

ARIA STUDIO CONSULTANTS, INC.

100 GOLD AVE SW, SUITE 205, ALBUQUERQUE, NEW MEXICO 87102

PRINCIPAL ARCHITECT | DANIEL PUZAK, AIA | (505) 506-2314 | [DANIEL@ARIASCINC.COM](mailto:DANIEL@ARIASCINC.COM)

## SITE PLAN ADMINISTRATIVE – DFT

NM Sol

7431 Los Volcanes Rd NW (formerly 7401)

Albuquerque, NM

BP-2023-10760

J10D027



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## SITE PLAN DOCUMENTATION

- 01 DFT APPLICATION FORM
- 02 FORM P2
- 03 FORM P
  - 03.1 SIGNED AVAILABILITY STATEMENT
  - 03.2 GRADING AND DRAINAGE APPROVAL LETTER
  - 03.3 TRAFFIC CONTROL LAYOUT APPROVAL LETTER
- 04 ZONE ATLAS MAP
- 05 SITE PLAN AND RELATED DRAWINGS
  - 05.1 AS101 SITE PLAN OVERALL / TCL
  - 05.2 AS102 ENLARGED SITE PLAN / TCL
  - 05.3 AS501 SITE DETAILS
  - 05.4 LS101 LANDSCAPE PLAN
  - 05.5 C100 OVERALL GRADING PLAN
  - 05.6 C101 GRADING PLAN
  - 05.7 C102 POND GRADING PLAN
  - 05.8 C103 DRAINAGE MANAGEMENT PLAN
  - 05.9 C104 POND CALCULATIONS
  - 05.10 A201 EXTERIOR ELEVATIONS
  - 05.11 A401 ENLARGED WEST ENTRY ELEVATION
  - 05.12 F1 FIRE 1 PLAN APPROVED
  - 05.13 RECORDED PLAT
  - 05.14 SOLID WASTE APPROVED
- 06 MASTER DEVELOPMENT PLAN
  - 06.1 MASTER PLAN NARRATIVE
  - 06.2 LANDSCAPE NARRATIVE
  - 06.3 ATRISCO BUSINESS PARK AMENDMENT 2018 MASTER PLAN
- 07 INFRASTRUCTURE LIST



**Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.**

<b>MISCELLANEOUS APPLICATIONS</b>	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms P & P2)	<b>PRE-APPLICATIONS</b>
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	<b>APPEAL</b>
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Administrative Decision (Form A)

<b>BRIEF DESCRIPTION OF REQUEST</b>

<b>APPLICATION INFORMATION</b>			
Applicant/Owner:		Phone:	
Address:		Email:	
City:	State:	Zip:	
Professional/Agent (if any):		Phone:	
Address:		Email:	
City:	State:	Zip:	
Proprietary Interest in Site:		List <u>all</u> owners:	

<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>			
Lot or Tract No.:		Block:	Unit:
Subdivision/Addition:		MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:		Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):	

<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street:	Between:	and:

<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

<b>Signature:</b>	<b>Date:</b>
<b>Printed Name:</b>	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

**FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022****\_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov). Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

**SITE PLAN DOCUMENTATION**

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form P2 with all the submittal items checked/marked
- \_\_\_ 3) Form P with signatures from Hydrology, Transportation, and ABCWUA
- \_\_\_ 4) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- \_\_\_ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- \_\_\_ 7) Infrastructure List, if required for building of public infrastructure
- \_\_\_ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):  
[https://documents.cabq.gov/planning/development-review-board/Sensitive\\_lands\\_analysis\\_form.pdf](https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf)
- \_\_\_ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic\\_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

**SUPPORTIVE DOCUMENTATION**

- \_\_\_ 10) Completed Site Plan Checklist
- \_\_\_ 11) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- \_\_\_ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- \_\_\_ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

\_\_\_ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

\_\_\_ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

**PUBLIC NOTICE DOCUMENTATION**

\_\_\_ 17) Sign Posting Agreement

\_\_\_ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

\_\_\_ Office of Neighborhood Coordination neighborhood meeting inquiry response

\_\_\_ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

\_\_\_ Completed neighborhood meeting request form(s)

\_\_\_ If a meeting was requested or held, copy of sign-in sheet and meeting notes

\_\_\_ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

\_\_\_ Office of Neighborhood Coordination notice inquiry response

\_\_\_ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

\_\_\_ Proof of emailed notice to affected Neighborhood Association representatives

**\_ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form P2 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Site Plan and related drawings
- \_\_\_ 5) Infrastructure List, if require
- \_\_\_ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- \_\_\_ 7) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 8) Solid Waste Department signature on Site Plan
- \_\_\_ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- \_\_\_ 10) Approved Grading and Drainage Plan
- \_\_\_ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)

**FORM P: PRE-APPROVALS/SIGNATURES**

**Legal Description & Location:** 7401 Los Volcanes Rd NW (will apply for new address)  
Lot 2-B, Tract S-1, Atrisco Business Park, Unit 2, City of Albuquerque, Bernalillo County, New Mexico

**Job Description:** New 23,924 sf concrete tilt-up panel warehouse to be used for cannabis cultivation and production

**Hydrology:**

- Grading and Drainage Plan        X   Approved             NA
- AMAFCA                                       Approved        x   NA
- Bernalillo County                        Approved        x   NA
- NMDOT                                        Approved        x   NA
- MRGCD                                       Approved        x   NA

*Renée C. Brissette*

08/28/23

Hydrology Department

Date

**Transportation:**

- Traffic Circulations Layout (TCL)        X   Approved             NA
- Traffic Impact Study (TIS)                    Approved        X   NA
- Neighborhood Impact Analysis (NIA)          Approved        X   NA
- Bernalillo County                            Approved        X   NA
- MRCOG                                        Approved        X   NA
- NMDOT                                        Approved        X   NA
- MRGCD                                       Approved        X   NA

*Ernest Armijo*

8/29/2023

Transportation Department

Date

**Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

- Water/Sewer Availability Statement/Serviceability Letter        x   Approved             NA
- ABCWUA Development Agreement                                            Approved        x   NA
- ABCWUA Service Connection Agreement                                      Approved        x   NA

*Ernest Armijo*  
ABCWUA

08/22/23

Date

- Infrastructure Improvements Agreement (IIA\*)        x   Approved             NA
- Solid Waste Department Signature on the plan        x   Approved             NA
- Fire Marshall Signature on the plan                                   x   Approved             NA

\* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

December 28, 2022

**Chair**

Klarissa J. Peña  
City of Albuquerque  
Councilor, District 3

**Vice Chair**

Debbie O'Malley  
County of Bernalillo  
Commissioner, District 1

Tammy Fiebelkorn  
City of Albuquerque  
Councilor, District 7

Trudy E. Jones  
City of Albuquerque  
Councilor, District 8

Timothy M. Keller  
City of Albuquerque  
Mayor

Charlene Pyskoty  
County of Bernalillo  
Commissioner, District 5

Steven Michael Quezada  
County of Bernalillo  
Commissioner, District 2

*Ex-Officio Member*  
Gilbert Benavides  
Village of Los Ranchos  
Board Trustee

*Executive Director*  
Mark S. Sanchez

*Website*  
www.abcwua.org

Jeffrey T Wooten  
Wooten Engineering  
PO Box 15814  
Rio Rancho, NM 87174

**RE: Water and Sanitary Sewer Availability Statement #221209**  
**Project Name: Rays Flooring Phase 1 Tenant Addition, NM Sol**  
**Project Address: 7401 Los Volcanes NW, 87121**  
**Legal Description: Lot 2, Tract S-1 of Unit 2, Atrisco Business Park**  
**UPC: 101005818513130104**  
**Zone Atlas Map: J-10-Z**

Dear Mr. Wooten:

**Project Description:** The subject site is located along Los Volcanes Road northwest of the intersection of Airport Drive and Los Volcanes Road and east of Ben Keith Way, within the City of Albuquerque. The proposed development consists of approximately 11.06 acres and the property is currently zoned NR-BP for non-residential use. The property lies within the Pressure Zone 2WR in the Atrisco Trunk.

The request for availability indicates plans to develop a new 23,700 SF Industrial Building as well as subdivide the parcel into three tracts.

**Existing Conditions:** Water infrastructure in the area consists of the following:

- 16-inch Concrete Cylinder transmission line (project # 10-187-75) along Los Volcanes Road.
- Ten-inch PVC distribution line (project # 26-5780.81-98) stub out in the southwest corner of the site that comes off of the 16-inch transmission line.
- Ten-inch PVC distribution line (project # 26-5780.81-98) stub out in the southeast corner of the site that comes off of the 16-inch transmission line.

Sanitary sewer infrastructure in the area consists of the following:

- Eight-inch vitrified clay pipe sanitary sewer collector line (project # 10-187-75) along Los Volcanes Road.

**Water Service:** New metered water services and fire lines to the three properties can be provided contingent upon a developer funded project to extend the ten-inch stub out on the west side of the property to the northern property boundary. Upon completion of the infrastructure construction, the development may receive service via routine connection to the proposed ten-inch distribution main along the west side of the property. The engineer is responsible for determining pressure losses and sizing of the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service. Each legally



platted property shall have individual, independent water services and fire lines. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and collar removed.

**Non-Potable Water Service:** Currently, there is no non-potable infrastructure available to serve the subject property.

**Sanitary Sewer Service:** New sanitary sewer services to the three properties can be provided contingent upon a developer funded project to extend a sanitary sewer line from the collector in Los Volcanes Road along the west side of the property to the northern property boundary. No property shall share a private sewer service with any other property. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

**Fire Protection:** From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 1075 GPM gallons-per-minute. One fire hydrant is required. There are five existing hydrants available and one new hydrant is proposed with this project. As modeled using InfoWater™ computer software, the fire flow can be met. Analysis was performed by simulating the required fire flow at the existing hydrant along Los Volcanes Road.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

**Cross Connection Prevention:** Per the Cross Connection Ordinance, all new non-residential premises must have a reduced pressure principal backflow prevention assembly approved by the Water Authority installed at each domestic service connection at a location accessible to the Water Authority. No tees, branches or possible connection fittings or openings are allowed between the reduced principal backflow prevention assembly and the service connection unless protected by a backflow prevention assembly. These requirements also apply to all remodeled non-residential premises when the work area of the building undergoing repairs, alterations or rehabilitation, as defined in the International Existing Building Code, exceeds 50 percent of the aggregate area of the building regardless of the costs of repairs, alteration or rehabilitation.

All non-residential irrigation water systems connected to the public water system shall have a pressure vacuum breaker, spill-resistant pressure vacuum breaker or a reduced pressure principal backflow prevention assembly installed after the service connection. Such devices shall be approved by the Water Authority. No tees, branches or possible connection fittings or openings are allowed between the containment backflow prevention assembly and the service connection.

All non-residential customers connected via piping to an alternative water source or an auxiliary water supply and the public water system shall install a containment reduced

pressure principal backflow prevention assembly approved by the Water Authority after the potable service connection.

All new services to private fire protection systems shall be equipped with a containment reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction installed after the service connection. No tees, branches or possible connection fittings or openings are allowed between the containment backflow prevention assembly and the service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the private fire protection system meets or exceeds ANSI/NSF Standard 60.61 throughout the entire private fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections nor connections from auxiliary water supplies.

The Water Authority requests that all backflow (containment) devices be located above ground just outside the easement or roadway right-of-way. Contact Cross Connection at (505) 289-3454 for more information.

**Pretreatment – Industrial Use:** The user is considered to potentially be a Significant Industrial User (as defined in the Sewer Use and Wastewater Control Ordinance (SUO) and summarized below) the user must obtain a Wastewater Discharge Permit from the Industrial Pretreatment Program and comply with all permitting requirements per the SUO section 3-4.

1. The industry falls under one or more EPA categorical pretreatment standards found in Title 40 Code of Federal Regulations, Chapter 1, Subchapter N, Sections 405-471  
<https://www.ecfr.gov/current/title-40/chapter-1/subchapter-N>
2. The industry plans to discharge more than 25,000 gallons of wastewater per day.
3. Has reasonable potential to adversely affect the POTWs (sewer system) operation or for violating any pretreatment standard or requirement. (such as potential to discharge a prohibited discharge SUO 3-2-1 or concentrated waste over a Local Limit SUO 3-2-3)

A copy of the Sewer Use and Wastewater Control Ordinance and FOGS Policy can be found on the Pretreatment page of the Water Authority Website:

<https://www.abcwua.org/sewer-system-industrial-pretreatment-overview/>

Contact the Industrial Pretreatment Engineer, Travis Peacock, at (505) 289-3439 or [pretreatment@abcwua.org](mailto:pretreatment@abcwua.org) for coordination or clarification of any of the above requirements.

**Easements and Property:** Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to

approval of service. A Warranty Deed shall be required when a property will be transferred to the Water Authority for the installation of Water Authority owned facilities such as pump stations, reservoirs, wells, lift stations, or any other facility.

**Pro Rata:** Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

**Utility Expansion Charge (UEC):** In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter.

Contact Customer Service at (505) 842-9287 (option 3) for more information regarding UECs.

**Water Use:** All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Reduction Ordinance. Where available, outdoor water

**Closure:** This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at [kcadena@abcwua.org](mailto:kcadena@abcwua.org) if you have questions regarding the information presented herein or need additional information.

Sincerely,

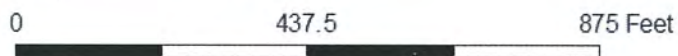


Mark S. Sanchez  
Executive Director

Enclosures: Infrastructure Maps

f/ **Availability Statement #221209**

# 221209 - Water



## Legend

- |                      |                                       |
|----------------------|---------------------------------------|
| Hydrant              | Project Location                      |
| <b>Water Pipe</b>    | Base Map City                         |
| <b>Subtype</b>       | <b>Fire Flow Analysis Points</b>      |
| Distribution Line    | Analysis Point - Existing Hydrant (1) |
| Hydrant Leg          | --- General Map Keyed Notes           |
| In Zone Transmission | 1 - Water Line Extension              |



# 221209 - Sanitary Sewer



0 437.5 875 Feet



## Legend

- |                   |               |  |                             |
|-------------------|---------------|--|-----------------------------|
|                   | Sewer Manhole |  | Project Location            |
| <b>Sewer Pipe</b> |               |  | Base Map City               |
| <b>Subtype</b>    |               |  | --- General Map Keyed Notes |
|                   | COLLECTOR     | 1 - Extension of Public Sanitary Sewer |                             |



# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

August 28, 2023

Jeffrey T. Wooten, P.E.  
Wooten Engineering  
PO Box 15814  
Rio Rancho, NM 87174

**RE: Ray's Flooring – Phase 1  
7401 Los Volcanes Rd NW  
Grading & Drainage Plans  
Engineer's Stamp Date: 08/01/23  
Hydrology File: J10D027**

Dear Mr. Wooten:

Based upon the information provided in your submittal received 08/04/2023, the Grading & Drainage Plans are approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "Bernalillo County" for the stormwater quality pond per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

NM 87103

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

August 24, 2023

Debra West  
Aria Studio Consultant, Inc.  
100 Gold Ave. SW  
Albuquerque, NM 87102

**Re: NM Sol/ Phase 1 Tenant Addition  
7401 Los Volcanes Rd. NW  
Traffic Circulation Layout  
Architect's Stamp 03-28-23 (J10-D027)**

Dear Ms. West,

The TCL submittal received 07-31-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

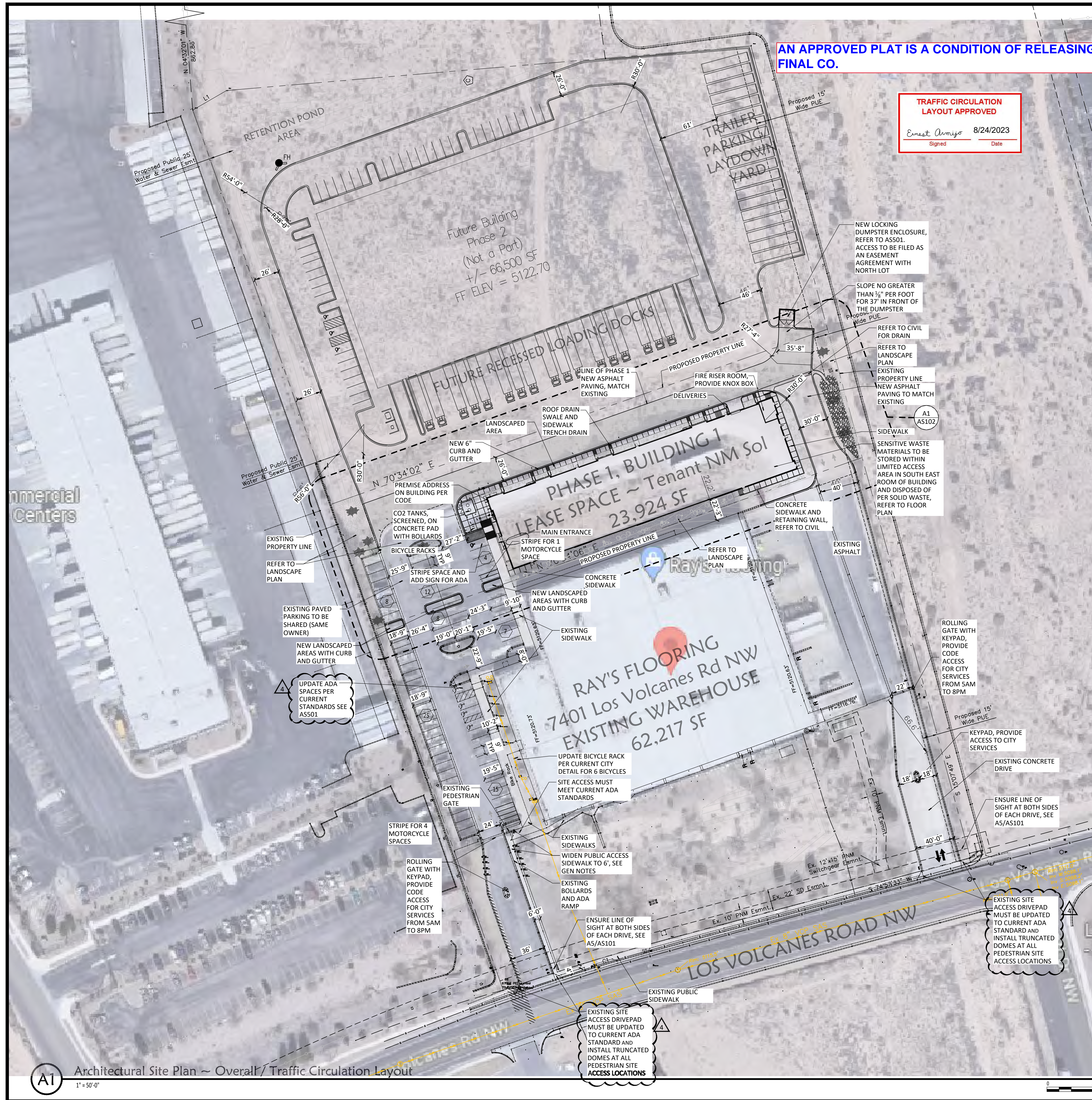
When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) for log in and evaluation by Transportation. **AN APPROVED PLAT IS A CONDITION OF RELEASING FINAL CO.**

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



**AN APPROVED PLAT IS A CONDITION OF RELEASING FINAL CO.**

**TRAFFIC CIRCULATION LAYOUT APPROVED**  
 Ernest Amigo 8/24/2023  
 Signed Date

**PROJECT DESCRIPTION**

Construction of a new tilt-up concrete fully sprinkled cannabis agricultural warehouse to be used for cannabis cultivation.

**GENERAL NOTES**

- A. REFER TO AS102 FOR MORE DIMENSIONS
- B. REFER TO AS501 and AS502 FOR SITE DETAILS
- C. GUARDRAIL IS REQUIRED AT ANY PEDESTRIAN WALK AREA WHERE ADJACENT CHANGE IN ELEVATION IS 30" OR MORE. REFER TO AS501 FOR DETAIL, CIVIL GRADING PLAN FOR ELEVATIONS.
- D. CONTRACTOR TO VERIFY ALL RAMPS, WALKS, AND RAILS MEET CODE AND ADA GUIDELINES
- E. REFER TO CITY OF ALBUQUERQUE STANDARD DRAWINGS 2415A AND 2415B FOR CURB AND GUTTER DETAILS
- F. REFER TO CITY OF ALBUQUERQUE STANDARD DRAWING 2425B FOR DRIVEPAD WITH RAMP
- G. REFER TO CITY OF ALBUQUERQUE STANDARD DRAWING 2430 FOR SIDEWALK DETAILS
- H. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

**Notes and Parking**

**Code Referenced**  
 City of Albuquerque IDO (effective 2022-12-25)  
 Non-Residential Business Park (NR-BP)

**Address and Legal Description**  
 7401 Los Volcanes Rd NW, Albuquerque, NM 87121  
 UPC 101005818513130104  
 Lot 2-B, Tract S-1, Atrisco Business Park, Unit 2, City of Albuquerque, Bernalillo County, New Mexico  
 1.6675 Acres

**Type of Development & Occupancy**

Ray's Flooring (existing building)	
Warehousing	48,716 sf
Business	13,501 sf
<b>total</b>	<b>62,217 sf</b>

**NM Sol (new building)**

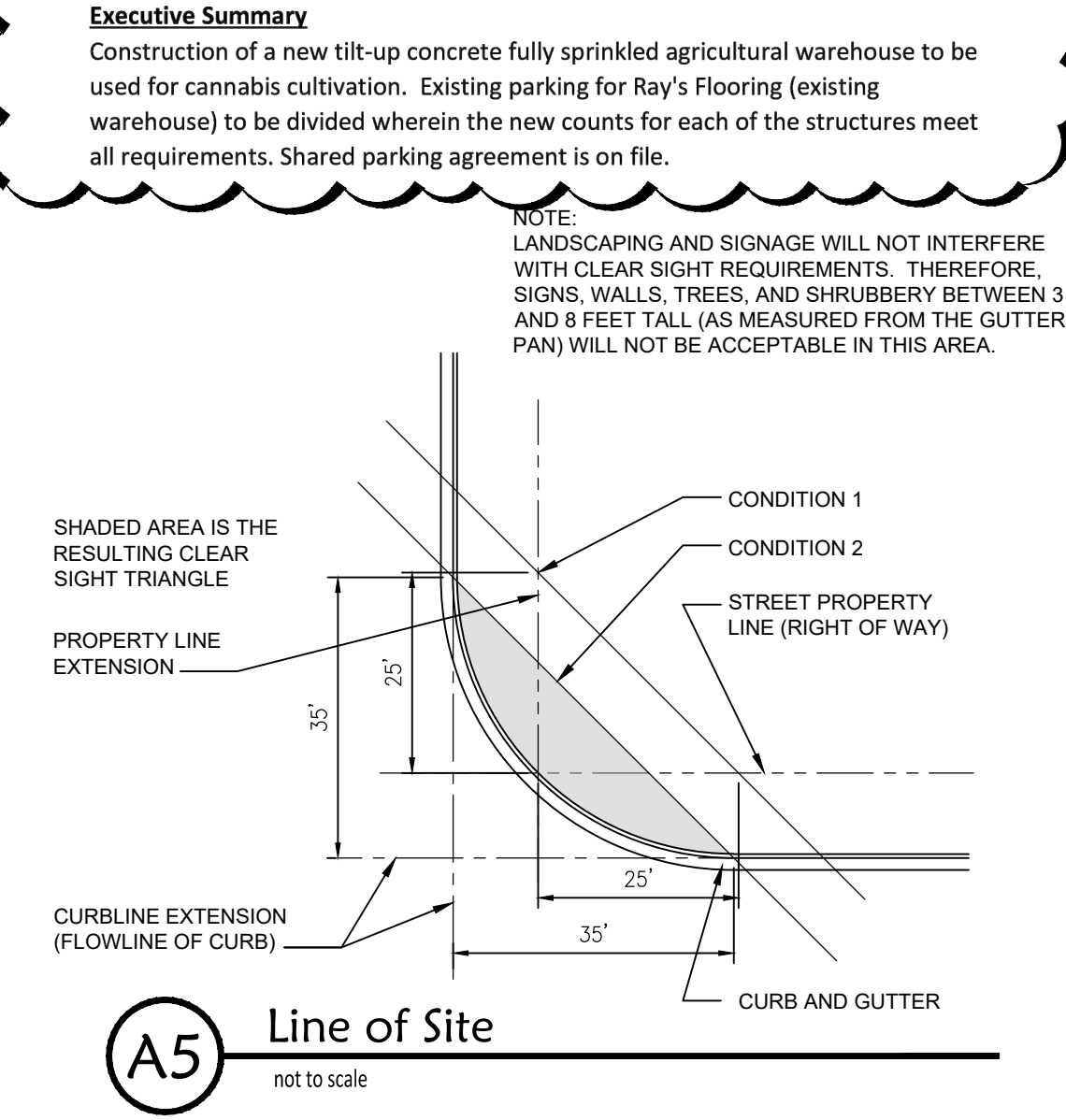
Cannabis Cultivation & Product	23,924 sf
Production Facility	

**Parking Required (Table 5-5-1)**

Use	Requirement	Count
Warehousing	no requirement	
Business	3.5 spaces per 1000 GFA	47.25
Cannabis Cultivation	1 space per 1000 GFA	23.92
<b>Total spaces required</b>		<b>71</b>
Motorcycle		1.00
Bicycle		3.00
<b>Total spaces provided</b>	<b>84 spaces</b>	
NM Sol		24
ADA		1
Motorcycle		2
Bicycle		3
Ray's Flooring		55
ADA		3
Motorcycle		4
Bicycle		6

**Executive Summary**  
 Construction of a new tilt-up concrete fully sprinkled agricultural warehouse to be used for cannabis cultivation. Existing parking for Ray's Flooring (existing warehouse) to be divided wherein the new counts for each of the structures meet all requirements. Shared parking agreement is on file.

**NOTE:** LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.



**STUDIO CONSULTANTS, INC**  
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 Albuquerque, NM 87102  
 Daniel@ariasinc.com (505) 506-2314

**NM SOL**  
 Phase 1 Tenant Addition  
 for Ray's Flooring  
 Los Volcanes Road NW  
 Albuquerque, NM 87121

Architect/Engineer Seal

mark	date	description
▲	08/07/2023	TCL COMMENTS
▲	05/20/2023	OWNER CHANGES
▲	05/12/2023	COA PERMIT COMMENTS
▲	04/26/2023	TCL COMMENTS

**revisions**

issue	Permit CDs
project no	2219
drawn by	DGP
checked by	DGP
date	AUGUST 10, 2023

**ARCHITECTURAL SITE PLAN**  
 Overall  
 Traffic Circulation Layout

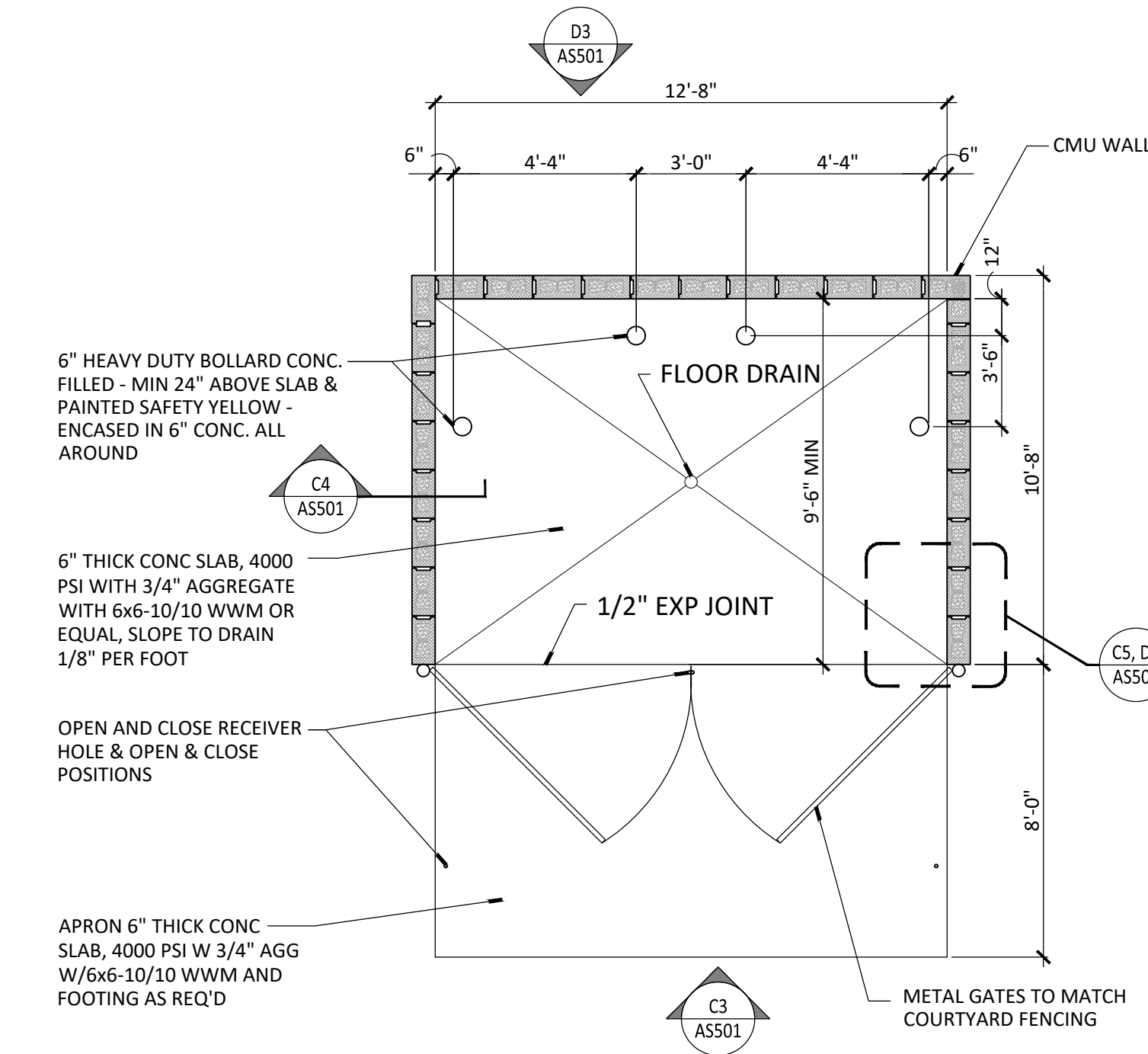
**AS101 TCL**



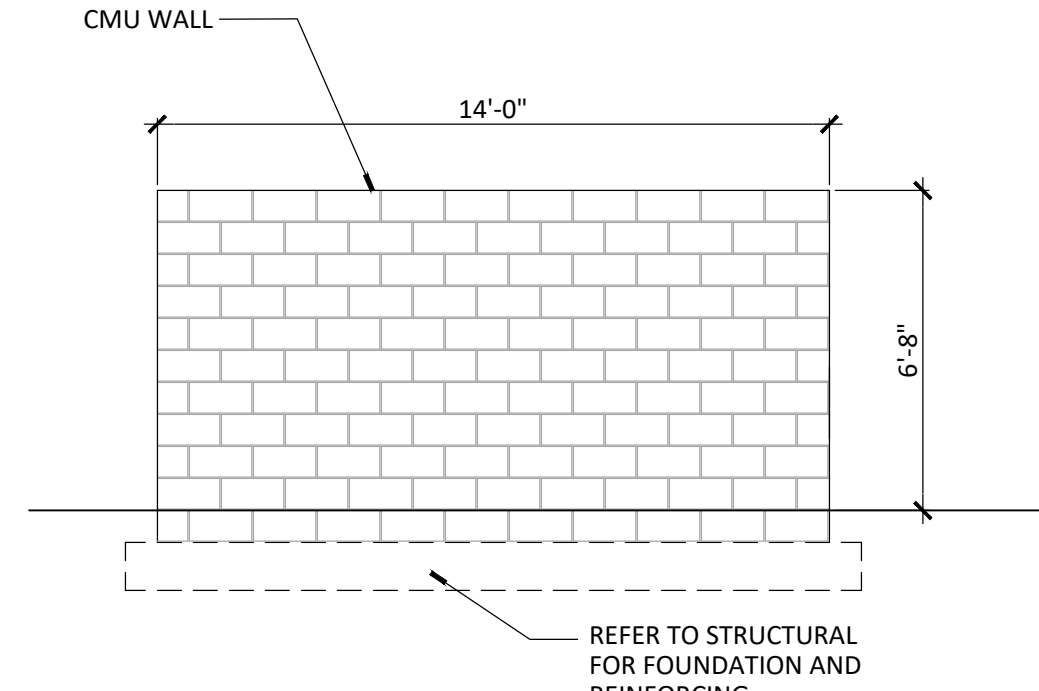


**ENCLOSURE NOTES:**

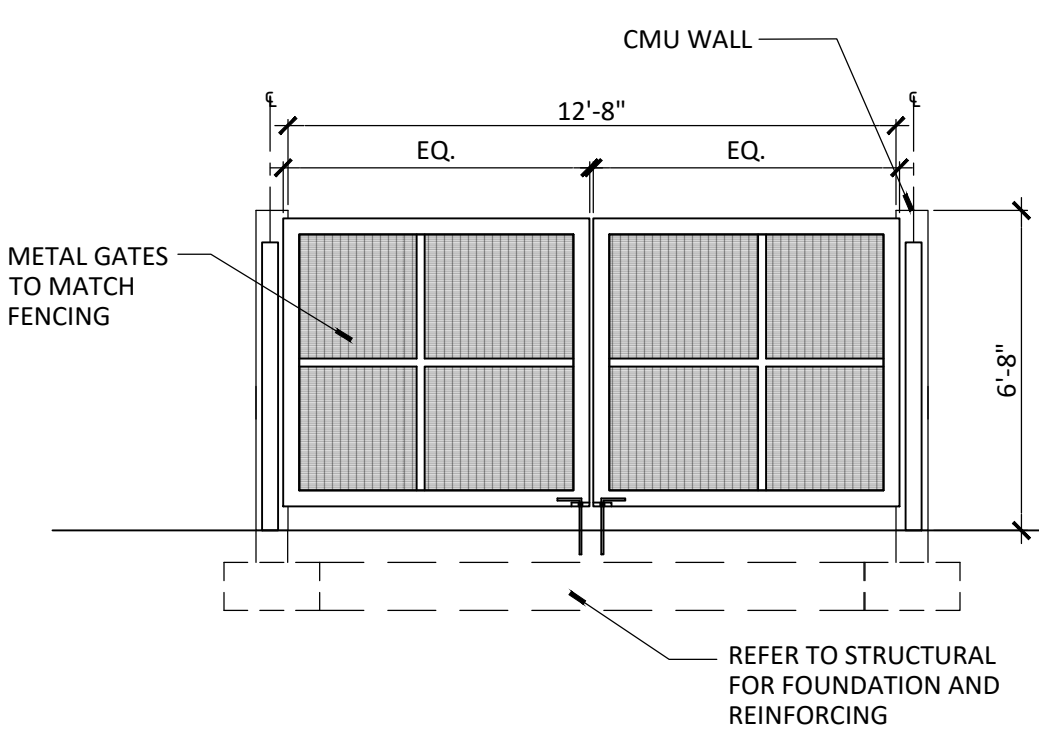
- SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION. INSPECTIONS WILL BE CONTINGENT FOR SOLID WASTE SIGN OFF FOR FINAL CO.
- REAR BOLLARDS ARE TO MEASURE NO MORE THAN 12" FROM BACK CMU WALL TO CENTER. BOLLARDS ARE TO MEASURE A MINIMUM OF 24" ABOVE CONCRETE.



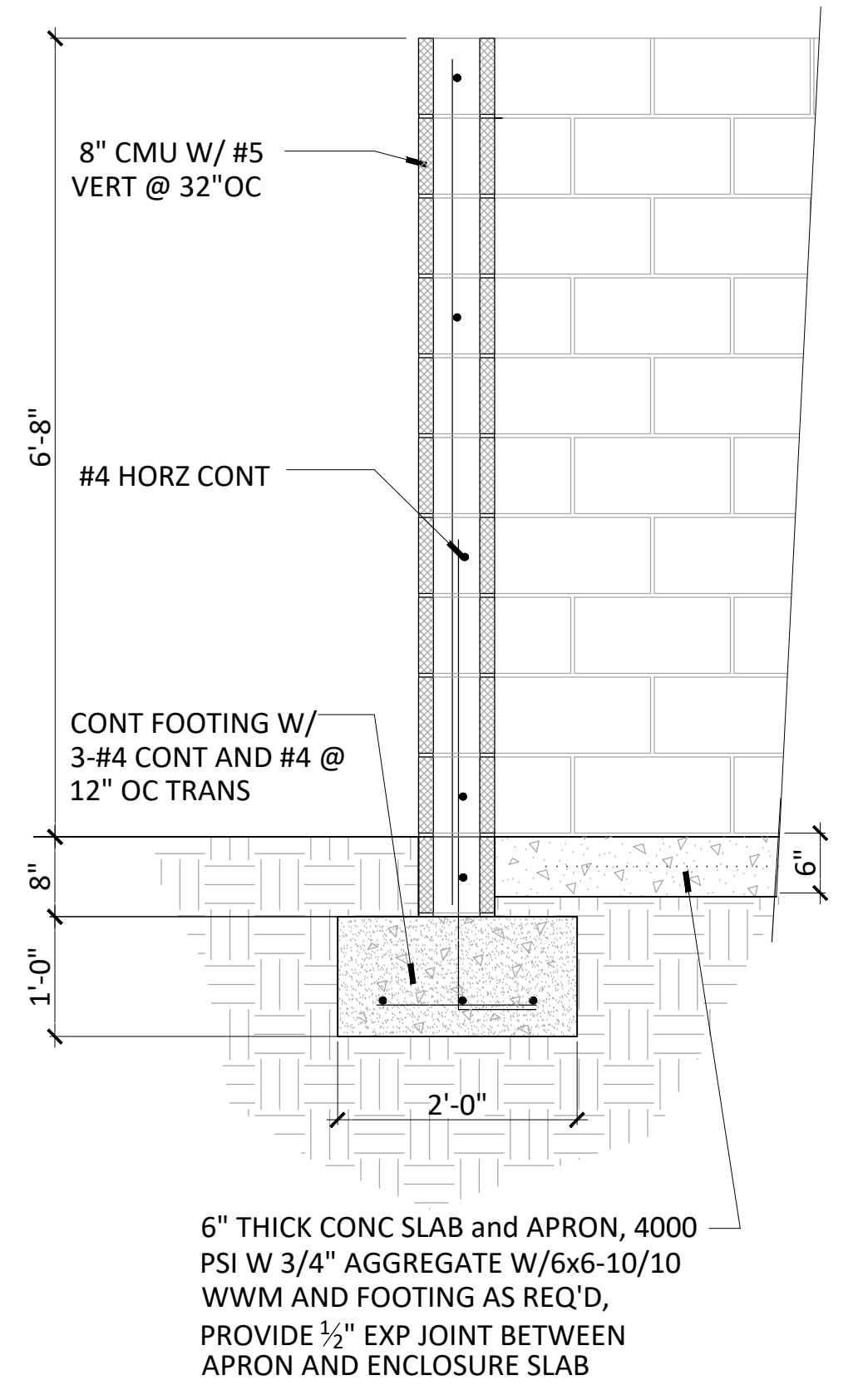
**C1 SINGLE DUMPSTER ENCLOSURE**  
1/4" = 1'-0"



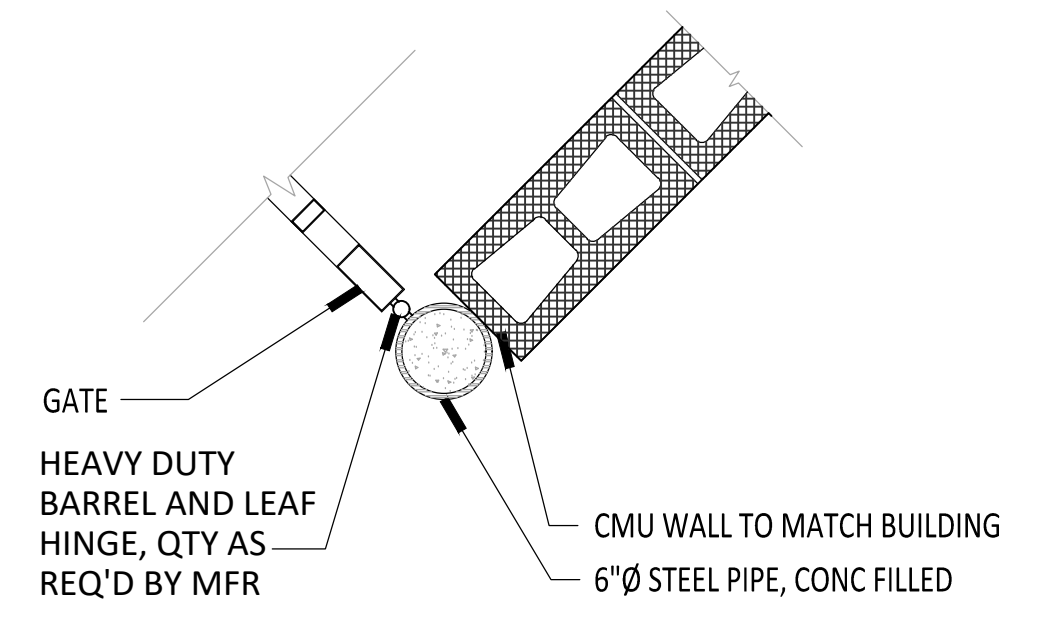
**D3 DUMPSTER ELEVATION**  
1/4" = 1'-0"



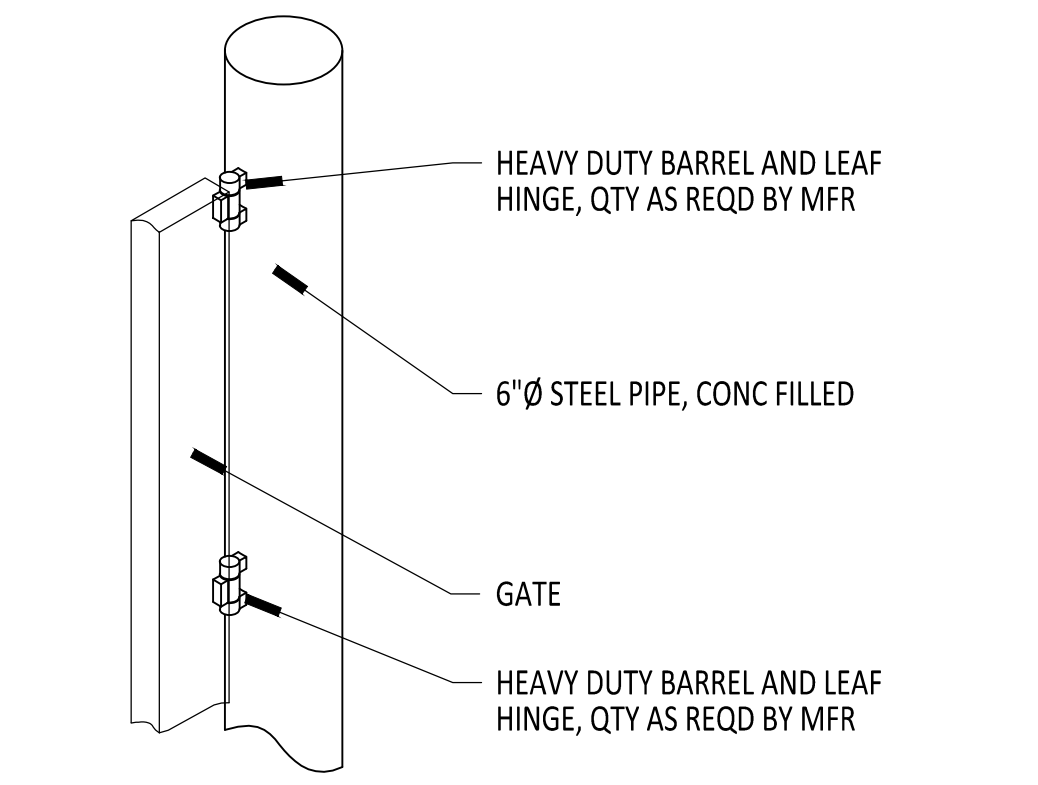
**C3 DUMPSTER ELEVATION**  
1/4" = 1'-0"



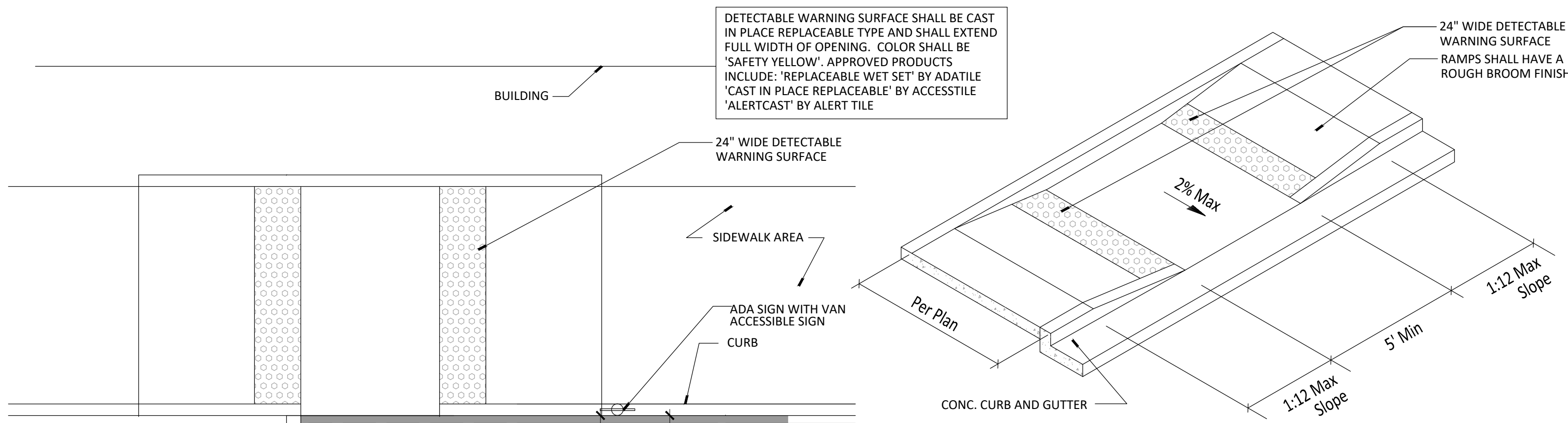
**C4 REFUSE ENCLOSURE WALL SECTION**  
3/4" = 1'-0"



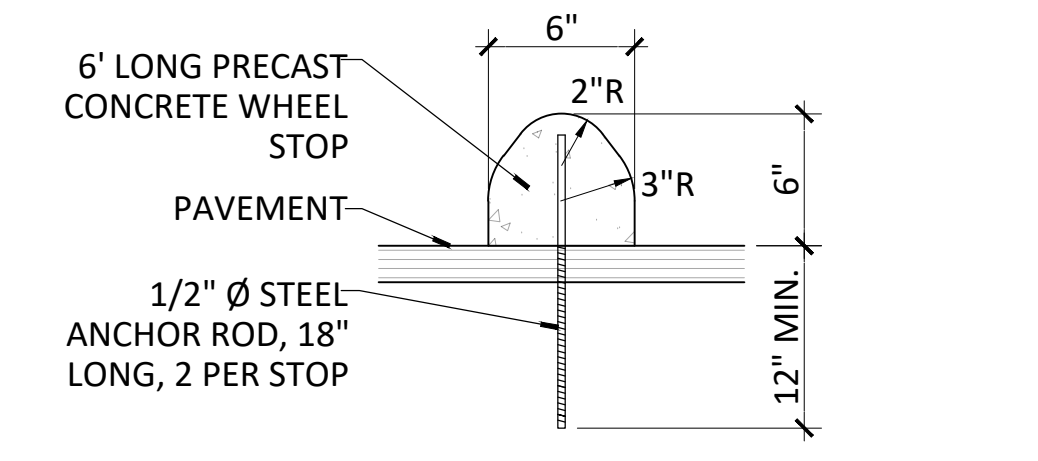
**D5 HINGE DETAIL**  
1" = 1'-0"



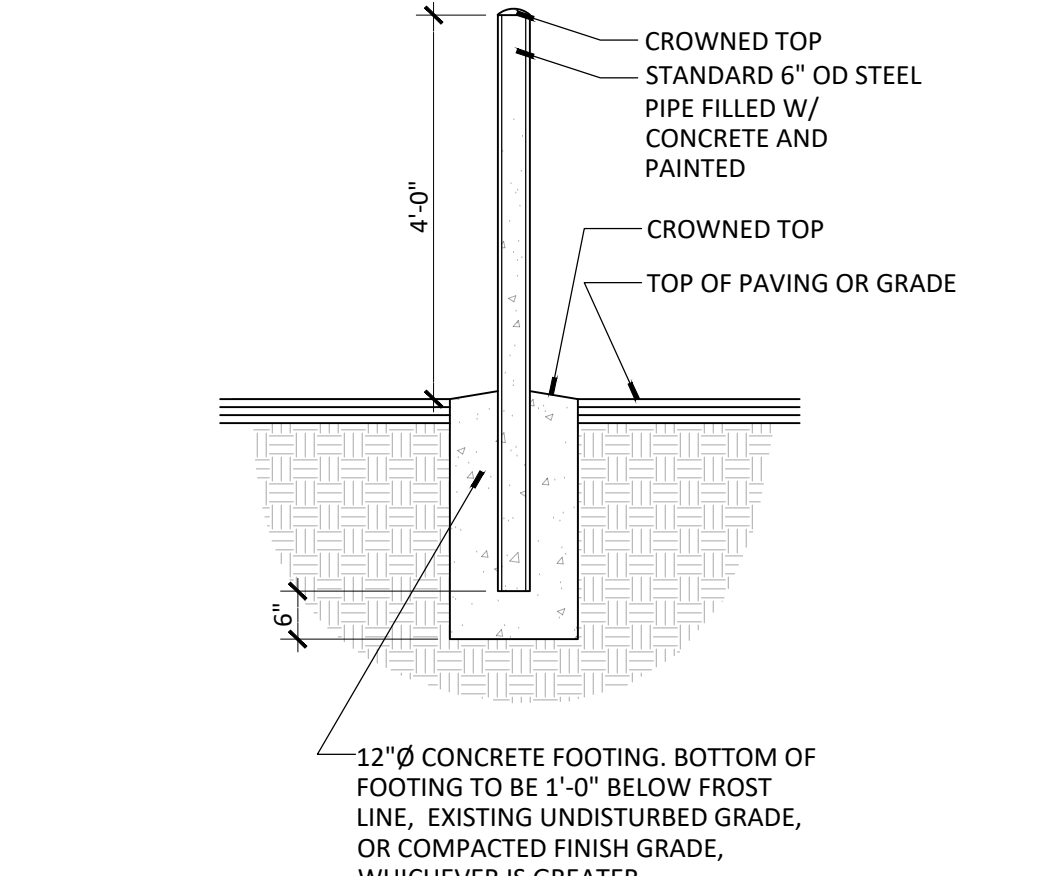
**C5 HINGE DETAIL**  
1" = 1'-0"



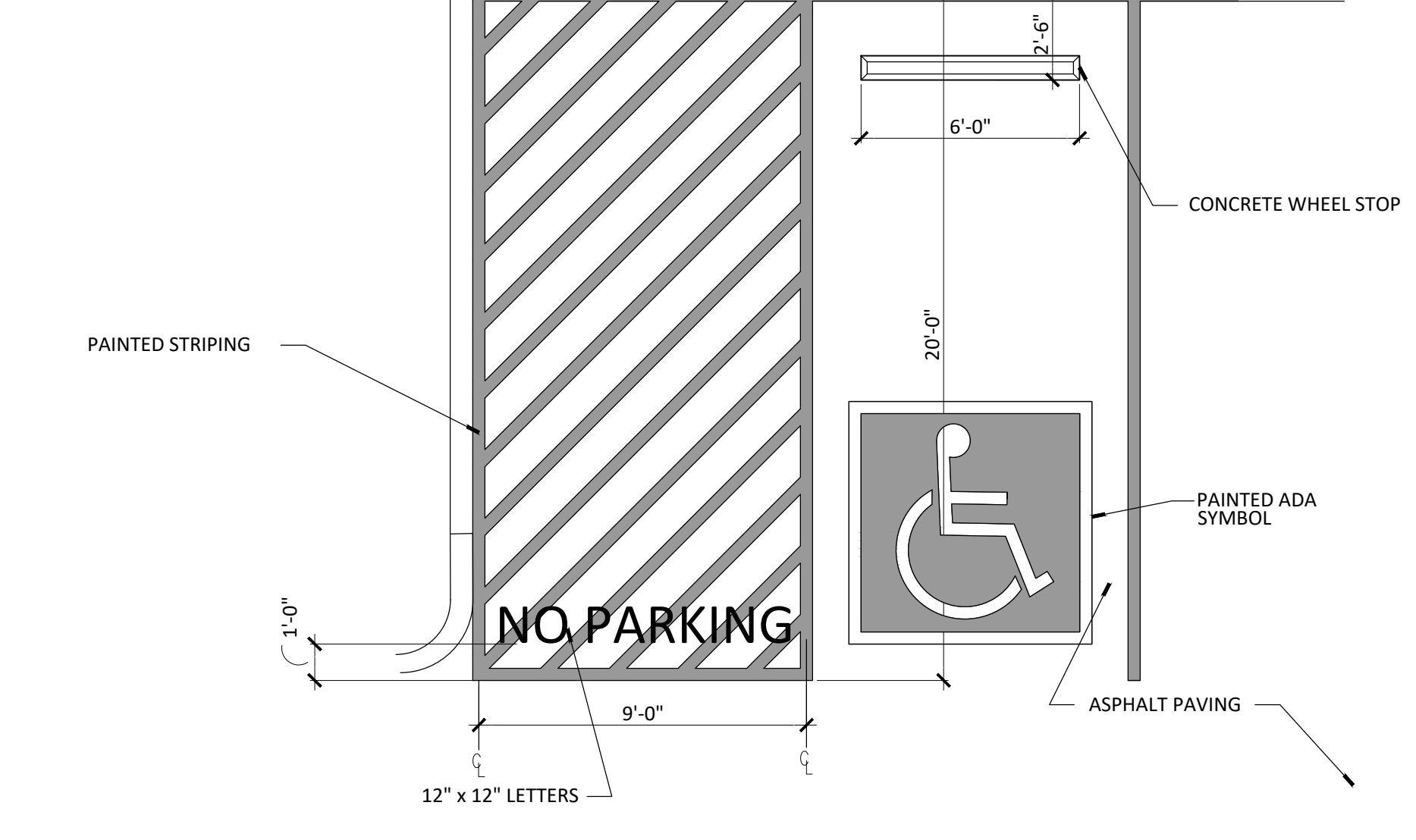
**D4 ADA RAMP**  
N.T.S.



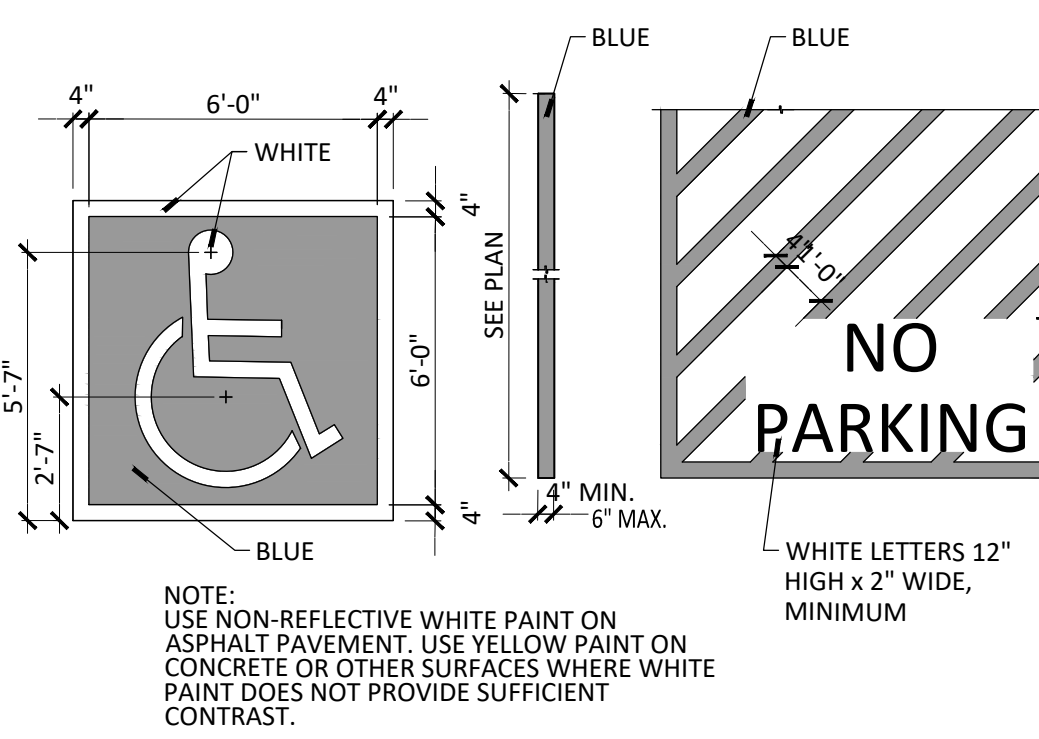
**B3 CONCRETE WHEEL STOP**  
1 1/2" = 1'-0"



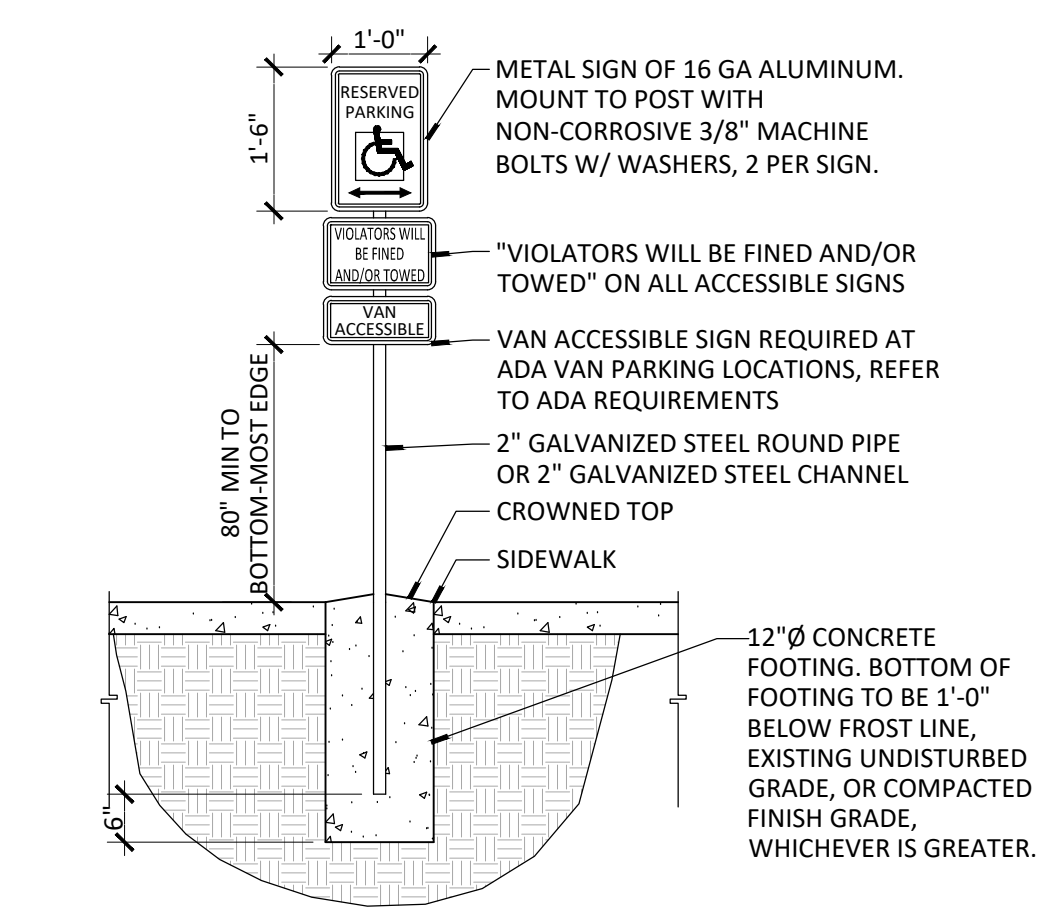
**B5 BOLLARD DETAIL**  
1/2" = 1'-0"



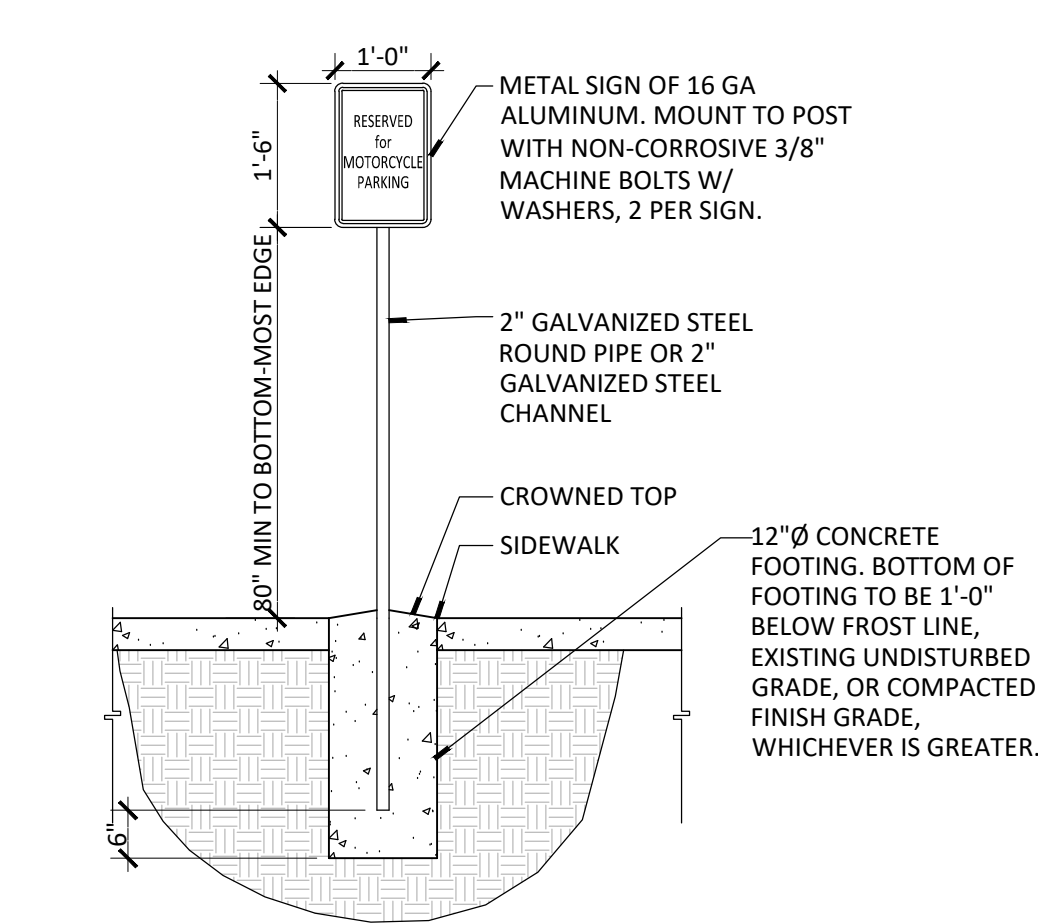
**A1 TYPICAL ADA PARKING SPACE**  
1/4" = 1'-0"



**A3 PARKING LOT STRIPING**  
1/4" = 1'-0"



**A4 ACCESSIBLE PARKING SIGN**  
1/2" = 1'-0"



**A5 MOTORCYCLE PARKING SIGN**  
1/2" = 1'-0"

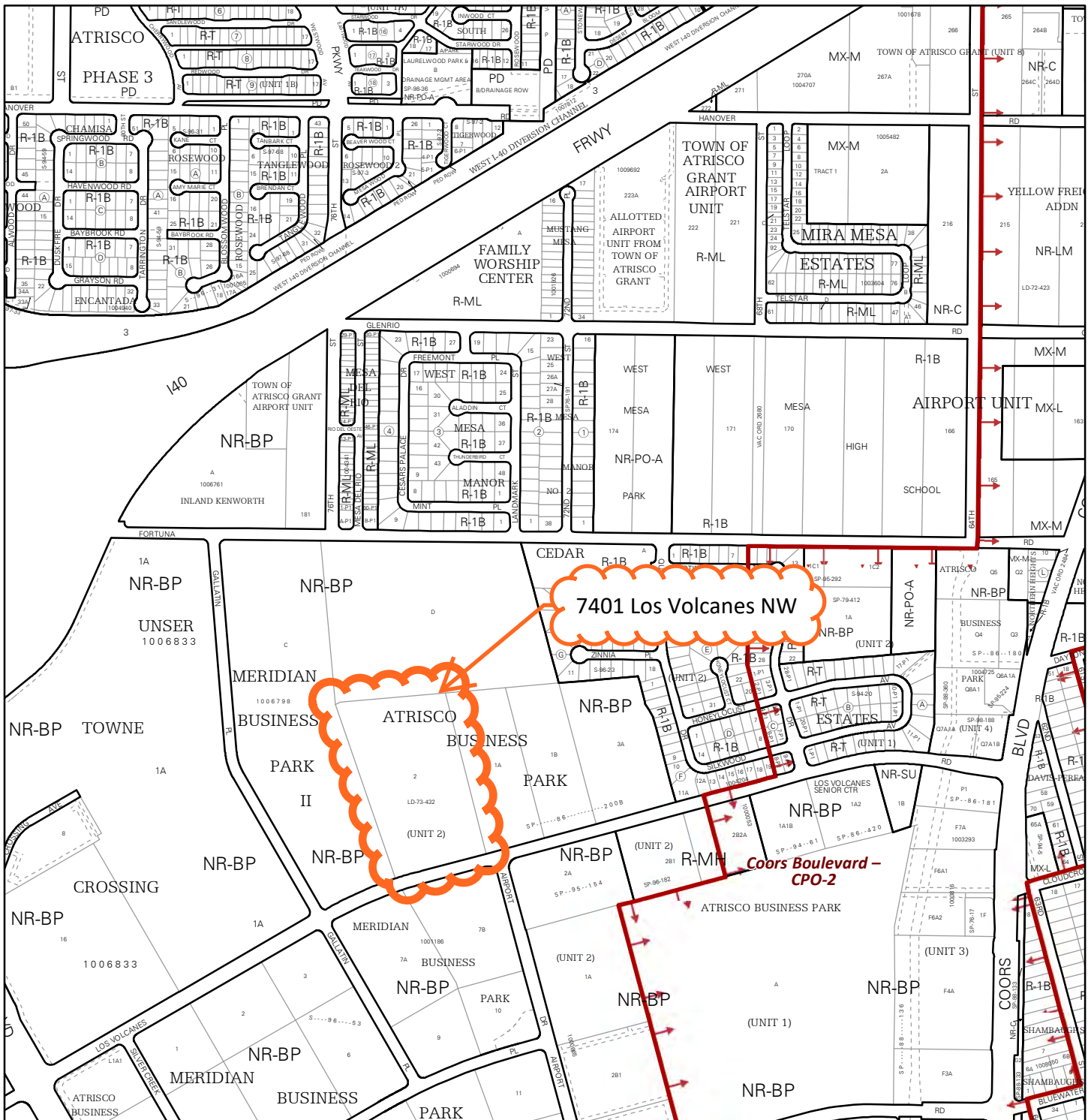
**ARIA**  
STUDIO CONSULTANTS, INC  
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Daniel@ariasinc.com (505) 506-2314

**NM SOL**  
Phase 1 Tenant Addition  
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Los Volcanes Road NW  
Albuquerque, NM 87121

STATE OF NEW MEXICO  
DANIEL PUZAK  
NO. 5317  
03/28/2023  
REGISTERED ARCHITECT  
Architect/Engineer Seal


mark	date	description
revisions		
issue		Permit CDs
project no		2219
drawn by		DGP
checked by		DGP
date		March 28, 2023

SITE DETAILS  
**AS501**



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

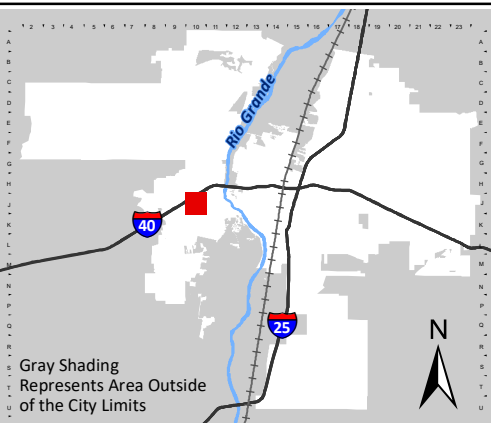
## IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).

Zone Atlas Page:  
**J-10-Z**

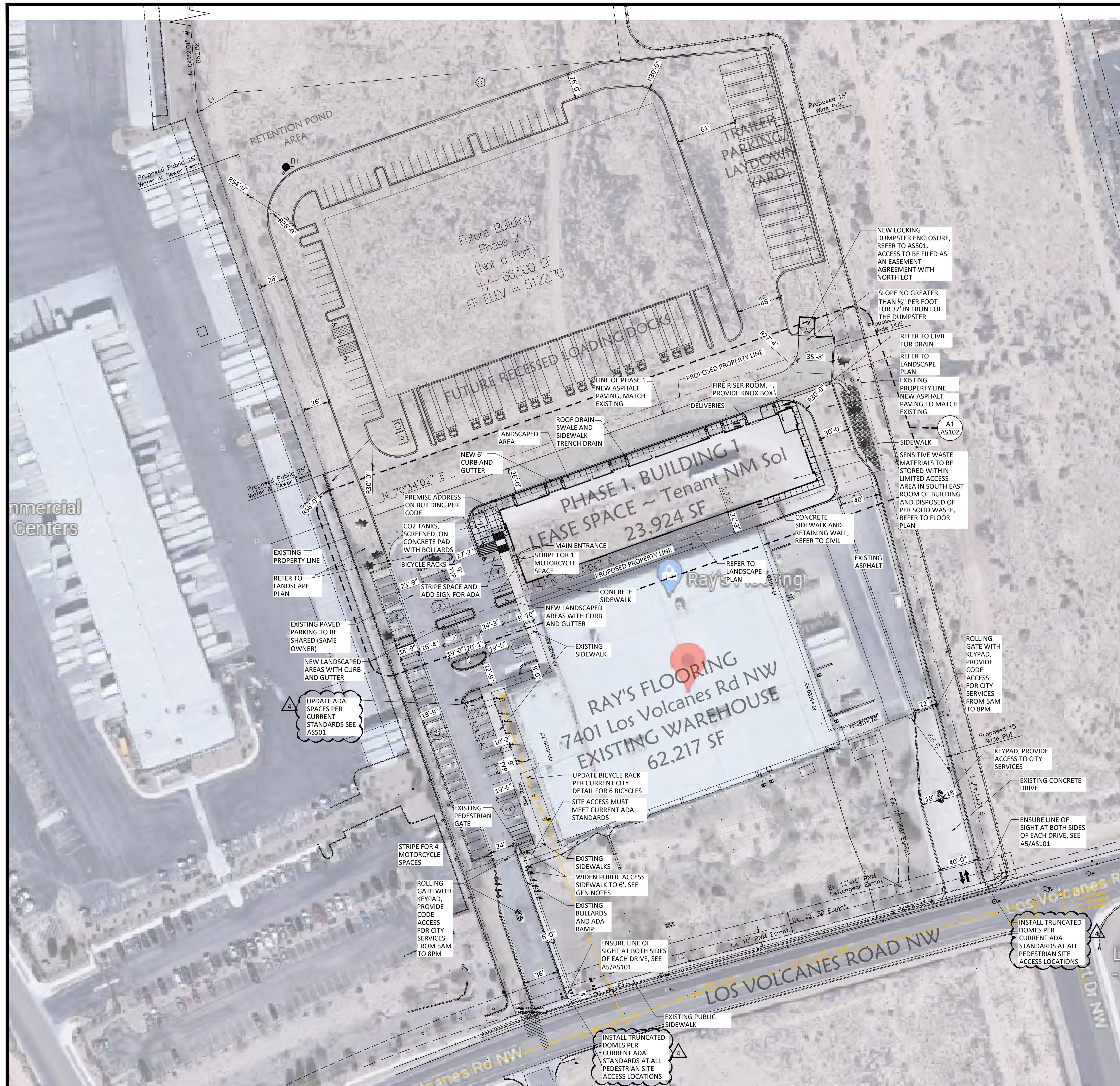
- Easement
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



Gray Shading  
Represents Area Outside  
of the City Limits

N

0    250    500    1,000  
Feet



### PROJECT DESCRIPTION

Construction of a new tilt-up concrete fully sprinkled agricultural warehouse to be used for cannabis cultivation.

### GENERAL NOTES

- A. REFER TO AS102 FOR MORE DIMENSIONS
- B. REFER TO AS501 and AS502 FOR SITE DETAILS
- C. GUARDRAIL IS REQUIRED AT ANY PEDESTRIAN WALK AREA WHERE ADJACENT CHANGE IN ELEVATION IS 30" OR MORE. REFER TO AS501 FOR DETAIL, CIVIL GRADING PLAN FOR ELEVATIONS.
- D. CONTRACTOR TO VERIFY ALL RAMPS, WALKS, AND RAILS MEET CODE AND ADA GUIDELINES
- E. REFER TO CITY OF ALBUQUERQUE STANDARD DRAWINGS 2415A AND 2415B FOR CURB AND GUTTER DETAILS
- F. REFER TO CITY OF ALBUQUERQUE STANDARD DRAWING 2425B FOR DRIVEPAD WITH RAMP
- G. REFER TO CITY OF ALBUQUERQUE STANDARD DRAWING 2430 FOR SIDEWALK DETAILS
- H. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

### Notes and Parking

**Code Referenced**  
City of Albuquerque IDO (effective 2022-12-25)  
Non-Residential Business Park (NR-BP)

**Address and Legal Description**  
7401 Los Volcanes Rd NW, Albuquerque, NM 87121  
UPC 101005818513130104  
Lot 2-B, Tract S-1, Atrisco Business Park, Unit 2, City of Albuquerque, Bernalillo County, New Mexico  
1.6675 Acres

**Type of Development & Occupancy**

Ray's Flooring (existing building)	Area
Warehouse	48,716 sf
Business	13,501 sf
<b>total</b>	<b>62,217 sf</b>

**NM Sol (new building)**

Cannabis Cultivation & Product	23,924 sf
Production Facility	

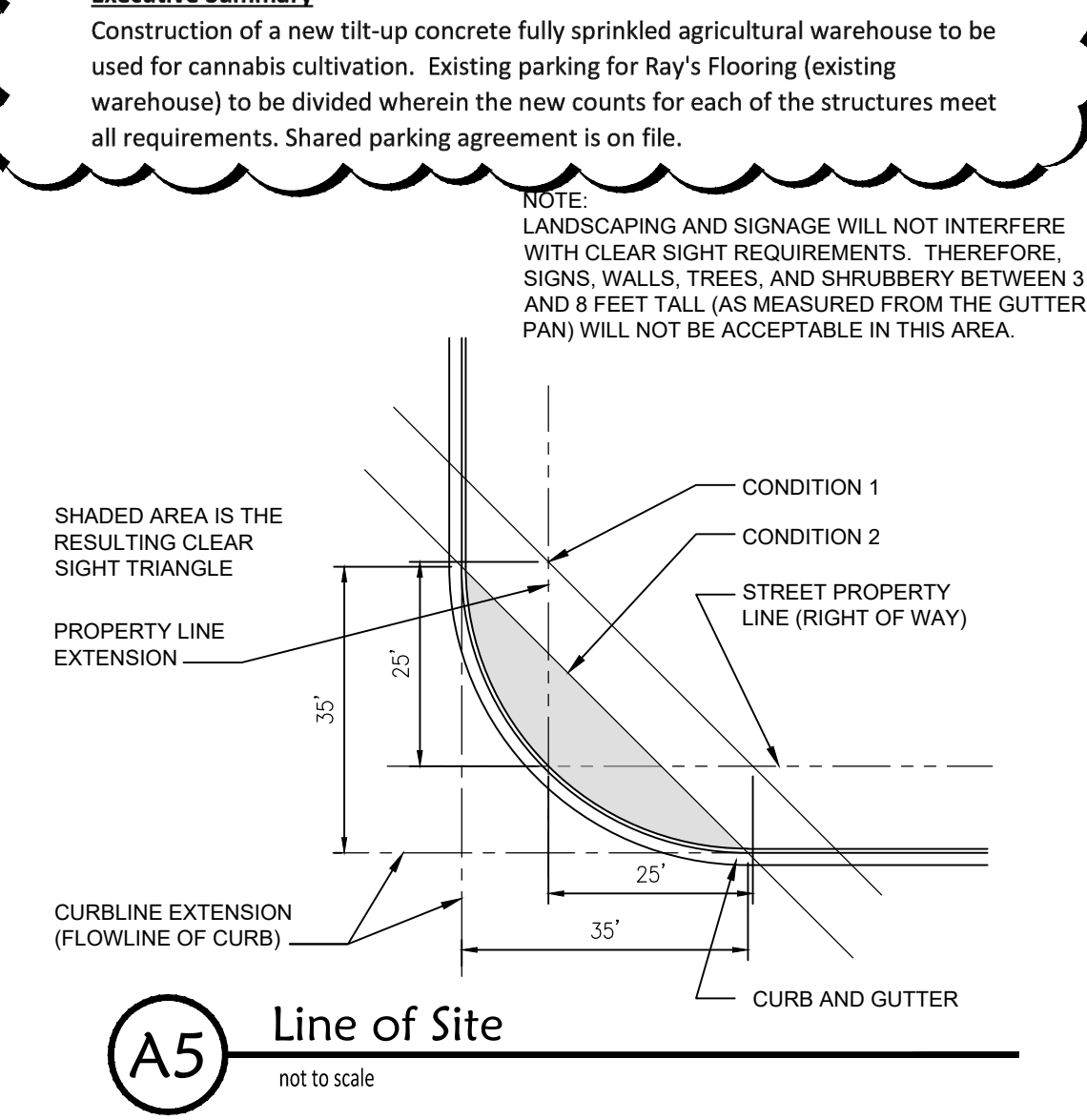
**Parking Required (Table 5-5-1)**

Use	Requirement	Area
Warehouse	no requirement	
Business	3.5 spaces per 1000 GFA	47.25
Cannabis Cultivation	1 space per 1000 GFA	23.92
<b>Total spaces required</b>		<b>71</b>
Motorcycle		1.00
Bicycle		3.00
<b>Total spaces provided</b>		<b>84 spaces</b>

NM Sol	24
ADA	1
Motorcycle	2
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<b>Ray's Flooring</b>	<b>55</b>
ADA	3
Motorcycle	4
Bicycle	6

**Executive Summary**  
Construction of a new tilt-up concrete fully sprinkled agricultural warehouse to be used for cannabis cultivation. Existing parking for Ray's Flooring (existing warehouse) to be divided wherein the new counts for each of the structures meet all requirements. Shared parking agreement is on file.

**NOTE:** LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.



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Architect/Engineer Seal

mark	date	description
A	08/07/2023	TCL COMMENTS
A	05/20/2023	OWNER CHANGES
A	05/12/2023	COA PERMIT COMMENTS
A	04/26/2023	TCL COMMENTS

**revisions**

issue	Permit CDs
project no	2219
drawn by	DGP
checked by	DGP
date	AUGUST 10, 2023

ARCHITECTURAL SITE PLAN  
Overall  
Traffic Circulation Layout

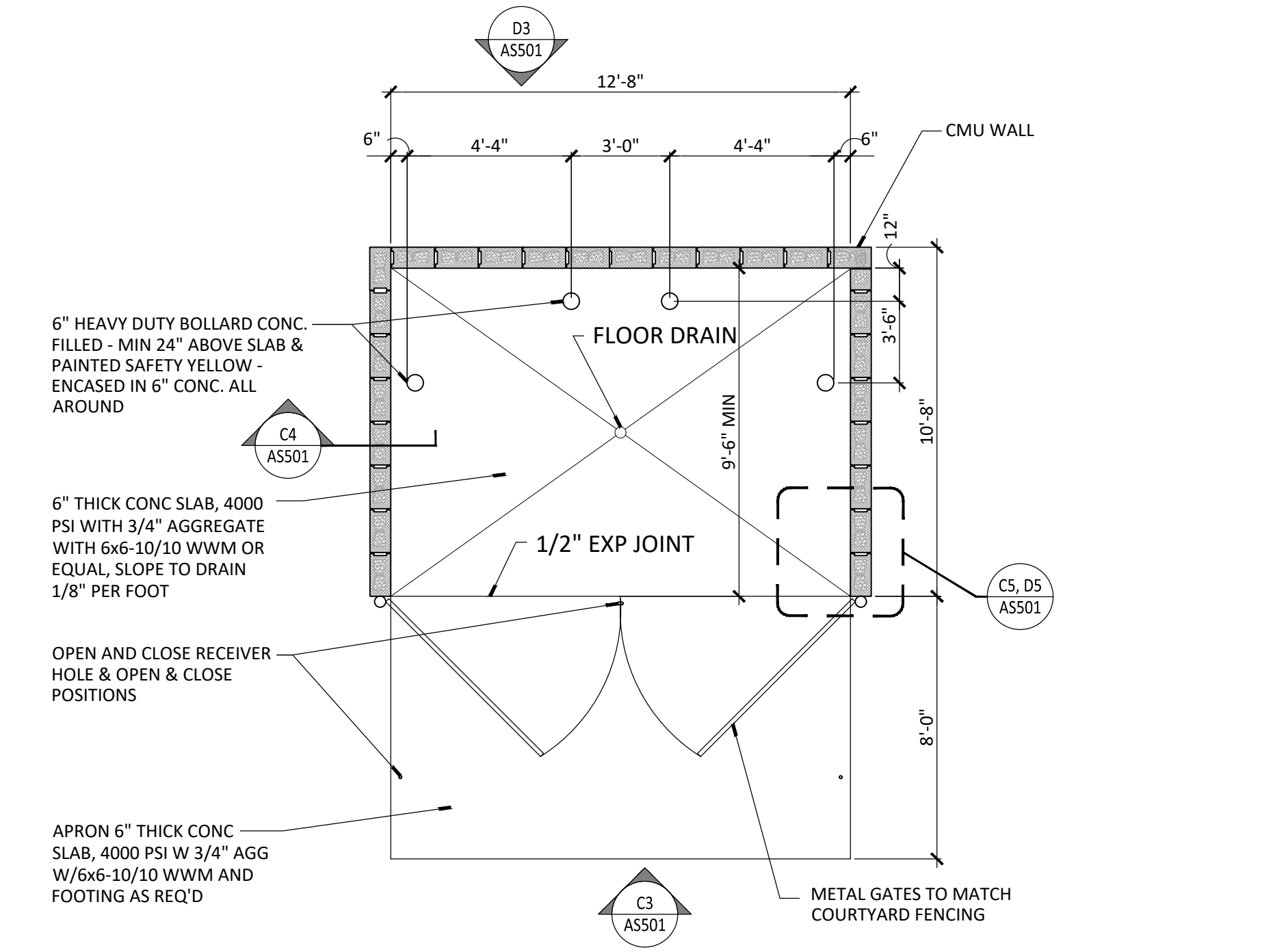
**AS101 TCL**

**A1** Architectural Site Plan ~ Overall / Traffic Circulation Layout  
1" = 50'-0"

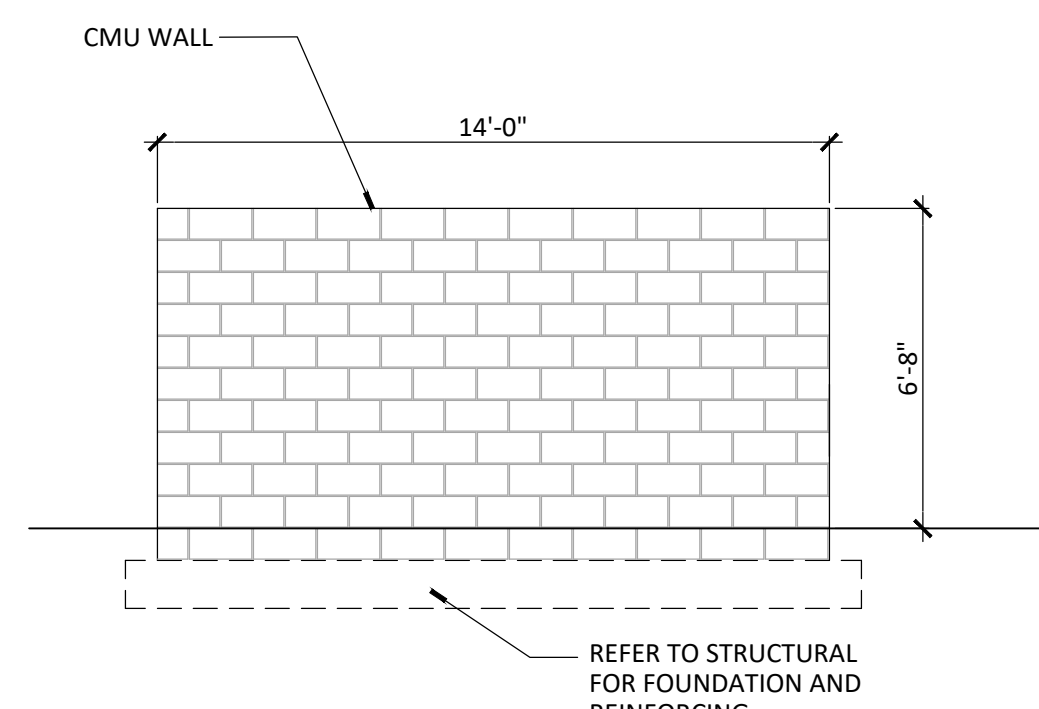
**A5** Line of Site  
not to scale



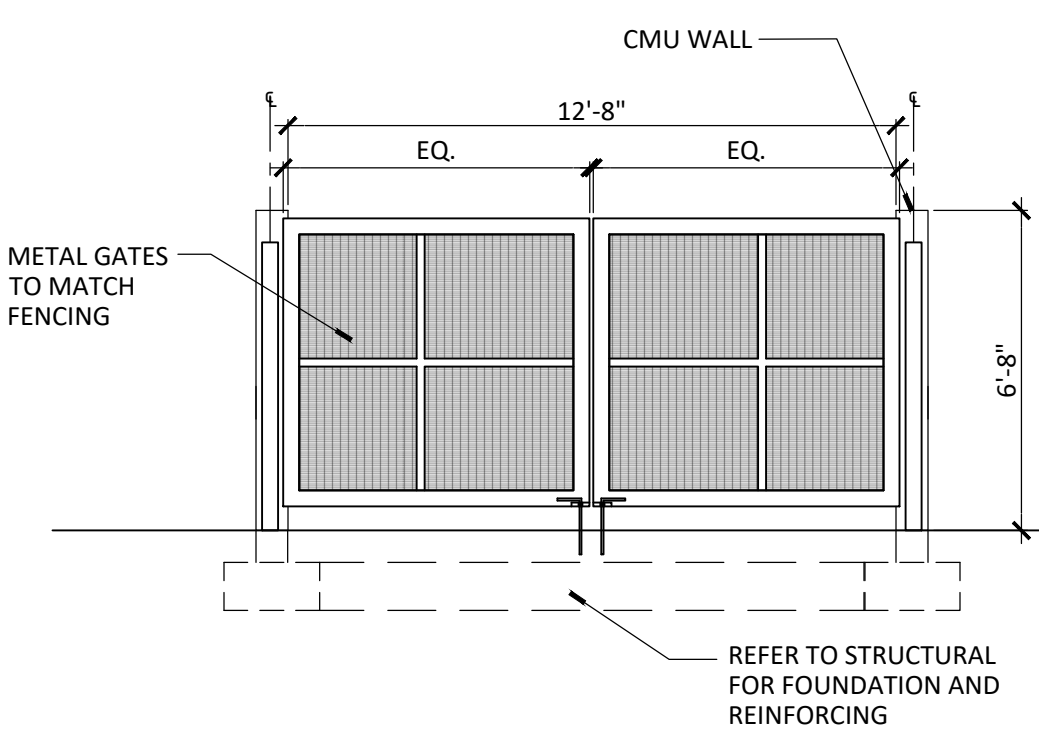
- ENCLOSURE NOTES:
- SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION. INSPECTIONS WILL BE CONTINGENT FOR SOLID WASTE SIGN OFF FOR FINAL CO.
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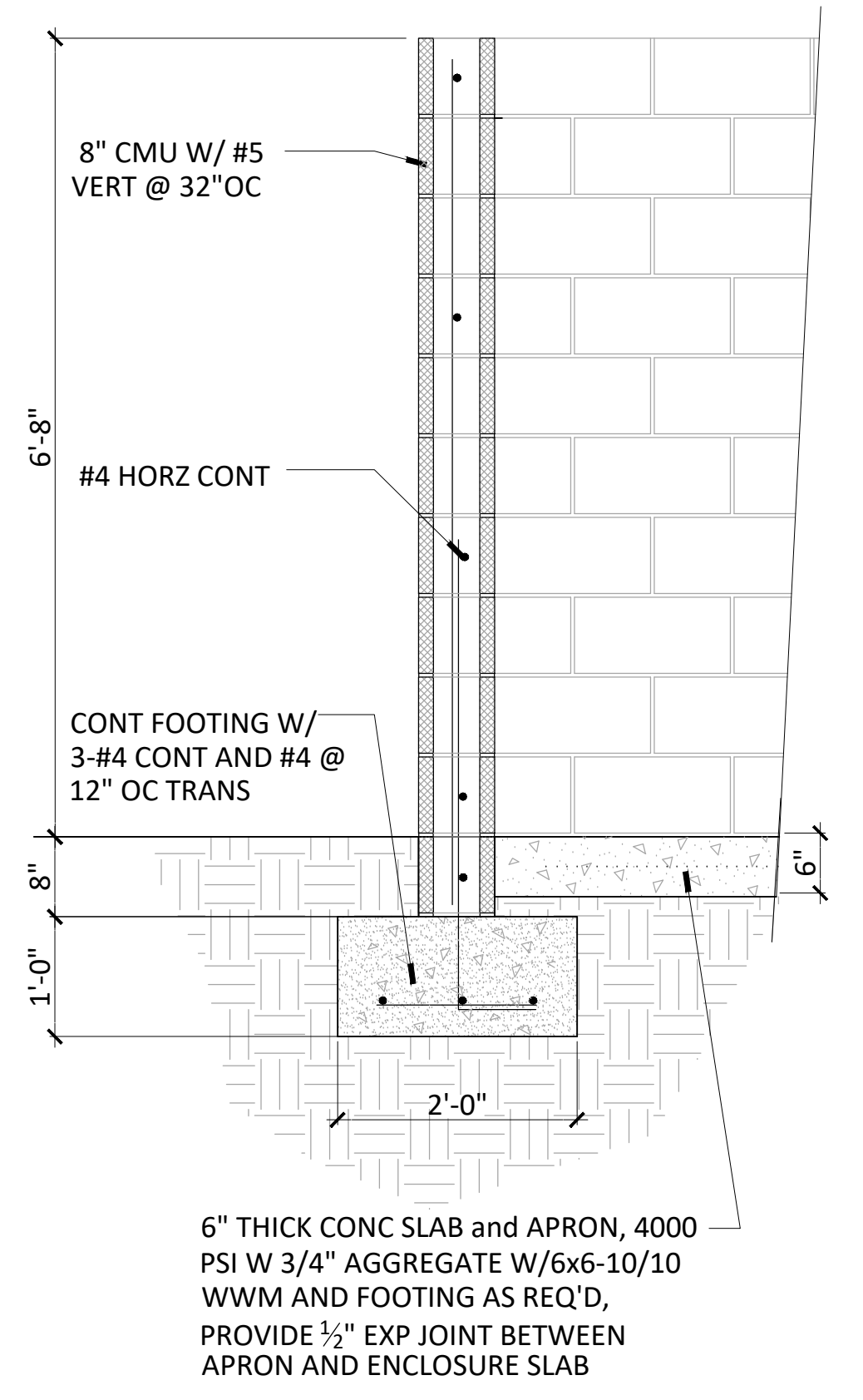
**C1** SINGLE DUMPSTER ENCLOSURE  
1/4" = 1'-0"



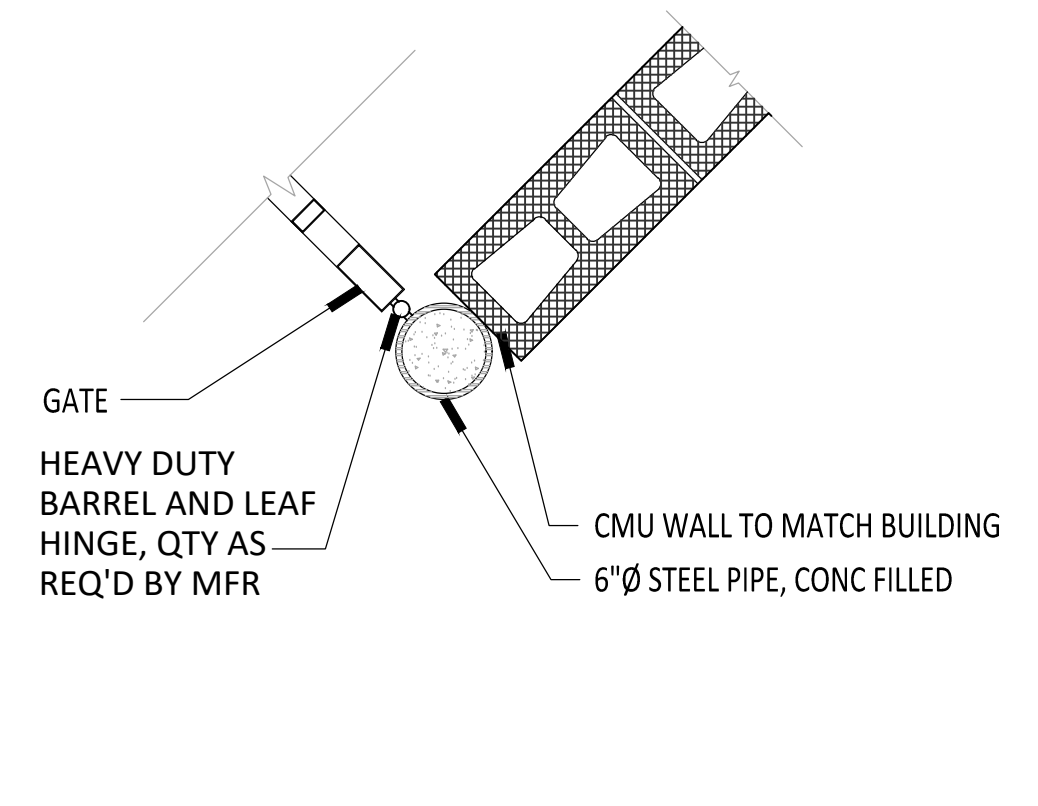
**D3** DUMPSTER ELEVATION  
1/4" = 1'-0"



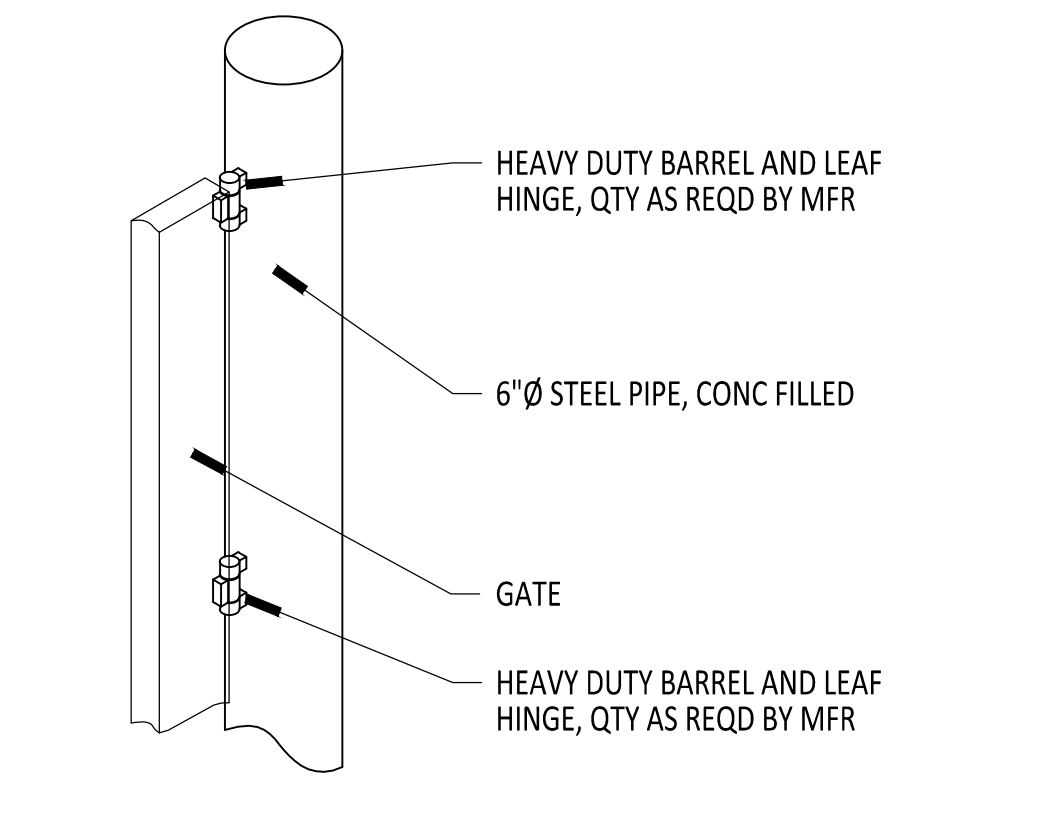
**C3** DUMPSTER ELEVATION  
1/4" = 1'-0"



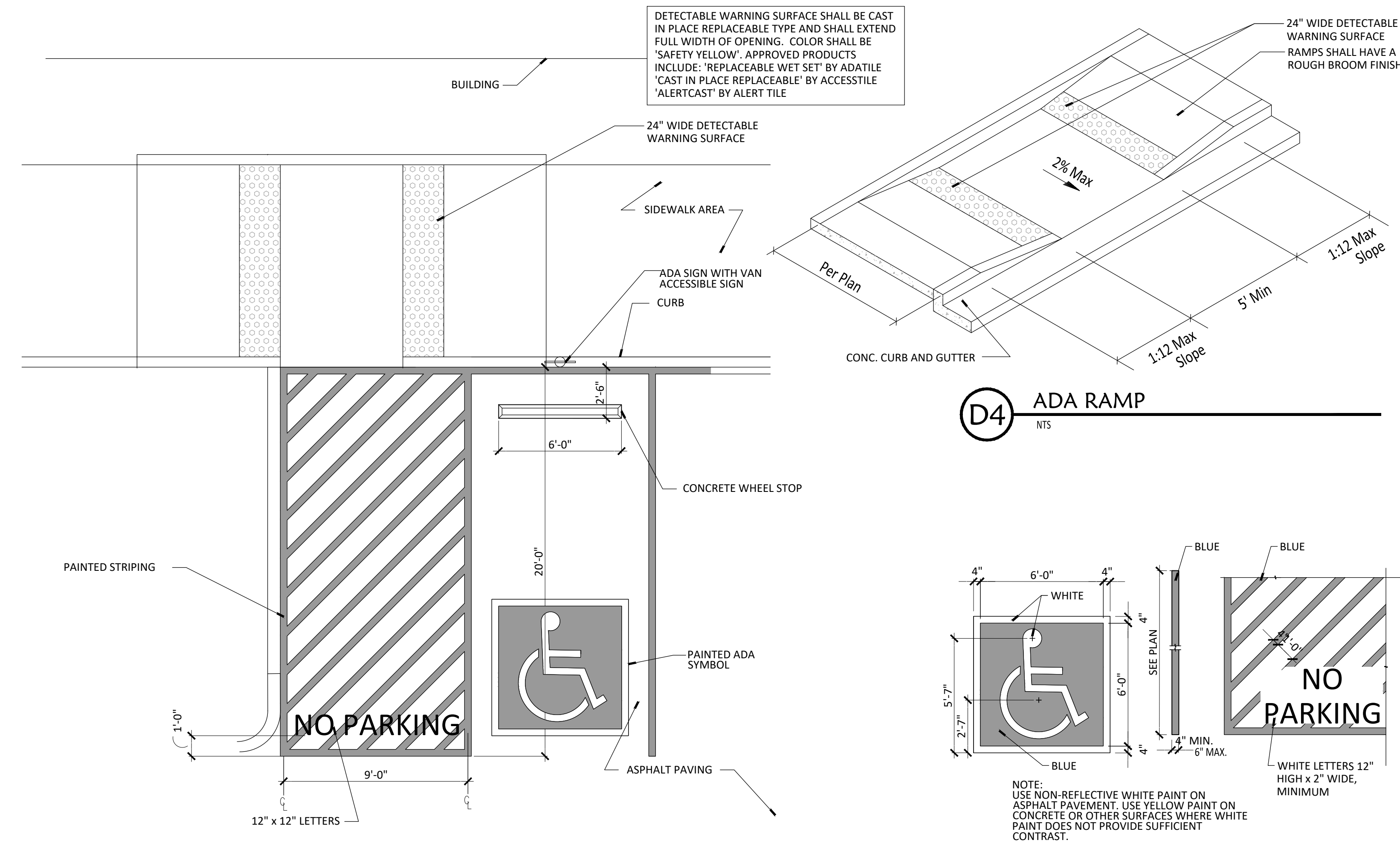
**C4** REFUSE ENCLOSURE WALL SECTION  
3/4" = 1'-0"



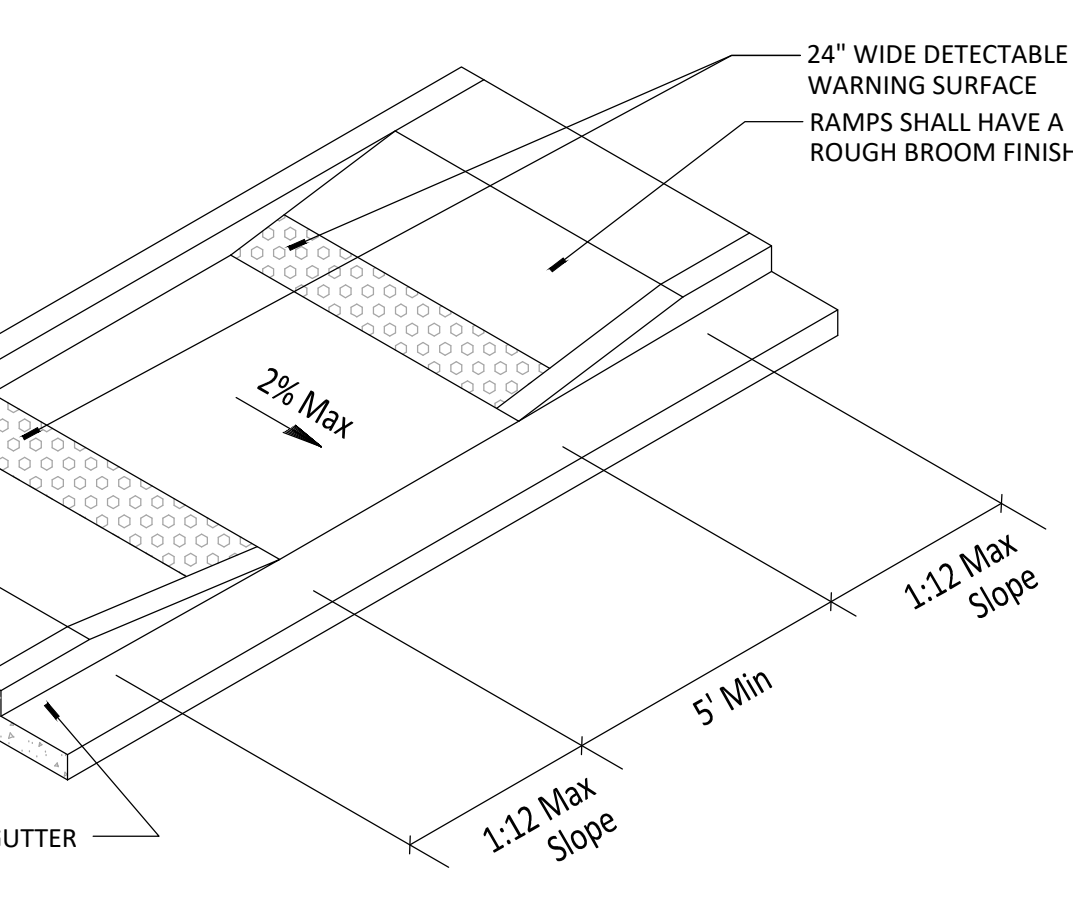
**D5** HINGE DETAIL  
1" = 1'-0"



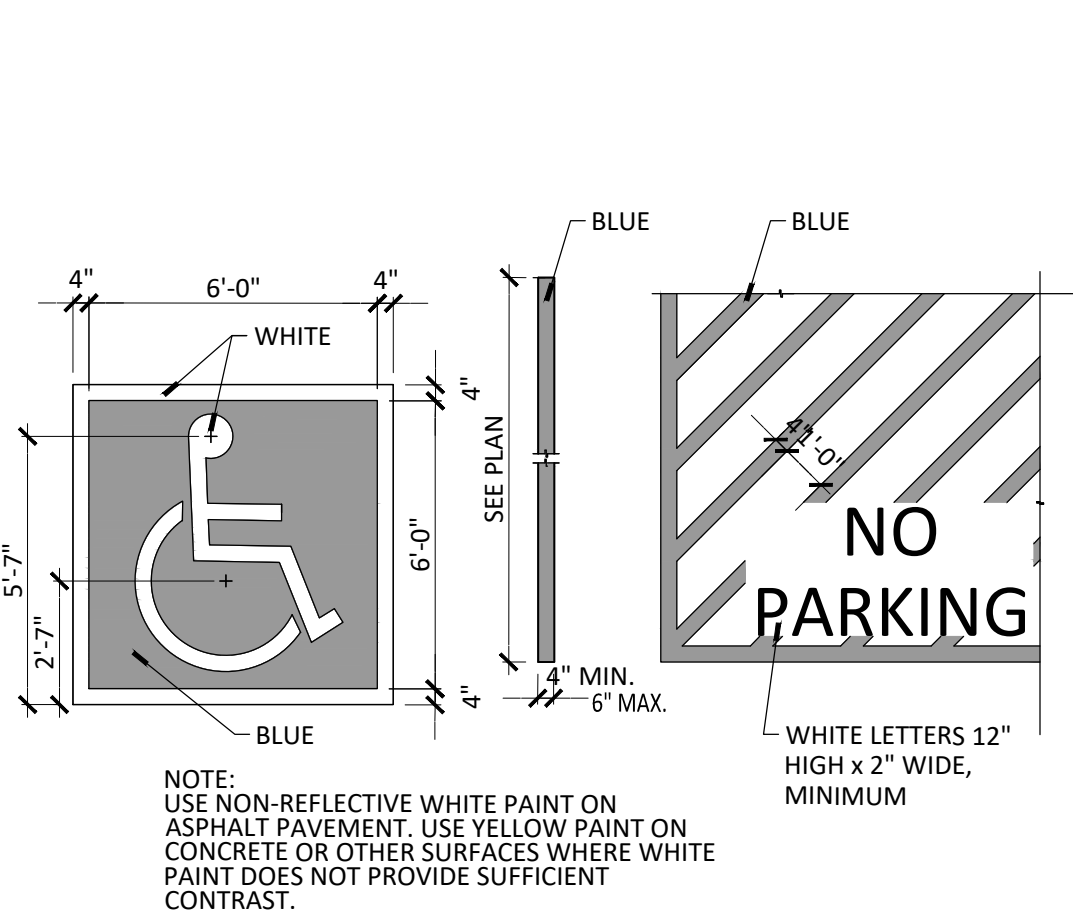
**C5** HINGE DETAIL  
1" = 1'-0"



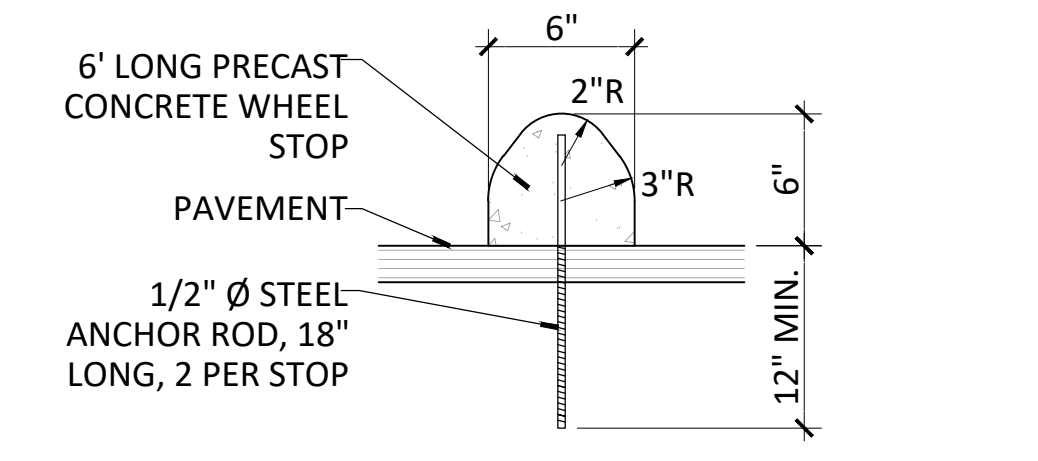
**A1** TYPICAL ADA PARKING SPACE  
1/4" = 1'-0"



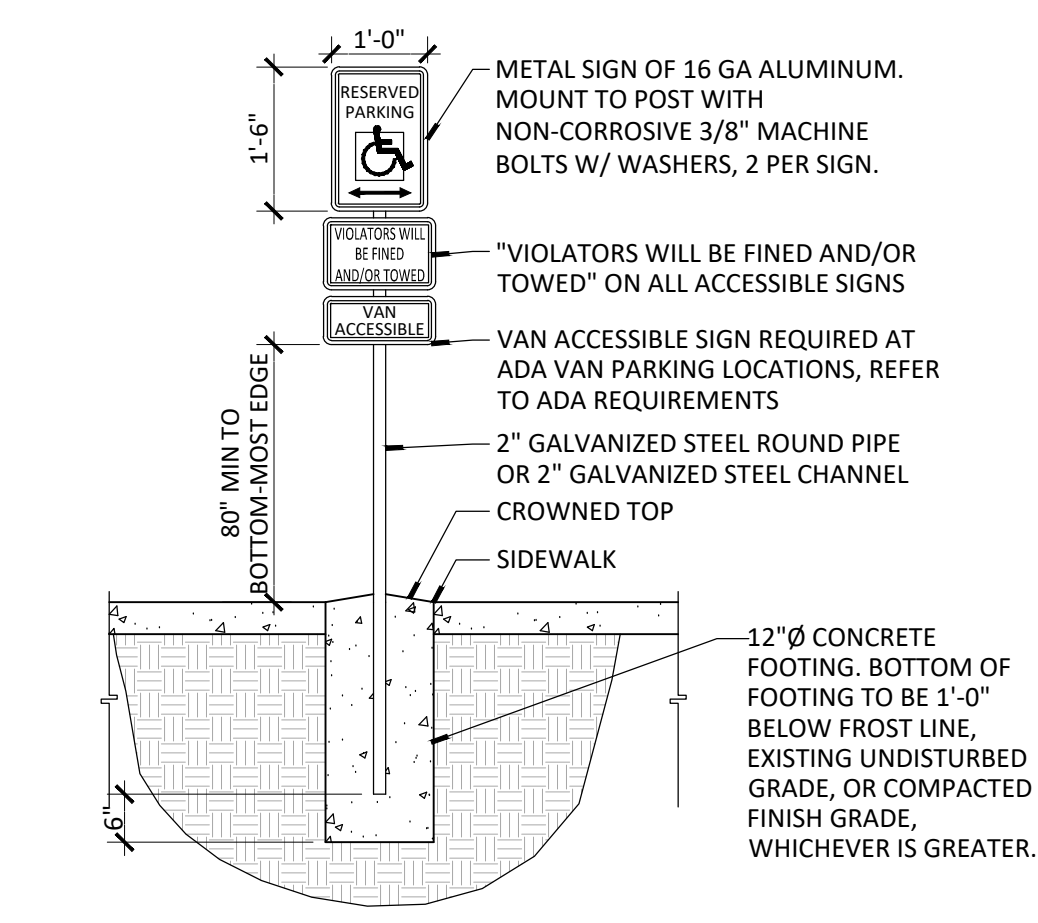
**D4** ADA RAMP  
N.T.S.



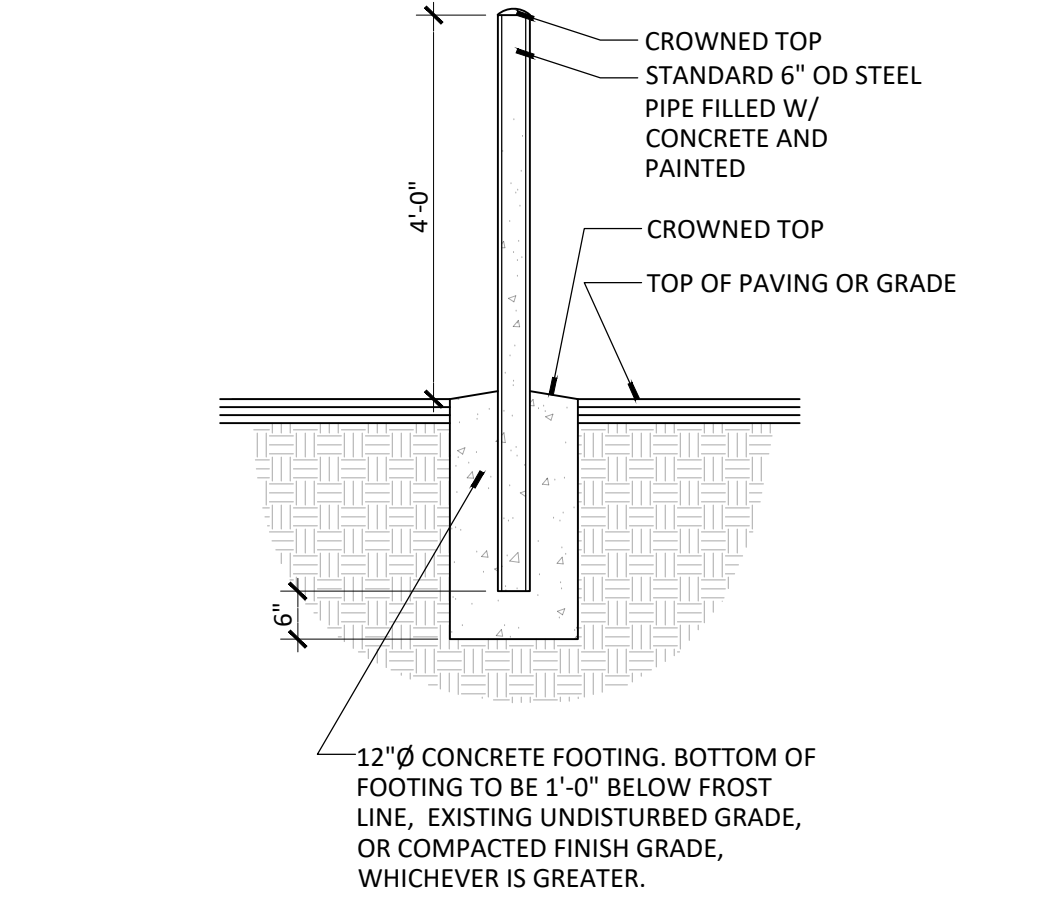
**A3** PARKING LOT STRIPING  
1/4" = 1'-0"



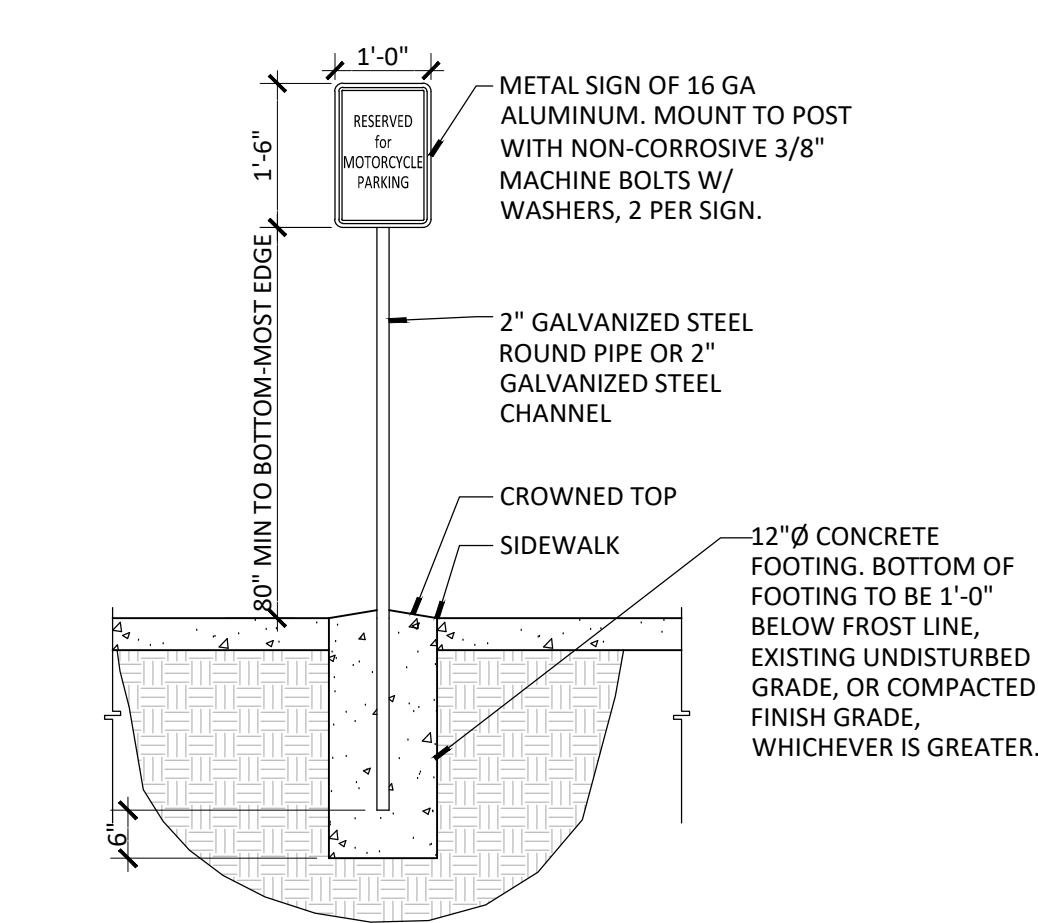
**B3** CONCRETE WHEEL STOP  
1 1/2" = 1'-0"



**A4** ACCESSIBLE PARKING SIGN  
1/2" = 1'-0"



**B5** BOLLARD DETAIL  
1/2" = 1'-0"



**A5** MOTORCYCLE PARKING SIGN  
1/2" = 1'-0"

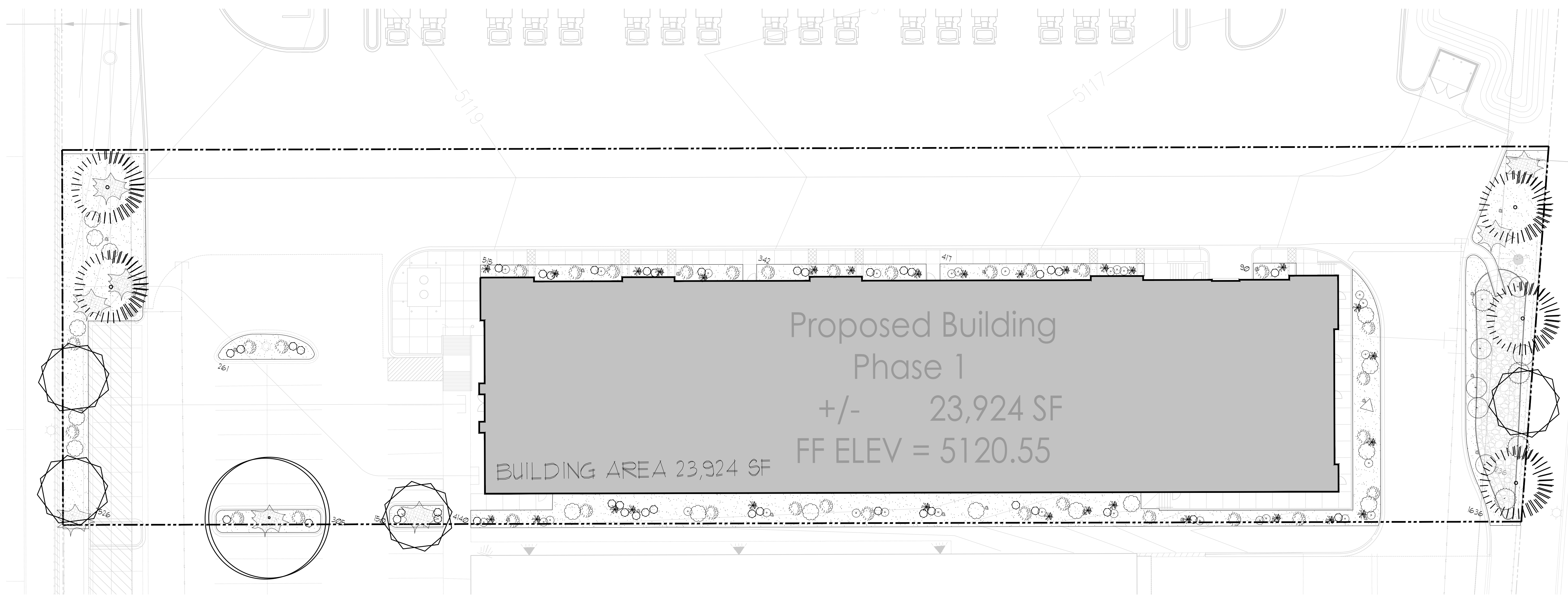
**ARIA**  
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Albuquerque, NM 87102  
Daniel@ariascinc.com (505) 506-2314

**NM SOL**  
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Albuquerque, NM 87121

STATE OF NEW MEXICO  
DANIEL PUZAK  
NO. 5317  
03/28/2023  
REGISTERED ARCHITECT  
Architect/Engineer Seal

mark	date	description
revisions		
issue		Permit CDs
project no		2219
drawn by		DGP
checked by		DGP
date		March 28, 2023

SITE DETAILS  
**AS501**



# ARIA

STUDIO CONSULTANTS, INC  
 100 Gold Ave. SW, Suite 205,  
 Albuquerque, NM 87102  
 Daniel@ariasinc.com (505) 506-2314



NM SOL  
 Phase 1 Tenant Addition  
 for Ray's Flooring  
 Los Volcanes Road NW  
 Albuquerque, NM 87121



Architect/Engineer Seal

### LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE	QTY	SIZE	COMMON/BOTANICAL	H2O USE
<b>Trees</b>							
1	3" cal	Honey Locust <i>Gleditsia triacanthos</i>	50x45 2025 2025 M	33	1 Gal	India Hawthorne <i>Raphiolepis indica</i>	25 825 M
5	10-12'	Austrian Pine <i>Pinus nigra</i>	35x25 625 3125 M	30	1 Gal	Feather Reed Grass <i>Calamagrostis arudinacea</i>	25x2 4 120 M
4	2" cal	Desert Willow <i>Chilopsis linearis</i>	25x25 625 2500 M 1650	1	1 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x5 25 25 M
				8	1 Gal	Buffalo Juniper <i>Juniperus sabino 'Buffalo'</i>	1x12 144 1152 M
				43	1 Gal	Cherry Sage <i>Salvia greggii</i>	2x3 9 381 M
				29	1 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3 9 261 M
				16	1 Gal	Fern Bush <i>Chamaebatiaria millefolium</i>	5x6 36 516 L
				4	1 Gal	Apache Plume <i>Fallugia paradoxa</i>	6x1 49 136 L
				6	1 Gal	Chamisa <i>Chrysothamnus nauseosus</i>	5x1 49 294 L 3836
				24	2-3cf	Boulders To be placed at contractor discretion	
				10382		Landscape Gravel / Filter Fabric 3/4" Earth tone	
				1236		Oversize Landscape Gravel / Filter Fabric 2-4" Adobe Rose	
				11618		Total Landscape Provided	

### LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	12586
TOTAL BUILDING AREA (sf)	-23924
TOTAL NET LOT AREA (sf)	48662
LANDSCAPE REQUIREMENT	X 20
TOTAL LANDSCAPE REQUIRED	9732
TOTAL ON-SITE LANDSCAPE PROVIDED	11618
TOTAL LIVE PLANT COVER REQUIRED	8714
TOTAL LIVE PLANT COVER PROVIDED	11486
TOTAL LIVE GROUND COVER REQUIRED	2905
TOTAL LIVE GROUND COVER PROVIDED	3836

LANDSCAPE NOTES:  
 Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape areas in excess of 36 square feet shall be planted so as to achieve 75% Live Ground Cover at maturity.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed, or other treatment.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have bubblers and shrubs shall have a minimum of 2 emitters per shrub. Trees and shrubs shall be zoned separately. Point of connection for irrigation system is unknown at current and shall be coordinate Landscaping shall be installed according to the approved plan. Installation shall be completed within 60 days of the related building's occupancy.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner. d between the Landscape Contractor and the General Contractor of the project prior to construction.

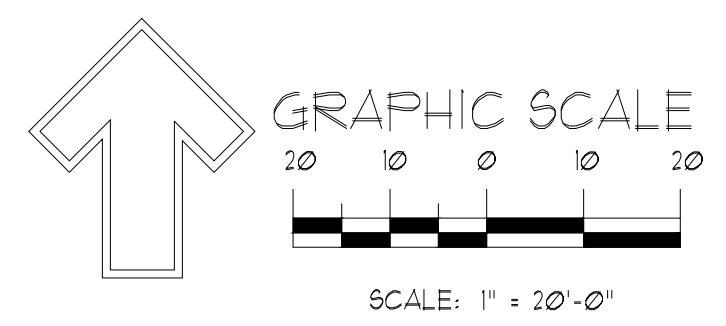
No substitutions, or alterations shall be made to this plan without the express written authorization of the Landscape Architect, and changes approved by the City of Albuquerque.

### Street Tree Notes:

Per Section 5-6(D)(1)(a) Required Street Trees. Trees are GENERALLY required along street frontages every 25 feet on center unless otherwise specified in Part 6-2-2 of ROA 1994 (Street Trees)

### Section 6-6-2-5 Street Trees

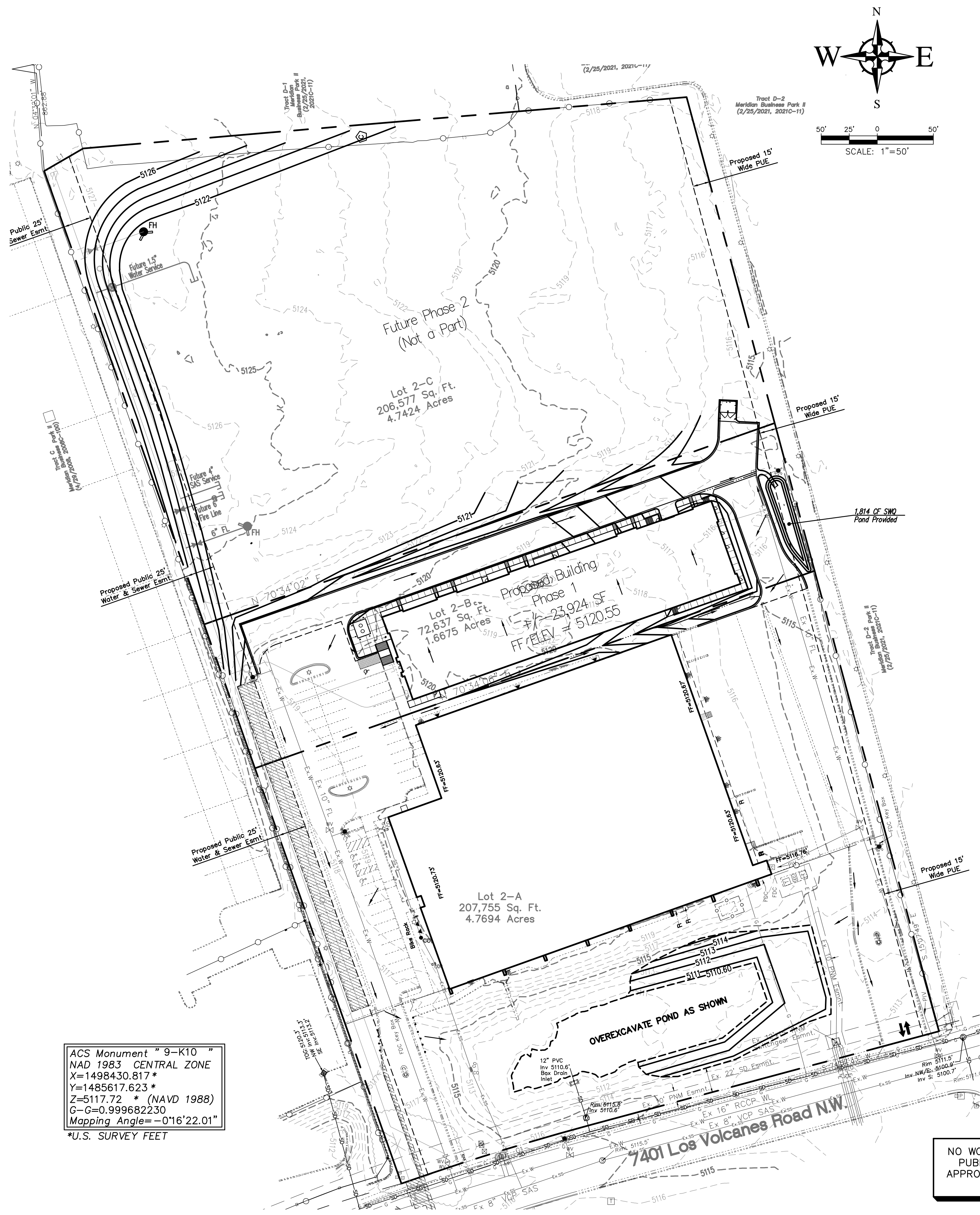
- (A) Size of the trees at maturity should be in proportion to the planting space provided for them. ... Smaller species of trees will require closer spacing, and larger trees will require greater spacing. Spacing shall be approved as part of the plan approval process.
2. On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced



mark	date	description
<b>revisions</b>		
issue		Permit CDs
project no		2219
drawn by		
checked by		
date		June 09, 2023



LANDSCAPE PLAN  
**LS-101**



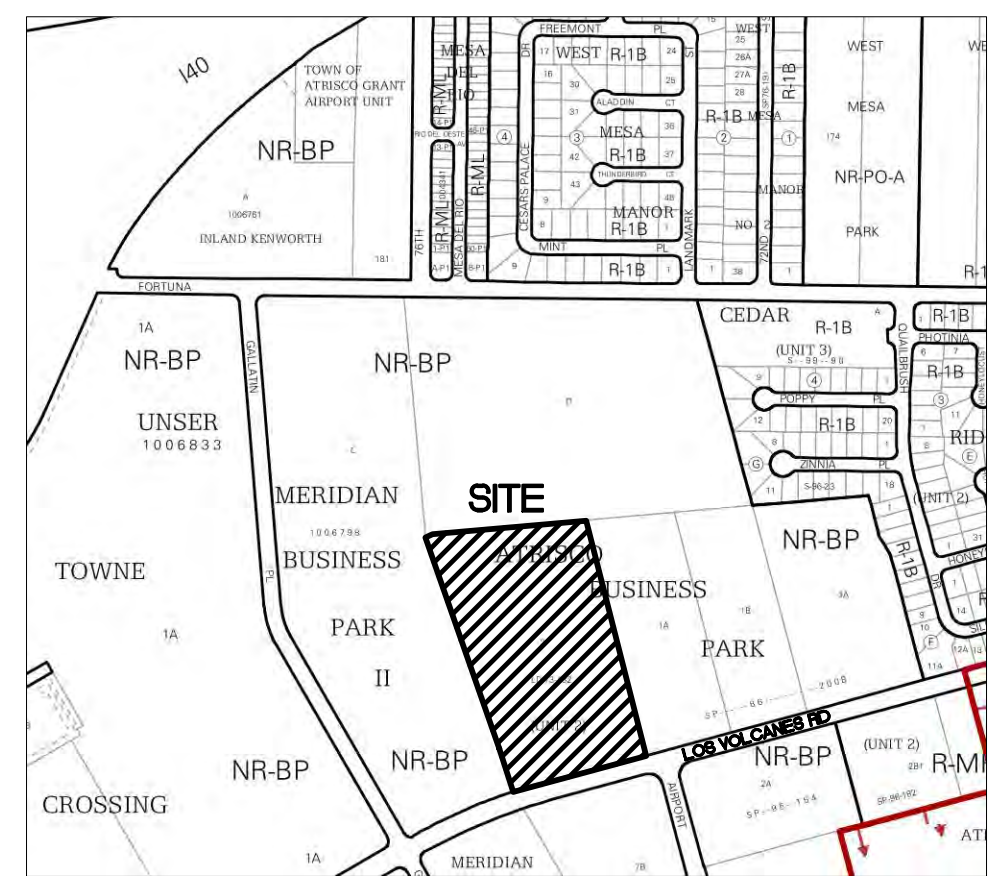
ACS Monument "9-K10"  
 NAD 1983 CENTRAL ZONE  
 X=1498430.817 \*  
 Y=1485617.623 \*  
 Z=5117.72 \* (NAVD 1988)  
 G-G=0.999682230  
 Mapping Angle=-0°16'22.01"  
 \*U.S. SURVEY FEET

NO WORK SHALL BE PERFORMED IN THE PUBLIC RIGHT-OF-WAY WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.

- LEGEND**
- ← FLOW ARROW
  - 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
  - FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
  - TC27.8 PROPOSED TOP OF CURB ELEVATIONS
  - TS27.8 PROPOSED TOP OF SIDEWALK ELEVATION
  - (1.11) FGH83.40 FINISHED GRADE AT TOP OF WALL
  - FGL83.40 FINISHED GRADE AT BOTTOM OF WALL
  - 515 EXISTING CONTOUR
  - 515 PROPOSED CONTOUR
  - EXISTING STORM DRAIN

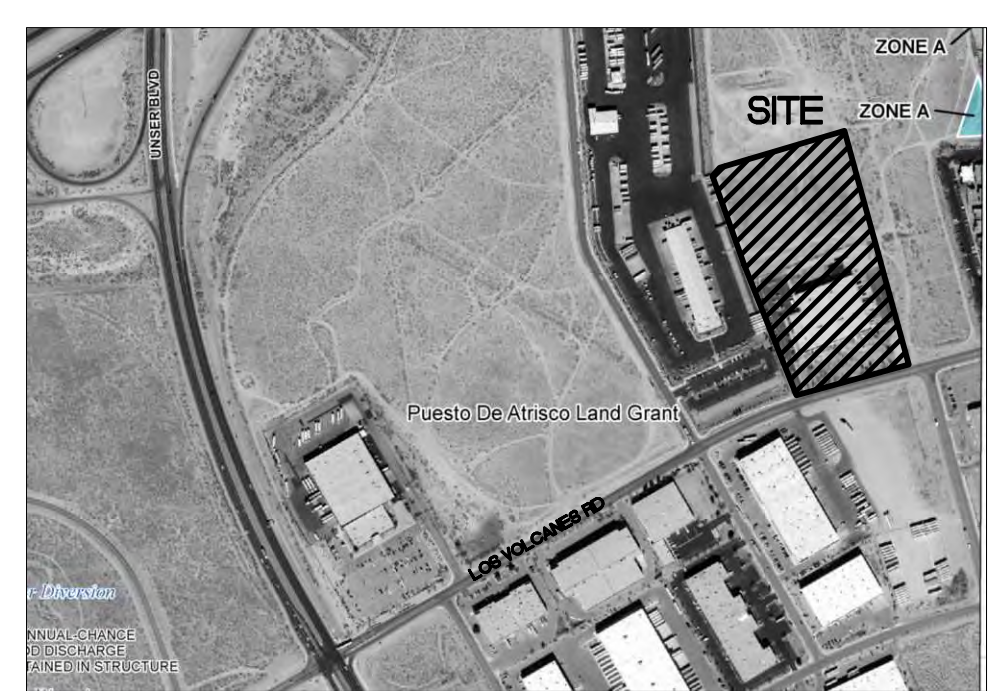
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**VICINITY MAP**

**LEGAL DESCRIPTION:**  
 Lot 2, in Tract "S-1" of Unit 2, Atrisco Business Park, Albuquerque, NM.



**FIRM MAP 35001C0328J**

Per FIRM Map 35001C0328J, dated November 04, 2016, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

**GRADING NOTES**

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
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9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

**ARIA**

STUDIO CONSULTANTS, INC  
 100 Gold Ave. SW, Suite 205,  
 Albuquerque, NM 87102  
 Daniel@ariascinc.com (505) 506-2314

**Wooten Engineering**

PO Box 15814  
 Rio Rancho, NM 87174  
 Phone: (505) 980-3560

**Ray's Flooring**  
 Phase 1 Tenant Addition  
 NM Sol  
 7401 Los Volcanes Road NW  
 Albuquerque, NM 87121

ARCHITECT/ENGINEER SEAL

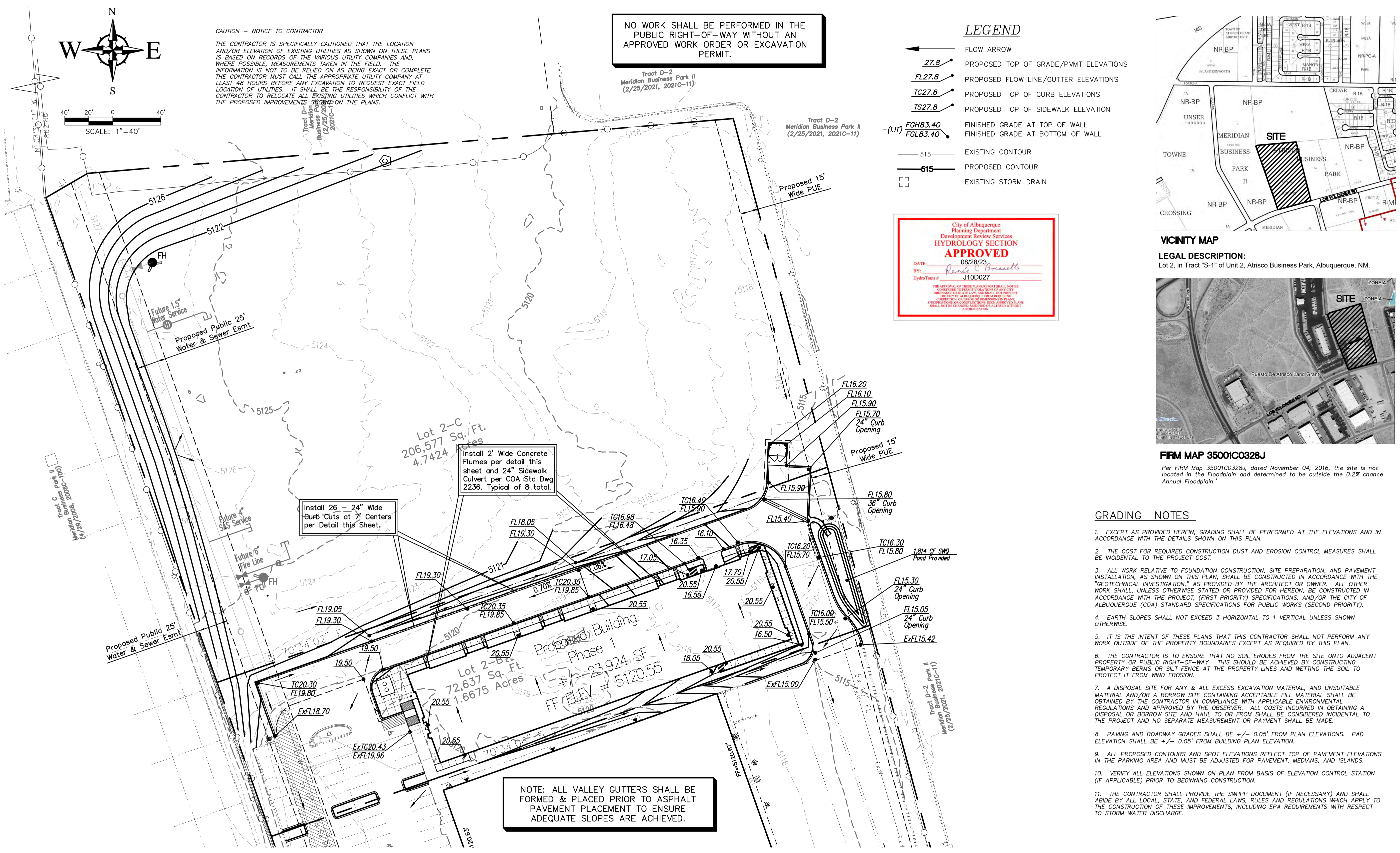
TODD WOOTEN  
 NEW MEXICO  
 16892  
 8/1/2023

mark	date	description
revisions		
issue		95% REVIEW PLANS
project no		2021034
drawn by		
checked by		
date		February 10, 2023

OVERALL  
 GRADING PLAN

C100





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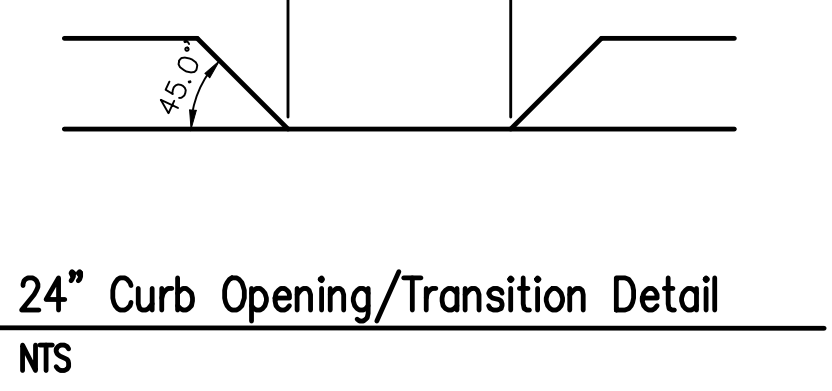
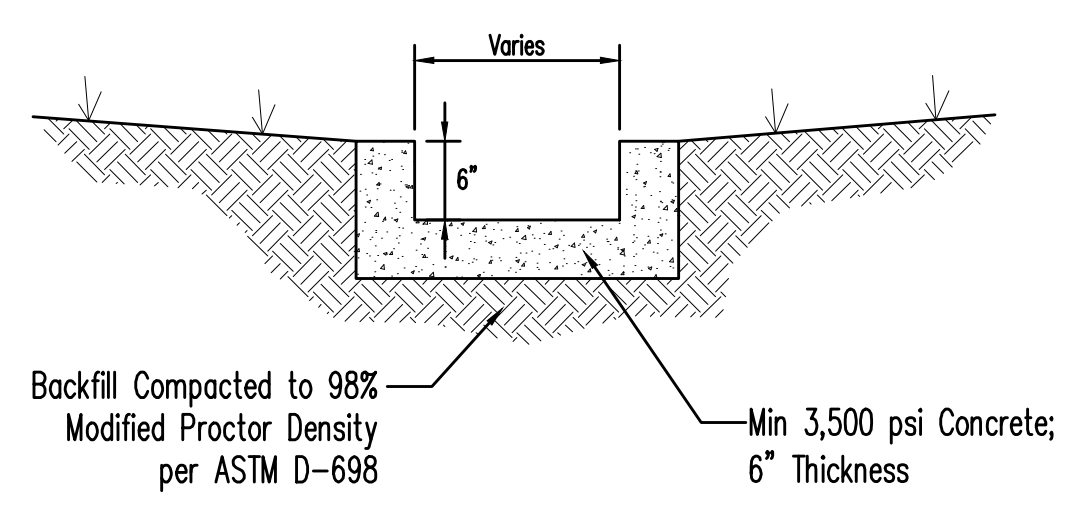
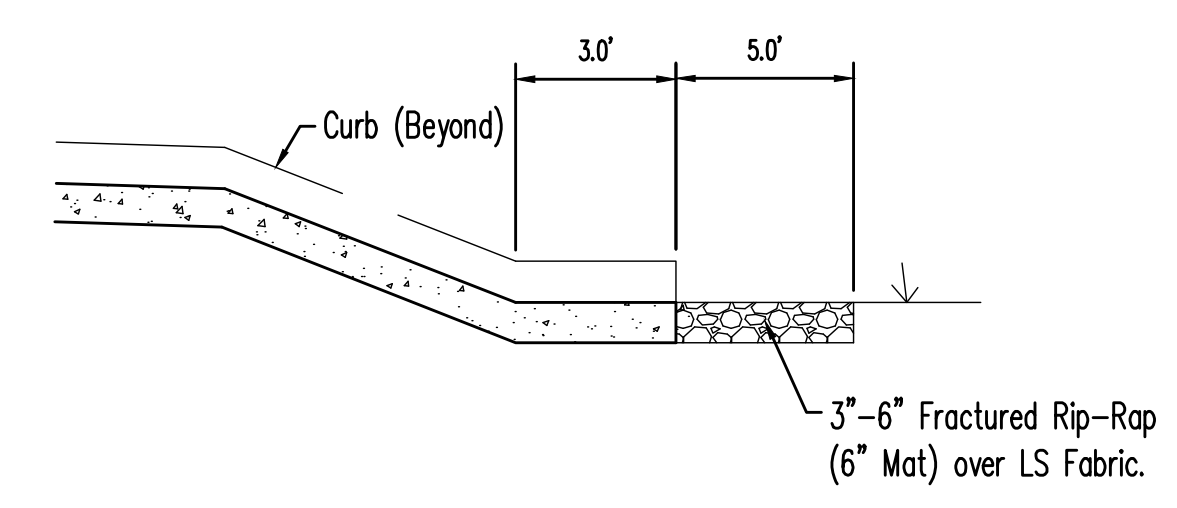
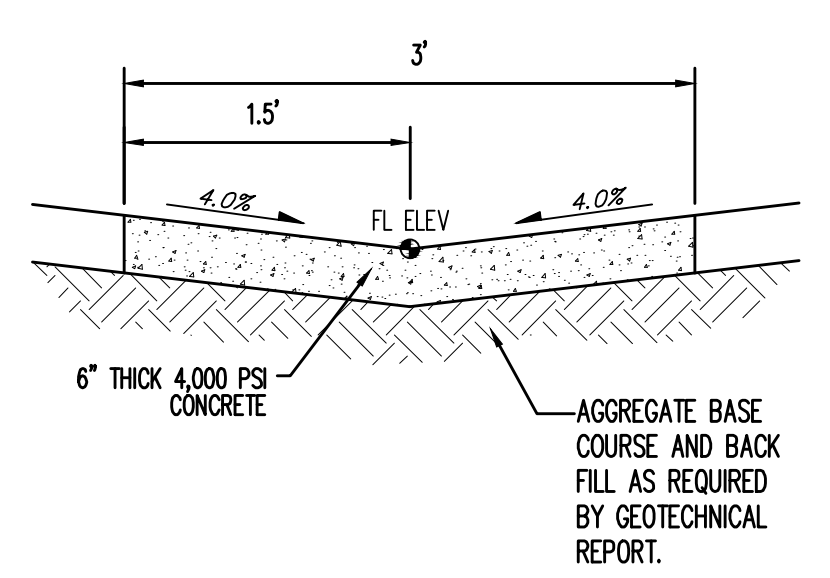
**Ray's Flooring**  
 Phase 1 Tenant Addition  
 NM Sol  
 7401 Los Volcanes Road NW  
 Albuquerque, NM 87121

**JUSTIFY TODD WOOTEN ENGINEER**  
 16892  
 8/1/2023  
 Architect/Engineer Seal

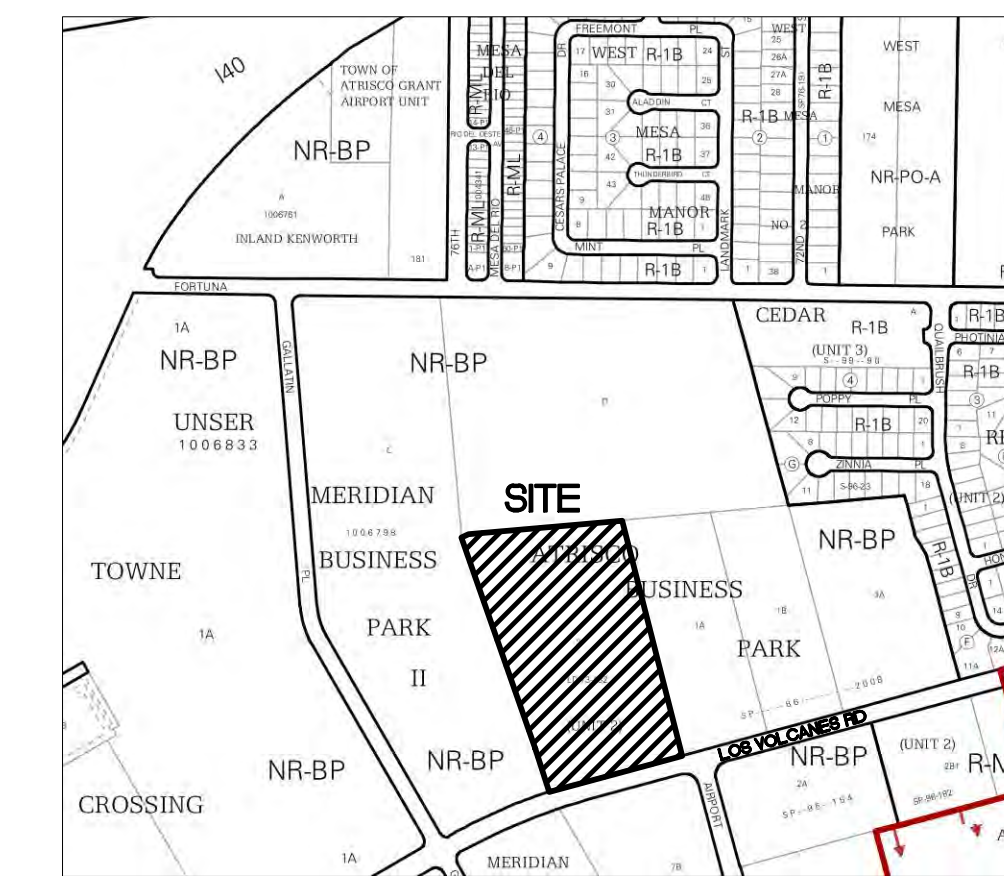
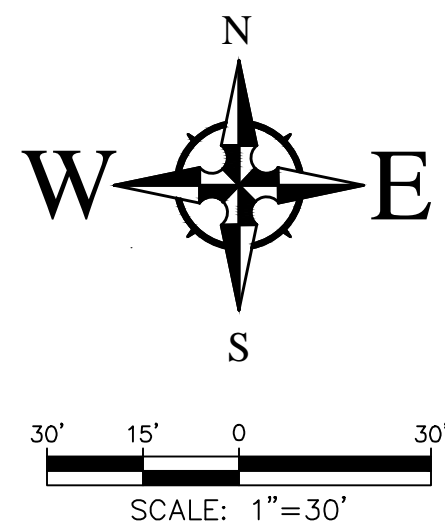
mark	date	description
<b>revisions</b>		
issue		95% REVIEW PLANS
project no		2021034
drawn by		
checked by		
date		February 10, 2023

**GRADING PLAN**

C101

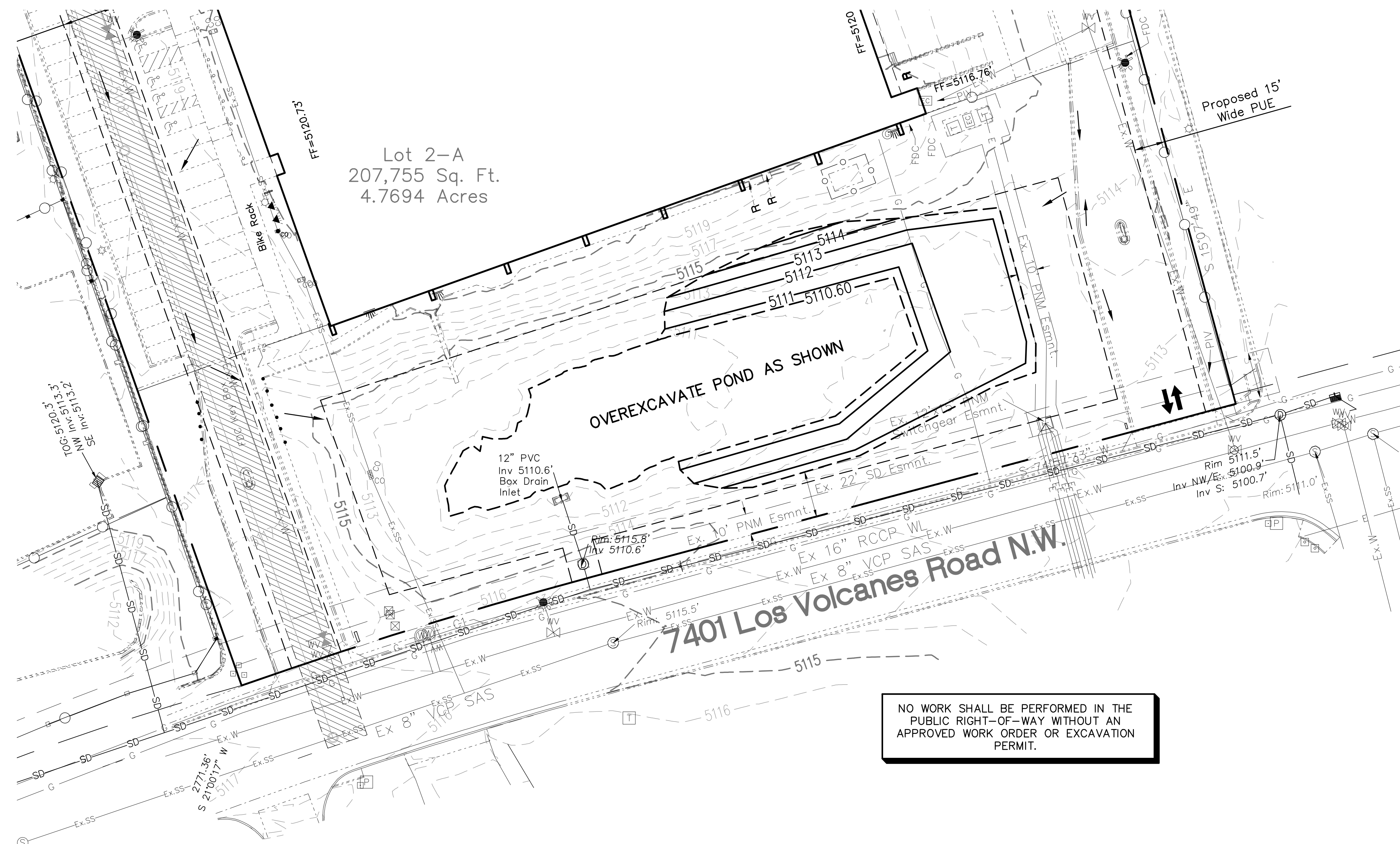


ACS Monument "9-K10"  
 NAD 1983 CENTRAL ZONE  
 X=1498430.817\*  
 Y=1485617.623\*  
 Z=5117.72 (NAVD 1988)  
 G-G=0.999682230  
 Mapping Angle=-0°16'22.01"  
 \*U.S. SURVEY FEET



**VICINITY MAP**  
**LEGAL DESCRIPTION:**  
 Lot 2, in Tract "S-1" of Unit 2, Atrisco Business Park, Albuquerque, NM.

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- LEGEND**
- ← FLOW ARROW
  - 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
  - FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
  - TC27.8 PROPOSED TOP OF CURB ELEVATIONS
  - TS27.8 PROPOSED TOP OF SIDEWALK ELEVATION
  - (1.11) FGH83.40 FINISHED GRADE AT TOP OF WALL
  - (1.11) FGL83.40 FINISHED GRADE AT BOTTOM OF WALL
  - 515 EXISTING CONTOUR
  - 515 PROPOSED CONTOUR
  - EXISTING STORM DRAIN

ACS Monument " 9-K10 "  
 NAD 1983 CENTRAL ZONE  
 X=1498430.817 \*  
 Y=1485617.623 \*  
 Z=5117.72 \* (NAVD 1988)  
 G=0.999682230  
 Mapping Angle=-0°16'22.01"  
 \*U.S. SURVEY FEET

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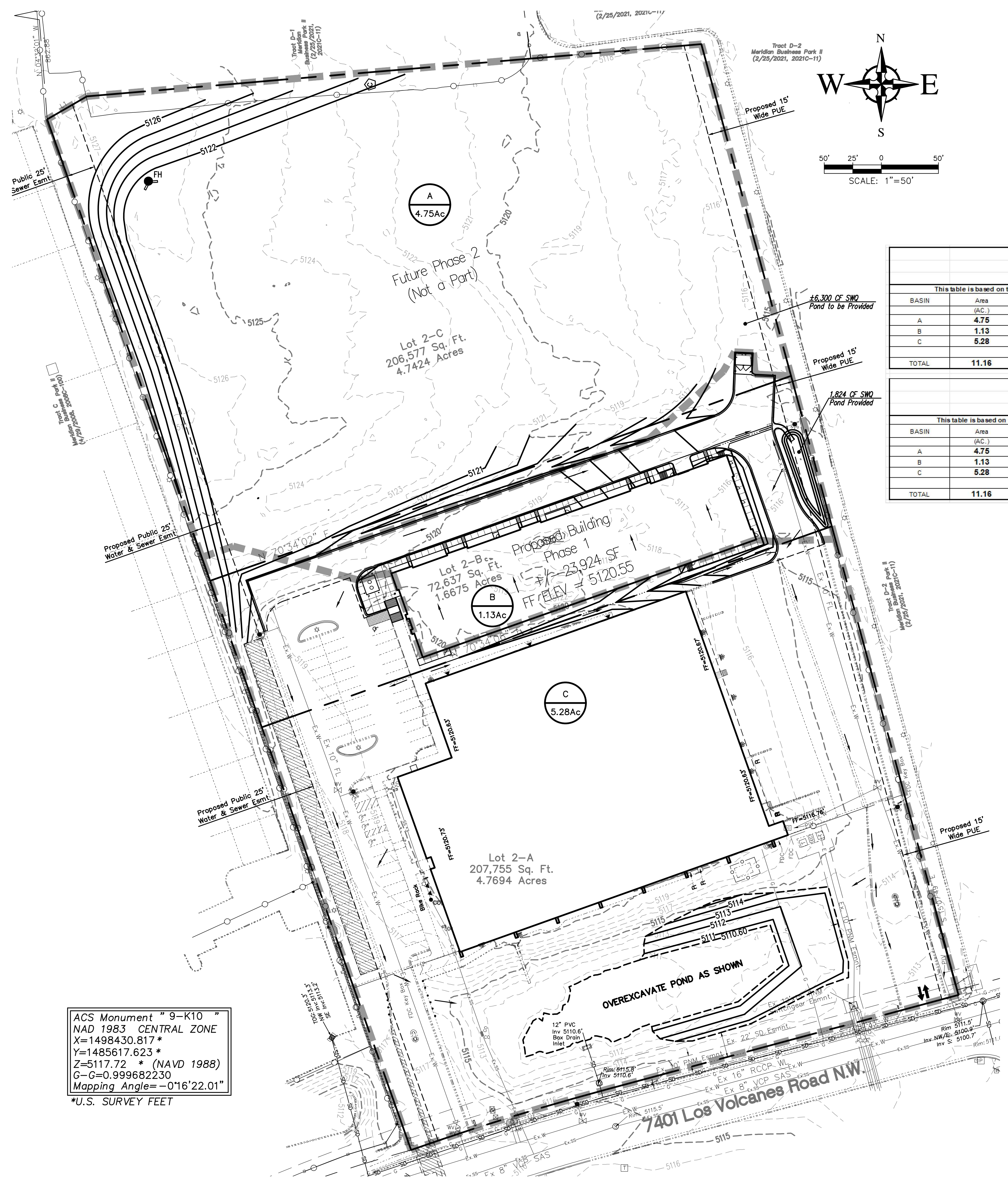
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Architect/Engineer Seal

mark	date	description
<b>revisions</b>		
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checked by		
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POND GRADING PLAN  
  
 C102



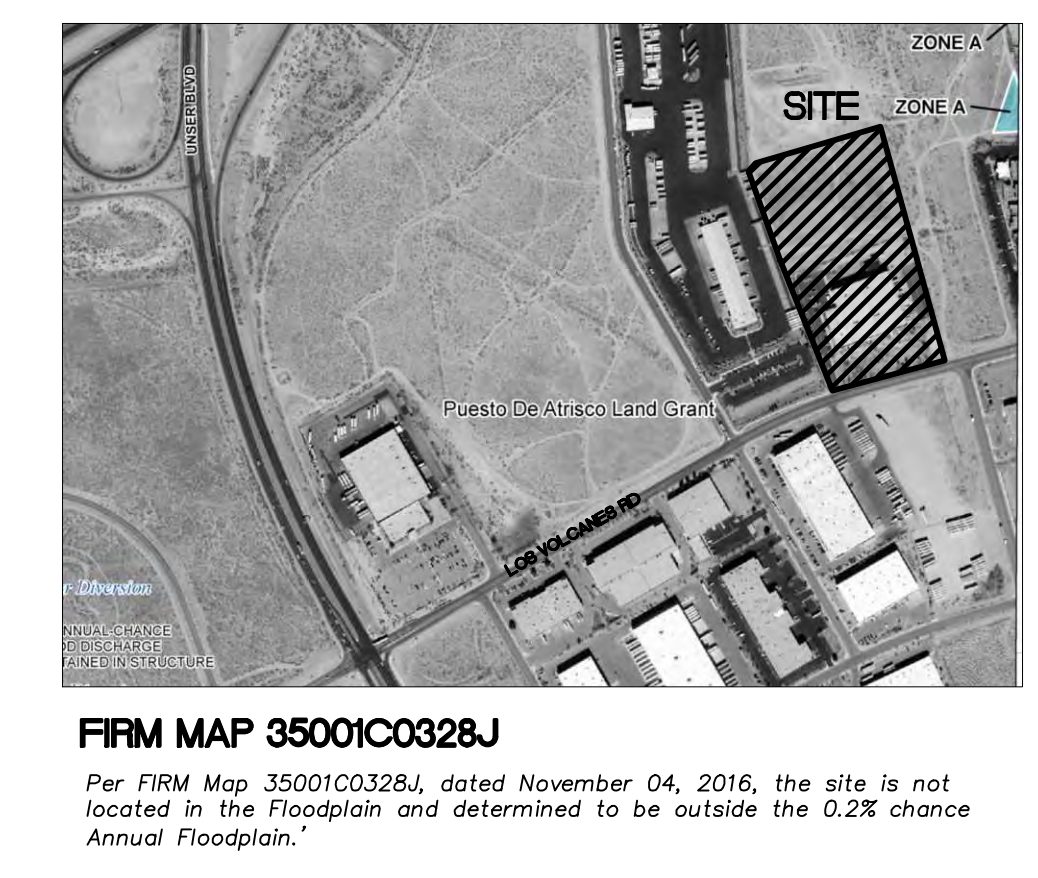
ACS Monument " 9-K10 "  
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 Y=1485617.623 \*  
 Z=5117.72 \* (NAVD 1988)  
 G-G=0.999682230  
 Mapping Angle=-0°16'22.01"  
 \*U.S. SURVEY FEET

**STORMWATER QUALITY POND CALCULATIONS**

**BASIN A**  
 TOTAL FUTURE IMPERVIOUS AREAS = 163,350 SF  
 SWQ VOLUME REQ'D = 163,350 \* 0.42" / 12 = **5,717 CF**  
 TOTAL VOLUME PROVIDED = **6,000 CF**

**BASIN B**  
 TOTAL NEW IMPERVIOUS AREAS = 43,634 SF  
 SWQ VOLUME REQ'D = 43,634 \* 0.42" / 12 = **1,527 CF**  
 TOTAL VOLUME PROVIDED = **1,824 CF**

**BASIN C**  
 TOTAL NEW IMPERVIOUS AREA = 0 SF  
 FIRST FLUSH = 0 \* 0.42" / 12 = **0 CF**  
 TOTAL VOLUME PROVIDED = **13,234 CF**



**Pre-Developed Drainage Calculations**

This table is based on the COA DPM Chapter 6.2 (A), Zone 1:

BASIN	Area (AC.)	Land Treatment Percentages (%)				Weighted C	Tc (min)	I (100) (in/hr)	Q (100) (cfs/ac.)	Q (100) (CFS)	WTE (inches)	V(100)360 (CF)	V(100)1080 (CF)	Comments
A	4.75	100.0	0.0	0.0	0.0	0.34	12.00	1.54	0.52	2.49	0.55	9483	9483	Undeveloped; drains to main pond
B	1.13	100.0	0.0	0.0	0.0	0.34	12.00	1.54	0.52	2.49	0.55	2256	2256	Undeveloped; drains to main pond
C	5.28	0.0	0.0	30.0	70.0	0.82	12.00	3.75	3.07	16.19	1.85	35515	55238	Developed; drains to main pond
TOTAL	11.16									19.27		47255	66977	

**Post-Developed Drainage Calculations**

Ultimate Development Conditions Basin Data Table  
 This table is based on the COA DPM Chapter 6.2(A), Zone 1:

BASIN	Area (AC.)	Land Treatment Percentages (%)				Weighted C	Tc (min)	I (100) (in/hr)	Q (100) (cfs/ac.)	Q (100) (CFS)	WTE (inches)	V(100)360 (CF)	V(100)1080 (CF)	Comments
A	4.75	0.0	0.0	30.0	70.0	0.82	12.00	3.75	3.07	14.57	1.85	31950	49693	Drains to SWQ Pond then to Main Pond
B	1.13	0.0	0.0	10.0	90.0	0.87	12.00	4.00	3.49	3.94	2.11	8659	14086	Drains to SWQ Pond then to Main Pond
C	5.28	0.0	0.0	30.0	70.0	0.82	12.00	3.75	3.07	16.19	1.85	35515	55238	Pond to be Enlarged to Handle Add'l Capacity
TOTAL	11.16									34.70		76125	119016	

Ref Sheet C102 for Pond Calculations



DRAINAGE MANAGEMENT PLAN

**INTRODUCTION**  
 The purpose of this submittal is to provide a Conceptual Grading Plan for Preliminary and Final Plat approval. The subject site is located at 7401 Los Volcanes Road in Albuquerque, NM. The legal description of the property is Lots 2-A, 2-B, and 2-C, Tract S-1, Atrisco Business Park Unit 2. The overall development contains approximately 11.16 acres. The site is currently one lot and is being split into three per the subject plat application. The prior approved Drainage Plan for the Development can be found in Hydrology File J10/D027 and was prepared by Jeffrey G. Mortensen, P.E. and dated 8/27/1997.

**EXISTING HYDROLOGIC CONDITIONS**  
 The site currently drains from northwest to southeast and into the existing detention pond as designed by Jeffrey G. Mortensen as discussed above. The property to the west used to drain onto this property; however, it has since been developed and no longer drains onto this property. There is an existing drainage pond on the south side of the property that discharges into an existing storm drain in Los Volcanes.

**PROPOSED HYDROLOGIC CONDITIONS**  
 There are two proposed projects which will expand within this property. The first is a ±24,000 SF Warehouse to be located on the middle property, Lot 2-B. The future project will be an industrial site generally configured as shown on the subject plan. Each of the two properties will be required to provide Stormwater Quality Treatment per the DPM. Phase 1 (Lot 2-B) will be providing Stormwater Quality Ponding per calculations this sheet. The future Phase 2 (Lot 3-B) will be required to provide Stormwater Quality ponding per the DPM. Both projects will require a separate Grading Plan submittal prior to being approved for Building Permit.

New Blanket Cross Drainage Easements are being dedicated by plat for each lot which benefits the other two. The three lots will drain into the existing pond on Lot 2-A which is to be over-excavated per the Grading Plan on Sheet C100. This over-excavated pond is able to handle the development of both Lots 2-B and 2-C. According to the original approved Grading Plan (Mortensen), the pond is designed to discharge 1.3cfs. The maximum allowable discharge per the updated pond calculations is 1.35cfs which is slightly greater than the prior allowable discharge. This increase is negligible.

The Drainage Calculations can be found on this sheet; whereas, the Ponding Calculations can be found on Sheet C102.

**CONCLUSION**  
 This drainage management plan conforms to the original approved Drainage Plan prepared by Jeffrey G. Mortensen, P.E. and with the City of Albuquerque DPM. With this submittal, we are requesting Preliminary and Final Plat approval.

Ray's Flooring  
 Phase 1 Tenant Addition  
 NM Sol  
 7401 Los Volcanes Road NW  
 Albuquerque, NM 87121



Architect/Engineer Seal

mark	date	description
revisions		
issue		95% REVIEW PLANS
project no		2021034
drawn by		
checked by		
date		February 10, 2023

DRAINAGE MANAGEMENT PLAN

C103



### Hydrograph 100-yr Summary

Project Name: 03-06-2023  
Hydrology Studio v 3.0.0.27

Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	Post Basin A	48.58	0.23	61,216	----	5113.34	58,881
2	Pond Route	Post NM Sol Pond	1,348	0.68	60,985	1	5113.34	58,881

### Hydrograph Report

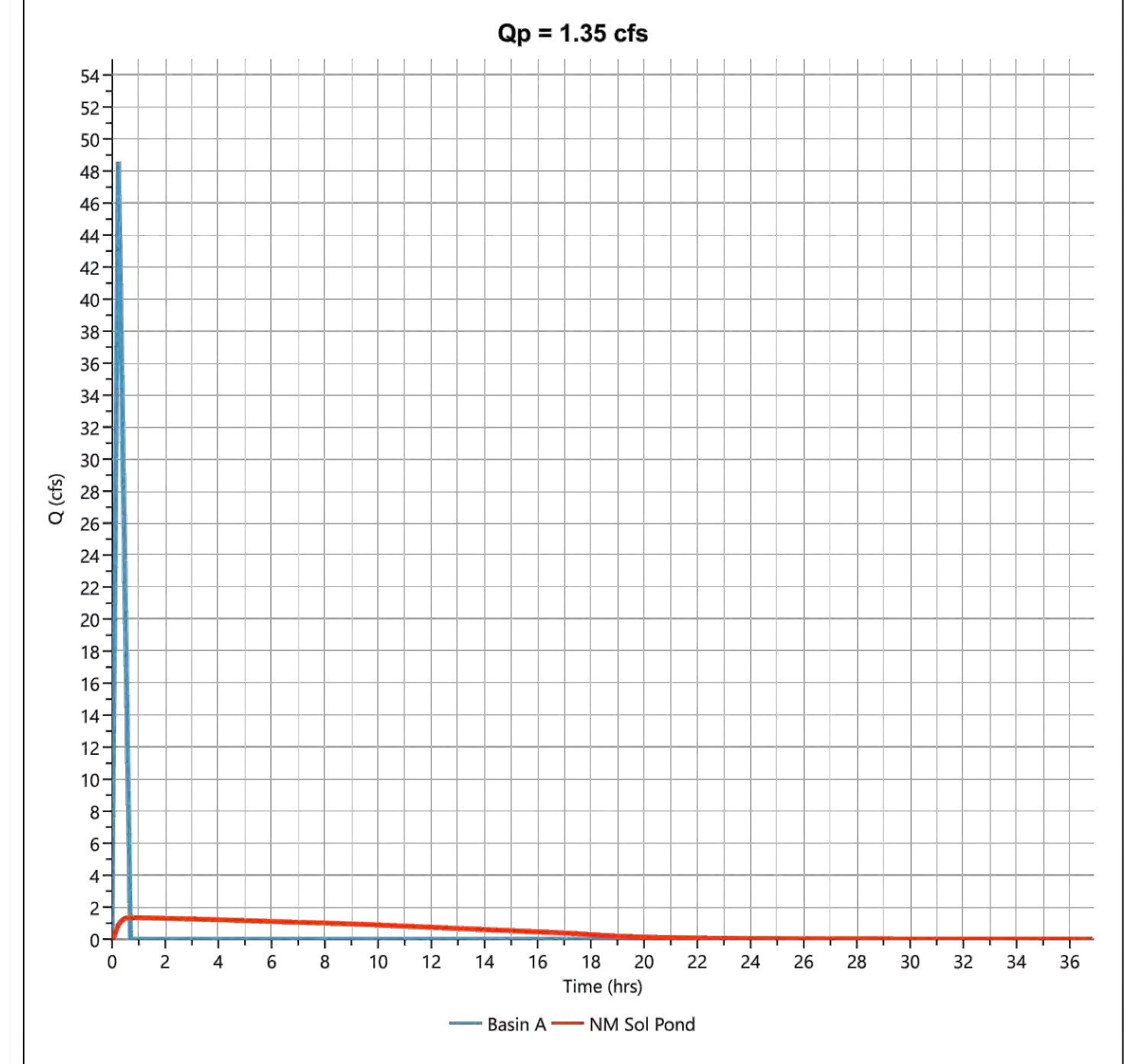
Project Name: 03-06-2023  
Hydrology Studio v 3.0.0.27

#### Post NM Sol Pond

#### Hyd. No. 2

Hydrograph Type	= Pond Route	Peak Flow	= 1,348 cfs
Storm Frequency	= 100-yr	Time to Peak	= 0.68 hrs
Time Interval	= 1 min	Hydrograph Volume	= 60,985 cuft
Inflow Hydrograph	= 1 - Basin A	Max. Elevation	= 5113.34 ft
Pond Name	= Basin A Pond	Max. Storage	= 58,881 cuft

Pond Routing by Storage Indication Method Center of mass detention time = 7.70 hrs

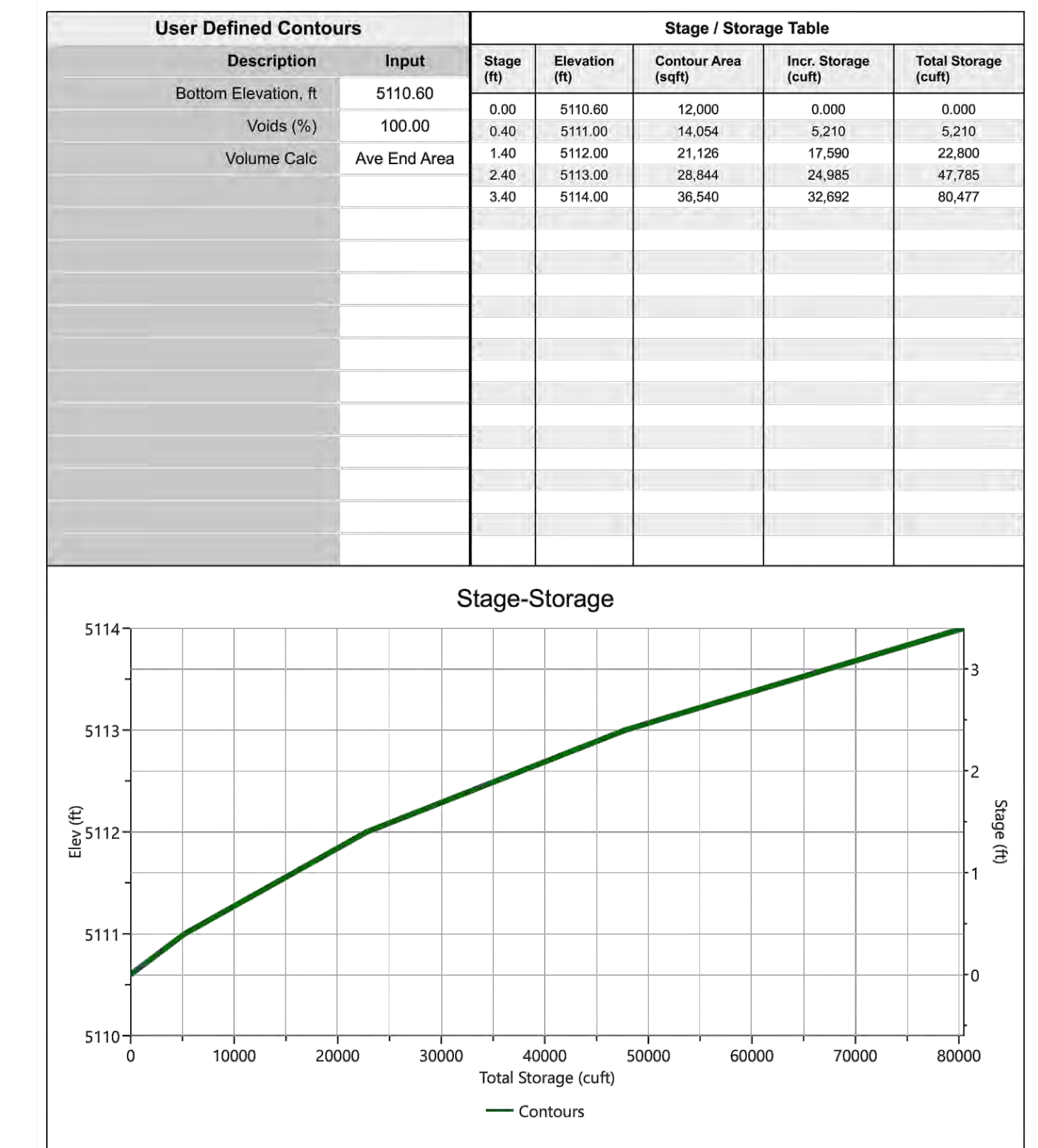


### Pond Report

Project Name: 03-06-2023  
Hydrology Studio v 3.0.0.27

#### Basin A Pond

#### Stage-Storage

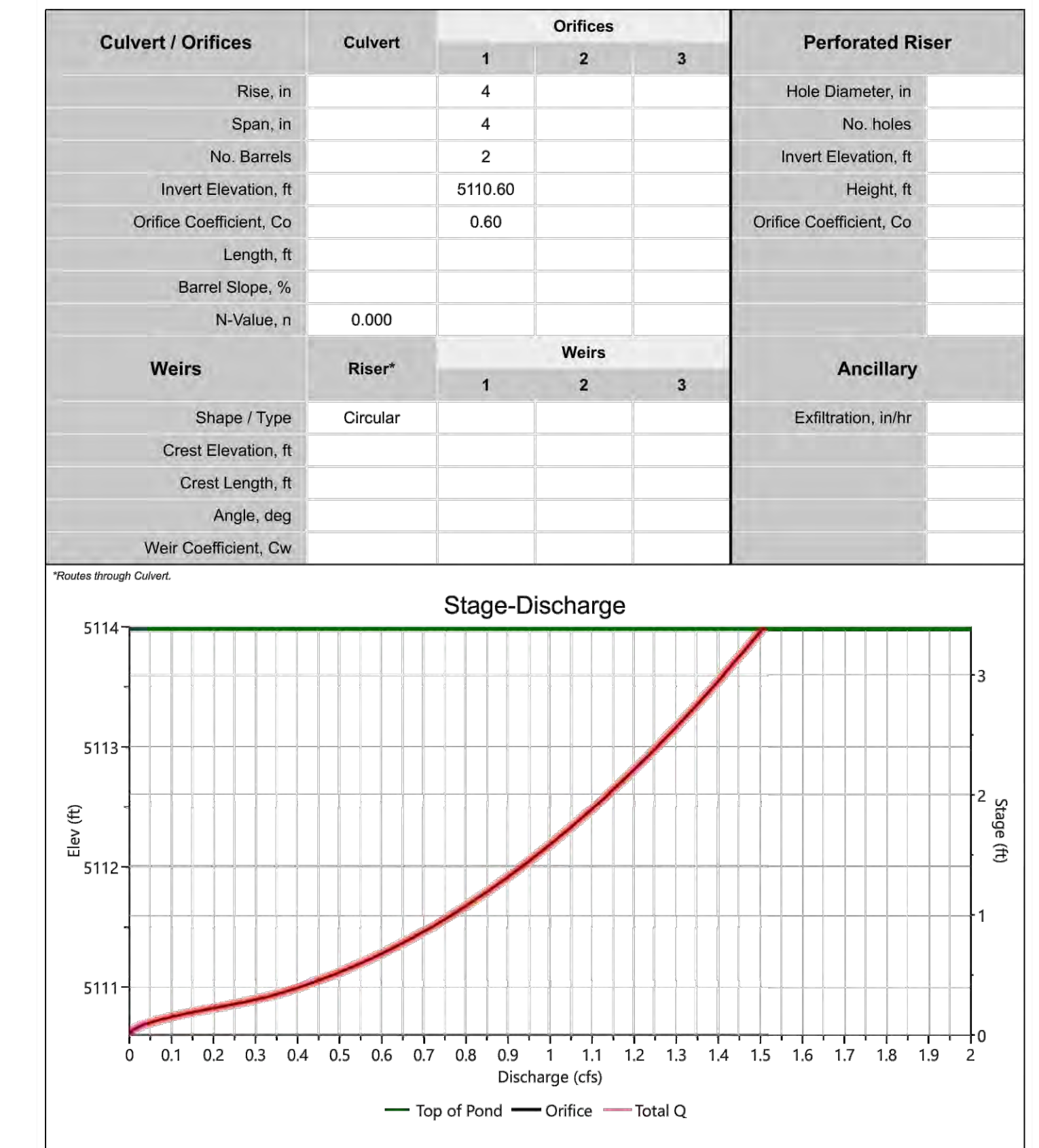


### Pond Report

Project Name: 03-06-2023  
Hydrology Studio v 3.0.0.27

#### Basin A Pond

#### Stage-Discharge



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Architect/Engineer Seal

mark	date	description
revisions		
issue		95% REVIEW PLANS
project no		2021034
drawn by		
checked by		
date		February 10, 2023

POND CALCULATIONS

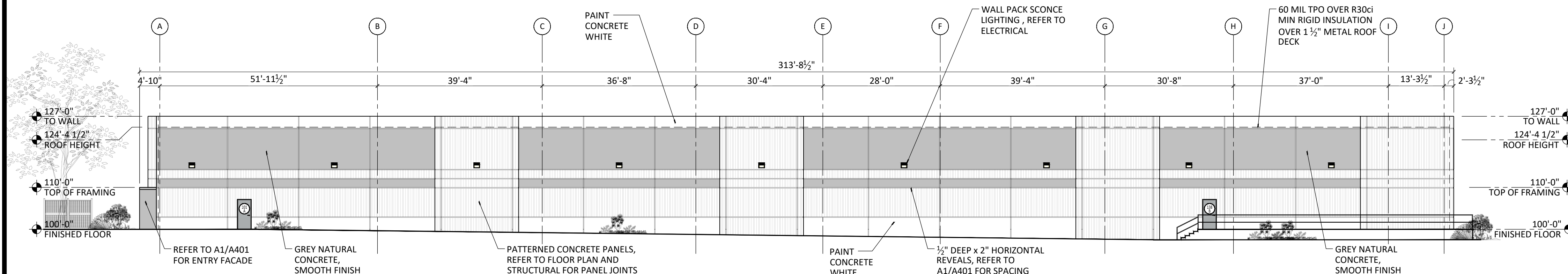
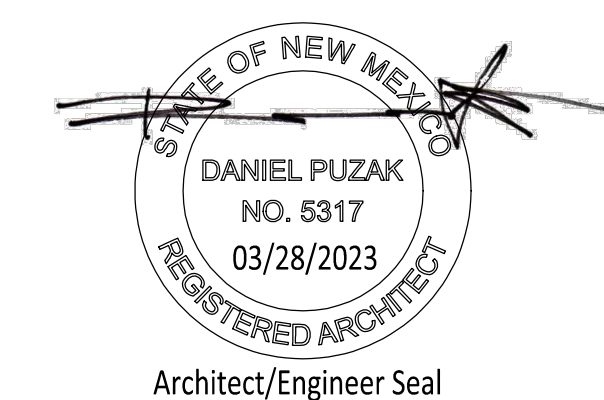
C104



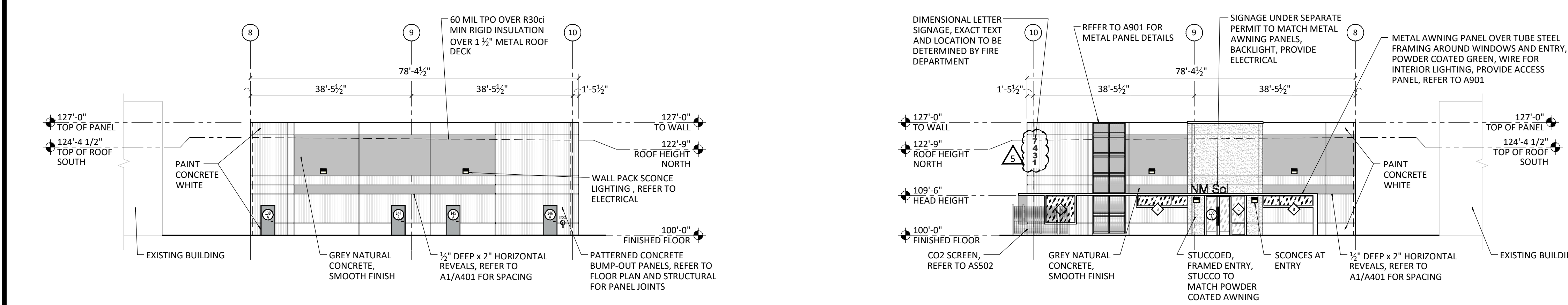
STUDIO CONSULTANTS, INC  
 100 Gold Ave. SW, Suite 205,  
 Albuquerque, NM 87102  
 Daniel@ariasinc.com (505) 506-2314



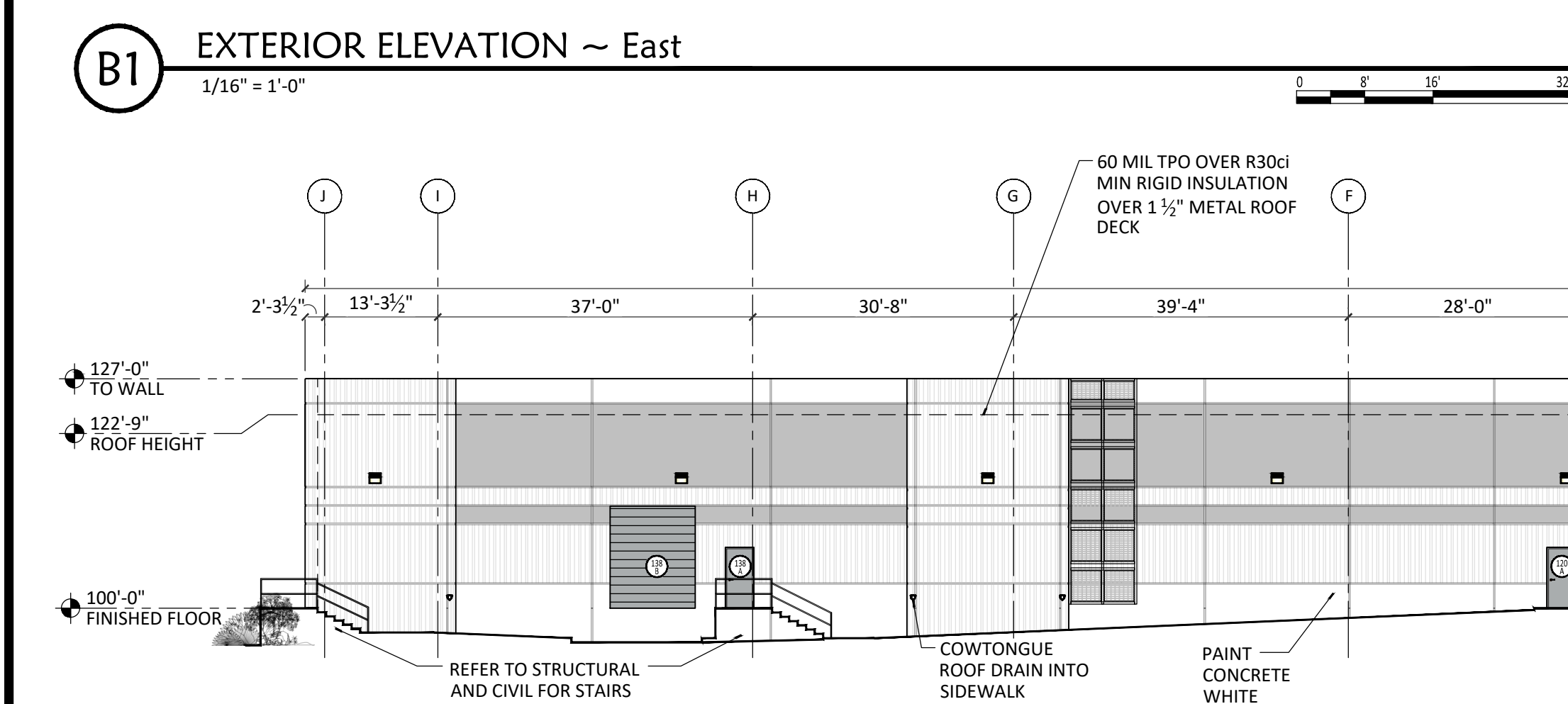
NM SOL  
 A New Agricultural Facility  
 7431 Los Volcanes Road NW  
 Albuquerque, NM 87121



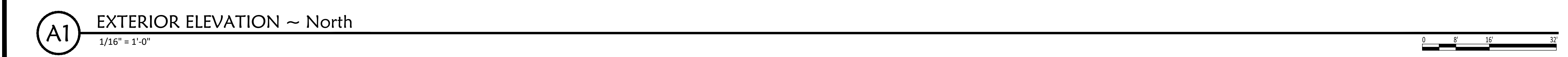
C1 EXTERIOR ELEVATION ~ South  
 1/16" = 1'-0"



B3 EXTERIOR ELEVATION ~ West Entry  
 1/16" = 1'-0"

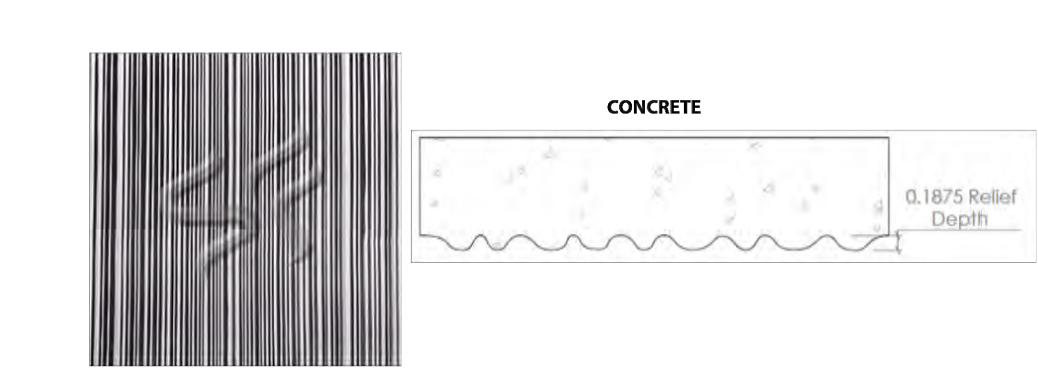


B1 EXTERIOR ELEVATION ~ East  
 1/16" = 1'-0"



A1 EXTERIOR ELEVATION ~ North  
 1/16" = 1'-0"

Spec Formliners, Inc.  
 Random 3/16" Striation  
 2.16" (19mm) depth  
 Random cut striation reveals



Visit [www.specformliners.com](http://www.specformliners.com) for application guides and technical information

ThermoSpec™ SWEET OR MULTI-USE PLASTIC			ElastoSpec Lite™ Semi-Elastomeric Multi-Use MATERIAL			ElastoSpec™ 100% Solid Urethane BONDED TO 3/4" PLYWOOD		
Property	HIPS	ABS	Property	ASTM	Rating	Property	ASTM	Rating
Tensile D038	3700	5300	Show A/D	D2240	400/95A	Show A	D2240	55-65
Elongation D790	~	800	Tensile	D412	1900 psi	Tensile	D412	1400 psi
Hardness D798	~	105	Elongation	D412	300%	Elongation	D412	600%
Material Weights - lbs/ft²			Material Weights - lbs/ft²			Material Weights - lbs/ft²		
0.070 ML	0.110 ML	0.150 ML	Varies by Pattern			Varies by Pattern		
0.393	0.621	0.843	Maximum Thickness			Maximum Thickness		
Thicknesses Available			1/4" - 1/2"			1/2" - 1"		
0.070, 0.095, 0.115, 0.145, 0.155, 0.180								

Call for ThermoSpec™ Standard Panel Sizes on this pattern. Custom Sizes and Art Panels available  
 ElastoSpec™ Customized Panel Sizes and Art Panels

Spec Formliners, Inc. 1038 E 4th Street, Santa Ana, CA 92701  
 www.specformliners.com - Phone: 714 429-9500 - FAX: 714 429-1460

A5 PANEL TEXTURE

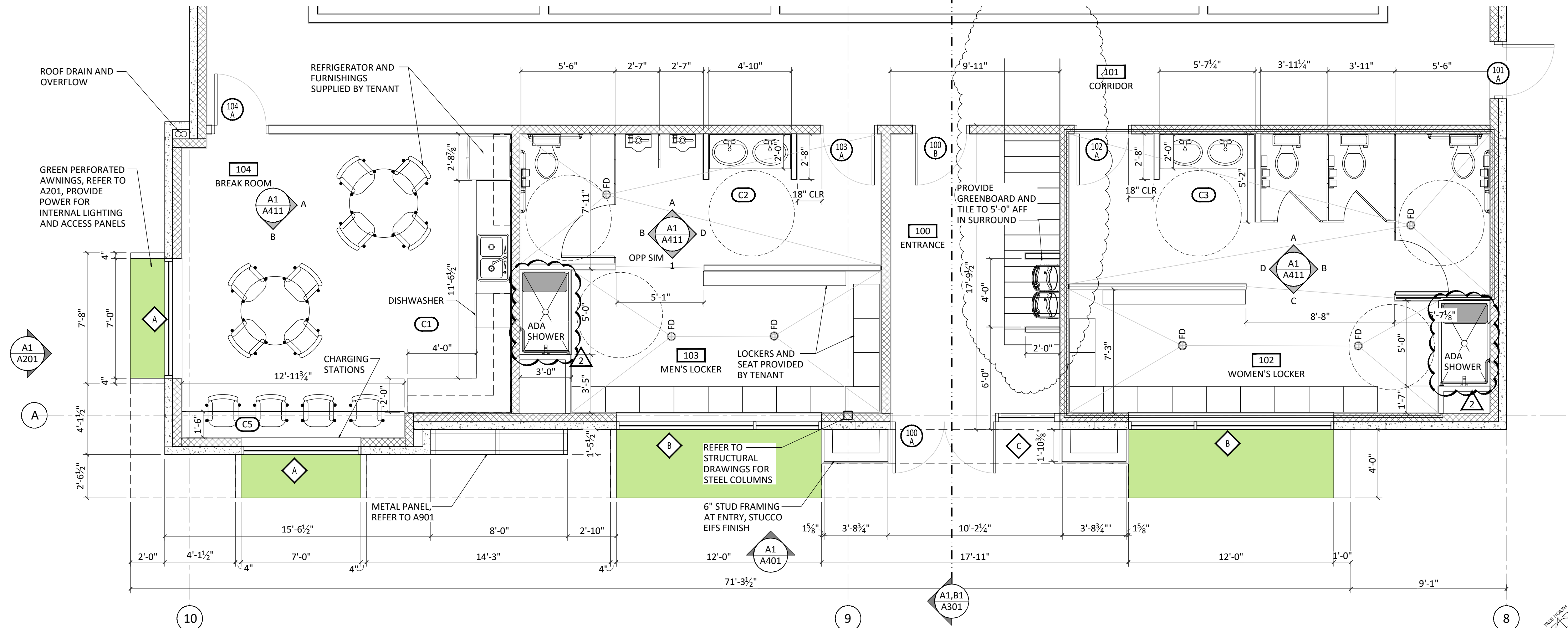
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4	08/07/2023	TCL COMMENTS
3	05/20/2023	OWNER CHANGES
2	05/12/2023	COA PERMIT COMMENTS
1	04/26/2023	TCL COMMENTS

revisions

issue	Permit CDs
project no	2219
drawn by	DGW
checked by	DGP
date	AUGUST 10, 2023

EXTERIOR ELEVATIONS

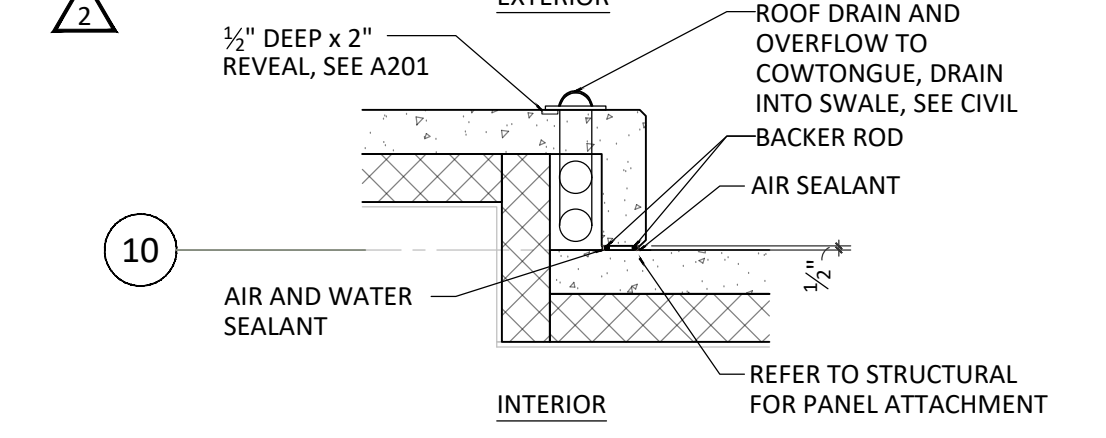
A201



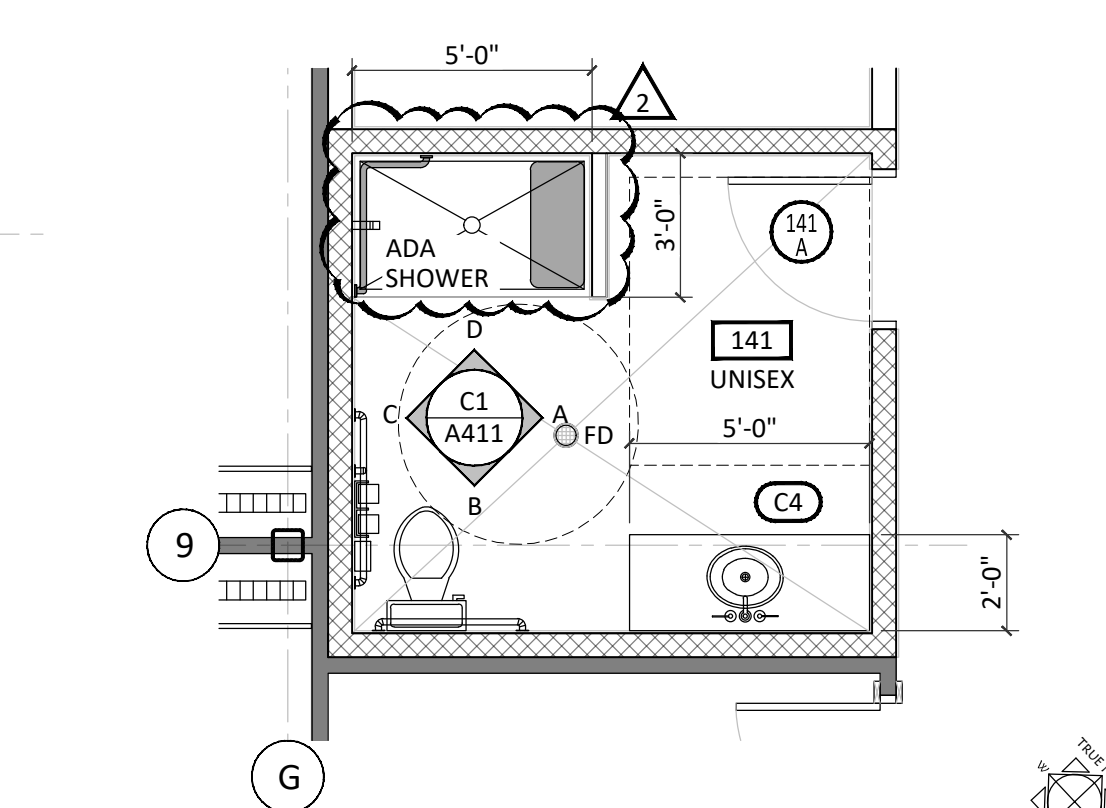
**C1** ENLARGED PLAN ~ West End Entry Facade, Break & Locker Rooms  
1/4" = 1'-0"

**ENLARGED PLAN SHEET NOTES**

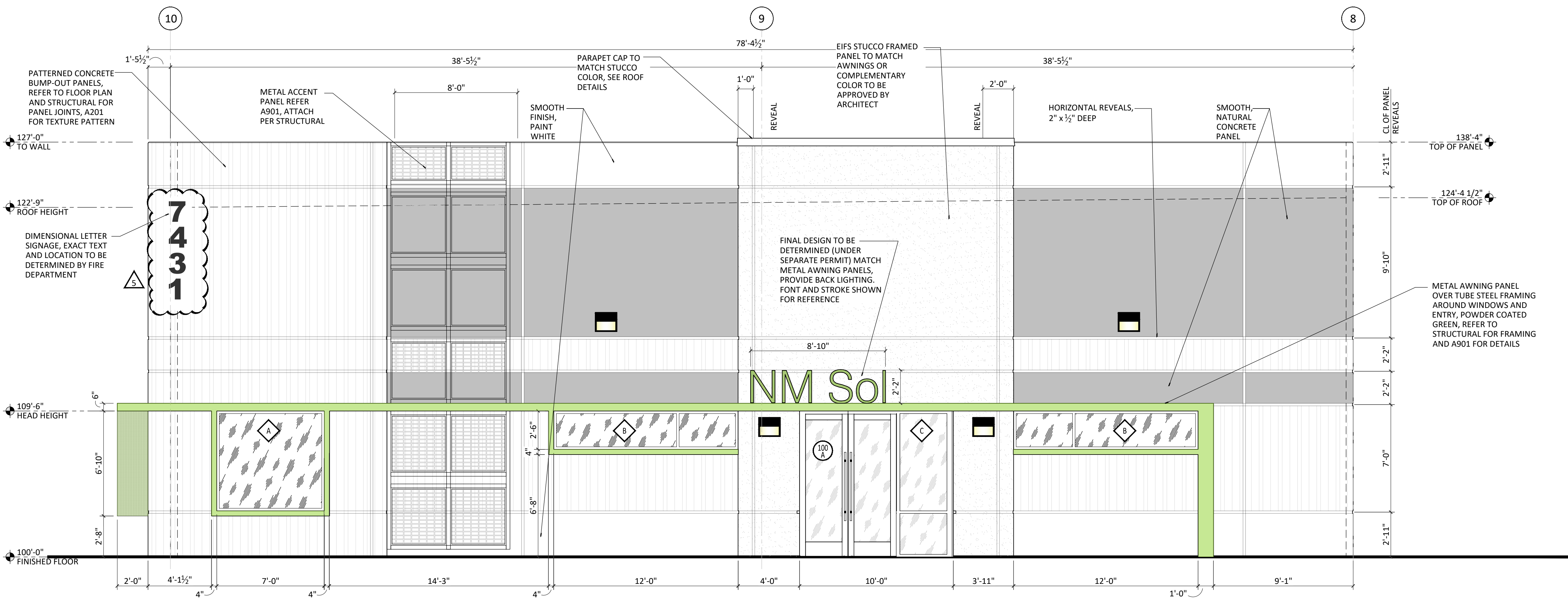
1. REFER TO A201 AND A202 FOR COLORS AND FINISHES TO BE APPROVED BY ARCHITECT AND OWNER
2. REFER TO FINISHES PLAN A131 AND INTERIOR ELEVATIONS A411 FOR INTERIOR FINISHES TO BE APPROVED BY ARCHITECT AND OWNER
3. REFER TO A102 AND A103 FLOOR PLAN AREAS A & B FOR PANEL JOINT DIMENSIONS
4. REFER TO A141 FOR FURNISHINGS AND EQUIPMENT LAYOUT
5. PROVIDE ADA CONFIGURATION IN SHOWERS WITH GRAB BARS, SEAT, AND HANDSHOWER, REFER TO A431.



**D5** ENLARGED PLAN ~ Panel Pop-out Detail  
1/2" = 1'-0"



**C5** ENLARGED PLAN ~ Unisex Restroom  
1/4" = 1'-0"



**A1** EXTERIOR ELEVATION ~ Enlarged West End Entry Facade  
1/4" = 1'-0"

**ARIA**  
STUDIO CONSULTANTS, INC  
100 Gold Ave. SW, Suite 205,  
Albuquerque, NM 87102  
Daniel@ariasinc.com (505) 506-2314



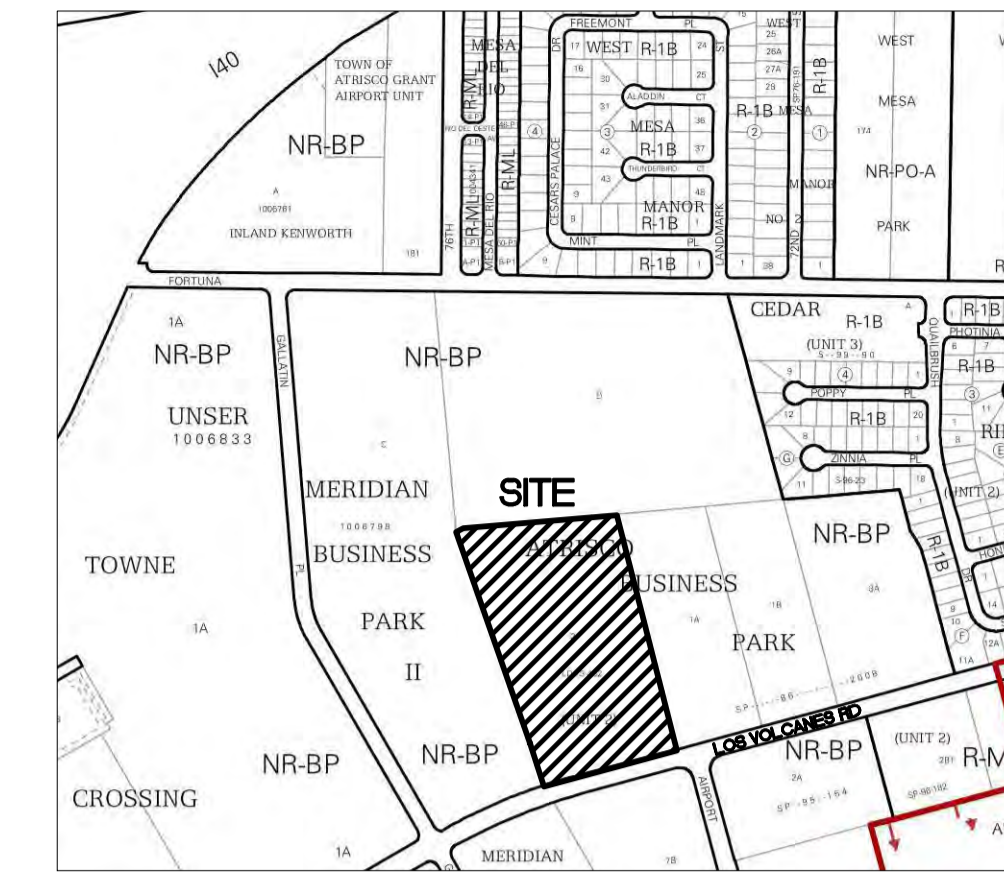
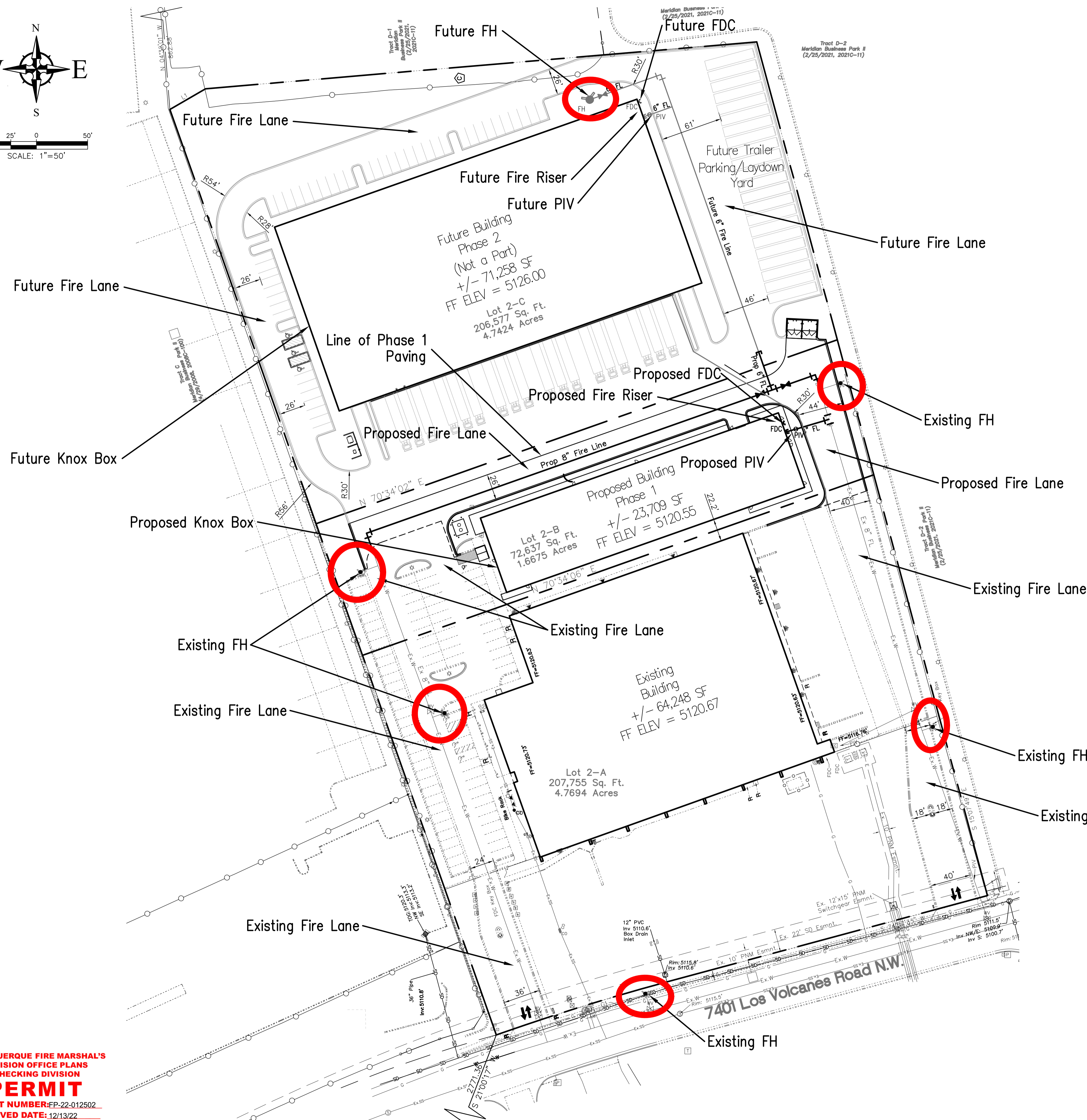
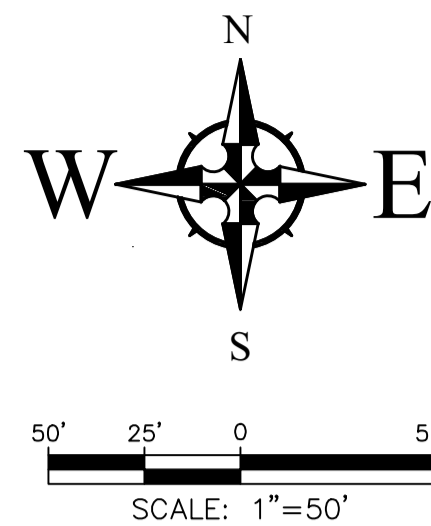
**NM SOL**  
A New Agricultural Facility  
7431 Los Volcanes Road NW  
Albuquerque, NM 87121

STATE OF NEW MEXICO  
DANIEL PUZAK  
NO. 5317  
03/28/2023  
REGISTERED ARCHITECT  
Architect/Engineer Seal

mark	date	description
5	08/29/2023	ADDRESS ASSIGNMENT
4	08/07/2023	TCL COMMENTS
3	05/20/2023	OWNER CHANGES
2	05/12/2023	COA PERMIT COMMENTS
1	04/26/2023	TCL COMMENTS
revisions		
issue	Permit CDs	
project no	2219	
drawn by	DGW	
checked by	DGP	
date	AUGUST 10, 2023	

Enlarged West Entry Plan  
Enlarged West Entry Elevation

**A401**



LEGAL DESCRIPTION:  
Lot 2, in Tract "S-1" of Unit 2, Atrisco Business Park, Albuquerque, NM.

FIRE ONE PLAN TABLE - Phase 1 Building	
PROPOSED BUILDING AREA:	±23,709 SF
BUILDING HEIGHT:	22', Single Story
CONSTRUCTION TYPE:	III-A, SPRINKLED
REQUIRED FIRE FLOW*	XXXX GPM
# FIRE HYDRANTS REQUIRED	1

FIRE ONE PLAN TABLE - Future Phase 2 Building	
FUTURE BUILDING AREA:	±71,258 SF
BUILDING HEIGHT:	24', Single Story
CONSTRUCTION TYPE:	III-B, SPRINKLED
REQUIRED FIRE FLOW*	XXXX GPM
# FIRE HYDRANTS REQUIRED	1

- FIRE 1 PLAN NOTES:
- Building shall have approved Address Numbers placed in a position plainly legible from adjacent road. The numbers must be 24" tall with 4" wide letters when the building is more than 200' away from the roadway.
  - Fire Lanes shall have an approved driving surface capable of supporting the imposed load of Fire Apparatus weighing at least 75,000 pounds.
  - Fire Lanes grades shall not exceed 10% in any direction.



STUDIO CONSULTANTS, INC  
100 Gold Ave. SW, Suite 205,  
Albuquerque, NM 87102  
Daniel@ariasinc.com (505) 506-2314



Ray's Flooring  
Phase 1 Tenant Addition  
NM Sol  
7401 Los Volcanes Road NW  
Albuquerque, NM 87121

mark	date	description
revisions		
issue		30% REVIEW PLANS
project no		2021034
drawn by		
checked by		
date		December 5, 2022

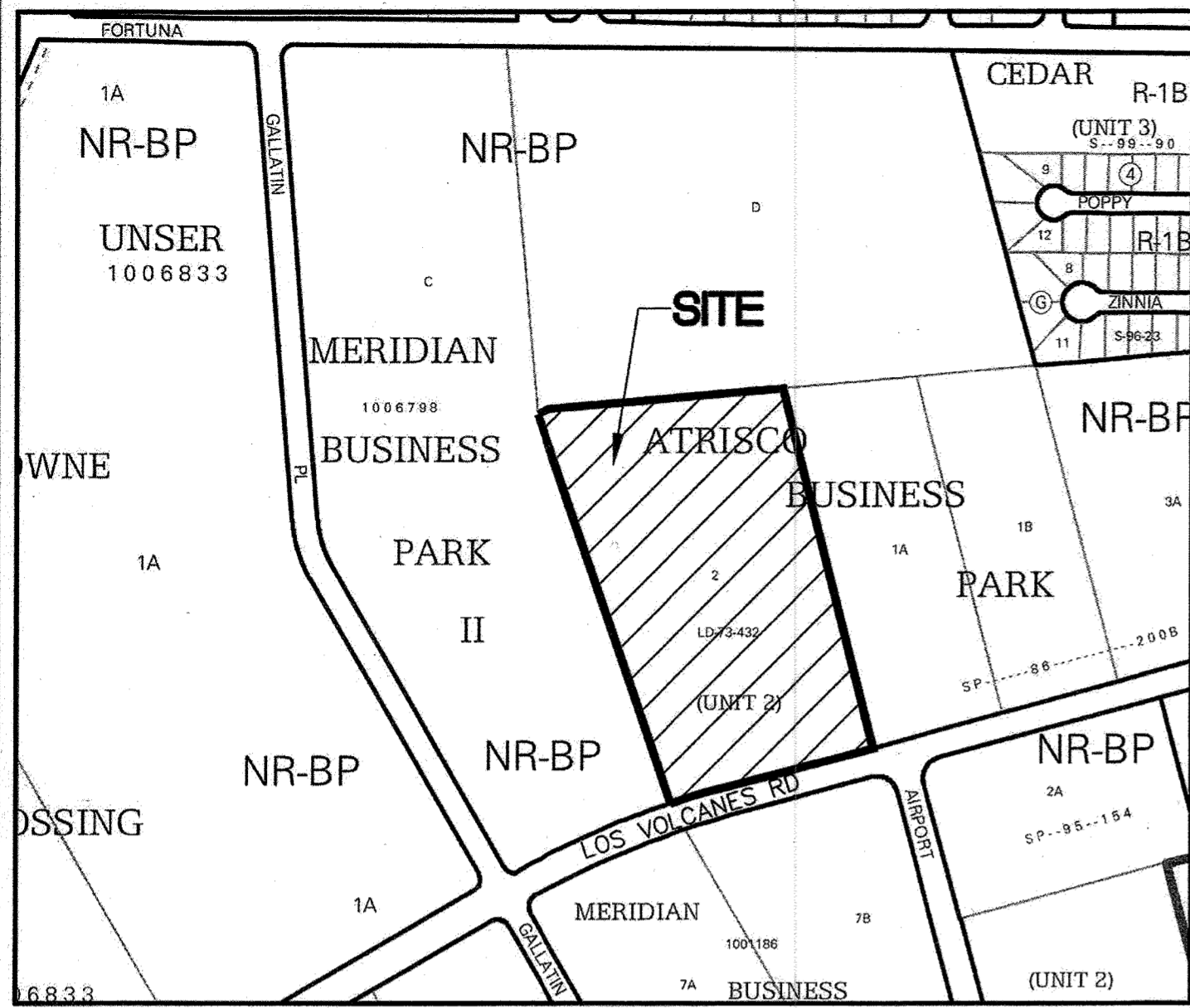
FIRE 1 PLAN



F1

ALBUQUERQUE FIRE MARSHAL'S OFFICE  
DIVISION OFFICE PLANS  
CHECKING DIVISION  
**PERMIT**  
PERMIT NUMBER: EP-22-012502  
APPROVED DATE: 12/13/22  
**APPROVED**

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.  
FIRE FLOW: 1075 GPM, 1 HYDRANT, III-A



Vicinity Map - Zone Atlas J-10-Z

**Indexing Information**

Section 15, Township 10 North, Range 2 East, N.M.P.M.  
 as Projected into the Town Atrisco Grant  
 Subdivision: Atrisco Business Park, Unit 2  
 Owner: GDCLV LLC  
 UPC #: 101005818513130104

**Treasurer's Certificate**

THIS IS TO CERTIFY THAT THE TAXES ARE CURRENT AND  
 PAID ON UPC #: 101005818513130104

PROPERTY OWNER OF RECORD  
**Atrisco Business Park**

BERNALILLO COUNTY TREASURER'S OFFICE

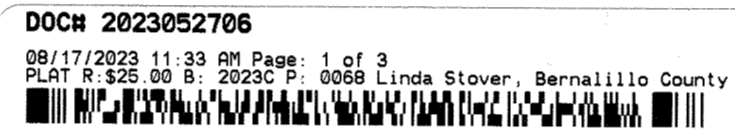
*Jeanne Valgando*

**Purpose of Plat**

1. SUBDIVIDE AS SHOWN HEREON.
2. GRANT EASEMENTS AS SHOWN HEREON.
3. DEDICATE ADDITIONAL RIGHT-OF-WAY AS SHOWN HEREON.

**Subdivision Data**

GROSS ACREAGE. . . . . 11.1793 ACRES  
 ZONE ATLAS PAGE NO. . . . . J-10-Z  
 NUMBER OF EXISTING LOTS. . . . . 1  
 NUMBER OF LOTS CREATED. . . . . 3  
 MILES OF FULL-WIDTH STREETS. . . . . 0.0000 MILES  
 MILES OF HALF-WIDTH STREETS. . . . . 0.0000 MILES  
 RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE. . . . . 0.0801 ACRES  
 DATE OF SURVEY. . . . . AUGUST 2022



**Notes**

1. FIELD SURVEY PERFORMED IN OCTOBER 2018 AND AUGUST 2022.
2. ALL DISTANCES ARE GROUND DISTANCES: US SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).

**Flood Notes**

BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE "X" WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0328J, DATED NOVEMBER 4, 2016.

**Solar Collection Note**

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

**Plat for**  
**Lots 2-A, 2-B, and 2-C, Tract S-1**  
**Atrisco Business Park, Unit 2**  
 Being Comprised of  
**Lot 2, Tract S-1,**  
**Atrisco Business Park, Unit 2**  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 March 2022

**Project Number:** PR-2022-007645

**Application Number:** SD-2023-00053

**Plat Approvals:**

- [Signature]* Apr 11, 2023
- PNM Electric Services  
*Abdul A. Shaujan* Apr 10, 2023
- Qwest Corp. d/b/a CenturyLink QC  
*Pamela C. Stone* 4/21/2023
- New Mexico Gas Company  
*[Signature]* Apr 11, 2023
- Comcast

**City Approvals:**

- Loran N. Rianchoover P.S.* 4/10/2023  
City Surveyor
- Ernest Armijo* Aug 8, 2023  
Traffic Engineer
- [Signature]* Aug 11, 2023  
ABCWUA
- Whitney Philan* Aug 8, 2023  
Parks and Recreation Department
- [Signature]* Aug 8, 2023  
Code Enforcement
- [Signature]* 4/17/2023  
AMAFCA
- Shahab Biazar* Aug 15, 2023  
City Engineer
- Jay Rodenbeck* Aug 8, 2023  
Planning Department
- Hequn Chen* Aug 9, 2023  
Hydrology

**Surveyor's Certificate**

I, BRIAN J. MARTINEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS FOR THE CITY OF ALBUQUERQUE AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*Brian J. Martinez* 4/21/23  
 Brian J. Martinez Date  
 N.M.R.P.S. No. 18374



**CSI-CARTESIAN SURVEYS INC.**

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896-3050 Fax (505) 891-0244  
 cartesianbrian@gmail.com

**Documents**

1. OWNERS POLICY PROVIDED BY FIRST AMERICAN TITLE, HAVING FILE NO. 0-2010903 AND DATED MAY 28, 2015.
2. PLAT OF RECORD FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON SEPTEMBER 12, 1973, IN BOOK D5, PAGE 181.
3. SPECIAL WARRANTY DEED FOR SUBJECT PROPERTY FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON MAY 28, 2015, AS DOC. NO. 2015044598.

**Legal Description**

LOT NUMBERED TWO (2) IN TRACT "S-1" OF UNIT NO. 2, ATRISCO BUSINESS PARK, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE LAND DIVISION OF TRACTS A, D, M, N, S-1 AND S-2 OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 12, 1973, IN PLAT BOOK D5, FOLIO 181.



**Easement Notes**

- 1 EXISTING 22' STORM DRAINAGE EASEMENT (6/30/1995, BK. 95-15, PG. 6364-6367, DOC. NO. 95064733)
- 2 EXISTING 10' PNM EASEMENT (1/15/1998, BK. 98-2, PG. 1559-1561, DOC. NO. 98004795)
- 3 EXISTING 12' X 15' PNM SWITCHGEAR EASEMENT (1/15/1998, BK. 98-2, PG. 1559-1561, DOC. NO. 98004795)
- 4 EXISTING DRAINAGE AGREEMENT (BLANKET IN NATURE) (9/14/1992, BCR 92-21, PG. 6019-6031, DOC. NO. 1992091790) (9/14/1992, BCR 92-21, PG. 6032-6044, DOC. NO. 1992091791) AND (9/14/1992, BCR 92-21, PG. 6045-6057, DOC. NO. 1992091792)
- 5 PRIVATE, BLANKET CROSS-LOT ACCESS, PARKING, AND DRAINAGE EASEMENT, EXCLUDING EXISTING AND FUTURE BUILDING ENVELOPES, BENEFITING AND MAINTAINED BY LOTS 2-A THRU 2-C, GRANTED WITH THE FILING OF THIS PLAT. PARKING AGREEMENT (08/16/2023, DOC. NO. 2023052356)
- 6 25' PUBLIC WATERLINE AND PUBLIC SANITARY SEWER EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- 7 15' PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- 8 PRIVATE POND AND DRAINAGE EASEMENT BENEFITING AND MAINTAINED BY LOTS 2-A, 2-B, AND 2-C, GRANTED WITH THE FILING OF THIS PLAT, SHOWN HEREON AS [Pattern]

**Legend**

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT (02/25/2021, 2021C-11, DOC. NO. 2021022781)
{N 90°00'00" E}	RECORD BEARINGS AND DISTANCES PER PLAT (04/29/2008, 2008C-100, DOC. NO. 2008047900)
[N 90°00'00" E]	RECORD BEARINGS AND DISTANCES PER PLAT (09/12/1973, D5-181)
●	FOUND MONUMENT AS INDICATED
○	SET 1/2" REBAR WITH CAP "LS 14271" UNLESS OTHERWISE NOTED

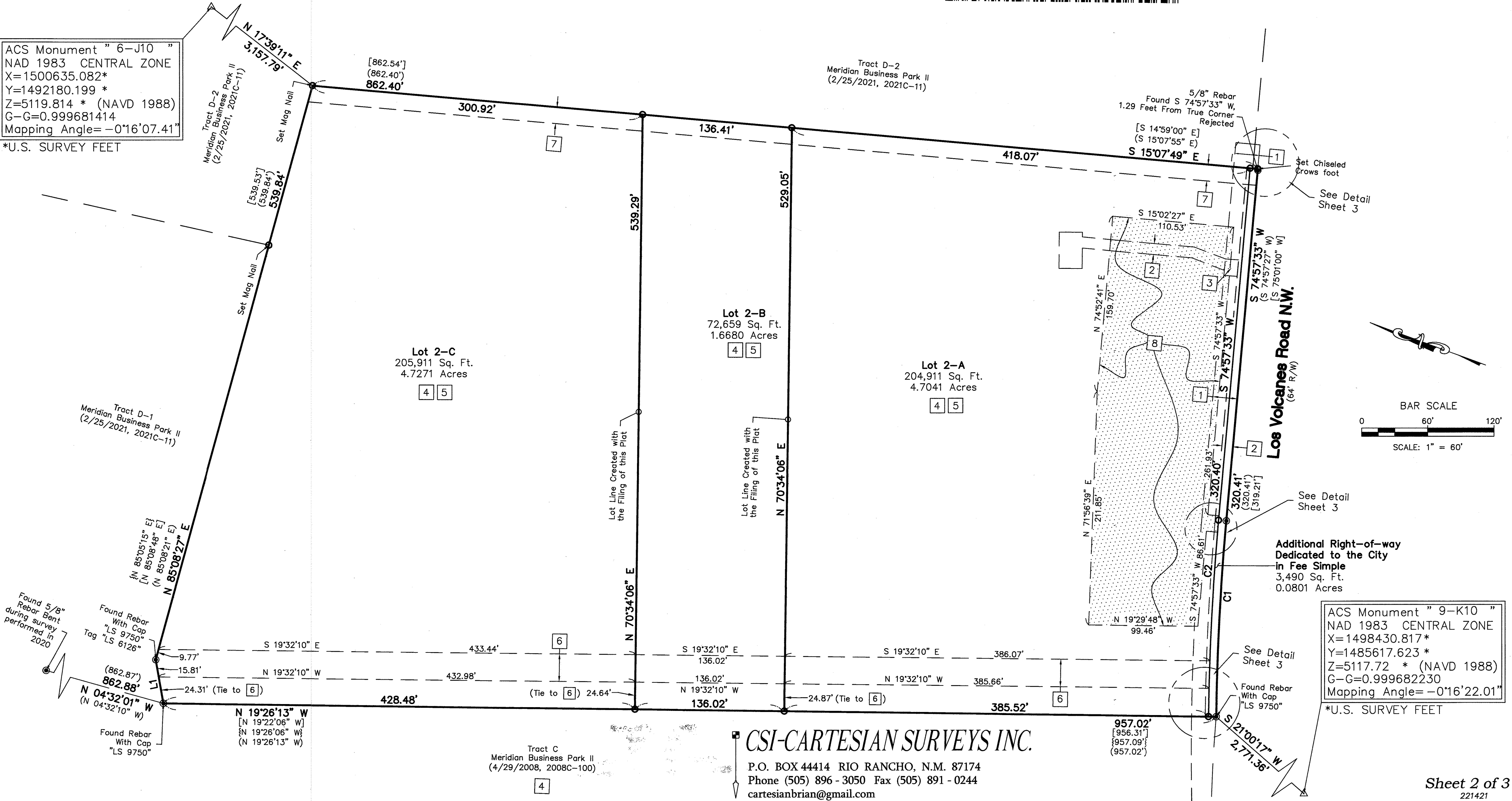
**Plat for  
Lots 2-A, 2-B, and 2-C, Tract S-1  
Atrisco Business Park, Unit 2  
Being Comprised of  
Lot 2, Tract S-1,  
Atrisco Business Park, Unit 2  
City of Albuquerque  
Bernalillo County, New Mexico  
March 2022**

DOCH 2023052706

08/17/2023 11:33 AM Page: 2 of 3  
PLAT R: \$25.00 B: 2023C P: 0068 Linda Stover, Bernalillo County



ACS Monument "6-J10"  
NAD 1983 CENTRAL ZONE  
X=1500635.082\*  
Y=1492180.199\*  
Z=51119.814\* (NAVD 1988)  
G-G=0.999681414  
Mapping Angle=-0°16'07.41"  
\*U.S. SURVEY FEET



ACS Monument "9-K10"  
NAD 1983 CENTRAL ZONE  
X=1498430.817\*  
Y=1485617.623\*  
Z=5117.72\* (NAVD 1988)  
G-G=0.999682230  
Mapping Angle=-0°16'22.01"  
\*U.S. SURVEY FEET

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Phone (505) 896-3050 Fax (505) 891-0244  
cartesianbrian@gmail.com

Line Table		
Line #	Direction	Length (ft)
L1	N 59°54'31" E [N 60°00'00" E] {N 59°57'49" E} (N 59°54'25" E)	40.12' [40.20'] {40.18'} (40.11')
L2	S 15°06'09" E	10.06'
L3	N 15°06'09" W	10.08'
L4	N 74°57'33" E	4.08'

### ABCWUA Public Water & Sanitary Sewer Easements

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (ABCWUA) IS GRANTED EASEMENT(S) AND/OR USE OF PUBLIC RIGHT-OF-WAY IN THE DIMENSIONS NOTED ON THIS PLAT FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, REPAIR, MODIFICATION, REPLACEMENT AND OPERATION OF PUBLIC WATER AND SANITARY SERVICE LINES, EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE SERVICE TOGETHER WITH FREE ACCESS ON AND OVER THE EASEMENT AND/OR PUBLIC RIGHT-OF-WAY AND THE RIGHT TO REMOVE TREES, SHRUBS, UNDERGROWTH AND ANY OTHER OBSTACLES, MODIFICATIONS, OR STRUCTURES WHICH INTERFERE WITH THE OPERATION OF PUBLIC WATER AND/OR PUBLIC SANITARY SEWER INFRASTRUCTURE.

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	177.84' (177.85') [177.85']	2323.83' (2323.83') [2323.83']	4°23'05"	177.79'	S 72°46'00" W
C2	178.37'	2330.83'	4°23'05"	178.33'	S 72°46'00" W
C3	25.54'	2330.83'	0°37'40"	25.54'	N 70°53'18" E
C4	25.00'	2330.83'	0°36'53"	25.00'	S 71°30'34" W
C6	10.92'	2330.83'	0°16'07"	10.92'	S 74°49'29" W

\* C5 Intentionally Omitted

### Free Consent and Dedication

THE SUBDIVISION SHOWN AND DESCRIBED HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) THEREOF. EXISTING AND/OR GRANTED PUBLIC UTILITY EASEMENTS (P.U.E) AS SHOWN HEREON, UNLESS NOTED OTHERWISE, ARE FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUIT AND PIPES FOR UNDERGROUND UTILITIES. SAID UTILITY COMPANIES HAVE THE RIGHT OF INGRESS/EGRESS FOR CONSTRUCTION OF, MAINTENANCE OF AND REPLACEMENT OF SAID UTILITIES INCLUDING THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS WITHIN SAID P.U.E.. SAID OWNERS CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

SAID OWNERS DO HEREBY DEDICATE ADDITIONAL PUBLIC RIGHT OF WAY AS SHOWN HEREON IN LOS VOLCANES ROAD N.W. TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

*Gerald Lucero*  
 GERALD LUCERO, MANAGER  
 GDCLV, LLC  
 DATE **5.5.23**

STATE OF NEW MEXICO }  
 COUNTY OF } SS

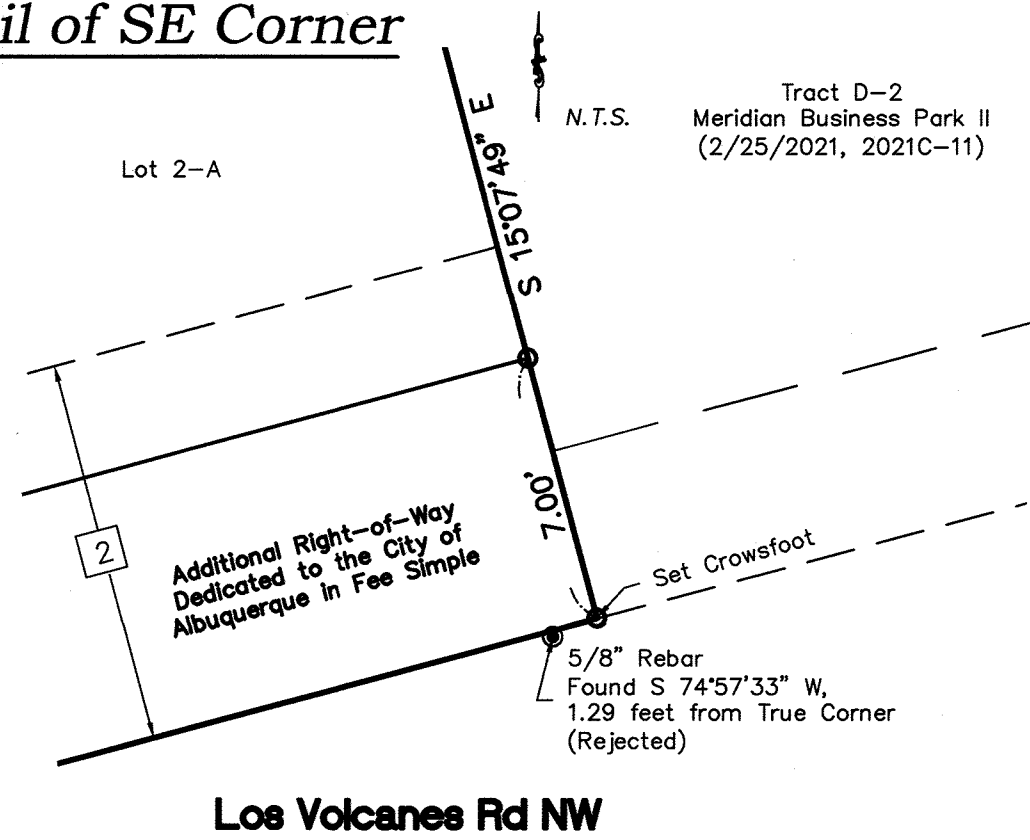
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON **May 5, 2023**  
 BY: GERALD LUCERO, MANAGER, GDCLV, LLC

By: *Dolly Ryzner*  
 NOTARY PUBLIC

MY COMMISSION EXPIRES **08/20/2025**

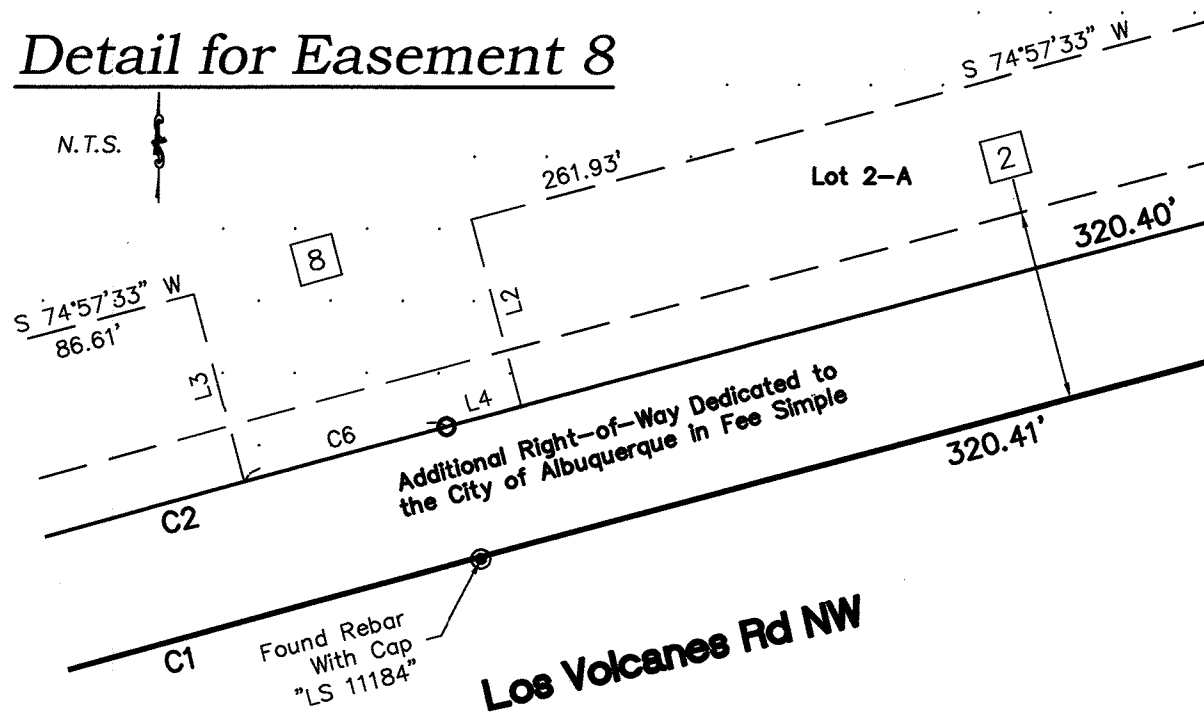
State of New Mexico  
 Notary Public  
 Sally Rizzieri  
 Commission Number 1102855  
 Commission Expires August 30, 2025

### Detail of SE Corner

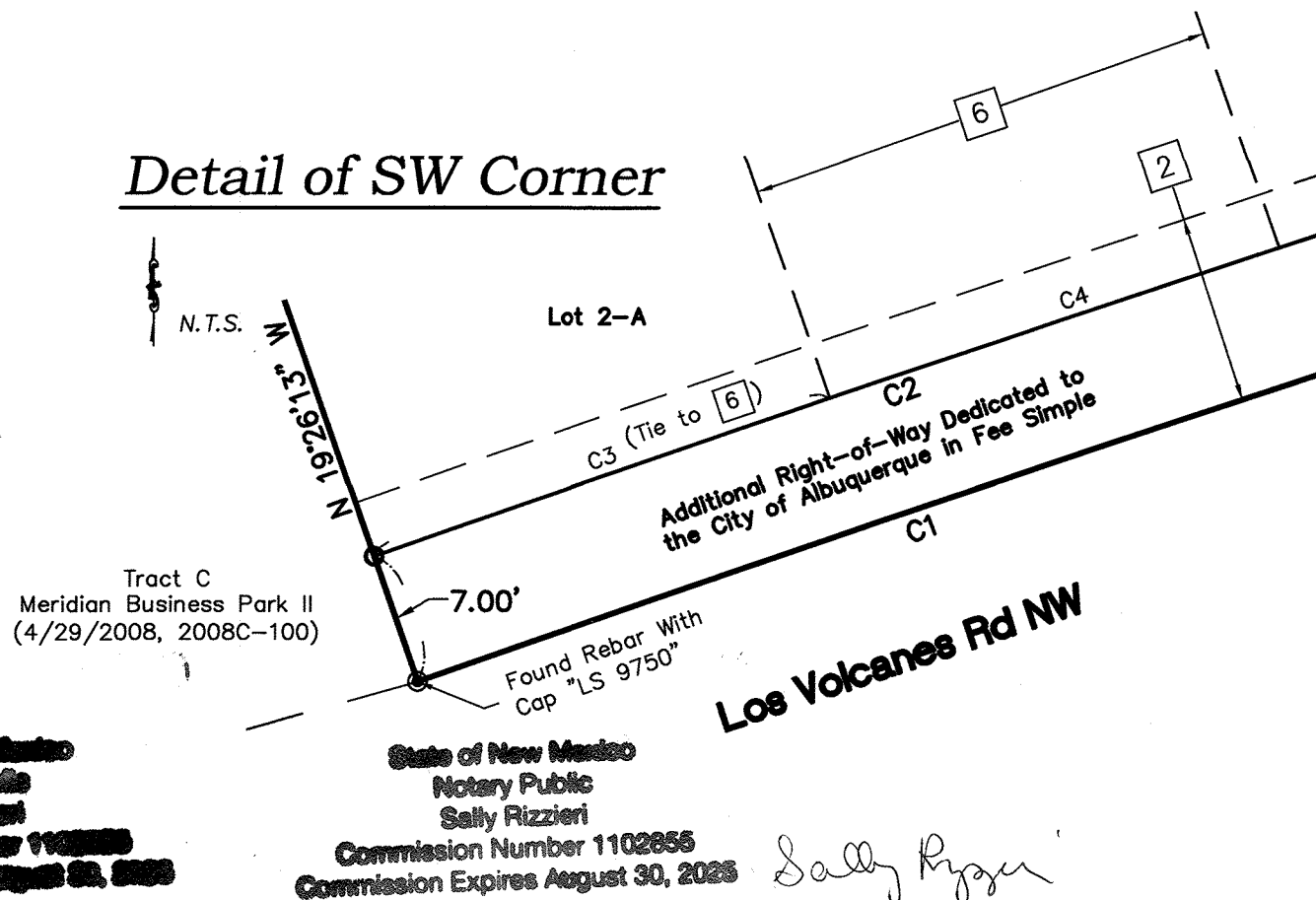


DOCH 2023052706  
 08/17/2023 11:33 AM Page: 3 of 3  
 PLAT R: \$25.00 B: 2023C P: 0068 Linda Stover, Bernalillo County

### Detail for Easement 8



### Detail of SW Corner



State of New Mexico  
 Notary Public  
 Sally Rizzieri  
 Commission Number 1102855  
 Commission Expires August 30, 2025

## Plat for Lots 2-A, 2-B, and 2-C, Tract S-1 Atrisco Business Park, Unit 2 Being Comprised of Lot 2, Tract S-1, Atrisco Business Park, Unit 2 City of Albuquerque Bernalillo County, New Mexico March 2022

### Public Utility Easements

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

### Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

### Drainage Easement Language for Subdivision Plat

AREAS DESIGNATED ON THE ACCOMPANYING PLAT AS "DRAINAGE EASEMENTS" ARE HEREBY DEDICATED BY THE OWNER AS A PERPETUAL EASEMENT FOR THE COMMON USE AND BENEFIT OF THE VARIOUS LOTS WITHIN THE SUBDIVISIONS FOR THE PURPOSE OF PERMITTING THE CONVEYANCE OF STORM WATER RUNOFF AND THE CONSTRUCTING AND MAINTAINING OF DRAINAGE FACILITIES IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. GRANTOR SHALL CONSTRUCT DRAINAGE FACILITIES IN THE EASEMENT IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY AND PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER IN ACCORDANCE WITH THE DRAINAGE REPORT WITH ENGINEER'S STAMP DATE 02/21/2023 AND THE GRADING AND DRAINAGE PLAN WITH ENGINEER'S STAMP DATE 02/21/2023 WHICH REPORT AND PLANS ARE ON FILE IN THE OFFICE OF THE CITY ENGINEER FILE #110D027. NO FENCE, WALL, PLANTING, BUILDING OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN EASEMENT AREA WITHOUT APPROVAL OF THE CITY ENGINEER OF THE CITY OF ALBUQUERQUE. THERE ALSO SHALL BE NO ALTERATION OF THE GRADES OR CONTOURS IN SAID EASEMENT AREA WITHOUT THE APPROVAL OF THE CITY ENGINEER. IT SHALL BE THE DUTY OF THE LOT OWNERS OF THIS SUBDIVISION TO MAINTAIN SAID DRAINAGE EASEMENT AND FACILITIES AT THEIR COST IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. THE CITY SHALL HAVE THE RIGHT TO ENTER PERIODICALLY TO INSPECT THE FACILITIES. IN THE EVENT SAID LOT OWNERS FAIL TO ADEQUATELY AND PROPERLY MAINTAIN DRAINAGE EASEMENT AND FACILITIES, AT ANY TIME FOLLOWING FIFTEEN (15) DAYS WRITTEN NOTICE TO SAID LOT OWNERS, THE CITY MAY ENTER UPON SAID AREA, PERFORM SAID MAINTENANCE, AND THE COST OF PERFORMING SAID MAINTENANCE SHALL BE PAID BY APPLICABLE LOT OWNERS PROPORTIONATELY ON THE BASIS OF LOT OWNERSHIP. IN THE EVENT LOT OWNERS FAIL TO PAY THE COST OF MAINTENANCE WITHIN THIRTY (30) DAYS AFTER DEMAND FOR PAYMENT MADE BY THE CITY, THE CITY MAY FILE A LIEN AGAINST ALL LOTS IN THE SUBDIVISION FOR WHICH PROPORTIONATE PAYMENT HAS NOT BEEN MADE. THE OBLIGATIONS IMPOSED HEREIN SHALL BE BINDING UPON THE OWNER, HIS HEIRS, AND ASSIGNS AND SHALL RUN WITH ALL LOTS WITHIN THIS SUBDIVISION. THE GRANTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD HARMLESS, THE CITY, ITS OFFICIALS, AGENTS AND EMPLOYEES FROM AND AGAINST ANY AND ALL CLAIMS, ACTIONS, SUITS, OR PROCEEDINGS OF ANY KIND BROUGHT AGAINST SAID PARTIES FOR OR ON ACCOUNT OF ANY MATTER ARISING FROM THE DRAINAGE FACILITY PROVIDED FOR HEREIN OR THE GRANTOR'S FAILURE TO CONSTRUCT, MAINTAIN, OR MODIFY SAID DRAINAGE FACILITY.

CSI-CARTESIAN SURVEYS INC.  
 P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896-3050 Fax (505) 891-0244  
 cartesianbrian@gmail.com



**ARIA STUDIO CONSULTANTS, INC.**

100 GOLD AVE SW, SUITE 205, ALBUQUERQUE, NEW MEXICO 87102

PRINCIPAL ARCHITECT | DANIEL PUZAK, AIA | (505) 506-2314 | [DANIEL@ARIASCINC.COM](mailto:DANIEL@ARIASCINC.COM)

August 29, 2023

Planning Department  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

**Re: NM Sol**  
**Proposed building behind 7401 Los Volcanes Rd NW**  
**Atrisco Business Park Master Plan Narrative**

City of Albuquerque Planning Department;

Our project falls within the Atrisco Business Park Master Development Plan 1992, Amended 2018. The standards as related to our project, which is a 23, 924 sf tilt-up concrete cannabis agricultural facility, sitting on a 1.6675-acre lot, are as follows:

1. General
  - a. No residential areas
2. Screening / walls and fences
  - a. Existing security wrought iron fence with limited access gate behind drainage landscaped berm area, refer to AS101.
  - b. Parking areas are existing and are screened with plant materials, refer to landscape plans.
  - c. Proposed refuse enclosure is behind building according to Solid Waste, refer to AS101.
3. Lighting Standards
  - a. All exterior lighting is on the building
4. Signage Standards – under separate permit
5. Setbacks
  - a. Building setbacks are met (30 ft at collector street)
  - b. Parking setbacks are met (20 ft at collector street)
6. Sidewalks / Bikeways (collector street)
  - a. 4 ft wide
  - b. Bikeway within right of way
7. Architectural objectives
  - a. 2015 IBC and IDO codes following design standards.
  - b. The entire building is treated with architectural features.
  - c. Building matches surrounding vicinity



**ARIA STUDIO CONSULTANTS, INC.**

100 GOLD AVE SW, SUITE 205, ALBUQUERQUE, NEW MEXICO 87102

PRINCIPAL ARCHITECT | DANIEL PUZAK, AIA | (505) 506-2314 | [DANIEL@ARIASCINC.COM](mailto:DANIEL@ARIASCINC.COM)

- d. Design techniques – (Textured and staggered (approximately 17ft to 20ft), horizontally colored concrete tilt-up walls with stucco and steel entrance enhancement)
  - i. Visual characteristics met.
    - 1. variety of structural forms
    - 2. articulated façade
    - 3. entry tied into overall mass of building with office appearance.
    - 4. windows relate to the scale of the elevations and are recessed.
    - 5. alteration of colors and materials
    - 6. staggered planes
    - 7. corner lot – n/a
  - e. Undesired design elements avoided.
  - f. Wall materials (concrete) withstand abuse and are easily repaired.
  - g. Berming – n/a
  - h. Dock door located on inside of pop-out for uncluttered appearance (and on backside of building.
  - i. Roof elements – integral parapet roof with offsets
- 8. Utilities & Infrastructure
  - a. All utilities are existing within Los Volcanes Rd NW and serve the current development on proposed Lot 2-A.
  - b. New Water and Sewer mains will be installed across Lot 2-A to serve both Lots 2-B and 2-C.
- 9. Hydrology
  - a. The site will continue to discharge to the existing storm drain in Los Volcanes Rd NW and site will not exceed the maximum discharge rate of 0.1 cfs per acre.

Thank you,

**Debra West**  
Project Manager



July 17, 2023

Planning Department  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

RE: NM Sol  
Proposed building behind 7401 Los Volcanes Rd. NW  
Atrisco Business Park Master Plan Narrative  
Landscape Plan

City of Albuquerque Planning Department,

This project falls within the standards for Landscaping as defined in the Atrisco Business Park Master Development Plan, 1992, Amended 2018. Sheet 3 of 10, Landscape Standards.

A minimum of 20% of the net site area is landscaped.

At least 75% of the required landscaping is covered with living vegetation.

No high water use turf is used on this site.

All landscape areas are covered with a minimum of 3" crushed rock with fabric.

Site is not on a street, no street trees required.

At least one tree is provided for every 40 lineal feet of the site perimeter.

At least one tree is provided for every 10 parking spaces.

Site does not abut a residential area.

Minimum plant sizes are

2" caliper for shade trees,

1 ½" caliper for accent trees

1 gallon minimum for shrubs, (5 gal are specified)

Owner is to maintain all landscaping in living attractive condition.

A complete underground irrigation system is provided for the site.

Thank you,  
Danny Mitchell, ASLA, NM239 Registered Landscape Architect

**ATRISCO BUSINESS PARK MASTER DEVELOPMENT PLAN AMENDMENT  
DEVELOPMENT STANDARDS FOR COMPLEXES LARGER THAN 40 ACRES**

**GENERAL**

For complexes larger than 40 acres, the following design standards will apply. Larger sites greater than 40 acres will have main buildings which range from 150,000 square feet to over 1,000,000 square feet with usually a half mile to a mile of property boundary and as such bring an important economic impact to the community. These structures usually have higher building heights and lengths of runs as well as large areas for storage of equipment and vehicles not open to the general public or visible from streets on which they front. The purpose of these development standards is to provide guidance to ensure a quality character and visual appearance for large complexes that would be unduly burdened by the standards that are applicable and appropriate for smaller complexes. These standards address the issues of landscape, signage, architectural objectives and utilities for complexes larger than 40 acres. These standards are to be used as a supplement to the Comprehensive City Zoning Code, and other pertinent City ordinances including but not limited to the Water Conservation Landscaping and Water Waste Ordinance and Street Tree Ordinance. Design standards previously stated in this master plan that are not specifically noted within this section for complexes larger than 40 acres shall apply.

**LANDSCAPE STANDARDS**

The following are minimum standards for the development of specific site landscape plans:

A minimum of fifteen percent (15%) of the net site area shall be devoted to landscape materials and/or naturalized areas with an emphasis placed on areas with street-side exposure or areas with high visibility. Seventy-five percent (75%) of the required landscape area shall be covered with living vegetative materials. The area and percentage is calculated based on the mature canopy size of all plant materials. High water use turf is limited to a maximum of ten percent (10%) of the landscape area. However, low water use turf grasses such as Buffalo grass and Blue Grama are encouraged. Turf areas should be located at the most prominent visual points such as vehicular and pedestrian entries to the site and buildings.

All landscape areas not covered with turf shall have a top dressing of crushed rock, river rock, bark mulch, or similar material which extends completely under the plant material. Colors allowed shall be of the earth tone ranges, including pale shades of red. The use of red or black lava rock is not permitted. Areas seeded with native shrubs, grasses and/or wildflowers shall be top dressed with straw and crimped. Appropriate headers shall be used to separate any provided turf areas from shrub or groundcover planting areas. Headers may be 6' x 6' concrete, brick, or 1/8" x 4" steel.

The landscape treatment at prominent entries and intersections should change in terms of intensity, pattern, texture, scale or form to highlight these areas.

Street trees shall be provided as follows: One (1) tree is required for each twenty seven and one half linear feet (27.5 LF) of street frontage including any driveways, which includes a 10% deviation from the IDO requirement as approved by the Environmental Planning Commission. Other than this deviation, all regulations in IDO Section 14-15-5-6, Landscaping, Buffering and Screening apply. A street tree is defined as being located within twenty feet (20') of the back of curb of the adjacent street. The required street trees should be informally clustered with no more than an eighty foot (80') gap between groupings, and shall have a 70:30 min of deciduous to evergreen trees.

In addition to the street trees one (1) tree is required for every one-hundred and fifty linear feet (150 LF) of the remaining site perimeter. Included in this area are the rear and side yard setbacks.

To shade and mitigate the negative visual impact of large expanses of pavement, off-street auto-parking areas shall have one (1) tree for each (10) parking stalls with no stall being more than one hundred feet (100) from the trunk of a tree. A parking lot tree is defined as being within the interior of or within ten feet (10) of the outside curb or perimeter of the auto-parking lot. Auto-parking lot trees are to be separately calculated from the required street or perimeter trees.

Seventy-five percent (75%) of the required parking area trees shall be deciduous and have a mature height and canopy of at least twenty-five feet (25'). A landscape strip of not less than ten feet (10') shall be maintained between an auto-parking area and the street right of way.

As a minimum a twenty foot (20') landscaped buffer is required between industrial and residential uses. The buffer shall consist primarily of evergreen trees which must be at least ten feet (10') tall when planted and be capable of reaching a mature height of twenty five feet (25'). The trees shall be spaced at a maximum of thirty feet (30') on center.

Minimum plant size at time of installation shall be as follows: larger canopy shade trees shall have a 2" caliper or be 10 to 12 feet in height; accent trees shall have a 1-1/2" caliper or 8 to 10 feet in height; shrubs and groundcovers shall be a one gallon container and turf grasses shall be capable of providing complete ground coverage within one growing season after installation.

All plant material including trees, shrubs, groundcovers and wildflowers, etc. shall be maintained by the owner in a having attractive condition. All areas shall be maintained free of weeds through the use of chemical spray or pervious filter material.

An underground irrigation system shall be provided which is controlled by an automatic controller having multiple programming capabilities. Temporary irrigation systems shall be allowed for establishment of erosion control and revegetation plants. Temporary systems shall be removed at time of vegetation establishment.

**PLANT PALETTE-Street Trees**

- Netleaf Hackberry - *Celtis reticulata*
- Desert Willow - *Chilopsis linearis*
- Smoke tree - *Cotinus cognyria*
- New Mexico Olive - *Forstiera neomexicana*
- Alligator Juniper - *Juniperus deppeana* (females only due to Pollen Ordinance)
- Honey Mesquite - *Prosopis glandulosa*
- Screwbean Mesquite - *Prosopis pubescens*

**LIGHTING STANDARDS**

In order to enhance the safety, security and visual aesthetics of the Atrisco Business Park, careful consideration must be given to lighting design and features. To ensure a quality development, it is important to consider the daytime appearance of lighting fixtures. The lighting element it another site feature which contribute to the overall character of the development.

The following are a few general guidelines to consider for the design of the lighting system:

- Placement of fixture and standard shall conform to state and local safety and illumination requirements.
- Individual site lighting standards should blend with the architectural character of the building and other site fixtures.
- A design objective of the site lighting system must be maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.
- Street lighting should be designed to enhance the safety of vehicular and pedestrian traffic at key points along the roadway.
- Street light standards may range from 30 to 40 feet above the roadway.
- The height of auto / employee parking area lights may range from 20 to 30 feet.
- The height of truck yard area lights may range from 30 to 50 feet.
- Area lighting should be used to highlight public spaces and walkways. Area lighting standards may range from 10 to 15 feet in height. The use of walkway level lighting, such as bollard lights or wall pocket lights, is encouraged to accent pedestrian zones.
- Additional landscape lighting is encouraged to enhance certain landscape features. Such lighting should be either concealed at grade or be mounted in trees to "moonlight" areas.

**SIGNAGE STANDARDS**

These signage standards were developed as reasonable criteria to regulate the size, location, typed and quality of sign elements within Atrisco Business Park. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety; and to complement the visual character of the development.

The following are general guidelines for signage design and placement:

- All elements of a sign shall be maintained in a visually appealing manner
- Free-standing signs shall be designed so they do not require any external bracing, angle-iron supports, guy wires or similar devices.
- No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.
- Signage may be illuminated by concealed light sources located flush with grade or with back lit channeled letters.
- No sign shall overhang into the public right-of-way or extend above the building roof line.
- One free-standing sign is allowed for each 750 linear feet of street frontage of each premise which has at least 200 linear feet of street frontage.
- Wall signs shall not exceed 6% of the facade area, inclusive of door and window openings.

**BUILDING IDENTIFICATION SIGNS**

These signs identify the complex name of multi-tenant buildings or the company name of single-user buildings. Generally, these will be free-standing signs that shall not exceed 100 square feet in total area each. Free-standing signs shall be placed at the back of the public right-of-way line but outside of the safety vision triangle at entries and intersections.

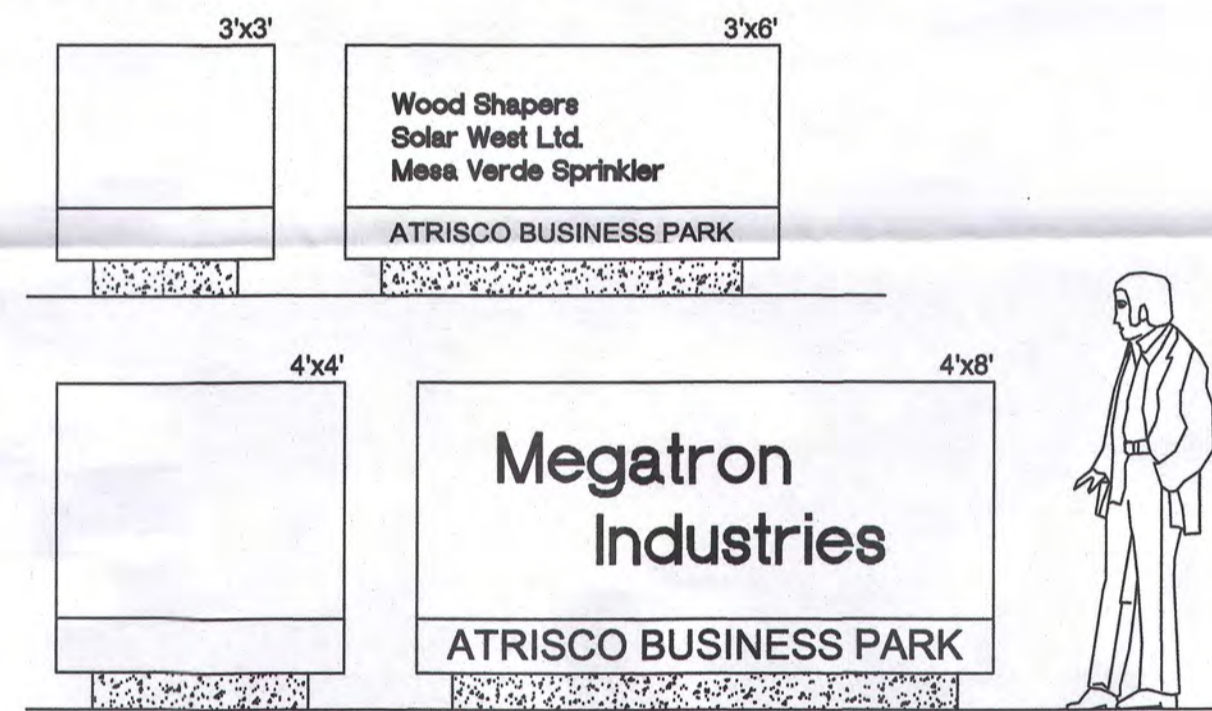
Signage for multi-tenant buildings shall identify the buildings number, complex name and/or address. The individual business will be identified at the tenant's store front and at a centrally located directory sign. For a single-user building, the sign shall identify the user and/or address. The user may also have a wall-mounted sign on the building.

**TENANT SIGNS**

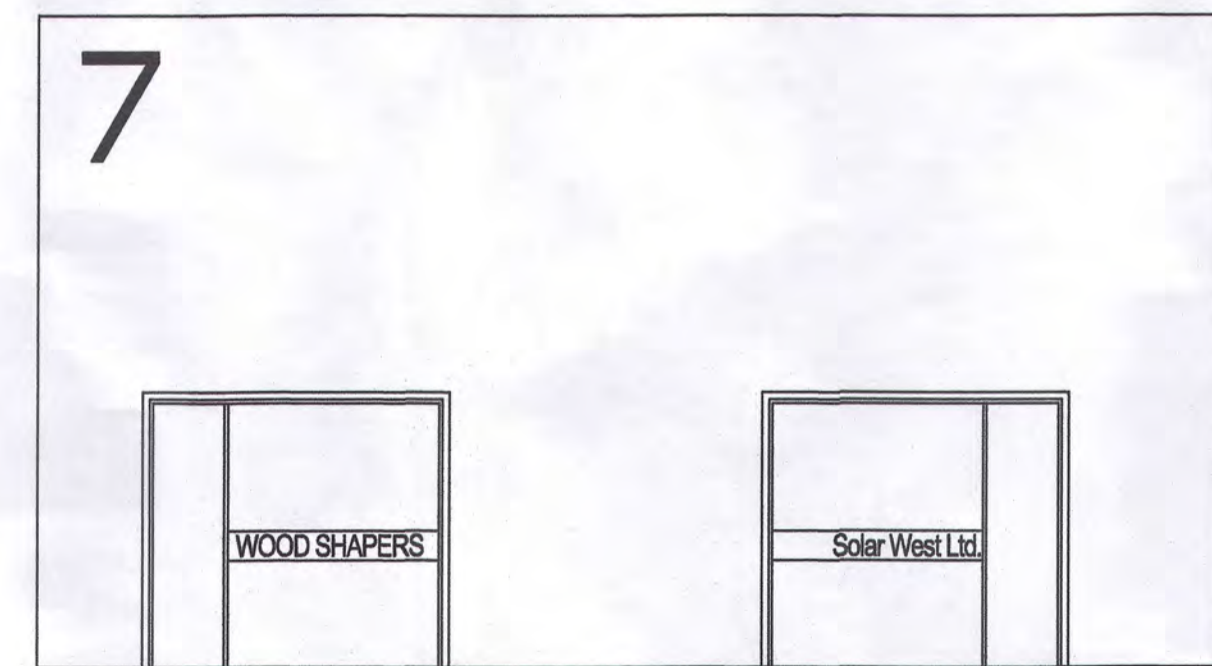
Within multi-tenant buildings or complexes, the individual tenant signs shall consist of wall-mounted signs which are uniform in terms of color, shape, and dimensions to all such signs within the complex. Wall-mounted signage shall be made of panels. Signage may be printed directly on the wall surface and individual letters may be attached to the building.

**DIRECTIONAL SIGNS**

Directional signs are used to direct visitors to individual businesses located within the complex or building or as way finding tools to direct pedestrian or vehicular traffic within the complex. These signs may be either free-standing or wall-mounted but shall be compatible with the design, size, and materials of other signs within the complex.



**BUILDING IDENTIFICATION SIGNS**  
THESE SIGNS



**DIRECTIONAL SIGNS**  
THESE SIGNS

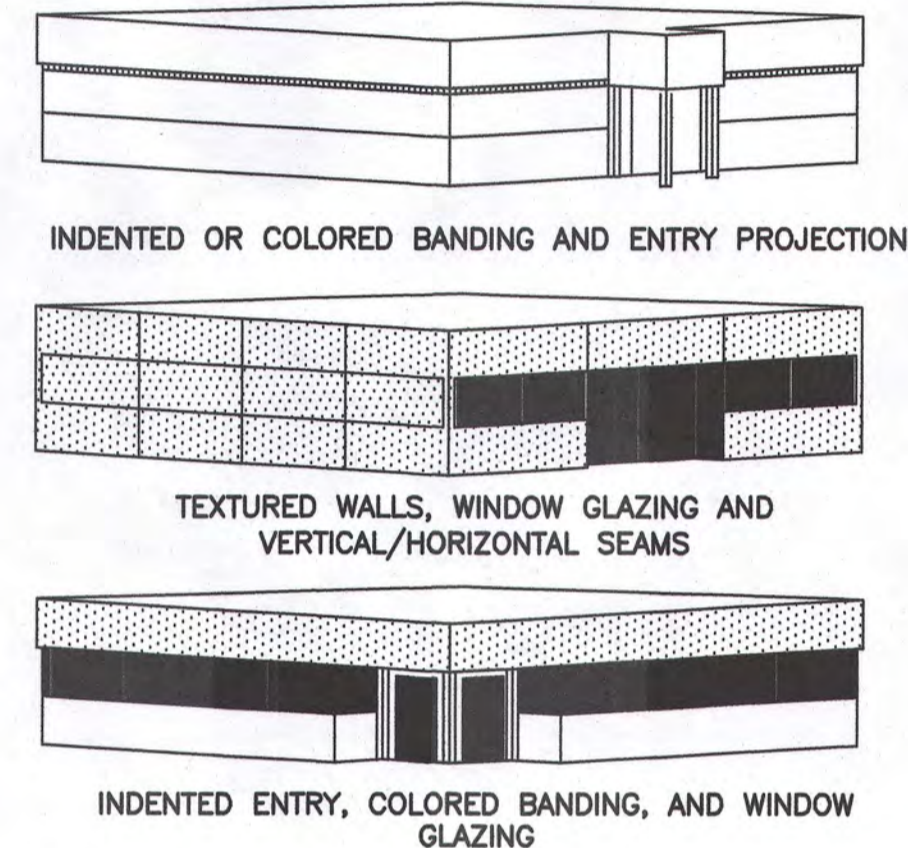
**ARCHITECTURAL OBJECTIVES**

Specific architectural style shall not be dictated. The design shall, however, demonstrate a high degree of quality ensuring pleasing aesthetics throughout the project but recognizing the need for uniformity in these larger than normal structures and sites.

Architectural design should respond to climate, views, solar access, and aesthetic considerations, with development design being in harmony with other buildings within the complex.

All buildings shall conform to the following requirements:

- All buildings and structures erected within the site shall comply with all applicable City of Albuquerque zoning and building code requirements as well as other local applicable codes.
- Buildings design and construction shall be used to create a structure with attractive sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.
- Finished building materials must be applied to all exterior sides of buildings and structures. Each material must be compatible with the natural surroundings and other buildings and structures within the complex. Pre-engineered metal buildings are allowed for accessory structures. Metal skin may be considered as a finished building material.
- Design techniques which can be utilized to help overcome typical unattractive and monotonous facades generally associated with industrial structures are as follows:
  - Employ variety in structural forms that create visual character and interest
  - Entries to industrial structures should portray quality appearances while being architecturally tied into the overall mass and building composition.
  - Windows and doors are key elements of any structure's form. In the larger building format however they can lose the scale to the building. They should be used for interior space but other articulation can be employed such as the use of recessed openings helping provide depth and contrast on elevation planes.
  - Sensitive alteration of colors and materials can produce diversity and enhance architectural forms.
  - The staggering of planes along an exterior wall elevation creates pockets of light and shadow, providing relief from monotonous expanses of facade where feasible.
  - Straight, simple wall lines and light colored wall materials are acceptable where required for energy efficient construction of cold storage facilities.



Specific architectural style shall not be dictated. The design shall, however, demonstrate a high degree of quality ensuring pleasing aesthetics throughout the project but recognizing the need for uniformity in these larger than normal structures and sites.

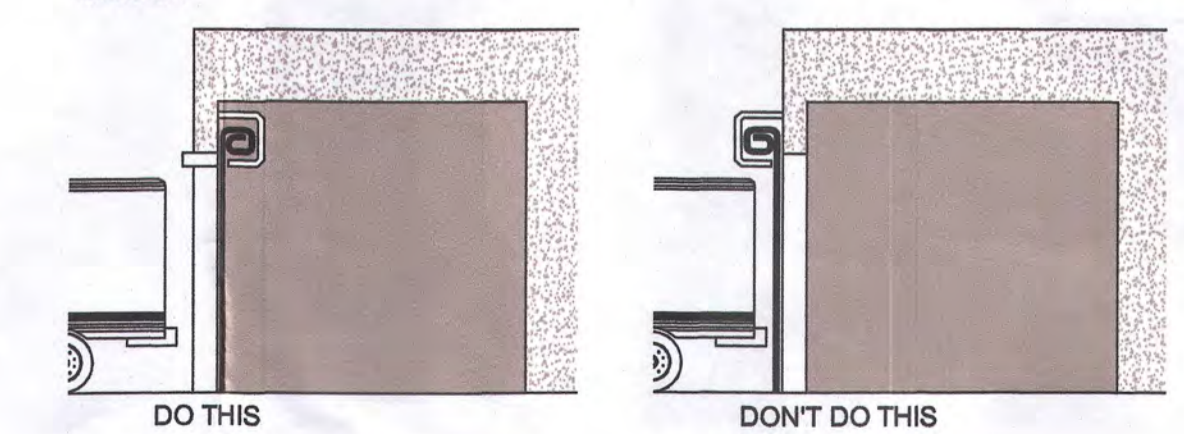
Architectural design should respond to climate, views, solar access, and aesthetic considerations, with development design being in harmony with other buildings within the complex.

All buildings shall conform to the following requirements:

- Design elements which are undesirable and should be avoided include:
  - Highly reflective surfaces at the ground story.
  - Exposed, untreated precision block walls.
  - Galvanized chain link fence or barbed wire.
  - Attached mansard roofs on small portions of the roofline.
  - Materials with high maintenance requirements. Wood facings are expressly prohibited.
- Wall materials should be chosen that will withstand abuse by vandals or accidental damage by machinery and are easily repaired.
- The use of berms in conjunction with landscaping can be used at the building edge to reduce structure mass and height along facades.

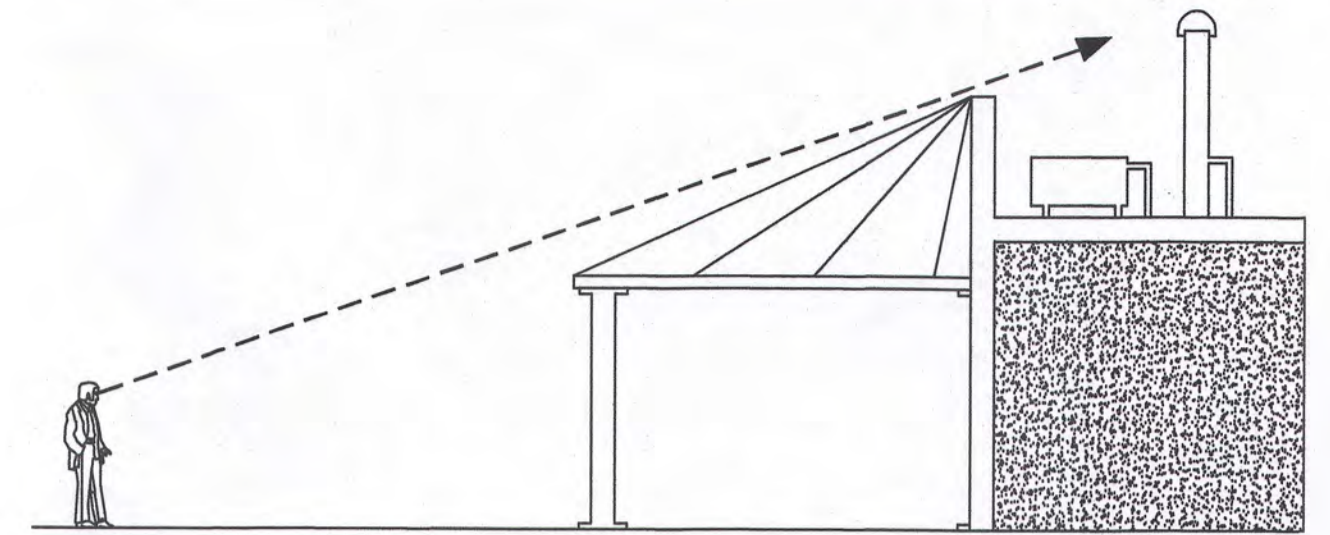


H>Loading docks that face adjacent fronting City streets should be avoided where possible. If unavoidable, dock doors for loading docks that face adjacent fronting City streets shall be located on the inside of buildings to keep clean, uncluttered appearance from the exterior.



I. Design elements for roofs shall be as follows:

- If mansard roofs are to be used, they shall wrap around the entire perimeter of the structure.
- The roofline at the top of the structure shall incorporate offsets to prevent a continuous plane from occurring, where feasible.
- Roof top equipment shall be screened from the public view by materials of the same nature as the same building's basic materials, where feasible.

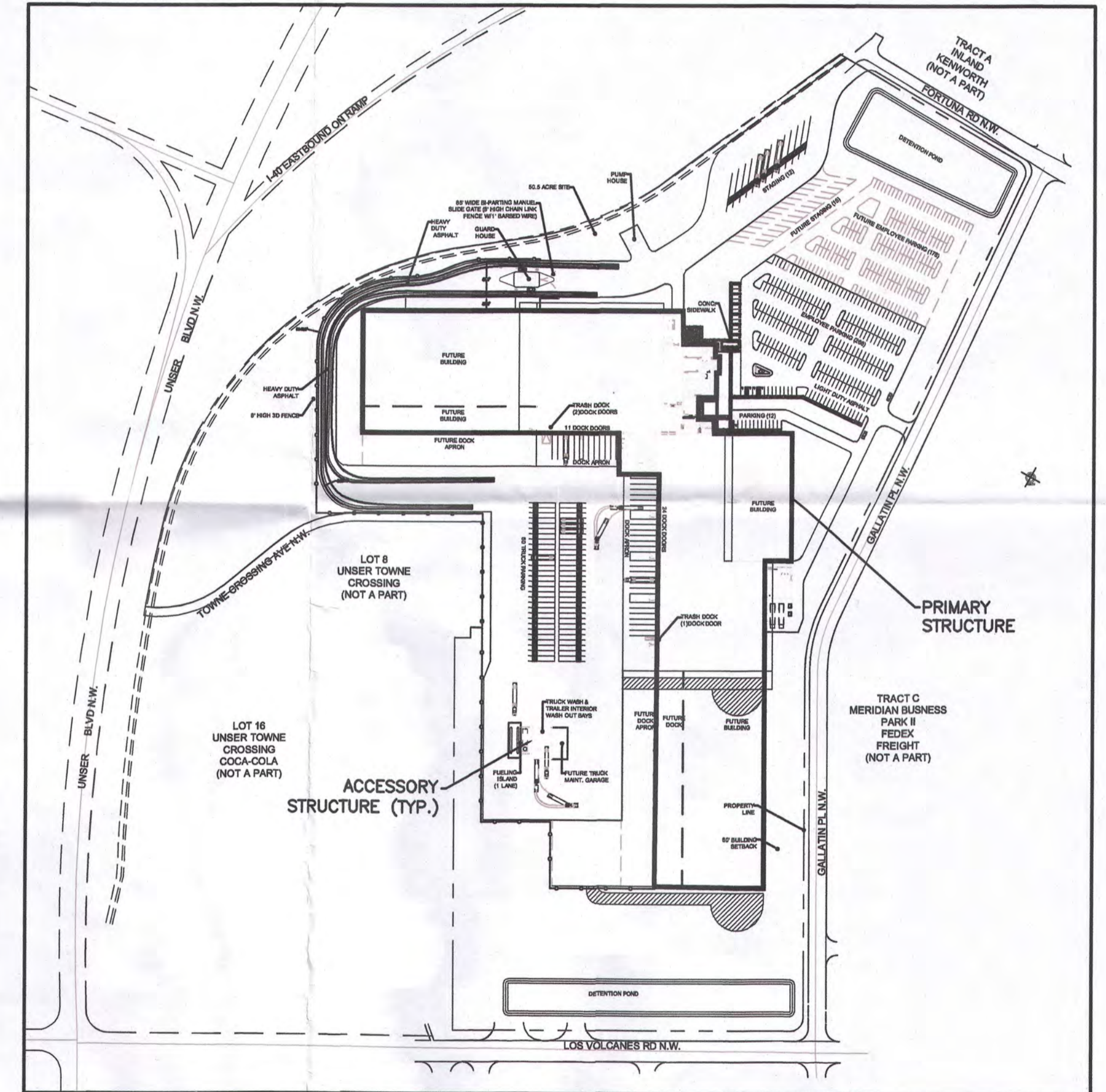


- Corrugated metal, highly reflective surfaces and illuminated roofing are not permitted.
- The roof design should be considered an integral part of the overall architectural design theme.
- Concertina and/or barbed wire are not permitted on the roof.
- Straight, simple roof lines and exposed refrigeration piping and equipment are acceptable where required for energy efficient construction of cold storage facilities.

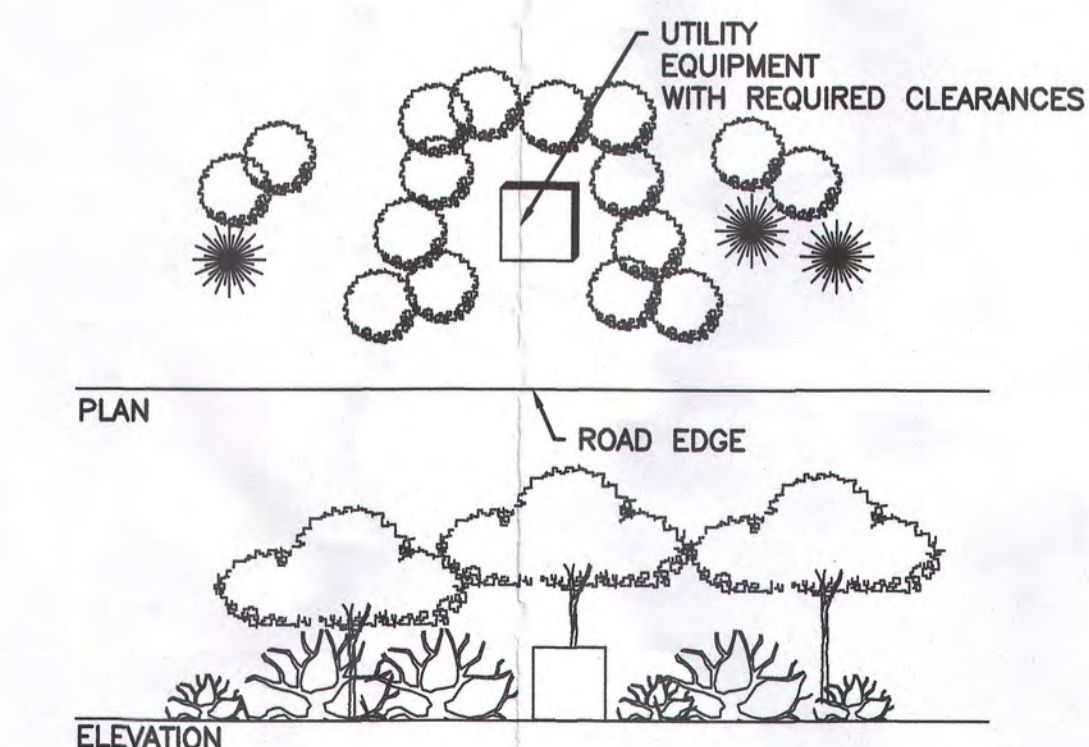
**UTILITIES**

To ensure the overall aesthetic quality of the Atrisco Business Park:

- All electric distribution lines within the Park shall be placed underground.
- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. The use of pre-fabricated fiberglass enclosures may be used only in areas within a complex that are not easily visible from adjacent City roadways.
- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.



SITE DATA		PARKING SPACES REQUIRED: 500	
NET SITE AREA:	80.00 acres	SPACES PROVIDED:	519
BUILDING AREA:	500,000 SF	LANDSCAPE AREA REQUIRED:	300,010 SF
		AREA PROVIDED:	305,000 SF



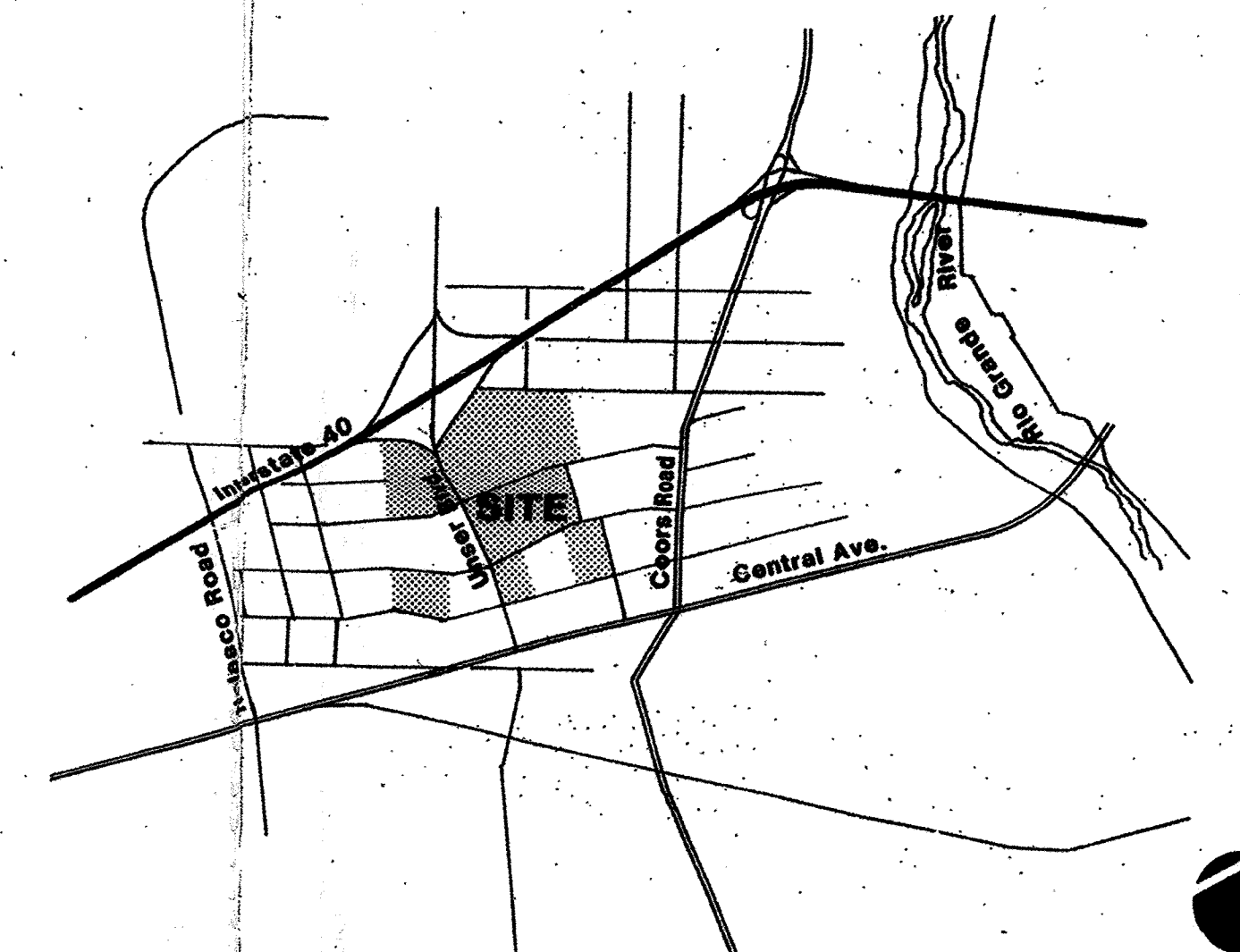
**SITE DEVELOPMENT PLAN**  
FILE #: PR-2018-001361  
SI-2018-00560  
Consistent w/EPC  
approval of  
September 13, 2018  
APPROVED BY: [Signature] DATE: 01Apr 2019

ATRISCO BUSINESS PARK MASTER DEVELOPMENT PLAN  
MAJOR AMENDMENT  
FOR SITES OVER 40 ACRES

PROJECT NO 2018-001361;  
EPC APPROVAL-SEPTEMBER 13, 2019

# ATRISCO BUSINESS PARK

## MASTER DEVELOPMENT PLAN FOR IP USES



Vicinity Map

### Sheet Index

- 1 Illustrative Site Plan
- 2 Landscape Development Plan
- 3 Development Sketches
- 4 Development Sketches
- 5 Development Sketches
- 6 Conceptual Overall Drainage Plan (fully developed)
- 7 Conceptual Overall Drainage Plan (partially developed)
- 8 Conceptual Grading & Drainage Plan (2.5 & 10 acre sites)
- 9 Conceptual Grading & Drainage Plan (20 acre site)
- 10 Conceptual Grading & Drainage Plan (interim condition)

### Project Team Directory

Prepared For:

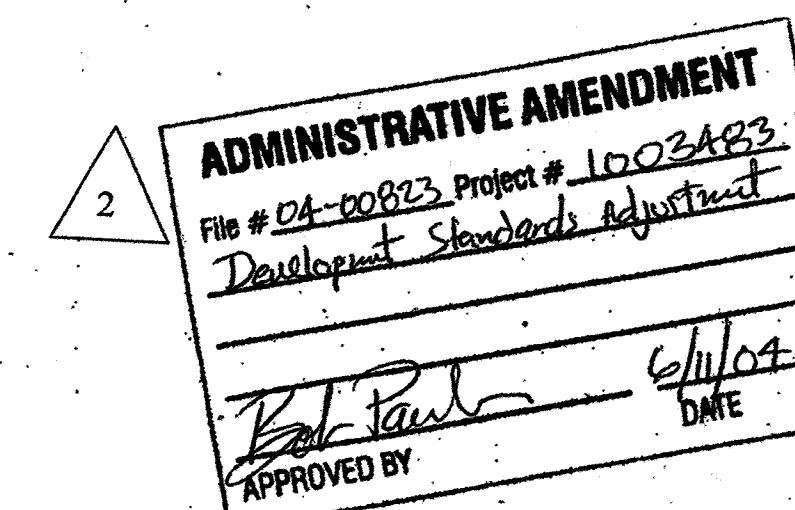
Sunwest Bank  
Special Assets Department  
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Albuquerque, New Mexico 87102  
(505) 765-2036

Prepared By:

Development/Real Estate Consultant  
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(505) 828-0552

Planning/Landscape Architecture  
Consensus Planning, Inc.  
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Albuquerque, New Mexico 87102  
(505) 764-9801

Civil Engineer  
Easterling & Associates, Inc.  
10131 Coors Road NW, Suite H-7  
Albuquerque, New Mexico 87114  
(505) 898-8021



ADMINISTRATIVE AMENDMENT	
FILE # 12-10146	PROJECT # 1003483
<i>re buffering &amp; zoning adj. to resid. zones</i>	
<i>U. Monroe</i>	<i>1/14/13</i>
APPROVED BY	DATE

### EPC Case No. Z-92-57

Approved by the City of Albuquerque Environmental Planning Commission on October 15, 1992 subject to the following conditions:

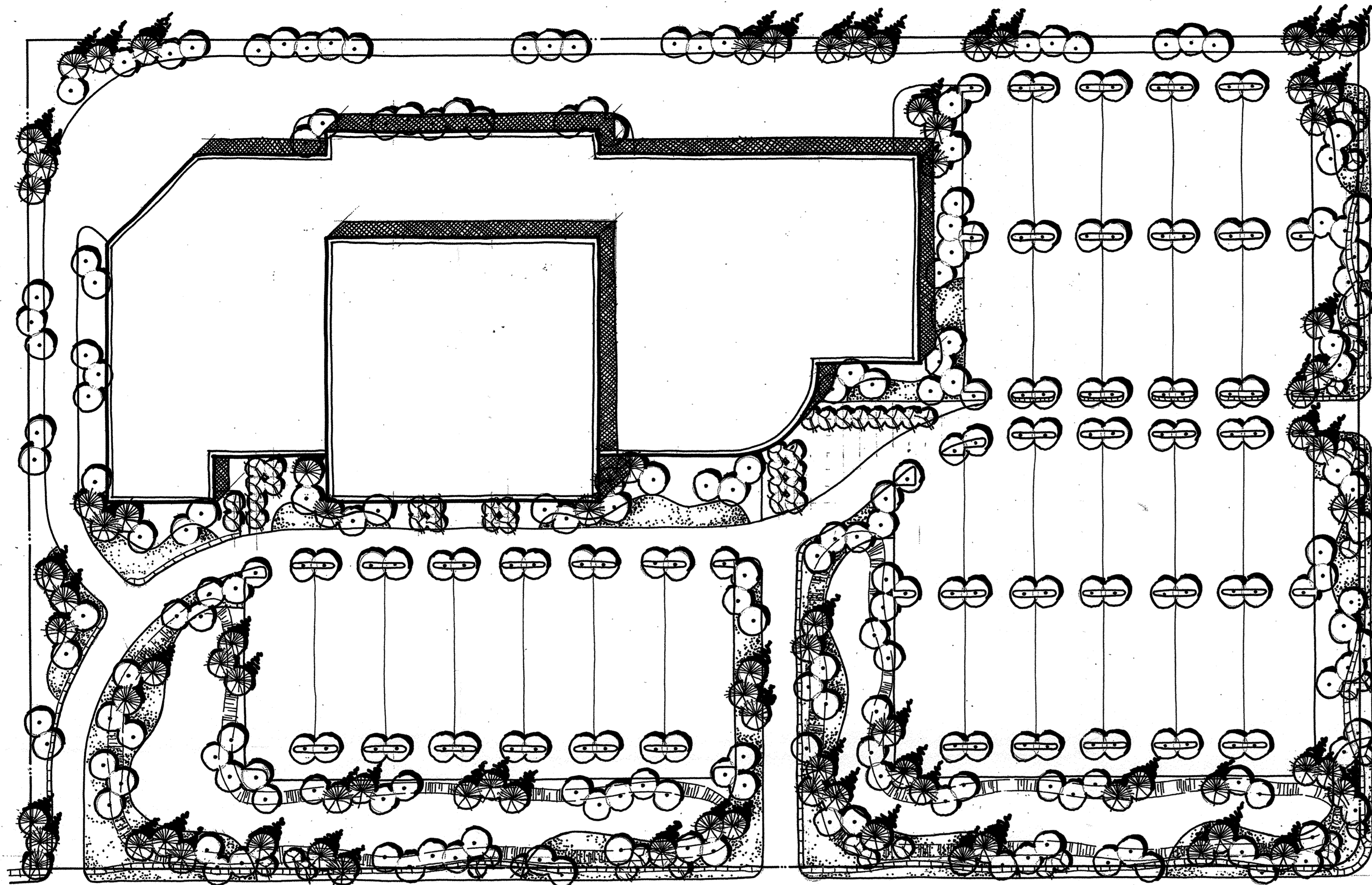
1. All revised documents shall include all of the area in the boundaries of the Atrisco Business Park Master Plan.
2. It shall be clearly stated that all future development in the plan boundaries shall comply with the revised standards.

3. December 20, 2012 - Administrative Amendment to clarify and revise language regarding the required landscaped buffer adjacent to residential zoning, defining locations where chain link fencing is allowed, and defining locations where security fencing is allowed.

3. A minimum 20 foot landscape buffer shall be provided between all property zoned for industrial use and residential zoning to create a reasonable visual separation. No exterior loading or trash receptacles may be located adjacent to the residential zoning. The landscape buffer shall be consistent with the requirement as stated on Sheet 3, Landscape Standards, Bullet #12. A solid 6 foot high opaque wall or fence shall be required along any property line abutting and separating a residential zone from an industrial zone (chain link fence with slats shall not constitute acceptable screening).

1. Amendment to the landscape portion of the development standards (sheet 3), approved May 22, 1997.

2. Amendment to allow Coors Corridor Plan exceptions for setbacks and signage along Coors Boulevard (Sheet 3).



### TYPICAL 20 ACRE SITE

#### SITE DATA

Net Site Area: 911,250 s.f. (20.9 ac)  
 Building Area: 273,375 s.f. (.3 FAR)

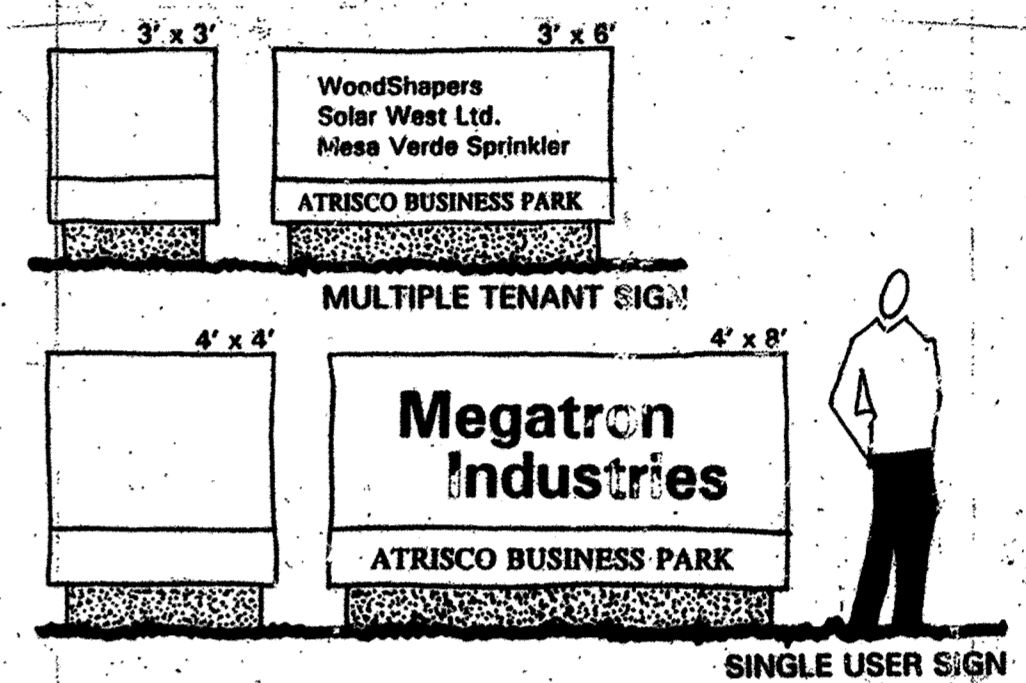
Parking Spaces Required: 840 (20 hdep)  
 Parking Spaces Provided: 903 (20 hdep)

Landscape Area Required: 182,250 s.f.  
 Landscape Area Provided: 255,570 s.f.

The following are general guidelines for signage design and placement:

- All elements of a sign shall be maintained in a visually appealing manner.
- Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.
- Signage may be illuminated by concealed light sources located flush with grade or with back lit channel letters.
- No sign shall overhang into the public right-of-way or extend above the building roof line.
- One free-standing sign is allowed for each street frontage of each premises which has at least 200 linear feet of street frontage.

Building identification signs, tenant signs, and directional signs make up the total signage package.



#### Building Identification Signs

These signs identify the complex name of multi-tenant buildings or the company name of single-user buildings. Generally, these will be free-standing signs that shall not exceed 32 square feet in total area and shall be limited to the dimensions indicated below. Free-standing signs shall be placed at the back of the public right-of-way line but outside of the safety vision triangle at entries and intersections.

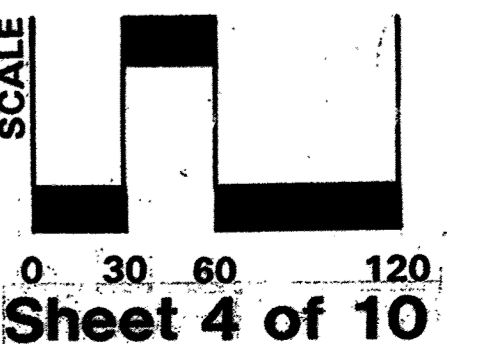
## DEVELOPMENT SKETCHES ATRISCO BUSINESS PARK

Prepared For: Sunwest Bank  
 Special Assets Department  
 303 Roma Avenue NW  
 Albuquerque, New Mexico 87102

Prepared By: Garrett Group, Inc.  
 9309 Avenida de la Luna NE  
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Easterling & Associates, Inc.  
 10131 Coors Road NW, Suite H-7  
 Albuquerque, New Mexico 87114

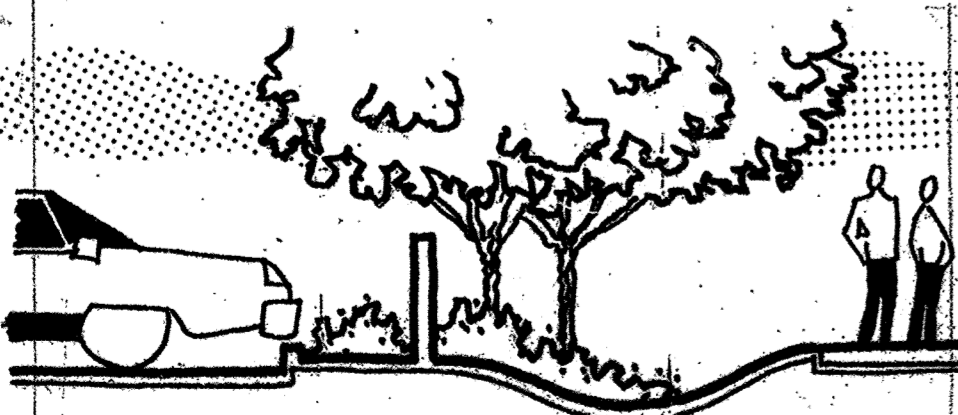


#### SCREENING / WALLS AND FENCES

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of the above service functions will be away from any street or pedestrian area. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening function within the Atrisco Business Park landscape. However, if walls are not required for a specific screening or security purpose, they should not be utilized. The intent is to keep walls and fences as low as possible while performing their screening and security functions.

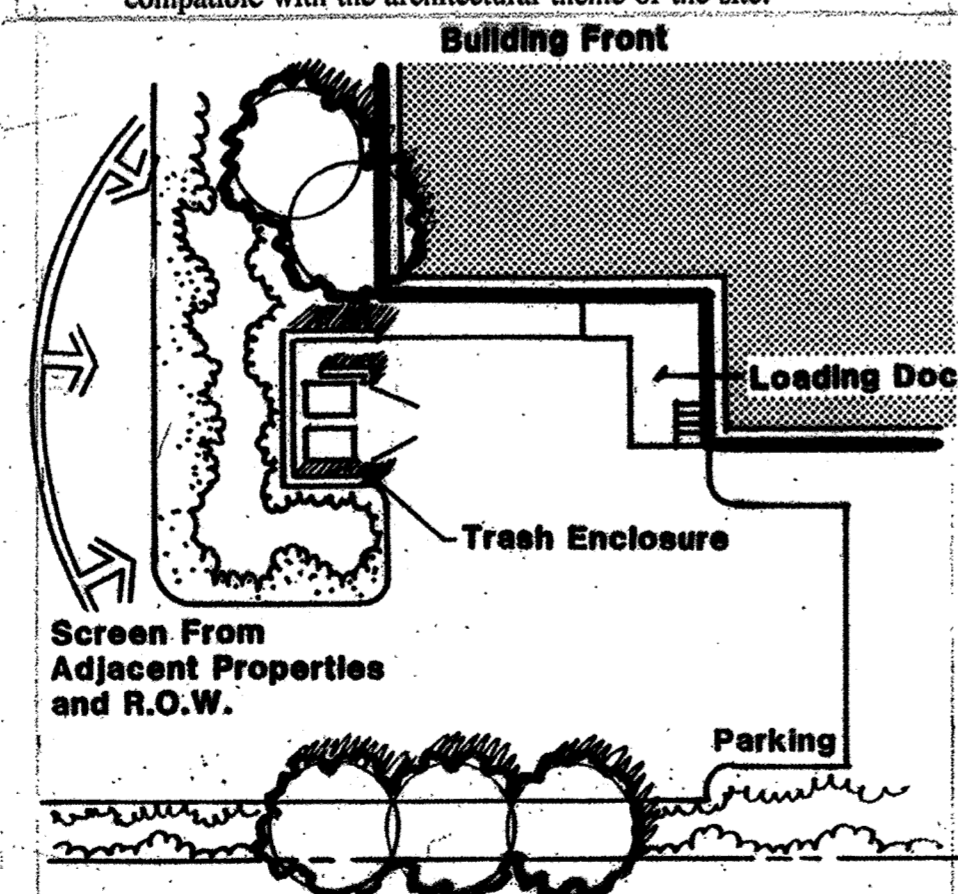
The following are standards to ensure effective screening of negative elements:

Parking areas shall be screened from adjacent streets and properties with a combination of plant materials, walls, and earthen berms. Such screening shall have a minimum height of 4 feet. Visitor parking should not be completely screened from adjacent streets. Appropriate signage and/or highlighted landscaping should be used to direct visitors.



All outdoor refuse containers shall be screened within a minimum 6 foot tall masonry enclosure which is large enough to contain all refuse generated between collections.

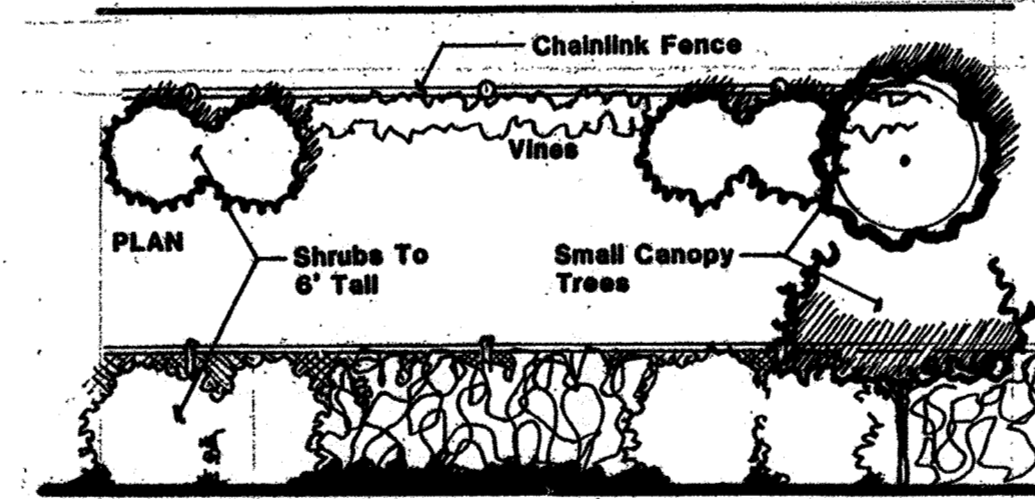
The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the site.



No refuse collection areas shall be allowed between any street and building front.

When security fencing is required along a public right-of-way, it should be a combination of masonry pillars or short solid wall segments combined with decorative wrought iron or similar decorative fencing. Chain link fencing is not permitted adjacent to a public right-of-way. Chain link fencing is permitted along the rear and side property lines between industrial zoned properties and is also permitted within the interior portion of the property provided it is set back a minimum of 20 feet from a property line abutting a residential zone.

The use of barbed or concertina wire is not permitted on the top of fences or walls except as required for security purposes. Barbed or concertina wire may not be used within 20 feet of a property line abutting a residential zone.



#### LIGHTING STANDARDS

In order to enhance the safety, security and visual aesthetics of the Atrisco Business Park, careful consideration must be given to lighting design and features. To ensure a quality development, it is important to consider the daytime appearance of lighting fixtures. The lighting element is another site feature which contributes to the overall character of the development.

The following are a few general guidelines to consider for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination requirements.
- Individual site lighting standards should blend with the architectural character of the building and other site fixtures.

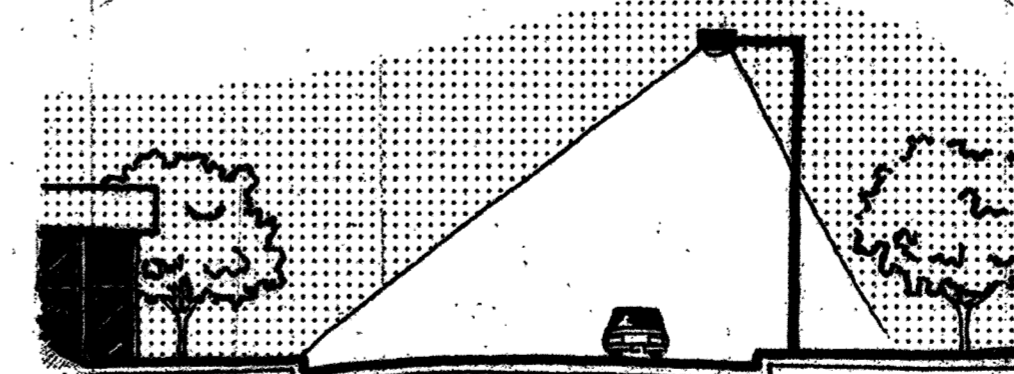
A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

Street lighting should be designed to enhance the safety of vehicular and pedestrian traffic at key points along the roadway.

Street light standards may range from 30 to 40 feet above the roadway.

The height of parking area lights may range from 20 to 30 feet.

Area lighting should be used to highlight public spaces and walkways. Area lighting standards may range from 10 to 15 feet in height. The use of walkway level lighting, such as bollard lights or wall pocket lights, is encouraged to accent pedestrian zones.



Additional landscape lighting is encouraged to enhance certain landscape features. Such lighting should be either concealed at grade or be mounted in trees to "moonlight" areas.

#### SIGNAGE STANDARDS

These signage standards were developed as reasonable criteria to regulate the size, location, type, and quality of sign elements within Atrisco Business Park. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety; and, to complement the visual character of the development.



# ATRISCO BUSINESS PARK

## MASTER DEVELOPMENT PLAN FOR IP USES

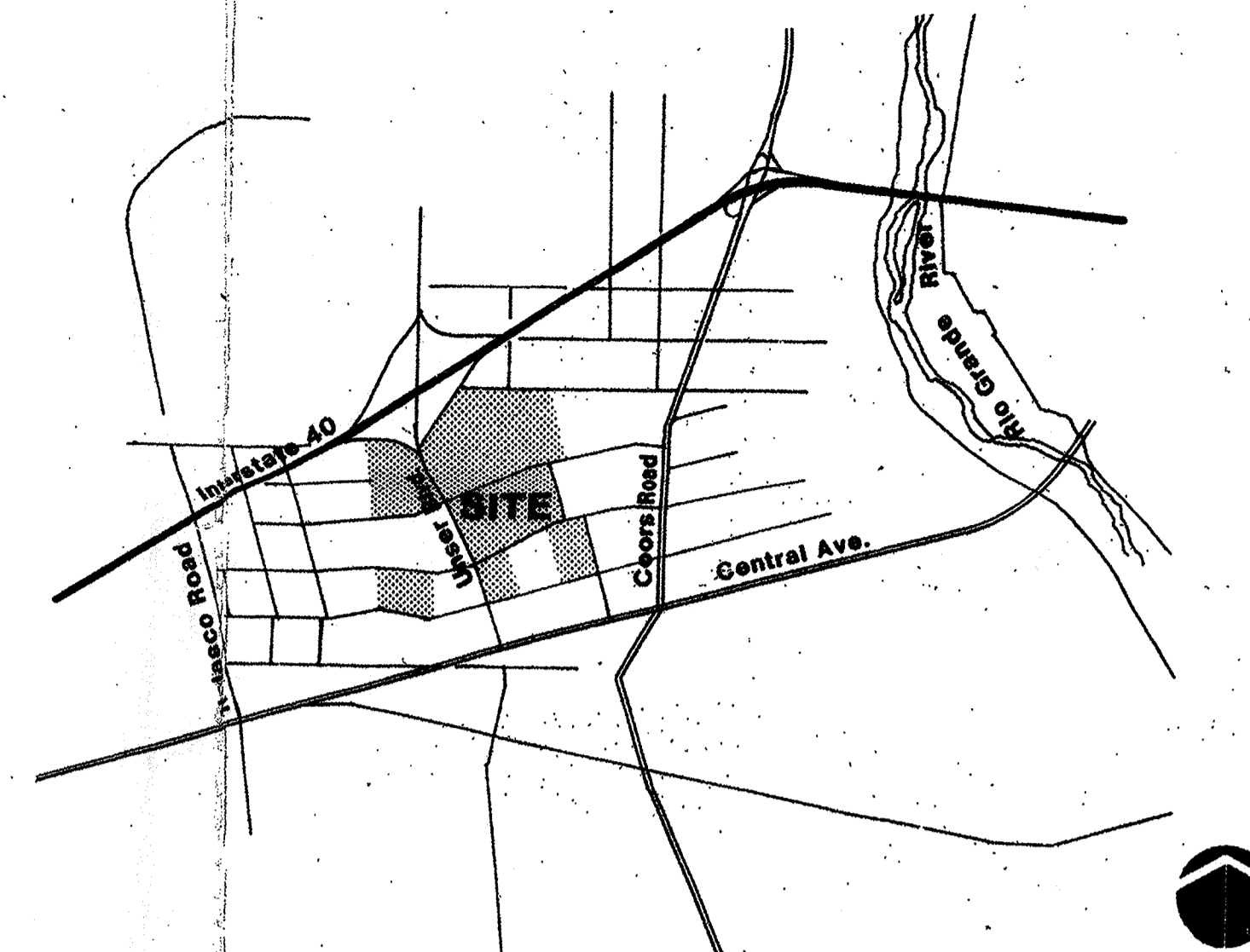
### EPC Case No. Z-92-57

Approved by the City of Albuquerque Environmental Planning Commission on October 15, 1992 subject to the following conditions:

1. All revised documents shall include all of the area in the boundaries of the Atrisco Business Park Master Plan.
2. It shall be clearly stated that all future development in the plan boundaries shall comply with the revised standards.
3. A minimum 20 foot landscaped buffer shall be provided between all property zoned for industrial use and residential zoning to create a reasonable visual separation. No exterior loading, service, trash or storage areas may be located adjacent to the residential zoning. Employee parking or building surfaces are the only appropriate uses adjacent to residential development and zoning.

1 Amendment to the landscape portion of the development standards (sheet 3), approved May 22, 1997.

2 Amendment to allow Coors Corridor Plan exceptions for setbacks and signage along Coors Boulevard (Sheet 3).



Vicinity Map

### Sheet Index

- 1 Illustrative Site Plan
- 2 Landscape Development Plan
- 3 Development Sketches
- 4 Development Sketches
- 5 Development Sketches
- 6 Conceptual Overall Drainage Plan (fully developed)
- 7 Conceptual Overall Drainage Plan (partially developed)
- 8 Conceptual Grading & Drainage Plan (2.5 & 10 acre sites)
- 9 Conceptual Grading & Drainage Plan (20 acre site)
- 10 Conceptual Grading & Drainage Plan (interim condition)

### Project Team Directory

#### Prepared For:

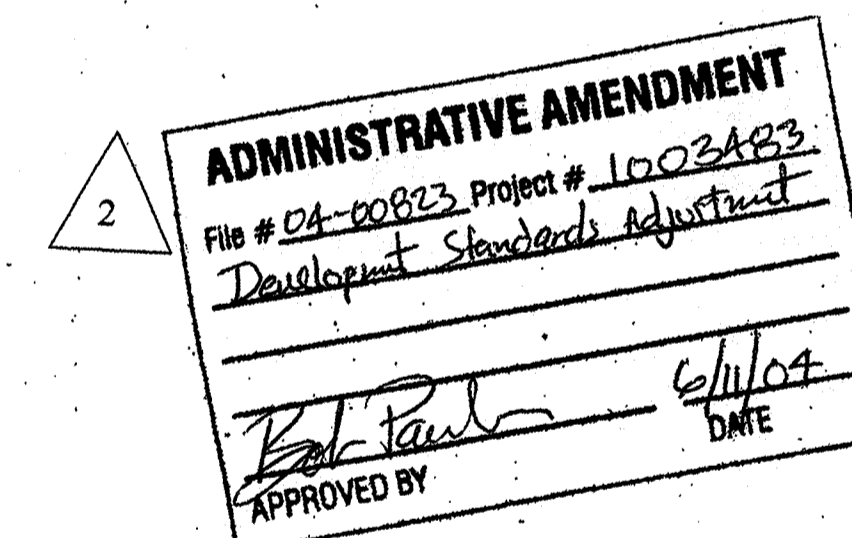
Sunwest Bank  
Special Assets Department  
303 Roma Avenue NW  
Albuquerque, New Mexico 87102  
(505) 765-2036

#### Prepared By:

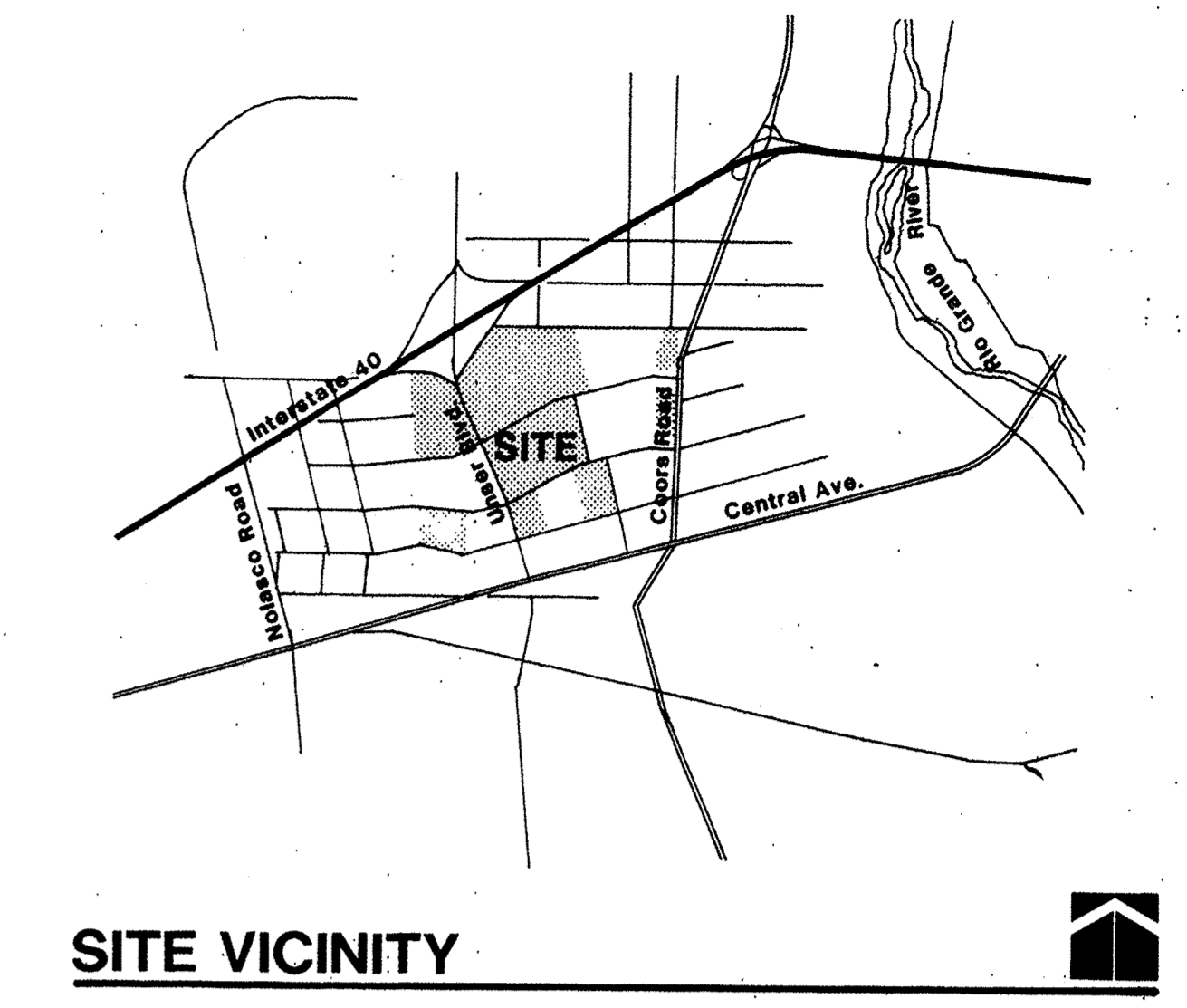
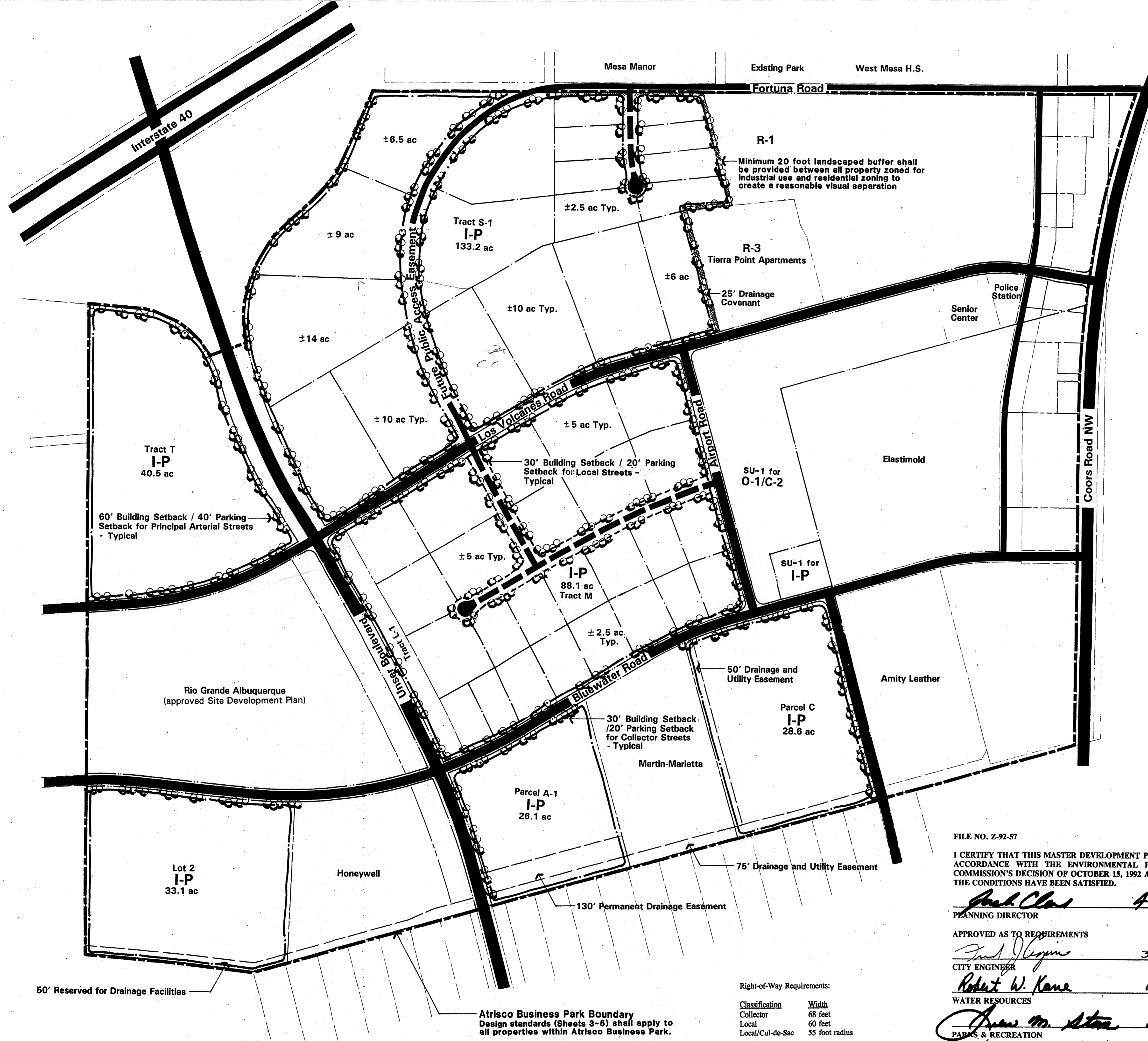
Development/Real Estate Consultant  
Garrett Group, Inc.  
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Civil Engineer  
Easterling & Associates, Inc.  
10131 Coors Road NW, Suite H-7  
Albuquerque, New Mexico 87114  
(505) 898-8021



October 28, 1992



**SITE VICINITY**

LAND USE	NET ACRES
I-P	349.6

Note: Traffic and air quality analyses (August 1992) are approved subject to the following requirements:

- Reanalysis of TIS and air quality impacts after five years
- Evaluation of individual projects that exceed the maximum FAR of .3, or if the lot size and/or land use are significantly different than that analyzed.

Review of the Master Development Plan may be required in conjunction with the re-analysis. Additional conditions or infrastructure requirements may be a result of this analysis.

Note: Lot lines and interior roadways are for illustrative purposes only. Parcel boundaries and interior roadway alignments will be established in conjunction with future platting actions.

Note: All parcels and tracts indicated on this plan are within Unit 2 of the Atrisco Business Park Subdivision.

ILLUSTRATIVE MASTER DEVELOPMENT PLAN

# ATRISCO BUSINESS PARK

Prepared For: Sunwest Bank  
Special Assets Department  
303 Roma Avenue NW  
Albuquerque, New Mexico 87102

Prepared By: Garrett Group, Inc.  
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10131 Coors Road NW, Suite H-7  
Albuquerque, New Mexico 87114

FILE NO. Z-92-57

I CERTIFY THAT THIS MASTER DEVELOPMENT PLAN IS IN ACCORDANCE WITH THE ENVIRONMENTAL PLANNING COMMISSION'S DECISION OF OCTOBER 15, 1992 AND THAT THE CONDITIONS HAVE BEEN SATISFIED.

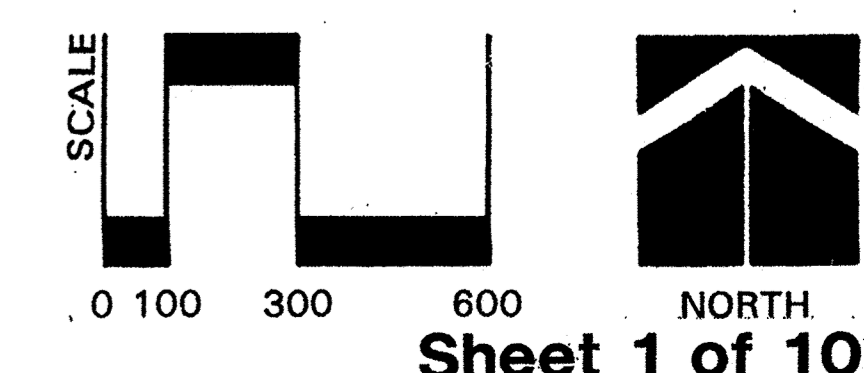
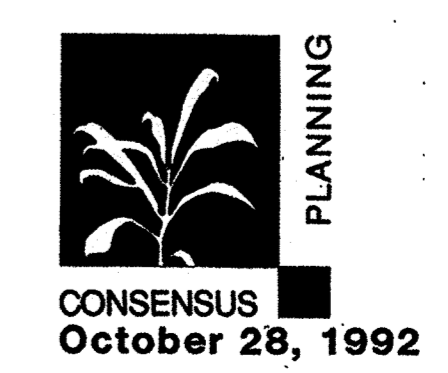
*Jack Claus* 4-16-93  
PLANNING DIRECTOR DATE

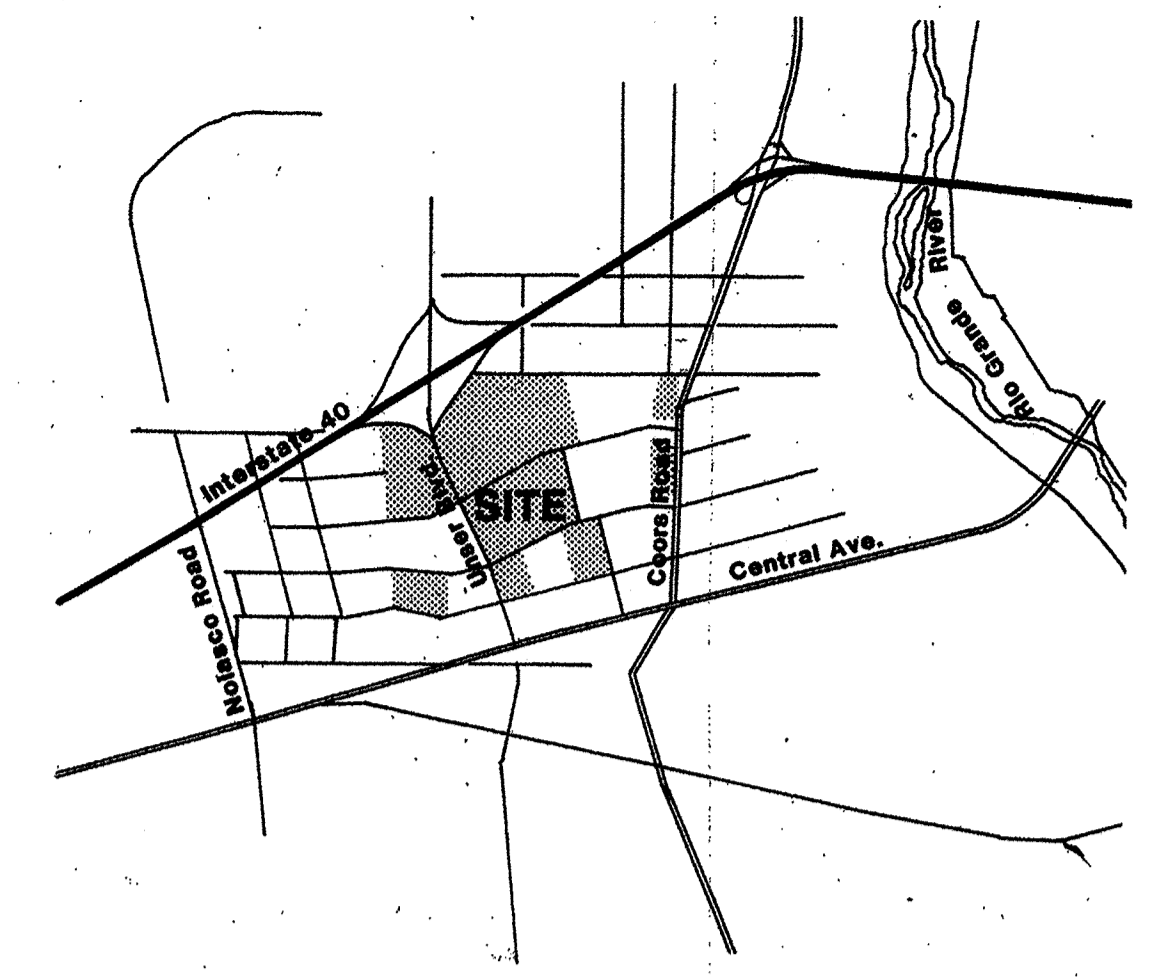
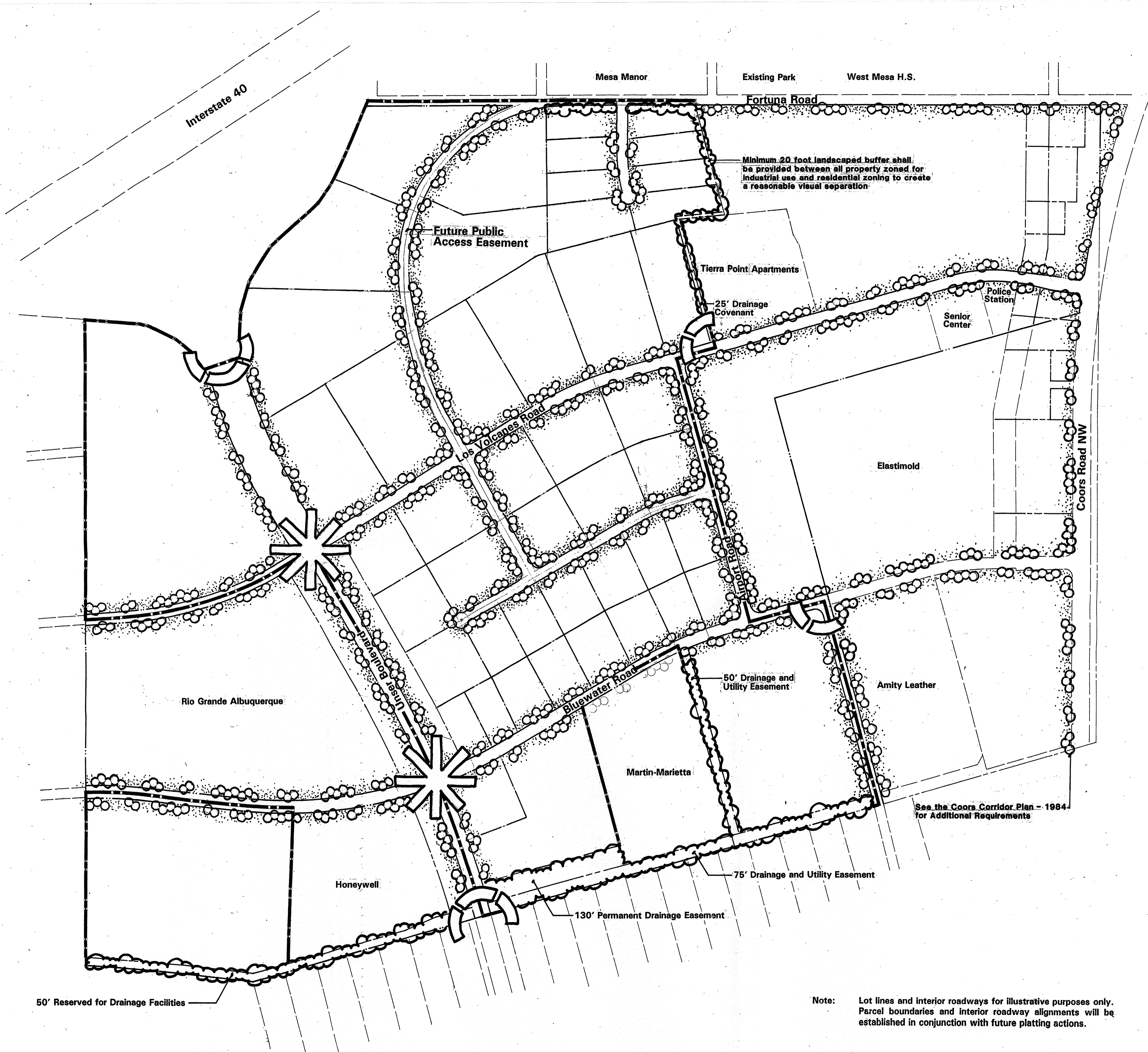
APPROVED AS TO REQUIREMENTS  
*Frank J. Legum* 3-8-93  
CITY ENGINEER DATE

*Robert W. Kane* 11-10-92  
WATER RESOURCES DATE

*James M. Stoa* 11/10/92  
PARKS & RECREATION DATE





*Michael H. Burt* 11-23-92  
TRAFFIC DATE





**SITE VICINITY**

**LEGEND**

-  PROJECT ENTRY
-  MAJOR INTERSECTION
-  STREETSCAPE
-  OPEN SPACE

**LANDSCAPE DEVELOPMENT PLAN**

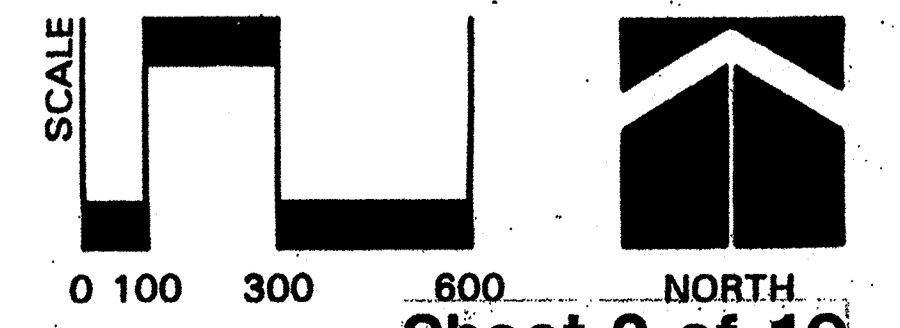
**ATRISCO  
BUSINESS  
PARK**

Prepared For: Sunwest Bank  
Special Assets Department  
303 Roma Avenue NW  
Albuquerque, New Mexico 87102

Prepared By: Garrett Group, Inc.  
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Note: Lot lines and interior roadways for illustrative purposes only. Parcel boundaries and interior roadway alignments will be established in conjunction with future platting actions.

## DEVELOPMENT STANDARDS

The purpose of these Development Standards is to provide a framework to ensure a high quality character and visual appearance. These standards address the issues of landscape, setbacks, screening, lighting, signage, and drainage that will create the visual image for Atrisco Business Park. These standards are to be used as a supplement to the City of Albuquerque Comprehensive City Zoning Code, and other pertinent City ordinances, including but not limited to, the Water Conservation Landscaping and Water Waste Ordinance, and Street Tree Ordinance. These standards apply to all properties within the Atrisco Business Park.

### LANDSCAPE CONCEPT

The development of an overall landscape concept will establish a framework that unifies the individual sites within the Atrisco Business Park. To achieve a totally unified development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. The landscape concept and the selection of the proper plant materials is extremely important as landscape elements are a strong unifying element for a project of this size. Site landscape concepts should be sensitive to water use, and create landscapes which meet environmental, aesthetic, and maintenance concerns.

### LANDSCAPE STANDARDS

The following are minimum standards for the development of specific site landscape plans:

A minimum of twenty percent (20%) of the net site area shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.

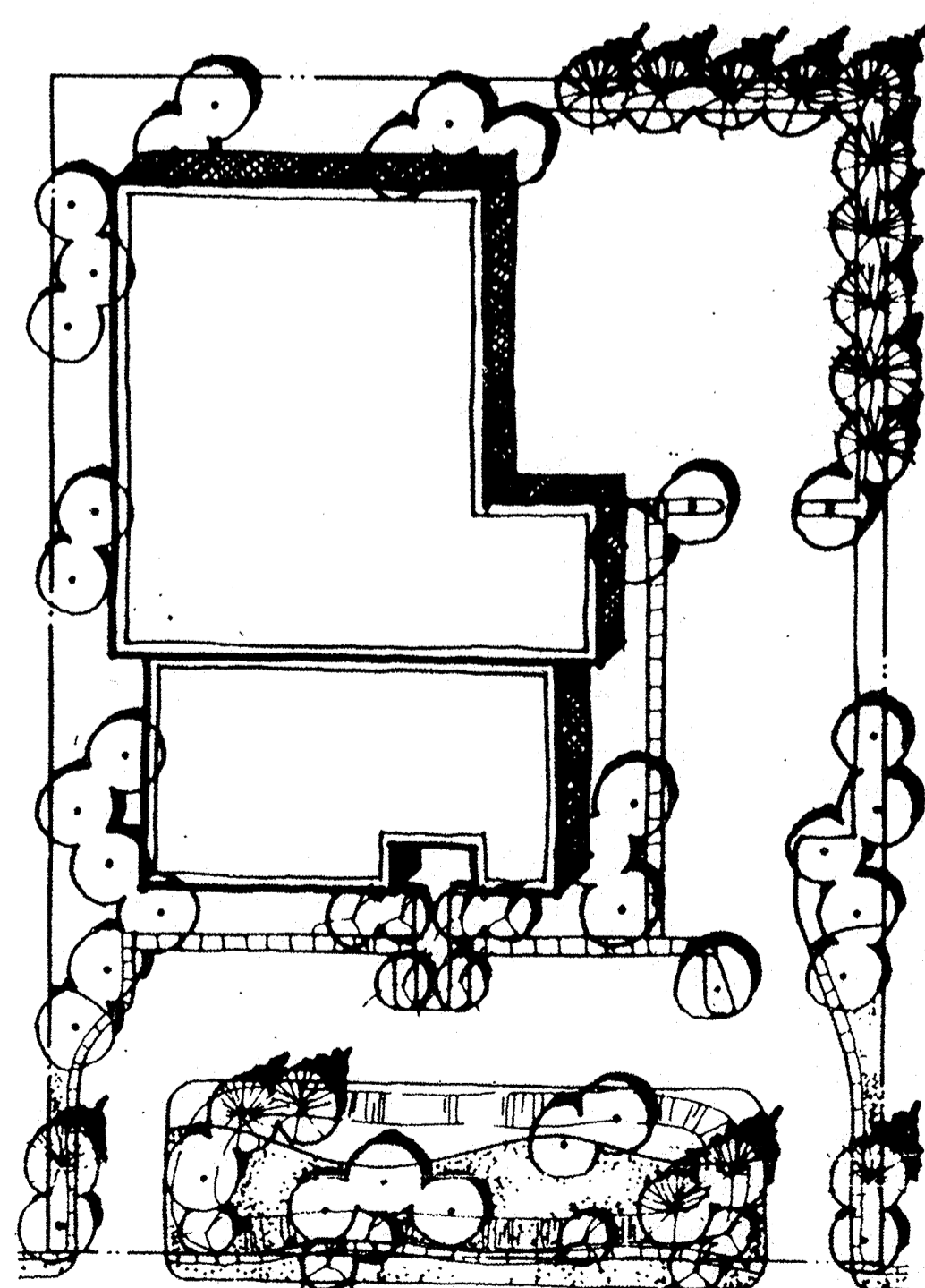
Seventy-five percent (75%) of the required landscape area shall be covered with living vegetative materials. The area and percentage is calculated based on the mature canopy size of all plant materials.

High water use turf is limited to a maximum of twenty percent (20%) of the landscape area. However, low water use turf grasses such as Buffalo grass and Blue Grama, are encouraged. Turf areas should be located at the most prominent visual points, such as, vehicular and pedestrian entries to the site and buildings.

All landscape areas not covered with turf shall have a top dressing of crushed rock, river rock, bark mulch, or similar material which extends completely under the plant material. Colors allowed shall be of the earth tone ranges, including pale shades of red. The use of red or black lava rock is not permitted. Areas seeded with native shrubs, grasses and/or wildflowers shall be top dressed with straw, and crimped.

Appropriate headers shall be used to separate any provided turf areas from shrub or groundcover planting areas. Headers may be 6" x 6" concrete, brick, or 1/8" x 4" steel.

The landscape treatment at prominent entries and intersections should change in terms of intensity, pattern, texture, scale or form to highlight these areas.



Street trees shall be provided as follows: One (1) tree is required for each twenty-five linear feet (25 LF) of street frontage, including any driveways. A street tree is defined as being located within twenty feet (20') of the back of curb of the adjacent street. The required street trees should be informally clustered with no more than a fifty foot gap between groupings, and shall have a 70:30 mix of deciduous to evergreen trees.

In addition to the street trees, one (1) tree is required for every forty linear feet (40 LF) of the remaining site perimeter. Included in this area are the rear and side yard setbacks.

To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one (1) tree for each ten (10) parking stalls with no stall being more than one hundred feet (100') from the trunk of a tree. A parking lot tree is defined as being within the interior of, or within ten feet (10') of the outside curb or perimeter of the parking lot. Parking lot trees are to be separately calculated from the required street or perimeter trees.

Seventy-five percent (75%) of the required parking area trees shall be deciduous and have a mature height and canopy of at least twenty-five feet (25').

A landscape strip of no less than ten feet (10') shall be maintained between a parking area and the street right of way.

As a minimum, a twenty foot (20') landscaped buffer is required between industrial and residential uses. The buffer shall consist primarily of evergreen trees which must be at least ten feet (10') tall when planted and be capable of reaching a mature height of twenty five feet (25'). The trees shall be spaced at a maximum of thirty feet (30') on center.

Minimum plant sizes at time of installation shall be as follows: large canopy shade trees shall have a 2" caliper, or be 10 to 12 feet in height; accent trees shall have a 1-1/2" caliper, or be 8 to 10 feet in height; shrubs and groundcovers shall be one gallon container; and, turf grasses shall be capable of providing complete ground coverage within one growing season after installation.

All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of chemical spray or pervious filter material.

An underground irrigation system shall be provided which is controlled by an automatic controller having multiple programming capabilities. Temporary irrigation systems shall be allowed for establishment of erosion control and revegetation plants. Temporary systems shall be removed at time of vegetation establishment.

### 1. PLANT PALETTE

#### Street Trees

Fraxinus spp.	Ash varieties
Gleditsia triacanthos spp.	Honeylocust varieties
Platanus acerifolia	London Plane Tree
Pinus nigra	Austrian Pine
Pyrus spp.	Flowering Pear varieties

#### General Use Trees, Shrubs & Groundcovers

Refer to the Albuquerque Plant List provided as a supplement to the Albuquerque Water Conservation Landscaping and Water Waste Ordinance. Locally acquired or low pollen producing plants are required per City ordinance.

## TYPICAL 2.5 ACRE SITE

### SITE DATA

Net Site Area	112,000 s.f. (2.5 ac)
Building Area	33,600 s.f. (.3 FAR)
Parking Spaces Required:	33 (2 hdep)
Parking Spaces Provided:	42 (2 hdep)
Landscape Area Required	22,400 s.f.
Landscape Area Provided:	34,780 s.f.

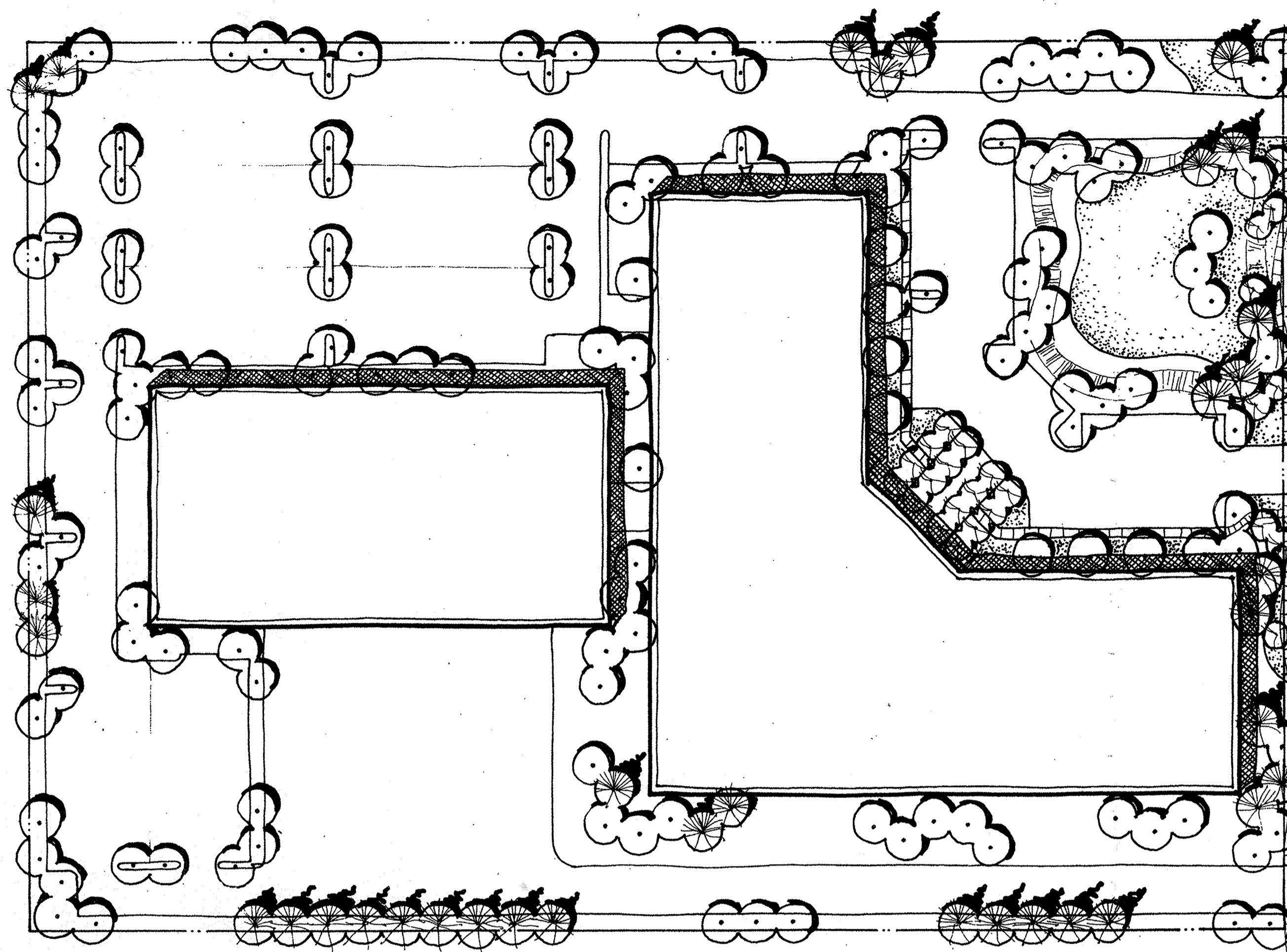
### 2. COORS CORRIDOR PLAN EXCEPTIONS

#### Setbacks

Setbacks along Coors Boulevard shall be in conformance with the Coors Corridor Plan.

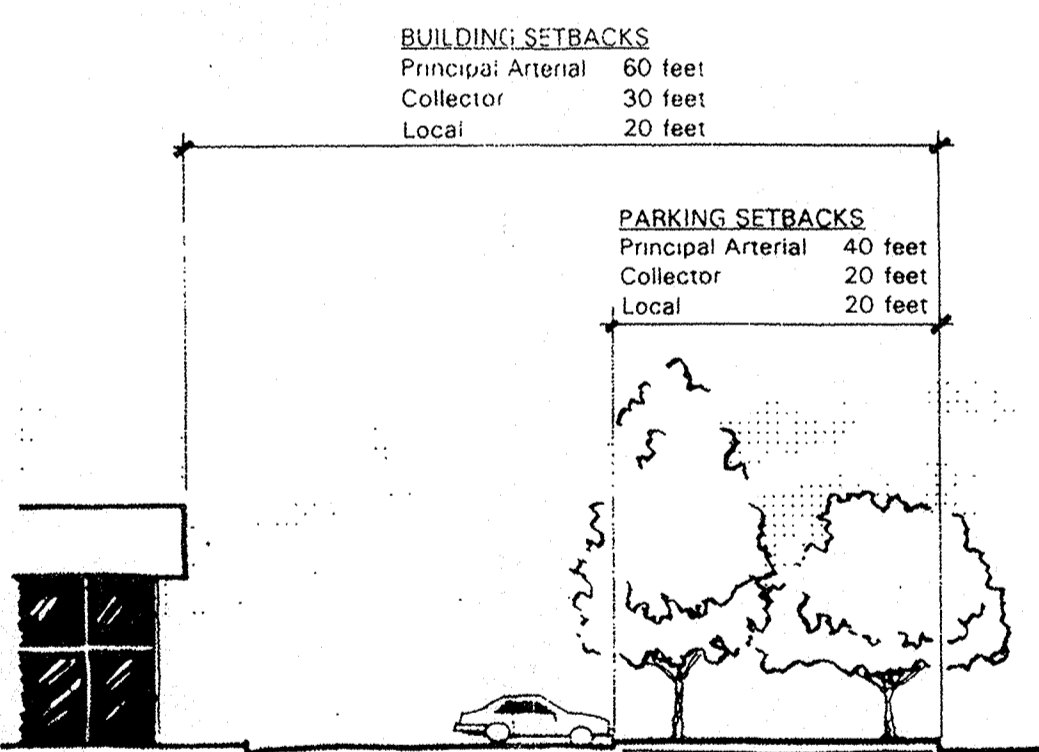
#### Signage

Freestanding signage along Coors Boulevard shall be in conformance with the Coors Corridor Plan with pole mounted signs prohibited.



### SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways, screening devices and landscape improvements (refer to Landscape Standards). These measures are taken to ensure the aesthetic appeal of Atrisco Business Park.



### Building Setbacks

Based on the defined street classifications, the minimum building setback lines, as measured from the back of the curb, shall be as follows:

Principal Arterial	60 feet
Collector	30 feet
Local	20 feet

To act as a buffer between uses, buildings shall be set back a minimum of ten feet at both the side and rear yard locations. These setback areas shall be landscaped according to the Landscape Standards.

### Parking Area Setbacks

Based on the defined street classifications, the minimum parking area setback lines, as measured from the back of the curb, shall be as follows:

Principal Arterial	40 feet
Collector	20 feet
Local	20 feet

### SIDEWALKS / BIKEWAYS

To encourage and enhance the pedestrian nature of the Atrisco Business Park, sidewalks and/or bikeways are required in certain areas as an integral element of the streetscape. In accordance with the City of Albuquerque's Sidewalk Ordinance, all streets within the site are required to have sidewalks on both sides of the street.

Properties adjacent to Unser Boulevard shall have a 6 foot wide sidewalk with a minimum landscaped area of 12 feet between the back of curb and the sidewalk. All other collector and major local streets within the site shall have 4 foot wide sidewalks. It is recommended that the sidewalk meander in a fluid rhythm. A Sidewalk Variance is required to meander the sidewalk and the layout of the sidewalk should be coordinated with the location of other site functions such as retention basins, street lighting, fire hydrants, etc. If the sidewalk meanders outside of the right-of-way, additional right-of-way or a public sidewalk easement would be required.

In addition to the required sidewalks, the City of Albuquerque has established a bikeway network which identifies several routes through the site (Albuquerque Metropolitan Bicycle Map, April 1992). Along Unser Boulevard, from I-40 to Bluewater Road, a paved bicycle trail is required per City standards. The City is also in the planning stage for developing a recreational trail along I-40. The final alignment of this trail shall be either within the existing easement along the I-40 right-of-way or through the Business Park connecting north to Fortuna Road. Bike routes are planned for Unser Boulevard from Bluewater Road continuing south to Central, along Bluewater from Unser to Coors Road, and along Airport Road from Bluewater south to Central Avenue. Bike routes provide for the shared use of the street by automobiles and bicyclists. Generally, the routes will be marked with identifying signage.

## TYPICAL 10 ACRE SITE

### SITE DATA

Net Site Area:	448,000 s.f. (10.3 ac)
Building Area:	134,400 s.f. (.3 FAR)
Parking Spaces Required:	371 (12 hdep)
Parking Spaces Provided:	376 (12 hdep)
Landscape Area Required:	89,600 s.f.
Landscape Area Provided:	112,325 s.f.

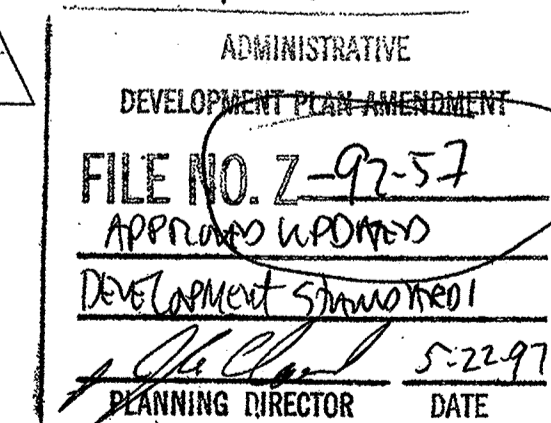
# DEVELOPMENT SKETCHES ATRISCO BUSINESS PARK

Prepared For:

Sunwest Bank  
Special Assets Department  
303 Roma Avenue NW  
Albuquerque, New Mexico 87102

Prepared By:

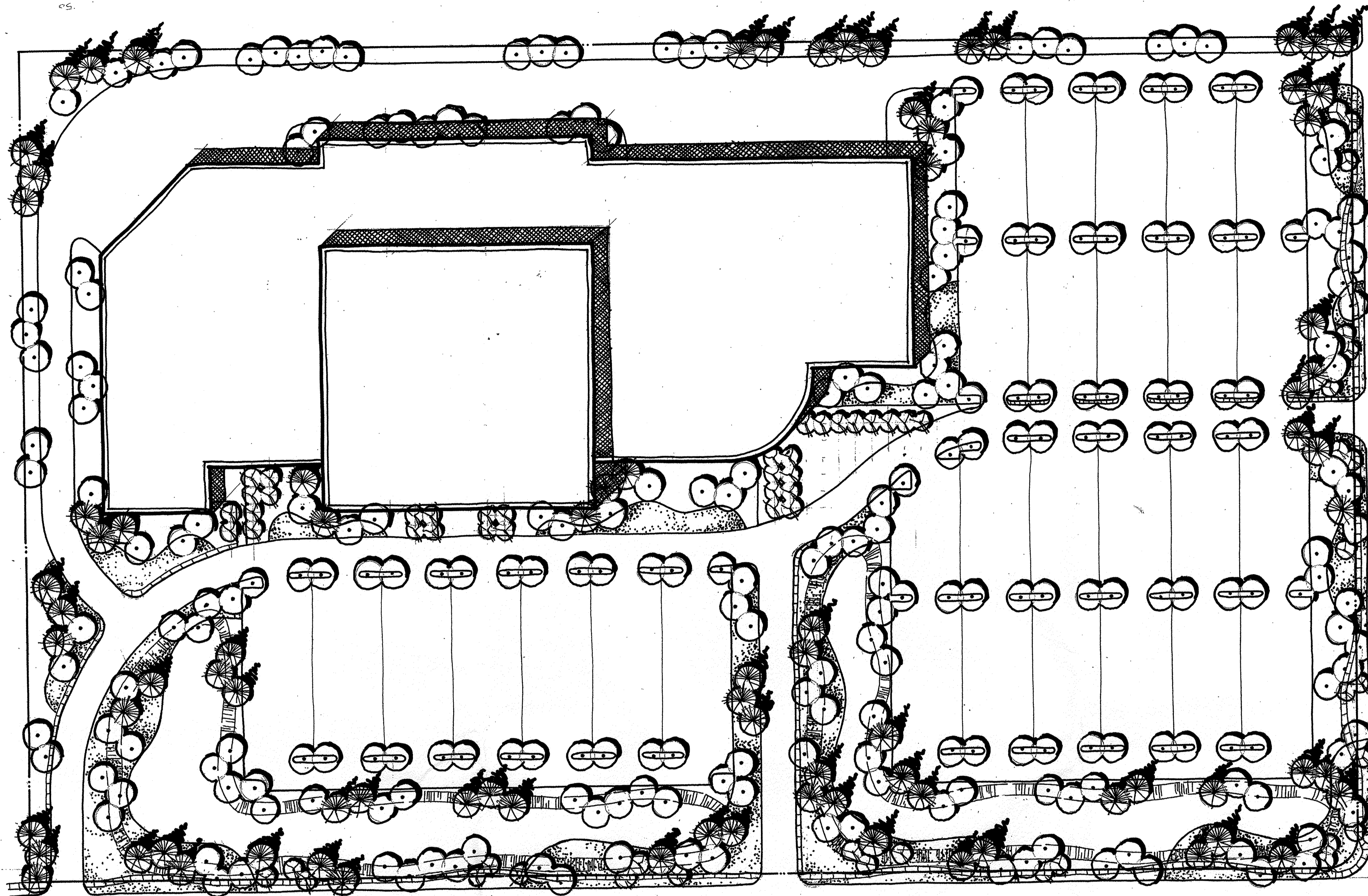
Garrett Group, Inc.  
9309 Avenida de la Luna NE  
Albuquerque, New Mexico 87111



CONSENSUS  
October 28, 1992  
Revised April 28, 1997  
Revised May 19, 1997



Sheet 3 of 10



### TYPICAL 20 ACRE SITE

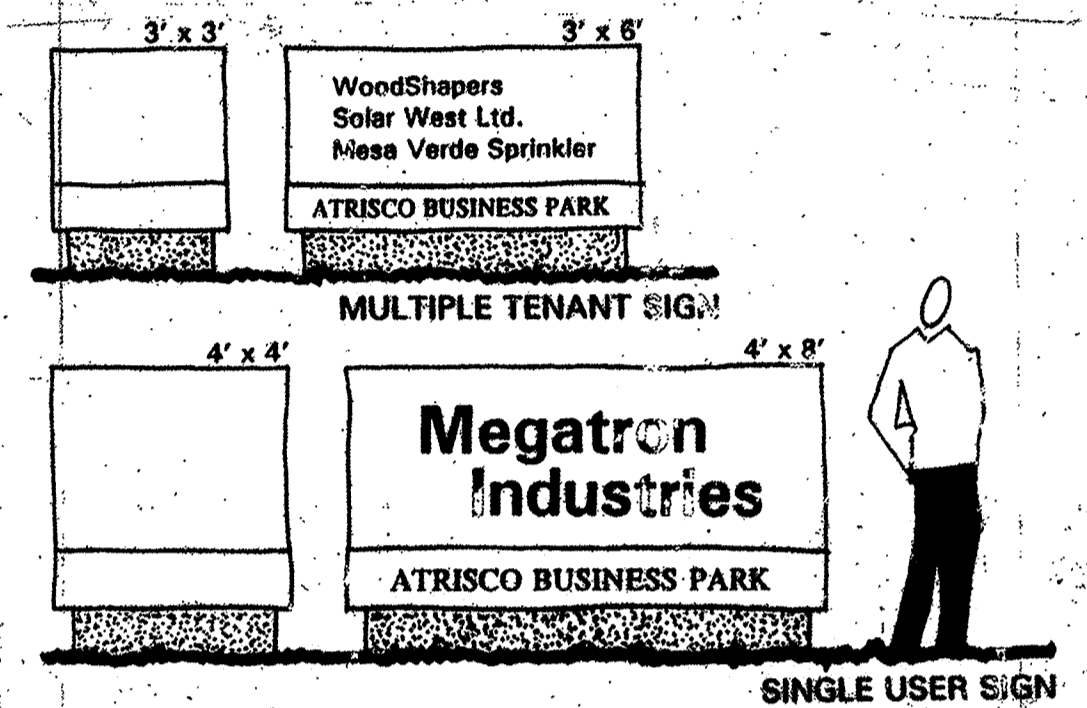
#### SITE DATA

Net Site Area: 911,250 s.f. (20.9 ac)  
 Building Area: 273,375 s.f. (.3 FAR)  
 Parking Spaces Required: 840 (20 hdep)  
 Parking Spaces Provided: 903 (20 hdep)  
 Landscape Area Required: 182,250 s.f.  
 Landscape Area Provided: 255,570 s.f.

The following are general guidelines for signage design and placement:

- All elements of a sign shall be maintained in a visually appealing manner.
- Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.
- Signage may be illuminated by concealed light sources located flush with grade or with back lit channel letters.
- No sign shall overhang into the public right-of-way or extend above the building roof line.
- One free-standing sign is allowed for each street frontage of each premises which has at least 200 linear feet of street frontage.

Building identification signs, tenant signs, and directional signs make up the total signage package.



#### Building Identification Signs

These signs identify the complex name of multi-tenant buildings or the company name of single-user buildings. Generally, these will be free-standing signs that shall not exceed 32 square feet in total area and shall be limited to the dimensions indicated below. Free-standing signs shall be placed at the back of the public right-of-way line but outside of the safety vision triangle at entries and intersections.

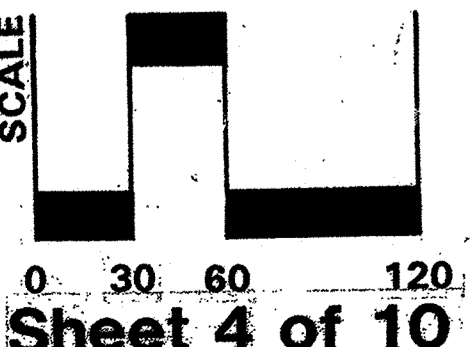
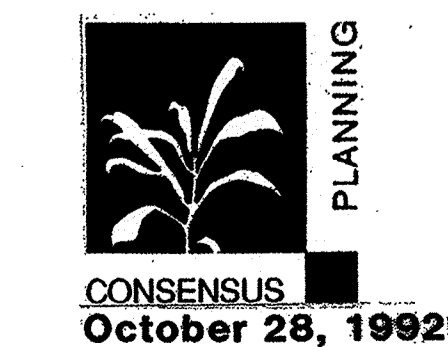
# DEVELOPMENT SKETCHES ATRISCO BUSINESS PARK

Prepared For: Sunwest Bank  
 Special Assets Department  
 303 Roma Avenue NW  
 Albuquerque, New Mexico 87102

Prepared By: Garrett Group, Inc.  
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Easterling & Associates, Inc.  
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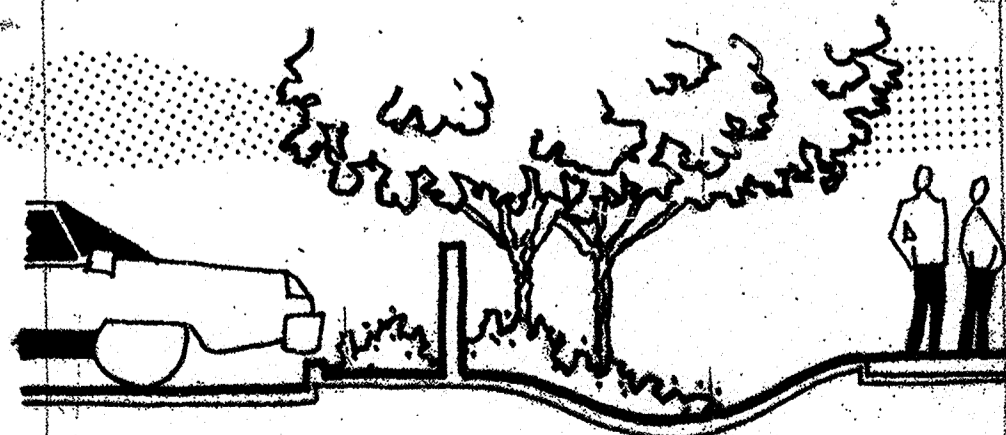


#### SCREENING / WALLS AND FENCES

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of the above service functions will be away from any street or pedestrian area. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening function within the Atrisco Business Park landscape. However, if walls are not required for a specific screening or security purpose, they should not be utilized. The intent is to keep walls and fences as low as possible while performing their screening and security functions.

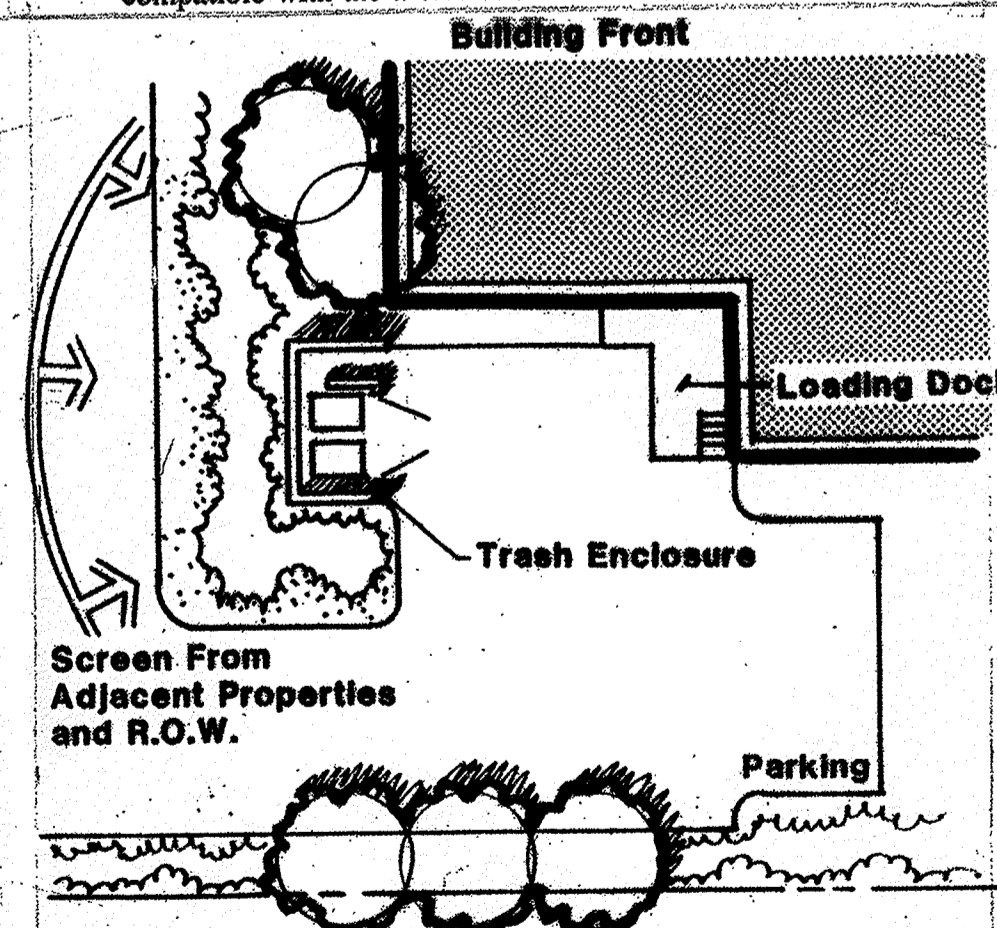
The following are standards to ensure effective screening of negative elements:

Parking areas shall be screened from adjacent streets and properties with a combination of plant materials, walls, and earthen berms. Such screening shall have a minimum height of 4 feet. Visitor parking should not be completely screened from adjacent streets. Appropriate signage and/or highlighted landscaping should be used to direct visitors.



All outdoor refuse containers shall be screened within a minimum 6 foot tall masonry enclosure which is large enough to contain all refuse generated between collections.

The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the site.

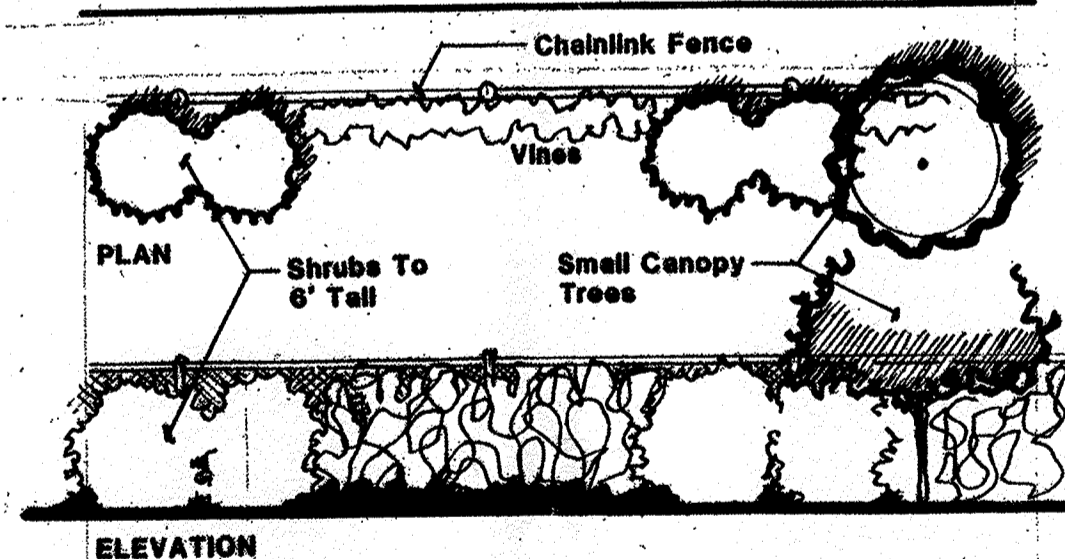


Screen From Adjacent Properties and R.O.W.

No refuse collection areas shall be allowed between any street and building front.

When security fencing is required, it should be a combination of masonry pillars or short solid wall segments combined with decorative wrought iron or similar decorative fencing. (The use of chain link fencing is not acceptable in front of the building setback line and shall be visually screened from adjacent public rights-of-way in the built out condition of the park.)

The use of barbed or concertina wire is not permitted on the top of fences or walls.



#### LIGHTING STANDARDS

In order to enhance the safety, security and visual aesthetics of the Atrisco Business Park, careful consideration must be given to lighting design and features. To ensure a quality development, it is important to consider the daytime appearance of lighting fixtures. The lighting element is another site feature which contributes to the overall character of the development.

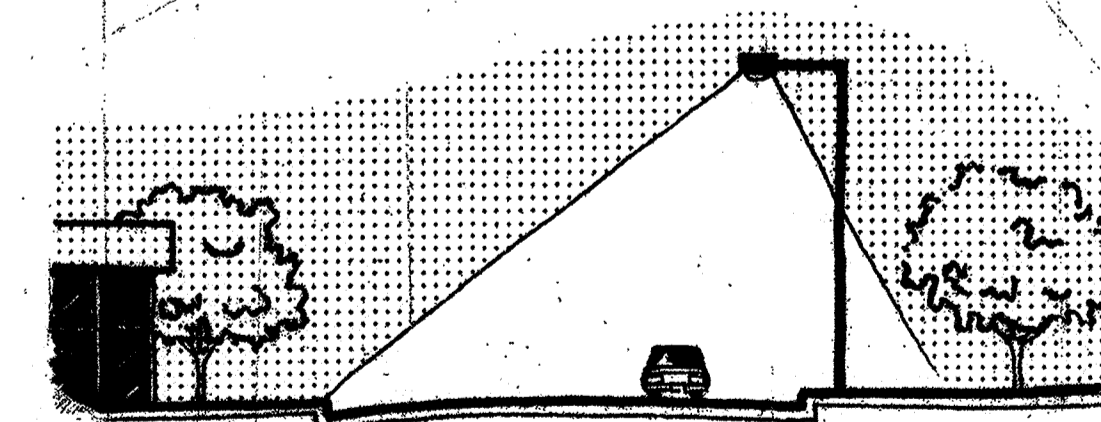
The following are a few general guidelines to consider for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination requirements.
- Individual site lighting standards should blend with the architectural character of the building and other site fixtures.
- A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.
- Street lighting should be designed to enhance the safety of vehicular and pedestrian traffic at key points along the roadway.

Street light standards may range from 30 to 40 feet above the roadway.

The height of parking area lights may range from 20 to 30 feet.

Area lighting should be used to highlight public spaces and walkways. Area lighting standards may range from 10 to 15 feet in height. The use of walkway level lighting, such as bollard lights or wall pocket lights, is encouraged to accent pedestrian zones.



Additional landscape lighting is encouraged to enhance certain landscape features. Such lighting should be either concealed at grade or be mounted in trees to "moonlight" areas.

#### SIGNAGE STANDARDS

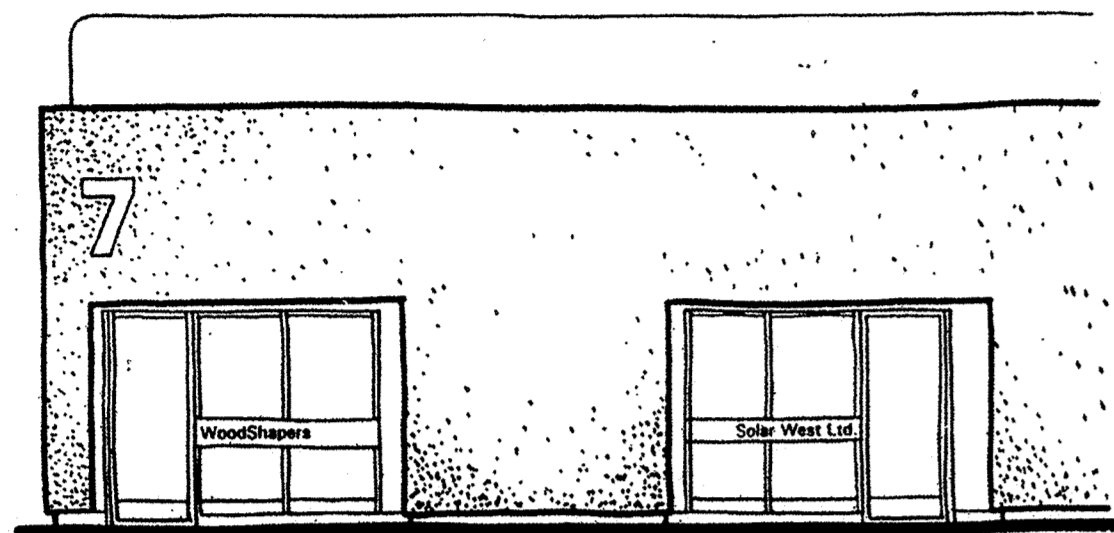
These signage standards were developed as reasonable criteria to regulate the size, location, type, and quality of sign elements within Atrisco Business Park. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety; and, to complement the visual character of the development.

**SIGNAGE (cont.)**

Signage for multi-tenant buildings shall identify the building number, complex name and/or address. The individual businesses will be identified at the tenant's store front and at a centrally located directory sign. For a single-user building, the sign shall identify the user and/or address. The user may also have a wall-mounted sign on the building.

**Tenant Signs**

Within multi-tenant buildings or complexes, the individual tenant signs shall consist of wall-mounted signs which are uniform in terms of color, shape, and dimensions to all such signs within the complex. Wall-mounted signage shall be made of panels. No signage may be printed directly on the wall surface and no individual letters may be attached to the building.



MULTIPLE USER TENANT SIGN

**Directional Signs**

Directional signs are used to direct visitors to individual businesses located within the complex or building. These signs may be either free-standing or wall-mounted but shall be compatible with the design, size, and materials of other signs within the complex.

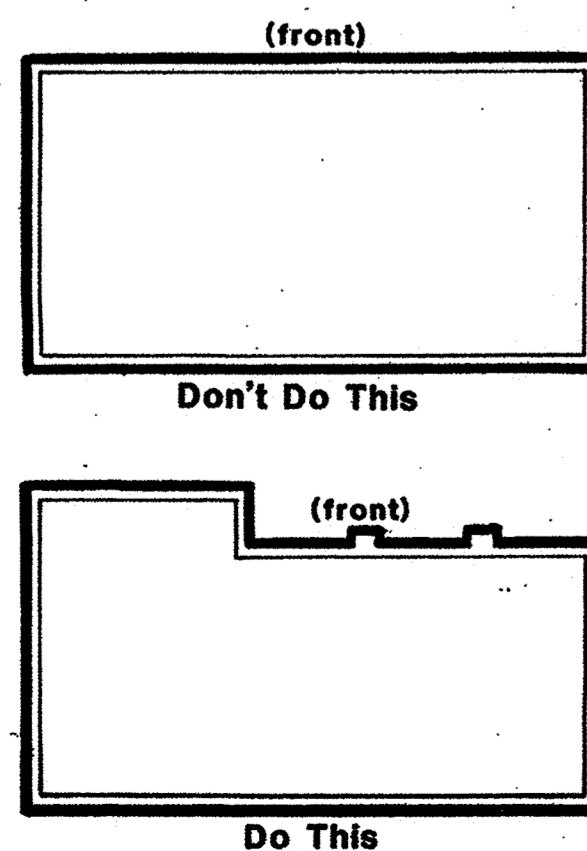
**ARCHITECTURAL OBJECTIVES**

Specific architectural style shall not be dictated. The design shall, however, demonstrate a high degree of quality ensuring pleasing aesthetics throughout the project.

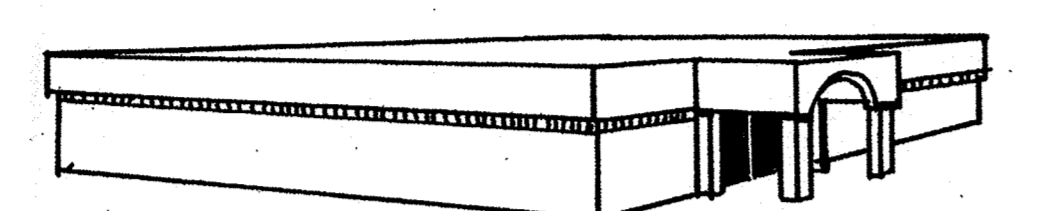
Architectural design should respond to climate, views, solar access, and aesthetic considerations, with development design being in harmony with adjoining projects.

All buildings shall conform to the following requirements:

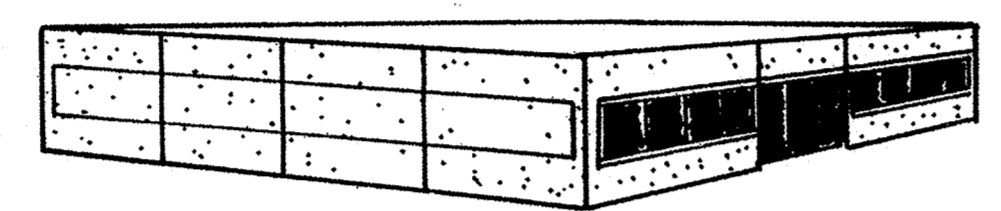
- A. All buildings and structures erected within the site shall comply with all applicable City of Albuquerque zoning and building code requirements as well as other local applicable codes.
- B. Building design and construction shall be used to create a structure with attractive sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.
- C. Finished building materials must be applied to all exterior sides of buildings and structures. Each material must be compatible with the natural surroundings and other buildings and structures in the general vicinity. Pre-engineered metal buildings with masonry or equivalent skin applied to all facades are allowed. Metal skin is not considered a finished building material.
- D. Design techniques which can be utilized to help overcome typical unattractive and monotonous facades generally associated with industrial structures are as follows:
  - 1) Employ variety in structural forms that create visual character and interest.
  - 2) Avoid long, unarticulated facades. Facades should have varied front setbacks with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment (i.e. 3' minimum offset, fenestration, material change, etc.).



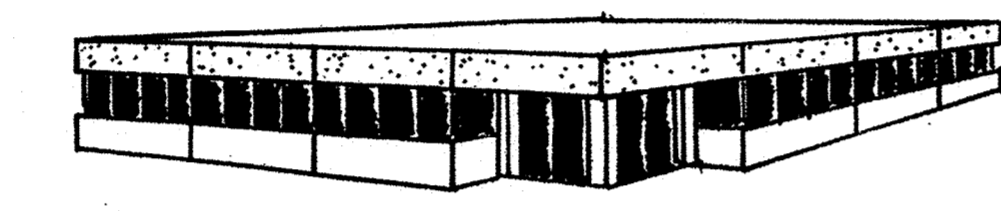
- 3) Entries to industrial structures should portray a quality office appearance while being architecturally tied into the overall mass and building composition.
- 4) Windows and doors are key elements of any structure's form and should relate to the scale of the elevation on which they appear. The use of recessed openings help to provide depth and contrast on elevation planes.
- 5) Sensitive alteration of colors and materials can produce diversity and enhance architectural forms.
- 6) The staggering of planes along an exterior wall elevation creates pockets of light and shadow, providing relief from



Indented or colored banding and entry projection



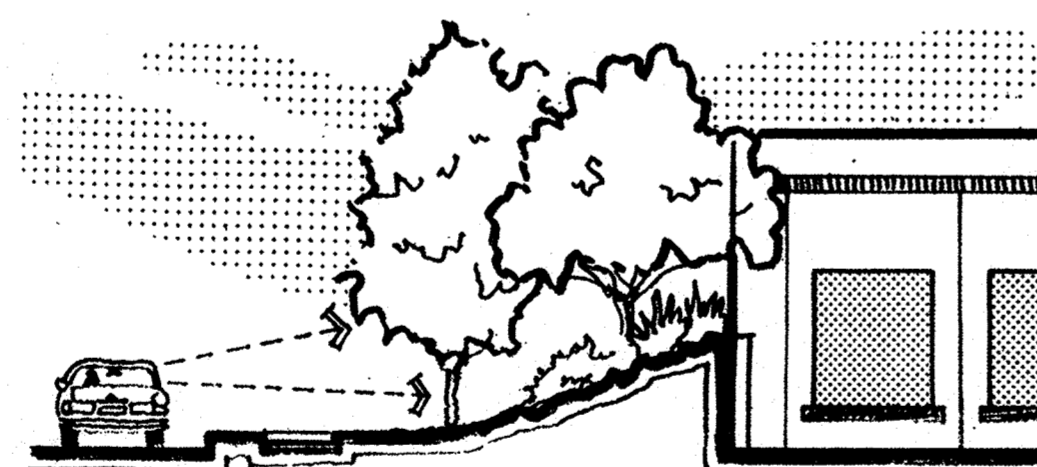
Textured walls, window glazing, and vertical/horizontal seams



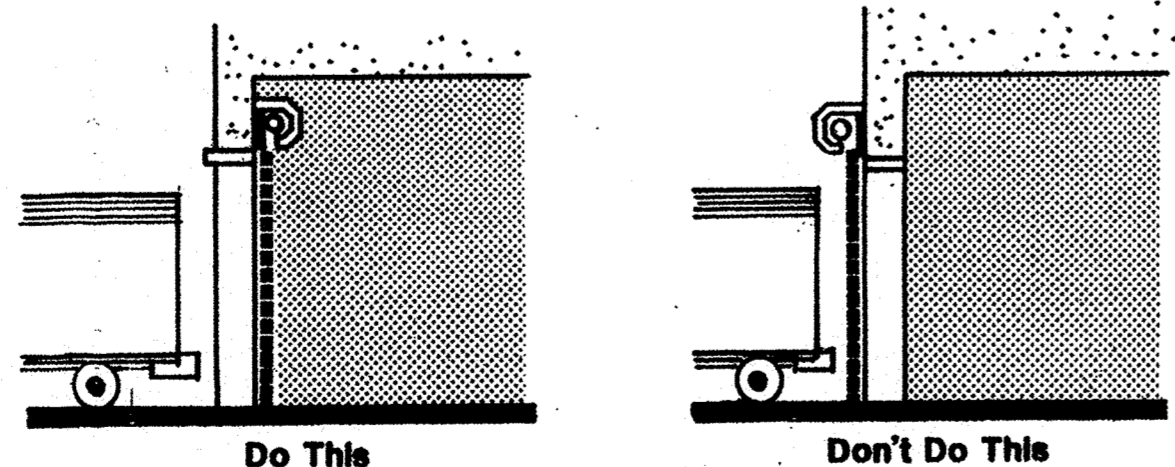
Indented entry, colored banding, and window glazing

- 7) monotonous expanses of facade.
- 7) Corner lots are defined to have fronts on both streets they abut. All provisions relating to the front facade shall apply to both street faces of a corner lot.

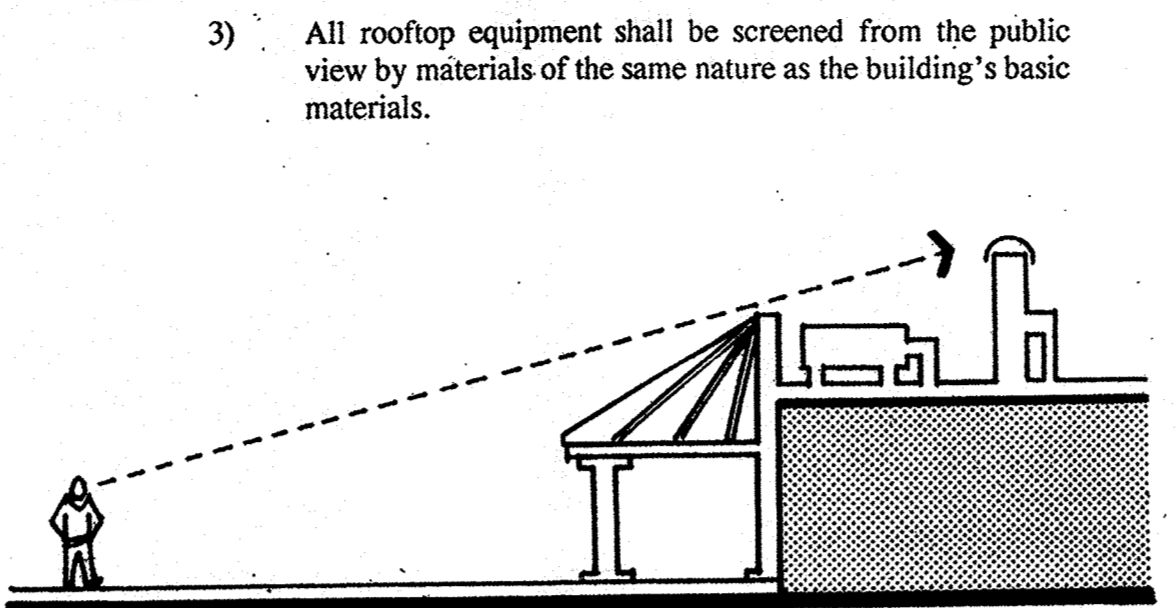
- E. Design elements which are undesirable and should be avoided include:
  - 1) Highly reflective surfaces at the ground story.
  - 2) Exposed, untreated precision block walls.
  - 3) Chain link fence or barbed wire.
  - 4) Metal used as the main architectural feature.
  - 5) Attached mansard roofs on small portions of the roofline.
  - 6) Materials with high maintenance requirements. Wood facings are expressly prohibited.
- F. Wall materials should be chosen that will withstand abuse by vandals, easily repaired, or accidental damage by machinery.
- G. Berming in conjunction with landscaping can be used at the building edge to reduce structure mass and height along facades.



- H. Dock doors for loading docks shall be located on the inside of buildings to keep a clean, uncluttered appearance from the exterior.



- J. Design elements for roofs shall be as follows:
  - 1) If mansard roofs are to be used, they shall wrap around the entire perimeter of the structure.
  - 2) The roofline at the top of the structure shall incorporate offsets to prevent a continuous plane from occurring.

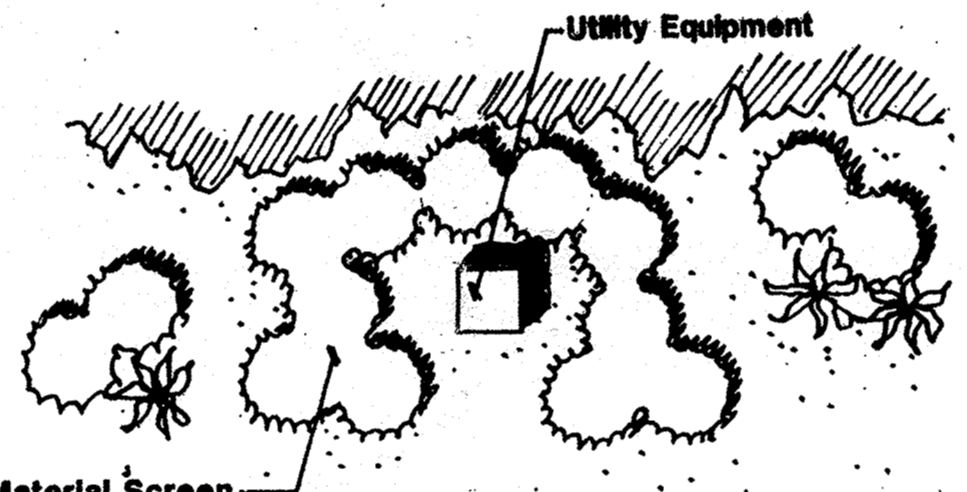


- 4) Corrugated metal, highly reflective surfaces, and illuminated roofing are not permitted.
- 5) The roof design should be considered an integral part of the overall architectural design theme.
- 6) Concertina and/or barbed wire are not permitted on the roof.

**UTILITIES**

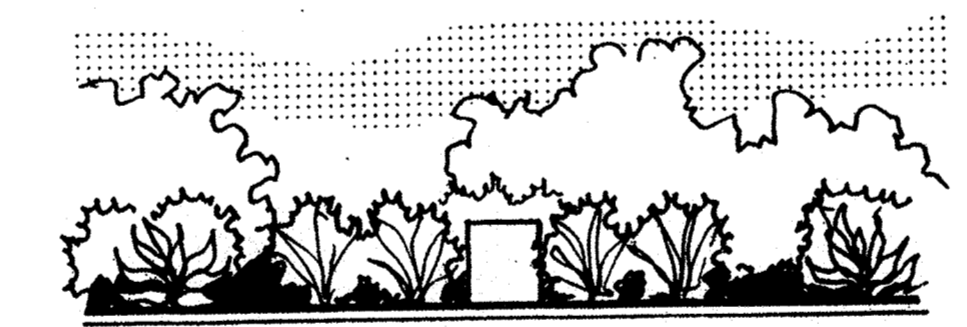
To ensure the overall aesthetic quality of the Atrisco Business Park:

- A. All electric distribution lines within the Park shall be placed underground.
- B. When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. The use of pre-fabricated fiberglass enclosures is prohibited.
- C. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.



Plant Material Screen

PLAN



ELEVATION

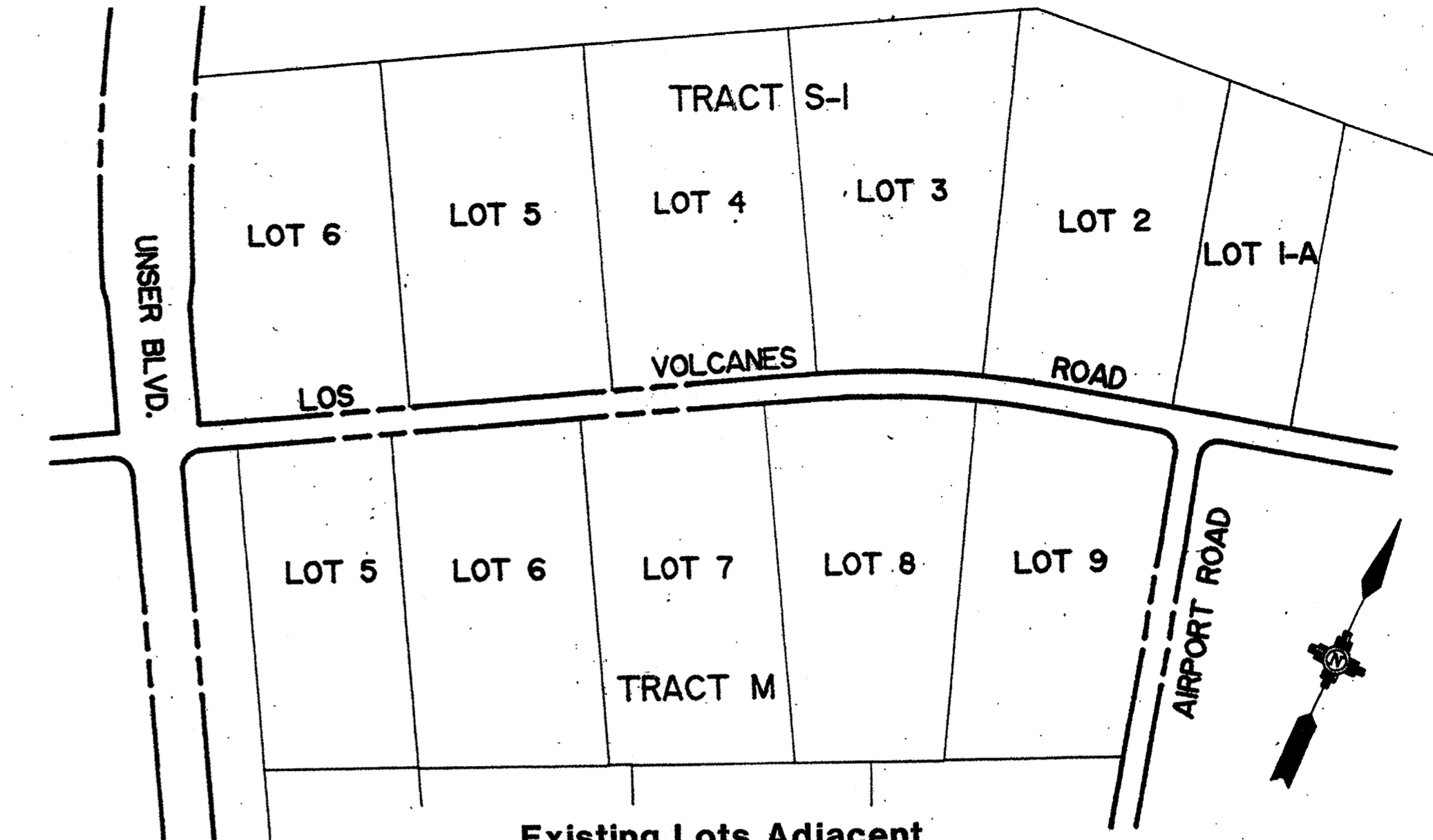
**MASTER DEVELOPMENT PLAN CHECKLIST**

The City of Albuquerque Environmental Planning Commission shall delegate individual site plan and development review to the Development Review Board (DRB) based upon this checklist. The following conditions must be complied with prior to site plan approval by DRB:

A. Compliance with the Master Development Plan	Reference Sheet No.
1) Intensity/Floor Area Ratio	3, 4 of 10
Maximum: Average .3	
2) Setbacks	3 of 10
3) Architecture	5 of 10
4) Landscaping	3 of 10
5) Parking	3, 4 of 10
6) Lighting	4 of 10
7) Signage	4, 5 of 10
8) Screening/Refuse/Storage	4 of 10
9) Grading and Drainage	6, 8, 9 of 10

If site plan proposals are not in substantial compliance with the Master Development Plan (i.e. FAR/intensity, Land Use Mix, and Design Criteria), amendment of the Master Development Plan by the Environmental Planning Commission may be required.

- B. Public Infrastructure
  - 1) The DRB shall review and approve an infrastructure list as outlined in the Master Development Plan (sheet 5 of 10).



Existing Lots Adjacent to Los Volcanes Road

**C. Traffic and Air Quality Analyses**

- 1) Conformance with Master Development Plan and Traffic/Air Quality Analysis (dated August 1992 - JHK & Associates, notes on sheet 1 of 10, and subsequent traffic/air quality analysis revisions).

Note: The following assumptions were used in preparation of the above traffic and air quality analyses:

- 1) The timing for development was assumed to be:
 

Year	Floor Area Ratio
2000	.1
2010	.2
Buildout	.3
- 2) The Traffic Study assumed the Long Range Major Street Plan network for the year 2000 and 2010.

**INFRASTRUCTURE REQUIREMENTS**

In order to obtain a Building Permit within the 1992 Atrisco Business Park Development Master Plan Area, applicants must meet with the Development Review Board (DRB) to develop an Infrastructure List which identifies the type, extent, and standards for construction of improvements. The Chairman of the DRB shall produce the Infrastructure List or a letter stating that no infrastructure is required. Approved financial guarantees for required infrastructure shall be provided to the City Of Albuquerque before issuance of a building permit. The work order process will provide for inspection and acceptance of the infrastructure by the City of Albuquerque.

The Infrastructure List will be developed in accordance with the following:

**Water and Sanitary Sewer:** Water and sanitary sewer facilities required for the proposed development of a lot shall conform to the City of Albuquerque Water and Sewer Extension Policy in effect at the time of development.

**Streets:** Where the lot is adjacent to platted streets which have not been constructed at the time the lot is to develop: One-half (1/2) or a maximum of 24' width of the permanent street section including curb, gutter and sidewalk along the full frontage of the lot and one-half (1/2) or a maximum of 24' width of the permanent street section including curb and gutter extending to the nearest paved street. In the case of Lots 1-A and 2 through 6 of Tract S-1 and Lots 5 through 9 of Tract M, of Unit 2, Atrisco Business Park adjacent to Los Volcanes Road (see map above), the first lot to develop shall require construction of one-half (1/2) or a maximum of 24' width of the permanent street section including curb and gutter from Unser Boulevard east to Airport Road. At such time that fifty-percent (50%) of these lots are developed, the City may require construction of the full permanent street section including curb and gutter from Unser east to Airport Road. Where the lot may include or is adjacent to future streets proposed in the current "Long Range Major Street Plan for the Albuquerque Urban Area": Dedication of the right-of-way for the planned street and one-half (1/2) or a maximum of 24' width of the street section including curb, gutter and sidewalk along the full frontage of the lot. If the lot fronts a street on both sides, then construction of both sides of the street to a maximum of 48' wide is required.

**Drainage:** Completion of that portion of the downstream public storm drain system defined in the 1992 Master Drainage Plan for the Atrisco Business Park and any subsequent amendments which is required to convey developed drainage from the developing lot. Where the planned storm drain system is intended to serve property upstream of the developing lot, the storm drain shall be extended to the furthest upstream boundary of the developing lot.

**LAND USE MIX**

The following land use mix will control development within the Atrisco Business Park:

	%	Acres
Light Industrial	35.0	123
Distribution Warehouse	20.0	70
Office/Admin.	22.5	78
Office/Warehouse	12.5	44
R & D/Pilot Mfg.	5.0	17
Other (Commercial)	5.0	17
	100.0%	349

Note: Variation from the above mix (greater than 15% of the acreage per land use) may require a re-assessment of the traffic and air quality analyses and possible re-analysis.

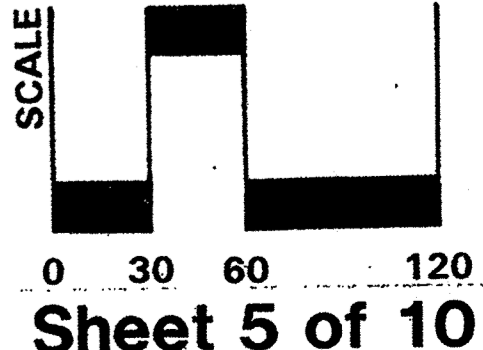
# DEVELOPMENT SKETCHES ATRISCO BUSINESS PARK

Prepared For: Sunwest Bank  
Special Assets Department  
303 Roma Avenue NW  
Albuquerque, New Mexico 87102

Prepared By: Garrett Group, Inc.  
9309 Avenida de la Luna NE  
Albuquerque, New Mexico 87111

Consensus Planning, Inc.  
610 Gold SW, Suite 216  
Albuquerque, New Mexico 87102

Easterling & Associates, Inc.  
10131 Coors Road NW, Suite H-7  
Albuquerque, New Mexico 87114









**HYDROLOGY**

**TYPICAL SITE HYDROLOGY**

CONDITION	AREA (AC.)	LAND TREATMENT TYPE (%)				Q <sub>10</sub> (CFS)	Q <sub>100</sub> (CFS)	V <sub>10</sub> (AC-FT)	V <sub>100</sub> (AC-FT)	MAX. ALLOWABLE DISCHARGE (CFS)	APPROX. POND VOLUME* REQUIRED (AC-FT)
		A	B	C	D						
UNDEVELOPED	10.0	100	0	0	0	2.3	12.9	0.07	0.37	1.00	
DEVELOPED	10.0	0	15	10	75	23.8	38.1	0.82	1.68	1.00	1.25
UNDEVELOPED	2.5	100	0	0	0	0.6	3.2	0.17	0.09	0.25	
DEVELOPED	2.5	0	15	10	75	6.0	9.5	0.21	0.42	0.25	0.4

\*POND VOLUME PER AHYMO 100 YEAR 24 HOUR STORM ROUTING. DUE TO SMALL OUTLET SIZE, POND IS NOT COMPLETELY EVACUATED IN 24 HOURS. POND VOLUME CHECKED FOR ADEQUACY IN THE 10 DAY 100 YEAR STORM AS FOLLOWS:

**TYPICAL 10 ACRE SITE**

POND VOLUME REQUIRED PER 24 HOUR STORM ROUTING = 1.25 AC.FT.  
 VOLUME REMAINING IN POND AT END OF 24 HOURS = 0.29 AC.FT.  
 $\Delta V$  24 HOUR - 10 DAY STORM =  $((3.67 - 2.66) + 12) \times (10.0 \times 0.75) = 0.63$  AC.FT.  
 $0.29 + 0.63 = 0.92$  AC.FT. < 1.25 AC.FT.

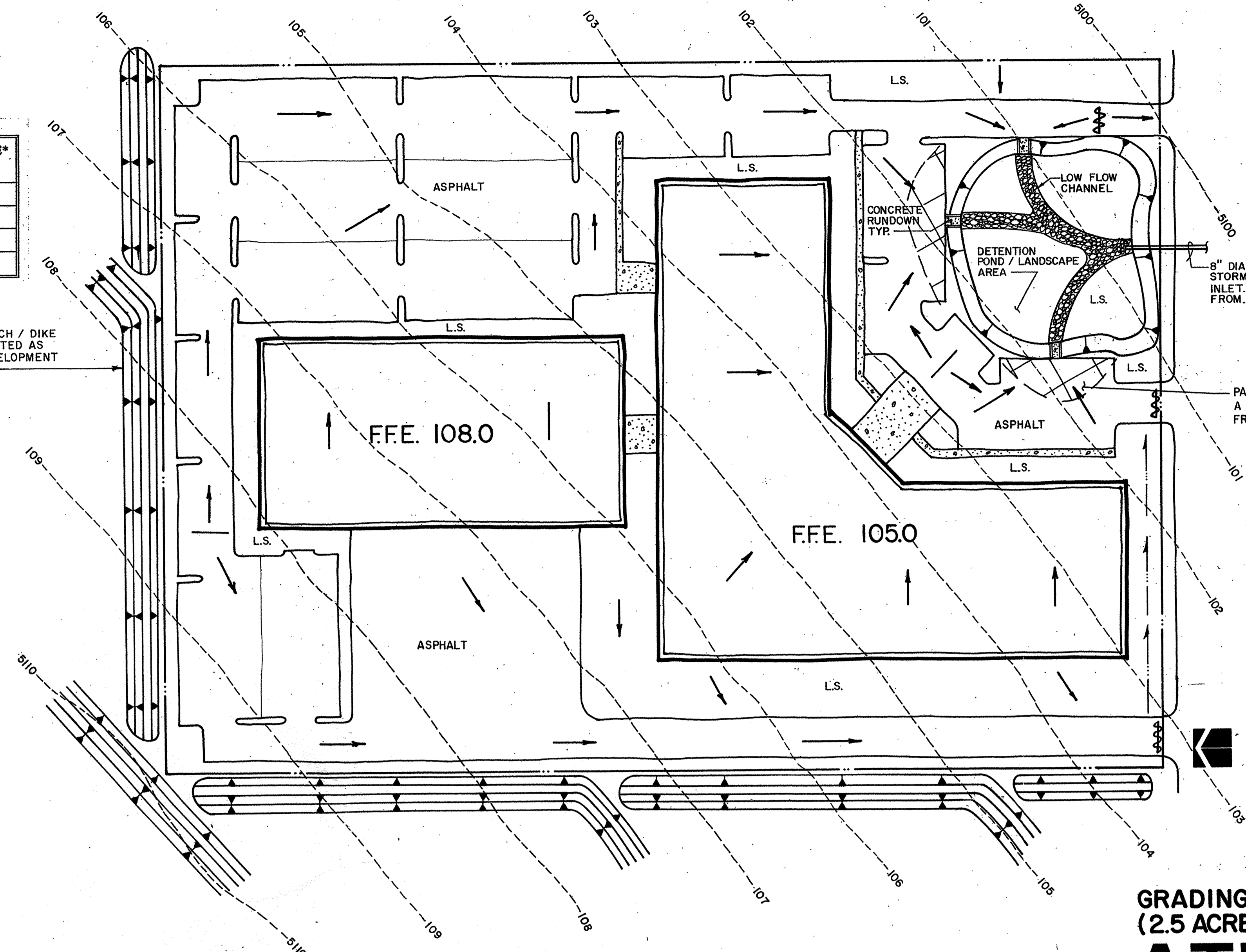
CONCLUSION: AT THE END OF THE 24 HOUR STORM, THE POND HAS ENOUGH VOLUME AVAILABLE TO POND THE ADDITIONAL VOLUME OF THE 10 DAY STORM. SIZE POND FOR 100 YEAR 24 HOUR STORM.

**TYPICAL 2.5 ACRE SITE**

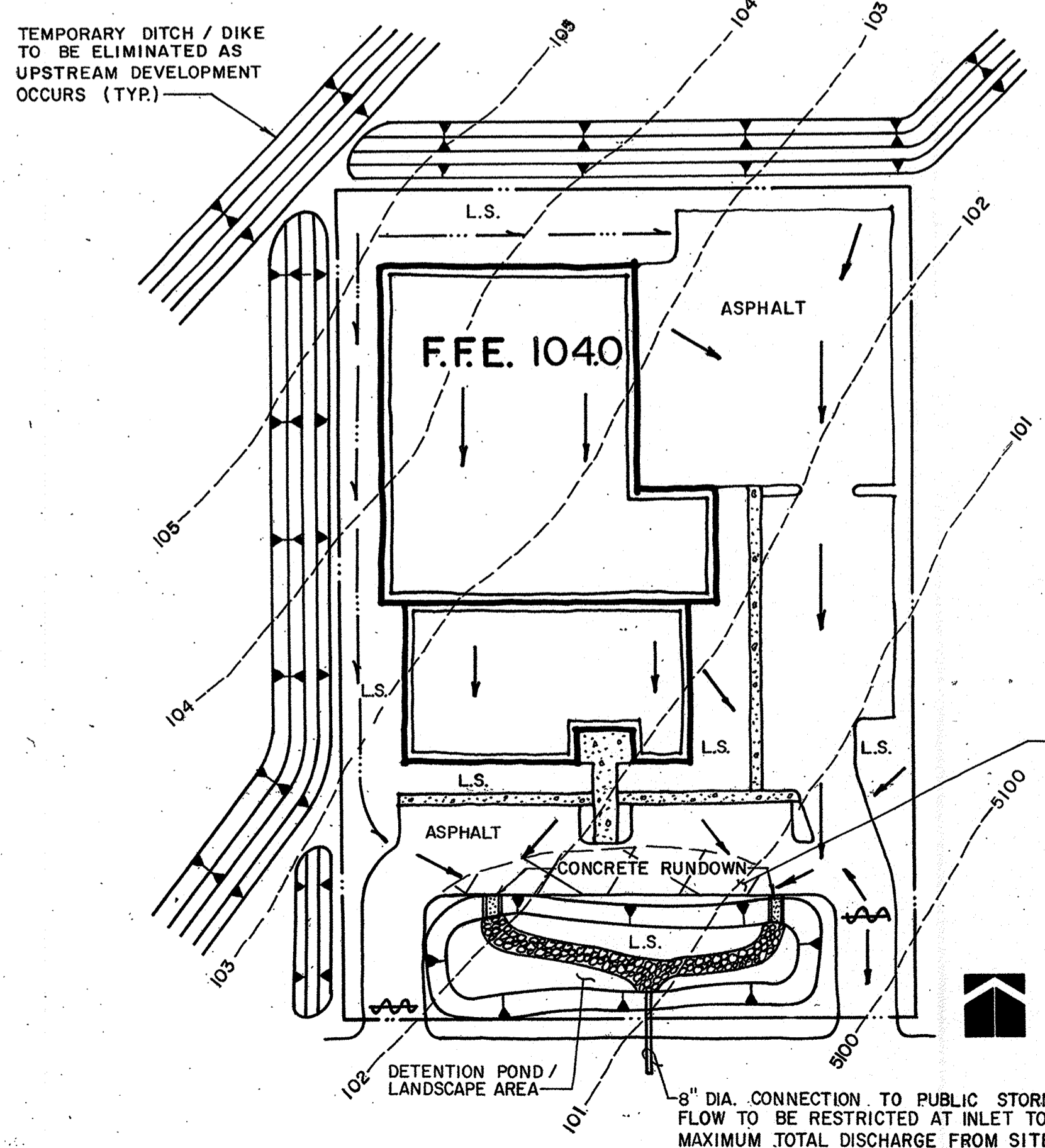
POND VOLUME REQUIRED PER 24 HOUR STORM ROUTING = 0.4 AC.FT.  
 VOLUME REMAINING IN POND AT END OF 24 HOURS = 0.08 AC.FT.  
 $\Delta V$  24 HOUR - 10 DAY STORM =  $((3.67 - 2.66) + 12) \times (2.5 \times 0.75) = 0.16$  AC.FT.  
 $0.08 + 0.16 = 0.24$  AC.FT. < 0.4 AC.FT.

CONCLUSION: AT THE END OF THE 24 HOUR STORM, THE POND HAS ENOUGH VOLUME AVAILABLE TO POND THE ADDITIONAL VOLUME OF THE 10 DAY STORM. SIZE POND FOR 100 YEAR 24 HOUR STORM.

TEMPORARY DITCH / DIKE TO BE ELIMINATED AS UPSTREAM DEVELOPMENT OCCURS (TYP.)



**TYPICAL 10 ACRE SITE**



**TYPICAL 2 1/2 ACRE SITE**

**NOTES**

- THE MAXIMUM ALLOWABLE DISCHARGE RATES SHOWN ON THIS SHEET APPLY TO ALL LOTS LOCATED EAST OF UNSER BOULEVARD EXCEPT PARCEL A-1, UNIT 2. THE MAXIMUM ALLOWABLE DISCHARGE RATE FOR LOTS LOCATED WEST OF UNSER BOULEVARD AND PARCEL A-1 SHALL BE AS STATED IN THE "1992 MASTER DRAINAGE PLAN REPORT FOR ATRISCO BUSINESS PARK."
- THE MAXIMUM ALLOWABLE STORM WATER DISCHARGE RATES FROM SITES EAST OF UNSER BOULEVARD EXCEPT PARCEL A-1, UNIT 2, AS NOTED ABOVE, SHALL BE LIMITED TO THE FOLLOWING:
  - 0.1 CFS PER ACRE EXCEPT AS PROVIDED BELOW.
  - SMALL AREAS OF THE SITE MAY DISCHARGE UNCONTROLLED TO THE STREET WHERE REQUIRED TO FACILITATE GRADING.
  - THE TOTAL AREA ALLOWED UNCONTROLLED DISCHARGE FROM THE SITE SHALL NOT BE LARGER THAN AN EQUIVALENT AREA 10 FEET WIDE ALONG THE TOTAL STREET FRONTAGE OF THE SITE.
  - IMPERVIOUS AREAS ALLOWED UNCONTROLLED DISCHARGE TO THE STREET SHALL NOT BE LARGER THAN AN EQUIVALENT AREA TWO FEET WIDE ALONG THE TOTAL STREET FRONTAGE OF THE SITE.
  - THE UNCONTROLLED DISCHARGE FROM THE SMALL AREAS DEFINED ABOVE SHALL NOT BE CONSIDERED A PART OF THE 0.1 CFS ALLOWABLE DISCHARGE FROM THE SITE.
- POND AREAS OUTSIDE OF THE PARKING AREAS SHALL BE FULLY LANDSCAPED. A MINIMUM OF 85% OF THE SURFACE AREA OF THE POND AREA SHALL CONSIST OF PERVIOUS GROUND TREATMENTS. BARK OR OTHER LANDSCAPE MATERIALS WHICH ARE PRONE TO FLOAT UNDER SUBMERGED CONDITIONS SHALL NOT BE ALLOWED AS A SURFACE TREATMENT MATERIAL WITHIN THE LIMITS OF POND AREAS.
- LOW FLOW CHANNELS SHALL CONNECT ALL INLETS TO THE OUTLET IN THE DETENTION POND(S). LOW FLOW CHANNELS SHALL BE CONSTRUCTED WITH DURABLE, EROSION RESISTANT MATERIALS WHICH FACILITATE LONG TERM MAINTENANCE OF THE POND AREA.

**LEGEND**

DESCRIPTION	NEW	EXISTING
CONTOURS	5094	5094
SPOT ELEVATIONS	5088	5088
DRAINAGE AREA BOUNDARY	(Symbol)	(Symbol)
DRAINAGE DIVIDE	(Symbol)	(Symbol)
WATER BLOCK	(Symbol)	(Symbol)
DIRECTION OF FLOW	(Symbol)	(Symbol)
ASPHALT PAVING	ASPHALT	ASPHALT
LANDSCAPING	L.S.	L.S.
CONCRETE	CONCRETE	CONCRETE
SWALE	(Symbol)	(Symbol)
PROPERTY LINE	(Symbol)	(Symbol)

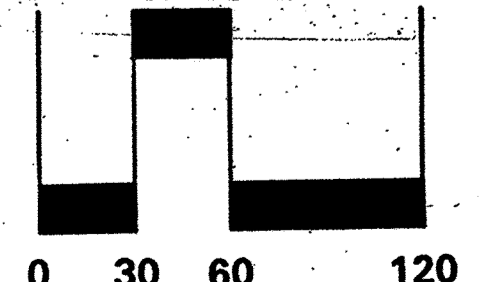
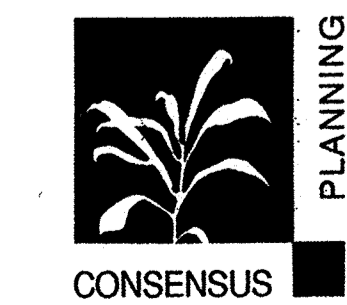
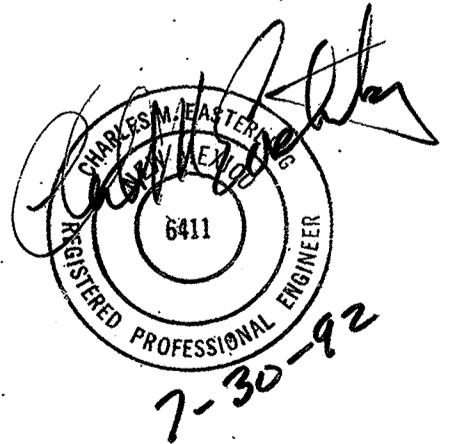
**CONCEPTUAL GRADING AND DRAINAGE PLAN (2.5 ACRE AND 10 ACRE SITES)**  
**ATRISCO BUSINESS PARK**

Prepared For: Sunwest Bank  
 Special Assets Department  
 303 Roma Avenue NW  
 Albuquerque, New Mexico 87102

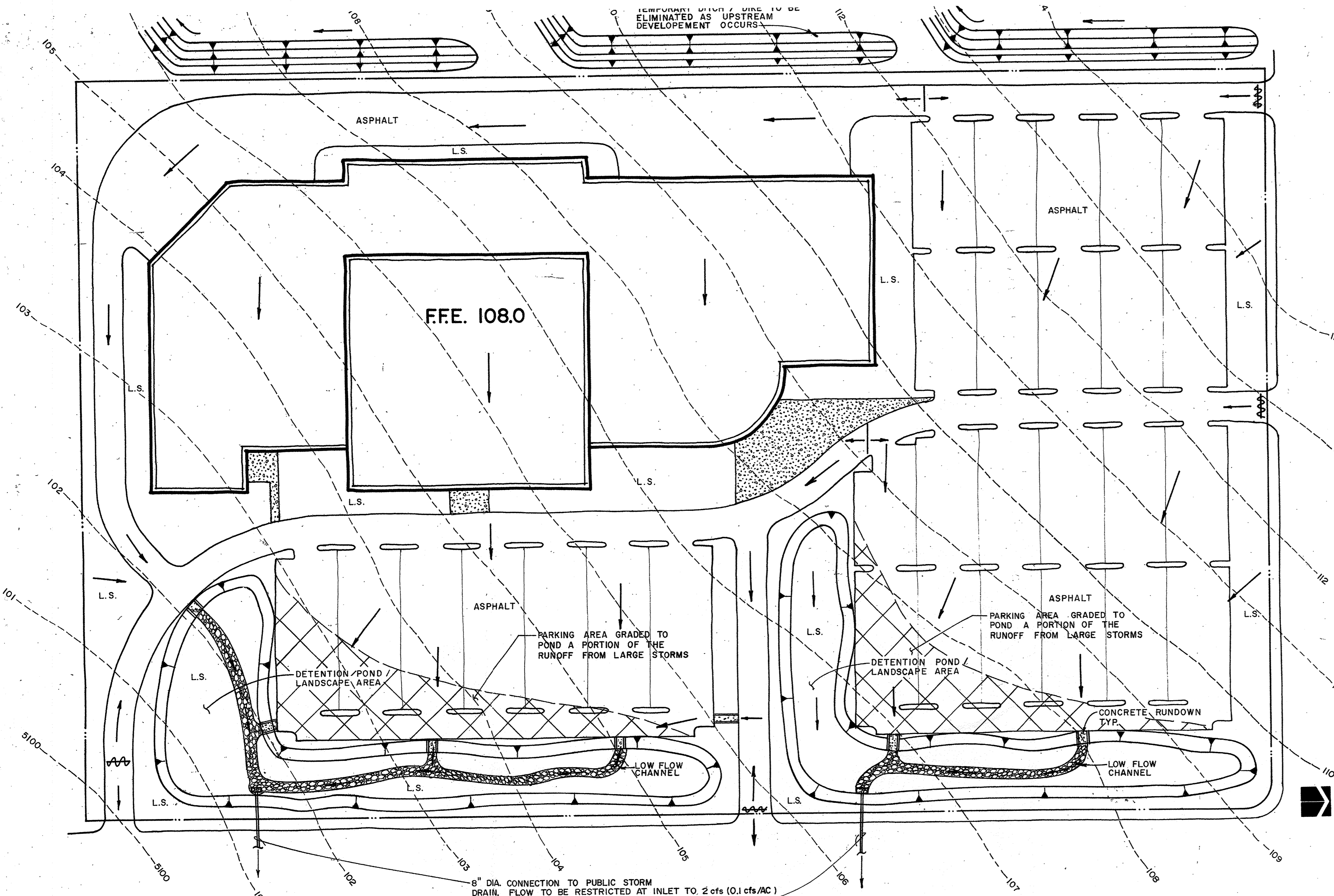
Prepared By: Garrett Group, Inc.  
 9309 Avenida de la Luna NE  
 Albuquerque, New Mexico 87111

Consensus Planning, Inc.  
 610 Gold SW, Suite 216  
 Albuquerque, New Mexico 87102

Easterling & Associates, Inc.  
 10131 Coors Road NW, Suite H-7  
 Albuquerque, New Mexico 87114



DATE: JULY, 1992



TYPICAL 20 ACRE SITE

NOTES

1. THE MAXIMUM ALLOWABLE DISCHARGE RATES SHOWN ON THIS SHEET APPLY TO ALL LOTS LOCATED EAST OF UNSER BOULEVARD EXCEPT PARCEL A-1, UNIT 2. THE MAXIMUM ALLOWABLE DISCHARGE RATE FOR LOTS LOCATED WEST OF UNSER BOULEVARD AND PARCEL A-1 SHALL BE AS STATED IN THE "1992 MASTER DRAINAGE PLAN REPORT FOR ATRISCO BUSINESS PARK."
2. THE MAXIMUM ALLOWABLE 100 YEAR STORM WATER DISCHARGE RATES FROM LOTS EAST OF UNSER BOULEVARD EXCEPT PARCEL A-1, UNIT 2, AS NOTED ABOVE, SHALL BE LIMITED TO THE FOLLOWING:
  - 0.1 CFS PER ACRE EXCEPT AS PROVIDED BELOW.
  - SMALL AREAS OF LOTS LOCATED ON THE UPHILL SIDE OF A STREET MAY DISCHARGE UNCONTROLLED TO THE STREET WHERE REQUIRED TO FACILITATE GRADING. THIS PROVISION IS SUBJECT TO THE FOLLOWING CRITERIA.
    - THE TOTAL AREA ALLOWED UNCONTROLLED DISCHARGE FROM THE LOT SHALL NOT BE LARGER THAN AN EQUIVALENT AREA 10 FEET WIDE ALONG THE TOTAL STREET FRONTAGE OF THE LOT.
    - IMPERVIOUS AREAS ALLOWED UNCONTROLLED DISCHARGE TO THE STREET SHALL NOT BE LARGER THAN AN EQUIVALENT AREA TWO FEET WIDE ALONG THE TOTAL STREET FRONTAGE OF THE LOT.
    - THE UNCONTROLLED DISCHARGE FROM THE SMALL AREAS DEFINED ABOVE SHALL NOT BE CONSIDERED A PART OF THE 0.1 CFS ALLOWABLE DISCHARGE FROM THE LOT.
3. POND AREAS OUTSIDE OF THE PARKING AREAS SHALL BE FULLY LANDSCAPED. A MINIMUM OF 85% OF THE SURFACE AREA OF THE POND AREA SHALL CONSIST OF PERVIOUS GROUND TREATMENTS. BARK OR OTHER LANDSCAPE MATERIALS WHICH ARE PRONE TO FLOAT UNDER SUBMERGED CONDITIONS SHALL NOT BE ALLOWED AS A SURFACE TREATMENT MATERIAL WITHIN THE LIMITS OF POND AREAS.
4. LOW FLOW CHANNELS SHALL CONNECT ALL INLETS TO THE OUTLET IN THE DETENTION POND(S). LOW FLOW CHANNELS SHALL BE CONSTRUCTED WITH DURABLE, EROSION RESISTANT MATERIALS WHICH FACILITATE LONG TERM MAINTENANCE OF THE POND AREA.

CONCEPTUAL GRADING AND DRAINAGE PLAN (20 ACRE SITE)

# ATRISCO BUSINESS PARK

HYDROLOGY

TYPICAL SITE HYDROLOGY

CONDITION	AREA (AC.)	LAND TREATMENT TYPE (%)				Q <sub>10</sub> (CFS)	Q <sub>100</sub> (CFS)	V <sub>10</sub> (AC-FT)	V <sub>100</sub> (AC-FT)	MAX. ALLOWABLE DISCHARGE (CFS)	APPROX. POND VOLUME* REQUIRED (AC-FT)
		A	B	C	D						
UNDEVELOPED	20.0	100	0	0	0	4.7	25.7	0.13	0.73	2.0	
DEVELOPED	20.0	0	15	10	75	47.6	76.2	1.64	3.36	2.0	2.5

\*POND VOLUME PER AHYMO 100 YEAR 24 HOUR STORM ROUTING. DUE TO SMALL OUTLET SIZE, POND IS NOT COMPLETELY EVACUATED IN 24 HOURS. POND VOLUME CHECKED FOR ADEQUACY IN THE 10 DAY 100 YEAR STORM AS FOLLOWS:

TYPICAL 20 ACRE SITE

POND VOLUME REQUIRED PER 24 HOUR STORM ROUTING = 2.5 AC. FT.  
 VOLUME REMAINING IN POND AT END OF 24 HOURS = 0.62 AC. FT.  
 $\Delta V$  24 HOUR - 10 DAY STORM =  $(3.67 - 2.68) + 12)(20.0 \times 0.75) = 1.26$  AC. FT.  
 $0.62 + 1.26 = 1.88$  AC. FT. < 2.5 AC. FT.

CONCLUSION: AT THE END OF THE 24 HOUR STORM, THE POND HAS ENOUGH VOLUME AVAILABLE TO POND THE ADDITIONAL VOLUME OF THE 10 DAY STORM. SIZE POND FOR 100 YEAR 24 HOUR STORM.

LEGEND

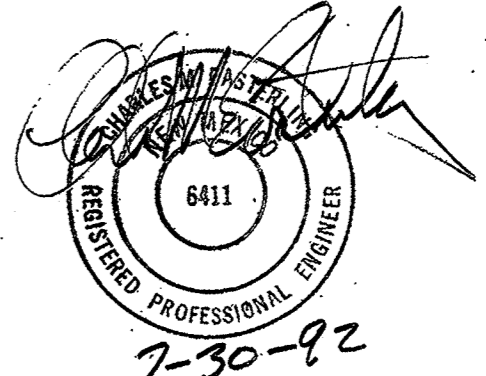
DESCRIPTION	NEW	EXISTING
CONTOURS	5094	5094
SPOT ELEVATIONS	5088	5088
DRAINAGE AREA BOUNDARY	[Symbol]	[Symbol]
DRAINAGE DIVIDE	[Symbol]	[Symbol]
WATER BLOCK	[Symbol]	[Symbol]
DIRECTION OF FLOW	[Symbol]	[Symbol]
ASPHALT PAVING	[Symbol]	[Symbol]
LANDSCAPING	[Symbol]	[Symbol]
CONCRETE	[Symbol]	[Symbol]
SWALE	[Symbol]	[Symbol]
PROPERTY LINE	[Symbol]	[Symbol]

Prepared For:

Sunwest Bank  
 Special Assets Department  
 303 Roma Avenue NW  
 Albuquerque, New Mexico 87102

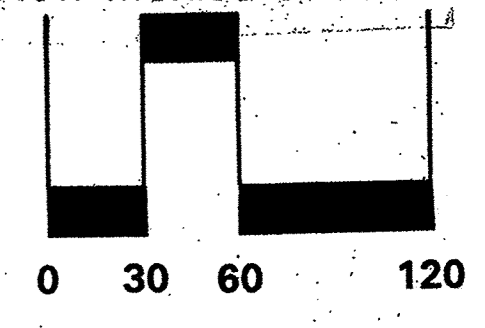
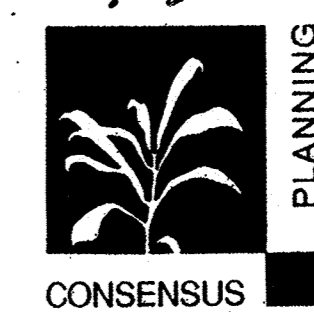
Prepared By:

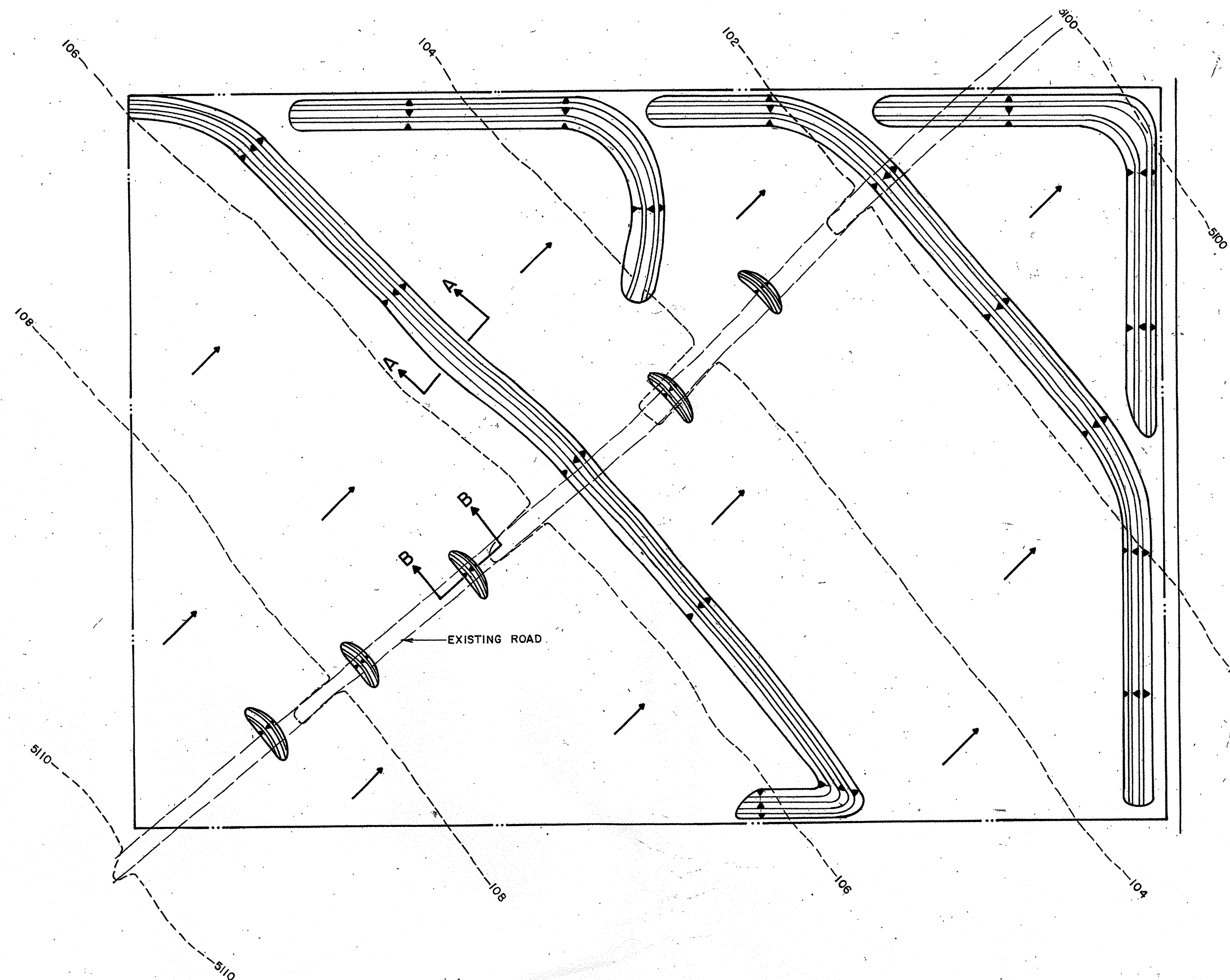
Garrett Group, Inc.  
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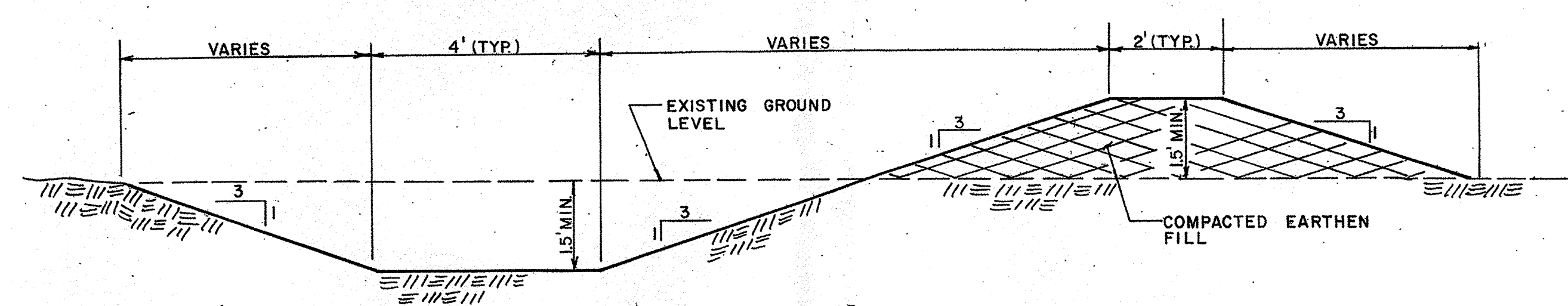
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 Albuquerque, New Mexico 87114

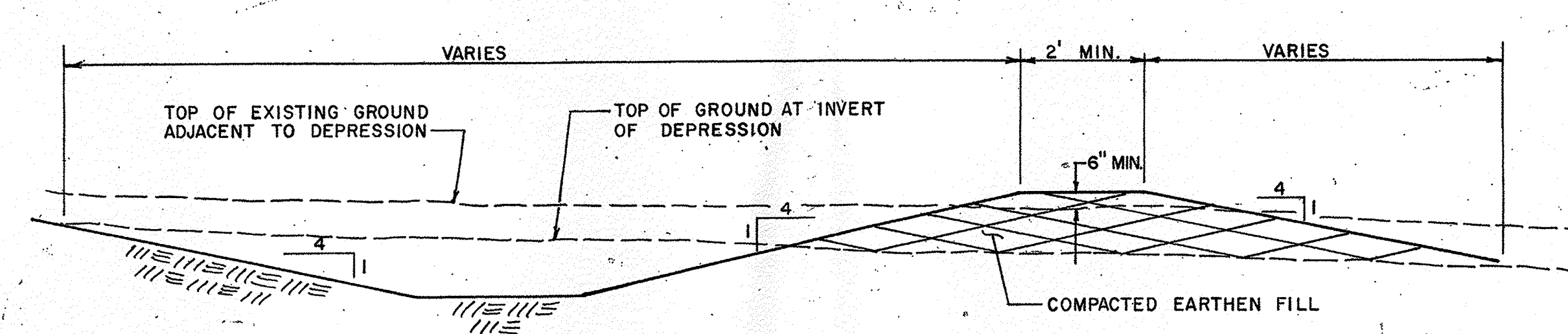




TYPICAL 10 ACRE SITE



DITCH / DIKE RETENTION STRUCTURE SECTION A-A  
SCALE: 1" = 2'



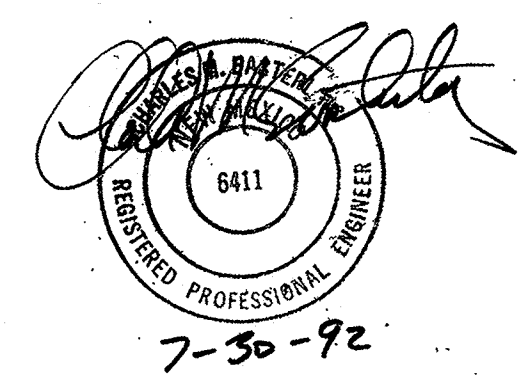
ROAD AND GULLY PLUG SECTION B-B  
SCALE: 1" = 2'

CONCEPTUAL  
GRADING AND DRAINAGE PLAN  
(INTERIM CONDITIONS)

# ATRISCO BUSINESS PARK

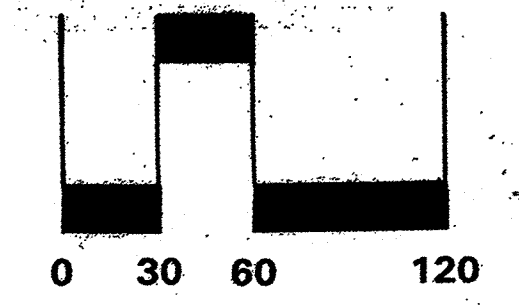
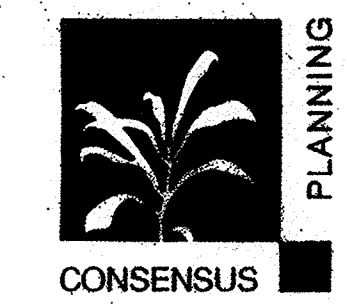
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Special Assets Department  
303 Roma Avenue NW  
Albuquerque, New Mexico 87102

Prepared By: Garrett Group, Inc.  
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10131 Coors Road NW, Suite H-7  
Albuquerque, New Mexico 87114



DATE: JULY, 1992

**INFRASTRUCTURE IMPROVEMENTS AGREEMENT**  
**(Procedure B-No Work Order)**

**AGREEMENT TO CONSTRUCT**  
**PUBLIC AND/OR PRIVATE INFRASTRUCTURE IMPROVEMENTS**

**Project Name:** Ray's Flooring Tenant Addition  
**Project Number:** 578088

THIS AGREEMENT is made upon the date of the latest signature below, by and between the City of Albuquerque, New Mexico ("City"), whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and **GDCLV, LLC** ("Developer"), a **New Mexico Limited Liability Corporation**, whose email address is **martin@raysflooring.com**, whose address is **7401 Los Volcanes Rd NW**(Street or PO Box) **Albuquerque, New Mexico** (City, State), **87121** (Zip Code) and whose telephone number is **505-883-1967**, in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. **Recital**. The Developer is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] **Lot 2, Tract S-1 of Unit 2, Atrisco Business Park** recorded on **September 12, 1973**, **Book D5, Page 181** in the records of the Bernalillo County Clerk, State of New Mexico (the "Developer's Property"). The Developer certifies that the Developer's Property is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title for the Developer's Property to the present owner:] GDCLV, LLC ("Owner").

The Developer has submitted, and the City has approved a preliminary plat identified as **Plat for Lots 2-A, 2-B, and 2-C, Tract S-1, Atrisco Business Park, Unit 2** describing Developer's Property ("Developer's Property").

As a result of the development of the Developer's Property, the Integrated Development Ordinance ("I.D.O.") requires the Developer, at no cost to the City, to install certain public and/or private improvements, which are reasonably related to the development of the Developer's Property, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat, building permit or the Site Plan.

2. **Improvements and Construction Deadline**. The Developer agrees to install and complete the public and/or private improvements described in **Exhibit A**, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the Construction Completion Deadline as shown in paragraph 6 at no cost to the City. Although the Improvements are required, they are below the thresh hold level to be governed by the Work Order process. Permits are to be obtained from the Municipal Development Department Construction Services Division for work in the City Right-of-Way.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Developer meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See DPM, Chapter 5.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be



no later than one year after approval of the preliminary plat by the City's Development Review Board ("DRB"), unless the DRB grants an extension, not to exceed one additional year per extension, and the Developer processes an amendment to the Agreement. If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Developer may obtain an extension of the Construction Completion Deadline if the Developer shows adequate reason for the extension.

3. Albuquerque Bernalillo County Water Utility Authority. Pursuant to the Memorandum of Understanding between the City of Albuquerque and the Albuquerque Bernalillo County Water Utility Authority ("ABCWUA") dated March 21, 2007, the City is authorized to act on behalf of the ABCWUA with respect to improvements that involve water and sewer infrastructure.

4. The Developer agrees to comply with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pay the staking fees, testing fees, and other related City fees required for work in the City ROW.

5. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the Improvements shall be performed by New Mexico Registered Surveyor. The City may monitor the construction surveying and the Developer shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey.

B. Construction Inspection Methods. Inspection of the construction of the Improvements shall be performed by a New Mexico Registered Professional Engineer with the ability to make in-person observations of the improvements. The City may monitor the inspection and the Developer shall ensure that the inspecting entity provides all inspection results, reports, and related data as required for project close out and a Certification of Substantial Compliance for the project to the City, which the City requires for review and approval. The City retains the right to perform its own general overall inspection of the construction project at any time prior to/and including final acceptance of the Improvements.

C. Field Testing. Field testing of the construction of the Improvements shall be performed by a certified testing laboratory under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. The City may monitor the field testing and the Developer shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review.

D. Additional Testing. The City retains the right to request additional testing

which the City Engineer deems is necessary or advisable, and the Developer shall pay the cost for the additional testing.

6. Financial Guaranty. If final plat approval is not requested prior to construction of the Developer's Property, a financial guaranty is not required. If final plat approval is requested, the Developer must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit, or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the City's I.D.O. requirements, the Developer has acquired, or is able to acquire, the following Financial Guaranty:

Type of Financial Guaranty: INFRASTRUCTURE IMPROVEMENT BOND  
Amount:  
\$ 395,111.28  
Name of Financial Institution or Surety providing Guaranty:  
Western Surety Company  
Date City first able to call Guaranty (Construction Completion Deadline): July 21, 2025  
If Guaranty is a Letter of Credit or Loan Reserve, then last day City able to call Guaranty is: \_\_\_\_\_  
Additional information: \_\_\_\_\_

7. Notice of Start of Construction. Before construction begins, the Developer shall arrange for a preconstruction conference and all required inspections.

8. Completion, Acceptance and Termination. When the City receives Developer's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Chapter 2). If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the Public Improvements and a Certificate of Completion for the Private Improvements. Thereafter, the Developer's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Developer has provided to assure the materials and workmanship, as required by the I.D.O. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.

9. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon, or in which, the public Improvements are constructed, the Developer will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat.

10. Reduction of Financial Guaranty Upon Partial Completion. The Developer shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Developer must follow the procedures and meet the requirements detailed in the DPM, Chapter 2.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guaranty other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed, and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the Developer must submit the following documents to the City for review and approval:

(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the I.D.O.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

11. Indemnification. Until the Improvements are accepted by the City, the Developer shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Developer agrees to indemnify and hold harmless the City and its officials, agents and employees and, if the Improvements include water and wastewater infrastructure, the ABCWUA, its employees, officers and agents, from any claims, actions, suits or other proceedings arising from or out of the acts or omissions of the Developer, its agents, representatives, contractors or subcontractors or arising from the failure of the Developer, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Developer herein. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

12. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Developer and the express written concurrence of any financial institution or

surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

13. Release. If the Developer's Property or any part thereof is sold, conveyed or assigned, the City will not release the Developer from its obligations under this Agreement and will continue to hold the Developer responsible for all Improvements until a successor in interest to the Developer has entered into an Infrastructure Improvement Agreement with the City. Thereafter, if the Developer's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

14. Payment for Incomplete Improvements. If the Developer fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Developer shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to, engineering, legal, and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Developer's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Developer shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

15. Binding on Developer's Property. The provisions of this Agreement constitute covenants running with Developer's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Developer and the Owner and their heirs, successors and assigns.

16. Notice. For purposes of giving formal written notice, including notice of change of address, the Developer's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six (6) days after the notice is mailed if there is no actual evidence of receipt.

17. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

18. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

19. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

20. Captions. The captions to the sections or paragraphs of this Agreement are not part of this



Agreement and will not affect the meaning or construction of any of its provisions.

21. Form Not Changed. Developer agrees that changes to this form are not binding unless initialed by the Developer and signed by the City Legal Department on this form.

22. Authority to Execute. If the Developer signing below is not the Owner of the Developer's Property, the Owner must execute the Power of Attorney below.

DEVELOPER:

By [Signature]: *Martin Lucero*

Name [Print]: Martin Lucero

Title: Member

Dated: 6.13.23

DEVELOPER'S NOTARY

STATE OF NM)

) ss.

COUNTY OF Bernalillo)

This instrument was acknowledged before me on this 13 day of July, 2023, by [name of person:] Martin Lucero, [title or capacity, for instance, "President" or "Owner":] Member of [Developer:] GOCLV, LLC.

(SEAL)

*Sally Rizzieri*  
Notary Public

My Commission Expires: 08/30/2025

**State of New Mexico  
Notary Public  
Sally Rizzieri  
Commission Number 1102855  
Commission Expires August 30, 2025**

CITY OF ALBUQUERQUE

DS  
KV

DocuSigned by:  
By: Shahab Biazar  
Shahab Biazar, P.E., City Engineer

DS  
BMR

Agreement is effective as of (Date): 7/21/2023 | 10:19 AM MDT

CITY'S NOTARY

STATE OF NEW MEXICO            )  
  ) ss.  
COUNTY OF BERNALILLO        )

This instrument was acknowledged before me on this 21<sup>st</sup> day of July, 2023, by Shahab Biazar, P.E., City Engineer of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

Rachael D Miranda  
Notary Public

STATE OF NEW MEXICO  
NOTARY PUBLIC  
Rachael Miranda  
Commission No. 1119740  
November 09, 2025

My Commission Expires: 11-9-2025

[EXHIBIT A ATTACHED]  
[POWER OF ATTORNEY ATTACHED IF DEVELOPER  
IS NOT THE OWNER OF THE DEVELOPER'S PROPERTY]

**INFRASTRUCTURE BOND  
(Procedure B)**

Bond No. 30183661

**INFRASTRUCTURE IMPROVEMENT BOND**

KNOW ALL PERSONS BY THESE PRESENTS: That we GDCLV, LLC ("Developer") a New Mexico Limited Liability Corporation as "Principal", and Western Surety Company, a corporation organized and existing under and by virtue of the laws of the State of South Dakota and authorized to do business in the State of New Mexico, as "Surety," are held and firmly bound unto the CITY OF ALBUQUERQUE in the penal sum of Three Hundred Ninety Five Thousand – One Hundred Eleven Dollars and Twenty Eight Cents \_\_\_\_\_, (\$ 395,111.28), as amended by change orders approved by the Surety or changes to the infrastructure list approved by the City Development Review Board, the payment of which is well and truly to be made, and each of us bind ourselves, our and each of our heirs, executors, administrators, successors and assigns, jointly and severally, and firmly by these presents.

NOW, THEREFORE, the condition of the above obligation is such that:

WHEREAS, the Principal is the owner of and/or is interested in or is developing land and premises known as Rays Flooring Tenant Addition ("Developer's Property"), City Project No. 578088; and

WHEREAS, said Developer's Property is subject to the provisions and conditions of the ordinance of the CITY OF ALBUQUERQUE known as the Integrated Development Ordinance, the requirements of which include the installation of various other improvements by the Principal; and

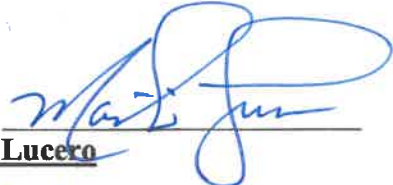
WHEREAS, the Integrated Development Ordinance also requires the Principal to install and construct the following improvements at the Developer's Property: [list the improvements, e.g., water, sewer, pavement, sidewalks:]  
New water and sanitary sewer mains on-site and new sidewalk along Los Volcanes ("Improvements")

All construction shall be performed in accordance with the Agreement to Construct Public and/or Private Infrastructure Improvements Agreement entered into between GDCLV, LLC and the CITY OF ALBUQUERQUE, as recorded in the office of the Clerk of Bernalillo County, New Mexico, on September 12, 1973 as Document Number Book D5, Page 181, as amended by change order or amendments to the agreement.

NOW, THEREFORE, if the Principal completes construction of the Improvements and facilities and performs the work hereinabove specified to be performed, all on or before [Construction Completion Deadline established in Agreement or as amended:] July 21, 2025 ("the "Construction Completion Deadline"), then this obligation shall be null and void; if the Principal does not complete construction by or before the Construction Completion Deadline, the City may call on this obligation until released by the City.


IN WITNESS WHEREOF, this bond has been executed 21st day of July, 2023.

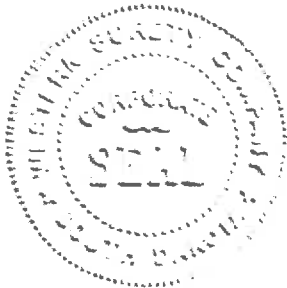
**DEVELOPER**

By [signature:]   
Name: **Martin Lucero**  
Title: **Member**  
Dated: 7/21/23

**SURETY**

**Western Surety Company**

By   
Name: **Michael J. Mesenbrink**  
Title: **Attorney-in-Fact**  
Dated: **July 21, 2023**

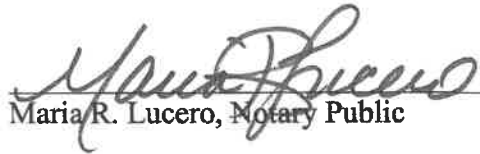


\*NOTE: Power of Attorney for Surety must be attached.

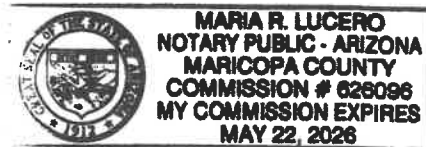
SURETY ACKNOWLEDGMENT:

STATE OF ARIZONA )  
COUNTY OF MARICOPA )

On this 21st day of July, 2023, before me personally came Michael J. Mesenbrink, to me known to be the person described in and, who, being by me, did depose and say that he resides in Scottsdale, Arizona; that he is the Attorney-in-Fact of Western Surety Company, the corporation described in and which executed the attached instrument; that he knows the corporate seal of the said corporation; that the seal affixed to the said instrument is such corporate seal; and that it was so affixed by order of the Board of Directors of the said corporation; and that he signed his name there by like order.

  
Maria R. Lucero, Notary Public

My commission expires: May 22, 2026



(Notary Seal)

# Western Surety Company

## POWER OF ATTORNEY APPOINTING INDIVIDUAL ATTORNEY-IN-FACT

Know All Men By These Presents, That WESTERN SURETY COMPANY, a South Dakota corporation, is a duly organized and existing corporation having its principal office in the City of Sioux Falls, and State of South Dakota, and that it does by virtue of the signature and seal herein affixed hereby make, constitute and appoint

**Jeanette C Griswold, Michael J Mesenbrink, Heather J Perrin, Jeri Lynn Thompson, Margie Wager, Individually**

of Scottsdale, AZ, its true and lawful Attorney(s)-in-Fact with full power and authority hereby conferred to sign, seal and execute for and on its behalf bonds, undertakings and other obligatory instruments of similar nature

### - In Unlimited Amounts -

and to bind it thereby as fully and to the same extent as if such instruments were signed by a duly authorized officer of the corporation and all the acts of said Attorney, pursuant to the authority hereby given, are hereby ratified and confirmed.

This Power of Attorney is made and executed pursuant to and by authority of the By-Law printed on the reverse hereof, duly adopted, as indicated, by the shareholders of the corporation.

In Witness Whereof, WESTERN SURETY COMPANY has caused these presents to be signed by its Vice President and its corporate seal to be hereto affixed on this 9th day of February, 2023.



WESTERN SURETY COMPANY

*Paul T. Brufat*

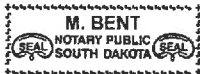
Paul T. Brufat, Vice President

State of South Dakota }  
County of Minnehaha } ss

On this 9th day of February, 2023, before me personally came Paul T. Brufat, to me known, who, being by me duly sworn, did depose and say: that he resides in the City of Sioux Falls, State of South Dakota; that he is the Vice President of WESTERN SURETY COMPANY described in and which executed the above instrument; that he knows the seal of said corporation; that the seal affixed to the said instrument is such corporate seal; that it was so affixed pursuant to authority given by the Board of Directors of said corporation and that he signed his name thereto pursuant to like authority, and acknowledges same to be the act and deed of said corporation.

My commission expires

March 2, 2026



*M. Bent*

M. Bent, Notary Public

### CERTIFICATE

I, L. Nelson, Assistant Secretary of WESTERN SURETY COMPANY do hereby certify that the Power of Attorney hereinabove set forth is still in force, and further certify that the By-Law of the corporation printed on the reverse hereof is still in force. In testimony whereof I have hereunto subscribed my name and affixed the seal of the said corporation this 21<sup>st</sup> day of July, 2023.



WESTERN SURETY COMPANY

*L. Nelson*

L. Nelson, Assistant Secretary

Form F4280-2-2012

Go to [www.cnasurety.com](http://www.cnasurety.com) > Owner / Oblige Services > Validate Bond Coverage, if you want to verify bond authenticity.

**Authorizing By-Law**

**ADOPTED BY THE SHAREHOLDERS OF WESTERN SURETY COMPANY**

This Power of Attorney is made and executed pursuant to and by authority of the following By-Law duly adopted by the shareholders of the Company.

Section 7. All bonds, policies, undertakings, Powers of Attorney, or other obligations of the corporation shall be executed in the corporate name of the Company by the President, Secretary, and Assistant Secretary, Treasurer, or any Vice President, or by such other officers as the Board of Directors may authorize. The President, any Vice President, Secretary, any Assistant Secretary, or the Treasurer may appoint Attorneys in Fact or agents who shall have authority to issue bonds, policies, or undertakings in the name of the Company. The corporate seal is not necessary for the validity of any bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation. The signature of any such officer and the corporate seal may be printed by facsimile.

# CITY OF ALBUQUERQUE



## FINANCIAL GUARANTY AMOUNT

July 3, 2023

Type of Estimate: I.I.A. Procedure B Non Work Order with Financial Guaranty

Project Description:

Project ID #: 578088 Ray's Floor Tenant Addition

Requested By: Jeff Wooten

Approved Estimate Amount: \$ 245,852.00

Contingency Amount: 10.00% \$ 24,585.20

Subtotal: \$ 270,437.20

PO Box 1293

NMGRT: 7.625% \$ 20,620.84

Subtotal: \$ 291,058.04

Albuquerque

Engineering Fee: 6.60% \$ 19,209.83

New Mexico 87103

Testing Fee: 2.00% \$ 5,821.16

Subtotal: \$ 316,089.03

www.cabq.gov

FINANCIAL GUARANTY RATE: 1.25

TOTAL FINANCIAL GUARANTY REQUIRED: \$ 395,111.28

APPROVAL:

  
\_\_\_\_\_

DATE:

  
\_\_\_\_\_

Notes: Plans not yet approved.



**Engineers Bid Tab List  
Ray's Flooring Tenant Addition  
City Project Number 578088**

6	7	8		9	10	11	12
Item No.	Short Description	Estimated Unit Price	Unit	Estimated Quantity	Estimated Amount	As-Built Quantity	As-Built Amount
<b>A. PAVING IMPROVEMENTS</b>							
340.010	SIDEWALK, 4" PCC, CIP	\$58.67	SY	335	\$19,654.45		
340.025	W/C RAMP, 4" PCC	\$2,452.61	EA	4	\$9,810.44		
340.029	DETECT WARN SURFACE	\$35.45	SF	48	\$1,701.60		
343.080	CURB & GUT, PCC, R&D	\$8.63	LF	20	\$172.60		
343.085	SDWK, 4" PCC, R & D	\$111.73	SY	225	\$2,639.23		
	<b>TOTAL</b>				<b>\$33,978.34</b>		
<b>B. UTILITY IMPROVEMENTS</b>							
343.113	RES PVMT, R/R, W/M, W/ SUB	\$33.28	SY	950	\$31,616.00		
343.050	CONC PVMT >8", SAW, R&D	\$22.00	SY	25	\$550.00		
343.132	ARTERIAL PVMT, R/R	\$90.11	SY	72	\$6,487.92		
701.020	TRCH, BF, 4-15" SAS, 8-12'	\$35.13	LF	825	\$28,982.25		
701.030	TRCH, BF, 4-15" SAS, 12'-16'	\$57.35	LF	72	\$4,129.20		
801.002	6" WL, CIP	\$39.28	LF	25	\$982.00		
801.003	8" WL, CIP	\$52.37	LF	885	\$46,347.45		
801.055	REM & DISP EX 10" WATERLINE	\$7.33	LF	310	\$2,272.30		
801.065	DI FITTINGS, CIP	\$4.40	LB	1000	\$4,400.00		
801.078	TEE OR WYE, 4"-8"	\$816.70	EA	2	\$1,633.40		
801.081	6" GATE VLV, CIP INCL. BOX	\$1,371.53	EA	1	\$1,371.53		
801.082	8" GATE VLV, CIP, INCL. BOX	\$1,768.75	EA	2	\$3,537.50		
801.105	VALVE BOX A	\$761.31	EA	3	\$2,283.93		
801.113	FH, 4' BURY, CIP	\$3,920.58	EA	1	\$3,920.58		
801.121	FH, RECONNECT	\$505.69	EA	1	\$505.69		
801.150	MJ RESTRAINING GLAND, 4"-8", CIP	\$159.96	EA	10	\$1,599.60		
802.510	1.5" - 2" WATER METER BOX, CIP	\$1,026.81	EA	1	\$1,026.81		
802.650	2" WATER SERVICE, CIP	\$780.24	EA	1	\$780.24		
901.030	8" SAS PIPE	\$23.66	LF	900	\$21,294.00		
905.050	4" SAS SERVICE	\$1,466.87	EA	1	\$1,466.87		
920.080	MH, 4' DIA, C or E, <10'-14" DEEP	\$5,720.80	EA	4	\$22,883.20		
	<b>TOTAL</b>				<b>\$188,070.47</b>		
	<b>TOTAL SECTIONS A - B</b>				<b>\$222,048.81</b>		
<b>C. MISCELLANEOUS</b>							
4.010	CONSTRUCTION STAKING	1.43	%	1	\$3,175		
4.020	SURVEY	0.74	%	1	\$1,643		
6.050	MOBILIZATION	4.26	%	1	\$9,459		
19.010	TRAFF CONT & BARR	3.43	%	1	\$7,616		
30.020	NPDES PERMITTING	0.63	%	1	\$1,399		
201.060	EROSION CONTROL	0.23	%	1	\$511		
	<b>SUBTOTAL</b>				<b>\$23,804</b>		
	<b>Total Cost (A - C)</b>				<b>\$245,852</b>		
	<b>+10% Contingency</b>	10	%		<b>\$27,043.69</b>		
	<b>+ NMGRT</b>	7.75	%		<b>\$291,396.61</b>		
	Testing Fee	2	%		\$5,827.93		
	6% Engineering Fee	6.6	%		\$17,483.80		
	<b>Total</b>				<b>\$314,708.34</b>		
	+ Financial Guarantee Rate	x1.25			\$78,677.08		
	<b>Grand Total</b>				<b>\$393,385.42</b>		

Approved as basis of financial guaranty, July 3, 2023

*[Handwritten Signature]*

Current DRC  
Project Number: \_\_\_\_\_

FIGURE 12

Date Submitted: 01/16/2023

**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

Date Site Plan Approved: \_\_\_\_\_

Date Preliminary Plat Approved: \_\_\_\_\_

Date Preliminary Plat Expires: \_\_\_\_\_

DHO Project No.: PR-2022-007645

DHO Application No.: SD-2023-00053

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT HEARING OFFICER (DHO) REQUIRED INFRASTRUCTURE LIST**

**Ray's Flooring Tenent Addition**

**PROPOSED NAME OF PLAT**

**Lot 2, Tract S-1 of Atrisco Business Park Unit 2**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		8"	Water Main	Along West Property Line	Existing 16" RCCP Main in Los Volcanes	NW Corner of Prop. Lot 2-C	/	/	/
		8"	Sanitary Sewer Main	Along West Property Line	Existing 8" VCP SAS Main in Los Volcanes	NW Corner of Prop. Lot 2-C	/	/	/
		6' Wide	Concrete sidewalk along Los Volcanes Frontage of Lot 2-A	Along Los Volcanes Frontage (+/- 500 LF)	Southwest Property Corner	Southeaster Property Corner	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

Note: The 8" Sanitary Sewer Main shall include the required Manholes per DPM

Note: The 8" Water Main shall include new Fire Hydrants and new Water Services as required by the DPM

DocuSign Envelope ID: 7004F2F-1BA6-4138-AFB8-B4FD8DD00354

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature      Date		City User Dept. Signature      Date	

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 \_\_\_\_\_
- 2 \_\_\_\_\_
- 3 \_\_\_\_\_

**AGENT / OWNER      DEVELOPMENT FACILITATION TEAM MEMBER APPROVALS**

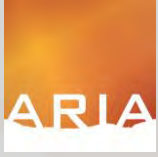
Ryan J. Mulhall  
NAME (print)  
  
CSI - Cartesian Surveys, Inc.  
FIRM  
Ryan Mulhall      5/15/23  
SIGNATURE - date

Jay Rodenbeck      May 25, 2023  
PLANNING - date  
  
Ernest Armijo      May 25, 2023  
TRANSPORTATION DEVELOPMENT - date  
  
Dei Cruz      May 30, 2023  
UTILITY DEVELOPMENT - date  
  
Shahab Binque      May 25, 2023  
CITY ENGINEER - date

Whitney Dube      May 25, 2023  
PARKS & RECREATION - date  
  
 \_\_\_\_\_  
AMAFCA - date  
  
Jim Pan      May 30, 2023  
CODE ENFORCEMENT - date  
  
Regina Chan      May 25, 2023  
HYDROLOGY - date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER



ARIA STUDIO CONSULTANTS, INC.

100 GOLD AVE SW, SUITE 205, ALBUQUERQUE, NEW MEXICO 87102

PRINCIPAL ARCHITECT | DANIEL PUZAK, AIA | (505) 506-2314 | [DANIEL@ARIASCINC.COM](mailto:DANIEL@ARIASCINC.COM)

## SUPPORTIVE DOCUMENTATION

- 08 COMPLETED SITE PLAN CHECKLIST
- 09 LETTER OF PROPERTY OWNER/ ARIA AGENCY
- 10 JUSTIFICATION LETTER FOR THIS APPLICATION
- 11 ARCHAEOLOGICAL CERTIFICATE

# SITE PLAN CHECKLIST

Project #: \_\_\_\_\_ Application #: \_\_\_\_\_

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

***I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.***

*Debra West*                      07/25/2023

**Applicant or Agent Signature / Date**

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

**The electronic format must be organized in the above manner.**

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

**NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.**

**NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.**

## SHEET #1 - SITE PLAN

### X A. General Information

- \_\_\_ 1. Date of drawing and/or last revision
- \_\_\_ 2. Scale: 1.0 acre or less    1" = 10'  
   1.0 - 5.0 acres        1" = 20'  
   Over 5 acres            1" = 50'  
   Over 20 acres         1" = 100'

## SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

### X B. Proposed Development

#### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

### X 2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
  - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
  - 3. On street parking spaces
- B. Bicycle parking & facilities
  - 1. Bicycle racks – location and detail
  - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

## SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
  
- E. Off-Street Loading
  - 1. Location and dimensions of all off-street loading areas
  
- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
  - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
  - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
  - 3. Striping and Sign details for one-way drive through facilities

### X 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 3. Location of traffic signs and signals related to the functioning of the proposal
  - 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
  - 6. Location of street lights
  - 7. Show and dimension clear sight triangle at each site access point
  - 8. Show location of all existing driveways fronting and near the subject site.
  
- B. Identify Alternate transportation facilities within site or adjacent to site
  - 1. Bikeways and bike-related facilities
  - 2. Pedestrian trails and linkages
  - 3. Transit facilities, including routes, bus bays and shelters existing or required

### 4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

### X SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use

## SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

### X SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

#### A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

#### B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.



# SITE PLAN CHECKLIST

## X SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

## X SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
  - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

### B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

# GDCLV LLC

7431 Los Volcanes Rd NW

Albuquerque, NM 87121

---

August 29, 2023

Daniel Puzak

1801 Lomas Blvd NW

Albuquerque, NM 87104

Re: Agent Authorization – GDCLV LLC

To Whom It May Concern,

I, Ventura Ruybal Jr., the owner of GDCLV LLC, authorize Daniel Puzak or Debra West of Aria Studio Consultants Inc. to act as Agent for GDCLV LLC.

Thank you,



Ventura Ruybal Jr.

GDCLV LLC

Member



**ARIA STUDIO CONSULTANTS, INC.**  
100 GOLD AVE SW, SUITE 205, ALBUQUERQUE, NEW MEXICO 87102  
PRINCIPAL ARCHITECT | DANIEL PUZAK, AIA | (505) 506-2314 | [DANIEL@ARIASCINC.COM](mailto:DANIEL@ARIASCINC.COM)

August 29, 2023

City of Albuquerque  
Planning Department

**Re: Site Plan Administrative – DFT  
Justification Narrative**

Planning Department,

This letter is in response to form P-2 in our application for Site Plan Administrative – DFT and meets the following criteria in the IDO section 6-5(G)(3):

- a. This site plan is in compliance with the current IDO, the DPM, other City regulations. Etc.
- b. An infrastructure sheet has been included
- c. Included in this application is the narrative of compliance with the Atrisco Business Park Master Development Plan
- d. The subject property is not within a Framework Plan

Thank you,

**Debra West**  
Project Manager  
[debra@ariascinc.com](mailto:debra@ariascinc.com)  
505.453.5813



**City of Albuquerque**  
P.O. Box 1293 Albuquerque, NM 87103  
**Planning Department**  
Alan Varela, Interim Director

**Tim Keller, Mayor**  
**Sarita Nair, CAO**

**DATE:** February 13, 2023

**SUBJECT:** Albuquerque Archaeological Ordinance - Compliance Documentation

**Case Number(s):** PR-2022-007645  
**Agent:** CSI - Cartesian Surveys Inc  
**Applicant:** Ray's Flooring Specialists Inc.  
**Legal Description:** Lot 2, Unit 2, Atrisco Business Park, Tr. S-1  
**Zoning:** NR-BP  
**Acreage:** 11.1793  
**Zone Atlas Page(s):** J-10-Z

**CERTIFICATE OF NO EFFECT:**  Yes  No

**CERTIFICATE OF APPROVAL:**  Yes  No

**SUPPORTING DOCUMENTATION:**

Historic Google Earth Images, NMCRIS Records

**SITE VISIT:** N/A

**RECOMMENDATIONS:**

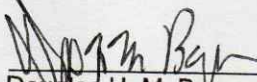
The property to the north of the existing buildings and parking lot has been entirely bladed since 2022

Therefore: CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 2 "The property has been disturbed through previous land use"

**SUBMITTED BY:**

**SUBMITTED TO:**

Planning, Development Services

  
\_\_\_\_\_  
Douglas H. M. Boggess, MA, RPA Date 2/13/2023  
Senior Principal Investigator  
Acting City Archaeologist  
Lone Mountain Archaeological Services, Inc.



**ARIA STUDIO CONSULTANTS, INC.**

100 GOLD AVE SW, SUITE 205, ALBUQUERQUE, NEW MEXICO 87102

PRINCIPAL ARCHITECT | DANIEL PUZAK, AIA | (505) 506-2314 | [DANIEL@ARIASCINC.COM](mailto:DANIEL@ARIASCINC.COM)

## PUBLIC NOTICE DOCUMENTATION

- 12 SIGN POSTING AGREEMENT
- 13 REQUIRED CONTENT OF NOTICE
  - 13.1 OFFICE OF NEIGHBORHOOD COORDINATION NOTICE INQUIRY RESPONSE
  - 13.2 OFFICIAL PUBLIC NOTIFICATION FORM
  - 13.3 LOS VOLCANES NEIGHBORHOOD EMAILED NOTICE
  - 13.4 SOUTHWEST ALLIANCE OF NEIGHBORHOODS EMAILED NOTICE
  - 13.5 PROOF OF EMAILED NOTICE
- 14 REQUIRED CONTENT OF NOTICE (2<sup>ND</sup> EMAIL)
  - 14.1 OFFICE OF NEIGHBORHOOD COORDINATION NOTICE INQUIRY RESPONSE
  - 14.2 OFFICIAL PUBLIC NOTIFICATION FORM
  - 14.3 LOS VOLCANES NEIGHBORHOOD EMAILED NOTICE
  - 14.4 SOUTHWEST ALLIANCE OF NEIGHBORHOODS EMAILED NOTICE
  - 14.5 PROOF OF EMAILED NOTICE

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

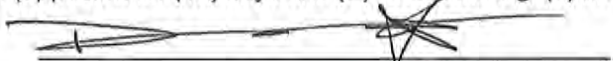
4. TIME

Signs must be posted from 4/14/23 To 4/28/23

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

  
(Applicant or Agent)

4/14/23  
(Date)

I issued 1 signs for this application, 4/14/2023, Rachel Erickson  
(Date) (Staff Member)

PROJECT NUMBER: BP-2023-10760

From: [Carmena, Dalaina L.](#)  
 To: [Debra West](#)  
 Subject: 7401 Los Volcanes NW Neighborhood Meeting Inquiry Sheet Submission  
 Date: Monday, March 20, 2023 8:52:51 AM  
 Attachments: [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image007.png](#)  
[IDOCZoneAtlasPage\\_1-10-7.pdf](#)

**PLEASE NOTE:**

The City Council recently voted to update the Neighborhood Association Recognition Ordinance (NARO) and the Office of Neighborhood Coordination (ONC) is working to ensure all neighborhood associations and neighborhood coalitions are in compliance with the updated ordinance. There will likely be many updates and changes to association and coalition contact information over the next several months. With that in mind, please check with the ONC every two (2) weeks to ensure that the contact information you have for associations and coalitions is up to date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Los Volcanes NA	Alma	Ramirez	acr@q.com	6616 Honeylocust Avenue NW	Albuquerque	NM	87121		5058313595
Los Volcanes NA	Jenny	Sanchez	jennysanchez1@q.com	6512 Honeylocust Avenue NW	Albuquerque	NM	87121		5058360117
South West Alliance of Neighborhoods (SWAN Coalition)	Luis	Hernandez Jr.	luis@wccdg.org	5921 Central Avenue NW	Albuquerque	NM	87105		
South West Alliance of Neighborhoods (SWAN Coalition)	Jerry	Gallegos	jgallegoswccdg@gmail.com	5921 Central Avenue NW	Albuquerque	NM	87105	5053855809	5058362976

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: [https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official\\_public\\_notice\\_form\\_2019.pdf](https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form_2019.pdf).
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you.



**Dalaina L. Carmena**

Senior Administrative Assistant  
 Office of Neighborhood Coordination  
 Council Services Department  
 1 Civic Plaza NW, Suite 9087, 9<sup>th</sup> Floor  
 Albuquerque, NM 87102  
 505-768-3334  
[dlicarmena@cabq.gov](mailto:dlicarmena@cabq.gov) or [ONC@cabq.gov](mailto:ONC@cabq.gov)  
 Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

**From:** [webmaster@cabq.gov](mailto:webmaster@cabq.gov) <[webmaster@cabq.gov](mailto:webmaster@cabq.gov)>  
**Sent:** Monday, March 20, 2023 7:05 AM  
**To:** Office of Neighborhood Coordination <[debra@ariascinc.com](mailto:debra@ariascinc.com)>  
**Cc:** Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>  
**Subject:** Neighborhood Meeting Inquiry Sheet Submission

**[EXTERNAL]** Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:

Building permit

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Debra West

Telephone Number

5054535813

Email Address

[debra@ariascinc.com](mailto:debra@ariascinc.com)

Company Name

ARIA Studio Consultants

Company Address  
100 Gold Ave SW, Ste 205  
City Albuquerque  
State NM  
ZIP 87102  
Legal description of the subject site for this project:  
Lot 2-B, Tract S-1, Atrisco Business Park, Unit 2  
Physical address of subject site:  
7401 Los Volcanes NW  
Subject site cross streets:  
Coors & Los Volcanes  
Other subject site identifiers:  
UPC 101005818513130104  
This site is located on the following zone atlas page:  
J-10-Z  
Captcha  
x





**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



<b>PART I - PROCESS</b>		
Use <a href="#">Table 6-1-1</a> in the Integrated Development Ordinance (IDO) to answer the following:		
Application Type:		
Decision-making Body:		
Pre-Application meeting required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Neighborhood meeting required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Mailed Notice required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<b>Note: if yes, see second page</b>
<b>PART II – DETAILS OF REQUEST</b>		
Address of property listed in application: 7401 Los Volcanes NW, Albuquerque, NM		
Name of property owner: Ventura Ruybal		
Name of applicant: ARIA Studio Consultants Inc		
Date, time, and place of public meeting or hearing, if applicable:		
Address, phone number, or website for additional information:		
<b>PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE</b>		
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.		
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.		
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.		
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.		
<b>IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO <a href="#">SUBSECTION 14-16-6-4(K)</a> OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.</b>		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Debra West, ARIA (Applicant signature) 03/20/2023 (Date)

**Note:** Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



**PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY**

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed/Emailed to a Neighborhood Association**

Date of Notice\*: \_\_\_\_\_

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: \_\_\_\_\_

Name of NA Representative\*: \_\_\_\_\_

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: \_\_\_\_\_

**Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* \_\_\_\_\_

Location Description \_\_\_\_\_

2. Property Owner\* \_\_\_\_\_

3. Agent/Applicant\* [if applicable] \_\_\_\_\_

4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]

Site Plan

Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>\*:

\_\_\_\_\_  
\_\_\_\_\_

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided administratively by the Development Facilitation Team (DFT)

Application materials: <https://www.cabq.gov/planning/development-review-services/site-plan-admin-dft>

To contact staff, email [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) or call the Planning Department at 505-924-3946.

6. Where more information about the project can be found\*<sup>4</sup>:

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**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> \_\_\_\_\_
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)             Variance(s)             Waiver(s)

Explanation\*:

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4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):    Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

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<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

1. Area of Property [typically in acres] \_\_\_\_\_
  2. IDO Zone District \_\_\_\_\_
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]  
\_\_\_\_\_

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<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
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Date of Notice\*: \_\_\_\_\_

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Neighborhood Association (NA)\*: \_\_\_\_\_

Name of NA Representative\*: \_\_\_\_\_

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: \_\_\_\_\_

**Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* \_\_\_\_\_

Location Description \_\_\_\_\_

2. Property Owner\* \_\_\_\_\_

3. Agent/Applicant\* [if applicable] \_\_\_\_\_

4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]

Site Plan

Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>\*:

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\_\_\_\_\_

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- 6. Where more information about the project can be found\*<sup>4</sup>:

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**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>5</sup> \_\_\_\_\_
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)             Variance(s)             Waiver(s)

Explanation\*:

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- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):    Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

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<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

1. Area of Property [typically in acres] \_\_\_\_\_
  2. IDO Zone District \_\_\_\_\_
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]  
\_\_\_\_\_

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<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>



Debra West

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From: Debra West  
Sent: Monday, March 20, 2023 11:56 AM  
To: 'acr@q.com'; 'jennybsanchez1@q.com'; 'luis@wccdg.org';  
'jgallegoswccdg@gmail.com'  
Cc: Daniel Puzak  
Subject: NM Sol 7401 Los Volcanes NW - neighborhood notification  
Attachments: IDOZoneAtlasPage\_J-10-Z.pdf; NeighborhoodMeetingRequest-Print&Fill\_DFT\_Los  
Volcanes NA.pdf; NeighborhoodMeetingRequest-Print&Fill\_DFT\_Southwest  
Alliance.pdf; Emailed-Mailed-Notice-PublicMeetingHearing-Print&Fill\_DFT - Los  
Volcanes NA.pdf; Emailed-Mailed-Notice-PublicMeetingHearing-Print&Fill\_DFT -  
Southwest Alliance.pdf; CABQ-Official\_public\_notice\_form-2019.pdf; 2219  
\_NMSol\_AS102-Site Plan TCL.pdf; 2219\_NMSol\_A201-Exterior Elevations.pdf

Neighborhood Associations,

Aached` is the informaon for` our applicaon for` approval from the City of Albuquerque Planning Department of our project at the above address. Feel free to contact us with any questions. A sign will be posted at the property.

Thank you,



Debra West | 505.453.5813 | [www.ariaarchitecture.com](http://www.ariaarchitecture.com)  
Aria Studio Consultants, Inc. | 100 Gold Ave SW Suite 205, Albuquerque, NM 87102

**From:** [Carmona, Dalaina L.](#)  
**To:** [Debra West](#)  
**Subject:** 7431 Los Volcanes NW Public Notice Inquiry Sheet Submission  
**Date:** Wednesday, August 30, 2023 3:05:48 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image007.png](#)  
[JFK17NewAlertPage\\_1-10-7.pdf](#)

**PLEASE NOTE:**  
**The neighborhood association contact information listed below is valid for 30 calendar days after today's date.**

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Los Volcanes NA	Doug	Cooper	douglascooper@hotmail.com	6800 Silkwood Avenue NW	Albuquerque	NM	87121	5054171560	
Los Volcanes NA	Ted	Trujillo	nedcarla@live.com	6601 Honeylocust Avenue NW	Albuquerque	NM	87121	5058508375	
South West Alliance of Neighborhoods (SWAN Coalition)	Luis	Hernandez Jr.	luis@wccdg.org	5921 Central Avenue NW	Albuquerque	NM	87105		
South West Alliance of Neighborhoods (SWAN Coalition)	Jerry	Gallegos	jgallegoswccdg@gmail.com	5921 Central Avenue NW	Albuquerque	NM	87105	5053855809	5058362976

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application: <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: [https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official\\_public\\_notice\\_form-2019.pdf](https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf).
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each: <https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you.



**Dalaina L. Carmona**  
 Senior Administrative Assistant  
 Office of Neighborhood Coordination  
 Council Services Department  
 1 Civic Plaza NW, Suite 9087, 9<sup>th</sup> Floor  
 Albuquerque, NM 87102  
 505-768-3334  
[dlcarmona@cabq.gov](mailto:dlcarmona@cabq.gov) or [ONC@cabq.gov](mailto:ONC@cabq.gov)  
 Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

**From:** [webmaster@cabq.gov](mailto:webmaster@cabq.gov) <[webmaster@cabq.gov](mailto:webmaster@cabq.gov)>  
**Sent:** Wednesday, August 30, 2023 2:06 PM  
**To:** Office of Neighborhood Coordination <[debra@ariascinc.com](mailto:debra@ariascinc.com)>  
**Cc:** Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>  
**Subject:** Public Notice Inquiry Sheet Submission

**[EXTERNAL]** Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Public Notice Inquiry For:  
 Administrative Decision  
 If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:  
 Contact Name  
 Debra West  
 Telephone Number  
 5054535813  
 Email Address  
[debra@ariascinc.com](mailto:debra@ariascinc.com)  
 Company Name  
 ARIA Studio Consultants Inc  
 Company Address

1801 Lomas Blvd NW  
City Albuquerque  
State NM  
ZIP 87104  
Legal description of the subject site for this project:  
Physical address of subject site:  
7431 Los Volcanes NW  
Subject site cross streets:  
Coors & Los Volcanes  
Other subject site identifiers:  
This site is located on the following zone atlas page:  
J-10-Z  
Captcha  
x



**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



<b>PART I - PROCESS</b>	
Use <a href="#">Table 6-1-1</a> in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type:	
Decision-making Body:	
Pre-Application meeting required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Neighborhood meeting required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Mailed Notice required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <b>Note: if yes, see second page</b>
<b>PART II – DETAILS OF REQUEST</b>	
Address of property listed in application: 7401 Los Volcanes NW, Albuquerque, NM	
Name of property owner: Ventura Ruybal	
Name of applicant: ARIA Studio Consultants Inc	
Date, time, and place of public meeting or hearing, if applicable:	
Address, phone number, or website for additional information:	
<b>PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE</b>	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.	
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
<b>IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO <a href="#">SUBSECTION 14-16-6-4(K)</a> OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.</b>	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Debra West, ARIA (Applicant signature) 03/20/2023 (Date)

**Note:** Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



**OFFICIAL PUBLIC NOTIFICATION FORM  
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CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



**PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY**

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
  - Total gross floor area of proposed project.
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Date of Notice\*: \_\_\_\_\_

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Neighborhood Association (NA)\*: \_\_\_\_\_

Name of NA Representative\*: \_\_\_\_\_

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: \_\_\_\_\_

**Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* \_\_\_\_\_

Location Description \_\_\_\_\_

2. Property Owner\* \_\_\_\_\_

3. Agent/Applicant\* [if applicable] \_\_\_\_\_

4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]

Site Plan

Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>\*:

\_\_\_\_\_  
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6. Where more information about the project can be found\*<sup>4</sup>:

---

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> \_\_\_\_\_
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:

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4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

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    - Total gross floor area of proposed project.
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**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

1. Area of Property [typically in acres] \_\_\_\_\_
  2. IDO Zone District \_\_\_\_\_
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- Current Land Use(s) [vacant, if none] \_\_\_\_\_
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Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]  
\_\_\_\_\_

---

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[Note: Items with an asterisk (\*) are required.]

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Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: \_\_\_\_\_

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Location Description \_\_\_\_\_

2. Property Owner\* \_\_\_\_\_

3. Agent/Applicant\* [if applicable] \_\_\_\_\_

4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]

Site Plan

Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>\*:

\_\_\_\_\_  
\_\_\_\_\_

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided administratively by the Development Facilitation Team (DFT)

Application materials: <https://www.cabq.gov/planning/development-review-services/site-plan-admin-dft>

To contact staff, email [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) or call the Planning Department at 505-924-3946.

6. Where more information about the project can be found\*<sup>4</sup>:

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**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> \_\_\_\_\_
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:

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4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

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<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

1. Area of Property [typically in acres] \_\_\_\_\_
  2. IDO Zone District \_\_\_\_\_
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]  
\_\_\_\_\_

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<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

**From:** [Debra West](#)  
**To:** [douglascooper@hotmail.com](mailto:douglascooper@hotmail.com); [nedcarla@live.com](mailto:nedcarla@live.com); [luis@wccdg.org](mailto:luis@wccdg.org); [igallegoswccdg@gmail.com](mailto:igallegoswccdg@gmail.com)  
**Cc:** [Daniel Puzak](#); [Ventura Ruybal](#)  
**Subject:** NM Sol 7431 Los Volcanes NW - neighborhood notification (formerly 7401 Los Volcanes)  
**Date:** Wednesday, August 30, 2023 3:38:00 PM  
**Attachments:** [NM Sol Sign Posting Agreement 4-14-23.pdf](#)  
[IDOZoneAtlasPage J-10-Z.pdf](#)  
[Emailed Los Volcanes NA 2023-08-30.pdf](#)  
[Emailed Southwest Alliance 2023-08-30.pdf](#)  
[CABQ-Official\\_public\\_notice\\_form-2019.pdf](#)  
[7431 Los Volcanes NW Public Notice Inquiry Sheet Submission 2023-08-30.pdf](#)

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Neighborhood Associations,

Attached is the required information (2<sup>nd</sup> email) for our application for approval from the City of Albuquerque Planning Department of our project at the above address. Feel free to contact us if you have any questions. A sign was posted at the property.



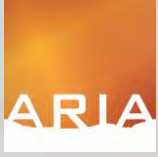
Aria Studio Consultants, Inc.

Debra West, Senior Designer | 505.453-5813 | [debra@ariascinc.com](mailto:debra@ariascinc.com)

[www.ariaarchitecture.com](http://www.ariaarchitecture.com)

Physical Address: 1801 Lomas Blvd. NW, Albuquerque, NM 87104

Mailing: 100 Gold Ave SW Suite 205, Albuquerque, NM 87102



ARIA STUDIO CONSULTANTS, INC.

100 GOLD AVE SW, SUITE 205, ALBUQUERQUE, NEW MEXICO 87102

PRINCIPAL ARCHITECT | DANIEL PUZAK, AIA | (505) 506-2314 | [DANIEL@ARIASCINC.COM](mailto:DANIEL@ARIASCINC.COM)

## OTHER DOCUMENTATION

- 14 ADDRESS ASSIGNMENT
- 15 RECORDED DRIVEWAY EASEMENT AND SHARED PARKING AGREEMENT
- 16 DUMPSTER EASEMENT AGREEMENT

# CITY OF ALBUQUERQUE

## CODE ENFORCEMENT

Plaza Del Sol Building, Suite 500  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102  
Tel: (505) 924-3850 Fax: (505) 924-3847



August 28, 2023

Re: Address Assignment/ U.P.C.: 101005818513130104

To Whom It May Concern:

This letter is to serve as a notice of an address assignment for **LOT 2-B Block 0000 Subdivision Atrisco Business Park Unit 2 Tract S1**, which was issued the following SITUS address: **7431 Los Volcanes Rd NW**.

The street address must be displayed as required by the Building Numbering Ordinance, using minimum 5" figures mounted on the front of the principal building and easily readable from the servicing street. Please refer to the US Postal Service regulations regarding individual mail receptacles.

Below is a distribution list of who will be notified and requires correspondence with this assignment. As well as update your records to reflect the above address; however, if problems arise contact the City Address Verification Office at [addressing@cabq.gov](mailto:addressing@cabq.gov). Also, we have attached a copy of the map for this property.

Sincerely,



**Cassandra Murillo**  
Planning Research Coordinator  
o 505.924.3848  
e [cmurillo@cabq.gov](mailto:cmurillo@cabq.gov)  
[cabq.gov/planning](http://cabq.gov/planning)

Copy: County Assessor's Office/Gustavo Hernandez, US Postal Service-/Theresa Gonzales/Sylvia Vigil/Jaclyn Velasquez, Mid Region Council of Governments/Steve Montiel, Bureau of Election Office/Larry Romero, AGIS-Planning/ Catherine Bradley, Hydrology/Rudy Rael, PW/Water Meters/Workgroup, PNM/Victoria Rodriguez, Gas Company of New Mexico, Comcast/Robert Martinez, CenturyLink/Michele Ramirez, Alarm Dispatch/Paul Buck, Emergency Communication Center/Erika Wilson



Approved for access by the Solid Waste Department for a single trash enclosure. Gates will be accessed by a keypad code. All containers must be made accessible between the hours of 5AM and 8PM. Herman Gallegos 07-25-23/Herman Gallegos

### PROJECT DESCRIPTION

Construction of a new tilt-up concrete fully sprinkled agricultural warehouse to be used for cannabis cultivation.

### GENERAL NOTES

- A. REFER TO AS102 FOR MORE DIMENSIONS
- B. REFER TO AS501 and AS502 FOR SITE DETAILS
- C. GUARDRAIL IS REQUIRED AT ANY PEDESTRIAN WALK AREA WHERE ADJACENT CHANGE IN ELEVATION IS 30" OR MORE. REFER TO AS501 FOR DETAIL, CIVIL GRADING PLAN FOR ELEVATIONS.
- D. CONTRACTOR TO VERIFY ALL RAMPS, WALKS, AND RAILS MEET CODE AND ADA GUIDELINES
- E. REFER TO CITY OF ALBUQUERQUE STANDARD DRAWINGS 2415A AND 2415B FOR CURB AND GUTTER DETAILS
- F. REFER TO CITY OF ALBUQUERQUE STANDARD DRAWING 2425B FOR DRIVEPAD WITH RAMP
- G. REFER TO CITY OF ALBUQUERQUE STANDARD DRAWING 2430 FOR SIDEWALK DETAILS
- H. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

### Notes and Parking

**Code Referenced**  
City of Albuquerque IDO (effective 2022-12-25)  
Non-Residential Business Park (NR-BP)

**Address and Legal Description**  
7401 Los Volcanes Rd NW, Albuquerque, NM 87121  
UPC 101005818513130104  
Lot 2-B, Tract S-1, Atrisco Business Park, Unit 2, City of Albuquerque, Bernalillo County, New Mexico  
1.6675 Acres

**Type of Development & Occupancy**

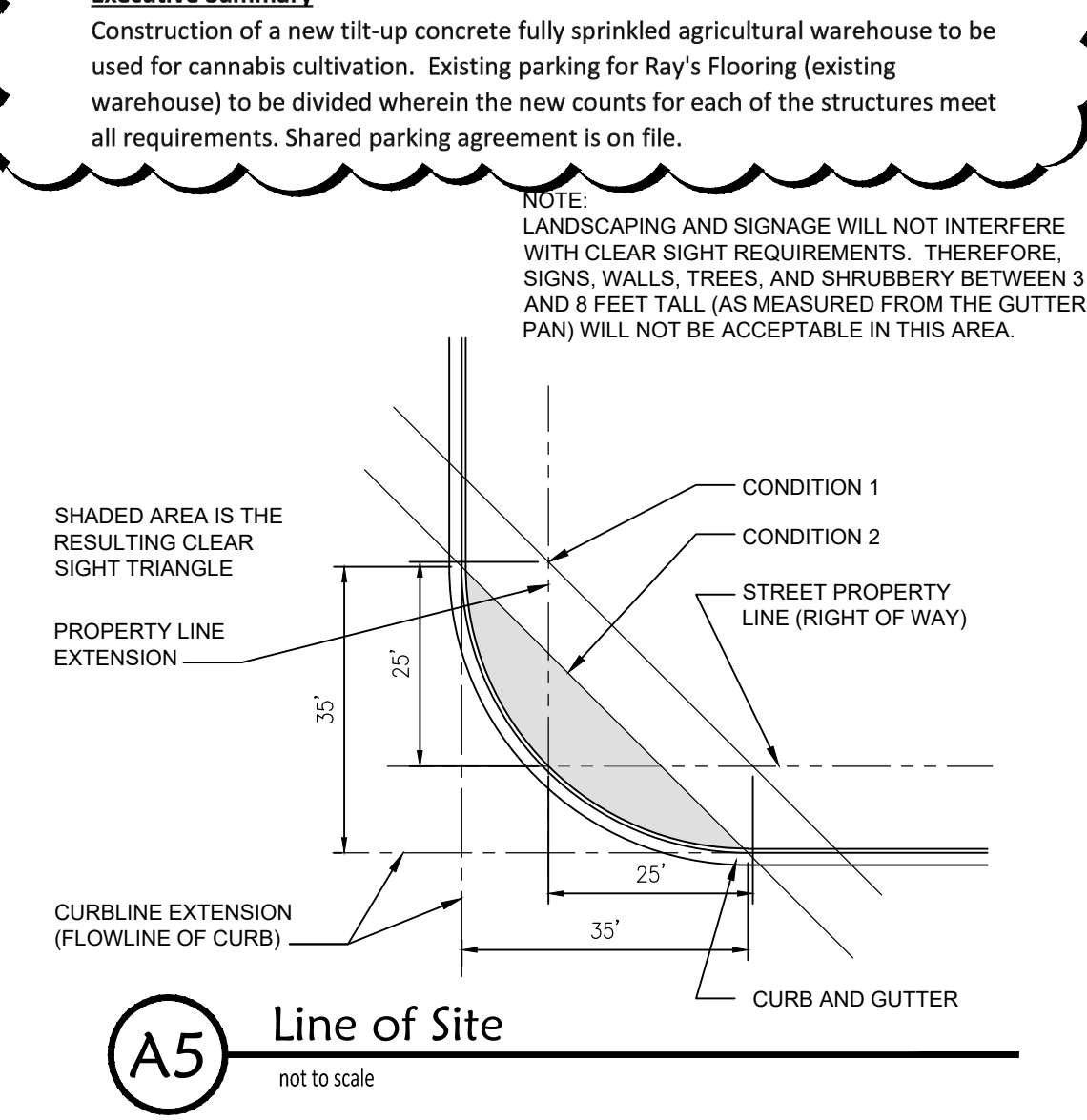
<b>Ray's Flooring (existing building)</b>	
Warehousing	48,716 sf
Business	13,501 sf
<b>total</b>	<b>62,217 sf</b>
<b>NM Sol (new building)</b>	
Cannabis Cultivation & Product	23,924 sf
Production Facility	

**Parking Required (Table 5-5-1)**

Warehousing	no requirement	
Business	3.5 spaces per 1000 GFA	47.25
Cannabis Cultivation	1 space per 1000 GFA	23.92
<b>Total spaces required</b>		<b>71</b>
Motorcycle		1.00
Bicycle		3.00
<b>Total spaces provided</b>	<b>84 spaces</b>	
NM Sol		24
ADA		1
Motorcycle		2
Bicycle		3
Ray's Flooring		55
ADA		3
Motorcycle		4
Bicycle		6

**Executive Summary**  
Construction of a new tilt-up concrete fully sprinkled agricultural warehouse to be used for cannabis cultivation. Existing parking for Ray's Flooring (existing warehouse) to be divided wherein the new counts for each of the structures meet all requirements. Shared parking agreement is on file.

**NOTE:** LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.



**STUDIO CONSULTANTS, INC**  
100 Gold Ave. SW, Suite 205,  
Albuquerque, NM 87102  
Daniel@ariasinc.com (505) 506-2314

**NM SOL**  
Phase 1 Tenant Addition  
for Ray's Flooring  
Los Volcanes Road NW  
Albuquerque, NM 87121

Architect/Engineer Seal

△	05/20/2023	OWNER CHANGES
△	05/12/2023	COA PERMIT COMMENTS
△	04/26/2023	TCL COMMENTS
<b>mark</b>	<b>date</b>	<b>description</b>
<b>revisions</b>		
<b>issue</b>		Permit CDs
<b>project no</b>		2219
<b>drawn by</b>		DGP
<b>checked by</b>		DGP
<b>date</b>		March 28, 2023

ARCHITECTURAL SITE PLAN  
Overall  
Traffic Circulation Layout

**A1** Architectural Site Plan ~ Overall / Traffic Circulation Layout  
1" = 50'-0"

**A5** Line of Site  
not to scale



**DRIVEWAY EASEMENT AND SHARED PARKING AGREEMENT**

WHEREAS, GDCLV, LLC, a New Mexico limited liability company, hereafter, "Grantor" is the owner of the following Tract to be made up of three lots shown on the Plat attached hereto and incorporated herein, located in the City of Albuquerque, Bernalillo County, New Mexico:

The legal description of the original tract is as follows:

Lot 2 Land Division Tracts A, D, M, N, S-1 & S-2 of the Plat of unit No. 2 Atrisco Business Park Cont. 11.0600 AC

The tract shall be divided as shown as the following and demonstrated in the Plat attached hereto and incorporated herein;

Plat for Lots-A, 2-B, and 2-C, Tract S-1 Atrisco Business Park, Unit 2. Being comprised of Lot 2, Tract S-1 Atrisco Business Park, Unit 2

WHEREAS, there exists on said described future tracts certain driveway and parking lot more particularly described and shown on the surveys attached hereto as Exhibits A, and

WHEREAS, Grantor desires to impress upon the said properties certain covenants, rights-of-way and restrictions regarding the use, access and maintenance which shall inure to the benefit of and be binding upon the successors and assigns of Grantor.

THEREFORE, the undersigned GDCLV, LLC does hereby impress upon the above described future Plat the following covenants, rights-of-way and restrictions, which shall hereafter be covenants which run with the land and shall inure to the benefit of and be binding upon the grantees, successors and assigns of each of said separate tracts:

1. The driveway and parking lot shown on exhibits A shall be a perpetual easement in favor of the successors in title of Grantor for parking of vehicular traffic and for ingress and egress to and from the said properties. Accordingly, Lot 2-A shall be burdened by said easement in favor of the Grantor's successors in title to Lots 2-B, Lot 2-A shall be burdened by said easement in favor of the Grantor's successors in title to Lot 2-C and likewise Lot 2-B shall be burdened by said easement in favor of the Grantor's successors in title to Lot 2-A. Lot 2-B shall be burdened by said easement in favor of the Grantor's successors in title to Lot 2-C, and likewise Lot 2-C shall be burdened by said easement in favor of the Grantor's successors in



title to Lot 2-A. Lot 2-C shall be burdened by said easement in favor of the Grantor's successors in title to Lot 2-B,

2 The successors in title to each tract shall not obstruct or restrict the use of any portion of the said parking lot and driveway and no buildings or improvements may be erected upon said easement.

3. The easement shall be maintained in a serviceable, neat and acceptable manner and in a manner so that the overall appearance of said driveway and parking lot shall be uniform. Each of Grantor's successors in title to Tracts A and B shall be charged with the repair and maintenance thereof and shall cooperate with each other in the performance of routine and necessary repairs, overlay and sealing of the said driveway and parking lot. The successor in title to either tract may perform such repairs and maintenance as may be necessary without the consent of the other upon giving written notice of intent to perform such repairs and the estimated cost thereof. Notice may be delivered by U.S. Mail, certified, return receipt requested or other personal service not less than thirty (30) days prior to beginning such repairs or maintenance. The party that performs said repairs/maintenance shall be entitled to a lien upon the property of the dissenting party equal to one-half of the actual cost of said repairs/maintenance plus fifteen per cent (15%). Said lienholder shall have the same remedies as holders of materialmen in accordance with the Materialmen Lien laws of the State of New Mexico.

4. In the event it becomes necessary to enforce the terms of this easement through court proceedings the prevailing party shall be entitled to reasonable attorneys fees.

Witness the due execution hereof on this the 5<sup>th</sup> day of (~~---~~ May), 2023.

By:   
Managing Member  
GDCLV, LLC.

STATE OF NEW MEXICO        )  
  ) ss.  
COUNTY OF BERNALILLO    )

Personally, appeared before me, the Managing Member of GDCLV, LLC appearing with Authority of GDCLV, LLC, in the said County and State on this

5 day of May, 2023, the within named (managing Member), Grantor, who acknowledged that he executed, signed and delivered the above and foregoing instrument.

  
\_\_\_\_\_  
Notary Public

My commission expires:

August 30, 2025

**State of New Mexico  
Notary Public  
Sally Rizzieri  
Commission Number 1102855  
Commission Expires August 30, 2025**

## DECLARATION OF EASEMENTS

This, Declaration of Easements (the "**Declaration**") is made this 14<sup>th</sup> day of June, 2023, by GDCLV, LLC, a New of Mexico Limited Liability Company ("**Declarant**").

A. Declarant is the current owner of the following property:

Plat for Lots 2-A, 2-B, and 2-C, Tract S-1 Atrisco Business Park, Unit 2. Being comprised of Lot 2, Tract S-1 Atrisco Business Park, Unit 2

B. The City of Albuquerque has approved a site plan that provides for a single dumpster pad straddling the boundary line between the Lots (hereinafter defined) having an area of approximately 634 square as shown in Exhibit A attached hereto and incorporated herein by reference.

C. Declarant desires to create the easements and covenants described below for the shared use of the dumpster pad shown on the attached Exhibit A.

D. **NOW, THEREFORE**, in consideration of the foregoing and for other good and valuable consideration, Declarant creates this Declaration intending to be legally bound:

1. Recitals and Certain Definitions. The Recitals set forth above are hereby incorporated and made a part of this Declaration. In addition to defined terms otherwise designated herein, Lots 2-B and 2-A may be referred to herein individually as a "**Lot**" and together as the "**Lots**," the owners of the Lots may be referred to herein individually as an "**Owner**" and together as the "**Owners**."

2. Grant of Easements. Declarant hereby creates easements on Lot 2-C and Lot 2-B (individually an "**Easement**" and together the "**Easements**") in the 634 square foot area depicted on Exhibit A attached hereto and incorporated herein by reference (the "**Easement Area**") for the shared benefit of Lot 2-B and Lot 2-C for the location a dumpster pad and related improvements and for the operation of a shared trash dumpster. The Easement on Lot 2-C is for the benefit of the Owner of Lot 2-B and the Easement on Lot 2-B is for the benefit of the Owner of Lot 2-C, and their respective successors and assigns, and their respective tenants, subtenants and licensees, to be used for the operation of a joint use dumpster with enclosure. The Easements constitute a single integrated joint use area and are not severable.

3. Construction of Improvements. The first Owner to construct improvements on such Owner's Lot (the "**First Owner**") shall construct within the Easement Area at its sole cost and expense (subject to reimbursement set forth below) a dumpster pad and all related improvements required or reasonably appropriate for the operation of a joint use trash dumpster. The First Owner shall keep and maintain accurate records of the costs attributable to the construction of the dumpster pad and related improvements, separated from the expenses of other construction. The First Owner shall provide written notice to the second Owner to construct improvements on such Owner's Lot (the "**Second Owner**") of the costs attributable to the construction of the dumpster pad and related improvements (including reasonable back up documentation) after construction commences on the Second Owner's Lot or earlier if requested, and the Second Owner shall reimburse the First Owner for one-half (1/2) of the costs attributable to the construction of the dumpster pad and related improvements by the later to occur of (a) the Second Owner Start Date (defined below), or (b) thirty (30) days after the when the Second Owner receives notice of the costs attributable to the construction of the dumpster pad and related improvements, including reasonable back up documentation.

4. Maintenance and Operation. Maintenance, repair and operation of the Easement Area and the dumpster pad and related improvements, including without limitation trash removal service, and all expenses associated therewith (collectively, the "**Operation Expenses**"), shall be the sole obligation of the First Owner until the date which is one hundred and fifty (150) days after the date when the Second Owner commences the construction of improvements on the Second Owner's Lot (the "**Second Owner Start Date**"). From and after the Second Owner Start Date, maintenance, repair and operation of the Easement Area and the dumpster pad and related improvements shall be the shared obligation of the Owners, and the Operation Expenses shall be shared equally between the Owners, subject to the next following sentence. In the event that after the Second Owner Start Date one Owner regularly and on a consistent basis has a materially greater demand for the dumpster trash service than the other Owner (deposits a materially greater volume of trash in the dumpster), then at the request of either Owner the Owners shall equitably adjust the sharing ratio between the Owners for the Operation Expenses consistent with their relative demands for the dumpster trash service.

5. Enforcement. An Owner shall be entitled to pursue any legal or equitable remedy for the breach or violation of the provisions of this Declaration. In any action to enforce or interpret this Declaration, the

prevailing party shall be entitled to recover reasonable attorneys' fees and expenses incurred and costs of court.

6. Miscellaneous. All terms and conditions set forth in this Declaration are intended to be and shall be construed as covenants running with the land. The foregoing restrictions may be modified only by written instrument executed by both Owners.

(Signature Page Follows)

**GDCLV, LLC**

a New Mexico limited liability company,

By: [Signature]

Its: Member

STATE OF NEW MEXICO     )  
  ) ss.  
COUNTY OF BERNALILLO     )

This instrument was acknowledged before me on this 14<sup>th</sup> day of June, 2025, by Ventura Raybal, Member of GDCLV, LLC [COMPANY NAME] a New Mexico limited liability company.

[Signature]  
Notary Public, State of New Mexico

My Commission Expires: 08/30/2025

**State of New Mexico**  
**Notary Public**  
**Sally Rizzieri**  
**Commission Number 1102855**  
**Commission Expires August 30, 2025**

Exhibit A

(Attached after this sheet)