

LUXELOCKER

LUXURY BOAT & R.V. STORAGE

ALBUQUERQUE, NEW MEXICO



UNIT MIX		
UNIT	WxL	AREA
B26	15' x 45'	675 SF
B27	15' x 45'	675 SF
B28	15' x 45'	675 SF
B29	15' x 45'	675 SF
B30	20' x 40'	800 SF

BUILDING C
STANDARD - UNCONDITIONED

UNIT MIX		
UNIT	WxL	AREA
C31	18' x 40'	720 SF
C32	14' x 45'	630 SF
C33	14' x 45'	630 SF
C34	14' x 45'	630 SF
C35	14' x 45'	630 SF
C36	14' x 45'	630 SF
C37	14' x 45'	630 SF
C38	14' x 45'	630 SF
C39	14' x 45'	630 SF
C40	14' x 45'	630 SF
C41	18' x 40'	720 SF
C42	18' x 35'	630 SF
C43	14' x 40'	560 SF
C44	14' x 40'	560 SF
C45	14' x 40'	560 SF
C46	14' x 40'	560 SF
C47	14' x 40'	560 SF
C48	14' x 40'	560 SF
C49	14' x 40'	560 SF
C50	14' x 40'	560 SF
C51	14' x 40'	560 SF
C52	18' x 35'	630 SF

BUILDING D
LUXE - CONDITIONED

UNIT MIX		
UNIT	WxL	AREA
D53	20' x 50'	1000 SF
D76	15' x 50'	750 SF
D77	18' x 50'	900 SF
D78	18' x 50'	900 SF
D79	18' x 50'	900 SF
D80	18' x 50'	900 SF
D81	18' x 50'	900 SF
D82	18' x 50'	900 SF
D83	18' x 50'	900 SF
D84	18' x 50'	900 SF
D85	18' x 50'	900 SF
D86	18' x 50'	900 SF

UNIT MIX		
UNIT	WxL	AREA
D54	14' x 45'	630 SF
D55	14' x 40'	560 SF
D56	14' x 40'	560 SF
D57	14' x 40'	560 SF
D58	14' x 40'	560 SF
D59	14' x 40'	560 SF
D60	14' x 40'	560 SF
D61	14' x 40'	560 SF
D62	14' x 40'	560 SF
D63	14' x 40'	560 SF
D64	22' x 35'	770 SF
D65	22' x 45'	990 SF
D66	15' x 50'	750 SF
D67	15' x 50'	750 SF
D68	15' x 50'	750 SF
D69	15' x 50'	750 SF
D70	15' x 50'	750 SF
D71	15' x 50'	750 SF
D72	15' x 50'	750 SF
D73	15' x 50'	750 SF
D74	15' x 50'	750 SF
D75	15' x 50'	750 SF

BUILDING E
STANDARD - UNCONDITIONED

UNIT MIX		
UNIT	WxL	AREA
E87	15' x 50'	750 SF
E88	15' x 50'	750 SF
E89	15' x 50'	750 SF
E90	15' x 50'	750 SF
E91	15' x 50'	750 SF
E92	15' x 50'	750 SF
E93	15' x 50'	750 SF
E94	15' x 50'	750 SF
E95	15' x 50'	750 SF
E96	15' x 50'	750 SF
E97	15' x 50'	750 SF
E98	18' x 55'	990 SF
E99	18' x 55'	990 SF
E100	18' x 55'	990 SF
E101	18' x 55'	990 SF
E102	18' x 55'	990 SF

BUILDING F
STANDARD - UNCONDITIONED

UNIT MIX		
UNIT	WxL	AREA
F87	15' x 50'	750 SF
F88	15' x 50'	750 SF
F89	15' x 50'	750 SF
F90	15' x 50'	750 SF
F91	15' x 50'	750 SF
F92	15' x 50'	750 SF
F93	15' x 50'	750 SF
F94	15' x 50'	750 SF
F95	15' x 50'	750 SF
F96	15' x 50'	750 SF
F97	15' x 50'	750 SF
F98	18' x 55'	990 SF
F99	18' x 55'	990 SF
F100	18' x 55'	990 SF
F101	18' x 55'	990 SF
F102	18' x 55'	990 SF

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ROOF FRAMING LAYOUT	FBC-3.1-E
DETAILS	FBC-D1-E
DETAILS	FBC-D2-E

ABBREVIATIONS			
&	AND	FIN.	FINISHED
@	AT	FL.	FLOOR
<	CENTERLINE	F.O.C.	FINISHED OPENING
>	PLATE	F.O.F.	FACE OF FINISH
#	FOUND OR NUMBER	F.O.M.	FACE OF MASONRY
A.B.	ANCHOR BOLT	F.O.S.	FACE PF STD
ACOUS.	ACOUSTICAL	FOUND.	FOUNDATION
A.D.	AREA DRAIN	FT.	FOOT OR FEET
ADJ.	ADJUSTABLE	GA.	GAUGE
A.F.S.	AUTOMATIC FIRE	GALV.	GALVANIZED
	SPRINKLER	G.B.	GRAB BAR
ALUM.	ALUMINUM	GYP.	GYPSUM
ANOD.	ANODIZED	H.B.	HOSE BIBB
APPROX.	APPROXIMATELY	H.C.	HANDICAP
ASB.	ASBESTOS	H.C.W.	HOLLOW CORE WOOD
ASPH.	ASPHALT	HDWR.	HARDWOOD
AVE.	AVENUE	HDWR.	HARDWARE
BD.	BOARD	H.M.	HOLLOW METAL
BLDG.	BUILDING	HORIZ.	HORIZONTAL
BLVD.	BOULEVARD	HR.	HOUR
BOT.	BOTTOM	HT.	HEIGHT
BSMT.	BASEMENT	I.D.	INSIDE DIAMETER
B.U.	BUILT UP	INSUL.	INSULATION
		INT.	INTERIOR
CAB.	CABINET	INV.	INVERT
CEM.	CEMENT	JAN.	JANITOR
CLG.	CEILING	JT.	JOINT
C.O.	CLEAN OUT	KIT.	KITCHEN
COL.	COLUMN	LAB.	LABORATORY
CONC.	CONCRETE	LAM.	LAMINATE
CONSTR.	CONSTRUCTION	LAV.	LAVATORY
CONT.	CONTINUOUS	L.M.B.	LIQUID MARKER BOARD
CORR.	CORRIDOR	MAT.	MATERIAL
CSK.	COUNTERSUNK	MAX.	MAXIMUM
		M.B.	MACHINE BOLT
DBL.	DOUBLE	M.C.	MEDICINE CABINET
DEPT.	DEPARTMENT	MET.	METAL
DET.	DETAIL	MANUF.	MANUFACTURER
D.F.	DRINKING FOUNTAIN	MIN.	MINIMUM
DIA.	DIAMETER	MISC.	MISCELLANEOUS
DIM.	DIMENSION	M.O.	MASONRY OPENING
DN.	DOWN	N.I.C.	NOT IN CONTRACT
DRWG.	DRAWING	N.O.	NUMBER
		NOM.	NOMINAL
E.A.	EACH	N.T.S.	NOT TO SCALE
ELEC.	ELECTRICAL	OBSC.	OBSCURE
ELEV.	ELEVATION	O.C.	ON CENTER
E.P.	ELECTRICAL PANEL	O.D.	OUTSIDE DIAMETER
EQ.	EQUAL	O.H.	OPPOSITE HAND
E.W.C.	ELECTRIC WATER COOLER		
EXH.	EXHAUST		
EXIST.	EXISTING		
EXP.	EXPANSION		
EXT.	EXTERIOR		
F.D.	FLOOR DRAIN		
F.E.C.	FIRE EXTINGUISHER		
	CABINET		

SYMBOLS & GRAPHICS	
	WORK/CONTROL POINT OR DATUM
	DETAIL NUMBER SHEET
	SECTION NUMBER SHEET
	DOOR TAG (NUMBER & LETTER)
	WINDOW TAG (LETTER)
	SHEER WALL (NUMBER)
	KEYNOTE (NUMBER)
	PARTITION TYPE TAG (NUMBER)
	ROOM ID (NUMBER)
	REVISION TAG (NUMBER & CLOUD)
	BATT, BLANKET, OR BLOWN INSULATION
	RIGID INSULATION
	EARTH FILL
	GRAVEL FILL
	CONCRETE
	CMU WALL
	EXTERIOR WOOD FRAME WALL
	INTERIOR WOOD FRAME WALL
	GRASS FILL
	INTERIOR ELEVATION TAG (NUMBER AND SHEET)

CONSTRUCTION NOTES	
A.	THE DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE AND TYPICAL DETAILS OF CONSTRUCTION. THEY DO NOT INDICATE EVERY CONDITION; WORK NOT PARTICULARLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS THAT ARE DETAILED.
B.	DO NOT SCALE DRAWINGS.
C.	FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS WHERE DISCREPANCIES OCCUR. THEY SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION.
D.	COORDINATE ALL CUTTING & PATCHING OF WALLS/CEILING WITH NEW/REMOVED MECHANICAL AND ELECTRICAL PENETRATIONS.
E.	VERIFY ALL EXISTING CONDITIONS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
F.	CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND COORDINATE AS REQUIRED.
G.	DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
H.	ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, LAWS, AND REGULATIONS AND SHALL CONFORM TO THE 2015 NMBC.

PROJECT TEAM	
PROJECT ARCHITECT	
HATCH DESIGN ARCHITECTURE	JEFF HATCH, AIA LEED AP
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PRAIRIE CITY, OR 97869	
MEP ENGINEER	
KARTCHNER BEAUCANNON ASSOC.	JUSTIN BEAUCANNON, PE
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BOISE, IDAHO 83709	FAX: (208) 888-7165
LANDSCAPE ARCHITECT	
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4643 BERKSHIRE DR.	TEL: (208) 207-2686
BOISE, IDAHO 83704	
CIVIL ENGINEER	
IRIS DEVELOPMENT SERVICES, PLLC	MAC HALL, PE
2673 N RILEY RD.	TEL: (602) 616-6898
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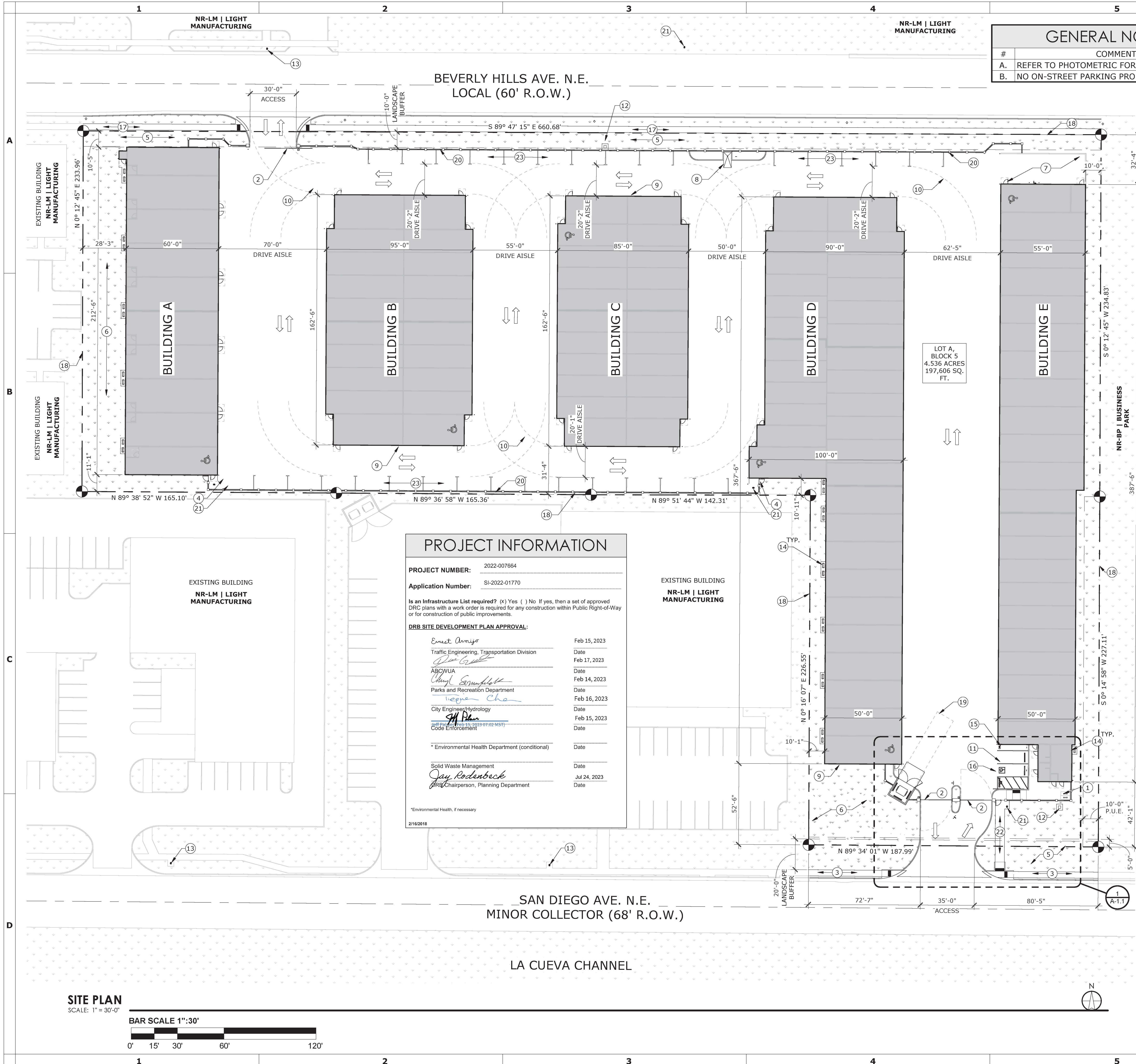


NEW LUXURY BOAT & R.V. STORAGE FACILITY FOR:

LUXELOCKER ALBUQUERQUE

SAN DIEGO AVENUE NE, ALBUQUERQUE NM 87113

DATE: OCT. 2022
 DRAWN BY: NL
 CHECKED BY: JHL
 JOB NUMBER: MKT 22
 SHEET TITLE: COVER SHEET
 SHEET NUMBER: A-0.0



GENERAL NOTES	
#	COMMENTS
A.	REFER TO PHOTOMETRIC FOR SITE LIGHTING.
B.	NO ON-STREET PARKING PROPOSED.

SITE RECAP		
ZONING: NR-LM LIGHT MANUFACTURING		
TOTAL PROJECT SITE: LOT A, BLOCK 5 4.536 acres 197,606 SF		
PROPOSED BUILDING FOOTPRINT:		
BUILDING A (STORAGE)	12,778 SF	
BUILDING B (STORAGE)	15,018 SF	
BUILDING C (STORAGE)	13,453 SF	
BUILDING D (STORAGE)	25,730 SF	
BUILDING E (STORAGE)	19,696 SF	
TOTAL	86,673 SF	
NET LOT COVERAGE:		
IMPERVIOUS SURFACE		
DRIVE AISLES	80,676 SF	41.0%
BUILDING FOUNDATION	86,673 SF	44.0%
	167,349 SF	85.0%
LANDSCAPE AREA		
MULCH	14,335 SF	7.3%
DRY HYDROSEED	15,197 SF	7.7%
	29,532 SF	15.0%
TOTAL NET LOT AREA	196,881 SF	100.0%
SETBACKS: FRONT - 5'-0" SIDE - 0'-0" REAR - 0'-0"		
BUILDING HEIGHT ALLOWED: 52'-0" PROPOSED: 26'-0"		
PARKING:		
REQUIRED:	1 SPACE PER 3,000 SF	
	86,673 SF / 3,000 SF = 29 SPACES	
	HC ACCESSIBLE - 1 SPACE	
	MOTORCYCLE - 1 SPACE	
	BICYCLE - 3 SPACES	
PROVIDED:	HC ACCESSIBLE 1 SPACES	
	MOTORCYCLE 1 SPACES	
	STANDARD 1 SPACES	
	PARALLEL 28 SPACES	
	TOTAL 31 SPACES	
	BICYCLE 4 SPACES	

PROJECT INFORMATION	
PROJECT NUMBER:	2022-007664
Application Number:	SI-2022-01770
Is an Infrastructure List required? (x) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
<i>Ernest Arriaga</i>	Feb 15, 2023
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	Feb 17, 2023
ABC/WUA	Date
<i>[Signature]</i>	Feb 14, 2023
Parks and Recreation Department	Date
<i>[Signature]</i>	Feb 16, 2023
City Engineer/Hydrology	Date
<i>[Signature]</i>	Feb 15, 2023
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
<i>[Signature]</i>	Jul 24, 2023
Chairperson, Planning Department	Date
*Environmental Health, if necessary	
2/16/2018	

#	KEYNOTES
1	BICYCLE PARKING. SEE DETAIL 8/A-1.1.
2	ACCESS GATE W/ SIGNAGE. SEE SHEET A-1.3.
3	EXISTING 5' CONCRETE SIDEWALK. SEE CIVIL DRAWINGS.
4	FIRE DEPARTMENT ACCESS MAN-GATE. SEE DETAIL 3/A-1.3.
5	PROPOSED LANDSCAPING. SEE LANDSCAPE DRAWINGS.
6	PROPOSED RETENTION POND AREA. SEE CIVIL DRAWINGS.
7	WASH BAY. SEE CIVIL DRAWINGS.
8	DUMP STATION. SEE DETAIL 1/A-1.6.
9	BUILDING SIGNAGE. SEE SHEET A-1.7.
10	FIRE ENGINE CLEARANCE W/28' RADIUS.
11	STANDARD PARKING STALL, 8.5' x 20'.
12	PROPOSED TRANSFORMER LOCATION. SEE ELECTRICAL DRAWINGS.
13	EXISTING FIRE HYDRANT. SEE CIVIL DRAWINGS.
14	CONDENSER LOCATION. SEE MECHANICAL DRAWINGS.
15	MOTORCYCLE PARKING STALL, 4'0" x 20'.
16	ADA PARKING STALL W/ ACCESS ISLE, 8.5' x 20'.
17	PROPOSED CONCRETE SIDEWALK TO MATCH EXISTING. SEE SHEET TC-1.0 & CIVIL DRAWINGS.
18	PROPERTY LINE.
19	REFUSE VEHICLE MANEUVERING CLEARANCE, 12' x 50'.
20	7'-6" TALL IRON FENCE. SEE SHEETS A-1.4 & A-1.5.
21	PROPOSED FIRE HYDRANT. SEE CIVIL DRAWINGS.
22	PROPOSED CONCRETE SIDEWALK. SEE SHEET TC-1.0 & CIVIL DRAWINGS.
23	PARALLEL PARKING STALL, 8.5' x 22'.

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STATE OF NEW MEXICO
JEFFERY HATCH
NO. 005633
2-10-23
REGISTERED ARCHITECT

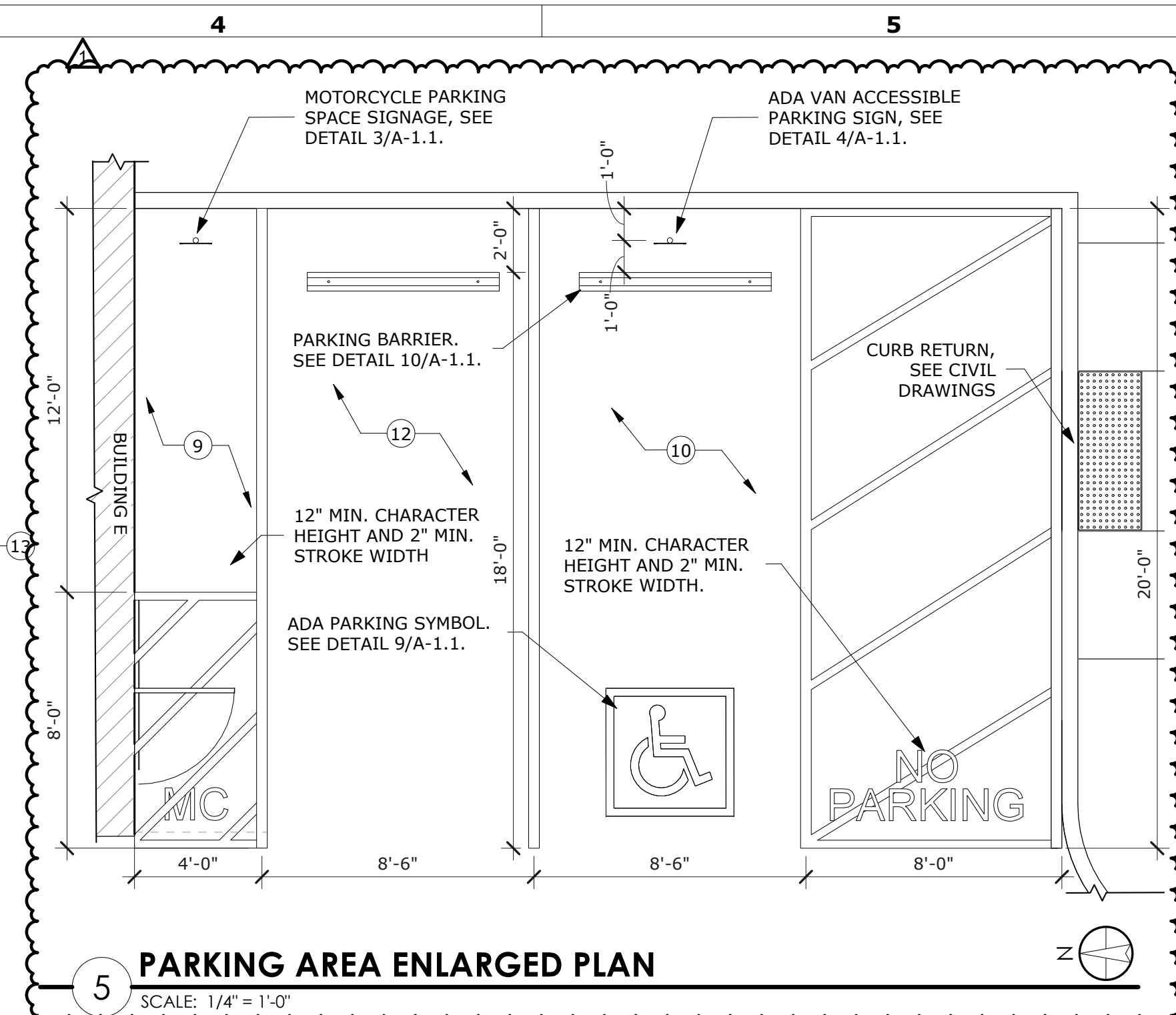
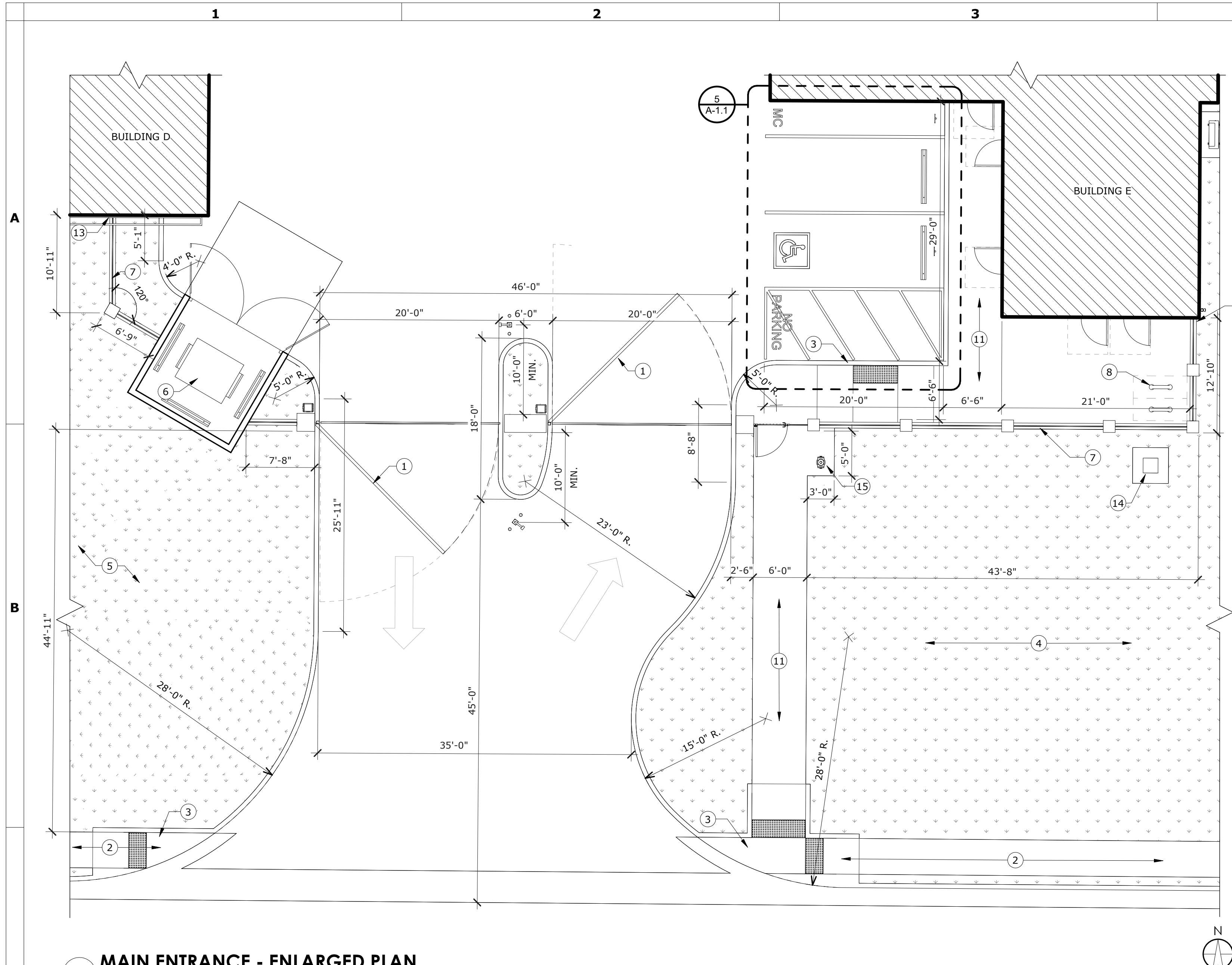
NEW LUXURY BOAT & R.V. STORAGE FACILITY FOR:
LUXELCKER ALBUQUERQUE
SAN DIEGO AVENUE NE, ALBUQUERQUE NM 87113

DATE	DESCRIPTION
10/09/22	DATE
11/15/22	DATE
12/09/22	DATE

DATE: OCT. 2022
DRAWN BY: NL
CHECKED BY: JHL
JOB NUMBER: MKT 22

SHEET TITLE: **SITE PLAN**

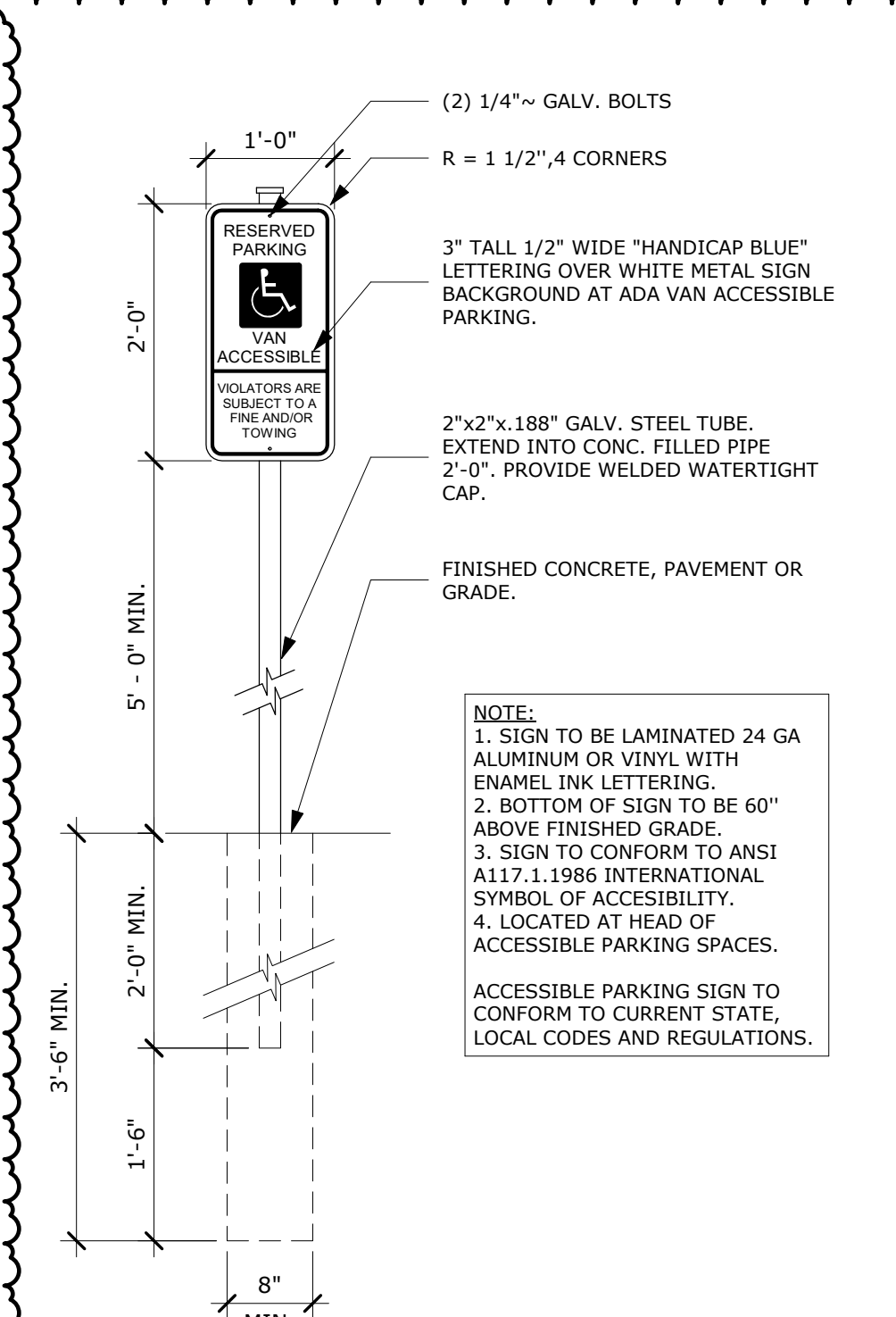
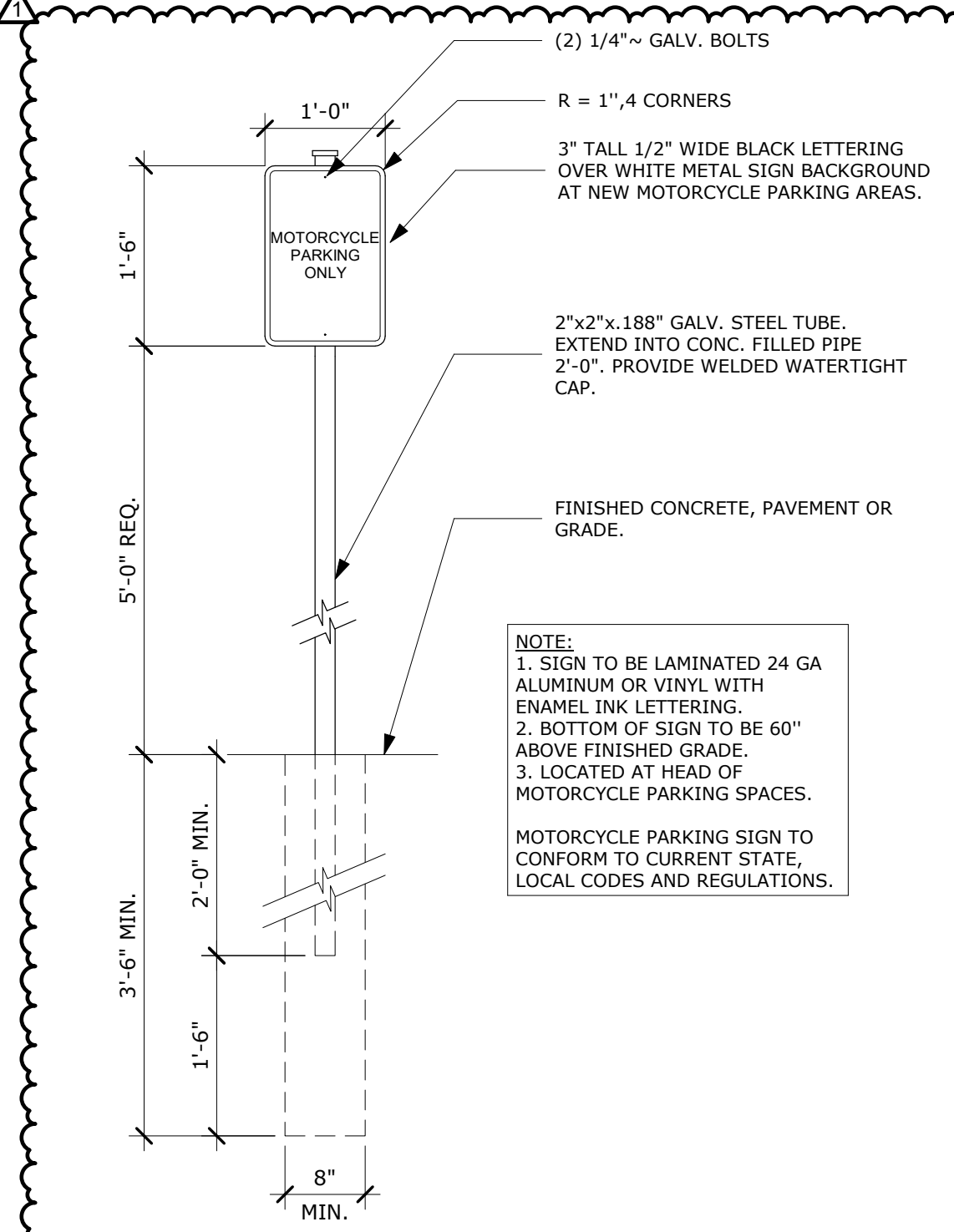
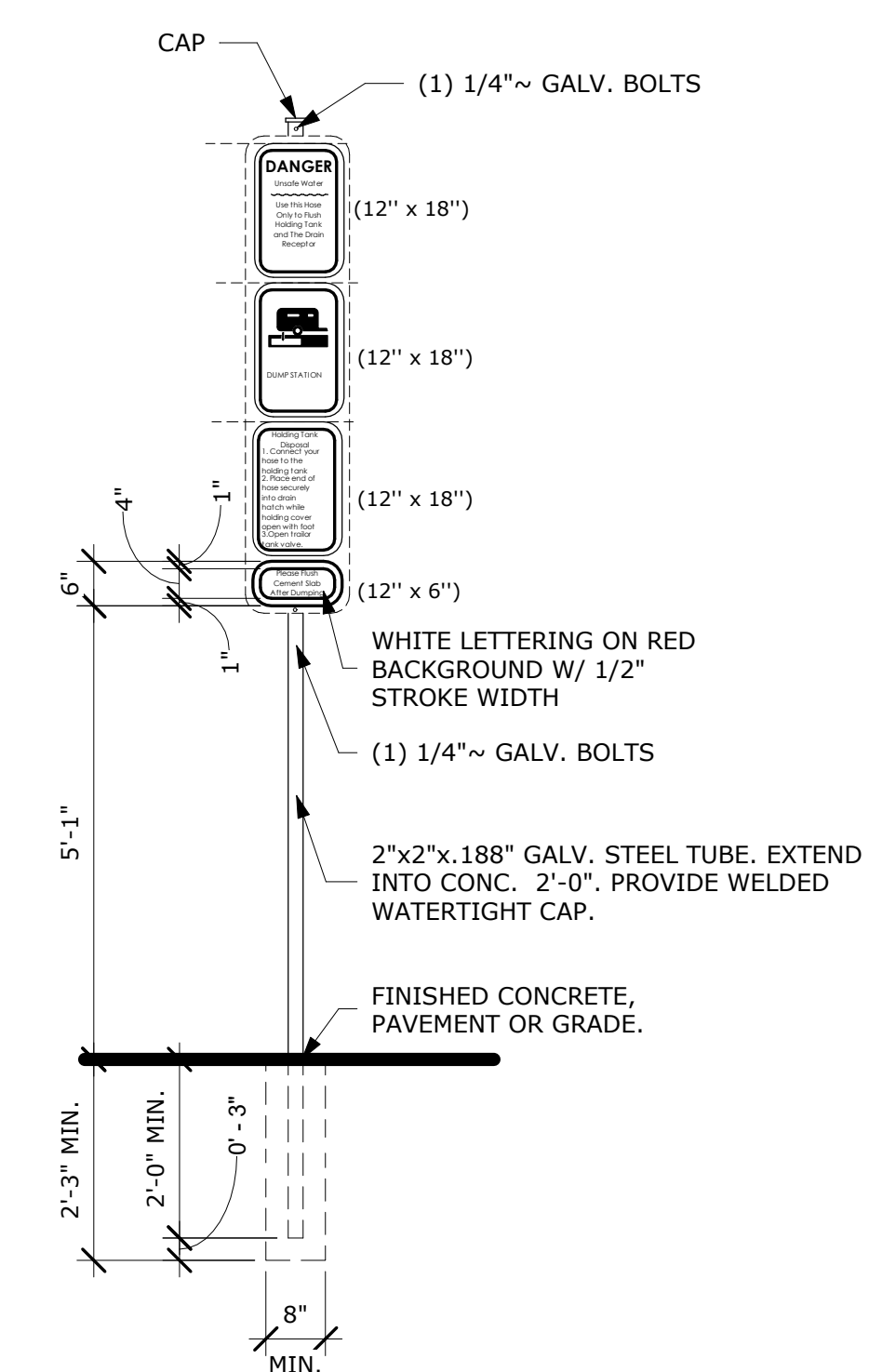
SHEET NUMBER: **A-1.0**



#	KEYNOTES
1	ACCESS GATE W/ SIGNAGE. SEE SHEET A-1.3.
2	EXISTING 5' CONCRETE SIDEWALK. SEE CIVIL DRAWINGS.
3	CURB CUTS. SEE SHEET CIVIL DRAWINGS.
4	PROPOSED LANDSCAPING. SEE LANDSCAPE DRAWINGS.
5	PROPOSED RETENTION POND AREA. SEE CIVIL DRAWINGS.
6	TRASH ENCLOSURE. SEE SHEET A-1.2.
7	7'-6" TALL IRON FENCE. SEE SHEET A-1.3.
8	BICYCLE PARKING. SEE DETAIL 8/A-1.1.
9	MOTORCYCLE PARKING STALL, 4'0" x 20'.
10	ADA PARKING STALL W/ ACCESS ISLE, 8.5' x 20'.
11	PROPOSED CONCRETE SIDEWALK TO MATCH EXISTING. SEE SHEET CIVIL DRAWINGS.
12	STANDARD PARKING STALL, 8.5' x 20'.
13	MAINTAIN 2" MIN. SEPERATION BETWEEN BUILDING AND PERIMETER FENCE.
14	PROPOSED TRANSFORMER LOCATION. SEE ELECTRICAL DRAWINGS.
15	PROPOSED FIRE HYDRANT. SEE CIVIL DRAWINGS.

1 MAIN ENTRANCE - ENLARGED PLAN
SCALE: 1/8" = 1'-0"

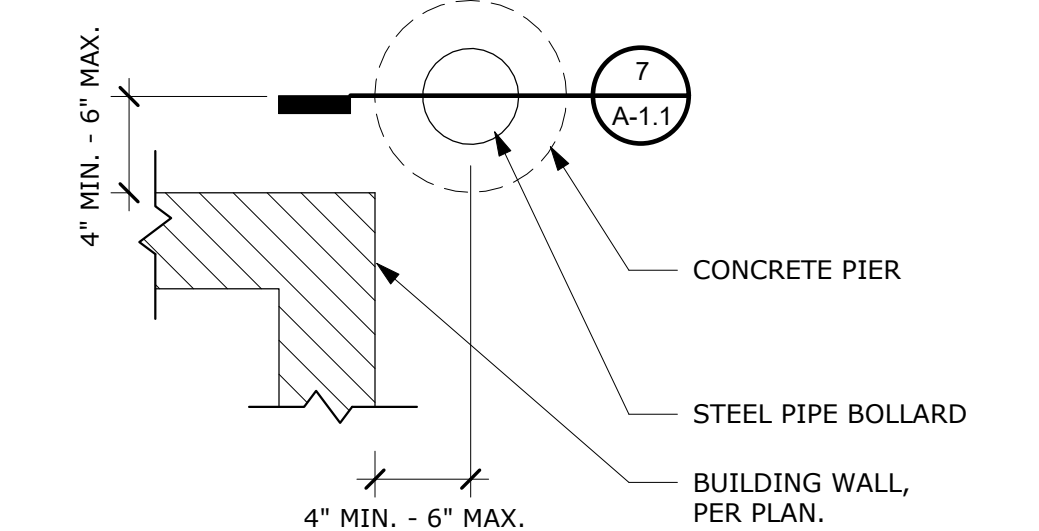
5 PARKING AREA ENLARGED PLAN
SCALE: 1/4" = 1'-0"



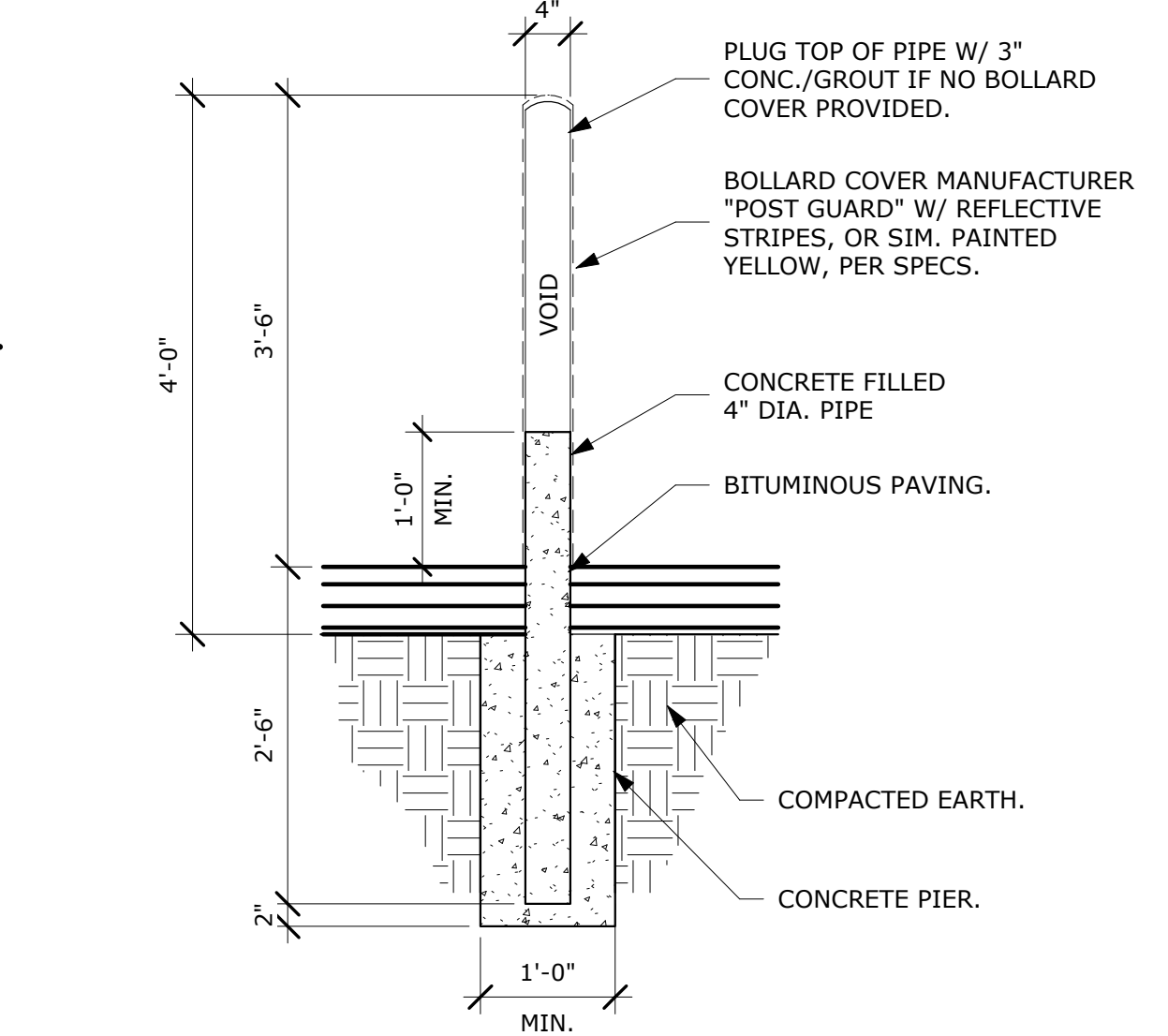
2 DUMP STATION SIGNAGE DETAIL
SCALE: 1/2" = 1'-0"

3 ADA PARKING MOTORCYCLE SIGN
SCALE: 3/4" = 1'-0"

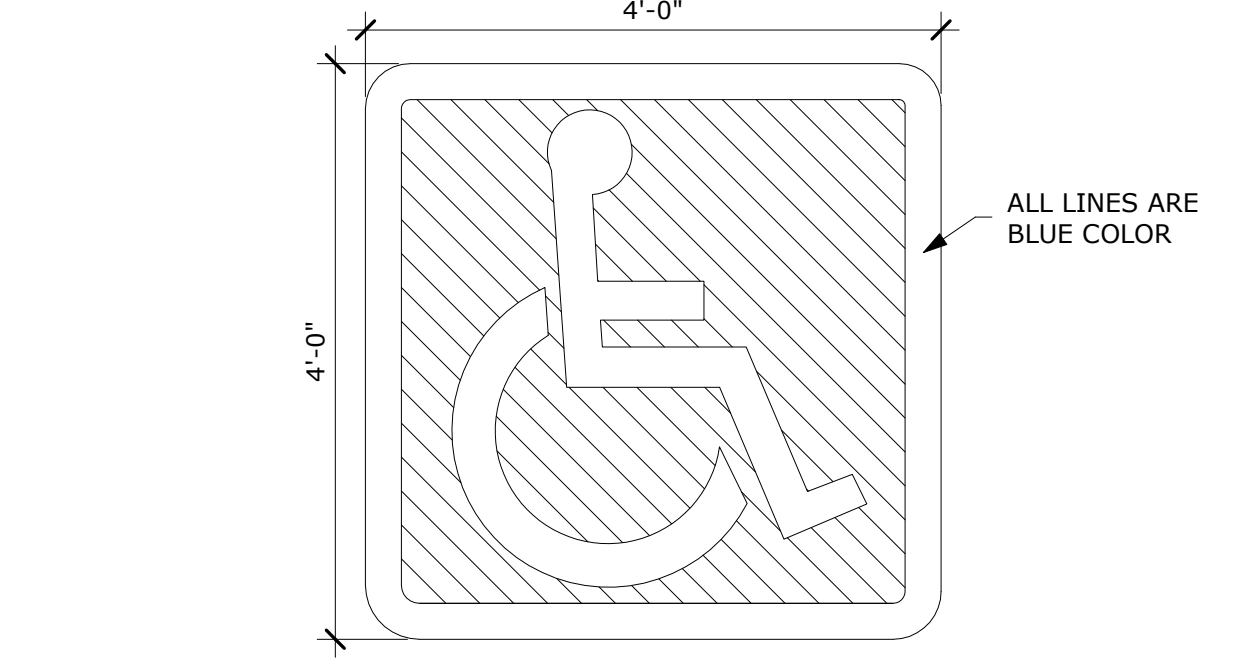
4 ADA PARKING SIGN
SCALE: 3/4" = 1'-0"



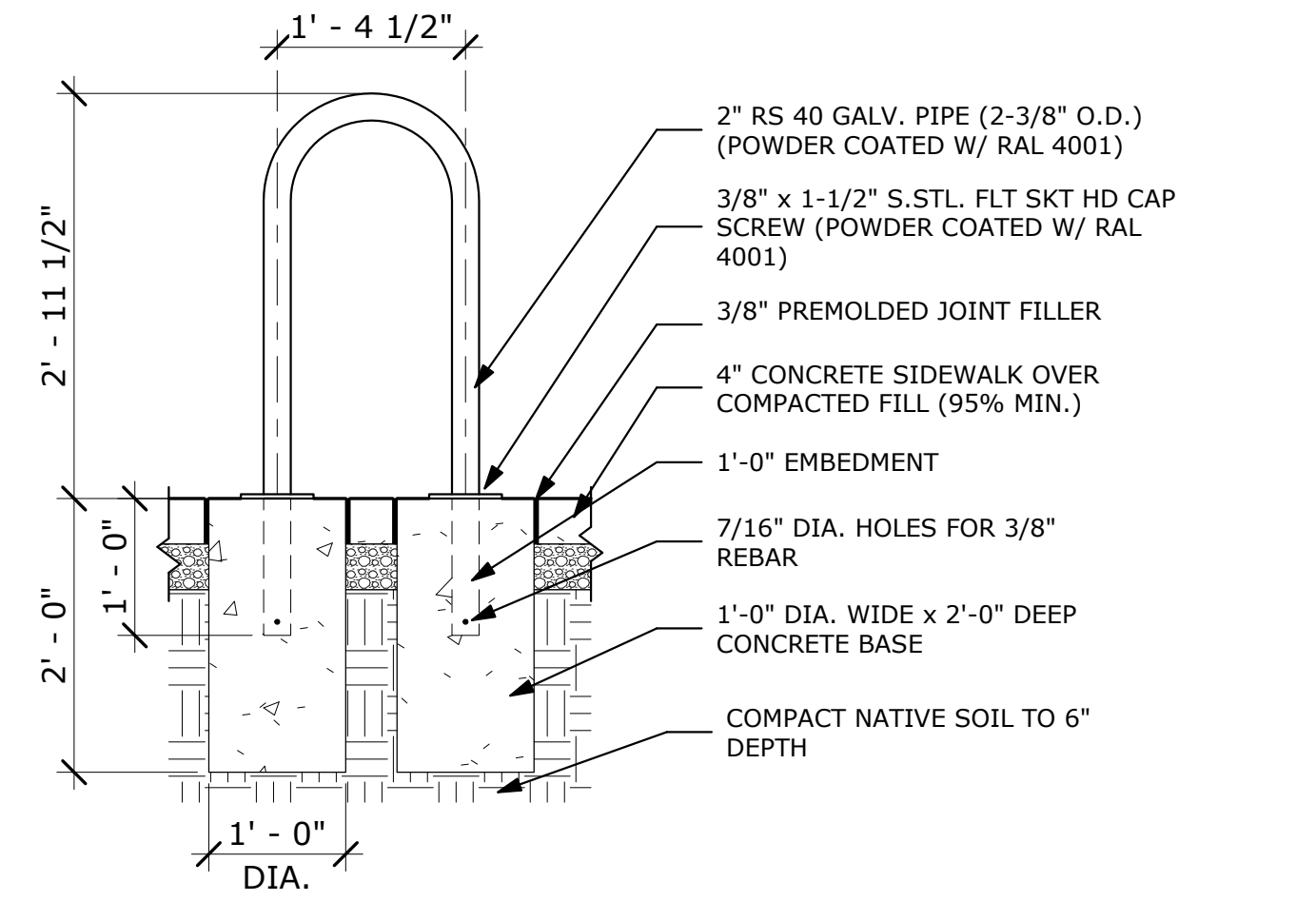
6 PIPE BOLLARD @ CORNER DETAIL
SCALE: 1" = 1'-0"



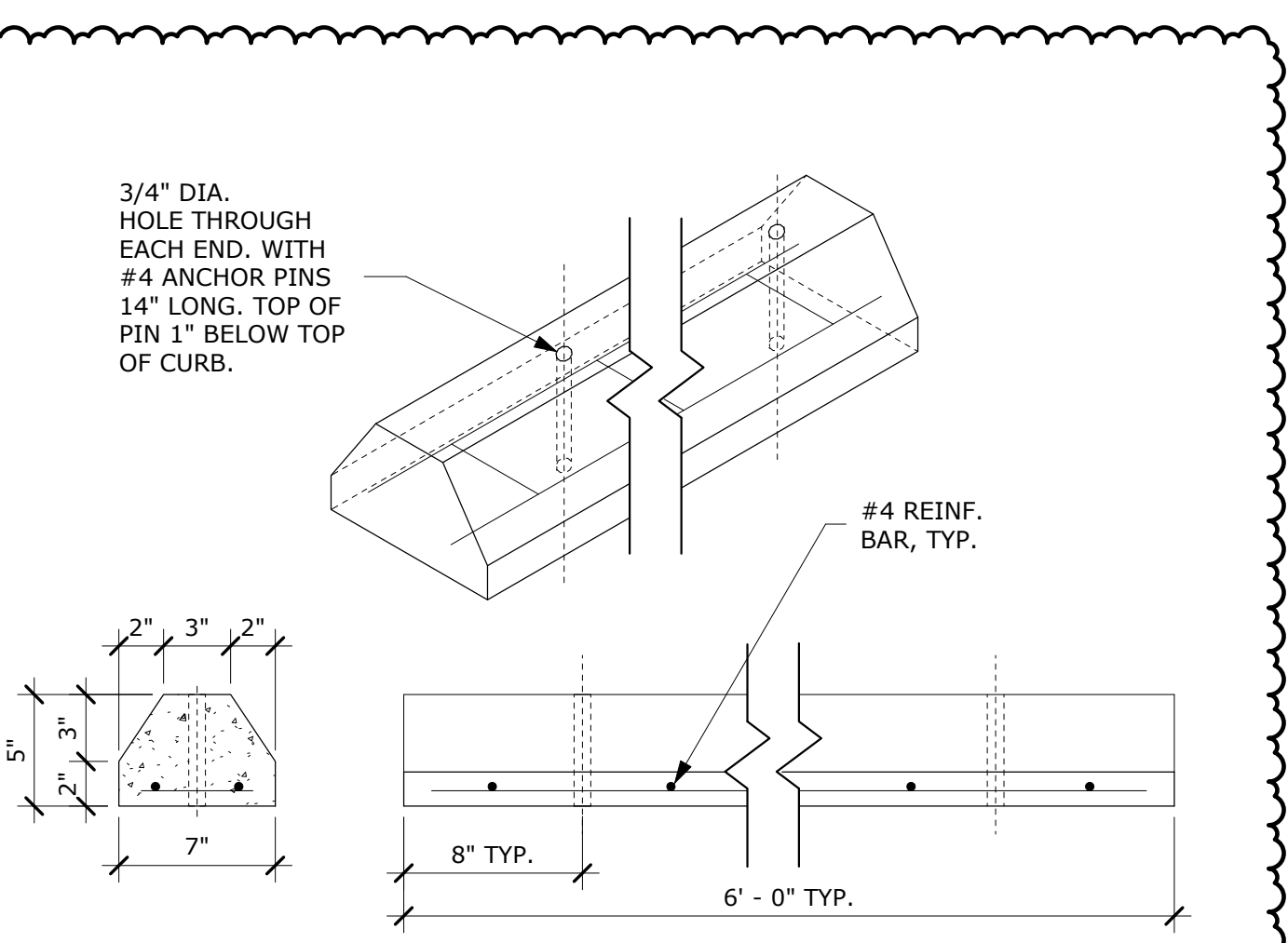
7 TYPICAL STEEL PIPE BOLLARD
SCALE: 3/4" = 1'-0"



9 ADA PARKING SYMBOL DETAIL
SCALE: 3/4" = 1'-0"



8 BIKE RACK DETAIL
SCALE: 3/4" = 1'-0"



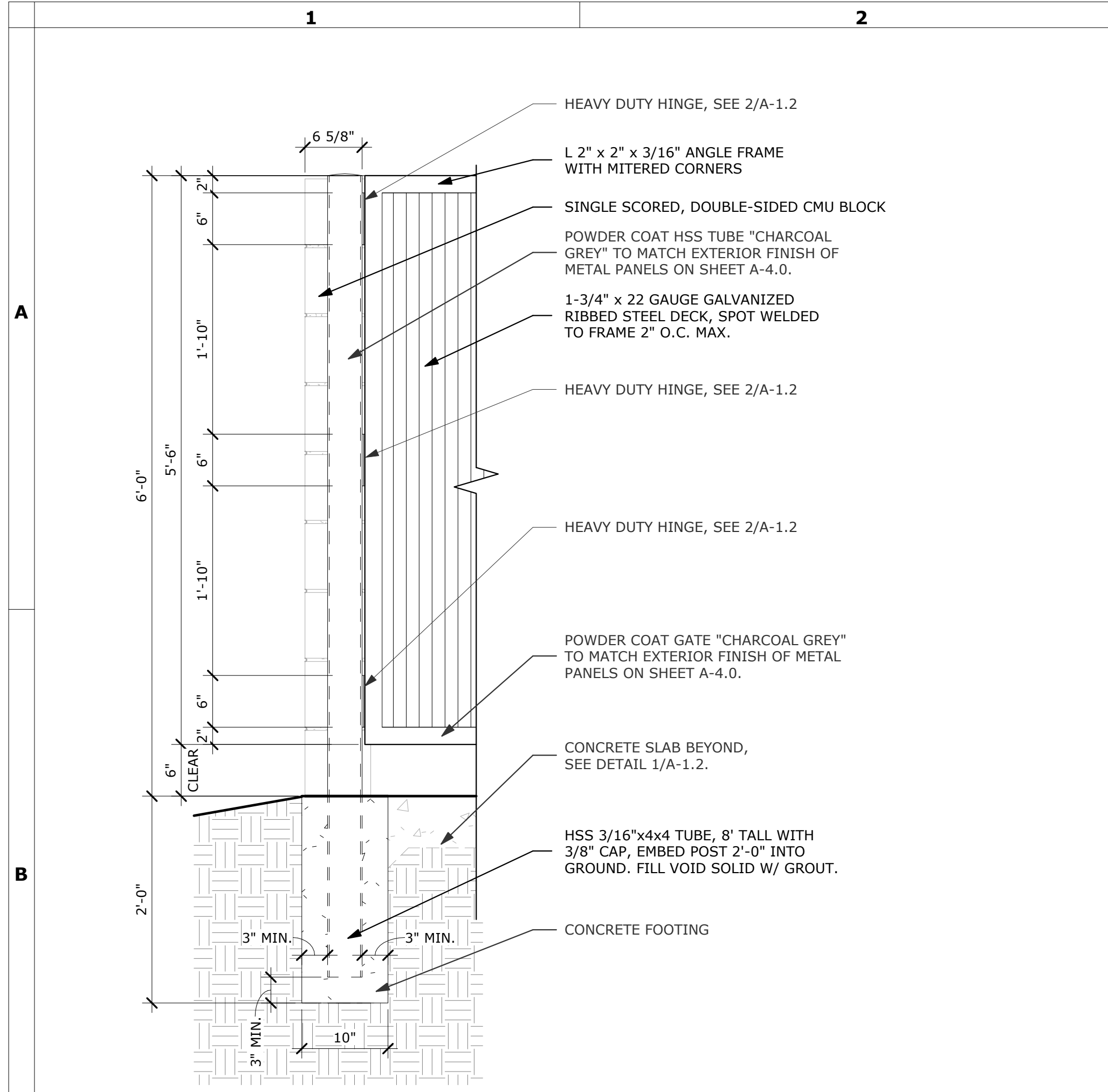
10 CONCRETE PARKING BARRIER
SCALE: 1 1/2" = 1'-0"

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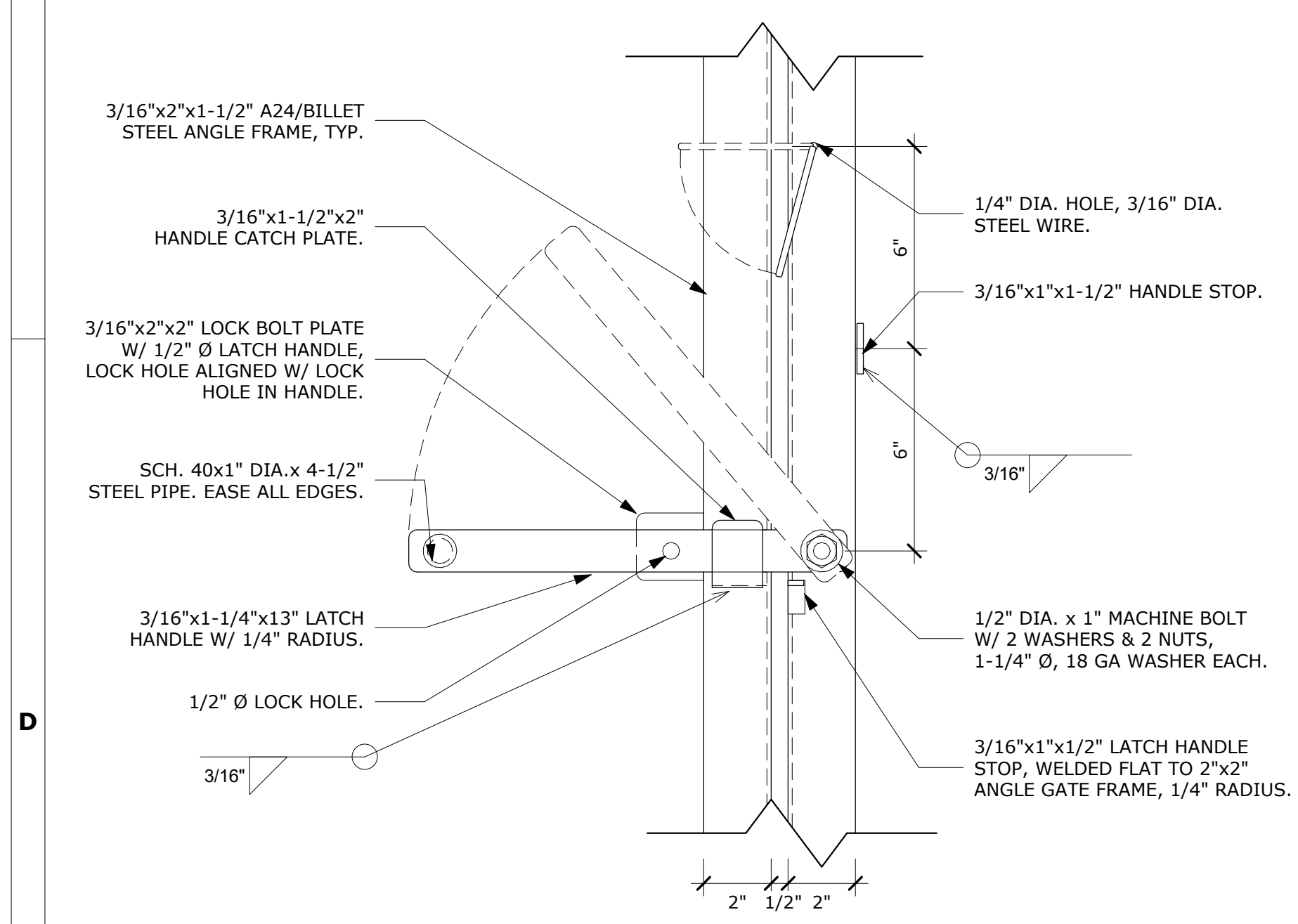
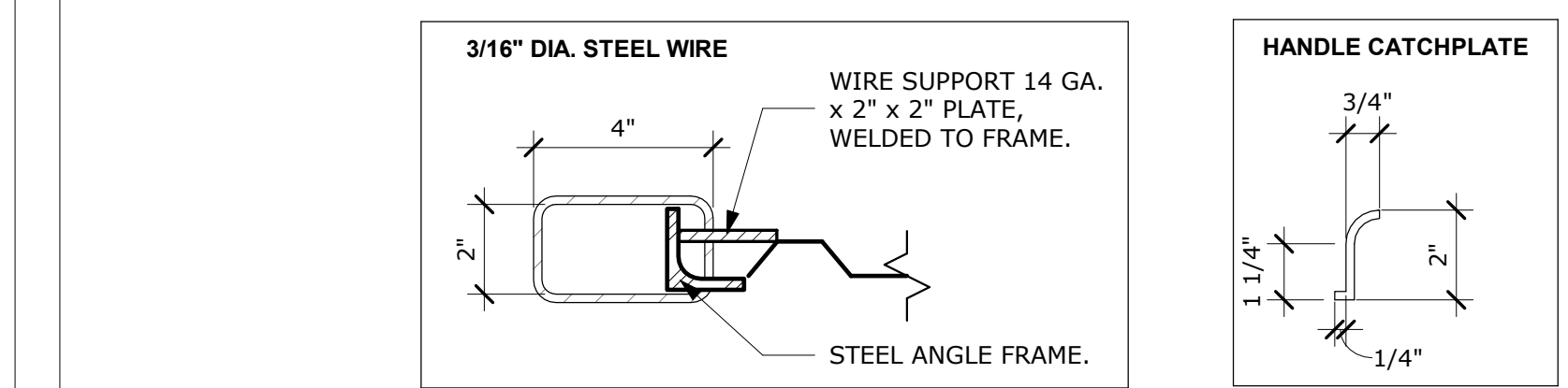
STATE OF NEW MEXICO
JEFFERY HATCH
NO. 005633
2-10-23
REGISTERED ARCHITECT

NEW LUXURY BOAT & R.V. STORAGE FACILITY FOR:
LUXELocker ALBUQUERQUE
SAN DIEGO AVENUE NE, ALBUQUERQUE NM 87113

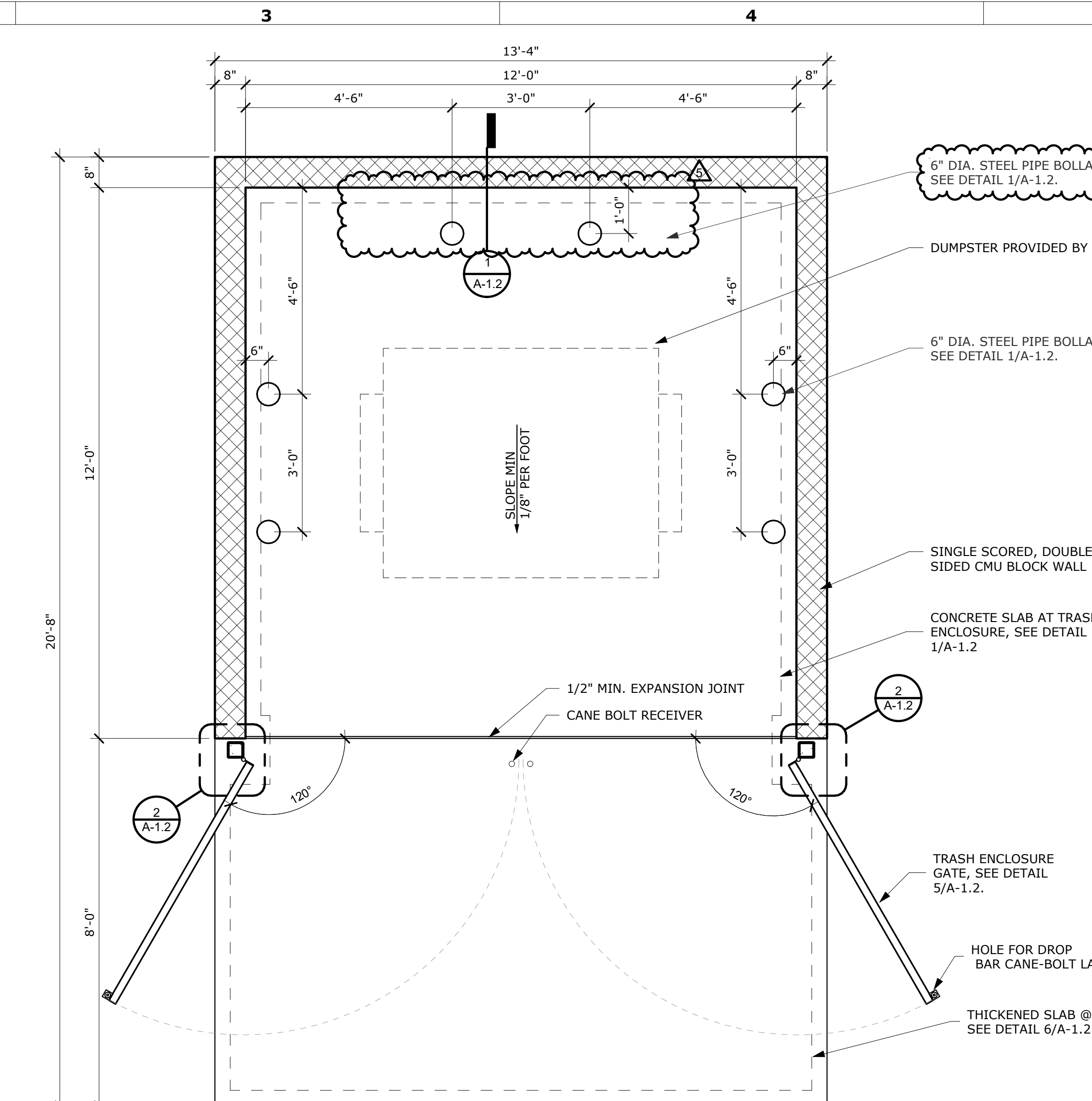
DATE: OCT. 2022
DRAWN BY: RH, KR
CHECKED BY: GS
JOB NUMBER: MKT 22
SHEET TITLE: SITE DETAILS
SHEET NUMBER: A-1.1



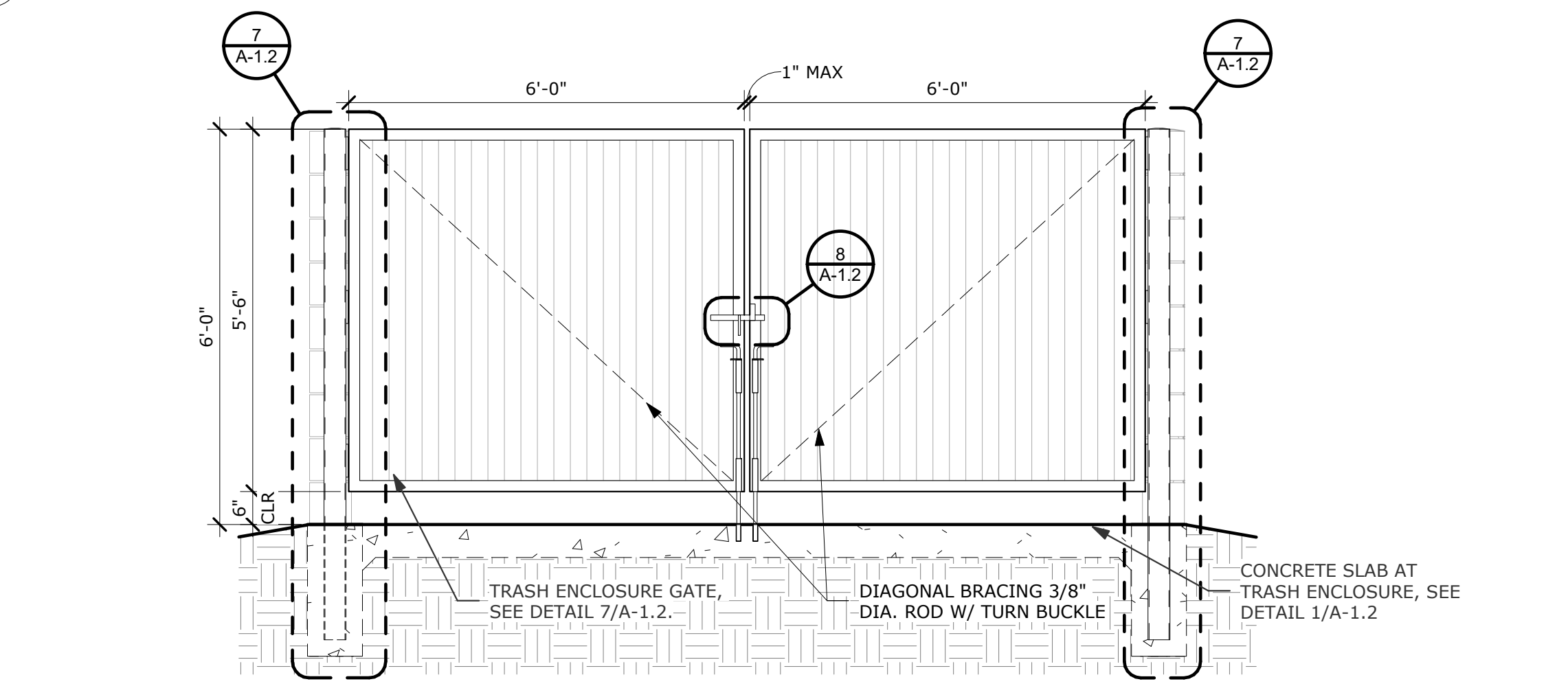
7 TRASH ENCLOSURE GATE HINGE - ELEVATION
SCALE: 1" = 1'-0"



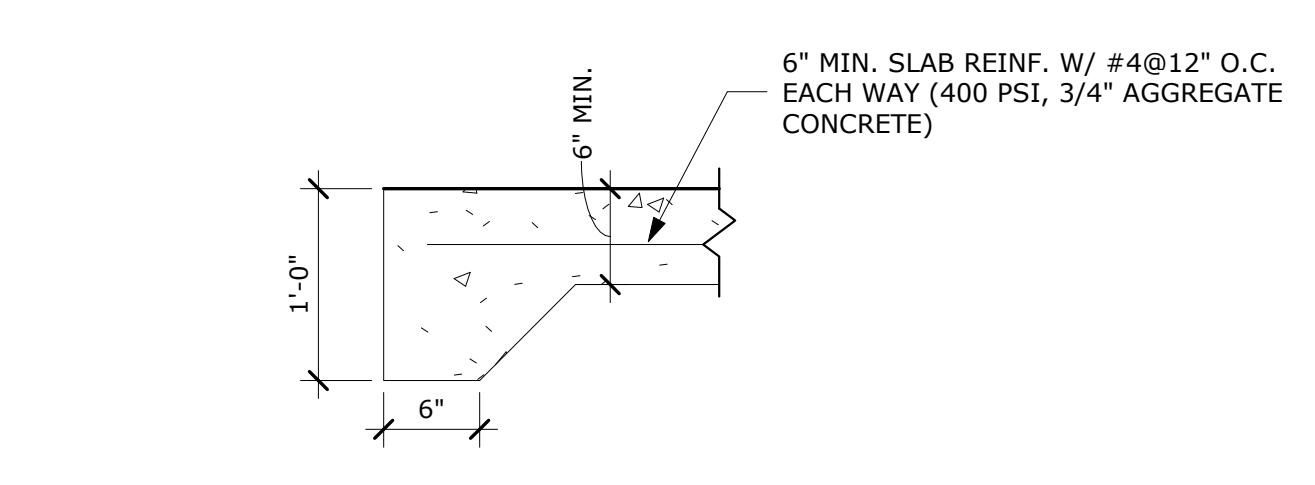
8 TRASH ENCLOSURE LATCH - ELEVATION
SCALE: 3" = 1'-0"



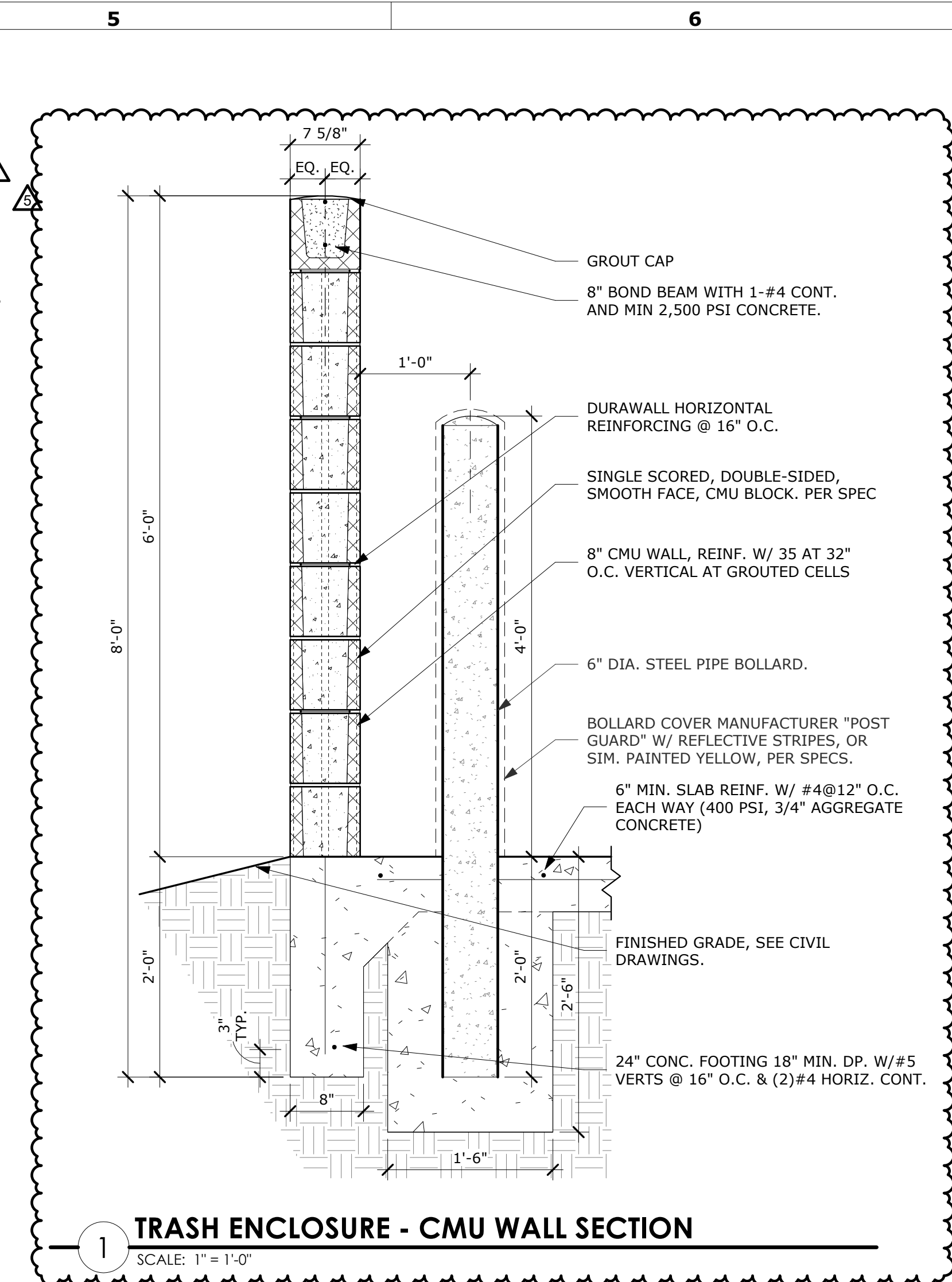
4 TRASH ENCLOSURE PLAN
SCALE: 1/2" = 1'-0"



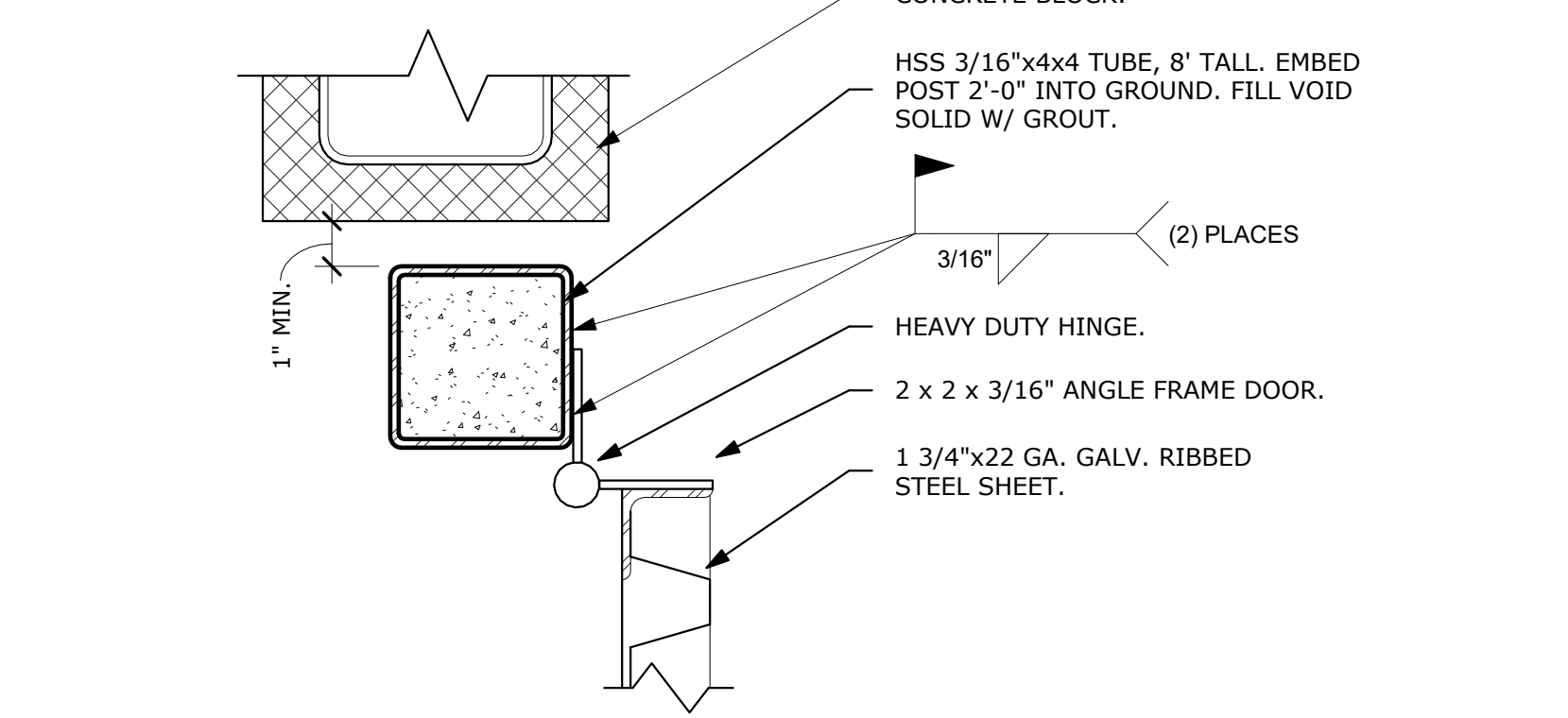
5 TRASH ENCLOSURE - FRONT ELEVATION
SCALE: 1/2" = 1'-0"



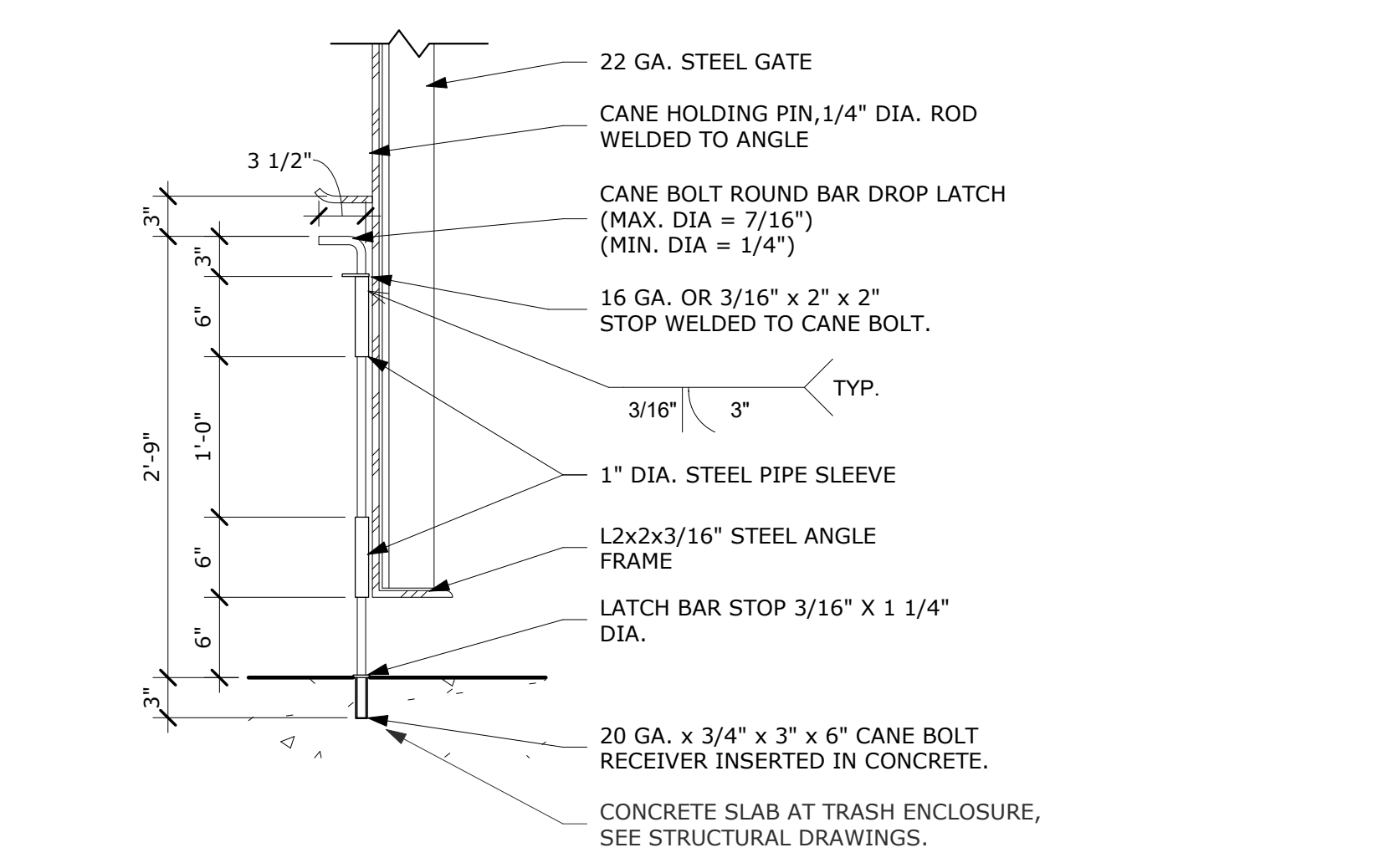
6 TYP. APPROACH SLAB THICKENED EDGE
SCALE: 1" = 1'-0"



1 TRASH ENCLOSURE - CMU WALL SECTION
SCALE: 1" = 1'-0"



2 TRASH ENCLOSURE HEAVY DUTY GATE HINGE - PLAN
SCALE: 3" = 1'-0"



3 TRASH ENCLOSURE CANE BOLT SECTION
SCALE: 1" = 1'-0"

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STATE OF NEW MEXICO
JEFFERY HATCH
NO. 005633
2-10-23
REGISTERED ARCHITECT

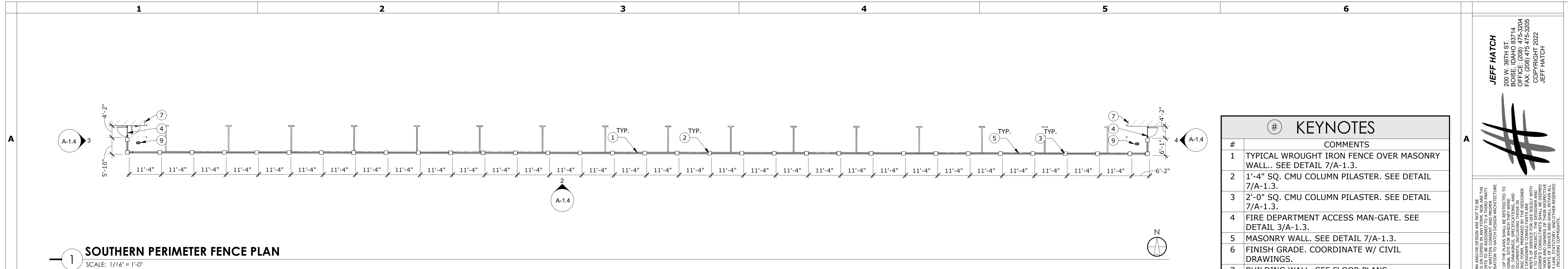
NEW LUXURY BOAT & R.V. STORAGE FACILITY FOR:
LUXELocker ALBUQUERQUE
SAN DIEGO AVENUE NE, ALBUQUERQUE NM 87113

DATE	DESCRIPTION
10/08/22	DATE ONE REVIEW
11/15/22	COMMENTS
12/09/22	DATE ONE COMMENTS
01/23/23	DATE ONE COMMENTS

DATE: OCT. 2022
DRAWN BY: NL
CHECKED BY: JH
JOB NUMBER: MKT 22

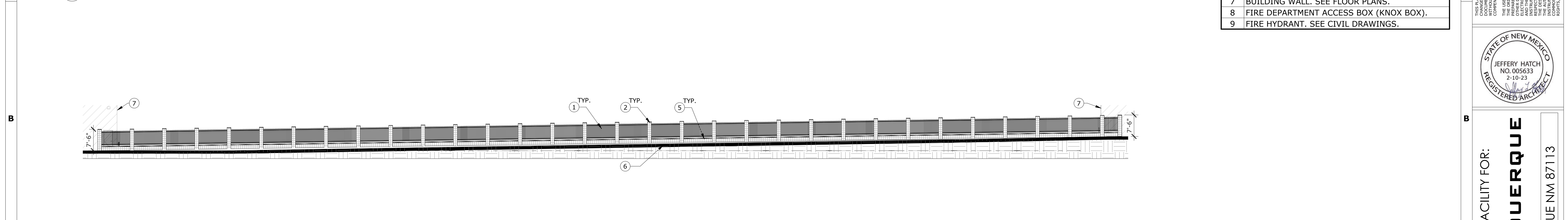
SHEET TITLE
TRASH ENCLOSURE DETAILS

SHEET NUMBER
A-1.2

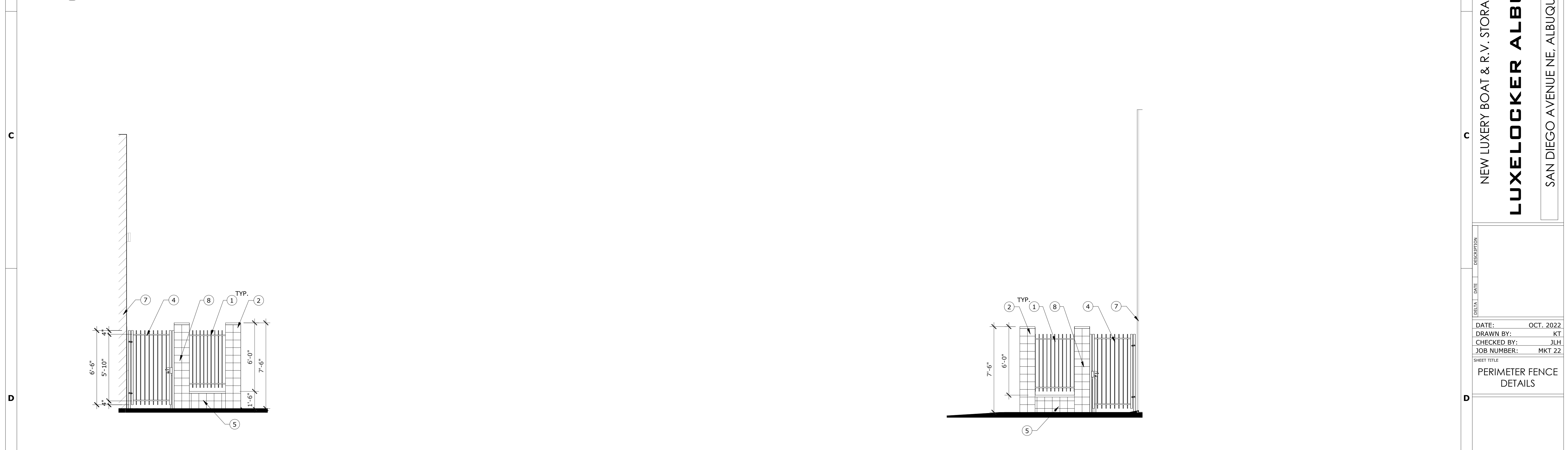


1 SOUTHERN PERIMETER FENCE PLAN
SCALE: 1/16" = 1'-0"

#	KEYNOTES
#	COMMENTS
1	TYPICAL WROUGHT IRON FENCE OVER MASONRY WALL. SEE DETAIL 7/A-1.3.
2	1'-4" SQ. CMU COLUMN PILASTER. SEE DETAIL 7/A-1.3.
3	2'-0" SQ. CMU COLUMN PILASTER. SEE DETAIL 7/A-1.3.
4	FIRE DEPARTMENT ACCESS MAN-GATE. SEE DETAIL 3/A-1.3.
5	MASONRY WALL. SEE DETAIL 7/A-1.3.
6	FINISH GRADE. COORDINATE W/ CIVIL DRAWINGS.
7	BUILDING WALL. SEE FLOOR PLANS.
8	FIRE DEPARTMENT ACCESS BOX (KNOX BOX).
9	FIRE HYDRANT. SEE CIVIL DRAWINGS.



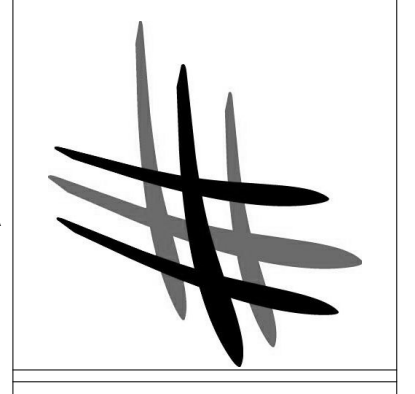
2 SOUTHERN PERIMETER FENCE ELEVATION
SCALE: 1/16" = 1'-0"



3 ENLARGED SOUTHERN PERIMETER FENCE ELEVATION
SCALE: 1/4" = 1'-0"

4 ENLARGED PERIMETER FENCE ELEVATION
SCALE: 1/4" = 1'-0"

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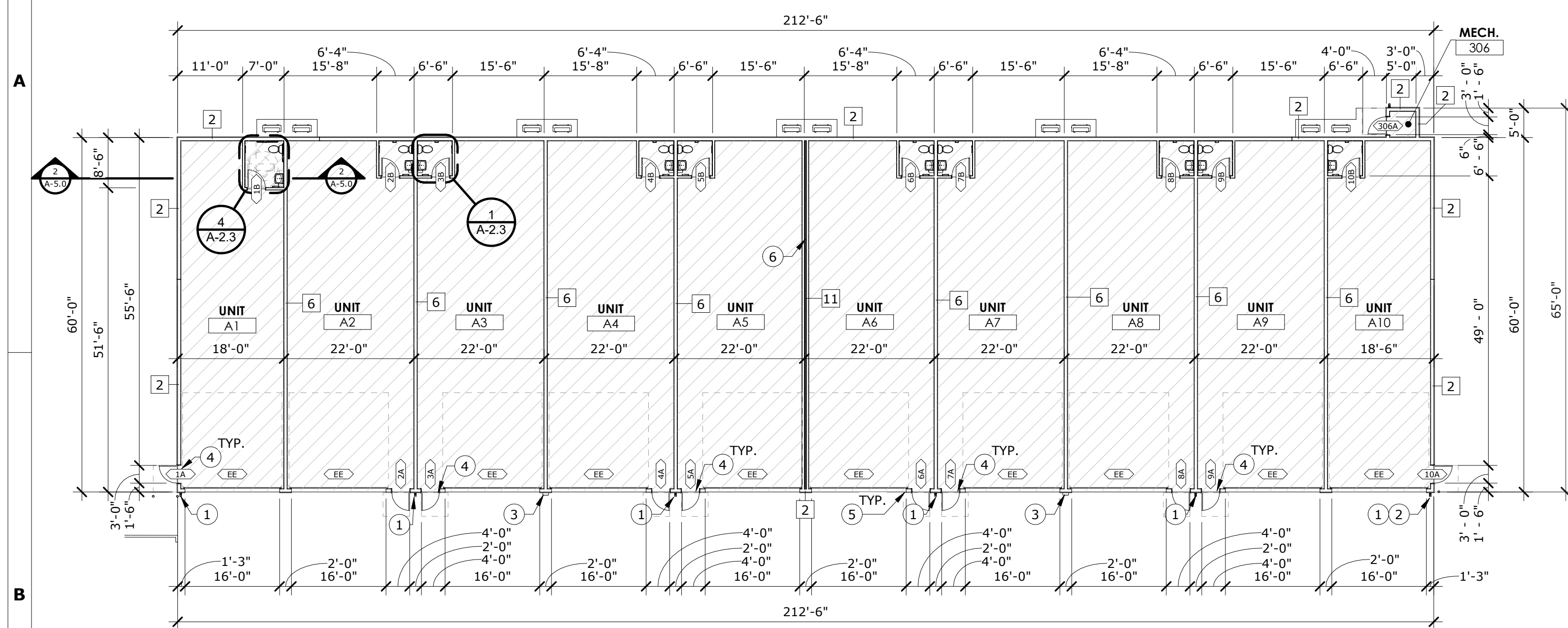
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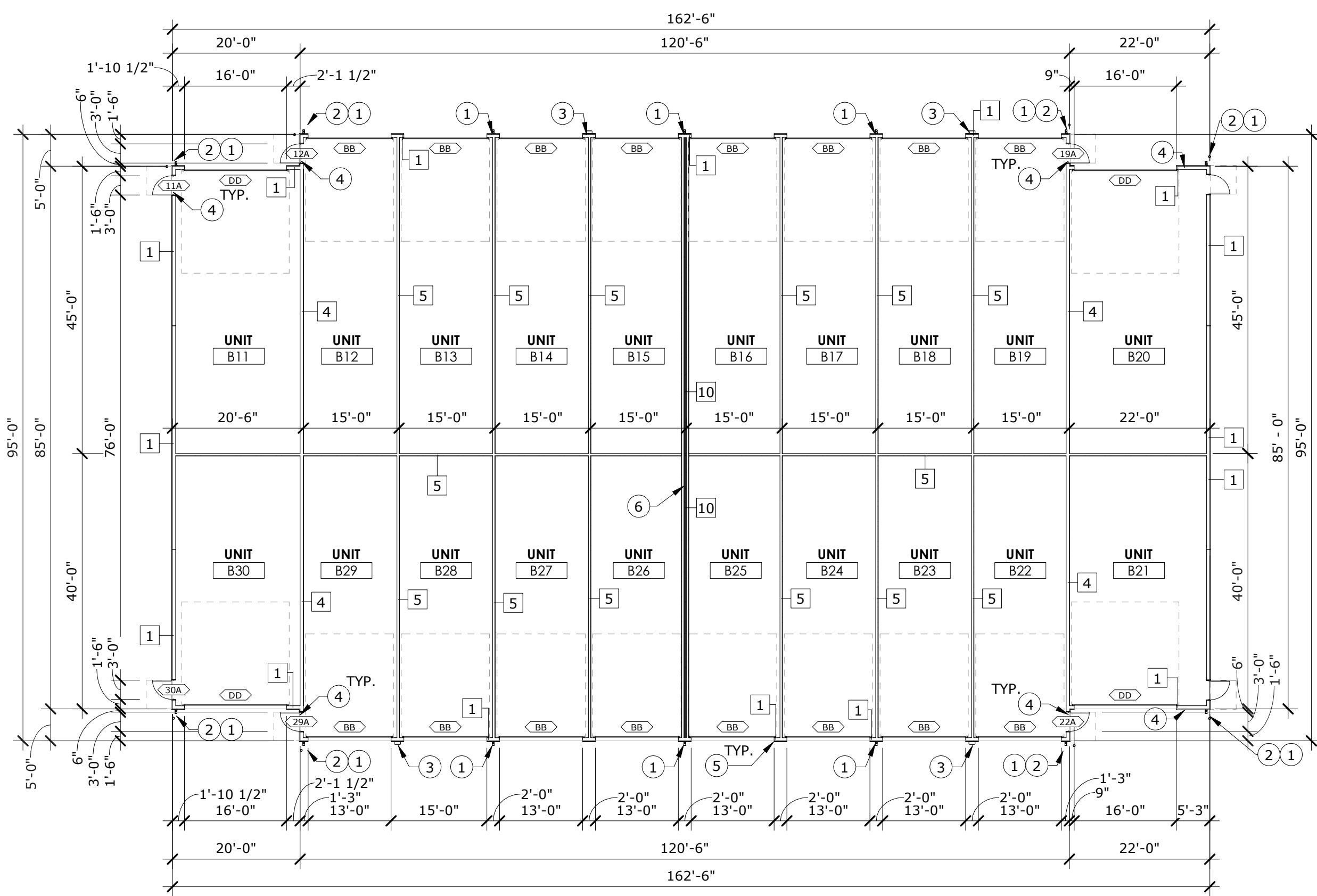
NEW LUXURY BOAT & R.V. STORAGE FACILITY FOR:
LUXELocker ALBUQUERQUE
SAN DIEGO AVENUE NE, ALBUQUERQUE NM 87113

DATE: OCT. 2022
DRAWN BY: KT
CHECKED BY: JLH
JOB NUMBER: MKT 22
SHEET TITLE
PERIMETER FENCE DETAILS

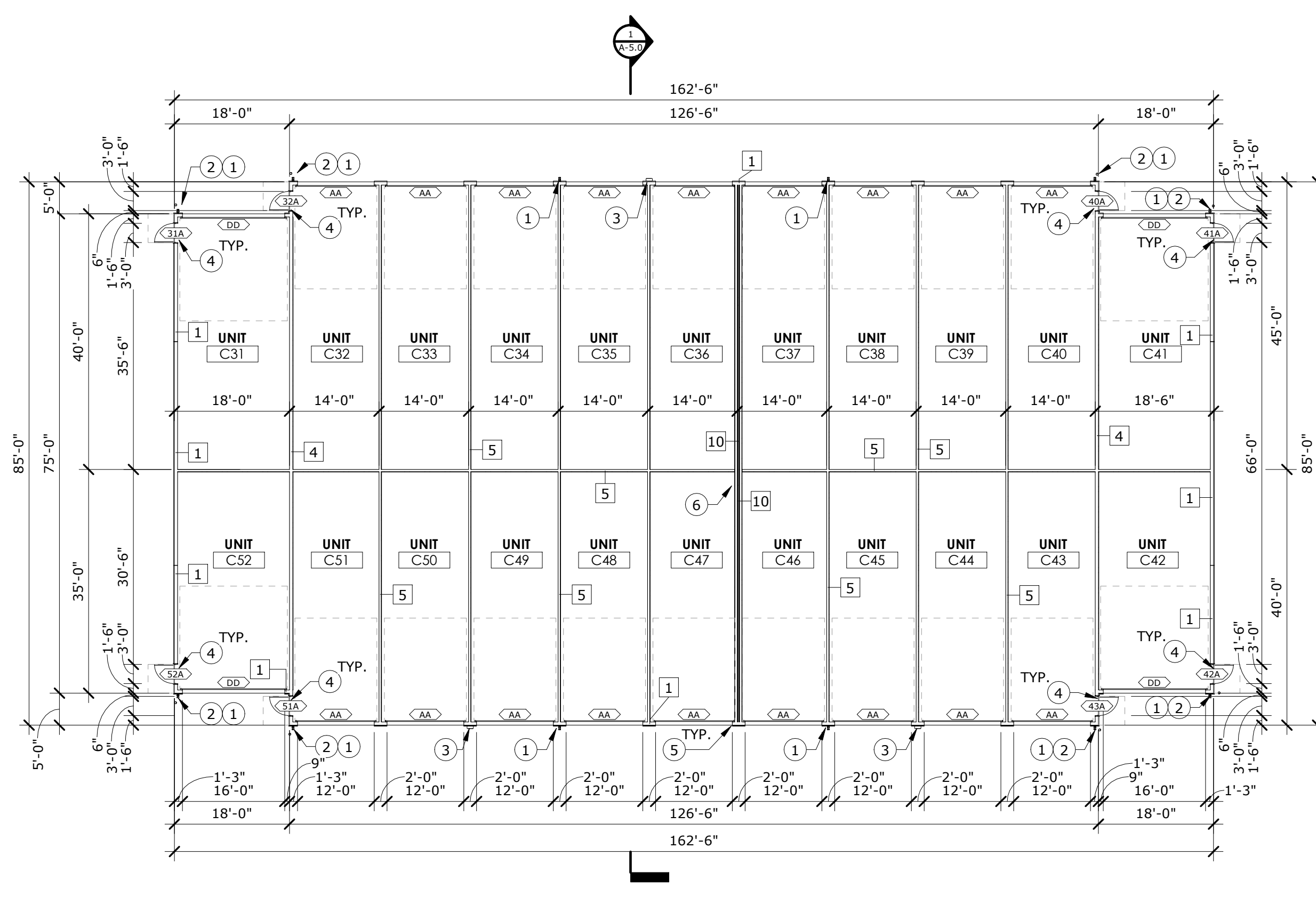
SHEET NUMBER
A-1.4



1 BUILDING A - FLOOR PLAN
SCALE: 1/16" = 1'-0"



2 BUILDING B - FLOOR PLAN
SCALE: 1/16" = 1'-0"



3 BUILDING C - FLOOR PLAN
SCALE: 1/16" = 1'-0"

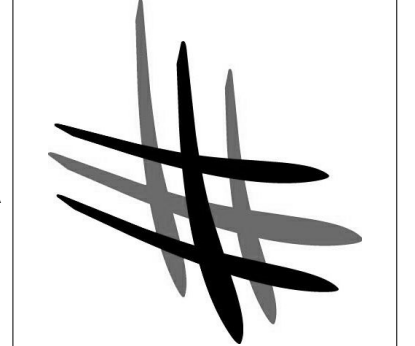
AREA RECAP	
BUILDING A	12,778 SF
BUILDING B	15,018 SF
BUILDING C	13,453 SF

#	KEYNOTES
#	COMMENTS
1	DOWNSPOUT. SEE DETAIL 4/A-7.2.
2	PARKING BOLLARD. SEE DETAIL 6 & 7/A-1.1.
3	FIRE EXTINGUISHER CABINET. SEE DETAIL 1/A-7.0.
4	ADA THRESHOLD. SEE DETAIL 3/A-7.1.
5	KEYPAD, TYPICAL AT ALL OVERHEAD DOORS. COORDINATE W/ AV CONSULTANT FOR SPECS.
6	3 HR. FIRE BARRIER. SEE DETAIL 4/A-5.2.

#	GENERAL ADA NOTES
#	COMMENTS
A.	A NYLON ROPE MUST BE INSTALLED AT THE BOTTOM OF ROLL UP DOORS WHICH HANGS BETWEEN 15" AND 48" WHEN DOOR IS OPEN AND MUST ALSO CONTAIN A LOOP LARGE ENOUGH TO FIT A FIST.
B.	ROLL UP DOORS MUST BE TENSIONED AT 5LBS. MAX. FORCE AS IT PERTAINS TO THE CONTINUOUS APPLICATION OF FORCE NECESSARY TO FULLY OPEN A DOOR, NOT THE INITIAL FORCE NEEDED TO OVERCOME THE INERTIA OF THE DOOR.
C.	CHANGES IN LEVEL OF FLOOR SURFACES SHALL COMPLY WITH SECTION 303 OF THE 2009 ICC A117.1.

SYMBOL LEGEND	
#	KEYNOTES TAG. NOTES ON THIS SHEET.
1A	DOOR TAG, SEE SCHEDULE ON SHEET A-8.0.
11	WALL PARTITION TAG, SEE SHEET A-6.0.
[Hatched Box]	CONDITIONED SPACE

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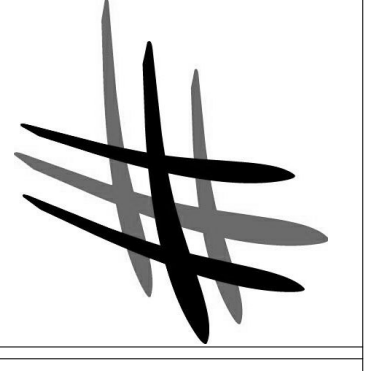


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SAN DIEGO AVENUE NE, ALBUQUERQUE NM 87113

DATE: OCT. 2022
DRAWN BY: NL
CHECKED BY: JLH
JOB NUMBER: MKT 22

SHEET TITLE
FLOOR PLANS - BUILDING A, B & C

SHEET NUMBER
A-2.0



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LUXELocker ALBUQUERQUE
 SAN DIEGO AVENUE NE, ALBUQUERQUE NM 87113

DATE: OCT. 2022
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 CHECKED BY: JLH
 JOB NUMBER: MKT 22

SHEET TITLE
 FLOOR PLANS - BUILDING D & E

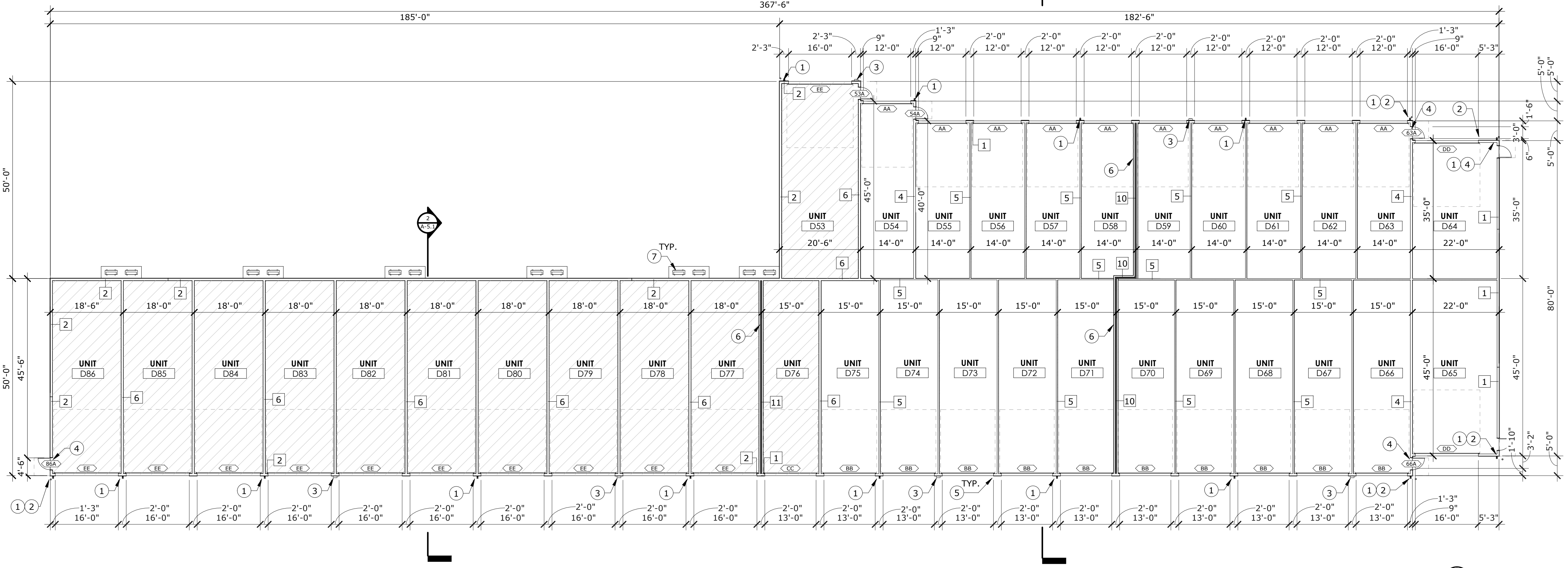
SHEET NUMBER
A-2.1

AREA RECAP	
BUILDING D	25,730 SF
BUILDING E	19,696 SF

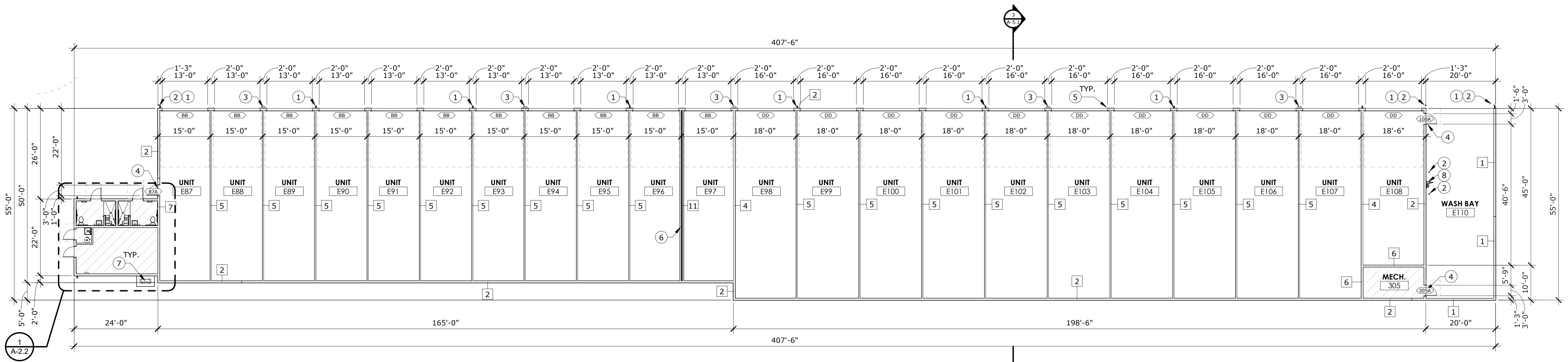
#	KEYNOTES
1	DOWNSPOUT. SEE DETAIL 4/A-7.2.
2	PARKING BOLLARD. SEE DETAIL 6 & 7/A-1.1.
3	FIRE EXTINGUISHER CABINET. SEE DETAIL 1/A-7.0.
4	ADA THRESHOLD. SEE DETAIL 3/A-7.1.
5	KEYPAD, TYPICAL AT ALL OVERHEAD DOORS. COORDINATE W/ AV CONSULTANT FOR SPECS.
6	3 HR. FIRE BARRIER. SEE DETAIL 4/A-5.2.
7	HEAT PUMP. SEE ELECTRICAL DRAWINGS.
8	PRESSURE WASHER EQUIPMENT LOCATION. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR EXACT LOCATION.

#	GENERAL ADA NOTES
A.	A NYLON ROPE MUST BE INSTALLED AT THE BOTTOM OF ROLL UP DOORS WHICH HANGS BETWEEN 15" AND 48" WHEN DOOR IS OPEN AND MUST ALSO CONTAIN A LOOP LARGE ENOUGH TO FIT A FIST.
B.	ROLL UP DOORS MUST BE TENSIONED AT 5LBS. MAX. FORCE AS IT PERTAINS TO THE CONTINUOUS APPLICATION OF FORCE NECESSARY TO FULLY OPEN A DOOR, NOT THE INITIAL FORCE NEEDED TO OVERCOME THE INERTIA OF THE DOOR.
C.	CHANGES IN LEVEL OF FLOOR SURFACES SHALL COMPLY WITH SECTION 303 OF THE 2009 ICC A117.1.

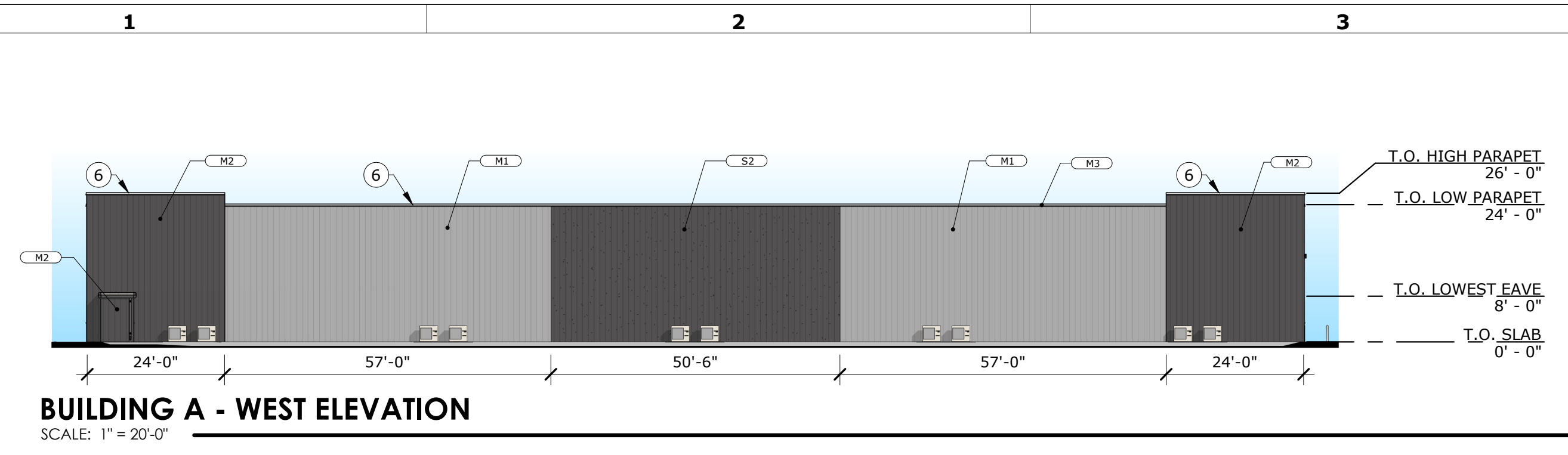
SYMBOL LEGEND	
#	KEYNOTES TAG. NOTES ON THIS SHEET.
AA	DOOR TAG, SEE SCHEDULE ON SHEET A-8.0.
II	WALL PARTITION TAG, SEE SHEET A-6.0.
[Hatched Box]	CONDITIONED SPACE



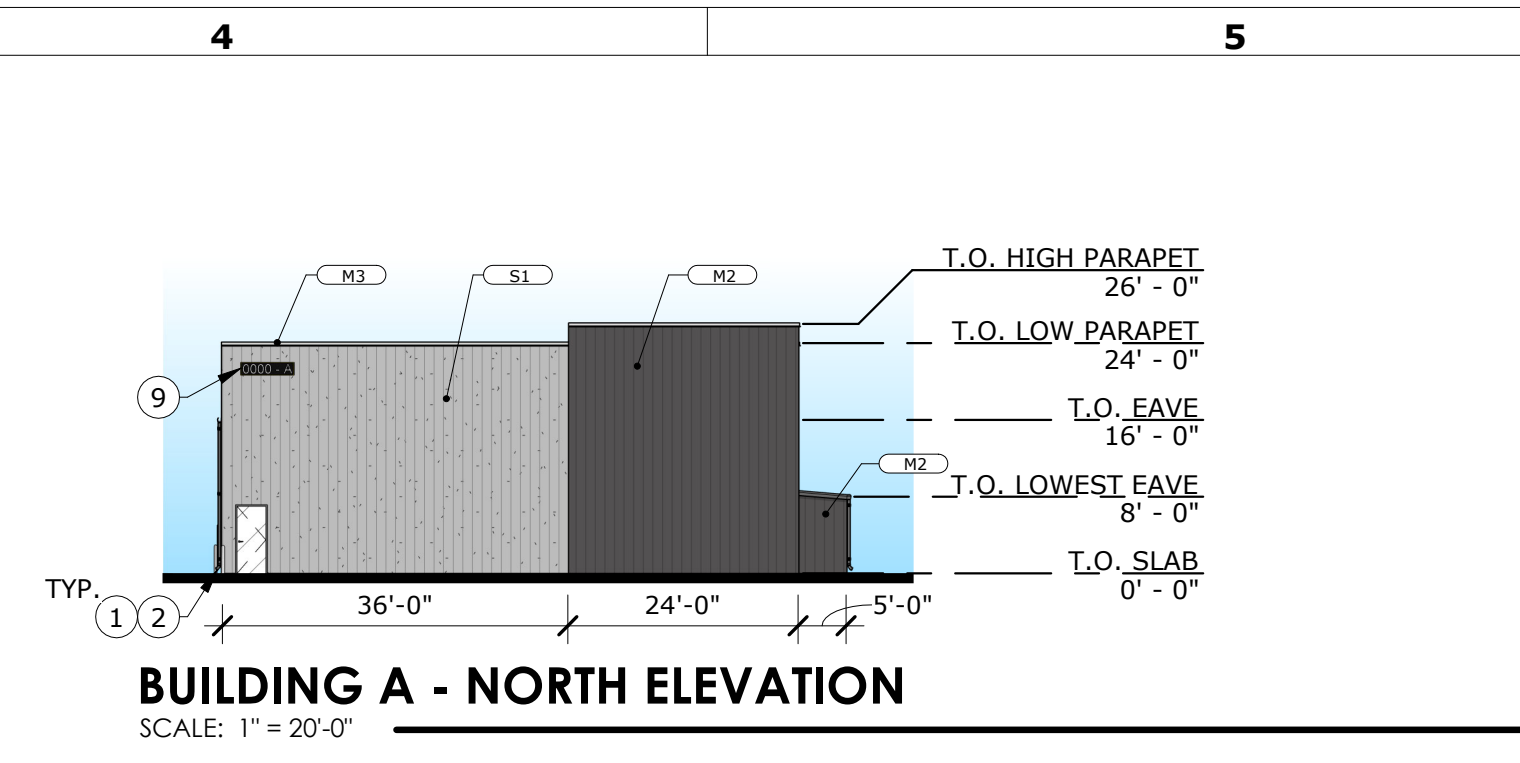
BUILDING D - FLOOR PLAN
 SCALE: 1/16" = 1'-0"



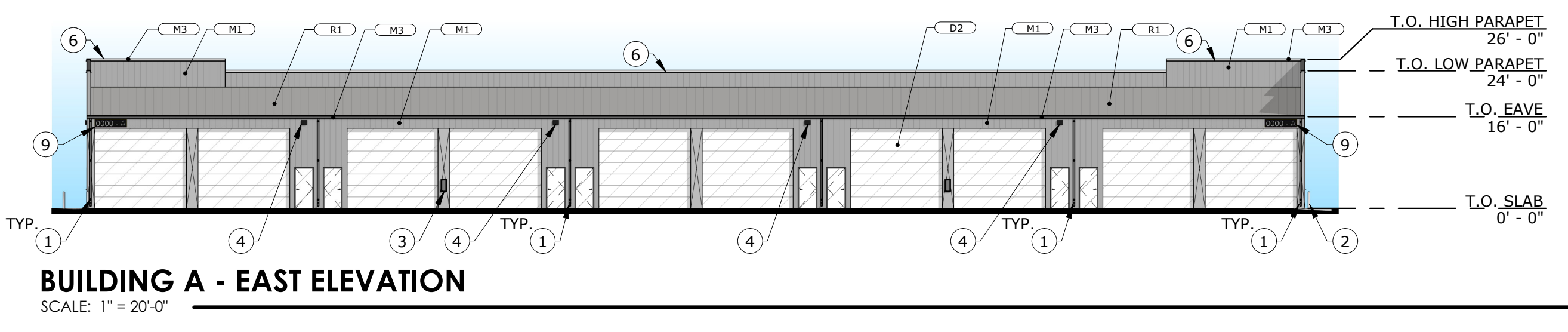
BUILDING E - FLOOR PLAN
 SCALE: 1/16" = 1'-0"



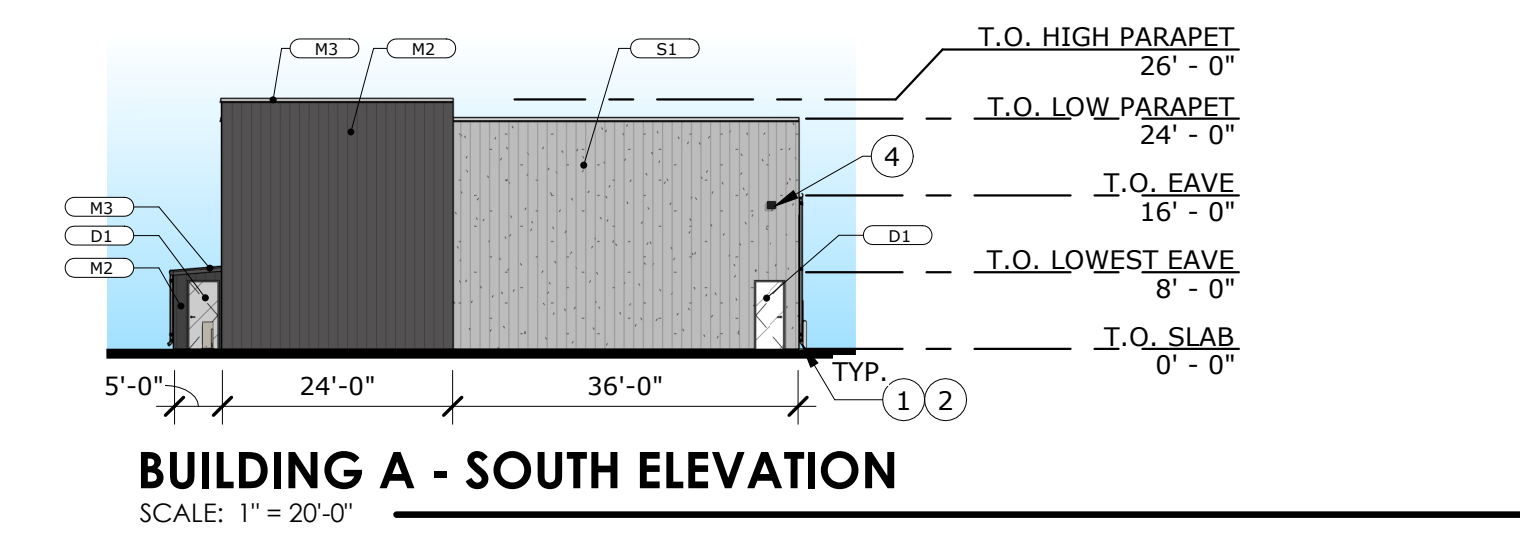
BUILDING A - WEST ELEVATION
SCALE: 1" = 20'-0"



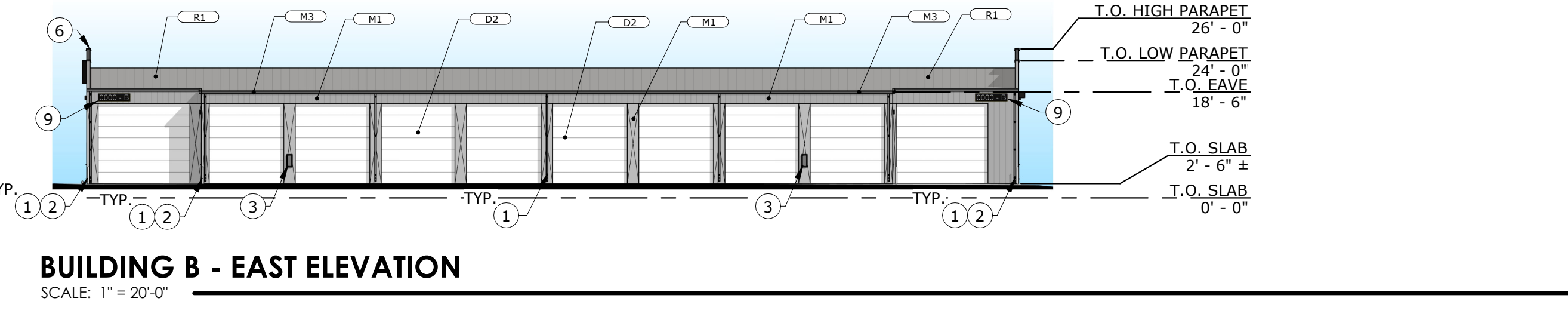
BUILDING A - NORTH ELEVATION
SCALE: 1" = 20'-0"



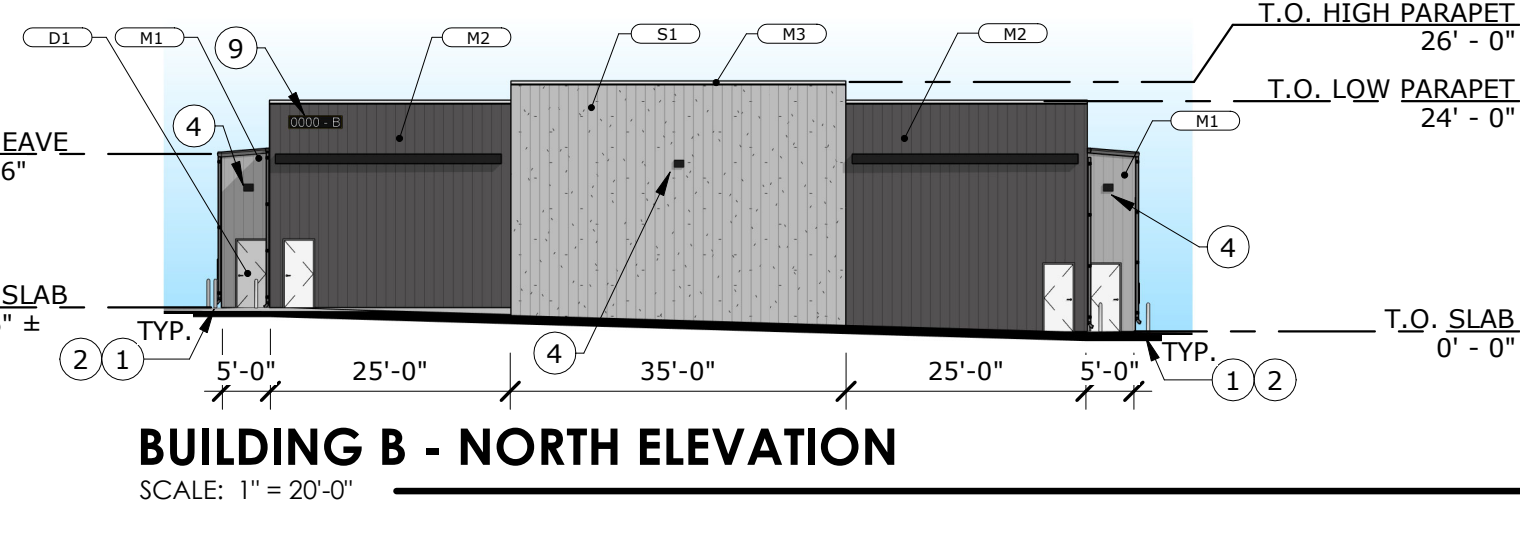
BUILDING A - EAST ELEVATION
SCALE: 1" = 20'-0"



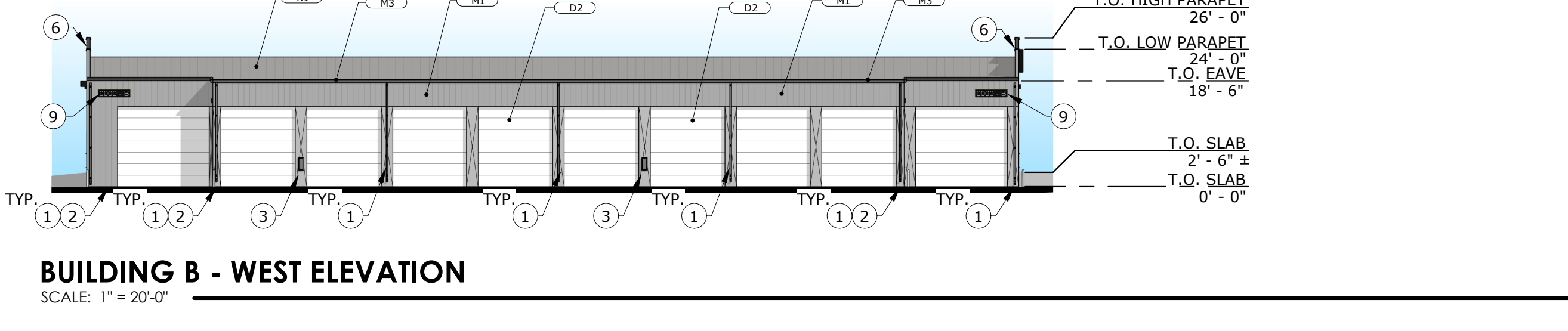
BUILDING A - SOUTH ELEVATION
SCALE: 1" = 20'-0"



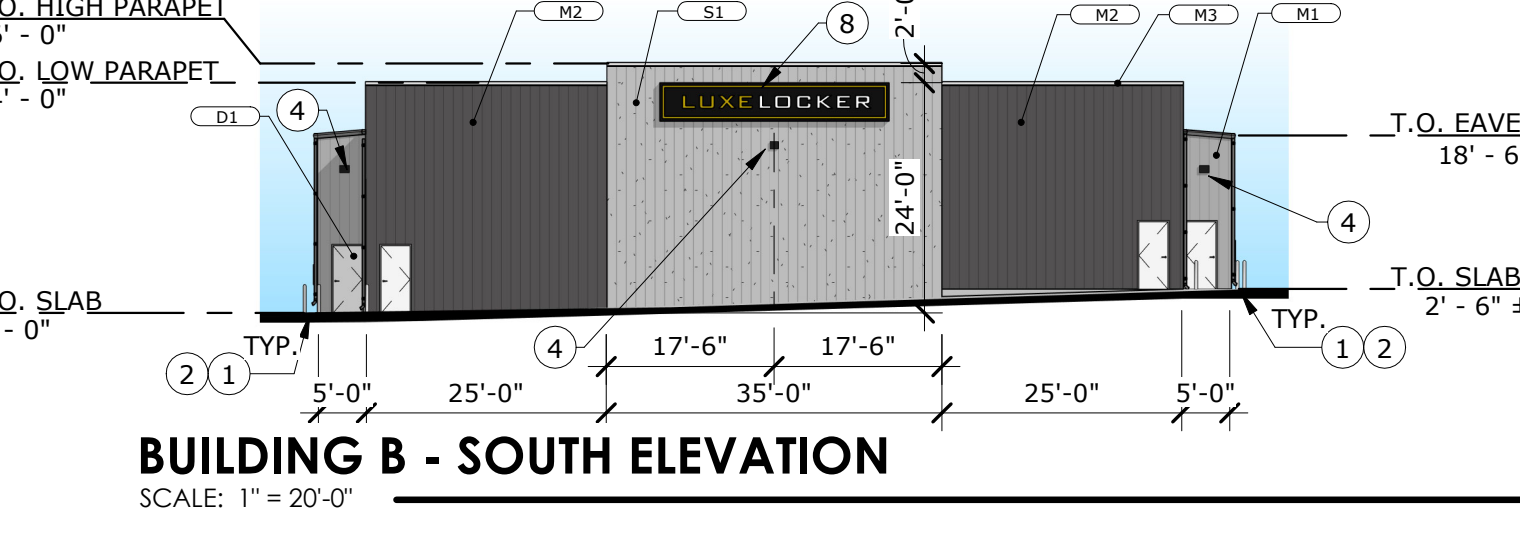
BUILDING B - EAST ELEVATION
SCALE: 1" = 20'-0"



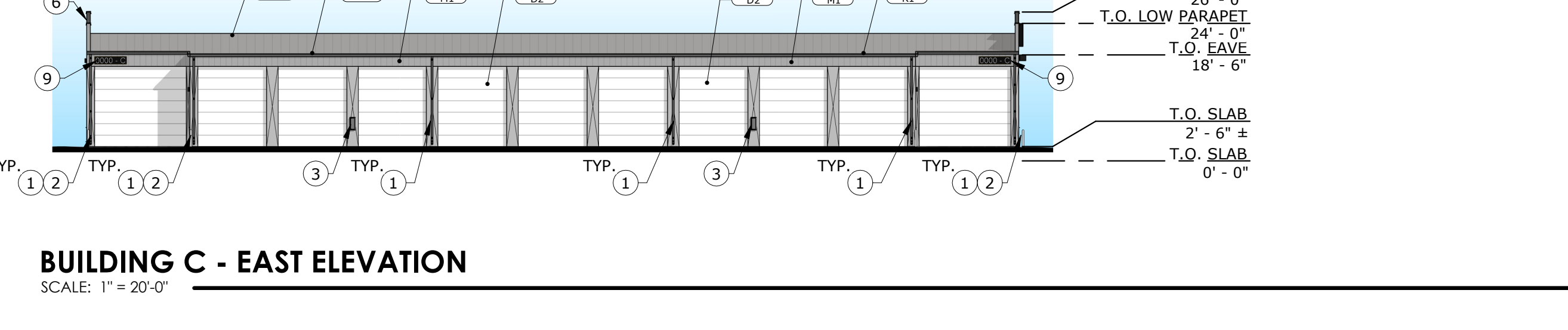
BUILDING B - NORTH ELEVATION
SCALE: 1" = 20'-0"



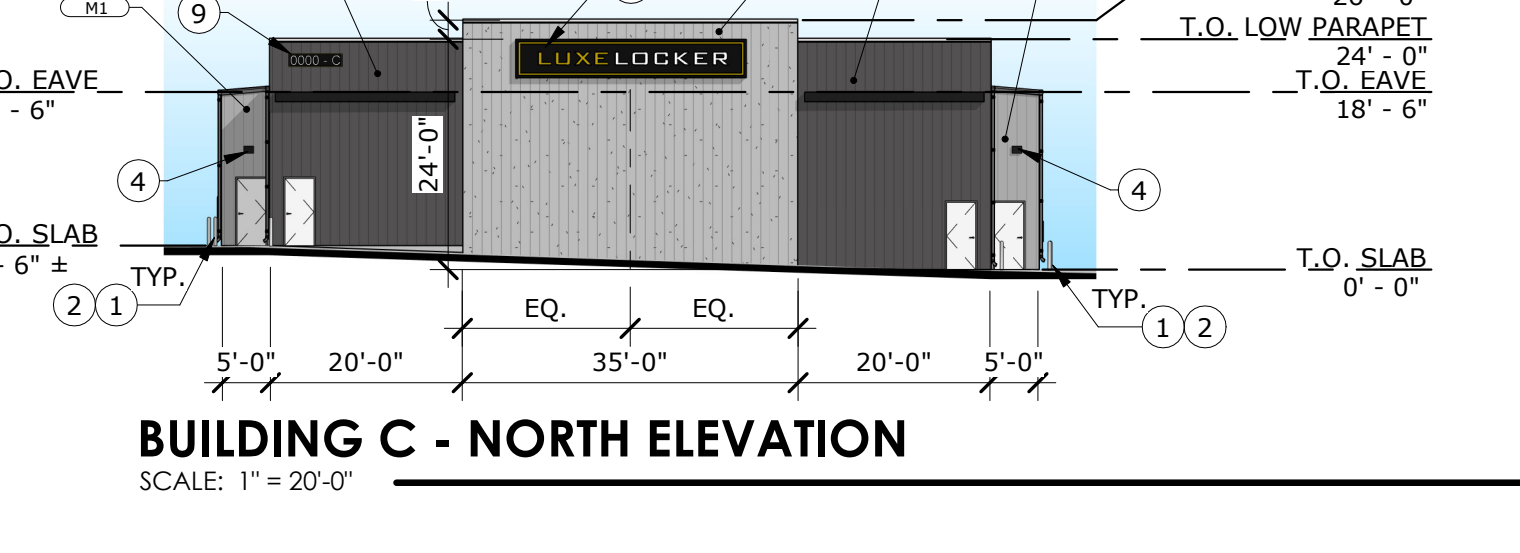
BUILDING B - WEST ELEVATION
SCALE: 1" = 20'-0"



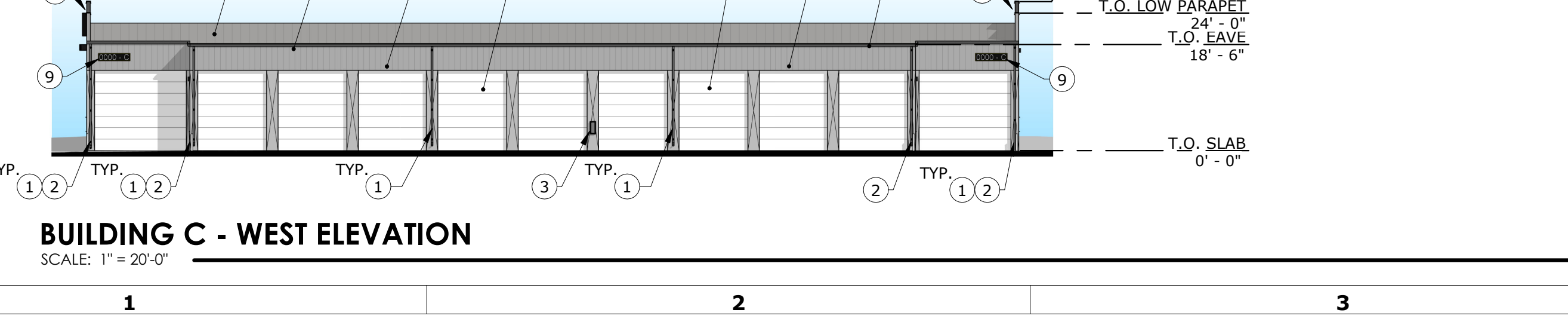
BUILDING B - SOUTH ELEVATION
SCALE: 1" = 20'-0"



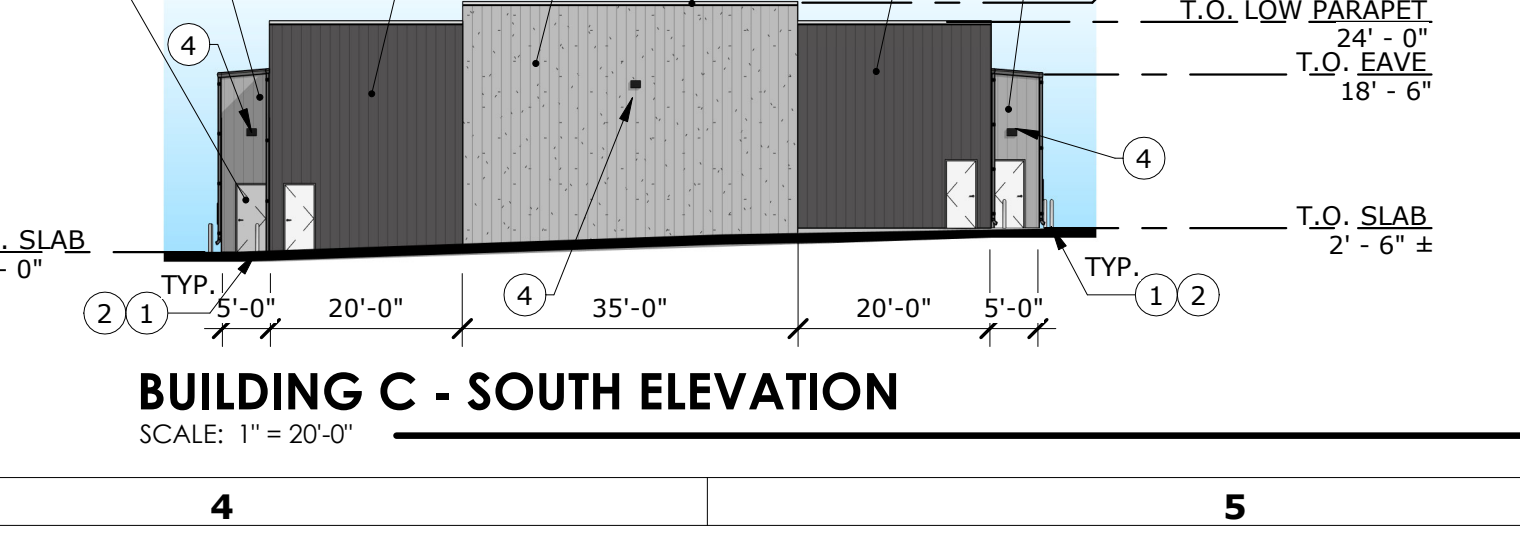
BUILDING C - EAST ELEVATION
SCALE: 1" = 20'-0"



BUILDING C - NORTH ELEVATION
SCALE: 1" = 20'-0"



BUILDING C - WEST ELEVATION
SCALE: 1" = 20'-0"



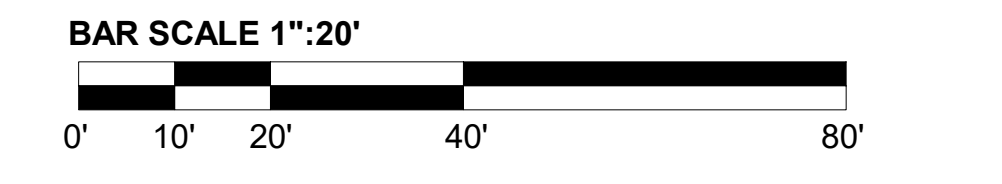
BUILDING C - SOUTH ELEVATION
SCALE: 1" = 20'-0"

EXTERIOR FINISH SPECIFICATIONS

- M1/M2: METAL WALL PANELS:**
MANUFACTURER: MBCI
PRODUCT: PRE-FINISHED METAL PANEL (FW-120)
COLOR: "ASH GRAY" - M1
COLOR: "CHARCOAL GRAY" - M2
- M3: METAL DOOR JAMB, FASCIA, COPING CAP & TRIM, GUTTER, DOWNSPOUT:**
PRODUCT: PRE-FINISHED METAL
COLOR: "BURNISHED SLATE"
- S1/S2: METAL STUCCO WALL PANELS:**
MANUFACTURER: MBCI
PRODUCT: PRE-FINISHED METAL PANEL WITH STUCCO FINISH (FW-120)
COLOR: "ASH GRAY" - S1
COLOR: "CHARCOAL GRAY" - S2
- R1: METAL ROOF PANELS:**
MANUFACTURER: MBCI
PRODUCT: PRE-FINISHED METAL PANEL (PBR)
COLOR: "GALVALUME"
- D1: EXTERIOR DOOR:**
MANUFACTURER: CURRIES COMPANY
PRODUCT: 707 SERIES
COLOR: MATCH WALL COLOR
- D2: OVERHEAD DOORS:**
MANUFACTURER: C.H.I. OVERHEAD DOORS
PRODUCT: MODEL 3285
COLOR: "HIGH GLOSS WHITE"

#	KEYNOTES
1	DOWNSPOUT. SEE DETAIL 4/A-7.2.
2	PARKING BOLLARD. SEE DETAIL 6 & 7/A-1.1.
3	FIRE EXTINGUISHER CABINET. SEE DETAIL 1/A-7.0.
4	WALL MOUNTED EXTERIOR LIGHTING FIXTURE, MOUNTED 15' A.F.F. SEE ELECTRICAL DRAWINGS.
5	HOSE BIBB. SEE PLUMBING DRAWINGS.
6	PRE-FINISHED METAL COPING CAP. SEE DETAIL 6/A-7.2.
7	HEAT PUMP. SEE ELECTRICAL DRAWINGS.
8	BUILDING SIGNAGE. SEE SHEET A-1.8.
9	BUILDING ADDRESS SIGNAGE. SEE DETAIL 7/A-1.6.

#	GENERAL NOTES
A.	ALL DOWNSPOUTS TO MATCH EXTERIOR FINISHES.
B.	PROVIDE "X" CRIMP IN ALL METAL DOOR JAMB PANELS.
C.	ALL MECHANICAL EQUIPMENT WILL BE GROUND MOUNTED AND SCREENED BY BUILDINGS AND LANDSCAPING. NO ROOFTOP UNITS ARE PROPOSED.



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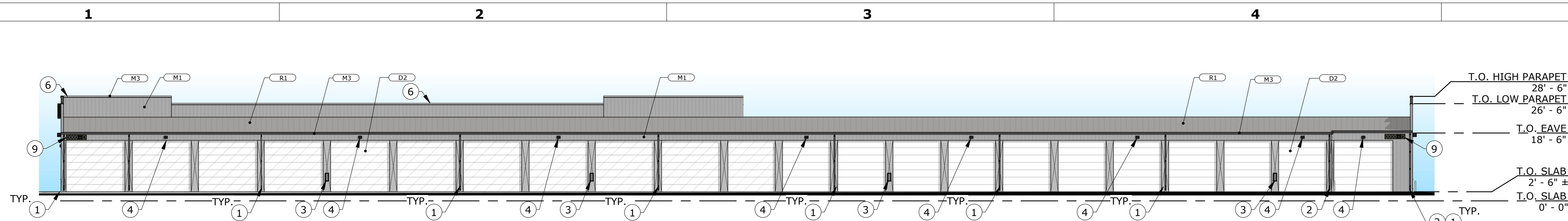


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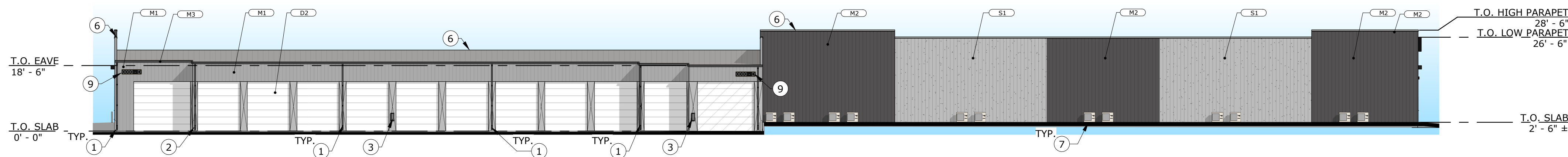
DATE: OCT. 2022
DRAWN BY: NL
CHECKED BY: JLH
JOB NUMBER: MKT 22

SHEET TITLE
EXTERIOR ELEVATIONS - BUILDING A, B, & C

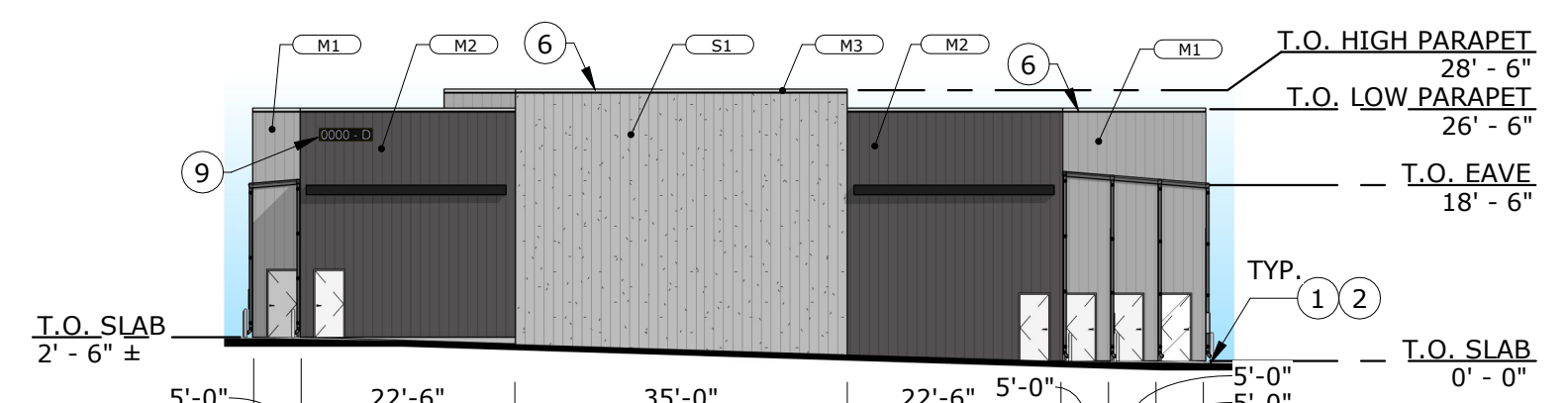
SHEET NUMBER
A-4.0



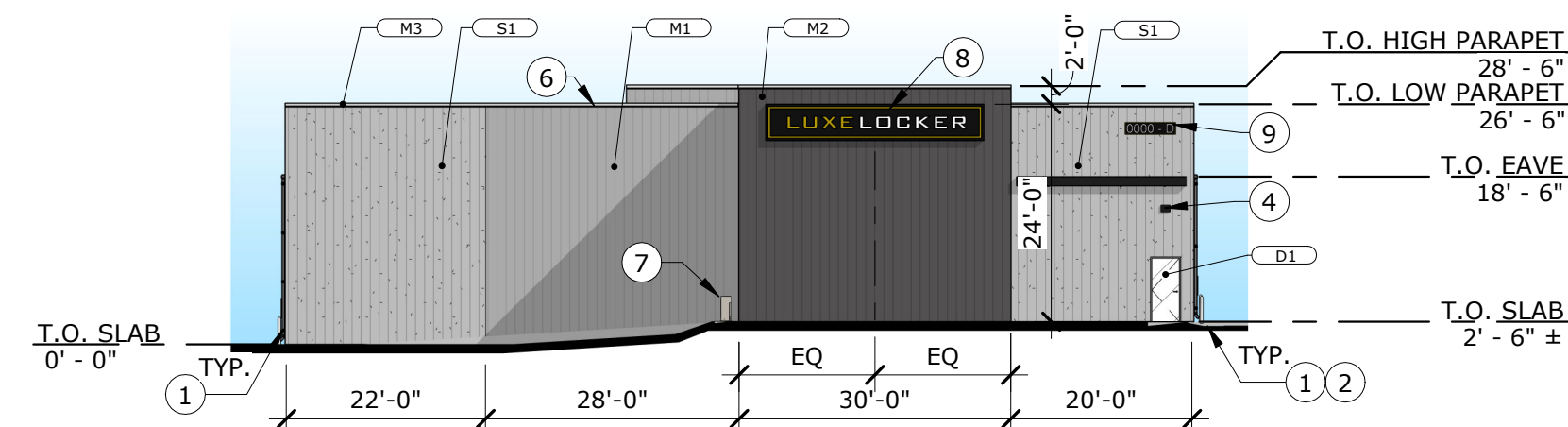
BUILDING D - EAST ELEVATION
SCALE: 1" = 20'-0"



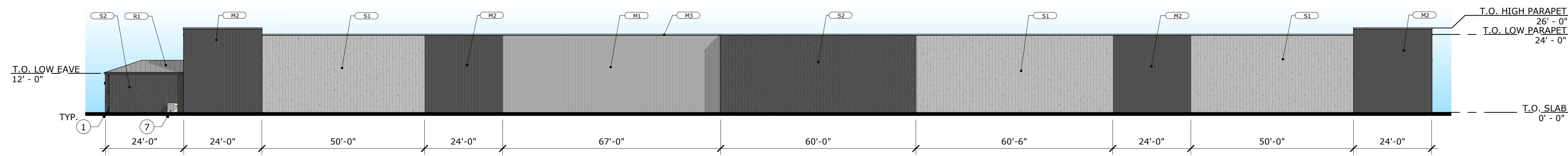
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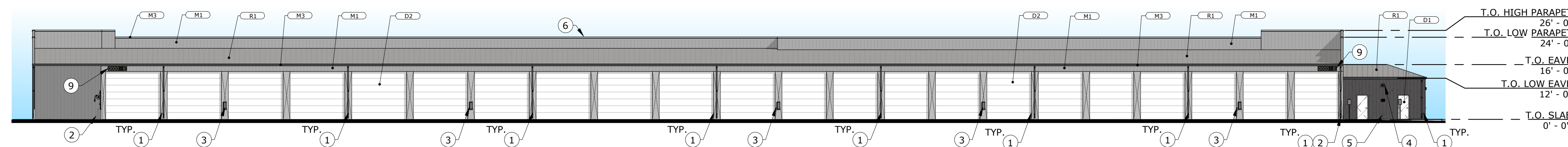
BUILDING D - NORTH ELEVATION
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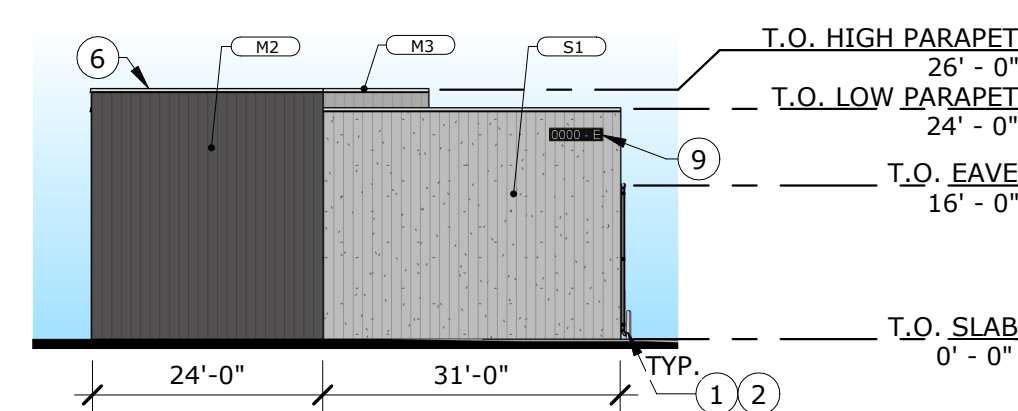
BUILDING D - SOUTH ELEVATION
SCALE: 1" = 20'-0"



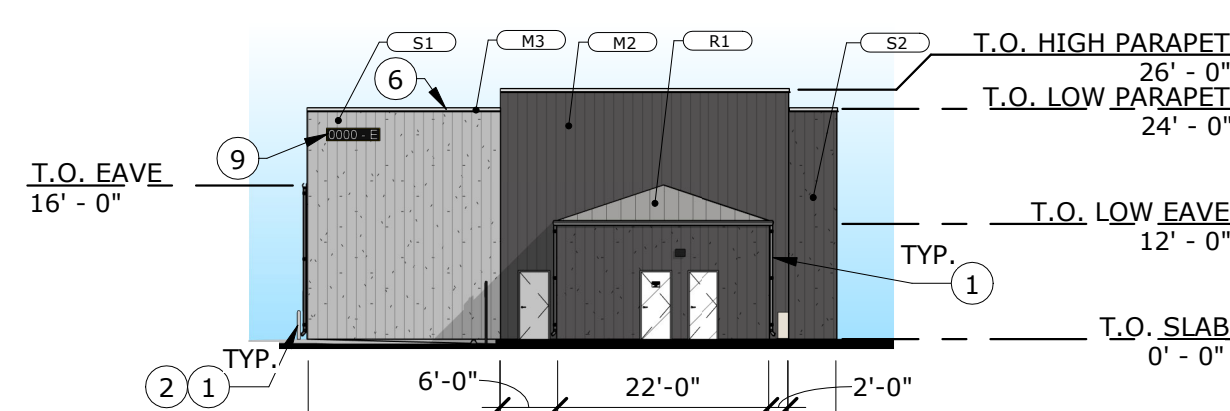
BUILDING E - EAST ELEVATION
SCALE: 1" = 20'-0"



BUILDING E - WEST ELEVATION
SCALE: 1" = 20'-0"



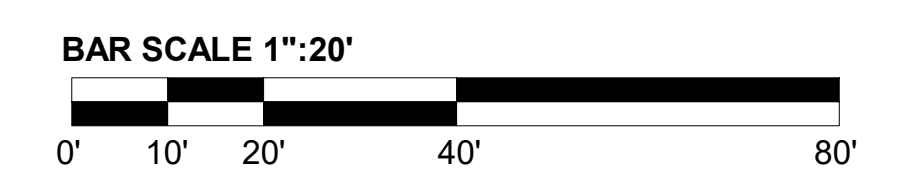
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SCALE: 1" = 20'-0"



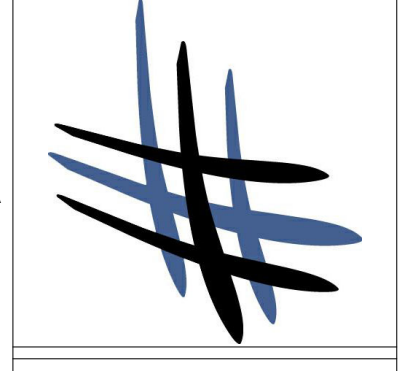
BUILDING E - SOUTH ELEVATION
SCALE: 1" = 20'-0"

#	KEYNOTES
1	DOWNSPOUT. SEE DETAIL 4/A-7.2.
2	PARKING BOLLARD. SEE DETAIL 6 & 7/A-1.1.
3	FIRE EXTINGUISHER CABINET. SEE DETAIL 1/A-7.0.
4	WALL MOUNTED EXTERIOR LIGHTING FIXTURE, MOUNTED 15' A.F.F. SEE ELECTRICAL DRAWINGS.
5	HOSE BIBB. SEE PLUMBING DRAWINGS.
6	PRE-FINISHED METAL COPING CAP. SEE DETAIL 6/A-7.2.
7	HEAT PUMP. SEE ELECTRICAL DRAWINGS.
8	BUILDING SIGNAGE. SEE SHEET A-1.8.
9	BUILDING ADDRESS SIGNAGE. SEE DETAIL 7/A-1.6.

#	GENERAL NOTES
A.	ALL DOWNSPOUTS TO MATCH EXTERIOR FINISHES.
B.	PROVIDE "X" CRIMP IN ALL METAL DOOR JAMB PANELS.
C.	ALL MECHANICAL EQUIPMENT WILL BE GROUND MOUNTED AND SCREENED BY BUILDINGS AND LANDSCAPING. NO ROOFTOP UNITS ARE PROPOSED.
D.	SEE SHEET A-4.0 FOR EXTERIOR FINISH SPECS.



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NEW LUXURY BOAT & R.V. STORAGE FACILITY FOR:
LUXELocker ALBUQUERQUE
SAN DIEGO AVENUE NE, ALBUQUERQUE NM 87113

DATE	DESCRIPTION
DATE: OCT. 2022	
DRAWN BY: NL	
CHECKED BY: JLH	
JOB NUMBER: MKT 22	

SHEET TITLE
EXTERIOR ELEVATIONS - BUILDING D & E

SHEET NUMBER
A-4.1

BEVERLY HILLS AVE. N.E.
LOCAL (60' R.O.W.)



**ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
BUILDING FIRE AREA RECAP
PERMIT**
CONTRACT NO. 22-010988
PERMIT NUMBER: 22-010988
APPROVED DATE: 08/30/22
APPROVED

THESE CONSTRUCTION DOCUMENTS HAVE BEEN REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL MARKING IS REQUIRED.
FIRE FLOW: 2250 GPM/2HR

CONSTRUCTION:
TYPE II-B, GROUP S-1
FIRE FLOW REQUIREMENT:
BUILDING'S A, B, & C 1750 GPM/ 2HR
BLDG D 2000 GPM/ 2HR
BUILDING E 2250 GPM/ 2HR

FIRE AREA RECAP	
BUILDING A	
FIRE AREA 1	6,375 SF
FIRE AREA 2	6,375 SF
BUILDING TOTAL	12,750 SF
BUILDING B	
FIRE AREA 1	7,424 SF
FIRE AREA 2	7,594 SF
BUILDING TOTAL	15,018 SF
BUILDING C	
FIRE AREA 1	7,321 SF
FIRE AREA 2	6,131 SF
BUILDING TOTAL	13,453 SF
BUILDING D	
FIRE AREA 1	9,013 SF
FIRE AREA 2	8,384 SF
FIRE AREA 3	8,334 SF
BUILDING TOTAL	25,730 SF
BUILDING E	
FIRE AREA 1	8,041 SF
FIRE AREA 2	11,655 SF
BUILDING TOTAL	19,696 SF
PROJECT TOTAL	86,646 SF

#	KEYNOTES
#	COMMENTS
1	DASHED LINE INDICATES 3HR- RATED FIRE BARRIER LOCATION.
2	ACCESS GATE W/ SIGNAGE. SEE GENERAL NOTE C.
3	CONCRETE PAVEMENT, TYP. SEE CIVIL DRAWINGS & GENERAL NOTE A.
4	FIRE DEPARTMENT ACCESS MAN-GATE. SEE DETAIL 3/A-1.3.
5	FIRE ENGINE CLEARANCE W/28' RADIUS.
6	EXISTING FIRE HYDRANT. SEE CIVIL DRAWINGS.
7	PROPERTY LINE.
8	7'-6" TALL IRON FENCE. SEE SHEETS A-1.4 & A-1.5.
9	FIRE LANE TEXT TO BE PAINTED ON PAVEMENT.
10	EXISTING WATER MAIN. SEE CIVIL DRAWINGS.
11	PROPOSED FIRE HYDRANT. SEE CIVIL DRAWINGS.
12	FIRE DEPARTMENT ACCESS BOX (KNOX BOX). SEE GENERAL NOTE D.
13	BUILDING IDENTIFICATION ADDRESS. SEE GENERAL NOTE B.

#	GENERAL NOTES
#	COMMENTS
A.	CONCRETE PAVING TO BE DESIGNED TO SUPPORT IMPOSED LOAD OF FIRE APPARATUS. (75,000 LBS MIN.)
B.	EACH BUILDING SHALL DISPLAY ITS SPECIFIC ALPHABETICAL OR NUMERICAL DESIGNATION AND BE CLEARLY DISTINGUISHABLE FROM THE FIRE APPARATUS ROAD.
C.	SECURITY GATES THAT EXTEND ACROSS FIRE APPARATUS ACCESS ROADS OR IMPEDE FIRE APPARATUS ACCESS SHALL HAVE AN APPROVED MEANS OF OPERATION TO ALLOW FIRE DEPARTMENT ACCESS.
D.	ALL KNOX BOXES (KEY BOXES) SHALL BE MOUNTED BETWEEN 4 & 6 FEET ABOVE GRADE. THE KEY BOXES SHALL BE ILLUMINATED SO AS TO BE IMMEDIATELY VISIBLE TO FIRE PERSONNEL UPON APPROACH.

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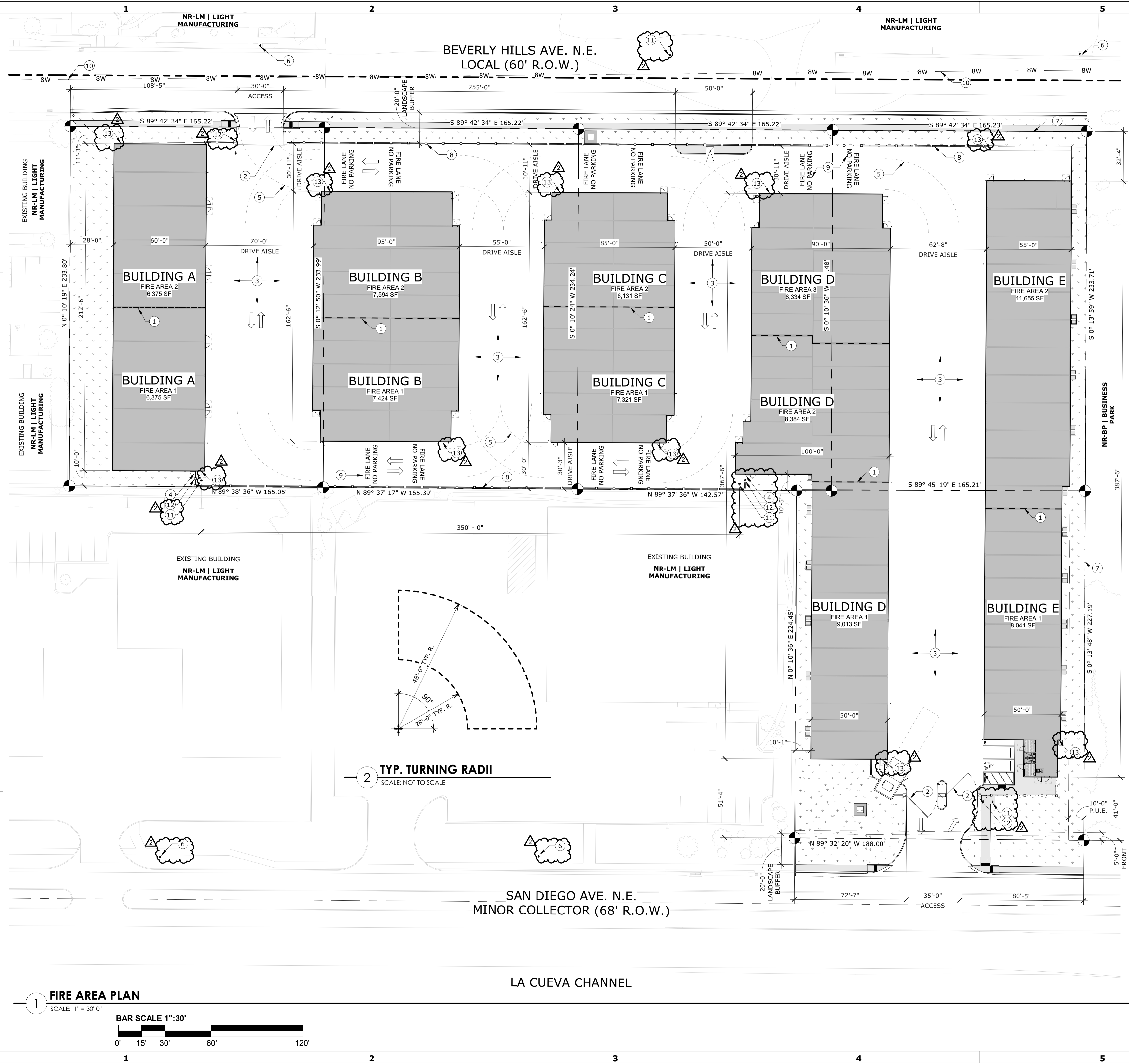
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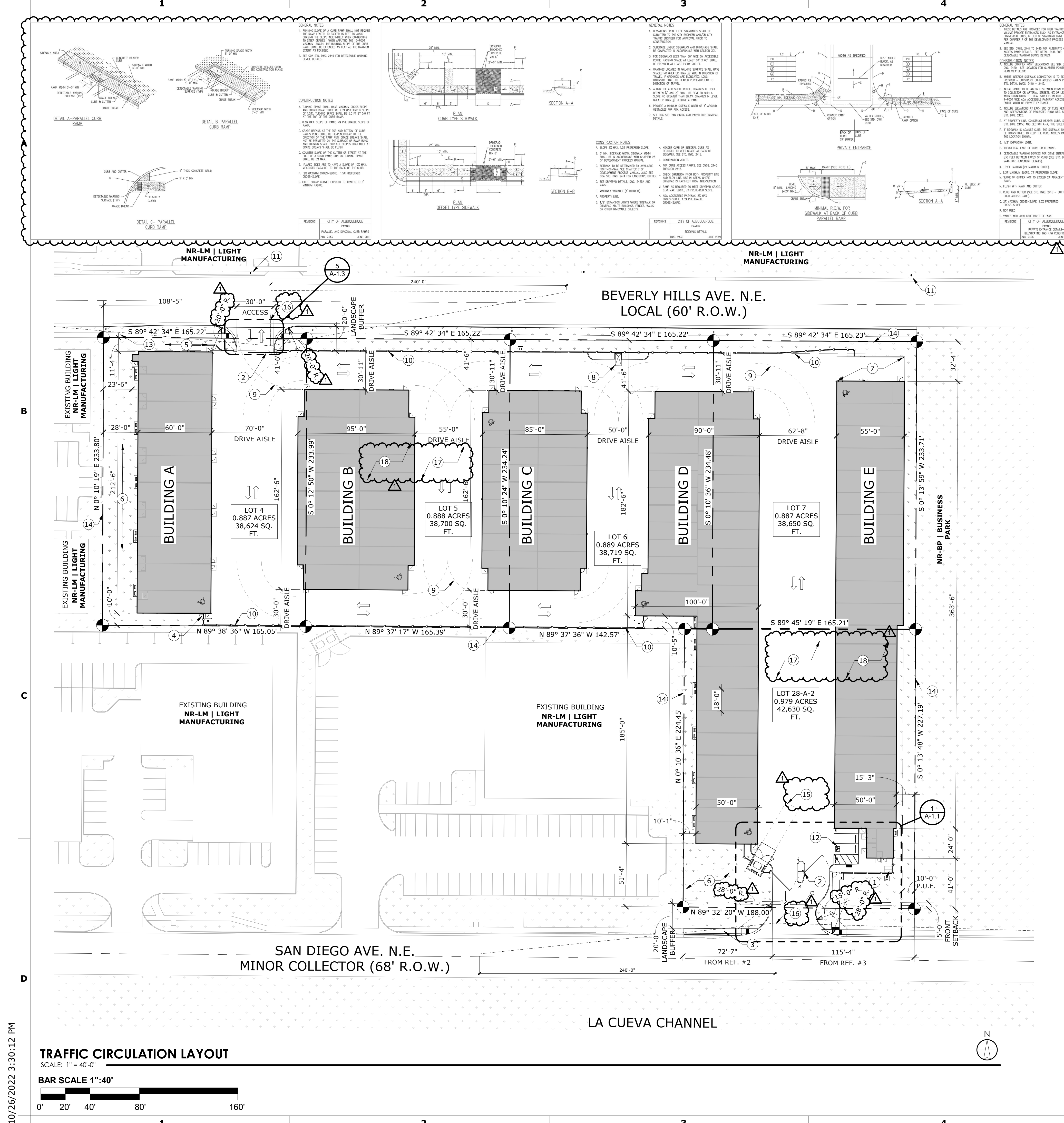
NEW CONSTRUCTION FOR:
LUXELocker ALBUQUERQUE
SAN DIEGO AVENUE NE, ALBUQUERQUE NM 87113

DATE: AUGUST 2022
DRAWN BY: BR
CHECKED BY: JH
JOB NUMBER: MKT 22
SHEET TITLE

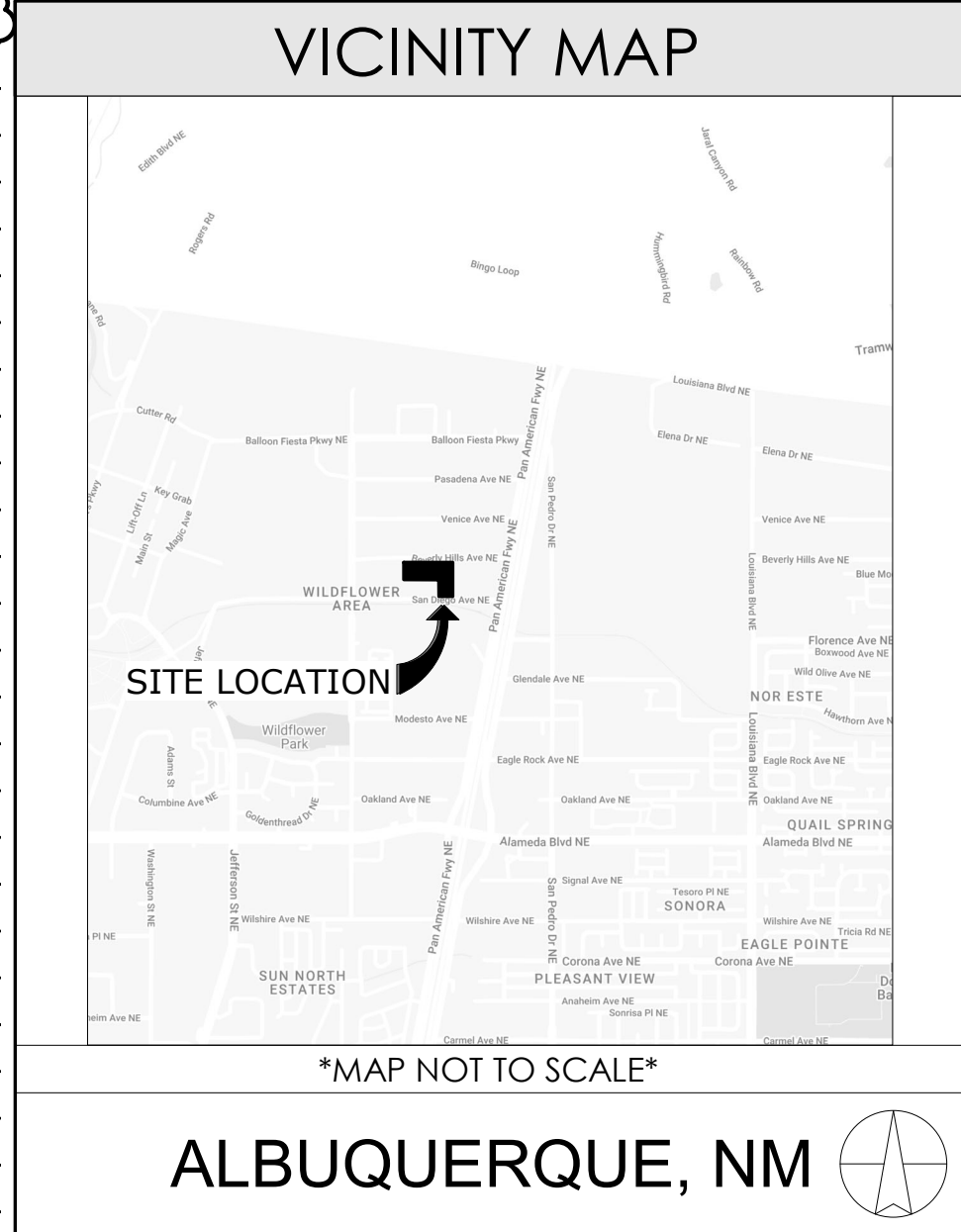
FIRE ONE PLAN
SHEET NUMBER
F-1.0



8/15/2022 10:37:37 AM



- ### GENERAL NOTES
- SEE CIVIL DRAWINGS FOR PARKING SLOPES.
 - NO ON-STREET PARKING PROPOSED.
 - SEE CIVIL DRAWINGS FOR UTILITY LOCATIONS.
 - LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.
 - ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
 - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, CURB, & GUTTER.
 - ALL WORK WITHIN THE PUBLIC R.O.W. ON BEVERLY HILLS AVE. IS TO BE INCLUDED IN THE WORK ORDER.



SYMBOLS & GRAPHICS

	WORK/CONTROL POINT OR DATUM		BATT, BLANKET, OR BLOWN INSULATION
	DETAIL NUMBER SHEET		RIGID INSULATION
	SECTION NUMBER SHEET		EARTH FILL
	DOOR TAG (NUMBER & LETTER)		GRAVEL FILL
	WINDOW TAG (LETTER)		CONCRETE
	SHEER WALL (NUMBER)		CMU WALL
	KEYNOTE (NUMBER)		EXTERIOR WOOD FRAME WALL
	PARTITION TYPE TAG (NUMBER)		INTERIOR WOOD FRAME WALL
	ROOM ID (NUMBER)		GRASS FILL
	REVISION TAG (NUMBER & CLOUDED)		INTERIOR ELEVATION TAG (NUMBER AND SHEET)

SITE RECAP

ZONING: NR-LM | LIGHT MANUFACTURING

TOTAL PROJECT SITE:

LOT 4	0.887 acres	38,624 SF
LOT 5	0.888 acres	38,700 SF
LOT 6	0.889 acres	38,719 SF
LOT 7	0.887 acres	38,650 SF
LOT 28-A-2	0.979 acres	42,630 SF
TOTAL PROJECT SITE	4.530 acres	197,324 SF

PROPOSED BUILDING FOOTPRINT:

BUILDING A (STORAGE)	12,778 SF
BUILDING B (STORAGE)	15,018 SF
BUILDING C (STORAGE)	13,453 SF
BUILDING D (STORAGE)	25,730 SF
BUILDING E (STORAGE)	19,696 SF
TOTAL	86,673 SF

NET LOT COVERAGE:

IMPERVIOUS SURFACE		
PROPOSED	84,727 SF	76.6%
LANDSCAPE AREA		
PROPOSED	25,950 SF	23.4%
TOTAL NET LOT AREA		100.0%

SETBACKS:

FRONT - 5'-0"
 REAR - 0'-0"
 SIDE - 0'-0"

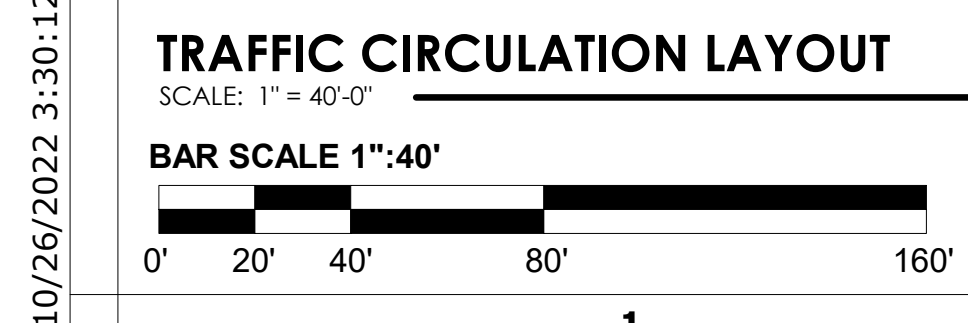
PARKING:

REQUIRED: 1 SPACE PER 3,000 SF
 85,691 SF / 3,000 SF = 29 SPACES
 HC ACCESSIBLE - 1 SPACE
 MOTORCYCLE - 1 SPACE
 BICYCLE - 3 SPACES

PROVIDED: HC ACCESSIBLE	1 SPACES
MOTORCYCLE	1 SPACES
STANDARD	1 SPACES
IN-GARAGE	28 SPACES
TOTAL	31 SPACES
BICYCLE	4 SPACES

KEYNOTES

#	COMMENTS
1	BICYCLE PARKING. SEE DETAIL 8/A-1.1.
2	ACCESS GATE W/ SIGNAGE. SEE SHEET A-1.3.
3	EXISTING 5' CONCRETE SIDEWALK. SEE CIVIL DRAWINGS.
4	FIRE DEPARTMENT ACCESS MAN GATE. SEE DETAIL 3/A-1.3.
5	PROPOSED LANDSCAPING. SEE LANDSCAPE DRAWINGS.
6	PROPOSED RETENTION POND AREA. SEE CIVIL DRAWINGS.
7	WASH BAY. SEE CIVIL DRAWINGS.
8	DUMP STATION. SEE DETAIL 1/A-1.6.
9	FIRE ENGINE CLEARANCE W/28' RADIUS.
10	7'-6" TALL IRON FENCE. SEE SHEET A-1.3.
11	EXISTING FIRE HYDRANT. SEE CIVIL DRAWINGS.
12	PARKING AREA. SEE DETAIL 1/A-1.1.
13	PROPOSED 5' CONCRETE SIDEWALK TO MATCH EXISTING. SEE DWG. 2430 & CIVIL DRAWINGS.
14	PROPERTY LINE.
15	REFUSE VEHICLE MANEUVERING CLEARANCE, 12' X 50'.
16	CLEAR SIGHT TRIANGLE. SEE GENERAL NOTES ON THIS SHEET.
17	FINISH GRADE / CONCRETE PAVEMENT. SEE CIVIL DRAWINGS.
18	FINISH GRADE / REINFORCED CONCRETE SLAB. SEE STRUCTURAL DRAWINGS.



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STATE OF NEW MEXICO
 10-27-22
 JEFFERY HATCH
 NO. 005633
 REGISTERED ARCHITECT

NEW LUXURY BOAT & R.V. STORAGE FACILITY FOR:
LUXELocker ALBUQUERQUE
 SAN DIEGO AVENUE NE, ALBUQUERQUE NM 87113

DATE: OCT. 2022
 DRAWN BY: NL
 CHECKED BY: JLH
 JOB NUMBER: MKT 22

SHEET TITLE: TRAFFIC CIRCULATION LAYOUT

SHEET NUMBER: TC-1.0



BIRDS EYE VIEW- BEVERLY HILLS AVENUE

SCALE: 1/2" = 1'-0"



PEDESTRIAN VIEW- BEVERLY HILLS AVENUE

SCALE: 1/2" = 1'-0"



PEDESTRIAN VIEW- SAN DIEGO AVENUE N.E.

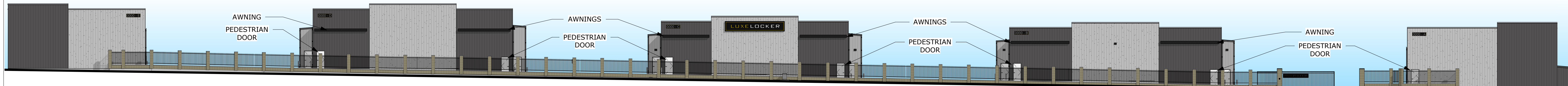
SCALE: 1/2" = 1'-0"

FACADE RECAP							
FACADE	OVERALL	DOOR	AWNING 1	AWNING 2	AWNING 3	TOTAL	30%
BEVERLY HILLS AVE. N.E.	385'-0"	(7)3'-4"	(2)21'-0"	(2)18'-8"	(2)23'-6"	149'-8"	115'-6"
SAN DIEGO AVE. N.E.	100'-0"	(4)3'-4"	(0)21'-0"	(1)18'-8"	(0)23'-6"	32'-0"	30'-0"



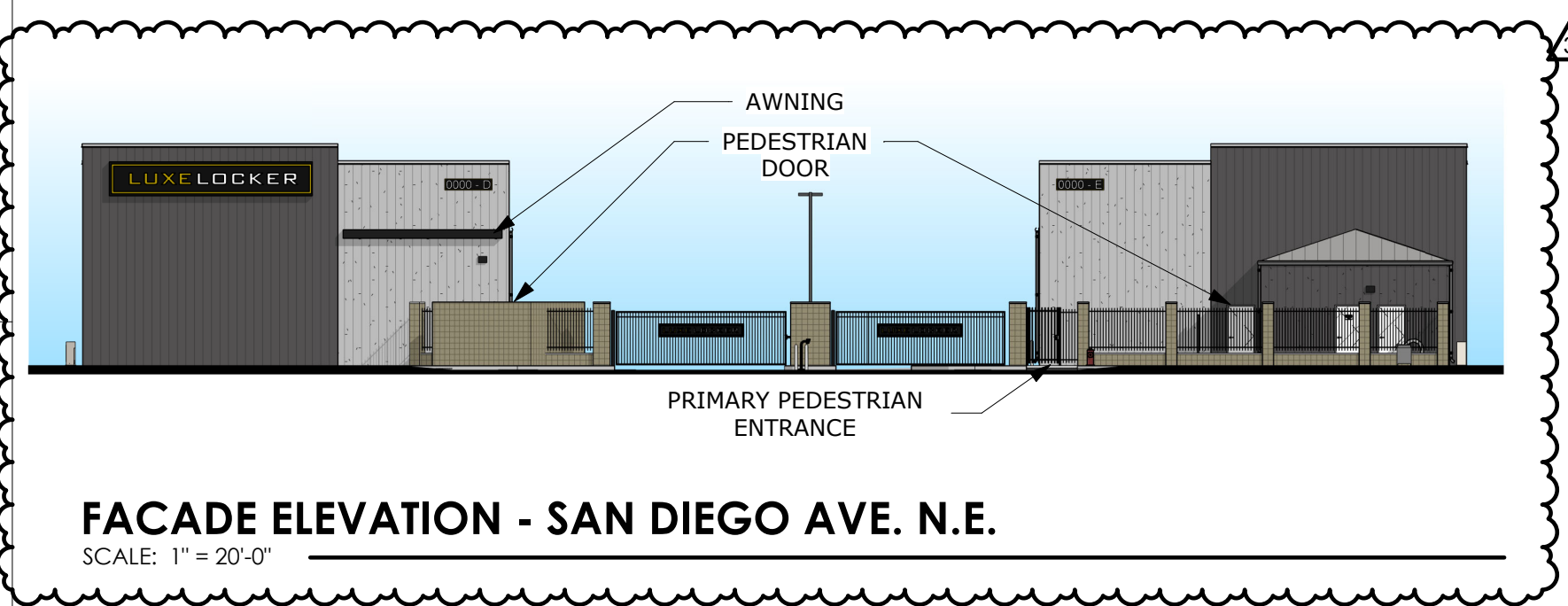
STREET VIEW- SAN DIEGO AVENUE N.E.

SCALE: 1/2" = 1'-0"



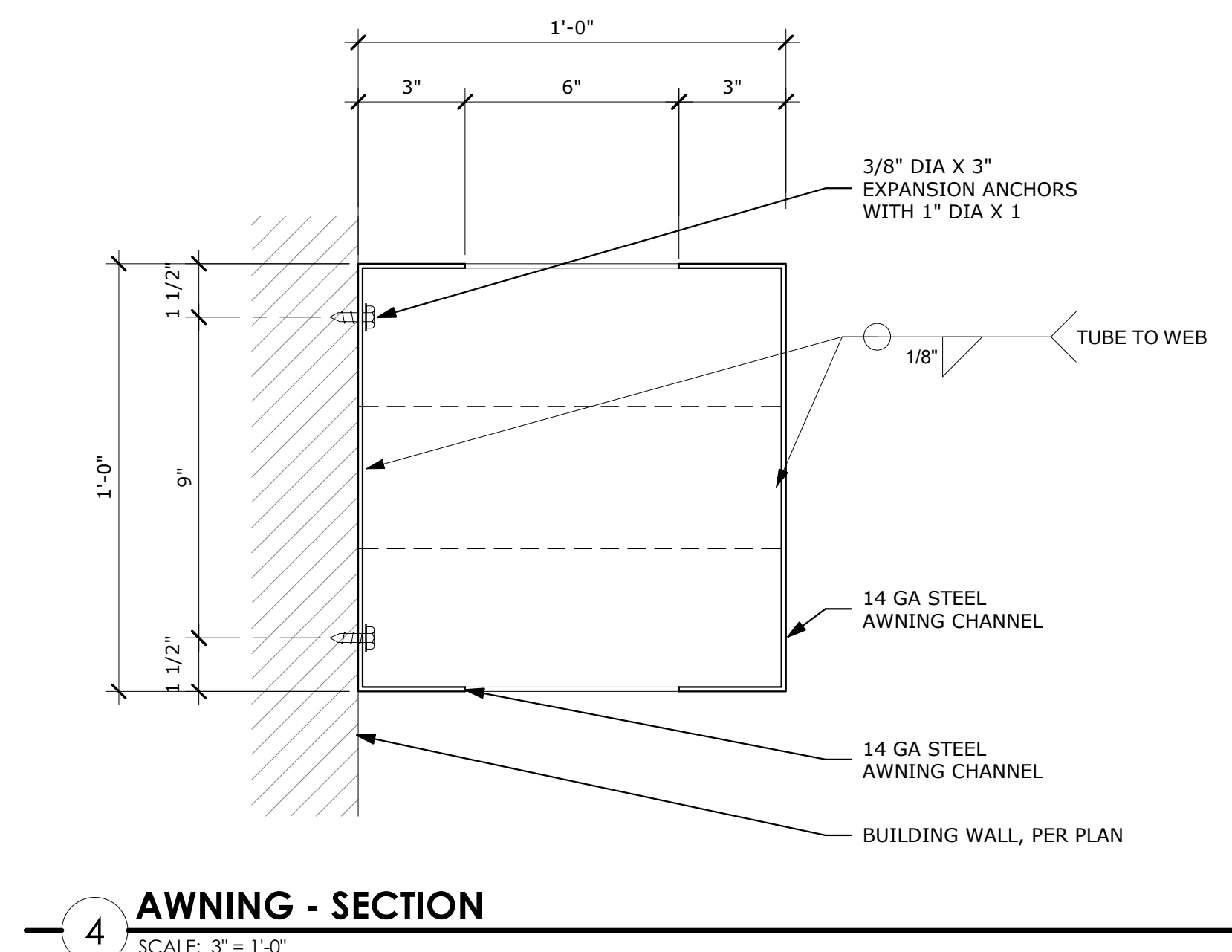
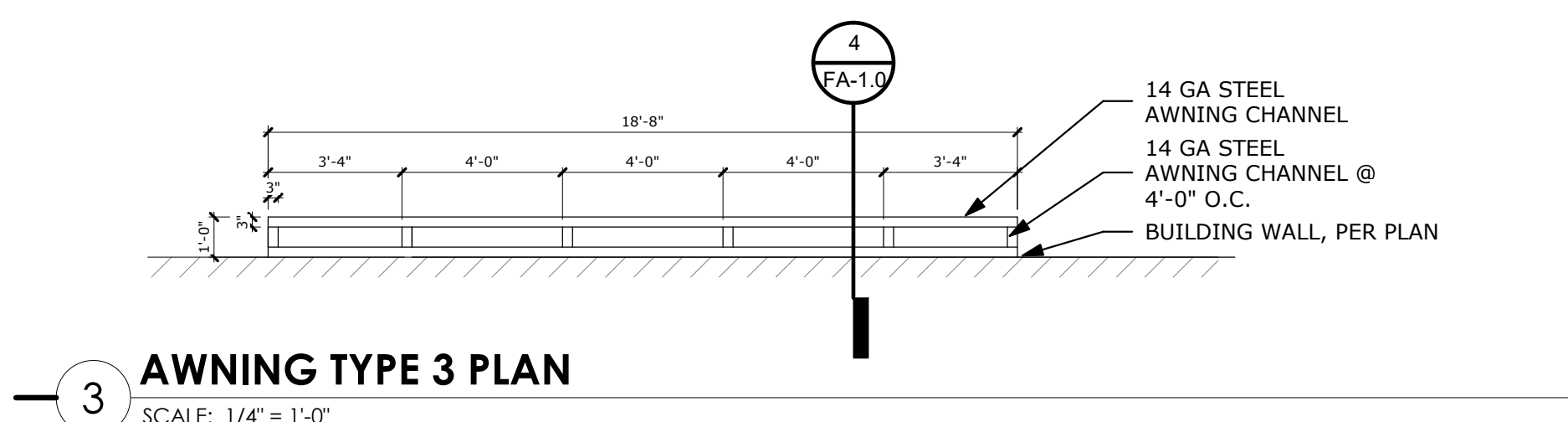
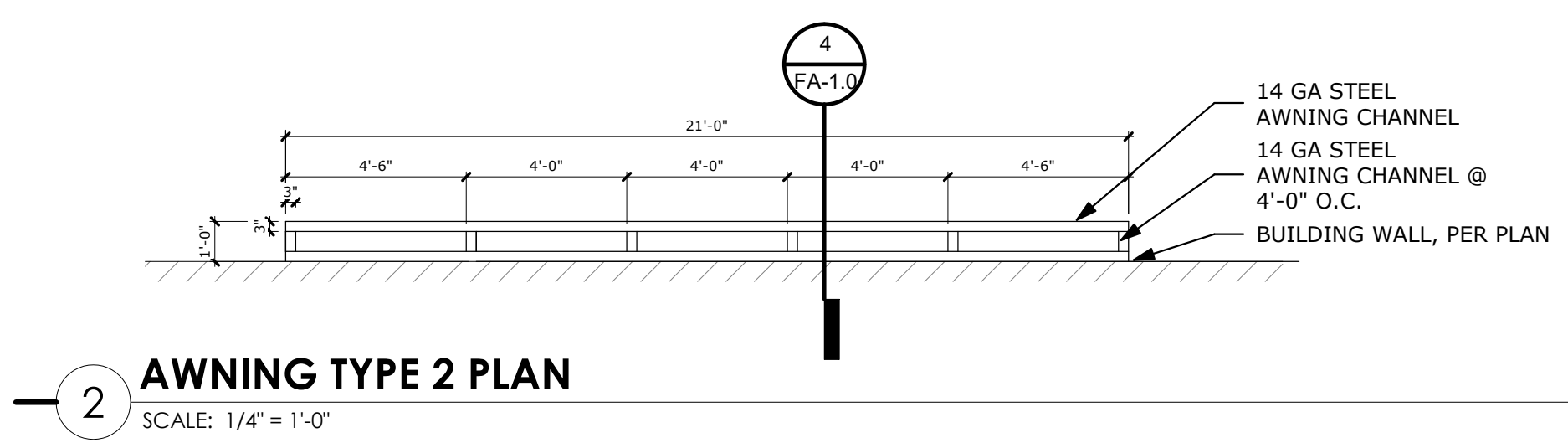
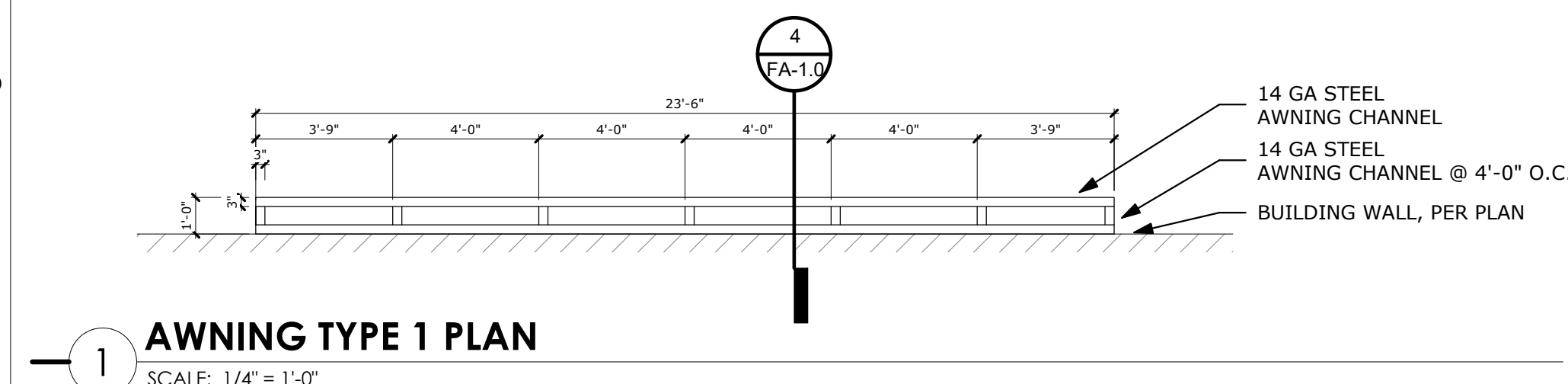
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SCALE: 1" = 20'-0"

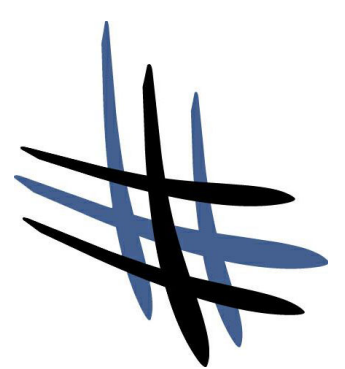


FACADE ELEVATION - SAN DIEGO AVE. N.E.

SCALE: 1" = 20'-0"



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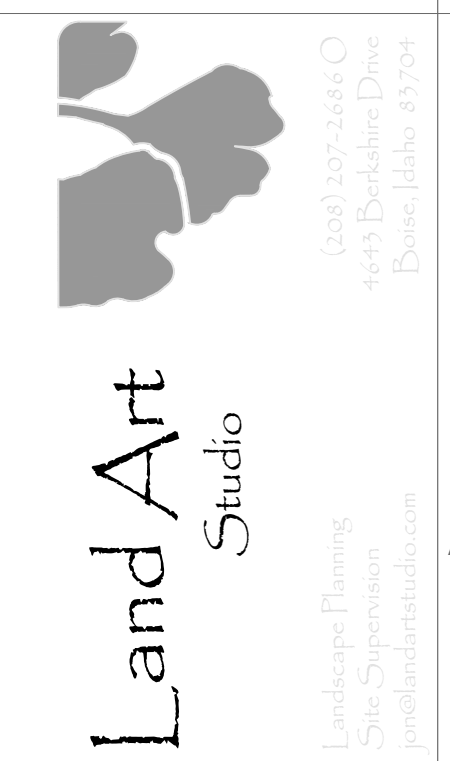
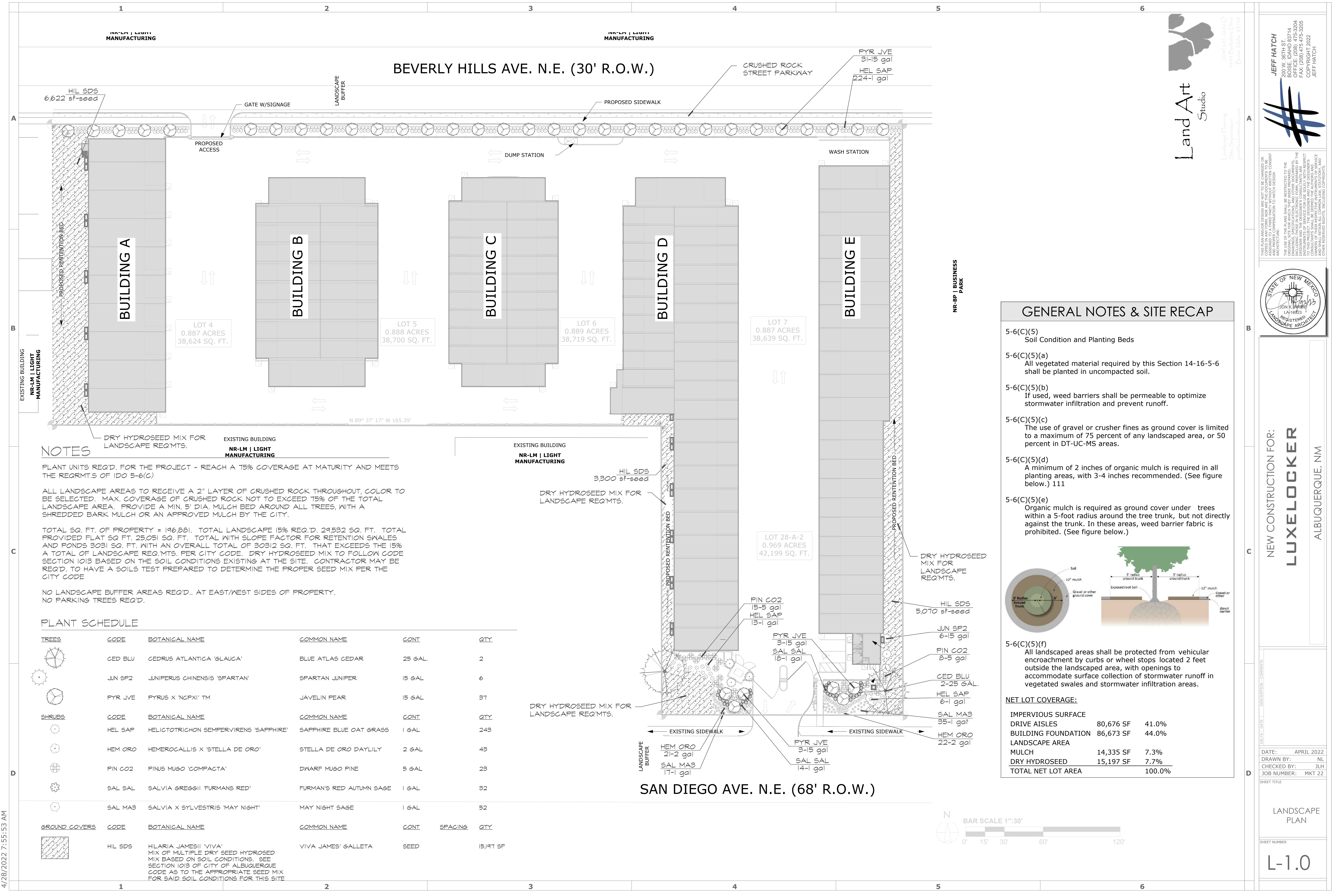
NEW LUXURY BOAT & R.V. STORAGE FACILITY FOR:
LUXELOCKER ALBUQUERQUE
SAN DIEGO AVENUE NE, ALBUQUERQUE NM 87113

DATE	DESCRIPTION
10/08/22	DATE ONE REVIEW
11/15/22	DATE TWO COMMENTS

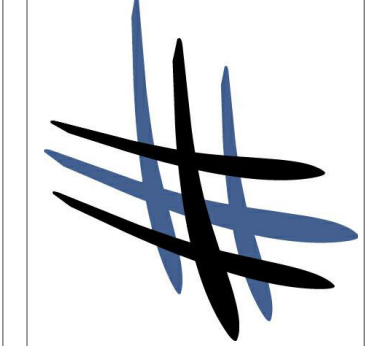
DATE: 2022 OCT.
DRAWN BY: BT, WE
CHECKED BY: JLH
JOB NUMBER: MKT 22

SHEET TITLE
FACADE DESIGN & DETAILS

SHEET NUMBER
FA-1.0



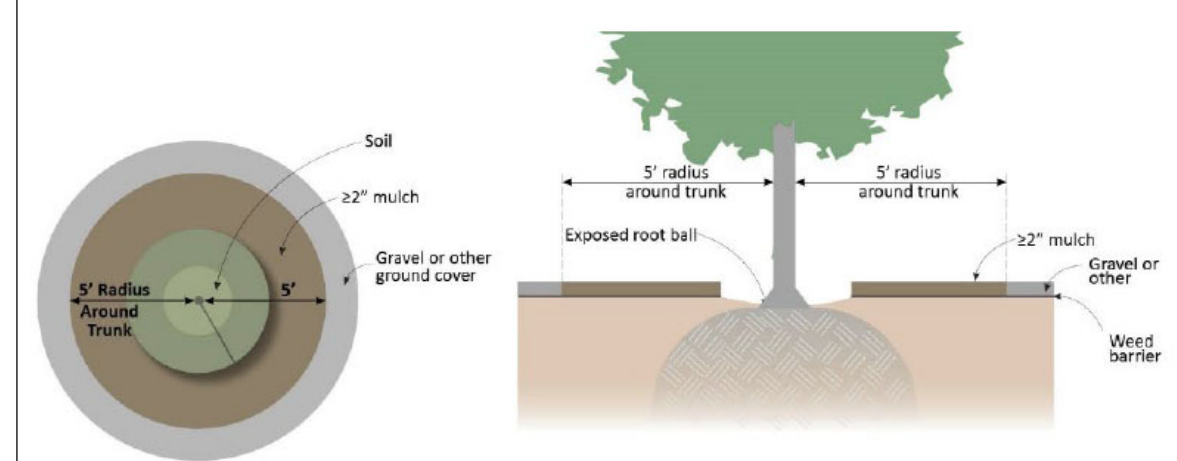
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GENERAL NOTES & SITE RECAP

- 5-6(C)(5) Soil Condition and Planting Beds
- 5-6(C)(5)(a) All vegetated material required by this Section 14-16-5-6 shall be planted in uncompacted soil.
- 5-6(C)(5)(b) If used, weed barriers shall be permeable to optimize stormwater infiltration and prevent runoff.
- 5-6(C)(5)(c) The use of gravel or crusher fines as ground cover is limited to a maximum of 75 percent of any landscaped area, or 50 percent in DT-UC-MS areas.
- 5-6(C)(5)(d) A minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended. (See figure below.) 111
- 5-6(C)(5)(e) Organic mulch is required as ground cover under trees within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited. (See figure below.)



- 5-6(C)(5)(f) All landscaped areas shall be protected from vehicular encroachment by curbs or wheel stops located 2 feet outside the landscaped area, with openings to accommodate surface collection of stormwater runoff in vegetated swales and stormwater infiltration areas.

NET LOT COVERAGE:

IMPERVIOUS SURFACE		
DRIVE AISLES	80,676 SF	41.0%
BUILDING FOUNDATION	86,673 SF	44.0%
LANDSCAPE AREA		
MULCH	14,335 SF	7.3%
DRY HYDROSEED	15,197 SF	7.7%
TOTAL NET LOT AREA		100.0%

NOTES

- PLANT UNITS REQ'D. FOR THE PROJECT - REACH A 75% COVERAGE AT MATURITY AND MEETS THE REQ'TS OF IDO 5-6(G)
- ALL LANDSCAPE AREAS TO RECEIVE A 2" LAYER OF CRUSHED ROCK THROUGHOUT, COLOR TO BE SELECTED. MAX. COVERAGE OF CRUSHED ROCK NOT TO EXCEED 75% OF THE TOTAL LANDSCAPE AREA. PROVIDE A MIN. 5' DIA. MULCH BED AROUND ALL TREES, WITH A SHREDDED BARK MULCH OR AN APPROVED MULCH BY THE CITY.
- TOTAL SQ. FT. OF PROPERTY = 196,881. TOTAL LANDSCAPE 15% REQ'D. 29,532 SQ. FT. TOTAL PROVIDED FLAT SQ. FT. 25,051 SQ. FT. TOTAL WITH SLOPE FACTOR FOR RETENTION SWALES AND PONDS 3031 SQ. FT. WITH AN OVERALL TOTAL OF 30312 SQ. FT. THAT EXCEEDS THE 15% A TOTAL OF LANDSCAPE REQ'TS. PER CITY CODE. DRY HYDROSEED MIX TO FOLLOW CODE SECTION 1013 BASED ON THE SOIL CONDITIONS EXISTING AT THE SITE. CONTRACTOR MAY BE REQ'D. TO HAVE A SOILS TEST PREPARED TO DETERMINE THE PROPER SEED MIX PER THE CITY CODE
- NO LANDSCAPE BUFFER AREAS REQ'D.. AT EAST/WEST SIDES OF PROPERTY.
NO PARKING TREES REQ'D.

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT.	QTY.	
	CED BLU	CEDRUS ATLANTICA 'GLAUCA'	BLUE ATLAS CEDAR	25 GAL.	2	
	JUN SP2	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	15 GAL.	6	
	PYR JVE	PYRUS X 'NCPX1' TM	JAVELIN PEAR	15 GAL.	31	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONT.	QTY.	
	HEL SAP	HELICOTRICHON SEMPERVIRENS 'SAPPHIRE'	SAPPHIRE BLUE OAT GRASS	1 GAL.	243	
	HEM ORO	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	2 GAL.	43	
	PIN CO2	PINUS MUGO 'COMPACTA'	DWARF MUGO PINE	5 GAL.	23	
	SAL SAL	SALVIA GREGGII 'FURMANS RED'	FURMAN'S RED AUTUMN SAGE	1 GAL.	32	
	SAL MAB	SALVIA X SYLVESTRIS 'MAY NIGHT'	MAY NIGHT SAGE	1 GAL.	52	
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	QTY.
	HIL SDS	HILARIA JAMESII 'VIVA'	VIVA JAMES' GALLETIA	SEED		15,197 SF

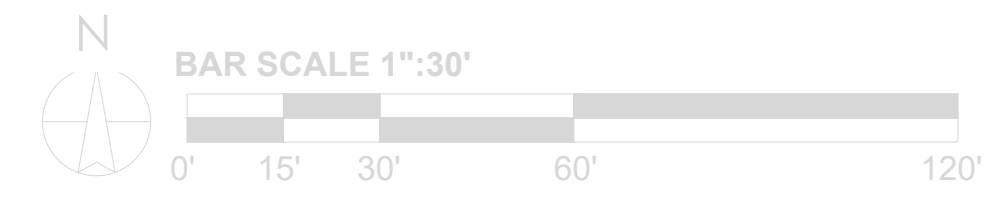
MIX OF MULTIPLE DRY SEED HYDROSEED MIX BASED ON SOIL CONDITIONS. SEE SECTION 1013 OF CITY OF ALBUQUERQUE CODE AS TO THE APPROPRIATE SEED MIX FOR SAID SOIL CONDITIONS FOR THIS SITE

4/28/2022 7:55:53 AM

NEW CONSTRUCTION FOR:
LUXELOCKER
 ALBUQUERQUE, NM

DATE: APRIL 2022
 DRAWN BY: NL
 CHECKED BY: JKH
 JOB NUMBER: MKT 22

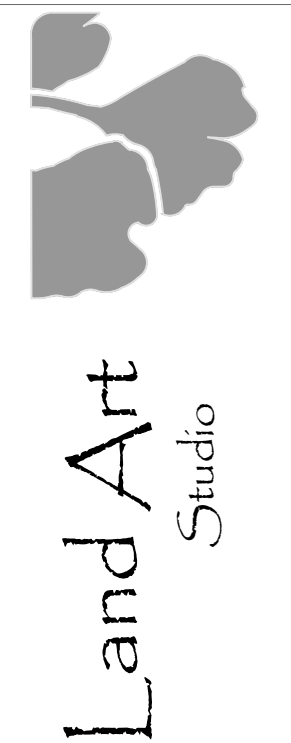
LANDSCAPE PLAN
 SHEET NUMBER
L-1.0



NR-LM | LIGHT
MANUFACTURING

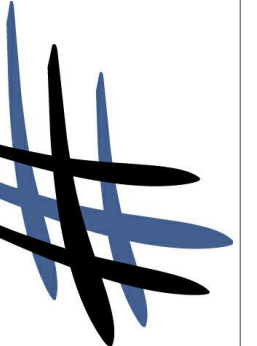
NR-LM | LIGHT
MANUFACTURING

BEVERLY HILLS AVE. N.E. (30' R.O.W.)

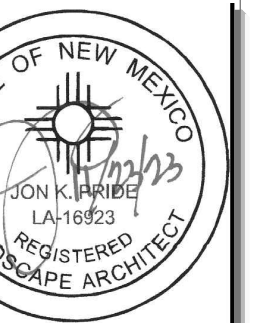


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Landscape Planning
Site Development
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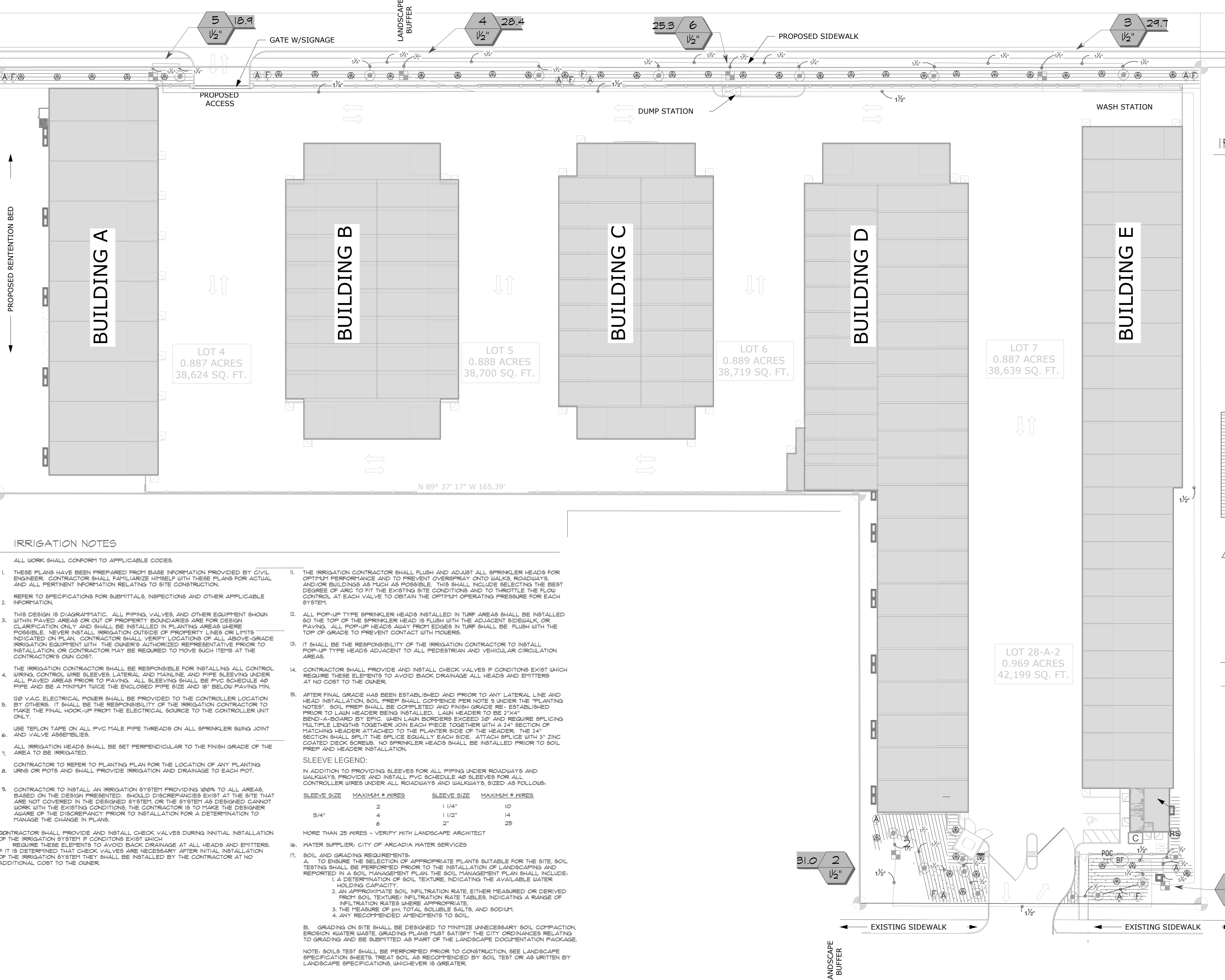
NEW CONSTRUCTION FOR:
LUXELOCKER
ALBUQUERQUE, NM

DATE: APRIL 2022
DRAWN BY: JP
CHECKED BY: JIH
JOB NUMBER: MKT 22

DESCRIPTION: COMMENTS
1/23 CHANGE OUT VALVES TO 1"

SHEET TITLE
IRRIGATION PLAN

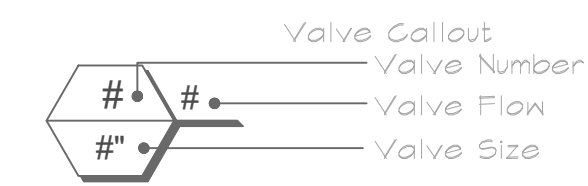
SHEET NUMBER
L-2.0



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
▲	RAIN BIRD XGZ-150-PRB-COM HIGH FLOW CONTROL ZONE KIT, FOR LARGE COMMERCIAL DRIP ZONES. 1-1/2" PESB VALVE WITH TWO 1/2" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTERS. FLOW RANGE: 15-40 GPM.	6
○	PIPE TRANSITION POINT IN DRIP BOX PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER IN 6" (150MM) DRIP BOX.	16
P	RAIN BIRD MDGFCAP DRIPLINE FLUSH VALVE CAP IN COMPRESSION FITTING COUPLER.	7
A	RAIN BIRD ARVOSO 1/2" AIR RELIEF VALVE, MADE OF QUALITY RUST-PROOF MATERIALS, WITH A 6" DRIP VALVE BOX (66X 1X8 EMITTER BOX). USE WITH INSTALLATION BELOW SOIL. THE VALVE WILL ALLOW AIR TO ESCAPE THE PIPELINE, THIS PREVENTING WATER HAMMER OR BLOCKAGE.	4
⊗	TREE RING RAINBIRD USE RAINBIRD XFS DRIP TUBING, .9 GPH 12" O.C. 40' COILES AT EA. TREE ON ITS OWN VALVE...	42
▨	AREA TO RECEIVE DRIPLINE RAIN BIRD XFS-04-12-NP XFS NON PORTABLE SUB-SURFACE PRESSURE COMPENSATING DRIPLINE W/COPPER SHIELD TECHNOLOGY. 0.9 GPH EMITTERS AT 12" O.C. LATERALS SPACED AT 12" APART, WITH EMITTERS 0.647 L.F. OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT. SPECIFY XF INSERT FITTINGS. DRAPE TUBING AMONGST PLANT MATERIAL IN THIS AREA. ALTERNATIVE WOULD BE TO USE 1/2" FLEX POLY AND 1 DRIP EMITTER PER PLANT IN THIS AREA	

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
▲	FEBCO 825Y 1-1/2" 1/2" REGULATED PRESSURE BACKFLOW PREVENTER	1
C	RAIN BIRD ESPLXME2P 12 STATION, TRADITIONALLY-WIRED COMMERCIAL CONTROLLER W/ FACTORY INSTALLED PRO SMART MODULE. INDOOR/OUTDOOR, PLASTIC WALL-MOUNT ENCLOSURE.	1
RS	RAIN BIRD RSD-BEX RAIN SENSOR, WITH METAL LATCHING BRACKET, EXTENSION WIRE.	1
---	IRRIGATION LATERAL LINE: CPVC SCHEDULE 40	524.5 L.F.
---	IRRIGATION MAINLINE: PVC SCHEDULE 40	1317 L.F.



IRRIGATION NOTES

- ALL WORK SHALL CONFORM TO APPLICABLE CODES.
- THESE PLANS HAVE BEEN PREPARED FROM BASE INFORMATION PROVIDED BY CIVIL ENGINEER. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THESE PLANS FOR ACTUAL AND ALL PERTINENT INFORMATION RELATING TO SITE CONSTRUCTION.
- REFER TO SPECIFICATIONS FOR SUBMITTALS, INSPECTIONS AND OTHER APPLICABLE INFORMATION.
- THIS DESIGN IS DIAGNOSTIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. NEVER INSTALL IRRIGATION OUTSIDE OF PROPERTY LINES OR LIMITS INDICATED ON PLAN. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT THE CONTRACTOR'S OWN COST.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL CONTROL WIRING, CONTROL WIRE SLEEVES, LATERAL, AND MAINLINE, AND PIPE SLEEVING UNDER ALL PAVED AREAS PRIOR TO PAVING. ALL SLEEVING SHALL BE PVC SCHEDULE 40 PIPE AND BE A MINIMUM TWICE THE ENCLOSED PIPE SIZE AND 18" BELOW PAVING MIN.
- 120 VAC ELECTRICAL POWER SHALL BE PROVIDED TO THE CONTROLLER LOCATION BY OTHERS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO MAKE THE FINAL HOOK-UP FROM THE ELECTRICAL SOURCE TO THE CONTROLLER UNIT ONLY.
- USE TEFLON TAPE ON ALL PVC MALE PIPE THREADS ON ALL SPRINKLER BUNG JOINT AND VALVE ASSEMBLIES.
- ALL IRRIGATION HEADS SHALL BE SET PERPENDICULAR TO THE FINISH GRADE OF THE AREA TO BE IRRIGATED.
- CONTRACTOR TO REFER TO PLANTING PLAN FOR THE LOCATION OF ANY PLANTING URNS OR POTS AND SHALL PROVIDE IRRIGATION AND DRAINAGE TO EACH POT.
- CONTRACTOR TO INSTALL AN IRRIGATION SYSTEM PROVIDING 100% TO ALL AREAS BASED ON THE DESIGN PRESENTED. SHOULD DISCREPANCIES EXIST AT THE SITE THAT ARE NOT COVERED IN THE DESIGNED SYSTEM, OR THE SYSTEM AS DESIGNED CANNOT WORK WITH THE EXISTING CONDITIONS, THE CONTRACTOR IS TO MAKE THE DESIGNER AWARE OF THE DISCREPANCY PRIOR TO INSTALLATION FOR A DETERMINATION TO MANAGE THE CHANGE IN PLANS.
- CONTRACTOR SHALL PROVIDE AND INSTALL CHECK VALVES DURING INITIAL INSTALLATION OF THE IRRIGATION SYSTEM IF CONDITIONS EXIST WHICH REQUIRE THESE ELEMENTS TO AVOID BACK DRAINAGE AT ALL HEADS AND EMITTERS. IF IT IS DETERMINED THAT CHECK VALVES ARE NECESSARY AFTER INITIAL INSTALLATION OF THE IRRIGATION SYSTEM THEY SHALL BE INSTALLED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVERSPRAY ON WALKS, ROADWAYS, AND/OR BUILDINGS AS MUCH AS POSSIBLE. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.
- ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN TURF AREAS SHALL BE INSTALLED SO THE TOP OF THE SPRINKLER HEAD IS FLUSH WITH THE ADJACENT SIDEWALK, OR PAVING. ALL POP-UP HEADS AWAY FROM EDGES IN TURF SHALL BE FLUSH WITH THE TOP OF GRADE TO PREVENT CONTACT WITH HOUSERS.
- IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO INSTALL POP-UP TYPE HEADS ADJACENT TO ALL PEDESTRIAN AND VEHICULAR CIRCULATION AREAS.
- CONTRACTOR SHALL PROVIDE AND INSTALL CHECK VALVES IF CONDITIONS EXIST WHICH REQUIRE THESE ELEMENTS TO AVOID BACK DRAINAGE ALL HEADS AND EMITTERS AT NO COST TO THE OWNER.
- AFTER FINAL GRADE HAS BEEN ESTABLISHED AND PRIOR TO ANY LATERAL LINE AND HEAD INSTALLATION, SOIL PREP SHALL COMMENCE PER NOTE 8 UNDER THE "PLANTING NOTES". SOIL PREP SHALL BE COMPLETED AND FINISH GRADE RE-ESTABLISHED PRIOR TO LAWN HEADER BEING INSTALLED. LAWN HEADER TO BE 2"x4" BEND-A-BOARD BY EPIC. WHEN LAWN BORDERS EXCEED 10' AND REQUIRE 6" SLICING MULTIPLE LENGTHS TOGETHER FOR EACH PIECE TOGETHER WITH A 2"x4" SECTION OF MATCHING HEADER ATTACHED TO THE PLANTER SIDE OF THE HEADER. THE 2"x4" SECTION SHALL SPLIT THE SPIGGE EQUALLY EACH SIDE. ATTACH SPIGGE WITH 3" ZINC COATED DECK SCREWS. NO SPRINKLER HEADS SHALL BE INSTALLED PRIOR TO SOIL PREP AND HEADER INSTALLATION.

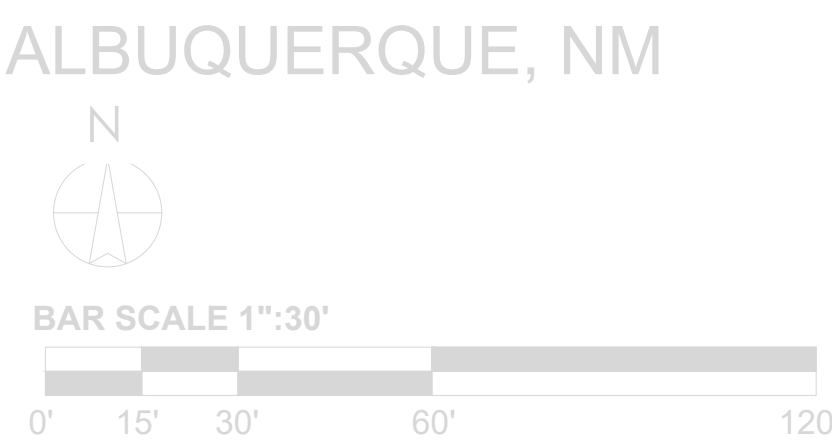
SLEEVE LEGEND:
IN ADDITION TO PROVIDING SLEEVES FOR ALL PIPING UNDER ROADWAYS AND WALKWAYS, PROVIDE AND INSTALL PVC SCHEDULE 40 SLEEVES FOR ALL CONTROLLER WIRES UNDER ALL ROADWAYS AND WALKWAYS, SIZED AS FOLLOWS:

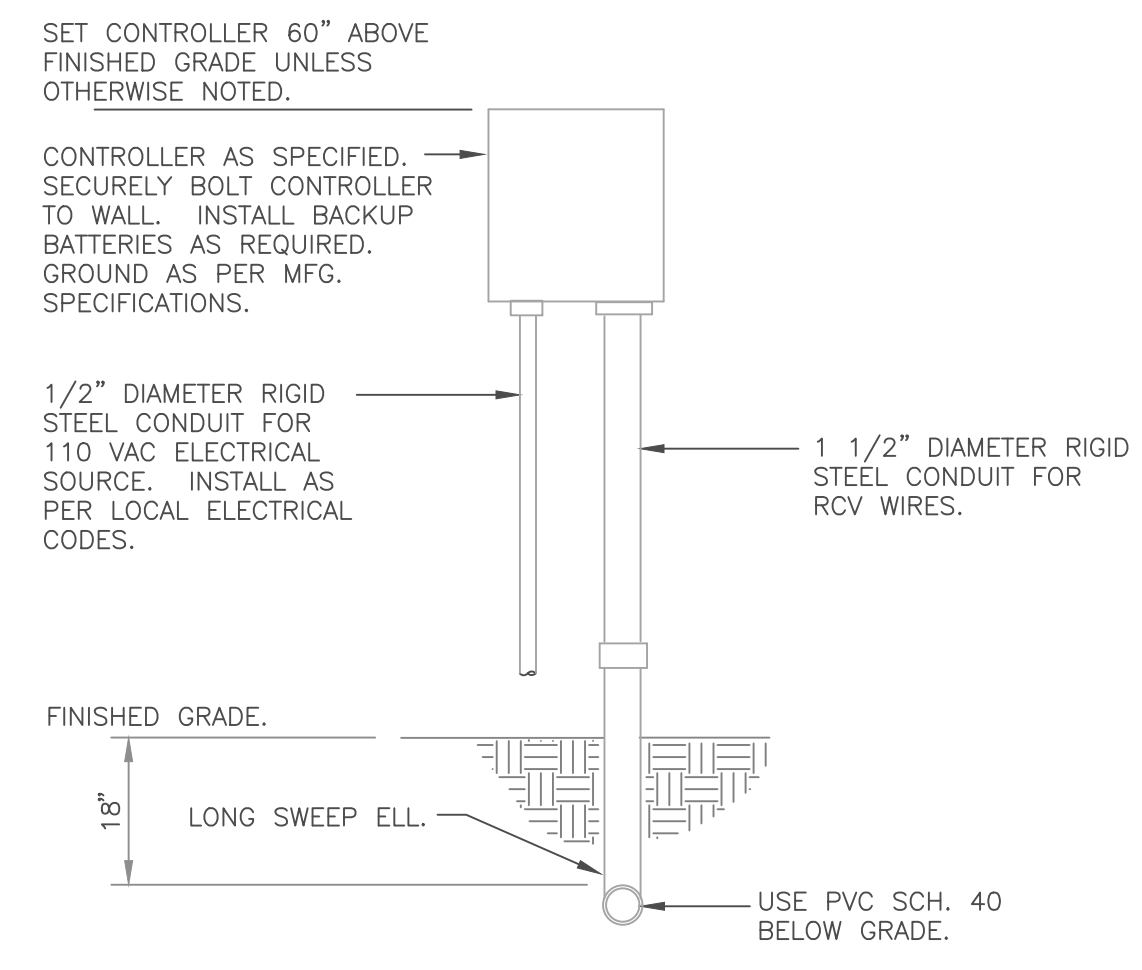
SLEEVE SIZE	MAXIMUM # WIRES	SLEEVE SIZE	MAXIMUM # WIRES
2"	10	1 1/4"	10
3/4"	4	1 1/2"	14
6"	2	2"	25

MORE THAN 25 WIRES - VERIFY WITH LANDSCAPE ARCHITECT

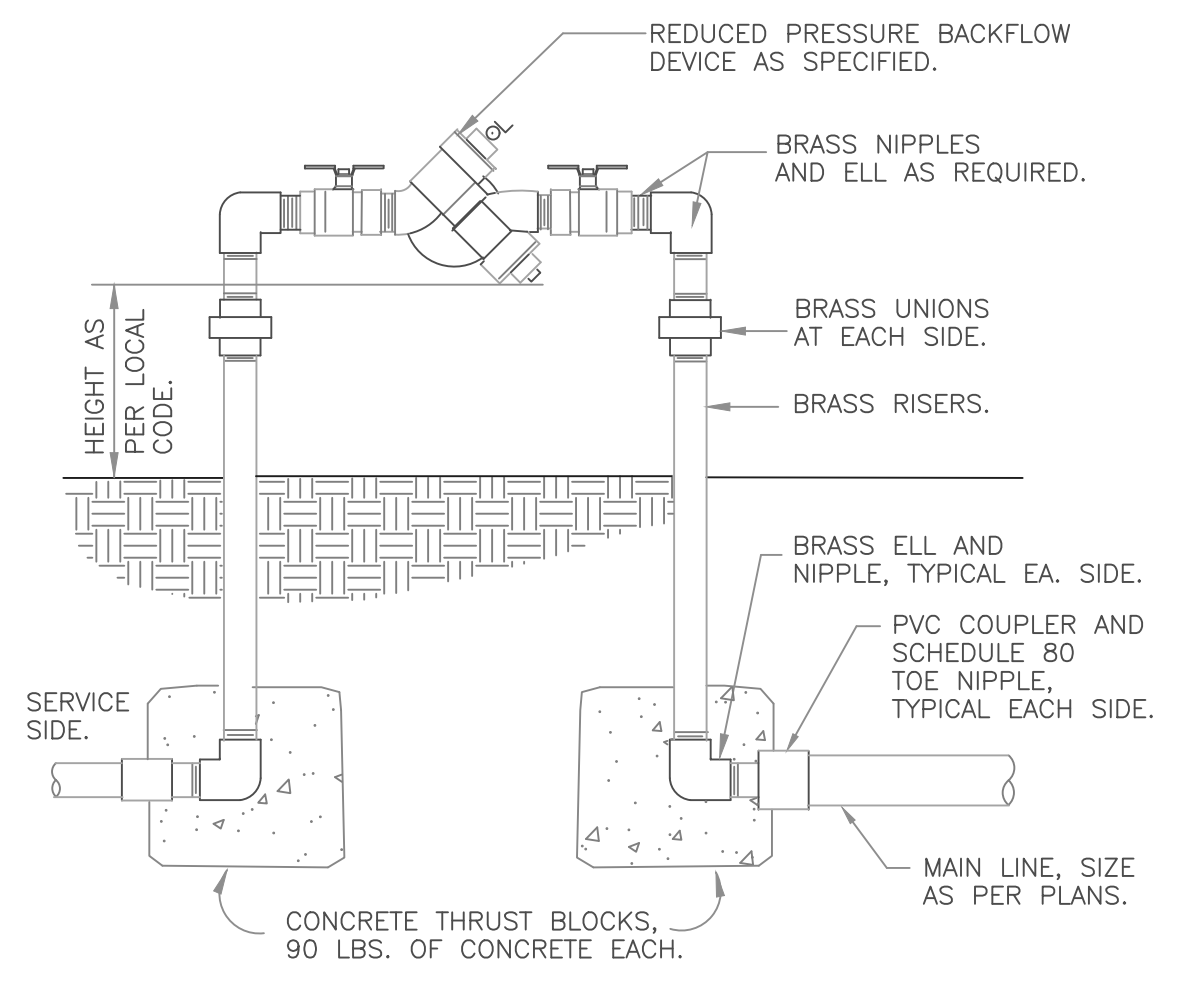
- WATER SUPPLIER: CITY OF ARCADIA WATER SERVICES.
- SOIL AND GRADING REQUIREMENTS:
A. TO ENSURE THE SELECTION OF APPROPRIATE PLANTS SUITABLE FOR THE SITE, SOIL TESTING SHALL BE PERFORMED PRIOR TO THE INSTALLATION OF LANDSCAPING AND REPORTED IN A SOIL MANAGEMENT PLAN. THE SOIL MANAGEMENT PLAN SHALL INCLUDE:
1. A DETERMINATION OF SOIL TEXTURE, INDICATING THE AVAILABLE WATER HOLDING CAPACITY.
2. AN APPROPRIATE SOIL INFILTRATION RATE EITHER MEASURED OR DERIVED FROM SOIL TEXTURE/INFILTRATION RATE TABLES, INDICATING A RANGE OF INFILTRATION RATES WHERE APPROPRIATE.
3. THE MEASURE OF PH, TOTAL SOLUBLE SALTS, AND SODIUM.
4. ANY RECOMMENDED AMENDMENTS TO SOIL.
B. GRADING ON SITE SHALL BE DESIGNED TO MINIMIZE UNNECESSARY SOIL COMPACTION. EROSION CONTROL MEASURES GRADING PLANS MUST SATISFY THE CITY ORDINANCES RELATING TO GRADING AND BE SUBMITTED AS PART OF THE LANDSCAPE DOCUMENTATION PACKAGE.
NOTE: SOILS TEST SHALL BE PERFORMED PRIOR TO CONSTRUCTION. SEE LANDSCAPE SPECIFICATION SHEETS. TREAT SOIL AS RECOMMENDED BY SOIL TEST OR AS WRITTEN BY LANDSCAPE SPECIFICATIONS, WHICHEVER IS GREATER.

4/28/2022 7:55:53 AM

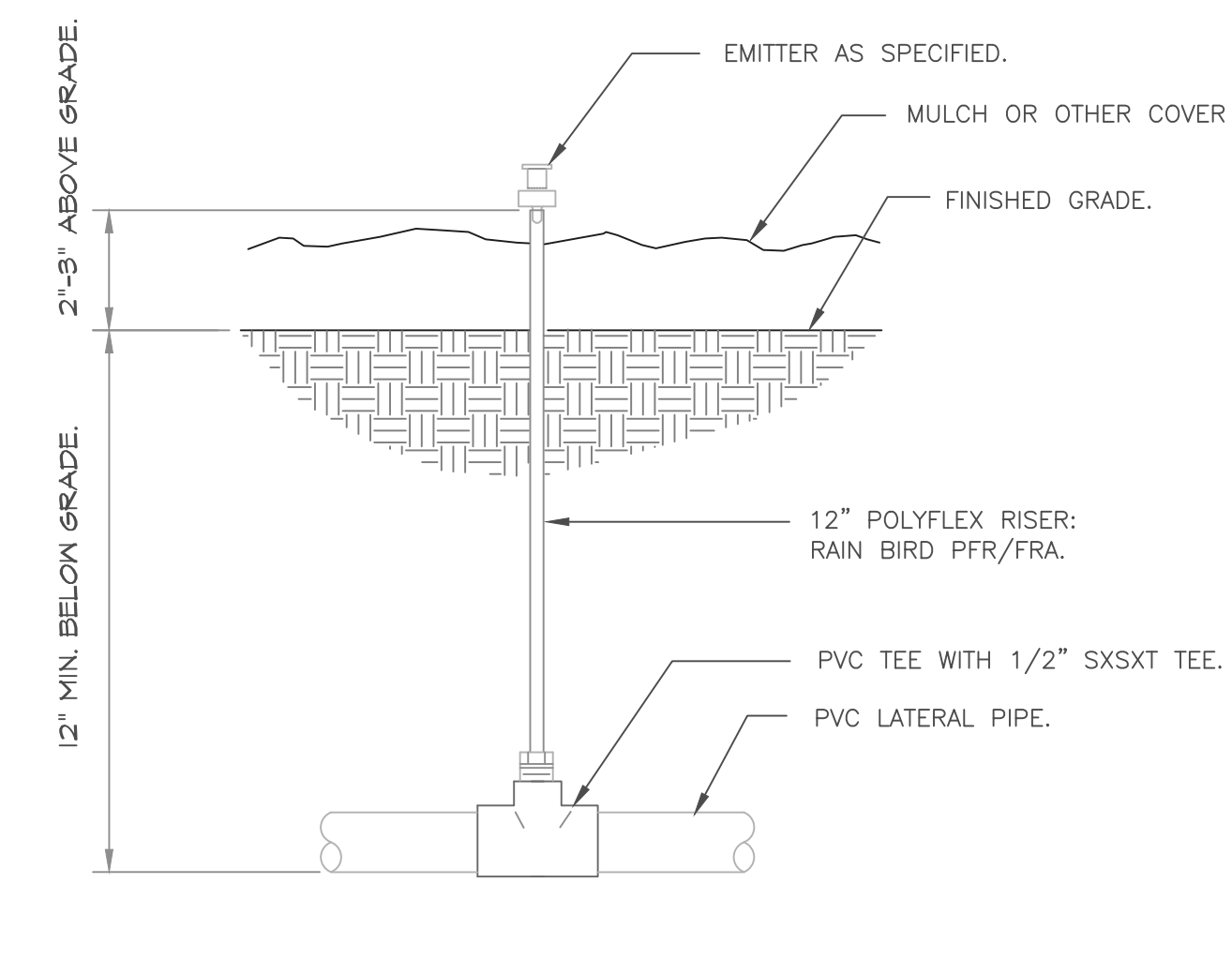




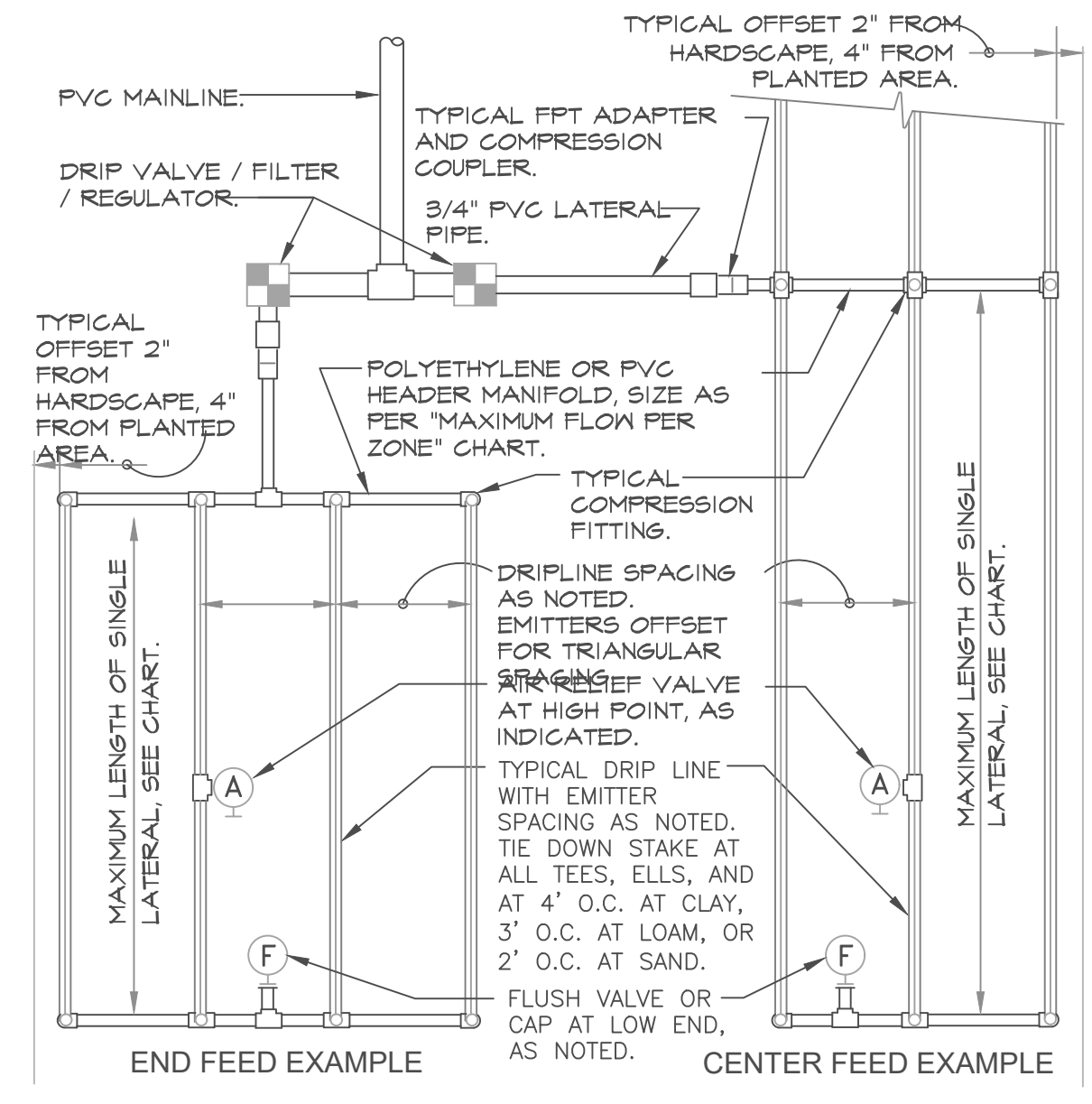
1 WALL MOUNT CONTROLLER
 1" = 1'-0"
 328409.13-01



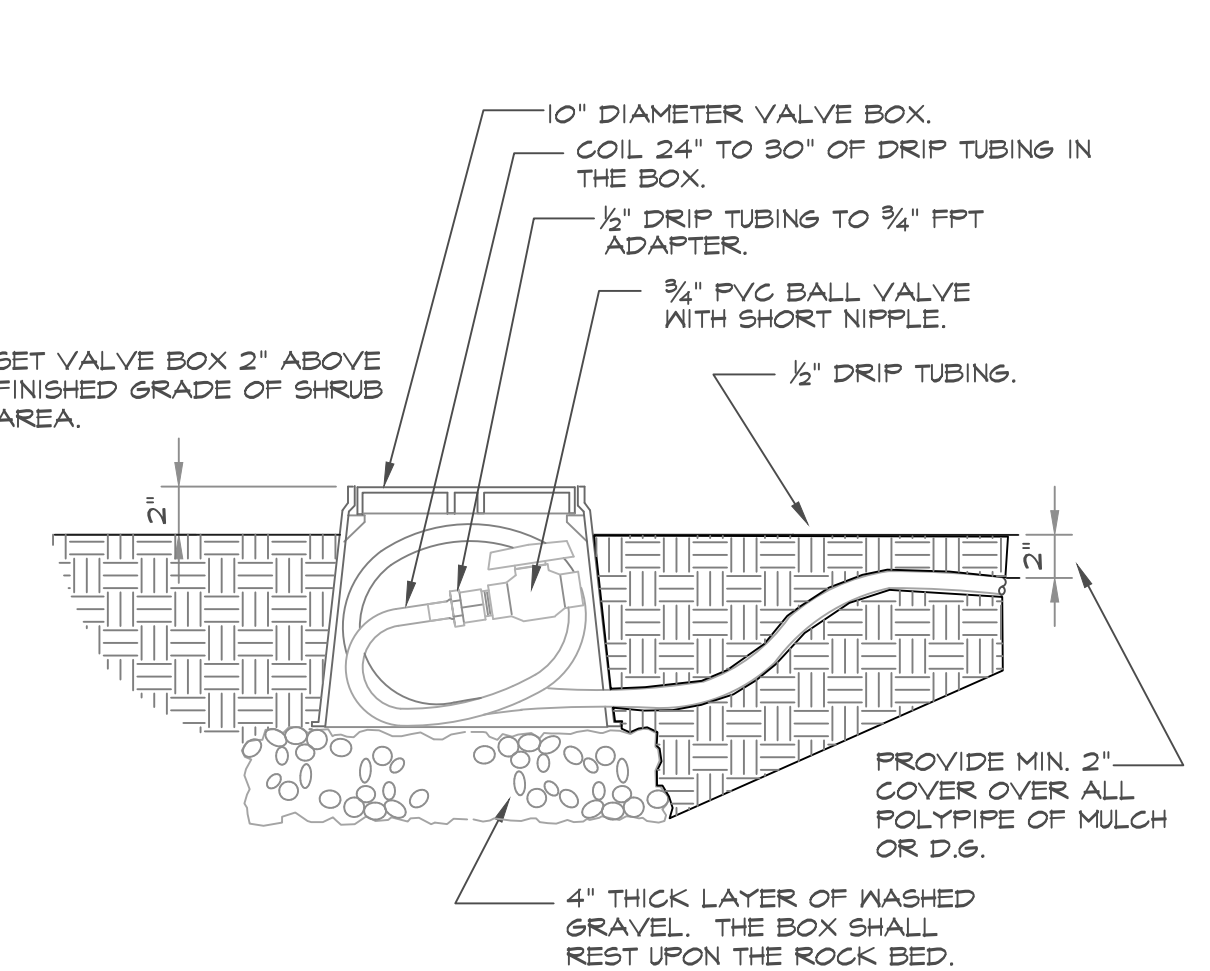
2 REDUCED PRESSURE BACKFLOW DEVICE
 1" = 1'-0"
 328409.43-01



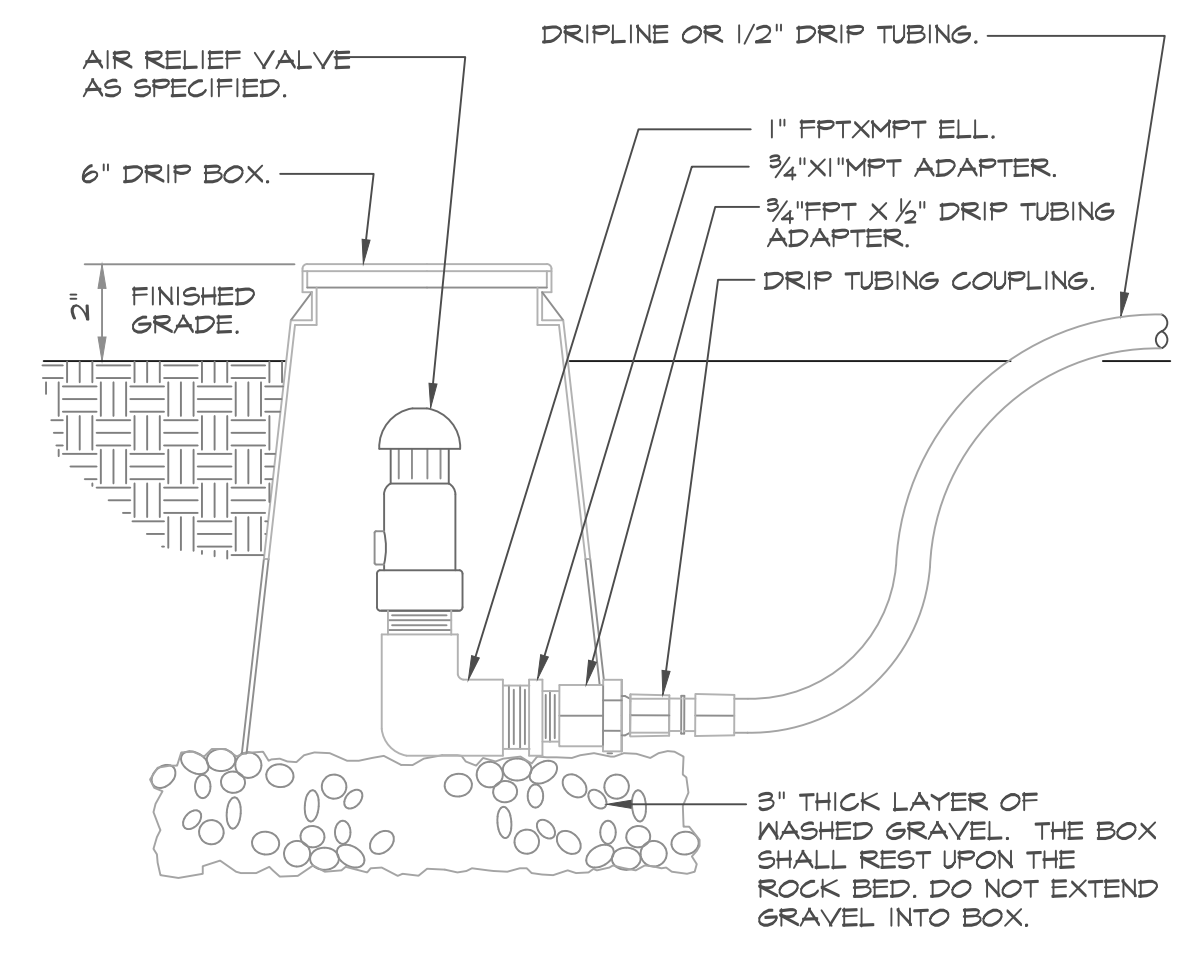
3 DRIP EMITTER PIPED TO HARD PVC
 3" = 1'-0"
 328413.13-25



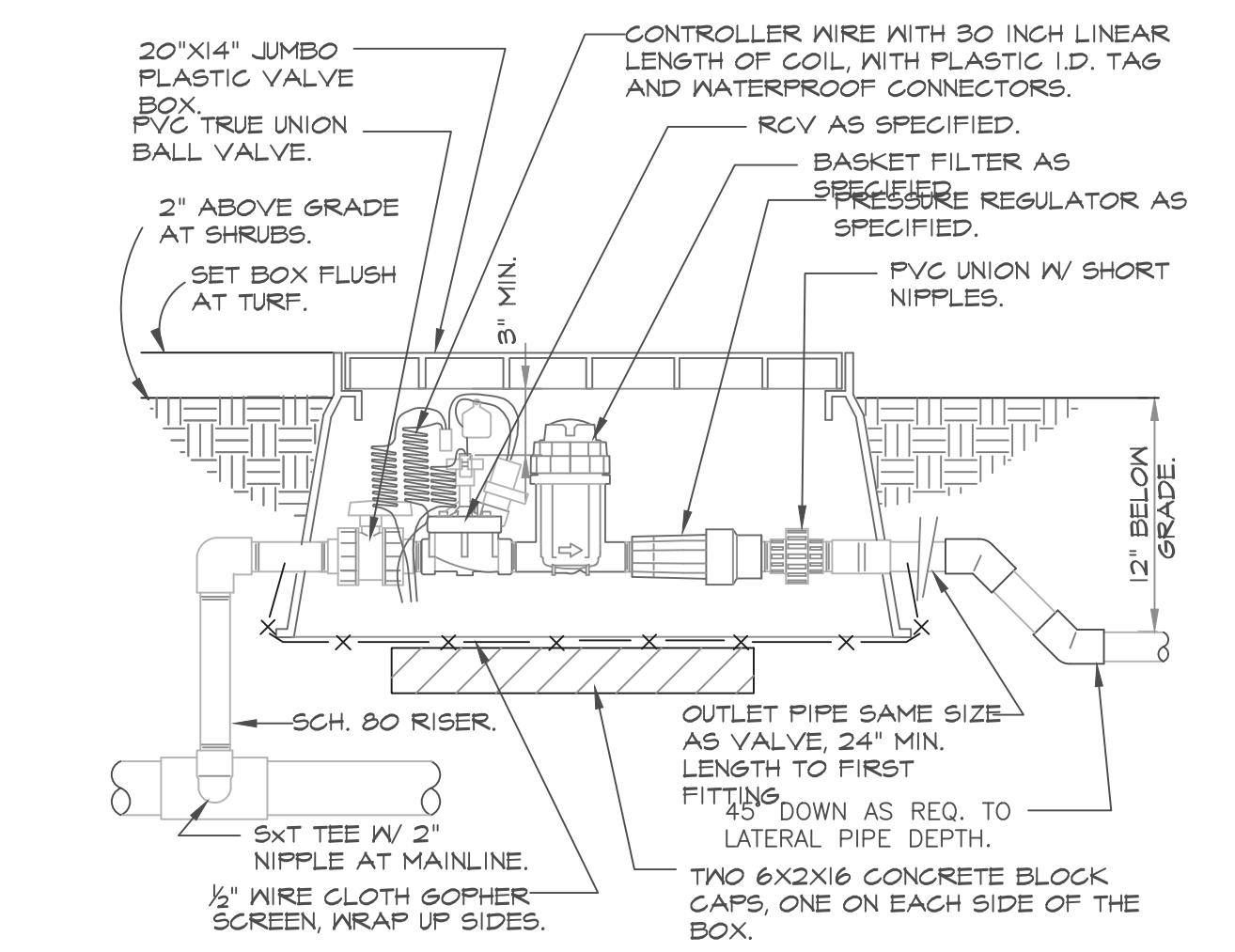
5 END FEED EXAMPLE CENTER FEED EXAMPLE



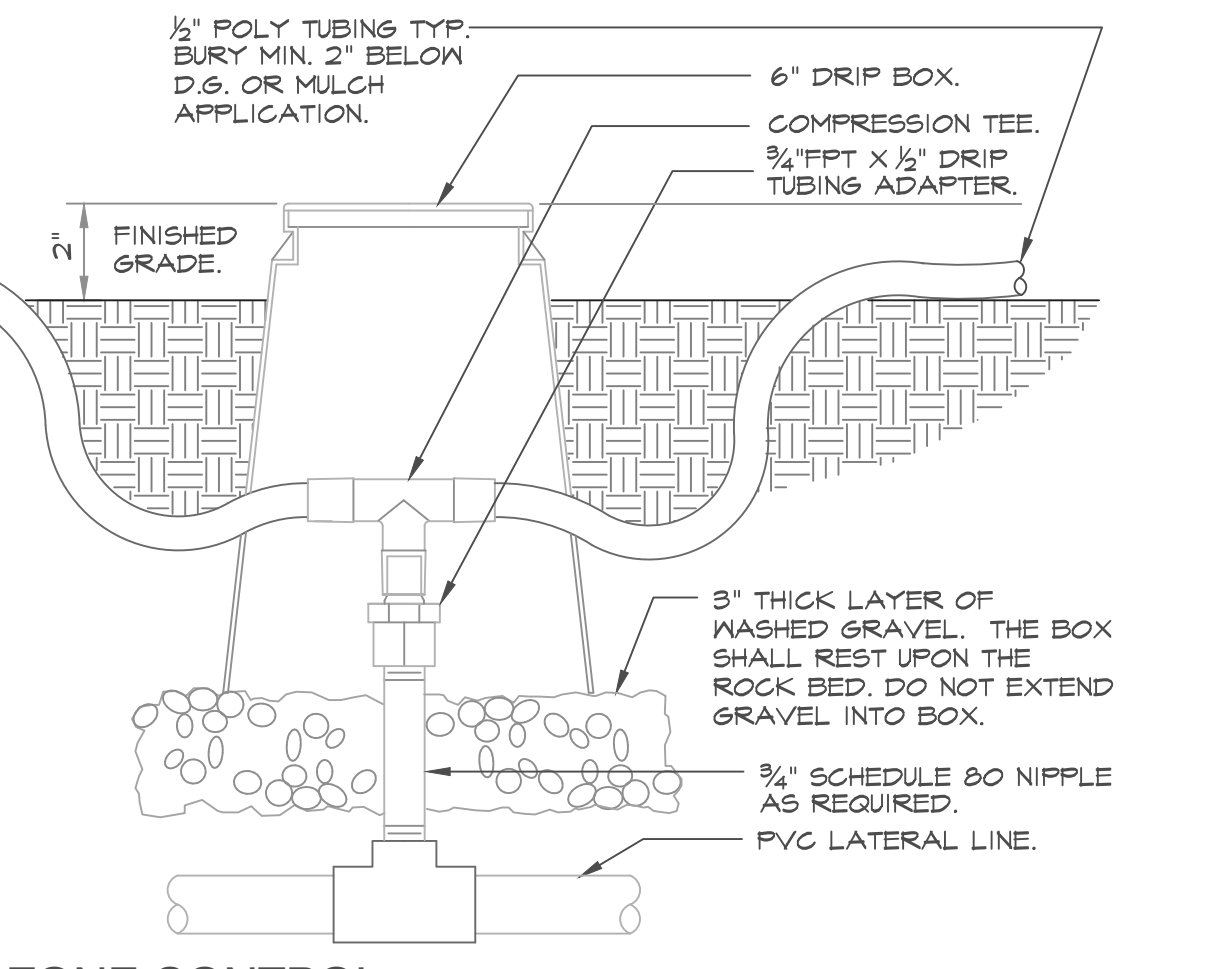
4 DRIP FLUSH VALVE
 1 1/2" = 1'-0"
 328413.44-03



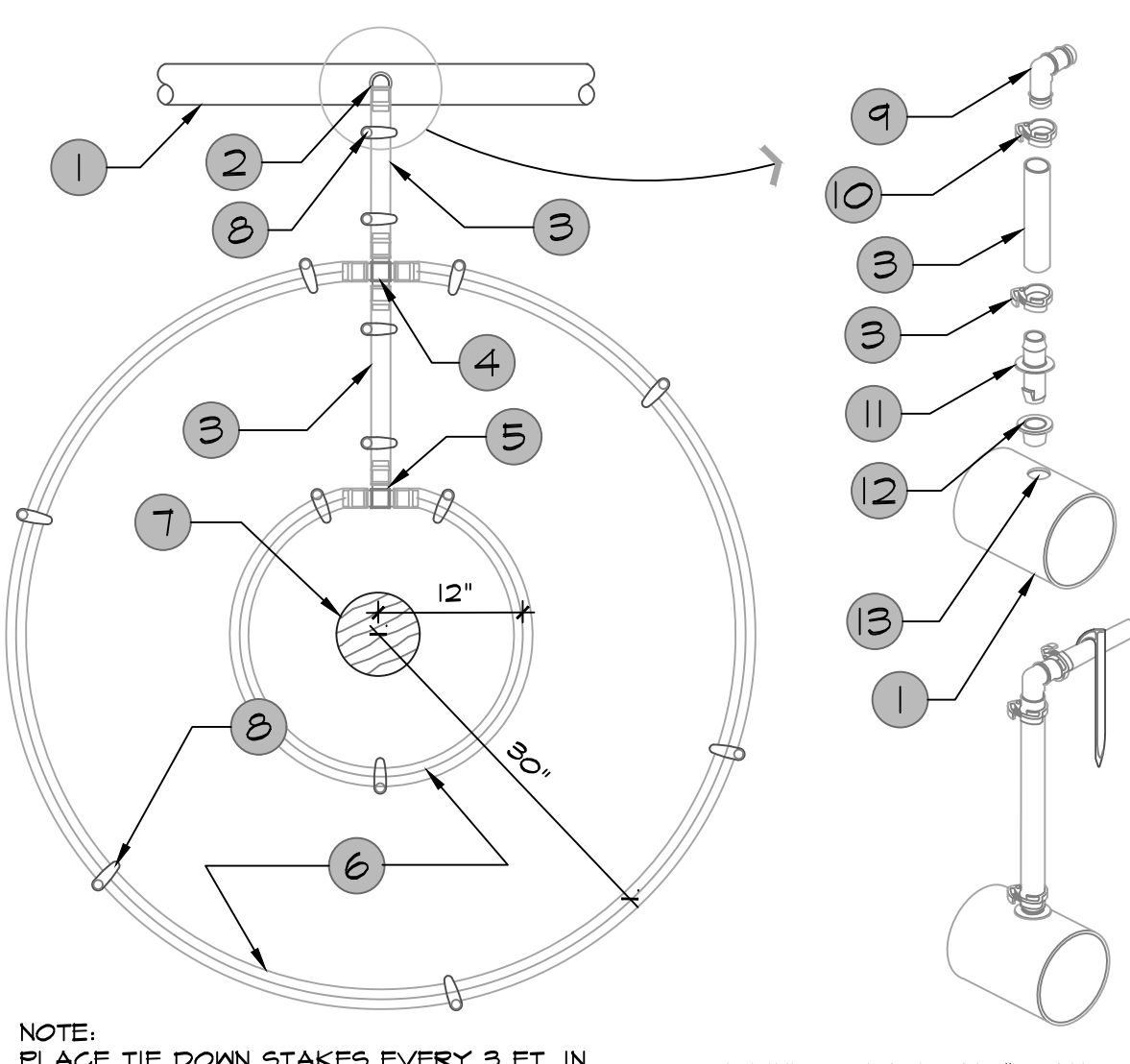
6 DRIP AIR RELIEF VALVE IN BOX
 3" = 1'-0"
 328413.53-03



8 1" DRIP VALVE W/BASKET FILTER
 1 1/2" = 1'-0"
 328413.76-26



4 ZONE CONTROL
 3" = 1'-0"
 328413.46-03



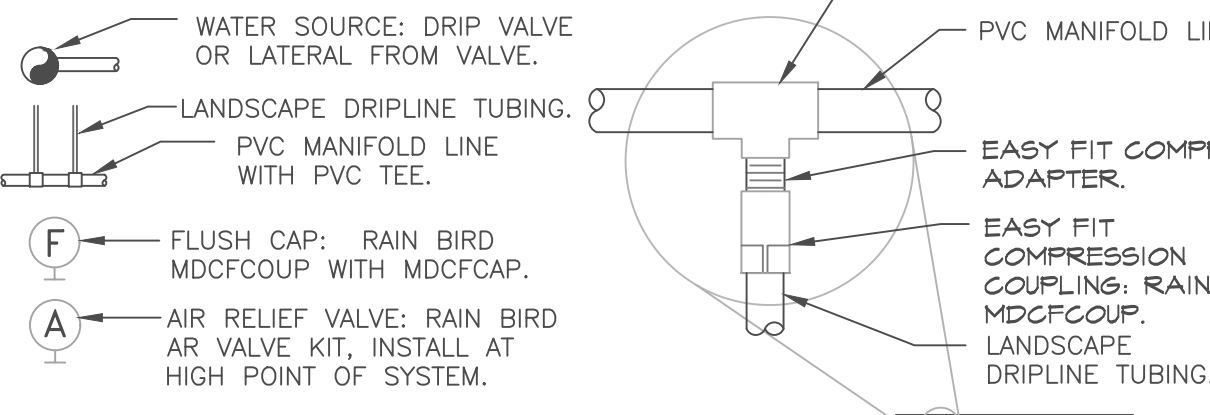
9 20 GPH DRIPLINE RING-0.9 GPH @ 12" O.C.
 1" = 1"
 328413.56-02

SLOPED CONDITION NOTE:
 1. DRIPLINE LATERALS SHOULD FOLLOW THE CONTOURS OF THE SLOPE WHENEVER POSSIBLE.
 2. INSTALL AIR RELIEF VALVE AT HIGHEST POINT.
 3. NORMAL SPACING WITHIN THE TOP 1/3 OF SLOPE.
 4. INSTALL DRIPLINE AT 25% GREATER SPACING AT THE BOTTOM 1/3 OF THE SLOPE.
 5. WHEN ELEVATION CHANGE IS 10 FT OR MORE, ZONE THE BOTTOM 1/3 ON A SEPARATE VALVE.

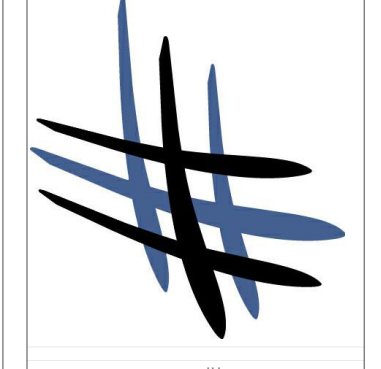
GRID PRECIPITATION RATES (IN/HR)		EMITTER FLOW RATE	
EMITTER SPACING	LATERAL SPACING	0.6	0.9
12	12	0.96	1.44
18	18	0.69	1.03
24	24	0.28	0.41

LATERAL FLOW PER 100 FT (GPM)		EMITTER FLOW RATE	
EMITTER FLOW	12" SPACING	18" SPACING	24" SPACING
0.6 GPH	1.0 GPM	0.67 GPM	0.50 GPM
0.9 GPH	1.5 GPM	1.0 GPM	0.75 GPM

MAXIMUM LATERAL LENGTH (FEET)						
PSI	EMITTER FLOW RATE GPH					
	12" SPACING	18" SPACING	24" SPACING	0.6	0.9	
10	125	96	175	135	218	171
20	249	191	350	171	442	340
30	307	236	434	333	550	422
40	350	268	495	380	627	171
50	125	96	175	135	218	171
60	125	96	175	135	218	171



7 TYPICAL RAIN BIRD DRIPLINE REQUIREMENTS
 N.T.S.
 328413.56-02
 BAR SCALE 1"=30'



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NEW CONSTRUCTION FOR:
LUXELOCKER
 ALBUQUERQUE, NM

DATE: APRIL 2022
 DRAWN BY: NL
 CHECKED BY: JKH
 JOB NUMBER: MKT 22
 SHEET TITLE: IRRIGATION DETAILS
 SHEET NUMBER: L-2.1

Rev	Date	By	Description

LUXELocker - ALBUQUERQUE
BEVERLY HILLS AVE NE & SAN DIEGO AVE NE
ALBUQUERQUE, NM

Scale: 1" = 30'
Date: SEPT 2022
Drawn By: MFH
Project Number: 2022 - 09

Sheet Title: **UTILITY PLAN**
Sheet Number: **C5**
5 of 18

GENERAL NOTES

- CONTACT ARIZONA ONE CALL AT (800) STAKE-IT OR 811 PRIOR TO START OF ANY EXCAVATION FOR LOCATIONS OF BURIED UTILITIES. THE LOCATIONS OF ANY AND ALL UNDERGROUND UTILITIES SHOWN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, AS-BUILT MAPS, AND MARKS MADE ON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY BE UNDERGROUND UTILITIES, WHETHER IN SERVICE OR ABANDONED, FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH THE ABOVE GROUND EVIDENCE WAS NOT OBSERVED. FURTHERMORE, THE UTILITIES MAY NOT BE IN THE EXACT LOCATIONS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELEVATIONS OF UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF CONSTRUCTION. ANY AND ALL DAMAGES THAT MAY OCCUR FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE ANY AND ALL UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OR VARIANCES TO THE PLANS ARE FOUND.
- SEE ARCHITECTURAL FOUNDATION CONSTRUCTION PLANS FOR ALL ACTUAL BUILDING DIMENSIONS. DIMENSIONS SHOWN ON CIVIL SITE PLAN ARE APPROXIMATE.

WATER NOTES

- REMOVE EXISTING 8" CAP AND CONNECT TO EXISTING 8" PVC WATERMAIN.
- INSTALL 8" PVC C900 DR-18 WATERMAIN.
- INSTALL 2" DOMESTIC WATER SERVICE PER ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY DETAIL 2363.
- INSTALL 2" WATER METER PER ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY DETAIL 2363.
- INSTALL 2" PE SDR9 DOMESTIC WATER SERVICE.
- SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL 2" TEE.
- INSTALL 1" PE SDR9 DOMESTIC WATER SERVICE.
- INSTALL 2"x1" TEE.
- INSTALL 2" BACKFLOW PREVENTER PER ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY DETAIL 2385.
- INSTALL 1.5" DOMESTIC WATER SERVICE PER ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY DETAIL 2363.
- INSTALL 2"x1.5" REDUCER
- INSTALL 2"x1" REDUCER
- INSTALL 1.5" WATER METER PER ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY DETAIL 2363. SEE IRRIGATION PLANS FOR CONTINUATION.

SANITARY SEWER NOTES

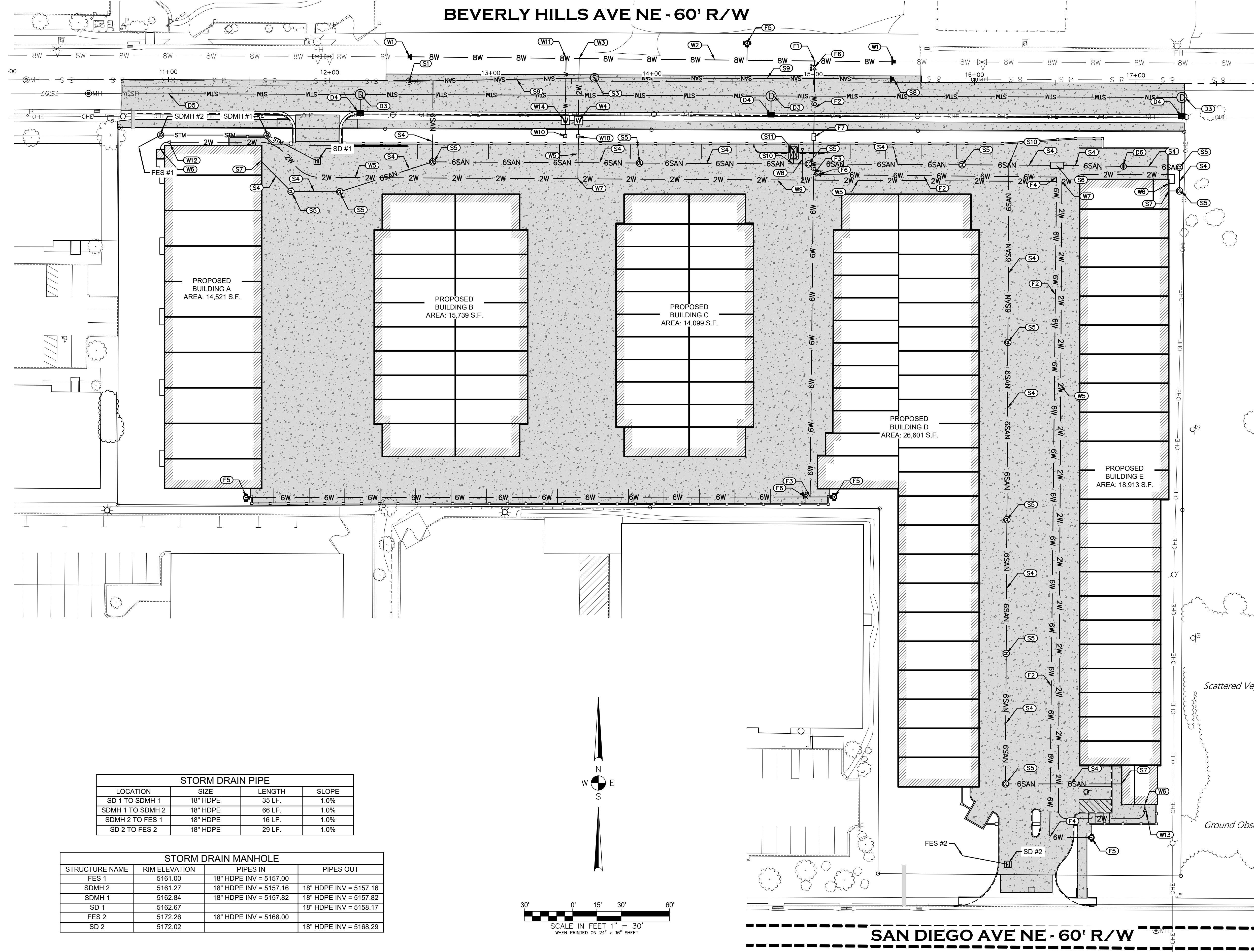
- CONNECT TO EXISTING SANITARY SEWER MANHOLE.
- INSTALL 6" PVC SDR 35 SANITARY SEWER MAIN.
- INSTALL 48" SANITARY SEWER MANHOLE PER C.O.A. STANDARD DETAIL 2102.
- INSTALL 6" PVC SDR 35 SANITARY SEWER SERVICE LINE.
- INSTALL 6" SANITARY SEWER CLEANOUT.
- INSTALL 320 GALLON JENSON PRECAST OIL/SAND INTERCEPTOR.
- SEE PLUMBING PLANS FOR CONTINUATION OF SANITARY SEWER SERVICE.
- REMOVE EXISTING 6" CAP AND CONNECT TO EXISTING 6" SANITARY SEWER MAIN.
- INSTALL 8" PVC SDR 35 SANITARY SEWER MAIN.
- INSTALL 6"x6" WYE.
- PROPOSED DUMP STATION. SEE SHEET C18 FOR DETAILS.

STORM SEWER NOTES

- STORM DRAINS #1 AND #2 SHALL BE 36" NYLOPLAST STRUCTURE WITH A 36" GRATE.
- STORM DRAIN MANHOLES #1 AND #2 SHALL BE INSTALLED PER C.O.A. STANDARD DETAIL 2209.
- INSTALL 48" SANITARY SEWER MANHOLE PER C.O.A. STANDARD DETAIL 2102.
- INSTALL TYPE A CURB INLET PER C.O.A. STANDARD DETAIL 2201 & 2202.
- CONNECT TO EXISTING 36" RCP PER C.O.A. STANDARD DETAIL 2237.
- INSTALL 12" NYLOPLAST DRAIN BASIN PER DETAIL B

FIRE LINE NOTES

- INSTALL 8"x6" D.I. TEE.
- INSTALL 6" PVC C900 CLASS 305 DR-18 FIRE LINE PER AWWA C605.
- INSTALL 6"x6" D.I. TEE.
- INSTALL 90° D.I. BEND.
- INSTALL FIRE HYDRANT ASSEMBLY PER BERNALILLO COUNTY WATER UTILITY AUTHORITY DETAIL 2340.
- INSTALL 6" GATE VALVE AT TEE ON MAIN. INSTALL VALVE BOX PER BERNALILLO COUNTY WATER UTILITY AUTHORITY DETAIL 2326.
- INSTALL 6" BACKFLOW PREVENTER PER ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY DETAIL 2385.

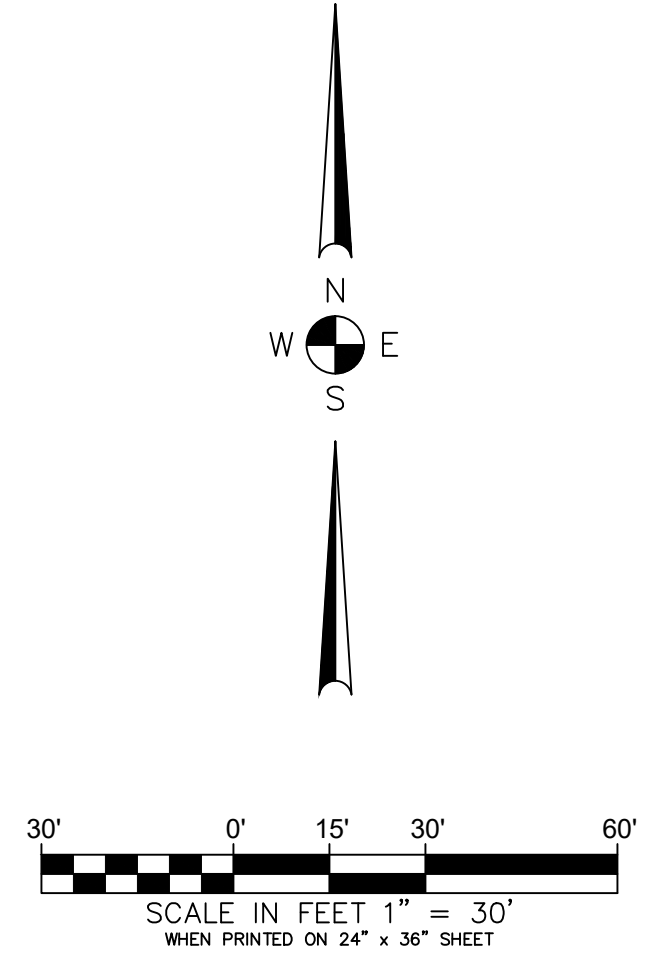


STORM DRAIN PIPE

LOCATION	SIZE	LENGTH	SLOPE
SD 1 TO SDMH 1	18" HDPE	35 LF.	1.0%
SDMH 1 TO SDMH 2	18" HDPE	66 LF.	1.0%
SDMH 2 TO FES 1	18" HDPE	16 LF.	1.0%
SD 2 TO FES 2	18" HDPE	29 LF.	1.0%

STORM DRAIN MANHOLE

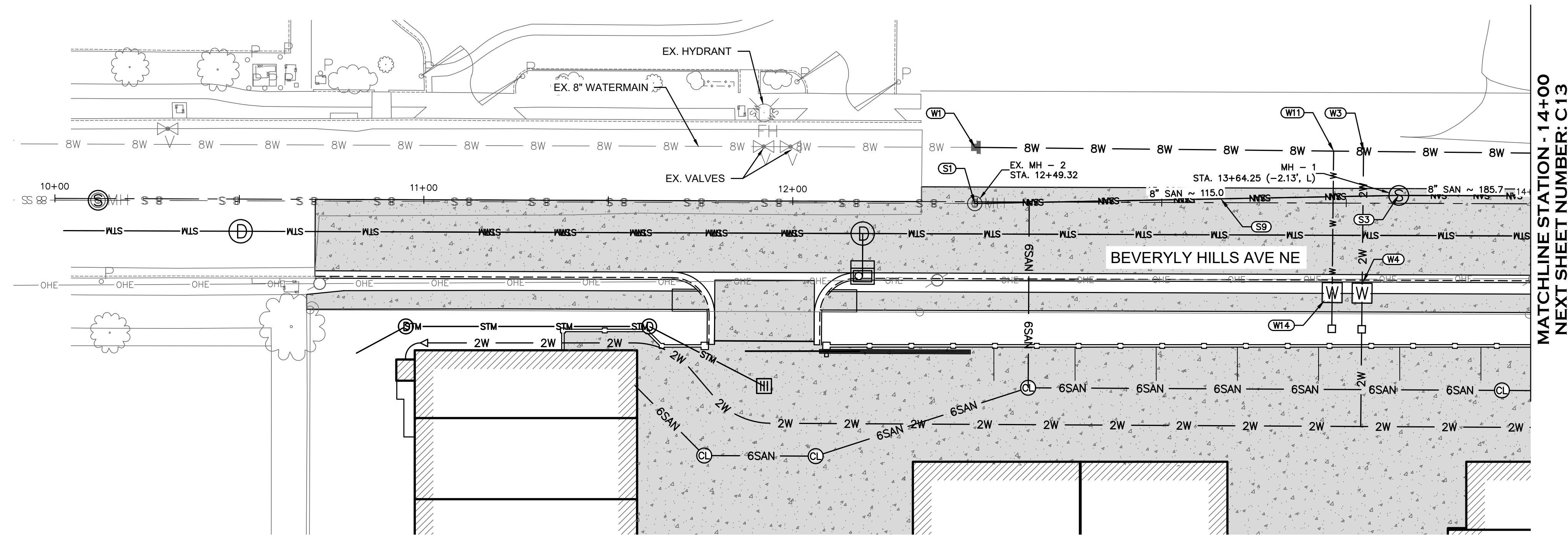
STRUCTURE NAME	RIM ELEVATION	PIPES IN	PIPES OUT
FES 1	5161.00	18" HDPE INV = 5157.00	18" HDPE INV = 5157.16
SDMH 2	5161.27	18" HDPE INV = 5157.16	18" HDPE INV = 5157.82
SDMH 1	5162.84	18" HDPE INV = 5157.82	18" HDPE INV = 5158.17
SD 1	5162.67	18" HDPE INV = 5168.00	18" HDPE INV = 5168.29
FES 2	5172.26	18" HDPE INV = 5168.00	18" HDPE INV = 5168.29
SD 2	5172.02	18" HDPE INV = 5168.00	18" HDPE INV = 5168.29



Scattered Veg

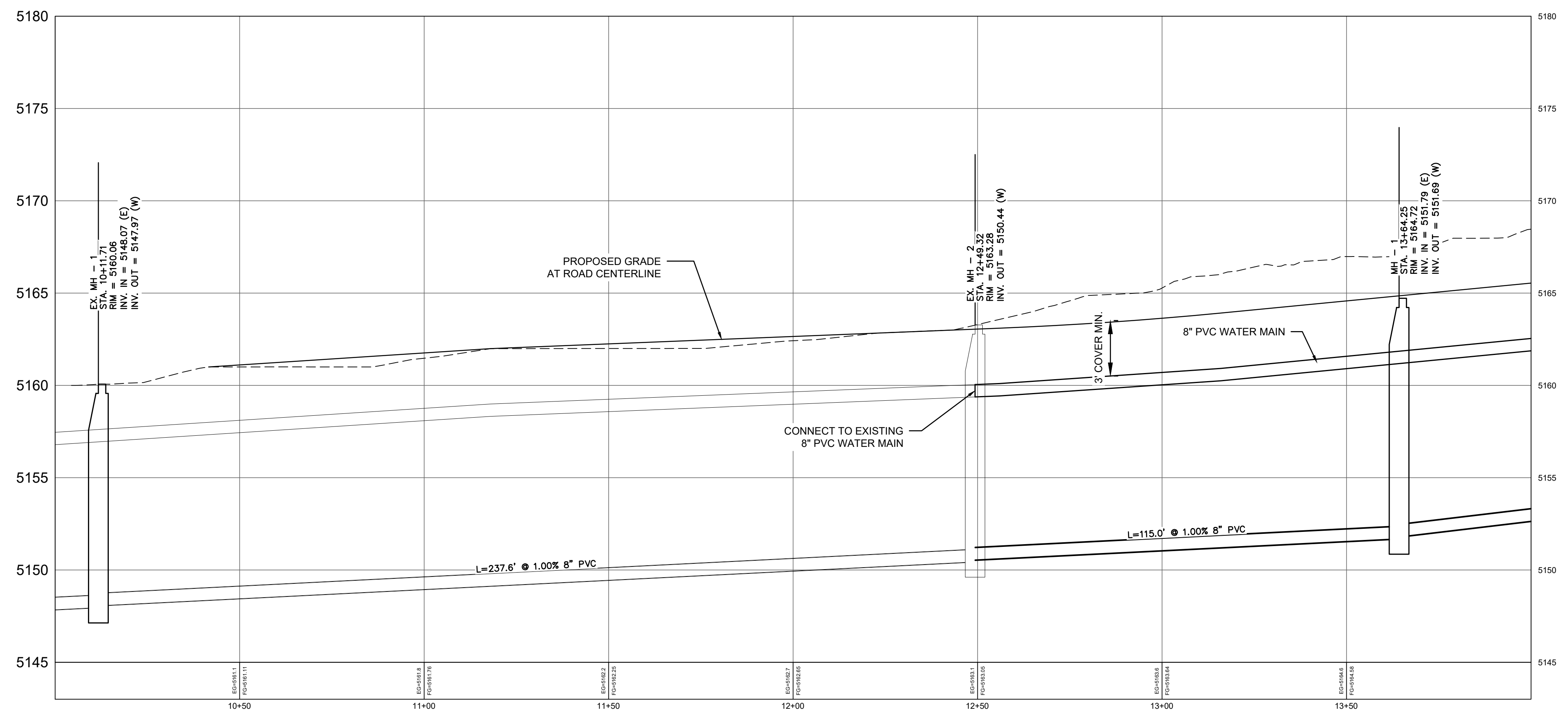
Ground Obsc

SAN DIEGO AVE NE - 60' R/W



BEVERLY HILLS AVE NE - 60' ROW

MATCHLINE STATION - 14+00
NEXT SHEET NUMBER: C13



GENERAL NOTES

- CONTACT ARIZONA ONE CALL AT (800) STAKE-IT OR 811 PRIOR TO START OF ANY EXCAVATION FOR LOCATIONS OF BURIED UTILITIES. THE LOCATIONS OF ANY AND ALL UNDERGROUND UTILITIES SHOWN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, AS-BUILT MAPS, AND MARKS MADE ON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY BE UNDERGROUND UTILITIES, WHETHER IN SERVICE OR ABANDONED, FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH THE ABOVE GROUND EVIDENCE WAS NOT OBSERVED. FURTHERMORE, THE UTILITIES MAY NOT BE IN THE EXACT LOCATIONS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELEVATIONS OF UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF CONSTRUCTION. ANY AND ALL DAMAGES THAT MAY OCCUR FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE ANY AND ALL UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OR VARIANCES TO THE PLANS ARE FOUND.
- SEE ARCHITECTURAL/FOUNDATION CONSTRUCTION PLANS FOR ALL ACTUAL BUILDING DIMENSIONS. DIMENSIONS SHOWN ON CIVIL SITE PLAN ARE APPROXIMATE.

WATER NOTES

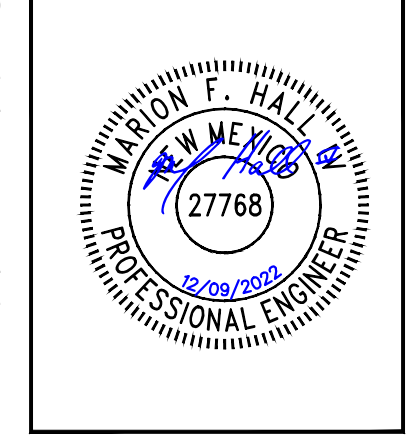
- REMOVE EXISTING 8" CAP AND CONNECT TO EXISTING 8" PVC WATERMAIN.
- INSTALL 8" PVC C900 DR-18 WATERMAIN.
- INSTALL 2" DOMESTIC WATER SERVICE PER ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY DETAIL 2363.
- INSTALL 2" WATER METER PER ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY DETAIL 2363.
- INSTALL 2" PE SDR9 DOMESTIC WATER SERVICE.
- SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL 2" TEE.
- INSTALL 1" PE SDR9 DOMESTIC WATER SERVICE.
- INSTALL 2"x1" TEE.
- INSTALL 2" BACKFLOW PREVENTER PER ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY DETAIL 2385.
- INSTALL 1.5" DOMESTIC WATER SERVICE PER ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY DETAIL 2363.
- INSTALL 2"x1.5" REDUCER.
- INSTALL 2"x1" REDUCER.
- INSTALL 1.5" WATER METER PER ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY DETAIL 2363. SEE IRRIGATION PLANS FOR CONTINUATION.

SANITARY SEWER NOTES

- CONNECT TO EXISTING SANITARY SEWER MANHOLE.
- INSTALL 6" PVC SDR 35 SANITARY SEWER MAIN.
- INSTALL 48" SANITARY SEWER MANHOLE PER C.O.A. STANDARD DETAIL 2102.
- INSTALL 6" PVC SDR 35 SANITARY SEWER SERVICE LINE.
- INSTALL 6" SANITARY SEWER CLEANOUT.
- INSTALL 320 GALLON JENSON PRECAST OIL/SAND INTERCEPTOR.
- SEE PLUMBING PLANS FOR CONTINUATION OF SANITARY SEWER SERVICE.
- REMOVE EXISTING 6" CAP AND CONNECT TO EXISTING 6" SANITARY SEWER MAIN.
- INSTALL 8" PVC SDR 35 SANITARY SEWER MAIN.
- INSTALL 6"x6" WYE.
- PROPOSED DUMP STATION. SEE SHEET C18 FOR DETAILS.

FIRE LINE NOTES

- INSTALL 8"x6" D.I. TEE.
- INSTALL 6" PVC C900 CLASS 305 DR-18 FIRE LINE PER AWWA C605.
- INSTALL 6"x6" D.I. TEE.
- INSTALL 90° D.I. BEND.
- INSTALL FIRE HYDRANT ASSEMBLY PER BERNALILLO COUNTY WATER UTILITY AUTHORITY DETAIL 2340.
- INSTALL 6" GATE VALVE AT TEE ON MAIN. INSTALL VALVE BOX PER BERNALILLO COUNTY WATER UTILITY AUTHORITY DETAIL 2326.



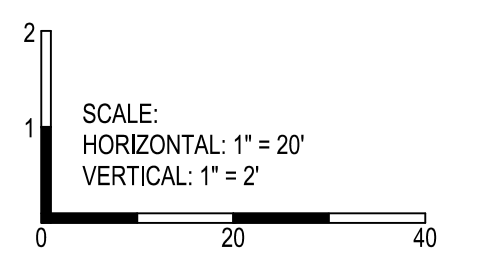
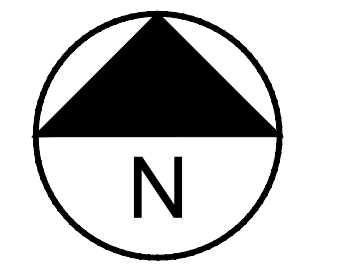
Rev	Date	By	Description

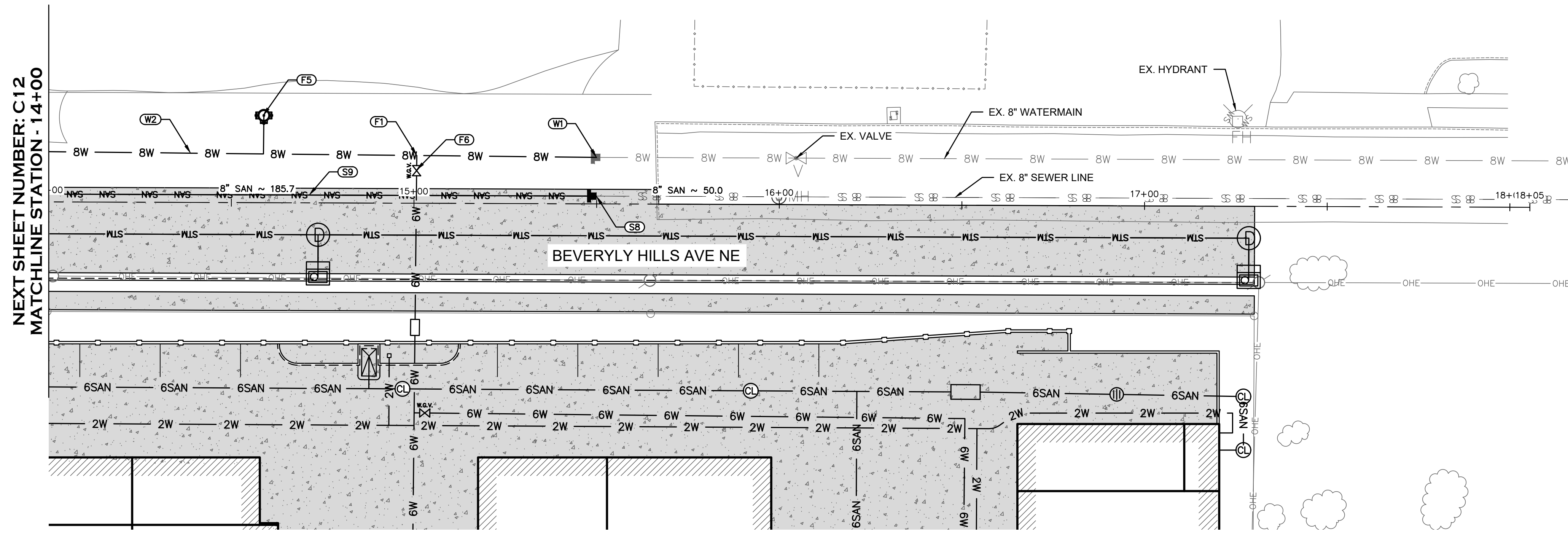
LUXELocker - ALBUQUERQUE
BEVERLY HILLS AVE NE & SAN DIEGO AVE NE
ALBUQUERQUE, NM

Scale: 1" = 20'
Date: SEPT 2022
Drawn By: MFH
Project Number: 2022 - 09

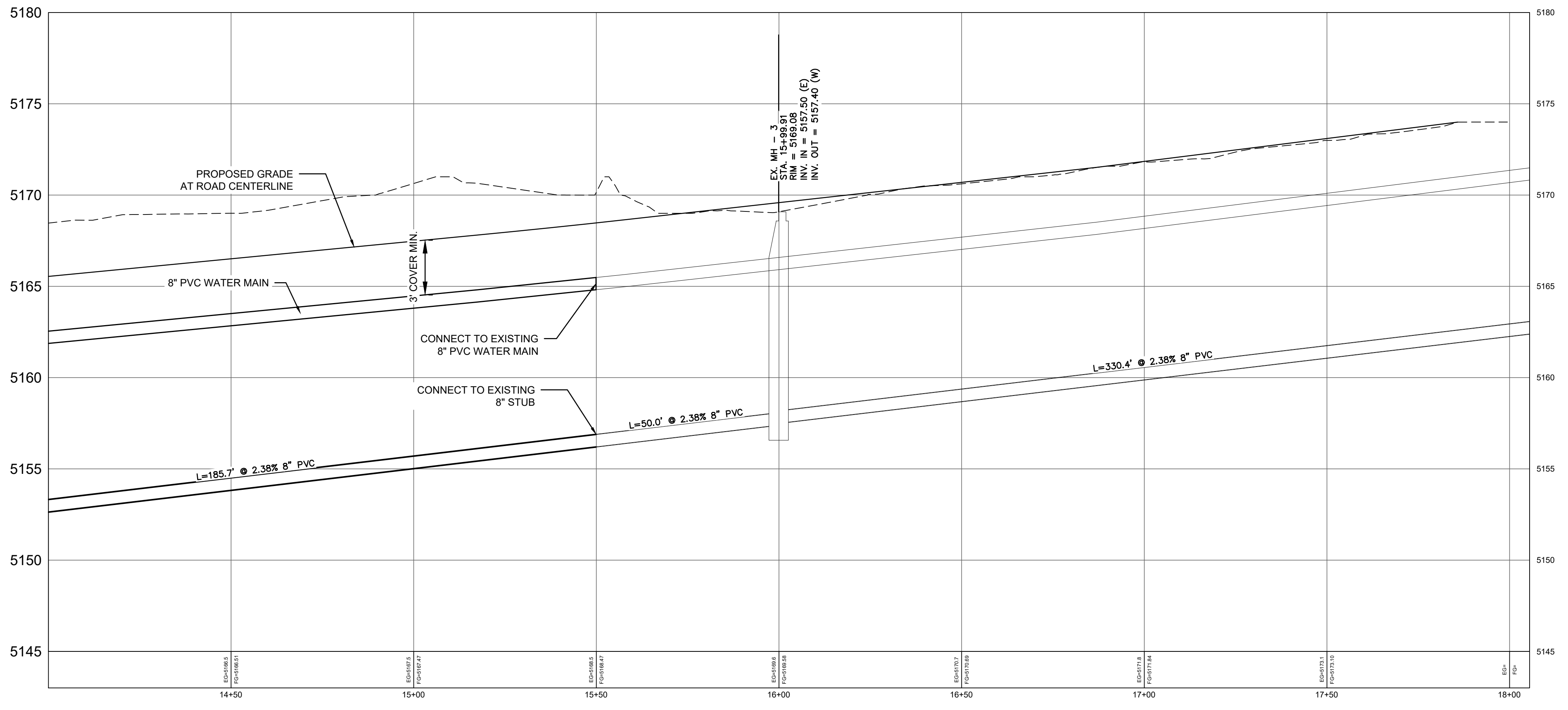
Sheet Title:
UTILITY PLAN & PROFILE
BEVERLY HILLS AVE NE

Sheet Number:
C12
12 of 18





BEVERLY HILLS AVE NE - 60' ROW



NEXT SHEET NUMBER: C12
MATCHLINE STATION - 14+00

GENERAL NOTES

- CONTACT ARIZONA ONE CALL AT (800) STAKE-IT OR 811 PRIOR TO START OF ANY EXCAVATION FOR LOCATIONS OF BURIED UTILITIES. THE LOCATIONS OF ANY AND ALL UNDERGROUND UTILITIES SHOWN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, AS-BUILT MAPS, AND MARKS MADE ON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY BE UNDERGROUND UTILITIES, WHETHER IN SERVICE OR ABANDONED, FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH THE ABOVE GROUND EVIDENCE WAS NOT OBSERVED. FURTHERMORE, THE UTILITIES MAY NOT BE IN THE EXACT LOCATIONS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELEVATIONS OF UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF CONSTRUCTION. ANY AND ALL DAMAGES THAT MAY OCCUR FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE ANY AND ALL UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OR VARIANCES TO THE PLANS ARE FOUND.
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WATER NOTES

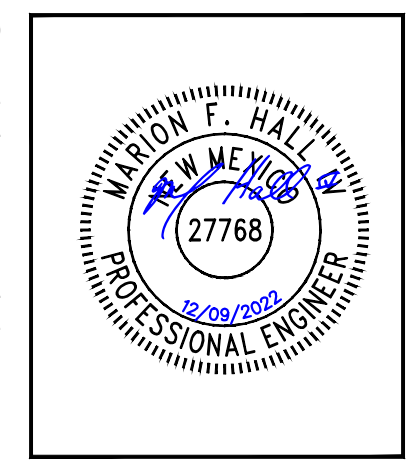
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- SEE PLUMBING PLANS FOR CONTINUATION.
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FIRE LINE NOTES

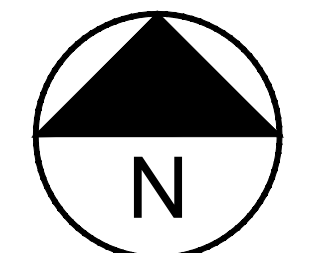
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Rev	Date	By	Description

LUXELocker - ALBUQUERQUE
 BEVERLY HILLS AVE NE & SAN DIEGO AVE NE
 ALBUQUERQUE, NM

Scale: 1" = 20'
 Date: SEPT 2022
 Drawn By: MFH
 Project Number: 2022 - 09



SCALE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

Sheet Title:
**UTILITY PLAN & PROFILE
 BEVERLY HILLS AVE NE**

Sheet Number:
C13
 13 of 18



Iris Development Services, LLC
2673 N. Riley Road
Buckeye, AZ 85396
Office: (602) 616-6898



GENERAL NOTES

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CONSTRUCTION NOTES

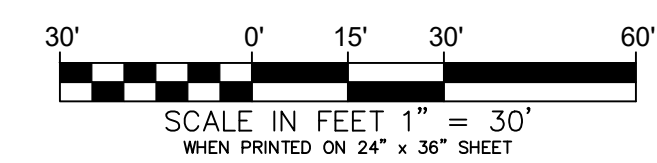
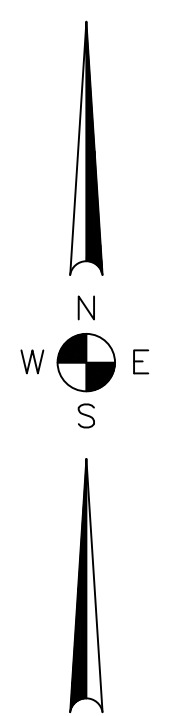
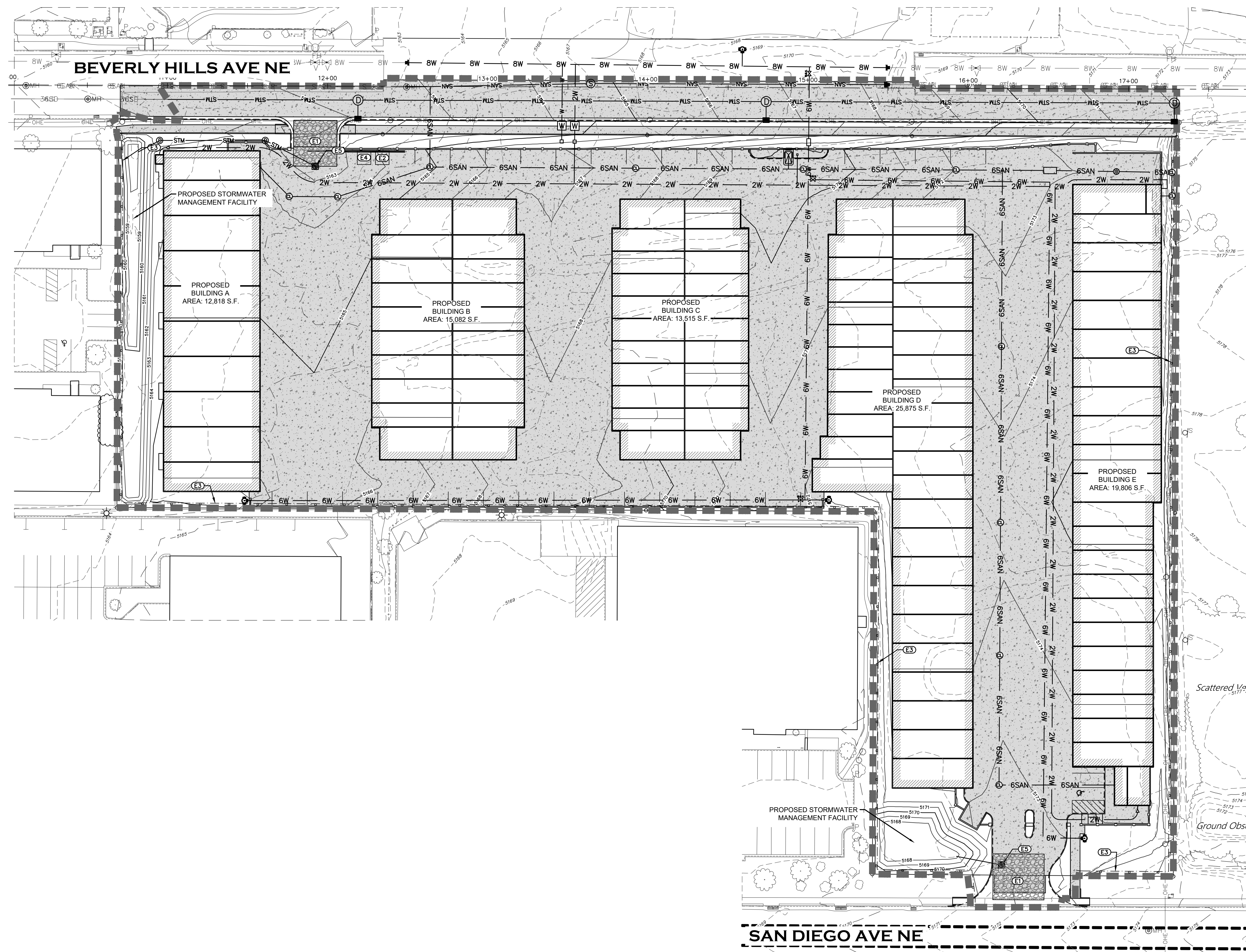
- AFTER PERMITS HAVE BEEN OBTAINED AND EROSION CONTROL MEASURES INSTALLED, THE CONTRACTOR SHALL ROUGH GRADE SITE.
- CONTRACTOR SHALL PREVENT ANY SILTATION FROM ENTERING ANY STORM SEWER SYSTEM. ALL INLETS AND INLET OPENINGS SHALL BE FULLY ENCIRCLED WITH SILT FENCE DURING AND AFTER CONSTRUCTION OF INLET.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES ESPECIALLY BEFORE ANY PREDICTABLE RAIN.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE; AS THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE. THIS PLAN IS INTENDED TO BE UPDATED BY A QUALIFIED PERSON AS CONSTRUCTION ACTIVITIES PROCEED. METHODS OF EROSION CONTROL SHALL BE TAKEN FROM "BEST MANAGEMENT PRACTICES HANDBOOK".
- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- ALL EXISTING STRUCTURES, FENCING, TREES, AND ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFF SITE. NO BURNING IS ALLOWED ON SITE.
- CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- CONTRACTOR TO IDENTIFY ON PLAN AREAS THAT HAVE REACHED FINAL STABILIZATION.
- CONTRACTOR TO APPLY FOR THE NOI AND FOLLOW THE SWPPP GUIDELINES.

EROSION CONTROL NOTES

- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE. CONTRACTOR TO IMPLEMENT EFFECTIVE CONTROL MEASURES TO MINIMIZE TRACKING OF SEDIMENTS, DEBRIS AND OTHER POLLUTANTS FROM VEHICLES AND EQUIPMENT LEAVING THE SITE DURING CONSTRUCTION. EXACT PLACEMENT, DURING VARIOUS PHASES OF CONSTRUCTION TO BE DETERMINED BY THE CONTRACTOR.
- CONSTRUCT DESIGNATED WASHOUT AREA. EXACT PLACEMENT DURING VARIOUS PHASES OF CONSTRUCTION TO BE DETERMINED BY THE CONTRACTOR.
- CONSTRUCT STRAW WATTLES.
- CONTRACTOR TO PLACE THE PROTECTIVE STORAGE AREA IN A SECURE LOCATION. EXACT PLACEMENT DURING VARIOUS PHASES OF CONSTRUCTION TO BE DETERMINED BY THE CONTRACTOR.
- CONSTRUCT INLET PROTECTION.

AREA BEING DISTURBED

219,471 S.F. OR 5.04 ACRES

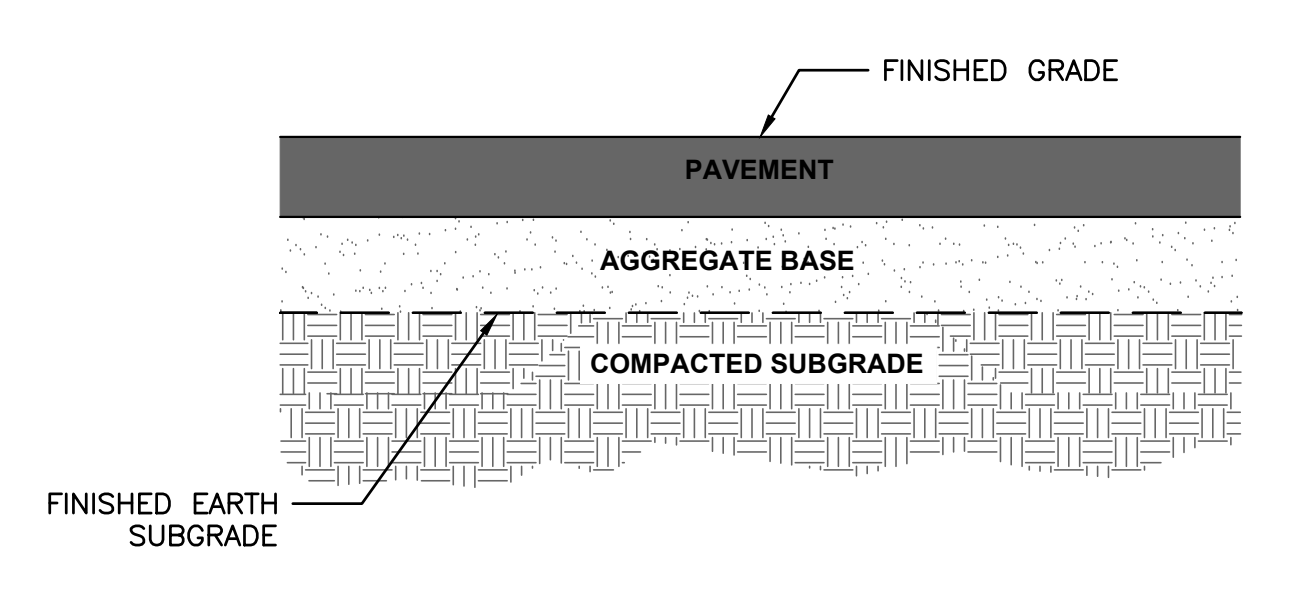


LUXLOCKER - ALBUQUERQUE
 BEVERLY HILLS AVE NE & SAN DIEGO AVE NE
 ALBUQUERQUE, NM

Scale: 1" = 30'
Date: SEPT 2022
Drawn By: MFH
Project Number: 2022 - 09

Sheet Title:
EROSION CONTROL PLAN

Sheet Number:
C14
14 of 18



PAVEMENT MATERIAL	PAVEMENT	AGGREGATE BASE (95% COMPACTION)
ASPHALT	3"	5"
CONCRETE	6"	5"

A PAVING SECTIONS

SCALE: NOT TO SCALE

GENERAL NOTES:

- CURB, GUTTER AND CUT-OFF WALL WILL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC).
- FOR STANDARD AND MEDIAN C&G ADJACENT TO ASPHALT CONCRETE (AC) PAVEMENT, PROVIDE CONSTRUCTION JOINTS AT 12" MAX. SPACING. CONSTRUCTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES. 1/2" EXPANSION JOINTS TO BE INSTALLED AT CURB RETURNS AND AT A MAXIMUM SPACING OF 200' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS.
- FOR ALL OTHER C & G CUT-OFF WALL, PROVIDE CONSTRUCTION JOINTS AT 10' MAX SPACING. 1/2" EXP. JOINTS AT CURB RETURNS & AT A MAXIMUM SPACING OF 100' BETWEEN CURB RETURNS & EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONSTRUCTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT ALL FINISHED FACES. REINFORCEMENT SHALL NOT BE USED IN CUT-OFF WALLS.
- FOR C & G CONSTRUCTION WITH PCC PAVEMENT, CONSTRUCTION JOINTS AND EXPANSION JOINTS SHALL BE THE SAME AS THE PAVEMENT JOINTS.
- ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
- STANDARD C & G SHALL BE USED FOR NEW CONSTRUCTION UNLESS OTHERWISE AUTHORIZED BY THE CITY ENGINEER.
- REMOVE & REPLACE PAVEMENT 1" WIDE ADJACENT TO LIP OF GUTTER WHEN EXISTING CONSTRUCTING C & G ADJACENT TO EXISTING AC PAVEMENT.
- 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND C & G WHEN CAST ADJACENT TO EACH OTHER.
- ADA = AMERICANS WITH DISABILITY ACT.

CONSTRUCTION NOTES: SEE CDA DRAWING 2415B

REVISIONS | **CITY OF ALBUQUERQUE**

REVISIONS	CITY OF ALBUQUERQUE
9/91	PAVING
11/14/91	CURB AND GUTTER & CURB CUT DETAILS
12/15/92	DWG. 2415A
3/30/94	JANUARY 2003

GENERAL NOTES:

- DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
- FOR SIDEWALKS LESS THAN 60" WIDE, NO ACCESSIBLE ROUTE. FINISHING SPACE AT LEAST 60" x 40" SHALL BE PROVIDED AT LEAST EVERY 200 FT.
- DRAININGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN 3/8" WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
- ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN 2" AND 3" SHALL BE BEHELD WITH A SLOPE NO GREATER THAN 2:1 V. CHANGES IN LEVEL GREATER THAN 3" REQUIRE A RAMP.
- PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
- SEE CDA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.

CONSTRUCTION NOTES:

- SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
- 5" MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL.
- SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL, ALSO SEE CDA STD. DWG. 2414 FOR LANDSCAPE BUFFER.
- SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
- WALKWAY VARIABLE (4" MINIMUM).
- PROPERTY LINE.
- 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD MEETS BUILDING, TERRACE, WALLS OR OTHER IMMOVABLE OBJECTS.
- HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE STD. DWG. 2415.
- CONSTRUCTION JOINTS.
- FOR CURB ACCESS RAMP, SEE DWG. 2440 THROUGH 2445.
- CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE. USE IN AREAS WHERE DRIVEPAD IS FORMED TO MEET INTERSECTION.
- RAMP AS REQUIRED TO MEET DRIVEPAD GRADE. 8:3% MAX. SLOPE. 7% PREFERRED SLOPE.
- ADA ACCESSIBLE PATHWAY: 2% MAX. CROSS-SLOPE. 1.5% PREFERRED CROSS-SLOPE.

REVISIONS | **CITY OF ALBUQUERQUE**

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
DWG. 2430	JUNE 2019

Irish Development Services, LLC
 2673 N. Riley Road
 Buckeye, AZ 85396
 Office: (602) 616-8898

ARLON F. HALL
 LICENSED PROFESSIONAL ENGINEER
 NO. 27768

GENERAL NOTES: SEE CDA DRAWING 2415A

CONSTRUCTION NOTES:

- REQ. CONC. CHANNEL LINING, OR CUT-OFF WALL, PROVIDE 1/4" EXP. JOINT BETWEEN BACK OF CURB & CHANNEL LINING AND/OR WALL.
- VARIABLE, DEPRESS AS NEEDED.
- DRIVE NO. 4 FINS 1/8" DEEP IN HOLES DRILLED 2" DIA. IN EXISTING PAVEMENT. SEAL WITH EPoxy.
- EXISTING ASPHALT CONCRETE (AC) OR PORTLAND CEMENT CONCRETE (PCC) PAVEMENT.
- FACE OF CURB.
- TRAFFIC SIDE.
- 3/4" RADIUS.
- 1-1/2" RADIUS.
- 2" RADIUS.
- 2 1/2" RADIUS.
- 1/4" TACK COAT.
- DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
- 4" AC MAJOR LOCAL OR LARGER (SP-10)
- 2" AC LOCAL RESIDENTIAL STREET (TYPE C)
- 2" AC BICYCLE PATH (TYPE B, RESIDENTIAL OR SP-10)
- 8" SCARIFIED AND COMPACTED SUBGRADE, 90% MINIMUM COMPACTION PER SECTION 301.
- AC PAVEMENT.
- 1/4" CONT. BETWEEN JOINTS 3" COVER AT JOINTS.
- 3/8" FINS @ 3'-0" O.C. W/STD. HOOD.
- MAY BE POURED MONOLITHICALLY WITH THE CURB.

REVISIONS | **CITY OF ALBUQUERQUE**

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
DWG. 2415C	JUNE 2019

GENERAL NOTES:

- THESE DETAILS ARE PROVIDED FOR HIGH TRAFFIC VOLUME PRIVATE ENTRANCES SUCH AS ENTRANCES TO COMMERCIAL SITES. IN LIEU OF STANDARD DRIVE PAD PER CHAPTER 7 OF THE DEVELOPMENT PROCESS MANUAL.
- SEE STD. DWG. 2448 TO 2449 FOR ALTERNATE CURB ACCESS RAMP DETAILS. SEE DETAIL 2448 FOR DETECTABLE WARNING DEVICE DETAILS.

CONSTRUCTION NOTES:

- 1/4" EXPANSION JOINTS SHALL BE PROVIDED AT CURB RETURNS AND AT A MAXIMUM SPACING OF 100' BETWEEN CURB RETURNS & EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONSTRUCTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT ALL FINISHED FACES. REINFORCEMENT SHALL NOT BE USED IN CUT-OFF WALLS.
- WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PROVIDED - CONSTRUCT CURB ACCESS RAMP PER STD. DETAIL DWG. 2440.
- INITIAL GRADE TO BE 4% OR LESS WHEN CONNECTING TO COLLECTOR OR ARTERIAL STREETS OR LESS WHEN CONNECTING TO LOCAL STREETS. INCLUDE A 4-FOOT WIDE ADA ACCESSIBLE PATHWAY ACROSS ENTIRE WIDTH OF PRIVATE ENTRANCE.
- INCLUDE ELEVATIONS AT EACH END OF CURB RETURN AND INTERSECTIONS OF PROJECTED FLOWLINES. SEE STD. DWG. 2402.
- AT PROPERTY LINE, CONSTRUCT HEADER CURB. SEE STD. DWG. 2415B AND SECTION A-A, THIS SHEET.
- IF SIDEWALK IS ADJACENT CURB, THE SIDEWALK SHOULD BE TRANSDUCED TO KEEP THE CURB ACCESS RAMP IN THE LOCATION SHOWN.
- 1/2" EXPANSION JOINT.
- THEORETICAL FACE OF CURB OR FLOWLINE.
- DETECTABLE WARNING DEVICES FOR DRIVE ENTRANCES 330 FEET BETWEEN FACES OF CURB (SEE STD. DWG. 2448 FOR PLACEMENT DETAILS).
- LEVEL LANDING (2% MAXIMUM SLOPE).
- 8.3% MAXIMUM SLOPE, 7% PREFERRED SLOPE.
- M. SLOPE OF GUTTER NOT TO EXCEED 2% ADJACENT TO RAMP.
- FLUSH WITH RAMP AND GUTTER.
- CURB AND GUTTER (SEE STD. DWG. 2415 - GUTTER AT CURB ACCESS RAMP).
- 2% MAXIMUM CROSS-SLOPE, 1.5% PREFERRED CROSS-SLOPE.
- R. NOT USED.
- S. VARIES WITH AVAILABLE RIGHT-OF-WAY.

REVISIONS | **CITY OF ALBUQUERQUE**

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
DWG. 2419	JUNE 2019

GENERAL NOTES:

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- VARIABLE, DEPRESS AS NEEDED.
- DRIVE NO. 4 FINS 1/8" DEEP IN HOLES DRILLED 2" DIA. IN EXISTING PAVEMENT. SEAL WITH EPoxy.
- EXISTING ASPHALT CONCRETE (AC) OR PORTLAND CEMENT CONCRETE (PCC) PAVEMENT.
- THEORETICAL FACE OF CURB OR FLOWLINE.
- TRAFFIC SIDE.
- 3/4" RADIUS.
- 1-1/2" RADIUS.
- 2" RADIUS.
- 2 1/2" RADIUS.
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- 2" AC LOCAL RESIDENTIAL STREET (TYPE C)
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- 3/8" FINS @ 3'-0" O.C. W/STD. HOOD.

CONSTRUCTION NOTES:

- SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
- 5" MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL.
- SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL, ALSO SEE CDA STD. DWG. 2414 FOR LANDSCAPE BUFFER.
- SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
- WALKWAY VARIABLE (4" MINIMUM).
- PROPERTY LINE.
- 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD MEETS BUILDING, TERRACE, WALLS OR OTHER IMMOVABLE OBJECTS.

REVISIONS | **CITY OF ALBUQUERQUE**

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
DWG. 2419B	JANUARY 2003

GENERAL NOTES:

- RUNNING SLOPE OF A CURB RAMP SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID CHANGING THE SLOPE INSTANTLY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15-FOOT MAXIMUM LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE EXTENDED AS FLAT AS THE MAXIMUM LENGTH IS FEASIBLE.
- SEE CDA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.

CONSTRUCTION NOTES:

- TURNING SPACE SHALL HAVE MAXIMUM CROSS-SLOPE AND LONGITUDINAL SLOPE OF 2.5% (PREFERRED) SLOPE OF 1.5%. TURNING SPACE SHALL BE 5.0 FT BY 5.0 FT AT THE TOP OF THE CURB RAMP.
- 8.3% MAX. SLOPE OF RAMP, 7% PREFERRED SLOPE OF RAMP.
- GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMP RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACE. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.
- CONVERTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP, RUN OR TURNING SPACE SHALL BE 5% MAX.
- FLARED SIDES ARE TO HAVE A SLOPE OF 10% MAX. MEASURED PARALLEL TO THE BACK OF THE CURB.
- 2% MAXIMUM CROSS-SLOPE, 1.5% PREFERRED CROSS-SLOPE.
- FLLET SHARP CURVES EXPOSED TO TRAFFIC TO 4" MINIMUM RADIUS.

REVISIONS | **CITY OF ALBUQUERQUE**

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
DWG. 2443	JUNE 2019

GENERAL NOTES:

- HORIZONTAL RPBA INSTALLATION REQUIRED.
- ABOVE GRADE RPBA INSTALLATION REQUIRED.
- WATER LINE PRESSURE AND TEMPERATURE MUST NOT EXCEED RATED CAPACITY OF RPBA.
- PROTECT FROM FREEZING WITH POSITIVE HEAT SOURCE AND INSULATION.
- MINIMUM RPBA SIZE MUST BE THE BUILDING SERVICE LINE SIZE.
- DO NOT INSTALL IN FLOOD PRONE AREAS OR IN STORM RETENTION OR DETENTION BASINS.
- INSTALL WATER HAMMER ARRESTORS & THERMO EXPANSION PROTECTION, AS NECESSARY.
- METALLIC RISER PIPING REQUIRED.
- JOINTS TO BE ADEQUATELY RESTRAINED.
- DEVIATIONS FROM THESE SPECIFICATIONS MUST HAVE PRIOR WRITTEN APPROVAL FROM THE WATER AUTHORITY CROSS CONNECTION OFFICE.
- THE INSTALLATION OF A BACKFLOW ASSEMBLY MAY CREATE A CLOSED LOOP SYSTEM. CUSTOMER IS RESPONSIBLE FOR COMPLIANCE WITH CURRENT PLUMBING CODES WHICH MAY REQUIRE INSTALLATION OF (BYPASS) PRESSURE RELIEF DEVICES AND/OR EXPANSION TANKS.

CONSTRUCTION NOTES:

- 1.5" WATER BORN PER STANDARD DRAWING 2382 OR 2383.
- PROPERTY LINE.
- SERVICE LINE WITHOUT TAPS OR TEES BETWEEN THE METER AND THE BACKFLOW PREVENTION ASSEMBLY.
- ADEQUATE SLEEVE & INSULATION. INSULATION SHALL BE (AT MINIMUM) 4" THICK.
- MINIMUM 4" CONCRETE (3000 PSI) SLAB.
- LANDS OR FLANGED FITTINGS INSTALLED A MINIMUM OF 4" ABOVE GRADE.
- 36" MAXIMUM 12" MINIMUM (FROM LOWEST POINT OF ASSEMBLY TO TOP OF CONCRETE SLAB).
- PROVIDE ADJUSTABLE METALLIC SUPPORTS ON UNITS 2.5" AND GREATER DIAMETER (TYPICAL).

REVISIONS | **WATER AUTHORITY**

REVISIONS	WATER AUTHORITY
	REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY (RPBA)
DWG. 2388	JANUARY 2011

NYLOPLAST 12" DRAIN BASIN: 2812AG__X

GENERAL NOTES:

- METER BOX PER STANDARD DRAWING 2382 OR 2383.
- PROPERTY LINE.
- SERVICE LINE WITHOUT TAPS OR TEES BETWEEN THE METER AND THE BACKFLOW PREVENTION ASSEMBLY.
- ADEQUATE SLEEVE & INSULATION. INSULATION SHALL BE (AT MINIMUM) 4" THICK.
- MINIMUM 4" CONCRETE (3000 PSI) SLAB.
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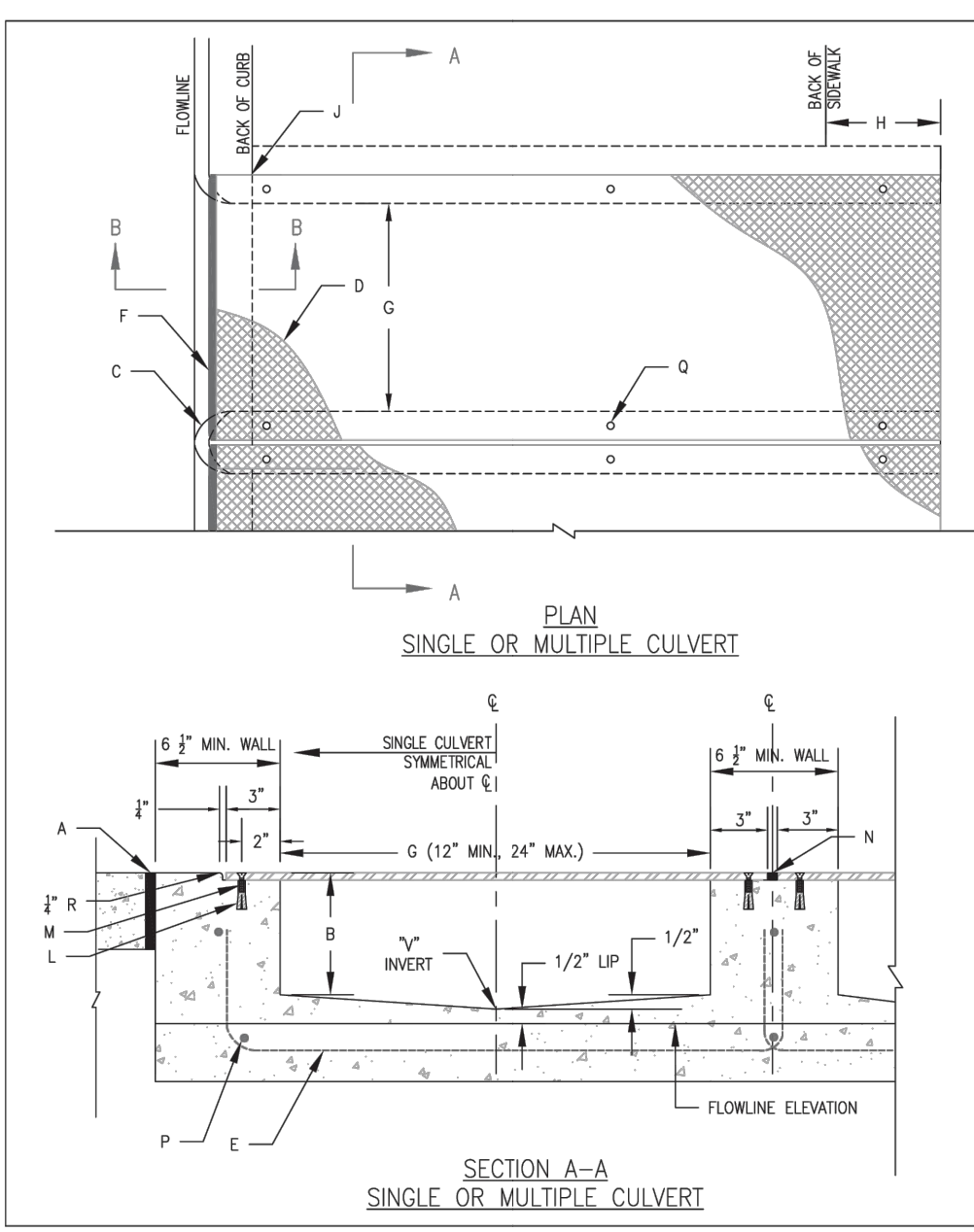
REVISIONS | **CITY OF ALBUQUERQUE**

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
DWG. 2419	JUNE 2019

LUXELOCKER - ALBUQUERQUE

BEVERLY HILLS AVE NE & SAN DIEGO AVE NE
 ALBUQUERQUE, NM

Scale: N/A
 Date: SEPT 2022
 Drawn By: MFH
 Project Number: 2022 - 09
 Sheet Title: DETAILS
 Sheet Number: C15 of 18

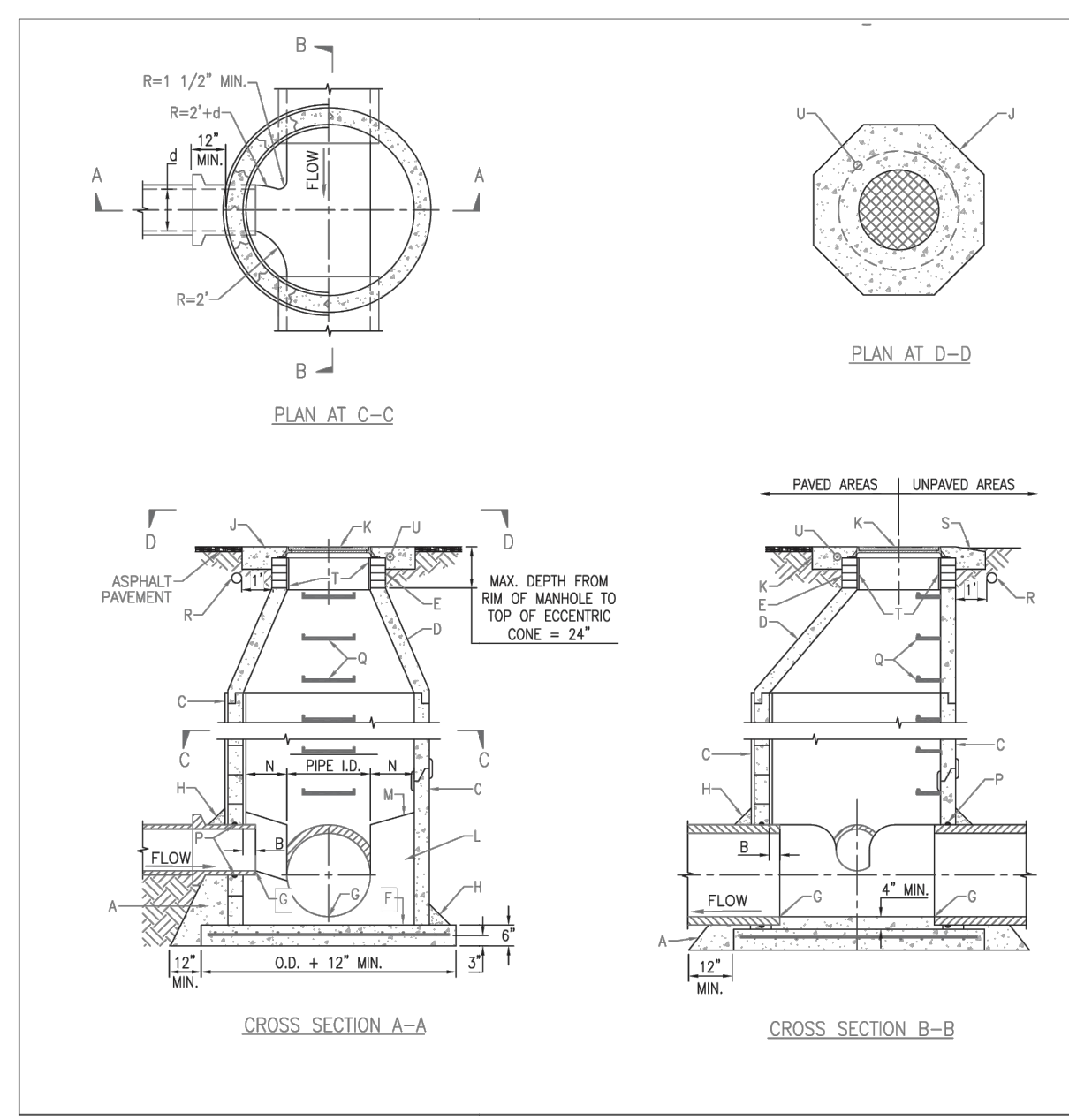


GENERAL NOTES:

- PLACING OF DRAIN THRU EXISTING SIDEWALK AND CURB & CUTTERS REQUIRES THAT THE ENTIRE SIDEWALK AND CURB AND CUTTER STONES BE REMOVED AND REPLACED AS DETAIL HEREIN.
- THE CULVERT SHALL BE FLOURED MONOLITHICALLY WITH NEW CURBS.
- THE INVERT SHALL BE TROWLED TO PRODUCE A HARD POLISHED SURFACE OF MAXIMUM DENSITY AND SMOOTHNESS. INVERT SHALL BE V-SHAPED TO WITHIN 3" OF OUTLET, THEN WARPED PARALLEL TO FLOWLINE AT THE OUTLET, UNLESS OTHERWISE SHOWN.

CONSTRUCTION NOTES:

- INSTALL 3/8" EXPANSION JOINT.
- 7" DEPTH WHEN USED IN CONJUNCTION WITH 8" CURB; 5" DEPTH WHEN USED WITH 6" CURB.
- 3" RADIUS (TYPICAL).
- 3/8" CHECKERED STEEL PLATE (PAINT PER NOTE 4, ABOVE).
- NO. 3 REBAR ---, SPACE AT 18" O.C. MINIMUM, 1/4" MINIMUM FROM FACE OF CONCRETE. STAGGER FOR MULTIPLE CULVERTS.
- WELD #4 STEEL ROD TO PLATE, FULL LENGTH OF PLATE, GRIND ENDS FLUSH TO THE FACE OF CURB.

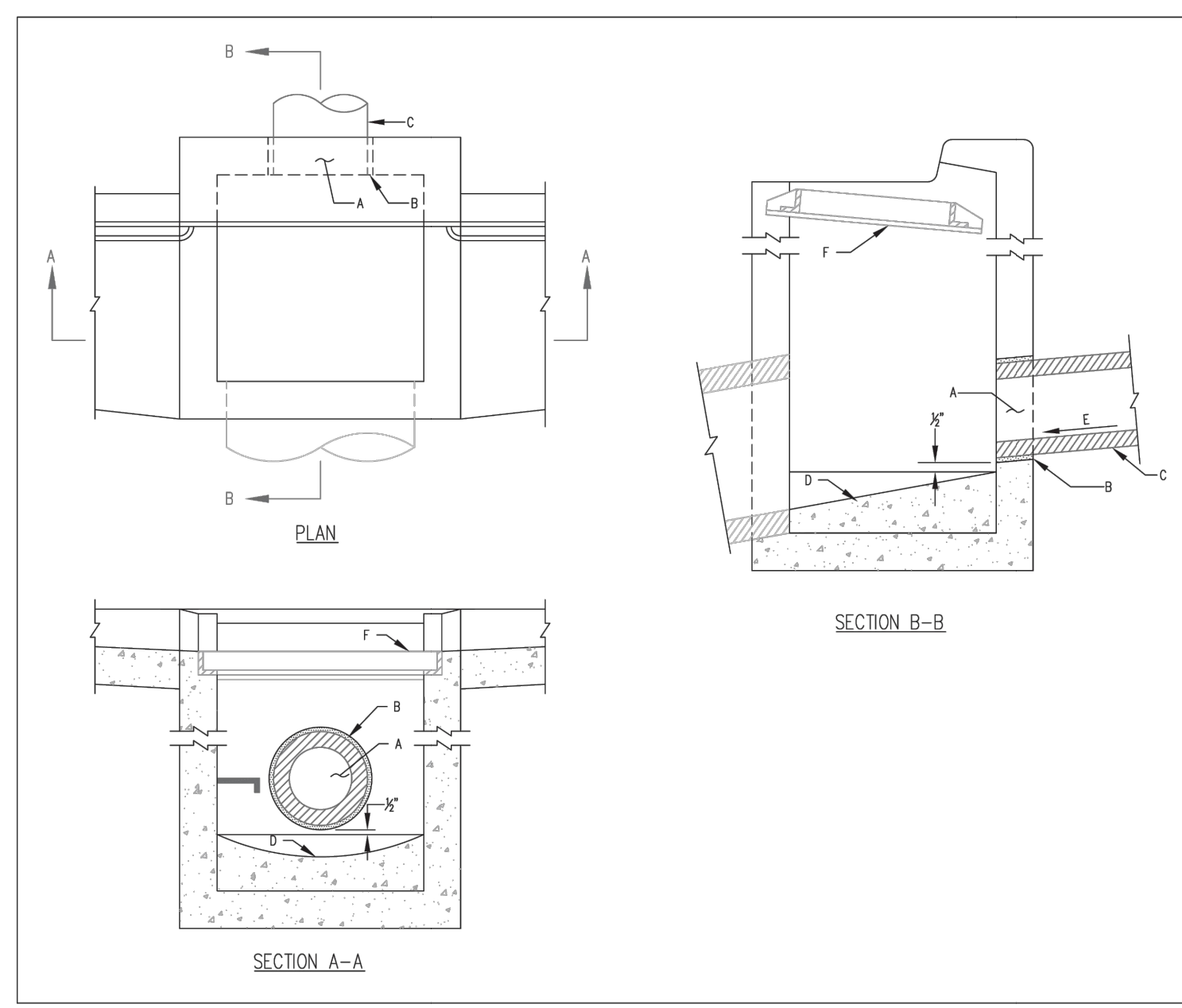


GENERAL NOTES:

- USE TYPE "L" MANHOLE FOR DEPTHS OF 6' OR GREATER, MEASURED FROM INVERT TO RIM.
- CONTRACTOR HAS OPTION TO CONSTRUCT TYPE "L" MANHOLE IN LIEU OF TYPE "M" MANHOLE FOR DEPTHS OF 6' OR LESS.
- MANHOLES GREATER THAN 18" IN DEPTH SHALL BE CONSTRUCTED OF PRECAST CONCRETE SECTIONS ONLY.
- DESIGN APPLIES TO 4' TO 6' I.D. MANHOLES.

CONSTRUCTION NOTES:

- CONCRETE PIPE SUPPORTS SHALL EXTEND OUTSIDE OF MANHOLE TO BELL OF FIRST JOINT AND SHALL GRADE PIPE TO SPRING LINE, NOT APPLICABLE FOR FLEXIBLE PIPE.
- PIPE PENETRATION INTO MANHOLE SHALL BE FLUSH TO 2" MAX. MEASURED AT SPRINGLINE OF PIPE.
- MANHOLE MAY BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE OR CAST-IN-PLACE CONCRETE. IF BLOCK IS USED, APPLY 1/2" THICK MORTAR COATING TO EXTERIOR AND INTERIOR OF MANHOLE. PRECAST CONCRETE IS USED, USE MASTIC GASKETS AND APPLY NON-SHRINK GROUT TO EXTERIOR AND INTERIOR OF EXPANSION JOINTS OR USE WATER-TIGHT RUBBER GASKETS. IF RUBBER GASKETS ARE USED, THE MANHOLE SECTIONS TO BE JOINED MUST BE GROTTED BUT THE MANUFACTURER MUST STAMP THE INTERIOR OF EACH PRECAST SECTION WITH THE TYPE OF GASKET USED.
- PRECAST REINFORCED CONCRETE ECCENTRIC COLE, THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL.
- USE MAX. 4 COURSES GRADE NO. 6 BROAD ON UNPAVED AREAS FOR FUTURE ALIGNMENT OF MANHOLE FRAME TO PAVEMENT GRADE.
- CONCRETE BASE TO BE FLOURED IN PLACE FOR MANHOLE DEPTHS OF 18" OR GREATER. NO. 4 BARS AT 12" O.C. EACH WAY FOR MANHOLE DEPTHS OF LESS THAN 18".
- COMPACT ALL BACKFILL AROUND MANHOLE TO 95% (ASIM).
- USE NON-SHRINK GROUT FOR JOINTS, FILLETS AND PIPE PENETRATIONS.
- POSITION MANHOLE OVER THE UPSTREAM SIDE OF MAIN LINE.
- MANHOLES GREATER THAN 20" IN DEPTH WILL REQUIRE A SEPARATE STRUCTURAL DESIGN.
- INVERT ELEVATION AS SHOWN ON PLANS. PROVIDE 0.10' MINIMUM OF FALL BETWEEN INVERT(S)-IN AND INVERT-OUT.
- 6" GROUT FILL ON UPPER HALF OF PIPE AND AROUND BASE.
- OCTAGONAL CONCRETE PAD, SEE STANDARD DWG. 2461 FOR REFERENCE.
- MANHOLE FRAME AND COVER, SEE DRAWING 2202.
- CONCRETE, SEE SPECIFICATION SECTION 101.
- CONCRETE, SEE SPECIFICATION SECTION 101.
- SLOPE 1" PER FT. FROM PIPE CORNER.
- SHOULDER TO BE 9" WIDE MIN.
- APPROVED WATERSTOP TO BE COMPATIBLE WITH TYPE OF PIPE.
- STEPS TO BE INSTALLED PER STANDARD SPECIFICATION SECTION 920 AND DRAWING 2229.
- ELECTRONIC MARKER DEVICE (EMD), SEE STANDARD SPECIFICATION SECTION 170.
- CONCRETE COLLAR IN UNPAVED AREAS, SEE STANDARD DRAWING 2461.
- APPLY 1/2" THICK MORTAR COATING TO INTERIOR OF OPENING.
- #4 REBAR PER STANDARD DRAWING 2461.

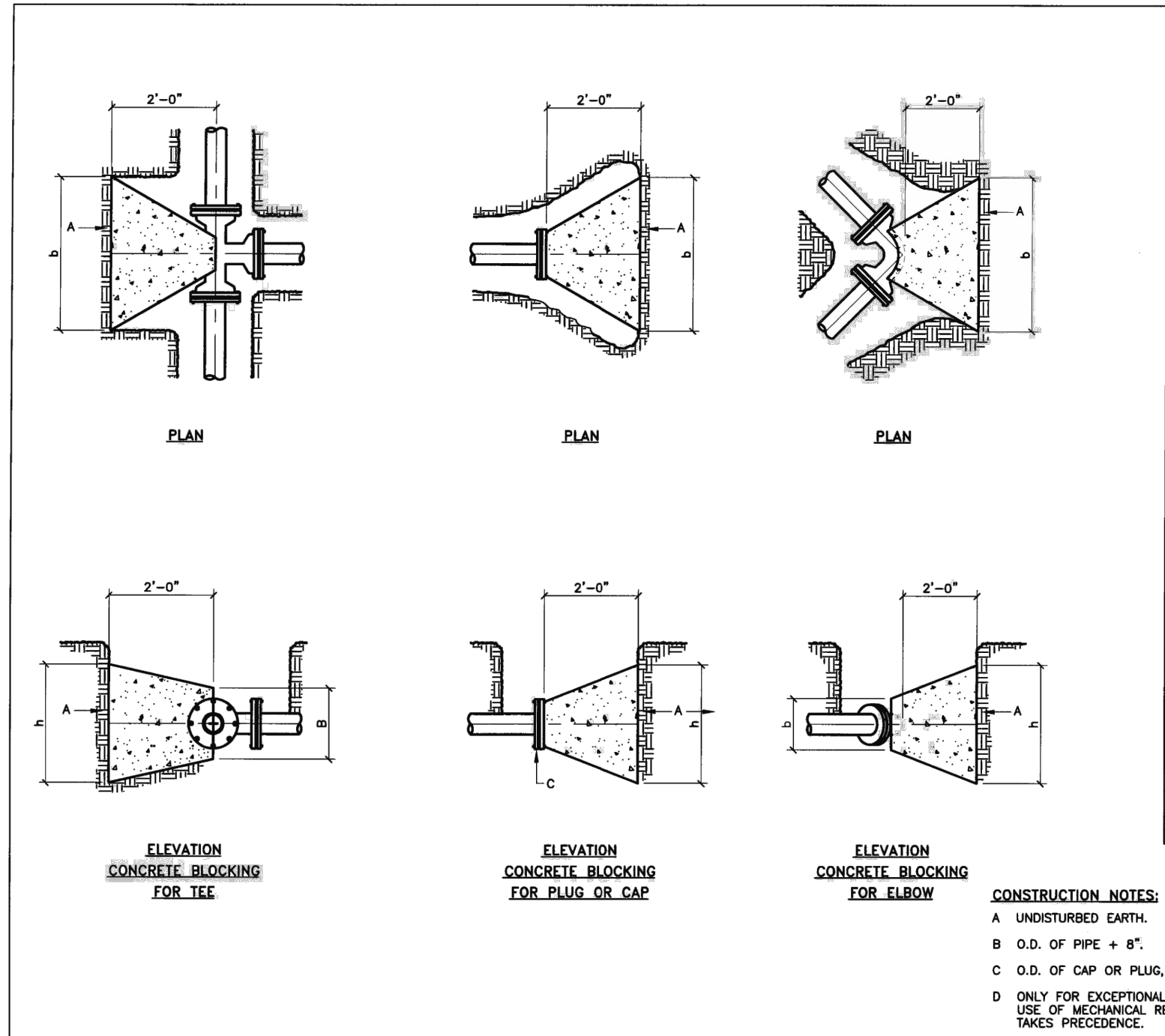


GENERAL NOTES:

- THE CITY DOES NOT ACCEPT RESPONSIBILITY FOR MAINTENANCE FOR ANY DRAIN LINES INSTALLED BY OR FOR PRIVATE PROPERTY OWNERS.
- FOR DOUBLE "C" OR "2" STORM INLETS THE PRIVATE DRAIN LINE CONNECTION MUST BE ALIGNED WITH THE LONGITUDINAL CENTER OF EITHER GATE FRAME.

CONSTRUCTION NOTES:

- CURE DRILL INTO BACK OF EXISTING INLET WITH INVERT OF DRILLED OPENING 3" ABOVE EXISTING CONCRETE FILL. IF NOT CORE-DILLED, A CONCRETE COLLAR MAY BE REQUIRED.
- GROUT OPENING WITH NON-SHRINK, NONMETALLIC GROUT.
- NEW DRAIN LINE TO BE RCP, HRP, HDPE, OR DUCTILE IRON PIPE. DRAIN SIZE TO BE AT LEAST ONE SIZE SMALLER THAN OUTLET PIPE WITH A MAXIMUM SIZE OF 12".
- EXISTING CONCRETE FILL.
- SLOPE 1/4" PER FOOT MIN. WITHIN R.O.W.
- FRAME & GRATE.

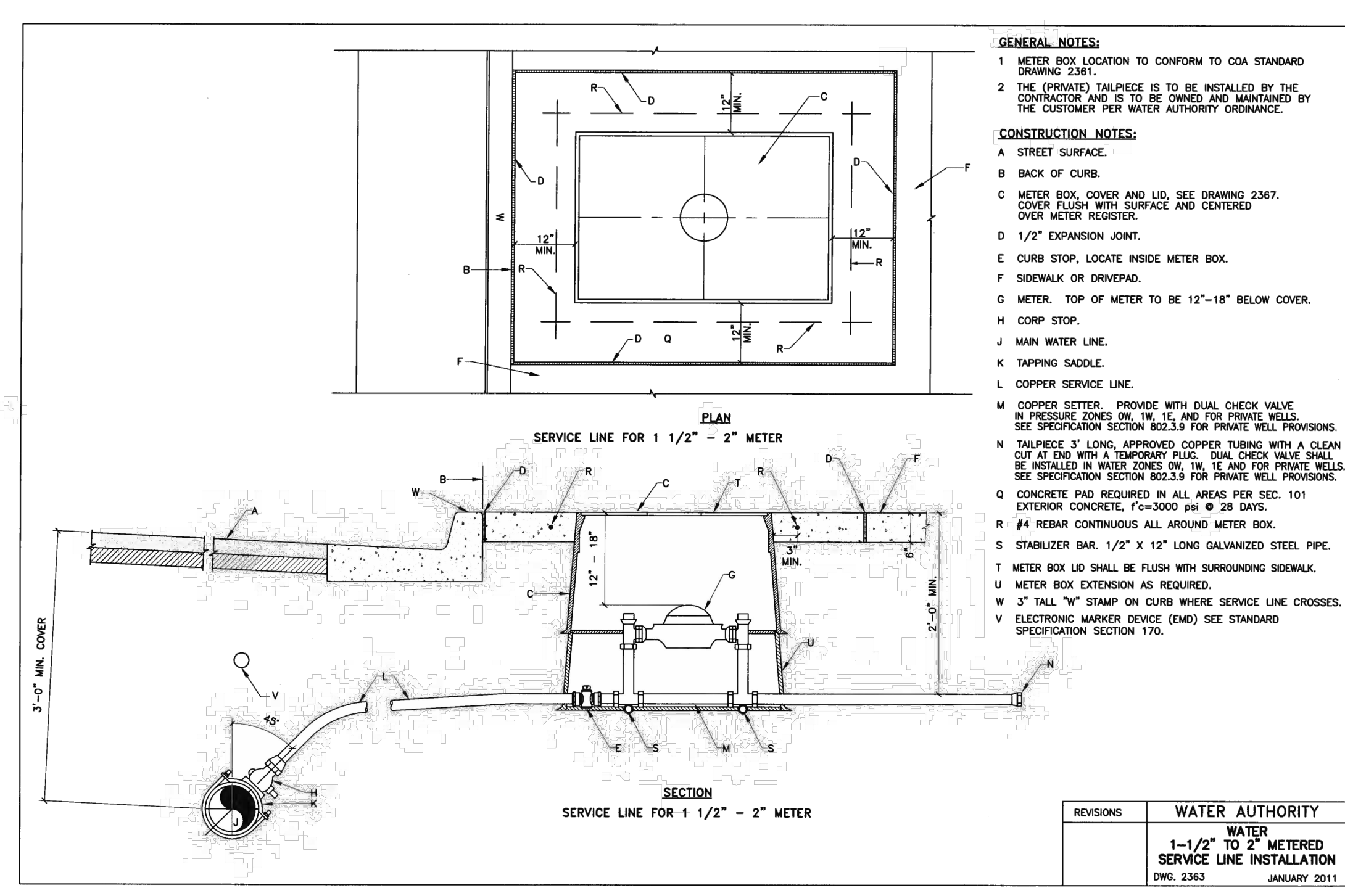
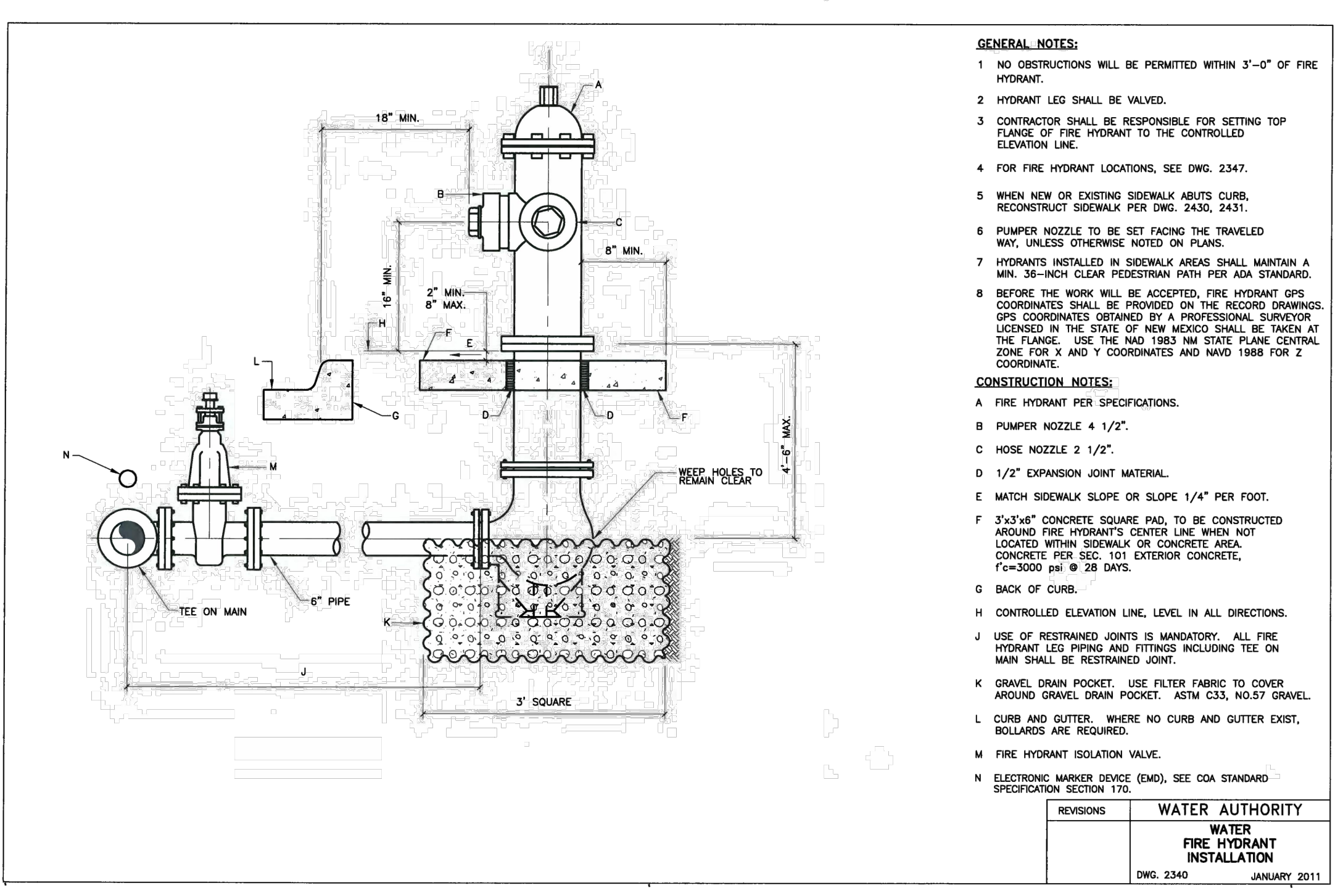
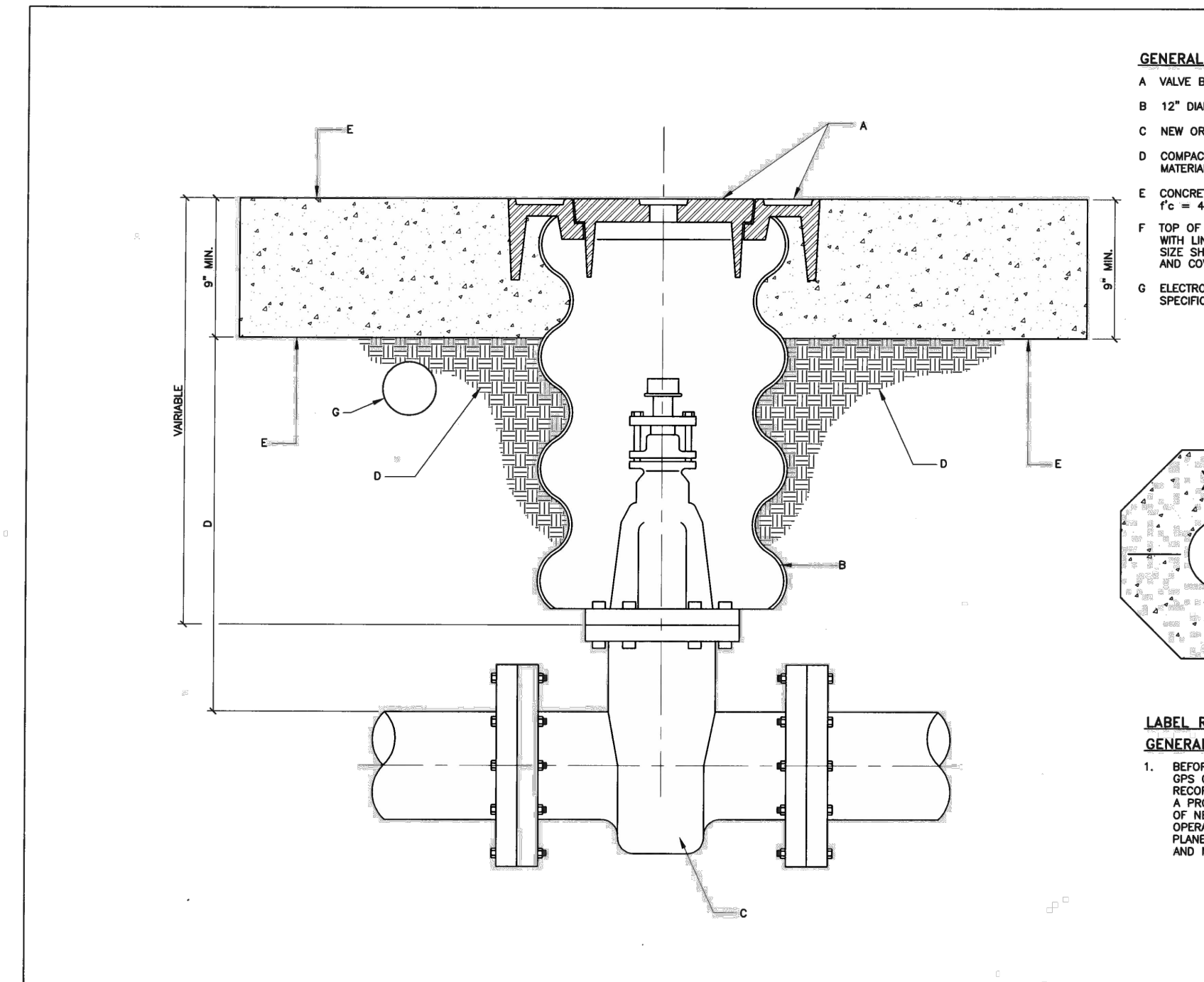


GENERAL NOTES:

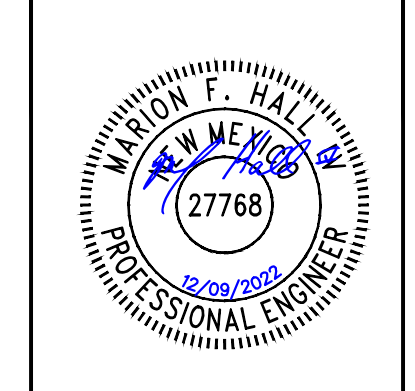
- ALL THRUST CONTROL BY RESTRAINED JOINTS ONLY, UNLESS DIRECTED BY ENGINEER, AND FOR "SPECIAL" SITUATIONS SPECIFIED BY THE WATER AUTHORITY.
- PIPE SIZE GREATER THAN 14" REQUIRES DESIGN BY ENGINEER TO BE SUBMITTED TO THE WATER AUTHORITY FOR APPROVAL.
- CONCRETE BLOCKING PER SEC. 101 EXTERIOR CONCRETE, f'c=3000 psi @ 28 DAYS.

PIPE SIZE	ELBOW ANGLE (θ)	ELBOW (θ) DIM. (h) DIM.	TEE OR PLUG (h) DIM.	TEE OR PLUG (h) DIM.	OR PLUG (h) DIM.
4"			2"	2"	1"
4"	90°	2"	2"		
4"	45°	2"	2"		
6"			2"	2"	2"
6"	90°	2"	2"		
6"	45°	2"	2"		
8"			3"	3"	3"
8"	90°	3"	3"		
8"	45°	2"	2"		
8"	22 1/2°	2"	2"		
10"			3"	3"	3"
10"	90°	3'-6"	3'-6"		
10"	45°	3"	3"		
10"	22 1/2°	2"	2"		
12"			3'-6"	3'-6"	3'-6"
12"	90°	4"	4"		
12"	45°	3'-6"	3'-6"		
12"	22 1/2°	2"	2"		
14"			4"	4"	4"
14"	90°	5"	5"		
14"	45°	3'-6"	3'-6"		
14"	22 1/2°	3"	3"		

REVISIONS | **WATER AUTHORITY**
CONCRETE BLOCKING DESIGN
DWG. 2320 | JANUARY 2011



Iris Development Services, LLC
2673 N. Riley Road
Buckeye, AZ 85396
Office: (602) 616-6898



NO.	REVISION	DATE	DESCRIPTION

LUXELocker - ALBUQUERQUE
BEVERLY HILLS AVE NE & SAN DIEGO AVE NE
ALBUQUERQUE, NM

Scale: N/A
Date: SEPT 2022
Drawn By: MFH
Project Number: 2022 - 09

Sheet Title: DETAILS

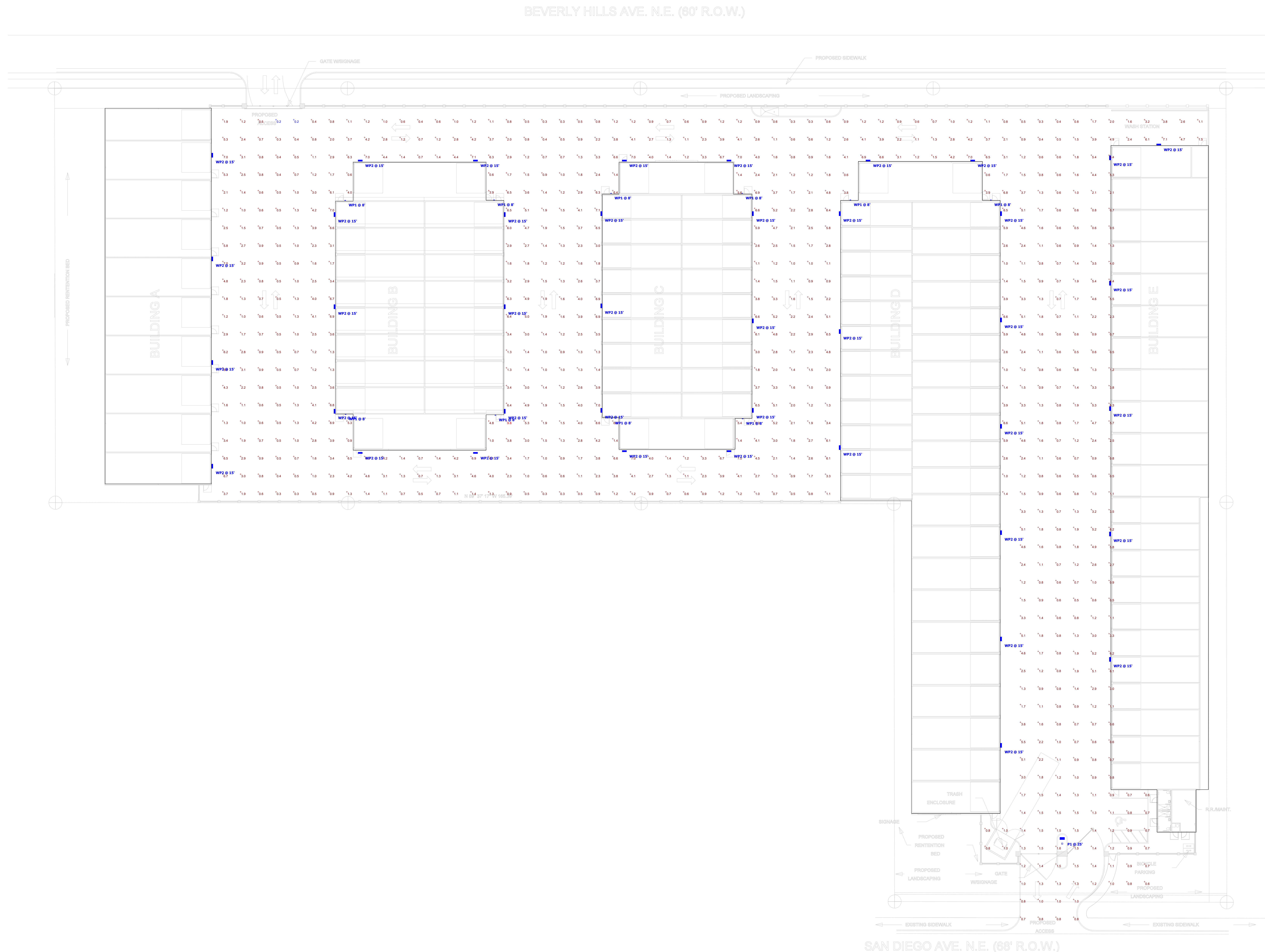
Sheet Number: C17
17 of 18

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
WP1			10	Lithonia Lighting	WPX1 LED P1 40K Mvot	WPX1 LED wallpack 1500lm 4000K color temperature 120-277 Volts	1	1568	1	11.47	
WP2			41	Lithonia Lighting	WPX2 LED 40K Mvot	WPX2 LED wallpack 6000lm 4000K color temperature 120-277 Volt	1	5896	1	47.77	
P1			1	Lithonia Lighting	RSX1 LED P4 40K R5	RSX Area Fixture Size: 1 P4 Lumen Package 4000K CCT Type R5 Distribution	1	16795	1	133.14	

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.3 fc	9.8 fc	0.2 fc	49.0:1	11.5:1

Luminaire Locations							
Location							
No.	Label	X	Y	Z	MH	Orientation	Tilt
1	P1	567.50	31.50	25.00	8.00	0.00	0.00
1	WP1	163.00	394.50	8.00	8.00	0.00	0.00
2	WP1	247.00	394.75	8.00	8.00	0.00	0.00
3	WP1	313.00	398.50	8.00	8.00	0.00	0.00
4	WP1	387.00	398.50	8.00	8.00	0.00	0.00
5	WP1	448.00	394.75	8.00	8.00	0.00	0.00
6	WP1	527.25	394.75	8.00	8.00	0.00	0.00
7	WP1	313.25	271.50	8.00	8.00	180.00	0.00
8	WP1	163.25	273.75	8.00	8.00	180.00	0.00
9	WP1	247.25	273.25	8.00	8.00	180.00	0.00
1	WP2	88.00	420.00	15.00	15.00	90.00	0.00
2	WP2	157.00	386.50	15.00	15.00	270.00	0.00
3	WP2	171.50	417.00	15.00	15.00	0.00	0.00
4	WP2	236.50	417.00	15.00	15.00	0.00	0.00
5	WP2	253.00	386.50	15.00	15.00	90.00	0.00
7	WP2	320.50	417.00	15.00	15.00	0.00	0.00
8	WP2	379.50	417.00	15.00	15.00	0.00	0.00
9	WP2	307.50	387.00	15.00	15.00	270.00	0.00
10	WP1	387.25	271.25	8.00	8.00	180.00	0.00
10	WP2	157.00	334.50	15.00	15.00	270.00	0.00
11	WP2	253.00	334.50	15.00	15.00	90.00	0.00
13	WP2	307.50	325.00	15.00	15.00	270.00	0.00
14	WP2	157.00	275.50	15.00	15.00	270.00	0.00
15	WP2	253.00	275.50	15.00	15.00	90.00	0.00
17	WP2	307.50	276.00	15.00	15.00	270.00	0.00
18	WP2	393.00	387.00	15.00	15.00	90.00	0.00
19	WP2	393.00	326.50	15.00	15.00	90.00	0.00
20	WP2	393.00	276.00	15.00	15.00	90.00	0.00
23	WP2	88.00	361.50	15.00	15.00	90.00	0.00
24	WP2	88.00	303.00	15.00	15.00	90.00	0.00
25	WP2	88.00	244.50	15.00	15.00	90.00	0.00
26	WP2	171.50	252.00	15.00	15.00	180.00	0.00
27	WP2	236.50	252.00	15.00	15.00	180.00	0.00
28	WP2	320.50	253.00	15.00	15.00	180.00	0.00
29	WP2	379.50	253.00	15.00	15.00	180.00	0.00
30	WP2	442.00	387.00	15.00	15.00	270.00	0.00
31	WP2	594.50	418.50	15.00	15.00	270.00	0.00
32	WP2	533.00	387.00	15.00	15.00	90.00	0.00
33	WP2	458.00	417.00	15.00	15.00	0.00	0.00
34	WP2	517.00	417.00	15.00	15.00	0.00	0.00
35	WP2	442.00	320.50	15.00	15.00	270.00	0.00
36	WP2	442.00	255.00	15.00	15.00	270.00	0.00
38	WP2	533.00	327.00	15.00	15.00	90.00	0.00
40	WP2	533.00	267.00	15.00	15.00	90.00	0.00
42	WP2	533.00	207.00	15.00	15.00	90.00	0.00
44	WP2	533.00	147.00	15.00	15.00	90.00	0.00
46	WP2	533.00	87.00	15.00	15.00	90.00	0.00
47	WP2	622.00	426.00	15.00	15.00	0.00	0.00
48	WP2	594.50	347.75	15.00	15.00	270.00	0.00
49	WP2	594.50	277.00	15.00	15.00	270.00	0.00
50	WP2	594.50	206.25	15.00	15.00	270.00	0.00
51	WP2	594.50	135.50	15.00	15.00	270.00	0.00



Plan View
Scale - 1" = 20'

LUXE LOCKER

Luxury RV and Boat Storage

ALBUQUERQUE, NM (0000 SAN DIEGO AVE N.E.)

W W W . I E S I G N . C O M



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THE COLORS DEPICTED IN THIS DRAWING ARE TO ASSIST YOU IN VISUALIZING OUR PROPOSAL AND MAY NOT MATCH ACTUAL COLORS USED ON THE FINISHED DISPLAY.

CUSTOMER APPROVAL

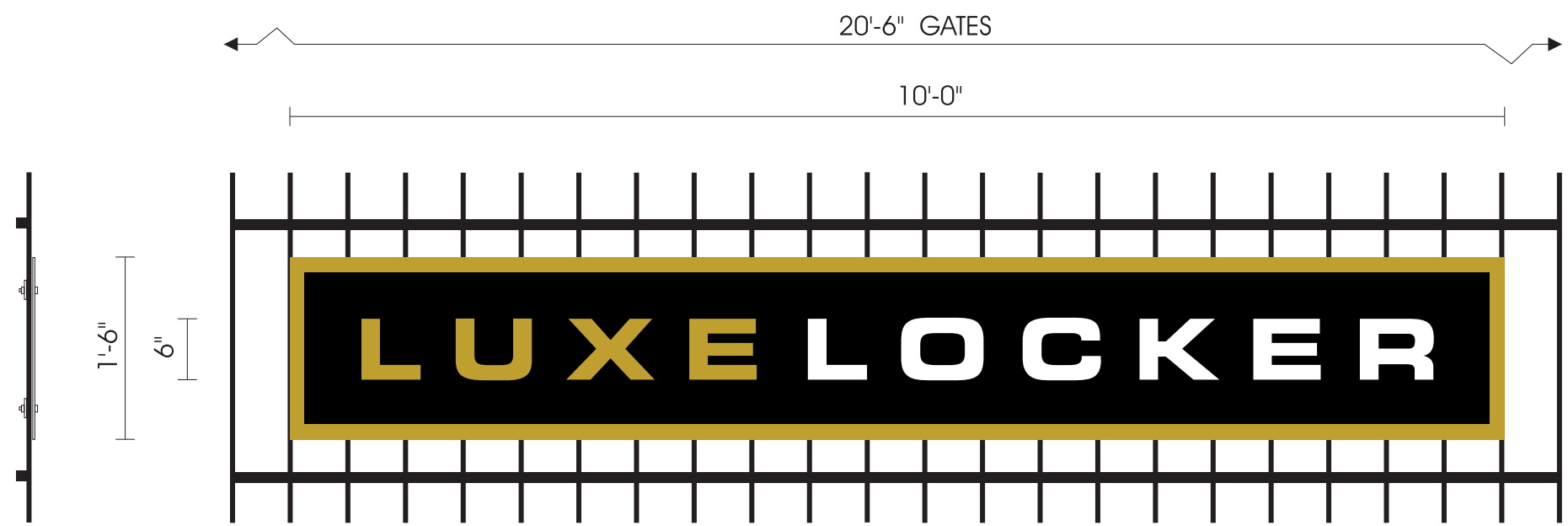
DATE

REVISIONS

NO.	DESCRIPTION	DATE

All signs are listed by Underwriters Laboratories (U.L.) and will be installed in accordance with the installation instructions and Article 600 of the National Electric Code

SALES
JIM N
DESIGNER
ERIC
SKETCH #
15272
ERIC'S FILE
LUXE LOCKER ALBUQUERQUE NM
CUSTOMER
LUXE LOCKER
LOCATION
ALBUQUERQUE, NM
DATE
5-9-22
PAGE #
4 OF 4
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SIDE VIEW

TWO REQUIRED SINGLE FACE NON-ILLUMINATED GATE DISPLAYS
15 SQUARE FEET EACH SCALE 3/4" = 1'-0"

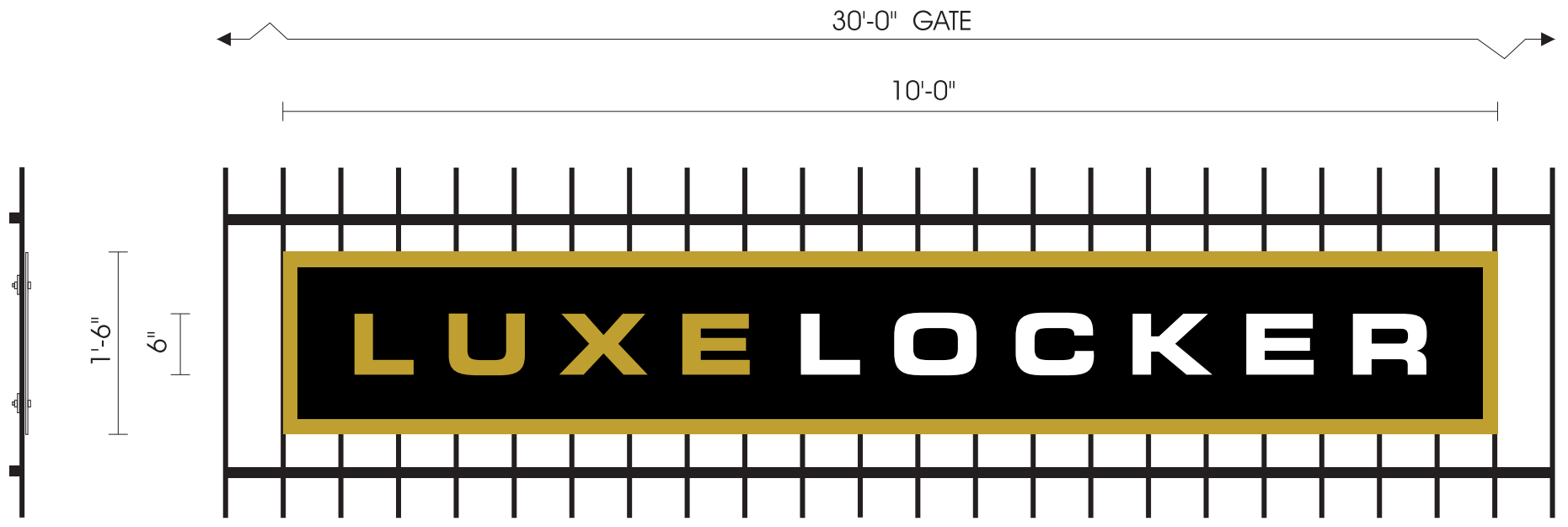
- C** SOUTH GATE
- D** SOUTH GATE

NOTES-

BACKGROUND-
ROUTED FROM .125 BLACK COMPOSITE ALUMINUM.

DECORATION-
BACKGROUND IS BLACK PREMIUM VINYL WITH COPY CUT & WEEDED FROM BLACK B/G & LEFT WHITE. "LUXE" IS OVERLAID WITH GOLD NUGGET 230-25 TRANS VINYL. BORDER IS GOLD NUGGET 230-25 TRANS VINYL.

MOUNTING-
BACKGROUND IS MOUNTED FLUSH TO ROD IRON GATE WITH FLAT METAL BRACKETS & BOLTS ALL PRIMED & PAINTED BLACK.



SIDE VIEW

SINGLE FACE NON-ILLUMINATED GATE DISPLAY
15 SQUARE FEET EACH SCALE 3/4" = 1'-0"

- E** NORTH GATE

PR-2022-007664_SI-2022-01770_Site_Plan_Approved_1-11-23_Signature_Sheet

Interim Agreement Report









2023-07-24


Created:	2023-02-15
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Out for Signature
Transaction ID:	CBJCHBCAABAA73ExwiOWN-POKI9eonloLbvKHJpU5klb

Agreement History


Agreement history is the list of the events that have impacted the status of the agreement prior to the final signature. A final audit report will be generated when the agreement is complete.


"PR-2022-007664_SI-2022-01770_Site_Plan_Approved_1-11-23_Signature_Sheet" History


-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)
2023-02-15 - 0:02:08 AM GMT- IP address: 143.120.132.76
-  Document emailed to Jolene Wolfley (jwolfley@cabq.gov) for signature
2023-02-15 - 0:05:45 AM GMT
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