

October 26, 2022

**Re: Project no. PR-2022-007701, Application no. SI-2022- 01868
New Branch office for Nusenda Credit Union at 2801 Juan Tabo NE, Abq NM.**

DRB members and planning staff,

The following are responses describing how we comply or are addressing staff comments to follow IDO and other requirements for site plan approval:

Planning:

1. Comments 1 through 4: Platting action to remove the property line separating the two properties is currently underway. The recorded plat will be provided prior to our next DRB hearing date.
5. All sheets submitted have stamps from registered professionals. All future sheets submitted will be stamped by registered professionals.
6. The project number and application numbers have been added to the site plan (attached.)
7. This project is not affiliated with or located in Atrisco Business Park.
8. 4-2. Table 4-2-1, Bank is an allowable use under MX-L Zoning.
5-1. Table 5-1-2: Front setback is 17'-7" (min. 5') Side setback is 24'-2" at north, 34' at south (min. 0 interior lot line, 5' at corner) Rear setback is 115' (min 15')
5-3. Access and connectivity has been approved by Transportation. See approved TCL.
c. 5-5. Table 5-5-1, Parking requirements and calculations are shown on the site plan.
5-6. Landscape calculations are in compliance and shown on the landscape plan. The mechanical screens on the roof are shown on the elevations.
5-7. Separate permits for fences. Acknowledged.
5-8. A note has been added to detail 3/A002 to comply with all night sky ordinances and IDO 5-8 requirements. (attached)
5-11. The elevations show that the project meets and exceeds the development standards as listed in 5-11. I am attaching some model views to further explain this.
5-12. The signs as shown on the elevations are in compliance with IDO 5-12 as they pertain to MX-L.

Code Enforcement:

1. 20 shrubs and 10 street trees are shown on the landscape plan at the south property line. These are in a landscape buffer that is 15' wide. It is our position that the shrubs and trees, once mature will provide adequate screening.
2. A note has been added to detail 3/A002 to comply with all night sky ordinances and IDO 5-8 requirements. (attached)

Transportation:

1. A full TCL will be provided prior to building permit.
2. Platting action to remove the property line separating the two properties is currently underway. The recorded plat will be provided prior to our next DRB hearing date.

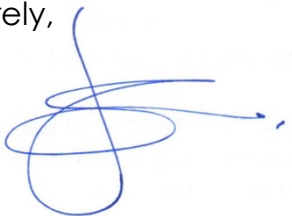
Hydrology: no comments

ABCWUA:

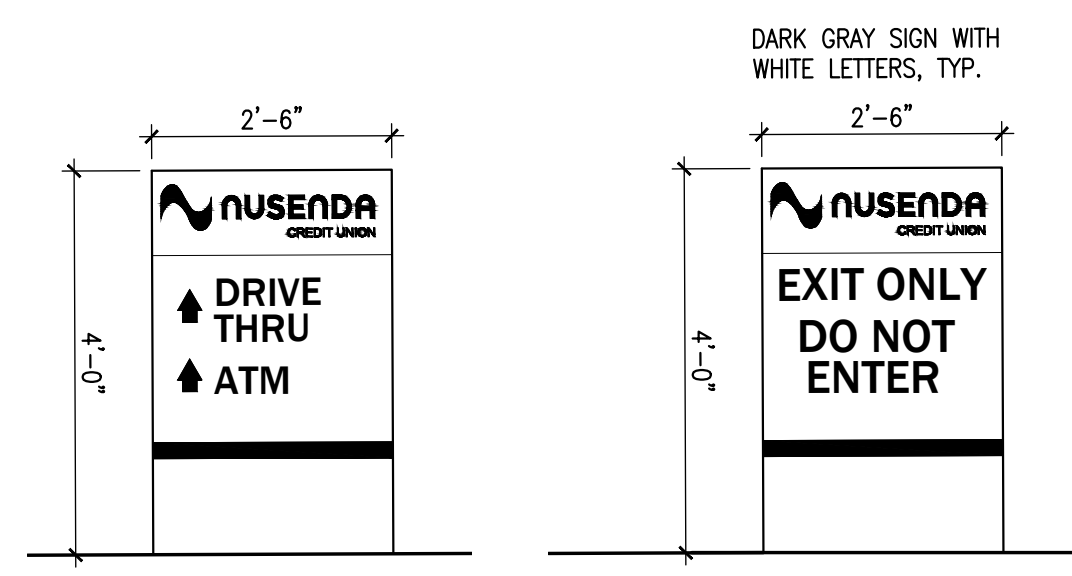
1. Availability statement issued.
2. The water meter to not be located on the sidewalk. See the attached updated site utility plan.
3. Existing services at the property which are not used will be removed and capped. A note has been added to the Site Utility Plan (attached)

Parks and Recreation: no comments

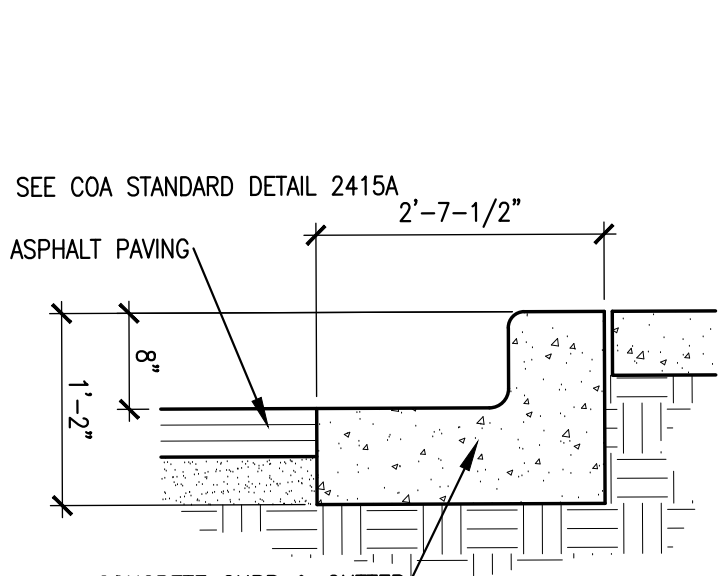
Sincerely,

A handwritten signature in blue ink, consisting of several overlapping loops and a long horizontal stroke extending to the right.

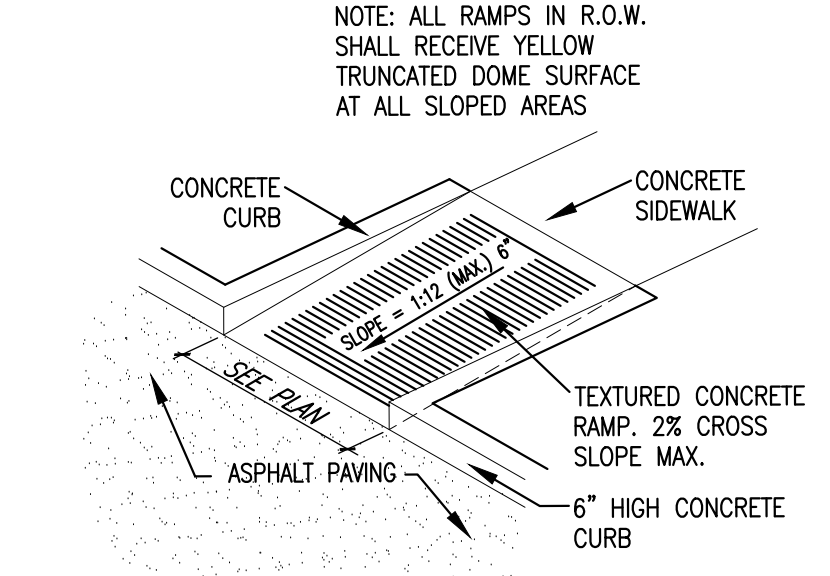
Joe Slagle Architect, Inc



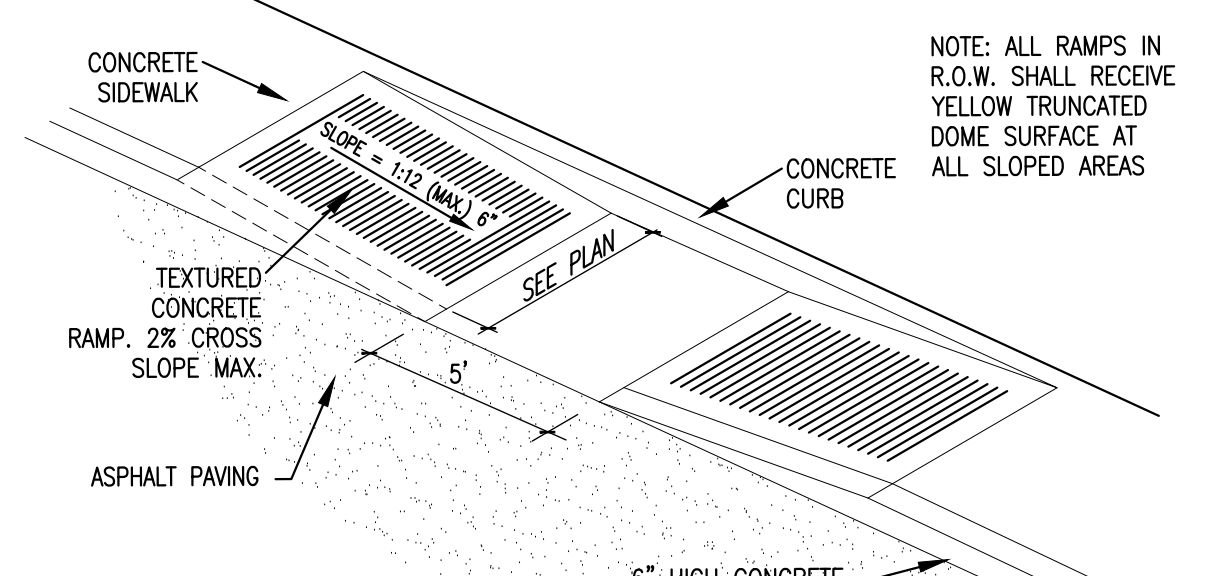
19 | directional sign A002 1/2"=1'-0"
18 | directional sign A002 1/2"=1'-0"



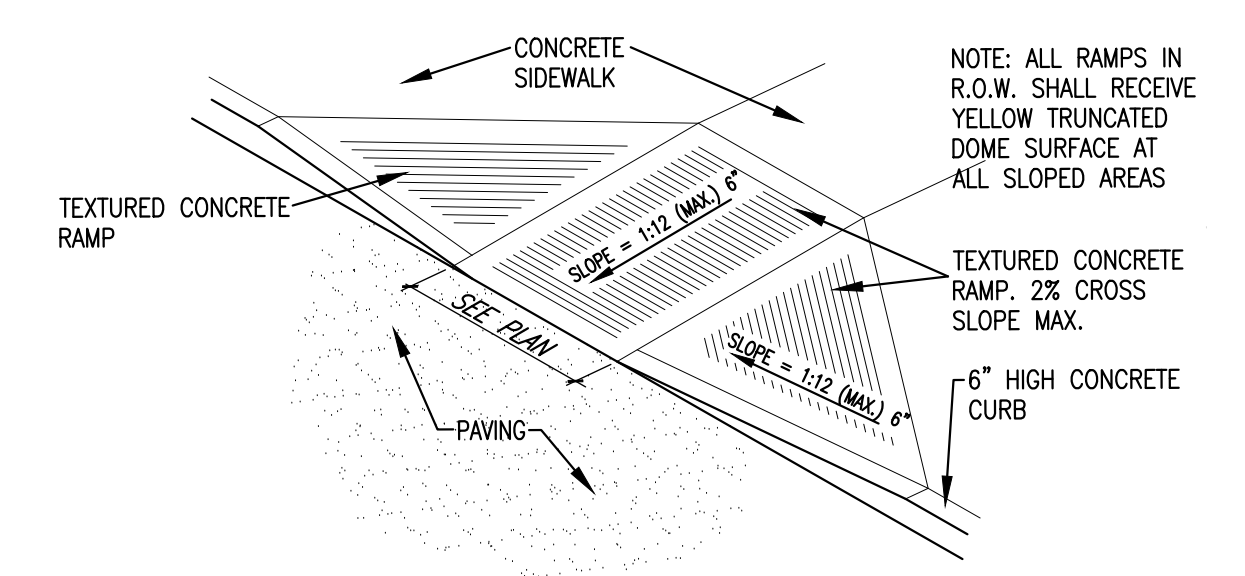
16 | curb and gutter A002 1"=1'-0"



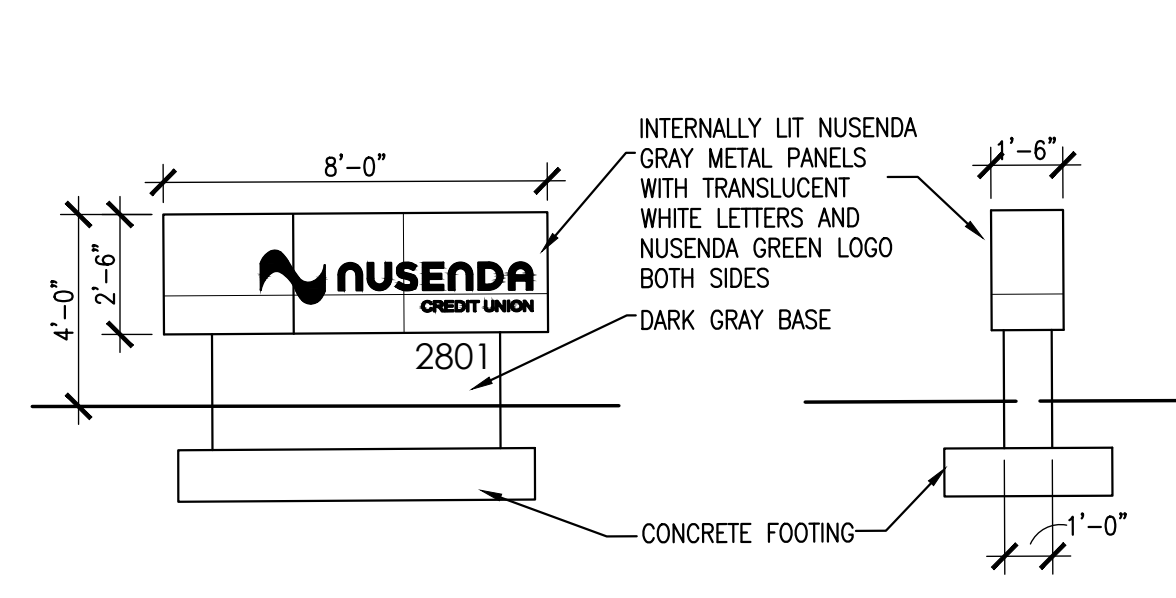
15 | ADA parking ramp detail A002 1/4"=1'-0"



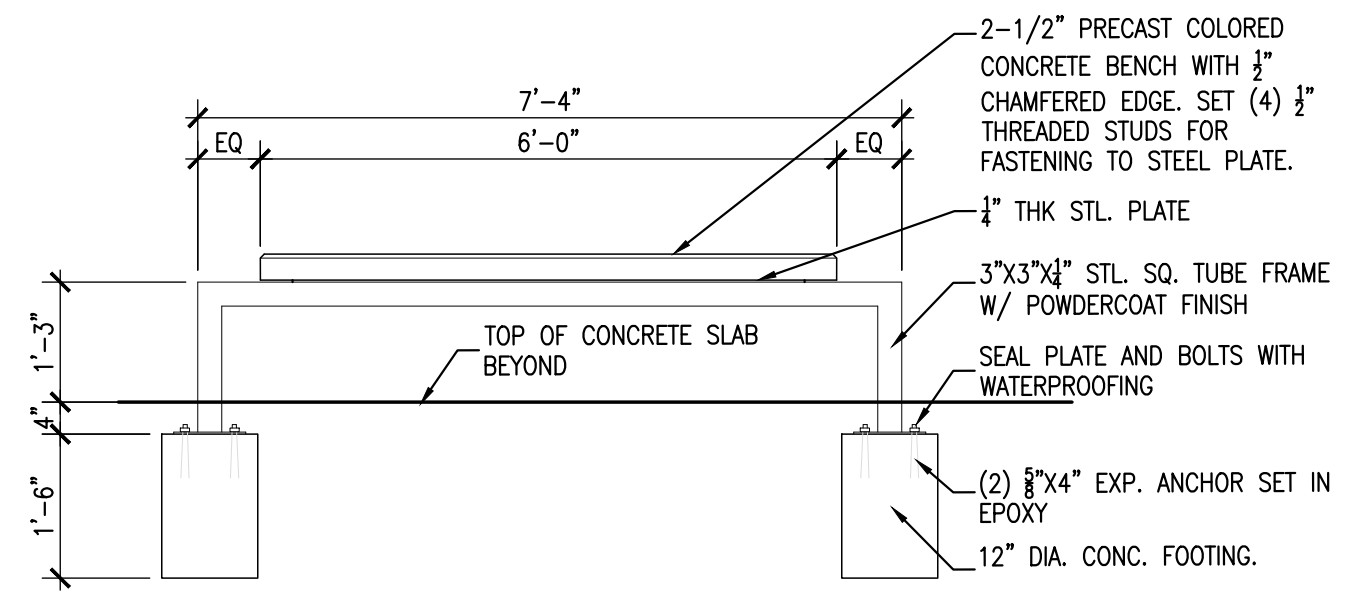
14 | ADA parking ramp detail A002 1/4"=1'-0"



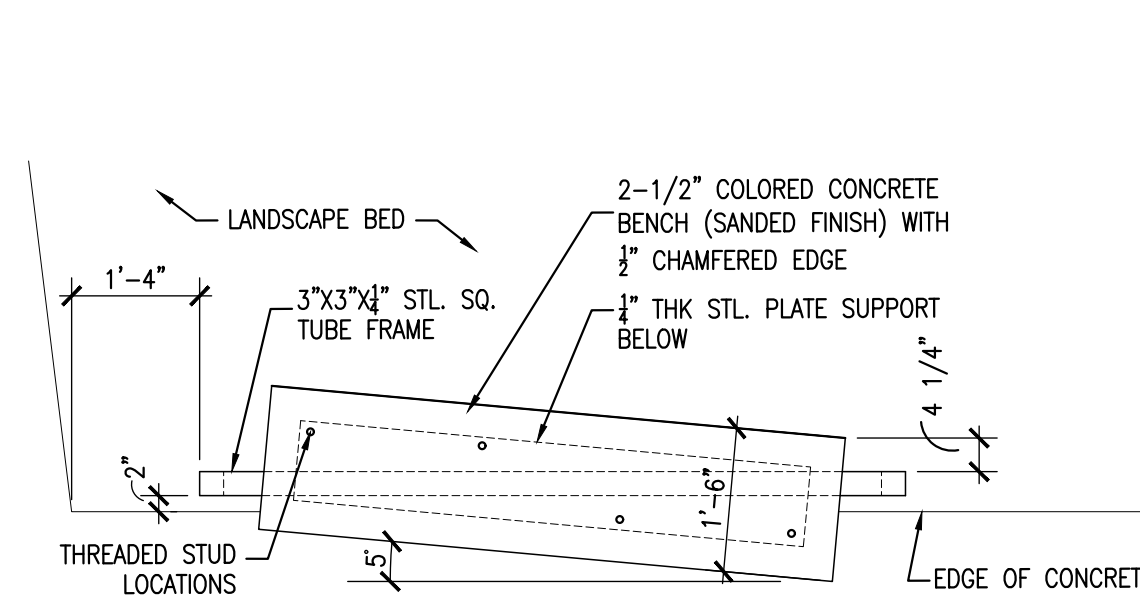
13 | ADA parking ramp detail A002 1/4"=1'-0"



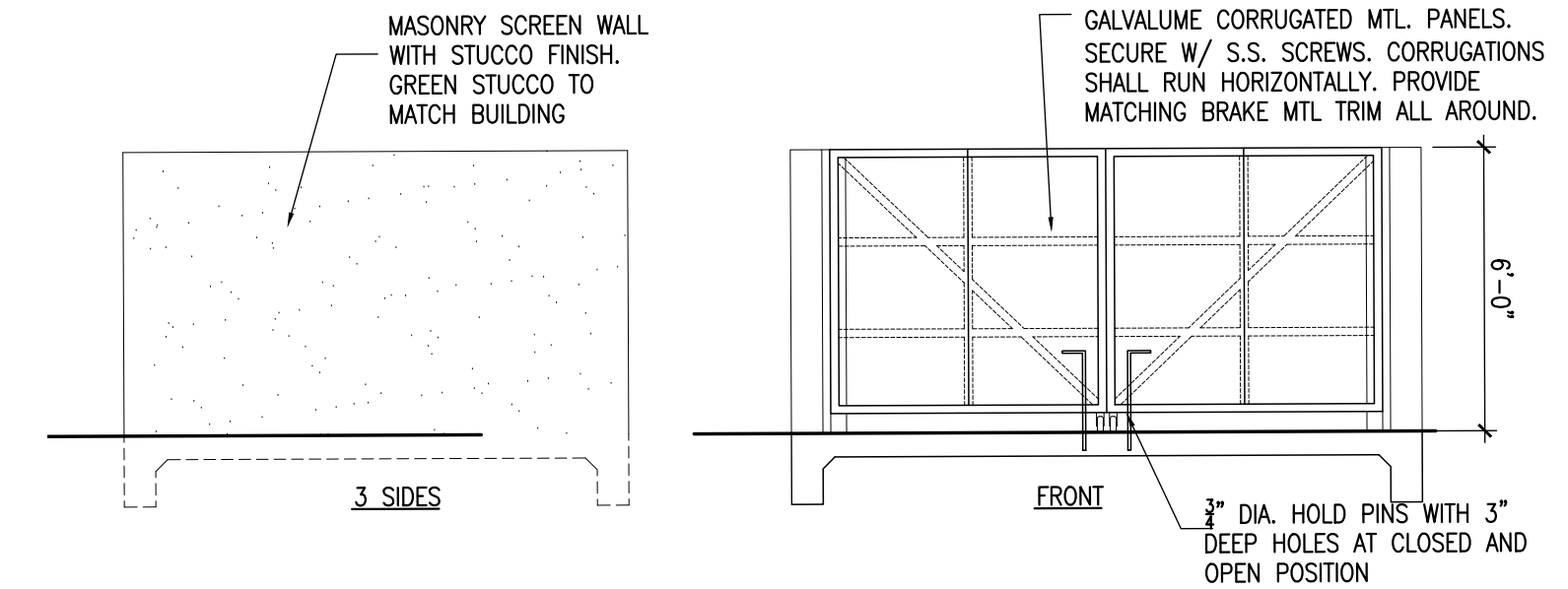
12 | monument sign A002 1/4"=1'-0"



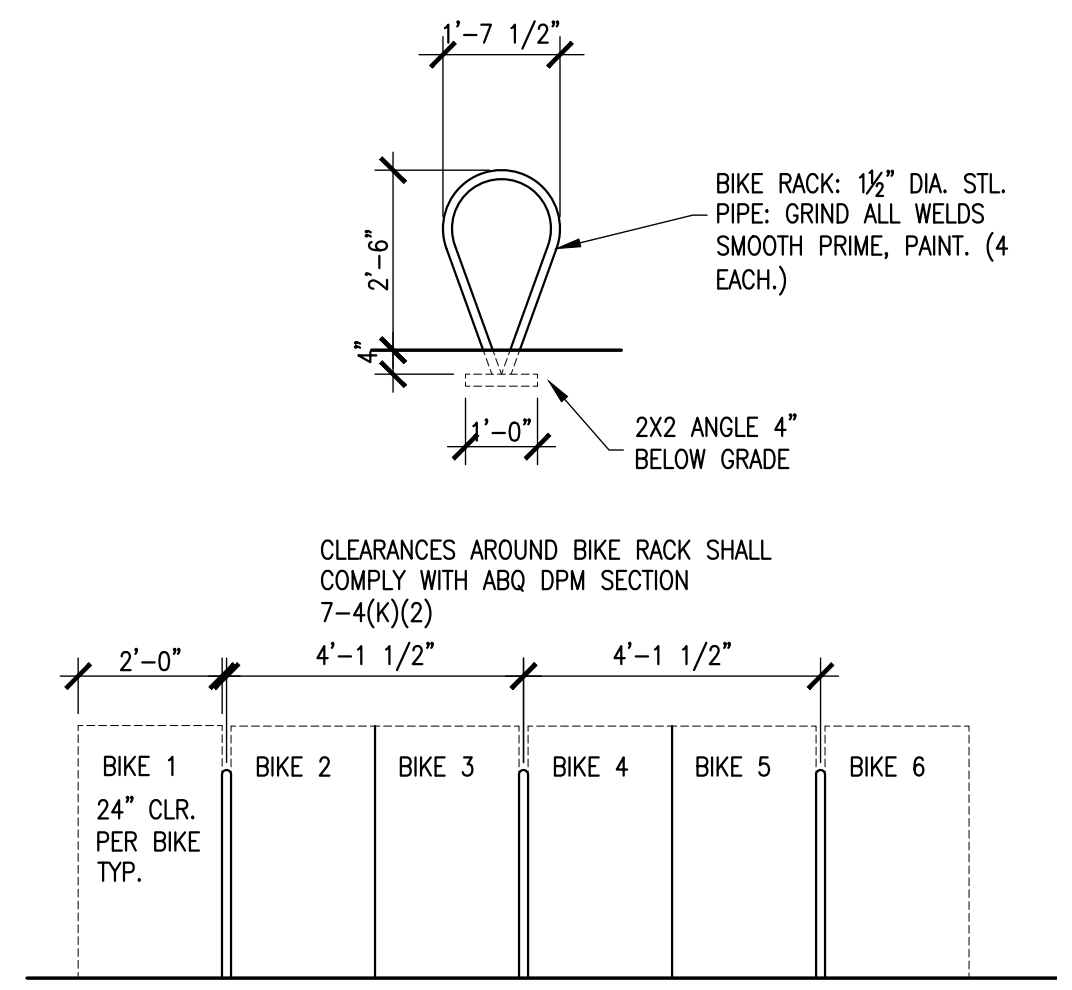
11 | bench elevation A002 1/2"=1'-0"



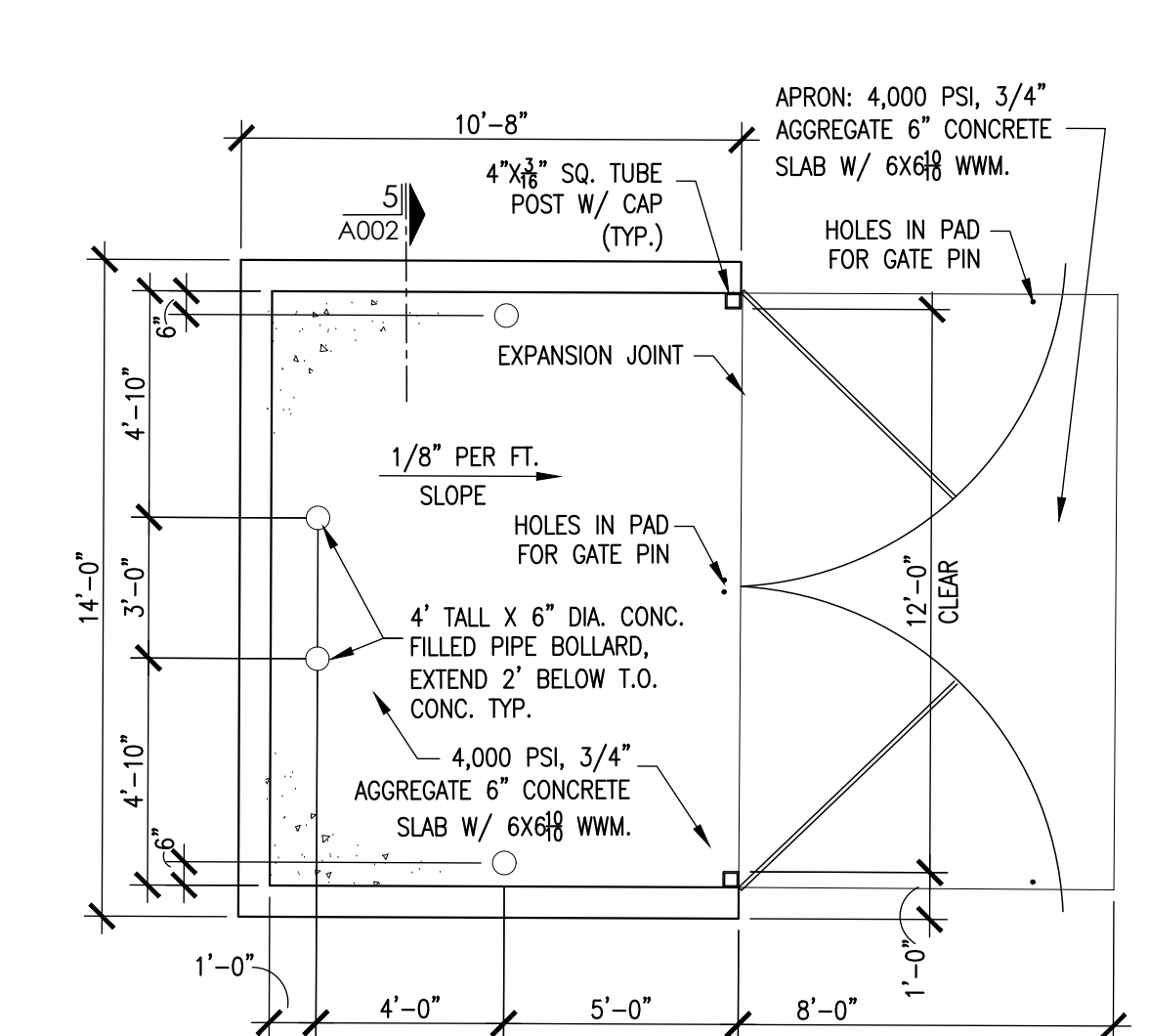
10 | bench plan A002 1/2"=1'-0"



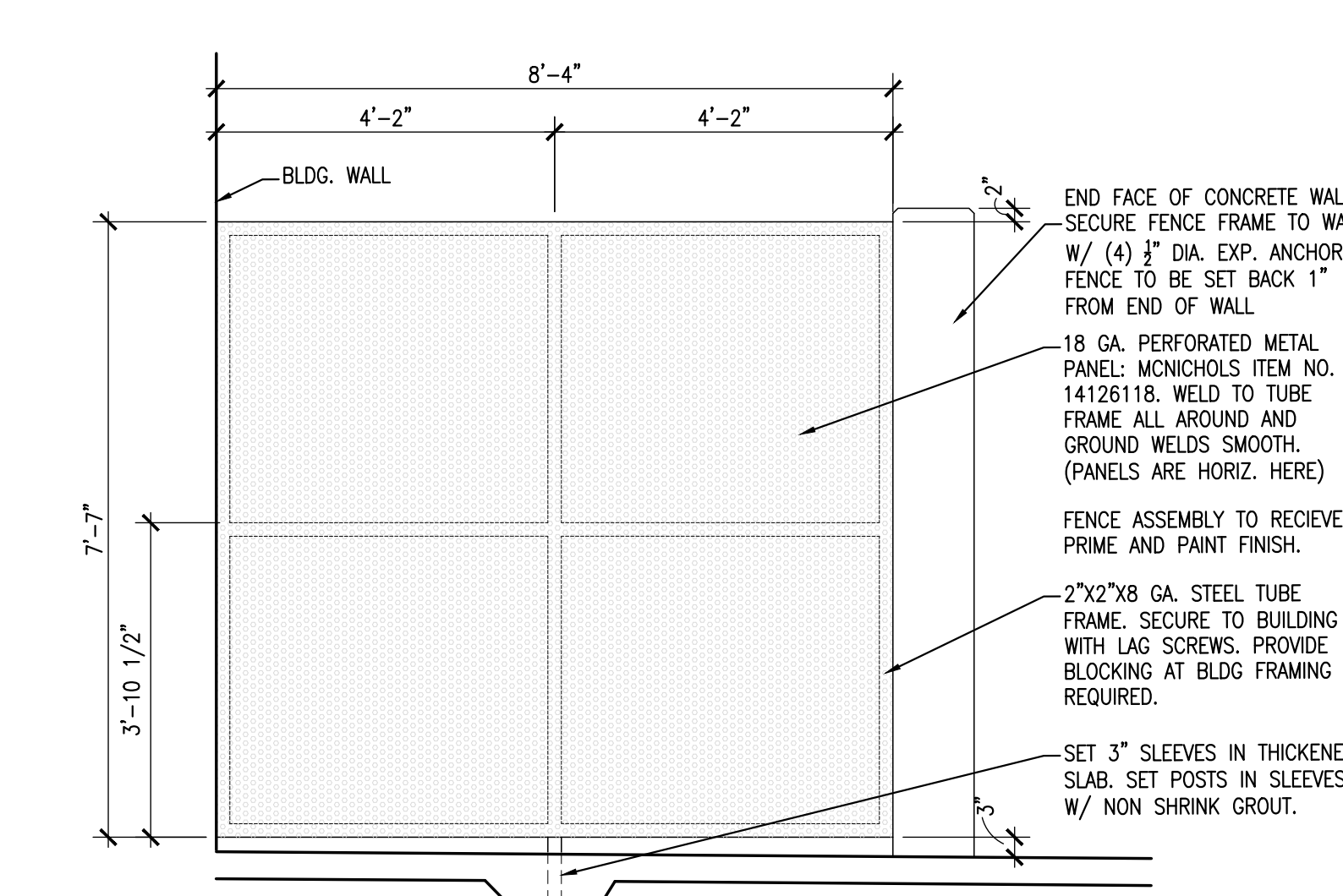
9 | dumpster enclosure elevations A002 1/4"=1'-0"



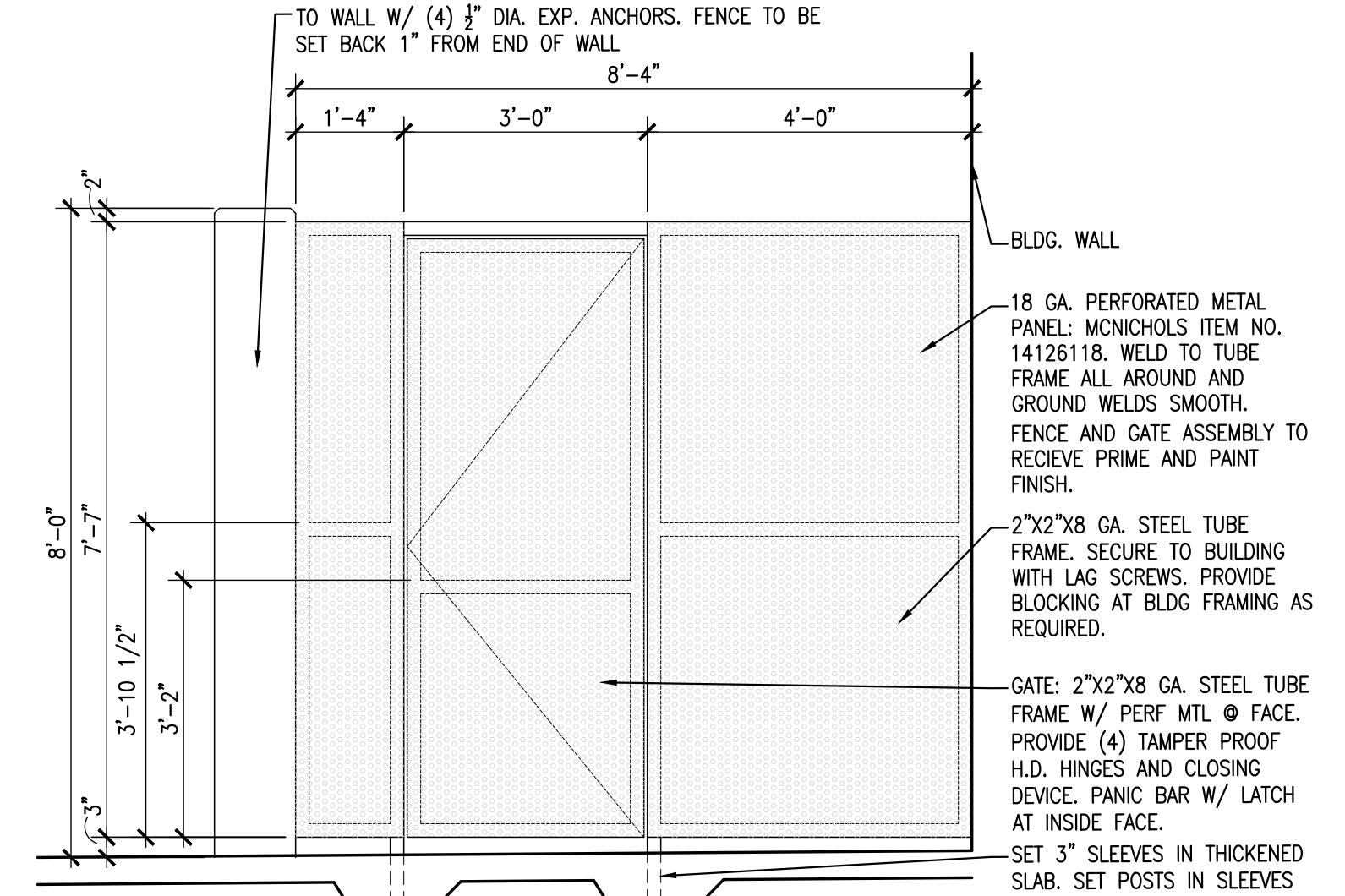
17 | bike rack A002 3/8"=1'-0"



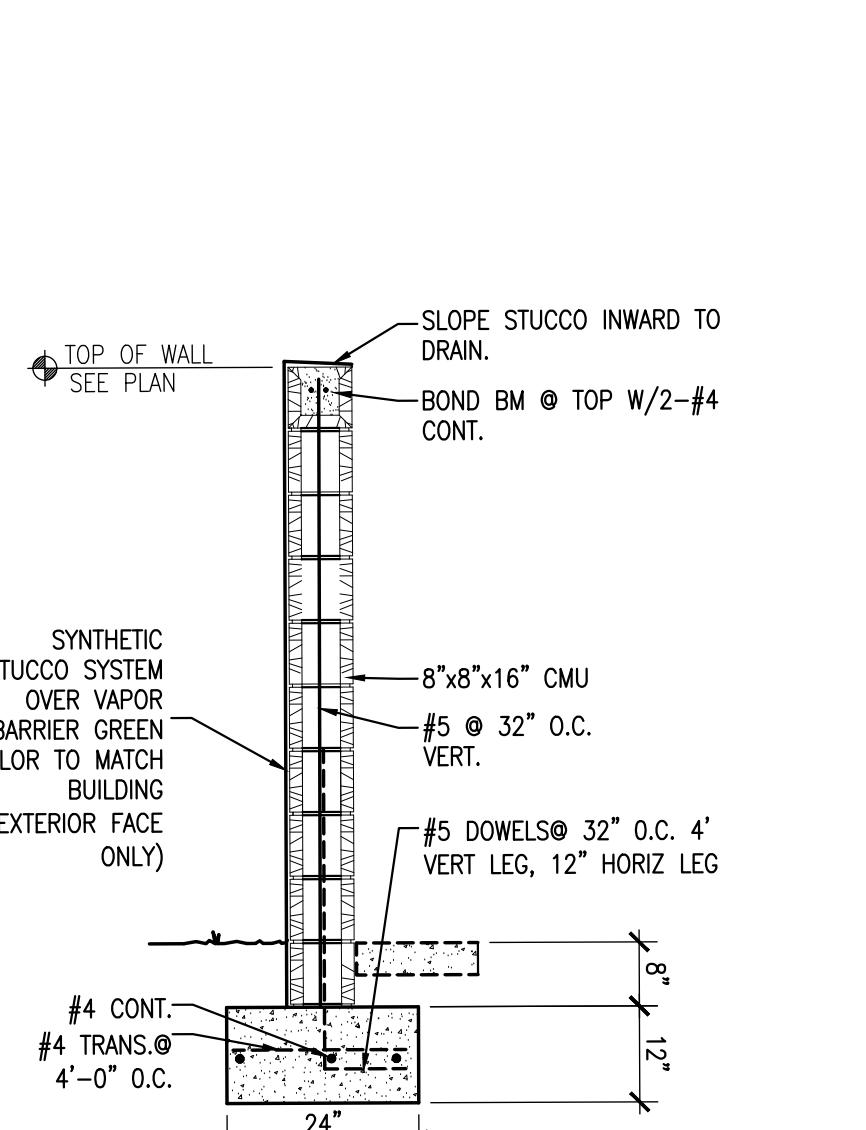
8 | dumpster enclosure plan A002 1/4"=1'-0"



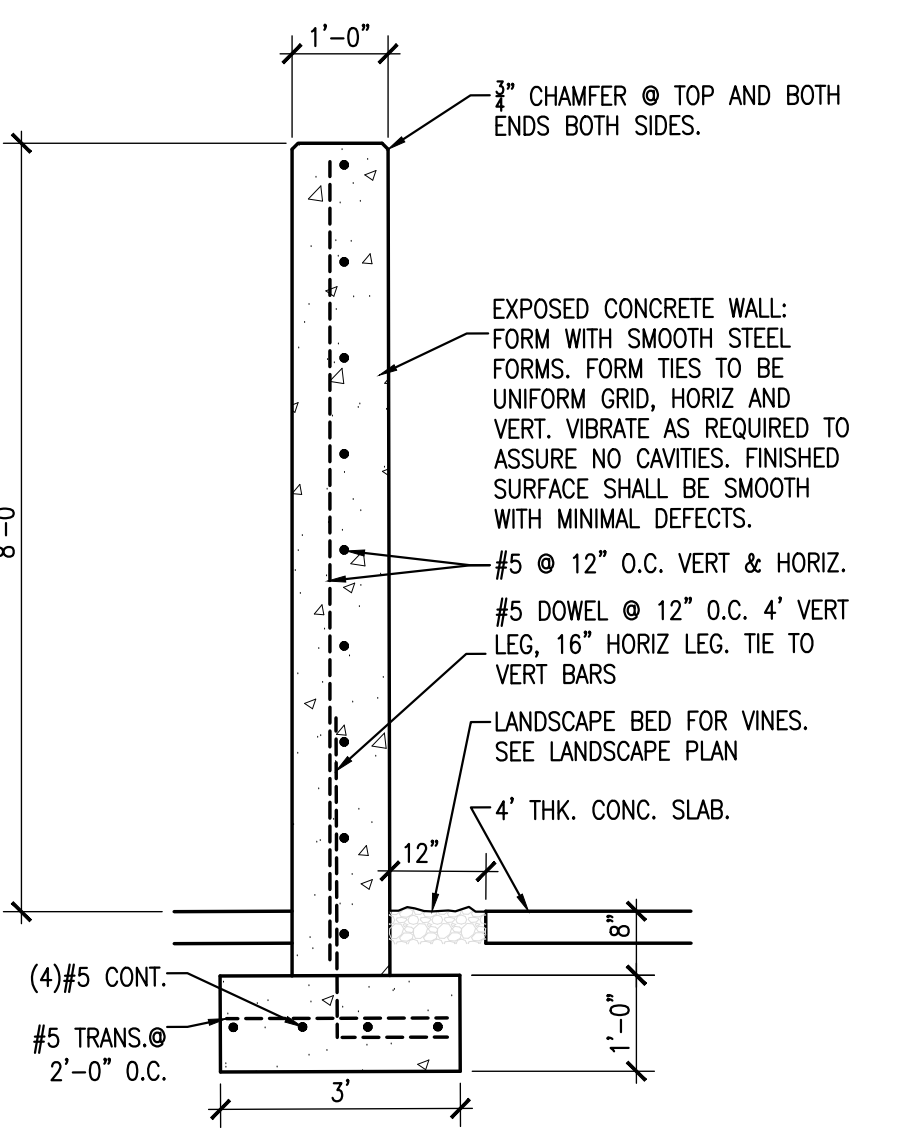
7 | patio fence north elevation A002 1/2"=1'-0"



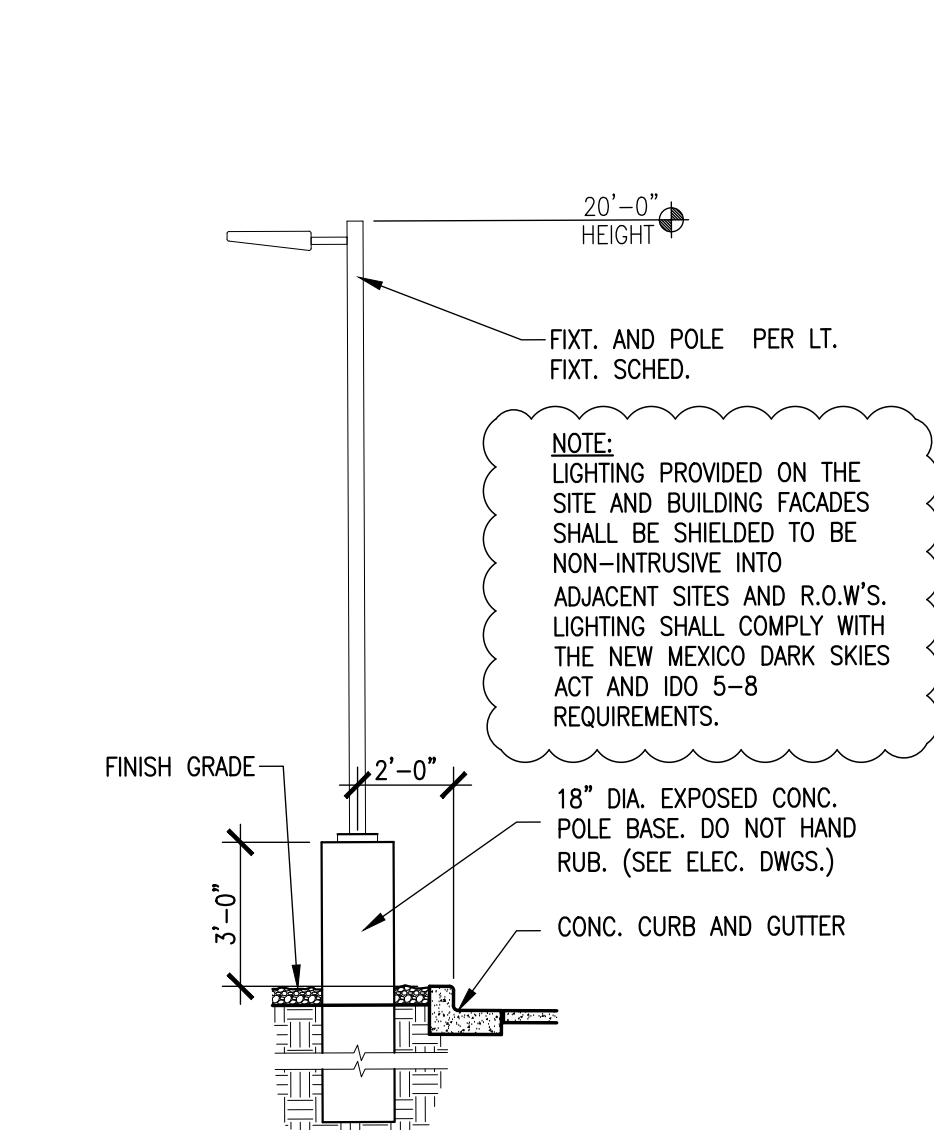
6 | patio fence south elevation A002 1/2"=1'-0"



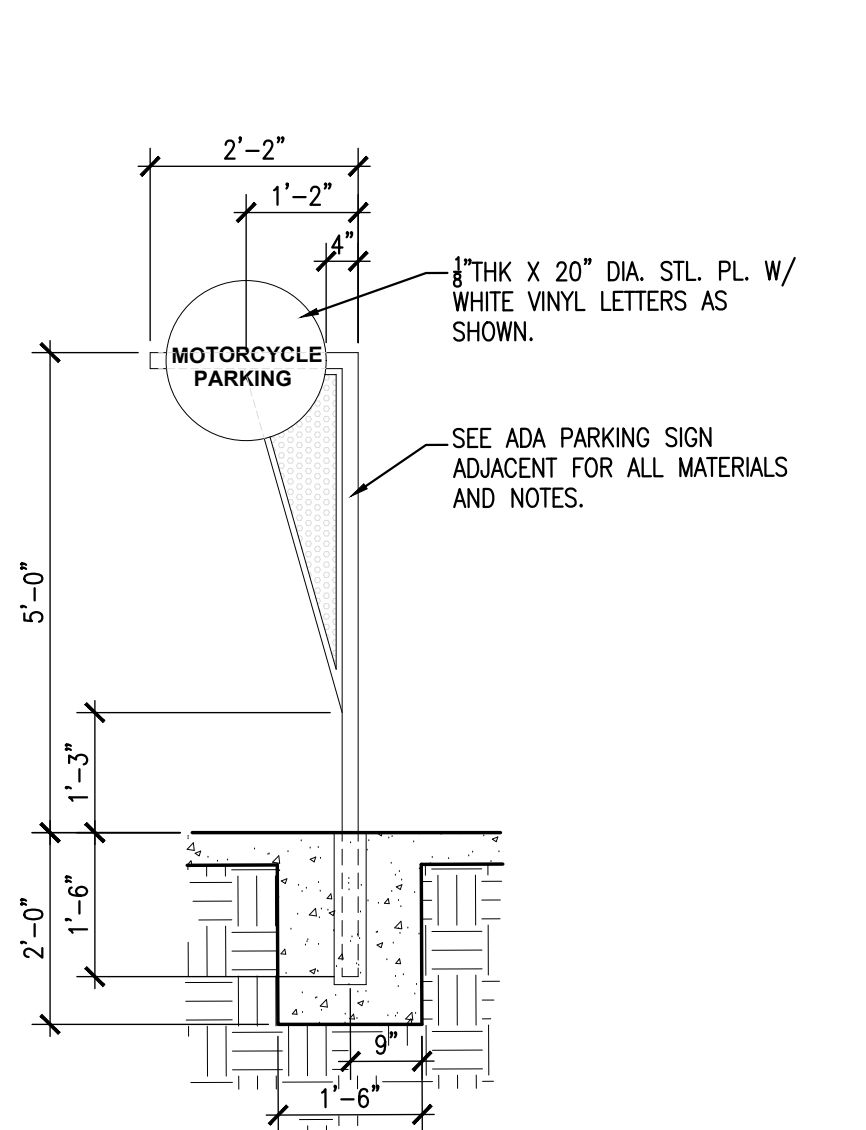
5 | dumpster enclosure wall section A002 1/2"=1'-0"



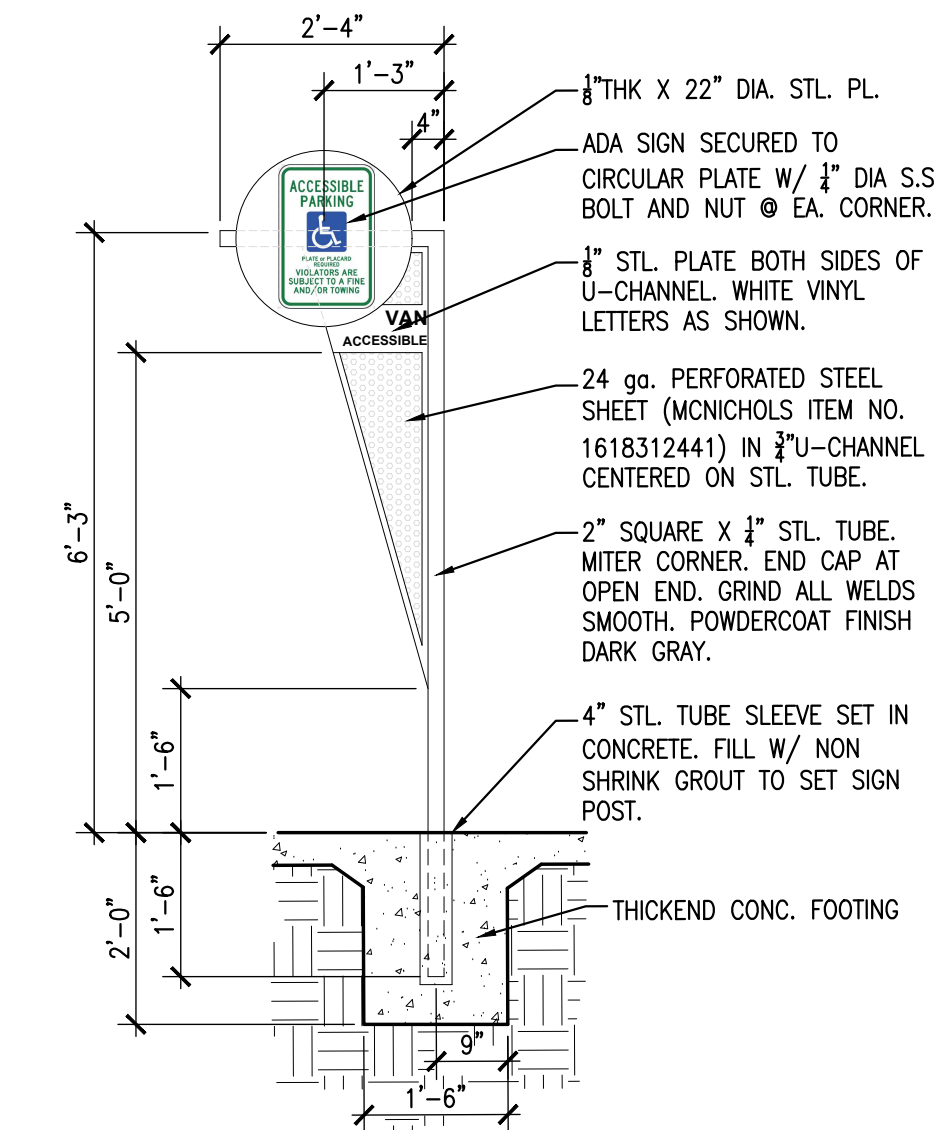
4 | concrete wall section A002 1/2"=1'-0"



3 | light pole detail A002 1/4"=1'-0"



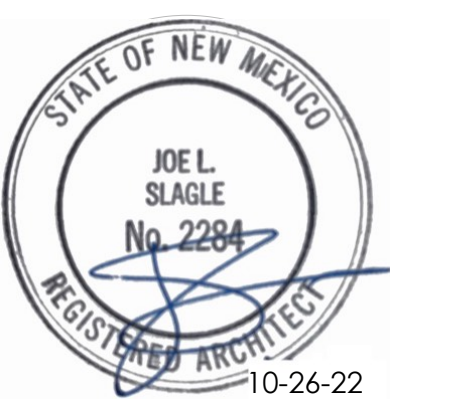
2 | motorcycle parking sign A002 1/2"=1'-0"



1 | ADA Parking sign A002 1/2"=1'-0"

SITE DETAILS

A NEW BRANCH FOR:



revisions

10-26-22 DRB COMMENT

date:
8-30-22
sheet:
A002



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CREDIT UNION

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