

**CURVE TABLE**

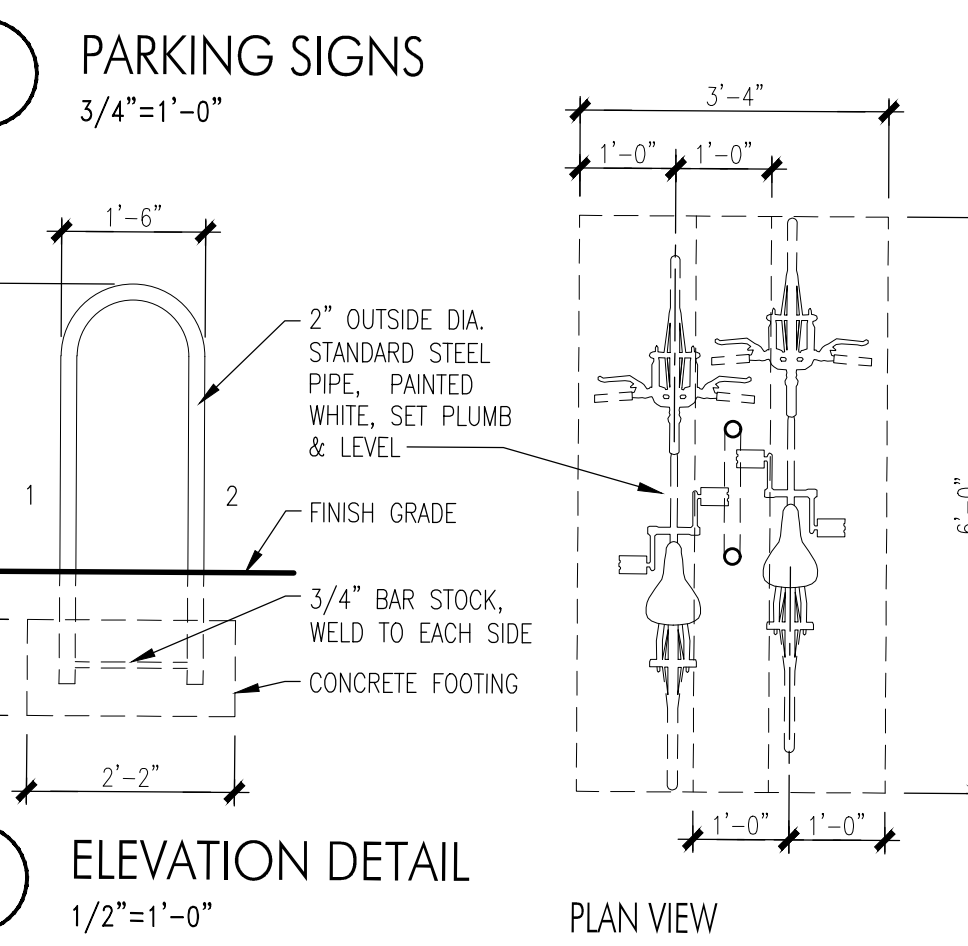
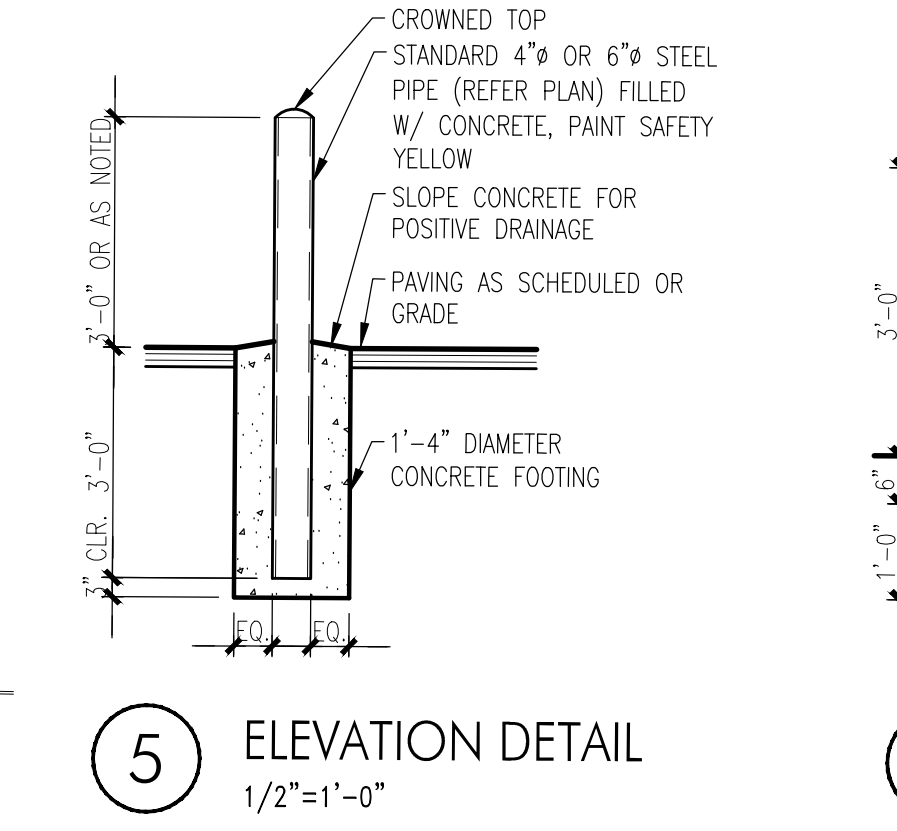
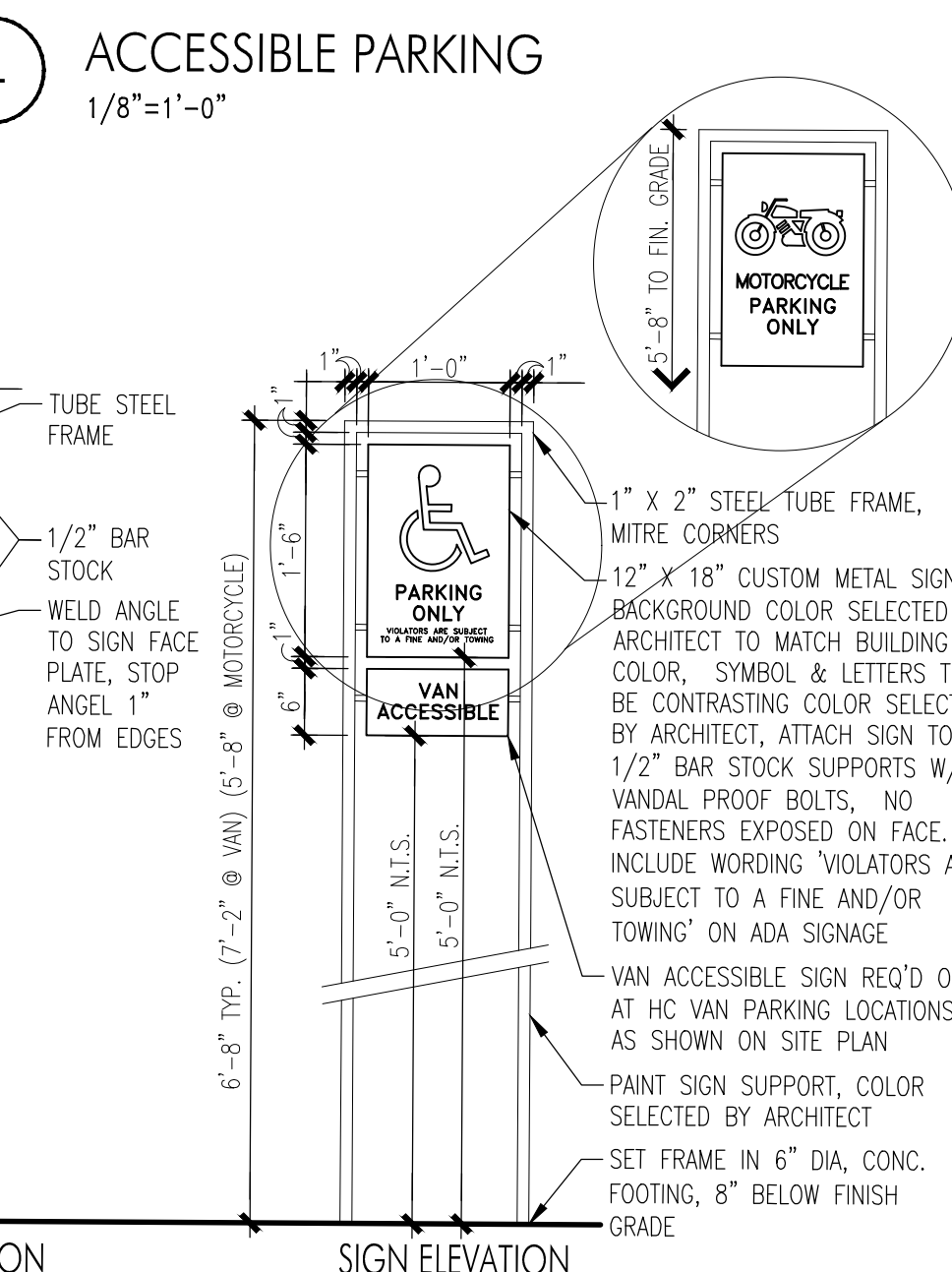
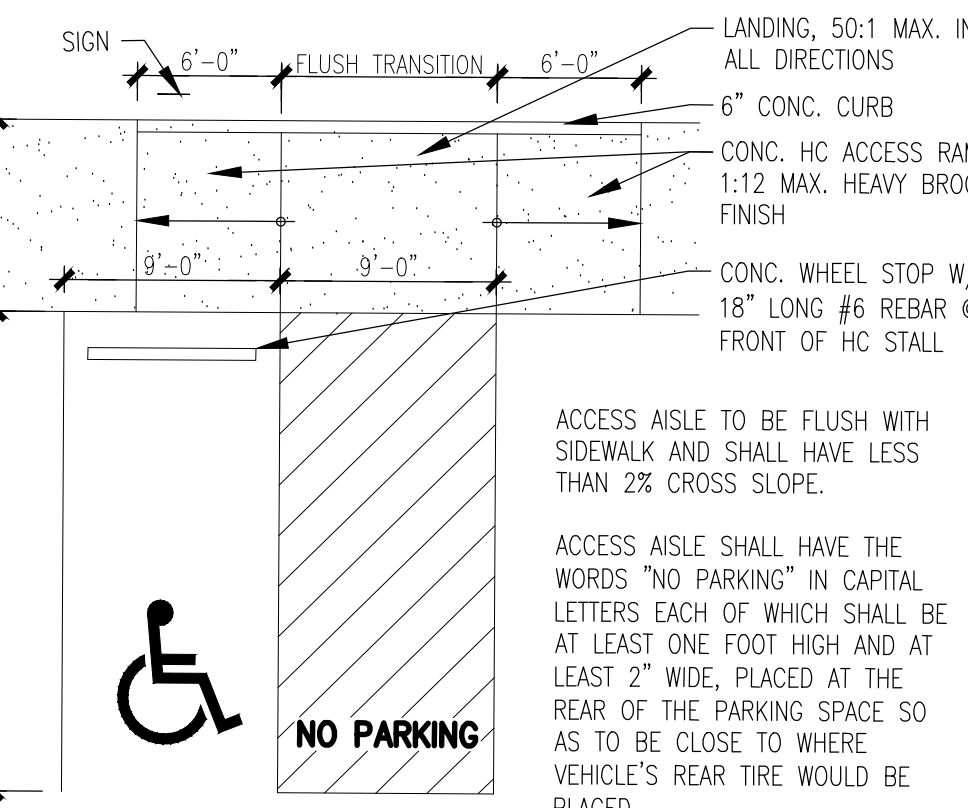
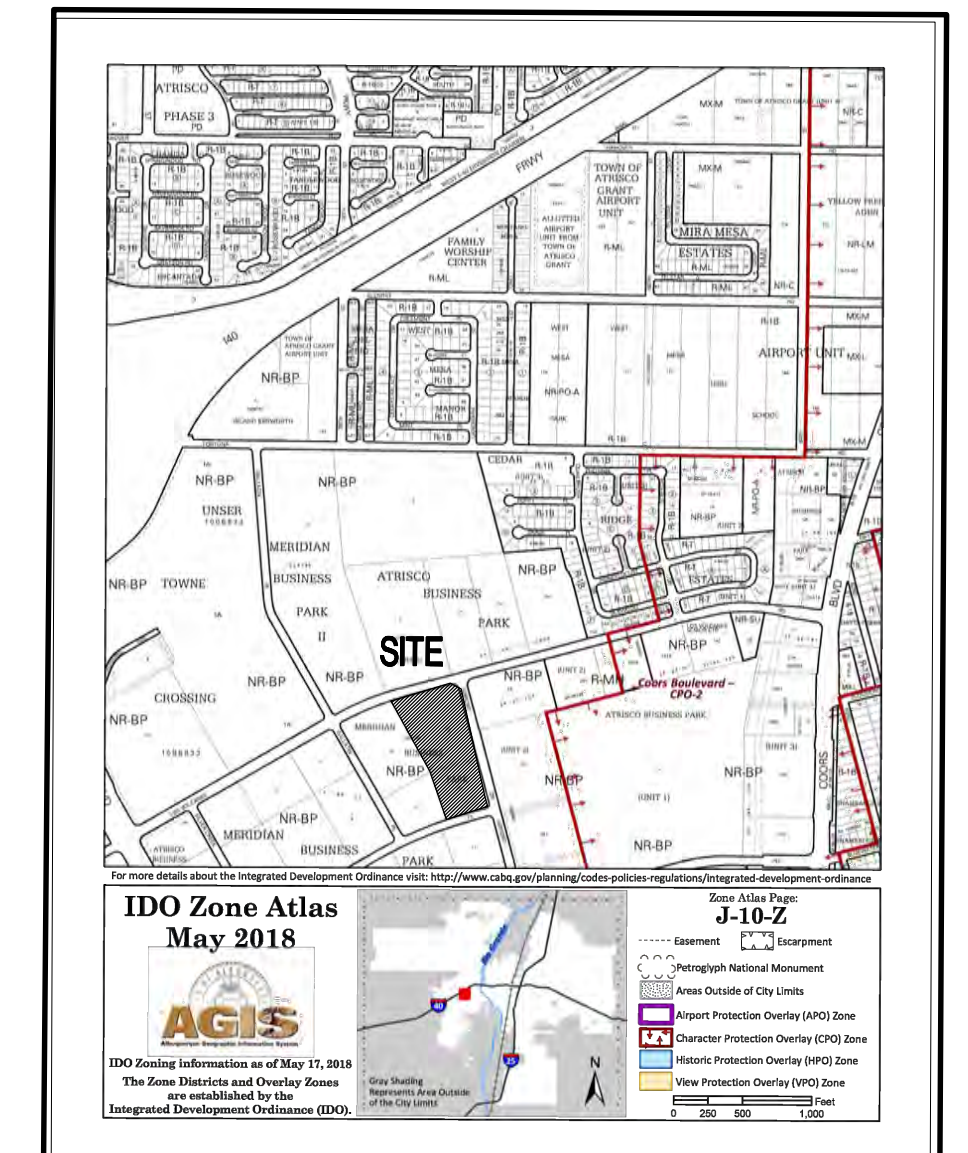
NUMBER	LENGTH	CHORD RADIUS	DELTA	CHORD LENGTH	CHORD DIRECTION
C1	213.94'	3063.83'	4°00'03"	213.90'	S 72°57'53" W
C2	47.12'	30.00'	89°59'37"	213.90'	S 29°58'01" W
C3	75.40'	48.00'	90°00'11"	213.90'	S 60°01'53" E
C4	145.45'	2257.83'	3°41'27"	213.90'	N 72°56'11" E

**LINE TABLE**

NUMBER	DIRECTION	LENGTH
L1	N 15°02'53" W	27.96'
L2	S 74°57'50" W	84.01'

- GENERAL NOTES**
- ALL SITE LIGHTING SHALL COMPLY WITH IDO SECTION 14-16-5-8. OUTDOOR AND SITE LIGHTING.
  - PLACEMENT OF FIXTURES & STANDARDS SHALL CONFORM TO STATE & LOCAL SAFETY & ILLUMINATION REQUIREMENTS.
  - ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS WITH NO LIGHT, LENS OR BULB PROTRUDING BELOW THE BOTTOM OF THE CUT-OFF FIXTURE IN ORDER THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
  - ROOF TOP AND GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM THE PUBLIC VIEW BY MATERIALS OF THE SAME NATURE AS THE BUILDING'S BASIC MATERIALS. THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET OR SCREENED FROM VIEW FROM PUBLIC RIGHTS-OF-WAY AND THE SITE ACCESS EASEMENT.
  - SITE HANDICAP RAMPS SHALL BE BUILT BY COA STANDARD DRAWING #2441.
  - ALL ADA CURB RAMPS WITHIN THE PUBLIC ROW SHALL BE UPDATED TO CURRENT STANDARDS AND HAVE TRUNCATED DOMES INSTALLED.
  - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

- KEYED NOTES**
- CONCRETE CURB, REFER DETAIL 3/SDP-2
  - BICYCLE PARKING STALLS W/ 1' CLEAR ZONE AROUND STALL, REFER DETAILS 2/SDP-1
  - HC PARKING, RAMP & SIGN, REFER DETAILS 3&4/SDP-1
  - 4'x20' MOTORCYCLE PARKING SPACE & SIGN, REFER DETAILS 4/SDP-1, PARKING SPACE SHALL HAVE THE LETTERS "MC" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST 2" WIDE PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE VEHICLES REAR TIRE WOULD BE PLACED
  - 2" ASPHALT PAVING OVER 4" BASE COURSE
  - DOCKS, REFER ELEVATIONS
  - SIDEWALK & RAMPS PER COA STD DWG 2430 & 2411
  - TEMP. EXTRUDED CURB, REFER DETAIL 5/SDP-2
  - BEGINNING POINT OF TEMP. EXTRUDED CURB
  - NEW ENTRANCE DRIVE PER COA STD DWG 2426
  - NEW REFUSE ENCLOSURE FOR COMPACTOR AND ONE RECYCLE BIN, REFER DETAIL 2/SDP-2
  - BOLLARDS, REFER DETAILS 5/SDP-1
  - WIDENED AREA OF SIDEWALK FOR HC PASSING, REFER DETAIL 6/SDP-2



PROJECT NO. PR-2022-007623  
APPLICATION NO. SI-2022-02067-SITE PLAN

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE EPC, DATED \_\_\_\_\_ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO  
IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.  
DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT:

**Ernest Aronjo**  
TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE \_\_\_\_\_

**Cheryl Samplott**  
PARKS & RECREATION DEPARTMENT DATE \_\_\_\_\_

**Jeffrey Chan**  
CITY ENGINEER/HYDROLOGY DATE \_\_\_\_\_

**Jeff Chan**  
CODE ENFORCEMENT DATE \_\_\_\_\_

ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE \_\_\_\_\_

**Wally**  
CHAIRPERSON, ALBUQUERQUE PLANNING DEPARTMENT DATE \_\_\_\_\_

ENVIRONMENTAL HEALTH, IF NECESSARY DATE \_\_\_\_\_

**PROJECT INFORMATION**

PROJECT: NEW OFFICE/WAREHOUSE  
LOCATION: 541 AIRPORT DRIVE, NW ALBUQUERQUE, NEW MEXICO

OWNER: BRUNACINI BUILDERS 1 OPPORTUNITY LAND, LLC  
ARCHITECT: TATE FISHBURN ARCHITECT

LEGAL DESCRIPTION: LOT NUMBERED SEVEN-B-ONE (7-B-1) MERIDIAN BUSINESS PARK.

CURRENT ZONING CLASSIFICATION: NR-BP  
NET SITE AREA: LOT 7-B - 242,754 SF 5.5729 ACRES  
LOT 10 - 122,863 SF 2.8206 ACRES

BUILDING AREA: LOT 7-B OFFICE 21,228 GSF  
WAREHOUSE 63,685 GSF  
84,913 GSF

FAR: 34.98

PARKING ANALYSIS:  
OFF-STREET PARKING  
OFFICE 21,228 GSF 3.5:1000 = 75 SPACES  
WAREHOUSE 63,685 GSF NO REQUIREMENT  
REQUIRED 75 SPACES  
TOTAL SPACES PROVIDED 90 SPACES

HANDICAP PARKING (51-100 PRVD) = REQUIRED 4 SPACES TOTAL (1 VAN) PROVIDED 4 SPACES TOTAL (1 VAN)

MOTORCYCLE PARKING (51-100 PRVD) = REQUIRED 3 SPACES PROVIDED 3 SPACES

BICYCLE PARKING (10% ROD PARKING SPACES) = REQUIRED 8 SPACES PROVIDED 8 SPACES

- LEGEND**
- PROPERTY LINE
  - EASEMENT LINE
  - LANDSCAPED AREA
  - HANDICAP PARKING PAVEMENT MARKING
  - FIRE HYDRANT
  - 25' WHITE PARKING LOT POLE W/ (3) 100 WATT LED FIXTURE HEADS
  - SITE DISTANCE AND SITE TRIANGLE BASED ON COA DPM 7-5(1)(5)(iii) and 7-5(1)(5)(iv). LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SITE TRIANGLE

**ABCWUA NOTE:**  
COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO DETERMINE THE APPROPRIATE CONTAINMENT DEVICE IS INSTALLED FOR THE PROPOSED NON-RESIDENTIAL DEVELOPMENT. CONTACT AT 505-289-3454

**NOTE:**  
THIS SITE PLAN MEETS THE REQUIREMENTS AND DESIGN STANDARDS OF THE ATRISCO BUSINESS PARK MASTER PLAN (A PRIOR APPROVAL). WHERE THE MASTER PLAN IS SILENT, THIS SITE PLAN MEETS THE IDO.

**BRUNACINI**  
DEVELOPMENT

**TATE FISHBURN**  
REGISTERED ARCHITECT

**ARCHITECT SEAL**

**NEW STATE OF NEW MEXICO**  
TATE FISHBURN  
REGISTERED ARCHITECT  
2022-2022

**ENGINEER SEAL**

**NEW OFFICE/WAREHOUSE FOR BRUNACINI DEVELOPMENT FOR 541 AIRPORT DRIVE, NW ALBUQUERQUE, NEW MEXICO**

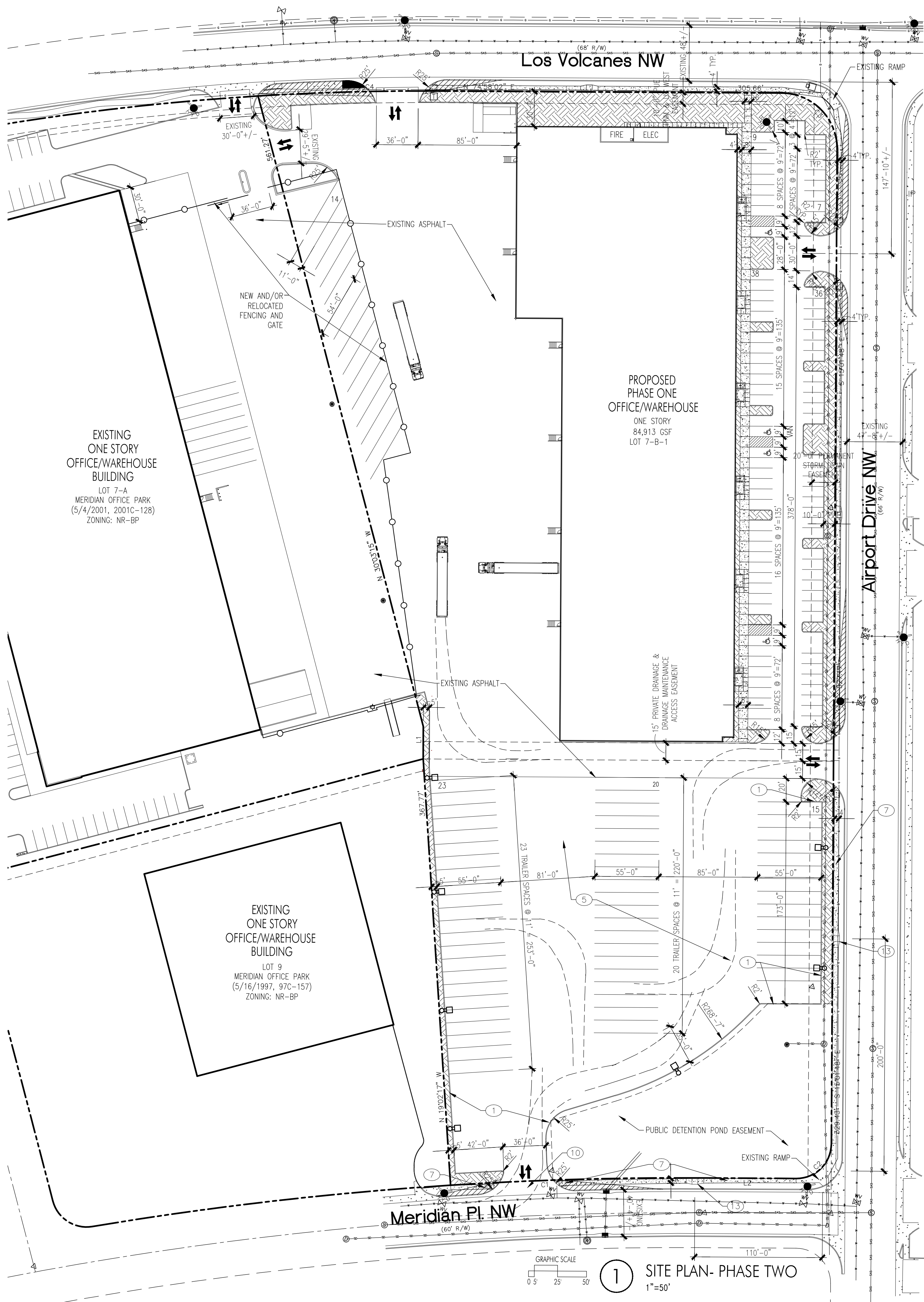
**REVISIONS**

DATE: SEPTEMBER 22, 2022

NORTH SCALE: 1"=50'-0" OR AS NOTED

DRAWING NAME: SITE DEVELOPMENT PLAN PHASE ONE

SHEET NUMBER: SDP-1



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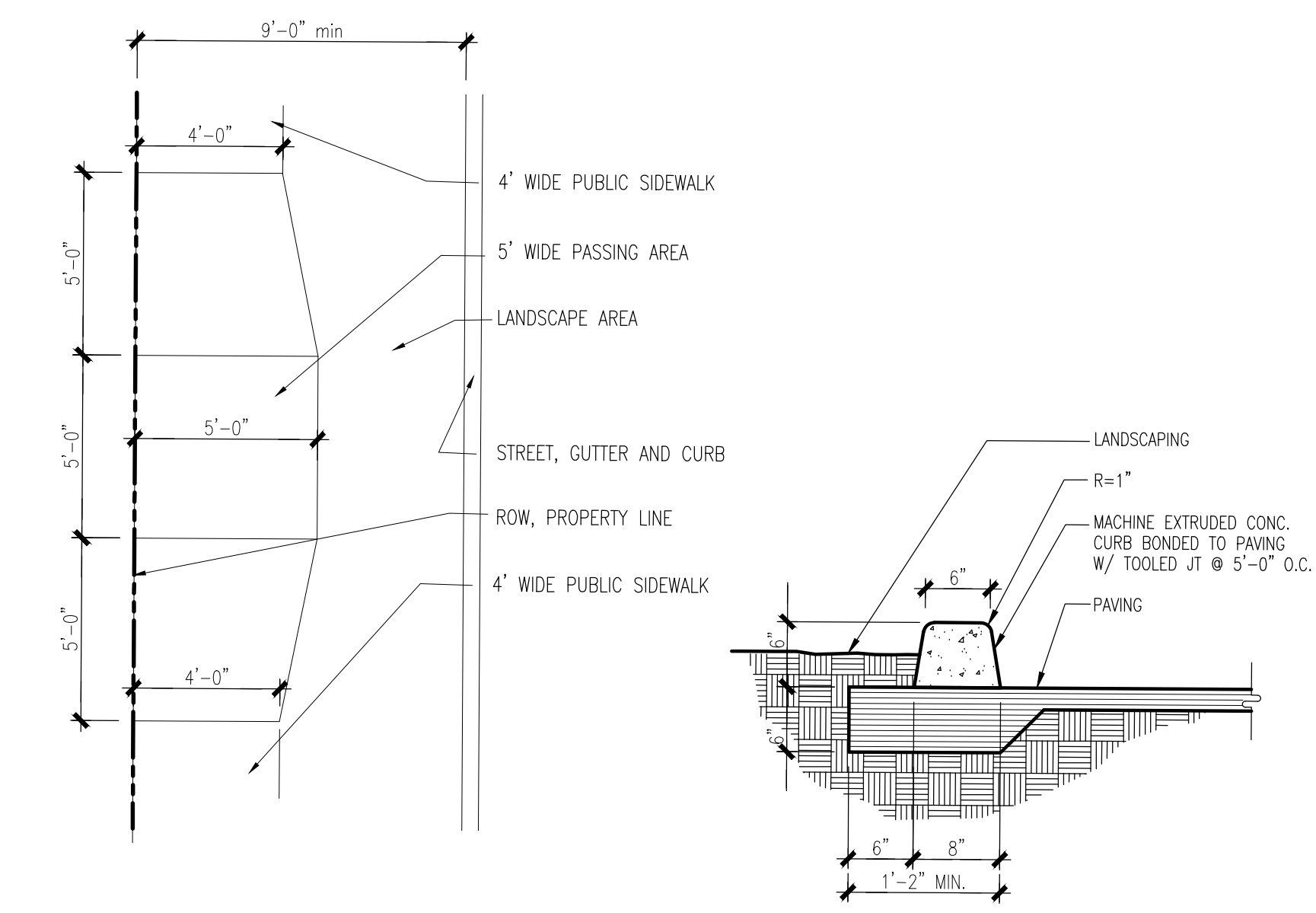
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S1

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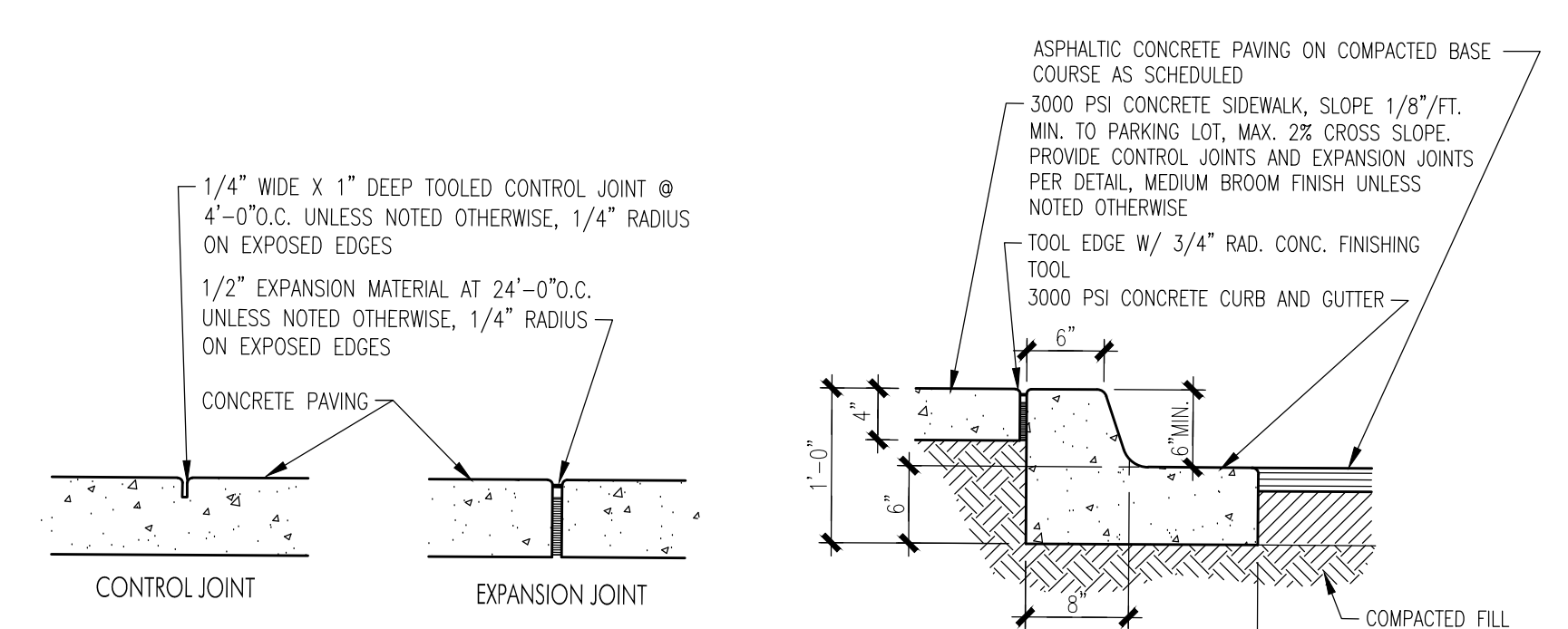
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  - NOT USED
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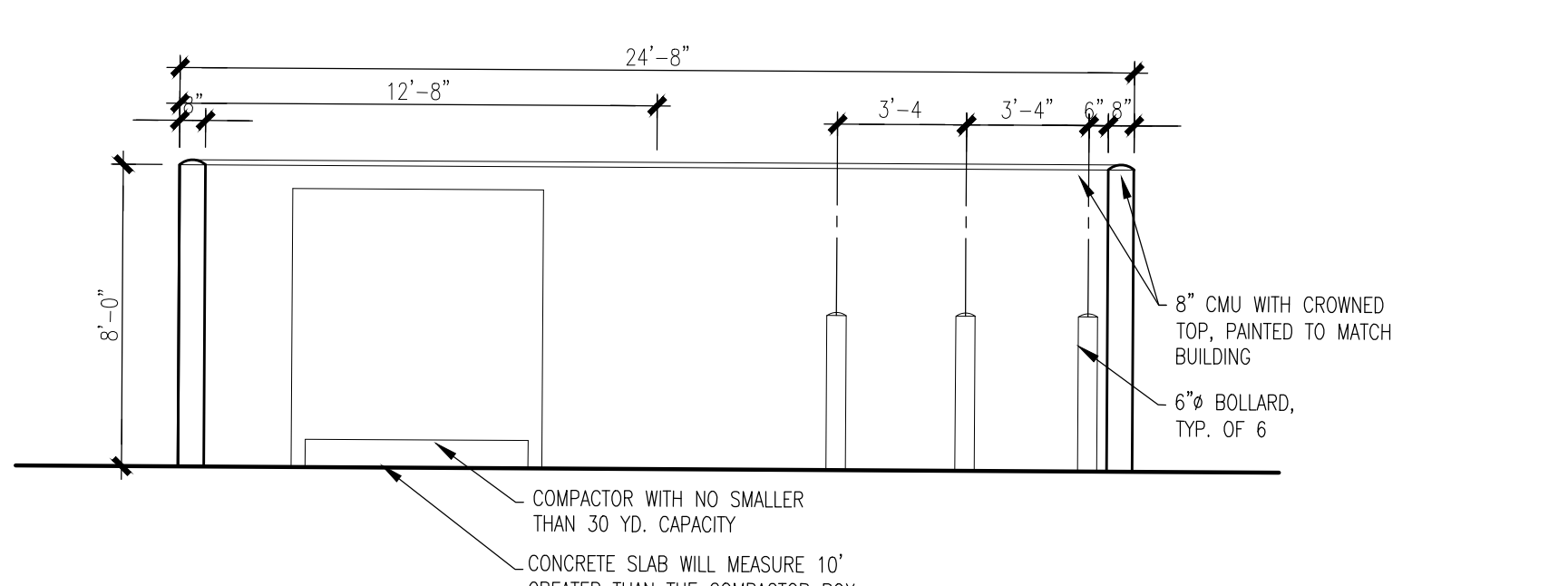
**6 WIDENED SIDEWALK DETAIL**  
1/4"=1'-0"

**5 EXTRUDED CURB DETAIL**  
1"=1'-0"



**4 JOINT DETAIL**  
1 1/2"=1'-0"

**3 CURB/SIDEWALK DETAIL**  
1"=1'-0"



**2 REFUSE SCREEN WALL ELEVATION**  
1/4"=1'-0"

**BRUNACINI**  
 DEVELOPMENT CO.  
 ARCHITECT SEAL  
 TATE FISHBURN  
 REGISTERED ARCHITECT  
 ARCHITECT SEAL  
 TATE FISHBURN  
 REGISTERED ARCHITECT  
 ENGINEER SEAL  
 TATE FISHBURN  
 REGISTERED ARCHITECT

PROJECT  
**NEW OFFICE/WAREHOUSE  
 FOR BRUNACINI DEVELOPMENT  
 541 AIRPORT DRIVE, NW  
 ALBUQUERQUE, NEW MEXICO**

REVISIONS  
 DATE: SEPTEMBER 22, 2022  
 NORTH SCALE: 1"=50'-0" OR AS NOTED  
 DRAWING NAME: SITE DEVELOPMENT PLAN PHASE TWO  
 SHEET NUMBER: SDP-2

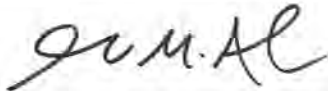
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# ADMINISTRATIVE AMENDMENT

**FILE #:** SI-2022-02077

**PROJECT #:** PR-2022-007623

Alternative Landscape Plan in response to existing easements that prevent street  
tree planting; Plan includes (6) different tree types distributed throughout the site,  
totaling (70) trees.

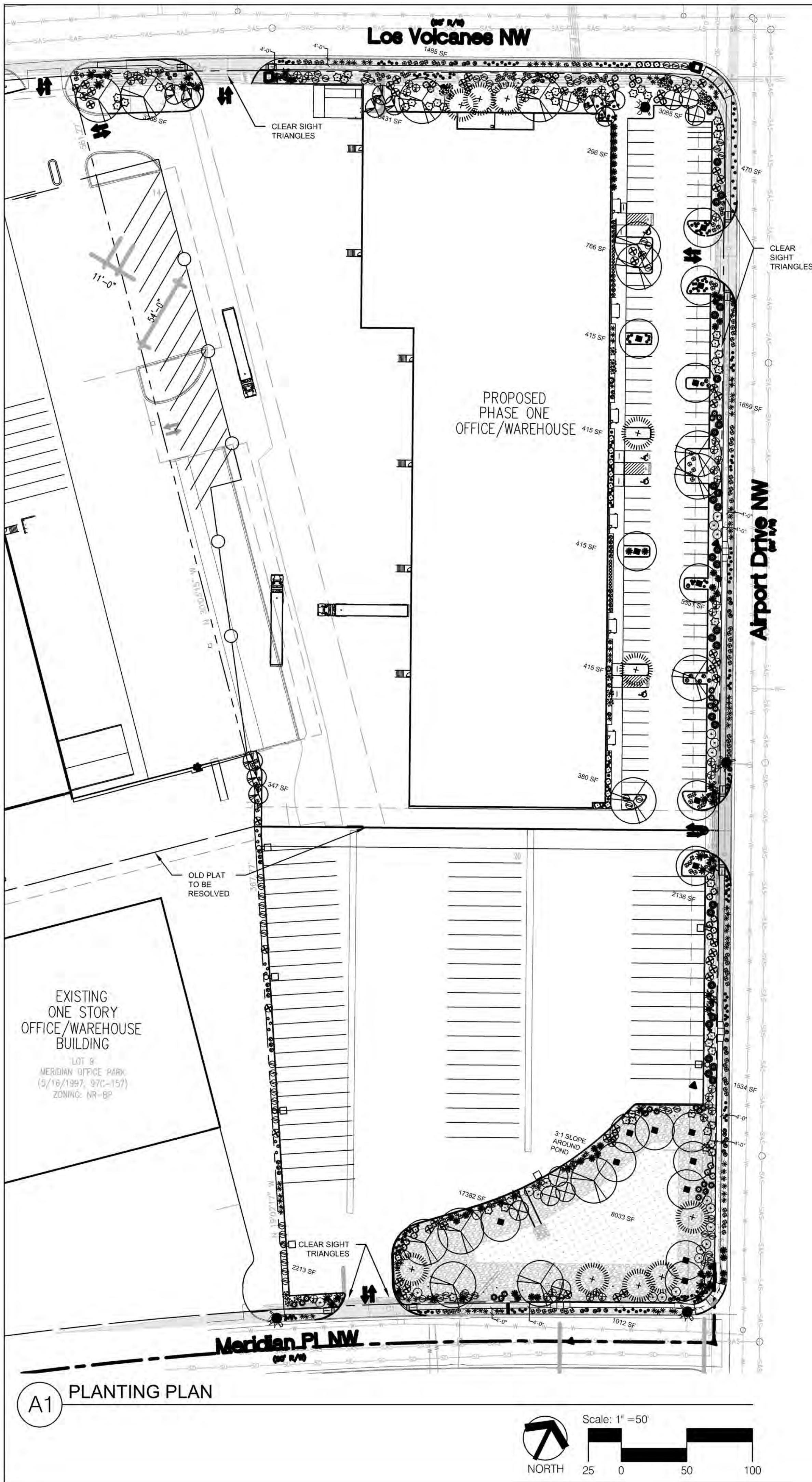


Digitally signed by James M. Aranda  
DN: cn=James M. Aranda, o=City of Albuquerque,  
ou=Planning Department, email=jmaranda@cabq.gov, c=US  
Date: 2022.12.20 15:11:43 -07'00'

12/20/2022

**APPROVED BY**

**DATE**



**PLANT LEGEND**

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	MATURE SIZE
<b>TREES</b>				
10		FORESTIERA NEOMEXICANA NEW MEXICO OLIVE (M)	2.5" B&B	15' HT. X 12' SPR.
16		GLEDTISIA TRIACANTHOS HONEY LOCUST (M)	2.5" B&B	40' HT. X 35' SPR.
10		PINUS NIGRA AUSTRIAN PINE (M)	6" - 8"	35' HT. X 25' SPR.
17		PISTACIA CHINENSIS CHINESE PISTACHE (M+)	2.5" B&B	40' HT. X 30' SPR.
12		MALUS 'SPRING SNOW' SPRING SNOW CRAB APPLE (M)	15 GAL.	20' HT. X 15' SPR.
7		VITEX AGNUS-CASTUS CHASTE TREE (M)	15 GAL.	20' HT. X 15' SPR.
<b>SHRUBS &amp; GROUNDCOVERS</b>				
43		BERBERIS JULIANAE WINTERGREEN BARBERRY (M)	5-GAL.	5' HT. X 5' SPR.
50		BUDDLEIA DAVIDII BUTTERFLY BUSH (M)	5-GAL.	7' HT. X 6' SPR.
87		CARYOPTERIS CLANDONENSIS BLUE MIST SPIREA (M)	5-GAL.	2' HT. X 3' SPR.
30		CHRYSOTHAMNUS NAUSEOSUS CHAMISA (L)	5-GAL.	5' HT. X 7' SPR.
45		FALLUGIA PARADOXA APACHE PLUME (L)	5-GAL.	6' HT. X 7' SPR.
36		JUNIPERUS SABINA 'BUFFALO' BUFFALO JUNIPER (M)	5-GAL.	1' HT. X 8' SPR.
46		JASMINUM NUDIFLORUM WINTER JASMINE (M)	5-GAL.	4' HT. X 7' SPR.
63		LEUCOPHYLLUM LANGMANIAE LYNN'S LEGACY TEXAS RANGER (L)	5-GAL.	5' HT. X 5' SPR.
162		SALVIA GREGGI CHERRY SAGE (M)	5-GAL.	2' HT. X 3' SPR.
29		CERCOCARPUS LEDIFOLIUS CURL LEAF MOUNTAIN MAHOAGANY (M)	5-GAL.	12' HT. X 6' SPR.
<b>DESERT ACCENTS</b>				
30		DASYLIRION WHEELERI BLUE SOTOL (RW)	5-GAL.	5' HT. X 5' SPR.
99		HESPERALOE PARVIFLORA 'RED' RED YUCCA (L+)	5-GAL.	30" HT. X 4' SPR.
21		YUCCA FAXONIANA PALM YUCCA (M)	4" - 6"	15' HT. X 6' SPR.
<b>ORNAMENTAL GRASSES</b>				
274		BOUTELOUA GRACILIS BLONDE AMBITION BLUE GRAMA (L)	5-GAL.	30" HT. X 30" SPR.
30		CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER GRASS (M)	5-GAL.	4' HT. X 2' SPR.
47		NOLINA MICROCAPA BEARGRASS	5-GAL.	6' HT. X 5' SPR.
<b>LANDSCAPE BOULDERS AND GRAVEL MULCH</b>				
23		LANDSCAPE BOULDER: MINIMUM SIZE 3'x3'		
24,217 SF		MOUNTAIN AIR BROWN GRAVEL MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)		
6,355 SF		MANZANO GRAY CRUSHED GRAVEL MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)		
17,382 SF		4"-8" RIP RAP GRAVEL (6" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)		
8,033 SF		REVEGETATION SEEDING		
<b>REVEGETATION SEEDING</b>				
AREAS SHALL BE SEED BY HYDROMULCH APPLICATION PER COA SPECIFICATION SECTION 1012. LIMITS OF SEEDING SHOWN ON PLANS IS SCHEMATIC. CONTRACTOR SHALL APPLY SEEDING OPERATIONS TO LIMIT OF DISTURBANCE.				
SANDY SOILS MIX SUITABLE FOR DETENTION PONDS (20 LBS. PLS PER ACRE TOTAL)				
SCIENTIFIC NAME - COMMON NAME		#PLS/AC		
HILARIA JAMESII 'VIVA' - GALLETA		7.0		
ORYZOPSIS HYMENOIDES 'NESPAN' - INDIAN RICE GRASS		5.0		
BOUTELOUA GRACILIS 'HACHITA' - BLUE GRAMA		2.0		
BOUTELOUA CURTIPENDULA 'VAUGHN' - SIDEOATS GRAMA		1.0		
AGROPYRON SMITHII - WESTERN WHEAT		1.0		
SPOROBOLUS CRYPTANDRUS - SAND DROPSEED		1.0		
SPOROBOLUS AIROIDES 'SALADO' - ALKALI SACATON		1.0		
EPHEDRA VIRIDIS - GREEN MORMON TEA		.25		
ARTIPEX CANESCENS - FOURWING SALTBRUSH		.25		
ARTEMISIA FILIFOLIA - SAND SAGE		.5		
SPHAERALCEA AMBIGUA - DESERT GLOBEMALLOW		.25		
OENOTHERA PALLID - WHITE EVENING PRIMROSE		.25		
BAILEYA MULTIRADIATA - DESERT MARIGOLD		.25		
PENSTEMON AMBIGUUS - SAND PENSTEMON		.25		

**GENERAL LANDSCAPE NOTES**

- PRIOR TO BEGINNING WORK ON THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT IN THE FIELD WITH THE OWNER'S REPRESENTATIVE.
- IF DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND THE SITE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION PRIOR TO PROCEEDING ON THAT PORTION OF WORK.
- ALL PLANTING AREAS ARE TO HAVE WEEDS AND COMPETITIVE VEGETATION REMOVED PRIOR TO PREPARATION FOR PLANTING. ALL EXISTING PLANT MATERIALS TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. DAMAGED MATERIALS SHALL BE REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE.
- PLANT QUANTITIES ARE PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY. PLANS SHALL TAKE PRECEDENCE.
- THE OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT MATERIAL PRIOR TO PLANTING. IN ADDITION, THE OWNER REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE. THE OWNER'S REPRESENTATIVE IS TO APPROVE ANY AND ALL SUBSTITUTIONS.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS.

**IRRIGATION**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS AND SHRUBS/ GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS.

**RESPONSIBILITY OF MAINTENANCE**  
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

**PNM COORDINATION**  
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

**SCREENING**  
SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**SHREDDED BARK MULCH AT TREES**  
SHREDDED BARK MULCH WILL BE PROVIDED BENEATH THE ENTIRE TREE CANOPY FOR ALL NEW TREES IN LANDSCAPE AREAS. PROVIDE 3' DIAMETER CIRCLE.

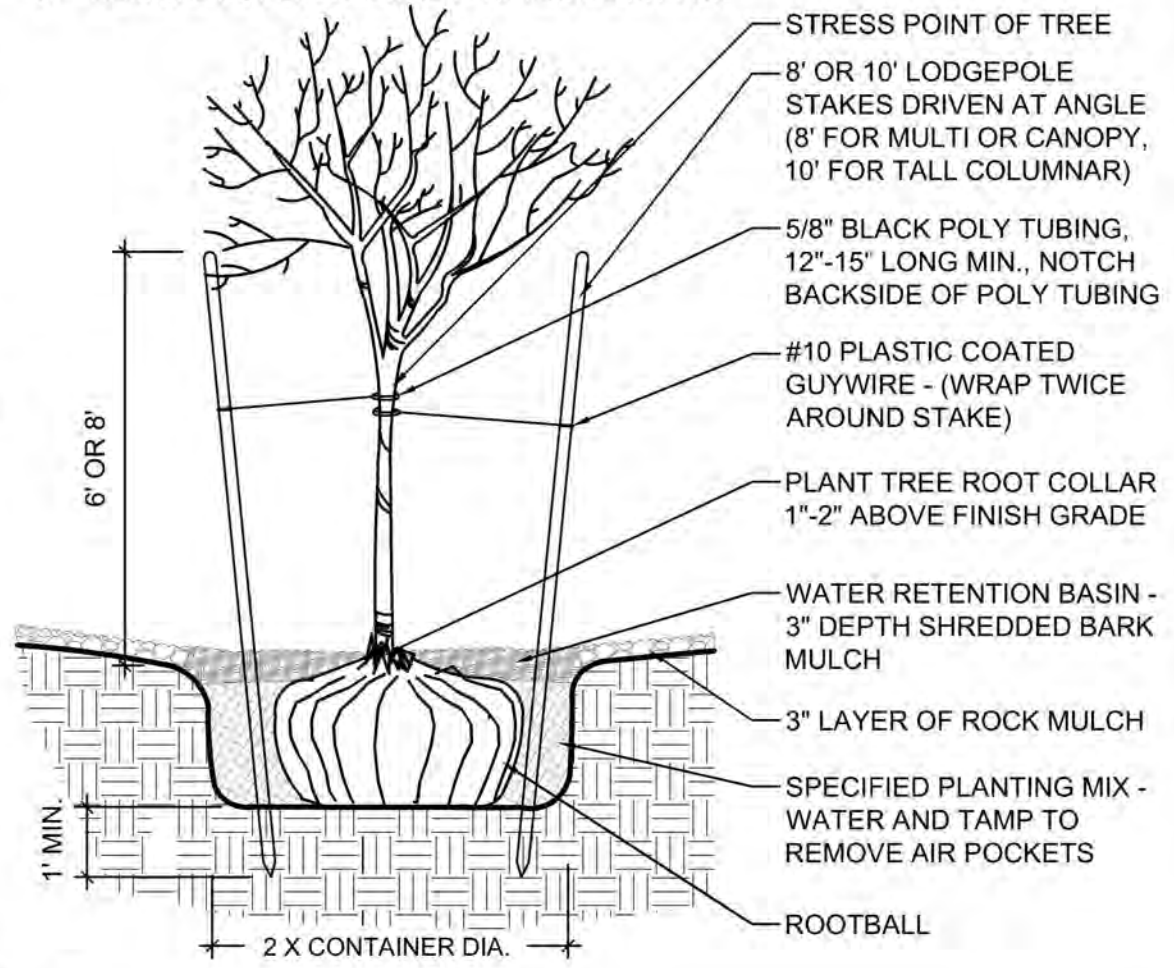
**LANDSCAPE CALCULATIONS**

SITE AREA (8.39 AC)	365,617 SF
BUILDING FOOTPRINT	-84,913 SF
NET LOT	280,704 SF
REQUIRED / PROVIDED LANDSCAPE	54,843 SF (15%) / 55,987 SF (15%)
<b>COVERAGE</b>	
REQUIRED / PROVIDED VEGETATIVE COVER	41,132 SF (75%) / 49,767 SF (91%)
REQUIRED / PROVIDED GROUND-LEVEL COVER	13,711 SF (25%) / 16,016 SF (29%)
<b>PARKING LOT TREES</b>	
PARKING LOT SPACES PROVIDED - 91	
ONE (1) TREE IS REQUIRED PER 10 PARKING SPACES	
REQUIRED/PROVIDED PARKING LOT TREES	10/15
<b>PARKING LOT AREA</b>	
AT LEAST 15% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES SHALL BE LANDSCAPED.	
PARKING LOT AREA - 28,235 SF	
REQUIRED / PROVIDED PARKING LOT LANDSCAPE	4,235 SF (15%) / 9,791 SF (35%)

**STREET TREES**  
STREET TREE ORDINANCE REQUIRES SPACING OF STREET TREES AT 25' O.C. UNDERGROUND UTILITIES IN MAXIMUM STREET TREE SETBACK RESTRICTS STREET TREE PLANTING AIRPORT DRIVE NW, LOS VOLCANES, AND MERIDIAN.  
REQUIRED / PROVIDED STREET TREES:  
AIRPORT DRIVE IS 845' AND REQUIRES 36 TREES. 36/0  
LOS VOLCANES IS 453' AND REQUIRES 18 TREES. 18/0

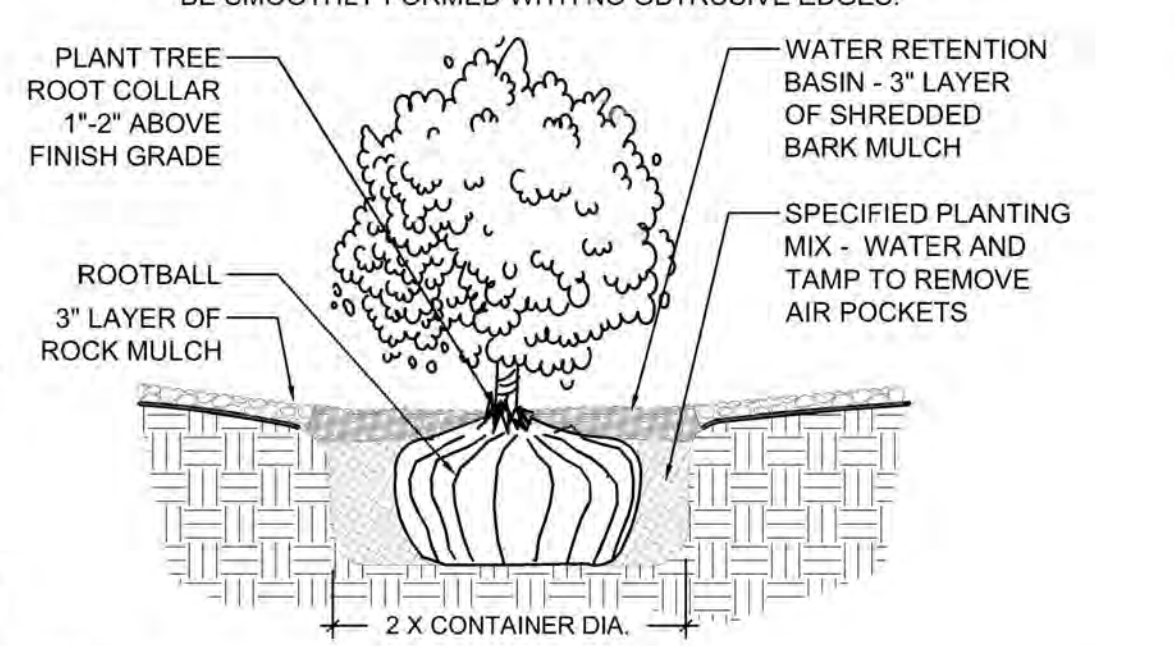
**CLEAR SIGHT DISTANCE**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

- NOTES:
- THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
  - THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
  - REMOVE ROPE AND BURLAP AFTER PLANTING.

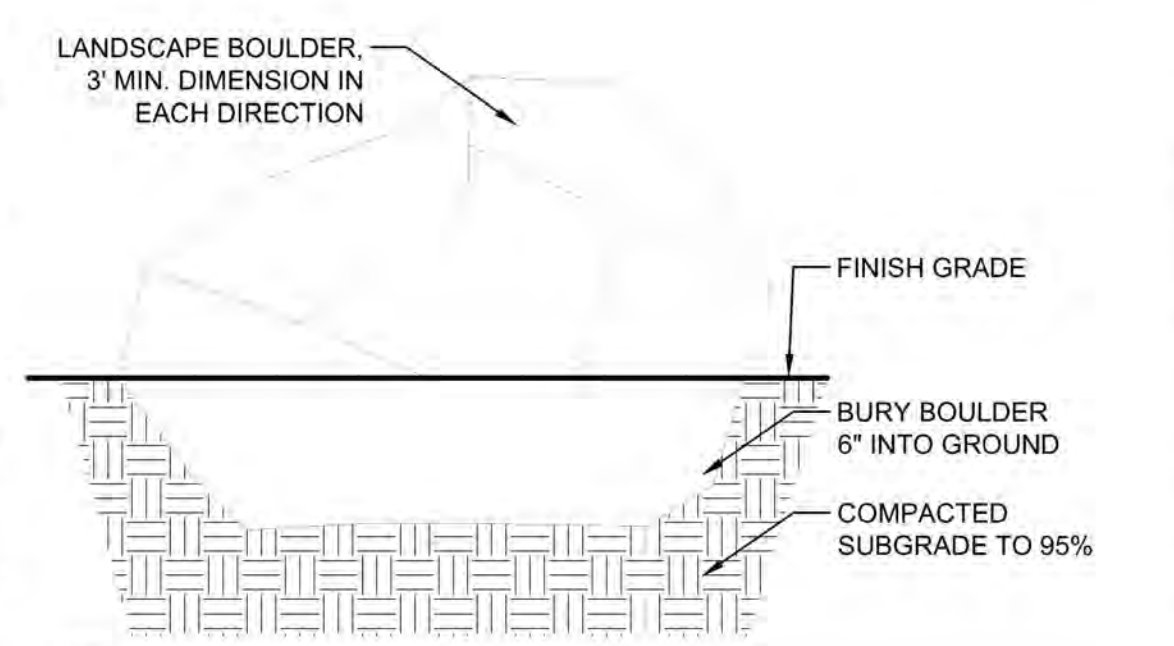


1 TREE PLANTING SCALE: N.T.S.

- NOTES:
- THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
  - THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.



2 SHRUB PLANTING SCALE: N.T.S.



3 LANDSCAPE BOULDER SCALE: N.T.S.



**CONSENSUS**  
Planning / Landscape Architecture  
302 Eighth Street NW  
Albuquerque, NM 87102  
(505) 764-9801 Fax 842-5495  
e-mail: cp@consensusplanning.com

**DESCRIPTION**

**WILSON & COMPANY**  
4401 MASTHEAD ST. NE, SUITE 150  
ALBUQUERQUE, NM 87109  
PHONE: 505-248-4000  
FAX: 505-248-4055  
www.wilsonco.com

TATE FISHBURN  
ARCHITECT  
80X2941 CORRALES NEW MEXICO 87046 505 899 9338 FAX899 9328

**BRUNACINI**  
DEVELOPMENT LTD. CO.



**NEW OFFICE / WAREHOUSE FOR BRUNACINI DEVELOPMENT**

541 AIRPORT DRIVE NW,  
ALBUQUERQUE, NM 87121  
DECEMBER 6, 2022

SUBMITTAL: DECEMBER 15, 2022

**REVISIONS**

NO.	DATE	DESCRIPTION

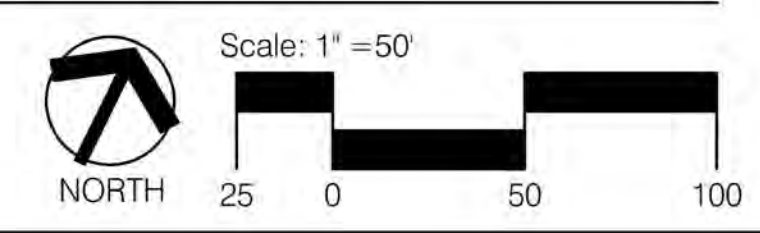
PROJECT NO: 1083-08  
CAD DWG FILE:  
DESIGNED BY: ISH DATE: 12/15/22  
DRAWN BY: ISH/KR DATE: 12/15/22  
CHECKED BY: KR / JS DATE: 12/15/22

SHEET TITLE

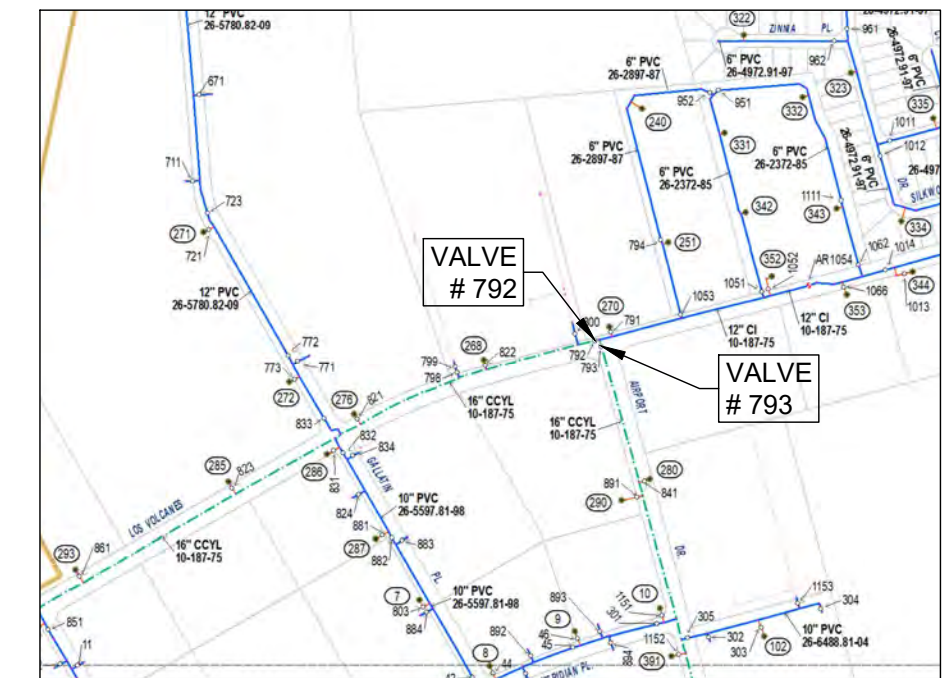
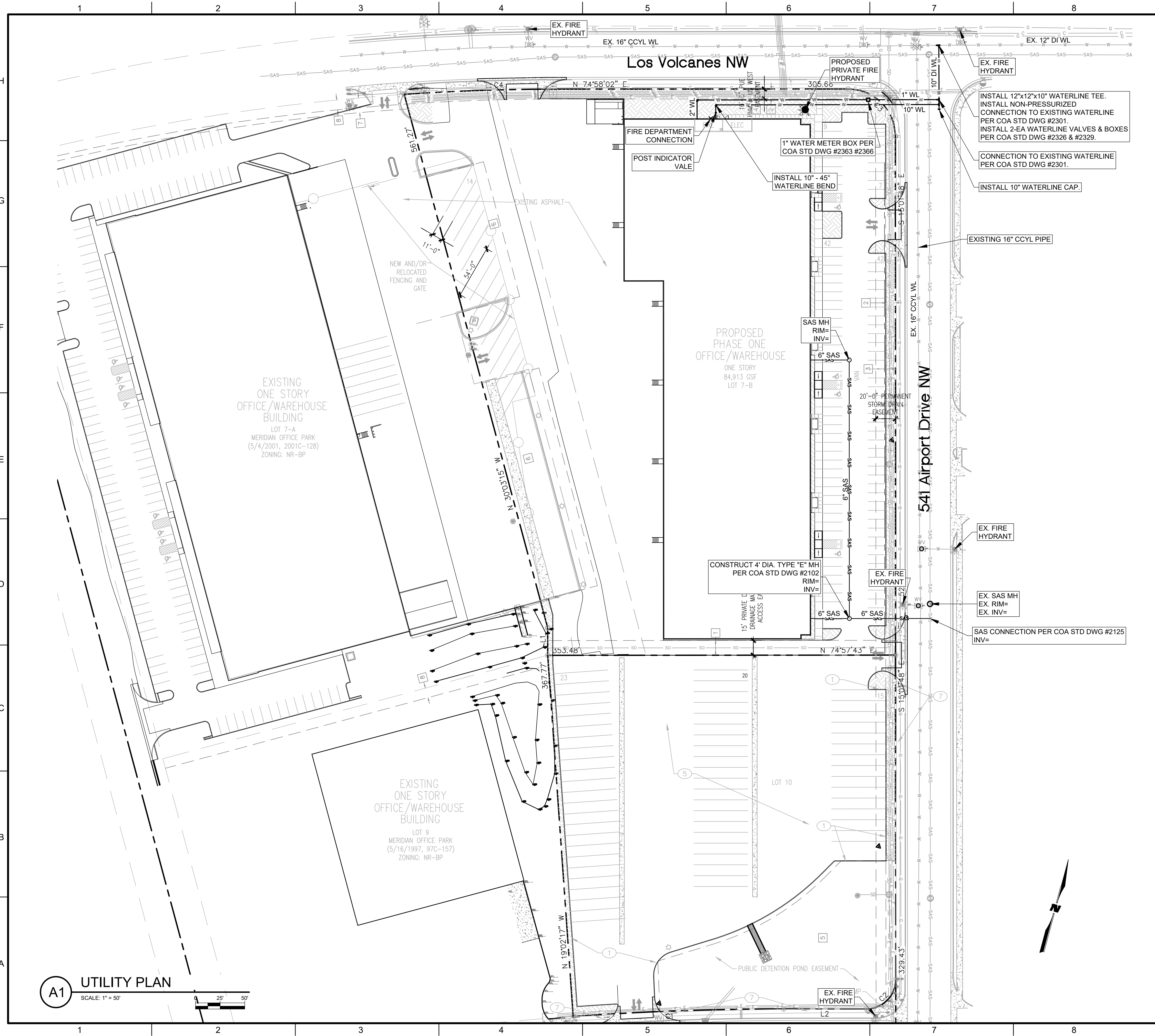
**LANDSCAPE PLAN**

DRAWING SHEET  
**LP100**

A1 PLANTING PLAN



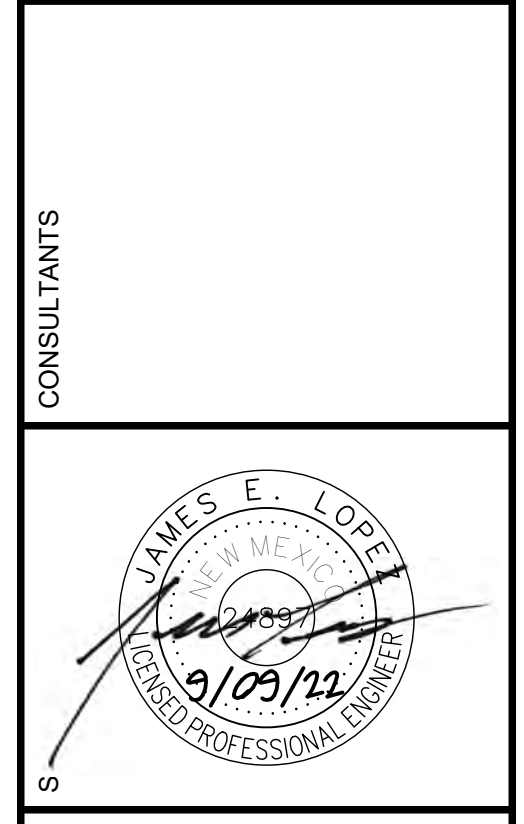
10/16/2022 M:\MSD\22-600-175-002\_Disciplines\_SHEETS\2\_Sheets - civil\2260175-UT01.dwg



### WATER SHUT-OFF PLAN

- NOTES:**
- ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  - NOTIFY ABCWUA, WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN.
  - APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
  - SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN.

**WILSON & COMPANY**  
 4401 WASTHEAD ST. NE, SUITE 150  
 ALBUQUERQUE, NM 87109  
 PHONE: 505-348-4000  
 FAX: 505-348-4055  
 www.wilsonco.com



**PROJECT NAME**  
 NEW OFFICE/WAREHOUSE  
 FOR BRUNACINI DEVELOPMENT  
 541 AIRPORT DRIVE, NW  
 ALBUQUERQUE, NM 87121

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 22-600-175-00  
 DESIGNED BY: JEL  
 DRAWN BY: DY  
 CHECKED BY: JEL  
 DATE: JUNE 2022  
 SHEET TITLE

UTILITY PLAN  
 SHEET NO:

**A1** UTILITY PLAN  
 SCALE: 1" = 50'

EXTERIOR FINISHES

- TILT-UP CONC. PANELS- FIELD COLOR - LIGHT GRAY
- TILT-UP CONC. PANELS- ACCENT COLOR - MEDIUM GRAY
- TILT-UP CONC. PANELS- ACCENT COLOR - DARK GRAY
- METAL SIDING-COLOR- DARK GRAY
- METAL ACCENT COLOR- WHITE
- ALUMINUM WINDOW FRAMES- CLEAR ANODIZED
- WINDOW GLAZING- 1" TINTED INSULATED
- TINT COLOR- SOLAR GRAY
- OVERHEAD & HM DOORS- LIGHT GRAY

ALL BUILDING MOUNTED LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS WITH NO LIGHT, LENS OR BULB PROTRUDING BELOW THE BOTTOM OF THE CUT-OFF FIXTURE IN ORDER THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FRO THE SITE PERIMETER.

ALL BUILDING MOUNTED SIGNAGE TO BE LIGHTED EITHER INTERNALLY OR EXTERNALLY. ANY LIGHTING FOR SIGNAGE SHALL CONFORM TO NIGHT SKIES ACT. SIGNAGE MATERIAL TO BE EITHER RAISED METAL LETTERING OR TRANSLUCENT LEXAN PANELS OF ANY COLOR. NO BOX SIGNAGE ALLOWED. INDIVIDUAL RAISED LETTERS ONLY.

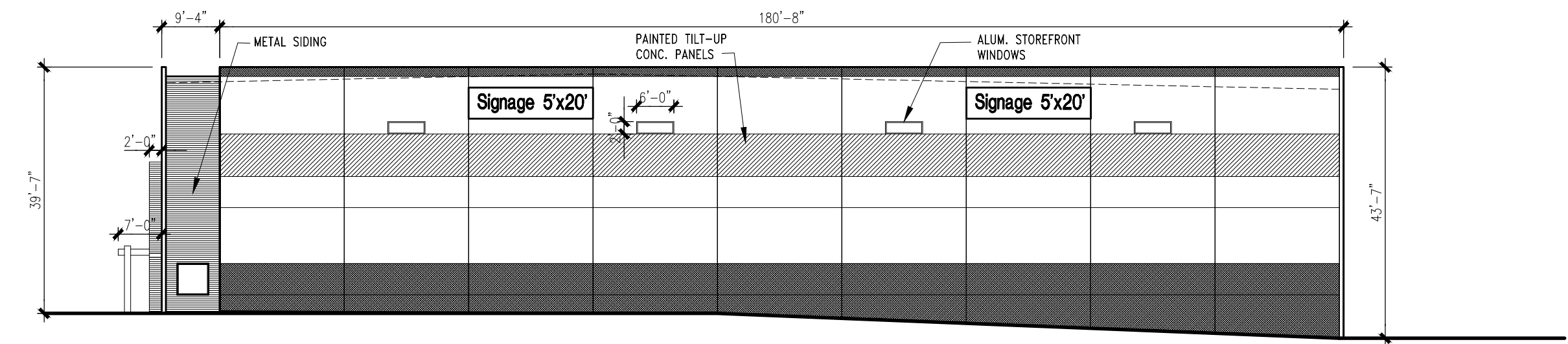
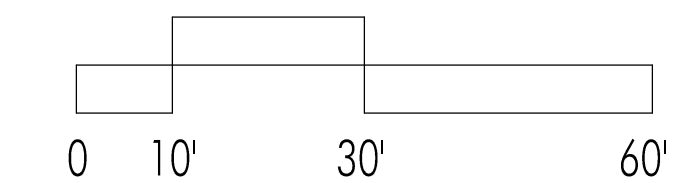
NOTE: SIGNAGE MAY BE AMENDED PROVIDED IT COMPLIES WITH THE AIRISCO BUSINESS PARK MASTERPLAN REGULATIONS.

BUILDING SIGNAGE CALCS:

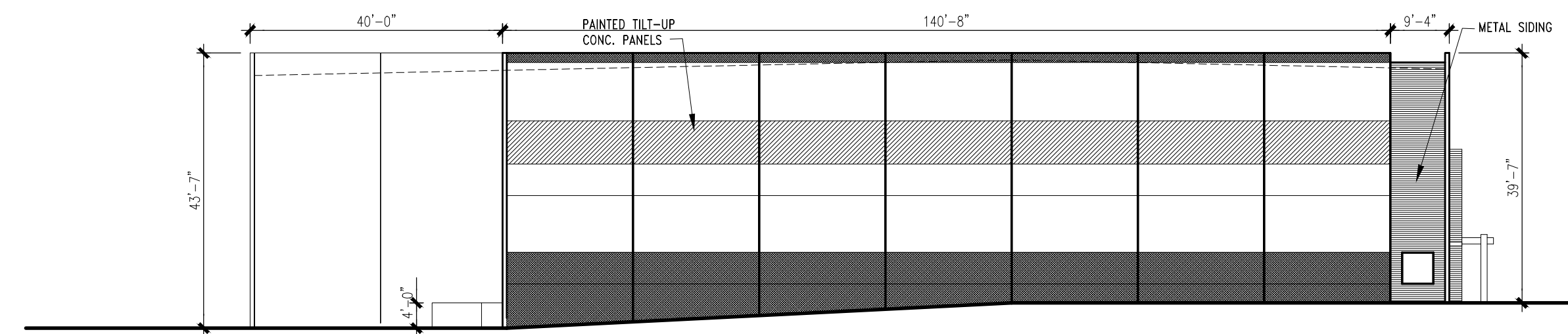
EAST ELEVATION- BLDG. AREA-20,583 S.F. SIGNAGE- 600 S.F.  
 600 / 20,583 = 3%

NORTH ELEVATION- BLDG. AREA-7,340 S.F. SIGNAGE- 200 S.F.  
 200 / 7,340 = 2.7%

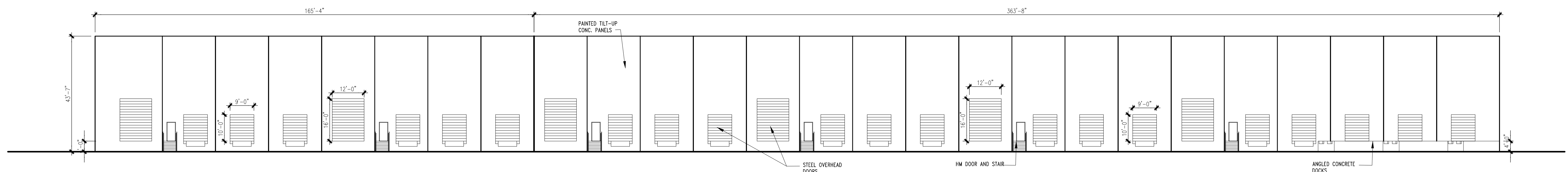
GRAPHIC SCALE



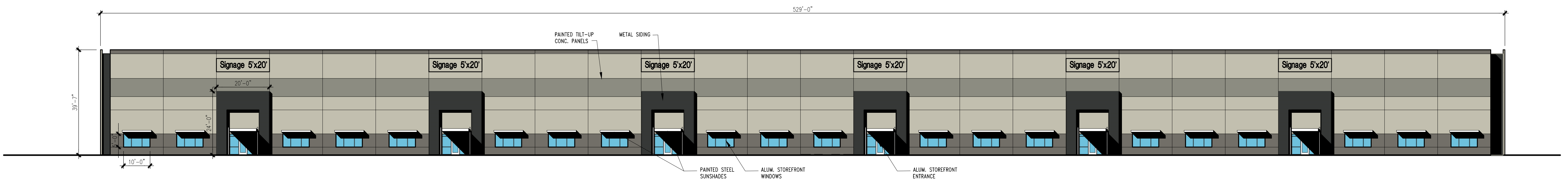
4 NORTH ELEVATION  
 1"=20'-0"



3 SOUTH ELEVATION  
 1"=20'-0"



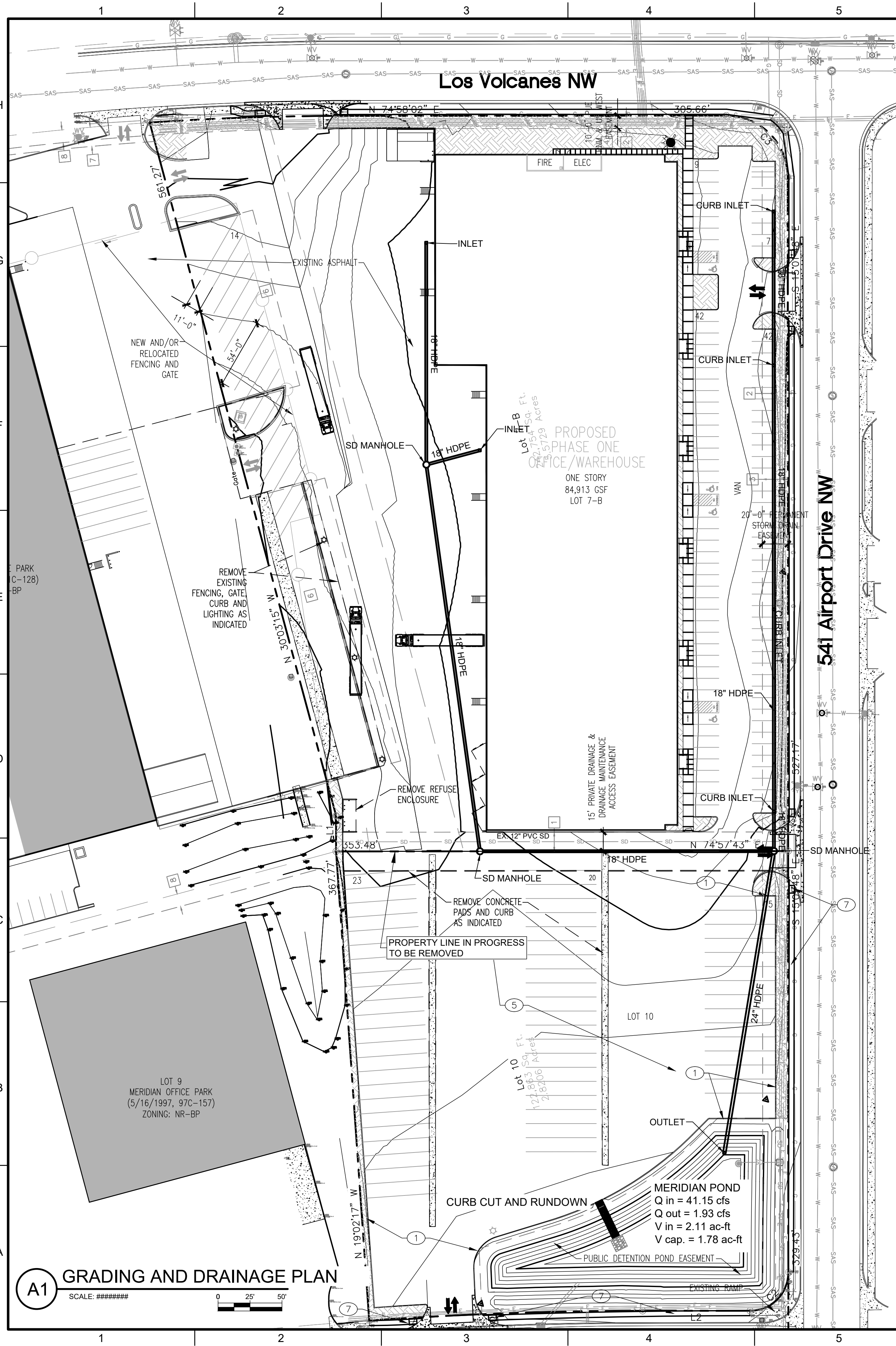
2 WEST ELEVATION  
 1"=20'-0"



1 EAST ELEVATION  
 1"=20'-0"



9/12/2022 M:\MSD\22-600-175-002\_Disciplines\_SHEETS2\_SHEETS12\_Sheets - civil\226175-GD01.dwg



**Drainage Narrative**

**Introduction**

The project site is located at 541 Airport Dr. NW. The site is bounded by Airport Drive NW to the east, Los Volcanes Road NW to the north, Galatin Place NW to the west, and Meridian Pl NW to the south. The existing site and proposed improvements are generally contained within Lots 7-B and 10 as identified in the Conceptual Master Grading and Drainage Plan prepared for Lots 1-23 of the Meridian Business Park by Easterling & Associates, Inc. in August 1996. The site is not located within a designated FEMA flood plain map, see firm map 35001C03281.

**Existing Conditions**

The existing site topography in Lot 7-B generally drains from northwest to southeast in the conceptual plans prepared by Easterling and was confirmed on a site visit. A berm has been constructed on the eastern edge of the lot that appears to block water from exiting the site in this direction, and instead forces water to flow south into Lot 10 and inevitably into the existing public drainage pond on the southern edge of the lot. The Easterling plans suggested that there be an inlet to receive flow on the southeastern corner of this lot, though no such drainage infrastructure was observed on the site. The site includes a portion of Lot 7-A that is currently developed and includes parking and an access road to the trailer parking in Lot 10. Flow in this segment tends to drain southwest and is seemingly directed toward the existing drainage pond that has been constructed for the development in Lot 7-A west of the site.

Lot 10 drains from north to south (and into the proposed rectangular drainage pond) in the Easterling plan, and this was observed to be generally true by a preliminary site visit. A large majority of Lot 10 consists of compacted dirt and gravel. The remainder is undisturbed aside from a large drainage pond. Currently, the pond discharges to the east toward an existing storm drain system adjacent to Airport Dr. NW via a standpipe with circular 3 in. diameter inlet orifices set at varying elevations and a 5" diameter plate orifice on the outlet pipe. The downstream connection point is an existing storm drain line adjacent to Airport Dr. NW. Some sediment and debris have accrued on the bottom of the pond and the lowermost tiers of orifices on the standpipe have been blocked. According to the Easterling plan, the pond has a design capacity of 1.0404 ac-ft, though topography data of the area shows the current capacity to be 0.8563 ac-ft. There is also an existing offsite basin identified in the Easterling Plan as Basin E1 that drains to the pond via 2 combination inlets in the flowlines of Meridian Pl. Data for this basin was pulled from the Easterling Plan and utilized in the design considerations for the pond.

In its current condition, the on-site basin contributing flow to the pond is delivering up to 17.3 cfs for the 100-year 24-hour event to the pond. This corresponds to a volume of 0.5205 ac-ft prior to development.

**Interim Conditions (Phase 1)**

The proposed site will maintain the general flow from northwest to southeast toward the detention pond in Lot 10. The boundaries of construction in phase 1 are primarily limited to the undeveloped area that comprises Lot 7-B. The existing developed area on the western side of Lot 7-B will be improved in Phase 2. A 73,969 square-foot tenant space is to be constructed, with paved parking, sidewalk, and desert-landscaped median features constructed on the eastern and northern faces of the spaces. On the western face of the building, an asphalt swale will be constructed with slopes less than or equal to 2% up to 50 feet away from the edge of the truck bay. Area inlets and pipe connections will be installed in the swale to collect and distribute flows to the existing detention pond in Lot 10. The parking lot on the eastern face of the building will be super-elevated to drain east toward a series of inlets along the eastern curb line. These inlets and the corresponding pipe connections will send the flows south toward the detention pond. The pipe networks on the western and eastern faces of the building will meet at a junction in Lot 10 north of the pond before discharging to the pond via an opening metered to slope. Most of the vacant lot will become paved and impervious. As mentioned before, the area west of the fence line is not to be disturbed during construction of Phase 1 to maintain the access road.

The existing detention pond in Lot 10 will need to be improved such that it can accommodate the increase in flow from both Phase 1 and 2 during Phase 1. This includes laying the pipe that discharges flow from Phase 1 through Lot 10 prior to Phase 2.

The discharge from the site will increase to 25.4 cfs after development, which corresponds to a difference of 8.1 cfs. The discharge from the site corresponds to a volume of 1.1333 ac-ft for the 100-year 24-hour event after the construction of Phase 1, with a difference in volume of 0.6128 ac-ft between existing and interim conditions. This volume is already higher than the current capacity of the pond in both the conceptual Easterling staging, as well as the staging developed from current topography. The pond will be regraded with 3:1 side slope to maximize the capacity of the pond without expanding the footprint beyond the boundary of the public detention pond easement. The base pond elevation will also be dropped, and the standpipe reconstructed to accommodate the updated allowable discharge for the site. In the drainage master plan, the pond shows a maximum allowable discharge of 1.47 cfs to the storm drain, while Lot 8 (Lot 7B in current platting) was intended to discharge 0.47 cfs to the storm drain further upstream. The owners of the site are in the process of getting Lots 7B and Lots 10 replatted into one parcel. This will correspond to a maximum allowable discharge of 1.94 cfs from the pond for the combined lots. A sidewalk culvert will be constructed on the southern face of the pond to serve as an emergency spillway that drains to Meridian Pl. A berm will be constructed to approximately 1 foot above the back of sidewalk elevation to accommodate the spillway and maintain freeboard. Approximately 0.25 ac-ft of runoff needs to be retained to meet MS4 requirements, and the pond will retain approximately 0.41 ac-ft.

The edge of the pond will also have a berm constructed to 1 ft above the invert of the emergency spillway in order to increase freeboard.

**Final Conditions (Phase 2)**

The proposed site will maintain the general flow from northeast to southwest toward the detention pond in Lot 10. A large portion of Lot 10, minus the ponding area and landscaping, will be paved and the grading and drainage scheme developed in Phase 1 will be maintained to deliver flows to the existing detention pond. Curb-cuts and a concrete rundown will be installed on the perimeter of the pond to deliver overland flows from the area in Phase 2 and reduce erosion of the pond side slopes. In the previously developed area on the western edge of Lot 7-B, work will be done to expand the northernmost column of parking, including the removal of some previous landscaping. The western edge of Lot 7-B currently drains to the off-site detention pond on the southeast corner of Lot 7-A, and it is recommended that this grading be maintained if repaving occurs.

The improvements in Lot 10 will increase the discharge from the site to 28.4 cfs. This corresponds to a total volume of 1.4298 ac-ft for the 100-year 24-hour event, with a difference in volume of 0.2957 ac-ft between interim and final conditions, and a difference in discharge of 3 cfs between interim and final conditions.

**Conclusion**

In summary, inlets and storm drain will be installed to capture on-site flows from Phase 1 and deliver the water to the detention pond in Lot 10. The pond will be regraded to accommodate the increase in discharge from Phase 1 and Phase 2 at this time, and the pipe network constructed in Phase 1 will be taken to the pond at this time. The area in Phase 2 will be paved and a concrete rundown and curb cut constructed at the pond to receive the overland flow from the site. A series of sidewalk culverts will also be constructed at this time to serve as an emergency spillway for the pond. The standpipe outlet structure will be reconstructed to retain the MS4 volume for the site and limit the discharge from the site to 1.94 cfs per the drainage master plan and proposed parceling. Lots 7B and 10 will be replatted as one parcel in order to permit Lot 7B to discharge through Meridian Pond.

**Meridian Pond - Proposed Staging**

Stage	Area	Storage	Cumulative Storage	Cumulative Storage
Elev. (ft)	ft <sup>2</sup>	ft <sup>3</sup>	ft <sup>3</sup>	Ac-ft
5099	5730	0.000	0	
5100	7112	6420.939	6421	
5101	8576	7843.891	14265	
5102	10110	9343.263	23608	
5103	11712	10911.349	34519	
5104	13383	12547.585	47067	
5105	15121	14251.868	61319	
5106	16928	16024.379	77343	1.7758

**MS4 Calculations**

Basin	Area	Volume	Volume
	ft <sup>2</sup>	ft <sup>3</sup>	Ac-ft
101	310698.37	10874.44	0.25
		Total	0.25

**Existing Conditions (Pre PH1)**

Basin	Total Area (sq ft)	Total Area (Ac)	A % Ac	B % Ac	C % Ac	D % Ac	Peak Discharge, Q (Weighted)	Excess Precip. (6hr, acre-ft)	Volume (6hr, acre-ft)	Volume (24hr, acre-ft)	Volume (10day, acre-ft)				
101	310698	7.133	0	0	71.1	5.07	23.81	1.70	5.1	0.36	17.3	0.86	0.5108	0.5205	0.5632
E1	226512	5.200	0	0	9	0.47	9	0.47	82	4.26	19.9	1.99	0.8615	0.9752	1.4762

\* Basin E1 from the Easterling Report Dated 08/96

**Interim Conditions (Post PH1 / Pre PH2)**

Basin	Total Area (sq ft)	Total Area (Ac)	A % Ac	B % Ac	C % Ac	D % Ac	Peak Discharge, Q (Weighted)	Excess Precip. (6hr, acre-ft)	Volume (6hr, acre-ft)	Volume (24hr, acre-ft)	Volume (10day, acre-ft)				
101	310698	7.133	0	0.00	10.8	0.77	28.3	2.02	60.9	4.34	25.4	1.71	1.0175	1.1333	1.6437
E1	226512	5.200	0	0	9	0.47	9	0.47	82	4.26	19.9	1.99	0.8615	0.9752	1.4762

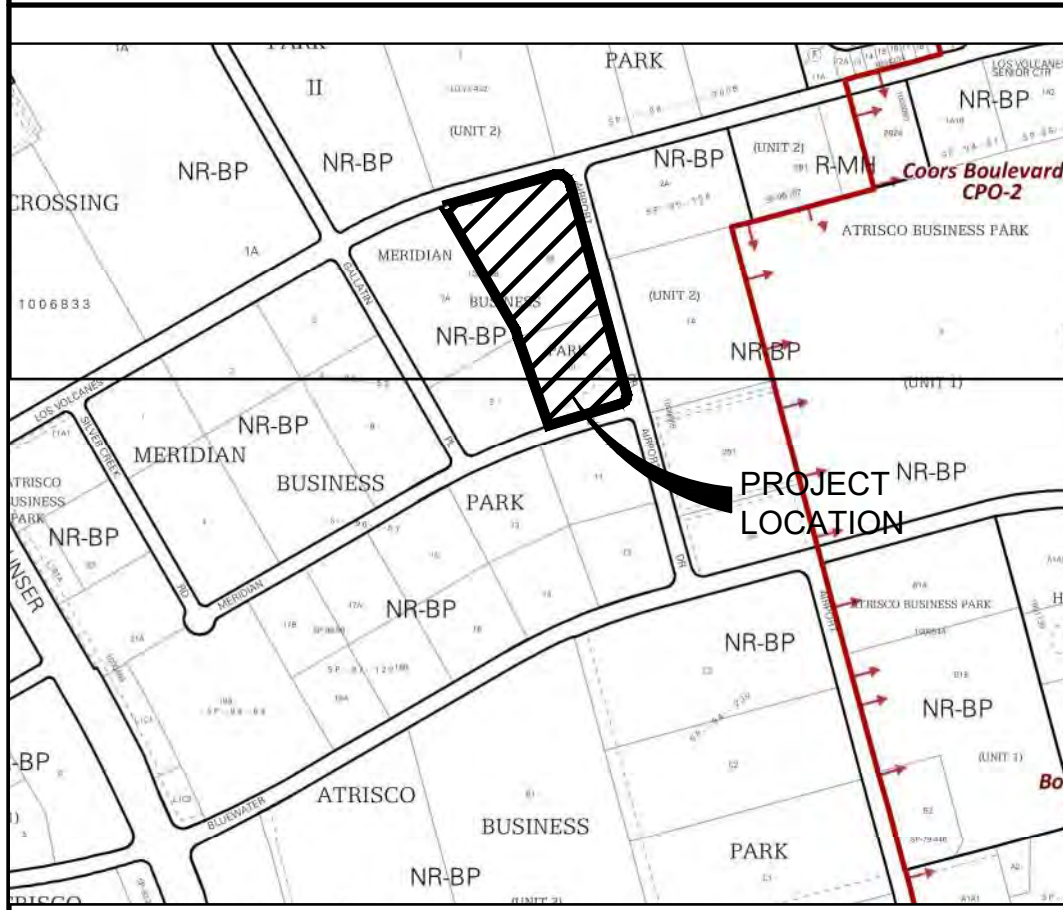
\* Basin E1 from the Easterling Report Dated 08/96

**Final Conditions (Post PH2)**

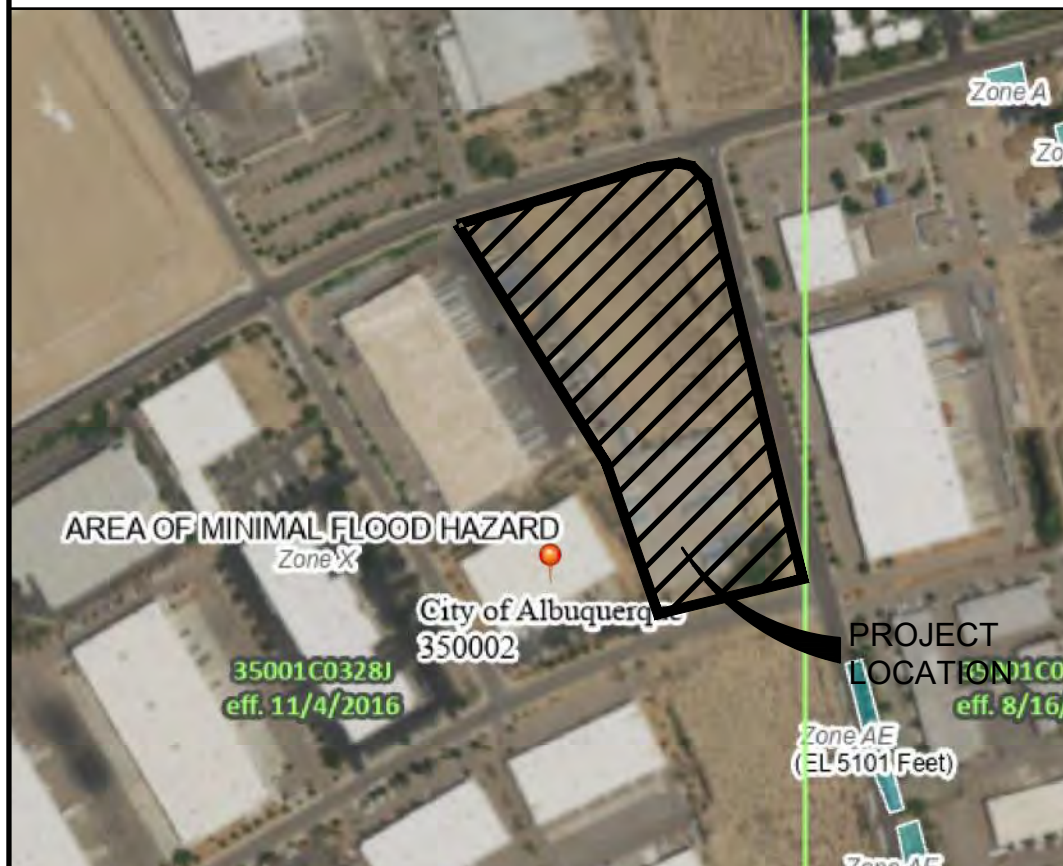
Basin	Total Area (sq ft)	Total Area (Ac)	A % Ac	B % Ac	C % Ac	D % Ac	Peak Discharge, Q (Weighted)	Excess Precip. (6hr, acre-ft)	Volume (6hr, acre-ft)	Volume (24hr, acre-ft)	Volume (10day, acre-ft)				
101	310698	7.133	0	0.00	3.2	0.23	6%	0.41	91%	6.48	28.4	2.11	1.2569	1.4298	2.1916
E1	226512	5.200	0	0	9	0.47	9	0.47	82	4.26	19.9	1.99	0.8615	0.9752	1.4762

\* Basin E1 from the Easterling Report Dated 08/96

**MAPS**



LOCATION MAP  
ZONE ATLAS MAPS J-10-Z & K-10-Z



FLOOD INSURANCE MAP  
REFERENCE: PANEL NO. 35001C0328J



SOILS MAP  
REFERENCE: NRCS SOILS DATA



**WILSON & COMPANY**  
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CONSULTANTS

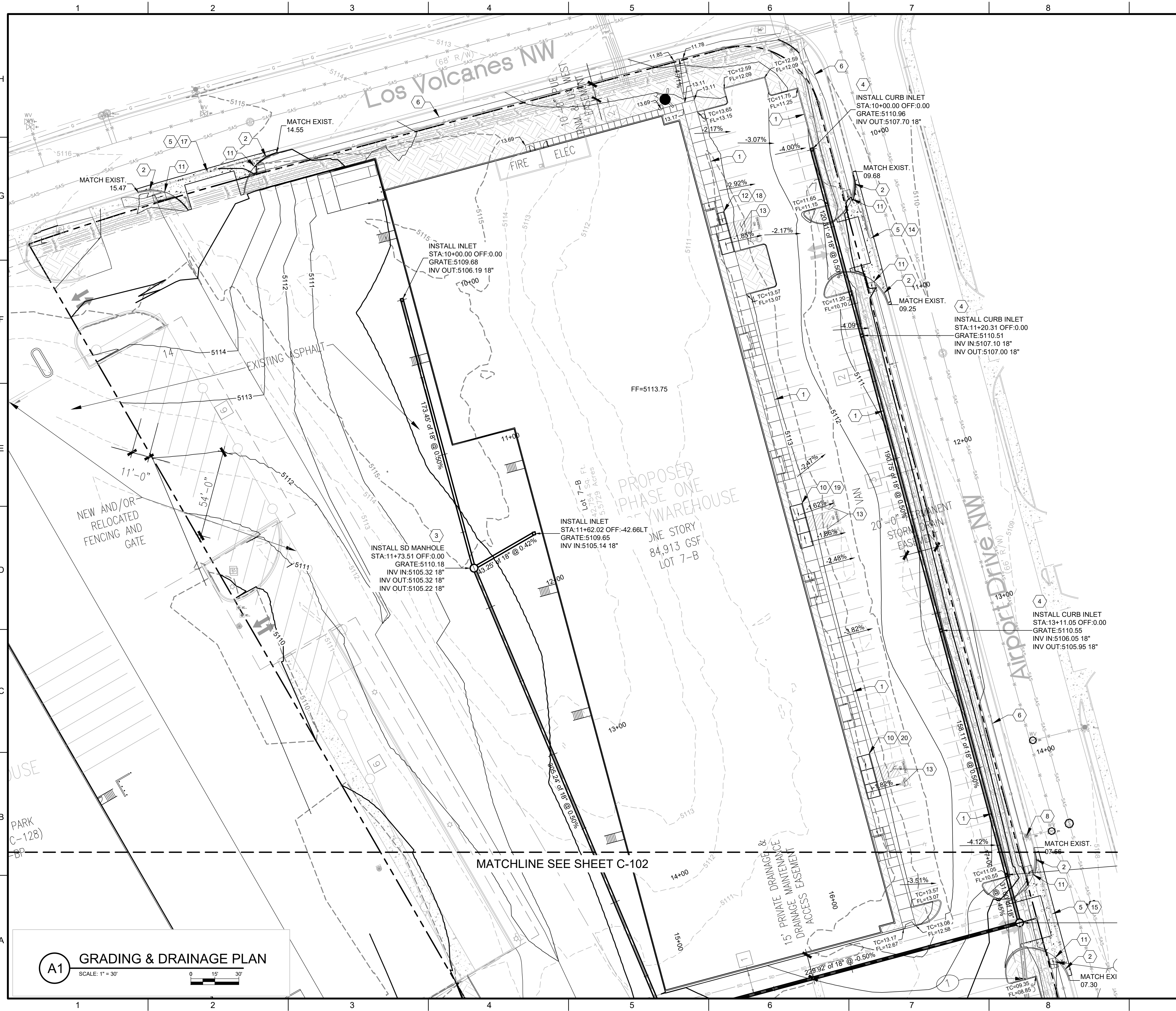


**NEW OFFICE/WAREHOUSE FOR BRUNACINI DEVELOPMENT**  
541 AIRPORT DRIVE, NW  
ALBUQUERQUE, NM 87121

PROJECT NAME	PROJECT NO.	DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REV.	DESCRIPTION
NEW OFFICE/WAREHOUSE FOR BRUNACINI DEVELOPMENT	22-600-175-00	JEL	DY	JEL	JUNE 2022		
SHEET TITLE							
GRADING AND DRAINAGE PLAN							
SHEET NO.							



9/29/2022 M:\MSD\22-600-175-002\_Disciplines\_SHEETS\2\_Sheets - civil\2260175-GD02.dwg



### GENERAL NOTES

1. SIDEWALK AND CURB RAMPS SHALL COMPLY WITH THE CURRENT REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA). THE CONTRACTOR SHALL CONTACT THE CITY STAFF TO SCHEDULE INSPECTIONS.

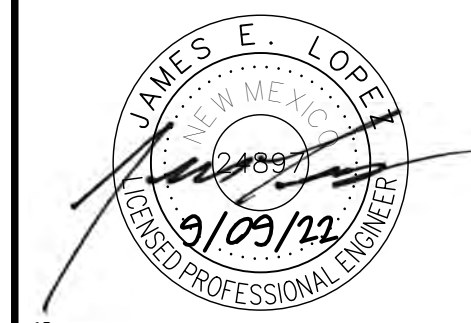
### KEYNOTES

1. CONSTRUCT MEDIAN CURB & GUTTER PER COA STD DWG #2415A.
2. CONSTRUCT STANDARD CURB & GUTTER PER COA STD DWG #2415A.
3. CONSTRUCT 6" DIA. TYPE "C" MH PER COA STD DWG #2101.
4. INSTALL CURB INLET TYPE "C" PER COA STD DWG #2205.
5. CONSTRUCT DRIVE PAD PER COA STD DWG #2425.
6. CONSTRUCT NEW 4" PCC SIDEWALK PER DETAIL SHEET C-103.
7. MATCH EXIST. SIDEWALK. SAWCUT TO NEAREST JOINT.
8. EXISTING FIRE HYDRANT TO REMAIN. PROTECT IN PLACE.
9. 10'x10' RIP-RAP PAD.
10. CONSTRUCT ADA RAMP DETAIL "A" PER COA STD DWG #2443.
11. CONSTRUCT ADA RAMP DETAIL "C" PER COA STD DWG #2443.
12. CONSTRUCT MODIFIED ADA RAMP DETAIL "A" PER COA STD DWG #2443.
13. SLOPE NOT TO EXCEED 2% IN ANY DIRECTION.
14. ENTRANCE "A" ELEVATIONS PER SHEET C-103.
15. ENTRANCE "B" ELEVATIONS PER SHEET C-103.
16. ENTRANCE "C" ELEVATIONS PER SHEET C-103.
17. ENTRANCE "D" ELEVATIONS PER SHEET C-103.
18. ADA RAMP "E" ELEVATIONS PER SHEET C-103.
19. ADA RAMP "F" ELEVATIONS PER SHEET C-103.
20. ADA RAMP "G" ELEVATIONS PER SHEET C-103.
21. 5-FOOT CONCRETE RUNDOWN.
22. DRAINAGE SIDEWALK CULVERT WITH STEEL PLATE TOP PER COA STD DWG #2236.



**WILSON & COMPANY**  
 4401 WASTHEAD ST. NE, SUITE 150  
 ALBUQUERQUE, NM 87109  
 PHONE: 505-348-4000  
 FAX: 505-348-4055  
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CONSULTANTS



PROJECT NAME  
**NEW OFFICE/WAREHOUSE  
 FOR BRUNACINI DEVELOPMENT  
 541 AIRPORT DRIVE, NW  
 ALBUQUERQUE, NM 87121**

REV.	DATE	DESCRIPTION	BY

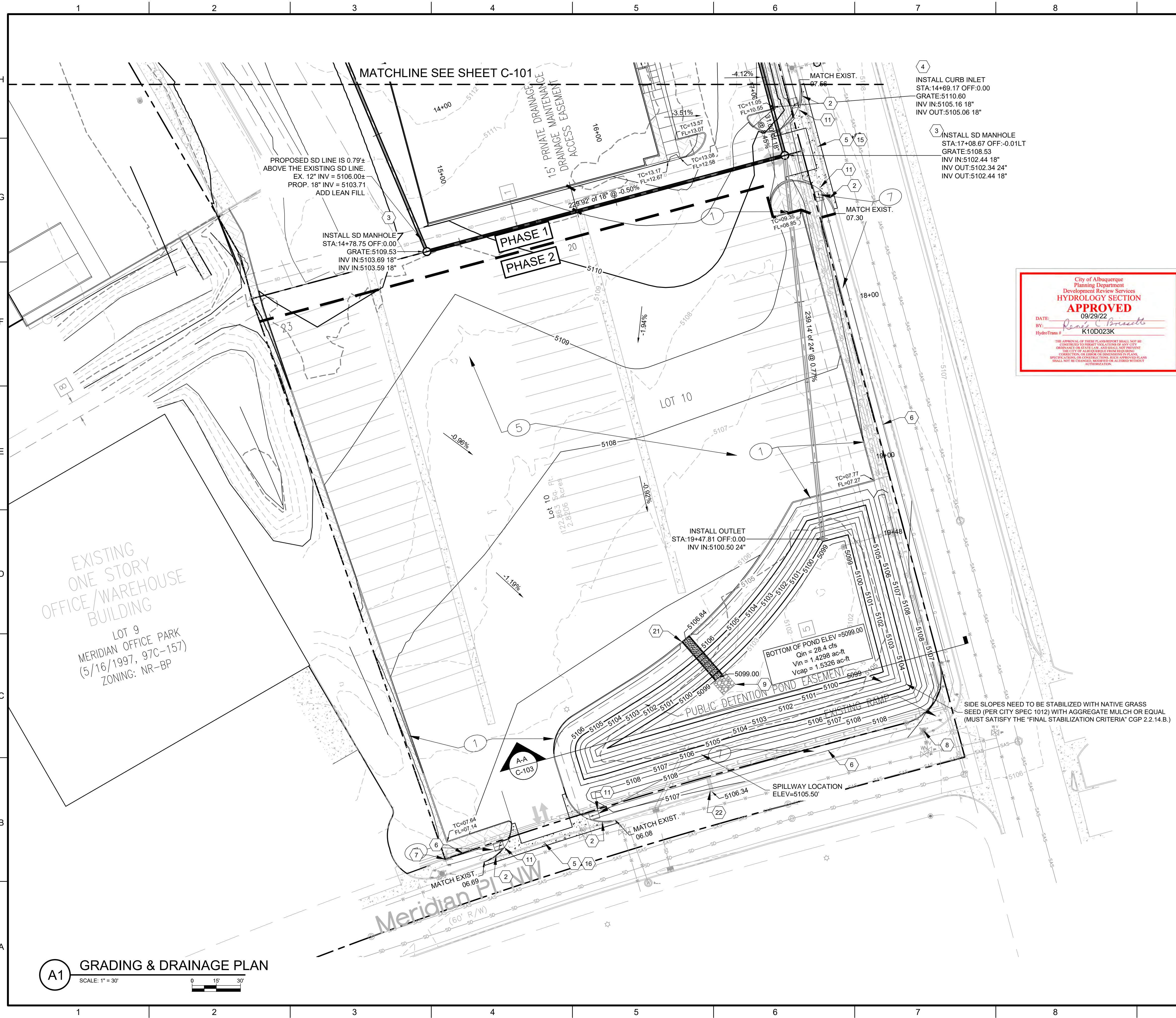
PROJECT NO: 22-600-175-00  
 DESIGNED BY: JEL  
 DRAWN BY: DY  
 CHECKED BY: JEL  
 DATE: JUNE 2022  
 SHEET TITLE

**GRADING &  
 DRAINAGE PLAN**

SHEET NO:  
**C-101**

**A1 GRADING & DRAINAGE PLAN**  
 SCALE: 1" = 30'

9/29/2022 M:\MSD\22-600-175-002\_Disciplines\_SHEETS\2\_Sheets - civil\2260175-GD02.dwg



**GENERAL NOTES**

1. SIDEWALK AND CURB RAMPS SHALL COMPLY WITH THE CURRENT REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA). THE CONTRACTOR SHALL CONTACT THE CITY STAFF TO SCHEDULE INSPECTIONS.

**KEYNOTES**

1. CONSTRUCT MEDIAN CURB & GUTTER PER COA STD DWG #2415A.
2. CONSTRUCT STANDARD CURB & GUTTER PER COA STD DWG #2415A.
3. CONSTRUCT 6" DIA. TYPE "C" MH PER COA STD DWG #2101.
4. INSTALL CURB INLET TYPE "C" PER COA STD DWG #2205.
5. CONSTRUCT DRIVE PAD PER COA STD DWG #2425.
6. CONSTRUCT NEW 4" PCC SIDEWALK PER DETAIL SHEET C-103.
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15. ENTRANCE "B" ELEVATIONS PER SHEET C-103.
16. ENTRANCE "C" ELEVATIONS PER SHEET C-103.
17. ENTRANCE "D" ELEVATIONS PER SHEET C-103.
18. ADA RAMP "E" ELEVATIONS PER SHEET C-103.
19. ADA RAMP "F" ELEVATIONS PER SHEET C-103.
20. ADA RAMP "G" ELEVATIONS PER SHEET C-103.
21. 5-FOOT CONCRETE RUNDOWN.
22. DRAINAGE SIDEWALK CULVERT WITH STEEL PLATE TOP PER COA STD DWG #2236.

Private Drainage Facilities with City Right-of-Way  
 Notice to Contractor  
 (Special Order 19 - "SO-19")

1. Build sidewalk culvert per COA STD DWG 2236. Work is permitted and inspected by DMD Construction Services Division.
2. An Excavation permit will be required before beginning any work with City Right-Of-Way.
3. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
4. Prior to any excavation, the contractor must contact **New Mexico One Call**, dial "811" [or (505) 260-1990] for the location of existing utilities.
5. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
6. Backfill compaction shall be 95%.
7. Maintenance of the facility shall be the responsibility of the owner of the property being served.
8. Work on arterial streets may be required on a 24-hour basis.
9. For excavation an barricading inspections, contact DMD Construction Services Division.

**WILSON & COMPANY**  
 4401 WASTHEAD ST. NE, SUITE 150  
 ALBUQUERQUE, NM 87109  
 PHONE: 505-348-4000  
 FAX: 505-348-4055  
 www.wilsonco.com

CONSULTANTS

**PROJECT NAME**  
 NEW OFFICE/WAREHOUSE  
 FOR BRUNACINI DEVELOPMENT  
 541 AIRPORT DRIVE, NW  
 ALBUQUERQUE, NM 87121

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 22-600-175-00  
 DESIGNED BY: JEL  
 DRAWN BY: DY  
 CHECKED BY: JEL  
 DATE: JUNE 2022

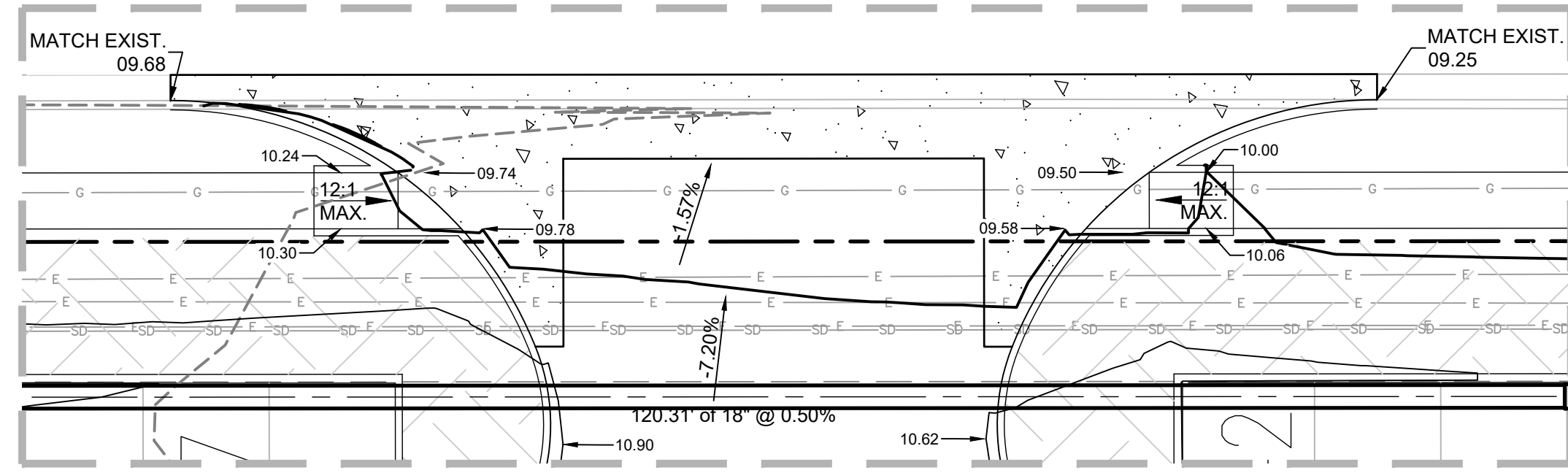
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**GRADING & DRAINAGE PLAN**

SHEET NO:  
**C-102**

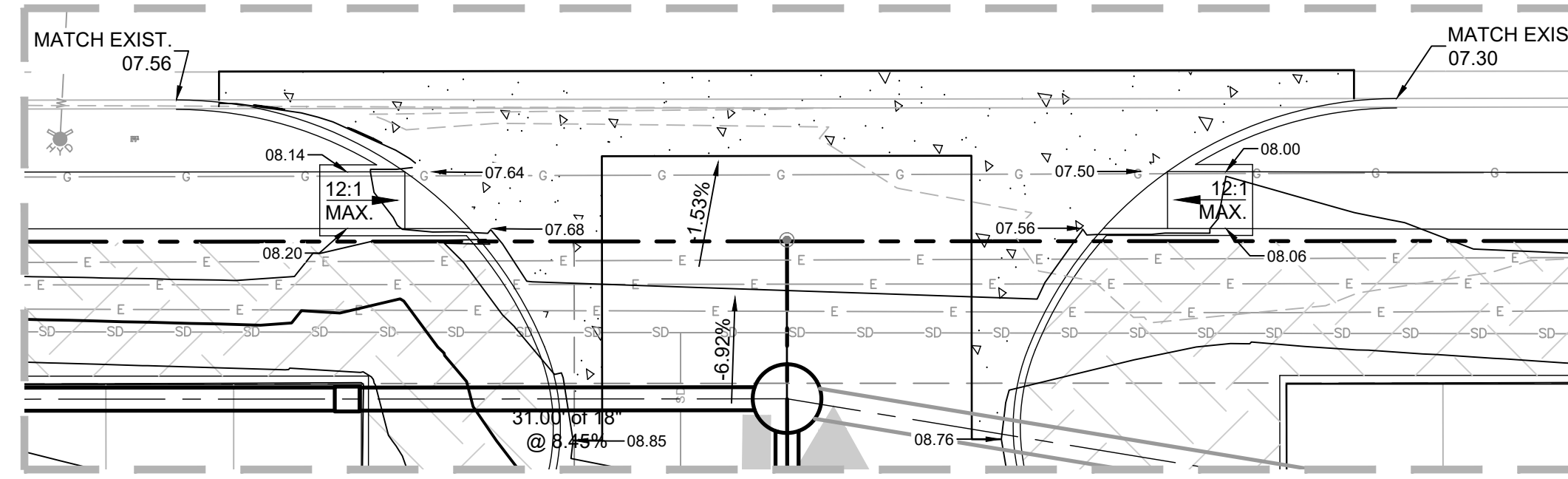
**A1 GRADING & DRAINAGE PLAN**  
 SCALE: 1" = 30'



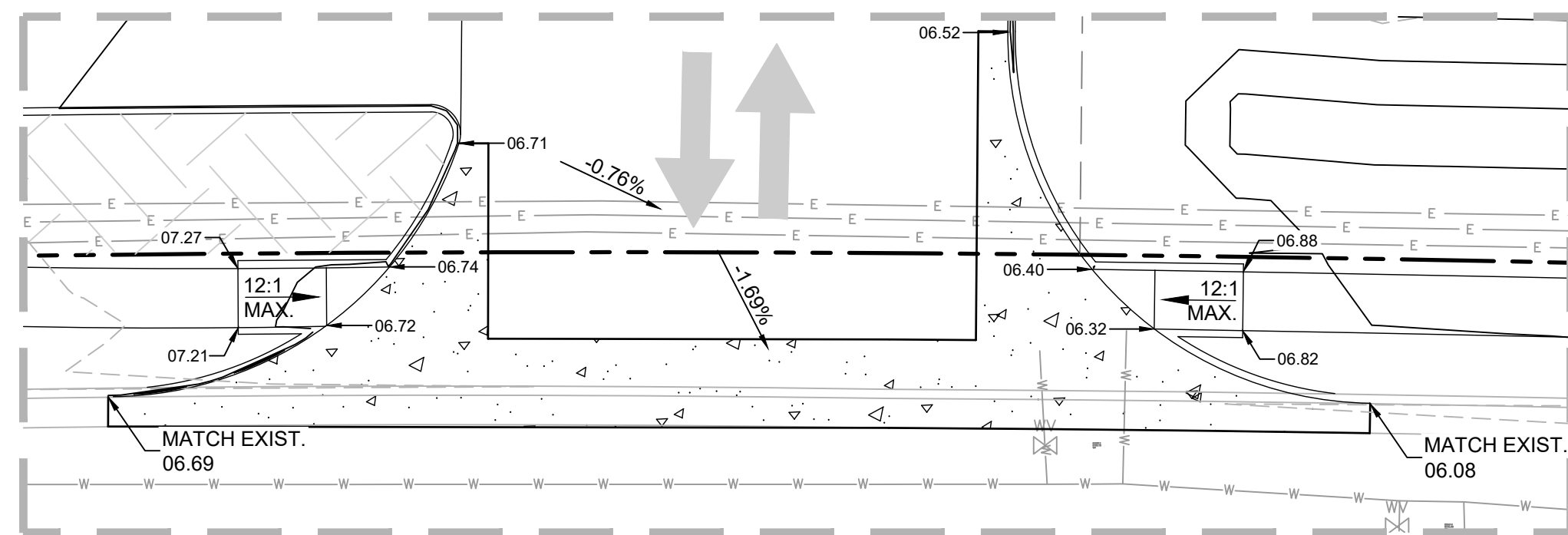
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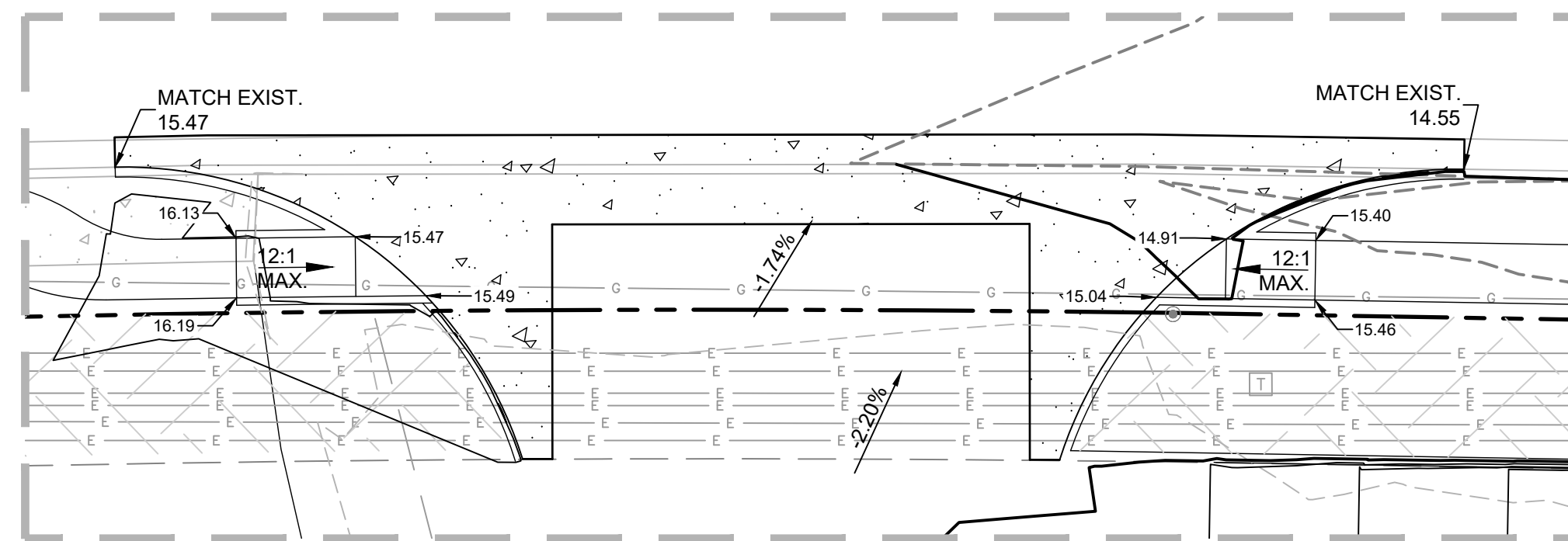
ENTRANCE "A" ELEVATIONS  
SCALE: 1" = 10'



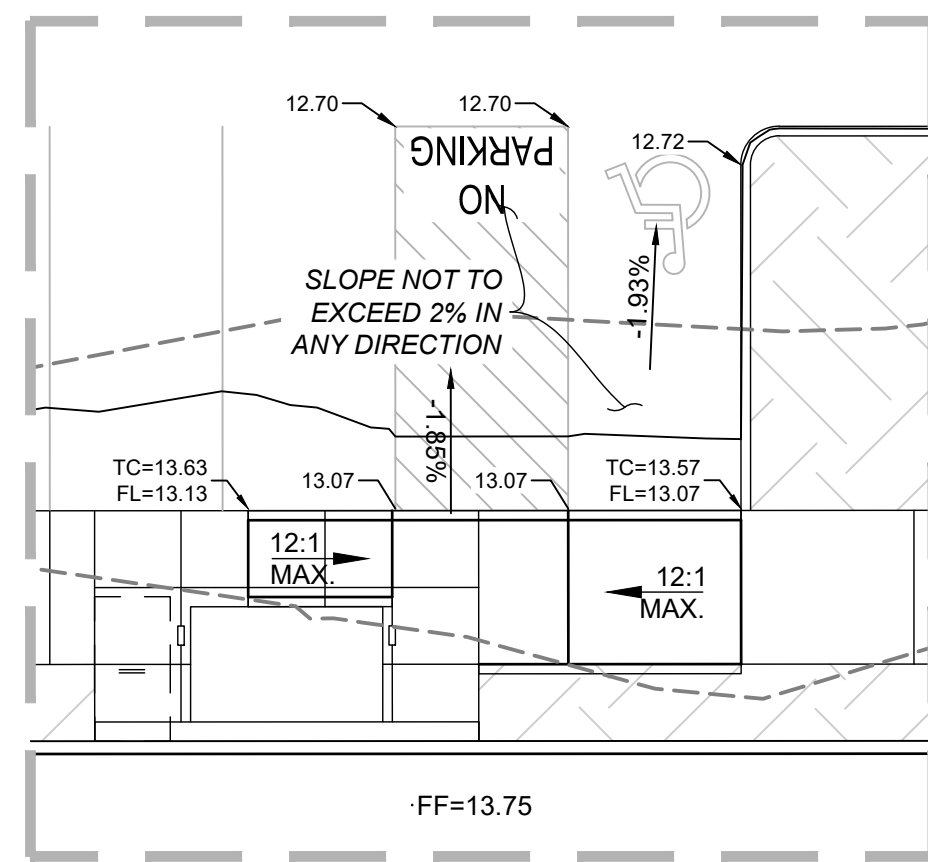
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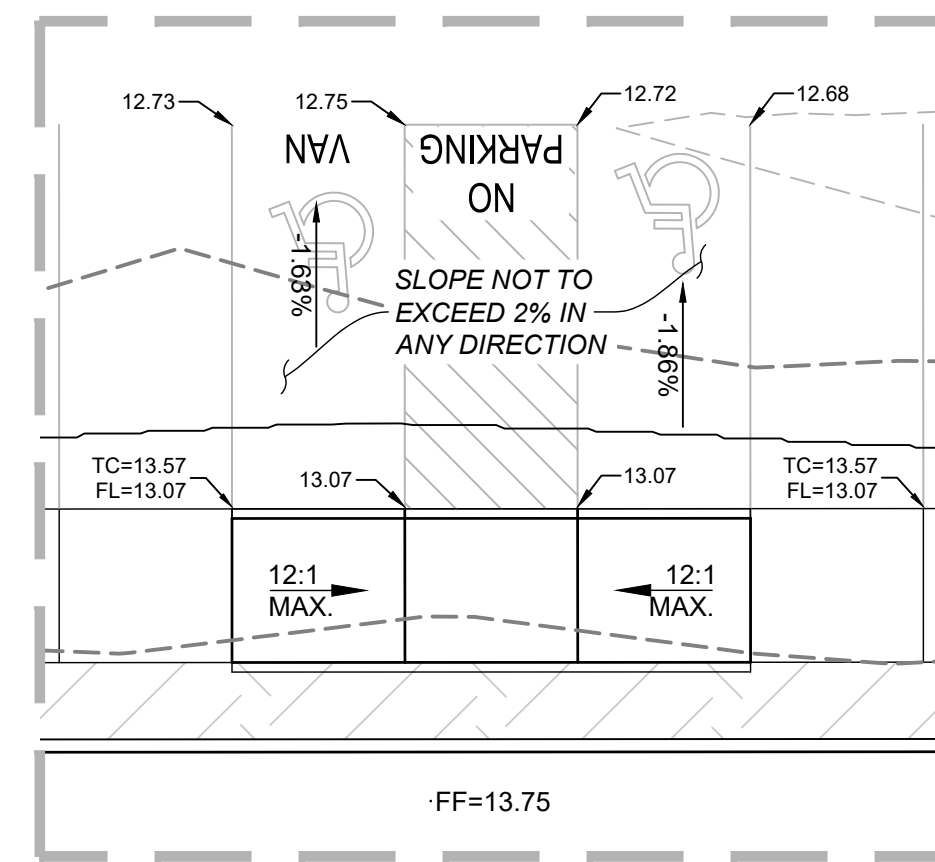
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SCALE: 1" = 10'



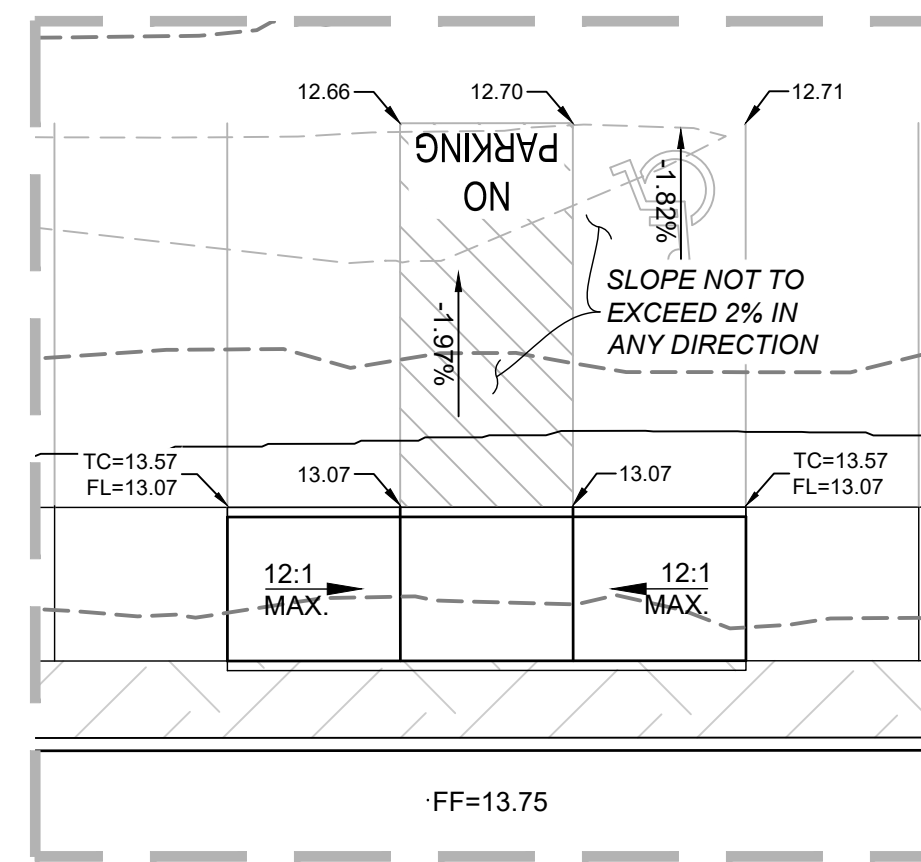
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SCALE: 1" = 10'



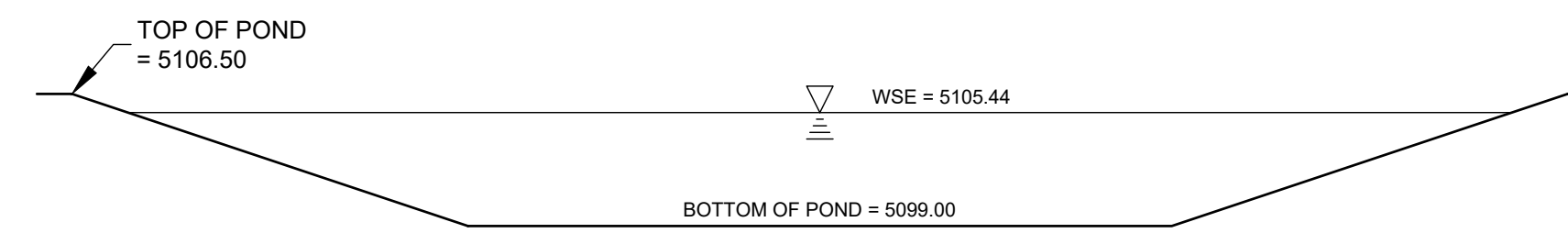
ADA RAMP "E" ELEVATIONS  
SCALE: 1" = 10'



ADA RAMP "F" ELEVATIONS  
SCALE: 1" = 10'



ADA RAMP "G" ELEVATIONS  
SCALE: 1" = 10'



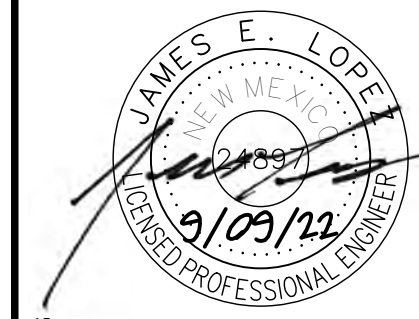
SECTION A-A  
SCALE: 1" = 10'

**A1 GRADING & DRAINAGE DETAILS**  
SCALE: 1" = 10'



**WILSON & COMPANY**  
4401 WASTHEAD ST., NE, SUITE 150  
ALBUQUERQUE, NM 87109  
PHONE: 505-348-4000  
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CONSULTANTS



PROJECT NAME  
**NEW OFFICE/WAREHOUSE  
FOR BRUNACINI DEVELOPMENT  
541 AIRPORT DRIVE, NW  
ALBUQUERQUE, NM 87121**

REV.	DATE	DESCRIPTION	BY

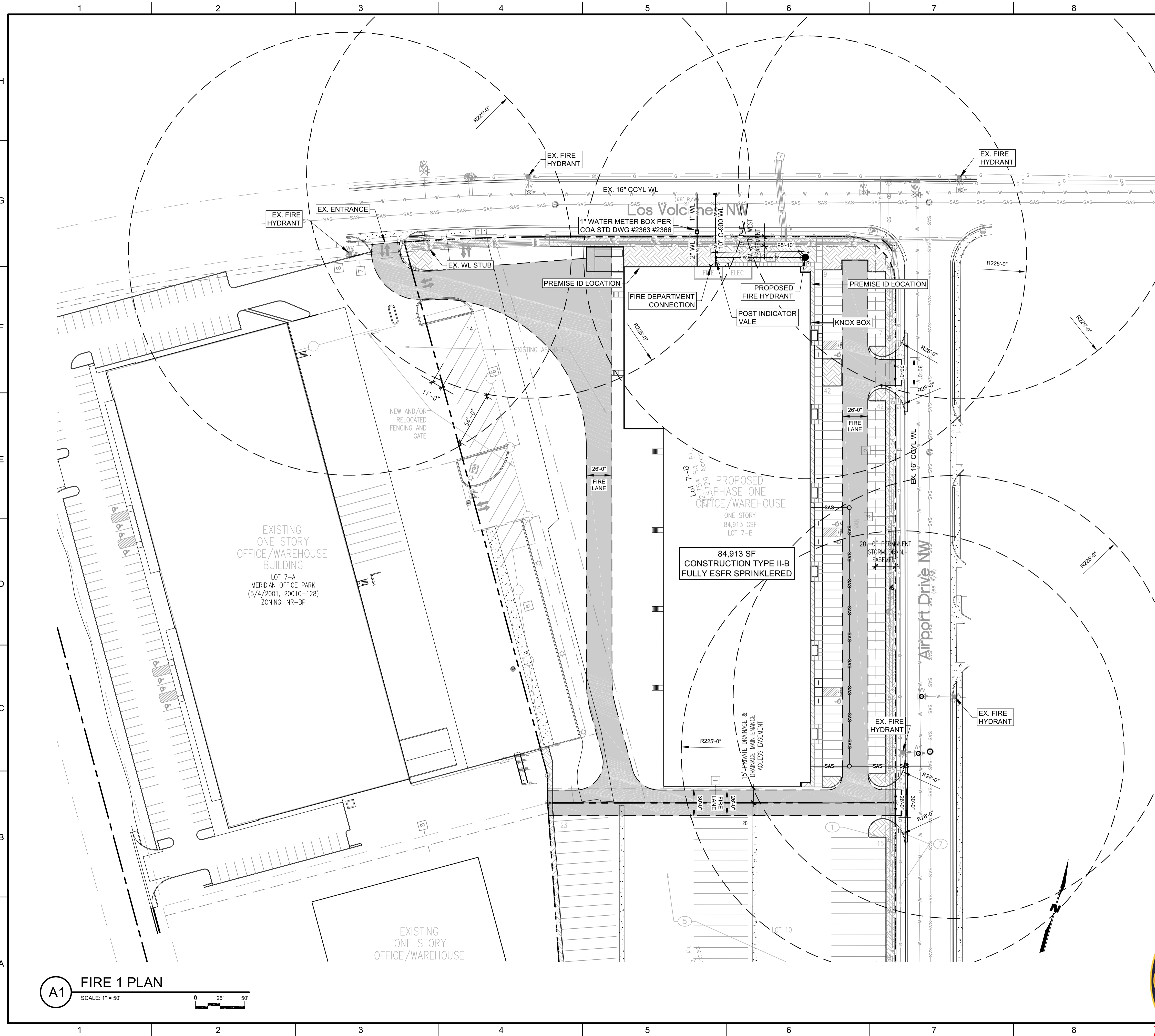
PROJECT NO: 22-600-175-00  
DESIGNED BY: JEL  
DRAWN BY: DY  
CHECKED BY: JEL  
DATE: JUNE 2022



SHEET TITLE  
**GRADING &  
DRAINAGE DETAILS**

SHEET NO:  
**C-103**

6/23/2022 M:\MSD\22-600-175-00\2\_Disciplines\_Sheets - civil\2260175-FIRE.dwg



- ### GENERAL NOTES
- IF BUILDING IS SUBDIVIDED, ALL UNITS WILL BE CLEARLY DESIGNATED AND HAVE A 1-HOUR FIRE RATING.
  - CONSTRUCTION TYPE II-B FULLY ESFR SPRINKLERED.
  - BUILDING IS 84,913 SF.
  - NO SECURITY GATES ON-SITE.
  - ALL DRIVING SURFACES SHALL BE ASPHALT OR CONCRETE.
  - FIRE APPARATUS ROAD DIMENSIONS: FIRE APPARATUS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH NOT LESS THAN 20 FEET AND AN UNOBSTRUCTED HEIGHT NOT LESS THAN 13 FEET 6 INCHES. THEY SHALL HAVE AN UNOBSTRUCTED WIDTH NOT LESS THAN 26 FEET IN WIDTH WHEN FIRE DEPARTMENT ACCESS ROAD EXCEEDS 300 FEET.
  - ACCESS AND LOADING: AN APPROVED FIRE APPARATUS ACCESS ROADS SHALL HAVE AN ASPHALT, CONCRETE, OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.
  - ENGINEERING DATA: ENGINEERING DATA SHALL BE SUBMITTED TO SUBSTANTIATE WEIGHT BEARING CAPACITY AND ALL WEATHER DRIVING CAPABILITIES FOR FIRE APPARATUS ACCESS ROADS.
  - GRADE: FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE.
  - SECURITY GATES: SECURITY GATES THAT EXTEND ACROSS FIRE APPARATUS ACCESS ROADS OR IMPEDE FIRE APPARATUS ACCESS SHALL HAVE AN APPROVED MEANS OF OPERATION TO ALLOW FIRE DEPARTMENT ACCESS.

**WILSON & COMPANY**  
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 ALBUQUERQUE, NM 87109  
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CONSULTANTS

PROJECT NAME  
**NEW OFFICE/WAREHOUSE FOR BRUNACINI DEVELOPMENT**  
 541 AIRPORT DRIVE, NW  
 ALBUQUERQUE, NM 87121

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 22-600-175-00  
 DESIGNED BY: JEL  
 DRAWN BY: DY  
 CHECKED BY: JEL  
 DATE: JUNE 2022

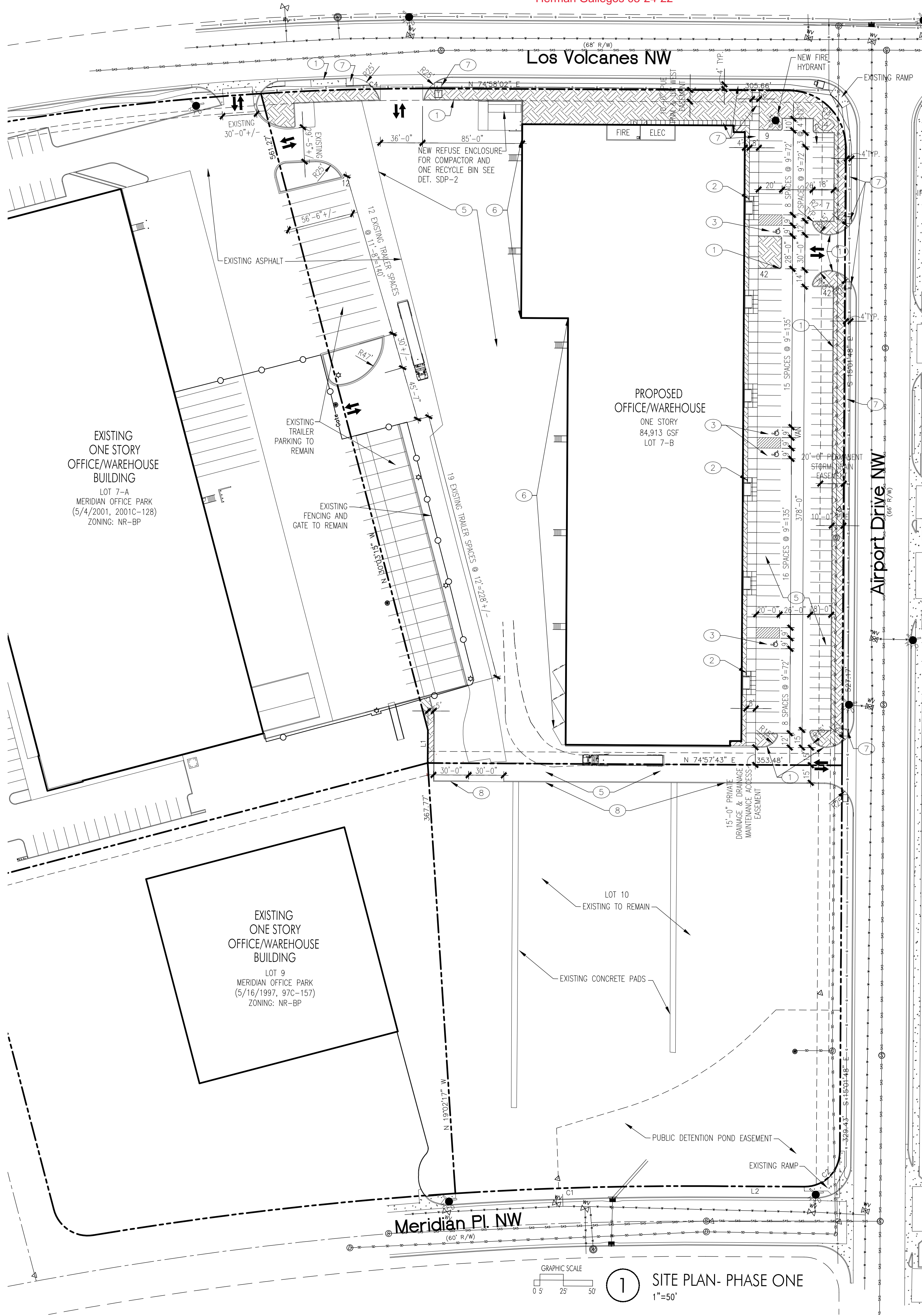
SHEET TITLE  
**FIRE 1 PLAN**  
 SHEET NO: -

**A1 FIRE 1 PLAN**  
 SCALE: 1" = 50'

**ALBUQUERQUE FIRE MARSHAL'S DIVISION OFFICE PLANS CHECKING DIVISION**  
**PERMIT**  
 PERMIT NUMBER: FP-22-010465  
 APPROVED DATE: 06/23/22  
**APPROVED**

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.  
**FIRE FLOW:** 84913 SF, 2B, 6250/2 Sprinklered, 3 Hydrants

Approved for access by the  
Solid Waste Department for a compactor trash enclosure  
1 recycle trash enclosure. \*\*Phase 2 SDP-2\*\*  
Herman Gallegos 05-24-22



**CURVE TABLE**

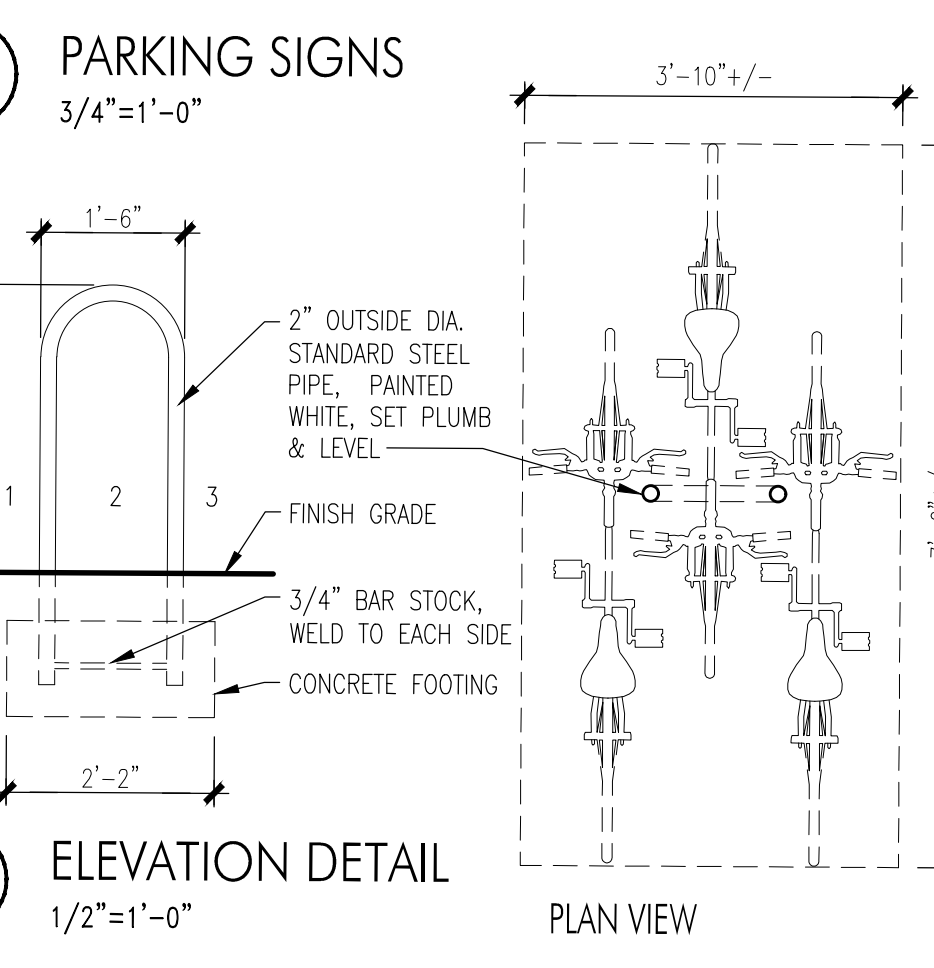
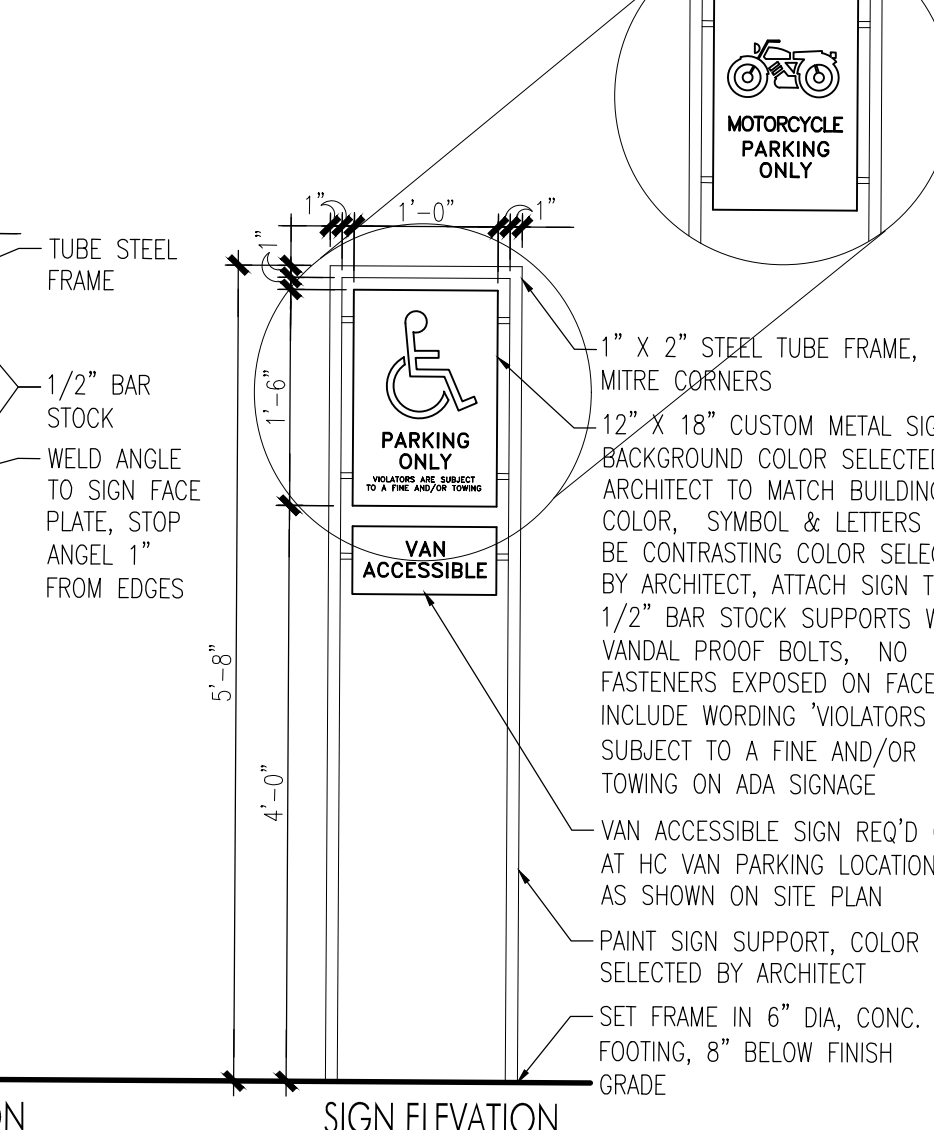
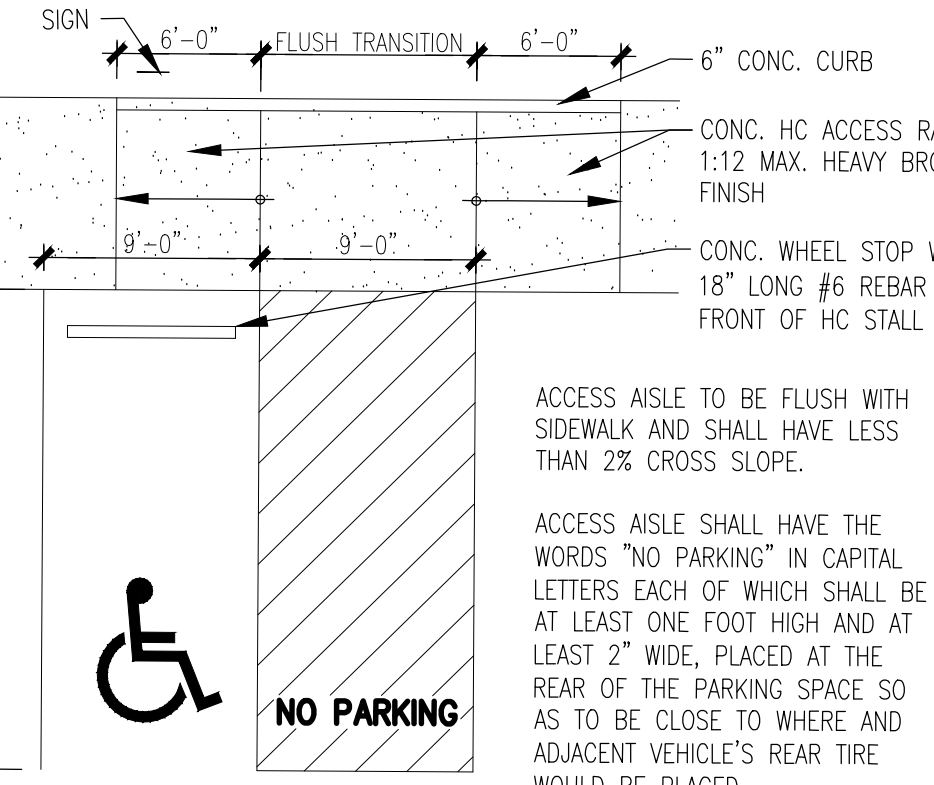
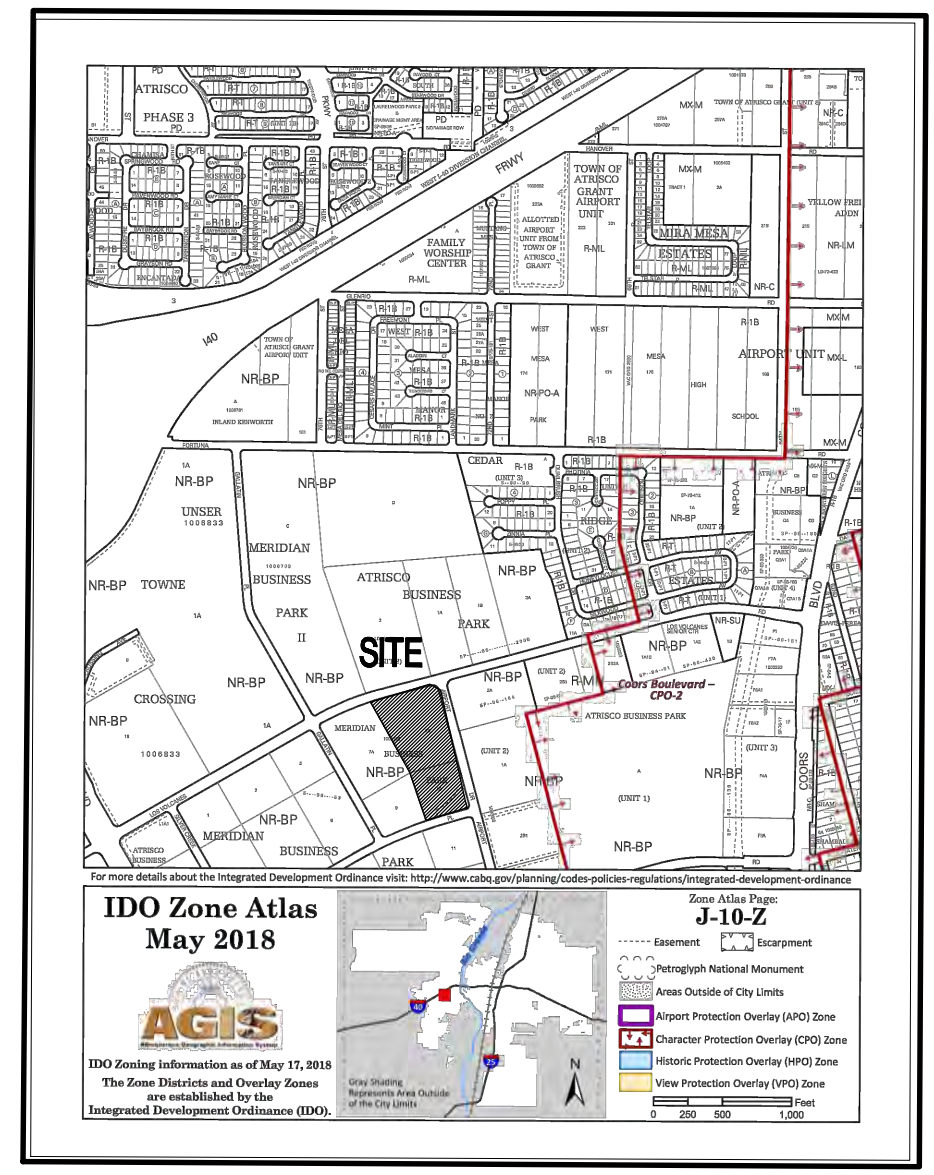
NUMBER	LENGTH	CHORD RADIUS	DELTA	CHORD LENGTH	CHORD DIRECTION
C1	213.94'	3063.83'	4'00'03"	213.90'	S 72°57'53" W
C2	47.12'	30.00'	89°59'37"	213.90'	S 29°58'01" W
C3	75.40'	48.00'	90°00'11"	213.90'	S 60°01'53" E
C4	145.45'	2257.83'	3°41'27"	213.90'	N 72°56'11" E

**LINE TABLE**

NUMBER	DIRECTION	LENGTH
L1	N 15°02'53" W	27.96'
L2	S 74°57'50" W	84.01'

- GENERAL NOTES**
- ALL SITE LIGHTING SHALL COMPLY WITH IDO SECTION 14-16-5-8. OUTDOOR AND SITE LIGHTING.
  - PLACEMENT OF FIXTURES & STANDARDS SHALL CONFORM TO STATE & LOCAL SAFETY & ILLUMINATION REQUIREMENTS.
  - ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS WITH NO LIGHT, LENS OR BULB PROTRUDING BELOW THE BOTTOM OF THE CUT-OFF FIXTURE IN ORDER THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
  - ROOF TOP AND GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM THE PUBLIC VIEW BY MATERIALS OF THE SAME NATURE AS THE BUILDING'S BASIC MATERIALS. THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET OR SCREENED FROM VIEW FROM PUBLIC RIGHTS-OF-WAY AND THE SITE ACCESS EASEMENT.
  - SITE HANDICAP RAMP SHALL BE BUILT BY COA STANDARD DRAWING #2441.

- KEYED NOTES**
- CONCRETE CURB, REFER DETAIL
  - BICYCLE PARKING, REFER DETAILS THIS SHEET
  - HC PARKING, RAMP & SIGN, REFER DETAILS THIS SHEET
  - (3) 4'X20' MOTORCYCLE PARKING SPACE & SIGN, REFER DETAILS THIS SHEET
  - ASPHALT PAVING
  - DOCKS, REFER ELEVATIONS
  - SIDEWALK & RAMPS, REFER DETAILS
  - TEMP. EXTRUDED CURB



PROJECT NO. XXX  
APPLICATION NO. XXX

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE EPC, DATED \_\_\_\_\_ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO  
IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.  
DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE \_\_\_\_\_  
ABCWUA DATE \_\_\_\_\_  
PARKS & RECREATION DEPARTMENT DATE \_\_\_\_\_  
CITY ENGINEER/HYDROLOGY DATE \_\_\_\_\_  
CODE ENFORCEMENT DATE \_\_\_\_\_  
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE \_\_\_\_\_

*Herman Gallegos* Herman Gallegos 05-24-22  
SOLID WASTE DATE \_\_\_\_\_

DRB CHAIRPERSON, ALBUQUERQUE PLANNING DEPARTMENT DATE \_\_\_\_\_  
ENVIRONMENTAL HEALTH, IF NECESSARY DATE \_\_\_\_\_

**PROJECT INFORMATION**

PROJECT: NEW OFFICE/WAREHOUSE  
LOCATION: 541 AIRPORT DRIVE, NW ALBUQUERQUE, NEW MEXICO  
OWNER: BRUNACINI BUILDERS 1 OPPORTUNITY LAND, LLC  
ARCHITECT: TATE FISHBURN ARCHITECT

**LEGAL DESCRIPTION:**

LOT NUMBERED SEVEN-B (7-B) OF THE PLAT OF LOT 7-A AND 7-B, MERIDIAN BUSINESS PARK, (BEING A REPLAT OF LOTS 7 AND 8, MERIDIAN BUSINESS PARK) CITY OF ALBUQUERQUE, BERNILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNILLO COUNTY, NEW MEXICO ON MAY 4, 2001, IN PLAT BOOK 2001C, FOLIO 128, AND LOT NUMBERED TEN (10) OF THE PLAT OF LOTS 1 THRU 23, MERIDIAN BUSINESS PARK, (BEING A REPLAT OF LOTS 1 THRU 9 IN TRACT M, ATRISCO BUSINESS PARK UNIT 2) CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNILLO COUNTY, NEW MEXICO ON MAY 16, 1997 IN PLAT BOOK 97C, FOLIO 157.

**CURRENT ZONING CLASSIFICATION:** NR-BP  
**NET SITE AREA:** LOT 7-B - 242,754 SF 5.5729 ACRES  
LOT 10 - 122,863 SF 2.8206 ACRES

**BUILDING AREA:** LOT 7-B OFFICE 21,228 GSF  
WAREHOUSE 63,685 GSF  
TOTAL 84,913 GSF

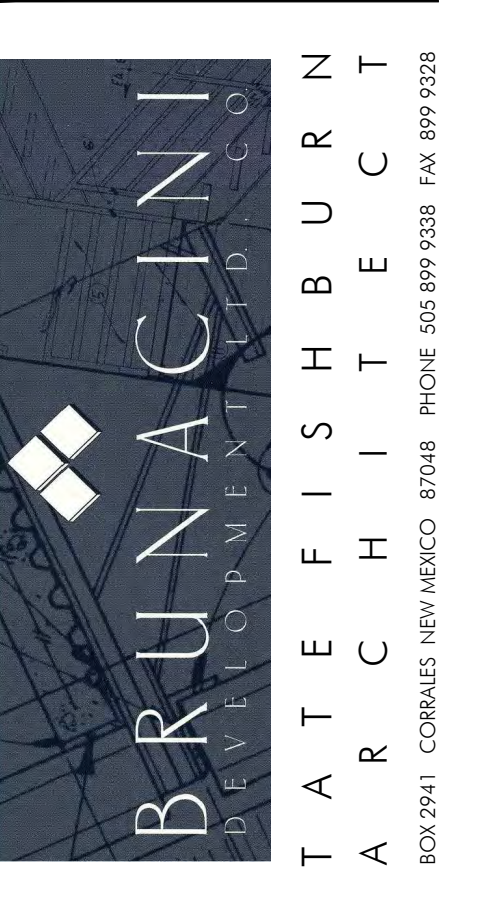
**FAR:** 34.98

**PARKING ANALYSIS:**

OFF-STREET PARKING	OFFICE 21,228 GSF	3.5:1000 = 75 SPACES	NO REQUIREMENT
	WAREHOUSE 63,685 GSF		REQUIRED 75 SPACES
			PROVIDED 100 SPACES
			TOTAL SPACES PROVIDED 100 SPACES
HANDICAP PARKING (51-100 PRVD) = REQUIRED		4 SPACES TOTAL (1 VAN) PROVIDED 4 SPACES TOTAL (1 VAN)	
MOTORCYCLE PARKING (51-100 PRVD) = REQUIRED		3 SPACES PROVIDED 3 SPACES	
BICYCLE PARKING (10% ROD PARKING SPACES) = REQUIRED		8 SPACES PROVIDED 9 SPACES	

**LEGEND**

- PROPERTY LINE
- EASEMENT LINE
- LANDSCAPED AREA
- HANDICAP PARKING PAVEMENT MARKING
- FIRE HYDRANT
- 25' WHITE PARKING LOT POLE W/ (3) 100 WATT LED FIXTURE HEADS



ARCHITECT SEAL  
ENGINEER SEAL

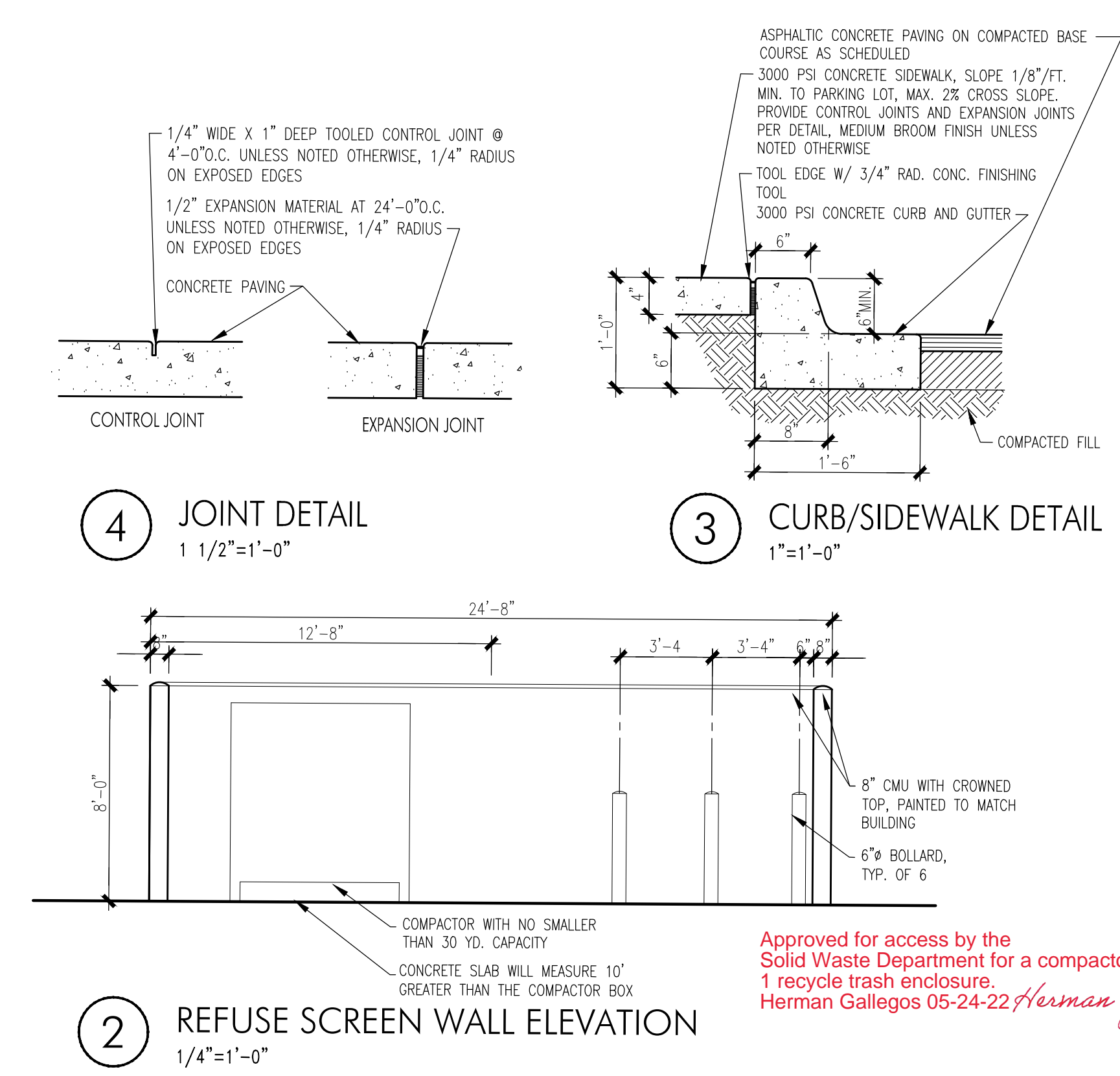
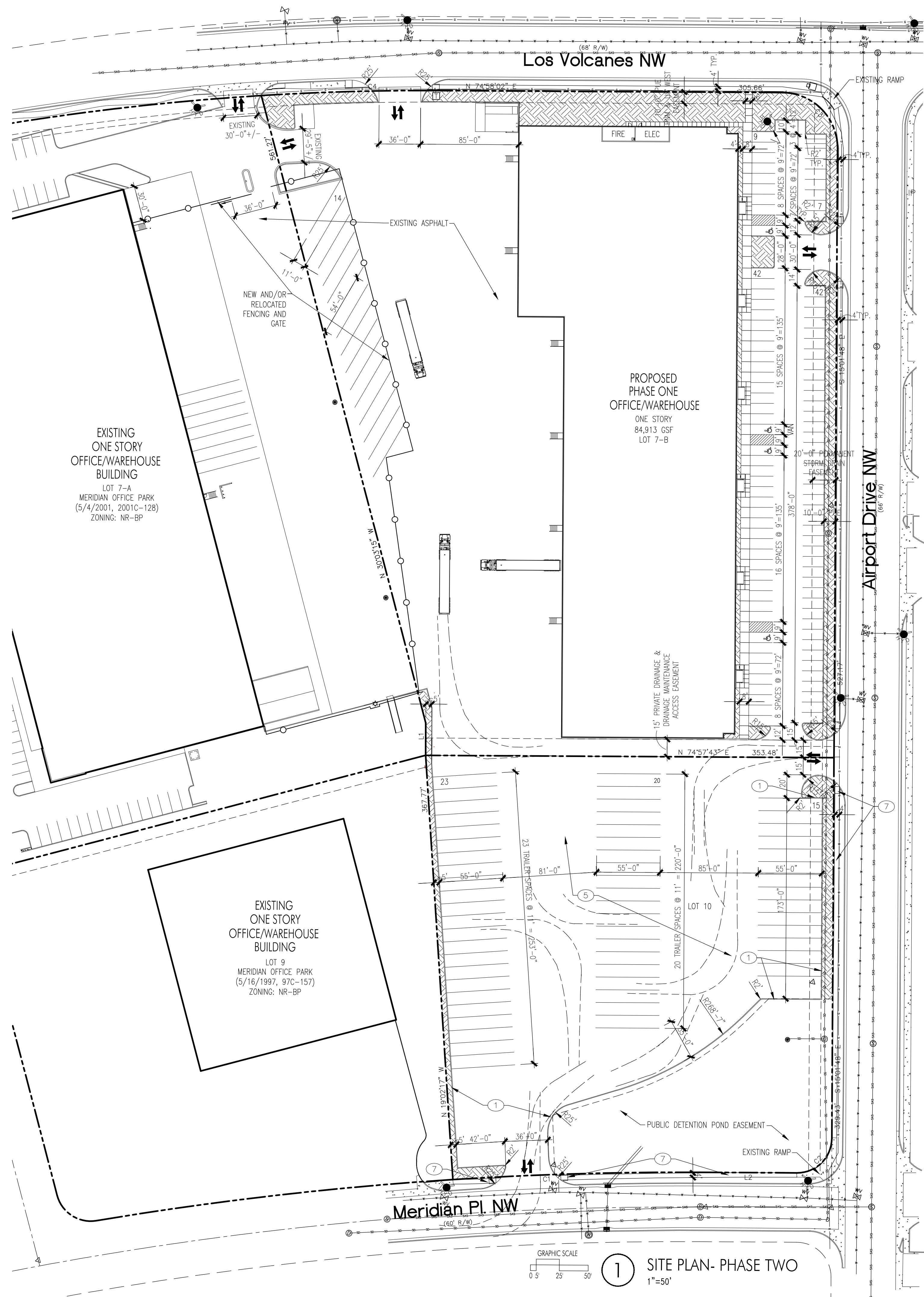
**NEW OFFICE/WAREHOUSE FOR BRUNACINI DEVELOPMENT**  
**541 AIRPORT DRIVE, NW ALBUQUERQUE, NEW MEXICO**

REVISIONS

DATE: MAY 2022  
SCALE: 1"=50'-0" OR AS NOTED

DRAWING NAME: SITE DEVELOPMENT PLAN PHASE ONE  
SHEET NUMBER: SDP-1

1 SITE PLAN- PHASE ONE  
1"=50'



**CURVE TABLE**

NUMBER	LENGTH	CHORD RADIUS	DELTA	CHORD LENGTH	CHORD DIRECTION
C1	213.94'	3063.63'	4°00'03"	213.90'	S 72°57'53" W
C2	47.12'	30.00'	89°58'37"	213.90'	S 29°58'01" W
C3	75.40'	48.00'	90°00'11"	213.90'	S 60°01'53" E
C4	145.45'	2257.83'	3°41'27"	213.90'	N 72°56'11" E

**LINE TABLE**

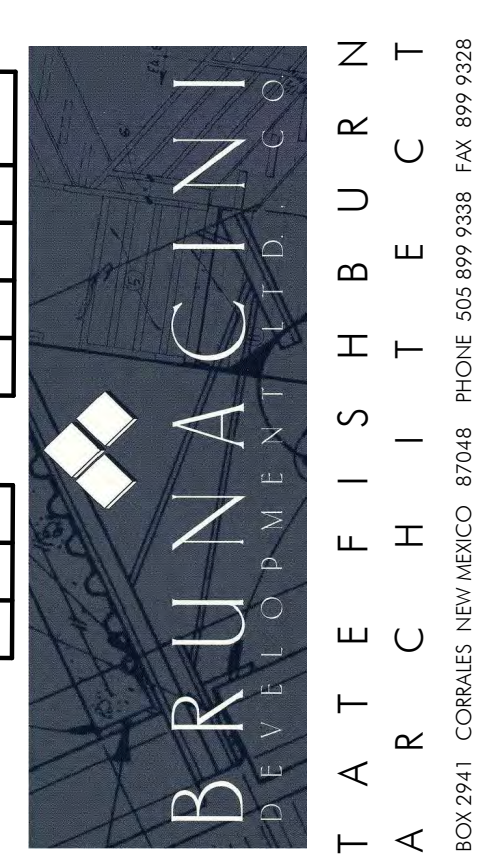
NUMBER	DIRECTION	LENGTH
L1	N 15°02'53" W	27.96'
L2	S 74°57'50" W	84.01'

S1

- GENERAL NOTES**
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  - SITE HANDICAP RAMPS SHALL BE BUILT BY COA STANDARD DRAWING #2441.

- KEYED NOTES**
- CONCRETE CURB, REFER DETAIL
  - NOT USED
  - NOT USED
  - NOT USED
  - ASPHALT PAVING
  - NOT USED
  - SIDEWALK & RAMPS, REFER DETAILS

- LEGEND**
- PROPERTY LINE
  - EASEMENT LINE
  - LANDSCAPED AREA
  - HANDICAP PARKING PAVEMENT MARKING
  - FIRE HYDRANT
  - 25' WHITE PARKING LOT POLE W/ (3) 100 WATT LED FIXTURE HEADS



ARCHITECT SEAL

ENGINEER SEAL

PROJECT

**NEW OFFICE/WAREHOUSE FOR BRUNACINI DEVELOPMENT**  
541 AIRPORT DRIVE, NW  
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE MAY 2022

NORTH SCALE

1"=50'-0" OR AS NOTED

DRAWING NAME  
**SITE DEVELOPMENT PLAN PHASE TWO**

SHEET NUMBER  
**SDP-2**











# PR-2022-007623\_SI-2022-02067\_Site\_Plan\_Aproved\_12-7-22

Final Audit Report

2023-04-24


Created:	2023-04-20
By:	Leila Shadabi (lshadabi@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAADAKcjNe5XJtc1avchGxhPGus0WHWmGDY

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-  Document emailed to David Gutierrez (dggutierrez@abcwua.org) for signature  
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Signature Date: 2023-04-21 - 2:31:11 PM GMT - Time Source: server

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