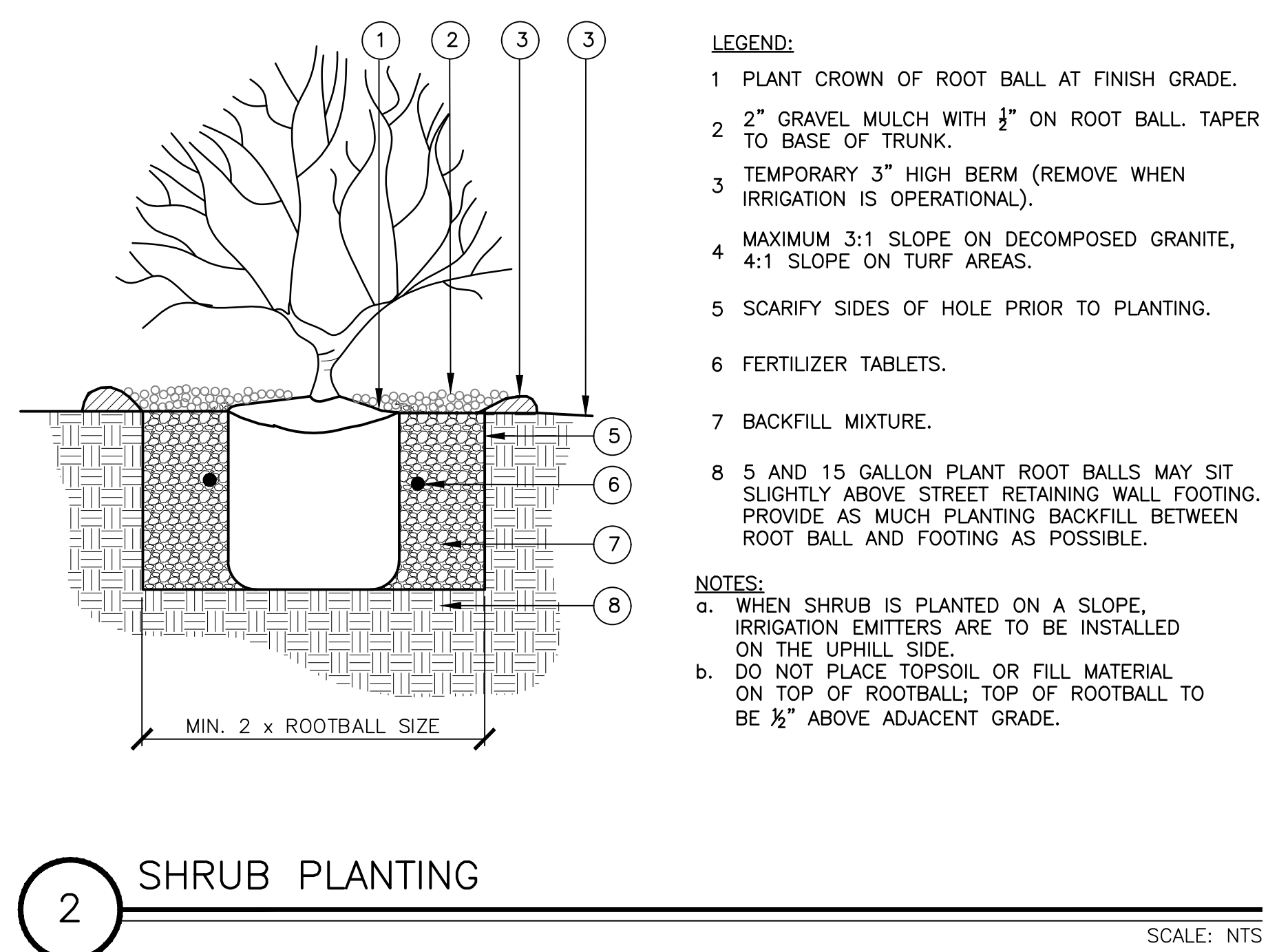
LANDSCAPE REQUIREMENTS:

- NET LANDSCAPE AREA MINIMUM 15% - PROVIDED: N/A - EXISTING PARKING LOT IS MODIFIED TO PROVIDE FIRE LANE AS REQUIRED.
- CLEAR SIGHT LINES; N/A - IMPROVEMENTS LIMITED TO INTERIOR OF SITE. PERIMETER EXISTING LANDSCAPING TO REMAIN AND PROTECT IN PLACE.
- STANDARD LANDSCAPE BUFFERS; N/A - NO IMPROVEMENTS WILL IMPACT EXISTING LANDSCAPE BUFFERS TO REMAIN AND PROTECT IN PLACE.
- SPECIAL LANDSCAPE BUFFER REQUIREMENTS; N/A - EXISTING SITE-SURROUNDING LAND USES: COMMERCIAL-NO IMPACTS.
- SPECIAL SCREENING REQUIREMENTS FOR CERTAIN USES; ALL REQUIRED SCREENING WITHIN NEW CMU WALLS

MAINTENANCE STATEMENT:
THE EXISTING FACILITY IS CURRENTLY MAINTAINED BY A LANDSCAPE CONTRACTOR CONTRACTED BY THE OWNER. THE NEW LANDSCAPE AND IRRIGATION IMPROVEMENTS WILL ALSO BE MAINTAINED BY CONTRACTOR.



1 TREE PLANTING SCALE: NTS



2 SHRUB PLANTING SCALE: NTS

Revision	DATE

Permit/Seal

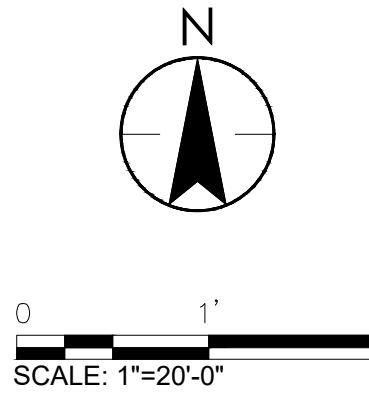
Client/Project Logo

Client/Project
NEW MEXICO PROTON ADVANCED CANCER THERAPY (NMPACT)
NEW MEXICO CANCER CENTER

4901 LANG AVE. NE
ALBUQUERQUE, NM 87109

LANDSCAPE - LANDSCAPE PLAN

Project No.	Scale
17792075	1"=20'



From: [Mildred Griffie](#)
To: [Whitaker, Allen](#)
Subject: Read: Public Notice and Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque
Date: Friday, April 29, 2022 6:53:32 PM

Your message

To:
Subject: FW: Public Notice and Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque
Sent: Friday, April 29, 2022 4:11:33 PM (UTC+00:00) Monrovia, Reykjavik
was read on Friday, April 29, 2022 10:53:16 PM (UTC+00:00) Monrovia, Reykjavik.

From: [Carmona, Dalaina L.](#)
To: [Whitaker, Allen](#)
Subject: 4901 Lang Ave NE Neighborhood Meeting Inquiry Sheet Submission
Date: Friday, April 22, 2022 2:41:51 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[IDOZoneAtlasPage_D-17-Z.pdf](#)

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
North Valley Coalition	Peggy	Norton	peggynorton@yahoo.com	P.O. Box 70232	Albuquerque	NM	87197	5058509293	5053459567
North Valley Coalition	Doyle	Kimbrough	newmexmba@aol.com	2327 Campbell Road NW	Albuquerque	NM	87104	5052490938	5053441364
District 4 Coalition of Neighborhood Associations	Daniel	Regan	dreganabq@gmail.com	4109 Chama Street NE	Albuquerque	NM	87109	5052802549	
District 4 Coalition of Neighborhood Associations	Mildred	Griffiee	mgriffiee@noreste.org	PO Box 90986	Albuquerque	NM	87199	5052800082	

PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit. <https://www.cabq.gov/planning/urban-design-development/public-notice>. The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf. The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>

Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>



Dalaina L. Carmona

Senior Administrative Assistant
 Office of Neighborhood Coordination
 Council Services Department
 1 Civic Plaza NW, Suite 9087, 9th Floor
 Albuquerque, NM 87102
 505-768-3334
dcarmona@cabq.gov or ONC@cabq.gov
 Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org <webmaster=cabq.gov@mailgun.org> **On Behalf Of** webmaster@cabq.gov
Sent: Friday, April 22, 2022 9:12 AM
To: Office of Neighborhood Coordination <allen.whitaker@stantec.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:
 Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Allen J Whitaker

Telephone Number

2022307479

Email Address

allen.whitaker@stantec.com

Company Name

Stantec

Company Address

722 12th St NW

City

Washington
State DC
ZIP 20005
Legal description of the subject site for this project:
TR 1A-2-B-1 PLAT OF TRACT 1A-2-B-1 JOURNAL CENTERCONT 6.00 ACRES
Physical address of subject site:
4901 Lang Ave NE
Subject site cross streets:
Jefferson Street and Headline Blvd
Other subject site identifiers:
NMCC
This site is located on the following zone atlas page:
D-17-Z
Captcha
x

From: [Whitaker, Allen](#)
To: [Laura Marez \(lauram@nmohc.com\)](mailto:lauram@nmohc.com)
Cc: [Ruiz, Colleen](#); [Wolf, Richard](#); [Bob McElearney](#)
Subject: FW: Notification Forms/Neighborhood Meeting Form for Site Plan - DRB
Date: Monday, April 25, 2022 10:25:04 AM
Attachments: [image002.png](#)

Hi Laura –

We are going through Public Notice requirements and - as you saw – there are two (2) Neighborhood Associations to notify and offer a meeting. I am getting that out today. Additionally, we have to notify property owners within 100' of 4901 Lang Ave NE.

From the map below it looks like these three parcels will meet that criterion.

I will mail these property owners the required Public Notice form.

Please let me know if there are any questions.

Thanks -Allen

PUCE: 101706338551310603

Owner: RSF JOURNAL CENTER LLC

Owner Address: 4801 LANG AVE NE SUITE 110 ALBUQUERQUE NM 87109-4475

Situs Address: 4801 LANG AV NE ALBUQUERQUE NM 87109

Legal Description: TR 1A-2-A-2 CORRECTION PLAT OF TRACTS 1A-2-A-1, 1A-2-A-2AND 1A-2-A-3 JOURNAL CENTER CONT 3.0000 AC

Acres: 3

Tax Year: 2021

UPC: 101706342546310304

Owner: WILBRO LLC C/O MURRAY L BROTT THE BROTT COMPANY

Owner Address: 5051 JOURNAL CENTER BLVD NE SUITE 200 ALBUQUERQUE NM 87109-5903

Situs Address: 4900 LANG AVE NE ALBUQUERQUE NM 87109

Legal Description: TR 1A-4B REPLAT OF TRACTS 1A-4-A AND 1A-4-B JOURNAL CENTERCONT 3.290 AC OR 143,321 SF

Acres: 3.29

Tax Year: 2021

UPC: 101706337946410302

Owner: ARROYO HOLDINGS LTD

Owner Address: 9301 ELENA DR NE ALBUQUERQUE NM 87122-3829

Situs Address: 8100 LANG AV NE ALBUQUERQUE NM 87109

Legal Description: TR 1A-4A REPLAT OF TRACTS 1A-4-A AND 1A-4-B JOURNAL CENTERCONT 1.607 AC OR 70,007 SF

Acres: 1.6071

Tax Year: 2021



Allen Whitaker, AIA
Principal, Healthcare
Direct: 202 478-3795
Mobile: 202 230-7479
Fax: 202 822-3898
Allen.Whitaker@stantec.com
Stantec
722 12th Street NW Suite 100
Washington DC 20005-3957



The content of this email is the confidential property of Stantec and should not be copied, modified, retransmitted, or used for any purpose except with Stantec's written authorization. If you are not the intended recipient, please delete all copies and notify us immediately.

From: Whitaker, Allen
Sent: Friday, April 22, 2022, 10:24 AM
To: Webb, Robert L. <rwebb@cabq.gov>
Cc: Ruiz, Colleen <Colleen.Ruiz@stantec.com>; Wolf, Richard <Richard.Wolf@stantec.com>
Subject: RE: Notification Forms/Neighborhood Meeting Form for Site Plan - DRB

Hi Robert,

Thank you for the response. There appear to be no Neighborhood Associations either adjacent or within 1,320 feet (1/4 mile) of our Clients property, so it appears per 6-4 (C) (2) no pre-submittal neighborhood meeting is required. We'll mark that as "NA" on the Form P2 checklist.

Regarding Public Notice to Property Owners within 100 feet, we will create a map of those properties and provide Notice either through email or sign (or other).

Please advise if you believe we're missing something.

Thank you - Allen

Allen Whitaker, AIA
Principal, Healthcare
Direct: 202 478-3795
Mobile: 202 230-7479
Fax: 202 822-3898
Allen.Whitaker@stantec.com

Stantec
722 12th Street NW Suite 100
Washington DC 20005-3957



The content of this email is the confidential property of Stantec and should not be copied, modified, retransmitted, or used for any purpose except with Stantec's written authorization. If you are not the intended recipient, please delete all copies and notify us immediately.

From: Webb, Robert L. <rwebb@cabq.gov>
Sent: Thursday, April 21, 2022, 5:13 PM
To: Whitaker, Allen <Allen.Whitaker@stantec.com>
Subject: FW: Notification Forms/Neighborhood Meeting Form for Site Plan - DRB

Here's some of the neighborhood documents.
ONC-Office of Neighborhood Coordination can be contacted at on the city website, cabq.gov and at 505-768-3334.

Thank you,

Robert



ROBERT WEBB
Planner – Development Services (DRB)
o 505.924.3910
e rwebb@cabq.gov
cabq.gov/planning



Stantec Architecture Inc.
722 12th Street NW Suite 100, Washington DC 20005-3957

April 29, 2022

RSF JOURNAL CENTER LLC
4801 LANG AVE NE SUITE 110
ALBUQUERQUE NM 87109-4475

Reference: New Mexico Cancer Center (NMCC) Proton Therapy Addition
Public Notice to Adjacent Property Owner

Dear Madam / Sir:

I'm an architect working for NMCC on a project in Albuquerque and acting as their agent for Site Plan review and Building Permitting. The Integrated Development Ordinance (IDO) City of Albuquerque, New Mexico directs the requirement to provide Public Notice of a Proposed Project to Property Owners within 100 feet of the proposed development. Through our map research you have been identified as an adjacent Property Owner.

As required by IDO, I am providing you with materials that inform you of the project. These include Public Notice form, Zone Atlas Map, and Engineering and Architectural drawings.

The hard copy size of the attached design drawings is small so if you would like an electronic version, please reach out to me via email and I will provide.

If there are any questions, please let me know.

Regards,
STANTEC ARCHITECTURE INC.

A handwritten signature in blue ink that reads "Allen Whitaker".

Allen Whitaker, AIA
Principal
Phone: 202.230.7479
Allen.whitaker@stantec.com

Exhibits: Public Notice Form

Design with community in mind



Page 2 of 2

Reference: NMCC Proton Therapy Addition – Public Notice to Adjacent Property Owner

IDO Zone Atlas Map
Sheet C-101, Site Plan
Sheet C-701, Landscape Plan
Sheet C-201, Grading & Drainage Plan
Sheet C-301, Utility Plan
Sheet A2-100, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: April 25, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: RSF JOURNAL CENTER LLC

Mailing Address*: 4801 LANG AVE NE SUITE 110 ALBUQUERQUE NM 87109-4475

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 4901 Lang Ave NE
Location Description New Mexico Cancer Center
2. Property Owner* New Mexico Cancer Center LLC
3. Agent/Applicant* *[if applicable]* Allen Whitaker
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

Review/approve improvements to the exist. NMCC located at 4901 Lang Ave NE. Project includes the addition of approx. 17,500 SF proton therapy space and reconfig. of parking.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: TBD

Location*²: TBD

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

On request to: Allen.whitaker@stantec.com

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ D-17-Z

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

The area of the building addition includes a significant portion that is cast-in-place concrete and unoccupied equipment support. We request this square footage be removed for the purpose of calculating parking demand.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. For residential development*: Maximum number of proposed dwelling units.
- e. For non-residential development*:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 5.96 acres
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] NA
 4. Center or Corridor Area [if applicable] NA
- Current Land Use(s) [vacant, if none] Professional Offices - Doctors
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>

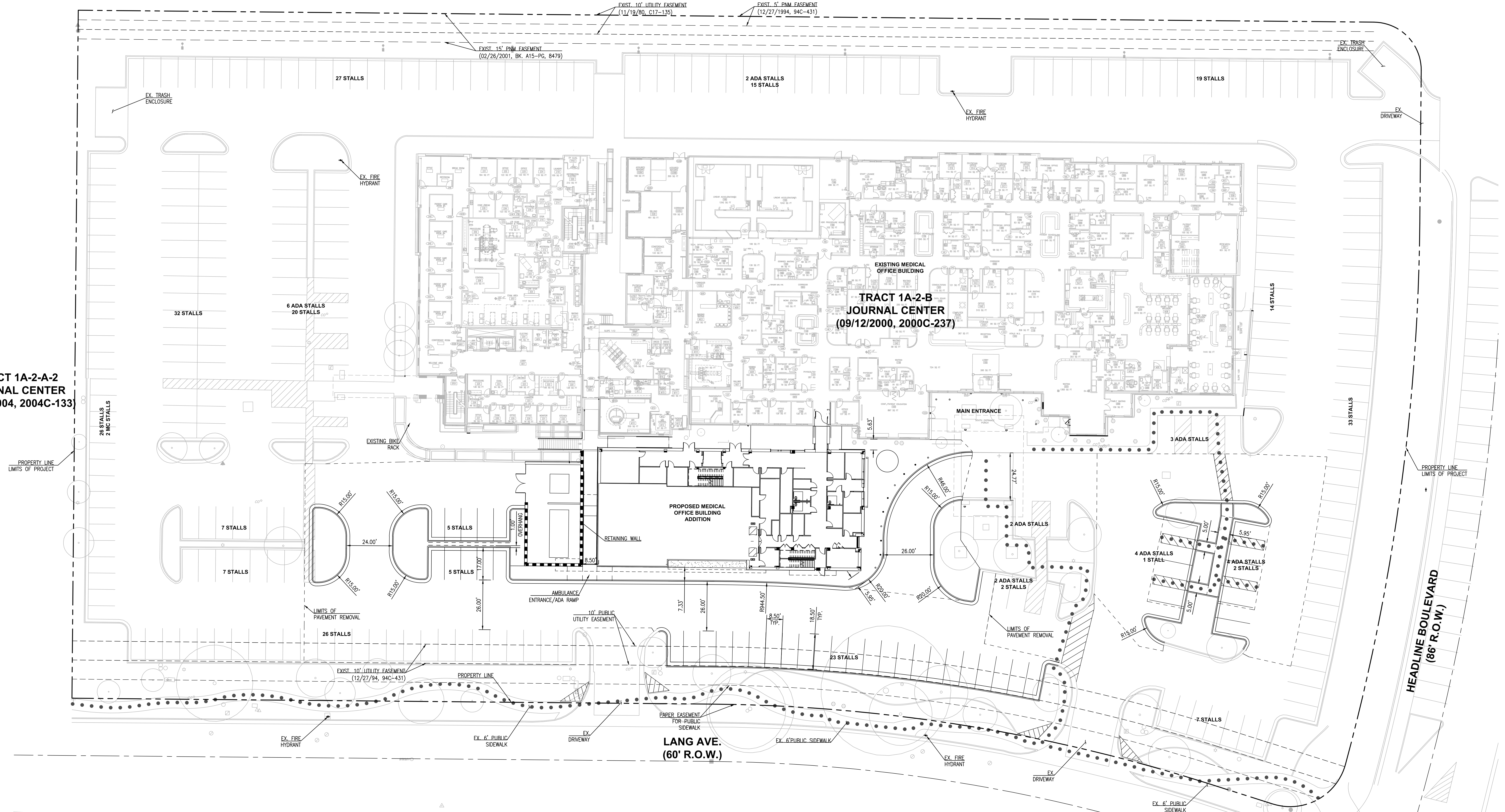
**PASEO DEL NORTE
(154.67' R.O.W.)**

**TRACT 1A-2-A-2
JOURNAL CENTER
(05/03/2004, 2004C-133)**

**TRACT 1A-2-B
JOURNAL CENTER
(09/12/2000, 2000C-237)**

**LANG AVE.
(60' R.O.W.)**

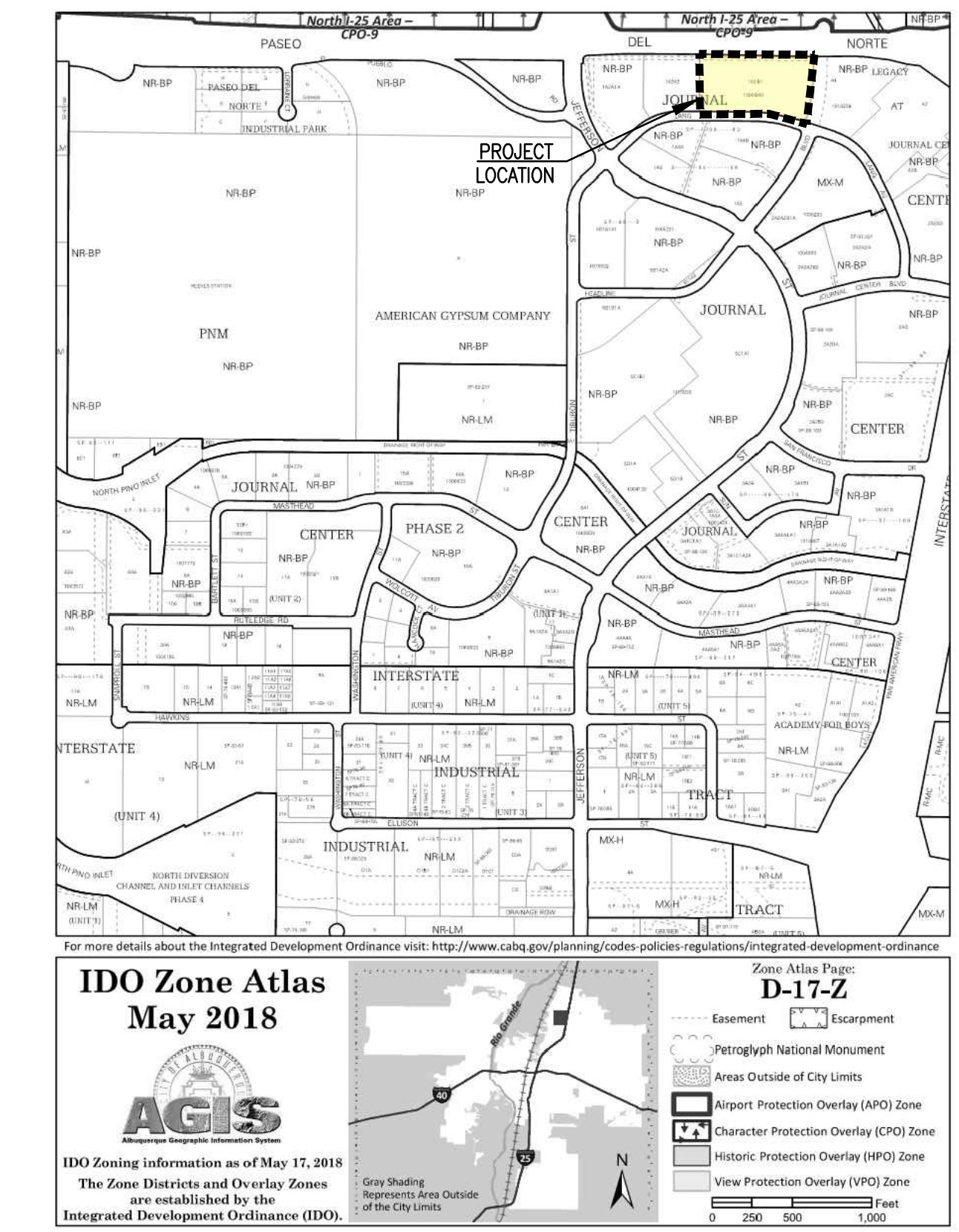
**HEADLINE BOULEVARD
(86' R.O.W.)**



PARKING TABULATION

CAMPUS COMPONENT	BLDG AREA (S.F.)	REQUIRED PARKING STALLS	PARKING RATIO TO BLDG AREA
EXISTING CLINIC AND MOB PROTON ADDITION	79,001 S.F. 14,219 S.F.**	320* 74	247 200
TOTAL	93,720 S.F.	394	
EXISTING STALLS PROVIDED ON-SITE	349		
STALLS LOST BY PROTON ADDITION (52)			
REVISED TOTAL ON-SITE	297		
NON-ADA STALLS	274		
ADA STALLS	23		
TOTAL REQUIRED		394	
DELTA OF ON-SITE AND REQUIRED	97***		
NON-ADA STALLS	97		

*PER APPROVED 2006 SITE PLAN - PROJECT NO. 1000560, APP. NO. 06DRB-01023
**17,472 S.F. REDUCED BY 2,753 S.F. (REPRESENTS MASS CONCRETE AND NON-OCCUP. PROTON AREA)
***STALLS TO BE PROVIDED OFF-SITE BY OWNER



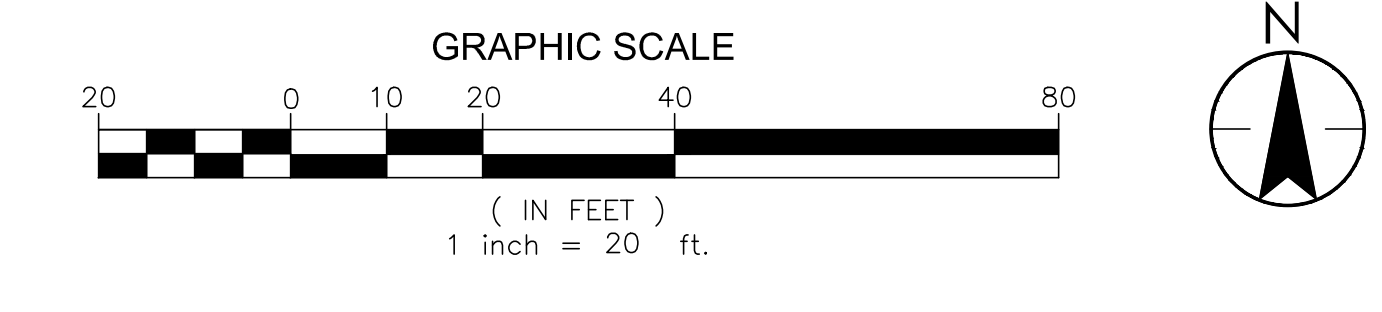
PROJECT NUMBER: _____
APPLICATION NUMBER: _____

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRB PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE _____
WATER UTILITY DEPARTMENT	DATE _____
PARKS AND RECREATION DEPARTMENT	DATE _____
CITY ENGINEER	DATE _____
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE _____
SOLID WASTE MANAGEMENT	DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE _____

*ENVIRONMENTAL HEALTH, IF NECESSARY



MAJOR AMENDMENT TO SITE PLAN - DRB	2022.04.13
JOURNAL CENTER SITE PLAN REVIEW	2020.09.29
Issue/Revision	YYYYMMDD

**PRELIMINARY
NOT FOR
CONSTRUCTION**
Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project Logo

Client/Project
NMPACT

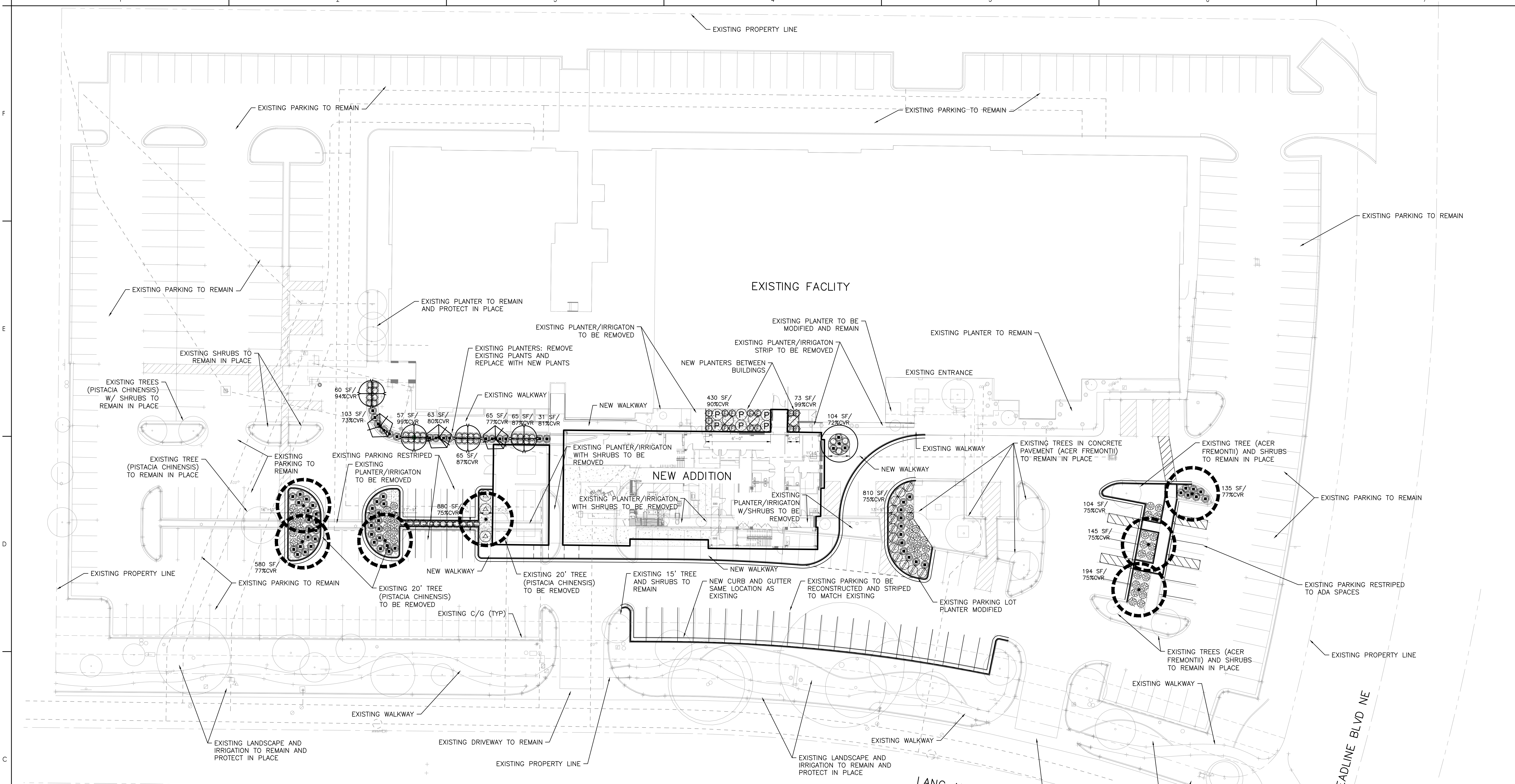
NEW MEXICO CANCER CENTER

4901 LANG AVE. NE
ALBUQUERQUE, NM 87109

Title
SITE PLAN

Project No.
177920075
Revision

Scale
1" = 20'
Drawing No.
C-101



PLANT SCHEDULE

TREES					
SYMBOL	QTY.	BOTANICAL NAME COMMON NAME	MIN CONTAINER SIZE	MIN. SPEC. SIZE HT./W.D./CALIPER	MATURE SIZE HT./W.D.
	3	CRATAEGUS CRUS-GALLI INERMIS THORNLESS COCKSPUR HAWTHORN	36" BOX, 45 GAL OR B&B TO MIN. CAL.	5'x3'/2.5" LOW BRANCHING MULTI	15'x12'
	4	LAGERSTROEMIA INDICA X FAURIEI 'TUSCARORA' CRAPE MYRTLE	36" BOX, 45 GAL OR B&B TO MIN. CAL.	5'x3'/2.5" LOW BRANCHING MULTI	15'x12'
	3	PISTACIA CHINENSIS CHINESE PISTACHE	36" BOX, 45 GAL OR B&B TO MIN. CAL.	8'x3'/2.5" STANDARD	25'x25'
	1	QUERCUS BUCKLEYI RED ROCK OAK	36" BOX, 45 GAL OR B&B TO MIN. CAL.	8'x3'/2.5" STANDARD	20'x20'

SHRUBS/GROUNDCOVERS					
SYMBOL	QUANTITY	BOTANICAL NAME/COMMON NAME	CONTAINER SIZE	MINIMUM SIZE (HT./W.D.)	MATURE SIZE (HT./W.D.) NO PRUNING!! MINIMUM SPACING FROM OTHER PLANTS
	49	BERBERIS THUNBERGII 'ATROPURPUREA' JAPANESE BARBERRY	5 GAL.	12"x10"	4'x4' PLANT MIN. 5' APART
	3	CAMELIA 'JAPONICA' 'APRIL TRYST' APRIL TRYST CAMELIA	5 GAL.	14"x12"	7'x4'
	12	COTONEASTER BUXTIFOLIUS GREYLEAF COTONEASTER	5 GAL.	2'x9"	PLANT MIN. 5' APART
	15	DIANELLA TASMANICA 'TR20' TASRED FLAX LILY	5 GAL.	6"x8"	PLANT MIN. 18" APART
	73	HESPERALOE PARVIFLORA 'MSWNERED' PP#28910 'SANDIA GLOW' RED YUCCA	5 GAL.	10"x10"	3'x3' PLANT MIN. 3' APART
	3	PHOTINIA FRASERI RED TIP PHOTINIA	5 GAL.	14"x12"	8'x8' PLANT MIN. 8' APART
	6	PODOCARPUS NIVALIS 'PINK TIP' PINK TIP PODOCARPUS	5 GAL.	12"x14"	3'x6' PLANT MIN. 4' APART
	47	ROSEMARINUS OFFICINALIS 'SALEM' SALEM PETITE ROSEMARY	5 GAL.	8"x8"	2'x3' PLANT MIN. 18" APART

IRRIGATION SYSTEM IMPROVEMENTS

EXISTING NEW MEXICO CANCER CENTER FACILITY HAS EXISTING LANDSCAPE CONSISTING OF TREES AND SHRUBS WITH LANDSCAPE ROCK GROUNDCOVER. THE EXISTING LANDSCAPE IS SERVED BY AN EXISTING IRRIGATION SYSTEM AND RPPA. THE SYSTEM HAS AN EXISTING RAINFOUR SMART CONTROLLER THAT CONTROLS THE WATERING WITH MULTIPLE REMOTE CONTROL VALVES FOR THE ENTIRE PROPERTY. THE SYSTEM USES PRIMARILY DRIP IRRIGATION USING MULTIPORT EMITTERS AND A FEW BUBBLERS ON TREES.

GIVEN THE PROPOSED IMPROVEMENTS, THE NEW LANDSCAPING WILL BE ALL ON DRIP IRRIGATION USING THE SAME OR SIMILAR DRIP EMITTER TYPES TO IRRIGATE THE PROPOSED TREES AND SHRUBS. THE LATERALS WILL BE ALL RIGID PVC PIPE AND ANY EXISTING MAINLINE MODIFICATIONS WILL USE PVC PIPE TO MATCH EXISTING. THE PIPING WILL BE INSTALLED AT PROPER DEPTHS. THE REMOTE CONTROL VALVES WILL BE LOW FLOW TYPE WITH PRESSURE REGULATORS AND FILTERS IN VALVE BOXES. THE INTENT IS TO RELOCATE THE EXISTING REMOTE CONTROL VALVES IMPACTED BY CONSTRUCTION TO NEW PLANTER LOCATIONS. THE CONTROLLER IS EXPANDABLE AND WILL BE REPROGRAMMED TO INCLUDE THE NEW IRRIGATION WITH EXISTING FOR RUN TIMES.

THE EXISTING RPPA (REDUCED PRESSURE PRINCIPLE ASSEMBLY) WILL REMAIN AND HAS CAPACITY TO ACCOMMODATE NEW IMPROVEMENTS.

LANDSCAPE ROCK SCHEDULE

KEY	DESCRIPTION
	LANDSCAPE INERT GROUNDCOVER (ALL PLANTERS) 1" SCREENED LANDSCAPE ROCK COLOR: SANTE FE GOLD OR SIM. TO MATCH EXISTING COLOR AND TYPE DEPTH: 2" MIN.

LANDSCAPE INFORMATION

LANDSCAPE REQUIREMENTS PER CITY OF ALBUQUERQUE ZONING CODE CHAPTER 14-16-3-10 AND/OR JOURNAL CENTER CORP (WHICHEVER MORE STRICTER) AS FOLLOWS:

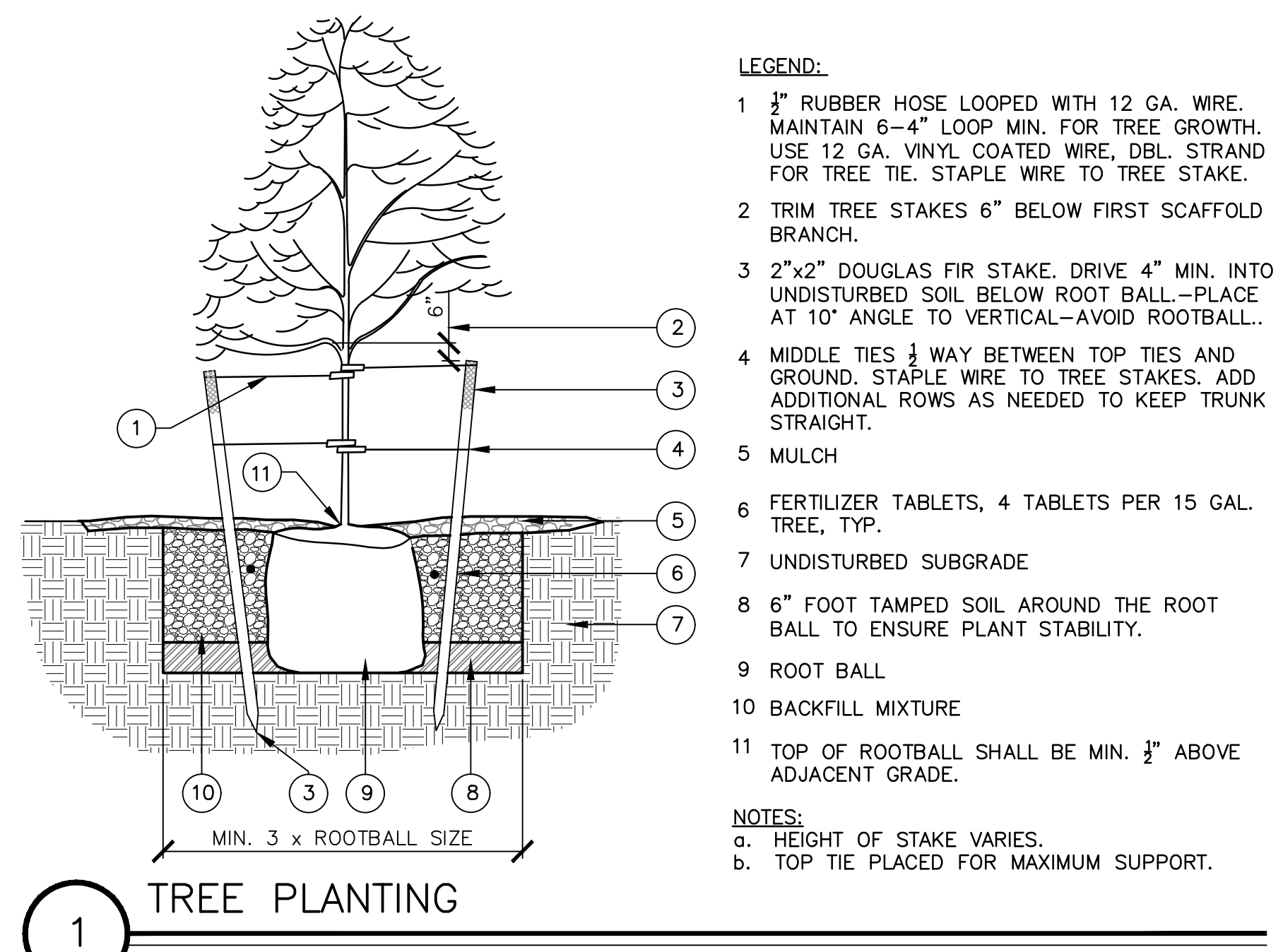
REQUIRED:	PROVIDED:
TREE SIZE: SHRUB/GROUNDCOVER SIZE:	2.5" CALIPER 1 GAL
PARKING LOT: TREES: 1 PER 5 SPACES TREE FROM PARKING SPACE: MINIMUM PLANTER SIZE: MIN TREE CANOPY DECIDUOUS	(5) 100-FT MAX 36-SF 75%
	(6) 49-FT MAX 135-SF 100%

LANDSCAPE PLANTER AREAS: (SEE NOTES)

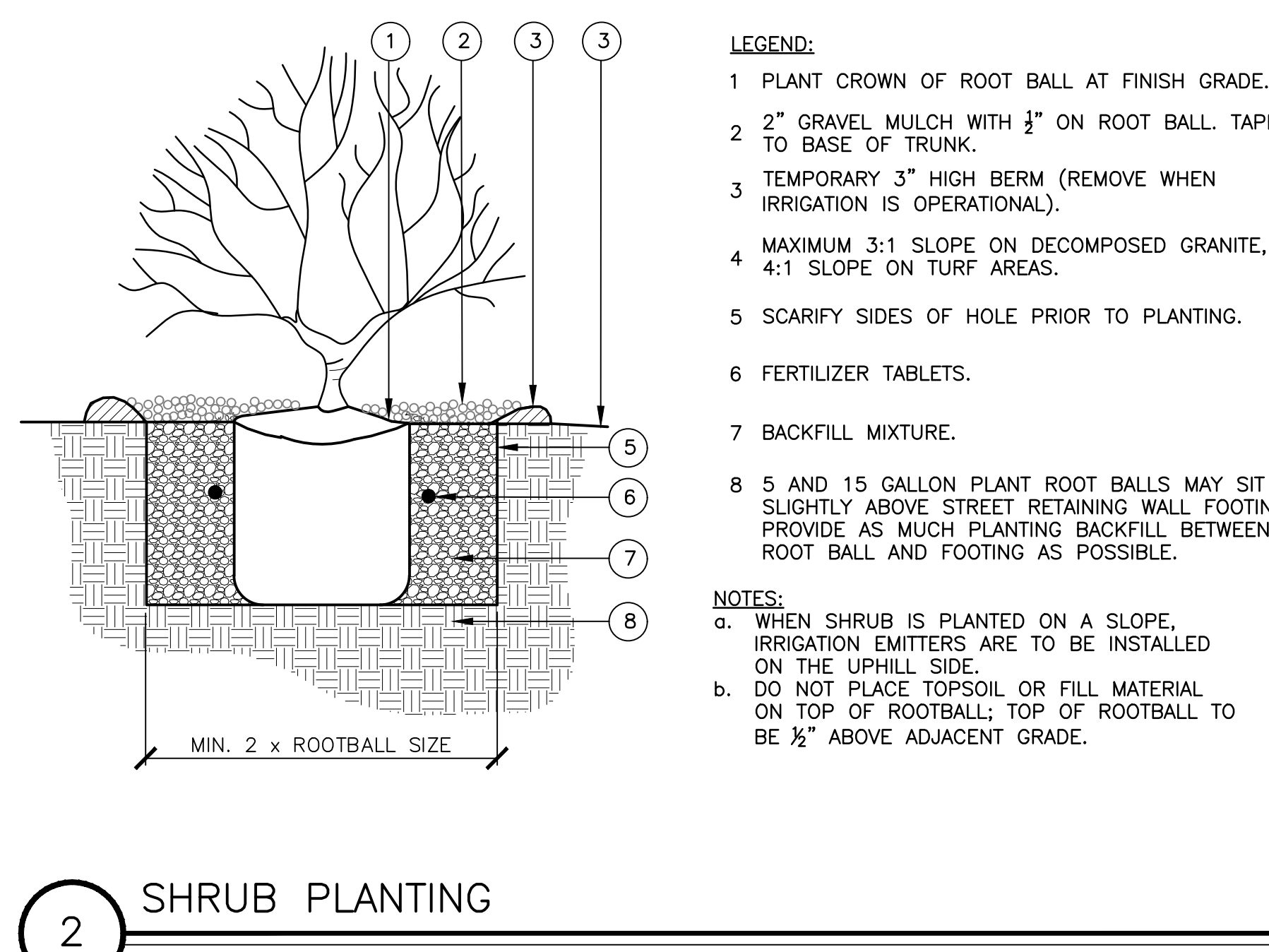
- NOTES:**
- ALL LANDSCAPING SHALL BE DRIP IRRIGATED USING THE EXISTING IRRIGATION SYSTEM, VALVES AND CONTROLLER.
 - ALL NEW LANDSCAPING SHOWN ON THIS PLAN FOR THE PROPOSED NEW BUILDING ADDITION IMPROVEMENTS AND ASSOCIATED PARKING LOT MODIFICATIONS TO THE EXISTING PARKING LOT IS INTENDED TO COMPLY WITH CITY OF ALBUQUERQUE ZONING CODE CHAPTER 14-16-3-10 LANDSCAPING REGULATIONS UNLESS AS MODIFIED AS FOLLOWS:

- LANDSCAPE REQUIREMENTS:**
- NET LANDSCAPE AREA MINIMUM 15% - PROVIDED: N/A - EXISTING PARKING LOT IS MODIFIED TO PROVIDE FIRE LANE AS REQUIRED.
 - CLEAR SIGHT LINES: N/A - IMPROVEMENTS LIMITED TO INTERIOR OF SITE. PERIMETER EXISTING LANDSCAPING TO REMAIN AND PROTECT IN PLACE.
 - STANDARD LANDSCAPE BUFFERS: N/A - NO IMPROVEMENTS WILL IMPACT EXISTING LANDSCAPE BUFFERS TO REMAIN AND PROTECT IN PLACE.
 - SPECIAL LANDSCAPE BUFFER REQUIREMENTS: N/A - EXISTING SITE-SURROUNDING LAND USES: COMMERCIAL-NO IMPACTS.
 - SPECIAL SCREENING REQUIREMENTS FOR CERTAIN USES: ALL REQUIRED SCREENING WITHIN NEW CMU WALLS

MAINTENANCE STATEMENT:
THE EXISTING FACILITY IS CURRENTLY MAINTAINED BY A LANDSCAPE CONTRACTOR CONTRACTED BY THE OWNER. THE NEW LANDSCAPE AND IRRIGATION IMPROVEMENTS WILL ALSO BE MAINTAINED BY CONTRACTOR.



1 TREE PLANTING

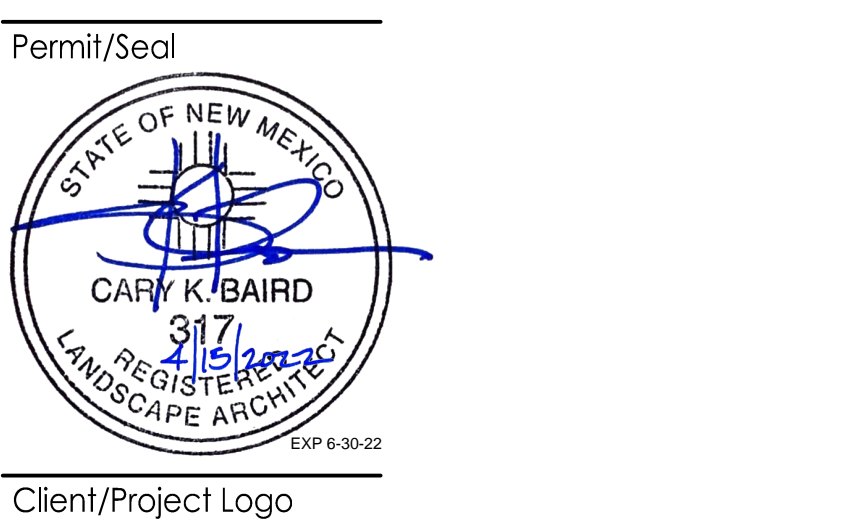


2 SHRUB PLANTING

SCALE: NTS

Revision	DATE

DATE	DESCRIPTION
04/15/2022	MAJOR AMENDMENT TO SITE PLAN - IIRB
04/13/2022	EARLY ELECTRICAL EQUIPMENT RELEASE PACKAGE
03/28/2022	DESIGN DEVELOPMENT
02/23/2022	JOURNAL CENTER SITE PLAN REVIEW
01/28/2022	SCHEMATIC DESIGN
02/24/21	Issue/Revision

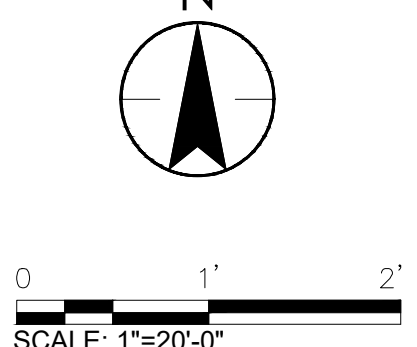


Client/Project Logo
Client/Project
NEW MEXICO PROTON ADVANCED CANCER THERAPY (NMPACT)
NEW MEXICO CANCER CENTER

4901 LANG AVE. NE
ALBUQUERQUE, NM 87109

LANDSCAPE - LANDSCAPE PLAN

Project No. 17792075
Revision 0
Scale 1"=20'-0"
Sheet 1 of 1
Drawing No. C-701





FOREST HILL
1021 HIOAKS RD
RICHMOND, VA 23225-9998
(800)275-8777

04/29/2022 01:38 PM

Product	Qty	Unit Price	Price
---------	-----	------------	-------

First-Class Mail® Package	1		\$6.15
---------------------------	---	--	--------

Albuquerque, NM 87109
Weight: 0 lb 8.80 oz
Estimated Delivery Date
Tue 05/03/2022

Certified Mail®			\$3.75
-----------------	--	--	--------

Tracking #: 70220410000301092531

Total			\$9.90
-------	--	--	--------

Grand Total:			\$9.90
--------------	--	--	--------

Credit Card Remitted			\$9.90
----------------------	--	--	--------

Card Name: MasterCard
Account #: XXXXXXXXXXXX4789
Approval #: 027117
Transaction #: 707
AID: A0000000041010 Chip
AL: MASTERCARD
PIN: Verified MASTERCARD

Every household in the U.S. is now eligible to receive a second set of 4 free test kits.
Go to www.covidtests.gov

Text your tracking number to 28777 (2USPS) to get the latest status. Standard Message and Data rates may apply. You may also visit www.usps.com USPS Tracking or call 1-800-222-1811.

In a hurry? Self-service kiosks offer quick and easy check-out. Any Retail Associate can show you how.

Preview your Mail
Track your Packages
Sign up for FREE @
<https://informedelivery.usps.com>

All sales final on stamps and postage. Refunds for guaranteed services only. Thank you for your business.

Tell us about your experience.
Go to: <https://postalexperience.com/Pos> or scan this code with your mobile device,



or call 1-800-410-7420.

7022 0410 0003 0109 2524

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ®.	
Albuquerque, NM 87109	
Certified Mail Fee	\$3.75
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$6.15
Total Postage and Fees	\$9.90
Sent To	RSF JOURNAL CENTER LLC
Street and Apt. No., or PO Box No.	4801 LANG AVE NE #110
City, State, ZIP+4®	ALBUQUERQUE, NM 87109
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions	

0085
02
Postmark Here
04/29/2022



Stantec Architecture Inc.
722 12th Street NW Suite 100, Washington DC 20005-3957

April 29, 2022

WILBRO LLC C/O MURRAY L BROTT THE BROTT COMPANY
5051 JOURNAL CENTER BLVD NE
SUITE 200
ALBUQUERQUE NM 87109-5903 4801

Reference: New Mexico Cancer Center (NMCC) Proton Therapy Addition
Public Notice to Adjacent Property Owner

Dear Madam / Sir:

I'm an architect working for NMCC on a project in Albuquerque and acting as their agent for Site Plan review and Building Permitting. The Integrated Development Ordinance (IDO) City of Albuquerque, New Mexico directs the requirement to provide Public Notice of a Proposed Project to Property Owners within 100 feet of the proposed development. Through our map research you have been identified as an adjacent Property Owner.

As required by IDO, I am providing you with materials that inform you of the project. These include Public Notice form, Zone Atlas Map, and Engineering and Architectural drawings.

The hard copy size of the attached design drawings is small so if you would like an electronic version, please reach out to me via email and I will provide.

If there are any questions, please let me know.

Regards,
STANTEC ARCHITECTURE INC.

A handwritten signature in blue ink that reads "Allen Whitaker".

Allen Whitaker, AIA
Principal
Phone: 202.230.7479
Allen.whitaker@stantec.com

Design with community in mind



Page 2 of 2

Reference: NMCC Proton Therapy Addition – Public Notice to Adjacent Property Owner

Exhibits: Public Notice Form
 IDO Zone Atlas Map
 Sheet C-101, Site Plan
 Sheet C-701, Landscape Plan
 Sheet C-201, Grading & Drainage Plan
 Sheet C-301, Utility Plan
 Sheet A2-100, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: April 25, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: WILBRO LLC C/O MURRAY L BROTT THE BROTT COMPANY

Mailing Address*: 5051 JOURNAL CENTER BLVD NE SUITE 200 ALBUQUERQUE NM 87109-5903

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 4901 Lang Ave NE
Location Description New Mexico Cancer Center
2. Property Owner* New Mexico Cancer Center LLC
3. Agent/Applicant* *[if applicable]* Allen Whitaker
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

Review/approve improvements to the exist. NMCC located at 4901 Lang Ave NE. Project includes the addition of approx. 17,500 SF proton therapy space and reconfig. of parking.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: TBD

Location*²: TBD

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

On request to: Allen.whitaker@stantec.com

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ D-17-Z

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

The area of the building addition includes a significant portion that is cast-in-place concrete and unoccupied equipment support. We request this square footage be removed for the purpose of calculating parking demand.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. For residential development*: Maximum number of proposed dwelling units.
- e. For non-residential development*:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 5.96 acres
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] NA
 4. Center or Corridor Area [if applicable] NA
- Current Land Use(s) [vacant, if none] Professional Offices - Doctors
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>



FOREST HILL
1021 HIOAKS RD
RICHMOND, VA 23225-9998
(800)275-8777

04/29/2022 01:42 PM

Product	Qty	Unit Price	Price
---------	-----	------------	-------

First-Class Mail® Package	1		\$6.15
---------------------------	---	--	--------

Albuquerque, NM 87109
Weight: 0 lb 9.60 oz
Estimated Delivery Date
Tue 05/03/2022

Certified Mail®			\$3.75
-----------------	--	--	--------

Tracking #: 70220410000301092524

Total			\$9.90
-------	--	--	--------

Grand Total:			\$9.90
--------------	--	--	--------

Credit Card Remitted			\$9.90
----------------------	--	--	--------

Card Name: MasterCard
Account #: XXXXXXXXXXXX4789
Approval #: 020275
Transaction #: 708
AID: A0000000041010 Chip
AL: MASTERCARD
PIN: Verified MASTERCARD

Every household in the U.S. is now eligible to receive a second set of 4 free test kits.
Go to www.covidtests.gov

Text your tracking number to 28777 (2USPS) to get the latest status. Standard Message and Data rates may apply. You may also visit www.usps.com USPS Tracking or call 1-800-222-1811.

In a hurry? Self-service kiosks offer quick and easy check-out. Any Retail Associate can show you how.

Preview your Mail
Track your Packages
Sign up for FREE @
<https://informedelivery.usps.com>

All sales final on stamps and postage. Refunds for guaranteed services only. Thank you for your business.

Tell us about your experience.
Go to: <https://postalexperience.com/Pos>
or scan this code with your mobile device.



7022 0410 0003 0109 2524

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ®.	
Albuquerque NM 87109	
OFFICIAL USE	
Certified Mail Fee	\$3.75
Extra Services & Fees (check box, add fee \$5.00/step note)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$6.15
Total Postage and Fees	\$9.90
Sent To	WILBRO LLC
Street and Apt. No., or PO Box No.	5051 JOURNAL CENTER BLVD NE
City, State, ZIP+4®	ALBUQUERQUE, NM 87109
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions	

0085
02
Postmark Here
04/29/2022



Stantec Architecture Inc.
722 12th Street NW Suite 100, Washington DC 20005-3957

April 29, 2022

ARROYO HOLDINGS LTD
9301 ELENA DR NE
ALBUQUERQUE NM 87122-3829

Reference: New Mexico Cancer Center (NMCC) Proton Therapy Addition
Public Notice to Adjacent Property Owner

Dear Madam / Sir:

I'm an architect working for NMCC on a project in Albuquerque and acting as their agent for Site Plan review and Building Permitting. The Integrated Development Ordinance (IDO) City of Albuquerque, New Mexico directs the requirement to provide Public Notice of a Proposed Project to Property Owners within 100 feet of the proposed development. Through our map research you have been identified as an adjacent Property Owner.

As required by IDO, I am providing you with materials that inform you of the project. These include Public Notice form, Zone Atlas Map, and Engineering and Architectural drawings.

The hard copy size of the attached design drawings is small so if you would like an electronic version, please reach out to me via email and I will provide.

If there are any questions, please let me know.

Regards,
STANTEC ARCHITECTURE INC.

A handwritten signature in blue ink that reads "Allen Whitaker".

Allen Whitaker, AIA
Principal
Phone: 202.230.7479
Allen.whitaker@stantec.com

Exhibits: Public Notice Form
IDO Zone Atlas Map

Design with community in mind



Page 2 of 2

Reference: NMCC Proton Therapy Addition – Public Notice to Adjacent Property Owner

Sheet C-101, Site Plan
Sheet C-701, Landscape Plan
Sheet C-201, Grading & Drainage Plan
Sheet C-301, Utility Plan
Sheet A2-100, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: April 25, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: ARROYO HOLDINGS LTD

Mailing Address*: 9301 ELENA DR NE ALBUQUERQUE NM 87122-3829

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 4901 Lang Ave NE
Location Description New Mexico Cancer Center
2. Property Owner* New Mexico Cancer Center LLC
3. Agent/Applicant* *[if applicable]* Allen Whitaker
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

Review/approve improvements to the exist. NMCC located at 4901 Lang Ave NE. Project includes the addition of approx. 17,500 SF proton therapy space and reconfig. of parking.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: TBD

Location*²: TBD

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

On request to: Allen.whitaker@stantec.com

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ D-17-Z

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

The area of the building addition includes a significant portion that is cast-in-place concrete and unoccupied equipment support. We request this square footage be removed for the purpose of calculating parking demand.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. For residential development*: Maximum number of proposed dwelling units.
- e. For non-residential development*:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

- 1. Area of Property [typically in acres] 5.96 acres
 - 2. IDO Zone District NR-BP
 - 3. Overlay Zone(s) [if applicable] NA
 - 4. Center or Corridor Area [if applicable] NA
- Current Land Use(s) [vacant, if none] Professional Offices - Doctors
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>

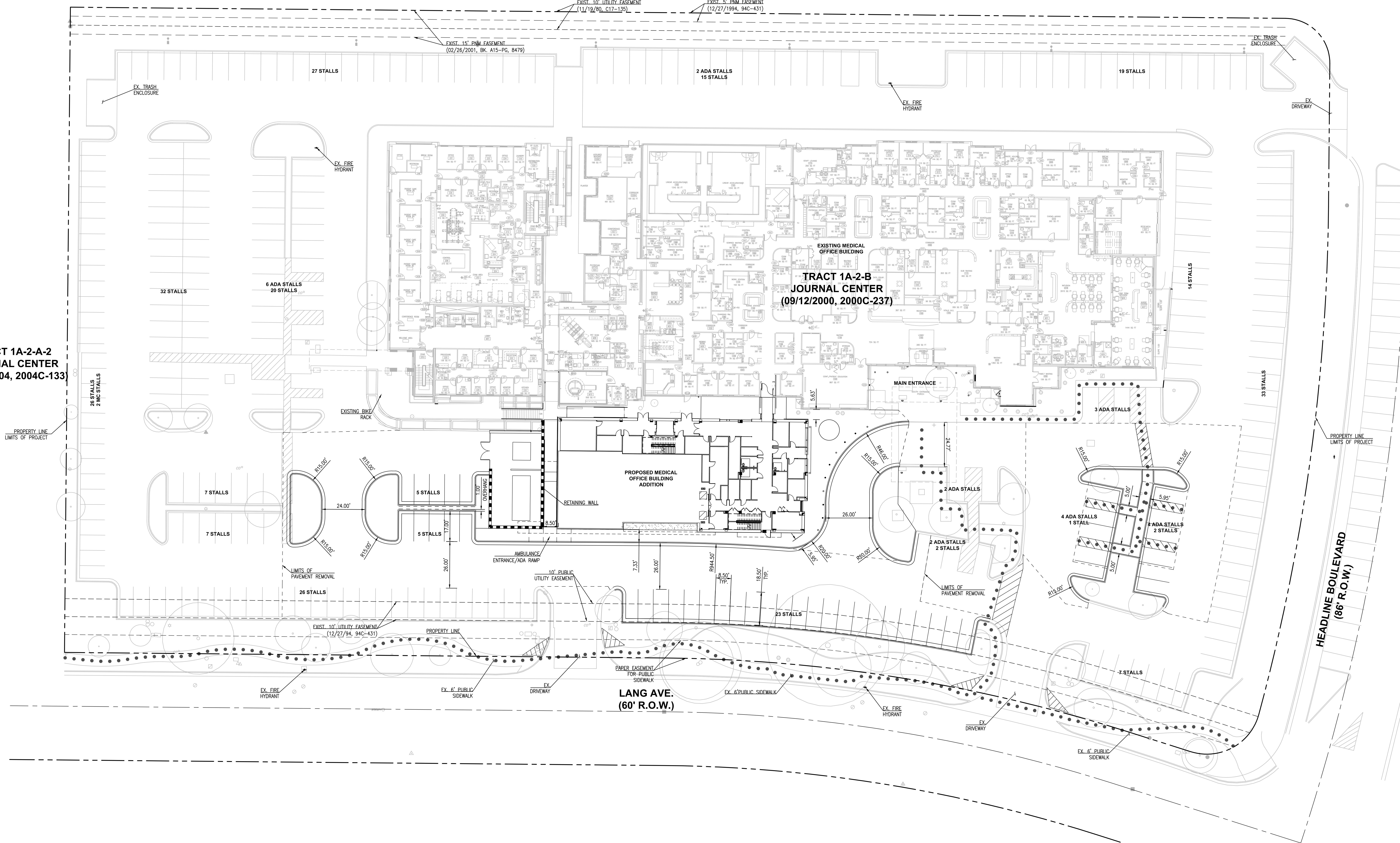
**PASEO DEL NORTE
(154.67' R.O.W.)**

**TRACT 1A-2-A-2
JOURNAL CENTER
(05/03/2004, 2004C-133)**

**TRACT 1A-2-B
JOURNAL CENTER
(09/12/2000, 2000C-237)**

**LANG AVE.
(60' R.O.W.)**

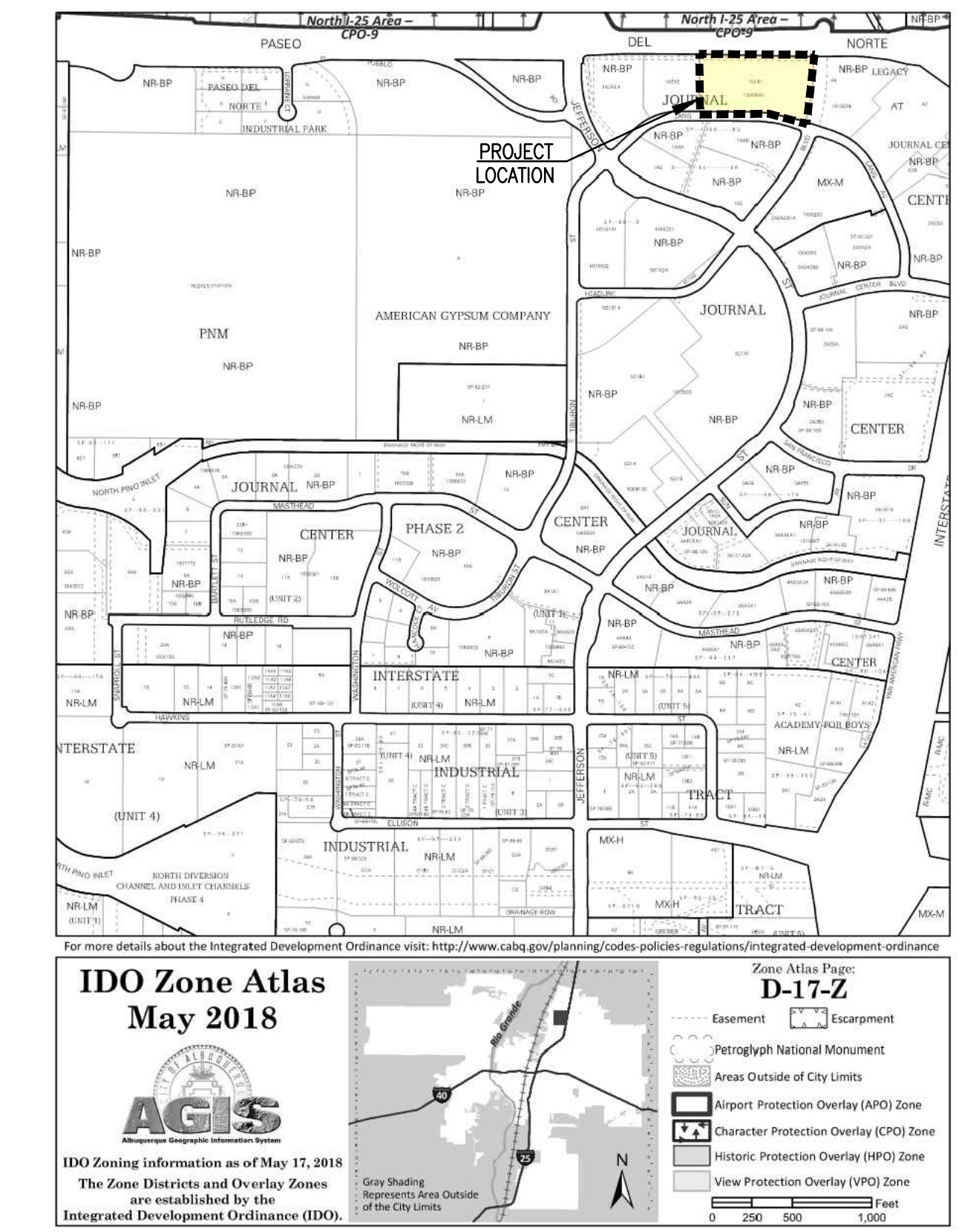
**HEADLINE BOULEVARD
(86' R.O.W.)**



PARKING TABULATION

CAMPUS COMPONENT	BLDG AREA (S.F.)	REQUIRED PARKING STALLS	PARKING RATIO TO BLDG AREA
EXISTING CLINIC AND MOB PROTON ADDITION	79,001 S.F. 14,219 S.F.**	320* 74	247 200
TOTAL	93,720 S.F.	394	
EXISTING STALLS PROVIDED ON-SITE	349		
STALLS LOST BY PROTON ADDITION (52)			
REVISED TOTAL ON-SITE	297		
NON-ADA STALLS	274		
ADA STALLS	23		
TOTAL REQUIRED	394		
DELTA OF ON-SITE AND REQUIRED	97***		
NON-ADA STALLS	97		

*PER APPROVED 2006 SITE PLAN - PROJECT NO. 1000560, APP. NO. 06DRB-01023
**17,472 S.F. REDUCED BY 2,753 S.F. (REPRESENTS MASS CONCRETE AND NON-OCCUP. PROTON AREA)
***STALLS TO BE PROVIDED OFF-SITE BY OWNER



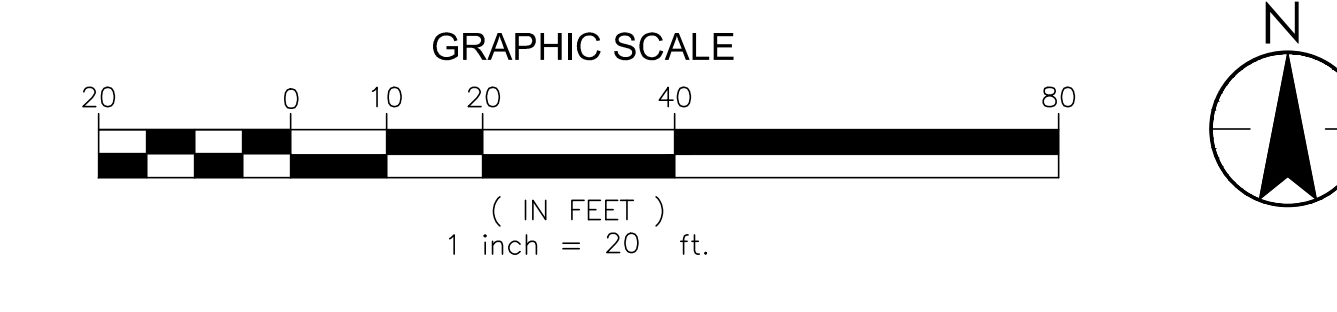
PROJECT NUMBER: _____
APPLICATION NUMBER: _____

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRB PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OF FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE _____
WATER UTILITY DEPARTMENT	DATE _____
PARKS AND RECREATION DEPARTMENT	DATE _____
CITY ENGINEER	DATE _____
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE _____
SOLID WASTE MANAGEMENT	DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE _____

*ENVIRONMENTAL HEALTH, IF NECESSARY



MAJOR AMENDMENT TO SITE PLAN - DRB	2022.04.13
JOURNAL CENTER SITE PLAN REVIEW	2020.09.29
Issue/Revision	YYYYMMDD

**PRELIMINARY
NOT FOR
CONSTRUCTION**
Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project Logo

Client/Project
NMPACT

NEW MEXICO CANCER CENTER

4901 LANG AVE. NE
ALBUQUERQUE, NM 87109

Title
SITE PLAN

Project No.
177920075
Revision

Scale
1" = 20'
Drawing No.
C-101



FOREST HILL
1021 HIOAKS RD
RICHMOND, VA 23225-9998
(800)275-8777

04/29/2022 01:36 PM

Product	Qty	Unit Price	Price
First-Class Mail® Package	1		\$6.15
Albuquerque, NM 87122			
Weight: 0 lb 9.40 oz			
Estimated Delivery Date			
Tue 05/03/2022			
Certified Mail® Tracking #:			\$3.75
70220410000301092548			
Total			\$9.90

Grand Total: \$9.90

Credit Card Remitted \$9.90

Card Name: MasterCard
Account #: XXXXXXXXXXXX4789
Approval #: 071213
Transaction #: 706
AID: A000000041010 Chip
AL: MASTERCARD
PIN: Verified MASTERCARD

Every household in the U.S. is now eligible to receive a second set of 4 free test kits.
Go to www.covidtests.gov

Text your tracking number to 28777 (2USPS) to get the latest status. Standard Message and Data rates may apply. You may also visit www.usps.com USPS Tracking or call 1-800-222-1811.

In a hurry? Self-service kiosks offer quick and easy check-out. Any Retail Associate can show you how.

Preview your Mail
Track your Packages
Sign up for FREE @
<https://informedelivery.usps.com>

All sales final on stamps and postage. Refunds for guaranteed services only. Thank you for your business.

Tell us about your experience.
Go to: <https://postalexperience.com/Pos>
or scan this code with your mobile device,



or call 1-800-410-7420.

7022 0410 0003 0109 2548

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ®.	
ALBUQUERQUE, NM 87122	
OFFICIAL USE	
Certified Mail Fee \$3.75	
\$	\$0.00
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy) \$	\$0.00
<input type="checkbox"/> Return Receipt (electronic) \$	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery \$	\$0.00
<input type="checkbox"/> Adult Signature Required \$	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery \$	\$0.00
Postage \$6.15	
\$	\$9.90
Total Postage and Fees	\$9.90
\$	
Sent To	ARROYO HOLDINGS LYO
Street and Apt. No., or PO Box No.	9301 ELENA DR N.E.
City, State, ZIP+4®	ALBUQUERQUE, NM 87122
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions	


0085
02
Postmark Here
04/29/2022

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 Aug. 31, 2022

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
 1.0 - 5.0 acres 1" = 20'
 Over 5 acres 1" = 50'
 Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas

- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.

- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- n/a 1. Site location(s)
- n/a 2. Sign elevations to scale
- n/a 3. Dimensions, including height and width
- n/a 4. Sign face area - dimensions and square footage clearly indicated
- n/a 5. Lighting
- n/a 6. Materials and colors for sign face and structural elements.
- n/a 7. List the sign restrictions per the IDO

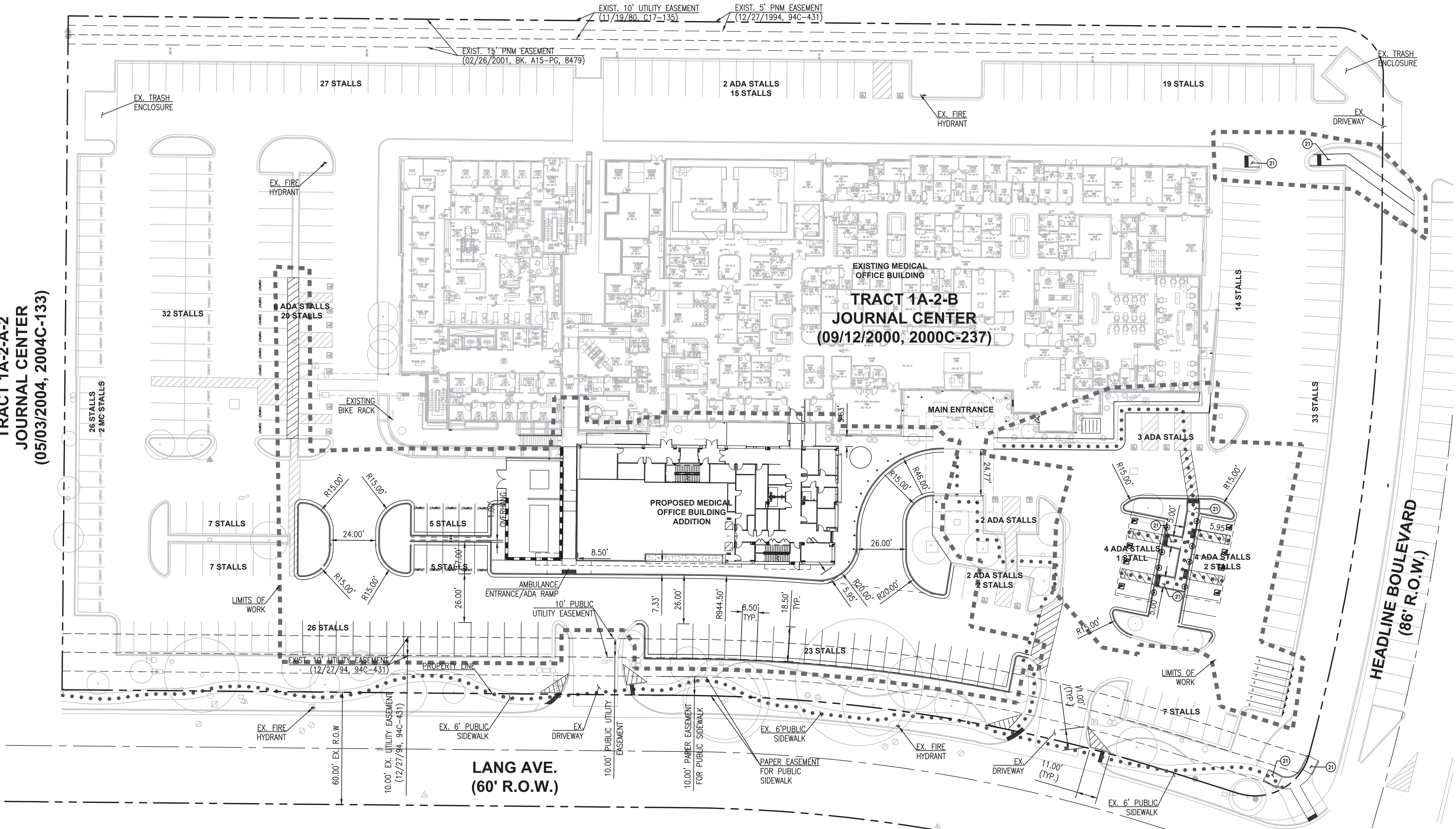
PASEO DEL NORTE
(154.67' R.O.W.)

TRACT 1A-2-A-2
JOURNAL CENTER
(05/03/2004, 2004C-133)

EXISTING MEDICAL
OFFICE BUILDING
TRACT 1A-2-B
JOURNAL CENTER
(09/12/2000, 2000C-237)

LANG AVE.
(60' R.O.W.)

HEADLINE BOULEVARD
(86' R.O.W.)



SITE PLAN CONSTRUCTION NOTES

- (21) - INSTALL ADA RAMP.

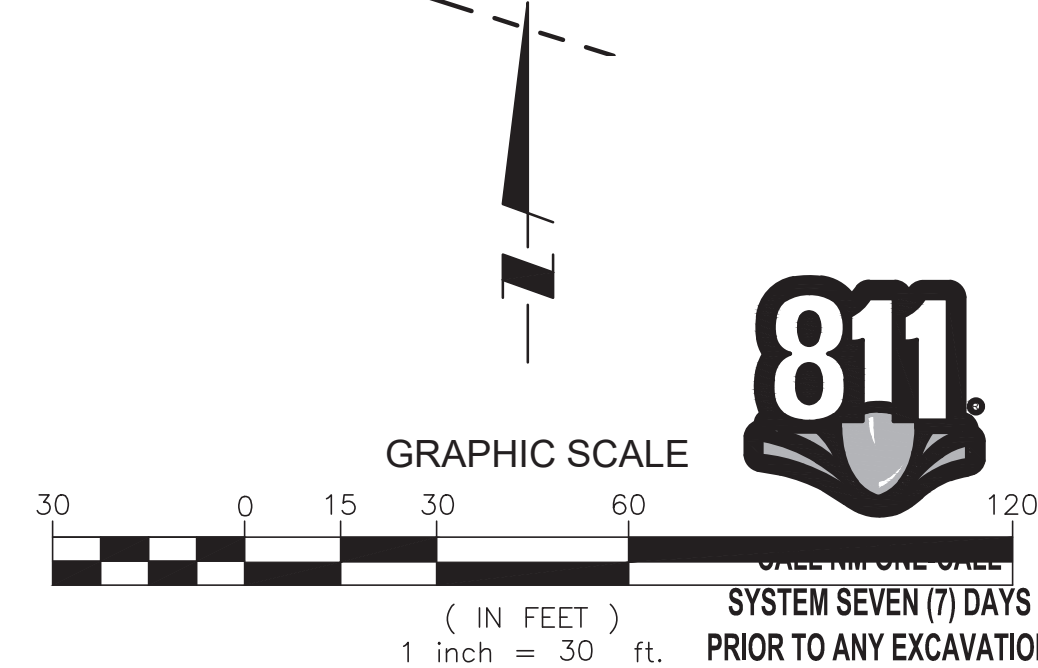
PARKING TABULATION

CAMPUS COMPONENT	BLDG AREA (S.F.)	REQUIRED PARKING STALLS	PARKING RATIO TO BLDG AREA
EXISTING CLINIC AND MOB	79,001 S.F.	320*	247
PROTON ADDITION	14,719 S.F.**	74	200
TOTAL	93,720 S.F.	394	

EXISTING STALLS PROVIDED ON-SITE	349	REQUIRED BICYCLE PARKING	4
STALLS LOST BY PROTON ADDITION	(55)	REQUIRED MOTORCYCLE PARKING	6
REVISED TOTAL ON-SITE	294	PROVIDED MOTORCYCLE PARKING	7
NON-ADA STALLS	271		
ADA STALLS	21		
VAN ACCESSIBLE ADA STALLS	2		
TOTAL REQUIRED BY IDO	394		

DELTA OF ON-SITE AND REQUIRED	100***		
NON-ADA STALLS	100		

*PER APPROVED 2006 SITE PLAN - PROJECT NO. 1000560, APP NO. 06DRB-01023
 **17,472 S.F. REDUCED BY 2,753 S.F. (REPRESENTS MASS CONCRETE AND NON-OCCUP. PROTON AREA)
 ***STALLS TO BE PROVIDED OFF-SITE BY OWNER



Stantec
 3133 West Frye Road, Suite 300
 Chandler, AZ 85226
 www.stantec.com

BENCH MARKS

SEAL: Colleen M. Ruiz
 Digitally signed by Colleen M. Ruiz
 Date: 2022.08.24
 1802.15-06007

NO.	DATE	DESCRIPTION	BY

DESIGNED BY: AV
 DRAWN BY: AV
 CHECKED BY:
 DATE: 7/21/2022

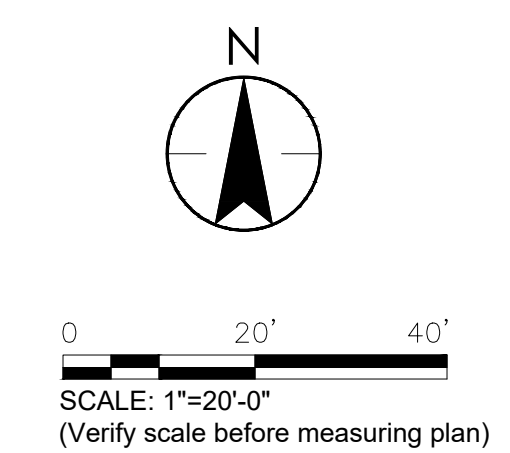
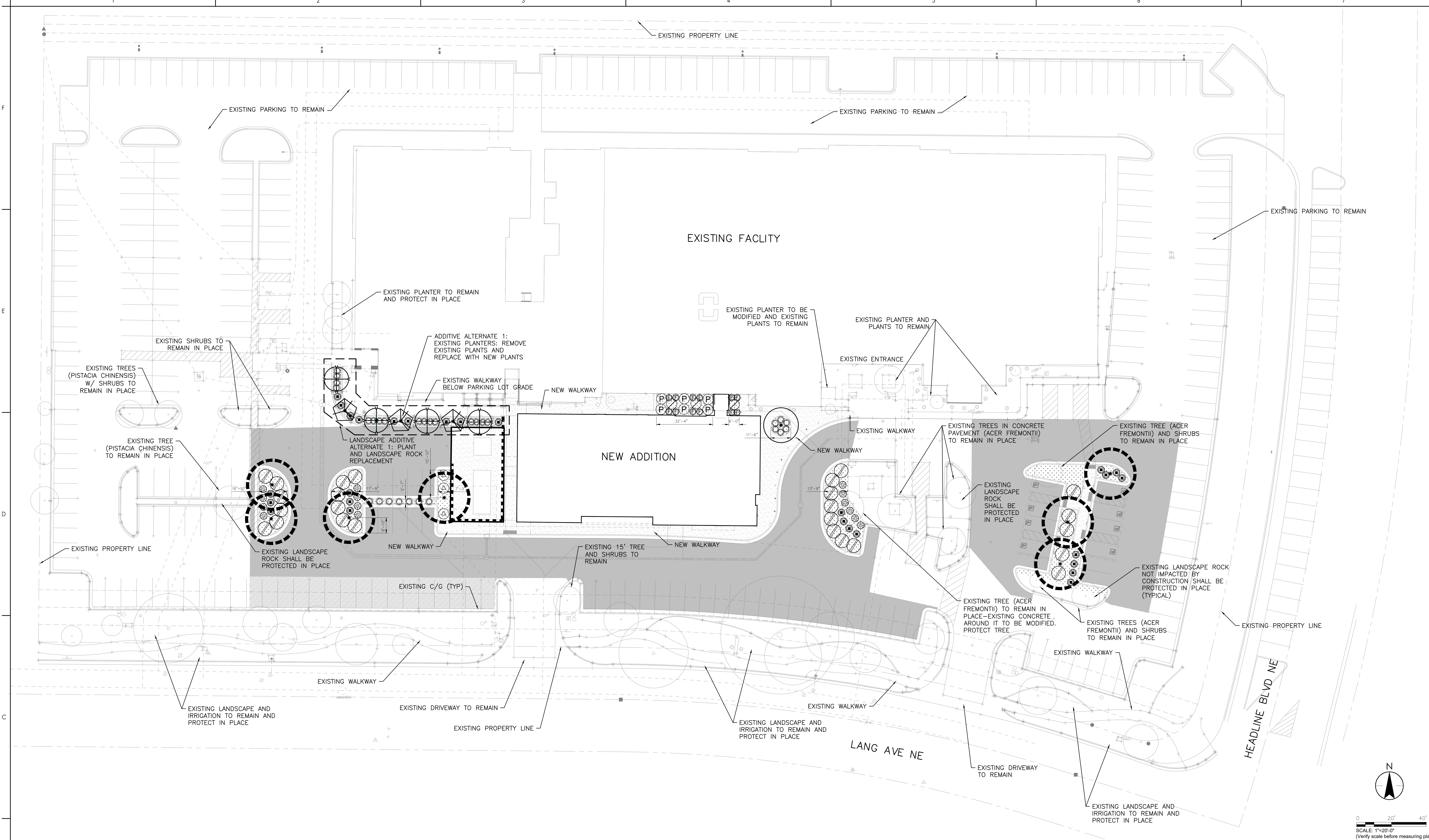
CITY OF ALBUQUERQUE
 DEPARTMENT OF MUNICIPAL DEVELOPMENT
 ENGINEERING DIVISION

SITE PLAN

DESIGN REVIEW COMMITTEE: CITY ENGINEER APPROVAL: ZONE MAP NO. D-17-Z
 CITY PROJECT NO. XXXXXX
 SHEET NO. C-101

U:\17702070 (Drawing)\Sheet Files\200705C-1003C1.dwg
 2022/08/24 2:27 PM By: Lang Brundage

PLOT SET - 6/17/2022



PLANT SCHEDULE		LANDSCAPE INFORMATION				LANDSCAPE NOTES	
TREES							
SYMBOL	QTY.	BOTANICAL NAME COMMON NAME	MIN CONTAINER SIZE	MIN. SPEC. SIZE HT.xWD./CALIPER	MATURE SIZE HT.xWD.		
	3	CRATAEGUS CRUS-GALLI INERMIS THORNLESS COCKSPUR HAWTHORN	36" BOX, 45 GAL OR B&B TO MIN CAL.	5'x3'/2.5" LOW BRANCHING MULTI	15'x12'		
	4	LAGERSTROEMIA INDICA X FAURIEI 'TUSCARORA' CRAPE MYRTLE	36" BOX, 45 GAL OR B&B TO MIN CAL.	5'x3'/2.5" LOW BRANCHING MULTI	15'x12'		
	7	PISTACIA CHINENSIS CHINESE PISTACHE	36" BOX, 45 GAL OR B&B TO MIN CAL.	8'x3'/2.5" STANDARD	25'x25'		
	1	QUERCUS BUCKLEYI RED ROCK OAK	36" BOX, 45 GAL OR B&B TO MIN CAL.	8'x3'/2.5" STANDARD	20'x20'		
SHRUBS/GROUNDCOVERS							
SYMBOL	QUANTITY	BOTANICAL NAME/COMMON NAME	CONTAINER SIZE	MINIMUM SIZE (HT.xWD.)	MATURE SIZE (HT.xWD.) NO PRUNING!! MINIMUM SPACING FROM OTHER PLANTS		
	14	BERBERIS THUNDERGII 'ATROPURPUREA' JAPANESE BARBERRY	5 GAL.	12"x10"	4'x4' PLANT MIN. 8' APART		
	3	CAMELIA JAPONICA 'APRIL TRYST' APRIL TRYST CAMELLIA	5 GAL.	14"x12"	7'x4'		
	25	COTONEASTER BUXIFOLIUS GREYLEAF COTONEASTER	5 GAL.	8"x12"	2'x9' PLANT MIN. 8' APART		
	12	DIANELLA TASMANICA 'TR20' TASRED FLAX LILY	5 GAL.	6"x8"	2'x2' PLANT MIN. 18" APART		
	29	HESPERALOE PARVIFLORA 'MSWNERED' PP#28910 'SANDIA GLOW' RED YUCCA	5 GAL.	10"x10"	3'x3' PLANT MIN. 3' APART		
	3	PHOTINIA FRASERI RED TIP PHOTINIA	5 GAL.	14"x12"	8'x8' PLANT MIN. 8' APART		
	6	PODOCARPUS NIVALIS 'PINK TIP' PINK TIP PODOCARPUS	5 GAL.	12"x14"	3'x6' PLANT MIN. 4' APART		
	29	ROSEMARINUS OFFICINALIS 'SALEM' SALEM PETITE ROSEMARY	5 GAL.	8"x8"	2'x3' PLANT MIN. 18" APART		
LANDSCAPE ROCK SCHEDULE		<p>KEY:</p> <p>LANDSCAPE INERT GROUNDCOVER (ALL PLANTERS) 1" SCREENED LANDSCAPE ROCK COLOR: SANTE FE GOLD OR SIM. TO MATCH EXISTING COLOR AND TYPE - DEPTH: 2" MIN. BASE BID: 3,990 SF, ADD ALT 1: 510 SF = 4,500 SF</p>					

LANDSCAPE INFORMATION

LANDSCAPE REQUIREMENTS PER CITY OF ALBUQUERQUE ZONING CODE CHAPTER 14-16-3-10 AND/OR JOURNAL CENTER CORP (WHICHEVER MORE STRICTER) AS FOLLOWS:

TREE SIZE: REQUIRED: 2.5" CALIPER 1 GAL PROVIDED: 2.5" CALIPER 5 GAL

SHRUB/GROUNDCOVER SIZE: REQUIRED: 2.5" CALIPER 1 GAL PROVIDED: 2.5" CALIPER 5 GAL

PARKING LOT: TREES: 1 PER 5 SPACES (5) (7)
TREE FROM PARKING SPACE: 100-FT MAX 135-FT MAX
MINIMUM PLANTER SIZE: 36-SF 75% 100%
MIN TREE CANOPY DECIDUOUS

LANDSCAPE PLANTER AREAS: (SEE NOTES) 4,190 SF

VEGETATIVE PLANT COVER: 30% 58%

NOTES:

- ALL LANDSCAPING SHALL BE DRIP IRRIGATED USING THE EXISTING IRRIGATION SYSTEM, VALVES AND CONTROLLER.
- ALL NEW LANDSCAPING SHOWN ON THIS PLAN FOR THE PROPOSED NEW BUILDING ADDITION IMPROVEMENTS AND ASSOCIATED PARKING LOT MODIFICATIONS TO THE EXISTING PARKING LOT IS INTENDED TO COMPLY WITH CITY OF ALBUQUERQUE ZONING CODE CHAPTER 14-16-3-10 LANDSCAPING REGULATIONS UNLESS AS MODIFIED AS FOLLOWS:

LANDSCAPE REQUIREMENTS:

- NET LANDSCAPE AREA MINIMUM 15% - PROVIDED: N/A - EXISTING PARKING LOT IS MODIFIED TO PROVIDE FIRE LANE AS REQUIRED. CLEAR SIGHT LINES: N/A - IMPROVEMENTS LIMITED TO INTERIOR OF SITE. PERIMETER EXISTING LANDSCAPING TO REMAIN AND PROTECT IN PLACE.
- STANDARD LANDSCAPE BUFFERS: N/A - NO IMPROVEMENTS WILL IMPACT EXISTING LANDSCAPE BUFFERS TO REMAIN AND PROTECT IN PLACE.
- SPECIAL LANDSCAPE BUFFER REQUIREMENTS: N/A - EXISTING SITE-SURROUNDING LAND USES: COMMERCIAL-NO IMPACTS.
- SPECIAL SCREENING REQUIREMENTS FOR CERTAIN USES: ALL REQUIRED SCREENING WITHIN NEW CMU WALLS.

MAINTENANCE STATEMENT:

THE EXISTING FACILITY IS CURRENTLY MAINTAINED BY A LANDSCAPE CONTRACTOR CONTRACTED BY THE OWNER. THE NEW LANDSCAPE AND IRRIGATION IMPROVEMENTS WILL ALSO BE MAINTAINED BY CONTRACTOR.

LANDSCAPE NOTES

- BEFORE WORK BEGINS ON THE PROJECT, LANDSCAPE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH PROJECT GENERAL CONTRACTOR TO REVIEW THE PROJECT SCOPE OF WORK. ONLY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT IS AUTHORIZED TO MAKE ANY CHANGES PRIOR TO THE START OF ANY WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL PLANT MATERIAL LOCATIONS WITH OTHER TRADES PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE LOCATIONS OF EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH THE WORK TO BE DONE DUE TO LIMITED ASBUILTS AVAILABLE. PRIOR TO THE START OF WORK, ALL UNDERGROUND UTILITIES AND IRRIGATION SHALL BE LOCATED AND PROTECTED. EXISTING UNDERGROUND SERVICES SHALL NOT BE DISTURBED OR REMOVED UNLESS SPECIFICALLY NOTED OTHERWISE ON DRAWINGS.
- PLANTING DESIGN MAY BE MODIFIED TO ADAPT TO EXISTING SITE CONDITIONS THAT DIFFER FROM THESE PLANS, AND DUE TO GRADE LIMITATIONS ON SITE.
- ALL PLANTS SHALL BE OF VARIETIES AND TYPES SPECIFIED AND PURCHASED FROM GROWERS OR COMPANIES THAT ARE APPROVED BY THE AMERICAN NURSERY ASSOCIATION OR THE ARIZONA NURSERY ASSOCIATION. PLANTS SPECIFIED WERE VERIFIED AS "AVAILABLE" DURING DESIGN FROM SOURCES OUTSIDE THE STATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE PLANTS FROM NURSERIES OUTSIDE THE STATE IF NOT AVAILABLE LOCALLY. ALL DELIVERY COSTS SHALL BE INCLUDED IN THE BID. ADDITIONAL COSTS INCURRED AFTER AWARD SHALL BE CONTRACTOR'S RESPONSIBILITY. NO CHANGE ORDER WILL BE ACCEPTED BY THE OWNER. ALL PLANTS SHALL BE SECURED FOR THIS PROJECT NO LATER THAN 30 DAYS AFTER PROJECT NOTICE TO PROCEED.
- VERIFY PLANT AND LANDSCAPE ROCK QUANTITIES DURING BIDDING AND PRIOR TO INSTALLATION. QUANTITIES ARE LISTED FOR CONVENIENCE ONLY. THE ACTUAL NUMBER OF SYMBOLS SHOWN ON THE PLANTING PLANS SHALL HAVE PRIORITY OVER QUANTITIES LISTED WITHIN THE LANDSCAPE MATERIAL SCHEDULES. THE CONTRACTOR SHALL FURNISH ALL PLANT MATERIAL NECESSARY TO COMPLETE THE PLANTINGS AS SHOWN ON THE PLANS.
- CLARIFICATION OF DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE SITE SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNERS' REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
- ONLY THE LANDSCAPE ARCHITECT OF RECORD MAY APPROVE ANY SUBSTITUTION REQUESTED. NO PLANT SUBSTITUTIONS WITHOUT LANDSCAPE ARCHITECT OF RECORD'S APPROVAL.
- ALL PLANT MATERIAL MUST BE MAINTAINED IN HEALTH AND VIGOR, AND BE ALLOWED TO ATTAIN NATURAL SIZE AND SHAPE IN ACCORDANCE WITH NATIONAL AND ARIZONA NURSERY ASSOCIATION SPECIFICATIONS.
- UPON DELIVERY, ALL PLANT MATERIAL IS SUBJECT TO INSPECTION PRIOR TO ACCEPTANCE. OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE, EVEN AFTER DELIVERY TO THE SITE.
- SHRUBS/GROUNDCOVER PLACEMENTS:
 - FLAG ALL PLANT LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - LOCATE PLANTS BY MEASURING THEIR PLANT CENTERS NO CLOSER THAN AS NOTED ON THE PLANT SCHEDULE. SPACE PLANTS FURTHER APART WHERE GRAPHICALLY SHOWN ON THE PLANS. FIELD ADJUST IF NECESSARY TO AVOID ANY UNFORESEEN CONFLICTS NOT SHOWN ON THESE PLANS.
 - PLANT CENTERS SHALL BE INSTALLED NO CLOSER THAN THE PLANT DIAMETER OR 3- FEET, WHICHEVER IS GREATER, FROM EDGE OF PAVEMENTS, PUBLIC ACCESS-WAYS, OR BACK OF CURBS UNLESS STATED OR DETAILED DIFFERENTLY ON THE PLANS OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE OR THE LANDSCAPE ARCHITECT.
- PLANTING METHODS, SOIL AMENDMENT QUANTITIES, AND PLANT PIT PREPARATION METHODS SHALL BE ACCORDING TO THE PLANTING SPECIFICATIONS AND DETAILS.
- ALL PLANTING AREAS SHALL RECEIVE WEED CONTROL/ PRE-EMERGENT HERBICIDES PER THE GUIDELINES SET FORTH IN THE SPECIFICATIONS AND DETAILS. RE-APPLY HERBICIDES AS NECESSARY TO COMPLETELY KILL NOXIOUS MATERIAL, INCLUDING WEEDS, BERMUDA GRASS. REMOVE ANY DEBRIS AND PROPERLY DISPOSE OF OFF-SITE. REMOVE LARGE WEEDS/ROOTS BY HAND.
- DECORATIVE ROCK SHALL COVER ALL LANDSCAPE PLANTER AREAS. ROCK SHALL BE INSTALLED UNIFORMLY.
- PLANT APPROVALS: CONTRACTOR SHALL SUBMIT (PDF FILE TYPE ONLY) COLOR DIGITAL PHOTOGRAPHS (MINIMUM 300 DPI RESOLUTION) OF ALL PLANT MATERIALS SPECIFIED PRIOR TO ORDERING FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT. PHOTOS SHALL INCLUDE A MEASURING STICK (FEET-INCHES) FOR PLANT SIZE VERIFICATION. FOR TREES, IN ADDITION, A PERSON SHALL HOLD A MEASURING STICK (HEIGHT OF TREE) IN EACH PHOTO. MEASURING STICKS SHALL BE READABLE IN EACH PHOTO. LABEL PLANT NAME AND NURSERY SOURCE ON EACH PDF.
- REMOVE ALL NURSERY STAKES FROM TREES. ADD ADDITIONAL GUYTS TO TREE STAKING AS NECESSARY. DO NOT OVER TIGHTEN - ALLOW TRUNKS TO MOVE WITHIN GUYTS.
- PLANT WARRANTY - SEE SPECIFICATIONS.
- ** ALL EXISTING TREES NOT IDENTIFIED TO BE REMOVED SHALL BE PROTECTED IN PLACE. NEW CONSTRUCTION WITHIN THE DRIP LINE (CANOPY) OF EXISTING TREES SHALL HAVE TEMPORARY TREE PROTECTION FENCING INSTALLED (ORANGE 4-FT POLY FENCE OR 6-FT CHAIN LINK FENCE PLACED AROUND THE TREE'S CANOPY EDGE (TREE DRIP LINE). SUBMIT PHOTOS TO LANDSCAPE ARCHITECT SHOWING THIS HAS BEEN DONE. NO EQUIPMENT, STORAGE OR PLACEMENT OF ANY CONSTRUCTION MATERIALS IS PERMITTED WITHIN FENCE. FENCING PLACEMENTS SHALL BE APPROVED BY THE OWNER'S PROJECT CONSTRUCTION MANAGER. ANY CONSTRUCTION WITHIN THE CANOPY OF A TREE SHALL PROCEED USING ABUNDANT CAUTION TO NOT COMPACT OR CONTAMINATE LANDSCAPE PLANTER SOIL.

Revision _____ By _____ App'd _____

For Permit _____ 2022.01.03
Design Development _____ 2022.01.25
Journal Center Site Plan Review _____ 2022.02.23
Schematic Design _____ 2022.01.28

Issue/Revision _____

File Name: 2025-CR-LANDSCAPE PLAN CDR CDR RS 2022.01.03
Dwn. Dgn. Chk. YYYY.MM.DD

Permit/Seal

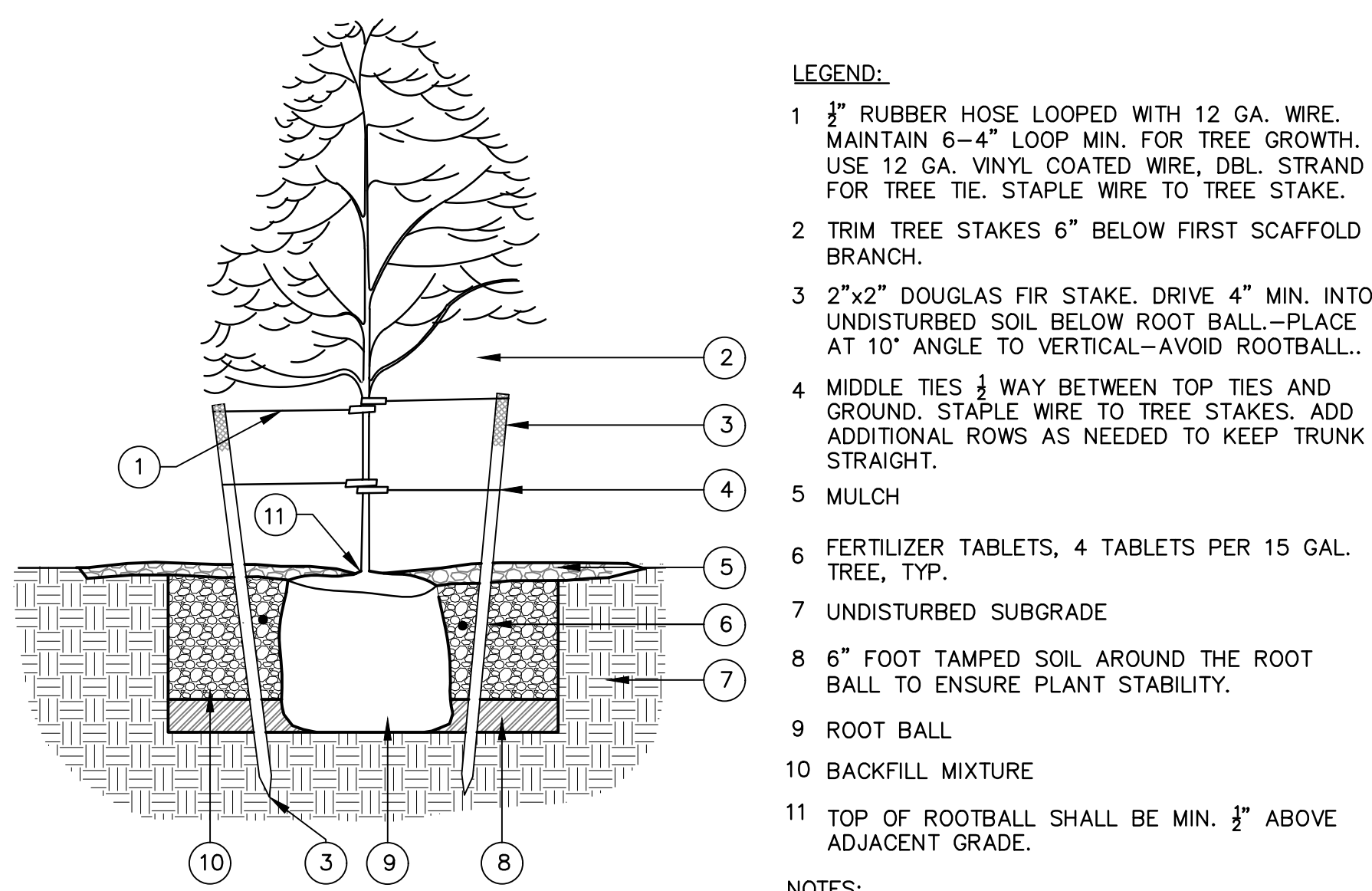
Client/Project Logo

Client/Project
NEW MEXICO PROTON ADVANCED CANCER THERAPY (NMFACT)
NEW MEXICO CANCER CENTER

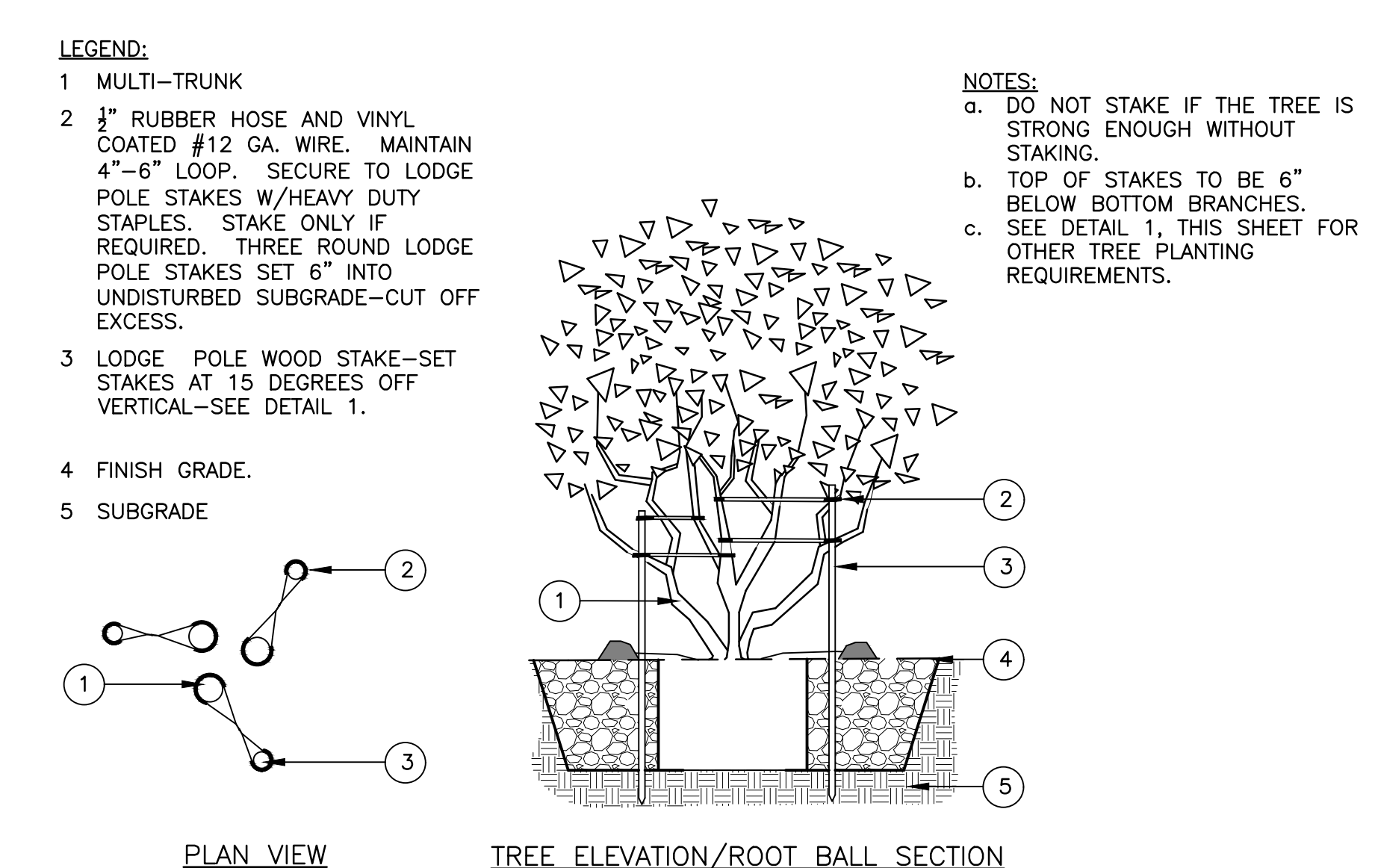
4901 LANG AVE. NE
ALBUQUERQUE, NM 87109

LANDSCAPE - LANDSCAPE PLAN

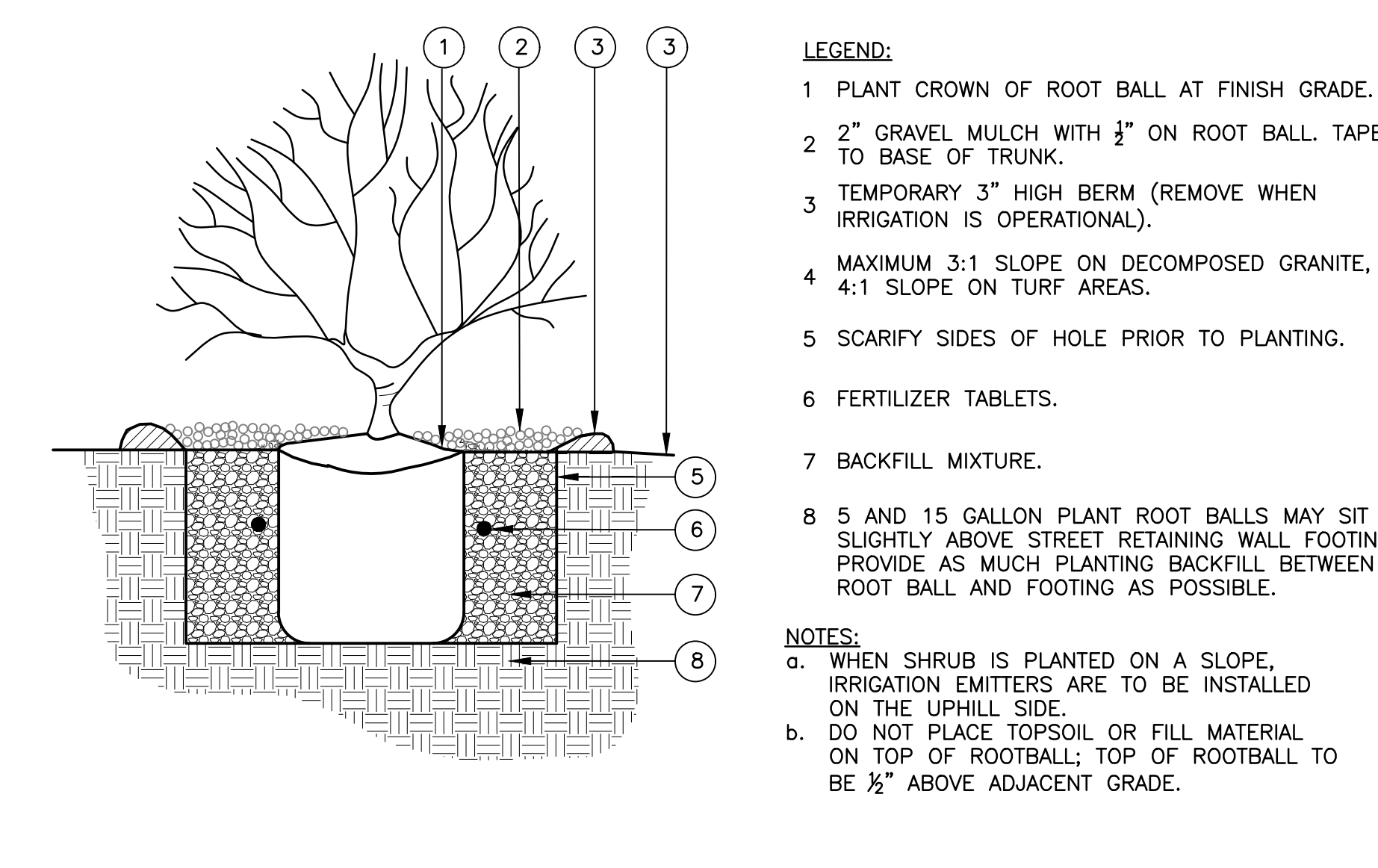
Project No. 177920075 Scale 1"=20'
Revision 0 Sheet 1 of 3 Drawing No. C-701



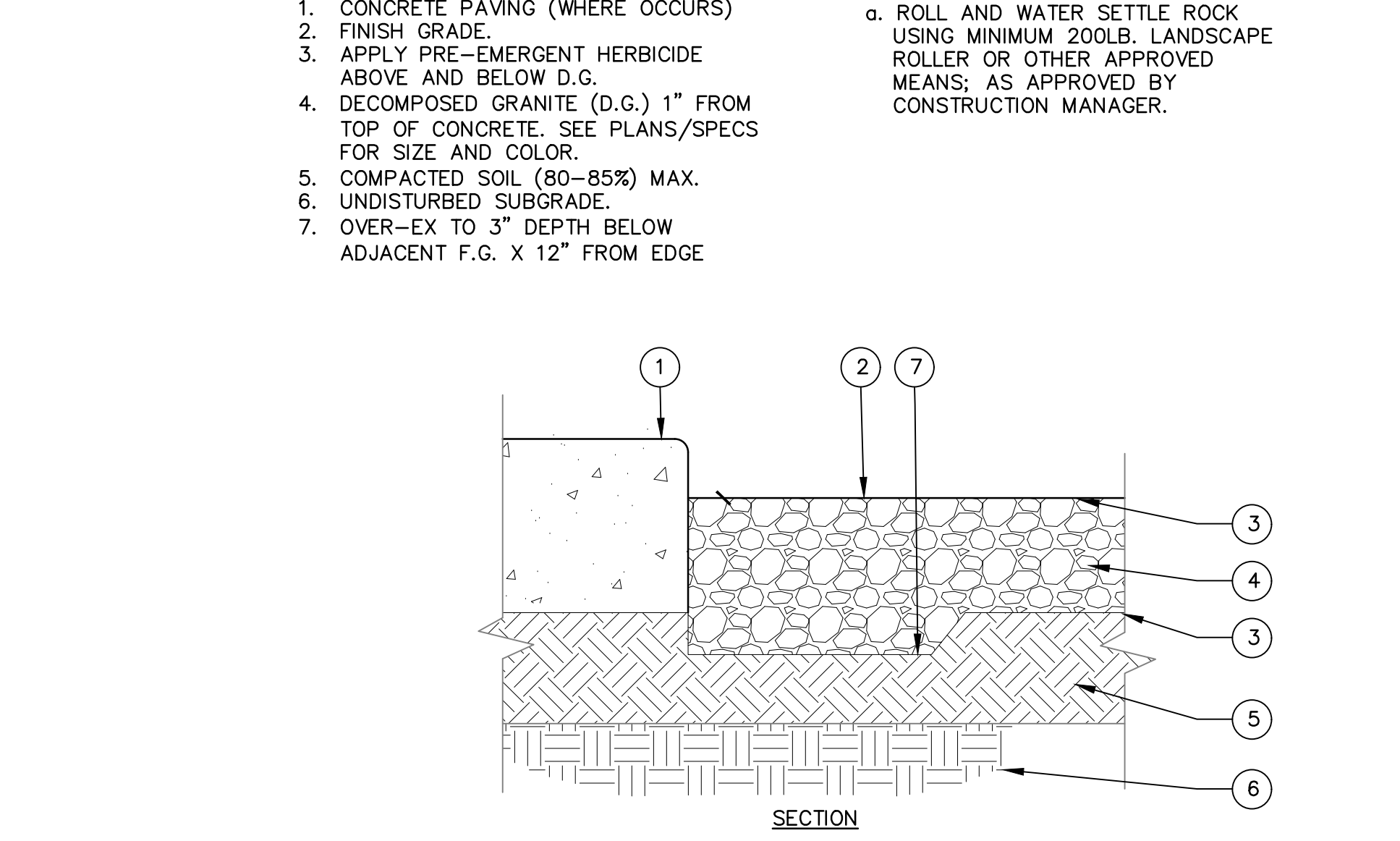
1 TREE PLANTING
SCALE: NTS



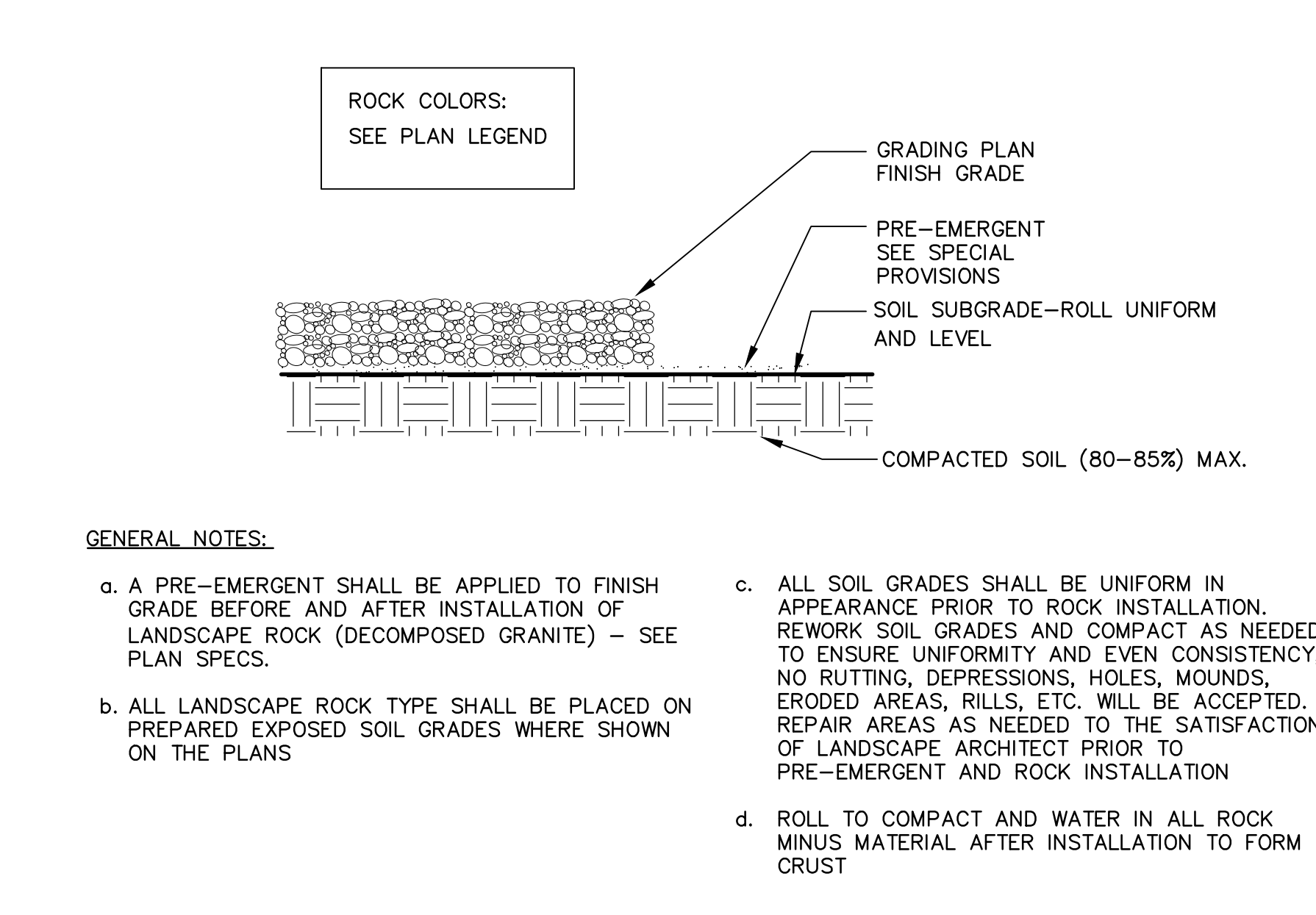
2 MULTI-TRUNK TREE STAKING
SCALE: NTS



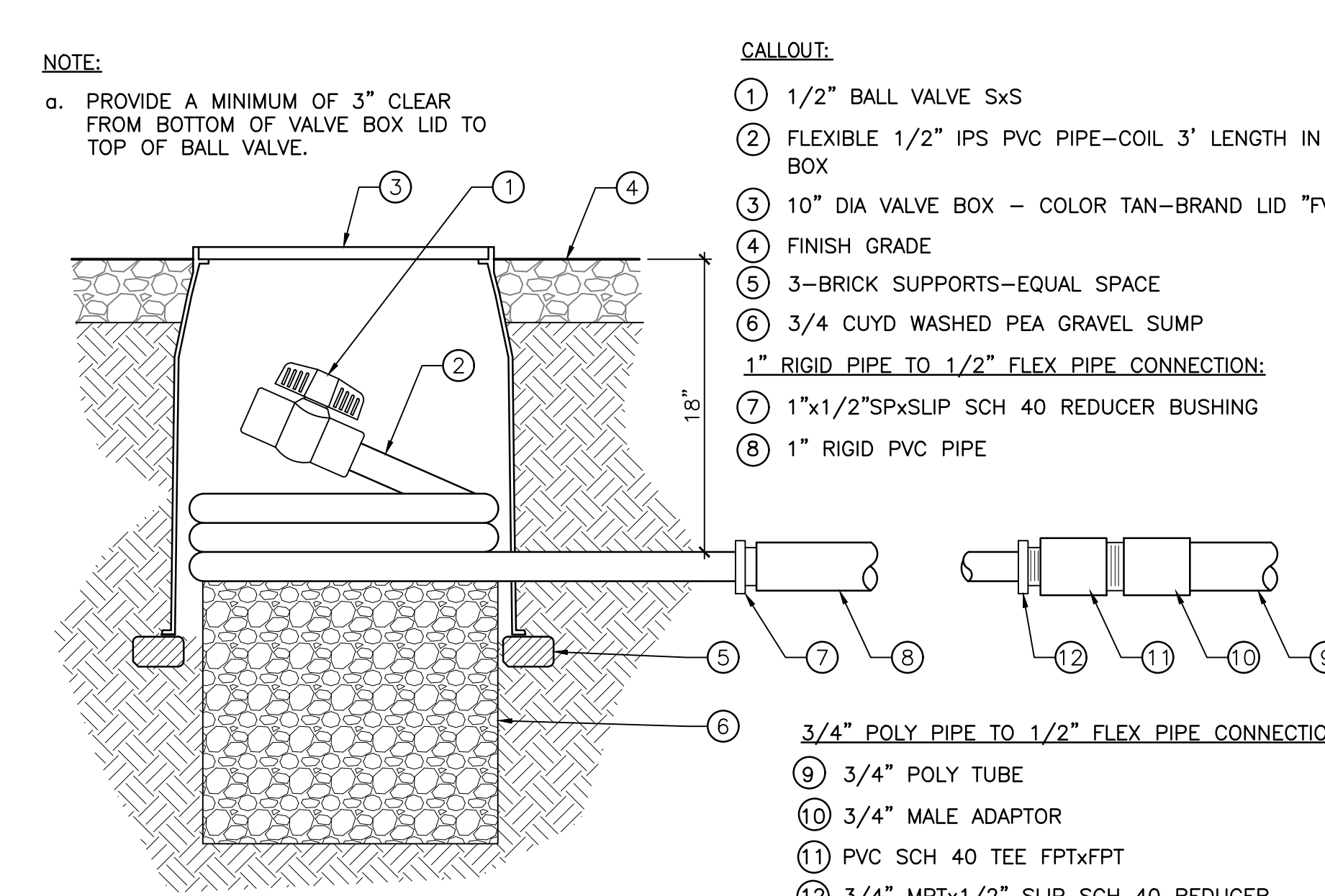
3 SHRUB PLANTING
SCALE: NTS



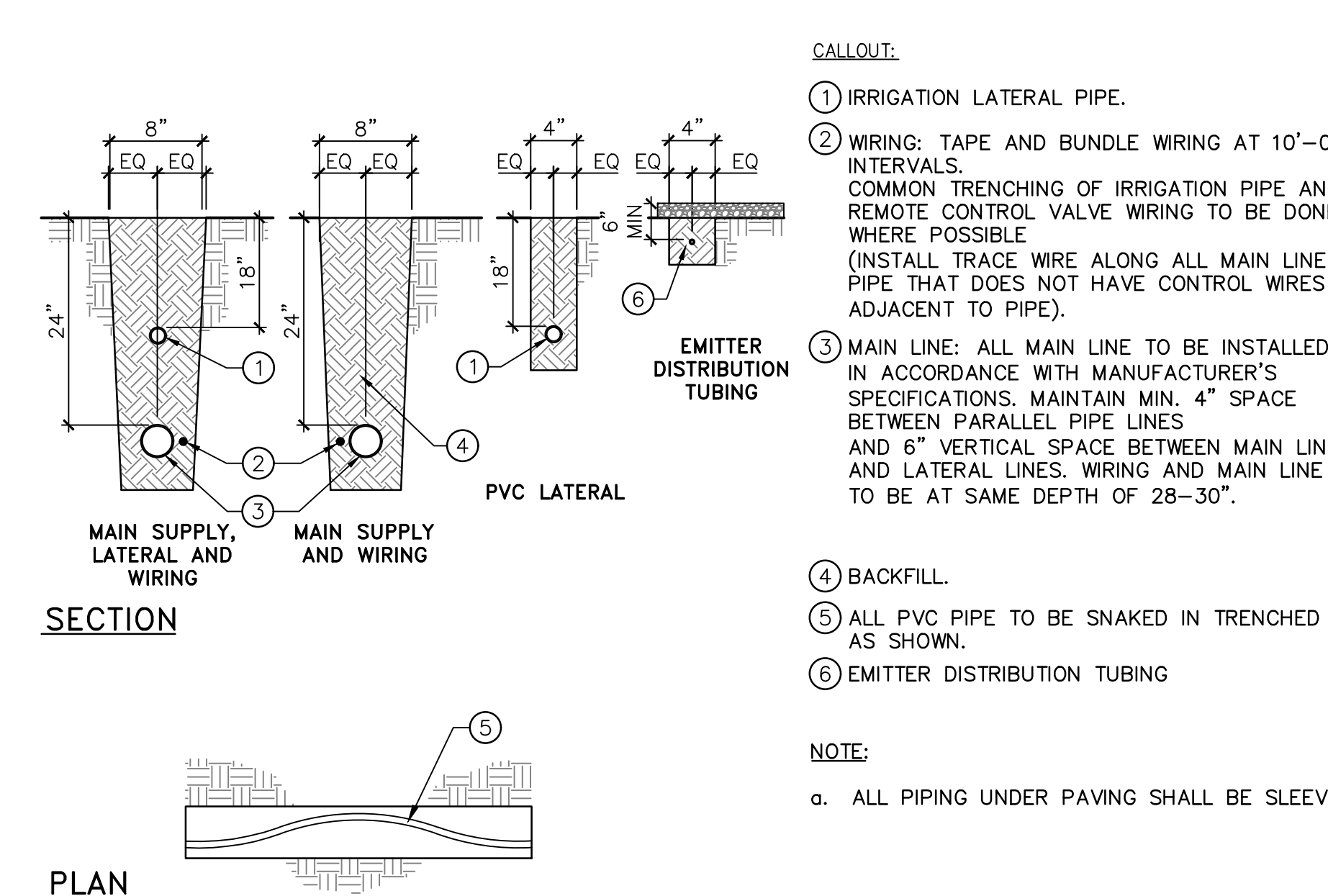
4 LANDSCAPE ROCK MULCH EDGE DETAIL
SCALE: NTS



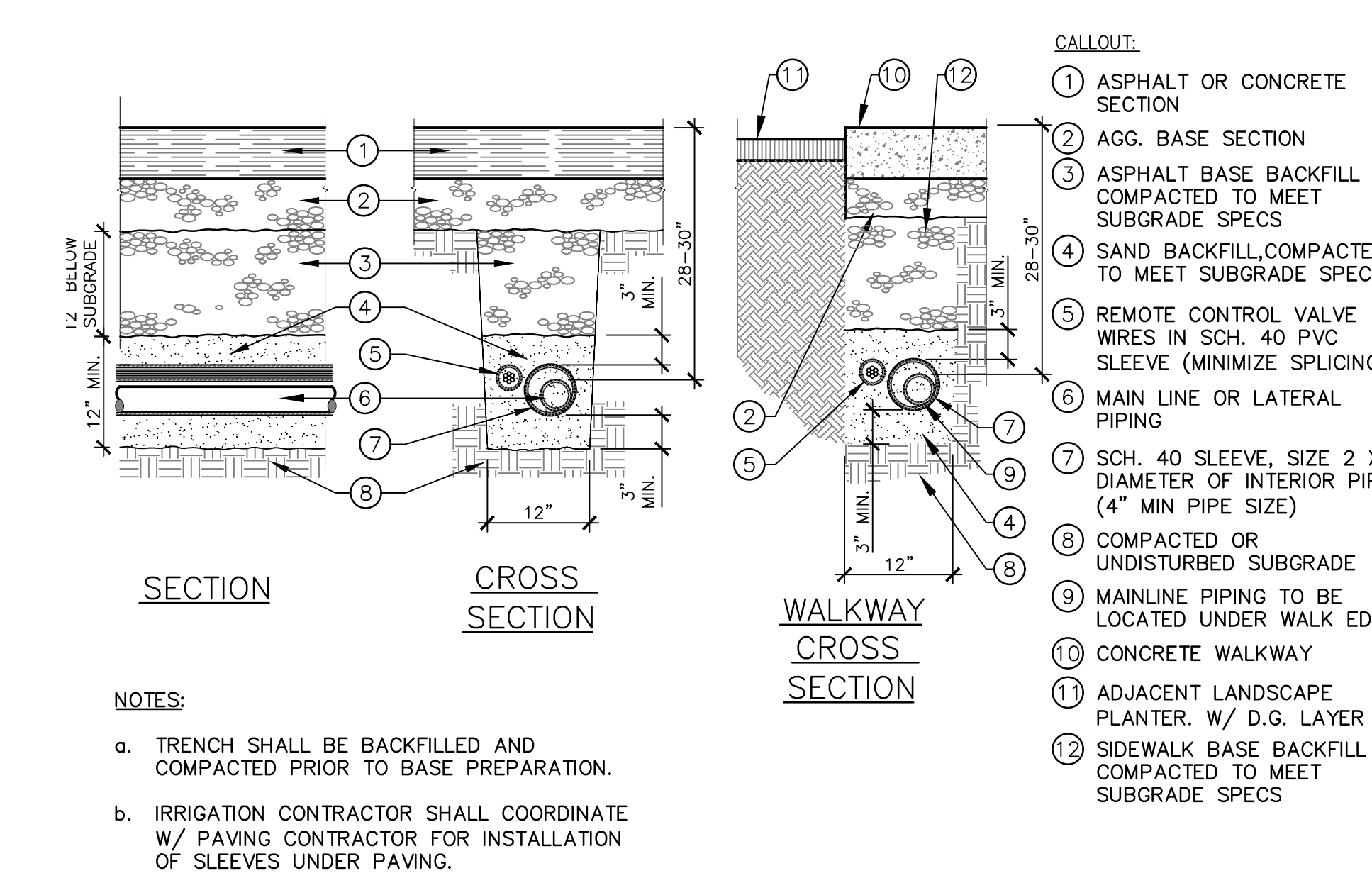
5 LANDSCAPE ROCK MULCH (DECOMPOSED GRANITE)
SCALE: NTS



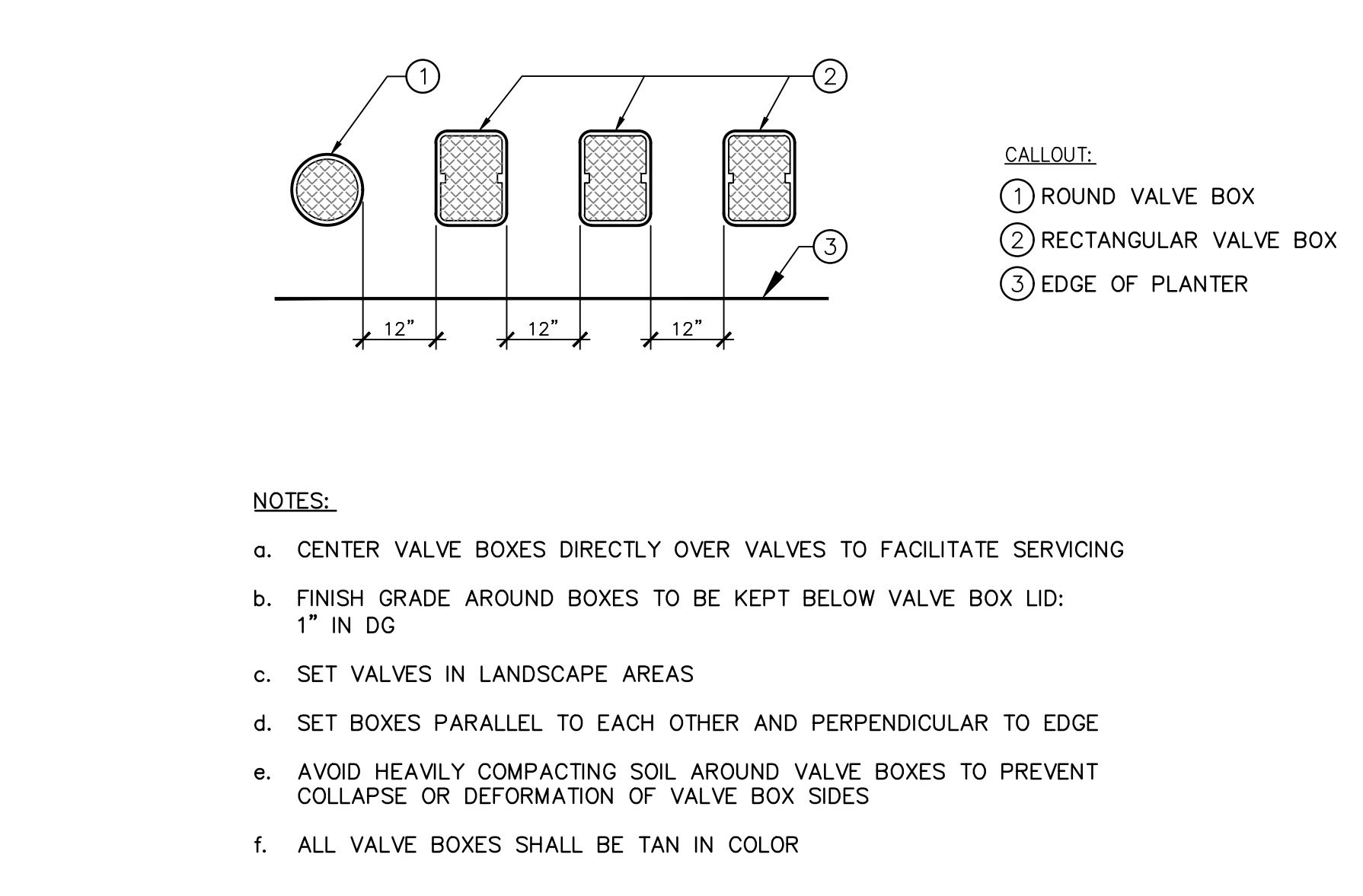
6 MANUAL FLUSH VALVE
SCALE: NTS



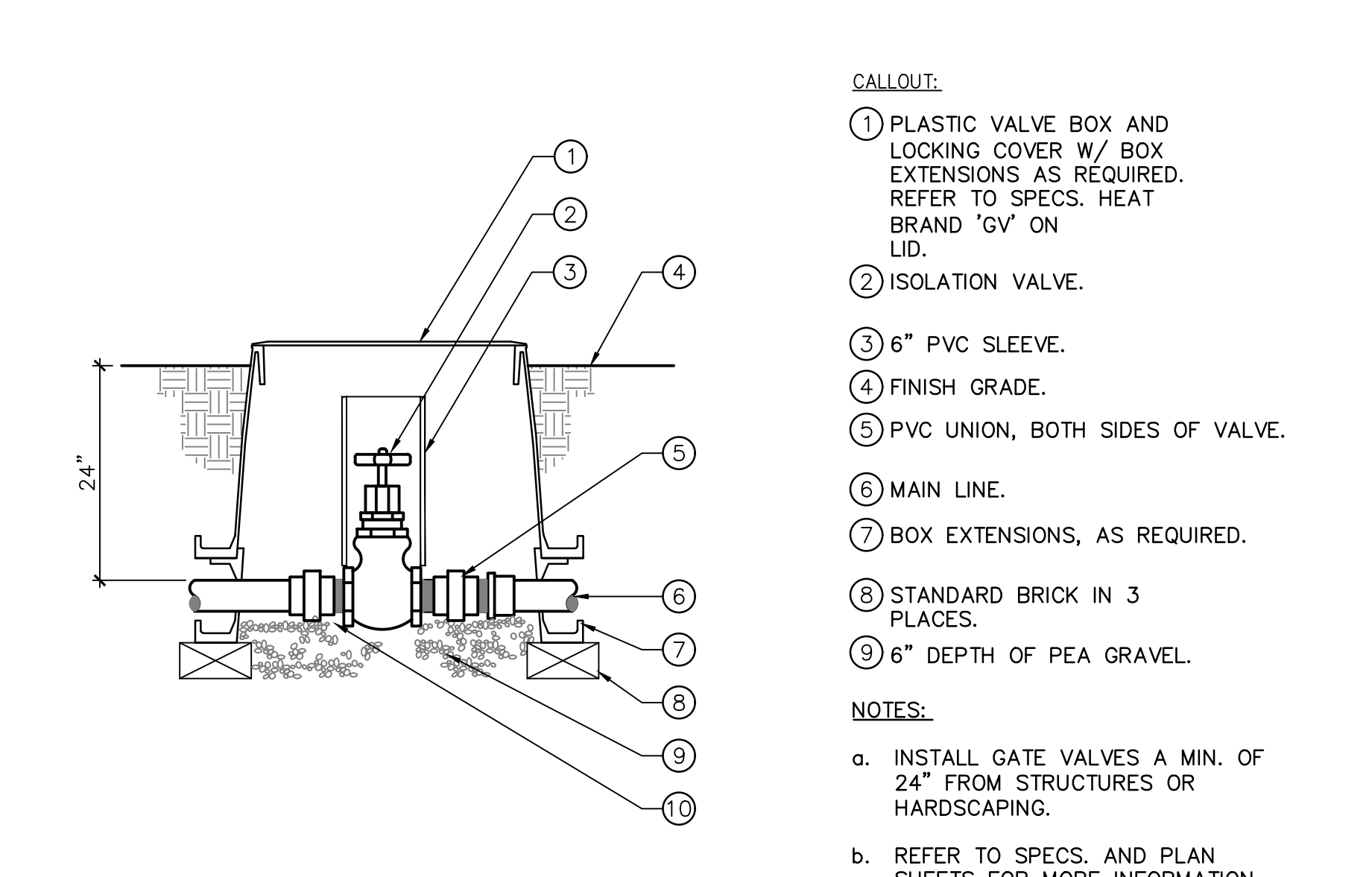
7 TRENCHING
SCALE: NTS



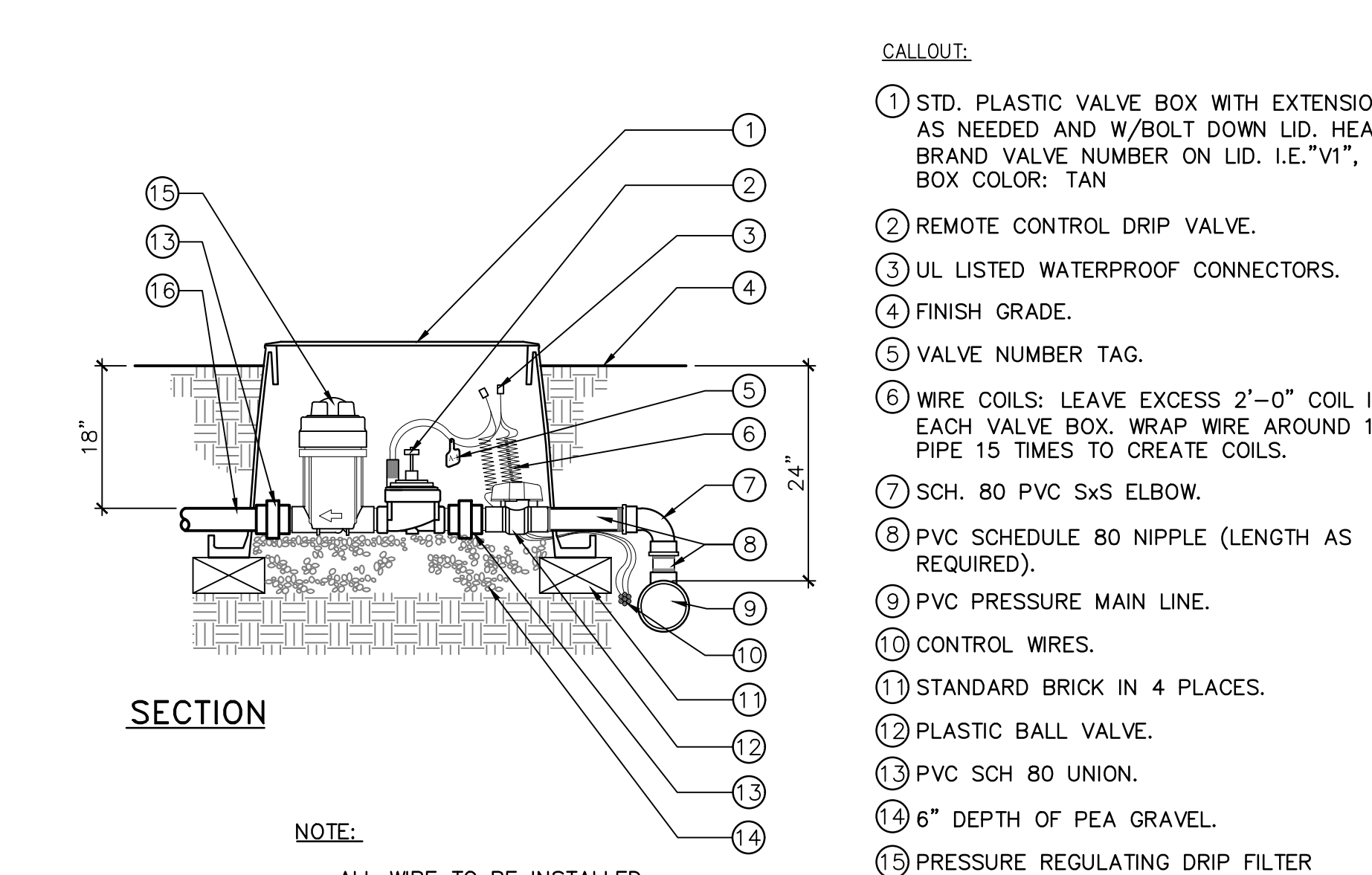
8 TRENCHING UNDER PAVING AND SIDEWALK
SCALE: NTS



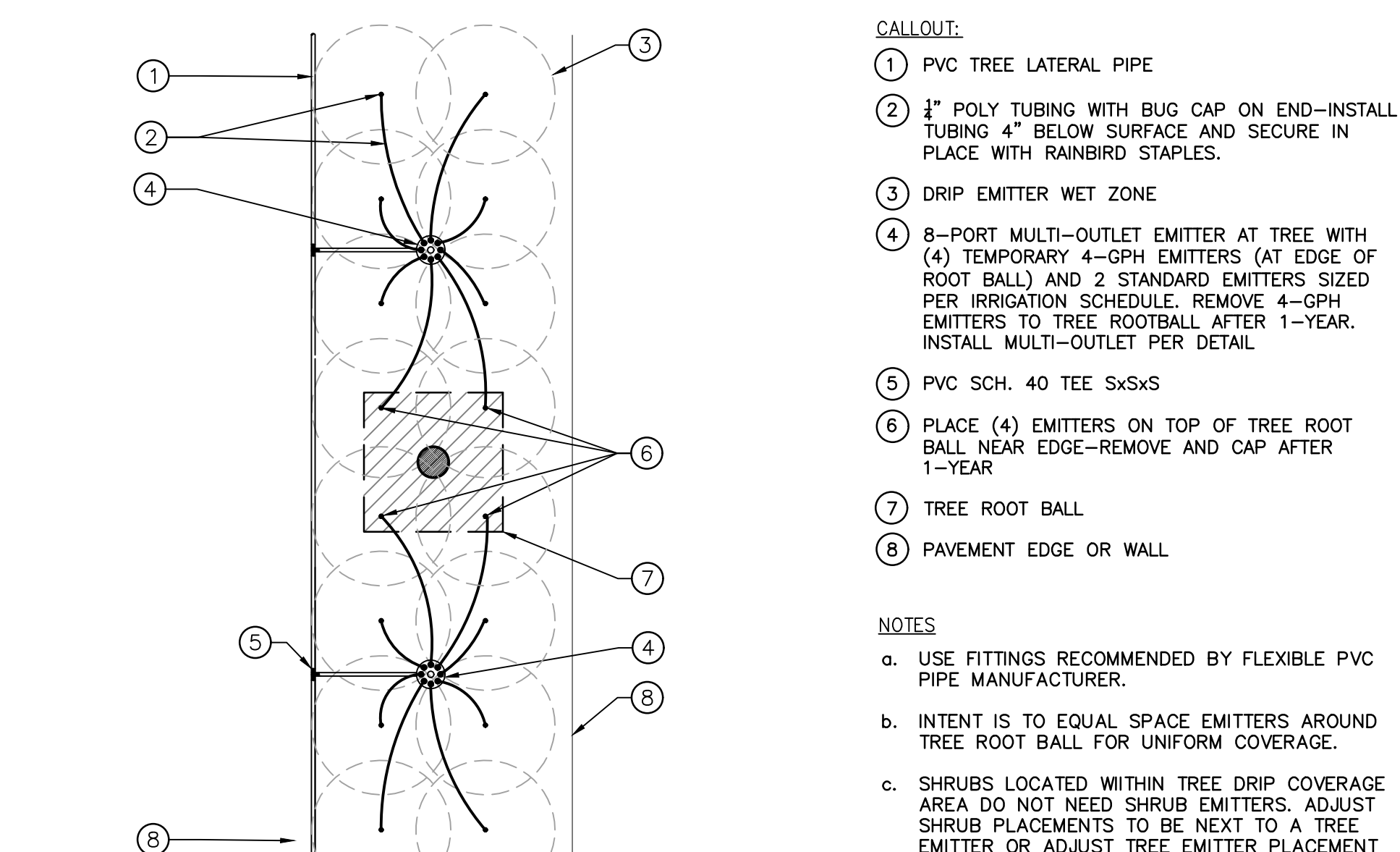
9 MULTIPLE VALVE BOX LAYOUT
SCALE: NTS



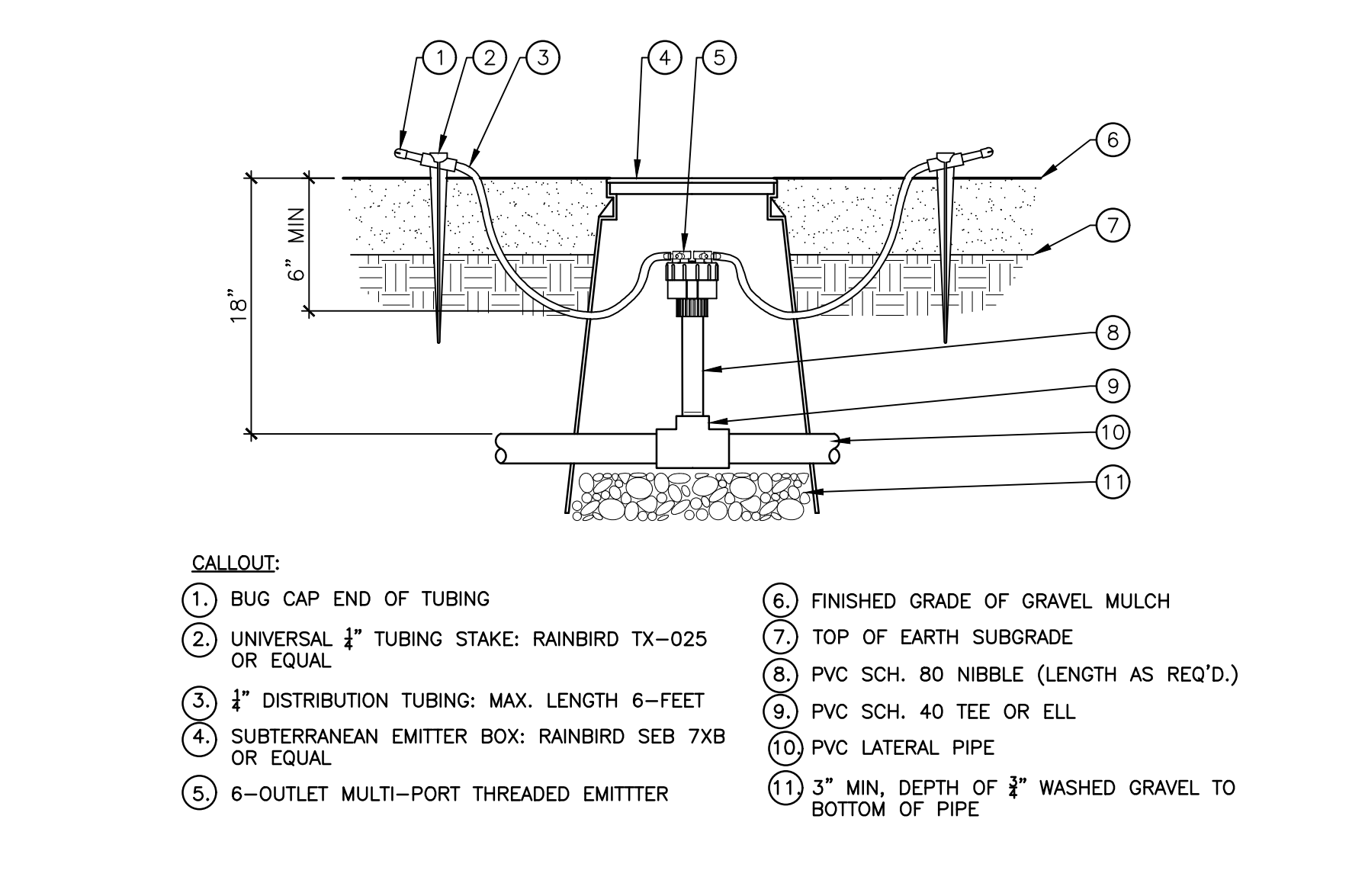
10 ISOLATION GATE VALVE
SCALE: NTS



11 DRIP REMOTE CONTROL VALVE
SCALE: NTS



12 REPRESENTATIVE EMITTER LAYOUT
SCALE: NTS



13 MULTI-OUTLET EMITTER
SCALE: NTS

Revision	By	App'd	YYYY-MM-DD
For Permit			2022.01.03
Design Development			2022.03.25
Journal Center Site Plan Review			2022.03.25
Schematic Design			2022.01.28
Issue/Revision			
File Name:	CRB	CRB	RS
2022.03.03	Dwn	Dgn	Chk
2022.03.03			YYYY-MM-DD

Permit/Seal

Client/Project Logo

Client/Project
NEW MEXICO PROTON ADVANCED CANCER THERAPY (NMPACT)
NEW MEXICO CANCER CENTER

4901 LANG AVE. NE
ALBUQUERQUE, NM 87109

LANDSCAPE - DETAILS PLAN

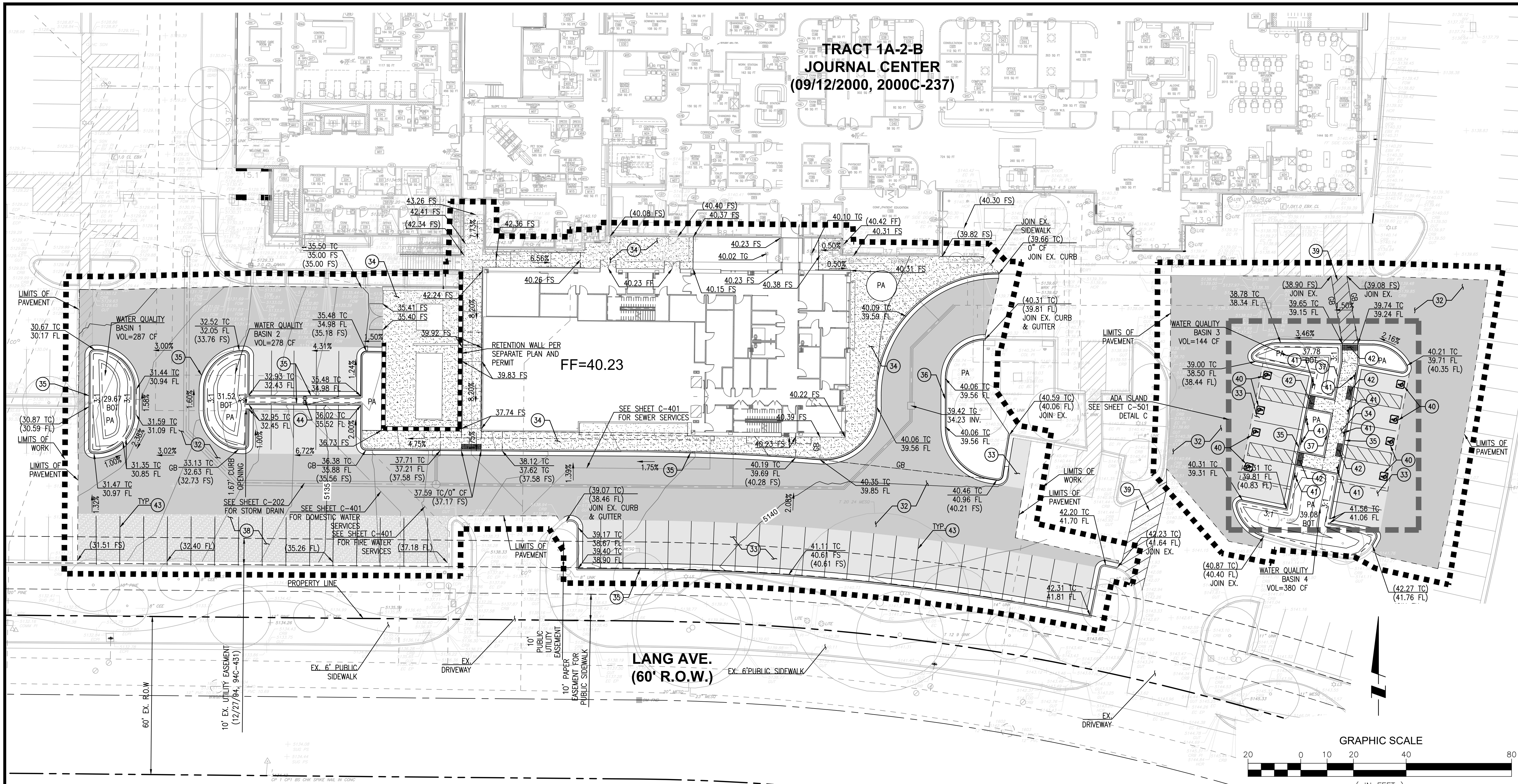
Project No. 177920075
Revision 0

Scale AS SHOWN ON THE PLAN
Drawing No. 3 of 3

Call before you dig.

**TRACT 1A-2-B
JOURNAL CENTER
(09/12/2000, 2000C-237)**

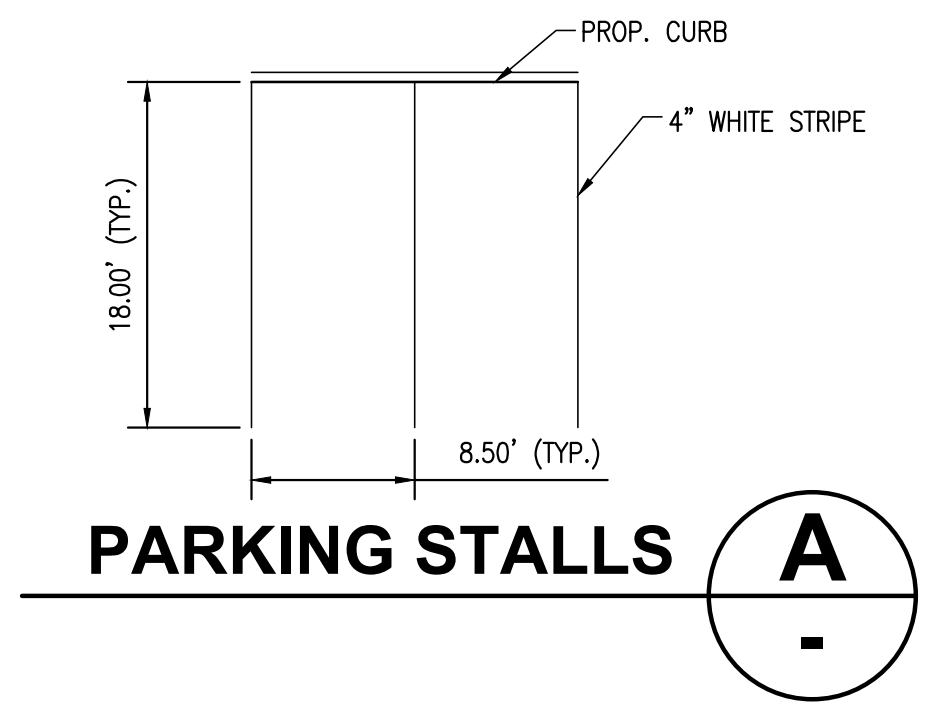
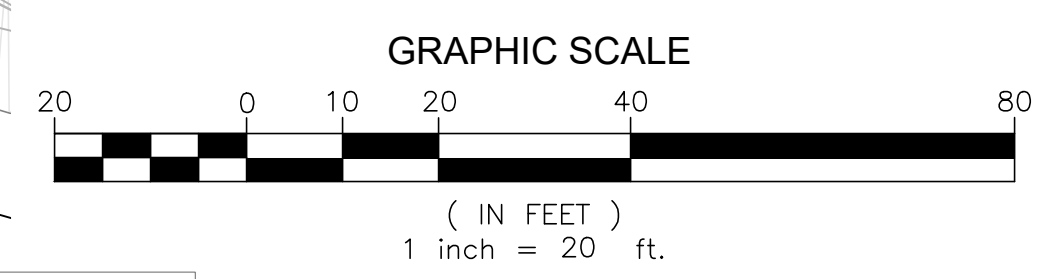
Stantec
3133 West Frye Road, Suite 300
Chandler, AZ 85226
www.stantec.com



BENCH MARKS



DESIGNED BY:	AV
DRAWN BY:	AV
CHECKED BY:	
DATE:	6/17/2022



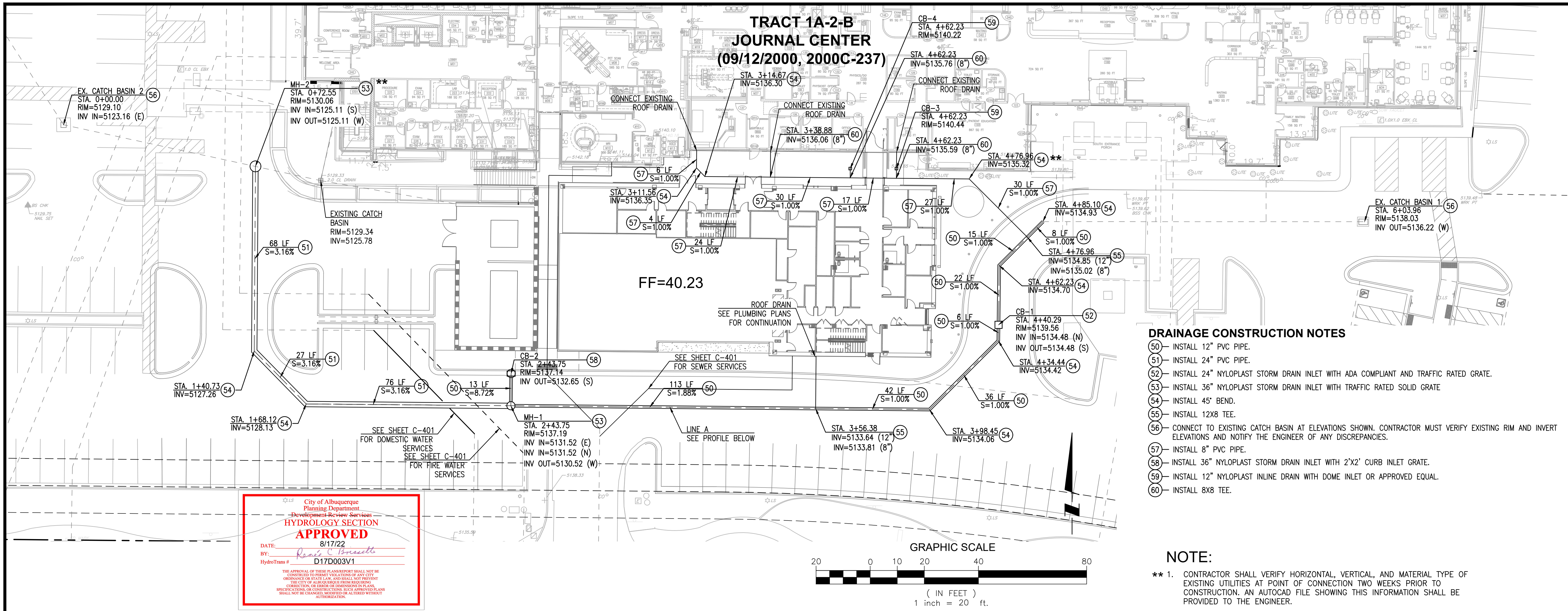
- CONSTRUCTION NOTES**
- (31) CONSTRUCT 7" CONCRETE OVER 6" A.B. SEE DETAIL 2 ON SHEET 501.
 - (32) CONSTRUCT 4" A.C. OVER 6" A.B. SEE DETAIL A ON SHEET 501.
 - (33) CONSTRUCT 3" A.C. SEE DETAIL B ON SHEET 501.
 - (34) CONSTRUCT 4" CONCRETE PER C.O.A. STD. DWG 2430.
 - (35) CONSTRUCT 6" STANDARD CURB & GUTTER PER C.O.A. STD. DWG. 2415A.
 - (36) CONSTRUCT 6" DEPRESSED CURB & GUTTER PER C.O.A. STD. DWG. 2415A.
 - (37) CONSTRUCT 6" HEADER CURB PER C.O.A. STD. DWG. 2415C.
 - (38) COLD PLANE AND OVERLAY.
 - (39) PAINT 12" CROSS WALK, 4" DIAGONAL HATCH PATTERN AT 36" O.C. MAX SPACING.
 - (40) PAINT ACCESSIBLE STALL PER DETAIL D SHEET C-501.
 - (41) INSTALL ACCESSIBLE SIGN PER DETAIL E SHEET C-501.
 - (42) INSTALL DETECTABLE WARNING PER C.O.A. STD. DWG. 2446 AND DETAIL G SHEET C-501.
 - (43) PAINT PARKING PER DETAIL A SHEET C-201.
 - (44) REINSTALL SALVAGED LIGHT POLE PER SEPARATE PLAN. FOUNDATION PER DETAIL H SHEET C5.0.



		CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ENGINEERING DIVISION	
		GRADING PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO.	D-17-Z
		CITY PROJECT NO.	XXXXXX
		SHEET NO.	C-201

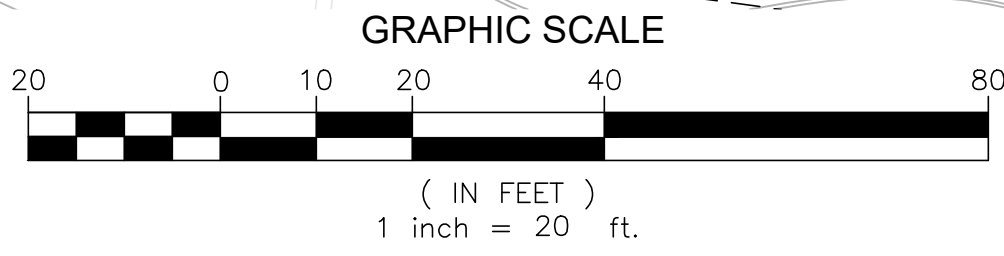
PLOT SET - 6/17/2022

U:\17702070 (Drawing) Sheet - Plan\200015C-100A1.DWG
2022/06/17 2:46 PM By: hennel, LVDS



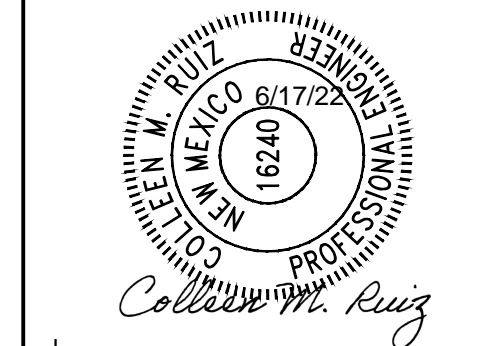
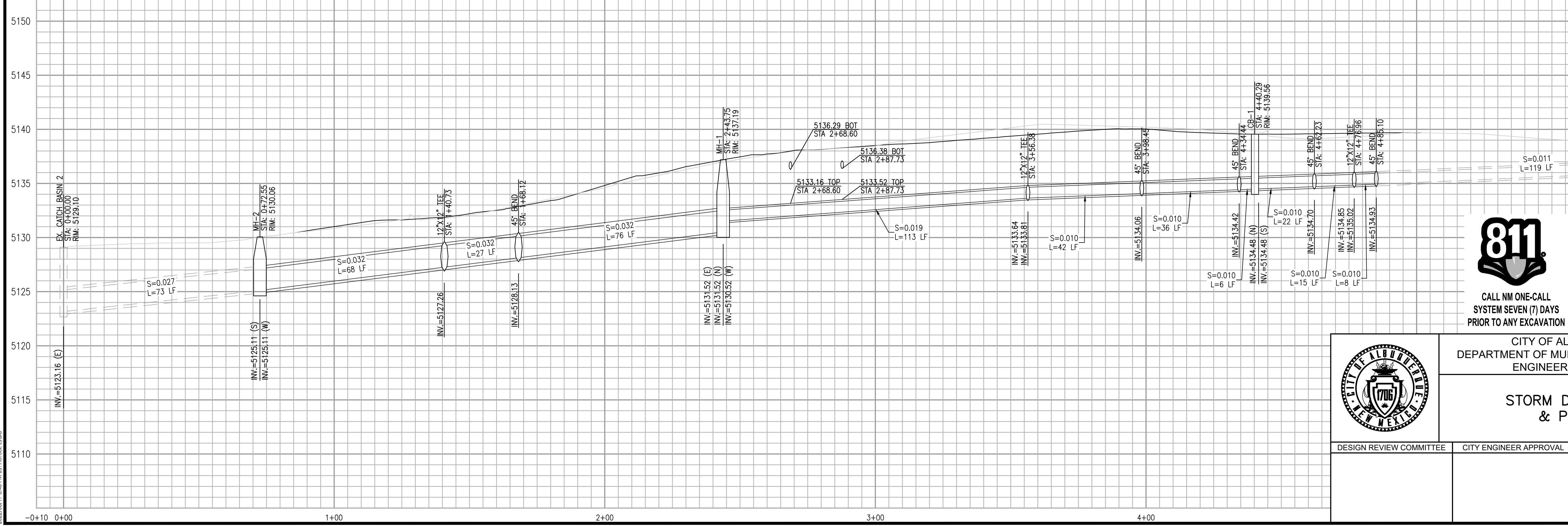
City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 8/17/22
 BY: *Rebecca Zumbado*
 HydroTeam# D17D003V1

THE APPROVAL OF THESE PLANS DOES NOT CONSTITUTE AN ENDORSEMENT OR GUARANTEE OF THE ACCURACY OF ANY DATA OR INFORMATION PROVIDED HEREON, AND SHALL NOT BE USED IN CONNECTION WITH ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN AUTHORIZATION OF THE CITY OF ALBUQUERQUE.



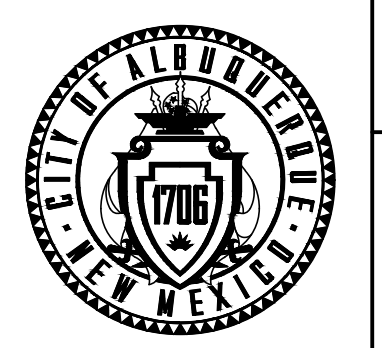
- DRAINAGE CONSTRUCTION NOTES**
- 50 - INSTALL 12" PVC PIPE.
 - 51 - INSTALL 24" PVC PIPE.
 - 52 - INSTALL 24" NYLOPLAST STORM DRAIN INLET WITH ADA COMPLIANT AND TRAFFIC RATED GRATE.
 - 53 - INSTALL 36" NYLOPLAST STORM DRAIN INLET WITH TRAFFIC RATED SOLID GRATE.
 - 54 - INSTALL 45° BEND.
 - 55 - INSTALL 12X8 TEE.
 - 56 - CONNECT TO EXISTING CATCH BASIN AT ELEVATIONS SHOWN. CONTRACTOR MUST VERIFY EXISTING RIM AND INVERT ELEVATIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
 - 57 - INSTALL 8" PVC PIPE.
 - 58 - INSTALL 36" NYLOPLAST STORM DRAIN INLET WITH 2'X2' CURB INLET GRATE.
 - 59 - INSTALL 12" NYLOPLAST INLINE DRAIN WITH DOME INLET OR APPROVED EQUAL.
 - 60 - INSTALL 8'X8 TEE.

NOTE:
 ** 1. CONTRACTOR SHALL VERIFY HORIZONTAL, VERTICAL, AND MATERIAL TYPE OF EXISTING UTILITIES AT POINT OF CONNECTION TWO WEEKS PRIOR TO CONSTRUCTION. AN AUTOCAD FILE SHOWING THIS INFORMATION SHALL BE PROVIDED TO THE ENGINEER.



NO.	DATE	DESCRIPTION	CONTRACTOR	BY
		AS-BUILT INFORMATION		
		WORK STAKED BY:		
		INSPECTOR'S ACCEPTANCE BY:		
		FIELD VERIFICATION BY:		
		DRAWINGS CORRECTED BY:		

DESIGNED BY: AV
 DRAWN BY: AV
 CHECKED BY: AV
 DATE: 6/17/2022



CITY OF ALBUQUERQUE
 DEPARTMENT OF MUNICIPAL DEVELOPMENT
 ENGINEERING DIVISION

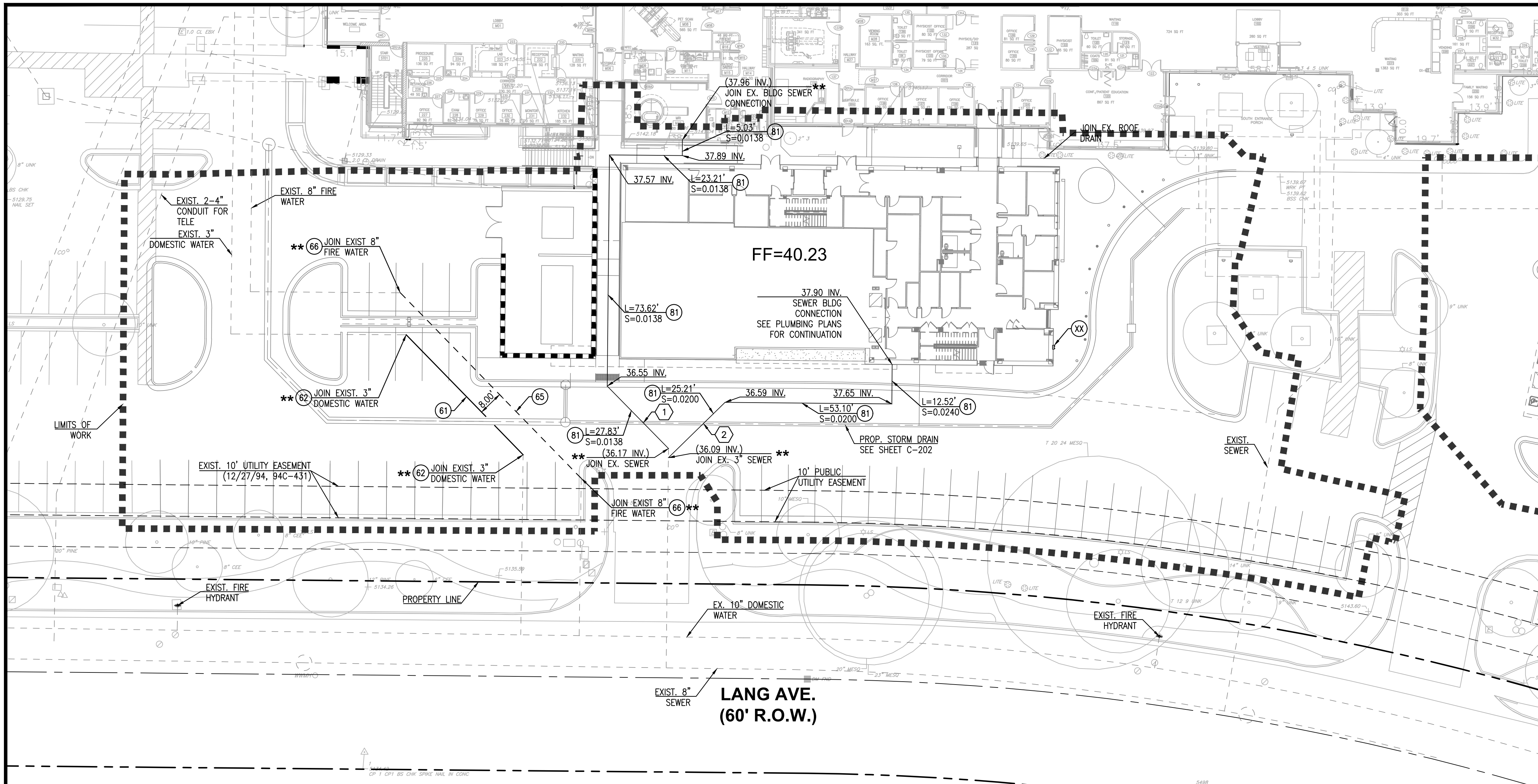
**STORM DRAIN PLAN
 & PROFILE**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO. D-17-Z
		CITY PROJECT NO. XXXXXX
		SHEET NO. C-202

Stantec
 3133 West Frye Road, Suite 300
 Chandler, AZ 85226
 www.stantec.com

The Contractor shall be responsible for all dimensions. DO NOT scale the drawing. Any errors or omissions shall be reported to Stantec without delay. The design and drawings are the property of Stantec. No part of this drawing may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without permission in writing from Stantec.

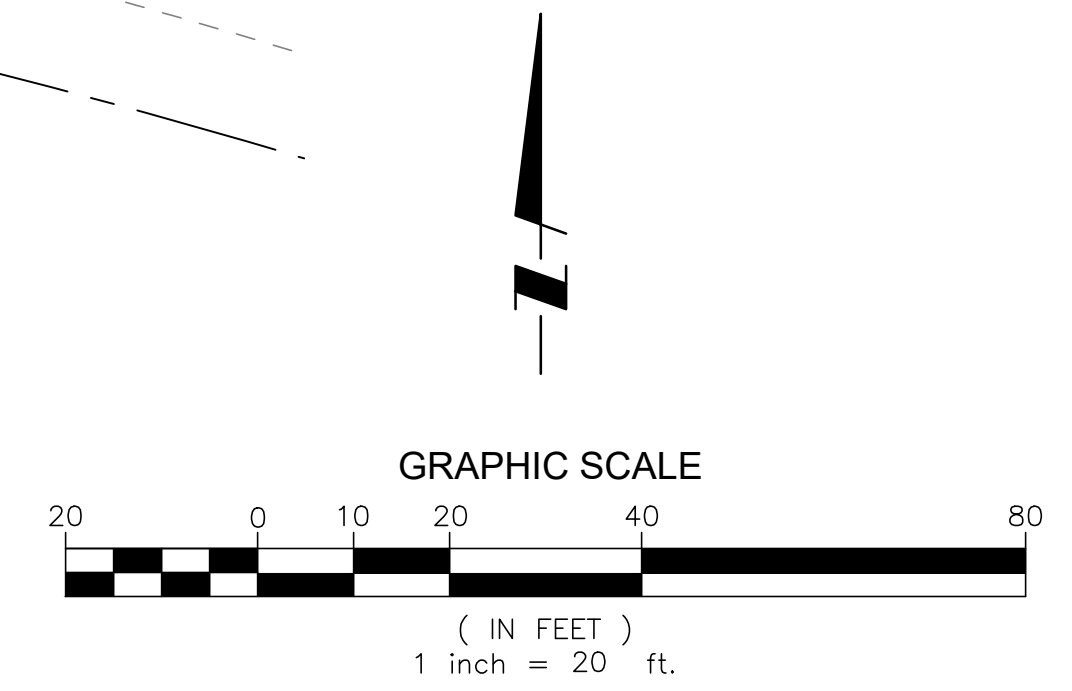
PLOT SET - 6/17/2022



CROSSING TABLE				
#	F.S./F.G.	BOTTOM PIPE	TOP PIPE	DIFF.
①	37.99 FS	33.16 TOP 12" SD	36.29 BOT 3" SS	3.13'
②	38.29 FS	33.52 TOP 12" SD	36.38 BOT 3" SS	2.86'

- DOMESTIC WATER CONSTRUCTION NOTES**
- ①— CONSTRUCT 3" DOMESTIC WATER LINE PER C.O.A. STD. DWG. 2315.
 - ②— INSTALL 3" 45° BEND WITH RESTRAINED JOINTS.
 - ③— INSTALL 8" FIRE LINE PER C.O.A. STD. DWG. 2315.
- SEWER CONSTRUCTION NOTES**
- ①— CONSTRUCT 3" PVC SCH 40 PER C.O.A. STD. SPECS. SECTION 910.

- NOTE:**
- IF ANY EXISTING UTILITY IS EXPOSED DURING CONSTRUCTION THE CONTRACTOR SHALL SURVEY THE UTILITY AND PROVIDE THE ENGINEER WITH AN AUTOCAD FILE OF THE HORIZONTAL, VERTICAL, AND MATERIAL TYPE. THIS FILE WILL ALSO BE PROVIDED TO THE OWNER.
 - CONTRACTOR SHALL VERIFY HORIZONTAL, VERTICAL, AND MATERIAL TYPE OF EXISTING UTILITIES AT POINT OF CONNECTION TWO WEEKS PRIOR TO CONSTRUCTION. AN AUTOCAD FILE SHOWING THIS INFORMATION SHALL BE PROVIDED TO THE ENGINEER.
 - ALL UTILITIES BEING CONSTRUCTED WILL BE SURVEYED FOR HORIZONTAL AND VERTICAL LOCATION PRIOR TO BACKFILL. AN AUTOCAD FILE OF THIS AS-BUILT INFORMATION WILL BE PROVIDED TO THE ENGINEER.



CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION

Stantec
3133 West Frye Road, Suite 300
Chandler, AZ 85226
www.stantec.com

The Contractor and its staff are to be responsible for all dimensions. DO NOT scale the drawing. Any errors or omissions shall be reported to Stantec without delay. The design and fabrication of the drawings shall be the responsibility of the Contractor. The Contractor shall be responsible for any and all errors not corrected by Stantec prior to construction.

BENCH MARKS

DESIGNED BY: AV	DATE
DRAWN BY: AV	DATE
CHECKED BY:	DATE
DATE: 6/17/2022	

CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

SEWER AND WATER PLAN

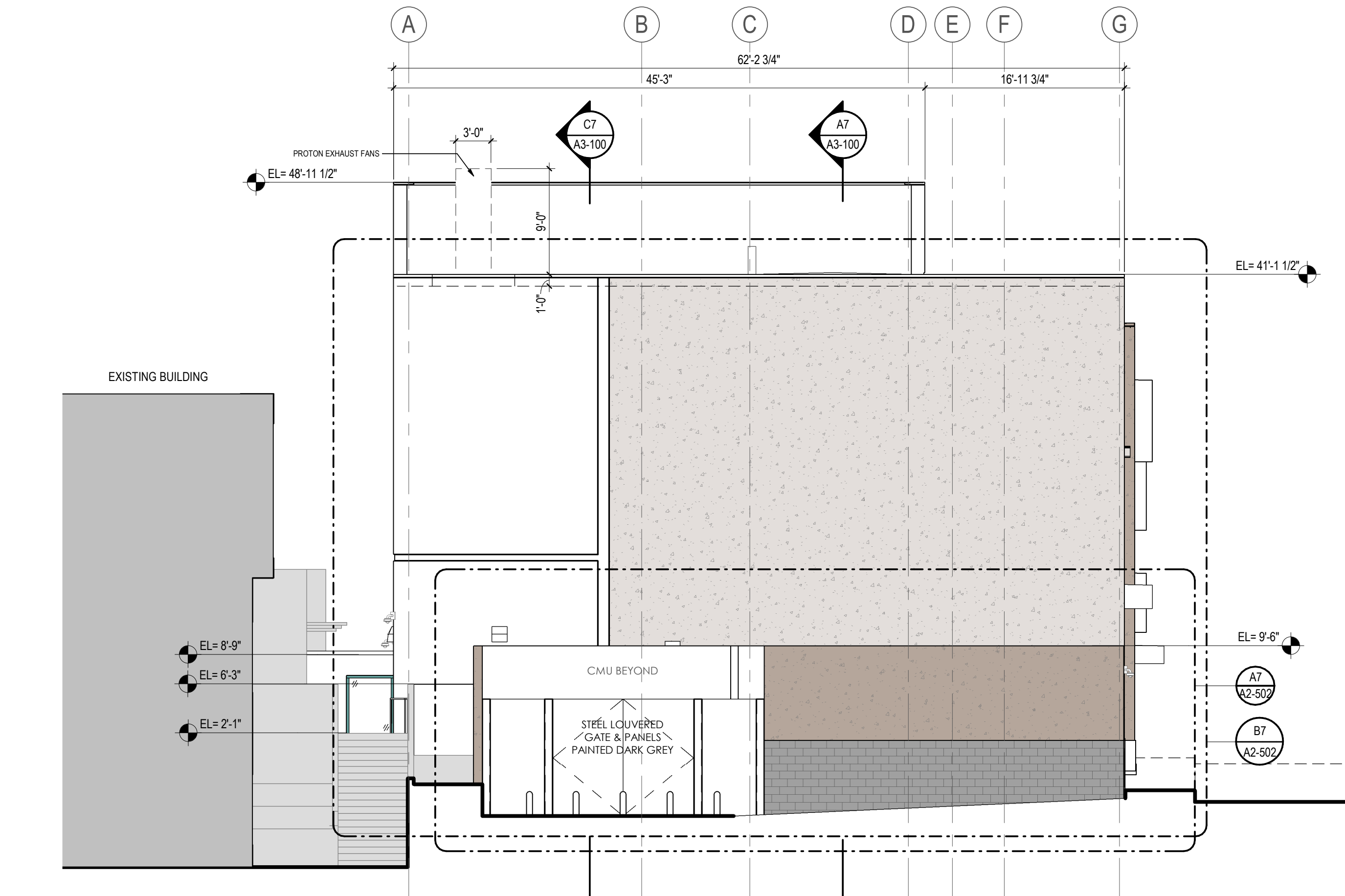
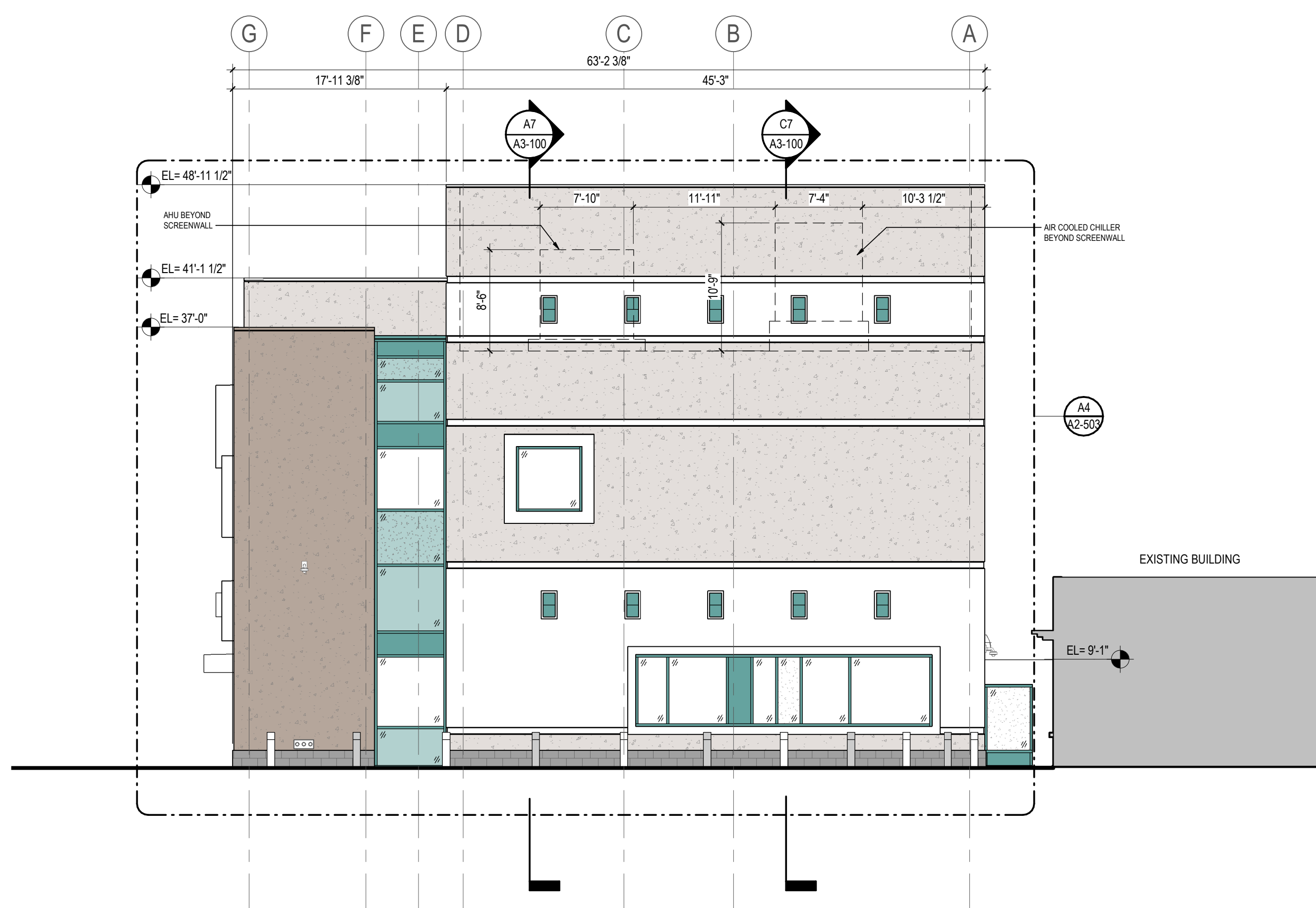
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO. D-17-Z
		CITY PROJECT NO. XXXXXX
		SHEET NO. C-401

U:\17702020 (Drawing)\Sheet - Rev\2020\17702020\C-100801.dwg
 2022/06/17 2:47 PM by: hennel, LVDS

PLOT SET - 6/17/2022

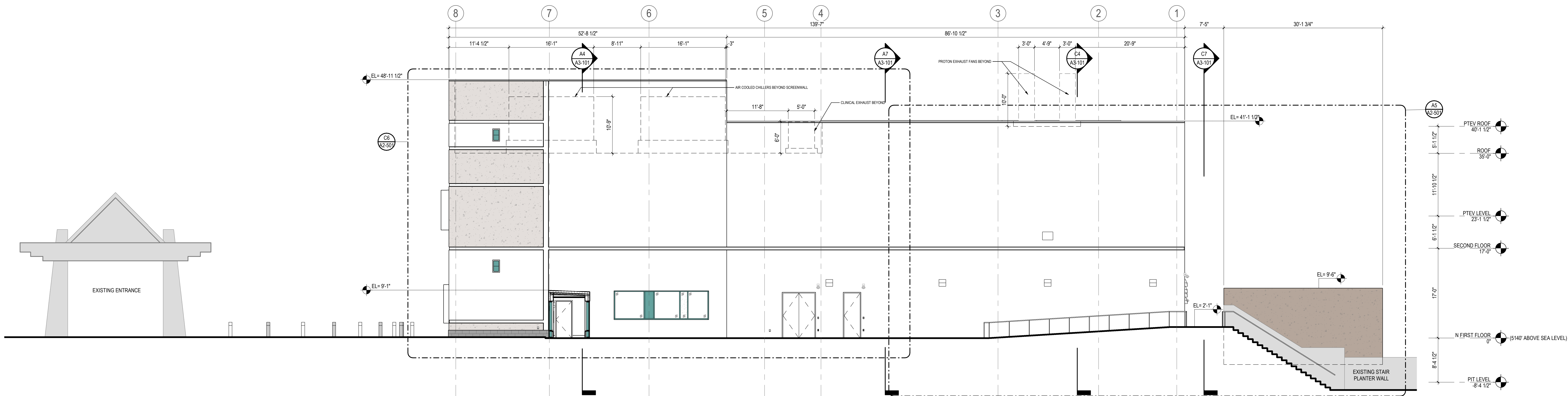
BUILDING ELEVATION LEGEND

- EXTERIOR PLASTER**
 - PS1 LIGHT PLASTER - SMOOTH PATTERN
 - PS2 LIGHT PLASTER - COARSE PATTERN
 - PS3 DARK PLASTER - SMOOTH PATTERN
 - CMU**
 - M1 CHARCOAL COLOR CMU
 - GLAZING**
 - G1 CLEAR GLASS
 - G2 CLEAR GLASS W/ SHADOWBOX
 - G2A TEMPERED, CLEAR GLASS W/ SHADOWBOX
 - G3 FROSTED GLASS
 - G4 TEMPERED, FROSTED GLASS W/ SHADOWBOX
 - METAL PANEL**
 - MP1 GLAZED IN METAL PANEL / SHADOWBOX
- COLOR TO MATCH EXISTING TURQUOISE COLOR
 - MP2 COLOR TO MATCH PS3
 - EXTERIOR PAINT**
 - PE1 PAINT TO MATCH PS1
 - PE3 PAINT TO MATCH PS3
 - PE4 PAINT TO MATCH MP1
- TYP. MULLION FRAME, ALUMINUM
 - PE5
- * DOORS AND DOOR FRAMES HOLLOW METAL PAINTED TO MATCH ADJACENT FINISH COLOR

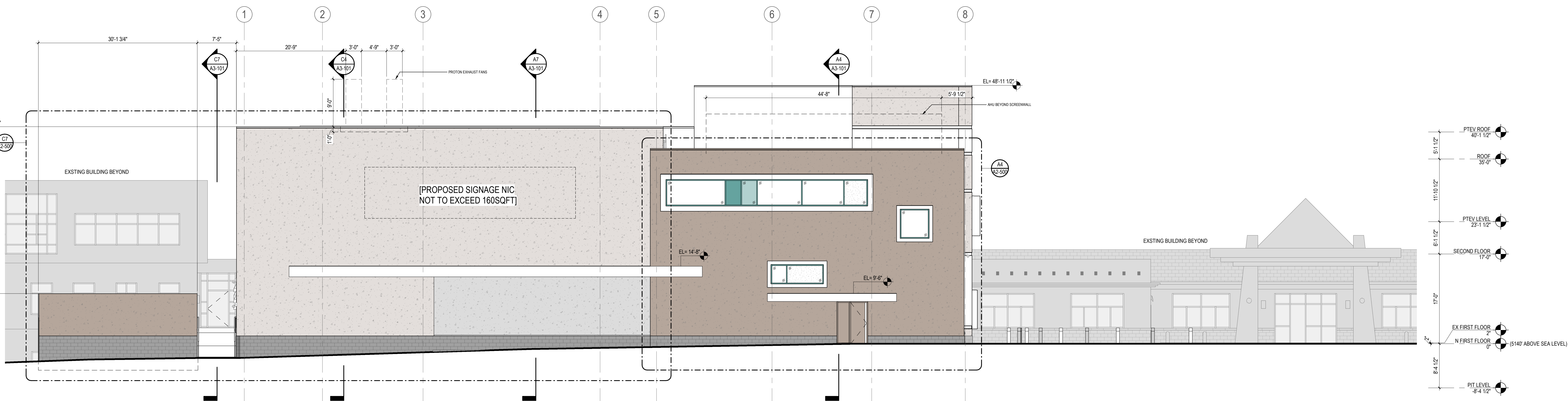


E7 EAST ELEVATION
1/8" = 1'-0"

E4 WEST ELEVATION
1/8" = 1'-0"



C7 NORTH ELEVATION
1/8" = 1'-0"



A7 SOUTH ELEVATION
1/8" = 1'-0"

NO.	DESCRIPTION	DATE
1	MAJOR AMENDMENT TO SITE PLAN - DRB	07/29/2022
2	FOR PERMIT	06/13/2022
3	DESIGN DEVELOPMENT	03/23/2022
4	[JOURNAL CENTER SITE PLAN REVIEW]	02/23/2022
5	SCHEMATIC DESIGN	01/28/2022
6	Issue/Revision	MM/DD/YYYY

Permit/Seal



Client/Project Logo

Client/Project
**NEW MEXICO PROTON
ADVANCED CANCER
THERAPY (NMPACT)**

NEW MEXICO CANCER CENTER
4901 LANG AVE. NE
ALBUQUERQUE, NM 87109
Title
BUILDING ELEVATIONS

Project No. 177920075	Scale 1/8" = 1'-0"
Revision	Drawing No. A2-100

