

KEYED NOTES:

- LARGE EAST FACING GLASS WALL ALLOWS FILTERED MORNING SUN AS WELL AS PARTIAL VIEWS OF SANDIA MOUNTAINS. GLASS WILL BE INSULATED LOW-E ELECTROCHROMIC SELF TINTING GLASS TO CONTROL DIRECT SUN GLARE.
- LARGE SOUTH FACING GLASS WALL WITH PROTECTIVE OVERHANG PROVIDES SOUTHERN SUN.
- EXTENSIVE LANDSCAPING AT EAST SIDE OF BUILDING TO PROVIDE VISUAL AND SOUND BUFFER FROM STREET.
- OUTDOOR PATIO LOCATED ON WEST SIDE OF BUILDING TO PROTECT FROM ROAD NOISE. LARGE WEST WALL COVERED WITH CLIMBING VINES PROVIDES COOLING EFFECT.
- ENTRY FACING SOUTH AND WEST WITH EXTENSIVE PROTECTIVE CANOPY TO PROTECT FROM INCLEMENT WEATHER.
- LANDSCAPED ENTRY PLAZA WITH TREES AND BENCHES TO PROVIDE COOLING EFFECT AT ENTRANCE.
- LARGE UNBROKEN LANDSCAPE AREAS HELP OFFSET HEAT ISLAND EFFECT.
- SLIGHTLY SOUTH SLOPING ROOFS AT BUILDING AND DRIVE THROUGH CANOPY TO ALLOW FOR INSTALLATION OF SOLAR PANELS.
- FEW SMALL OPENINGS ON WEST SIDE. TO MITIGATE HARSH AFTERNOON HEAT.

SITE PLAN KEY NOTES:

- REMOVE EXISTING CONCRETE DRIVE APRON AND REPLACE WITH NEW SIDEWALK AND CURB. COA STD DWG. 2430.
- EXTEND WATER METER ACCESS TO FLUSH WITH TOP OF NEW SIDEWALK.
- DUMPSTER ENCLOSURE: SEE 18, 19 A002, A002
- EXISTING CURB AND PARKING SPACES. TIE NEW CURB INTO EXISTING CURB.
- EXIST. SIDEWALK TO REMAIN
- NEW LIGHT POLE: SEE ELEC DWGS AND 13 A002
- NEW POURED IN PLACE CONCRETE WALL: SEE 14 A002
- NEW PERF MTL PANEL FENCE: SEE 16, 17 A002, A002
- 12' WIDE LANDSCAPE BED, SEE LANDSCAPE PLAN
- ASPHALT PAVING: SEE SOILS REPORT FOR PAVING SECTION
- 4" WIDE WHITE PARKING STRIPES
- NEW CURB AN GUTTER: SEE 116 A002
- ROOF DRAIN LINE: SEE CIVIL
- PUBLIC UTILITY EASEMENT
- NEW CONCRETE DRIVE APRON AND RETURNS PER CITY OF ABO STD DWG 2426
- CLEAR SIGHT TRIANGLE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN THREE (3') AND EIGHT FEET (8') TALL (AS MEASURED FROM THE CUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.
- 4' WIDE SIDEWALK FLUSH WITH ASPHALT
- 2'X4' WHITE PAINT RECTANGLES PAINTED ON ASPHALT. 12' BETWEEN.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STD DWG 2415A
- SAWCUT CONTROL JOINTS: SEE 13 A002
- EXISTING MONUMENT SIGN TO REMAIN
- EXISTING MONUMENT SIGN TO BE REMOVED
- EXISTING RAMP AND SIDEWALK TO REMAIN
- REMOVE EXISTING CONCRETE BETWEEN PLANTING BEDS ALONG LENGTH OF THIS SIDEWALK
- EXISTING PROPERTY LINE BEING REMOVED BY SEPARATE PLATTING ACTION
- DASHED LINES INDICATE DEMO. SEE PHASING NOTE ABOVE
- REMOVE EXISTING ATM AND CONCRETE PAD
- NEW ADA RAMP PER CITY OF ABO STD DWG. ALL RAMPS IN RIGHT OF WAY SHALL RECEIVE YELLOW TRUNCATED DOME SURFACE.
- REMOVE EXISTING CONCRETE RETAINING WALL
- LANDSCAPE AREA: SEE LANDSCAPE PLAN
- MONUMENT SIGN: SEE 112 A002
- 12" TALL WHITE LETTERS PAINTED ON ASPHALT: "ONE WAY-DO NOT ENTER" AT EXIT, "DRIVE THRU ENTRANCE" AT ENTRANCE
- DIRECTIONAL SIGN: SEE 119 A002
- DIRECTIONAL SIGN: SEE 119 A002

NOTE: UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DRAWING 2415.

PROJECT NUMBER: PR-2022-007701

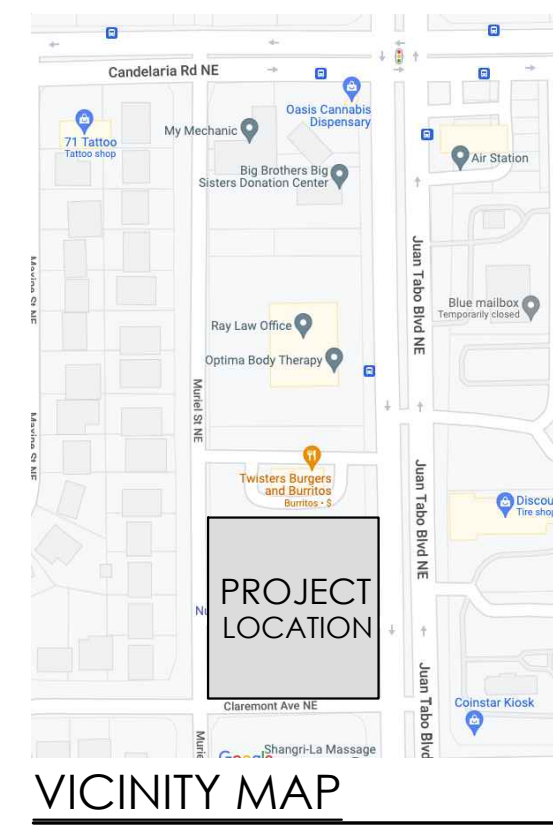
Application Number: SI-2022-01868

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Ernest Armijo</i>	Feb 15, 2023
Traffic Engineering, Transportation Division	Date
<i>Joe Slagle</i>	Feb 17, 2023
ABCWUA	Date
<i>Cheryl Smith</i>	Feb 16, 2023
Parks and Recreation Department	Date
<i>Hegner Chan</i>	Feb 16, 2023
City Engineer/Hydrology	Date
<i>Shi Pan</i>	Feb 16, 2023
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
<i>Shi Pan</i>	Feb 27, 2023
DRB Chairperson, Planning Department	Date



SITE DATA

SITE LOCATION	2805 JUAN TABO BOULEVARD NE ALBUQUERQUE, NM
LEGAL DESCRIPTIONS	A-1 TRACT B-2 BLOCK 79 SNOW HEIGHTS ADDITION
ZONING	MX-L
UPC NUMBER	101906418906730212
TOTAL LOT AREA	55,797 SF (1.3 AC)
GROSS BUILDING AREA	4226 SF
BUILDING FOOTPRINT AREA	4226 SF
NET LOT AREA (LOT AREA-BLD. FOOTPRINT)	51,571 SF
FLOOR AREA RATIO (GROSS BLDG AREA/LOT AREA)	7.5 %
PARKING CALCULATIONS (PER IDO)	TOTAL SPACES PROVIDED: 51
	3 SP/1000 SF (4226 SF = 12.69 SPACES REQUIRED)
ACCESSIBLE PARKING REQ'D:	(51-100)=4 INCL. 1 VAN TOTAL PROVIDED: 4
MOTORCYCLE PARKING REQUIRED:	(51-100) 3 SP. TOTAL PROVIDED: 3
BICYCLE PARKING REQUIRED:	(3 MIN) TOTAL PROVIDED: 5

PHASING PLAN:

- PHASE ONE:**
- DEMOLISH ALL EXISTING CONSTRUCTION ON THE PORTION OF THE PROPERTY NORTH OF THE PROPERTY LINE BEING REMOVED. (SEE NOTE 25 ON SITE PLAN. THE EXISTING CREDIT UNION BUILDING, PARKING LOT AND DRIVE THROUGH ON THE SOUTH PORTION OF THE PROPERTY IS TO REMAIN OPEN.
 - FENCE OFF THE NORTH PORTION OF THE PROPERTY AND CONSTRUCT THE NEW SINGLE STORY CREDIT UNION BUILDING AS DESCRIBED IN THESE CONSTRUCTION DRAWINGS.
 - GRADE THE NORTH PORTION OF THE PROPERTY PER THE APPROVED GRADING AND DRAINAGE PLAN. PROVIDE TEMPORARY PONDING AS NECESSARY.
- PHASE TWO:**
- REMOVE THE EXISTING BUILDING ON THE SOUTH PORTION OF THE PROPERTY ALONG WITH ALL SITE WORK, RETAINING WALLS, PARKING LOTS, CURBS, AND LANDSCAPE.
 - GRADE SOUTH PORTION OF PROPERTY PER THE APPROVED GRADING AND DRAINAGE PLAN.
 - CONSTRUCT THE DRIVE THROUGH CANOPY AS DESCRIBED IN THE CONSTRUCTION DRAWINGS.
 - COMPLETE ALL SITE FLATWORK, INCLUDING CONCRETE WALKS, DRIVEWAYS, RAMPS, CURBS, PAVING, AND LANDSCAPE FOR THE ENTIRE SITE AS DESCRIBED IN THE CONSTRUCTION DRAWINGS.

SITE PLAN

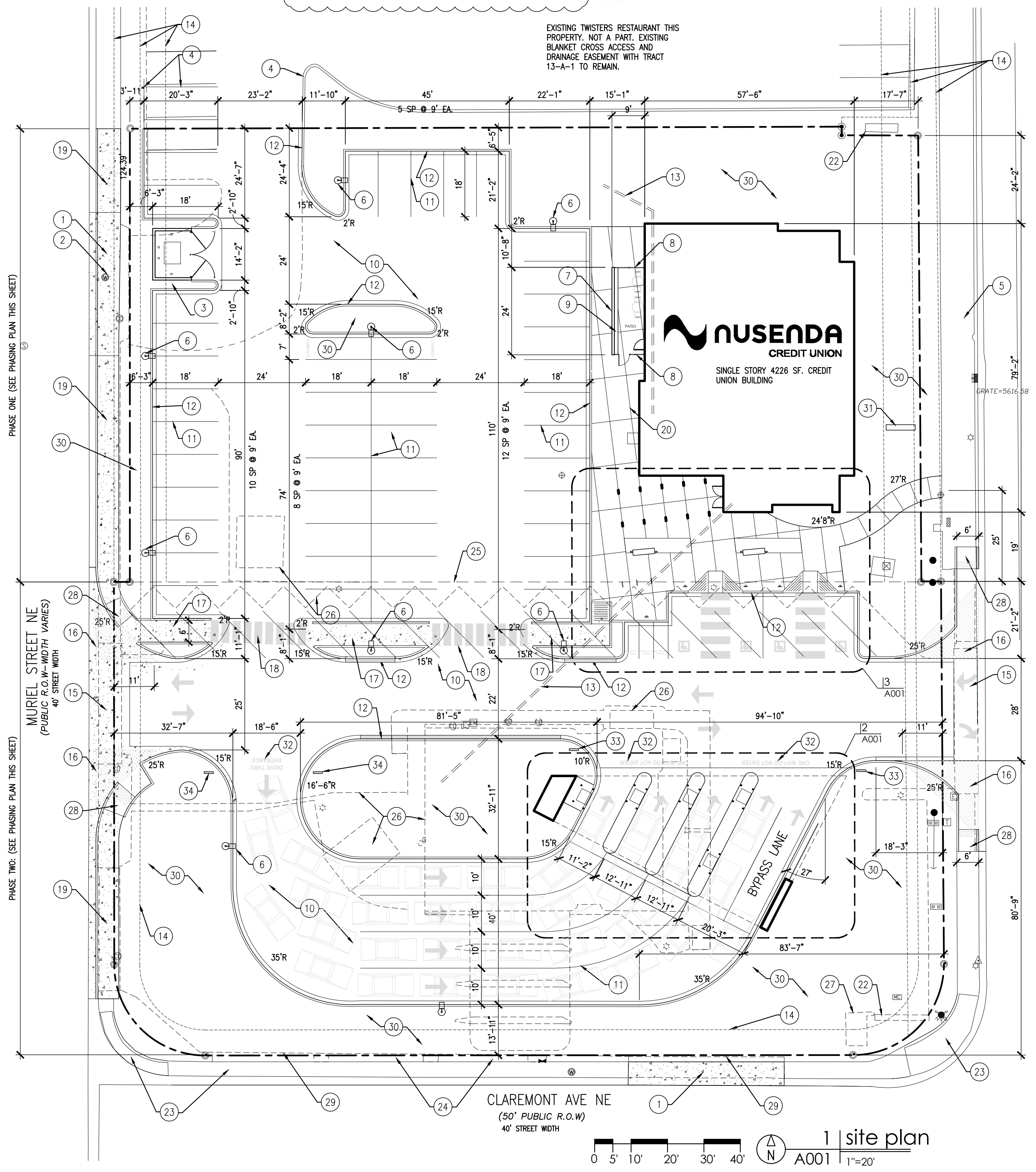
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NUSENDA CREDIT UNION
 2801 JUAN TABO BLVD NE
 ALBUQUERQUE, NM

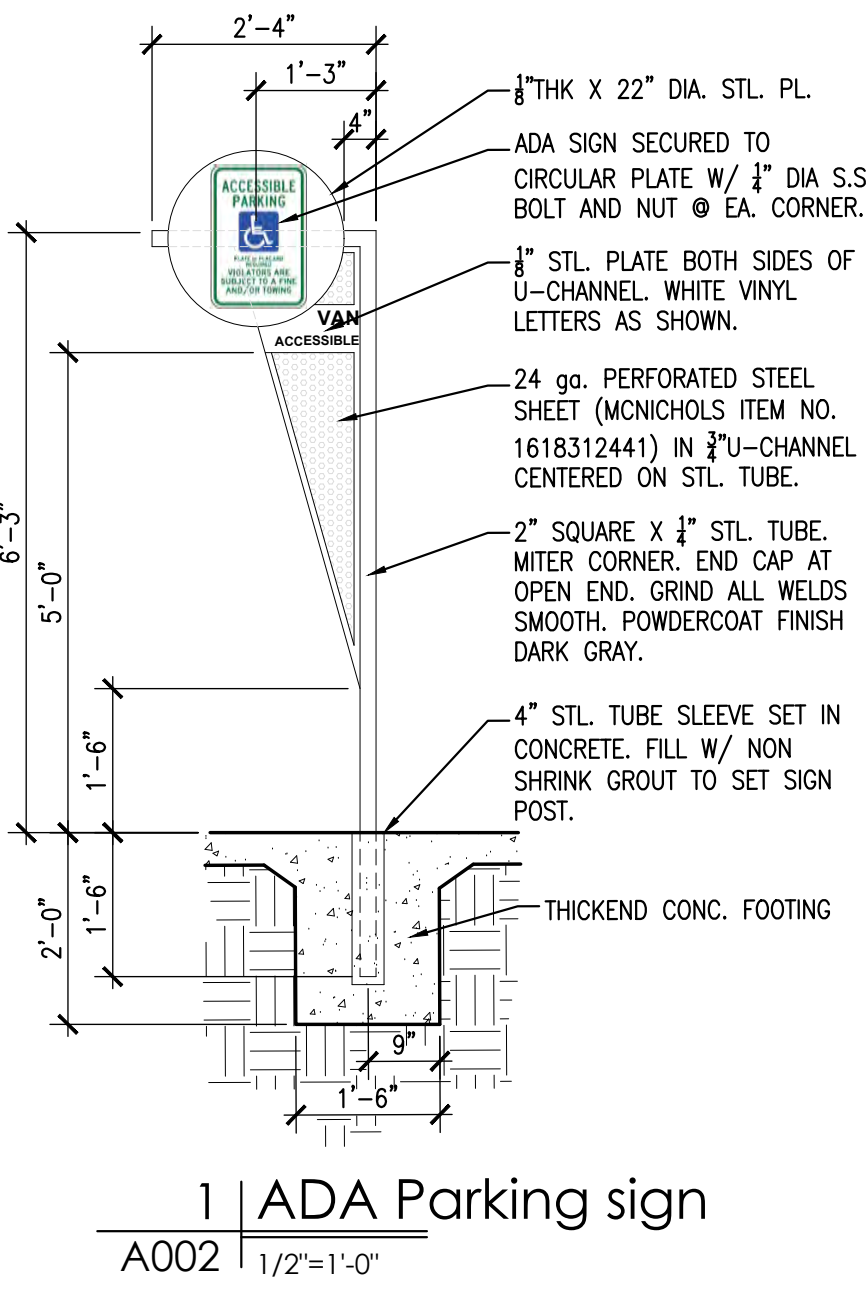
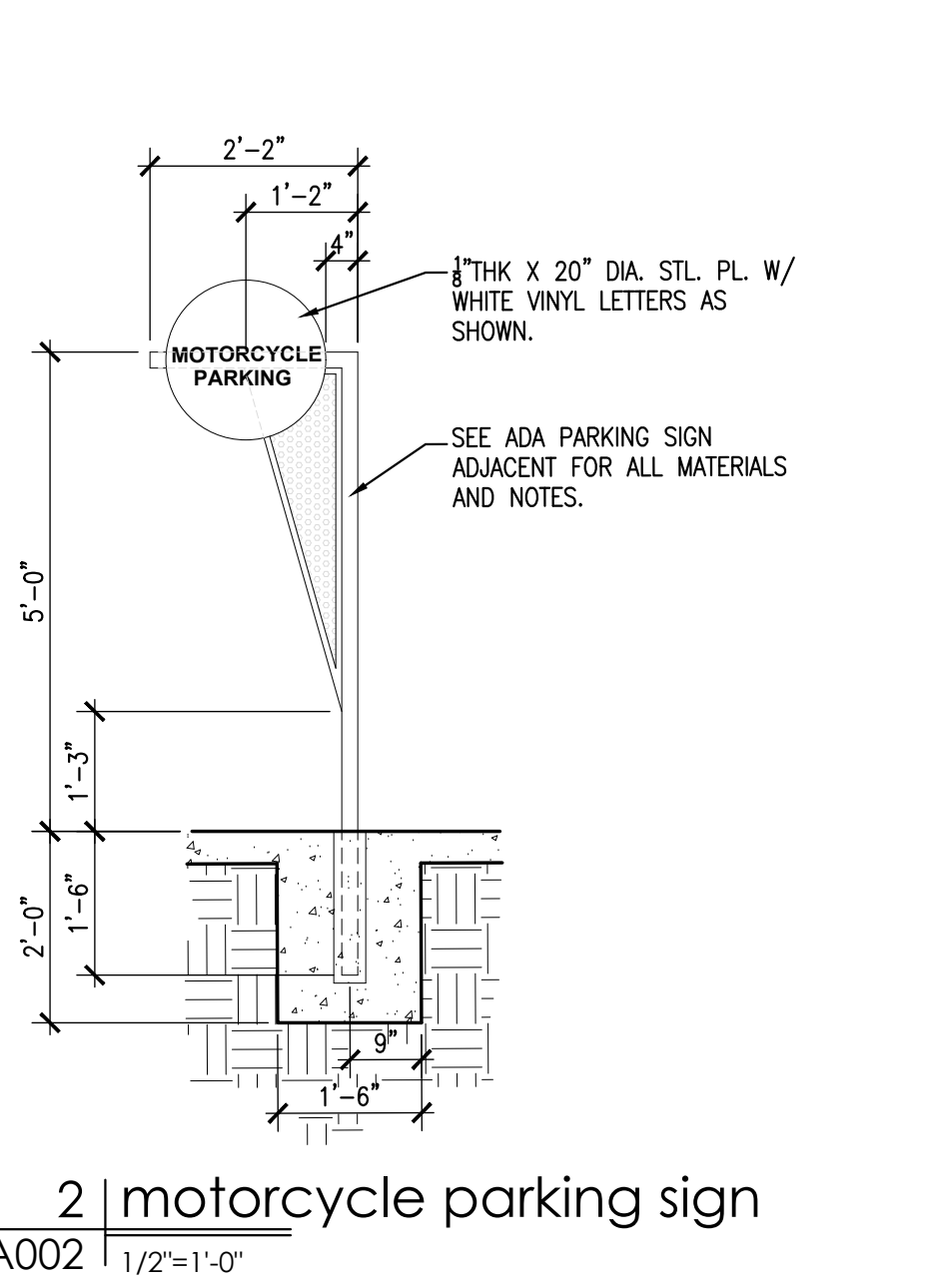
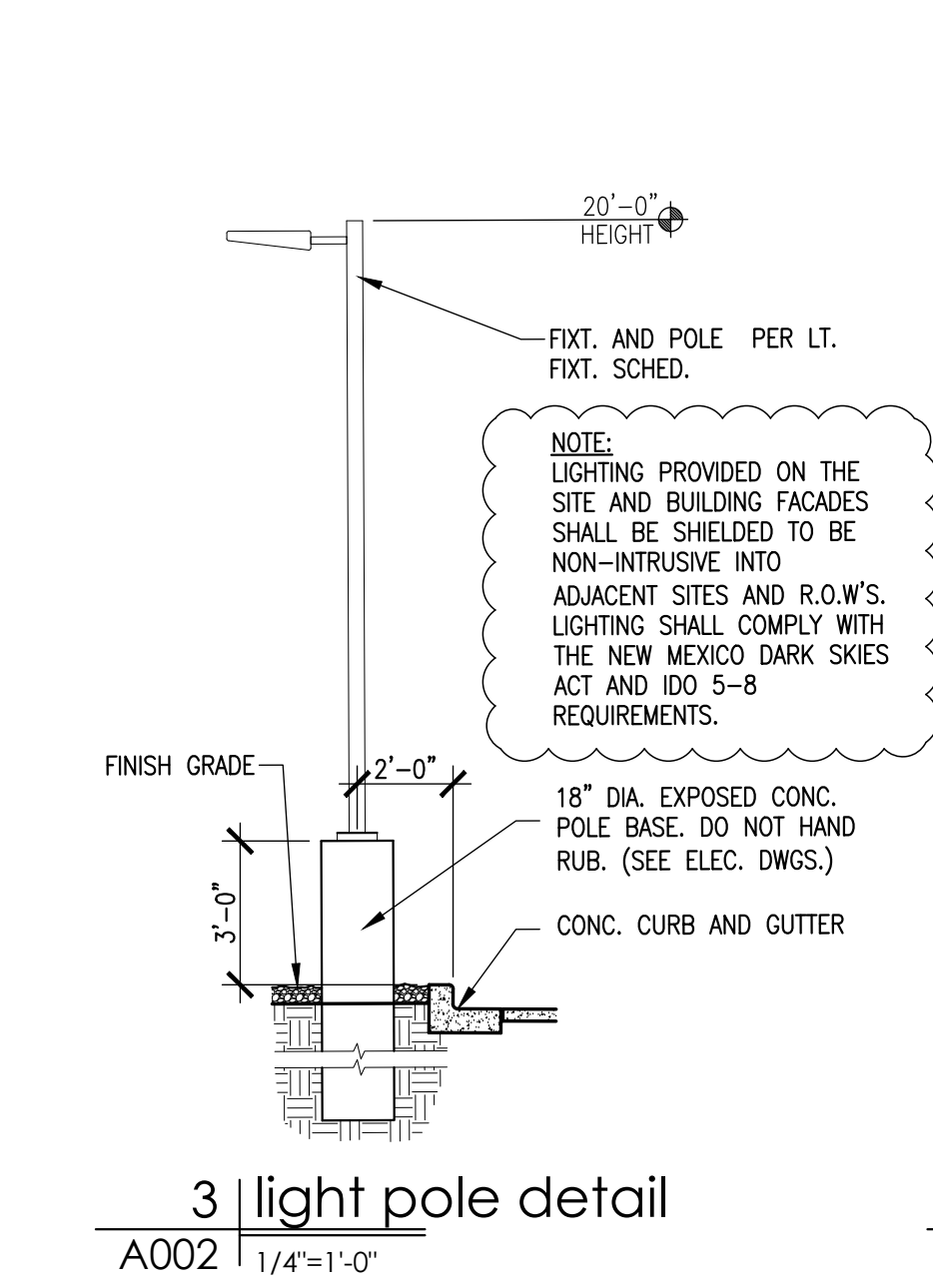
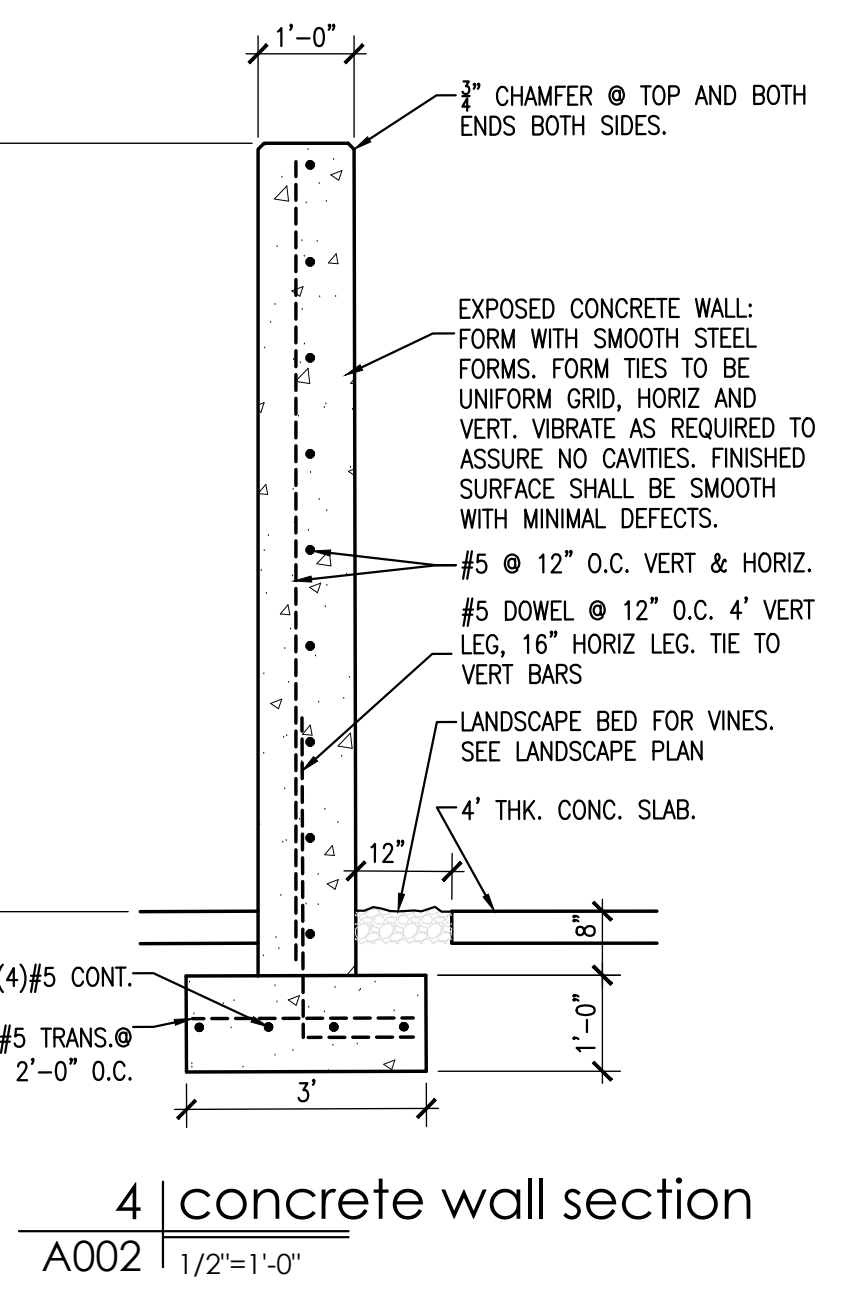
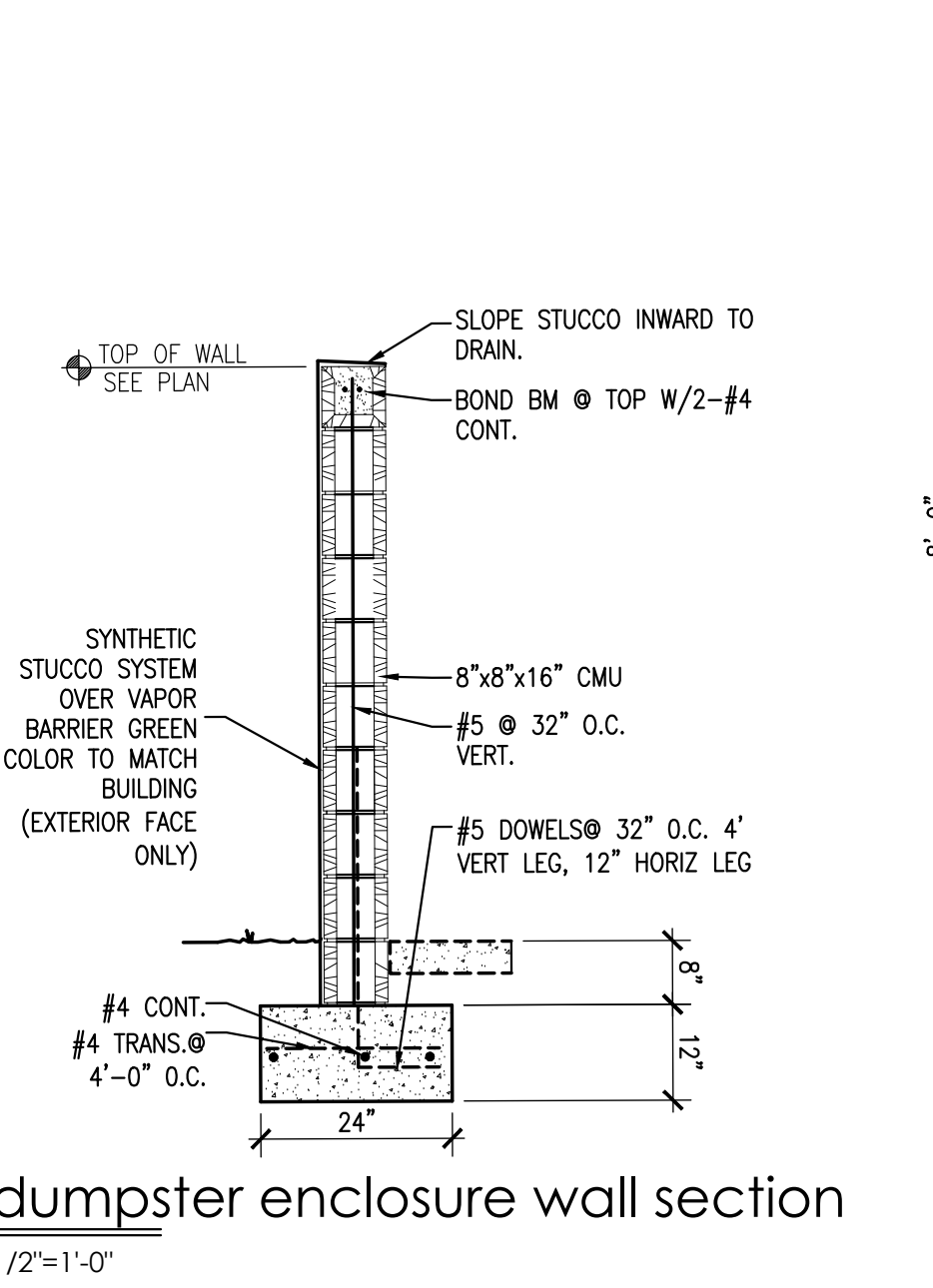
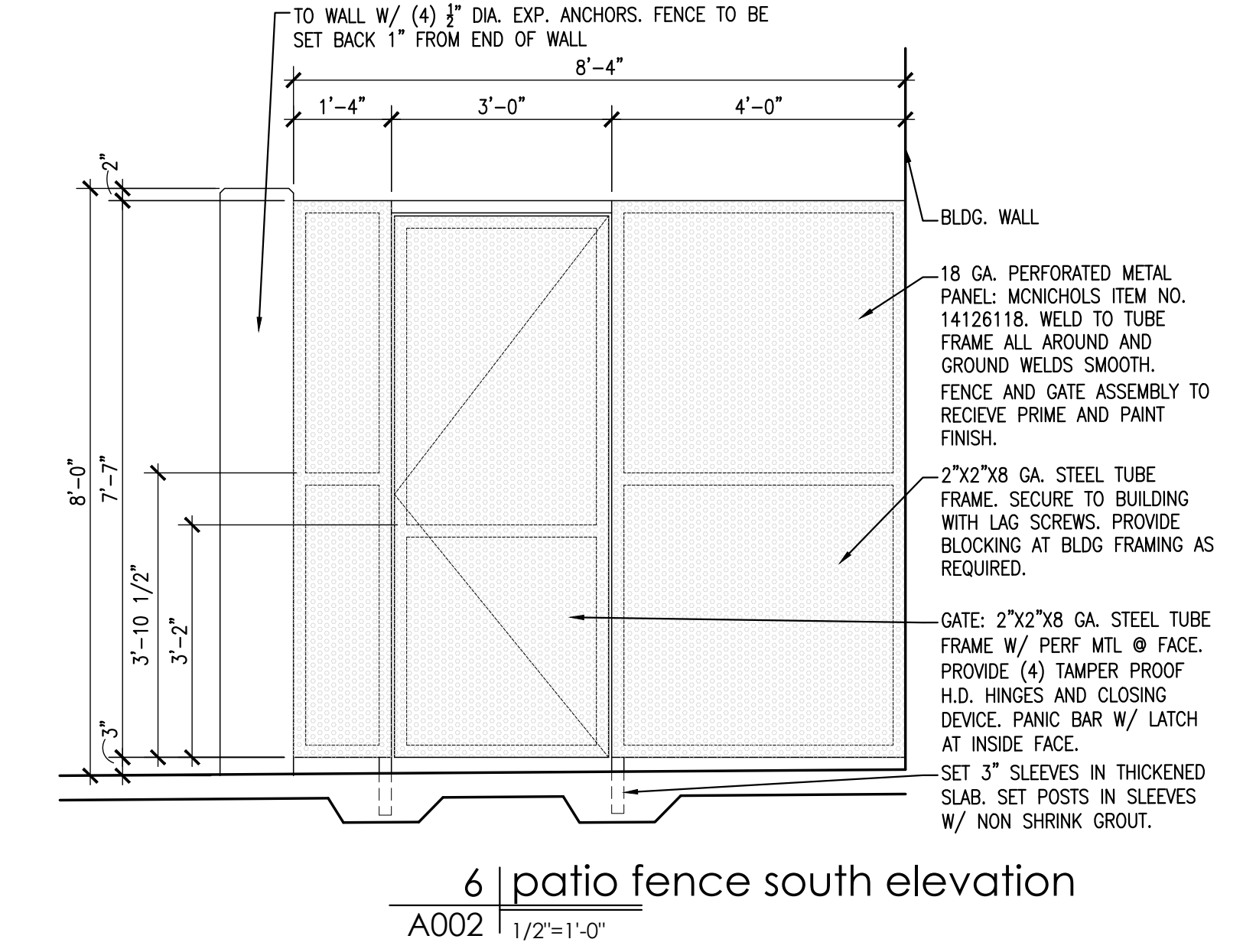
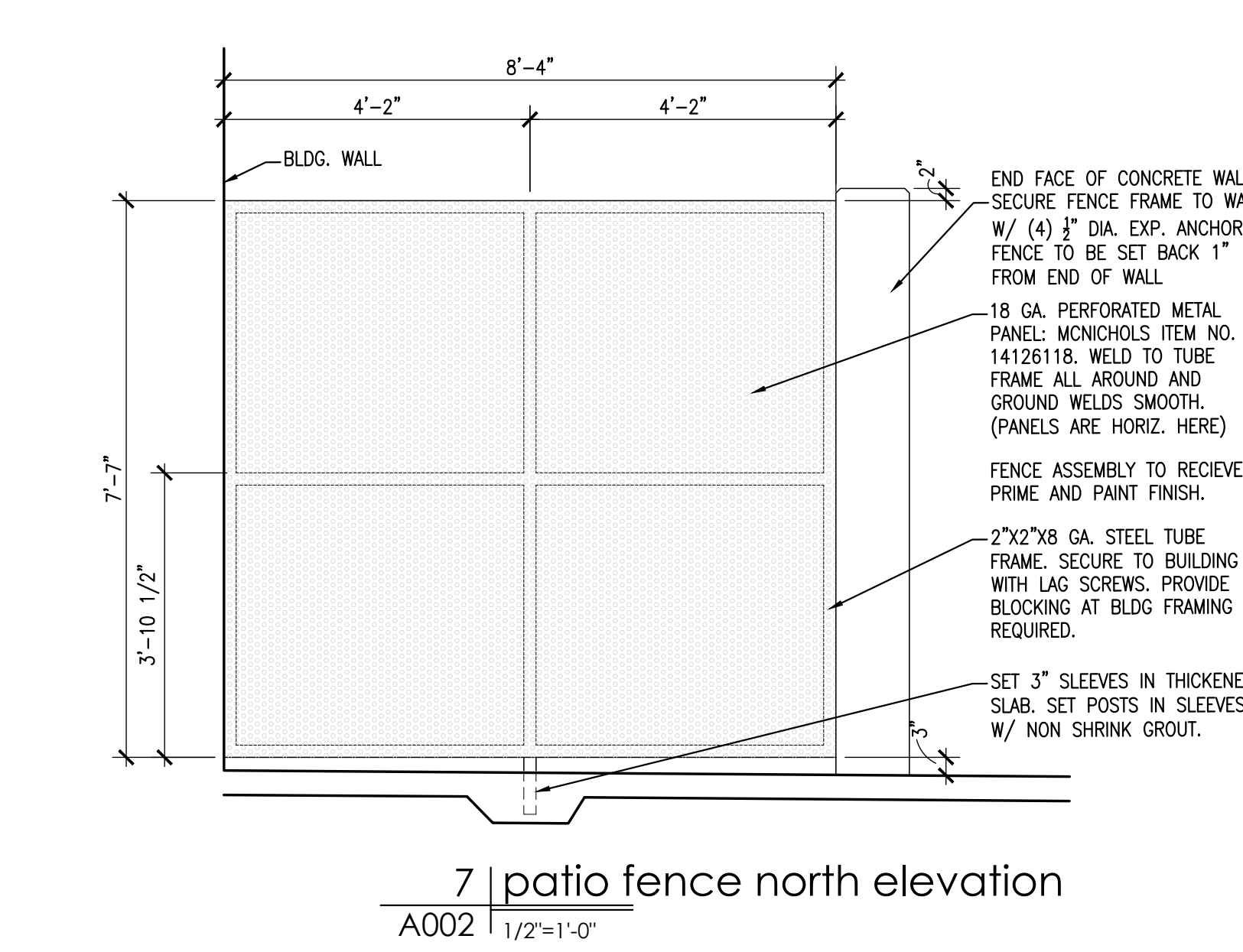
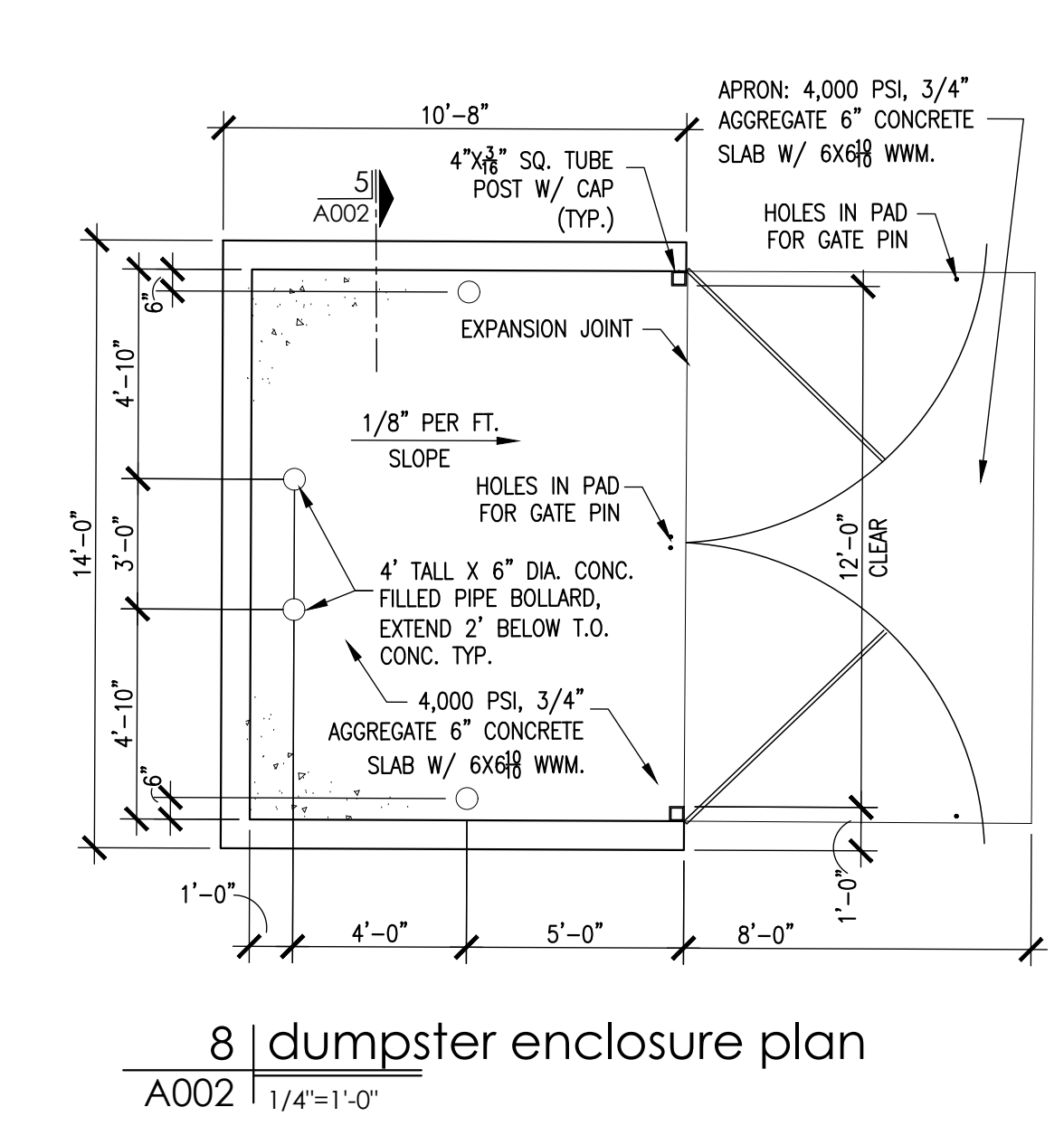
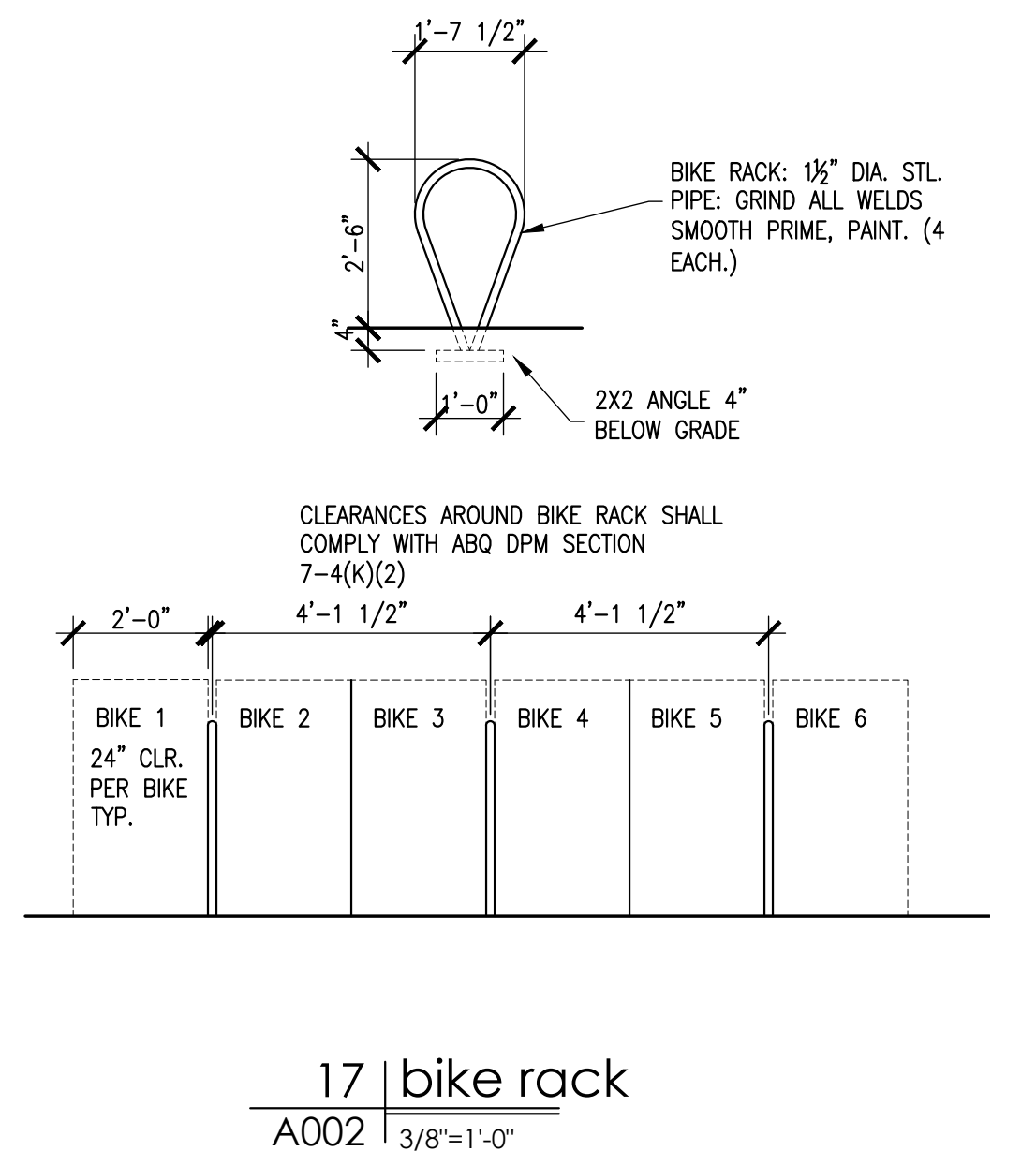
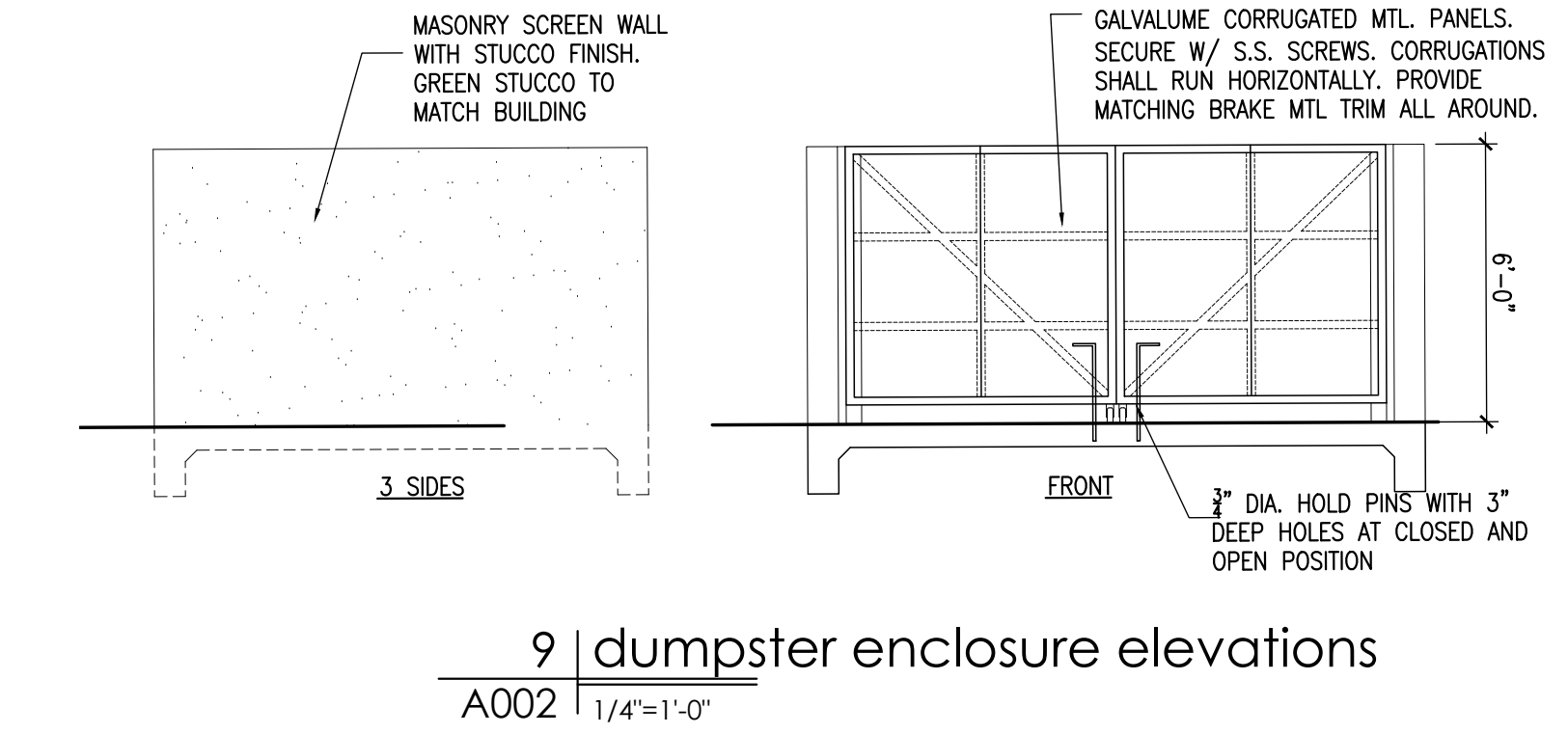
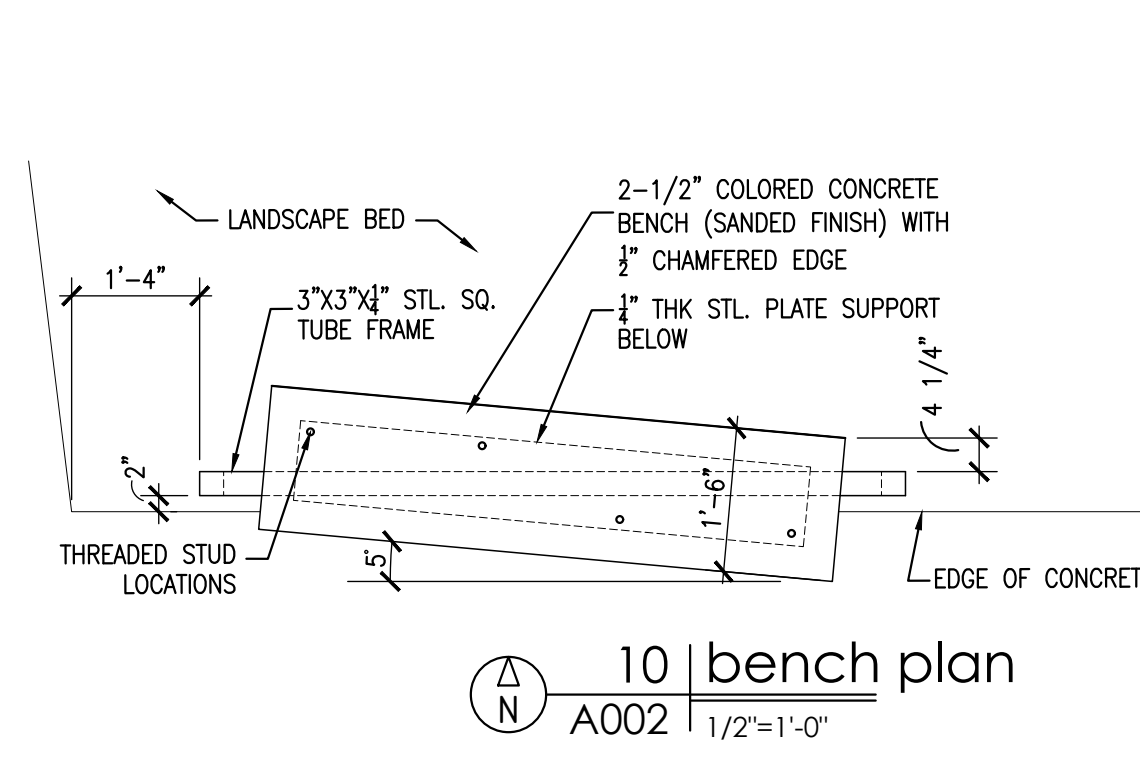
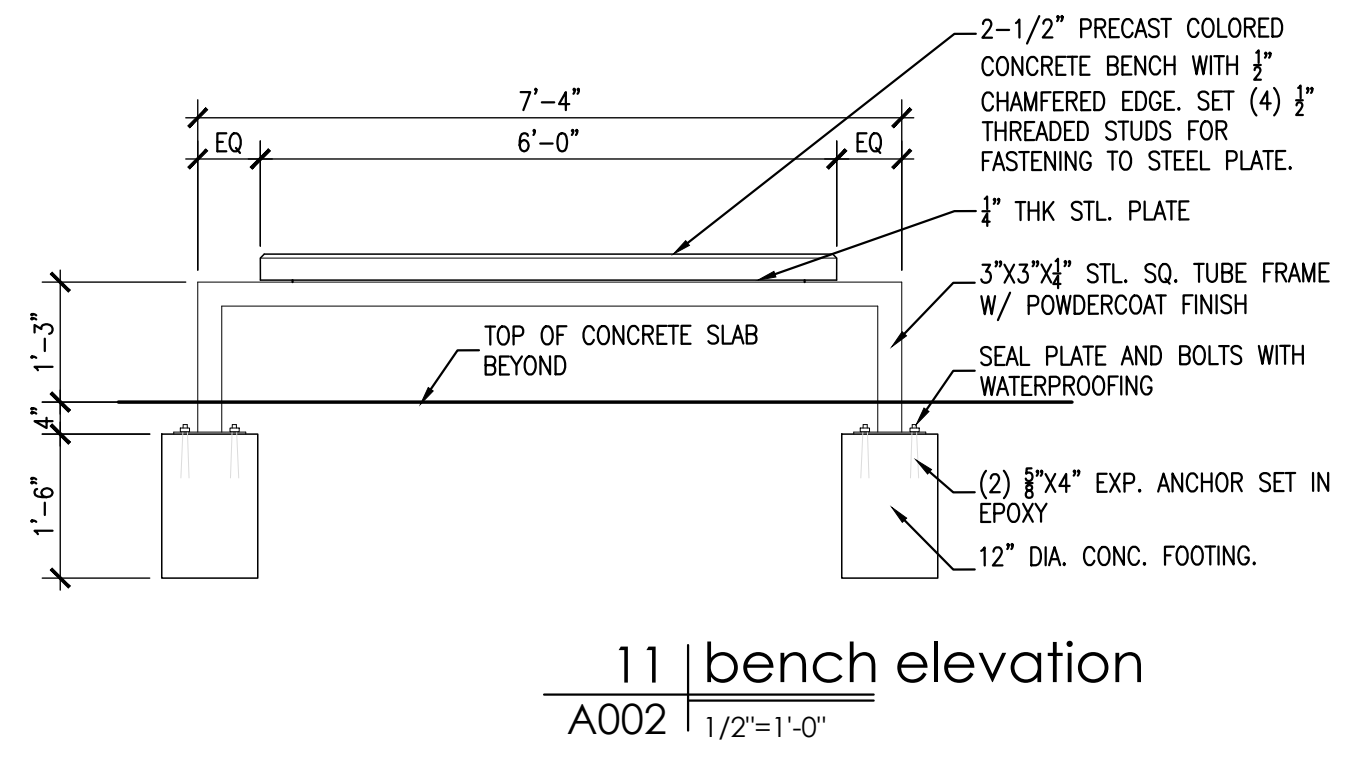
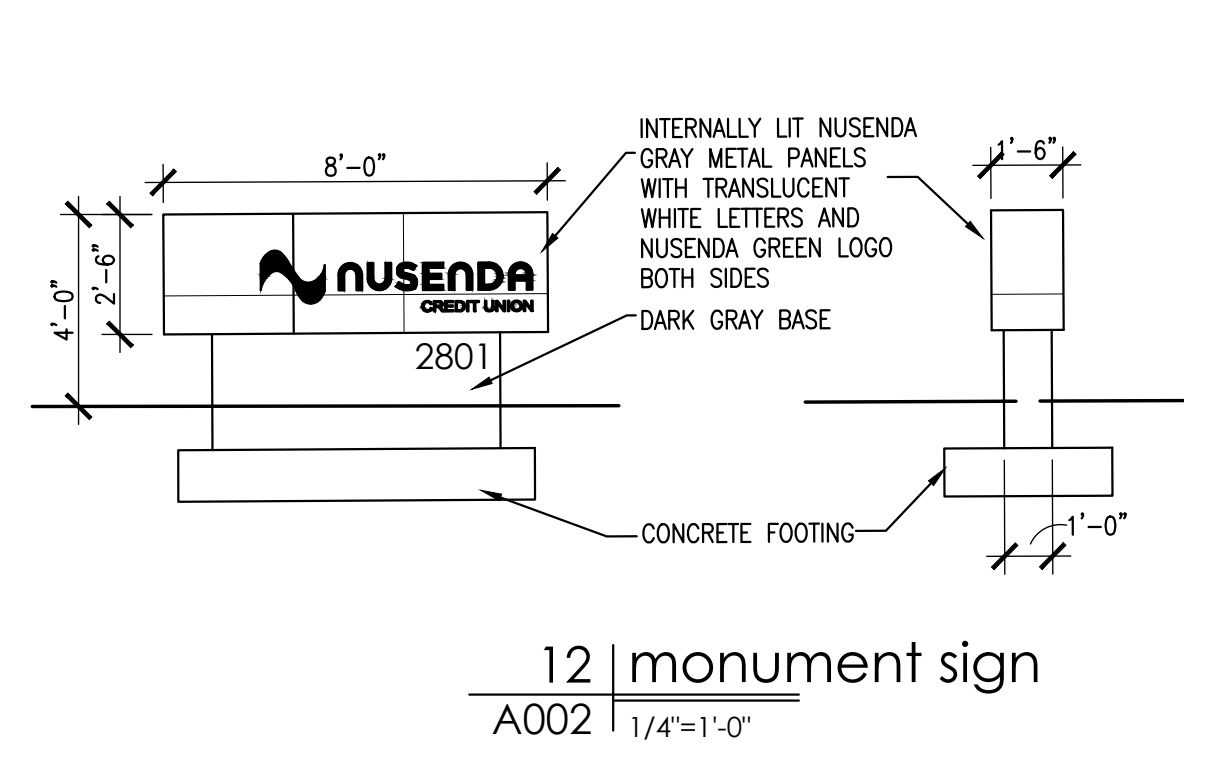
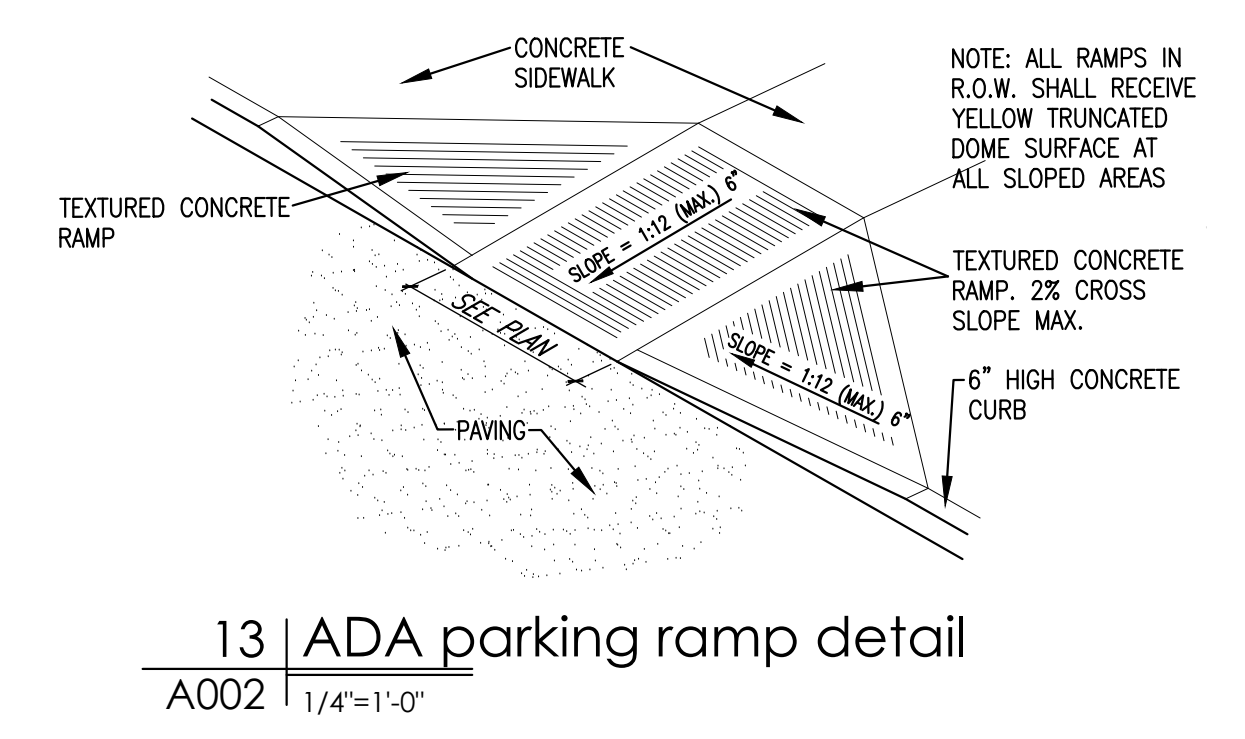
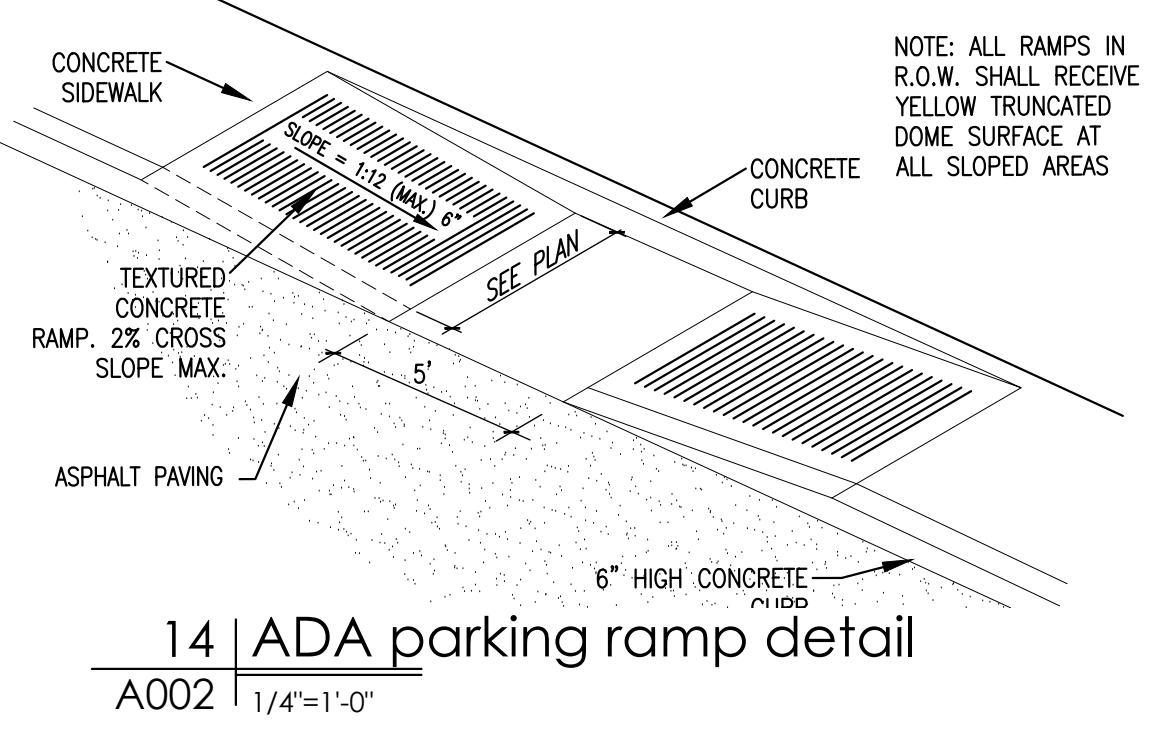
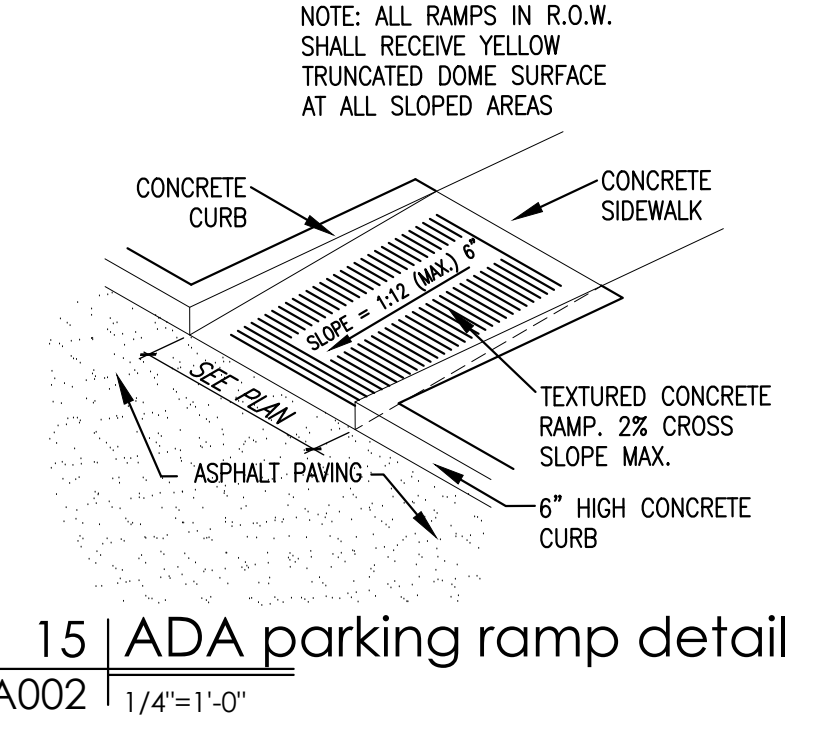
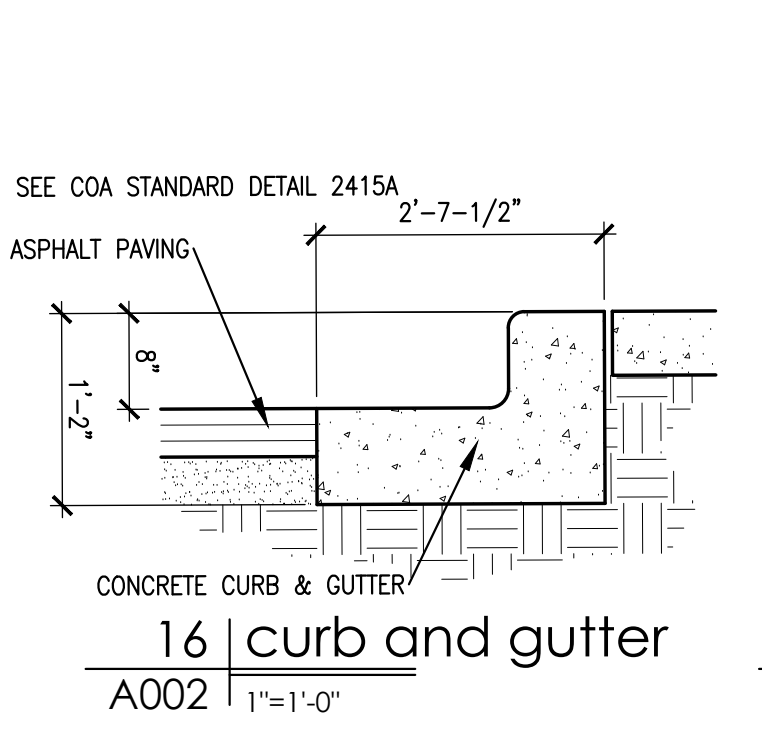
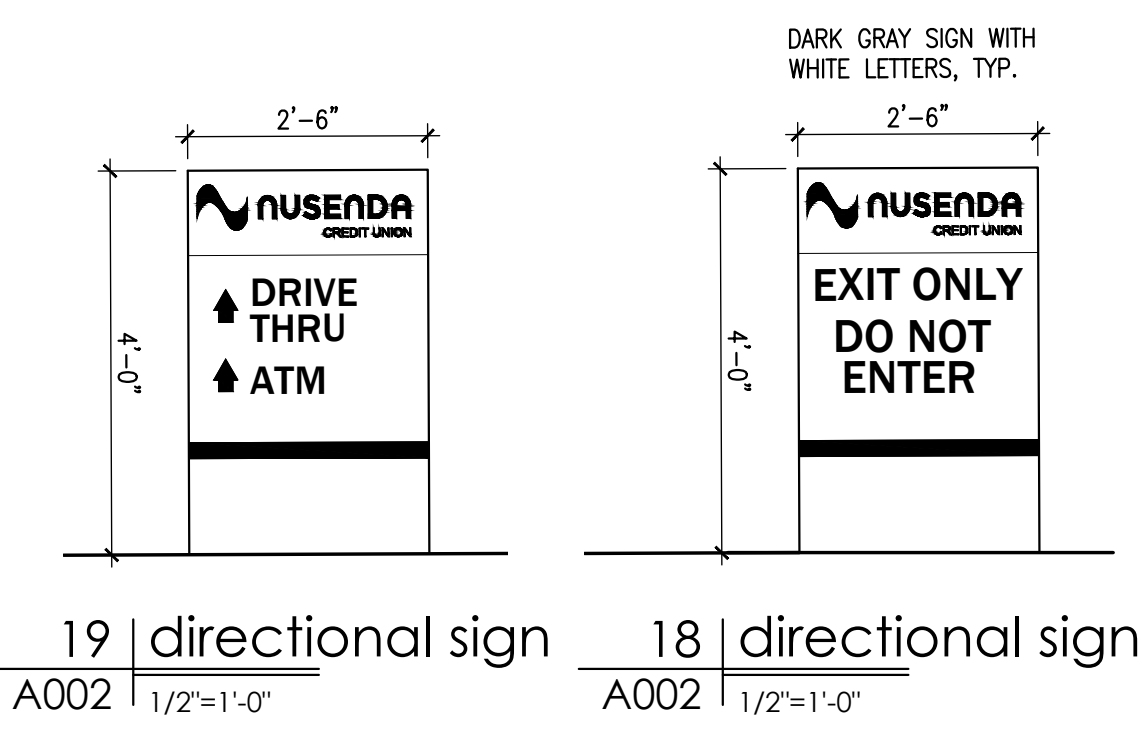


revisions
 9-18-22 TCL COMMENT

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8-30-22
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A001

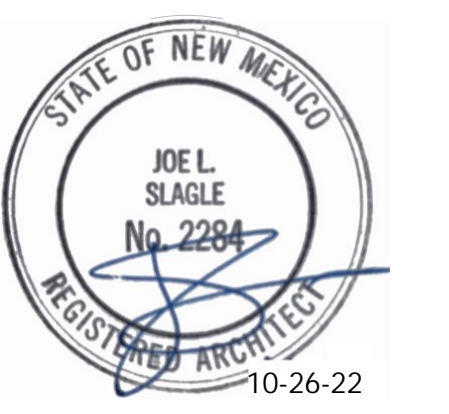


2 Geographic Responsiveness Diagram
A001 1/8"=1'-0"



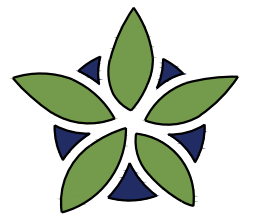
SITE DETAILS

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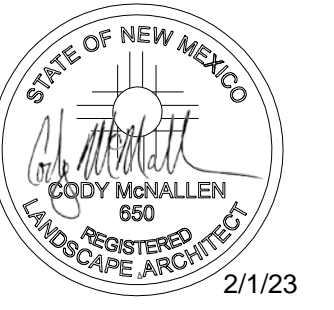
revisions
10-26-22 DRB COMMENT

date:
8-30-22
sheet:
A002



YELLOWSTONE
LANDSCAPE

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P O Box 10597
Albuquerque, NM 87184
505.898.9615
design@yellowstonelandscape.com



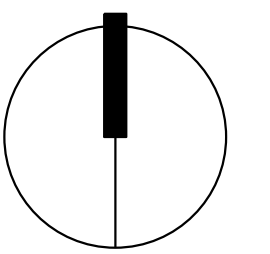
Date: 6/28/2022

Revisions:
▲ 7/1/2022
▲ 11/18/2022
▲ 2/1/2023

Drawn by: PL
Reviewed by: CM

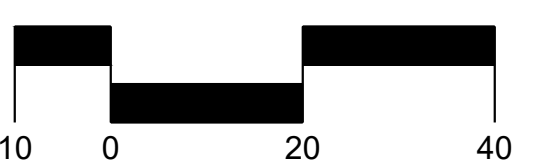
Nusenda

2801 Juan Tabo
Albuquerque, New Mexico



NORTH

Scale: 1" = 20'

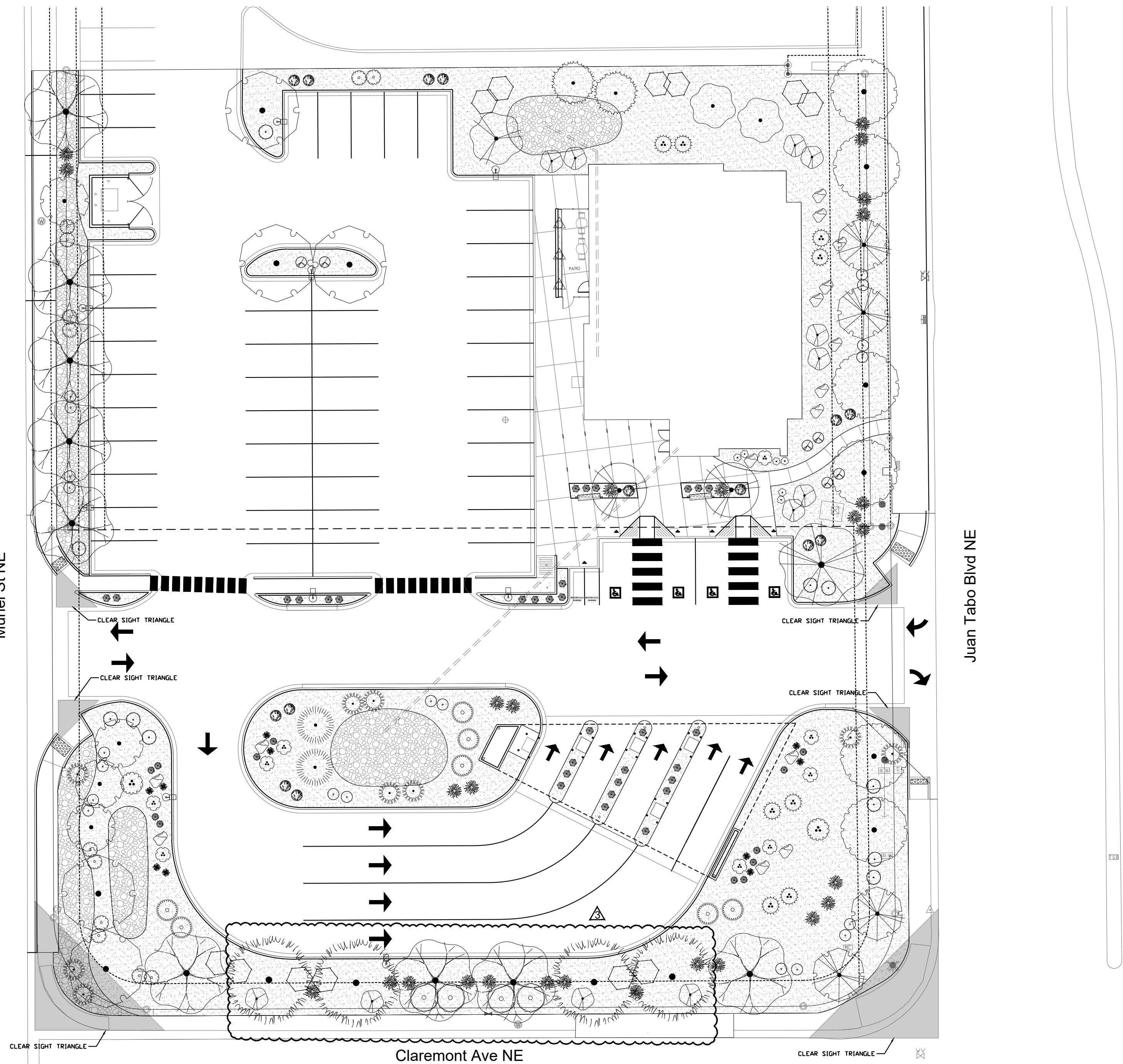


Sheet Title:

Landscape
Plan

Sheet Number:

LS-01



SITE DATA

GROSS LOT AREA 56,251 SF
BUILDING AREA 4,226 SF
NET LOT AREA (NET.) 52,025 SF

LANDSCAPE AREA (LAN.)
REQUIRED 7,804 SF (15% OF NET.)
PROPOSED 19,770 SF (38% OF NET.)

VEGETATION COVERAGE (VEG.)
REQUIRED 5,853 SF (75% OF LAN.)
PROPOSED 26,717 SF (342% OF LAN.)

GROUND-LEVEL PLANTS COVERAGE
REQUIRED 1,463 SF (25% OF VEG.)
PROPOSED 3,609 SF (62% OF VEG.)

STREET TREES (1 PER 25 LF)
REQUIRED 30
PROPOSED 30

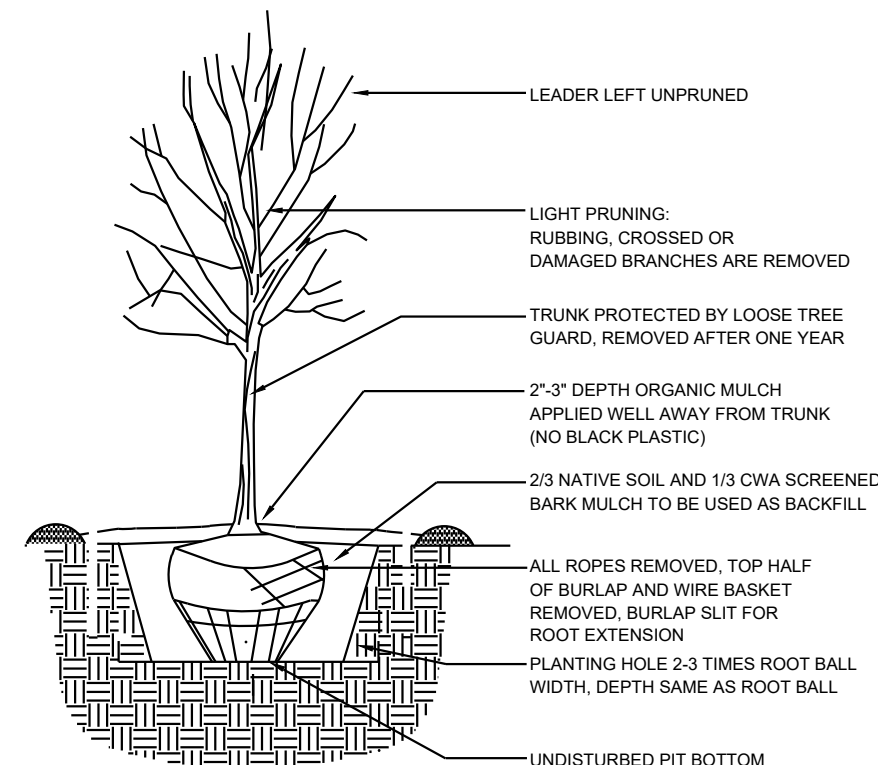
PARKING LOT TREES (1 PER 10 PARKING SPACES)
REQUIRED 6
PROPOSED 6

TOTAL
REQUIRED 36 TREES
PROPOSED 40 TREES

NOTE:
ALL CALCULATIONS MEET ALL REQUIRED IDO
LANDSCAPE STANDARDS

GENERAL NOTES

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.
- ALL MAINTENANCE FOR LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. MAINTENANCE OF STREET TREES AND SHRUBS SHALL FIND THEM IN HEALTHY, LIVING, AND ATTRACTIVE CONDITION.
- ALL ON-SITE PLANT MATERIAL, NOW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS. EMITTERS SHALL BE PLACED AT EVEN SPACING AT DRIP LINE OF TREES AND SHRUBS AT THE MULCH'S SURFACE AT A RATE OF SIX (6) 2.0 GPH EMITTERS PER TREE AND TWO (2) 2.0 GPH EMITTERS PER SHRUB.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. APPROPRIATE MEASURES HAVE BEEN TAKEN TO DESIGN AND INSTALL A WATER-CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE.
- PLANTINGS IN CLEAR SIGHT TRIANGLE NOT TO OBSTRUCT LINE OF VISION FROM 3' HEIGHT TO 8' HEIGHT.



1 TREE PLANTING DETAIL

N.T.S.

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	H X W	COVERAGE
	1	CHILOPSIS LINEARIS 'ART'S SEEDLESS' / ART'S SEEDLESS DESERT WILLOW	24"BOX	RW	20' X 25'	491
	4	CRATAEGUS CRUS-GALLI 'INERMIS' / THORNLESS HAWTHORN	2" B&B	MEDIUM	25' X 20'	314
	2	FORESTIERA NEOMEXICANA / NEW MEXICAN PRIVET	24"BOX	MEDIUM	15' X 15'	177
	5	GLEDITSIA TRIACANTHOS INERMIS / THORNLESS COMMON HONEYLOCUST	2" B&B	MEDIUM	50' X 45'	1590
	2	MALUS X 'RADIANT' / RADIANT CRAB APPLE	2" B&B	MEDIUM	20' X 20'	314
	1	PISTACIA CHINENSIS / CHINESE PISTACHE	2" B&B	MEDIUM	60' X 60'	2826
	6	PRUNUS CERASIFERA / FLOWERING PLUM	2" B&B	MEDIUM	20' X 20'	314
	4	PYRUS CALLERYANA 'CLEVELAND SELECT' / CLEVELAND SELECT PEAR	2" B&B	MEDIUM +	25' X 15'	177
	9	ULMUS PROPINQUA 'EMERALD SUNSHINE' / EMERALD SUNSHINE ELM	2" B&B	MEDIUM	35' X 25'	491
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	H X W	COVERAGE
	2	PINUS CEMBROIDES EDULIS / PINYON PINE	6"	MEDIUM	30' X 20'	314
	4	PINUS ELДАРICA / AFGHAN PINE	6"	MEDIUM	40' X 25'	491
		SUBTOTAL				23,108 SF
DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	H X W	COVERAGE
	9	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	LOW+	3' X 4'	13
	2	NOLINA MICROCARPA / BEARGRASS	5 GAL	RW	5' X 6'	28
	8	YUCCA BACCATA / BANANA YUCCA	5 GAL	RW	4' X 5'	20
FLOWERING PLANTS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	H X W	COVERAGE
	10	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	1 GAL	MEDIUM	2' X 2'	3
	6	NEPETA X FAASSENII 'SELECT BLUE' / CATMINT	1 GAL	LOW+	1' X 2'	3
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	H X W	COVERAGE
	12	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL	LOW+	3' X 3'	7
	31	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	MEDIUM	30" X 2'	3
VINE/ESPALIER	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	H X W	COVERAGE
	3	PARTHENOCISSUS QUINQUEFOLIA / VIRGINA CREEPER	5 GAL	MEDIUM+	CLIMBING+30'	50
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	H X W	COVERAGE
	14	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	5 GAL	LOW+	3' X 3'	7
	12	CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH' / FERNBUSH	5 GAL	LOW+	5' X 6'	28
	11	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	LOW+	4' X 4'	13
	20	SALVIA GREGGII / AUTUMN SAGE CHERRY	5 GAL	LOW+	2' X 3'	7
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	H X W	COVERAGE
	7	CERCOCARPUS INTRICATUS / LITTLE LEAF MOUNTAIN MAHOGONY	5 GAL	LOW+	6' X 6'	28
	12	ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	5 GAL	LOW	3' X 4'	13
	12	FALLUGIA PARADOXA / APACHE PLUME	5 GAL	LOW	6' X 7'	38
	9	JUNIPERUS SABINA 'BUFFALO' / BUFFALO JUNIPER	5 GAL	LOW	1' X 6'	64
	4	PHOTINIA X FRASERI / PHOTINIA	5 GAL	LOW+	8' X 8'	50
	6	RHAPHIOLEPIS INDICA / INDIAN HAWTHORN	5 GAL	MEDIUM	3' X 4'	13
	28	ROSMARINUS OFFICINALIS 'ARP' / ARP ROSEMARY	5 GAL	LOW+	6' X 4'	13
	2	SPARTIUM JUNCEUM / SPANISH BROOM	5 GAL	MEDIUM	10' X 10'	79
		SUBTOTAL				3,609 SF
		TOTAL				26,717 SF

MATERIAL SCHEDULE

SYMBOL	DESCRIPTION	QTY
	LARGE BOULDER	15
	MOUNTAINAIR BROWN 7/8" GRAVEL	
	2-4" GRAY, ROUND COBBLE	

LEGAL DESCRIPTION

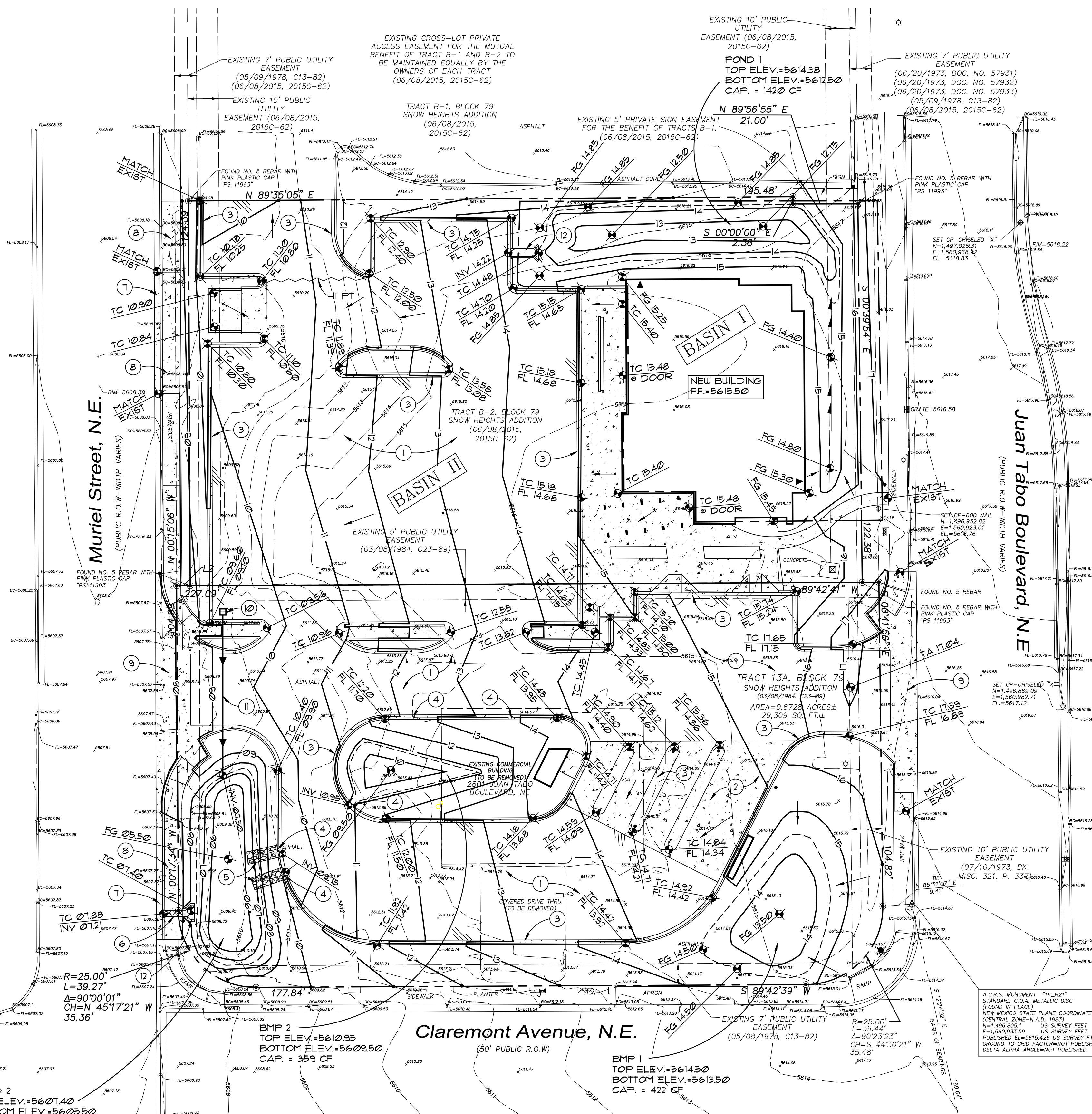
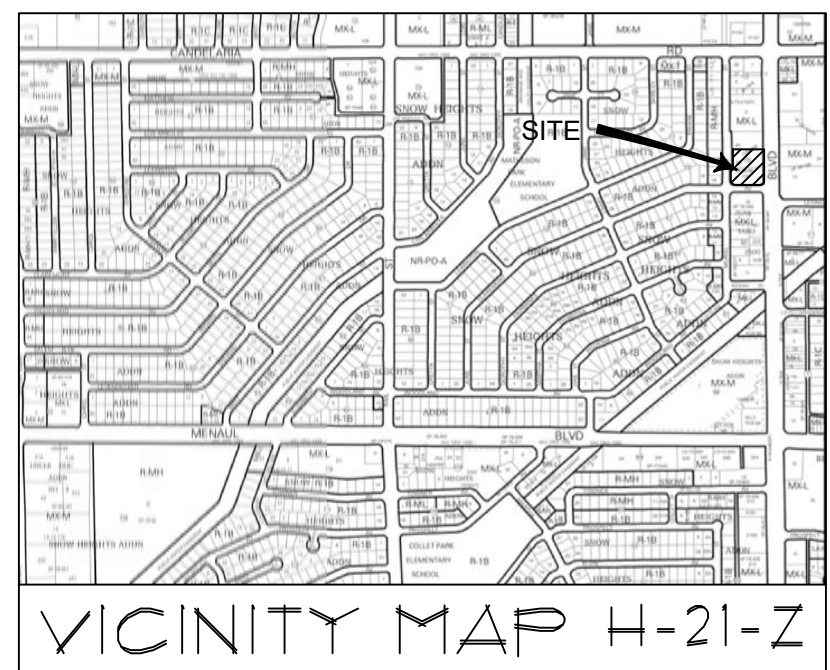
TRACT B-2 and 13a, BLOCK 79, SNOW HEIGHTS ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BASIS OF ELEVATIONS

ELEVATION DATUM IS BASED ON 1988 FROM AGRS MONUMENT "10_H22" AT EXISTING CURB AND GUTTER AT ROADWAYS

GENERAL NOTES

A FIELD VERIFY ALL SPOT ELEVATIONS SHOWN AT EXISTING CURB AND GUTTER AT ROADWAYS



PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR (SPECIAL ORDER 19 - '90-'19')

- BUILD SIDEWALK CULVERT PER COA STD. DUG. 2236.
- CONTACT STORM DRAIN MAINTENANCE AT (505) 851-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE, DIAL "811", OR CALL (505) 260-1990, FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- CONTRACTOR MUST CONTACT STORM DRAIN MAINTENANCE AT (505) 851-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTION, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

KEYED NOTES

- ASPHALT PAVING PER DETAIL 1/C201
- CONCRETE PAVING PER DETAIL 2/C201
- CONCRETE CURB AND GUTTER PER DETAIL 3/C201
- 2'-0" WIDE CURB BREAK FOR DRAINAGE CONVEYANCE
- 4'-0" WIDE X 10'-0" GRAVEL RIPRAP ROUNDOFF
- 2'-0" WIDE SIDEWALK CULVERT PER CITY OF ALBUQUERQUE STANDARD DRAWING #2236
- REMOVE AND REPLACE EXISTING CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD DRAWING #2415A
- REMOVE AND REPLACE EXISTING SIDEWALK PER CITY OF ALBUQUERQUE STANDARD DRAWING #2430
- REMOVE AND REPLACE EXISTING DRIVE ACCESS PER CITY OF ALBUQUERQUE STANDARD DRAWING #2426
- CONCRETE CATCH BASIN PER DETAIL 4/C201 - TG+03.00 INV OUT = 01.80
- 8" FVC C300 STORM DRAIN - 1% SLOPE
- CONCRETE POND OVERFLOW ROUNDOFF PER DETAIL 5/C201
- CONCRETE ISLAND PER DETAIL 6/C201

Hydrology Calculations

Nusenda @ 2801 Juan Tabo NE - Site Area = 1.292 acres
Design Criteria: City of Albuquerque Development Process Manual - June 2020
Chapter 6 Drainage, Flood Control, and Erosion Control
Procedure for 40-Acre and Smaller Basins
Precipitation Zone 3 per Section 6-2(A)(1), Table 6.2.7 and Figure 6.2.3
Excess Precipitation, E, per Table 6.2.13
Peak Discharge for Small Watersheds: per Table 6.2.14

PRE-DEVELOPED CONDITIONS - Entire Site

Land Treatment	Area (ac)	Excess Precip. "E" (in)	Peak Q (cfs/acre)	Coefficient C
A	0.000	0.67	1.84	0.37
B	0.417	0.86	2.49	0.50
C	0.000	1.09	3.17	0.64
D	0.876	2.58	4.49	0.91

Weighted E: [(0.417 x 0.86) + (0.876 x 2.58)] / 1.292 = 2.027 in
V₃₀ = 2.027 x 1.292 x 43560 / 12 = 9505 CF
Total Q_p = (0.417 x 2.49) + (0.876 x 4.49) = 4.97 CFS

POST-DEVELOPED CONDITIONS - Entire Site

Land Treatment	Area (ac)	Excess Precip. "E" (in)	Peak Q (cfs/acre)	Coefficient C
A	0.000	0.67	1.84	0.37
B	0.376	0.86	2.49	0.50
C	0.000	1.09	3.17	0.64
D	0.916	2.58	4.49	0.91

Weighted E: [(0.376 x 0.86) + (0.916 x 2.58)] / 1.292 = 2.08 in
V₃₀ = 2.08 x 1.292 x 43560 / 12 = 9755 CF
Total Q_p = (0.376 x 2.49) + (0.916 x 4.49) = 5.05 CFS

Rational Method Check: 12-minute Peak Intensity, I = 4.96 in/hr
Q = CIA = (0.50 x 4.96 x 0.376) + (0.91 x 4.96 x 0.916) = 5.066 CFS OK

Storm Water Quality Volume, (SWQV)
Impervious Area = 0.916 ac
BMP Volume Required: 0.42" x 0.916 ac x 43560 / 12 = 1397 CF

DEVELOPED CONDITIONS - BASIN I

Land Treatment	Area (ac)	Excess Precip. "E" (in)	Peak Q (cfs/acre)	Coefficient C
A	0.000	0.67	1.84	0.37
B	0.114	0.86	2.49	0.50
C	0.000	1.09	3.17	0.64
D	0.101	2.58	4.49	0.91

Weighted E: [(0.114 x 0.86) + (0.101 x 2.58)] / 0.215 = 1.67 in
V₃₀ = 1.67 x 0.215 x 43560 / 12 = 1303 CF
Total Q_p = (0.114 x 2.49) + (0.101 x 4.49) = 0.358 CFS

Pond 1

VOLUME:	Contour	Area	Volume
	14.38	1666 SF	561 CF
	14.00	1285 SF	859 CF
	13.00	432 SF	267 CF
	TOTAL	1420 CF	> 1303 CF OK

DEVELOPED CONDITIONS - BASIN II

Land Treatment	Area (ac)	Excess Precip. "E" (in)	Peak Q (cfs/acre)	Coefficient C
A	0.000	0.67	1.84	0.37
B	0.262	0.86	2.49	0.50
C	0.000	1.09	3.17	0.64
D	0.815	2.58	4.49	0.91

Weighted E: [(0.262 x 0.86) + (0.815 x 2.58)] / 1.077 = 2.16 in
V₃₀ = 2.16 x 1.077 x 43560 / 12 = 8451 CF
Total Q_p = (0.262 x 2.49) + (0.815 x 4.49) = 4.312 CFS

Storm Water Quality Volume (SWQV) Required: Impervious Area = 0.815 AC
Redeveloped Site Rainfall = 0.26"
SWQV Req'd = 0.26" / 12 in/ft x 0.815 AC x 43560 sq/AC = 769.2 CF

SWQV POND 2 VOLUME:

Contour	Area	Volume
07.40	1300 SF	427 CF
07.00	928 SF	309 CF
06.00	594 SF	198 CF
	Sub total	1207 CF

SWQV BMP 2 VOLUME:

Contour	Area	Volume
10.95	420 SF	140 CF
10.00	336 SF	112 CF
	Total Volume	1566 CF > 769.2 CF OK

LEGEND

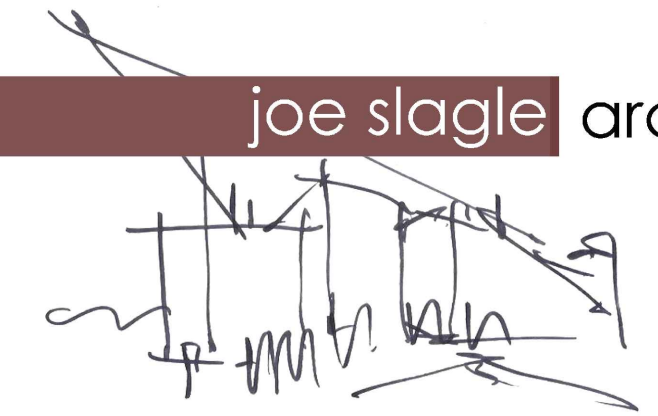
- PROPERTY LINE
- NEW BUILDING LINE
- EXISTING CONTOUR
- NEW CONTOUR
- NEW SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- SWALE
- FINISH FLOOR
- TOP OF ASPHALT
- TOP OF CONCRETE OR CURB
- FLOW LINE
- TOP OF GRADE
- INVERT
- ROOF DRAIN LOCATION
- NEW CONCRETE PAVING/SIDEWALK
- NEW AC PAVING
- BASIN BORDER LINE

Grading & Drainage Design Narrative

Subject Property: Nusenda Credit Union - 2801 Juan Tabo NE, Albuquerque, NM
Area of Site: 1.292 Acre
Reference: City of Albuquerque Development Process Manual (DPM)
Project Description: The development is the construction of a new 3500 SF, single story structure with a drive up banking canopy and new concrete and asphalt paved access sidewalks and vehicle parking.
Predeveloped Conditions: The existing site is two lots that will be combined into one. The southern lot has an existing bank building that will be demolished along with the existing paving to create the new facility while the northern lot has some broken paved surfaces that will be removed. The site will be regraded and the new building will be constructed north of the existing building pad. Both of the current lots direct runoff from east to west across the site in sheet flow pattern that ends up in Muriel St. at the west border of the site. From there the developed runoff appears to proceed west on surface facilities in Claremont Ave. eventually ending up in the Piedra Lisa Arroyo or below grade storm drain in Menaul Blvd.
Developed Runoff: The new development will remove all existing structures and regrade the entire site. Basin I encompasses only the new building and the landscaped area on the NEC of the site. This basin will have a pond that will capture all of the 100-yr runoff volume. Basin II is basically the rest of the site and will have two smaller BMP areas along with a retention pond located at the SWC of the site. These facilities will capture a runoff volume exceeding the required Storm Water Quality Volume (SWQV) for a redeveloped site. Excess runoff volume will discharge to Muriel St. as it has previously but the new development will reduce this historic runoff volume and flow considerably.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 08/25/22
BY: *Renee C. Brissett*
HydroTrans # H21D020

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND DOES NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTION OR ERROR OR DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTIONS. SUCH APPROVED PLANS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.



KEYED NOTES:

- [S1] NEW SMOOTH TEXTURE SYNTHETIC STUCCO SYSTEM OVER LATH AND VAPOR BARRIER. COLOR-NUSENDA GREEN
- [S2] NEW SMOOTH TEXTURE SYNTHETIC STUCCO SYSTEM OVER LATH AND VAPOR BARRIER. COLOR-PALE BLUE
- [ZP] ZINC PANELS
- [MT] METAL TRIM TO MATCH METAL PANELS
- [GMP] CORRUGATED GALVALUME METAL PANELS
- [PMP] PRE-FINISHED PERFORATED METAL PANELS-SILVER
- [WDW] INSULATED LOW-E GLASS WINDOW IN CLEAR ANOD. ALUM. FRAME
- [FGW] INSULATED LOW-E FROSTED GLASS WINDOW IN CLEAR ANOD. ALUM. FRAME
- [CW] POURED IN PLACE CONCRETE WALL
- [STL] PAINTED STEEL-WHITE
- [MR] PRE-FINISHED STANDING SEAM METAL ROOF-WHITE
- [SPF] STEEL PICKET FENCE-PAINTED DARK GRAY
- [SIGN] INTERNALLY ILLUMINATED LOGO AND SIGN



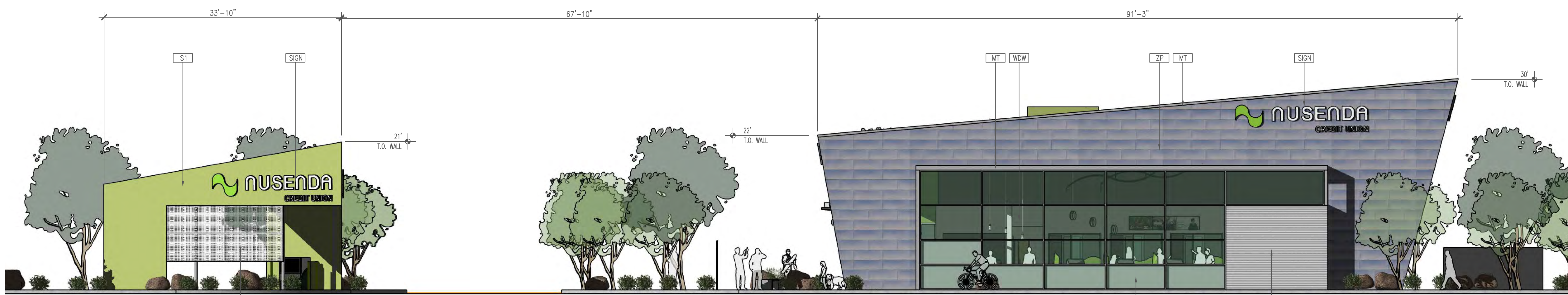
1 | north elevation
A201 | 1/8"=1'-0"



2 | south elevation
A201 | 1/8"=1'-0"



3 | west elevation
A201 | 1/8"=1'-0"



4 | east elevation
A201 | 1/8"=1'-0"

ELEVATIONS

A NEW BRANCH FOR:



revisions

date:
6-27-22
sheet:
A201

ALSO SEE DRAWING 2/A001: GEOGRAPHIC RESPONSIVENESS DIAGRAM



4 | may 21 at 4:00 pm
 A202



4 | west facade
 A202



4 | may 21 at noon
 A202



4 | november 21 at noon
 A202



4 | may 21 at 9:00 am
 A202

SUN SHADE ANALYSIS

A NEW BRANCH FOR:



2801 JUAN TABO BLVD NE
 ALBUQUERQUE, NM



revisions

date:
 6-27-22
 sheet:
 A202

ROOFTOP MECHANICAL EQUIPMENT IS BEHIND THIS MECHANICAL SCREEN WALL. THE EQUIPMENT IS NOT VISIBLE BECAUSE THE SCREEN WALL IS HIGHER THAN THE EQUIPMENT.



ROOFTOP MECHANICAL EQUIPMENT IS BEHIND THIS MECHANICAL SCREEN WALL. THE EQUIPMENT IS NOT VISIBLE BECAUSE THE SCREEN WALL IS HIGHER THAN THE EQUIPMENT.





NUSENDA
CREDIT UNION

NUSENDA

NUSENDA





NUSENDA

NUSENDA
NATURE'S ENERGY

NUSENDA

NUSENDA



NUSENDA
CREDIT UNION

NUSENDA
CREDIT UNION

NUSENDA
CREDIT UNION











PR-2022-007701_SI-2022-01868_Site_Plan_Approved_2-1-23












Final Audit Report

2023-02-27

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