



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.		
SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Forms P2)	<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Forms S & S1)	<input type="checkbox"/> Amendment to Site Plan (Forms P & P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Forms S & S1)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Minor - Final Plat (Forms S & S2)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Forms S & S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	<input type="checkbox"/> Sketch Plan Review and Comment (Form P2)
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input checked="" type="checkbox"/> DRB Site Plan (Forms P & P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		
A new Nusenda Credit Union Branch at 2801 Juan Tabo NE. An existing Nusenda branch on the same property will be removed to make way for the new building. Also new 4 lane drive through canopy.		

APPLICATION INFORMATION		
Applicant/Owner: Nusenda Credit Union		Phone: 505 235 8752
Address: P.O. Box 8530		Email: jeffmartinez@nusenda.org
City: Albuquerque	State: NM	Zip: 87198
Professional/Agent (if any): Joe Slagle		Phone: 505 228 8707
Address: P.O. Box 10362		Email: Joe@slaglearchitect.com
City: Albuquerque	State: NM	Zip: 87184
Proprietary Interest in Site: Architect	List all owners: Nusenda Credit Union	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: Tract 13-A-1	Block: 79	Unit:
Subdivision/Addition: Snowheights addition	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): H-21	Existing Zoning: MX-L	Proposed Zoning: Same
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 1.24
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 2801 Juan Tabo	Between: Claremont	and: Candelaria
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
None found		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: 9-21-22
Printed Name: Joe Slagle	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF *shall be organized* with the Development Review Application and this Form P2 at the front followed by the remaining documents *in the order provided on this form*.

SKETCH PLAN – DRB

SITE PLAN – DRB

MAJOR AMENDMENT TO SITE PLAN – DRB

EXTENSION OF SITE PLAN – DRB

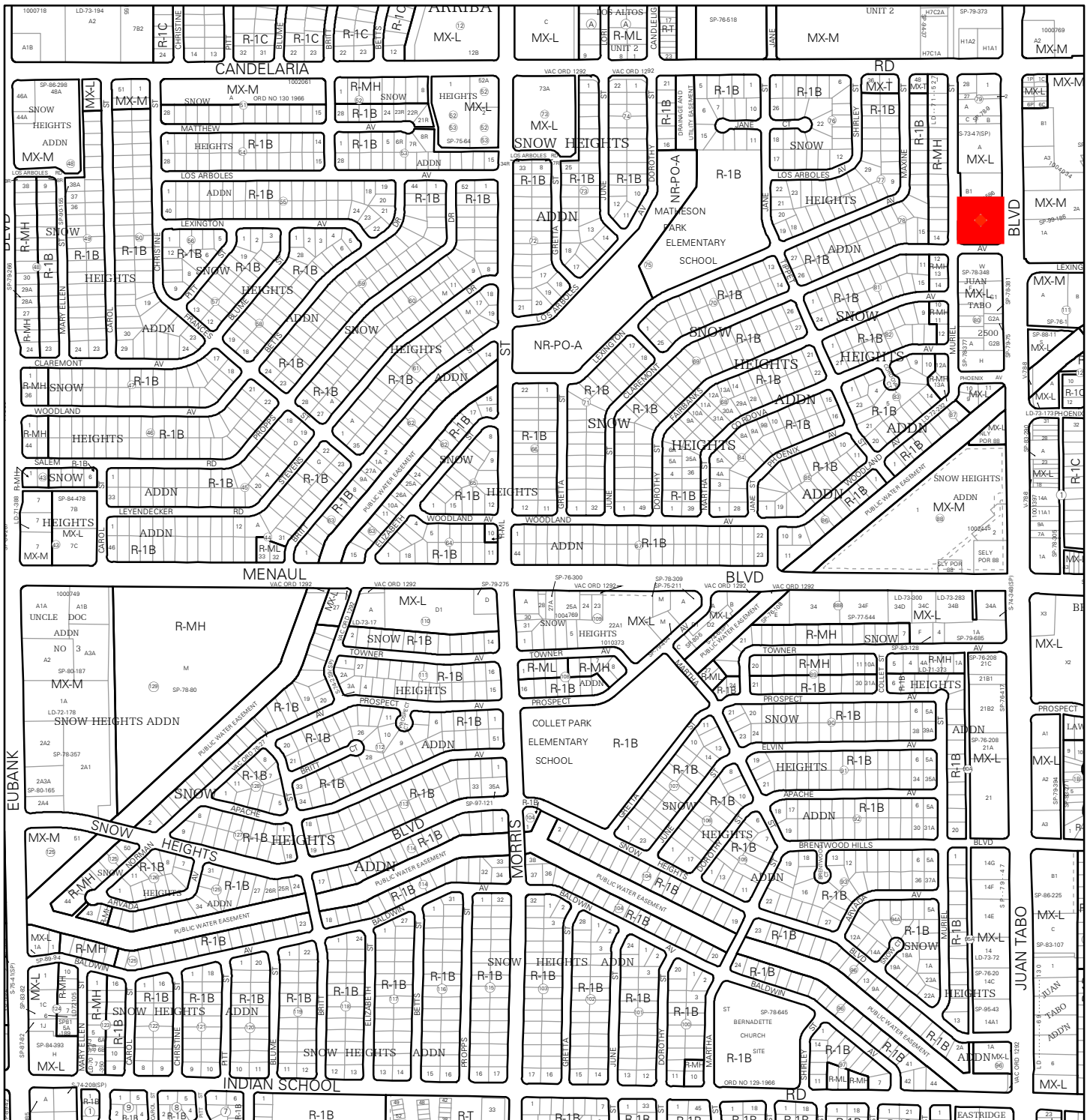
- NA Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- X PDF of application as described above
- X Zone Atlas map with the entire site clearly outlined and labeled
- X Letter of authorization from the property owner if application is submitted by an agent
- NA Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (*not required for Extension*)
- X Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(l)(3)
- NA Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)
Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.
- X Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) (*not required for Extension*)
- X Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C) (*not required for extension*)
 - X Office of Neighborhood Coordination neighborhood meeting inquiry response
 - X Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - X Completed neighborhood meeting request form(s)
 - NA If a meeting was requested or held, copy of sign-in sheet and meeting notes
- X Sign Posting Agreement
- X Required notices with content per IDO Section 14-16-6-4(K)(1) (*not required for extension*)
 - X Office of Neighborhood Coordination notice inquiry response
 - X Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.
 - X Proof of emailed notice to affected Neighborhood Association representatives
 - X Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing
- X Completed Site Plan Checklist
- X Site Plan and related drawings
- NA Copy of the original approved Site Plan or Master Development Plan (*for amendments and extensions*)
- NA Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)
- X Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily site plans except if the development is industrial or the multifamily is less than 25 units
- NA Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2.)(d.) if site is within a designated landfill buffer zone
- NA Infrastructure List, if required

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS - EPC

Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF *shall be organized* with the Development Review Application and this Form P2 at the front followed by the remaining documents *in the order provided on this form*.

- ___ Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- ___ PDF of application as described above
- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Solid Waste Department signature on Site Plan
- ___ Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- ___ Approved Grading and Drainage Plan
- ___ Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)
- ___ Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- ___ Site Plan and related drawings
- ___ Infrastructure List, if require



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
H-21-Z

- Easement
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Escarpment
 Petroglyph National Monument
 Represents Area Outside of the City Limits

0 250 500 1,000 Feet

May 12, 2022

Planning Department
City of Albuquerque
600 2nd St. NW
Albuquerque, NM 87103

RE: Agency Authorization Letter for 2801 and 2805 Juan Tabo Blvd. NE

Situs Address: 2801 JUAN TABO BLVD NE ALBUQUERQUE NM 87112

Legal Description: LT 13-A BLK 79 SNOW HEIGHTS (A REPL OF LTS 13-16 BLK 79 SNOW HTS & A POR OF VAC JUAN TABO BLVD ROW) CONT 0.6729 AC

Situs Address: 2805 JUAN TABO BLVD NE ALBUQUERQUE NM 87112

Legal Description: TR B-2 BLK 79 PLAT OF TRACTS B-1 AND TRACT B-2, BLOCK 79SNOW HEIGHTS ADDITION CONT .6194 AC

Dear Planning Department:

This letter shall serve as authorization for Slagle Architects to act as agent on our behalf in regard to obtaining Planning Department approvals for the property listed above.

Please let us know if you have any questions or need any additional information. I can be reached directly at 505-235-8752 or Jeffmartinez@nusenda.org

Thank you



Jeff Martinez
Nusenda Credit Union
Director of Real Estate Development
505.872.5260
The Power of WE[®]



September 20, 2022

Re: New Branch office for Nusenda Credit Union at 2801 Juan Tabo NE, Abq NM.

Development Review Board:

We are respectfully submitting for DRB site plan approval for the project described herein.

This development consists of a new Nusenda Credit Union Branch with a separate drive through canopy. The credit union building will be single story, 4226 square feet and the drive through will consist of 4 lanes: 3 interactive teller machines and 2 ATMs.

The property, previously two parcels has been replatted to remove the internal property line. The current property is a single parcel of 1.24 ac. The legal description is tract 13-A-1, Block 79, Snow Heights addition.

The project will consist of the removal of the existing Nusenda Branch which no longer meets the needs of the credit union members, and construction of the new buildings and all associated site work.

We are requesting DRB approval of the site development plan for building permit. If you have any questions or concerns, please feel free to contact me.

Sincerely,

Joe Slagle Architect, Inc

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-207 Date: 10/13/21 Time: N/A (sent via email to)

Address: 2805 Juan Tabo NE

AGENCY REPRESENTATIVES

Planning: Catalina Lehner (clehner@cabq.gov) James Aranda (jmaranda@cabq.gov)

Zoning/Code Enforcement: Angelo Metzgar (ametzgar@cabq.gov)

Fire Marshal: Antonio Chinchilla (achinchilla@cabq.gov) or call 505-924-3611 (if needed)

Transportation: Jeanne Wolfenbarger (jwolfenbarger@cabq.gov)

Hydrology: Ernest Armijo, P.E. (earmijo@cabq.gov)

Solid Waste: Herman Gallegos (hgallegos@cabq.gov)

Water Authority: David Gutierrez - dggutierrez@abcwua.org or call 505.289.3307; 505.241.9630

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.

*Additional research may be necessary to determine the exact type of application and/or process needed.
Factors unknown at this time and/or thought of as minor could become significant as the case progresses.*

REQUEST: New 4000 SF bank w/ separate drive-through.

SITE INFORMATION:

Zone: MX-L

Size: Approx. 1.24 acre (combined)

Use: Mixed-Use Low Intensity

Overlay zone: N/A

Comp Plan Area of: Change

Comp Plan Corridor: Multi-modal

Comp Plan Center: N/A

MPOS or Sensitive Lands: X Flood Zone

Parking: 14-16 5-5

MR Area: Foothills

Landscaping: 14-16 5-6

Street Trees: 14-16 5-6(D)(1)

Use Specific Standards: Allowable Uses, Table 4-2-1

Dimensional Standards: Table 5-1-2: Mixed-use Zone District Dimensional Standards

*Neighborhood Organization/s: District 8 Coalition of Neighborhood Associations

**This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at www.cabq.gov/neighborhoods.resources.*

PROCESS:

Type of Action: 6-6(I) Site Plan

Review and Approval Body: DRB Is this a PRT requirement? Yes (Table 6-1-1)

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-207 Date: 10/13/21 Time: N/A (sent via email)

Address: 2805 Juan Tabo NE

NOTES:

See the **Integrated Development Ordinance**

<https://documents.cabq.gov/planning/IDO/IDO-2019-Effective-2020-11-02.pdf>

Download Forms & Applications

<https://www.cabq.gov/planning/online-forms>

New Public Notice Forms

We have created forms for all email/mailed public notice and for Pre-submittal Neighborhood Meetings.

Please complete these forms for public notice:

- Neighborhood Meeting - <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>
- Public Notice - <http://www.cabq.gov/planning/urban-design-development/public-notice>

Records requests

To request a site plan and/or Notice of Decision, please use ABQ Records web page:

<https://www.cabq.gov/clerk/public-records>

Please include the site's address and the Case Tracking #s (see Zoning Comments) in your request.

Requests to Inspect Public Records

Any person may submit their request to inspect public records to the Office of the City Clerk by clicking on the following link to request records using our ABQ Records portal. <https://cabq.nextrequest.com/>

This enables us to respond to requests in the order in which they are received. Plus, it's a better way to share large files.

File Submittal

For Administrative Amendments, DRB, EPC, hydrology and traffic submittals, e-mail electronic files to PLNDRS@cabq.gov. For questions about an application submittal or the submittal process itself, please contact Jay Rodenbeck at jrodenbeck@cabq.gov and/or to Maggie Gould at mgould@cabq.gov.

For other questions, please contact the Planning representative at the top of the PRT Notes.

For Building Safety Plan Review, contact Building Safety at 924-3963. Website:

<https://www.cabq.gov/planning/building-safety-permits>

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-207 Date: 10/13/21 Time: N/A (sent via email)

Address: 2805 Juan Tabo NE

Zoning Comments

PRT 21-207

PROPERTY INFORMATION

- Address: 2805 Juan Tabo NE
- Lot: B2 Block: 79
- Subdivision: Snow Heights Addition
- Type: Change
- Calculated GIS Acres: 1.24 (combined)
- IDO Zoning: **MX-L**
- Old Zoning Designation: C-1
- Old Zoning Description:
- Old Zoning Category: Commercial

CASE HISTORY

- 1004589

ALLOWABLE USE(S)

- Bank-Permissive Use
- Drive-through- Accessory Use

USE SPECIFIC STANDARDS

- 4-3(D)(23)- Bank
- 4-3(F)(4)- Drive-through

DEFINITIONS

- **Bank** - An establishment that provides retail banking, mortgage lending, and financial services to individuals and businesses, including check-cashing facilities. See also Small Loan Business, which is considered a bank for the purposes of this IDO.
- **Drive-through or Drive-up Facility** - Facilities associated with a primary use, including but not limited to banks, financial institutions, restaurants, dry cleaners, and drug stores, but not including car washes or light vehicle fueling, to offer goods and services directly to customers waiting in motor vehicles. See also Car Wash and Vehicle Definitions for Light Vehicle Fueling.

DEVELOPMENT STANDARDS

- N/A

APPLICANT'S QUESTIONS

- Re-plat will be necessary.
- Contact building safety for phasing and occupancy concerns @924-3320

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-207 Date: 10/13/21 Time: N/A (sent via email)

Address: 2805 Juan Tabo NE

PROCESS

6-6(I) Site Plan- DRB

As always, if you have specific questions pertaining to zoning and/or development standards you are encouraged to reach out to the zoning counter at (505) 924-3857 option 1.

Transportation Development Comments

PRT 21-207 (2805 Juan Tabo NE, Case No.: SP-84-96, 1004586)

Information for Site Development – Transportation Development

For additional information contact Jeanne Wolfenbarger (924-3991) for RE-PLAT, DRB process for Transportation.

General Comments below (if applicable):

Curb Cuts

- Follow DPM guidelines for commercial curb cuts.
- Location of drive with respect to intersection depends on classification of the street. (See attached table.) Classification of street is according to the Long Range Master Plan developed by MRCOG.

Clear Sight Triangle at Access Points and Intersections

- Clear sight triangle (See attached hand-outs.) Nothing opaque should be in the triangle.

Private Site and Parking Lot Design

- Follow DPM and IDO Guidelines for Site and Parking Lot Design. Current ADA standards must be followed including required number of handicapped parking spaces and drive aisles, ADA access to public right-of-way, and ADA access to on-site buildings.
- See the Traffic Circulation Layout (TCL) Checklist. A TCL is required for any change or addition to a building > 500 sq. ft. or if the parking or circulation is changed. (This includes a repaving of parking lot.) Drawing must be stamped by a registered engineer or architect.
- When developing a parking lot layout, include all dimensioning for construction purposes. Also include all curb, curb ramp and signage details.
- Parking Calculations must be provided and per the requirements in the IDO. Number of vehicular spaces, motorcycle spaces, and bicycle spaces shall be specified and follow IDO requirements.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-207 Date: 10/13/21 Time: N/A (sent via email)

Address: 2805 Juan Tabo NE

- Demonstrate queuing capacity when needed in situations such as for drive-thru facilities. It is imperative to demonstrate that the queuing will not block accessways to the site or cause vehicles to back into the main roadway. Also, provide necessary one-way signage and pavement markings.
- Shared access/parking agreement is required if access/parking is shared with parking lot adjacent to site. (This can be established on a plat if submittal of a plat is required or by an agreement.)
- Existing driveways that are not being used are required to be removed and replaced with standard curb and sidewalk to match existing.

Traffic Studies

- See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination.

Platting and Public Infrastructure Requirements for Roadways

- When submitting to DRB, all public roadway improvements that are required shall be shown on an infrastructure list. Public improvements must be included on a public work order set of drawings.
- All public roadway facilities must be within public right-of-way including the entire width of the public sidewalk, all public curb ramps, overhead utilities, traffic signals and lighting, etc.
- Curb and sidewalk are required along entire frontage of property. Follow IDO/DPM for specific width requirements.
- There is a Bikeway Master Plan that is prepared MRCOG which lays out proposed bicycle facilities including bicycle trails, bike lanes, and bike routes. The site would be required to provide such facilities along the site frontage if they have not been constructed yet. Right-of-way dedication would likely be required.
- For any private access easements on plats, all beneficiaries and maintenance responsibilities must be listed.
- Due to sight distance concerns and to construct sufficient curb ramps, right-of-way dedication is required to add curves to corners of properties at intersections if they are not already developed. See Table 23.3 of the DPM.
- Any private structures that are located within public right-of-way such as fences and walls shall either be removed or else a revocable permit with the City is required in which an annual fee is paid per year, based on square footage of the encroachment.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-207 Date: 10/13/21 Time: N/A (sent via email)

Address: 2805 Juan Tabo NE

If you would have additional questions or would like to schedule a follow-up Zoom meeting please contact Diego Ewell at dewell@cabq.gov

Subject: Re: 2801 Juan Tabo NE Public Notice Inquiry Sheet Submission
Date: Wednesday, September 21, 2022 at 3:03:41 PM Mountain Daylight Time
From: Joe Slagle
To: Carmona, Dalaina L.
Attachments: image001.png, image002.png, image003.png, image004.png, image005.png, image006.png

Thanks Dalaina for getting this back to me so quickly. It has not changed so hopefully I am good to go.
Joe



slaglearchitect.com

From: Carmona, Dalaina L. <dlcarmona@cabq.gov>
Date: Wednesday, September 21, 2022 at 2:58 PM
To: Joe Slagle <joe@slaglearchitect.com>
Subject: 2801 Juan Tabo NE Public Notice Inquiry Sheet Submission

PLEASE NOTE:

The City Council recently voted to update the Neighborhood Association Recognition Ordinance (NARO) and the Office of Neighborhood Coordination (ONC) is working to ensure all neighborhood associations and neighborhood coalitions are in compliance with the updated ordinance. There will likely be many updates and changes to association and coalition contact information over the next several months. With that in mind, please check with the ONC every two (2) weeks to ensure that the contact information you have for associations and coalitions is up to date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email
Enchanted Park NA	Gary	Beyer	financialhelp@earthlink.net
Enchanted Park NA	Eddie	Plunkett	plunkett5724@outlook.com

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each: <https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you.



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334

dcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster@cabq.gov <webmaster@cabq.gov>
Sent: Wednesday, September 21, 2022 1:45 PM
To: Office of Neighborhood Coordination <joe@slaglearchitect.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Joe Slagle

Telephone Number

5052288707

Email Address

joe@slaglearchitect.com

Company Name

slagle architect

Company Address

10001 Guadalupe Trail Northwest

City

Albuquerque

State

NM

ZIP

87114

Legal description of the subject site for this project:

tracts B2, 13A, Block 79, Snowheights addition

Physical address of subject site:

2801 Juan Tabo NE

Subject site cross streets:

Juan Tabo and Claremont

Other subject site identifiers:

This site is located on the following zone atlas page:

H-21

Captcha

x

Subject: FW: Nusenda Credit Union at 2801 Juan Tabo NE
Date: Tuesday, July 5, 2022 at 1:42:49 PM Mountain Daylight Time
From: Joe Slagle
To: plunkett5724@outlook.com, financialhelp@earthlink.net, dhc@zianet.com
Attachments: project description letter.pdf, A001.pdf, A201.pdf, ZoneAtlas H-21.pdf, NeighborhoodMeetingRequest Eddie Plunkett.pdf, image001.png, image002.png

Hello, I had sent each of you an email (see below) on June 27 to inquire about a neighborhood meeting. Please respond to this email to let me know if a meeting will be required.

Thank you,
Joe Slagle



slaglearchitect.com

From: Joe Slagle <joe@slaglearchitect.com>
Date: Monday, June 27, 2022 at 9:21 AM
To: plunkett5724@outlook.com <plunkett5724@outlook.com>
Subject: FW: Nusenda Credit Union at 2801 Juan Tabo NE

Hello, my name is Joe Slagle and I am an architect working with Nusenda Credit Union on a new building at the address listed above. Per the IDO, we required to send meeting requests to the affected neighborhood associations. I am attaching the following documents for your review:

Neighborhood Meeting Request form
Letter of project description
Site plan
Project elevations
Zone Atlas Page H-21

Please let me know if you have any questions or need further information from me. Also please let me know whether or not you want to set up a meeting.

Thank you,
Joe Slagle

Subject: FW: Nusenda Credit Union at 2801 Juan Tabo NE
Date: Tuesday, July 5, 2022 at 1:42:49 PM Mountain Daylight Time
From: Joe Slagle
To: plunkett5724@outlook.com, financialhelp@earthlink.net, dhc@zianet.com
Attachments: project description letter.pdf, A001.pdf, A201.pdf, ZoneAtlas H-21.pdf, NeighborhoodMeetingRequest Eddie Plunkett.pdf, image001.png, image002.png

Hello, I had sent each of you an email (see below) on June 27 to inquire about a neighborhood meeting. Please respond to this email to let me know if a meeting will be required.

Thank you,
Joe Slagle



slaglearchitect.com

From: Joe Slagle <joe@slaglearchitect.com>
Date: Monday, June 27, 2022 at 9:21 AM
To: plunkett5724@outlook.com <plunkett5724@outlook.com>
Subject: FW: Nusenda Credit Union at 2801 Juan Tabo NE

Hello, my name is Joe Slagle and I am an architect working with Nusenda Credit Union on a new building at the address listed above. Per the IDO, we required to send meeting requests to the affected neighborhood associations. I am attaching the following documents for your review:

Neighborhood Meeting Request form
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Zone Atlas Page H-21

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Joe Slagle

Subject: FW: Nusenda Credit Union at 2801 Juan Tabo NE
Date: Tuesday, July 5, 2022 at 1:42:49 PM Mountain Daylight Time
From: Joe Slagle
To: plunkett5724@outlook.com, financialhelp@earthlink.net, dhc@zianet.com
Attachments: project description letter.pdf, A001.pdf, A201.pdf, ZoneAtlas H-21.pdf, NeighborhoodMeetingRequest Eddie Plunkett.pdf, image001.png, image002.png

Hello, I had sent each of you an email (see below) on June 27 to inquire about a neighborhood meeting. Please respond to this email to let me know if a meeting will be required.

Thank you,
Joe Slagle



slaglearchitect.com

From: Joe Slagle <joe@slaglearchitect.com>
Date: Monday, June 27, 2022 at 9:21 AM
To: plunkett5724@outlook.com <plunkett5724@outlook.com>
Subject: FW: Nusenda Credit Union at 2801 Juan Tabo NE

Hello, my name is Joe Slagle and I am an architect working with Nusenda Credit Union on a new building at the address listed above. Per the IDO, we required to send meeting requests to the affected neighborhood associations. I am attaching the following documents for your review:

Neighborhood Meeting Request form
Letter of project description
Site plan
Project elevations
Zone Atlas Page H-21

Please let me know if you have any questions or need further information from me. Also please let me know whether or not you want to set up a meeting.

Thank you,
Joe Slagle

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 6-27-22

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Enchanted Park NA

Name of NA Representative*: Eddie Plunkett

Email Address* or Mailing Address* of NA Representative¹: plunkett5724@outlook.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: joe@slaglearchitect.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 2801 Juan Tabo Blvd NE
Location Description Juan Tabo and Claremont NE
2. Property Owner* Nusenda Credit Union
3. Agent/Applicant* [if applicable] Joe Slagle, agent
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

A new 4226 sf Nusenda Credit Union Branch building with a separate drive through canopy.

5. This type of application will be decided by^{*}: City Staff
 OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council
6. Where more information about the project can be found^{4*}:
Joe Slagle, Architect, joe@slaglearchitect.com 228-8707

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{5*} H-21
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project^{*}:
 - Deviation(s) Variance(s) Waiver(s)
 Explanation:
N/A
4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1*](#): Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

- 1. From the IDO Zoning Map⁶:
 - a. Area of Property [typically in acres] 1.24 ac.
 - b. IDO Zone District MX-L
 - c. Overlay Zone(s) [if applicable] N/A
 - d. Center or Corridor Area [if applicable] N/A
- 2. Current Land Use(s) [vacant, if none] North portion is undeveloped, south portion is currently a Nusenda Credit Union

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 6-27-22

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Enchanted Park NA

Name of NA Representative*: Gary Beyer

Email Address* or Mailing Address* of NA Representative¹: financialhelp@eathlink.net

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: joe@slaglearchitect.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 2801 Juan Tabo Blvd NE
Location Description Juan Tabo and Claremont NE
2. Property Owner* Nusenda Credit Union
3. Agent/Applicant* [if applicable] Joe Slagle, agent
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

A new 4226 sf Nusenda Credit Union Branch building with a separate drive through canopy.

5. This type of application will be decided by^{*}: City Staff
 OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council
6. Where more information about the project can be found^{4*}:
 Joe Slagle, Architect, joe@slaglearchitect.com 228-8707

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{5*} H-21
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project^{*}:
 - Deviation(s) Variance(s) Waiver(s)

Explanation:

N/A

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1*](#): Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

- 1. From the IDO Zoning Map⁶:
 - a. Area of Property [typically in acres] 1.24 ac.
 - b. IDO Zone District MX-L
 - c. Overlay Zone(s) [if applicable] N/A
 - d. Center or Corridor Area [if applicable] N/A
- 2. Current Land Use(s) [vacant, if none] North portion is undeveloped, south portion is currently a Nusenda Credit Union

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 6-27-22

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: District 8 Coalition of Neighborhood Associations

Name of NA Representative*: Donald Couchman

Email Address* or Mailing Address* of NA Representative¹: dhc@zianet.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: joe@slaglearchitect.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 2801 Juan Tabo Blvd NE
Location Description Juan Tabo and Claremont NE
2. Property Owner* Nusenda Credit Union
3. Agent/Applicant* [if applicable] Joe Slagle, agent
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

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[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

A new 4226 sf Nusenda Credit Union Branch building with a separate drive through canopy.

5. This type of application will be decided by*: City Staff
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 - City Council
6. Where more information about the project can be found^{4*}:
Joe Slagle, Architect, joe@slaglearchitect.com 228-8707

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{5*} H-21
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project*:
 - Deviation(s) Variance(s) Waiver(s)
 Explanation:
N/A
4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1*](#): Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

- 1. From the IDO Zoning Map⁶:
 - a. Area of Property [typically in acres] 1.24 ac.
 - b. IDO Zone District MX-L
 - c. Overlay Zone(s) [if applicable] N/A
 - d. Center or Corridor Area [if applicable] N/A
- 2. Current Land Use(s) [vacant, if none] North portion is undeveloped, south portion is currently a Nusenda Credit Union

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

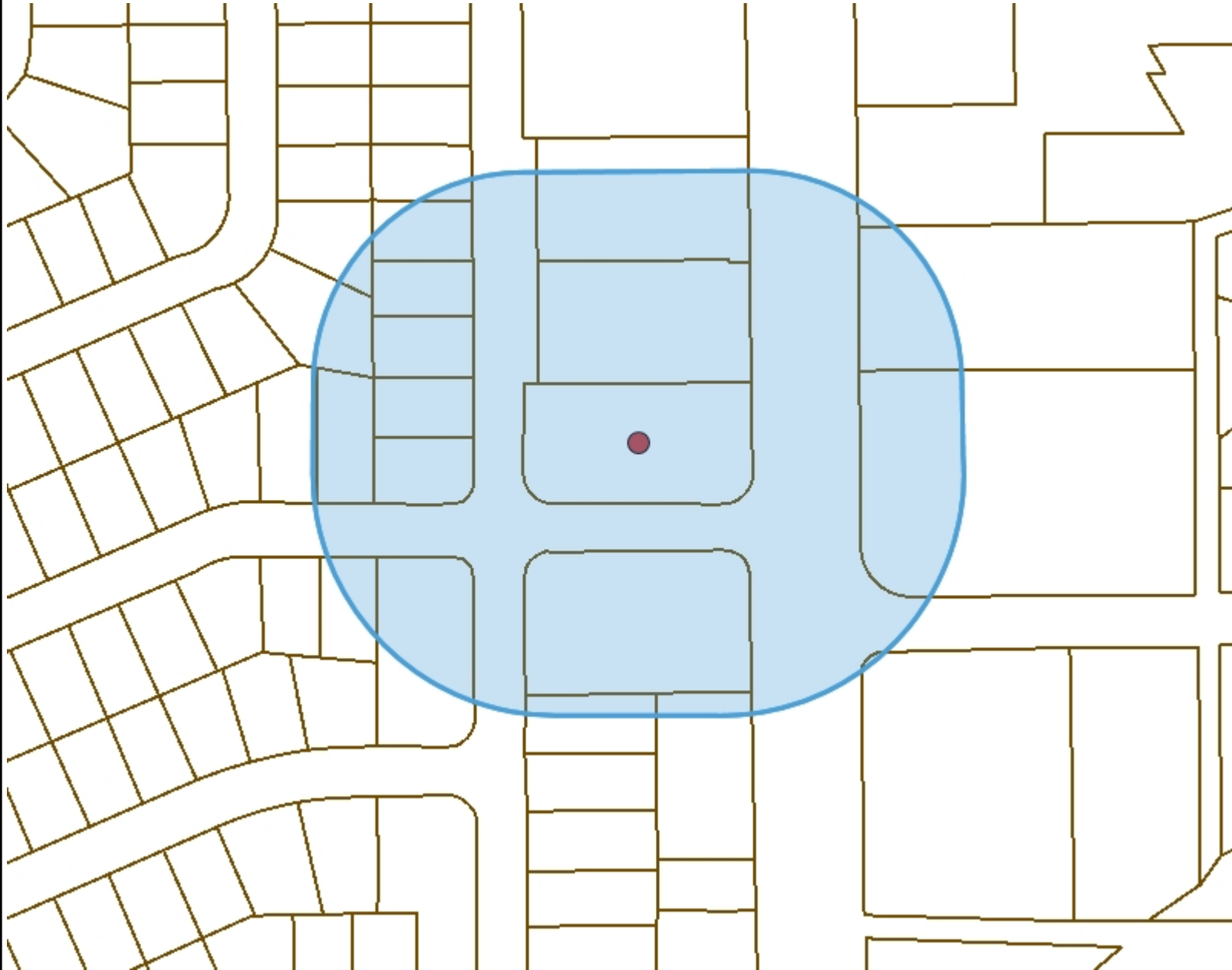
<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>



2801 Juan Tabo Blvd NE

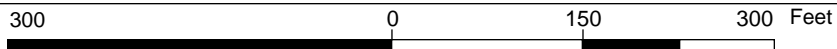


Legend

- Bernalillo County Parcels
- Municipal Limits**
- Corrales
- Edgewood
- Los Ranchos
- Rio Rancho
- Tijeras
- UNINCORPORATED

Notes

Buffer : 215 ft.
 ROW Juan Tabo Blvd : 115 ft.



WGS_1984_Web_Mercator_Auxiliary_Sphere
 7/19/2022 © City of Albuquerque

1: 1,803

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

GILLILAND SHAWN P
11117 CLAREMONT AVE NE
ALBUQUERQUE NM 87112-1734

CHANSLOR RONALD L TRUSTEE
CHANSLOR TRUST
PO BOX 6323
ALBUQUERQUE NM 87197

GABRIELS CALVIN H
2821 MURIEL ST NE
ALBUQUERQUE NM 87112-1745

TUNESMITH HOLDINGS LLC
5951 JEFFERSON ST NE SUITE A
ALBUQUERQUE NM 87109-3450

VALLEJOS FRANK TRUSTEE AURORA
VALLEJOS FAMILY TRUST
3542 SEQUOIA PL NW
ALBUQUERQUE NM 87120-1126

NEW MEXICO EDUCATORS FEDERAL
CREDIT UNION
PO BOX 8530
ALBUQUERQUE NM 87198-8530

LAVANDOSKI THERESA C TRUST
1125 MURIEL ST NE
ALBUQUERQUE NM 87112-5629

CLAREMONT APARTMENTS LLC
1701 MOON ST NE SUITE 400
ALBUQUERQUE NM 87112-3900

GONZALES PATRICIA E
11120 CLAREMONT AVE NE
ALBUQUERQUE NM 87112-1735

OMAOENG JULIUS A
11121 CLAREMONT AVE NE
ALBUQUERQUE NM 87112

PETERS MATTHEW W & KAREN E
PO BOX 20162
ALBUQUERQUE NM 87154-0162

OLDHAM DALE L TRUSTEE OLDHAM
TRUST
6352 ADMIRAL RICKOVER DR NE
ALBUQUERQUE NM 87111-1218

GBN HOLDINGS LLC
5504 VALIENTE RD NW
ALBUQUERQUE NM 87120-7150

FLOWERS DANIEL J & TINA C
9324 GALAXIA WAY NE
ALBUQUERQUE NM 87111

GABRIELS CALVIN H
2817 MURIEL ST NE
ALBUQUERQUE NM 87112-1744

STAR GAZER PROPERTIES LLC
2809 MURIEL ST NE
ALBUQUERQUE NM 87112-1742

HALLE PROPERTIES L L C DEPT 1100
NMA06
20225 N SCOTTSDALE RD
SCOTTSDALE AZ 85255-6456

BRANNOCK JOHN F
1400 MURIEL ST NE
ALBUQUERQUE NM 87112

ORTIZ FELIZ A & VIOLA T
11020 LEXINGTON AVE NE
ALBUQUERQUE NM 87112-1717

TKG JUAN TABO LLC C/O TKG
MANAGEMENT INC
211 N STADIUM BLVD SUITE 201
COLUMBIA MO 65203-1161

PIONEER FOUNDERS LLC
306 W SUPERIOR ST SUITE 1605
DULUTH MN 55802-1816

VKC REALTY LLC
322 JULIE RIVERS DR
SUGAR LAND TX 77478-3179

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: 9-22-2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: This package (this sheet and next 6 sheets) was mailed first class mail to all 22 recipients listed on sheet above. See first class mail receipts for each recipient below.

Mailing Address*: _____

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 2801 Juan Tabo Blvd. NE
Location Description Juan Tabo, between Menial and Candelaria
2. Property Owner* Nusenda Credit Union
3. Agent/Applicant* *[if applicable]* Joe Slagle, Architect
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

New Nusenda Credit Union Branch, 4226 sf with a separate drive through canopy.

An existing Nusenda Branch will be demolished and replaced with the new building.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: _____

Location*²: _____

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
joe@slaglearchitect.com Email me and I will forward any requested documents

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

- 1. Zone Atlas Page(s)*⁴ H-21
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

No exceptions or deviations required.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Neighborhood Associations have been contacted about setting up a meeting but have not received any response.

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

- 1. Area of Property [typically in acres] 1.24 ac.
 - 2. IDO Zone District MX-L
 - 3. Overlay Zone(s) [if applicable] NA
 - 4. Center or Corridor Area [if applicable] NA
- Current Land Use(s) [vacant, if none] Currently a Nusenda Credit Union branch that will be Demolished to make way for the new building.
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>



September 20, 2022

Re: New Branch office for Nusenda Credit Union at 2801 Juan Tabo NE, Abq NM.

Hello Neighbor:

This is to notify you that we are submitting for planning approval of the project described herein.

This development consists of a new Nusenda Credit Union Branch with a separate drive through canopy. The credit union building will be single story, 4226 square feet and the drive through will consist of 4 lanes: 3 interactive teller machines and 2 ATMs.

The property is currently two separate parcels which will be combined into a single parcel of 1.24 ac. The legal description is tracts B-2, 13-A, Block 79, Snow Heights addition.

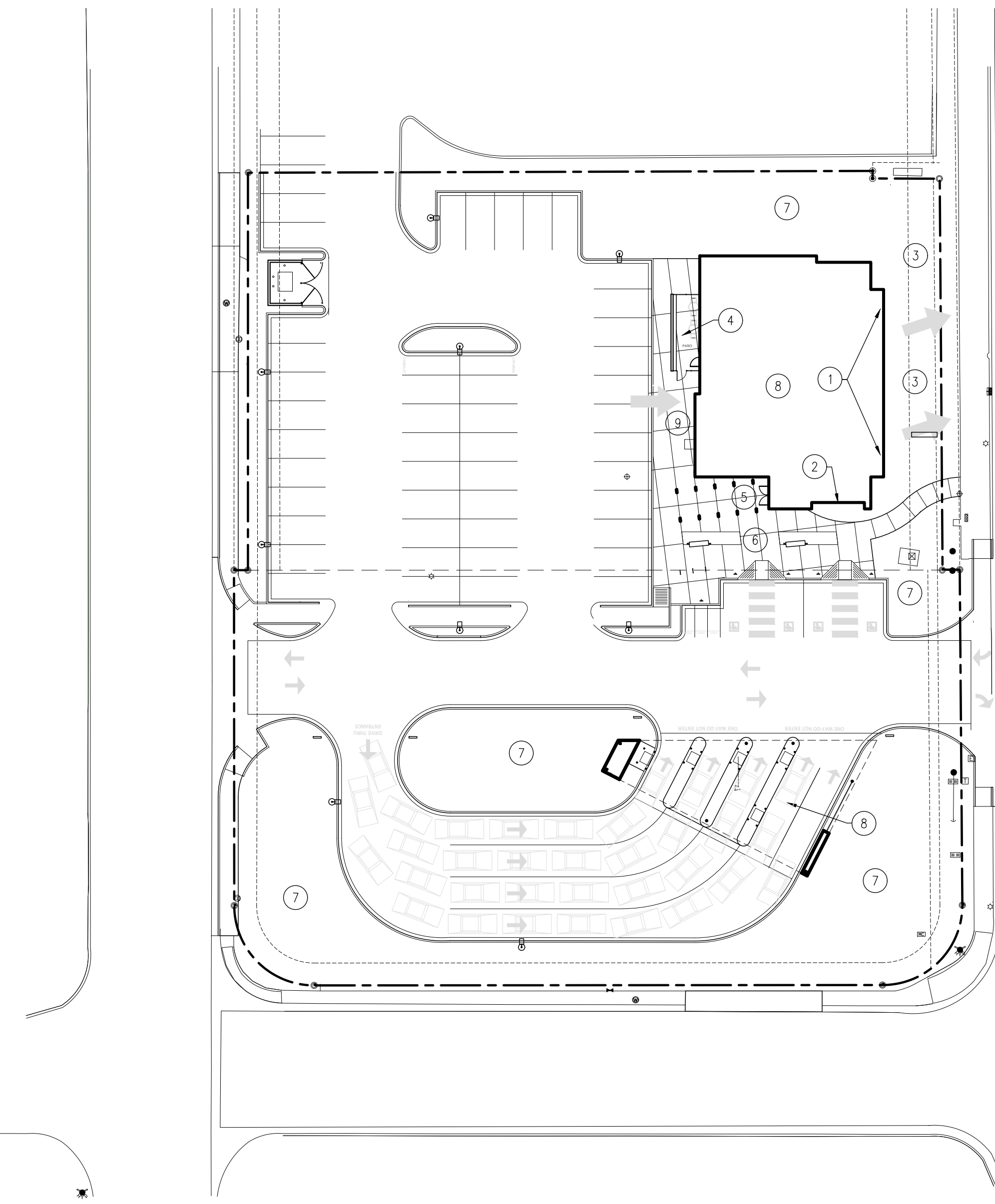
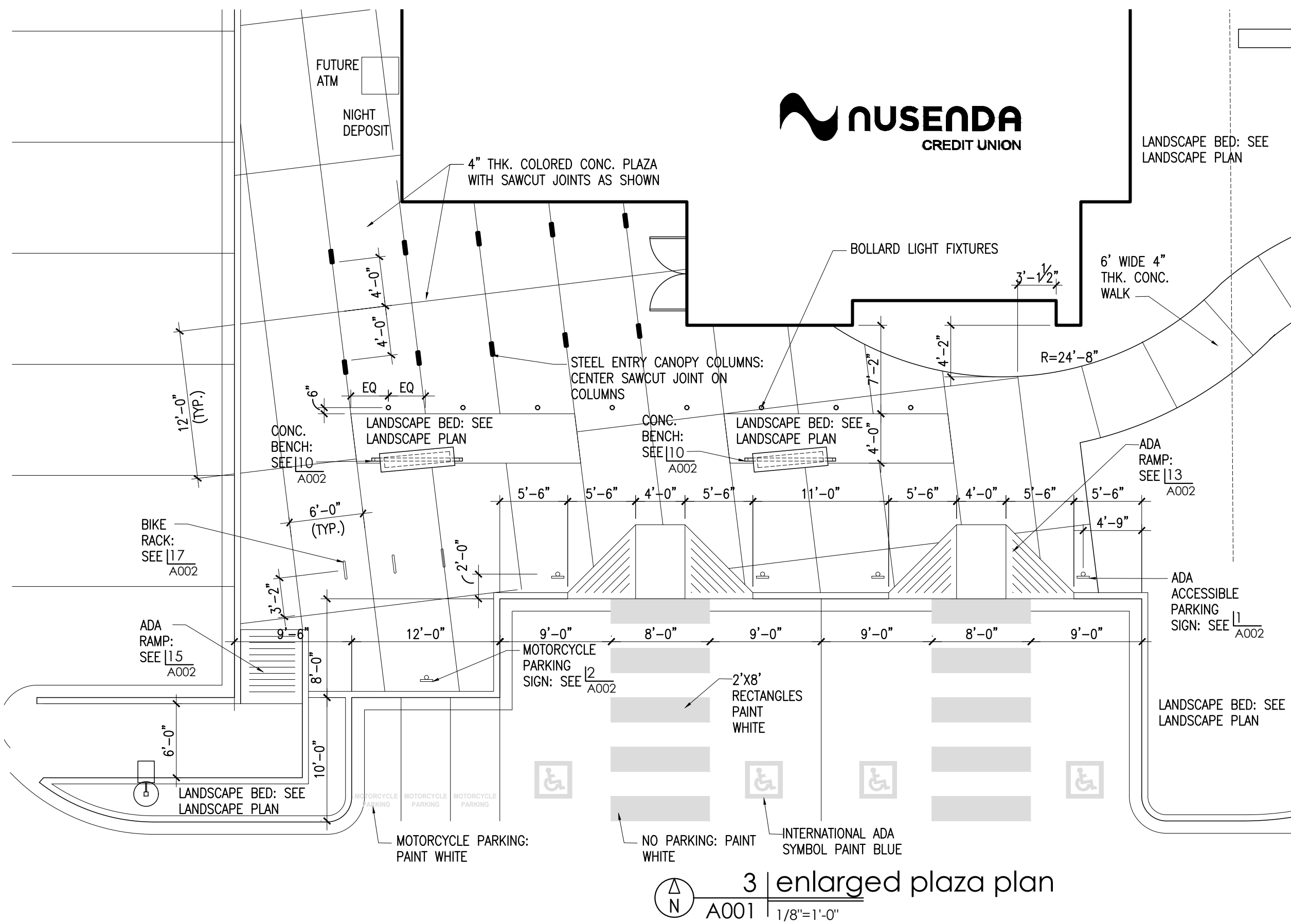
The project will consist of the removal of the existing Nusenda Branch which no longer meets the needs of the credit union members, and construction of the new buildings and all associated site work.

We are requesting DRB approval of the site development plan for building permit and pursuant to IDO subsection 6-4(K)(1)(b) we are required to notify all neighbors within a 100' radius of the project site.

If you have any questions or concerns, please feel free to contact me.

Sincerely,

Joe Slagle Architect, Inc



- KEYED NOTES:**
- LARGE EAST FACING GLASS WALL ALLOWS FILTERED MORNING SUN AS WELL AS PARTIAL VIEWS OF SANDIA MOUNTAINS. GLASS WILL BE INSULATED LOW-E ELECTROCHROMIC SELF TINTING GLASS TO CONTROL DIRECT SUN GLARE.
 - LARGE SOUTH FACING GLASS WALL WITH PROTECTIVE OVERHANG PROVIDES SOUTHERN SUN.
 - EXTENSIVE LANDSCAPING AT EAST SIDE OF BUILDING TO PROVIDE VISUAL AND SOUND BUFFER FROM STREET.
 - OUTDOOR PATIO LOCATED ON WEST SIDE OF BUILDING TO PROTECT FROM ROAD NOISE. LARGE WEST WALL COVERED WITH CLIMBING VINES PROVIDES COOLING EFFECT.
 - ENTRY FACING SOUTH AND WEST WITH EXTENSIVE PROTECTIVE CANOPY TO PROTECT FROM INCLEMENT WEATHER.
 - LANDSCAPED ENTRY PLAZA WITH TREES AND BENCHES TO PROVIDE COOLING EFFECT AT ENTRANCE.
 - LARGE UNBROKEN LANDSCAPE AREAS HELP OFFSET HEAT ISLAND EFFECT.
 - SLIGHTLY SOUTH SLOPING ROOFS AT BUILDING AND DRIVE THROUGH CANOPY TO ALLOW FOR INSTALLATION OF SOLAR PANELS.
 - FEW SMALL OPENINGS ON WEST SIDE. TO MITIGATE HARSH AFTERNOON HEAT.

SITE PLAN KEY NOTES:

- REMOVE EXISTING CONCRETE DRIVE APRON AND REPLACE WITH NEW SIDEWALK AND CURB. COA STD DWG. 2430.
- EXTEND WATER METER ACCESS TO FLUSH WITH TOP OF NEW SIDEWALK.
- DUMPSTER ENCLOSURE: SEE 18, 19 A002, A002
- EXISTING CURB AND PARKING SPACES. TIE NEW CURB INTO EXISTING CURB.
- EXIST. SIDEWALK TO REMAIN
- NEW LIGHT POLE: SEE ELEC DWGS AND 13 A002
- NEW POURED IN PLACE CONCRETE WALL: SEE 14 A002
- NEW PERF MTL PANEL FENCE: SEE 16, 17 A002, A002
- ROOF DRAIN LINE: SEE CIVIL
- PUBLIC UTILITY EASEMENT
- NEW CONCRETE DRIVE APRON AND RETURNS PER CITY OF ABO STD DWG 2426
- CLEAR SIGHT TRIANGLE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN THREE (3') AND EIGHT FEET (8') TALL (AS MEASURED FROM THE CUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.
- 4' WIDE SIDEWALK FLUSH WITH ASPHALT
- 2'x4' WHITE PAINT RECTANGLES PAINTED ON ASPHALT. 12" BETWEEN.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STD DWG 2415A
- SAWCUT CONTROL JOINTS: SEE 13 A002
- EXISTING MONUMENT SIGN TO REMAIN
- EXISTING MONUMENT SIGN TO BE REMOVED
- EXISTING RAMP AND SIDEWALK TO REMAIN
- REMOVE EXISTING CONCRETE BETWEEN PLANTING BEDS ALONG LENGTH OF THIS SIDEWALK
- EXISTING PROPERTY LINE BEING REMOVED BY SEPARATE PLATTING ACTION
- DASHED LINES INDICATE DEMO. SEE PHASING NOTE ABOVE
- REMOVE EXISTING ATM AND CONCRETE PAD
- NEW ADA RAMP PER CITY OF ABO STD DWG. ALL RAMPS IN RIGHT OF WAY SHALL RECEIVE YELLOW TRUNCATED DOME SURFACE.
- REMOVE EXISTING CONCRETE RETAINING WALL
- LANDSCAPE AREA: SEE LANDSCAPE PLAN
- MONUMENT SIGN: SEE 11, 12 A002
- 12" TALL WHITE LETTERS PAINTED ON ASPHALT: "ONE WAY-DO NOT ENTER" AT EXIT, "DRIVE THRU ENTRANCE" AT ENTRANCE
- DIRECTIONAL SIGN: SEE 11, 12 A002
- DIRECTIONAL SIGN: SEE 11, 12 A002

NOTE: UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DRAWING 2415.

PROJECT NUMBER: _____

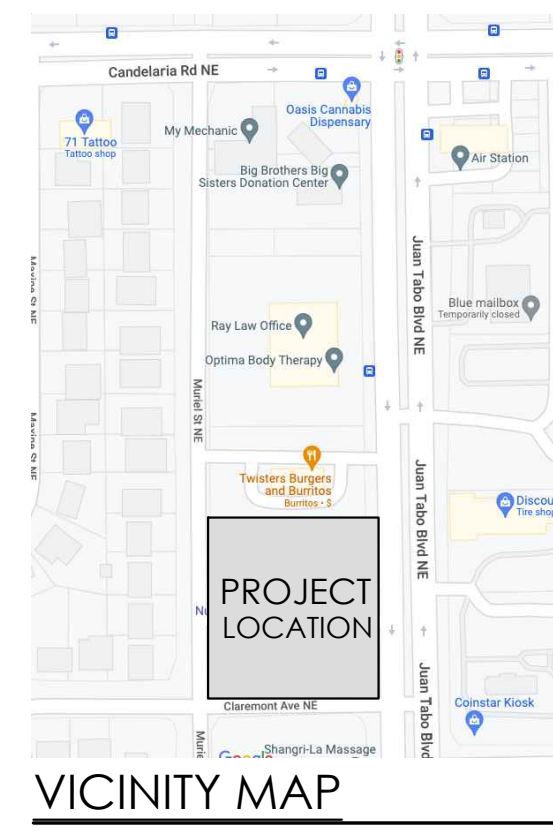
Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

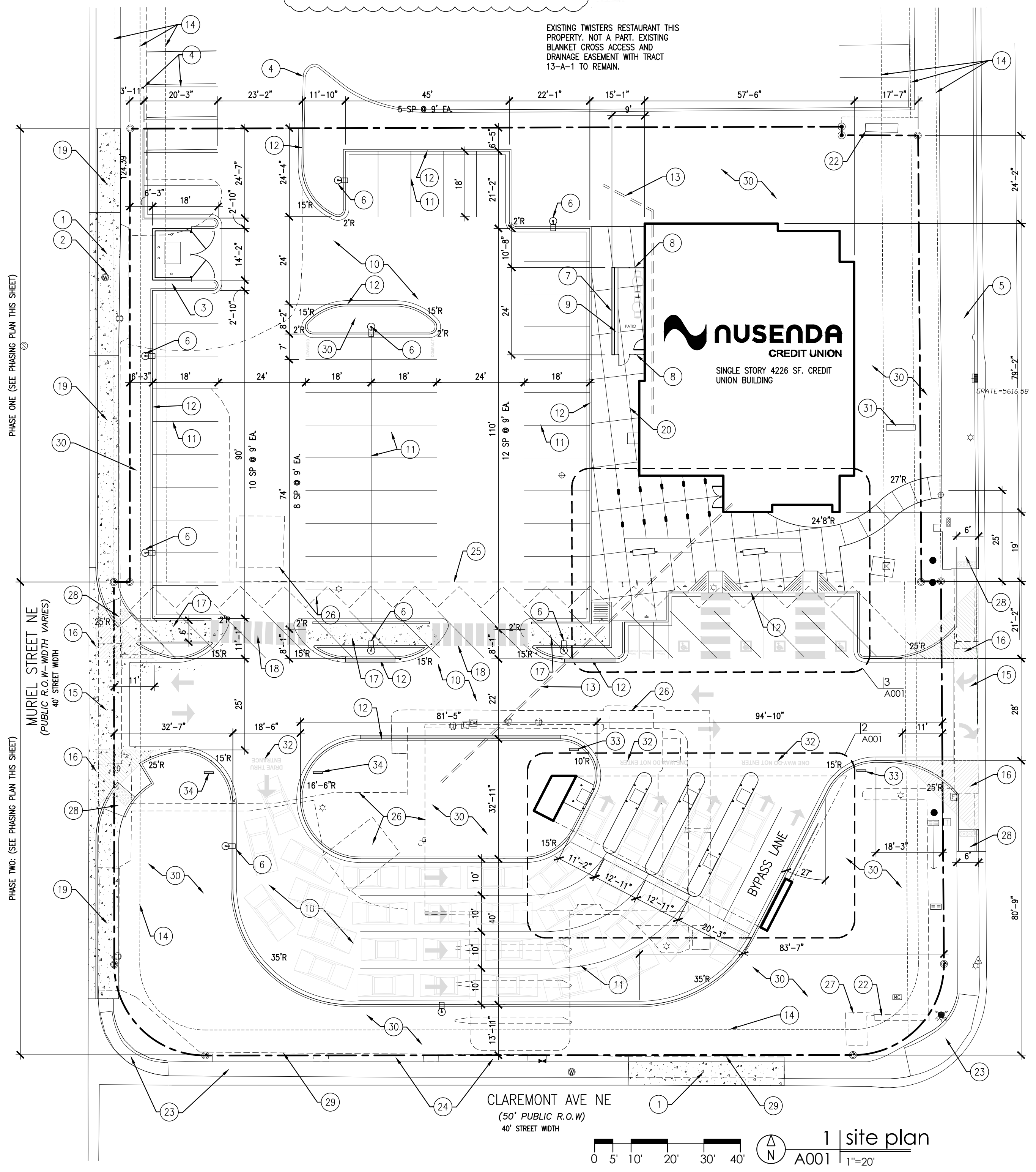
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



SITE DATA

SITE LOCATION	2805 JUAN TABO BOULEVARD NE ALBUQUERQUE, NM
LEGAL DESCRIPTIONS	A-1 TRACT B-2 BLOCK 79 SNOW HEIGHTS ADDITION
UPC NUMBER:	101906418906730212
ZONING:	MX-L
ZONE ATLAS PAGE:	H-21
PREVIOUS DRB APPROVAL:	NONE FOUND
TOTAL LOT AREA:	55,797 SF (1.3 AC)
GROSS BUILDING AREA:	4226 SF
BUILDING FOOTPRINT AREA:	4226 SF
NET LOT AREA (LOT AREA-BLD. FOOTPRINT):	51,571 SF
FLOOR AREA RATIO (GROSS BLDG AREA/LOT AREA):	7.5 %
PARKING CALCULATIONS (PER IDO):	TOTAL SPACES PROVIDED: 51
	3 SP/1000 SF (4226 SF = 12.69 SPACES REQUIRED)
ACCESSIBLE PARKING REQ'D: (51-100)=4 INCL. 1 VAN TOTAL PROVIDED: 4	
MOTORCYCLE PARKING REQUIRED: (51-100) 3 SP. TOTAL PROVIDED: 3	
BICYCLE PARKING REQUIRED: (3 MIN) TOTAL PROVIDED: 5	

- PHASING PLAN:**
- PHASE ONE:
- DEMOLISH ALL EXISTING CONSTRUCTION ON THE PORTION OF THE PROPERTY NORTH OF THE PROPERTY LINE BEING REMOVED. (SEE NOTE 25 ON SITE PLAN. THE EXISTING CREDIT UNION BUILDING, PARKING LOT AND DRIVE THROUGH ON THE SOUTH PORTION OF THE PROPERTY IS TO REMAIN OPEN.
 - FENCE OFF THE NORTH PORTION OF THE PROPERTY AND CONSTRUCT THE NEW SINGLE STORY CREDIT UNION BUILDING AS DESCRIBED IN THESE CONSTRUCTION DRAWINGS.
 - GRADE THE NORTH PORTION OF THE PROPERTY PER THE APPROVED GRADING AND DRAINAGE PLAN. PROVIDE TEMPORARY PONDING AS NECESSARY.
- PHASE TWO:
- REMOVE THE EXISTING BUILDING ON THE SOUTH PORTION OF THE PROPERTY ALONG WITH ALL SITE WORK, RETAINING WALLS, PARKING LOTS, CURBS, AND LANDSCAPE.
 - GRADE SOUTH PORTION OF PROPERTY PER THE APPROVED GRADING AND DRAINAGE PLAN.
 - CONSTRUCT THE DRIVE THROUGH CANOPY AS DESCRIBED IN THE CONSTRUCTION DRAWINGS.
 - COMPLETE ALL SITE FLATWORK, INCLUDING CONCRETE WALKS, DRIVEWAYS, RAMPS, CURBS, PAVING, AND LANDSCAPE FOR THE ENTIRE SITE AS DESCRIBED IN THE CONSTRUCTION DRAWINGS.



SITE PLAN

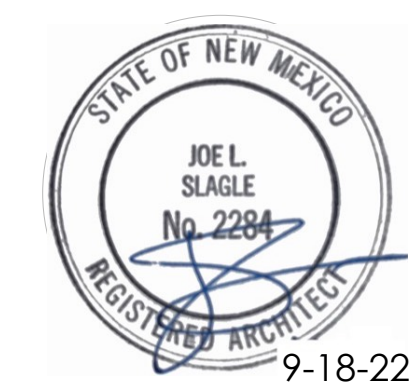
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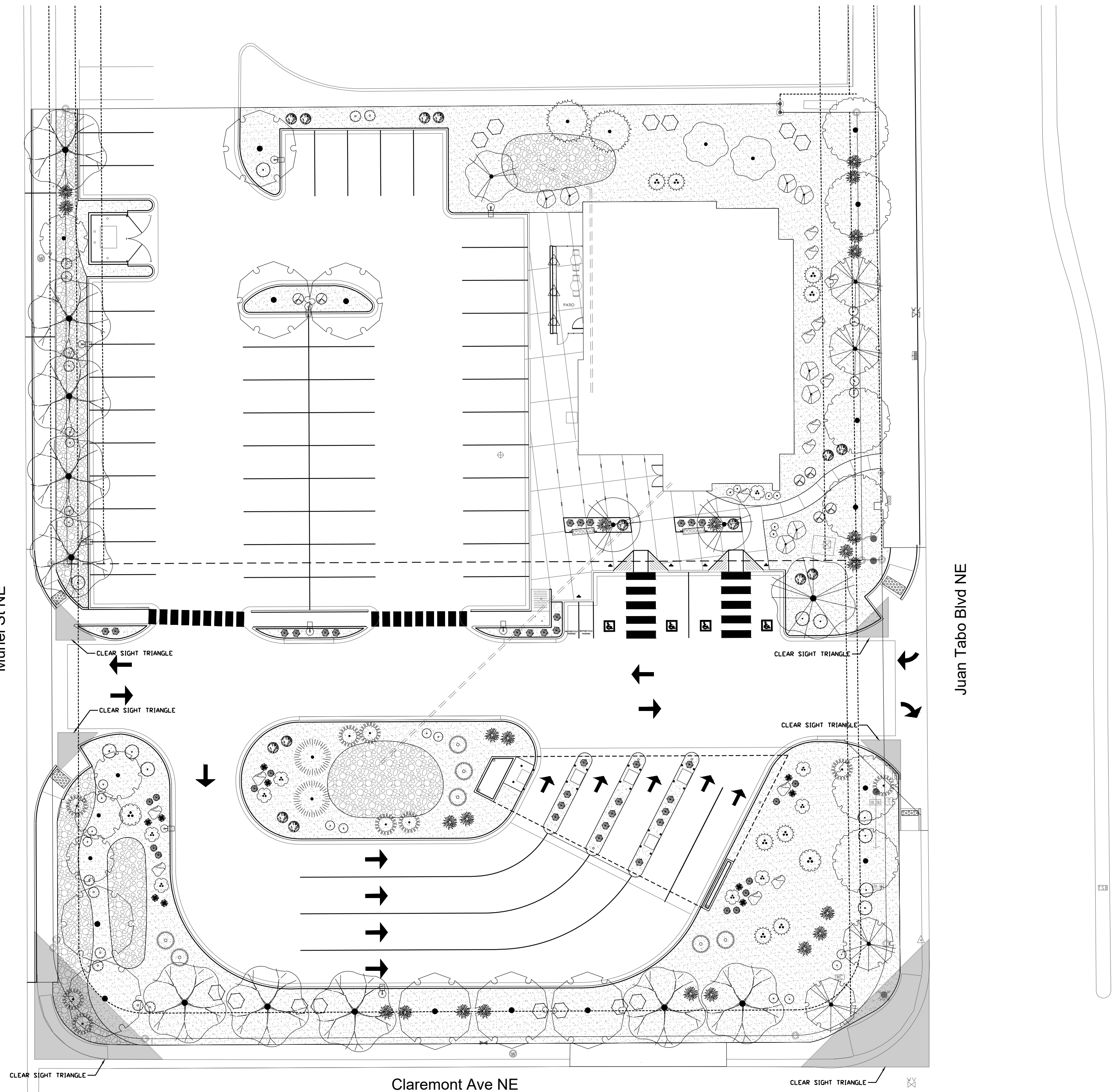
2801 JUAN TABO BLVD NE
ALBUQUERQUE, NM

revisions

9-18-22 TCL COMMENT

date:
8-30-22
sheet:
A001





SITE DATA

GROSS LOT AREA 56,251 SF
 BUILDING AREA 4,226 SF
 NET LOT AREA (NET.) 52,025 SF

LANDSCAPE AREA (LAN.)

REQUIRED 7,804 SF (15% OF NET.)
 PROPOSED 19,584 SF (38% OF NET.)

VEGETATION COVERAGE (VEG.)

REQUIRED 5,852 SF (75% OF LAN.)
 PROPOSED 29,726 SF (381% OF LAN.)

GROUND-LEVEL PLANTS COVERAGE

REQUIRED 1,463 SF (25% OF VEG.)
 PROPOSED 3,321 SF (57% OF VEG.)

STREET TREES (1 PER 25 LF)

REQUIRED 30
 PROPOSED 30

PARKING LOT TREES (1 PER 10 PARKING SPACES)

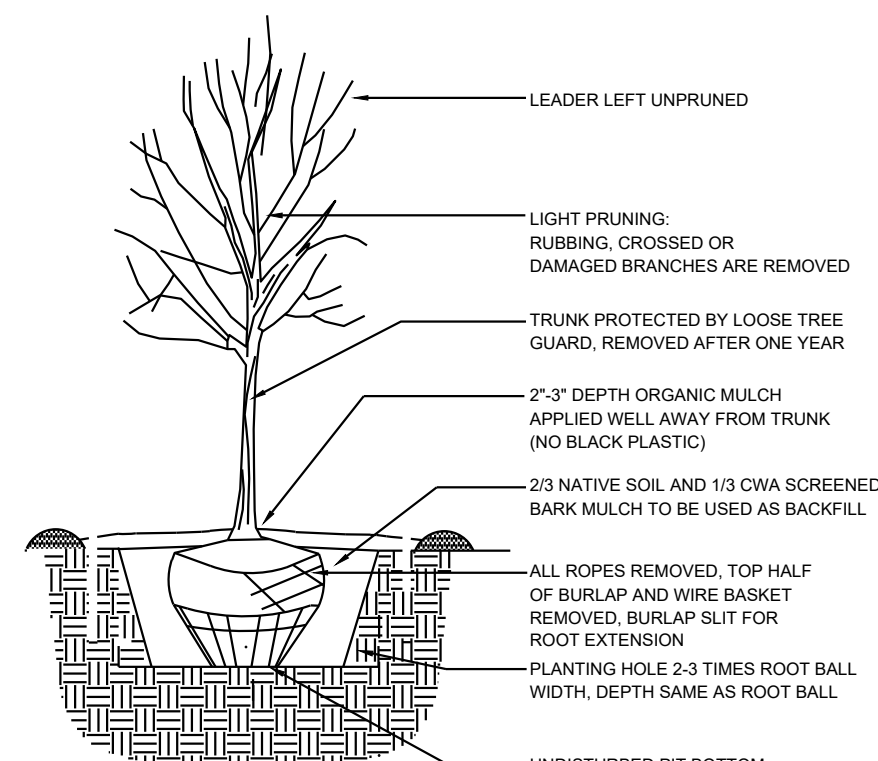
REQUIRED 6
 PROPOSED 6

TOTAL

REQUIRED 36 TREES
 PROPOSED 40 TREES

GENERAL NOTES

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.
- ALL MAINTENANCE FOR LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. MAINTENANCE OF STREET TREES AND SHRUBS SHALL FIND THEM IN HEALTHY, LIVING, AND ATTRACTIVE CONDITION.
- ALL ON-SITE PLANT MATERIAL, NOW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS. EMITTERS SHALL BE PLACED AT EVEN SPACING AT DRIP LINE OF TREES AND SHRUBS AT THE MULCH'S SURFACE AT A RATE OF SIX (6) 2.0 GPH EMITTERS PER TREE AND TWO (2) 2.0 GPH EMITTERS PER SHRUB.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. APPROPRIATE MEASURES HAVE BEEN TAKEN TO DESIGN AND INSTALL A WATER-CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE.
- 6 PLANTINGS IN CLEAR SIGHT TRIANGLE NOT TO OBSTRUCT LINE OF VISION FROM 3' HEIGHT TO 8' HEIGHT.



1 TREE PLANTING DETAIL

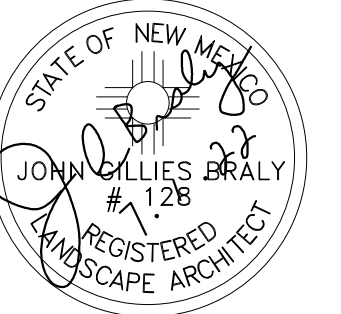
PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	1	CHILOPSIS LINEARIS 'ART'S SEEDLESS' / ART'S SEEDLESS DESERT WILLOW	24"BOX	20' X 25'	491
	4	CRATAEGUS CRUS-GALLI 'INERMIS' / THORNLESS HAWTHORN	2" B&B	25' X 20'	314
	2	FORESTIERA NEOMEXICANA / NEW MEXICAN PRIVET	24"BOX	15' X 15'	177
	8	GLEDITSIA TRIACANTHOS INERMIS / THORNLESS COMMON HONEYLOCUST	2" B&B	50' X 45'	1590
	2	MALUS X 'RADIANT' / RADIANT CRAB APPLE	2" B&B	20' X 20'	314
	1	PISTACIA CHINENSIS / CHINESE PISTACHE	2" B&B	60' X 60'	2826
	6	PRUNUS CERASIFERA / FLOWERING PLUM	2" B&B	20' X 20'	314
	4	PYRUS CALLERYANA 'CLEVELAND SELECT' / CLEVELAND SELECT PEAR	2" B&B	25' X 15'	177
	10	ULMUS PROPINQUA 'EMERALD SUNSHINE' / EMERALD SUNSHINE ELM	2" B&B	35' X 25'	491
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	2	PINUS CEMBROIDES EDULIS / PINYON PINE	6" B&B	30' X 20'	314
					SUBTOTAL 26,405 SF
DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	9	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	3' X 4'	13
	2	NOLINA MICROCARPA / BEARGRASS	5 GAL	5' X 6'	28
	8	YUCCA BACCATA / BANANA YUCCA	5 GAL	4' X 5'	20
FLOWERING PLANTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	10	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	1 GAL	2' X 2'	3
	6	NEPETA X FAASSENII 'SELECT BLUE' / CATMINT	1 GAL	1' X 2'	3
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	12	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL	3' X 3'	7
	31	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	30" X 2'	3
VINE/ESPALIER	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	3	PARTHENOISSUS QUINQUEFOLIA / VIRGINA CREEPER	5 GAL	CLIMBING+30'	50
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	14	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	1 GAL	3' X 3'	7
	8	CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH' / FERNBUSH	5 GAL	5' X 6'	28
	11	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	4' X 4'	13
	20	SALVIA GREGGII / AUTUMN SAGE CHERRY	1 GAL	2' X 3'	7
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	7	CERCOCARPUS INTRICATUS / LITTLE LEAF MOUNTAIN MAHOGONY	5 GAL	6' X 6'	28
	12	ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	5 GAL	3' X 4'	13
	14	FALLUGIA PARADOXA / APACHE PLUME	5 GAL	6' X 7'	38
	9	JUNIPERUS SABINA 'BUFFALO' / BUFFALO JUNIPER	5 GAL	2' X 9'	64
	6	RHAPHIOLEPIS INDICA / INDIAN HAWTHORN	5 GAL	3' X 4'	13
	24	ROSMARINUS OFFICINALIS 'ARP' / ARP ROSEMARY	5 GAL	6' X 4'	13
	2	SPARTIUM JUNCEUM / SPANISH BROOM	5 GAL	10' X 10'	79
					SUBTOTAL 3,321 SF
					TOTAL 29,726 SF

MATERIAL SCHEDULE

SYMBOL	DESCRIPTION	QTY
	LARGE BOULDER	15
	MOUNTAINAIR BROWN 7/8" GRAVEL	
	2-4" GRAY, ROUND COBBLE	

YELLOWSTONE
 LANDSCAPE
 www.yellowstonelandscape.com
 P O Box 10597
 Albuquerque, NM 87184
 505.898.9615
 design@yellowstonelandscape.com



Date: 6/28/2022

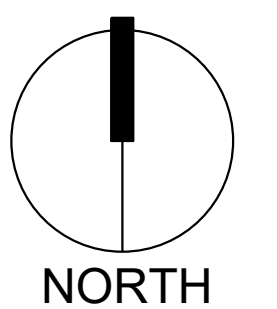
Revisions:

- ▲ 7/1/2022
- ▲
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- ▲

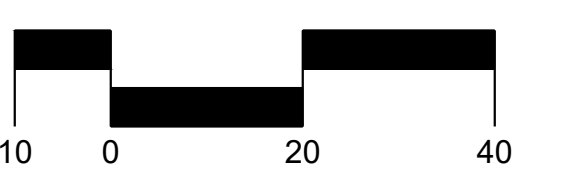
Drawn by: PL

Reviewed by: CM

Nusenda
 2801 Juan Tabo
 Albuquerque, New Mexico



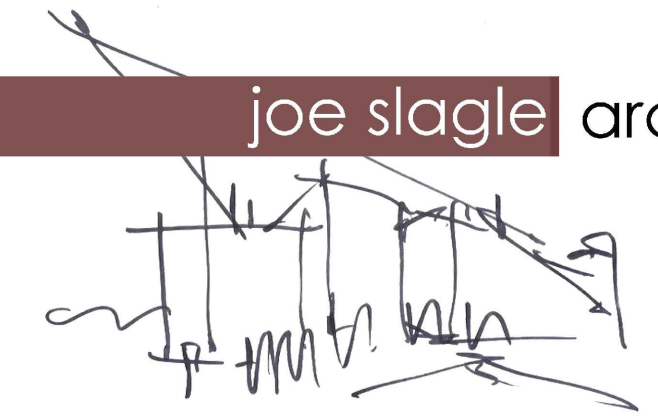
Scale: 1" = 20'



Sheet Title:
Landscape Plan

Sheet Number:

LS-01



KEYED NOTES:

- [S1] NEW SMOOTH TEXTURE SYNTHETIC STUCCO SYSTEM OVER LATH AND VAPOR BARRIER. COLOR-NUSENDA GREEN
- [S2] NEW SMOOTH TEXTURE SYNTHETIC STUCCO SYSTEM OVER LATH AND VAPOR BARRIER. COLOR-PALE BLUE
- [ZP] ZINC PANELS
- [MT] METAL TRIM TO MATCH METAL PANELS
- [GMP] CORRUGATED GALVALUME METAL PANELS
- [PMP] PRE-FINISHED PERFORATED METAL PANELS-SILVER
- [WDW] INSULATED LOW-E GLASS WINDOW IN CLEAR ANOD. ALUM. FRAME
- [FGW] INSULATED LOW-E FROSTED GLASS WINDOW IN CLEAR ANOD. ALUM. FRAME
- [CW] POURED IN PLACE CONCRETE WALL
- [STL] PAINTED STEEL-WHITE
- [MR] PRE-FINISHED STANDING SEAM METAL ROOF-WHITE
- [SPF] STEEL PICKET FENCE-PAINTED DARK GRAY
- [SIGN] INTERNALLY ILLUMINATED LOGO AND SIGN



1 | north elevation
A201 | 1/8"=1'-0"



2 | south elevation
A201 | 1/8"=1'-0"



3 | west elevation
A201 | 1/8"=1'-0"



4 | east elevation
A201 | 1/8"=1'-0"

ELEVATIONS

A NEW BRANCH FOR:



revisions



date:
6-27-22
sheet:
A201

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To: Felix + Viola Ortiz
11020 Lexington Ave NE
Abq NM 87112-1717

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Abq NM 87112

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To: John F Brannock
1400 Muriel St Ne
Abq NM 87112

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To: Patricia E Gonzales
11120 Claremont Ave NE
Abq NM 87112-1735

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To: Halle Properties LLC
Dept 1100 NMA06
20225 N Scottsdale Rd
Scottsdale AZ 85255-

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1701 Moon St Ne, Ste 41
Abq NM 87112-3902

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To: Calvin H Gabriels
2817 Muriel St NE
Abq NM 87112-1744

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POB 10362
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To: Daniel & Tina Flowers
9324 Galaxia Way N
Abq NM 87111

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From: Slagle Architect
POB 10362
Abq Nm 87184

To: Pioneer Founders LLC
306 W Superior St, Ste 1600
Duluth MN 55802-1816

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To: Star Gazer Properties LL
2809 Muriel St NE
Abq Nm 87112-1742

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PS Form 3817, April 2007 PSN 7530-02-000-9065

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POB 8530
Abq Nm 87198-8530

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From: Joe Slagle Archited
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Abq Nm 87184

To: Matthew & Karen Peters
POB 20162
Abq Nm 87154-0162

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To: Dale Oldham
Trustee Oldham Trust
6352 Adm Rickover Dr NE
Abq Nm 87111-1218

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From: Slagle Architect
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To: Theresa C Lavantaski Tr
1125 Muriel St NE
Abq Nm 87112-5620

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From: Slagle Architect
PO Box 10362
Abq Nm 87184

To: R L Chanslor Trustee
PO Box 6323
Abq. NM 87197

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From: Joe Slagle Architect
PO Box 10362
Abq Nm 87184

To: Calvin Gabriels
2821 Muriel St NE
Abq Nm 87112-1745

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Abq Nm 87184

To: Timesmith Holdings
5951 Jefferson St NE Stef
Abq Nm 87109-3450

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From: Joe Slagle Architect
POB 10362
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To: GBN Holdings
5504 Valiente Rd NW
Abq Nm 87120

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From: Slagle Architect
POB 10362
Abq Nm 87184

To: F. Vallejos, Trustee Vallejos Fam
3542 Sequoia Pl NW
Abq NM 87120-1126

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From: Slagle Architect
PO Box 10362
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To: Shawn P Gilliland
1117 Claremont Ave NE
Abq NM 87112-1734

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From: Slagle Architect
POB 10362
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To: VKC Realty LLC
322 Julie Rivers Dr.
Sugarland Tx 77478-3

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From: Slagle Architect
POB 10362
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To: TKG Juan Tabo LLC
40 TKG Mgmt Inc
211 N Stadium Blvd Ste.
Columbia MD 65203-116

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AMOUNT
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R2305M144062-



CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 19, 2022

Joe Slagle, RA
Joe Slagle Architect
PO Box 10362
Albuquerque NM 87184

**Re: Nusenda Credit Union
2801 Juan Tabo NE
Conceptual Traffic Circulation Layout for DRB Approval
Engineer's Stamp 09-18-22 (H21-D020)**

Dear Mr. Slagle,

The conceptual TCL submittal received 09-06-2022 is approved for DRB submittal. When submitting this project through the building permit process, please provide a copy of the approved DRB Site plan along with a more detailed site plan for construction purposes through a second Traffic Circulation Layout submittal process. The detailed plan will be compared against the approved DRB site plan to ensure that all previously approved site infrastructure is shown with exact paving layout, dimensioning, and parking capacity. Ultimately, a copy of the approved DRB Site Plan and the more detailed stamped and signed plan will both be needed for each of the building permit plans. Please keep these originals to be used for certification of the site for final C.O. for Transportation. **Providing ADA ramps easement, is Conditional Release of final CO.**

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.



9-20-22

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- NA G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - NA 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - NA 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas
- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required
No bike trails, pedestrian trails or transit facilities exist near this property.

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

NA

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

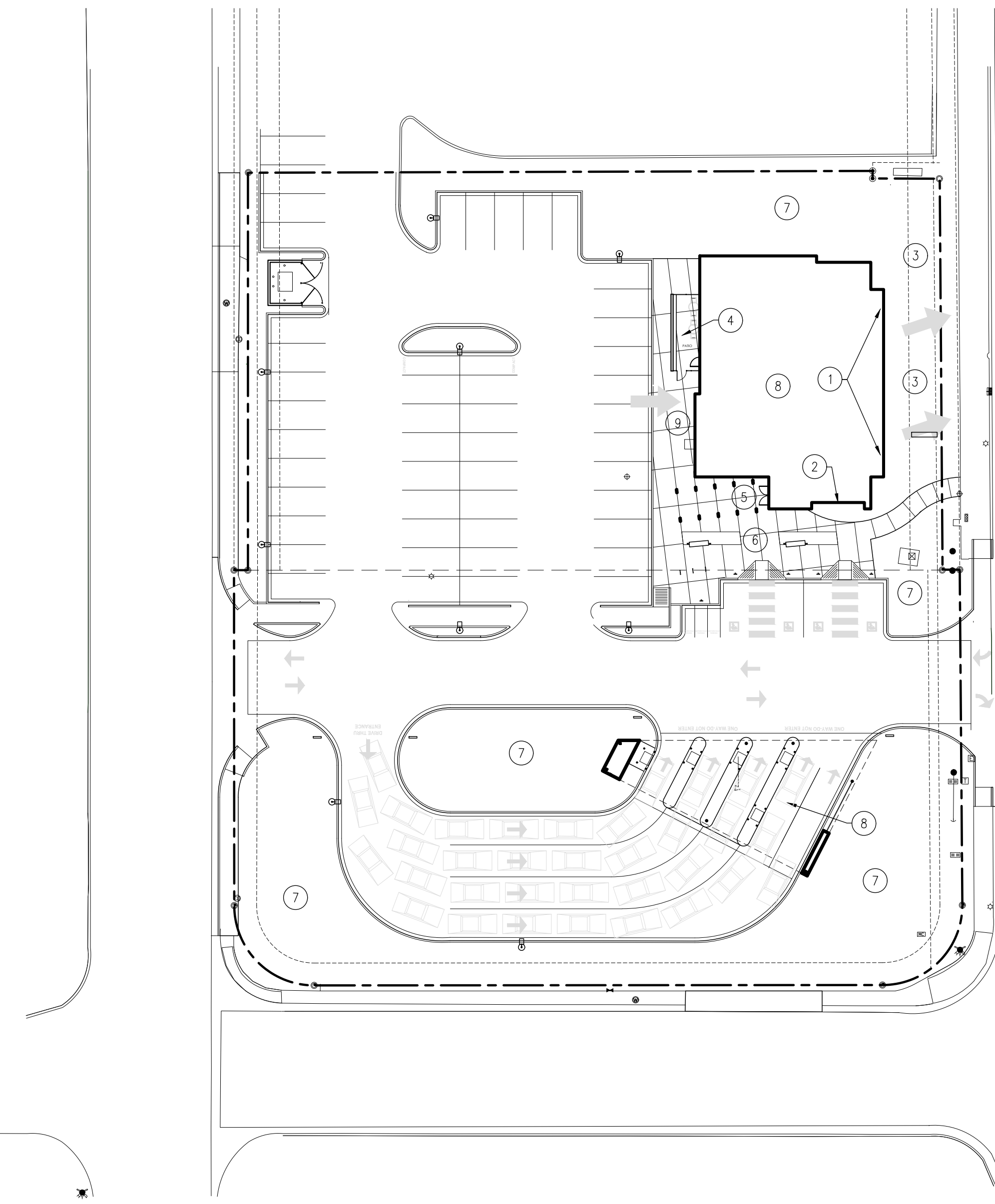
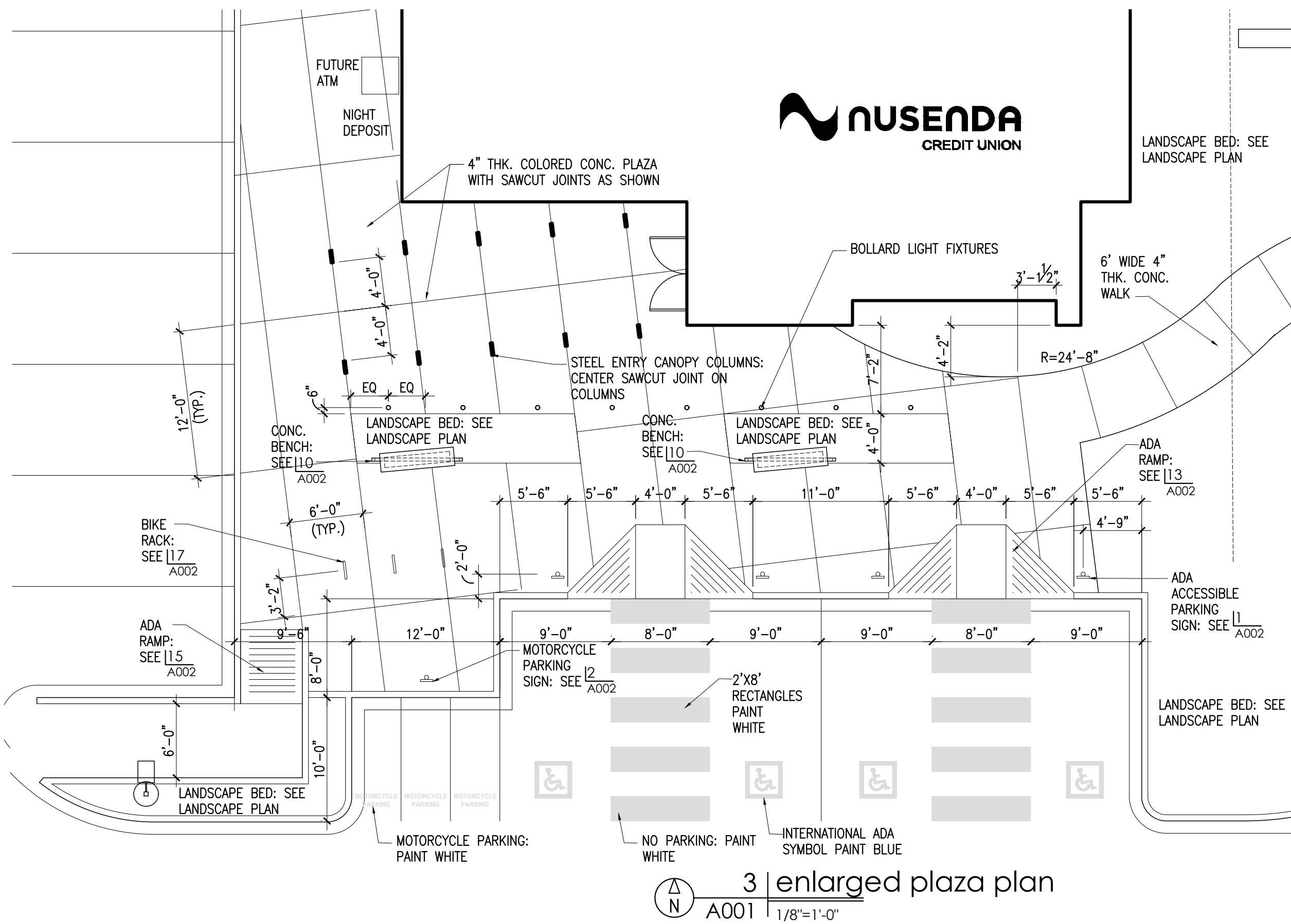
SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO



- KEYED NOTES:**
- LARGE EAST FACING GLASS WALL ALLOWS FILTERED MORNING SUN AS WELL AS PARTIAL VIEWS OF SANDIA MOUNTAINS. GLASS WILL BE INSULATED LOW-E ELECTROCHROMIC SELF TINTING GLASS TO CONTROL DIRECT SUN GLARE.
 - LARGE SOUTH FACING GLASS WALL WITH PROTECTIVE OVERHANG PROVIDES SOUTHERN SUN.
 - EXTENSIVE LANDSCAPING AT EAST SIDE OF BUILDING TO PROVIDE VISUAL AND SOUND BUFFER FROM STREET.
 - OUTDOOR PATIO LOCATED ON WEST SIDE OF BUILDING TO PROTECT FROM ROAD NOISE. LARGE WEST WALL COVERED WITH CLIMBING VINES PROVIDES COOLING EFFECT.
 - ENTRY FACING SOUTH AND WEST WITH EXTENSIVE PROTECTIVE CANOPY TO PROTECT FROM INCLEMENT WEATHER.
 - LANDSCAPED ENTRY PLAZA WITH TREES AND BENCHES TO PROVIDE COOLING EFFECT AT ENTRANCE.
 - LARGE UNBROKEN LANDSCAPE AREAS HELP OFFSET HEAT ISLAND EFFECT.
 - SLIGHTLY SOUTH SLOPING ROOFS AT BUILDING AND DRIVE THROUGH CANOPY TO ALLOW FOR INSTALLATION OF SOLAR PANELS.
 - FEW SMALL OPENINGS ON WEST SIDE. TO MITIGATE HARSH AFTERNOON HEAT.

SITE PLAN KEY NOTES:

- REMOVE EXISTING CONCRETE DRIVE APRON AND REPLACE WITH NEW SIDEWALK AND CURB. COA STD DWG. 2430.
- EXTEND WATER METER ACCESS TO FLUSH WITH TOP OF NEW SIDEWALK.
- DUMPSTER ENCLOSURE: SEE 18, 19 A002, A002
- EXISTING CURB AND PARKING SPACES. TIE NEW CURB INTO EXISTING CURB.
- EXIST. SIDEWALK TO REMAIN
- NEW LIGHT POLE: SEE ELEC DWGS AND 13 A002
- NEW POURED IN PLACE CONCRETE WALL: SEE 14 A002
- NEW PERF MTL PANEL FENCE: SEE 16, 17 A002, A002
- ROOF DRAIN LINE: SEE CIVIL
- PUBLIC UTILITY EASEMENT
- NEW CONCRETE DRIVE APRON AND RETURNS PER CITY OF ABO STD DWG 2426
- CLEAR SIGHT TRIANGLE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN THREE (3') AND EIGHT FEET (8') TALL (AS MEASURED FROM THE CUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.
- 4' WIDE SIDEWALK FLUSH WITH ASPHALT
- 2'X4' WHITE PAINT RECTANGLES PAINTED ON ASPHALT. 12' BETWEEN.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STD DWG 2415A
- SAWCUT CONTROL JOINTS: SEE 13 A002
- EXISTING MONUMENT SIGN TO REMAIN
- EXISTING MONUMENT SIGN TO BE REMOVED
- EXISTING RAMP AND SIDEWALK TO REMAIN
- REMOVE EXISTING CONCRETE BETWEEN PLANTING BEDS ALONG LENGTH OF THIS SIDEWALK
- EXISTING PROPERTY LINE BEING REMOVED BY SEPARATE PLATTING ACTION
- DASHED LINES INDICATE DEMO. SEE PHASING NOTE ABOVE
- REMOVE EXISTING ATM AND CONCRETE PAD
- NEW ADA RAMP PER CITY OF ABO STD DWG. ALL RAMPS IN RIGHT OF WAY SHALL RECEIVE YELLOW TRUNCATED DOME SURFACE.
- REMOVE EXISTING CONCRETE RETAINING WALL
- LANDSCAPE AREA: SEE LANDSCAPE PLAN
- MONUMENT SIGN: SEE 11, 12 A002
- 12" TALL WHITE LETTERS PAINTED ON ASPHALT: "ONE WAY-DO NOT ENTER" AT EXIT, "DRIVE THRU ENTRANCE" AT ENTRANCE
- DIRECTIONAL SIGN: SEE 11, 12 A002
- DIRECTIONAL SIGN: SEE 11, 12 A002

NOTE: UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DRAWING 2415.

PROJECT NUMBER: _____

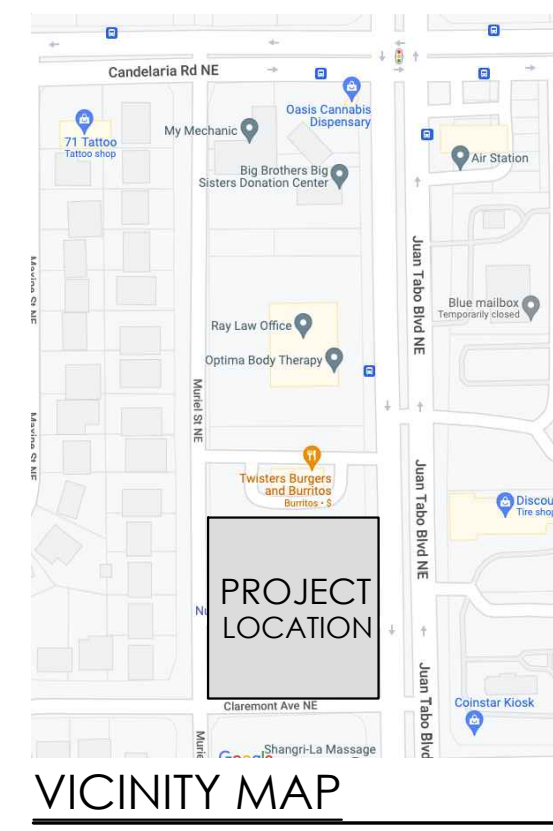
Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

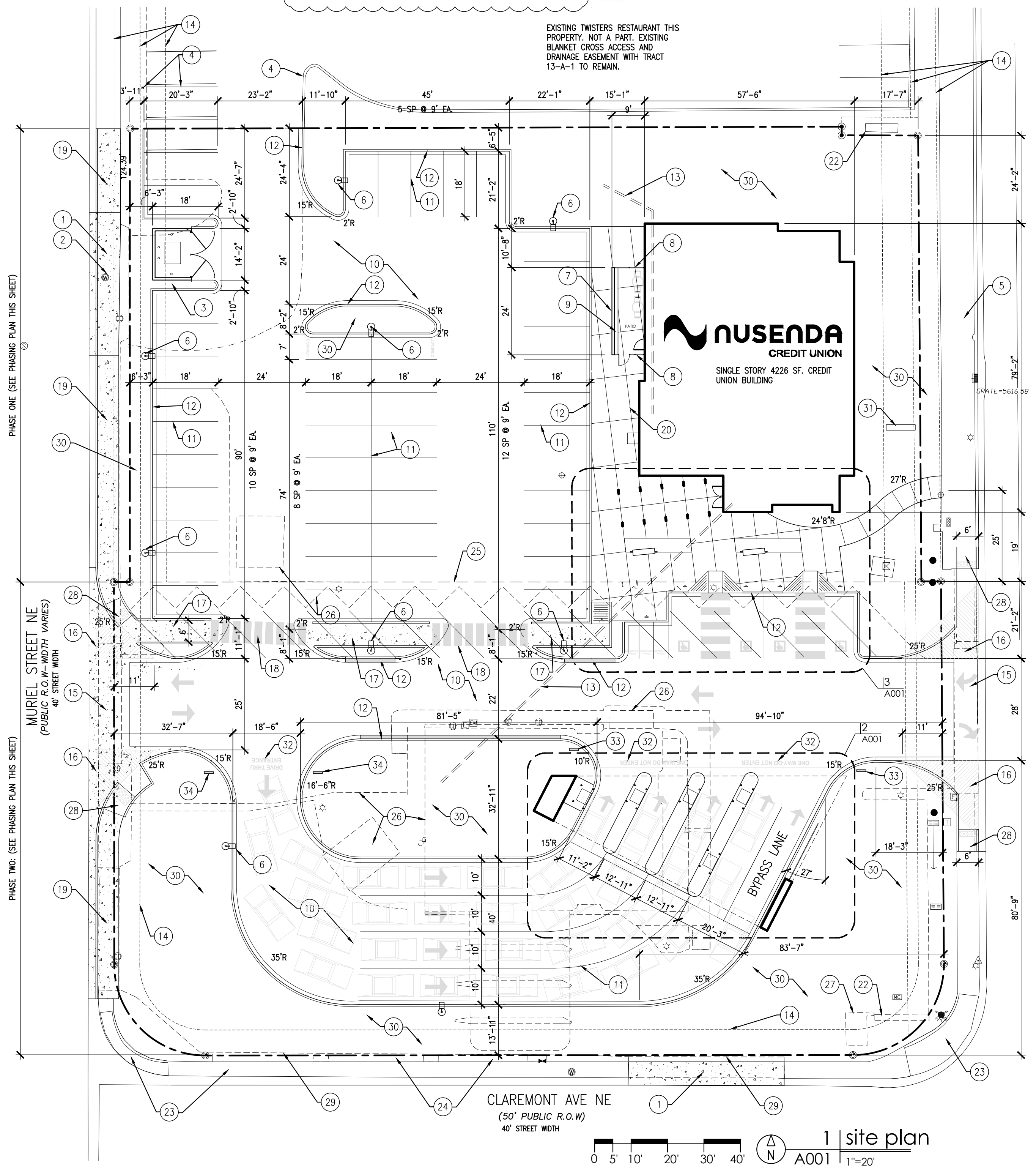
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



SITE DATA

SITE LOCATION	2805 JUAN TABO BOULEVARD NE ALBUQUERQUE, NM
LEGAL DESCRIPTIONS	A-1 TRACT B-2 BLOCK 79 SNOW HEIGHTS ADDITION
UPC NUMBER:	101906418906730212
ZONING:	MX-L
ZONE ATLAS PAGE:	H-21
PREVIOUS DRB APPROVAL:	NONE FOUND
TOTAL LOT AREA:	55,797 SF (1.3 AC)
GROSS BUILDING AREA:	4226 SF
BUILDING FOOTPRINT AREA:	4226 SF
NET LOT AREA (LOT AREA-BLD. FOOTPRINT):	51,571 SF
FLOOR AREA RATIO (GROSS BLDG AREA/LOT AREA):	7.5 %
PARKING CALCULATIONS (PER IDO):	TOTAL SPACES PROVIDED: 51
	3 SP/1000 SF (4226 SF = 12.69 SPACES REQUIRED)
ACCESSIBLE PARKING REQ'D: (51-100)=4 INCL. 1 VAN TOTAL PROVIDED: 4	
MOTORCYCLE PARKING REQUIRED: (51-100) 3 SP. TOTAL PROVIDED: 3	
BICYCLE PARKING REQUIRED: (3 MIN) TOTAL PROVIDED: 5	

- PHASING PLAN:**
- PHASE ONE:
- DEMOLISH ALL EXISTING CONSTRUCTION ON THE PORTION OF THE PROPERTY NORTH OF THE PROPERTY LINE BEING REMOVED. (SEE NOTE 25 ON SITE PLAN. THE EXISTING CREDIT UNION BUILDING, PARKING LOT AND DRIVE THROUGH ON THE SOUTH PORTION OF THE PROPERTY IS TO REMAIN OPEN.
 - FENCE OFF THE NORTH PORTION OF THE PROPERTY AND CONSTRUCT THE NEW SINGLE STORY CREDIT UNION BUILDING AS DESCRIBED IN THESE CONSTRUCTION DRAWINGS.
 - GRADE THE NORTH PORTION OF THE PROPERTY PER THE APPROVED GRADING AND DRAINAGE PLAN. PROVIDE TEMPORARY PONDING AS NECESSARY.
- PHASE TWO:
- REMOVE THE EXISTING BUILDING ON THE SOUTH PORTION OF THE PROPERTY ALONG WITH ALL SITE WORK, RETAINING WALLS, PARKING LOTS, CURBS, AND LANDSCAPE.
 - GRADE SOUTH PORTION OF PROPERTY PER THE APPROVED GRADING AND DRAINAGE PLAN.
 - CONSTRUCT THE DRIVE THROUGH CANOPY AS DESCRIBED IN THE CONSTRUCTION DRAWINGS.
 - COMPLETE ALL SITE FLATWORK, INCLUDING CONCRETE WALKS, DRIVEWAYS, RAMPS, CURBS, PAVING, AND LANDSCAPE FOR THE ENTIRE SITE AS DESCRIBED IN THE CONSTRUCTION DRAWINGS.



SITE PLAN

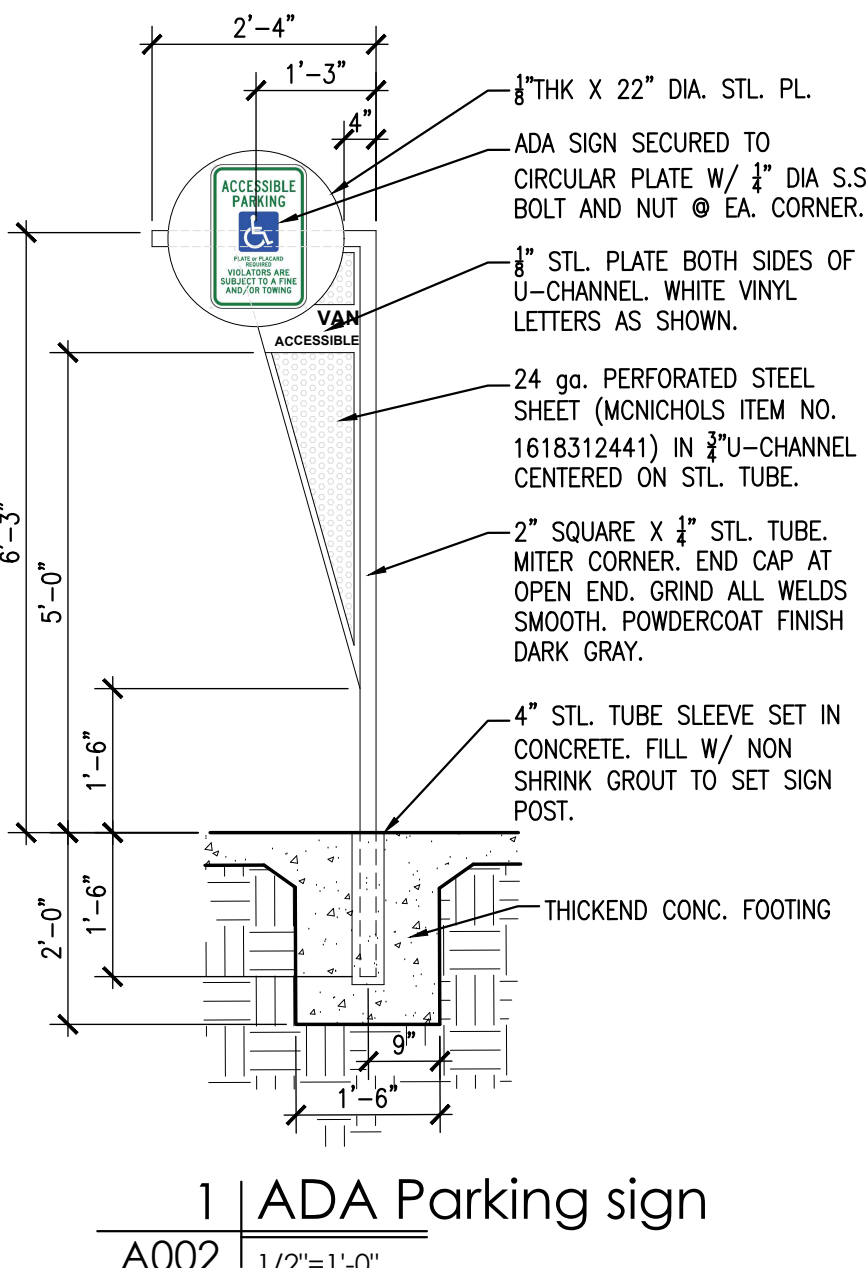
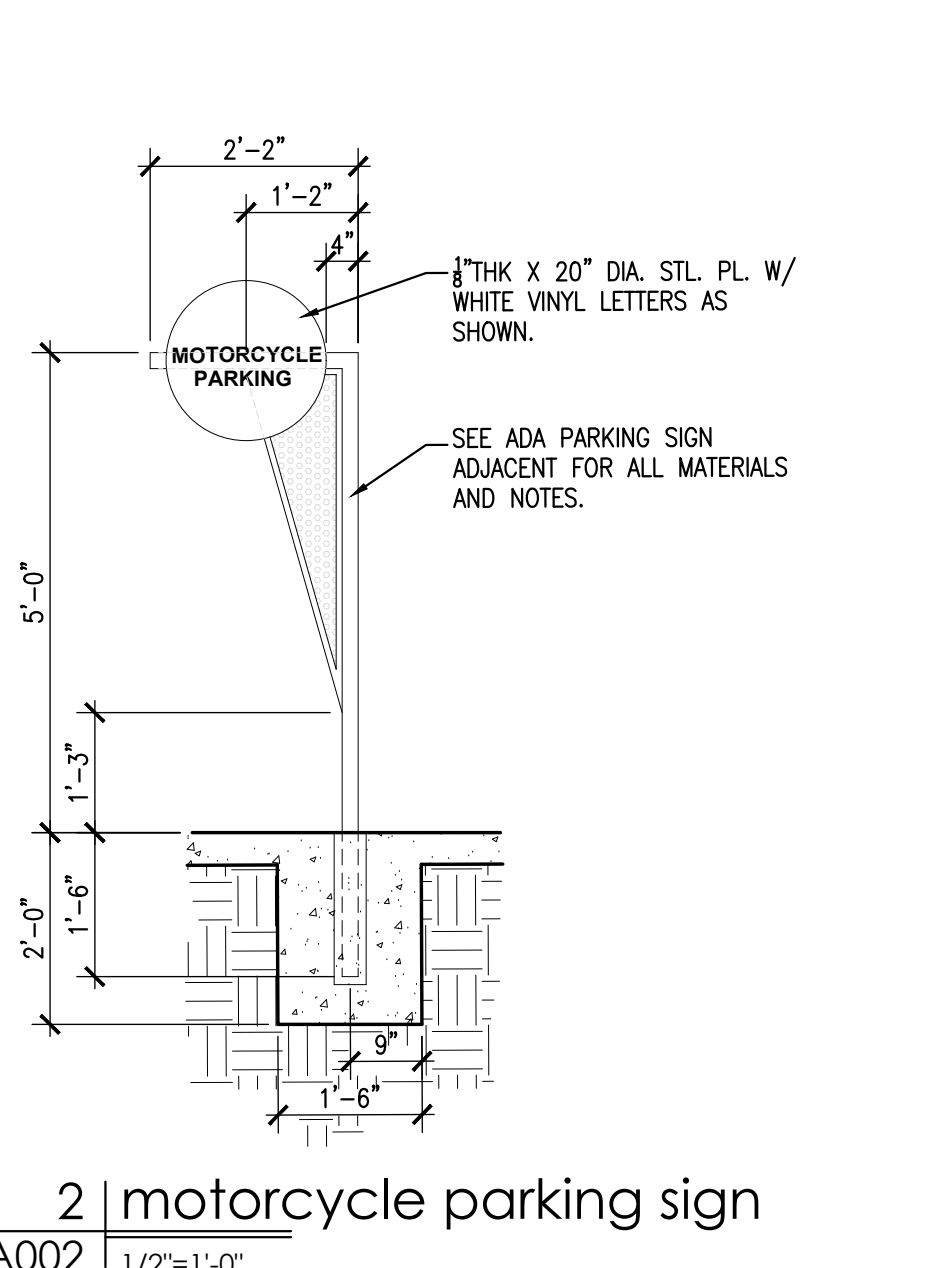
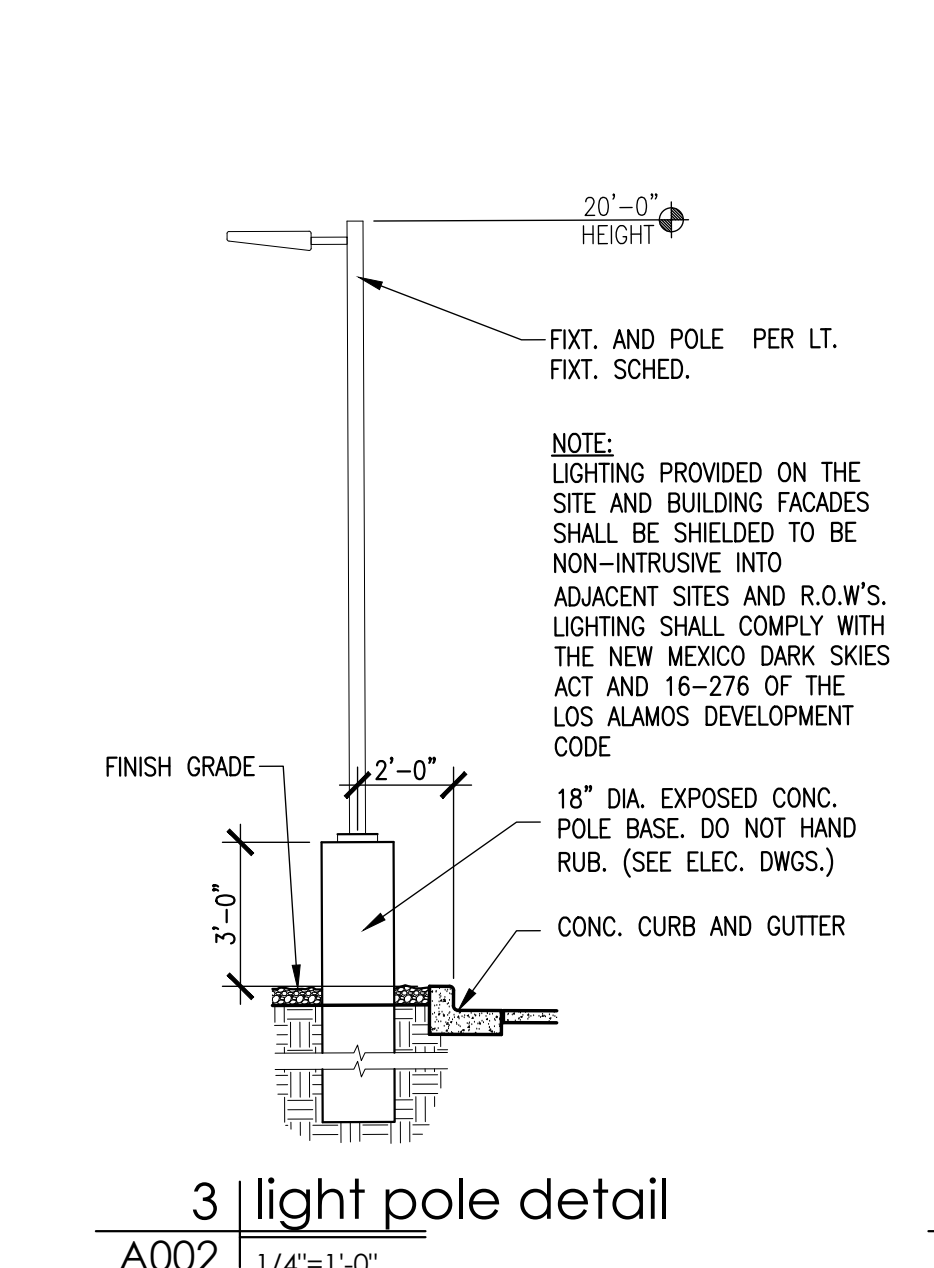
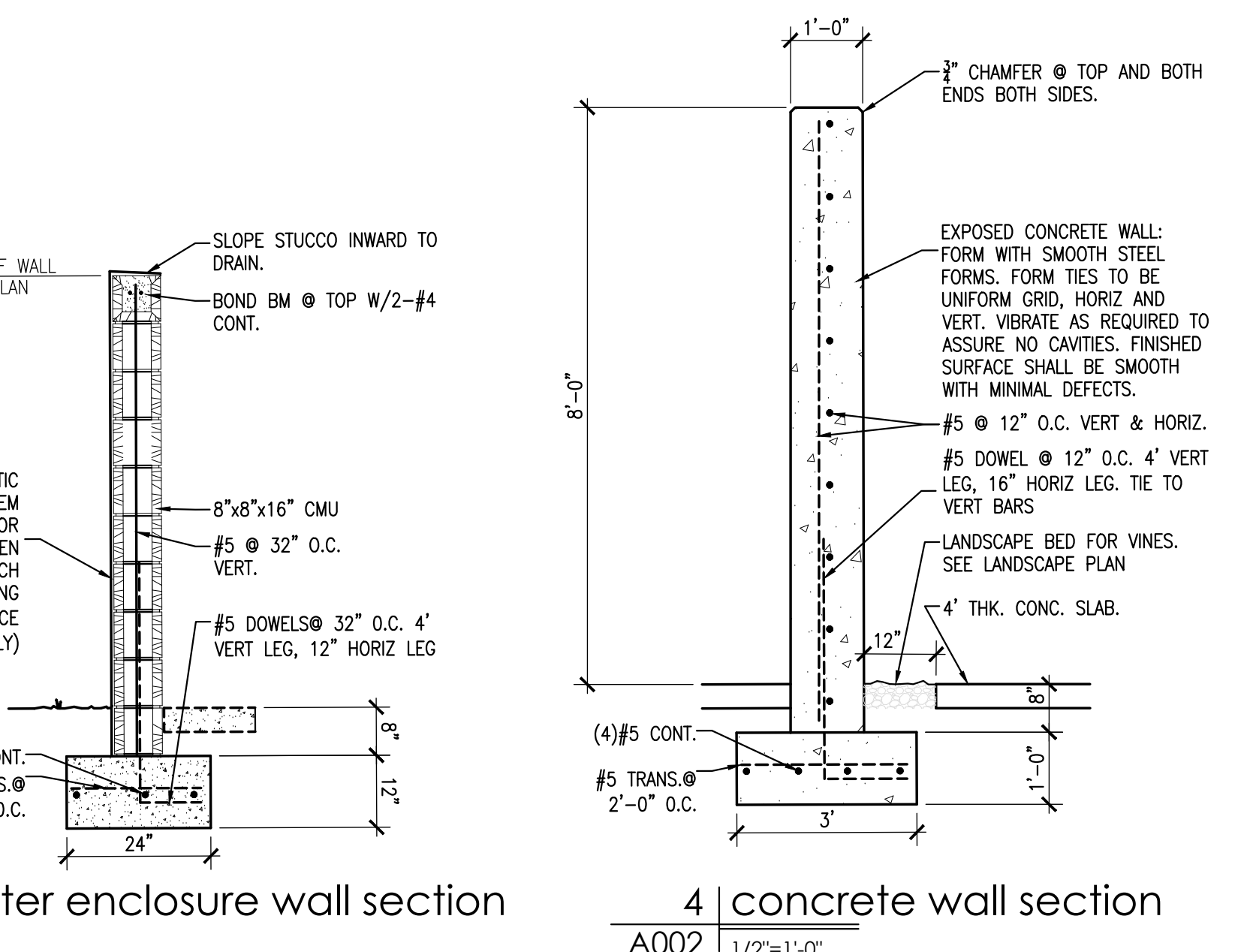
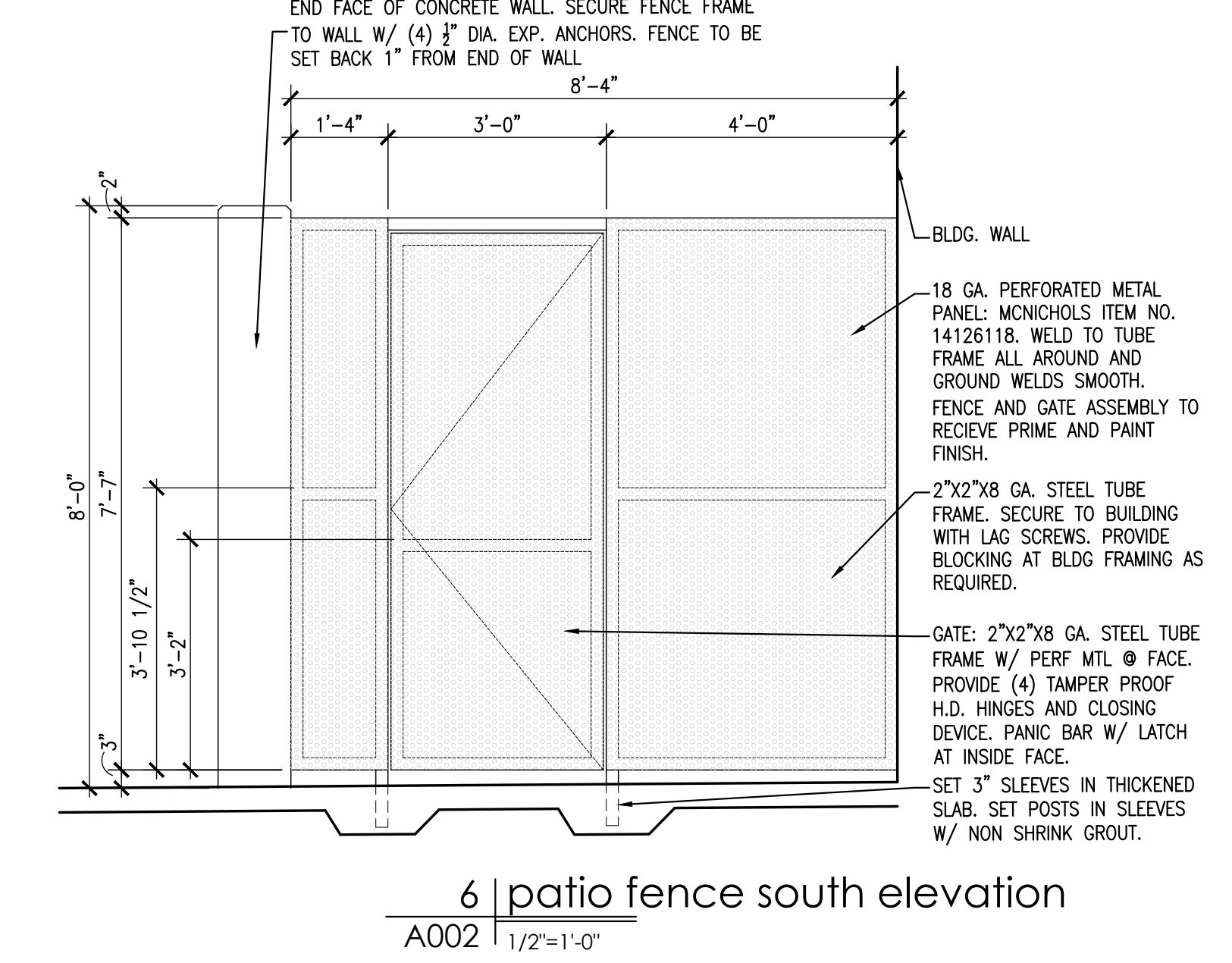
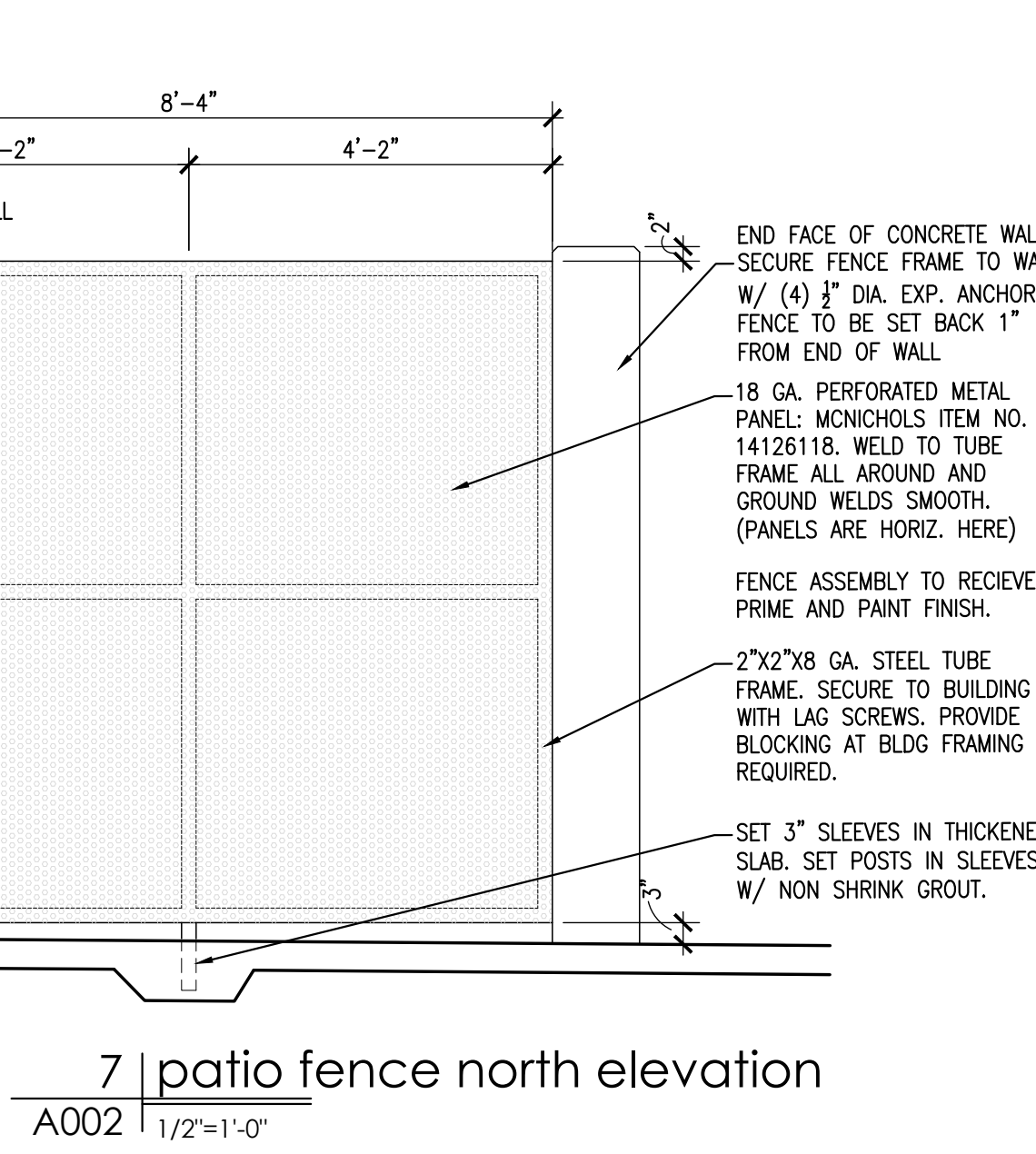
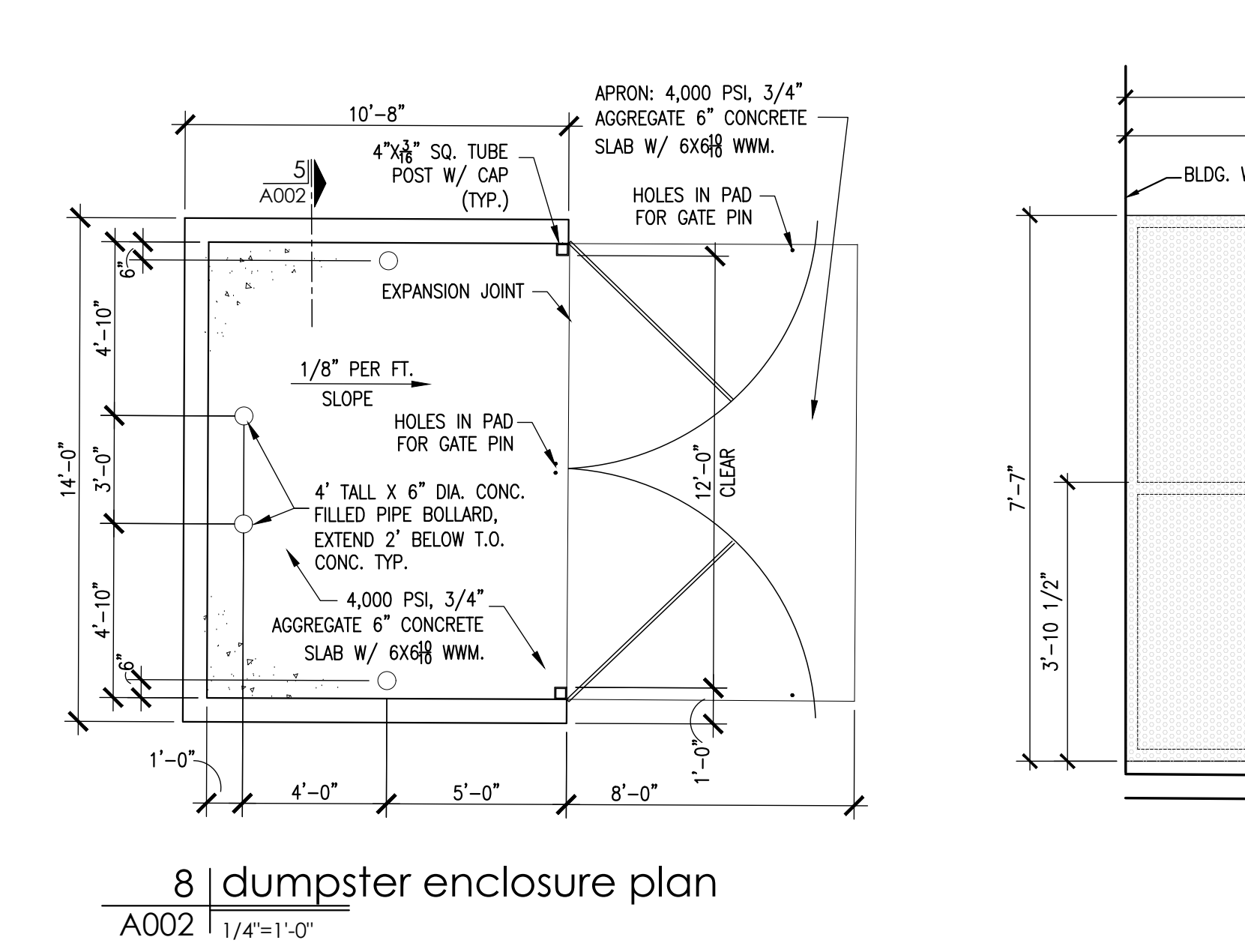
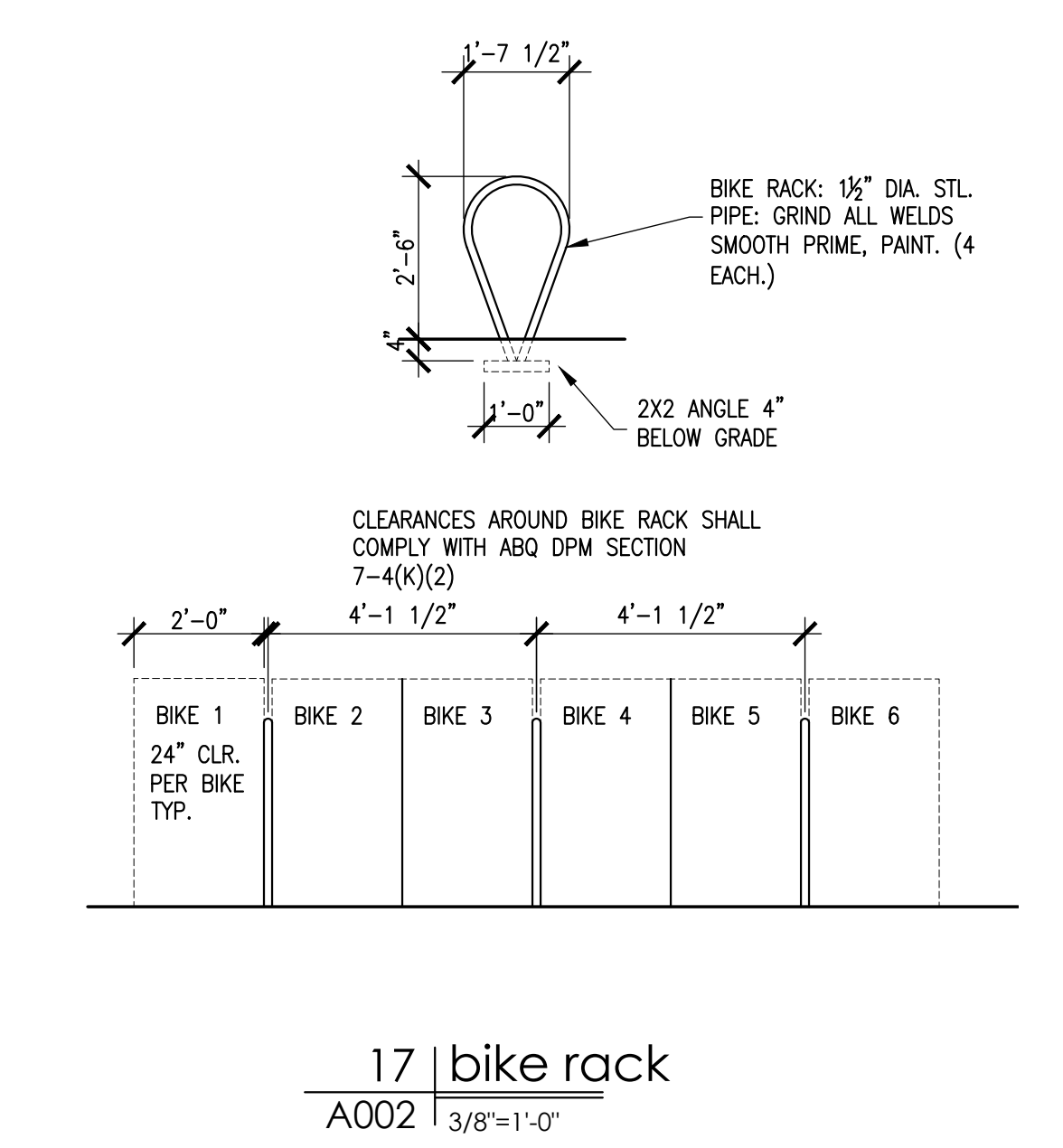
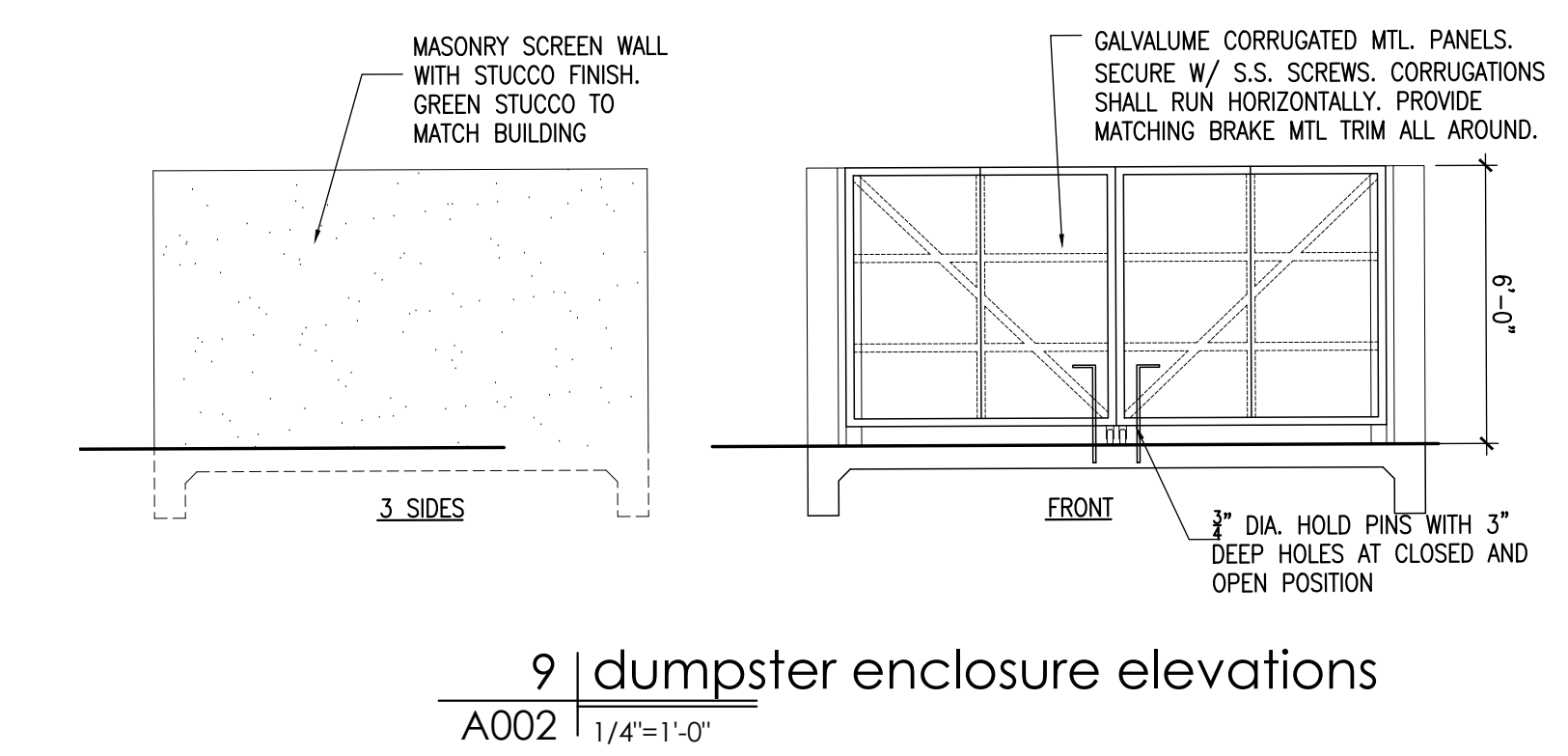
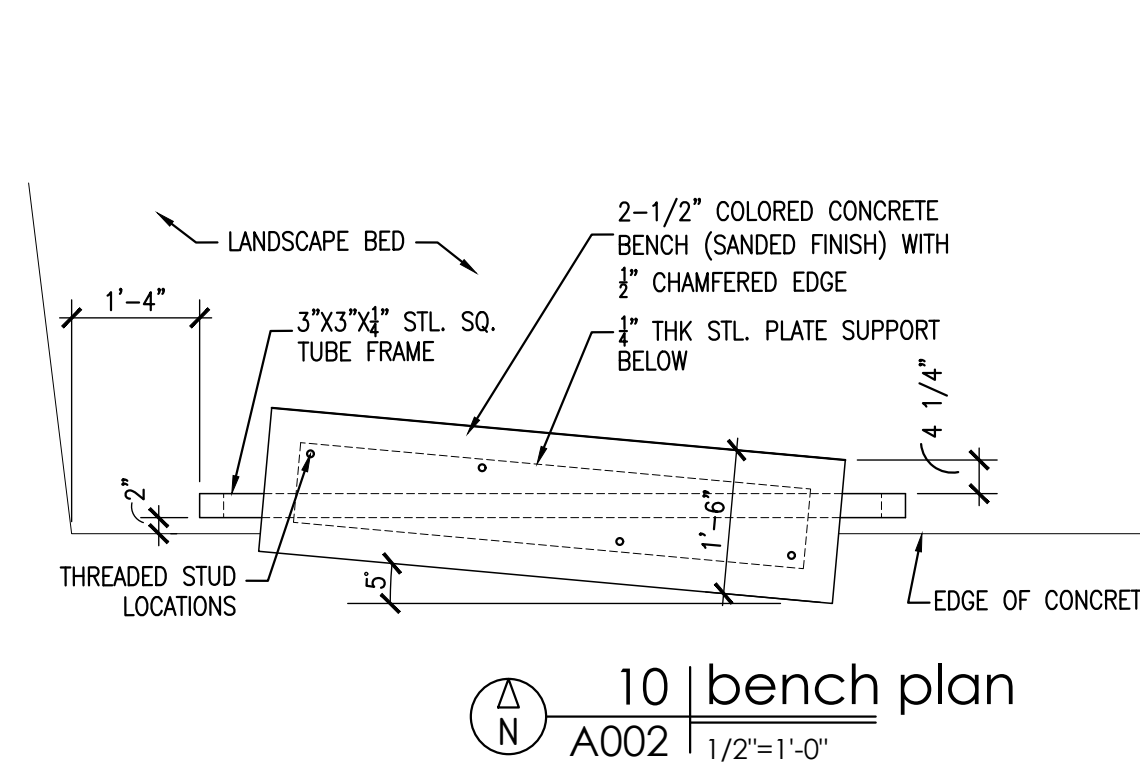
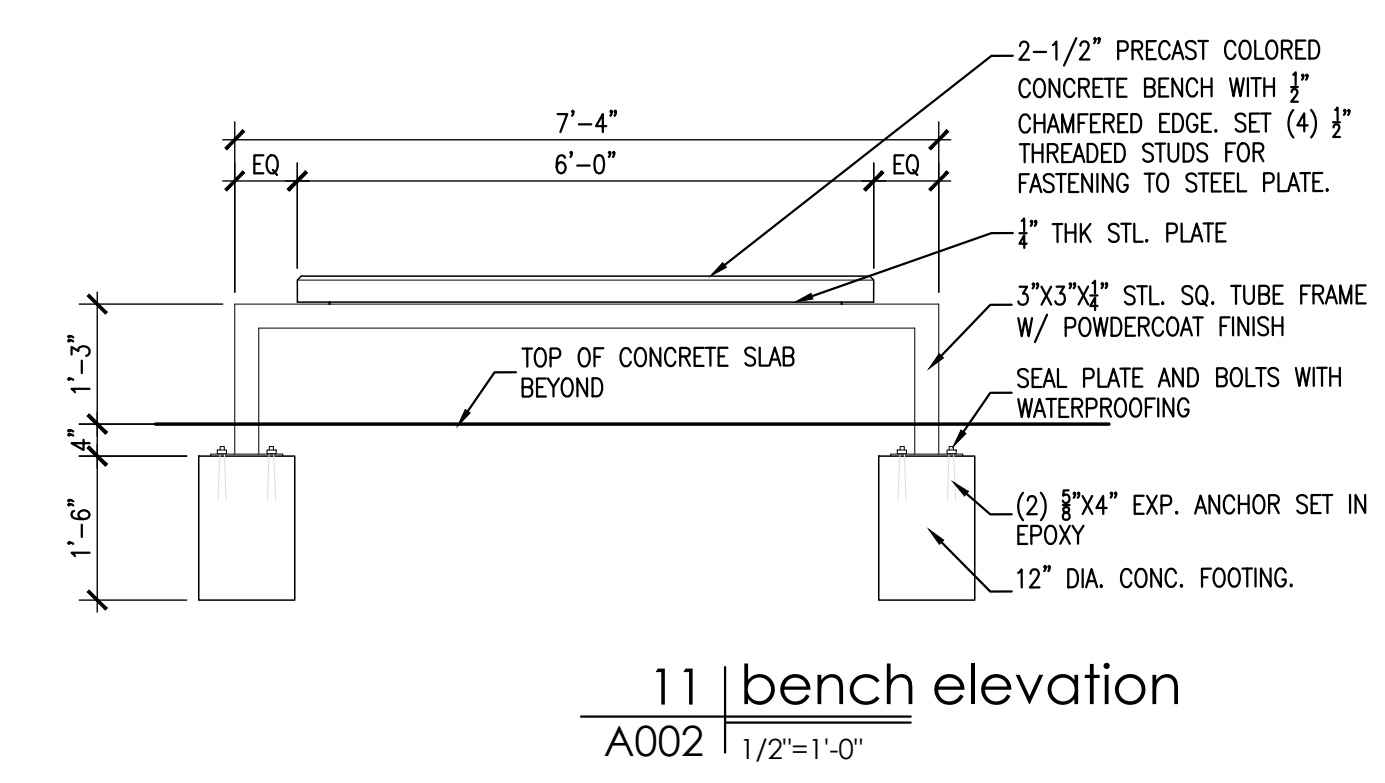
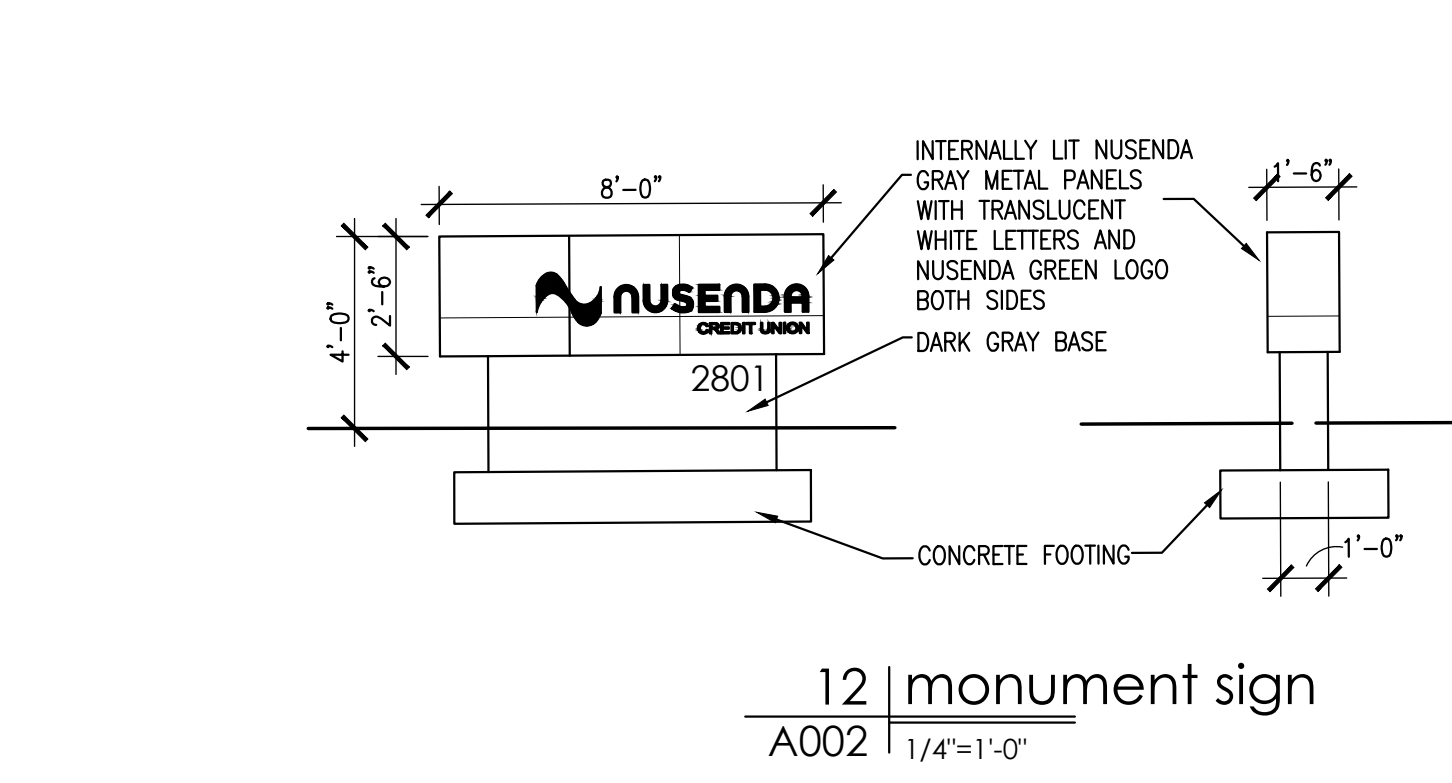
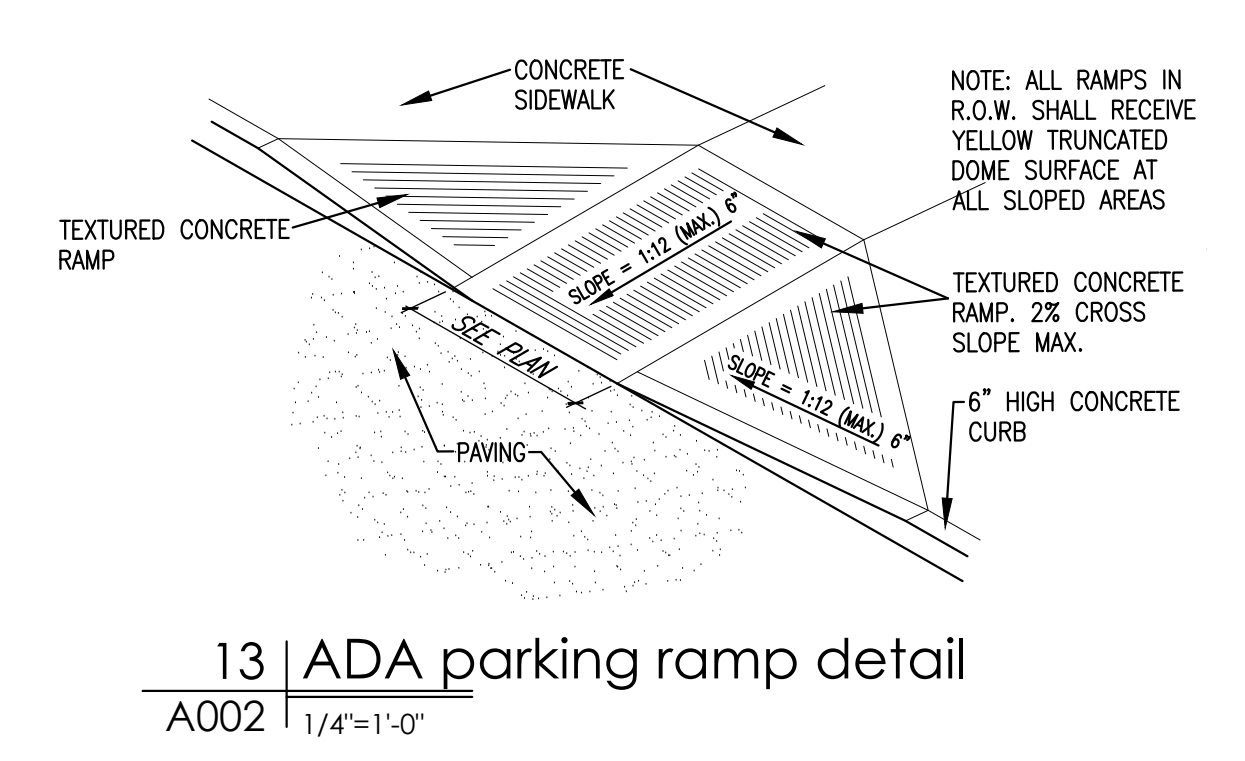
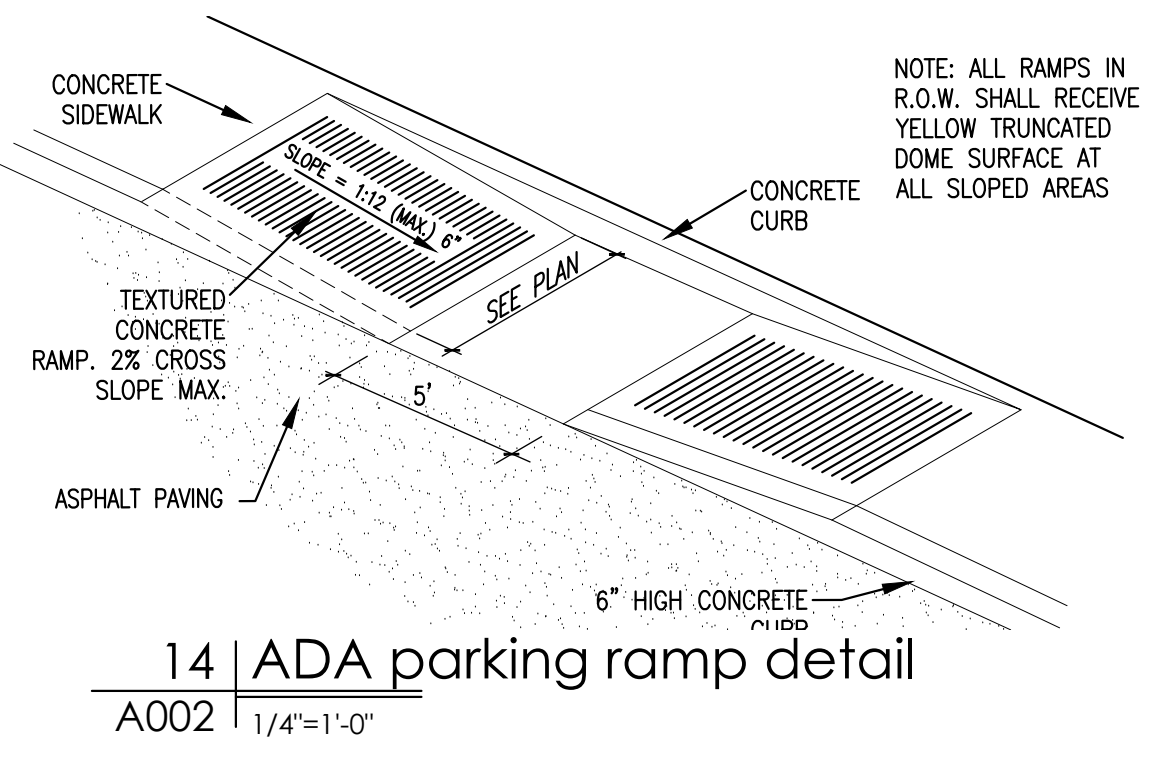
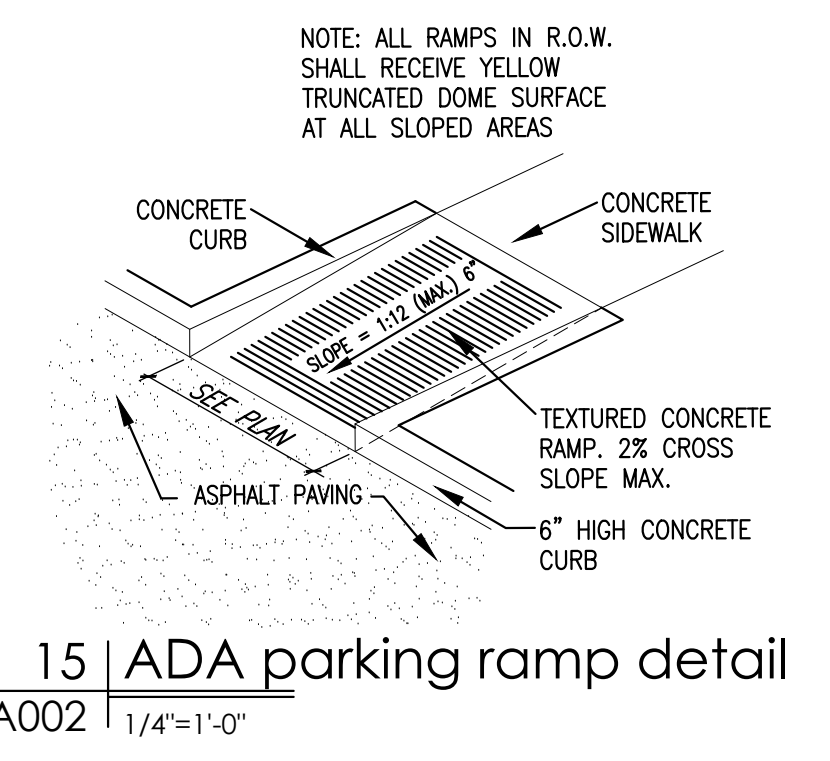
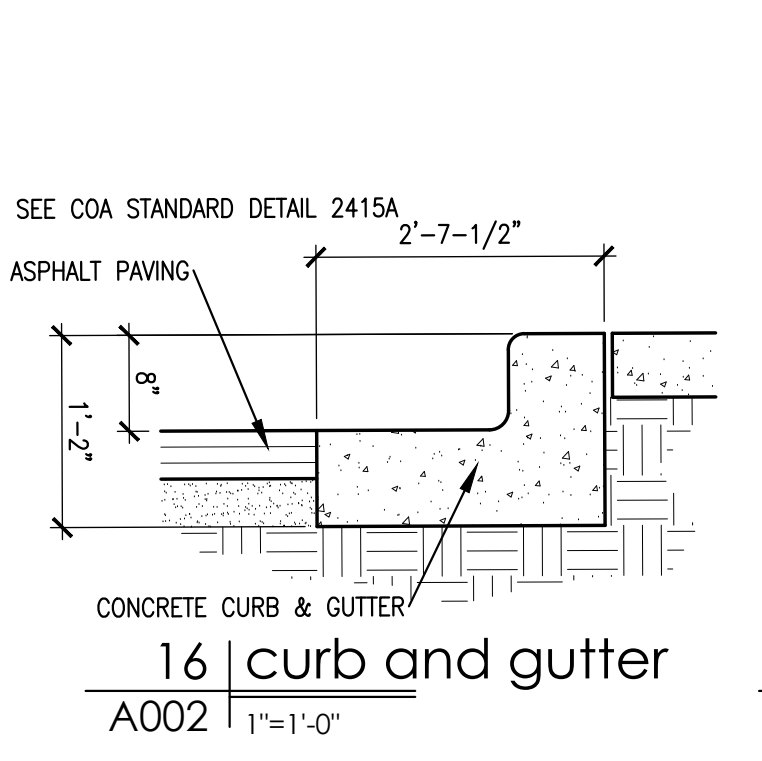
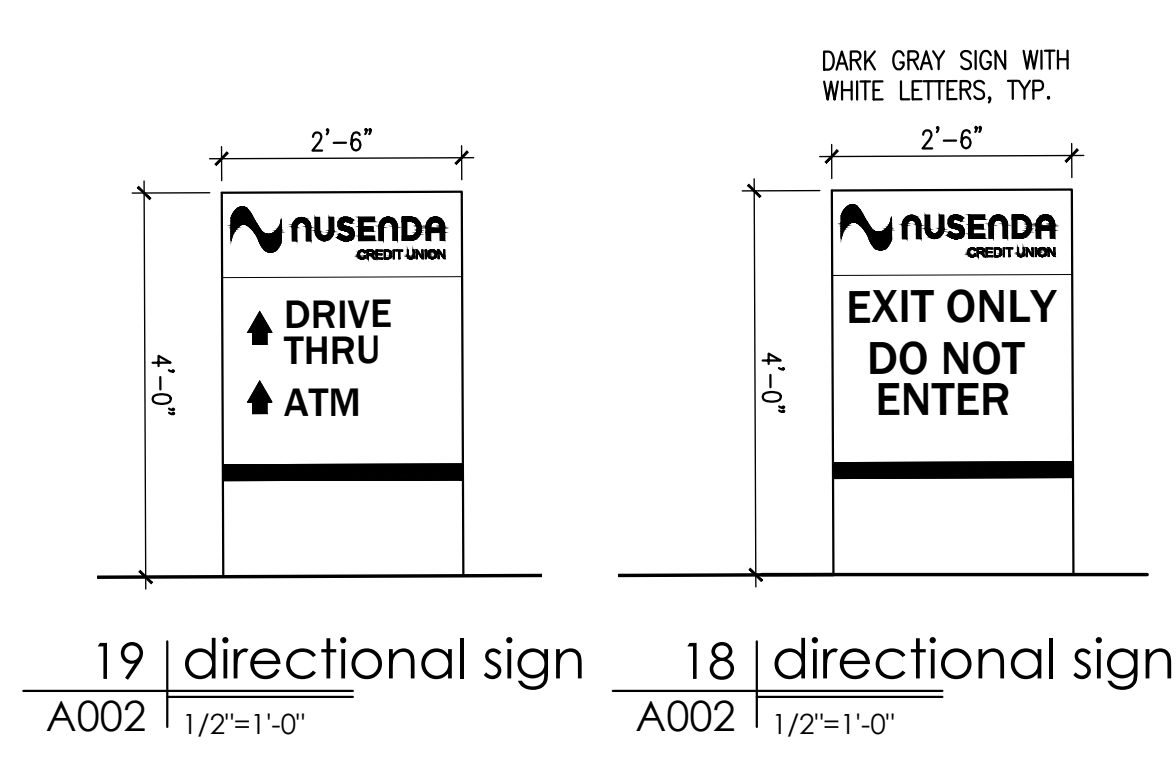
A NEW BRANCH FOR:

2801 JUAN TABO BLVD NE
ALBUQUERQUE, NM



revisions
 9-18-22 TCL COMMENT

date:
 8-30-22
 sheet:
 A001



SITE DETAILS

A NEW BRANCH FOR:

2801 JUAN TABO BLVD NE
ALBUQUERQUE, NM



revisions

date:
8-30-22
sheet:
A002

LEGAL DESCRIPTION

TRACT B-2 and 13a, BLOCK 79, SNOW HEIGHTS ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BASIS OF ELEVATIONS

ELEVATION DATUM IS BASED ON 1988 FROM AGRS MONUMENT "10 H22" PUBLISHED ELEVATION (FEET) = 5619.801

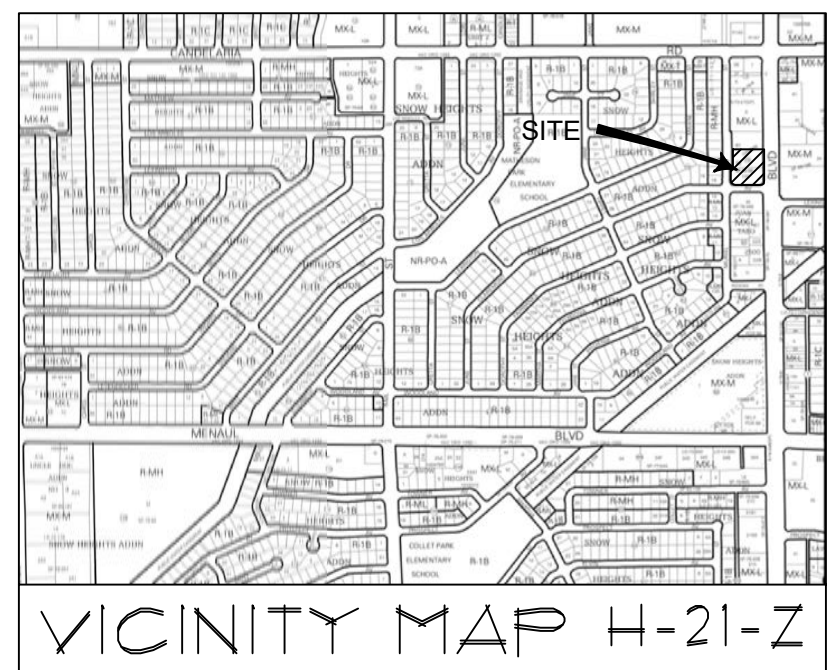
GENERAL NOTES

A FIELD VERIFY ALL SPOT ELEVATIONS SHOWN AT EXISTING CURB AND GUTTER AT ROADWAYS

joe slagle architect

P.O. Box 10362
Abq, NM 87114

Walla Structural Engineering
Civil Engineering
6501 Americas Parkway NE, Suite 301
Albuquerque, New Mexico 87110
881-3008 • Facsimile 881-4025



VICINITY MAP H-21-Z

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR (SPECIAL ORDER 19 - "90-19")

- BUILD SIDEWALK CULVERT PER COA STD. DUG. 2236.
- CONTACT STORM DRAIN MAINTENANCE AT (505) 851-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE, DIAL "811", OR CALL (505) 260-1990, FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- CONTRACTOR MUST CONTACT STORM DRAIN MAINTENANCE AT (505) 851-8033 TO SCHEDULE A CONSTRUCTION INSPECTION, FOR EXCAVATING AND BARRICADING INSPECTION, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

KEYED NOTES

- ASPHALT PAVING PER DETAIL 1/C201
- CONCRETE PAVING PER DETAIL 2/C201
- CONCRETE CURB AND GUTTER PER DETAIL 3/C201
- 2'-0" WIDE CURB BREAK FOR DRAINAGE CONVEYANCE
- 4'-0" WIDE X 10'-0" GRAVEL RIPRAP ROUNDOFF
- 2'-0" WIDE SIDEWALK CULVERT PER CITY OF ALBUQUERQUE STANDARD DRAWING #2236
- REMOVE AND REPLACE EXISTING CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD DRAWING #2415A
- REMOVE AND REPLACE EXISTING SIDEWALK PER CITY OF ALBUQUERQUE STANDARD DRAWING #2430
- REMOVE AND REPLACE EXISTING DRIVE ACCESS PER CITY OF ALBUQUERQUE STANDARD DRAWING #2426
- CONCRETE CATCH BASIN PER DETAIL 4/C201 - TG+03.00 INV OUT = 01.80
- 8" FVC C300 STORM DRAIN - 1% SLOPE
- CONCRETE POND OVERFLOW ROUNDOFF PER DETAIL 5/C201
- CONCRETE ISLAND PER DETAIL 6/C201

LEGEND

- PROPERTY LINE
- NEW BUILDING LINE
- EXISTING CONTOUR
- NEW CONTOUR
- NEW SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- SWALE
- FINISH FLOOR
- TOP OF ASPHALT
- TOP OF CONCRETE OR CURB
- FLOW LINE
- TOP OF GRADE
- INVERT
- ROOF DRAIN LOCATION
- NEW CONCRETE PAVING/SIDEWALK
- NEW AC PAVING
- BASIN BORDER LINE

Hydrology Calculations

Nusenda @ 2801 Juan Tabo NE - Site Area = 1.292 acres
Design Criteria: City of Albuquerque Development Process Manual - June 2020 Chapter 6 Drainage, Flood Control, and Erosion Control Procedure for 40-Acre and Smaller Basins
Precipitation Zone 3 per Section 6-2(A)(1), Table 6.2.7 and Figure 6.2.3
Excess Precipitation, E, per Table 6.2.13
Peak Discharge for Small Watersheds: per Table 6.2.14

PRE-DEVELOPED CONDITIONS - Entire Site

Land Treatment	Area (ac)	Excess Precip. "E" (in)	Peak Q (cfs/acre)	Coefficient C
A	0.000	0.67	1.84	0.37
B	0.417	0.86	2.49	0.50
C	0.000	1.09	3.17	0.64
D	0.876	2.58	4.49	0.91

Weighted E: [(0.417 x 0.86) + (0.876 x 2.58)] / 1.292 = 2.027 in
V₃₀ = 2.027 x 1.292 x 43560 / 12 = 9505 CF
Total Q_p = (0.417 x 2.49) + (0.876 x 4.49) = 4.97 CFS

POST-DEVELOPED CONDITIONS - Entire Site

Land Treatment	Area (ac)	Excess Precip. "E" (in)	Peak Q (cfs/acre)	Coefficient C
A	0.000	0.67	1.84	0.37
B	0.376	0.86	2.49	0.50
C	0.000	1.09	3.17	0.64
D	0.916	2.58	4.49	0.91

Weighted E: [(0.376 x 0.86) + (0.916 x 2.58)] / 1.292 = 2.08 in
V₃₀ = 2.08 x 1.292 x 43560 / 12 = 9755 CF
Total Q_p = (0.376 x 2.49) + (0.916 x 4.49) = 5.05 CFS

Rational Method Check: 12-minute Peak Intensity, I = 4.96 in/hr
Q = CIA = (0.50 x 4.96 x 0.376) + (0.91 x 4.96 x 0.916) = 5.066 CFS OK

Storm Water Quality Volume, (SWQV)
Impervious Area = 0.916 ac
BMP Volume Required: 0.42" x 0.916 ac x 43560 / 12 = 1397 CF

DEVELOPED CONDITIONS - BASIN I

Land Treatment	Area (ac)	Excess Precip. "E" (in)	Peak Q (cfs/acre)	Coefficient C
A	0.000	0.67	1.84	0.37
B	0.114	0.86	2.49	0.50
C	0.000	1.09	3.17	0.64
D	0.101	2.58	4.49	0.91

Weighted E: [(0.114 x 0.86) + (0.101 x 2.58)] / 0.215 = 1.67 in
V₃₀ = 1.67 x 0.215 x 43560 / 12 = 1303 CF
Total Q_p = (0.114 x 2.49) + (0.101 x 4.49) = 0.358 CFS

Pond 1

VOLUME:	Contour	Area	Volume
	14.38	1666 SF	561 CF
	14.00	1285 SF	859 CF
	13.00	432 SF	267 CF
	TOTAL	1420 CF	> 1303 CF OK

DEVELOPED CONDITIONS - BASIN II

Land Treatment	Area (ac)	Excess Precip. "E" (in)	Peak Q (cfs/acre)	Coefficient C
A	0.000	0.67	1.84	0.37
B	0.262	0.86	2.49	0.50
C	0.000	1.09	3.17	0.64
D	0.815	2.58	4.49	0.91

Weighted E: [(0.262 x 0.86) + (0.815 x 2.58)] / 1.077 = 2.16 in
V₃₀ = 2.16 x 1.077 x 43560 / 12 = 8451 CF
Total Q_p = (0.262 x 2.49) + (0.815 x 4.49) = 4.312 CFS

Storm Water Quality Volume (SWQV) Required: Impervious Area = 0.815 AC
Redeveloped Site Rainfall = 0.26"
SWQV Req'd = 0.26" / 12 in/ft x 0.815 AC x 43560 sq/AC = 769.2 CF

SWQV POND 2 VOLUME:

Contour	Area	Volume
07.40	1300 SF	427 CF
07.00	928 SF	446 CF
06.00	594 SF	761 CF
	Sub total	1207 CF

SWQV BMP 2 VOLUME:

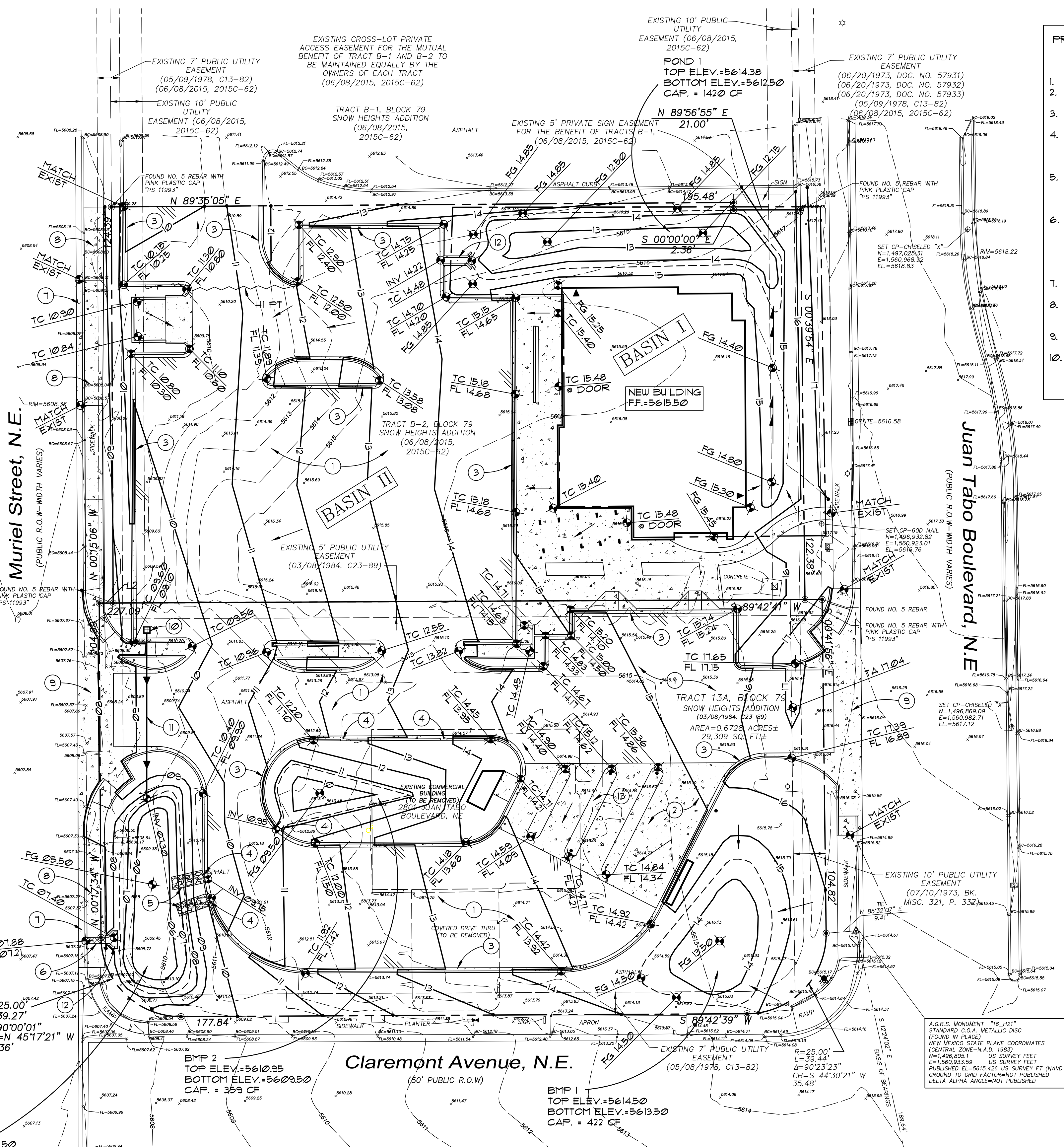
Contour	Area	Volume
10.95	420 SF	139 CF
10.00	336 SF	359 CF
	Total Volume	1566 CF > 769.2 CF OK

Grading & Drainage Design Narrative

Subject Property: Nusenda Credit Union - 2801 Juan Tabo NE, Albuquerque, NM
Area of Site: 1.292 Acre
Reference: City of Albuquerque Development Process Manual (DPM)
Project Description: The development is the construction of a new 3500 SF, single story structure with a drive up banking canopy and new concrete and asphalt paved access sidewalks and vehicle parking.
Predeveloped Conditions: The existing site is two lots that will be combined into one. The southern lot has an existing bank building that will be demolished along with the existing paving to create the new facility while the northern lot has some broken paved surfaces that will be removed. The site will be regraded and the new building will be constructed north of the existing building pad. Both of the current lots direct runoff from east to west across the site in sheet flow pattern that ends up in Muriel St. at the west border of the site. From there the developed runoff appears to proceed west on surface facilities in Claremont Ave. eventually ending up in the Piedra Lisa Arroyo or below grade storm drain in Menaul Blvd.
Developed Runoff: The new development will remove all existing structures and regrade the entire site. Basin I encompasses only the new building and the landscaped area on the NEC of the site. This basin will have a pond that will capture all of the 100-yr runoff volume. Basin II is basically the rest of the site and will have two smaller BMP areas along with a retention pond located at the SWC of the site. These facilities will capture a runoff volume exceeding the required Storm Water Quality Volume (SWQV) for a redeveloped site. Excess runoff volume will discharge to Muriel St. as it has previously but the new development will reduce this historic runoff volume and flow considerably.

revisions

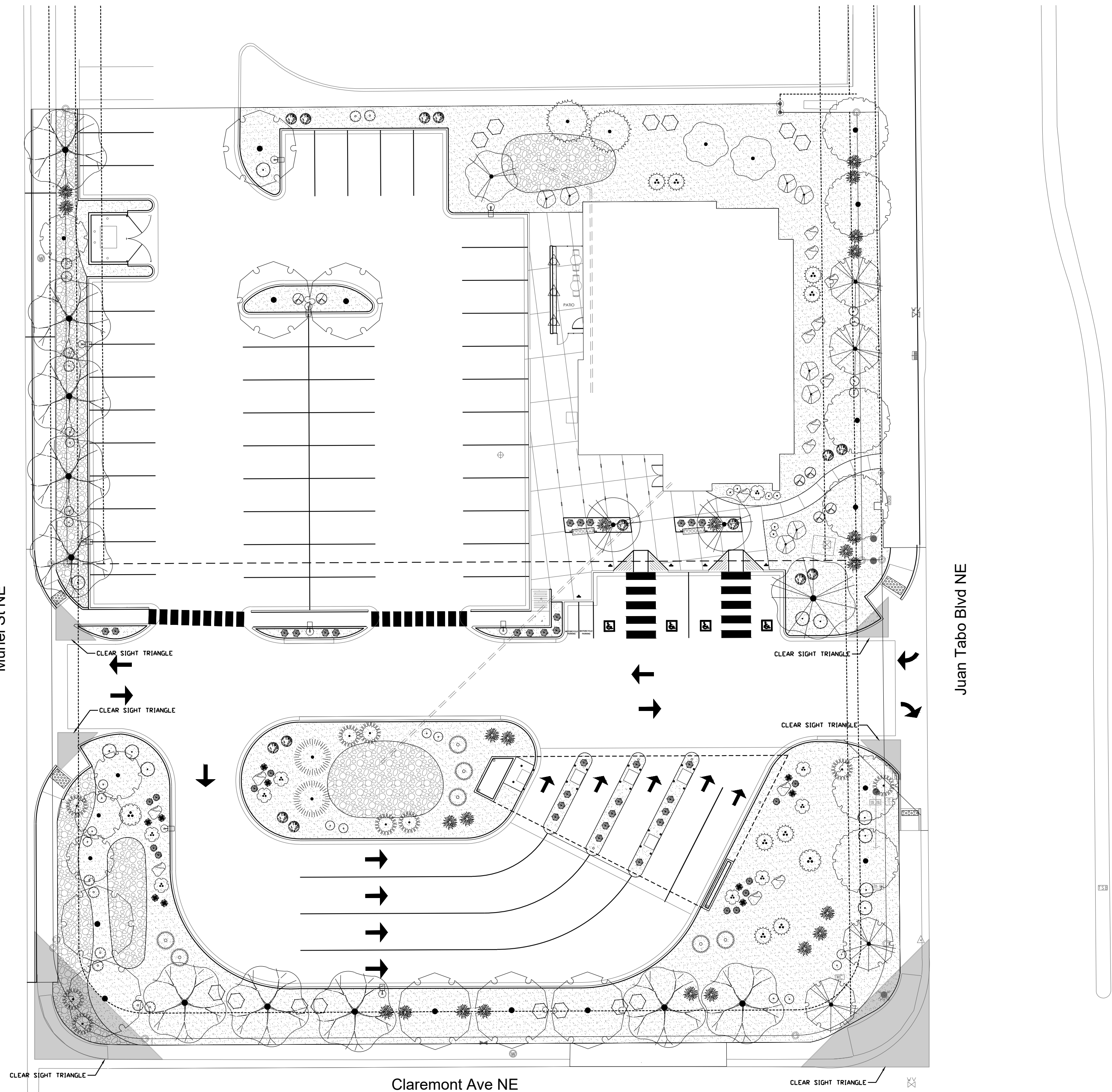
date:
8-8-22
sheet:
C101



City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 08/25/22
BY: *Renee C. Brissett*
HydroTrans # H21D020

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND DOES NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTION OR ERROR OR DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTIONS. SUCH APPROVED PLANS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

1 | grading and drainage plan
PLAN NORTH
1" = 20'-0"



SITE DATA

GROSS LOT AREA	56,251 SF
BUILDING AREA	4,226 SF
NET LOT AREA (NET.)	52,025 SF

LANDSCAPE AREA (LAN.)

REQUIRED	7,804 SF (15% OF NET.)
PROPOSED	19,584 SF (38% OF NET.)

VEGETATION COVERAGE (VEG.)

REQUIRED	5,852 SF (75% OF LAN.)
PROPOSED	29,726 SF (381% OF LAN.)

GROUND-LEVEL PLANTS COVERAGE

REQUIRED	1,463 SF (25% OF VEG.)
PROPOSED	3,321 SF (57% OF VEG.)

STREET TREES (1 PER 25 LF)

REQUIRED	30
PROPOSED	30

PARKING LOT TREES (1 PER 10 PARKING SPACES)

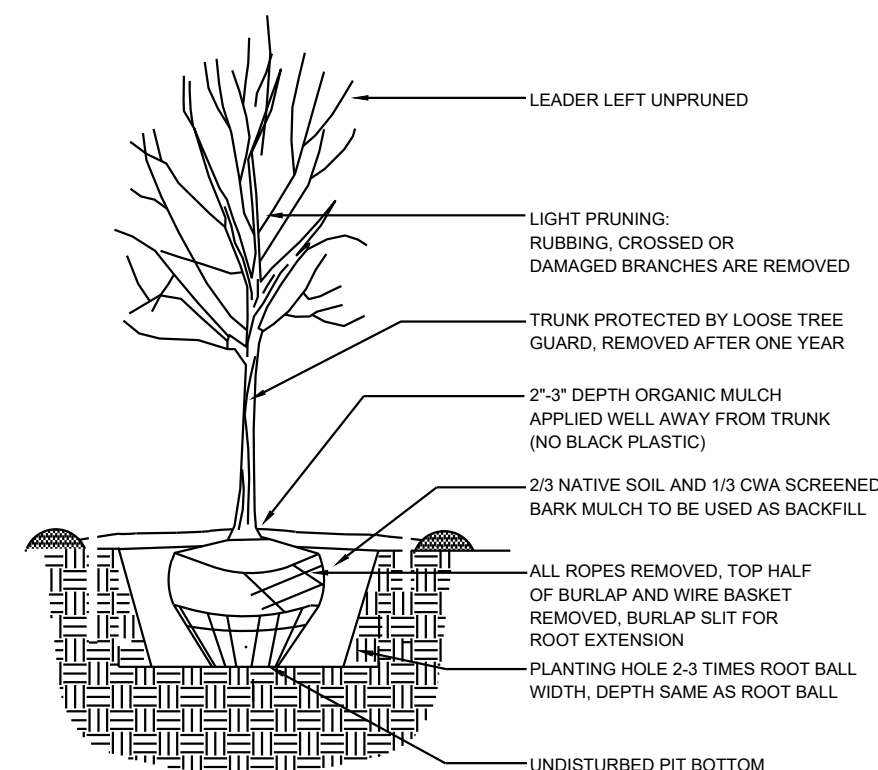
REQUIRED	6
PROPOSED	6

TOTAL

REQUIRED	36 TREES
PROPOSED	40 TREES

GENERAL NOTES

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.
- ALL MAINTENANCE FOR LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. MAINTENANCE OF STREET TREES AND SHRUBS SHALL FIND THEM IN HEALTHY, LIVING, AND ATTRACTIVE CONDITION.
- ALL ON-SITE PLANT MATERIAL, NOW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS. EMITTERS SHALL BE PLACED AT EVEN SPACING AT DRIP LINE OF TREES AND SHRUBS AT THE MULCH'S SURFACE AT A RATE OF SIX (6) 2.0 GPH EMITTERS PER TREE AND TWO (2) 2.0 GPH EMITTERS PER SHRUB.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. APPROPRIATE MEASURES HAVE BEEN TAKEN TO DESIGN AND INSTALL A WATER-CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE.
- 6 PLANTINGS IN CLEAR SIGHT TRIANGLE NOT TO OBSTRUCT LINE OF VISION FROM 3' HEIGHT TO 8' HEIGHT.



1 TREE PLANTING DETAIL

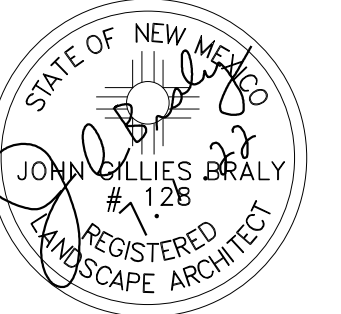
PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE	
	1	CHILOPSIS LINEARIS 'ART'S SEEDLESS' / ART'S SEEDLESS DESERT WILLOW	24"BOX	20' X 25'	491	
	4	CRATAEGUS CRUS-GALLI 'INERMIS' / THORNLESS HAWTHORN	2" B&B	25' X 20'	314	
	2	FORESTIERA NEOMEXICANA / NEW MEXICAN PRIVET	24"BOX	15' X 15'	177	
	8	GLEDITSIA TRIACANTHOS INERMIS / THORNLESS COMMON HONEYLOCUST	2" B&B	50' X 45'	1590	
	2	MALUS X 'RADIANT' / RADIANT CRAB APPLE	2" B&B	20' X 20'	314	
	1	PISTACIA CHINENSIS / CHINESE PISTACHE	2" B&B	60' X 60'	2826	
	6	PRUNUS CERASIFERA / FLOWERING PLUM	2" B&B	20' X 20'	314	
	4	PYRUS CALLERYANA 'CLEVELAND SELECT' / CLEVELAND SELECT PEAR	2" B&B	25' X 15'	177	
	10	ULMUS PROPINQUA 'EMERALD SUNSHINE' / EMERALD SUNSHINE ELM	2" B&B	35' X 25'	491	
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE	
	2	PINUS CEMBROIDES EDULIS / PINYON PINE	6" B&B	30' X 20'	314	
					SUBTOTAL	26,405 SF
DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE	
	9	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	3' X 4'	13	
	2	NOLINA MICROCARPA / BEARGRASS	5 GAL	5' X 6'	28	
	8	YUCCA BACCATA / BANANA YUCCA	5 GAL	4' X 5'	20	
FLOWERING PLANTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE	
	10	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	1 GAL	2' X 2'	3	
	6	NEPETA X FAASSENII 'SELECT BLUE' / CATMINT	1 GAL	1' X 2'	3	
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE	
	12	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL	3' X 3'	7	
	31	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	30" X 2'	3	
VINE/ESPALIER	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE	
	3	PARTHENOISSUS QUINQUEFOLIA / VIRGINA CREEPER	5 GAL	CLIMBING+30'	50	
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE	
	14	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	1 GAL	3' X 3'	7	
	8	CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH' / FERNBUSH	5 GAL	5' X 6'	28	
	11	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	4' X 4'	13	
	20	SALVIA GREGGII / AUTUMN SAGE CHERRY	1 GAL	2' X 3'	7	
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE	
	7	CERCOCARPUS INTRICATUS / LITTLE LEAF MOUNTAIN MAHOGONY	5 GAL	6' X 6'	28	
	12	ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	5 GAL	3' X 4'	13	
	14	FALLUGIA PARADOXA / APACHE PLUME	5 GAL	6' X 7'	38	
	9	JUNIPERUS SABINA 'BUFFALO' / BUFFALO JUNIPER	5 GAL	2' X 9'	64	
	6	RHAPHIOLEPIS INDICA / INDIAN HAWTHORN	5 GAL	3' X 4'	13	
	24	ROSMARINUS OFFICINALIS 'ARP' / ARP ROSEMARY	5 GAL	6' X 4'	13	
	2	SPARTIUM JUNCEUM / SPANISH BROOM	5 GAL	10' X 10'	79	
					SUBTOTAL	3,321 SF
					TOTAL	29,726 SF

MATERIAL SCHEDULE

SYMBOL	DESCRIPTION	QTY
	LARGE BOULDER	15
	MOUNTAINAIR BROWN 7/8" GRAVEL	
	2-4" GRAY, ROUND COBBLE	

YELLOWSTONE
LANDSCAPE
www.yellowstonelandscape.com
PO Box 10597
Albuquerque, NM 87184
505.898.9615
design@yellowstonelandscape.com



Date: 6/28/2022

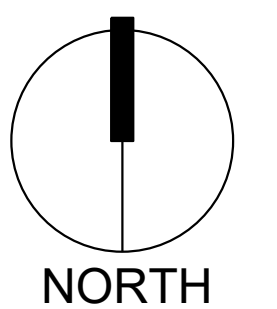
Revisions:

- ▲ 7/1/2022
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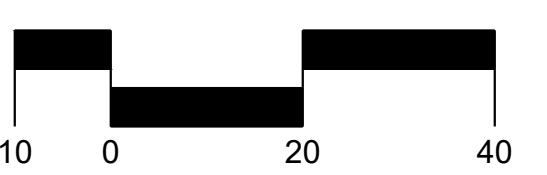
Drawn by: PL

Reviewed by: CM

Nusenda
 2801 Juan Tabo
 Albuquerque, New Mexico



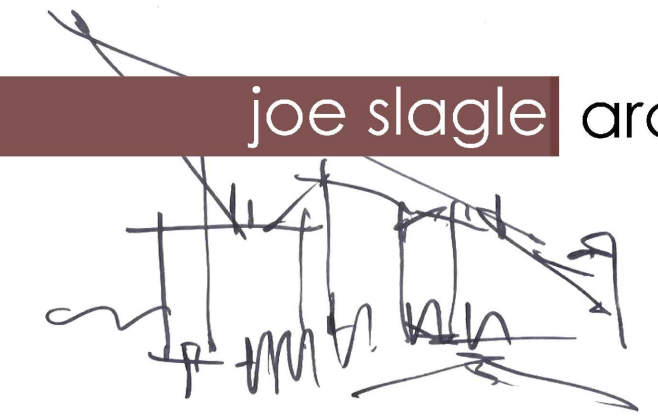
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Sheet Title:
Landscape Plan

Sheet Number:

LS-01



KEYED NOTES:

- S1 NEW SMOOTH TEXTURE SYNTHETIC STUCCO SYSTEM OVER LATH AND VAPOR BARRIER. COLOR-NUSENDA GREEN
- S2 NEW SMOOTH TEXTURE SYNTHETIC STUCCO SYSTEM OVER LATH AND VAPOR BARRIER. COLOR-PALE BLUE
- ZP ZINC PANELS
- MT METAL TRIM TO MATCH METAL PANELS
- GMP CORRUGATED GALVALUME METAL PANELS
- PMP PRE-FINISHED PERFORATED METAL PANELS-SILVER
- WDW INSULATED LOW-E GLASS WINDOW IN CLEAR ANOD. ALUM. FRAME
- FGW INSULATED LOW-E FROSTED GLASS WINDOW IN CLEAR ANOD. ALUM. FRAME
- CW POURED IN PLACE CONCRETE WALL
- STL PAINTED STEEL-WHITE
- MR PRE-FINISHED STANDING SEAM METAL ROOF-WHITE
- SPF STEEL PICKET FENCE-PAINTED DARK GRAY
- SIGN INTERNALLY ILLUMINATED LOGO AND SIGN



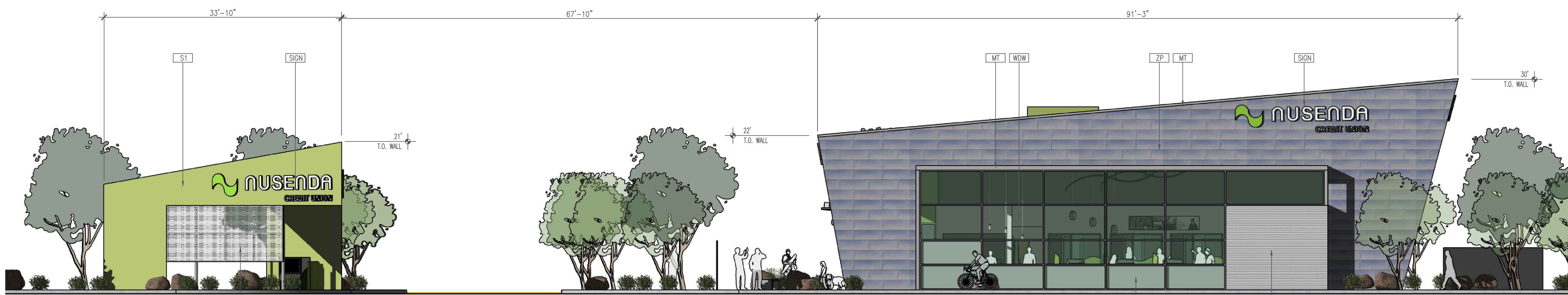
1 | north elevation
A201 | 1/8"=1'-0"



2 | south elevation
A201 | 1/8"=1'-0"



3 | west elevation
A201 | 1/8"=1'-0"



4 | east elevation
A201 | 1/8"=1'-0"

ELEVATIONS

A NEW BRANCH FOR:



revisions

date:
6-27-22
sheet:
A201

Albuquerque Site & Building Design Considerations

This form should be submitted with all commercial and multifamily site plans, except if the development is industrial or the multifamily is less than 25 units. *The project architect and landscape architect must complete the evaluation and sign the end of this form (fillable in Adobe Acrobat Reader).*

The City of Albuquerque design philosophy promotes building performance: buildings that are sustainable and that promote the health and well-being of its citizens. This design philosophy will result in architecture that is unique to Albuquerque and fosters a sense of place and identity.

The most important aspect of a building is the building's ability to function well in response to its surroundings and the unique environmental constraints and opportunities of its specific location. They include bio-climate (winter and summer), solar access and impact, and views of Albuquerque's prominent geographic features. Albuquerque has compelling environmental forces--the daily and seasonal position of the sun, and a very unique force, the dramatic views to the Sandia mountains and other physical features. These are not subjective forces but rather tangible and timeless forces. They are physical properties that can be measured and documented. When architects and landscape architects acknowledge and respond to these forces, the resulting design is unique to Albuquerque in its aesthetic expression and its function.

Design Considerations for Compliance with IDO Section 5-2 (D)

In Albuquerque, building and site design must consider summer and winter climate zones in combination due to our high desert location. Albuquerque also has dramatic views of the Sandia mountains and other physical features that can be captured in windows, patios, and balconies. Identify by checking the box that you have achieved, achieved in part, or evaluated only the following design principles in your site and building layout and building design.

Section A.

General Site Arrangement and Building Orientation:

1. The building design should account for sun and shadow in a sun and shade analysis. The design should allow for heat loss during the summer months and heat gain during the winter months. Specific submittal requirements for the sun and shade analysis are in *Section B*.

Achieved Achieved in Part Evaluated Only

2. The building shapes should account for strong solar radiation effects on the east and west sides of the building and may encourage consideration of a slender elongation. Building wings extending on the east-west axis are preferable.

Achieved Achieved in Part Evaluated Only

3. Buildings oriented slightly east of south are preferable to secure balanced heat distribution.

Achieved Achieved in Part Evaluated Only

4. Design should allow for winter sun penetration and may inform depths of interiors so as not be excessive.

Achieved Achieved in Part Evaluated Only

5. Design should allow for natural ventilation as much as possible.

Achieved Achieved in Part Evaluated Only

Building Entries and Windows:

6. Building windows to the south and southeastern sides are preferable. South facing windows are easy to shade from the summer sun with simple horizontal overhangs, projections, or plantings.

Achieved Achieved in Part Evaluated Only

7. North facing entries should be carefully considered because they receive no direct sunlight during much of the winter and increase the need for snow and ice removal.

Achieved Achieved in Part Evaluated Only

8. North facing windows are encouraged as they require little to no shading.

Achieved Achieved in Part Evaluated Only

9. Any west facing building entries and windows should mitigate solar effects.

Achieved Achieved in Part Evaluated Only

Outdoor Elements (Integration):

10. Site plan design should spatially connect outdoor and indoor areas.

Achieved Achieved in Part Evaluated Only

11. Buildings arranged around landscape vegetated areas are preferred to use evaporative cooling effects and heat radiation losses at night.

Achieved Achieved in Part Evaluated Only

12. Buildings should be shaded by trees on all sun-exposed sides, especially the east and west exposures.

Achieved Achieved in Part Evaluated Only

13. Trees placement should be in combinations of two-thirds deciduous to one-third evergreen. Trees selection should have three or more tree types to avoid loss of species due to disease.

Achieved Achieved in Part Evaluated Only

14. Preservation or restoration of vegetation that is indigenous to Albuquerque is preferred.

Achieved Achieved in Part Evaluated Only

15. Glare from direct sunlight through windows can be effectively diffused by tree canopies. Deciduous trees planted in small or large groups are preferred.

Achieved Achieved in Part Evaluated Only

16. Outdoor residential living areas should be designed to take advantage of sun in winter months and shading in summer months. Patios and balconies should have a thoughtful solar orientation and a close relationship to nature.

Achieved Achieved in Part Evaluated Only

17. Paving should be used discriminately and, where used, efforts should be made to shade the paving.

Achieved Achieved in Part Evaluated Only

Views:

18. Where the site has view potential, capture views of prominent visual forms--the Sandia mountains and foothills, the Bosque Rio Grande, Volcanos and escarpment--in windows, balconies, and patios. (Please note on the site layout and/or elevations where views are captured.)

Achieved Achieved in Part Evaluated Only

By checking the boxes of the Design Considerations and signing, I verify that the items have been thoroughly evaluated in the design of Project Nusend at 2801 Juan Tabo NE and Application No _____.

R.A. 2284

Signature of Project Architect/License No.

Signature of Project Landscape Architect/License No.

Section B.

Sun and Shade Analysis requirements in compliance with 5-2(D)(1):

A solar shading analysis shall be submitted with all site plan submittals, except for industrial development and multi-family residential development containing less than 25 units.

The desired outcome is that **summer sun** be shaded at least 50% or more on transparent windows and doors at three peak times on each facade.

The desired outcome is that 75% of **winter sun** should reach transparent windows and doors at noon on each facade.

The submittal shall include sun and shade analysis on elevations of all primary facades with a minimum of four elevations. Screen shots from a program like SketchUp are acceptable.

Summer Sun Analysis

1. Show the effects of summer sun on windows on the following date and times:
 - a. May 21st analysis:
 - 9:00 AM
 - Noon
 - 4:00 PM
 - b. The shading study for May should show the percentage of shading of transparent windows and doors at 9 am and 4 pm. **The desired outcome is that 50% or more of the transparent windows and doors be shaded at 9 am and 4 pm on each façade.**
 - c. The shading study for May should show the percentage of shading of transparent windows and doors at noon. **The desired outcome is for 90% or more of transparent windows and doors be shaded at noon on each façade.**
 - d. Plantings may be modeled and included in the shading analysis. Use the mature size of trees and large shrubs according to the Albuquerque Plant List.
 - e. If no sun is influencing a façade at any of the above times, the graphic should simple state “no solar effect.”

Winter Sun Analysis

2. Show the effects of winter sun on windows on the following date and time:
 - a. November 21st analysis:
 - Noon
 - b. The shading study for November will show the amount of sun reaching the transparent windows or doors and not shaded. **The desired outcome is for 75% of available sun to reach the windows or doors on each facade.**

ALSO SEE DRAWING 2/A001: GEOGRAPHIC RESPONSIVENESS DIAGRAM



4 | may 21 at 4:00 pm
 A202



4 | west facade
 A202



4 | may 21 at noon
 A202



4 | november 21 at noon
 A202



4 | may 21 at 9:00 am
 A202

SUN SHADE ANALYSIS

A NEW BRANCH FOR:



2801 JUAN TABO BLVD NE
 ALBUQUERQUE, NM



revisions

date:
 6-27-22
 sheet:
 A202

August 31, 2022

Chair

Klarissa J. Peña
City of Albuquerque
Councilor, District 3

Vice Chair

Debbie O'Malley
County of Bernalillo
Commissioner, District 1

Tammy Fiebelkorn
City of Albuquerque
Councilor, District 7

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Timothy M. Keller
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Charlene Pyskoty
County of Bernalillo
Commissioner, District 5

Steven Michael Quezada
County of Bernalillo
Commissioner, District 2

Ex-Officio Member
Gilbert Benavides
Village of Los Ranchos
Board Trustee

Executive Director
Mark S. Sanchez

Website
www.abcwua.org

Joe Slagle
Slagle Architect
100001 Guadalupe Trl NW
Albuquerque, NM 87114

RE: Water and Sanitary Sewer Availability Statement #220702

Project Name: Nusenda Credit Union

Project Address: 2801 Juan Tabo Blvd NE

Legal Description: Lot 13-A-1, being a replat of former Tract B-2 and Tract 13-A, Block 79, Snow Heights Addition

UPC: 102105950145412205 and 102105951345512201

Zone Atlas Map: H-21

Dear Mr. Slagle:

Project Description: The subject site is located at the northwest corner of Juan Tabo Boulevard and Claremont Avenue, within the City of Albuquerque. The proposed development consists of approximately 1.29 acres and the property is currently zoned MX-L for mixed use, low intensity. The property lies within the Pressure Zone 6E in the Montgomery Trunk.

The request for availability indicates plans to construct a new 4,226 square foot single story credit union building with a separate 4-lane drive-through facility. There is an existing credit union building on the property which will be demolished to make way for the new building.

Existing Conditions: Water infrastructure in the area consists of the following:

- Six-inch cast iron distribution line (project #03-12-70) Muriel Street.
- Six-inch cast iron distribution line (project #03-12-70) Claremont Avenue.
- 16-inch concrete cylinder distribution line (project #09-126-59) along the west side of Juan Tabo Boulevard.
- Six-inch cast iron distribution line (project #10-004-80) along the east side of Juan Tabo Boulevard.

Sanitary sewer infrastructure in the area consists of the following:

- 12-inch concrete pipe sanitary sewer collector (project #07-67-60) along Juan Tabo Boulevard.
- Eight-inch vitrified clay sanitary sewer collector (project #07-181-73) along Muriel Street.

Water Service: New metered water service to the property can be provided via routine connection to the existing six-inch distribution main along Claremont Avenue or the six-inch distribution main along Muriel Street. The existing metered service may continue to be utilized if it is found to be suitable to the proposed reconstruction. The engineer is responsible for determining pressure losses and sizing of the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and collar removed.

Non-Potable Water Service: Currently, there is no non-potable infrastructure available to serve the subject property.

Sanitary Sewer Service: New sanitary sewer service can be provided via routine connection to the existing eight-inch collector along Muriel Street. The existing service may continue to be utilized if found to be suitable for the proposed reconstruction. No property shall share a private sewer service with any other property. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

Fire Protection: From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 1,750 gallons-per-minute. One fire hydrant is required, and one existing hydrant is proposed to serve this project. As modeled using InfoWater™ computer software, the fire flow can be met. Analysis was performed by simulating the required fire flow at existing hydrant #140.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

Cross Connection Prevention: Per the Cross Connection Ordinance, all new non-residential premises must have a reduced pressure principle backflow prevention assembly approved by the Water Authority installed at each domestic service connection at a location accessible to the Water Authority. No tees, branches or possible connection fittings or openings are allowed between the reduced principle backflow prevention assembly and the service connection unless protected by a backflow prevention assembly. These requirements also apply to all remodeled non-residential premises when the work area of the building undergoing repairs, alterations or rehabilitation, as defined in the International Existing Building Code, exceeds 50 percent of the aggregate area of the building regardless of the costs of repairs, alteration or rehabilitation.

All non-residential irrigation water systems connected to the public water system shall have a pressure vacuum breaker, spill-resistant pressure vacuum breaker or a reduced pressure principle backflow prevention assembly installed after the service connection. Such devices shall be approved by the Water Authority. No tees, branches or possible connection fittings or openings are allowed between the containment backflow prevention assembly and the service connection.

All non-residential customers connected via piping to an alternative water source or an auxiliary water supply and the public water system shall install a containment reduced pressure principle backflow prevention assembly approved by the Water Authority after the potable service connection.

All new services to private fire protection systems shall be equipped with a containment reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction installed after the service connection. No tees, branches or possible connection fittings or openings are allowed between the containment backflow prevention assembly and the service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the private fire protection system meets or exceeds ANSI/NSF Standard 60.61 throughout the entire private fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections nor connections from auxiliary water supplies.

The Water Authority requests that all backflow (containment) devices be located above ground just outside the easement or roadway right-of-way. Contact Cross Connection at (505) 289-3454 for more information.

Easements and Property: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service. A Warranty Deed shall be required when a property will be transferred to the Water Authority for the installation of Water Authority owned facilities such as pump stations, reservoirs, wells, lift stations, or any other facility.

Pro Rata: Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction: Design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated through the Water Authority Connection Permit process. However, if the work will be done within the City of Albuquerque public right-of-way, coordination with the City of Albuquerque Design Review and Construction Section must take place if this mechanism will be acceptable. Construction must be performed by a licensed and bonded public utility contractor.

Utility Expansion Charge (UEC): In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter.

Contact Customer Service at (505) 842-9287 (option 3) for more information regarding account fees.

Water Use: All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Reduction Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

Sincerely,

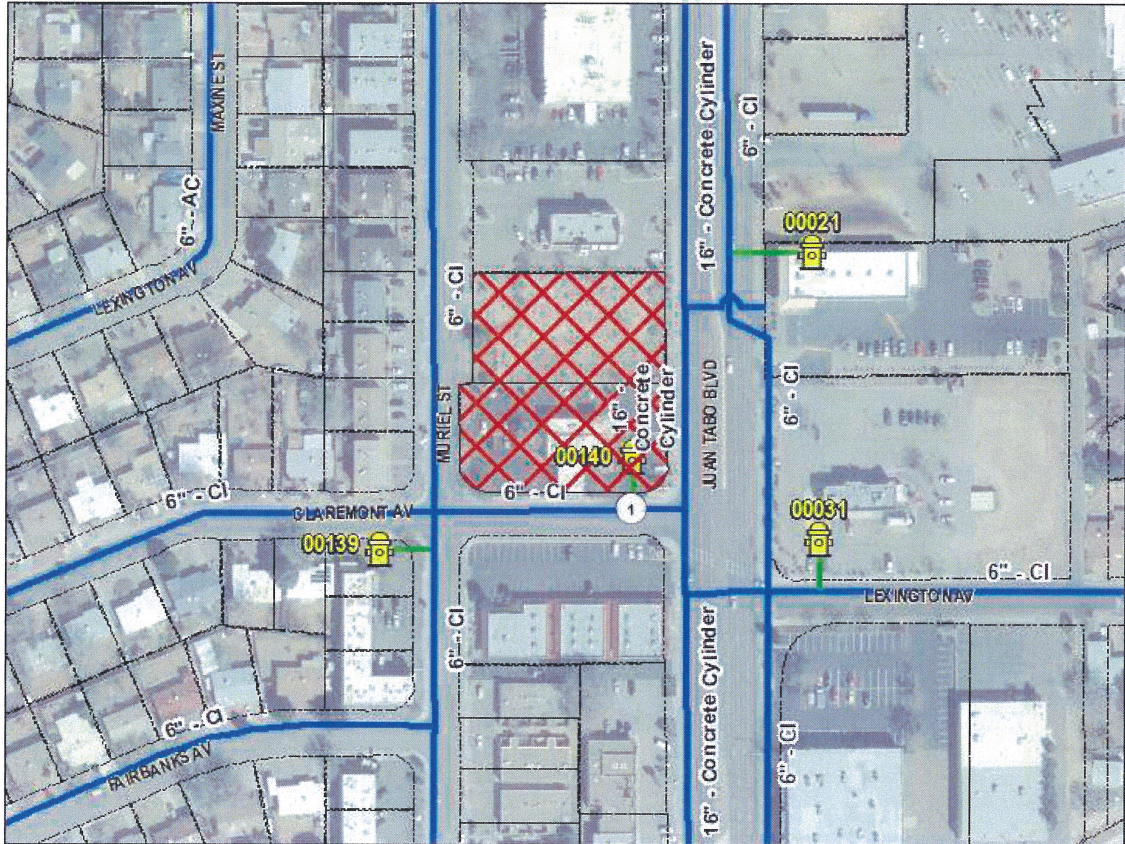


Mark S. Sanchez
Executive Director



Enclosures: Infrastructure Maps

f/ | **Availability Statement #220702** |



220702 - Water



Legend

-  Project Location
-  Hydrant

Pipe SUBTYPE

-  Distribution Line
-  Hydrant Leg

 --- Fire Flow Analysis Points

1 --- Analysis Point



0 325 650 Feet



220702 - Sanitary Sewer



Legend

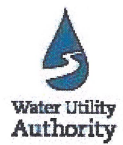
-  Project Location
-  Sewer Manhole

Sewer Pipe

SUBTYPE

-  COLLECTOR

0 325 650 Feet





ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS

PERMIT NUMBER: FP-22-010590

APPROVED DATE: 06/22/22

APPROVED

joe slagle architect

P.O. Box 10362
Abq, NM 87184

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

FIRE DATA:

CONSTRUCTION TYPE:	5B-NON SPRINKLERED
BUILDING AREA:	4226 SF
OCCUPANCY GROUP:	B
FIRE FLOW REQUIREMENT:	1750 GPM IFC TABLE B105.1(2)
FIRE HYDRANTS REQUIRED:	1 IFC TABLE C102.1
MAX ALLOWABLE DISTANCE TO EXISTING HYDRANTS:	250 FT IFC TABLE C102.1
	1 HYDRANT EXISTS WITHIN 250' SE CORNER OF PROPERTY
FIRE HYDRANTS PROVIDED:	1 EXISTING
ALLOWABLE DISTANCE FROM HYDRANT TO FARTHEST POINT ON BLDG:	400 FT IFC 507.5.1

FIRE NOTES:

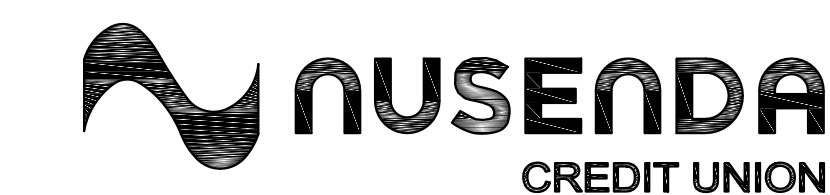
1. ALL APPROVED FIRE APPARATUS ACCESS ROADS SHALL HAVE AN APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS.
2. FIRE APPARATUS ACCESS AND TURNAROUND AREA SHALL NOT EXCEED 10 PERCENT IN GRADE

SITE DATA

SITE LOCATION:	2805 JUAN TABO BOULEVARD NE ALBUQUERQUE, NM
LEGAL DESCRIPTION:	13-A-1 TRACT B-2 BLOCK 79 SNOW HEIGHTS ADDITION
UPC NUMBER:	101906418906730212
ZONING:	MX-L
ZONE ATLAS PAGE:	H-21
PREVIOUS DRB APPROVAL:	NONE FOUND
TOTAL LOT AREA:	55,797 SF (1.3 AC)
GROSS BUILDING AREA:	4226 SF
BUILDING FOOTPRINT AREA:	4226 SF
NET LOT AREA (LOT AREA-BLD. FOOTPRINT):	51,571 SF
FLOOR AREA RATIO (GROSS BLDG AREA/LOT AREA):	7.5 %
PARKING CALCULATIONS:	TOTAL SPACES PROVIDED: 51 4226 SF/200 = 21 SPACES REQUIRED
ACCESSIBLE PARKING REQUIRED: 4 INCL. 1 VAN	TOTAL SPACES PROVIDED: 4
MOTORCYCLE PARKING REQUIRED: 1 SPACE	TOTAL SPACES PROVIDED: 2
BICYCLE PARKING REQUIRED: (3 MIN)	TOTAL SPACES PROVIDED: 6

FIRE 1 SITE PLAN

A NEW BRANCH FOR:



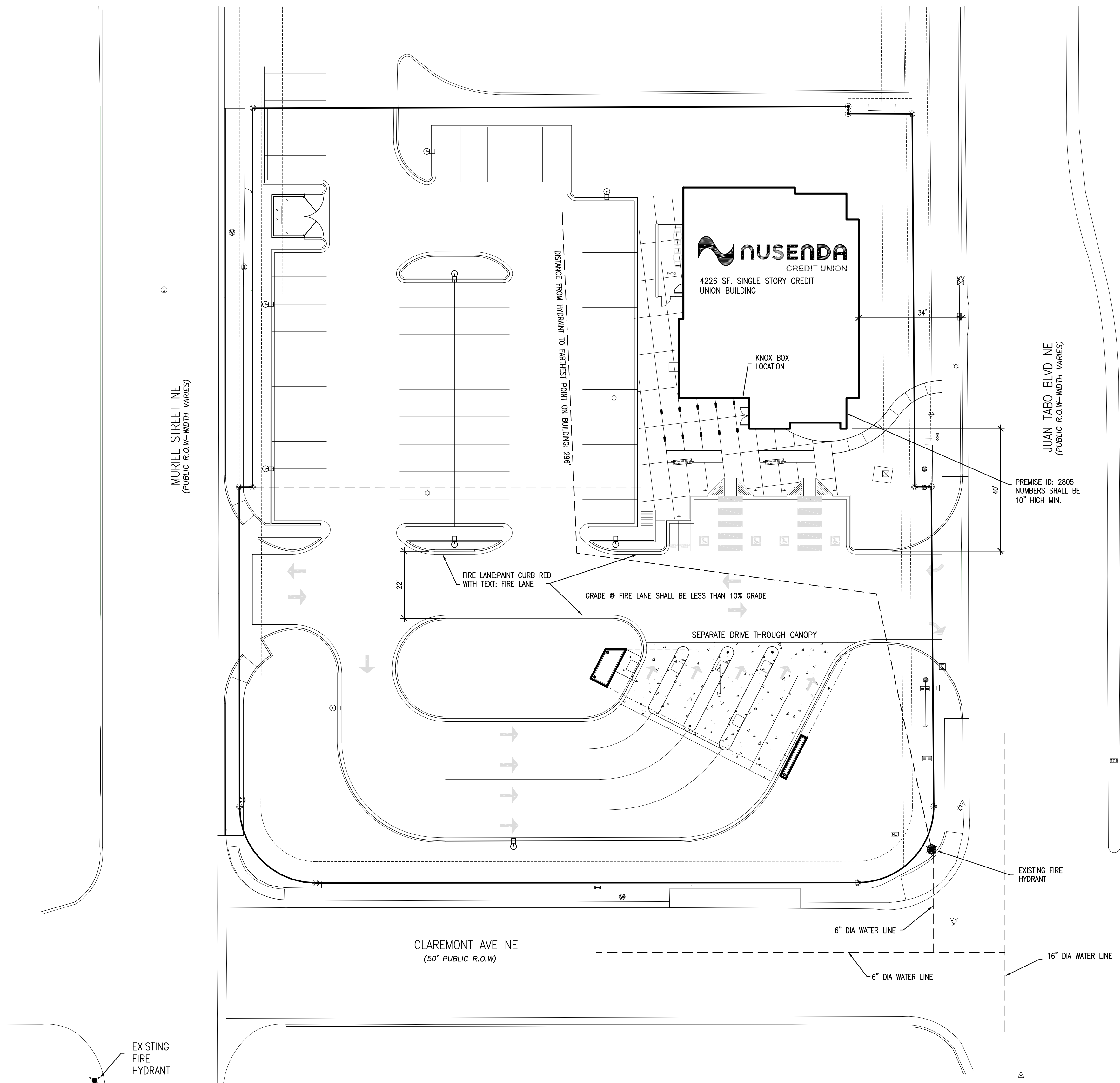
2801 JUAN TABO BLVD NE
ALBUQUERQUE, NM



revisions

6-22-22

date:
6-22-22
sheet:
FIRE 1



1 FIRE 1 SITE PLAN
1"=20'



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 07/2020)

Project Title: Nusenda Credit Union

Building Permit #: _____ Hydrology File #: _____

Zone Atlas Page: H-21 DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tracts B-2, 13-A, Block 79, Snowheights Addition

Development Street Address: 2805 Juan Tabo Blvd, NE

Applicant: Joe Slagle, Architect Contact: Joe Slagle

Address: P.O. Box 10362 Abq, 87184

Phone#: 505 228 8707 Fax#: _____

E-mail: joe@slaglearchitect.com

Development Information

Build out/Implementation Year: 2022 Current/Proposed Zoning: MX-L

Project Type: New: Change of Use: Same Use/Unchanged: Same Use/Increased Activity:

Change of Zoning:

Proposed Use (mark all that apply): Residential: Office: Retail: Mixed-Use:

Describe development and Uses:

A new 4000 sf Nusenda Credit Union Branch Building (existing Nusenda Building on south portion of property will be removed) plus a separate 4 lane drive through canopy.

Days and Hours of Operation (if known): 8 am to 6 pm

Facility

Building Size (sq. ft.): 4000 sfv

Number of Residential Units: N/A

Number of Commercial Units: 1

Traffic Considerations

ITE Trip Generation Land Use Code _____

Expected Number of Daily Visitors/Patrons (if known):* _____

Expected Number of Employees (if known):* 10

Expected Number of Delivery Trucks/Buses per Day (if known):* _____

Trip Generations during PM/AM Peak Hour (if known):* _____

Driveway(s) Located on: Street Name Juan Tabo to the east and Muriel to the west

ITE Land Use #912,
Drive-in Bank
AM peak 40 trips
PM peak 80 trips

Adjacent Roadway(s) Posted Speed: Street Name Juan Tabo Posted Speed 40
Street Name Claremont Posted Speed 25

** If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.)*

Roadway Information (adjacent to site)


Comprehensive Plan Corridor Designation/Functional Classification: Community Principle Arterial
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: N/A
(urban center, employment center, activity center, etc.)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: 24, 200 Volume-to-Capacity Ratio (v/c): _____
(if applicable)

Adjacent Transit Service(s): _____ Nearest Transit Stop(s): _____

Is site within 660 feet of Premium Transit?: No 

Current/Proposed Bicycle Infrastructure: Bike lanes do not currently exist on Juan Tabo
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Sidewalks are existing on all sides.

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: See GIS map.

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No

Thresholds Met? Yes [] No

Mitigating Reasons for Not Requiring TIS: _____ Previously Studied: []

Notes:



10/29/2021

TRAFFIC ENGINEER

DATE

Submittal

The Scoping Form must be submitted as part of a Traffic Circulation Layout submittal, DRB application for site plan approval, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to plndrs@cabq.gov and to the City Traffic Engineer mgrush@cabq.gov. Call 924-3362 for information.

Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
4. Location of nearby multi-use trails, if applicable ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify volume to capacity (v/c) ratio on this form.

Subject: Your City of Albuquerque public records request #22-5540 has been closed.
Date: Monday, July 11, 2022 at 4:19:48 PM Mountain Daylight Time
From: City of Albuquerque Public Records
To: Joe Slagle

-- Attach a non-image file and/or reply ABOVE THIS LINE with a message, and it will be sent to staff on this request. --

City of Albuquerque Public Records

Record request #22-5540 has been closed. The closure reason supplied was:

Hello,

On **7/6/2022**, we received your public records request for the following records:

I AM LOOKING FOR PREVIOUS PLANNING CASE NUMBERS FOR 2801 JUAN TABO BLVD NE

This communication will confirm our completion of your request. We have searched for responsive records and not been able to locate or identify any records with the information you provided.

Your public records request will now be closed.

Sincerely,

Gabryella Williams
IPRA Tech
Office of the City Clerk

[View Request 22-5540](#)

<https://nextrequest.cabq.gov/requests/22-5540>



The All in One Records Requests Platform

Questions about your request? Reply to this email or sign in to contact staff at City of Albuquerque.

Technical support: See our [help page](#)

Too many emails? [Change your email settings here](#)

FORM P: PRE-APPROVALS/SIGNATURES

Please refer to the DRB public meeting schedule for meeting dates and deadlines. Your attendance is required.

Legal Description & Location: 2801 Juan Tabo NE
Lot 13-a-1, Block 79, Snow Heights Addition

Job Description: New Nusenda Credit Union

Hydrology:

- Grading and Drainage Plan Approved NA
- AMAFCA Approved NA
- Bernalillo County Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Renee C. Brissette
Hydrology Department

09/29/22
Date

Transportation:

- Traffic Circulations Layout (TCL) Approved NA
- Traffic Impact Study (TIS) Approved NA
- Neighborhood Impact Analysis (NIA) Approved NA
- Bernalillo County Approved NA
- MRCOG Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Ernest Armijo
Transportation Department

9/29/2022
Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Water/Sewer Availability Statement/Serviceability Letter Approved NA
- ABCWUA Development Agreement Approved NA
- ABCWUA Service Connection Agreement Approved NA

Grant Magnanelli
ABCWUA

9/30/2022
Date

- Infrastructure Improvements Agreement (IIA*) Approved NA
- Solid Waste Department Signature on the plan Approved NA
- Fire Marshall Signature on the plan Approved NA

* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)