

### GENERAL SHEET NOTES

A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED

B. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL AND ACCESSIBILITY STANDARDS & GUIDELINES INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015

C. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS

D. ALL LIGHT FIXTURES AND LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO) SECTION 14-16-5-8 OUTDOOR LIGHTING

E. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE

F. AN ACCESSIBLE ROUTE, IN COMPLIANCE WITH ACCESSIBILITY STANDARDS OF THE PROJECT, CONNECTS FROM THE BUILDING TO ACCESSIBLE PARKING SPACES AND TO ALL SITE AMENITIES AS REQUIRED

G. ALL ROOFTOP MECHANICAL UNITS WILL BE LOCATED TOWARD THE MIDDLE OF THE ROOF AND SHIELDED BY PARAPETS

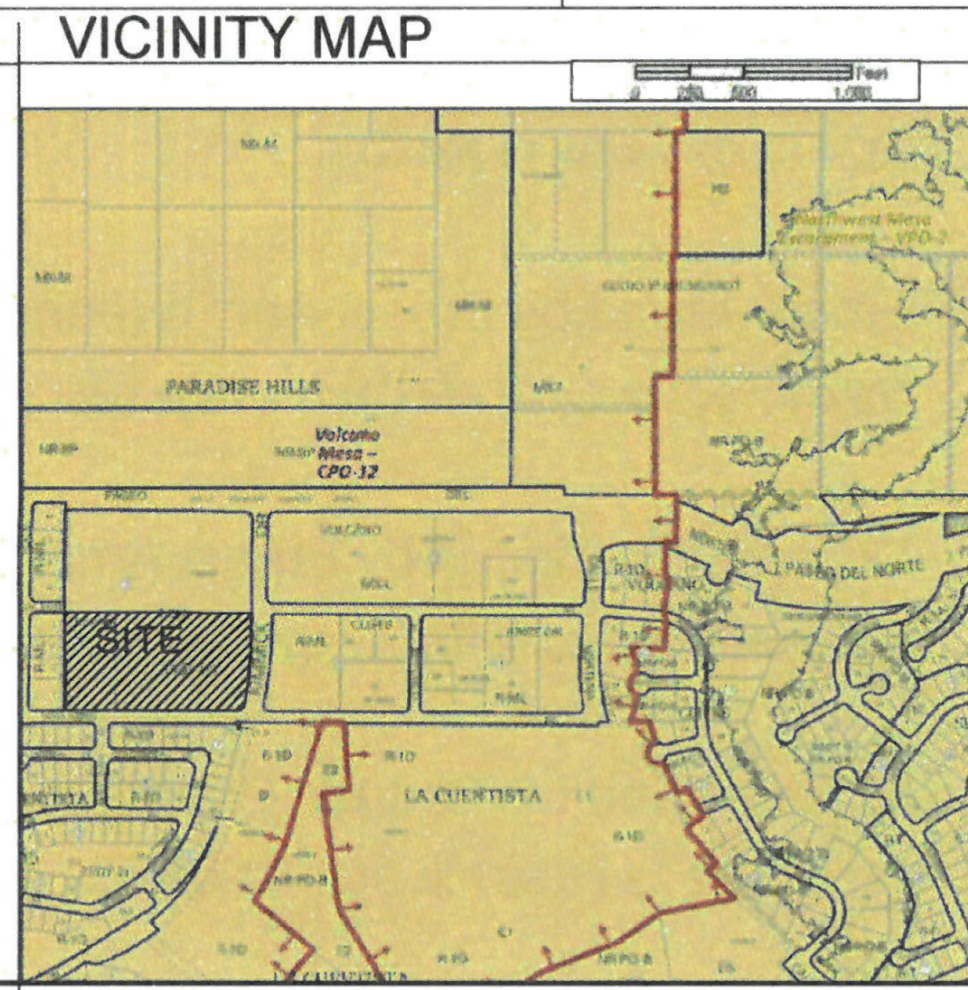
H. LIGHT POLES FOR SITE LIGHTING WILL NOT EXCEED THE MAXIMUM HEIGHT ALLOWED OF 20' REF: D5/SDP-1.3

### UNIT DATA

UNIT TYPE	HEATED AREA	QUANTITY	TOTAL AREA
<b>1-BEDROOM</b>			
1A	788 SF	54	42,552 SF
1B	719 SF	46	33,074 SF
1C	772 SF	4	3,088 SF
1D	788 SF	16	12,608 SF
<b>2-BEDROOM</b>			
2A	958 SF	54	52,272 SF
2B	1,069 SF	24	25,656 SF
2C	958 SF	8	7,648 SF
2D	1,092 SF	8	8,552 SF
<b>3-BEDROOM</b>			
3A	1,203 SF	28	31,278 SF
TOTAL		238	214,728 SF

- ### SHEET KEYED NOTES
- TRASH COMPACTOR/RECYCLE BIN ENCLOSURE WITH GATE, REF: C1/SDP1.2 AND D4/SDP1.2
  - ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2
  - ACCESSIBLE RAMP, REF: D5/SDP1.2
  - BIKE PARKING PER IDO SECTION 5-5(E) AND DPM STANDARDS, 10% OF REQUIRED OFF-STREET PARKING AND DPM STANDARD WITH TWO-POINT BIKE LOCKING, REF: B5/SDP1.2
  - SHADE STRUCTURE
  - 6" WIDE CONCRETE SIDEWALK PER COA IDO STANDARDS, REF: B4/SDP1.2
  - NEW CONCRETE CURB AND GUTTER, REF: A2/SDP1.2
  - PARKING STRIPING 4" WIDE, COLOR WHITE
  - WATER FOUNTAIN
  - FEATURE 6" WIDE ACCESSIBLE PATHWAY FROM PUBLIC R.O.W. 5% MAX SLOPE WITH 2% MAX CROSS SLOPE
  - COVERED OUTDOOR GRILLING AREA
  - OUTDOOR SEATING AREA
  - LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE
  - VEHICULAR PAINTED STEEL PICKET SECURITY GATE
  - PERIMETER PAINTED STEEL PICKET FENCE
  - DECORATIVE FENCE
  - POOL EQUIPMENT/CARE STATION/RESTROOMS
  - SECURED PEDESTRIAN GATE
  - COMPACT PARKING SPACE WITH SIGNAGE
  - MOTORCYCLE PARKING SPACE WITH SIGNAGE
  - CARPORT WITH SHIELDED LIGHTING INDICATED BY DASHED LINES, TYPICAL
  - POTENTIAL LANDSCAPED WATER HARVESTING AREA - REFER TO CIVIL
  - NOT USED
  - BUILDING SETBACK
  - UTILITY EASEMENT
  - DRAINAGE AND UTILITY EASEMENT

- ### SHEET KEYED NOTES
- 100 FOOT OFFSET FROM THE SINGLE FAMILY PROPERTY LINE SOUTH OF ROSA PARKS
  - ILLUMINATED MONUMENT SIGN WITH PROJECT NAME AND ADDRESS
  - TANDEM ELECTRIC VEHICLE CHARGING STATION
  - SPA
  - FIRE DEPARTMENT CONNECTION
  - PATTERNED CONCRETE
  - TANDEM PARKING SPACE IN FRONT OF GARAGE SPACE
  - STRIPED 6" WIDE FOOT SIDEWALK WITH NO PARKING SIGNAGE
  - 4 FOOT WIDE CONCRETE SIDEWALK
  - 4 FOOT WIDE ACCESSIBLE PATH
  - MAIL CENTER, REF: A1/SDP-1.3
  - ACCESSIBLE RAMP
  - PEDESTRIAN CONNECTION TO RETAIL
  - RECYCLE BIN ENCLOSURE WITH GATE, REF: D4/SDP1.2
  - FULL ACCESS DRIVEWAY
  - SCREEN WALL/FENCE, SEE D3/SDP-1.2
  - 20' LANDSCAPE BUFFER
  - CURB RAMP PER CITY STANDARD DETAIL 2443
  - CURB RAMP PER CITY STANDARD DETAIL 2444



PROJECT NUMBER: 2022-007712  
 Application Number: 2022-01674

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

<i>Ernest Aronijo</i>	02/02/24
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	Feb 14, 2024
ABCWUA	Date
<i>[Signature]</i>	02/06/24
Parks and Recreation Department	Date
<i>[Signature]</i>	02/02/24
City Engineer/Hydrology	Date
<i>[Signature]</i>	02/02/24
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
<i>[Signature]</i>	03/05/24
DRB Chairperson, Planning Department	Date

\*Environmental Health, if necessary

### PROJECT DATA

ZONING: IDO - MIXED-USE - LOW INTENSITY ZONE DISTRICT (MX-L)

LEGAL DESCRIPTION: TRACT 1, BLOCK 2 AND LOT 5, BLOCK 6, UNIT 26 VOLCANO CLIFFS SUBDIVISION, BERNALILLO COUNTY, NEW MEXICO

SITE AREA: 9.56 ACRES

ZONE ATLAS: C-11-2

SETBACKS: FRONT= 5' MIN, SIDE = 5', INTERIOR= 0', REAR= 15'

BUILDING HEIGHT: MAXIMUM ALLOWED: 38'-0" ACTUAL HEIGHT: 37'-8" MAXIMUM

SPRINKLED: YES, NFPA 13R

BUILDING OCCUPANCY: R-2

CONSTRUCTION TYPE: TYPE V-B

PARKING CALCULATIONS: TABLE 5-5-1 (DWELLING UNITS X 1.5 = 238 X 1.5 = 357 REQUIRED SPACES)

ELECTRIC VEHICLE CHARGING STATIONS (IDO SECTION 5-5(C)(9)): 2% OF PARKING PROVIDED WHEN MORE THAN 200 OFF-STREET PARKING SPACES  
 REQUIRED = 9 SPACES  
 PROVIDED = 10 SPACES

SURFACE SPACES = 146  
 COVERED SPACES = 182  
 GARAGE SPACES = 72  
 TANDEM SPACES = 42  
 PROVIDED PARKING = 412 TOTAL SPACES

ADA PARKING REQUIRED: 1 SPACE PER UNIT REQUIRED TO BE ADA  
 238 UNITS X .02 = 4.76 = 5 SPACES REQUIRED  
 ADA PARKING PROVIDED = 12 SPACES PER MMBC

BIKE PARKING REQUIRED: 357 X 0.10 = 36 SPACES  
 BIKE PARKING PROVIDED: 36 SPACES

### OPEN SPACE CALCULATIONS

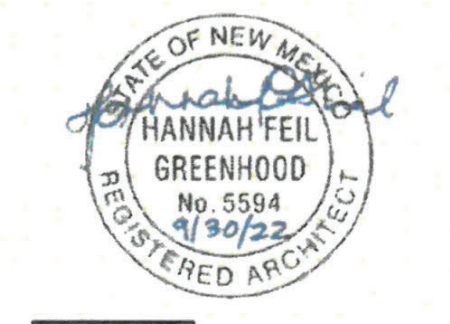
TABLE 2-4-3 / MX-L ZONING

USABLE OPEN SPACE	1 BD: 225 SF PER UNIT	2 BD: 225 SF x 110 UNITS =	24,750 SF
2 BD: 285 SF PER UNIT	285 SF x 102 UNITS =	29,070 SF	
3 BD: 350 SF PER UNIT	350 SF x 26 UNITS =	9,100 SF	
TOTAL	62,920 SF	REQUIRED OPEN SPACE	
PROVIDED OPEN SPACE:	180,622 SF		

- ### LEGEND
- LANDSCAPE AREA
  - PROPERTY LINE
  - FIRE HYDRANT
  - BIKE RACK
  - SIDEWALK RAMP (ARROW POINTS DOWN)
  - TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD PER PNM STANDARDS
  - PERIMETER FENCE
  - ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2, A4/SDP1.2 & B4/SDP1.2
  - LIGHT POLE, REF: D5/SDP-1.3
  - BOLLARD PATH LIGHT
  - 6" BOLLARD WITH SIGN
  - PARKING COUNT

**DEKKER PERICH SABATINI**

Architecture in Progress



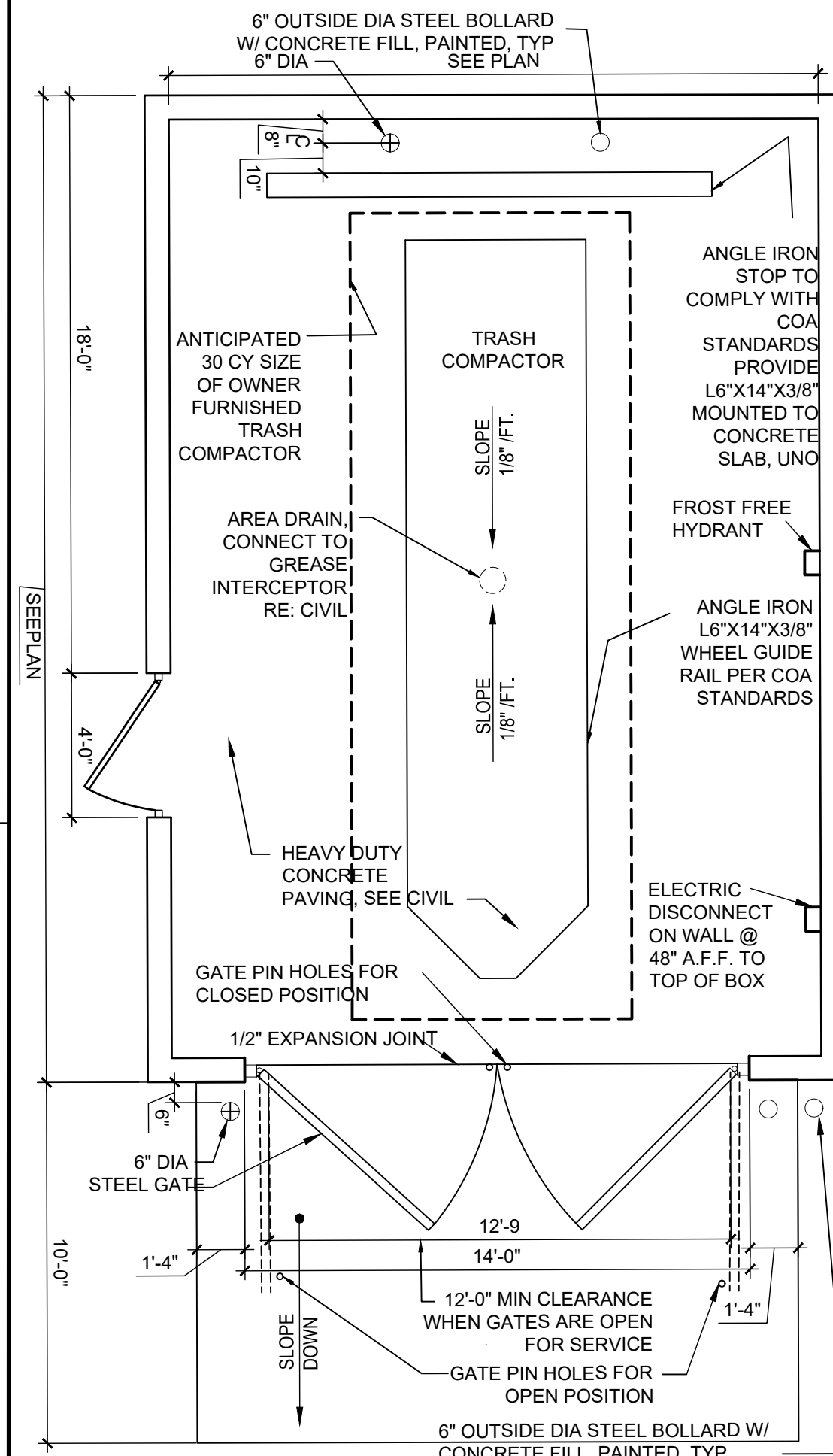
Paseo and Kimmick  
 ALBUQUERQUE, NM

- ### REVISIONS
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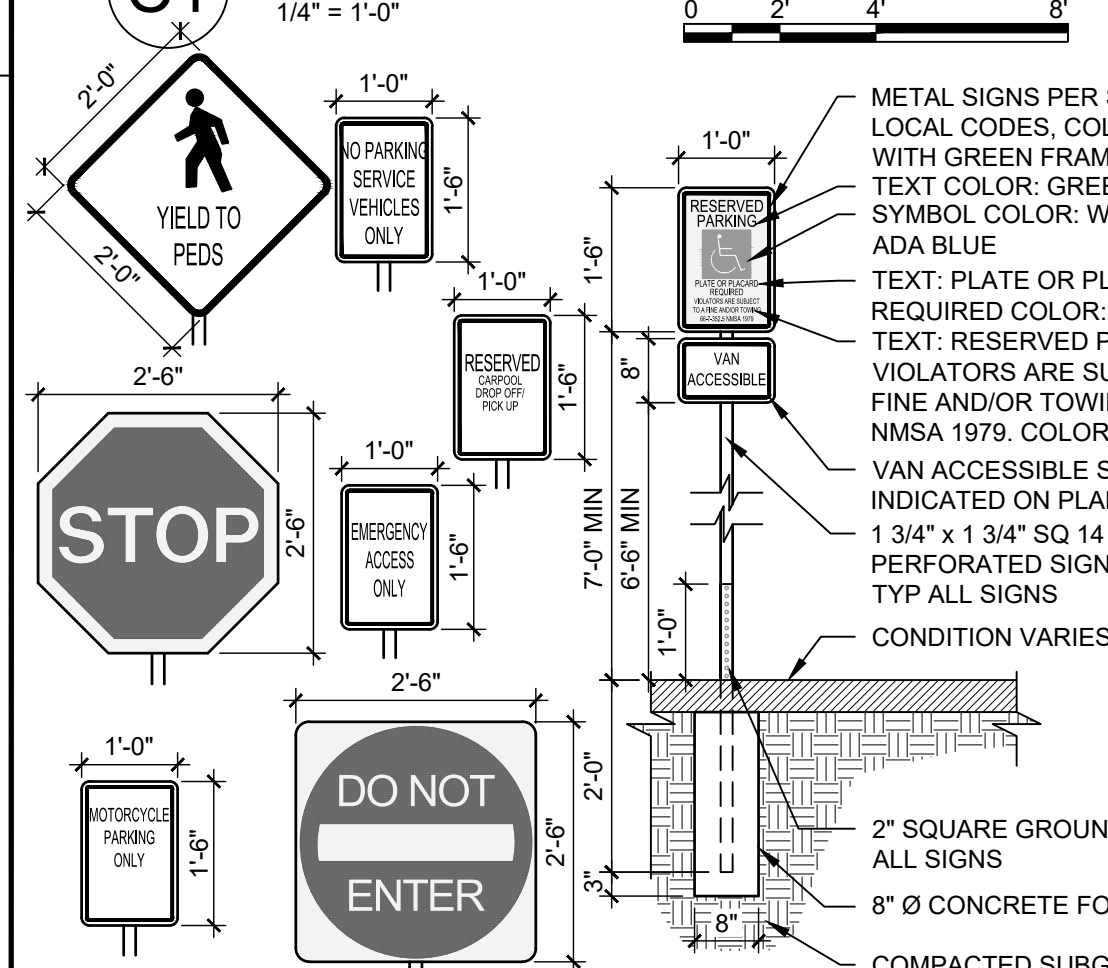
DRAWN BY: AG, JB  
 REVIEWED BY: RAW  
 DATE: 09/30/2022  
 PROJECT NO: 22-0033

DRAWING NAME: SITE DEVELOPMENT PLAN

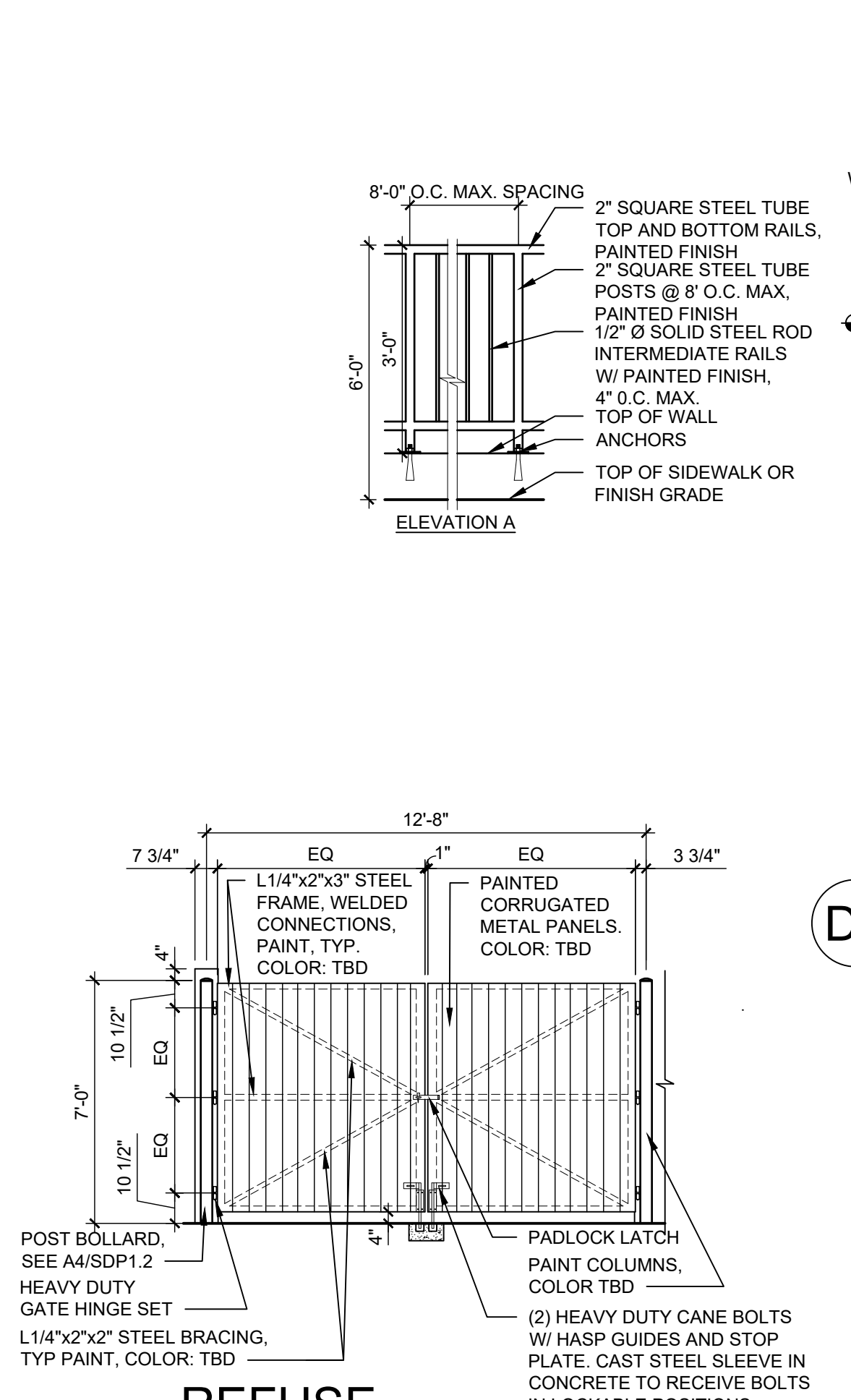
SHEET NO: SDP-1.1



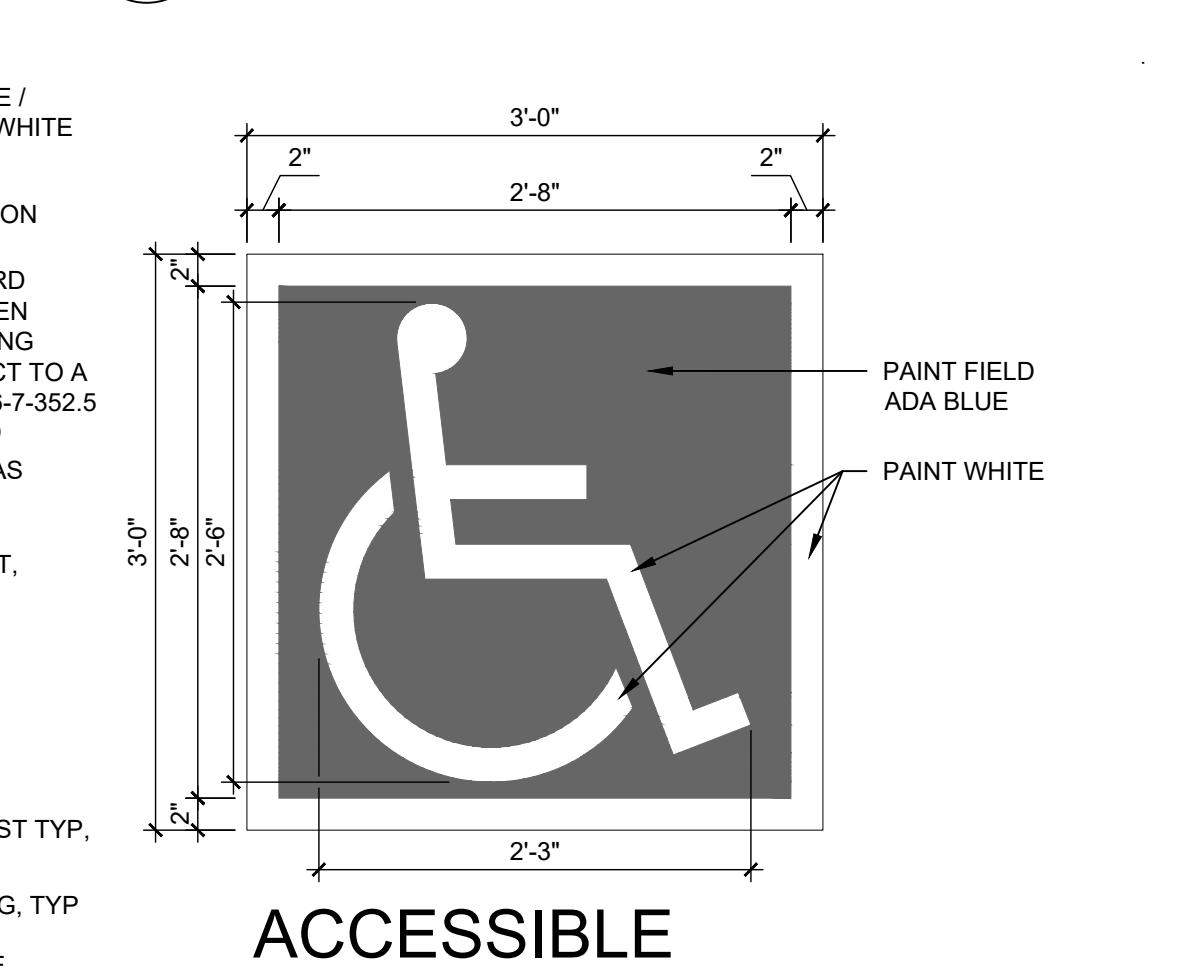
**TRASH COMPACTOR ENCLOSURE**  
1/4" = 1'-0"



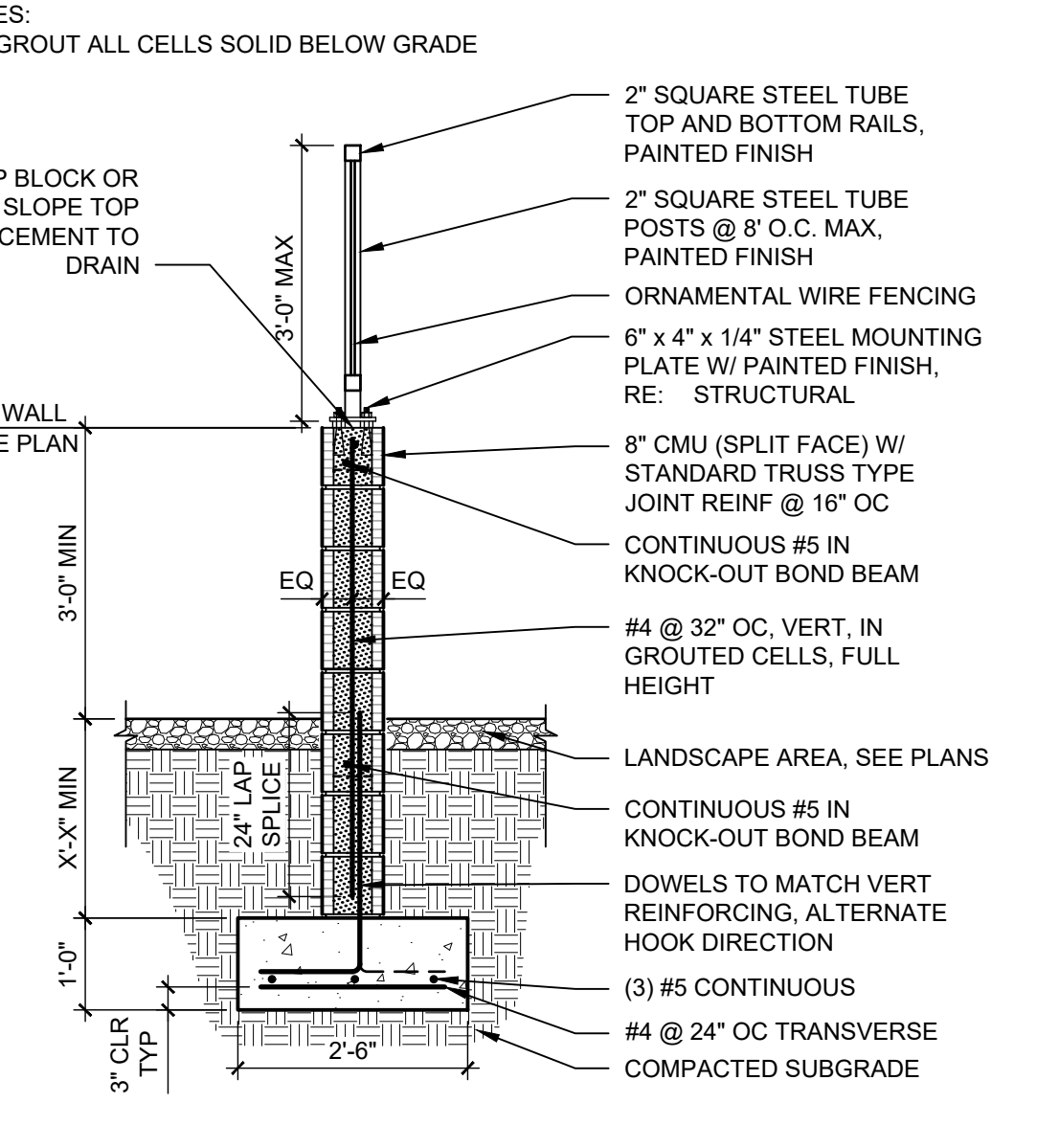
**TRAFFIC SIGNAGE**  
1/2" = 1'-0"



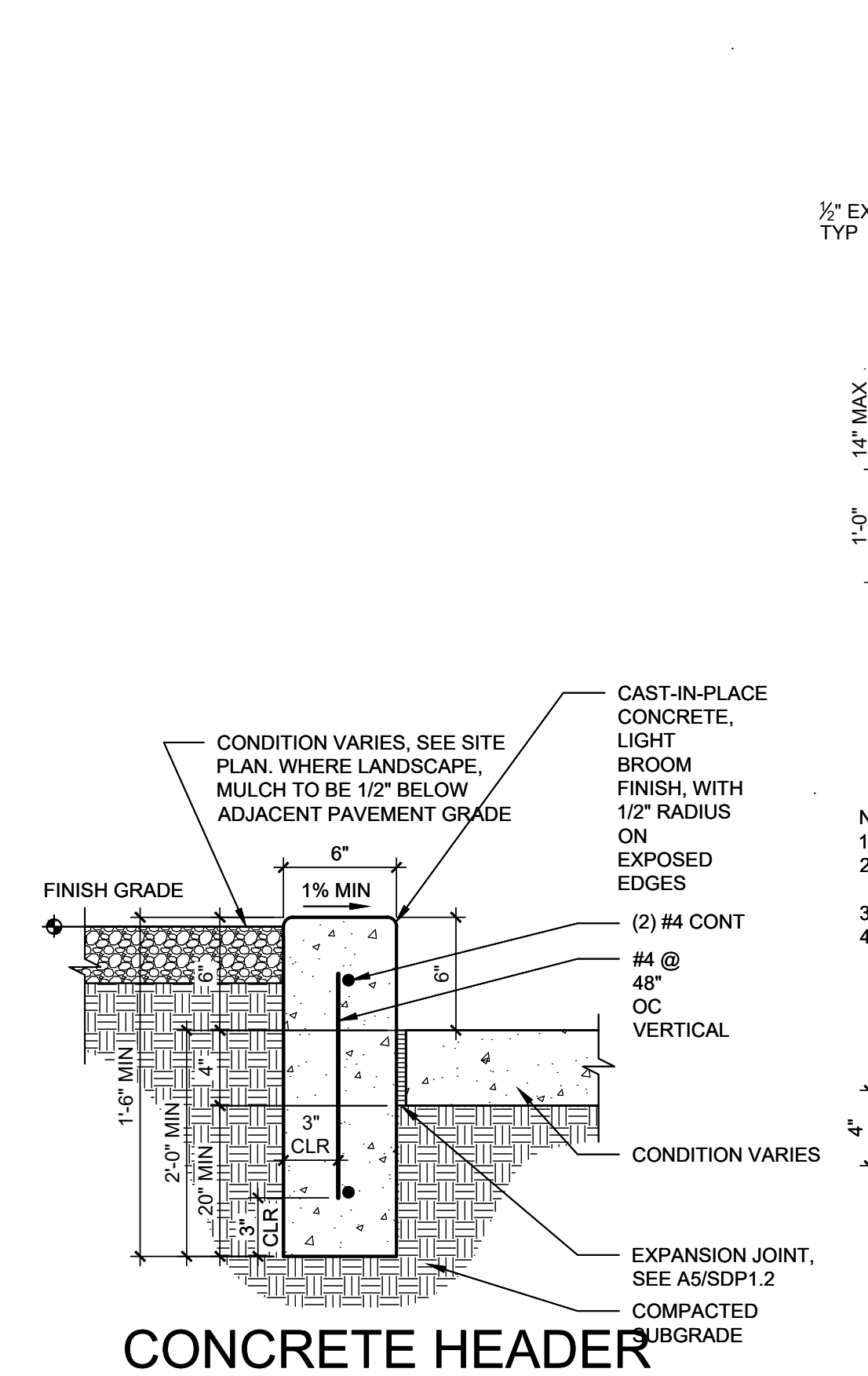
**REFUSE ENCLOSURE GATE**  
1/4" = 1'-0"



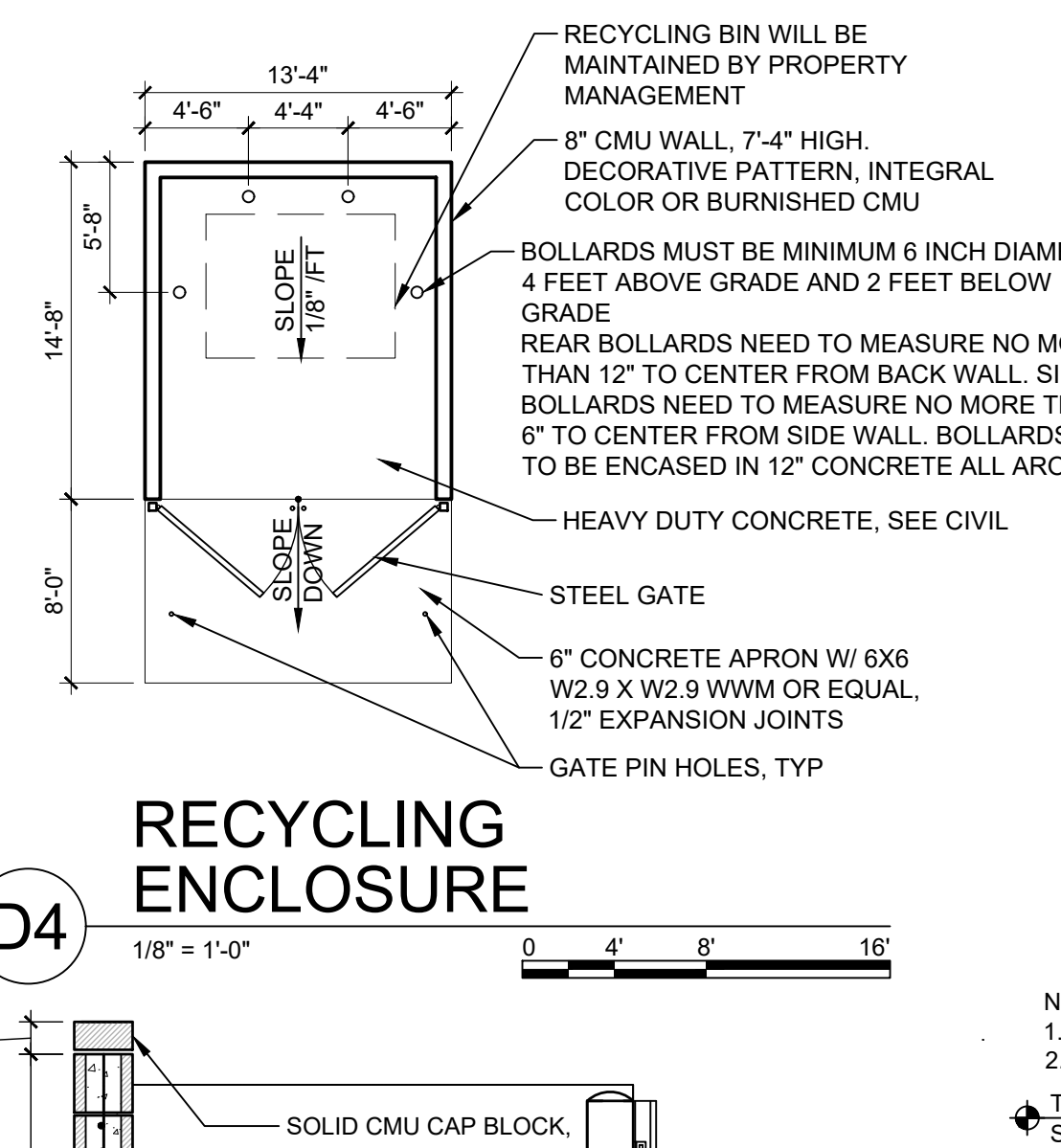
**ACCESSIBLE PAVEMENT MARKING**  
1" = 1'-0"



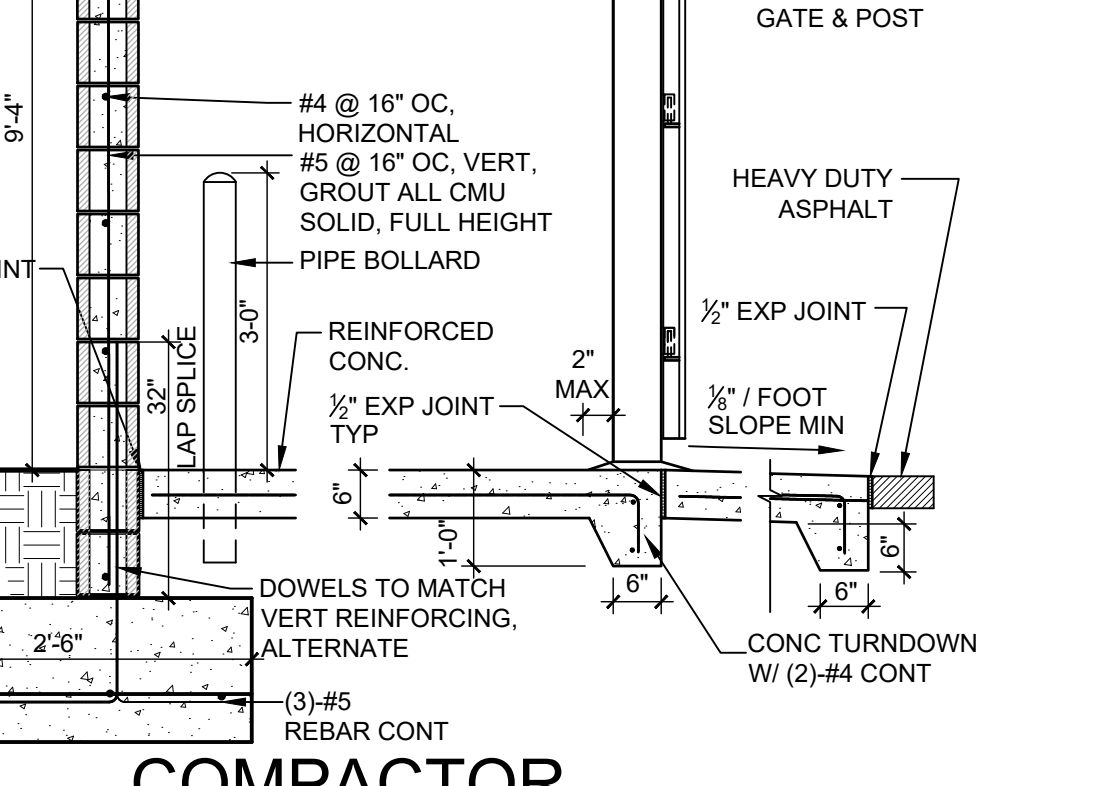
**SCREEN WALL AT ROSA PARKS**  
1/2" = 1'-0"



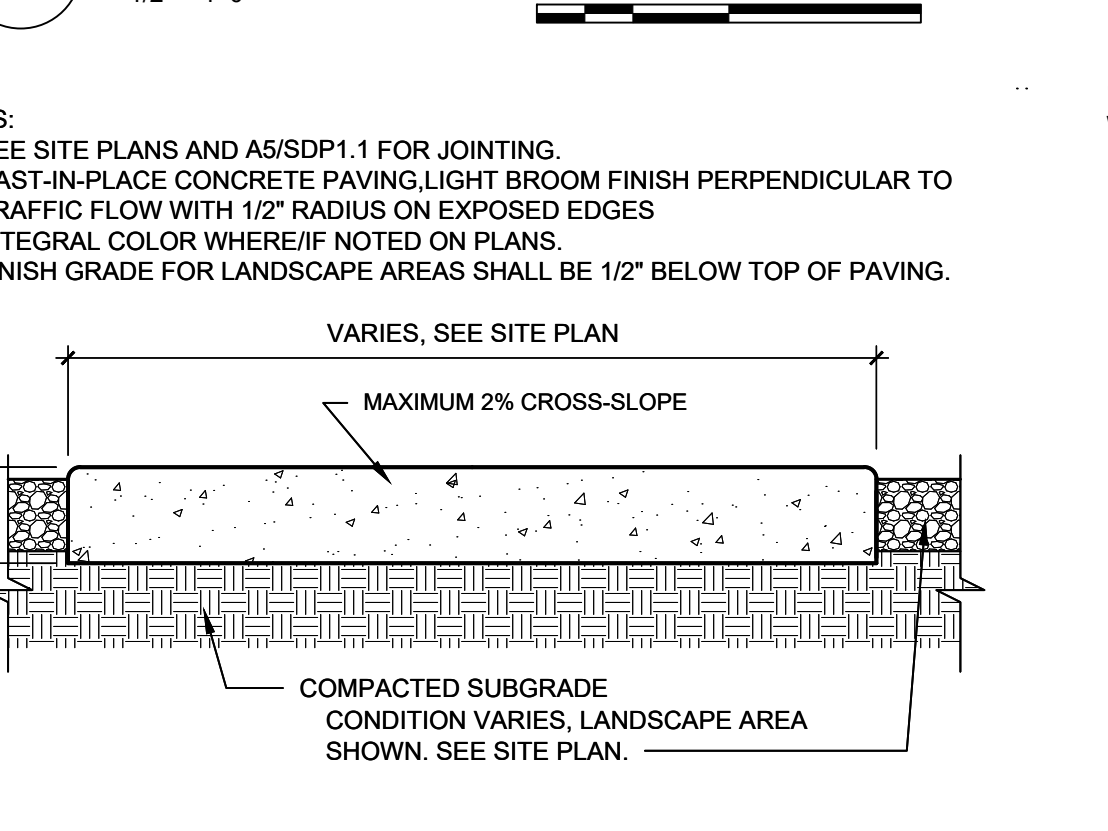
**CONCRETE HEADER CURB**  
1 1/2" = 1'-0"



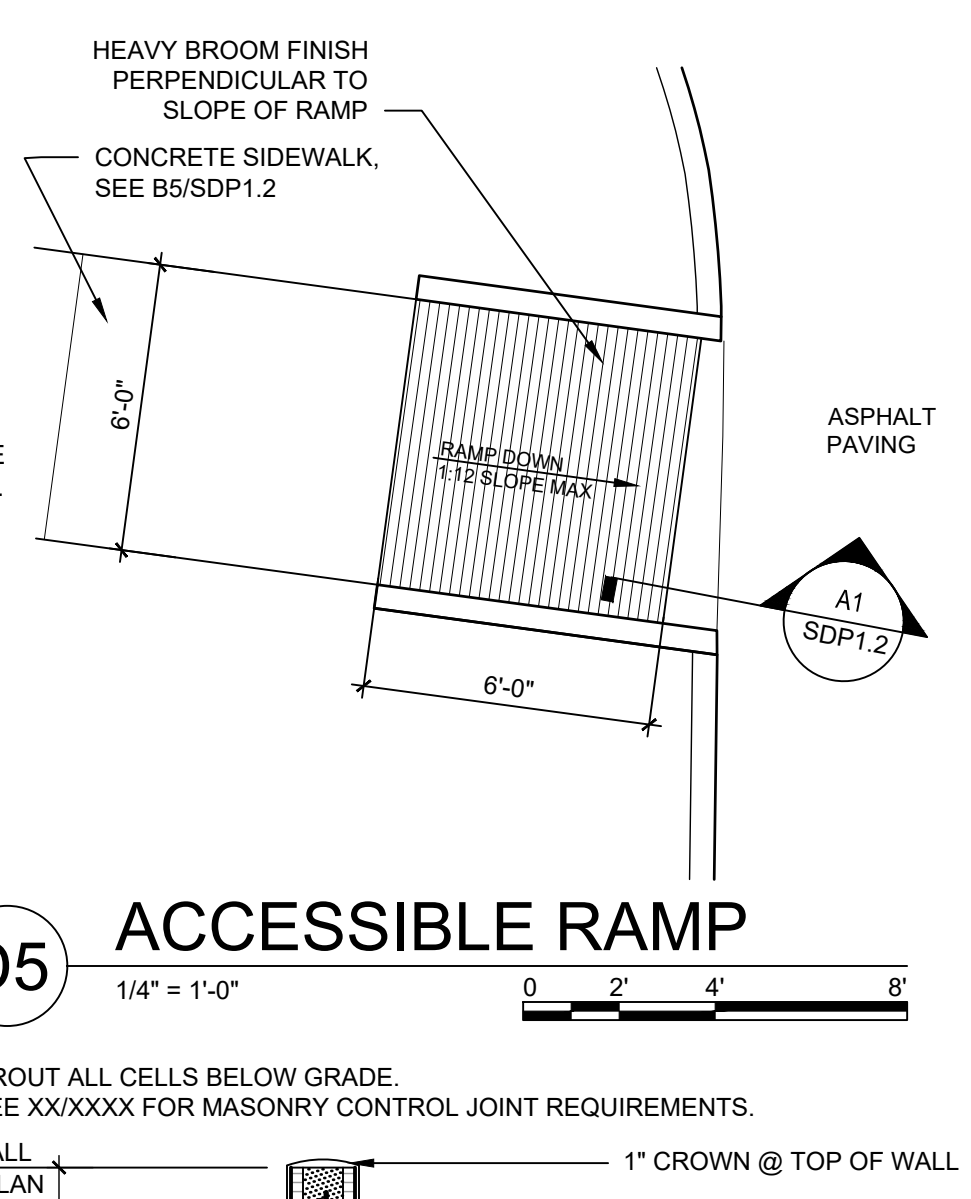
**RECYCLING ENCLOSURE**  
1/8" = 1'-0"



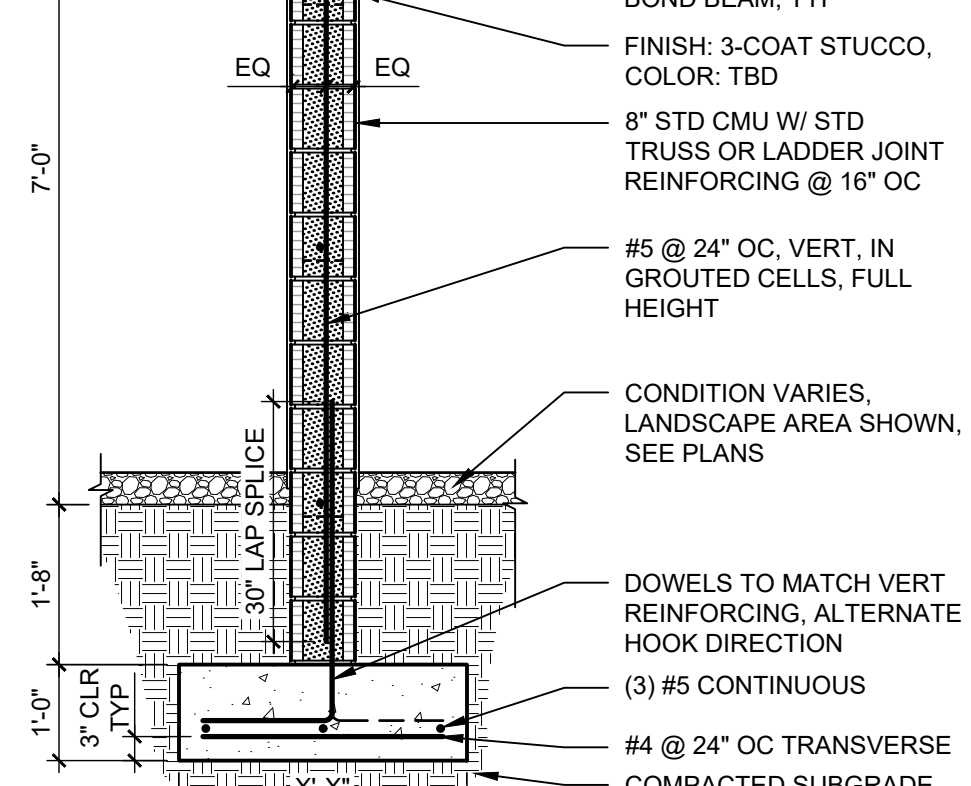
**COMPACTOR ENCLOSURE SECTION**  
1/2" = 1'-0"



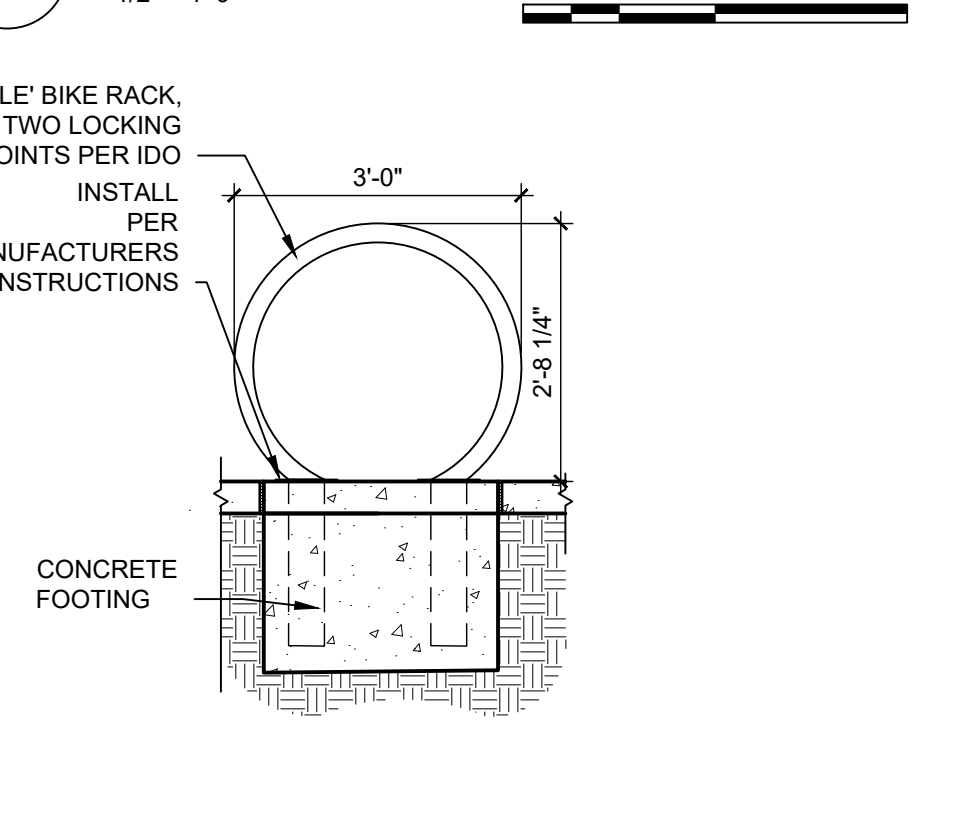
**CONCRETE SIDEWALK**  
1 1/2" = 1'-0"



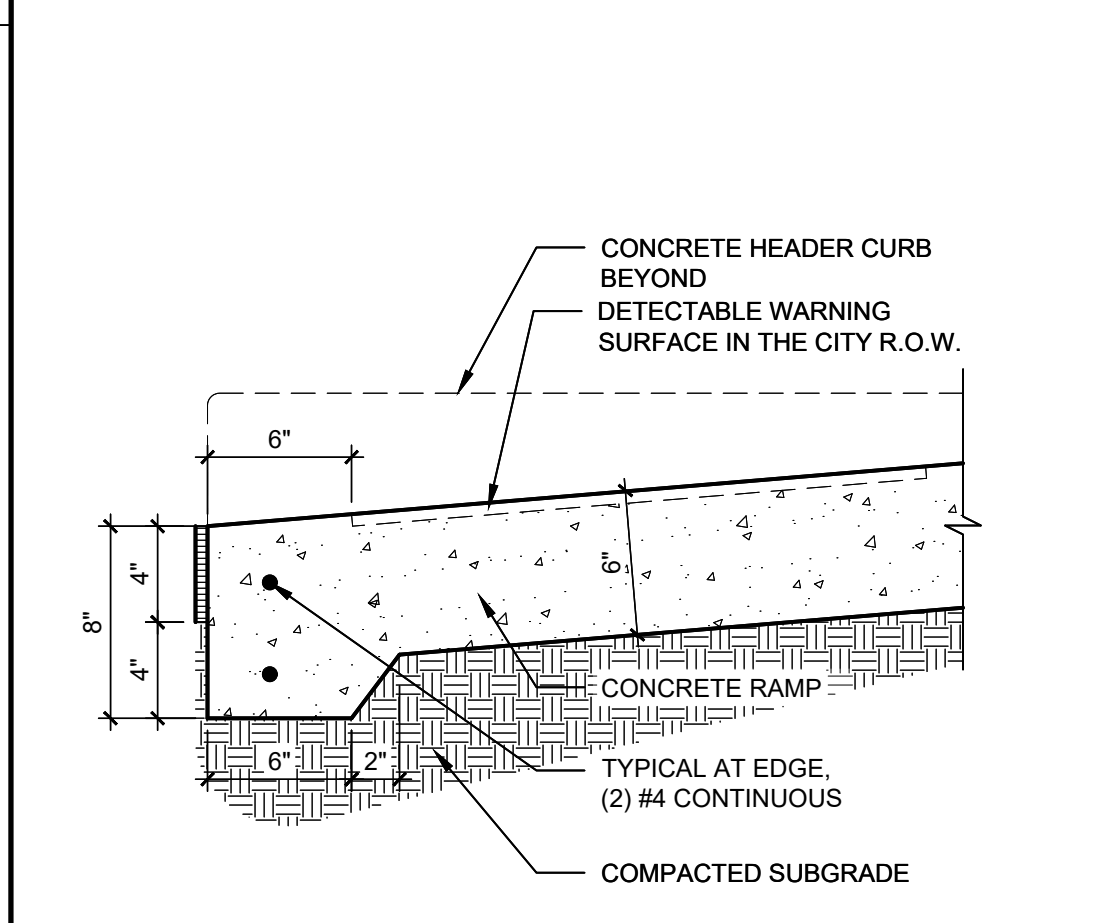
**ACCESSIBLE RAMP**  
1/4" = 1'-0"



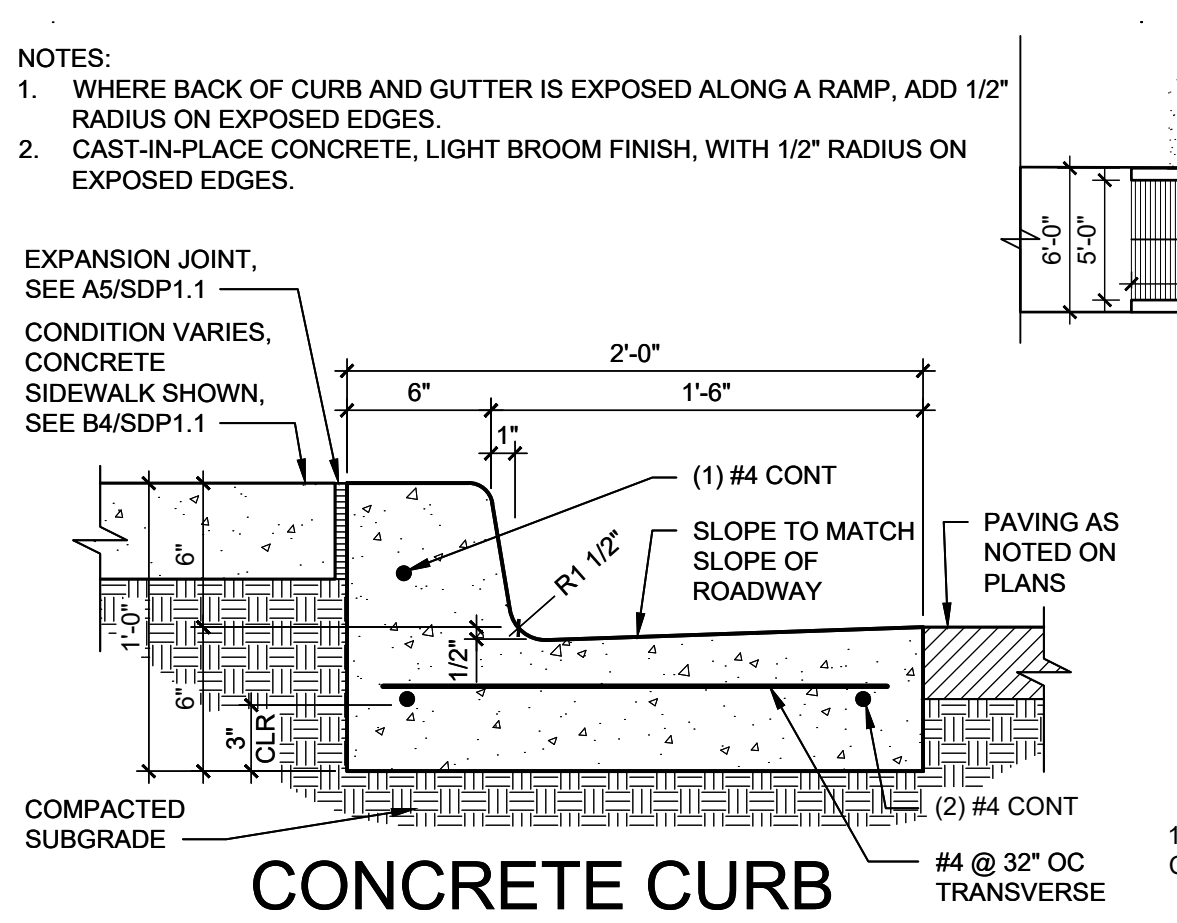
**7' CMU SCREEN WALL**  
1/2" = 1'-0"



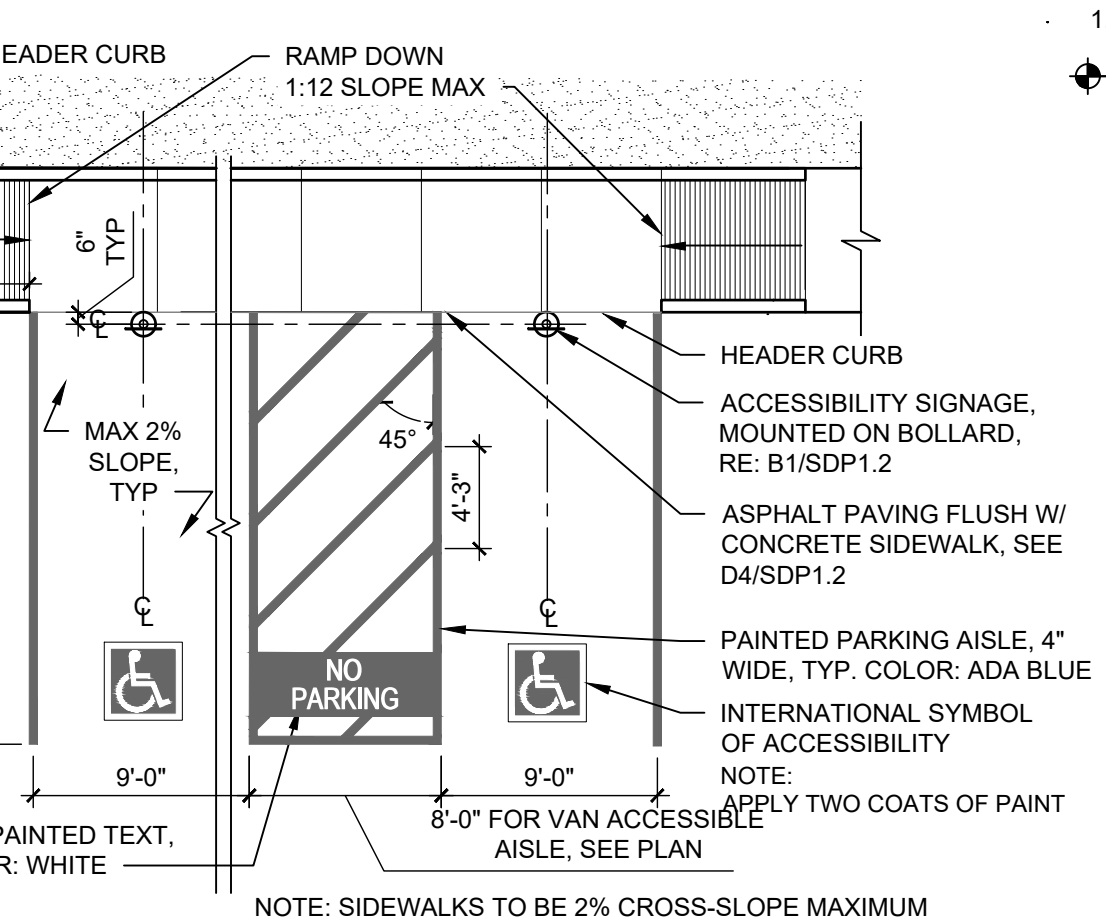
**BICYCLE RACK**  
1/2" = 1'-0"



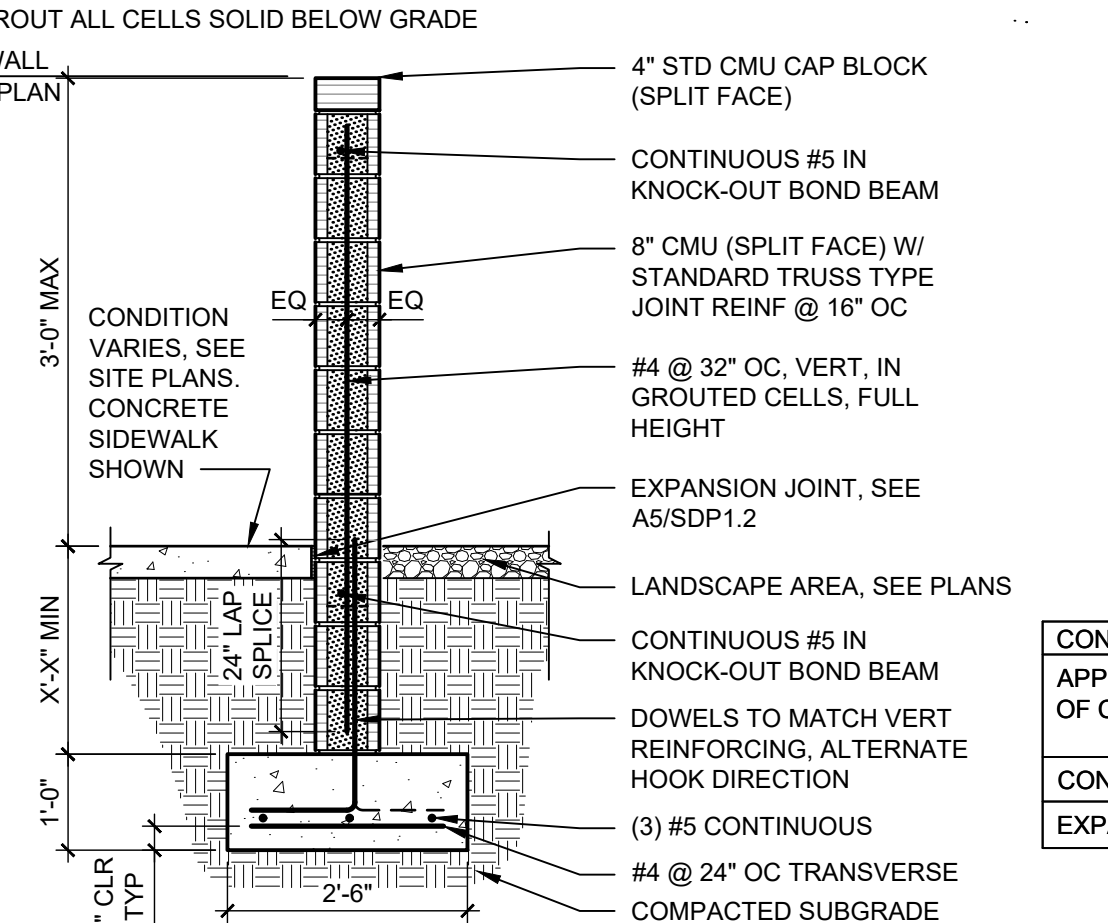
**RAMP TRANSITION**  
1 1/2" = 1'-0"



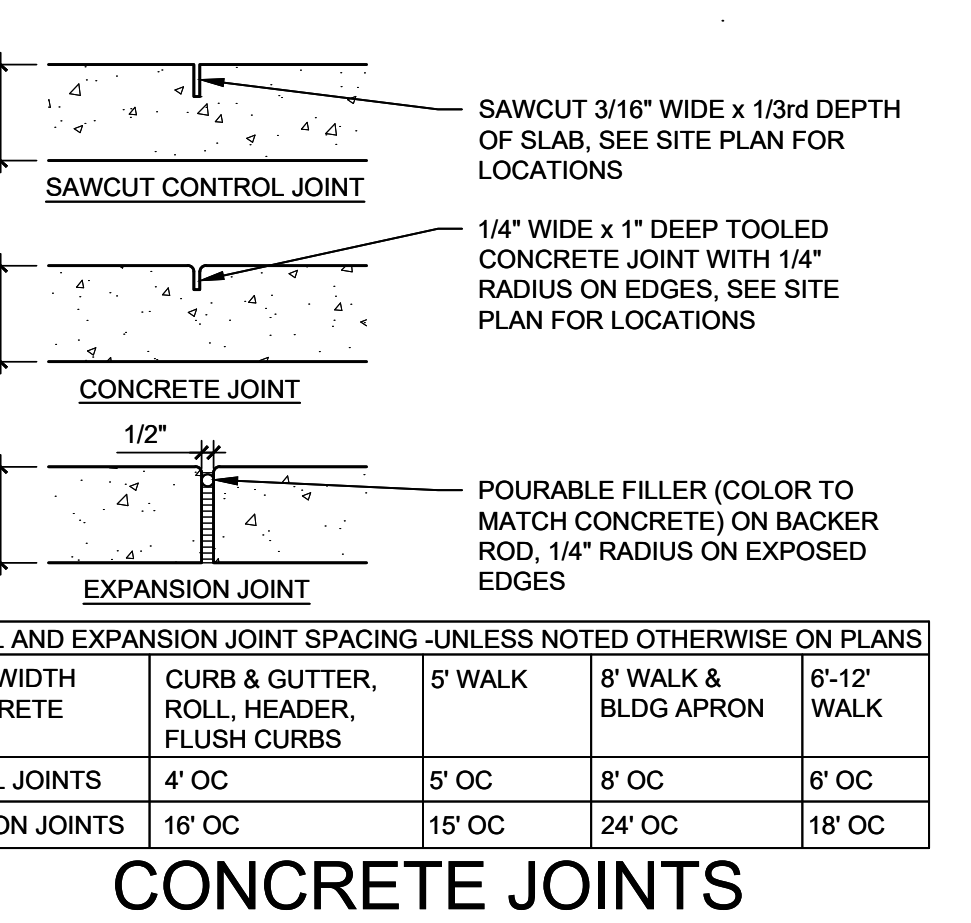
**CONCRETE CURB & GUTTER**  
1 1/2" = 1'-0"



**ACCESSIBLE PARKING**  
1/8" = 1'-0"



**3' CMU SCREEN WALL**  
1/2" = 1'-0"



**CONCRETE JOINTS & JOINT SPACING**  
1 1/2" = 1'-0"

**DEKER PERICH SABATINI**  
Architecture in Progress



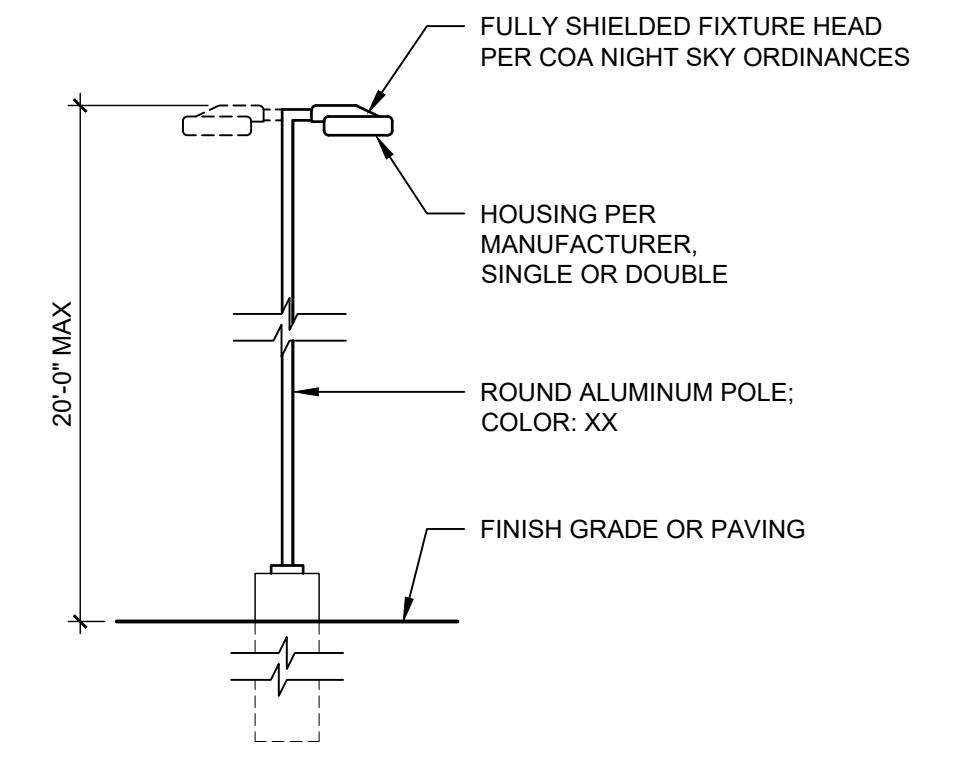
SEAL  
PROJECT

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ALBUQUERQUE, NM

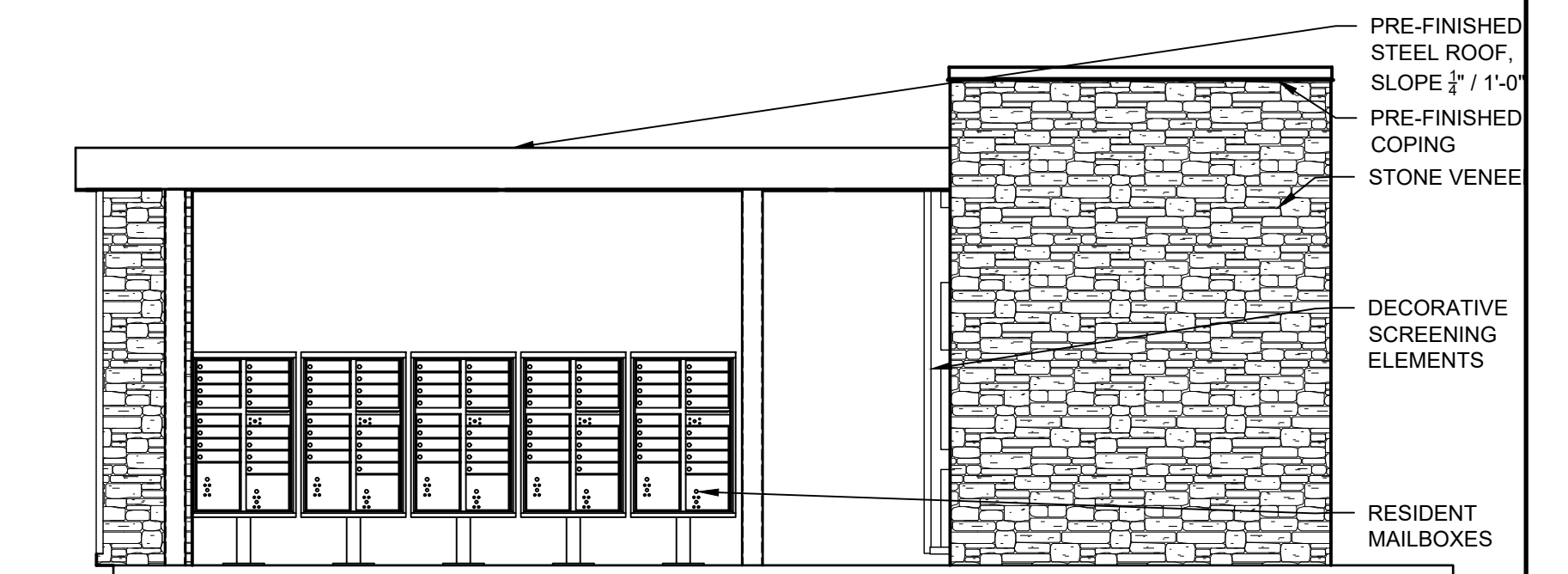
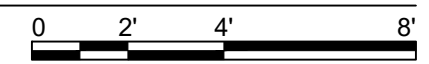
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DRAWN BY AG, JB  
REVIEWED BY RAW  
DATE 09/30/2022  
PROJECT NO: 22-0033

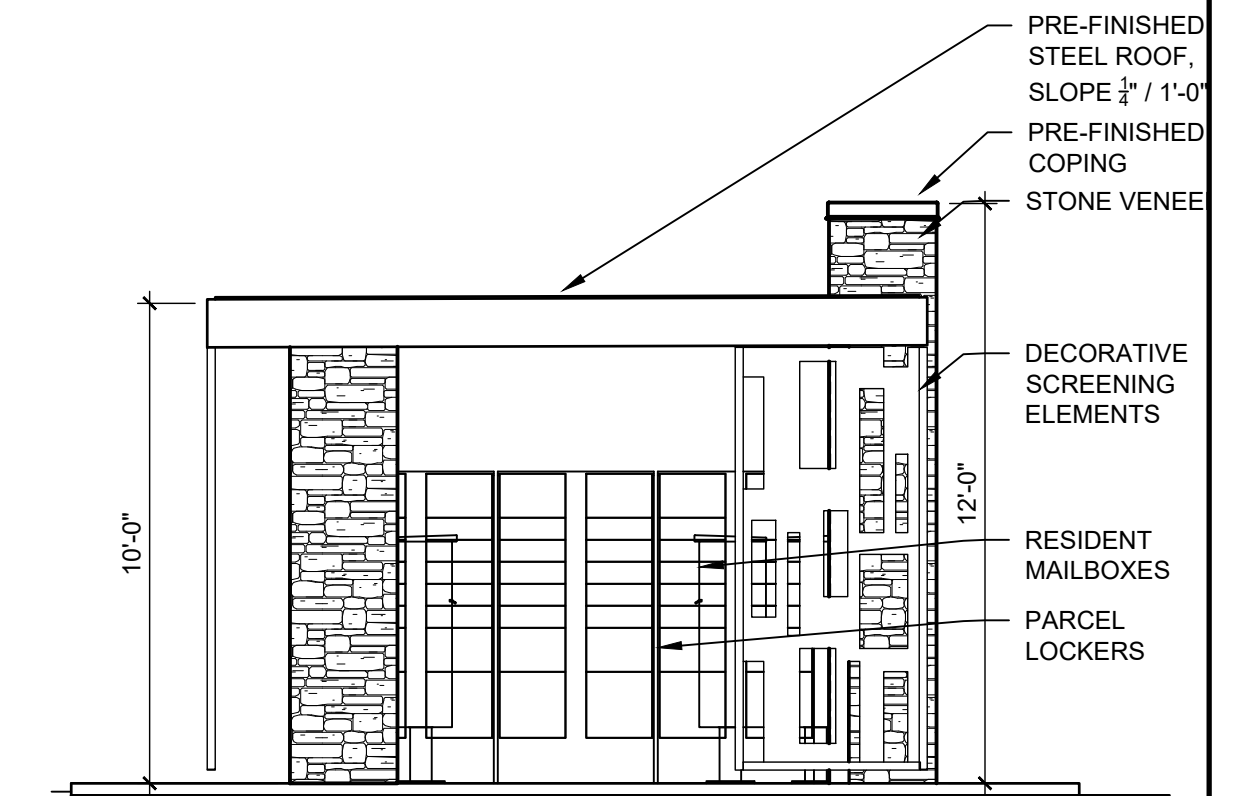
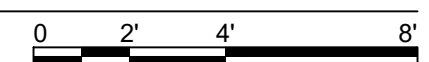
DRAWING NAME  
**SITE DETAILS**  
SHEET NO  
**SDP-1.2**



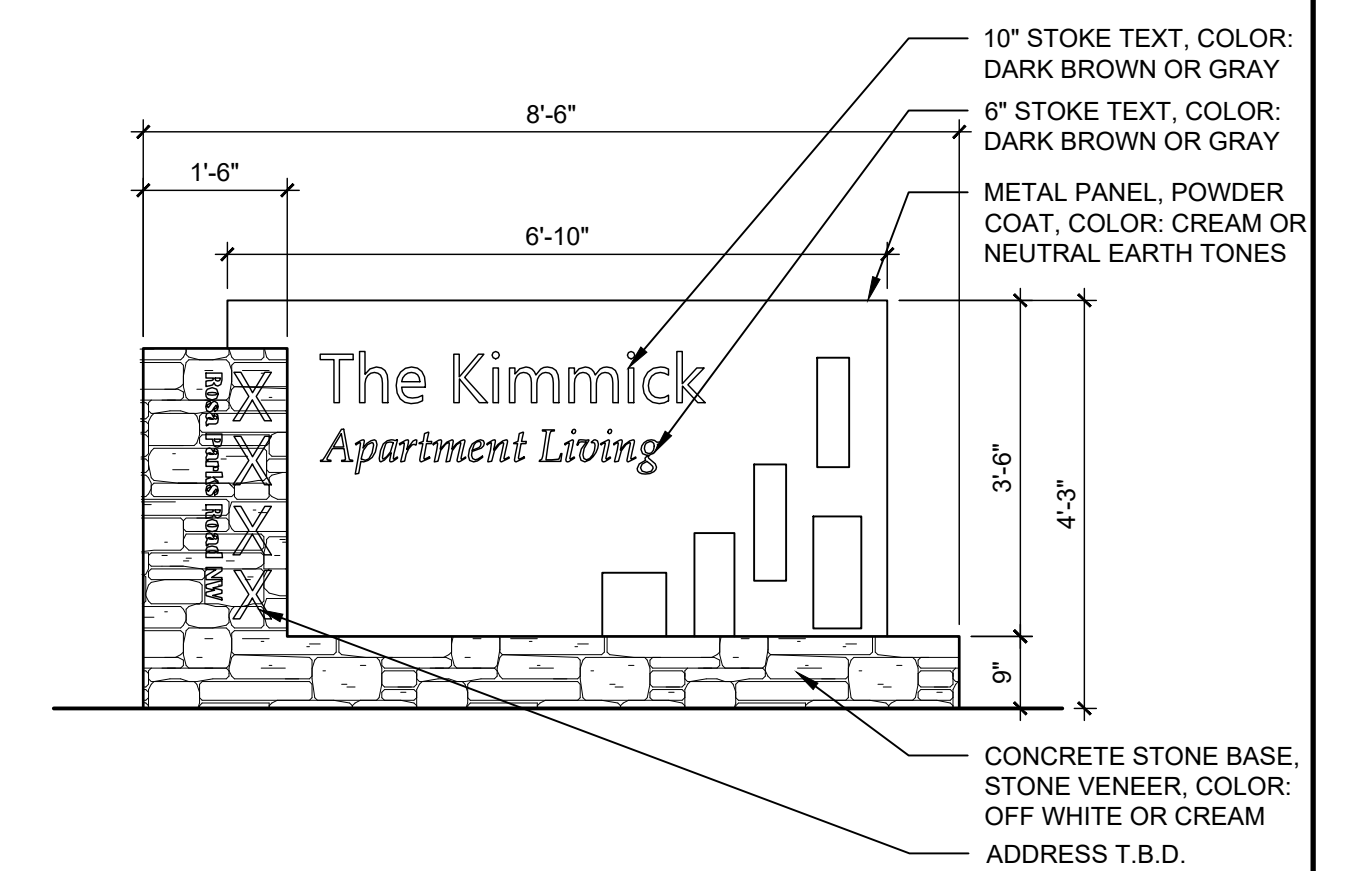
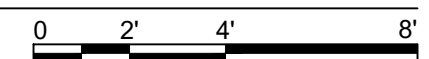
**D5 LIGHT POLE**  
1/4" = 1'-0"



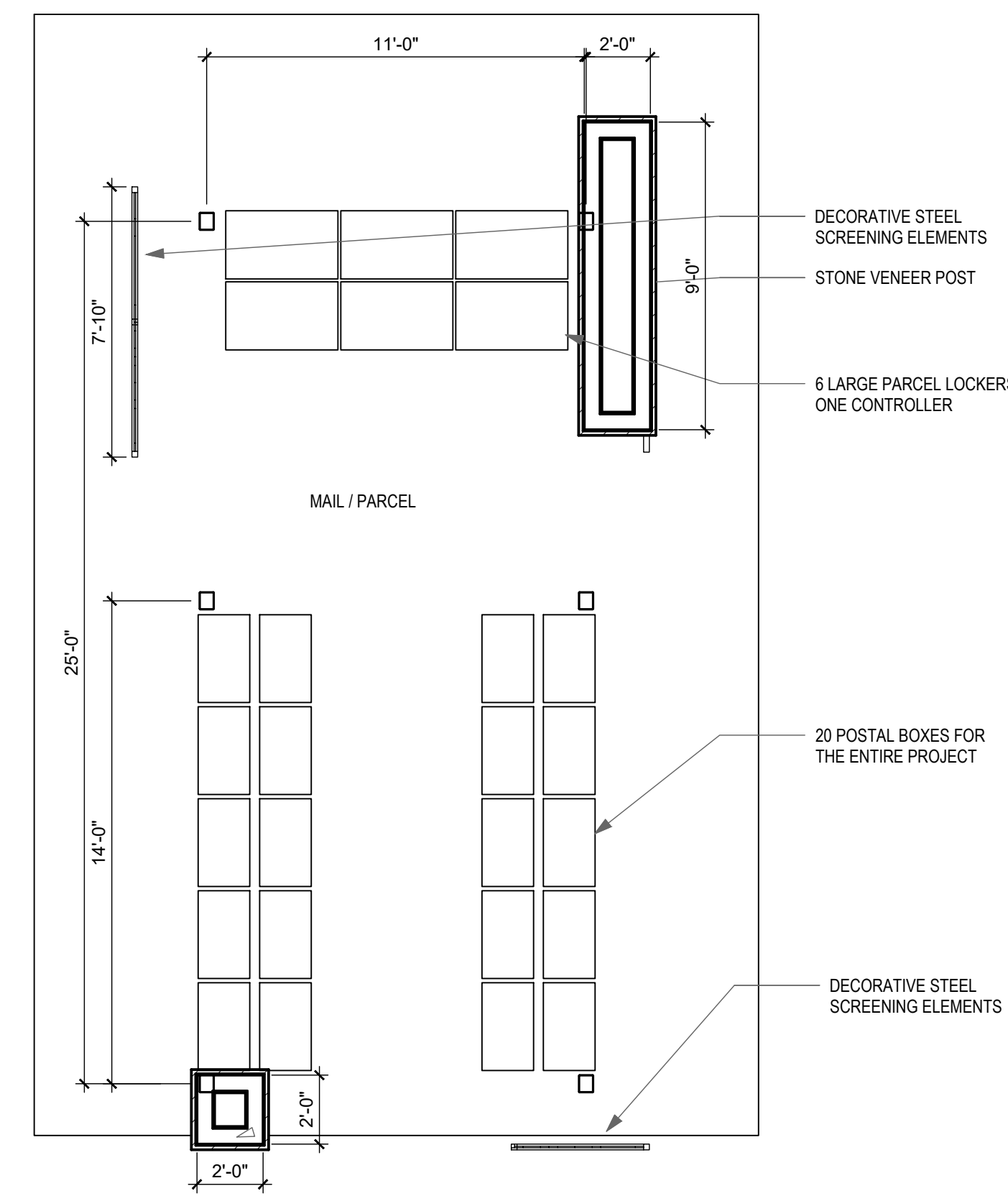
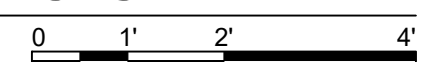
**C5 MAIL CENTER**  
1/4" = 1'-0"



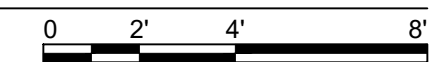
**B5 MAIL CENTER**  
1/4" = 1'-0"



**A5 MONUMENT SIGN**  
1/2" = 1'-0"



**A3 MAIL CENTER**  
1/4" = 1'-0"



SEAL

PROJECT

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ALBUQUERQUE, NM

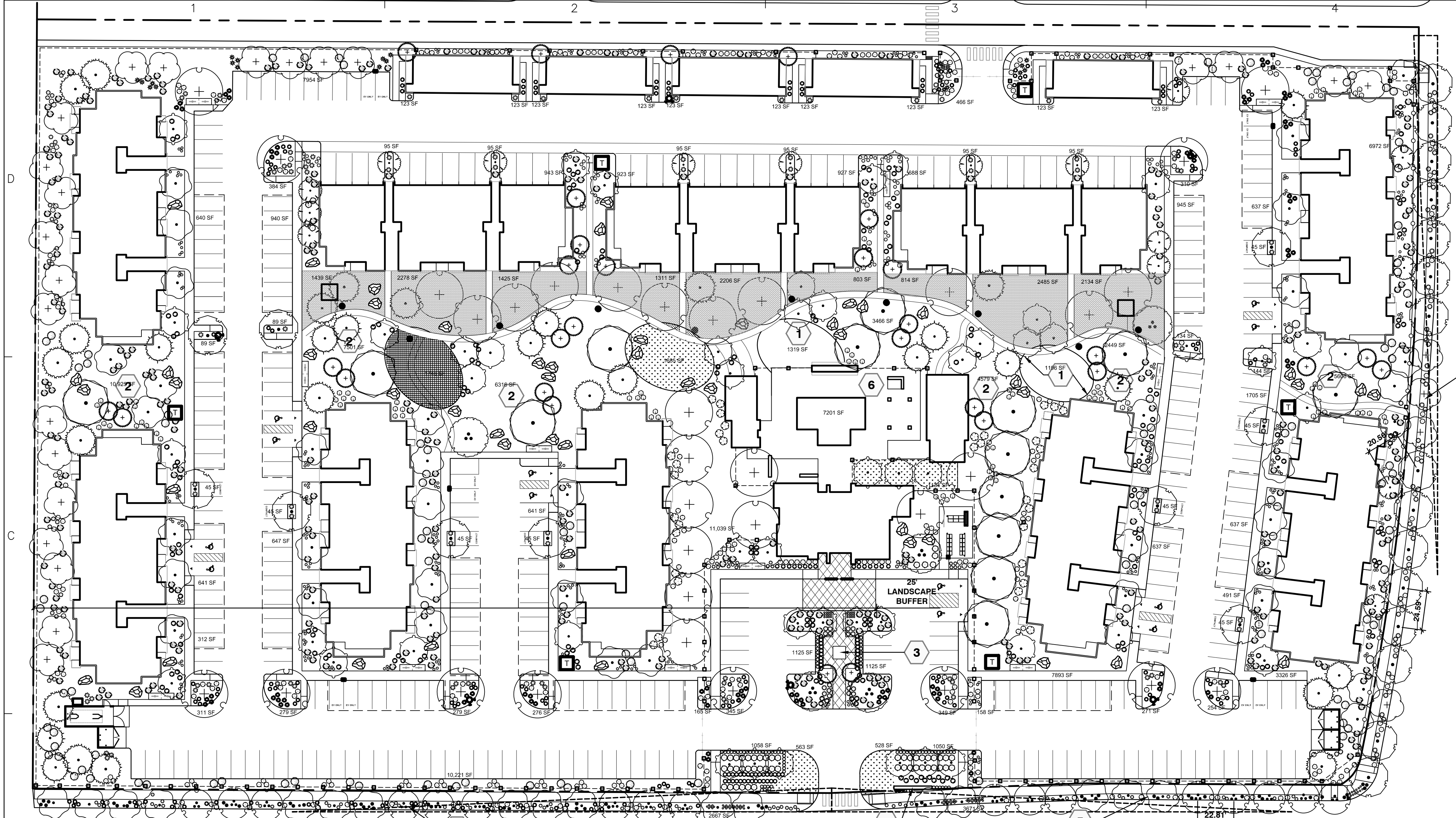
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DRAWN BY	AG, JB
REVIEWED BY	RAW
DATE	09/30/2022
PROJECT NO.	22-0033

DRAWING NAME  
**SITE  
DETAILS**

SHEET NO  
**SDP-1.3**



**GENERAL LANDSCAPE NOTES**

- PRIOR TO BEGINNING WORK ON THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT IN THE FIELD WITH THE OWNER'S REPRESENTATIVE.
- IF DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND THE SITE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION PRIOR TO PROCEEDING ON THAT PORTION OF WORK.
- ALL PLANTING AREAS ARE TO HAVE WEEDS AND COMPETITIVE VEGETATION REMOVED PRIOR TO PREPARATION FOR PLANTING.
- ALL EXISTING PLANT MATERIALS TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. DAMAGED MATERIALS SHALL BE REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE.
- PLANT QUANTITIES ARE PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY, PLANS SHALL TAKE PRECEDENCE.
- THE OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT MATERIAL PRIOR TO PLANTING. IN ADDITION, THE OWNER REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE. THE OWNER'S REPRESENTATIVE IS TO APPROVE ANY AND ALL SUBSTITUTIONS.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS.
- PLANTING INSTALLATION SHALL BE IN ACCORDANCE WITH ALL CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS (SECTION 1005 - PLANTING) AND DETAILS.
- PER IDO 5-3 (D) WALKWAYS AND SIDEWALKS ARE SHADED.

**LANDSCAPE CALCULATIONS**

SITE AREA (9.56 AC)	416,434 SF
BUILDING FOOTPRINT	85,572 SF
NET LOT	330,862 SF
REQUIRED/PROVIDED LANDSCAPE	82,716 SF (25%) / 144,370 SF (43%)

**COVERAGE**

REQUIRED/PROVIDED VEGETATIVE COVER	62,036 SF (75%) / 144,370 SF (43%)
REQUIRED/PROVIDED GROUND-LEVEL COVER	15,509 SF (25%) / 41,108 SF (66%)

**PARKING LOT TREES**

PARKING LOT SPACES PROVIDED	298
ONE (1) TREE IS REQUIRED PER 10 PARKING SPACES	
REQUIRED/PROVIDED PARKING LOT TREES (1/10 SPACES)	30/295

**PARKING LOT AREA**

AT LEAST 10 PERCENT OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR FEWER SPACES SHALL BE LANDSCAPED. 15% OF THE PARKING LOT AREA CONTAINING MORE THAN 50 SPACES SHALL BE LANDSCAPED.

**PARKING LOT AREA**

PARKING LOT AREA	129,538 SF
REQUIRED/PROVIDED PARKING LOT LANDSCAPE	19,431 SF (15%) / 53,209 SF (41%)

ANY PARKING LOT LOCATED WITHIN 30 FEET OF THE FRONT LOT LINE SHALL BE SCREENED FROM THE STREET BY A LANDSCAPE BUFFER AT LEAST 10 FEET IN WIDTH OF CONTINUOUS EVERGREEN SHRUBBERY 3 FEET IN HEIGHT.

ANY PARKING LOT LOCATED WITHIN 20 FEET OF THE SIDE OR REAR LOT LINE SHALL BE SCREENED BY A LANDSCAPE STRIP AT LEAST 6 FEET WIDE CONTAINING AT LEAST 2 TREES AND 6 SHRUBS PER 25 FEET OF THE PARKING LOT EDGE.

**STREET TREES**

STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 25' O.C. KIMMICK DRIVE NW FRONTAGE IS 477 LF. KIMMICK DRIVE REQUIRED/PROVIDED STREET TREES: 19/19 ROSA PARKS RD NW FRONTAGE IS 846 LF ROSA PARKS RD NW REQUIRED/PROVIDED STREET TREES: 34/34

**CLEAR SIGHT DISTANCE**

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**SITE TREES**

TREE REQUIREMENTS FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS ARE AT A RATE OF ONE TREE PER GROUND FLOOR UNIT AND ONE TREE FOR EVERY SECOND FLOOR UNIT. NO ADDITIONAL TREES ARE REQUIRED FOR UNITS ABOVE SECOND STORY. 68 FIRST FLOOR UNITS AND 90 SECOND FLOOR UNITS ARE PROVIDED. 158 SITE TREES ARE REQUIRED / 286 SITE TREES ARE PROVIDED

**KEYED NOTES**

SYMBOL	DESCRIPTION
1	PAVED GATHERING AREA
2	STORMWATER DETENTION AREA
3	SCULPTURAL WATER FEATURE
4	SIGNAGE
5	LANDSCAPE SWALE BETWEEN BOC AND SIDEWALK
6	POOL AND SPA AREA

**BOULDERS, GRAVEL MULCH AND SURFACE TREATMENTS**

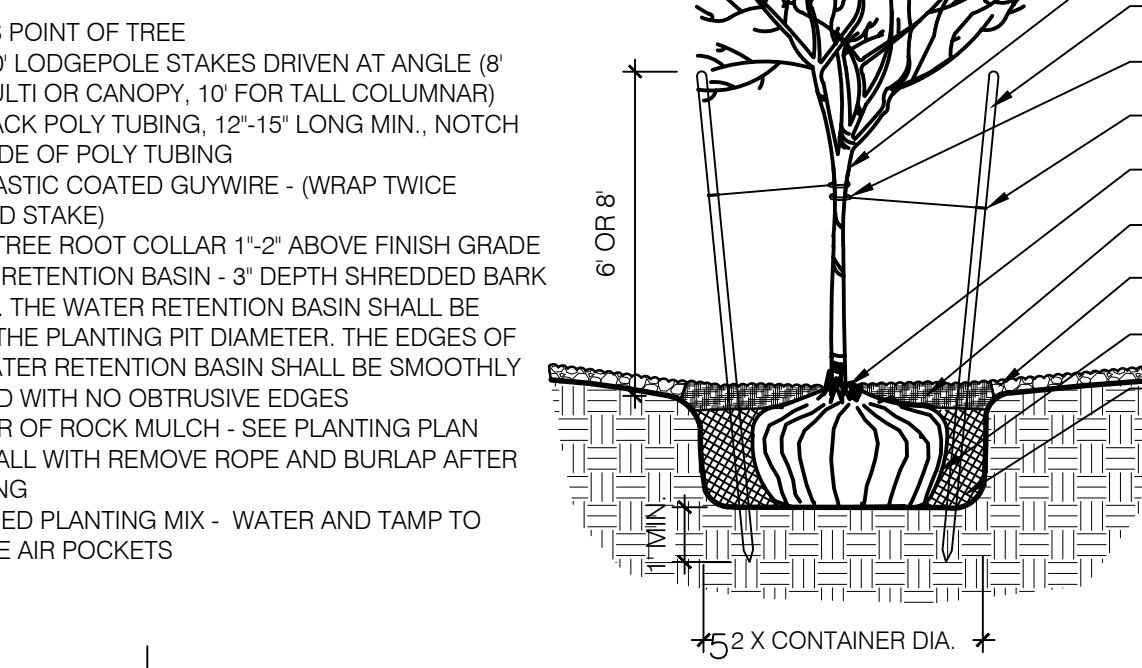
56		SALVAGED BASALT LANDSCAPE BOULDER
2,975 SF		BLUEGRASS 'COOL SEASON' TURF
1,756 SF		DOG PARK- 4" DEPTH SHREDDED "BARK"
12,727 SF		NATIVE 'WARM SEASON' GRASS AND MEADOW SEEDING
119,941 SF		4" DEPTH ROCK OR ORGANIC MULCH WITH FILTER FABRIC

**1 LANDSCAPE PLAN**

1" = 40'-0"

**PLANT SCHEDULE**

TREES	BOTANICAL / COMMON NAME	INSTALL SIZE	MATURE SIZE	SHRUBS	BOTANICAL / COMMON NAME	INSTALL SIZE	MATURE SIZE
	Acer grandidentatum 'JFS-NuMex 3' Mesa Glow® Bigtooth Maple	2.5" Cal.	25' x 18'		Achillea filipendulina 'Coronation Gold' Coronation Gold Fernleaf Yarrow	1 gal.	3' x 2'
	Acer negundo 'Sensation' Sensation Box Elder	2.5" Cal. B&B	40' x 30'		Buddleja davidii 'White Profusion' White Profusion Butterfly Bush	15 gal.	5' x 5'
	Cercis canadensis texensis Texas Redbud	2.5" Cal. B&B	15' x 12'		Callirhoe involucrata Purple Poppymallow	1 gal.	1' x 2'
	Chilopsis linearis 'Art's Seedless' Art's Seedless Desert Willow	24" Box	20' x 25'		Cistus x purpureus Orchid Rockrose	5 gal.	4' x 5'
	Forestiera neomexicana New Mexico Privet	15 gal.	15' x 15'		Leucophyllum langmaniae 'Lynn's Legacy' Lynn's Legacy Langman's Sage	5 gal.	5' x 5'
	Pinus nigra Austrian Pine	6" HT. B&B	35' x 25'		Teucrium aroanium Creeping Germander	1 gal.	1' x 2'
	Prosopis glandulosa 'Maverick' TM Maverick Thornless Honey Mesquite	24" Box	25' x 30'		Teucrium chamaedrys Germander	1 gal.	1' x 2'
	Quercus fusiformis Texas Live Oak	2.5" Cal.	25' x 30'		Vauquelinia californica Arizona Rosewood	15 gal.	12' x 10'
	Quercus muehlenbergii Chinkapin Oak	2.5" Cal. B&B	40' x 40'		Dasyllirion texanum Texas Sotol	5 gal.	5' x 5'
	Quercus shumardii Shumard Oak	2.5" Cal. B&B	60' x 40'		Ephedra viridis Mormon Tea	1 gal.	5' x 5'
	Quercus x Crimschmidt' TM Crimson Spire Oak	2.5" Cal. B&B	40' x 15'		Ericameria laricifolia 'Aguirre' TM Aguirre Turpentine Bush	1 gal.	3' x 4'



**CONSENSUS**  
 Planning / Landscape Architecture  
 302 Eighth Street NW  
 Albuquerque, NM 87102  
 (505) 764-9801 Fax 842-5495  
 e-mail: cp@consensusplanning.com

**DESCRIPTION**

STATE OF NEW MEXICO  
 KENNETH A. ROMIG  
 #337  
 LANDSCAPE ARCHITECT  
 11-09-2023

**PASEO AND KIMMICK ALBUQUERQUE, NM**  
 September 30, 2022

SUBMITTAL: SEPTEMBER 30, 2022

**REVISIONS**

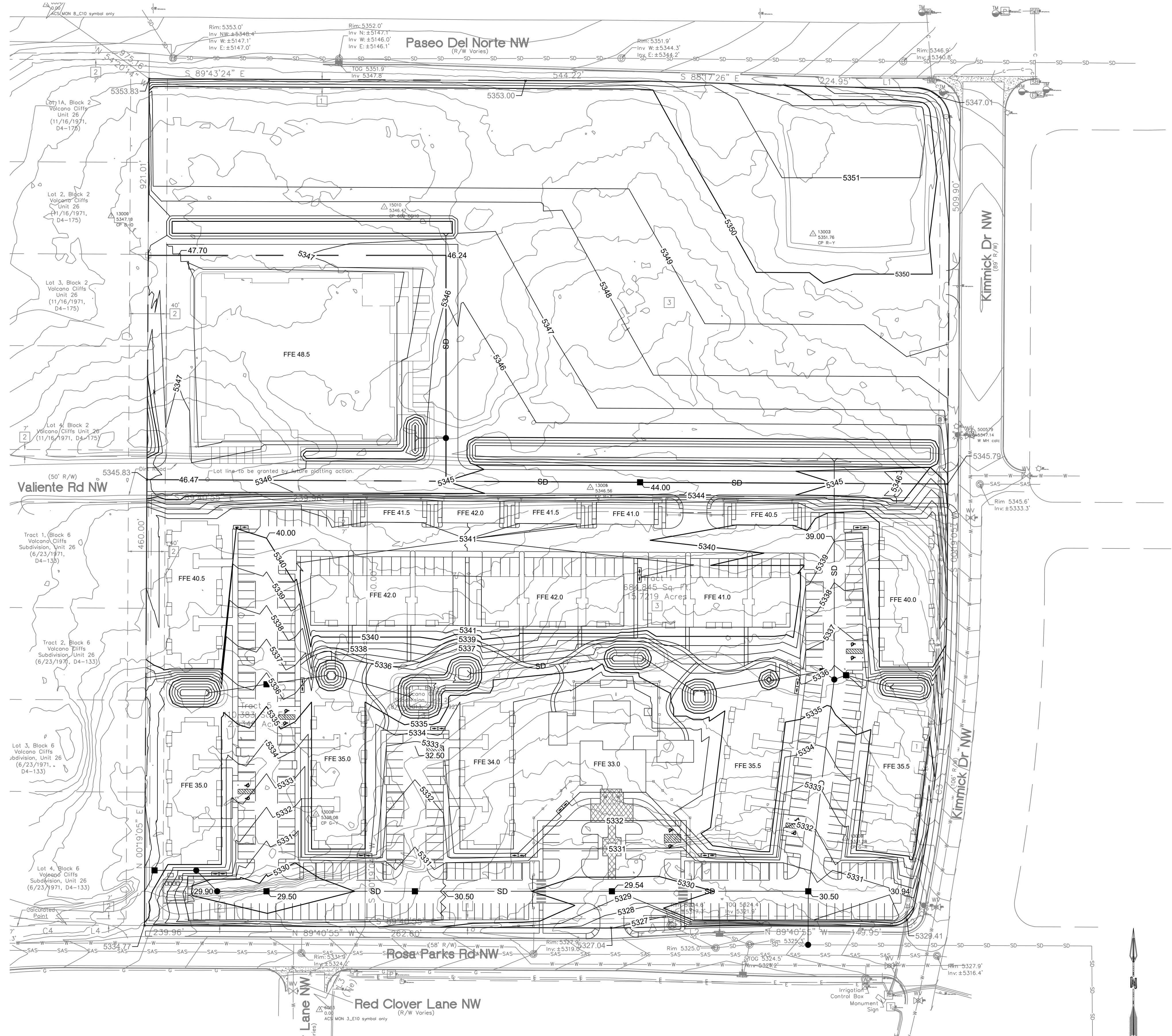
NO.	DATE	DESCRIPTION

PROJECT NO: X  
 CAD DWG FILE:  
 DESIGNED BY: KR DATE: 9/30/22  
 DRAWN BY: KR DATE: 9/30/22  
 CHECKED BY: CG DATE: 9/30/22

**SHEET TITLE**  
 LANDSCAPE PLAN

**DRAWING SHEET**  
 LS100

NAME: N:\Projects\W0262-Aleem Hasham\W0262.01 Hasham Paseo & Kimmick3.DWG; Sheets\W0262.01 GRADING.dwg; PLOT DATE: Jul 27, 2022 10:27am



- LEGEND:**
- PROPERTY BOUNDARY
  - 5270 — PROPOSED MAJOR CONTOUR
  - 5272 — PROPOSED MINOR CONTOUR
  - - - 5270 - - - EXISTING MAJOR CONTOUR
  - - - EXISTING MINOR CONTOUR
  - ~ ~ ~ PROPOSED HIGH POINT
  - SD — PROPOSED STORM DRAIN
  - PROPOSED DROP INLET
  - PROPOSED STORM DRAIN MH

City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**PRELIMINARY APPROVED**  
 DATE: 09/09/22  
 BY: *Ronald C. Brunsell*  
 HydroTrans # C11D004A

THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

DESIGNED	JS
DRAWN	JS
CHECKED	JS
DATE	7.27.2022

STAMP

**PROFESSIONAL ENGINEER**  
 JEREMY W. SHELL  
 NEW MEXICO  
 26341

**PRELIMINARY**  
 NOT FOR CONSTRUCTION  
 7/2022

**nm811**  
 Know what's below.  
 Call before you dig.  
 PROJ. #: W0262.01

PROJECT NAME:  
**PASEO & KIMMICK**

SHEET TITLE:  
**CONCEPT GRADING PLAN**

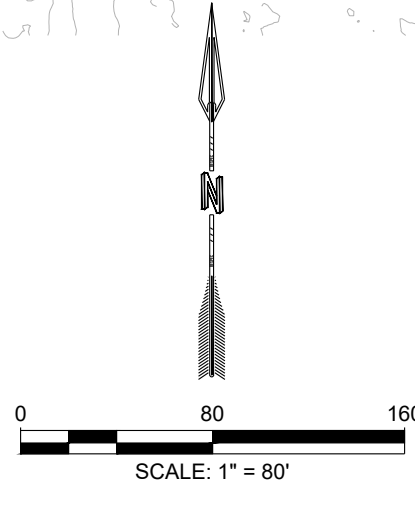
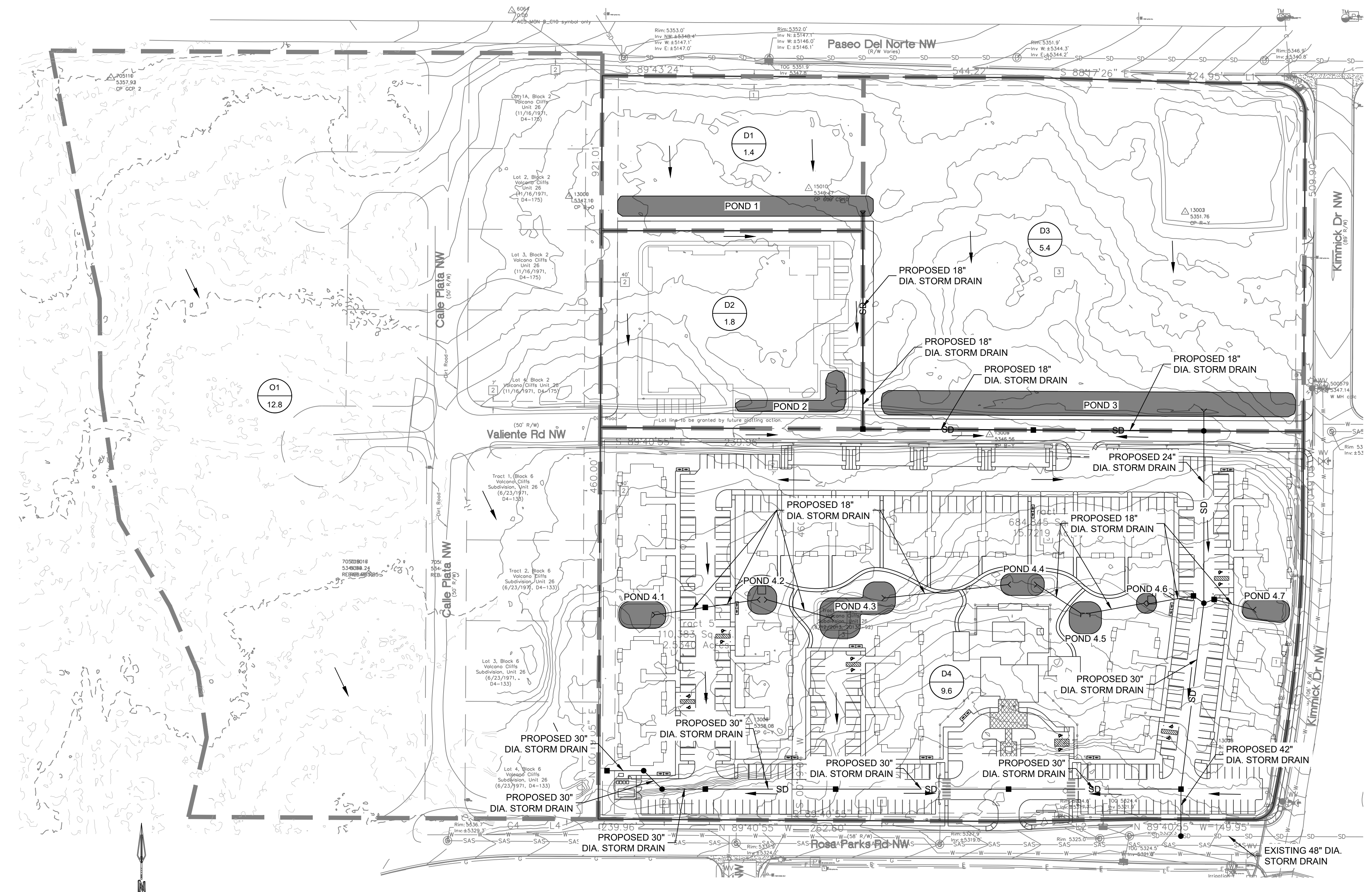
SUBMITTED FOR:  
**DRB SITE PLAN**

SHEET NUMBER:  
**C-101**

NAME: N:\Projects\W0262-Aleem Hasham\W0262-01 Hasham Paseo & Kim Mick3\_DWG\_Sheets\W0262-01 Drainage.dwg PLOT DATE: Sep 08, 2022 3:51pm

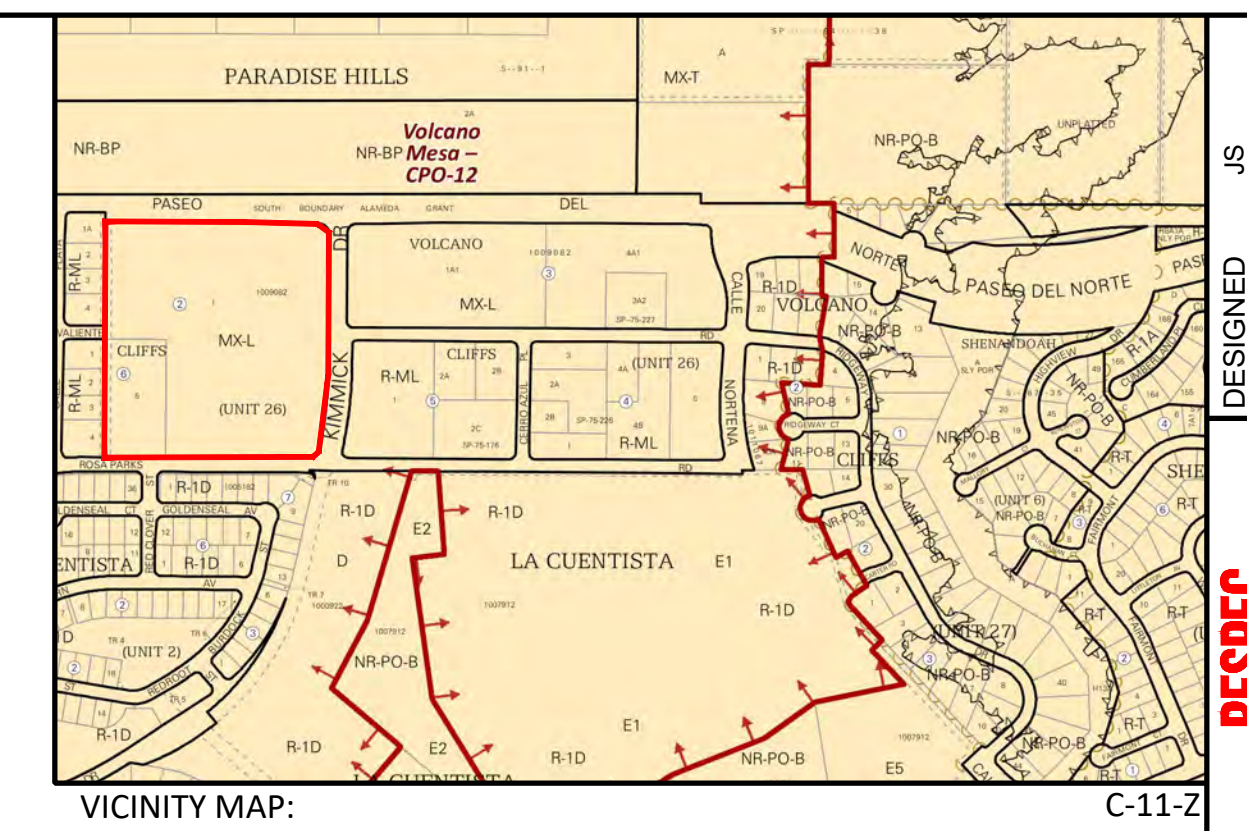
**LEGEND:**

- XX BASIN DESIGNATION
- XX BASIN AREA, ACRES
- SUB-BASIN BOUNDARY
- SD PROPOSED STORM DRAIN
- PROPOSED DROP INLET
- PROPOSED STORM DRAIN MH
- PROPOSED FLOW ARROW
- PROPOSED POND



City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**PRELIMINARY APPROVED**  
DATE: 09/09/22  
BY: *Rose Benitez*  
HydroTeam # C11D004A

THESE PLANS AND/OR REPORT ARE CONFIDENTIAL. ONLY MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.



**BACKGROUND**

TRACT 1, BLOCK 2 AND TRACT 5, BLOCK 6, VOLCANO CLIFFS SUBDIVISION, UNIT 26 CONTAINS APPROXIMATELY 18.2 ACRES IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THE PROPERTY IS BOUNDED BY PASEO DEL NORTE TO THE NORTH, KIMMICK DRIVE TO THE EAST, ROSA PARKS ROAD TO THE SOUTH, AND RESIDENTIAL LOTS TO THE WEST. SEE VICINITY MAP ABOVE. THE PROPOSED DEVELOPMENT IS MIXED USE CONTAINING APARTMENTS, SELF-STORAGE, AND FUTURE COMMERCIAL. THE SAD 228 DRAINAGE REPORT COMPLETED BY WILSON & COMPANY IN JANUARY 2012 RESTRICTS THE DISCHARGE FROM THE PROJECT SITE TO THE HISTORIC RATE. WILSON & COMPANY SUBSEQUENTLY COMPLETED A CONCEPTUAL GRADING AND DRAINAGE PLAN THAT WAS APPROVED IN JULY 2017.

**METHODOLOGY**

HYDROLOGY CALCULATIONS FOR THE SITE ARE PERFORMED IN ACCORDANCE WITH THE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) ARTICLE 6.2 USING THE RATIONAL METHOD TO CALCULATE PEAK FLOW RATES TO ENSURE ALL FLOW PATHS ARE SUFFICIENT TO CARRY FLOWS. THE REQUIRED WATER QUALITY VOLUME WAS CALCULATED BY MULTIPLYING THE IMPERVIOUS AREA BY THE FIRST FLUSH RUNOFF VALUE OF 0.42" FOR NEW DEVELOPMENT. ALL HYDROLOGIC AND HYDRAULIC CALCULATIONS CAN BE FOUND ON THIS SHEET.

**EXISTING CONDITIONS**

THE SITE IS CURRENTLY UNDEVELOPED. THE EXISTING SITE TERRAIN GENERALLY SHEET DRAINS FROM NORTH TO SOUTH AT VARYING SLOPES BETWEEN 1%-4%. THERE IS NO DESIGNATED 100-YEAR FLOODPLAIN SHOWN ON THE PROPERTIES. RUNOFF GENERATED BY THE SITE IS COLLECTED IN AN EXISTING PILL BOX MANHOLE NEAR THE SOUTHWEST CORNER OF THE SITE AND ENTERS THE EXISTING STORM DRAIN IN ROSA PARKS ROAD.

**DEVELOPED CONDITIONS**

THE DRAINAGE INTENTION OF THE DEVELOPED CONDITIONS IS TO ADHERE TO THE FOREMENTIONED DRAINAGE STUDIES COMPLETED BY WILSON & COMPANY AND REDUCE THE DEVELOPED FLOW RATES TO THE HISTORIC RATE. EACH LOT MAY DEVELOP INDEPENDENTLY OF THE OTHER LOTS. THE FINAL LOT DEVELOPMENT PLANS WILL ADDRESS THE DETAILS OF THE GRADING AND DRAINAGE WITHIN THE LIMITS OF THIS MASTER PLAN. THE SITE HAS BEEN SPLIT INTO 5 SUB-BASINS AND ARE DESCRIBED BELOW.

SUB-BASIN O1 CONTAINS 12.8 ACRES. THIS OFFSITE SUB-BASIN LOCATED WEST OF THE SUBJECT SITE ENTERS SUB-BASIN D4 IN THE EXISTING CONDITION AND WILL BE ACCOMMODATED BY SUB-BASIN D4. RUNOFF WILL BE COLLECTED BY A DROP INLET LOCATED AT THE SOUTHEAST CORNER OF SUB-BASIN D4. THESE OFFSITE FLOWS WILL BE ROUTED ALONG THE SOUTHERN PORTION OF SUB-BASIN D4 IN A PRIVATE STORM DRAIN UNTIL REACHING ITS ULTIMATE OUTFALL INTO THE EXISTING ROSA PARKS STORM DRAIN NEAR THE SOUTHEAST CORNER OF SUB-BASIN D4.

SUB-BASIN D1 CONTAINS 1.4 ACRES AND WILL BE DEVELOPED IN THE FUTURE AS A COMMERCIAL USE. UNTIL SUCH TIME THIS SUB-BASIN DEVELOPS, FLOWS GENERATED BY THE SUB-BASIN WILL BE COLLECTED IN POND 1 ALONG THE SOUTHERN PORTION OF THE SUB-BASIN. A PRIVATE STORM DRAIN WILL BE STUBBED INTO THE POND TO ROUTE FLOWS ULTIMATELY TO THE ROSA PARKS EXISTING STORM DRAIN.

SUB-BASIN D2 CONTAINS 1.8 ACRES AND WILL BE A SELF-STORAGE DEVELOPMENT. RUNOFF WILL BE COLLECTED IN POND 2 AT THE SOUTHEAST CORNER OF THE SUB-BASIN. POND 2 IS INTENDED TO SERVE AS BOTH STORM WATER QUALITY VOLUME AS WELL AS FLOW REDUCTION TO THE HISTORICAL RATE. RUNOFF WILL THEN BE ROUTED INTO A PRIVATE STORM DRAIN THAT ULTIMATELY OUTFALLS TO THE ROSA PARKS EXISTING STORM DRAIN.

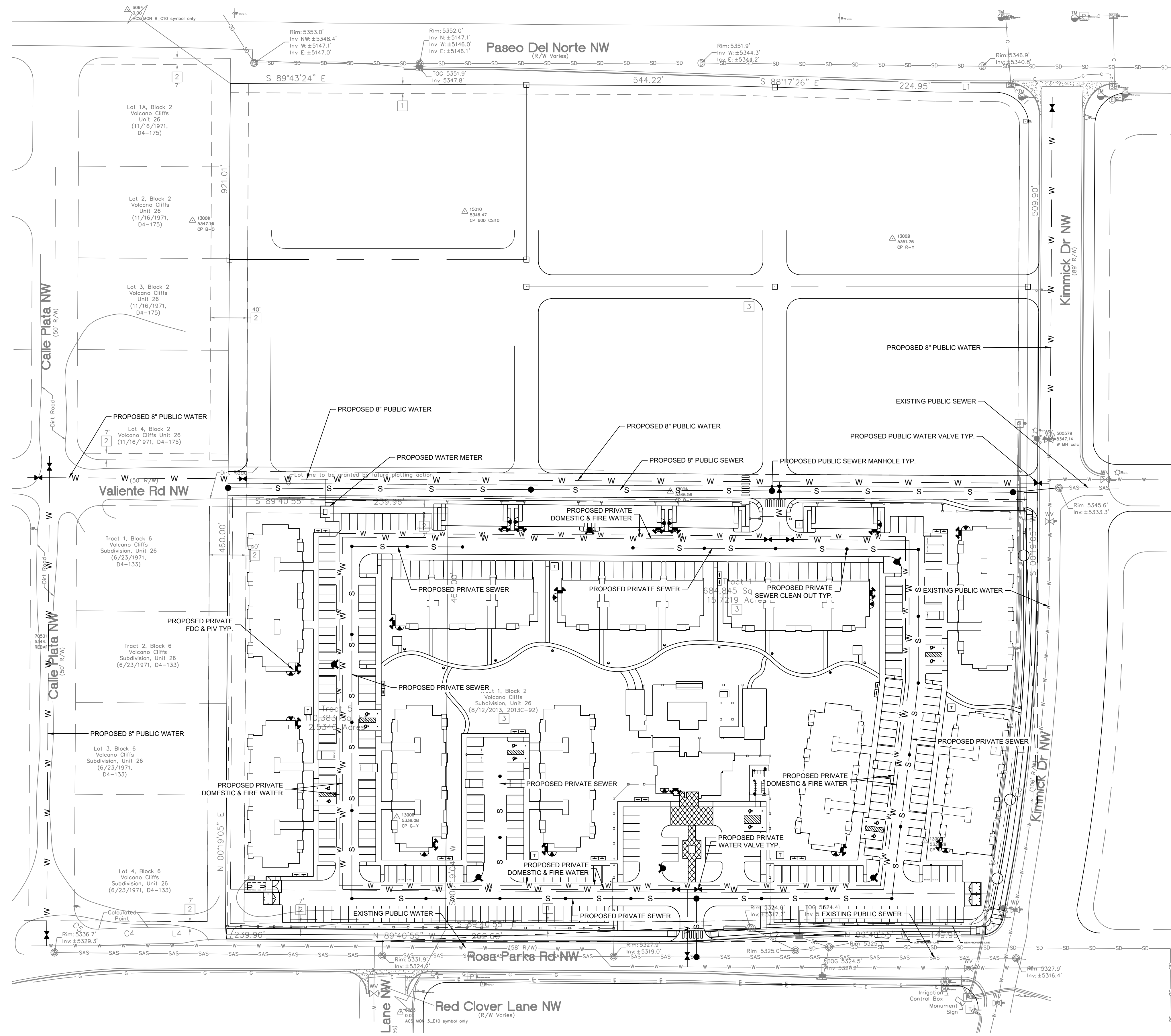
SUB-BASIN D3 CONTAINS 5.4 ACRES AND WILL DEVELOPED IN THE FUTURE AS A COMMERCIAL USE. UNTIL SUCH TIME THIS SUB-BASIN DEVELOPS, FLOWS GENERATED BY THE SUB-BASIN WILL BE COLLECTED IN POND 3 ALONG THE SOUTHERN PORTION OF THE SUB-BASIN. A PRIVATE STORM DRAIN WILL BE STUBBED INTO THE POND TO ROUTE FLOWS ULTIMATELY TO THE ROSA PARKS EXISTING STORM DRAIN.

SUB-BASIN D4 CONTAINS 9.6 ACRES AND WILL BE AN APARTMENT DEVELOPMENT. RUNOFF WILL BE COLLECTED IN A SERIES OF PONDS (4.1 THROUGH 4.7) ALONG THE CENTER OF THE SUB-BASIN IN THE WEST-EAST DIRECTION. THESE PONDS ARE INTENDED TO SERVE AS BOTH STORM WATER QUALITY VOLUME FOR THE NORTH HALF OF THE APARTMENT SITE AS WELL AS FLOW REDUCTION TO THE HISTORICAL RATE. RUNOFF WILL THEN BE ROUTED INTO A PRIVATE STORM DRAIN THAT ULTIMATELY OUTFALLS TO THE ROSA PARKS EXISTING STORM DRAIN. THE PRIVATE STORM DRAIN ALONG THE SOUTHERN PORTION OF THE SUB-BASIN WILL SERVE TWO PURPOSES. THE FIRST IS TO CONVEY NOT ONLY THE FLOWS GENERATED BY THE APARTMENTS, BUT ALSO THE OFFSITE FLOWS FROM SUB-BASIN O1. THE SECOND IS TO SERVE AS STORM WATER QUALITY VOLUME FOR THE SOUTHERN HALF OF THE APARTMENT SITE.

THE MAIN TRUNK LINE IN THE PRIVATE STORM DRAIN EASEMENT ON THE PLAT WILL REQUIRE THE NECESSARY PRIVATE DRAINAGE DOCUMENTATION SHOWING THE MAINTENANCE RESPONSIBILITY.

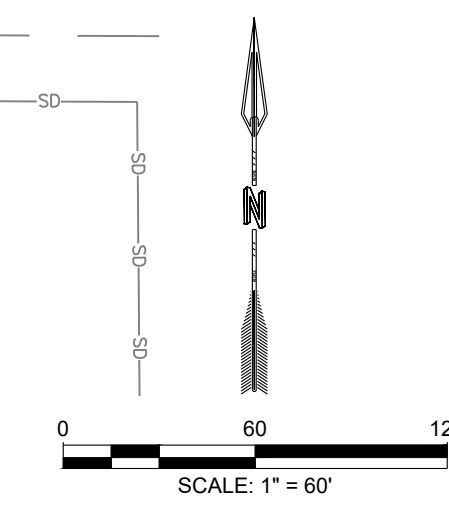
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<p>STAMP</p> <p style="text-align: center; color: red; font-weight: bold;">PRELIMINARY NOT FOR CONSTRUCTION 9/2022</p> <p style="text-align: center; color: red; font-weight: bold;">THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.</p> <p style="text-align: center;">PROJ. #: W0262.01</p>	
<p>PROJECT NAME: PASEO &amp; KIMMICK</p>	
<p>SHEET TITLE: CONCEPT DRAINAGE PLAN</p>	
<p>SUBMITTED FOR: DRB SITE PLAN</p>	
<p>SHEET NUMBER: C-100</p>	

NAME: N:\Projects\W0262-01 Hasham Paseo & Kimnick3.DWG; Sheets\W0262-01 UTILITY.dwg PLOT DATE: Dec 04, 2023 4:00pm



**LEGEND**

- PROPERTY BOUNDARY
- W NEW WATERLINE
- NEW WATER VALVE TYP.
- NEW WALL INDICATOR VALVE TYP.
- NEW FIRE DEPARTMENT CONNECTION TYP.
- NEW HYDRANT TYP.
- S NEW SEWER LINE
- NEW SEWER CLEAN OUT TYP.
- NEW SEWER MANHOLE TYP.
- EXISTING WATERLINE
- SAS--- EXISTING SEWER LINE



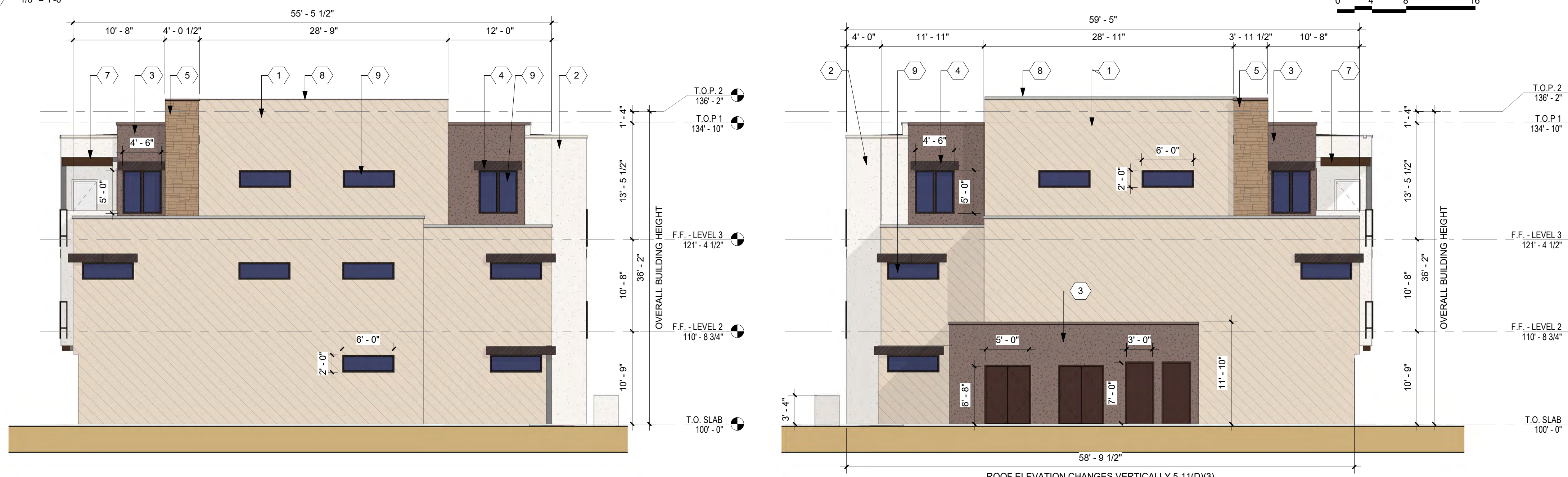
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<p>RESPEC COMMUNITY DESIGN SOLUTIONS 7770 JEFFERSON STREET SUITE 200 DENVER, CO 80231 WWW.RESPEC.COM PHONE (303) 253-9718</p>	
<p>STAMP</p> <p><b>PRELIMINARY</b> NOT FOR CONSTRUCTION 12/2023</p> <p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.</p> <p>Know what's below. Call before you dig. PROJ. #: W0262.01</p>	
<p>PROJECT NAME:</p> <p><b>PASEO &amp; KIMNICK</b></p>	
<p>SHEET TITLE:</p> <p><b>CONCEPT UTILITY PLAN</b></p>	
<p>SUBMITTED FOR:</p> <p><b>DRB SITE PLAN</b></p>	
<p>SHEET NUMBER:</p> <p><b>C-102</b></p>	







**D1 BUILDING A SOUTH ELEVATION**  
1/8" = 1'-0"



**B1 BUILDING A SIDE ELEVATION**  
1/8" = 1'-0"

**B3 BUILDING A EAST ELEVATION**  
1/8" = 1'-0"



**A1 BUILDING A NORTH ELEVATION**  
1/8" = 1'-0"

**GENERAL SHEET NOTES**

- A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM S ABOVE GRADE AT ANY PROPERTY LINE.
- B. ALL DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF FINISH UNLESS OTHERWISE NOTED.
- C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20" ABOVE FINISH FLOOR.
- D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION.
- E. ROOF DRAINAGE BY WAY OF EXTERNAL DOWNSPOUTS.
- F. STREET FACING FACADES SHALL COMPLY WITH IDO SECTIONS 5-11(D) 5-11(E)(2)
- G. 14-16-5-11(D)(2)(a) LOW E 386 GLAZING WILL BE ADDED TO THE WEST FACING WINDOWS FOR THE WEST SIDES OF THE 2 BUILDINGS ALONG THE WESTERN BOUNDARY.
- H. 14-16-5-21(1)(d) LIGHT REFLECTIVE VALUE (LRV) RATING SHALL BE LIMITED TO BETWEEN 20 and 50 PERCENT.

**IDO COMPLIANCE**

- COMPLIANCE WITH SECTION 5-11(D)(1) BUILDING ENTRANCES:**  
PRIMARY PEDESTRIAN ENTRANCES TO EACH PRIMARY BUILDING SHALL BE EMPHASIZED AND PROVIDE WEATHER PROTECTION THROUGH VARIATIONS IN THE FACADE. PORTICOS, ROOF VARIATIONS, RECESSES OR PROJECTIONS, OR OTHER INTEGRAL BUILDING FORMS.
- COMPLIANCE WITH SECTION 5-11(D)(2) FACADE DESIGN:**  
**WINDOWS 5-11(D)(2)(a):**  
1) GROUND FLOOR STREET-FACING FACADE SHALL CONTAIN A MINIMUM OF 20% OF ITS SURFACES IN TRANSPARENT WINDOWS AND/OR DOORS  
2) WINDOWS RECESSED 2" AT UPPER LEVELS  
**ARTICULATION 5-11(D)(2)(b):**  
1) AT LEAST ONE ELEMENT THAT IS RECESSED OR PROJECTED FROM THE FACADE EVERY 30 FT.  
2) EACH STREET FACING FACADE DESIGN WITH MORE THAN ONE BUILDING FINISH MATERIAL OR COLOR  
3) BALCONY MASSING, ATERIAL, OR COLOR SHALL VARY TO CREATE VISUAL INTEREST.
- COMPLIANCE WITH 5-11(D)(3) ROOF DESIGN:**  
ROOFLINES LONGER THAN 60 FT. SHALL INCLUDE AT LEAST ONE VERTICAL OR HORIZONTAL ELEVATION CHANGE OF AT LEAST 2 FT.
- COMPLIANCE WITH FACADE DESIGN 5-11(E)(2)(a):**  
STREET FACING FACADES TO INCORPORATE AT LEAST 2 FEATURES ALONG 30% OF THE LENGTH OF THE FACADE  
1) WINDOWS ON UPPER FLOORS (AT ALL FACADES)  
2) BALCONIES PROVIDE SHADE AND PROTECTION FROM THE WEATHER  
**COMPLIANCE WITH FACADE DESIGN 5-11(E)(2)(b) (3):**  
STREET FACING FACADE INCORPORATE AT LEAST 1 ADDITIONAL FEATURE:  
1) WALL PLANE PROJECTIONS OR RECESSES OF AT LEAST 1FT EVERY 100FT FOR AT LEAST 25% OF FACADE  
2) CHANGE IN COLOR TEXTURE AND MATERIAL AT LEAST 50FT OF FACADE LENGTH

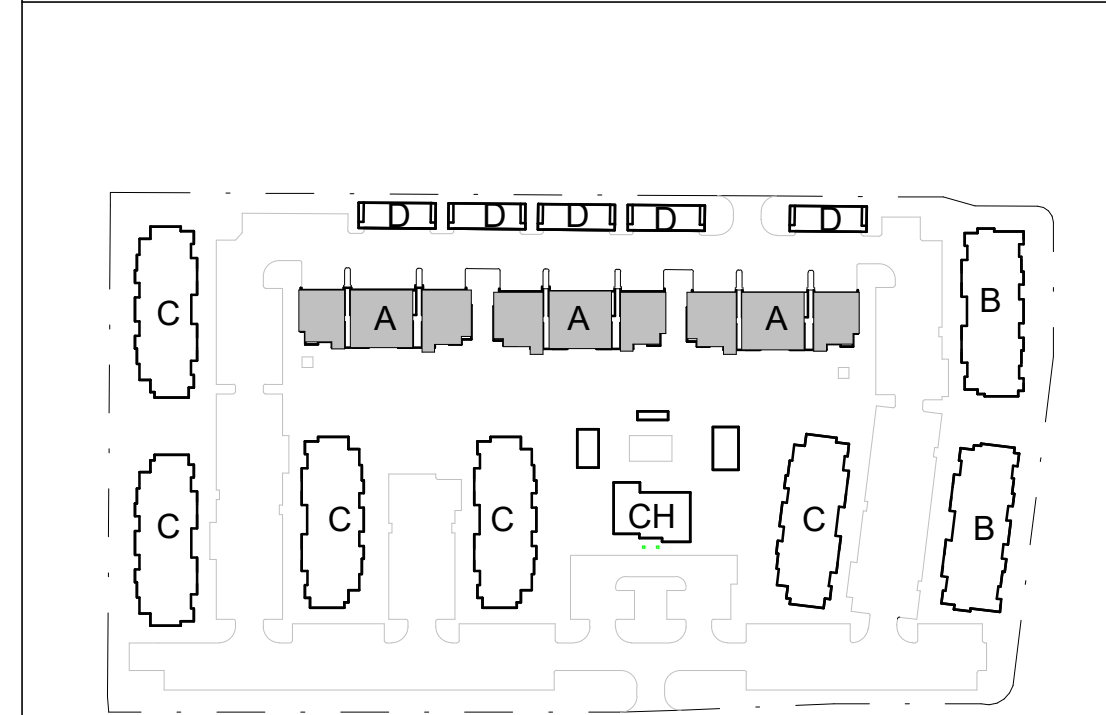
**REFERENCE KEYNOTES**

1. STUCCO COLOR 1 (CREAM)
2. STUCCO COLOR 2 (FIELD WHITE)
3. STUCCO COLOR 3
4. STUCCO PROJECTION ( DARK BROWN)
5. STUCCO COLUMN (COLOR)
6. STUCCO COLUMN (BROWN)
7. EXPOSED WOOD BEAM
8. PREFINISHED METAL COPING
9. VINYL WINDOW
10. FIBER GLASS ENTRY DOOR
11. FIBER GLASS FULL LITE PATIO DOOR
12. HM DOOR
13. PAINTED GUARDRAIL
14. SCIENCE LIGHTS AT BUILDING ENTRIES
15. DECORATIVE STEEL SCREENING ELEMENT (DARK BRONZE)
16. PREFINISHED LEADER AND DOWNSPOUT
17. ENTRY AWNING
18. ALUMINUM STOREFRONT (DARK BRONZE)
19. ALUMINUM STOREFRONT DOOR (DARK BRONZE FINISH)
20. OVERHEAD GARAGE DOOR
21. PATIO WALL, STUCCO, CMU, OR STONE VENEER
22. WATER FOUNTAIN
23. BUILDING SIGNAGE
24. DECORATIVE PRIVACY SCREEN/FENCE, STEEL WITH WOOD INFILL

**LEGEND**

	STUCCO CREAM		STUCCO BAND DARK BROWN
	STUCCO WHITE		STONE OR MASONRY VENEER
	STUCCO ACCENT		

**KEY PLAN**



**DEKKER PERICH SABATINI**

Architecture in Progress



SEAL

PROJECT

**Paseo and Kimmick**  
Albuquerque, NM

DRB

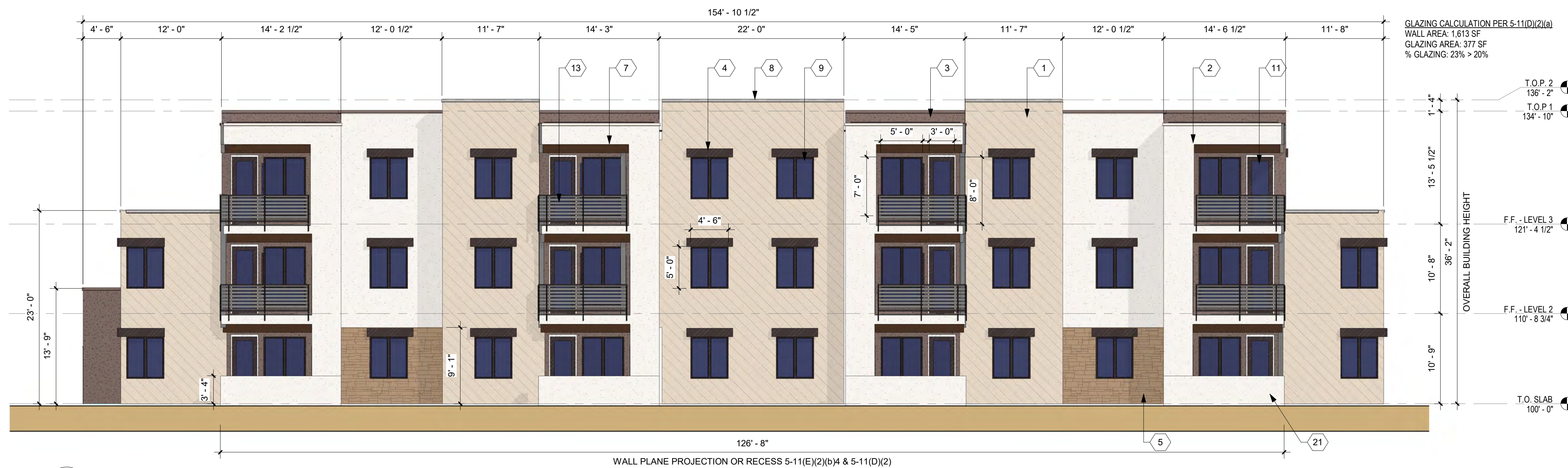
REVISIONS

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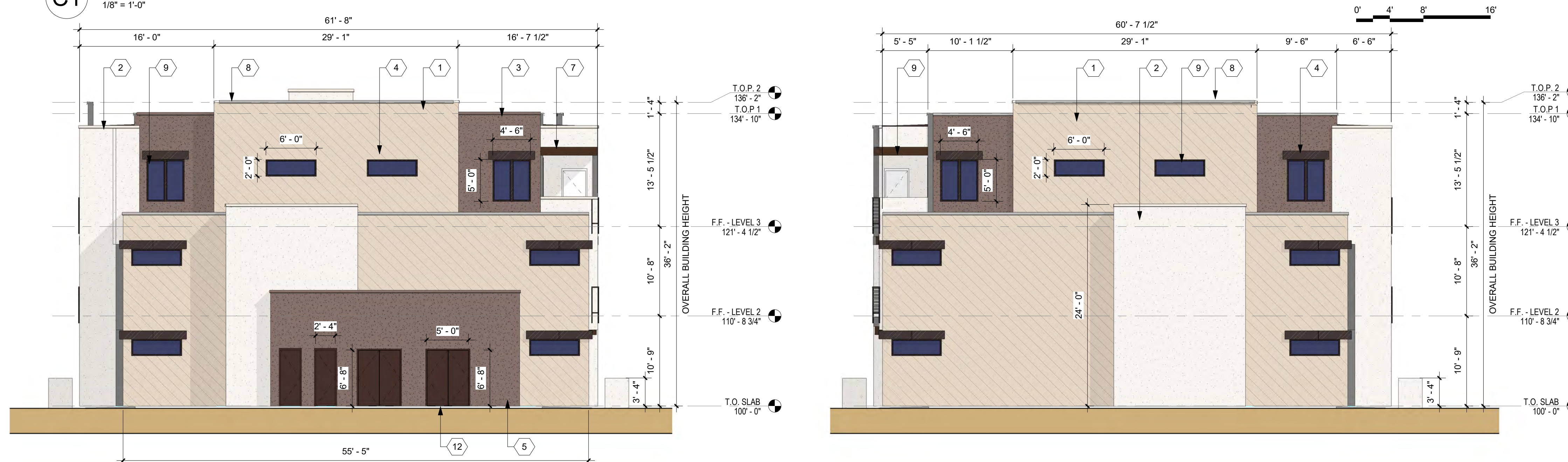
DRAWN BY	CWW , TO
REVIEWED BY	RAW
DATE	09/30/2022
PROJECT NO:	22-0033

DRAWING NAME  
**BUILDING A COLOR ELEVATIONS**

SHEET NO  
**SDP-5.2**



**C1 BUILDING B EAST ELEVATION**  
1/8" = 1'-0"



**B1 BUILDING B SIDE ELEVATION**  
1/8" = 1'-0"

**B2 BUILDING B SIDE ELEVATION**  
1/8" = 1'-0"



**A1 BUILDING B WEST ELEVATION**  
1/8" = 1'-0"

GLAZING CALCULATION PER 5-11(D)(2)(a)  
WALL AREA: 1,613 SF  
GLAZING AREA: 377 SF  
% GLAZING: 23% > 20%

**GENERAL SHEET NOTES**

- A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.
- B. ALL DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF FINISH UNLESS OTHERWISE NOTED.
- C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20" ABOVE FINISH FLOOR.
- D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION.
- E. ROOF DRAINAGE BY WAY OF EXTERNAL DOWNSPOUTS.
- F. STREET FACING FACADES SHALL COMPLY WITH IDO SECTIONS 5-11(D) 5-11(E)(2)
- G. 14-16-5-11(D)(2)(a) LOW E 386 GLAZING WILL BE ADDED TO THE WEST FACING WINDOWS FOR THE WEST SIDES OF THE 2 C BUILDINGS ALONG THE WESTERN BOUNDARY.
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2) WINDOWS RECESSED 2" AT UPPER LEVELS  
**ARTICULATION 5-11(D)(2)(b):**  
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3) BALCONY MASSING, ATERIAL, OR COLOR SHALL VARY TO CREATE VISUAL INTEREST.
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1) WINDOWS ON UPPER FLOORS (AT ALL FACADES)  
2) BALCONIES PROVIDE SHADE AND PROTECTION FROM THE WEATHER  
**COMPLIANCE WITH FACADE DESIGN 5-11(E)(2)(b) (3):**  
STREET FACING FACADE INCORPORATE AT LEAST 1 ADDITIONAL FEATURE:  
1) WALL PLANE PROJECTIONS OR RECESSES OF AT LEAST 1 FT EVERY 100 FT FOR AT LEAST 25% OF FACADE  
2) CHANGE IN COLOR TEXTURE AND MATERIAL AT LEAST 50 FT OF FACADE LENGTH

**REFERENCE KEYNOTES**

1. STUCCO COLOR 1 (CREAM)
2. STUCCO COLOR 2 (FIELD WHITE)
3. STUCCO COLOR 3
4. STUCCO PROJECTION ( DARK BROWN)
5. STONE OR MASONRY VENEER (BROWN)
6. STUCCO COLUMN (COLOR)
7. EXPOSED WOOD BEAM
8. PREFINISHED METAL COPING
9. VINYL WINDOW
10. FIBER GLASS ENTRY DOOR
11. FIBER GLASS FULL LITE PATIO DOOR
12. HM DOOR
13. PAINTED GUARDRAIL
14. SCONCE LIGHTS AT BUILDING ENTRIES
15. DECORATIVE STEEL SCREENING ELEMENT (DARK BRONZE)
16. PREFINISHED LEADER AND DOWNSPOUT
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**LEGEND**

	STUCCO CREAM		STUCCO BAND DARK BROWN
	STUCCO WHITE		STONE OR MASONRY VENEER
	STUCCO ACCENT		

**KEY PLAN**



**DEKKER PERICH SABATINI**

Architecture in Progress



SEAL  
PROJECT

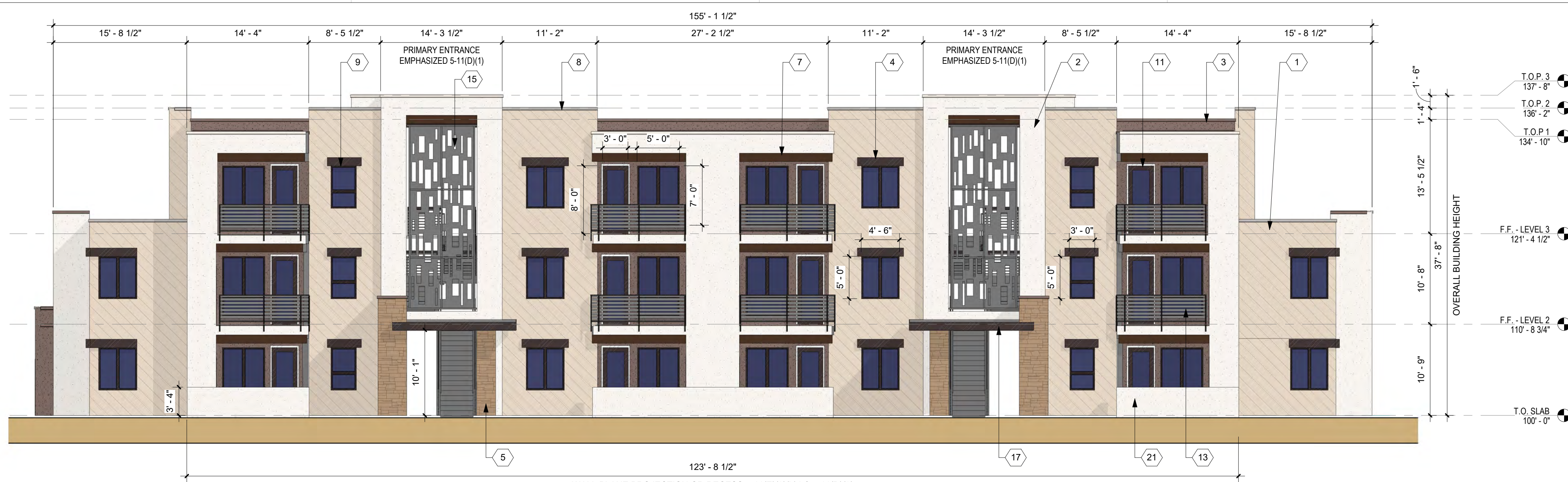
**Paseo and Kimmick**  
Albuquerque, NM

DRB  
REVISIONS  
▲  
▲  
▲  
▲  
▲

DRAWN BY CWW , TO  
REVIEWED BY RAW  
DATE 09/30/2022  
PROJECT NO: 22-0033

DRAWING NAME  
**BUILDING B  
COLOR  
ELEVATIONS**

SHEET NO  
**SDP-5.3**



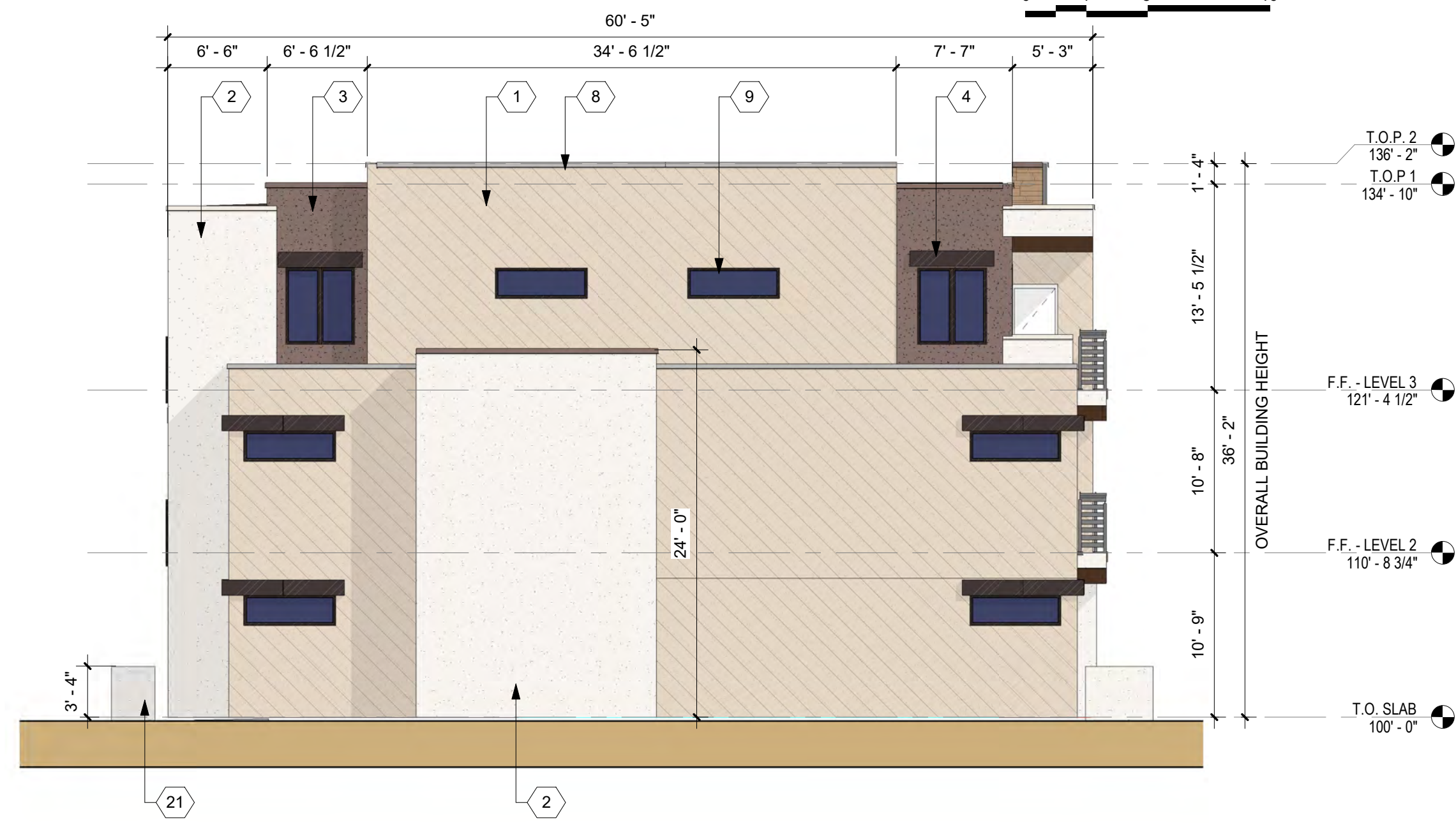
**C1 BUILDING C FRONT ELEVATION**  
1/8" = 1'-0"

WALL PLANE PROJECTION OR RECESS 5-11(E)(2)(b)4 & 5-11(D)(2)



**B1 BUILDING C WEST ELEVATION**  
1/8" = 1'-0"

ROOF ELEVATION CHANGES VERTICALLY 5-11(D)(3)



**B2 BUILDING C EAST ELEVATION**  
1/8" = 1'-0"



**A1 BUILDING C REAR ELEVATION**  
1/8" = 1'-0"

WALL PLANE PROJECTION OR RECESS 5-11(E)(2)(b)4 & 5-11(D)(2)

**GENERAL SHEET NOTES**

- A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM S ABOVE GRADE AT ANY PROPERTY LINE.
- B. ALL DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF FINISH UNLESS OTHERWISE NOTED.
- C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20" ABOVE FINISH FLOOR.
- D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION.
- E. ROOF DRAINAGE BY WAY OF EXTERNAL DOWNSPOUTS.
- F. STREET FACING FACADES SHALL COMPLY WITH IDO SECTIONS 5-11(D) 5-11(E)(2)
- G. 14-16-5-11(D)(2)(a) LOW E 366 GLAZING WILL BE ADDED TO THE WEST FACING WINDOWS FOR THE WEST SIDES OF THE 2 BUILDINGS ALONG THE WESTERN BOUNDARY.
- H. 14-16-5-2(j)(1)(d) LIGHT REFLECTIVE VALUE (LRV) RATING SHALL BE LIMITED TO BETWEEN 20 and 50 PERCENT.

**IDO COMPLIANCE**

- COMPLIANCE WITH SECTION 5-11(D)(1) BUILDING ENTRANCES:**  
PRIMARY PEDESTRIAN ENTRANCES TO EACH PRIMARY BUILDING SHALL BE EMPHASIZED AND PROVIDE WEATHER PROTECTION THROUGH VARIATIONS IN THE FACADE. PORTICOS, ROOF VARIATIONS, RECESSES OR PROJECTIONS, OR OTHER INTEGRAL BUILDING FORMS.
- COMPLIANCE WITH SECTION 5-11(D)(2) FACADE DESIGN:**  
**WINDOWS 5-11(D)(2)(a):**  
1) GROUND FLOOR STREET-FACING FACADE SHALL CONTAIN A MINIMUM OF 20% OF ITS SURFACES IN TRANSPARENT WINDOWS AND/OR DOORS  
2) WINDOWS RECESSED 2" AT UPPER LEVELS  
**ARTICULATION 5-11(D)(2)(b):**  
1) AT LEAST ONE ELEMENT THAT IS RECESSED OR PROJECTED FROM THE FACADE EVERY 30 FT.  
2) EACH STREET FACING FACADE DESIGN WITH MORE THAN ONE BUILDING FINISH MATERIAL OR COLOR  
3) BALCONY MASSING, ATERIAL, OR COLOR SHALL VARY TO CREATE VISUAL INTEREST.
- COMPLIANCE WITH 5-11(D)(3) ROOF DESIGN:**  
ROOFLINES LONGER THAN 60 FT. SHALL INCLUDE AT LEAST ONE VERTICAL OR HORIZONTAL ELEVATION CHANGE OF AT LEAST 2 FT.
- COMPLIANCE WITH FACADE DESIGN 5-11(E)(2)(a)**  
STREET FACING FACADES TO INCORPORATE AT LEAST 2 FEATURES ALONG 30% OF THE LENGTH OF THE FACADE  
1) WINDOWS ON UPPER FLOORS (AT ALL FACADES)  
2) BALCONIES PROVIDE SHADE AND PROTECTION FROM THE WEATHER  
**COMPLIANCE WITH FACADE DESIGN 5-11(E)(2)(b) (3)**  
STREET FACING FACADE INCORPORATE AT LEAST 1 ADDITIONAL FEATURE:  
1) WALL PLANE PROJECTIONS OR RECESSES OF AT LEAST 1FT EVERY 100FT FOR AT LEAST 25% OF FACADE  
2) CHANGE IN COLOR TEXTURE AND MATERIAL AT LEAST 50FT OF FACADE LENGTH

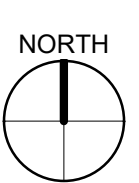
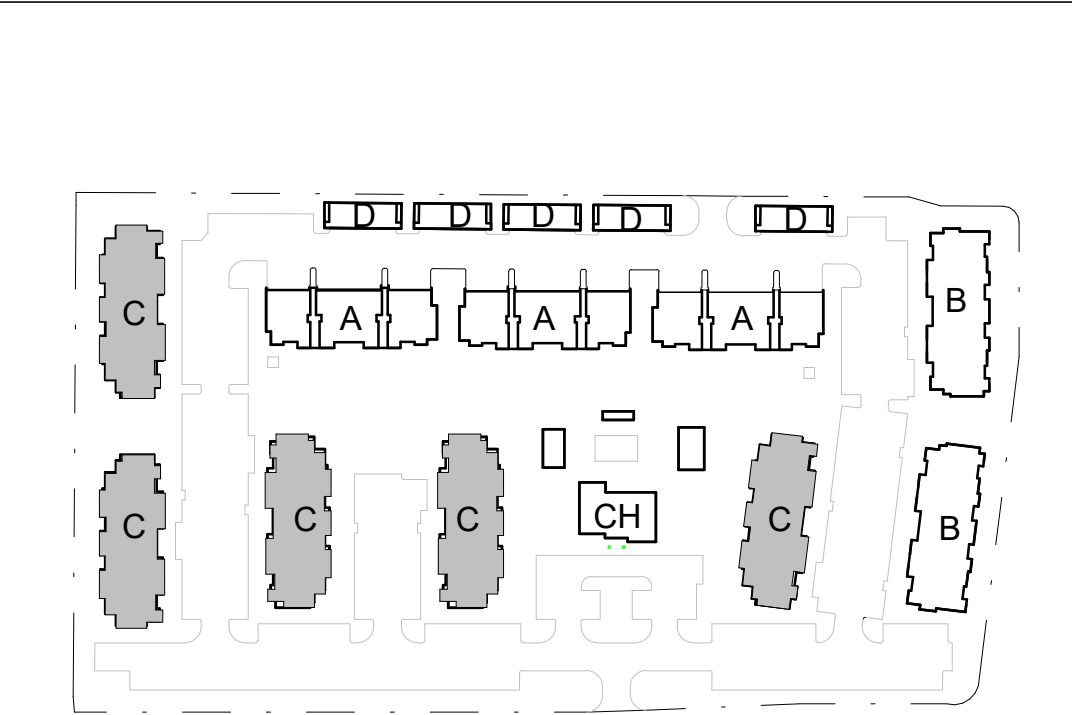
**REFERENCE KEYNOTES**

1. STUCCO COLOR 1 (CREAM)
2. STUCCO COLOR 2 (FIELD WHITE)
3. STUCCO COLOR 3
4. STUCCO PROJECTION ( DARK BROWN)
5. STUCCO COLUMN (COLOR)
6. STUCCO OR MASONRY VENEER (BROWN)
7. EXPOSED WOOD BEAM
8. PREFINISHED METAL COPING
9. VINYL WINDOW
10. FIBER GLASS ENTRY DOOR
11. FIBER GLASS FULL LITE PATIO DOOR
12. HM DOOR
13. PAINTED GUARDRAIL
14. SCONCE LIGHTS AT BUILDING ENTRIES
15. DECORATIVE STEEL SCREENING ELEMENT (DARK BRONZE)
16. PREFINISHED LEADER AND DOWNSPOUT
17. ENTRY AWNING
18. ALUMINUM STOREFRONT (DARK BRONZE)
19. ALUMINUM STOREFRONT DOOR (DARK BRONZE FINISH)
20. OVERHEAD GARAGE DOOR
21. PATIO WALL, STUCCO, CMU, OR STONE VENEER
22. WATER FOUNTAIN
23. BUILDING SIGNAGE
24. DECORATIVE PRIVACY SCREENFENCE, STEEL WITH WOOD INFILL

**LEGEND**

	STUCCO CREAM		STUCCO BAND DARK BROWN
	STUCCO WHITE		STONE OR MASONRY VENEER
	STUCCO ACCENT		

**KEY PLAN**



**DEKKER PERICH SABATINI**  
Architecture in Progress



SEAL

PROJECT

**Paseo and Kimmick**  
Albuquerque, NM

DRB

REVISIONS

- △
- △
- △
- △
- △

DRAWN BY	CWW , TO
REVIEWED BY	RAW
DATE	09/30/2022
PROJECT NO:	22-0033

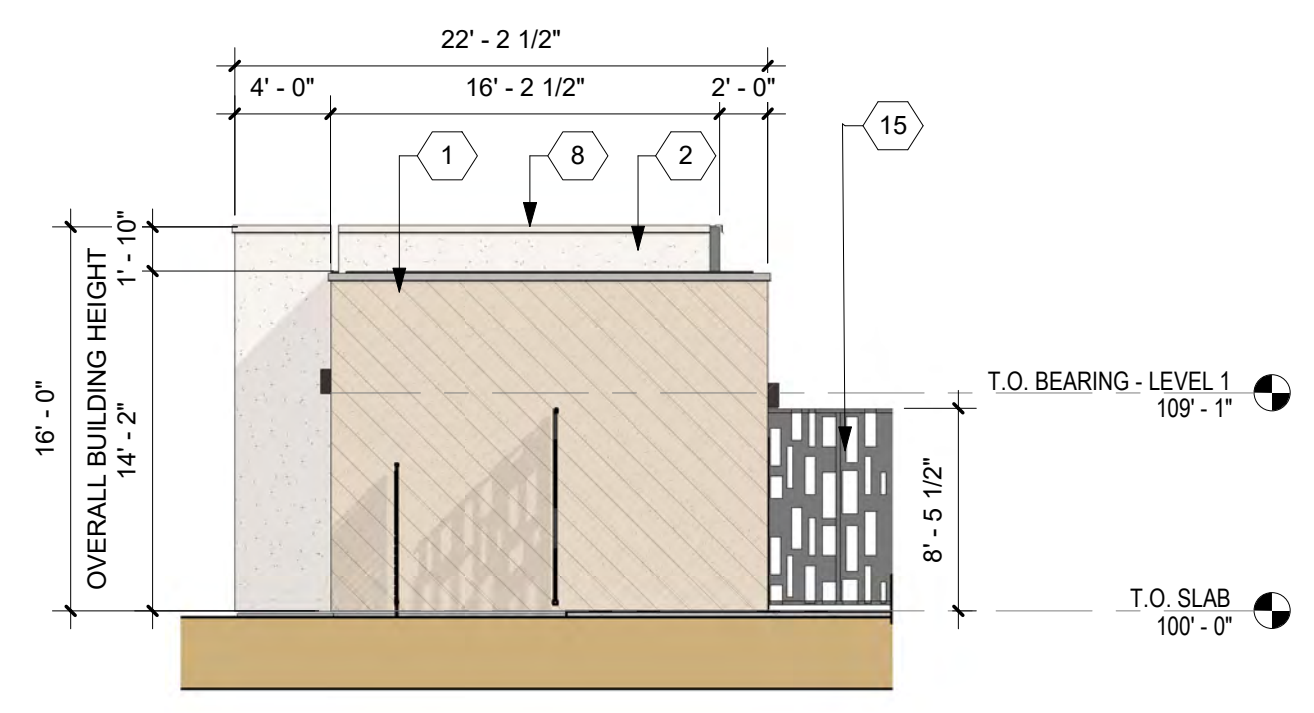
DRAWING NAME  
**BUILDING C  
COLOR  
ELEVATIONS**

SHEET NO  
**SDP-5.4**

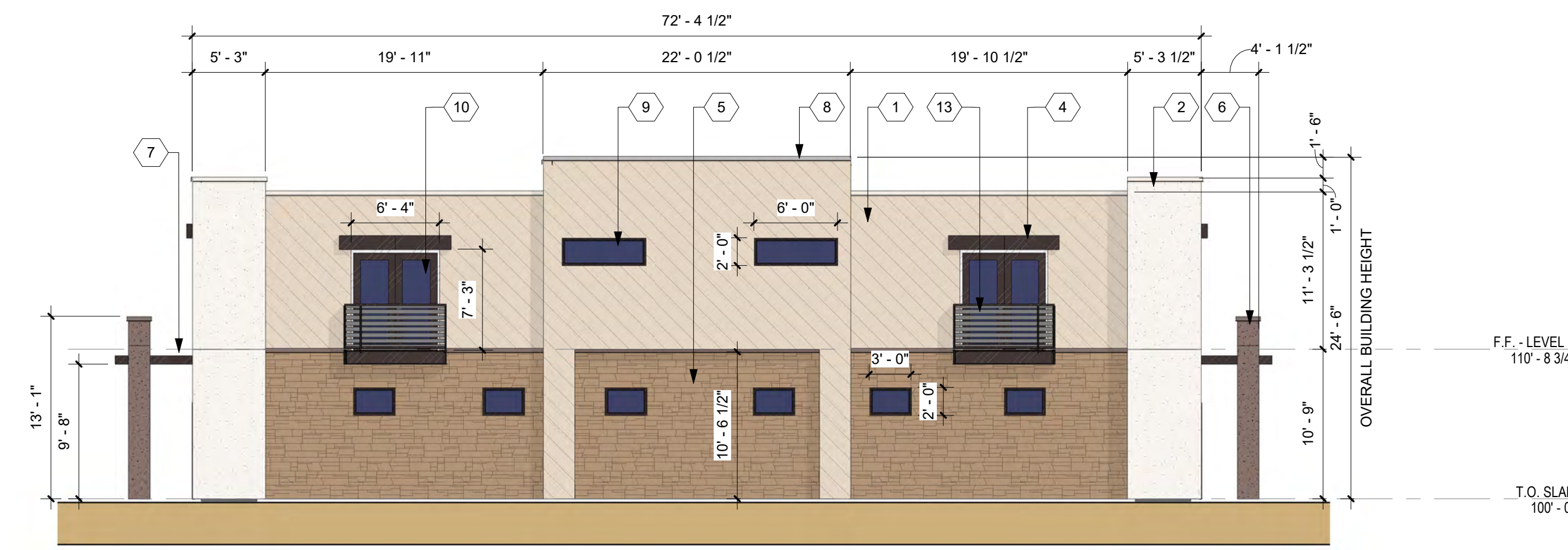
<p><b>GENERAL SHEET NOTES</b></p> <p>A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.</p> <p>B. ALL DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF FINISH UNLESS OTHERWISE NOTED.</p> <p>C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20" ABOVE FINISH FLOOR.</p> <p>D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2), REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION.</p> <p>E. ROOF DRAINAGE BY WAY OF EXTERNAL DOWNSPOUTS.</p> <p>F. STREET FACING FACADES SHALL COMPLY WITH IDO SECTIONS 5-11(D) 5-11(E)(2)</p>	<p><b>IDO COMPLIANCE</b></p> <p><b>COMPLIANCE WITH SECTION 5-11(D)(1) BUILDING ENTRANCES:</b>          PRIMARY PEDESTRIAN ENTRANCES TO EACH PRIMARY BUILDING SHALL BE EMPHASIZED AND PROVIDE WEATHER PROTECTION THROUGH VARIATIONS IN THE FACADE, PORTICOS, ROOF VARIATIONS, RECESSES OR PROJECTIONS, OR OTHER INTEGRAL BUILDING FORMS.</p> <p><b>COMPLIANCE WITH SECTION 5-11(D)(2) FACADE DESIGN:</b>  <u>WINDOWS 5-11(D)(2)(a):</u>          1) GROUND FLOOR STREET-FACING FACADE SHALL CONTAIN A MINIMUM OF 20% OF ITS SURFACES IN TRANSPARENT WINDOWS AND/OR DOORS          2) WINDOWS RECESSED 2" AT UPPER LEVELS  <u>ARTICULATION 5-11(D)(2)(b):</u>          1) AT LEAST ONE ELEMENT THAT IS RECESSED OR PROJECTED FROM THE FACADE EVERY 30 FT.          2) EACH STREET FACING FACADE DESIGN WITH MORE THAN ONE BUILDING FINISH MATERIAL OR COLOR          3) BALCONY MASSING, ATERIAL, OR COLOR SHALL VARY TO CREATE VISUAL INTEREST.</p> <p><b>COMPLIANCE WITH 5-11(D)(3) ROOF DESIGN:</b>          ROOFLINES LONGER THAN 60 FT. SHALL INCLUDE AT LEAST ONE VERTICAL OR HORIZONTAL ELEVATION CHANGE OF AT LEAST 2 FT.</p> <p><b>COMPLIANCE WITH FACADE DESIGN 5-11(E)(2)(a)</b>          STREET FACING FACADES TO INCORPORATE AT LEAST 2 FEATURES ALONG 30% OF THE LENGTH OF THE FACADE          1) WINDOWS ON UPPER FLOORS (AT ALL FACADES)          2) BALCONIES PROVIDE SHADE AND PROTECTION FROM THE WEATHER</p> <p><b>COMPLIANCE WITH FACADE DESIGN 5-11 (E)(2)(a) (3)</b>          STREET FACING FACADE INCORPORATE AT LEAST 1 ADDITIONAL FEATURE:          1) WALL PLANE PROJECTIONS OR RECESSES OF AT LEAST 1FT EVERY 100FT FOR AT LEAST 25% OF FACADE          2) CHANGE IN COLOR TEXTURE AND MATERIAL AT LEAST 50FT OF FACADE LENGTH</p>	<p><b>REFERENCE KEYNOTES</b></p> <ol style="list-style-type: none"> <li>1. STUCCO COLOR 1 (CREAM)</li> <li>2. STUCCO COLOR 2 (FIELD WHITE)</li> <li>3. STUCCO COLOR 3</li> <li>4. STUCCO PROJECTION (DARK BROWN)</li> <li>5. STUCCO COLUMN (COLOR)</li> <li>6. STUCCO COLUMN (COLOR)</li> <li>7. EXPOSED WOOD BEAM</li> <li>8. PREFINISHED METAL COPING OVER STUCCO BAND</li> <li>9. VINYL WINDOW</li> <li>10. FIBER GLASS ENTRY DOOR</li> <li>11. FIBER GLASS FULL LITE PATIO DOOR</li> <li>12. HM DOOR</li> <li>13. PAINTED GUARDRAIL</li> <li>14. SCONCE LIGHTS AT BUILDING ENTRIES</li> <li>15. DECORATIVE STEEL SCREENING ELEMENT (DARK BRONZE)</li> <li>16. PREFINISHED LEADER AND DOWNSPOUT</li> <li>17. ENTRY AWNING</li> <li>18. ALUMINUM STOREFRONT (DARK BRONZE)</li> <li>19. ALUMINUM STOREFRONT DOOR</li> <li>20. OVERHEAD GARAGE DOOR</li> <li>21. CMU PATIO WALL</li> <li>22. WATER FOUNTAINS</li> <li>23. BUILDING SIGNAGE</li> <li>24. DECORATIVE PRIVACY SCREEN/FENCE, STEEL WITH WOOD INFILL</li> </ol>	<p><b>LEGEND</b></p> <table border="0"> <tr> <td></td> <td>STUCCO CREAM</td> <td></td> <td>STUCCO BAND DARK BROWN</td> </tr> <tr> <td></td> <td>STUCCO WHITE</td> <td></td> <td>STONE OR MASONRY VENEER</td> </tr> <tr> <td></td> <td>STUCCO ACCENT</td> <td></td> <td></td> </tr> </table>		STUCCO CREAM		STUCCO BAND DARK BROWN		STUCCO WHITE		STONE OR MASONRY VENEER		STUCCO ACCENT			<p><b>KEY PLAN</b></p> <p>NORTH</p>
	STUCCO CREAM		STUCCO BAND DARK BROWN													
	STUCCO WHITE		STONE OR MASONRY VENEER													
	STUCCO ACCENT															



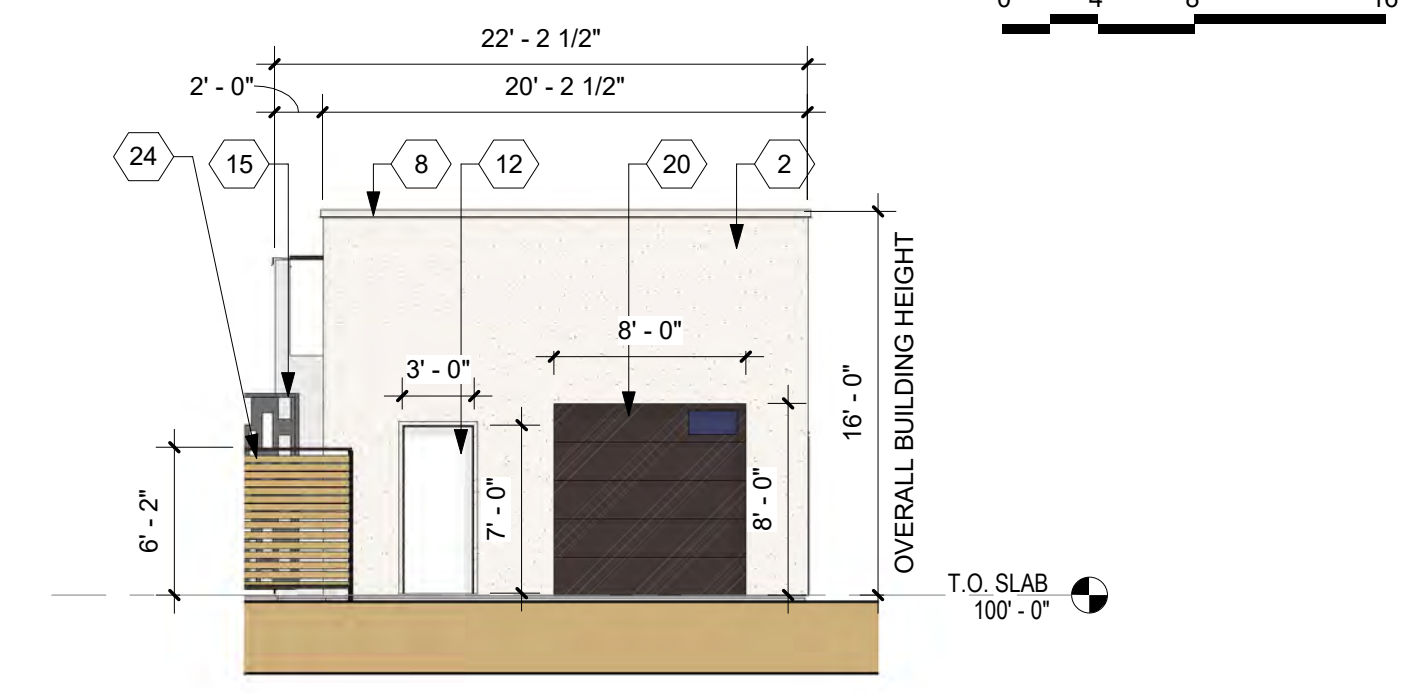
**C1 BUILDING D - SOUTH ELEVATION**  
1/8" = 1'-0"



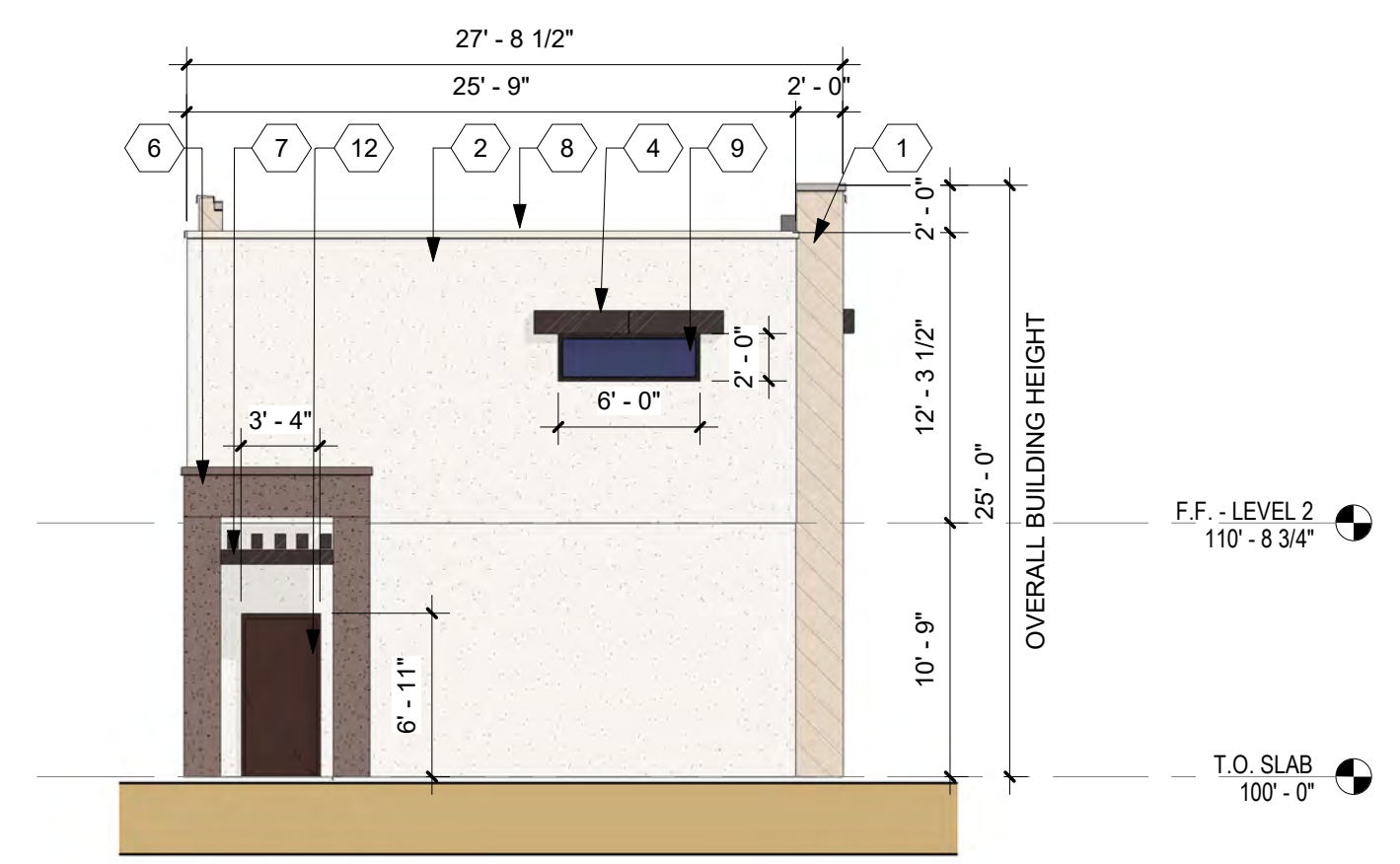
**D4 PUMP HOUSE - SOUTH ELEVATION**  
1/8" = 1'-0"



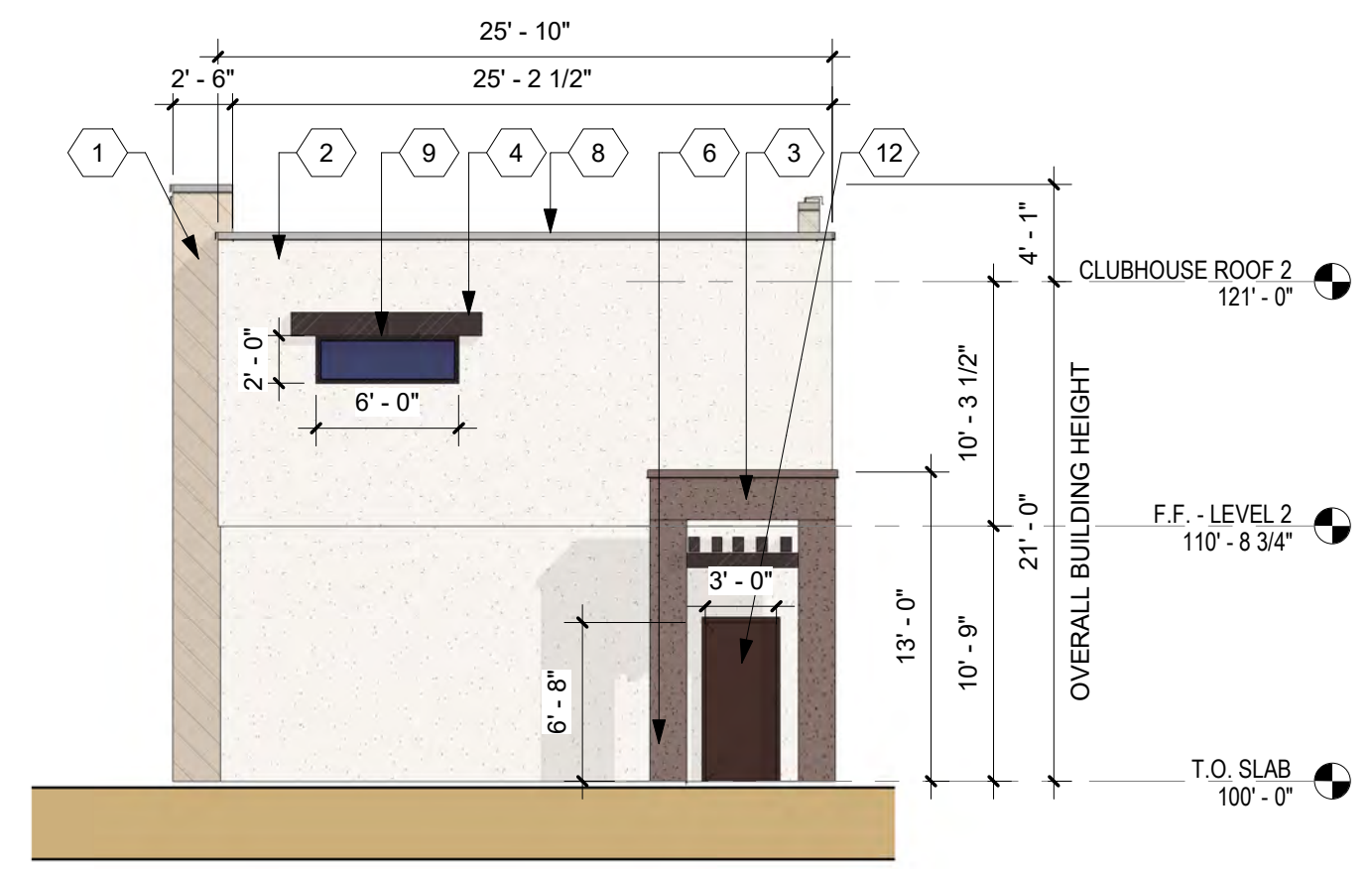
**B1 BUILDING D - NORTH ELEVATION**  
1/8" = 1'-0"



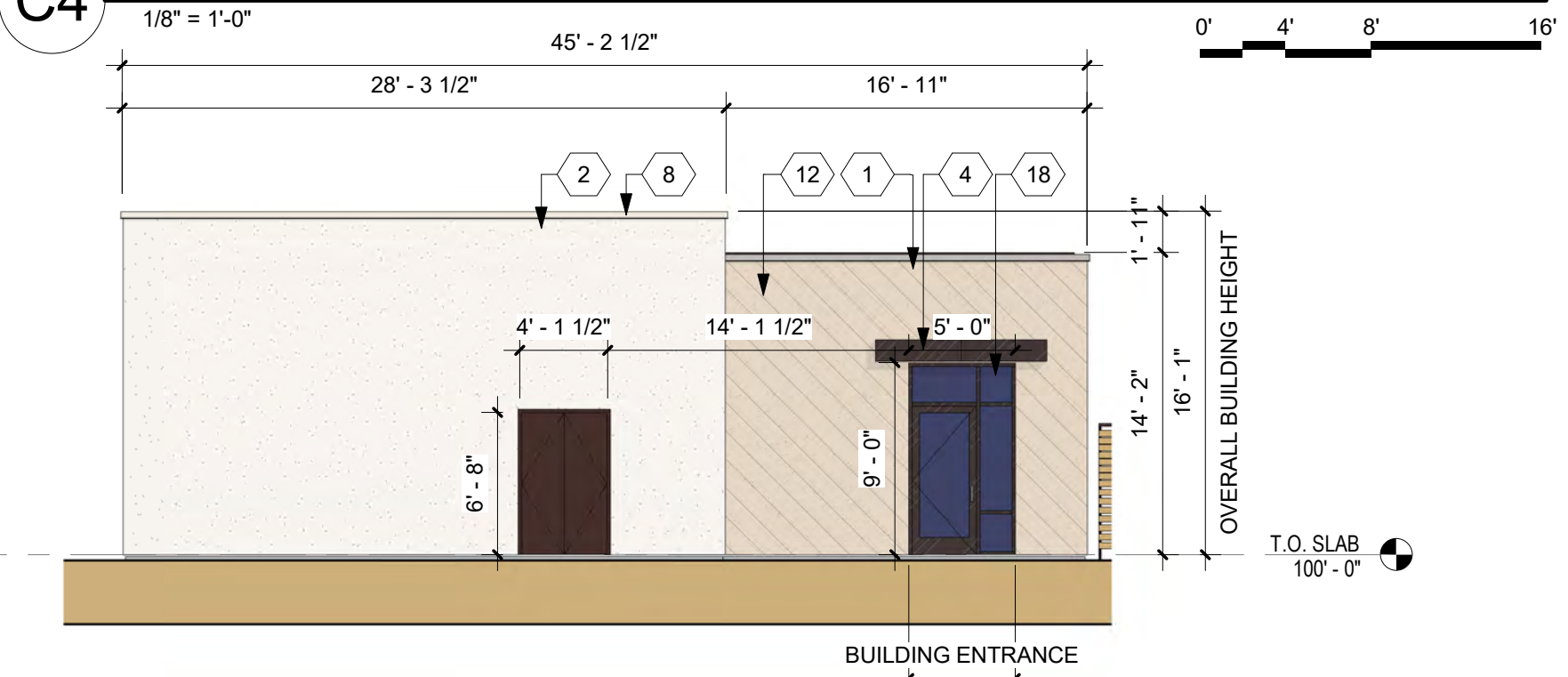
**C4 PUMP HOUSE - NORTH ELEVATION**  
1/8" = 1'-0"



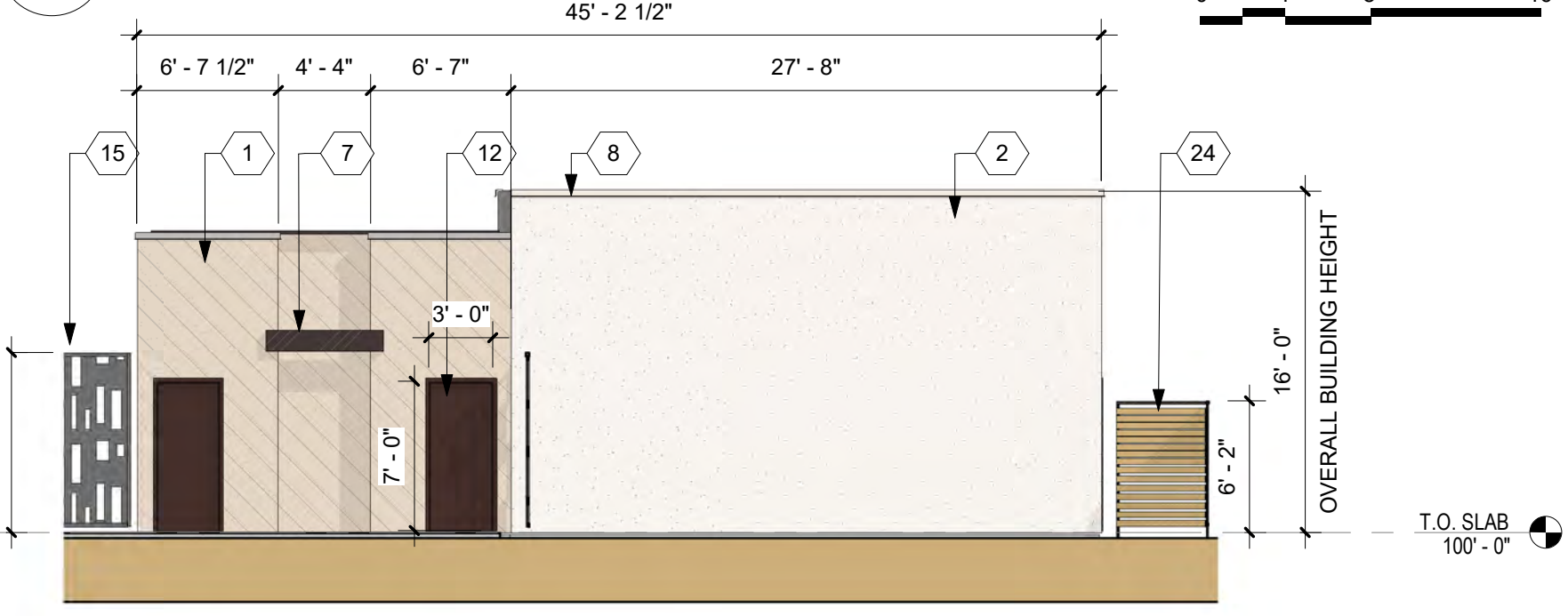
**A1 BUILDING D - WEST ELEVATION**  
1/8" = 1'-0"



**A3 BUILDING D - EAST ELEVATION**  
1/8" = 1'-0"



**B4 PUMP HOUSE - WEST ELEVATION**  
1/8" = 1'-0"



**A4 PUMP HOUSE - EAST ELEVATION**  
1/8" = 1'-0"

**DEKKER PERICH SABATINI**  
Architecture in Progress



SEAL  
PROJECT

Paseo and Kimmick  
Albuquerque, NM

DRB  
REVISIONS

DRAWN BY CWW, TO  
REVIEWED BY RAW  
DATE 09/30/2022  
PROJECT NO: 22-0033

DRAWING NAME  
BUILDING D AND PUMP HOUSE  
COLOR ELEVATIONS

SHEET NO  
SDP-5.5



ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION

**PERMIT**

PERMIT NUMBER: FP-22-010051  
APPROVED DATE: 08/16/22

**APPROVED**

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS SUBJECT TO THE CITY'S INSPECTION REQUIREMENTS.

**FIRE FLOW:** 105,300 GPM @ 1.5375 GPM/4 HYDRANTS



VICINITY MAP: C-11-Z

**PROJECT SUMMARY:**

THE PROPOSED DEVELOPMENT IS A MULTI-USE COMMERCIAL CENTER INCLUDING APARTMENTS, SELF STORAGE, AND FUTURE RETAIL. THE PROJECT IS LOCATED ON TRACT 1, BLOCK 2 AND LOT 3, BLOCK 2, VOLCANO CLIFFS, UNIT 26.

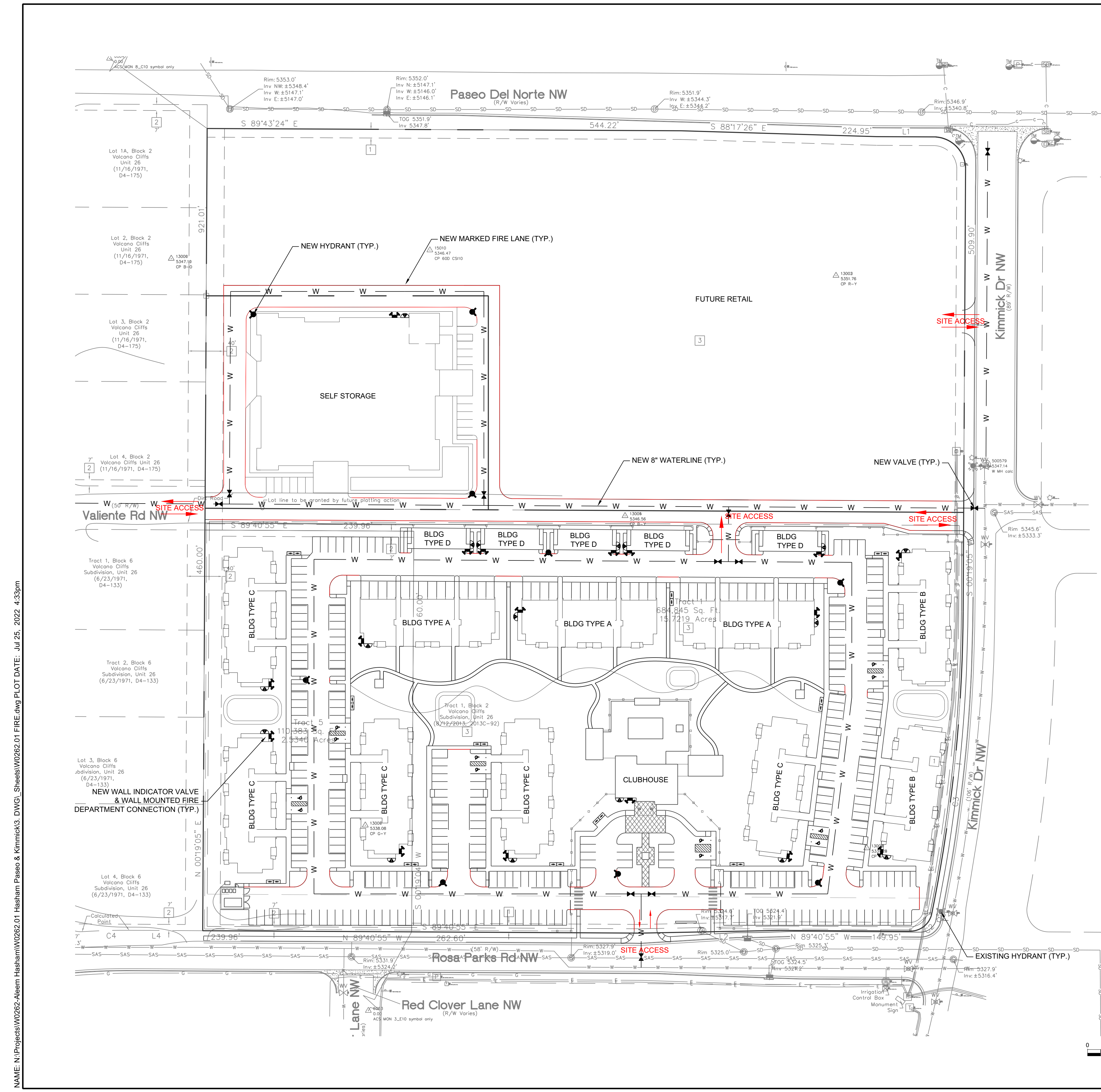
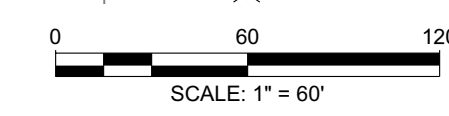
**FIRE ONE NOTES:**

- BUILDINGS PROPOSED TO BE SPRINKLED ARE TO BE SPRINKLED PER NFPA 13.
- THE PARKING LOT SURFACE SHALL BE ASPHALT AND CAPABLE OF SUPPORTING AN IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 LBS.
- THE MINIMUM DRIVE ISLE WIDTH SHALL BE 26' UNLESS OTHERWISE SPECIFIED.
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET.
- ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE.
- FIRE DEPARTMENT CONNECTION'S SHALL BE LOCATED WITHIN 100' OF A HYDRANT AND BE UNOBSTRUCTED FROM ANY OBJECT FOR A MINIMUM DISTANCE OF 3'.
- INDICATOR VALVES SHALL BE PROVIDED PER NFPA 13.
- A KNOX BOX SHALL BE PROVIDED AT ALL PROPOSED GATE LOCATIONS (IF ANY).
- ELEVATORS (IF ANY) SHALL MEET ALL THE REQUIREMENTS IN NFPA 13, CHAPTER 8 AND 72, CHAPTER 21.
- ALL HYDRANT SUPPLY LINES THAT BRANCH OFF FROM THE WATER MAIN AND FIRE SERVICE LINES TO BUILDINGS WILL BE 6" DIAMETER UNLESS OTHERWISE SPECIFIED.
- THE BUILDINGS WILL BE REQUIRED TO HAVE FIRE AND SMOKE ALARMS PER IBC 907.2.9.
- WORK SHALL BE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS. APPROVED WET STAMPED SHOP DRAWING SHALL BE ON SITE FOR INSPECTIONS.
- CLASS 1 STANDPIPE SHALL BE PROVIDED IN BUILDINGS WHERE THE FLOOR LEVEL OF THE HIGHEST STORY IS LOCATED MORE THAN 30' ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS.
- THE MINIMUM TURNING RADIUS IS TO BE 28' AS DETERMINED BY THE FIRE CODE OFFICIAL. THE 28' RADIUS IS TO BE MEASURED FROM THE INSIDE RADIUS.

BUILDING TYPE	CONSTRUCTION TYPE	AREA	HEIGHT	SPRINKLED	FIRE FLOW
SELF STORAGE	II-B	105,300 SF	45'-0"	Y	3,375 GPM
TYPE A	V-B	23,916 SF	37'-6"	Y	2,125 GPM
TYPE B	V-B	23,655 SF	37'-6"	Y	2,125 GPM
TYPE C	V-B	23,916 SF	37'-6"	Y	2,125 GPM
TYPE D	V-B	3,252 SF	26'-0"	Y	1,500 GPM
CLUBHOUSE	V-B	3,294 SF	18'-0"	Y	1,500 GPM

**LEGEND:**

- PROPERTY BOUNDARY
- NEW WATERLINE
- NEW MARKED FIRE LANE
- EXISTING WATERLINE



NAME: N:\Projects\W0262-Aleem Hasham\W0262-01 Hasham Paseo & Kimmick3\_DWG\_Sheets\W0262-01 FIRE.dwg PLOT DATE: Jul 25, 2022 4:33pm

DESIGNED	DRAWN	CHECKED	DATE
JS	JS	JS	7.25.2022

RESPEC COMMUNITY DESIGN SOLUTIONS  
7770 JEFFERSON STREET SUITE 200  
DENVER, CO 80231  
WWW.RESPEC.COM PHONE (303) 253-9718

RESPEC

STAMP

JEREMY W SHELL  
NEW MEXICO  
26341  
PROFESSIONAL ENGINEER

PRELIMINARY  
NOT FOR CONSTRUCTION  
7/2022

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.

nm811  
Know what's below.  
Call before you dig.

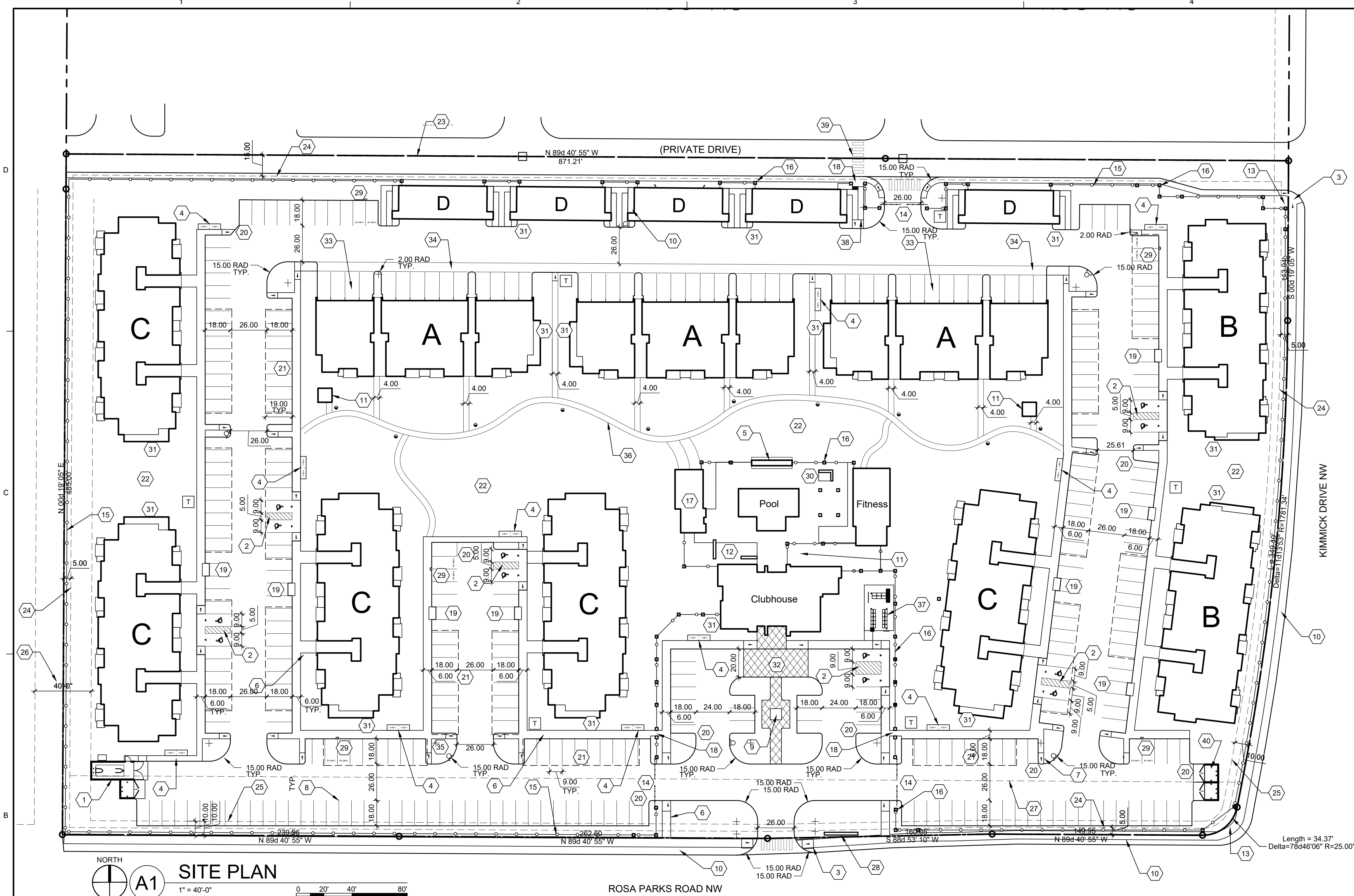
PROJ. #: W0262.01

PROJECT NAME: PASEO & KIMMICK

SHEET TITLE: FIRE 1 PLAN

DRB SITE PLAN

SHEET NUMBER: F-100



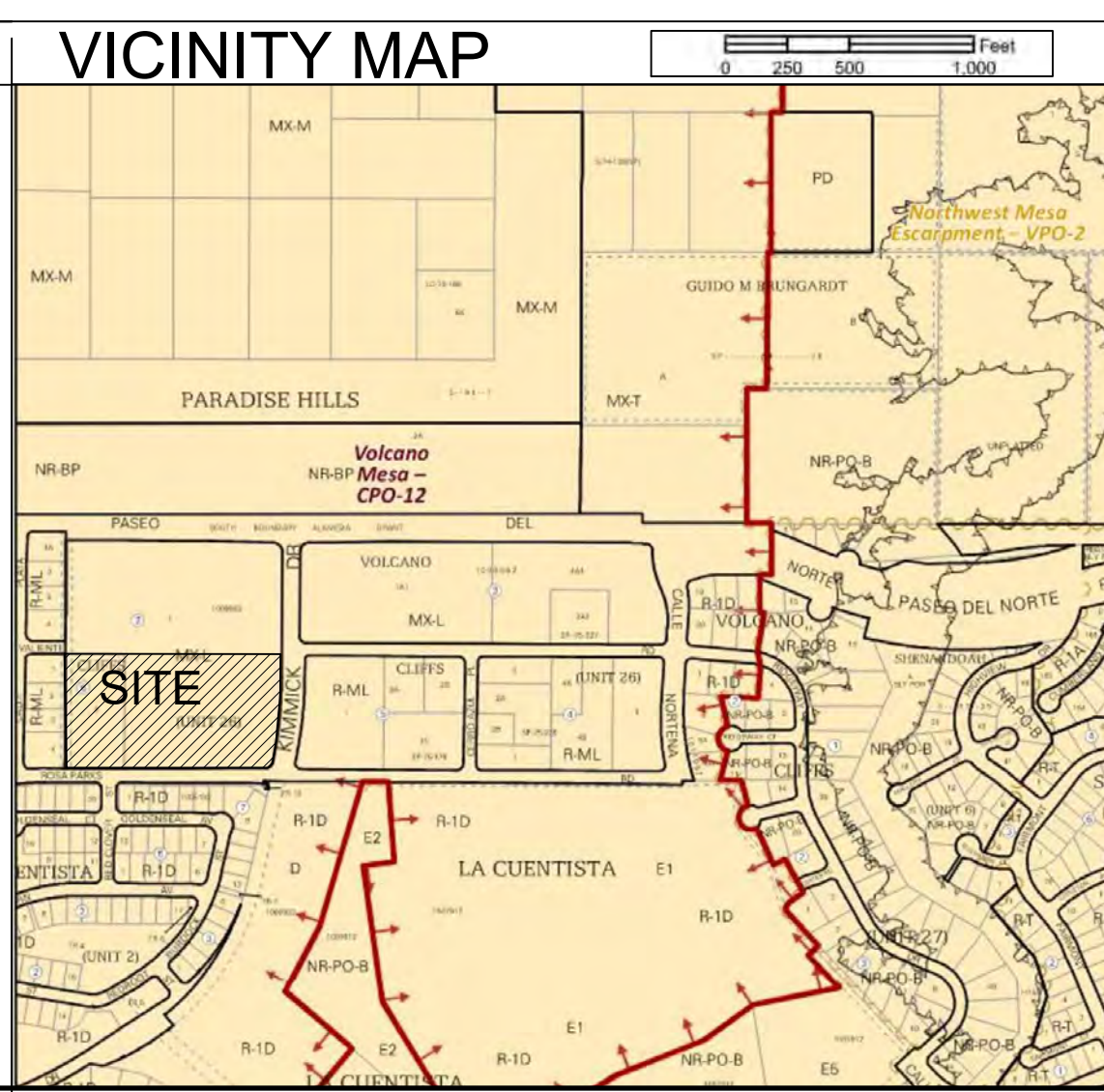
**SITE PLAN**  
 1" = 40'-0"  
 0 20' 40' 80'

Approved for access by the Solid Waste Department for 1-compactor enclosure, and 3 recycle dumpster enclosures. Herman Gallegos 09-29-22. *Herman Gallegos*

- GENERAL SHEET NOTES**
- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  - B. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL AND ACCESSIBILITY STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
  - C. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
  - D. ALL LIGHT FIXTURES AND LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO) SECTION 14-16-5-8 OUTDOOR LIGHTING.
  - E. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
  - F. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
  - G. AN ACCESSIBLE ROUTE, IN COMPLIANCE WITH ACCESSIBILITY STANDARDS OF THE PROJECT, CONNECTS FROM THE BUILDING TO ACCESSIBLE PARKING SPACES AND TO ALL SITE AMENITIES AS REQUIRED.

- SHEET KEYED NOTES**
1. TRASH COMPACTOR/RECYCLE BIN ENCLOSURE WITH GATE, REF: C1/SDP1.2 AND D4/SDP1.2
  2. ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2
  3. ACCESSIBLE RAMP, REF: D5/SDP1.2
  4. BIKE PARKING PER IDO SECTION 5-5(E) AND DPM STANDARDS, 10% OF REQUIRED OFF-STREET PARKING AND DPM STANDARD WITH TWO-POINT BIKE LOCKING, REF: B5/SDP1.2
  5. SHADE STRUCTURE
  6. 6' WIDE CONCRETE SIDEWALK PER COA IDO STANDARDS, REF: B4/SDP1.2
  7. NEW CONCRETE CURB AND GUTTER, REF: A2/SDP1.2
  8. PARKING STRIPING 4" WIDE, COLOR WHITE
  9. WATER FOUNTAIN
  10. FEATURE 6' WIDE ACCESSIBLE PATHWAY FROM PUBLIC R.O.W. 5% MAX SLOPE WITH 2% MAX CROSS SLOPE
  11. COVERED OUTDOOR GRILLING AREA
  12. OUTDOOR SEATING AREA
  13. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
  14. VEHICULAR PAINTED STEEL PICKET SECURITY GATE
  15. PERIMETER PAINTED STEEL PICKET FENCE
  16. DECORATIVE FENCE
  17. POOL EQUIPMENT/PET CARE STATION/RESTROOMS
  18. SECURED PEDESTRIAN GATE
  19. COMPACT PARKING SPACE WITH SIGNAGE
  20. MOTORCYCLE PARKING SPACE WITH SIGNAGE
  21. CARPORT WITH SHIELDED LIGHTING INDICATED BY DASHED LINES, TYPICAL
  22. POTENTIAL LANDSCAPED WATER HARVESTING AREA - REFER TO CIVIL
  23. LOT LINES TO BE PLATTED UNDER A SEPARATE FUTURE SUBMITTAL
  24. BUILDING SETBACK
  25. UTILITY EASEMENT
  26. DRAINAGE AND UTILITY EASEMENT

- SHEET KEYED NOTES**
27. 100 FOOT OFFSET FROM THE SINGLE FAMILY PROPERTY LINE SOUTH OF ROSA PARKS
  28. ILLUMINATED MONUMENT SIGN WITH PROJECT NAME AND ADDRESS
  29. TANDEM ELECTRIC VEHICLE CHARGING STATION
  30. SPA
  31. FIRE DEPARTMENT CONNECTION
  32. PATTERNED CONCRETE
  33. TANDEM PARKING SPACE IN FRONT OF GARAGE SPACE
  34. STRIPED 6' WIDE FOOT SIDEWALK WITH 'NO PARKING' SIGNAGE
  35. 4 FOOT WIDE CONCRETE SIDEWALK
  36. 4 FOOT WIDE ACCESSIBLE PATH
  37. MAIL CENTER, RE: A1/SDP-1.3
  38. ACCESSIBLE RAMP
  39. PEDESTRIAN CONNECTION TO RETAIL
  40. RECYCLE BIN ENCLOSURE WITH GATE, REF: D4/SDP1.2



PROJECT NUMBER: X  
 Application Number: X

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Herman Gallegos <i>Herman Gallegos</i> Solid Waste Management	09-29-22 Date
DRB Chairperson, Planning Department	Date

\*Environmental Health, if necessary

**PROJECT DATA**

**ZONING:**  
 IDO - MIXED-USE - LOW INTENSITY ZONE DISTRICT (MX-L)

**LEGAL DESCRIPTION:** TRACT 1, BLOCK 2 AND LOT 5, BLOCK 6, UNIT 26 VOLCANO CLIFFS SUBDIVISION, BERNALILLO COUNTY, NEW MEXICO

**SITE AREA:** 9.56 ACRES

**ZONE ATLAS:** C-11-Z

**SETBACKS:** FRONT= 5' MIN, SIDE = 5', INTERIOR= 0', REAR= 15'

**BUILDING HEIGHT:**  
 MAXIMUM ALLOWED: 38'-0"  
 ACTUAL HEIGHT: 37'-8" MAXIMUM

**SPRINKLED:** YES, NFPA 13R

**BUILDING OCCUPANCY:** R-2

**CONSTRUCTION TYPE:** TYPE VB

**PARKING CALCULATIONS:** (TABLE 5-5-1)  
 (DWELLING UNITS X 1.5: 238 X 1.5 = 357 REQUIRED SPACES)

ELECTRIC VEHICLE CHARGING STATIONS (IDO SECTION 5-5(C)(9): 2% OF PARKING PROVIDED WHEN MORE THAN 200 OFF-STREET PARKING SPACES  
 REQUIRED = 9 SPACES  
 PROVIDED = 10 SPACES

**SURFACE SPACES = 146**  
**COVERED SPACES = 152**  
**GARAGE SPACES = 72**  
**TANDEM SPACES = 42**  
**PROVIDED PARKING = 412 TOTAL SPACES**

ADA PARKING REQUIRED: 1 SPACE PER UNIT REQUIRED TO BE ADA  
 238 UNITS X .02 = 4.76 = 5 SPACES REQUIRED  
 ADA PARKING PROVIDED = 12 SPACES PER NMBC

**BICYCLE PARKING REQUIRED**  
 357 X 0.10 = 36 SPACES  
**BICYCLE PARKING PROVIDED** 36 SPACES

**OPEN SPACE CALCULATIONS**

TABLE 2-4-3 / MX-L ZONING

USABLE OPEN SPACE	
1 BD: 225 SF PER UNIT	
225 SF x 110 UNITS =	24,750 SF
2 BD: 285 SF PER UNIT	
285 SF x 102 UNITS =	29,070 SF
3 BD: 350 SF PER UNIT	
350 SF x 26 UNITS =	9,100 SF
<b>TOTAL</b>	<b>62,920 SF REQUIRED OPEN SPACE</b>
<b>PROVIDED OPEN SPACE:</b>	<b>180,622 SF</b>

- LEGEND**
- LANDSCAPE AREA
  - PROPERTY LINE
  - FIRE HYDRANT
  - BIKE RACK
  - SIDEWALK RAMP (ARROW POINTS DOWN)
  - TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD PER PNM STANDARDS
  - PERIMETER FENCE
  - ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2, A4/SDP1.2 & B4/SDP1.2
  - LIGHT POLE
  - BOLLARD PATH LIGHT
  - 6" BOLLARD WITH SIGN

**DEKKER PERICH SABATINI**  
 Architecture in Progress

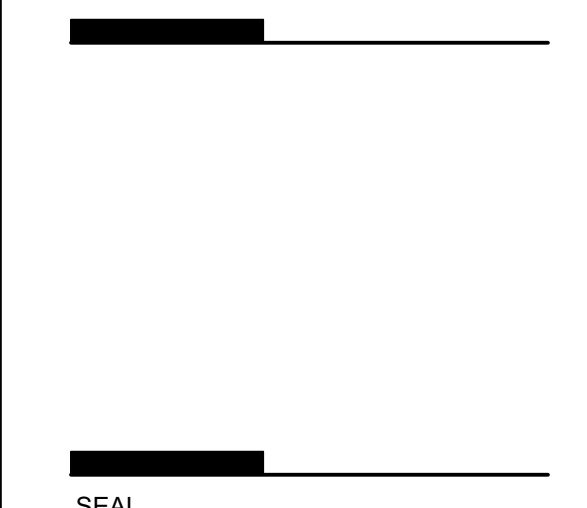
Paseo and Kimmick  
 ALBUQUERQUE, NM

**REVISIONS**

DRAWN BY: AG, JB  
 REVIEWED BY: RAW  
 DATE: 09/30/2022  
 PROJECT NO: 22-0033

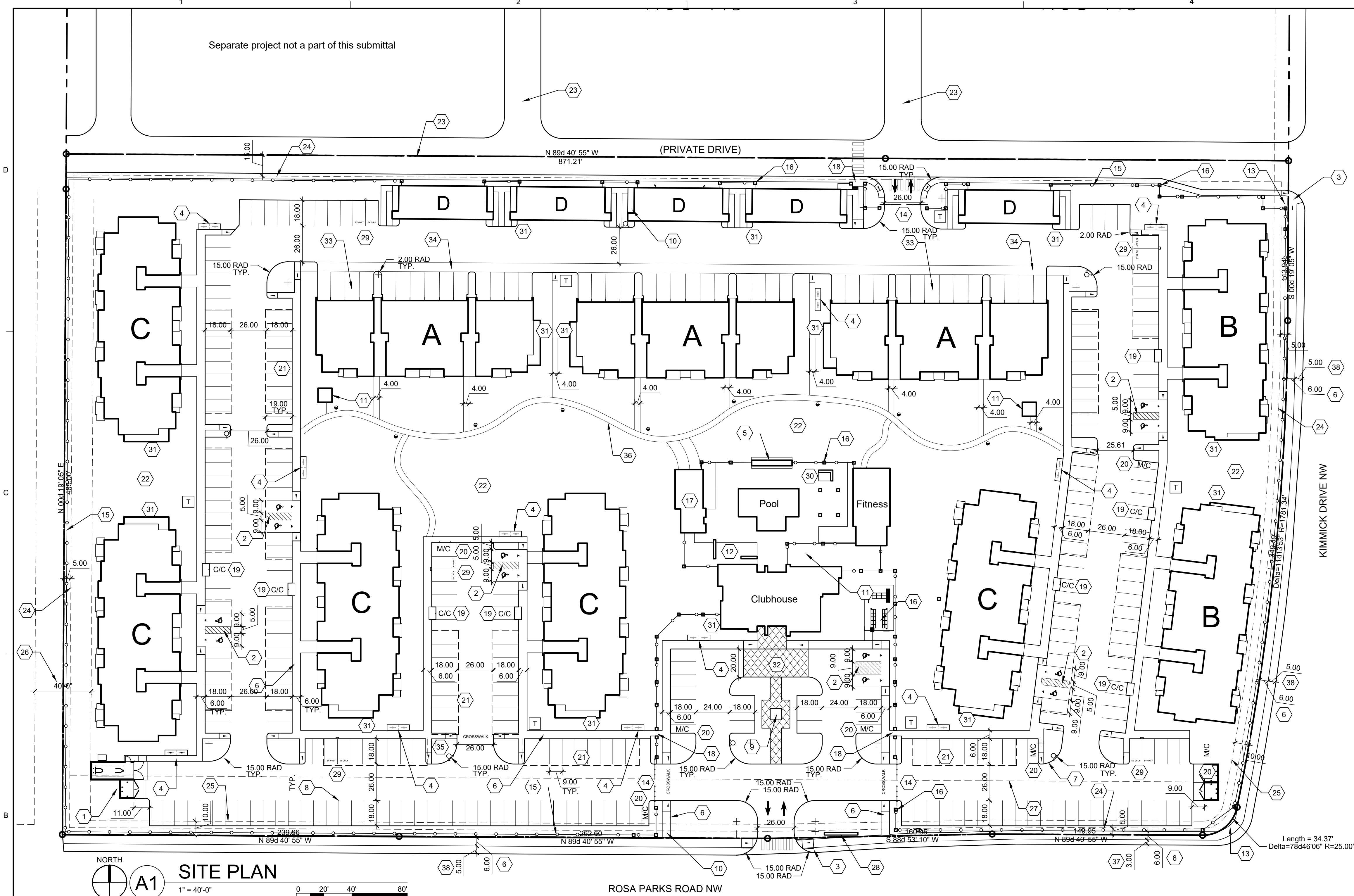
DRAWING NAME: **SITE DEVELOPMENT PLAN**

SHEET NO: **SDP-1.1**



SEAL  
PROJECT

Paseo and Kimmick  
ALBUQUERQUE, NM



**SITE PLAN**  
1" = 40'-0"  
0 20' 40' 80'

**PROJECT DATA**

**ZONING:**  
IDO - MIXED-USE - LOW INTENSITY ZONE DISTRICT (MX-L)

**LEGAL DESCRIPTION:** TRACT 1, BLOCK 2 AND LOT 5, BLOCK 6, UNIT 26 VOLCANO CLIFFS SUBDIVISION, BERNALILLO COUNTY, NEW MEXICO

**SITE AREA:** 9.56 ACRES

**ZONE ATLAS:** C-11-Z

**SETBACKS:** FRONT= 5' MIN, SIDE = 5', INTERIOR= 0', REAR= 15'

**BUILDING HEIGHT:**  
MAXIMUM ALLOWED: 38'-0"  
ACTUAL HEIGHT: 37'-8" MAXIMUM

**SPRINKLED:** YES, NFPA 13R

**BUILDING OCCUPANCY:** R-2

**CONSTRUCTION TYPE:** TYPE VB

**PARKING CALCULATIONS:** (TABLE 5-5-1)  
(DWELLING UNITS X 1.5: 238 X 1.5 = 357 REQUIRED SPACES)

**ELECTRIC VEHICLE CHARGING STATIONS** (IDO SECTION 5-5(C)(9): 2% OF PARKING PROVIDED WHEN MORE THAN 200 OFF-STREET PARKING SPACES  
REQUIRED = 9 SPACES  
PROVIDED = 10 SPACES

**SURFACE SPACES = 143**  
**COVERED SPACES = 152**  
**GARAGE SPACES = 72**  
**TANDEM SPACES = 42**  
**PROVIDED PARKING = 409 TOTAL SPACES**

ADA PARKING REQUIRED: 1 SPACE PER UNIT REQUIRED TO BE ADA  
248 UNITS X .02 = 4.96 = 5 SPACES REQUIRED  
ADA PARKING PROVIDED = 12 SPACES PER NMBC

**MOTORCYCLE PARKING:** TABLE 5-5-4  
301-500 REQUIRED OFF-STREET SPACES = 6 SPACES REQUIRED  
MOTORCYCLE PARKING PROVIDED = 8 SPACES

**BICYCLE PARKING REQUIRED**  
248 X 0.10 = 25 SPACES  
**BICYCLE PARKING PROVIDED** 28 SPACES

**OPEN SPACE CALCULATIONS**

TABLE 2-4-3 / MX-L ZONING  
USABLE OPEN SPACE  
1 BD: 225 SF PER UNIT  
225 SF x 110 UNITS = 24,750 SF  
2 BD: 285 SF PER UNIT  
285 SF x 102 UNITS = 29,070 SF  
3 BD: 350 SF PER UNIT  
350 SF x 26 UNITS = 9,100 SF  
TOTAL 62,920 SF REQUIRED OPEN SPACE  
PROVIDED OPEN SPACE: 180,622 SF

**LEGEND**

- LANDSCAPE AREA
- PROPERTY LINE
- FIRE HYDRANT
- BIKE RACK
- SIDEWALK RAMP (ARROW POINTS DOWN)
- TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD PER PNM STANDARDS
- PERIMETER FENCE
- ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2, A4/SDP1.2 & B4/SDP1.2
- LIGHT POLE
- BOLLARD PATH LIGHT
- 6" BOLLARD WITH SIGN

**GENERAL SHEET NOTES**

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- B. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL AND ACCESSIBILITY STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- C. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- D. ALL LIGHT FIXTURES AND LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO): SECTION 14-16-5-8 OUTDOOR LIGHTING.
- E. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- F. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- G. AN ACCESSIBLE ROUTE, IN COMPLIANCE WITH ACCESSIBILITY STANDARDS OF THE PROJECT, CONNECTS FROM THE BUILDING TO ACCESSIBLE PARKING SPACES AND TO ALL SITE AMENITIES AS REQUIRED.

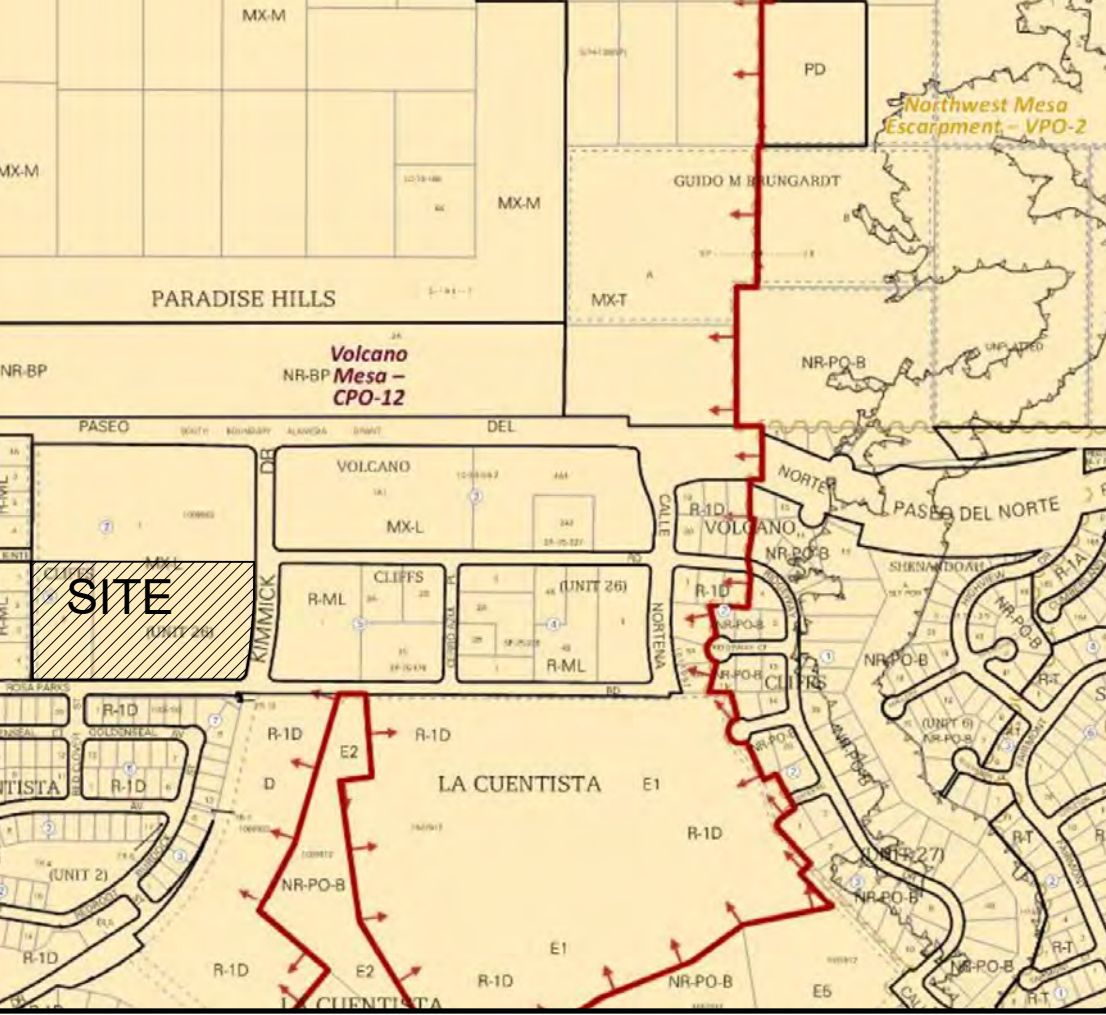
**SHEET KEYED NOTES**

1. TRASH COMPACTOR/RECYCLE BIN ENCLOSURE WITH GATE, REF: C1/SDP1.2
2. ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2
3. ACCESSIBLE RAMP, REF: D5/SDP1.2
4. BIKE PARKING PER IDO SECTION 5-5(E) AND DPM STANDARDS, 10% OF REQUIRED OFF-STREET PARKING AND DPM STANDARD WITH TWO-POINT BIKE LOCKING, REF: B5/SDP1.2
5. SHADE STRUCTURE
6. 8' WIDE CONCRETE SIDEWALK PER COA IDO STANDARDS, REF: B4/SDP1.2
7. NEW CONCRETE CURB AND GUTTER, REF: A2/SDP1.2
8. PARKING STRIPING 4" WIDE, COLOR WHITE
9. WATER FOUNTAIN
10. FEATURE 6' WIDE ACCESSIBLE PATHWAY FROM PUBLIC R.O.W. 5% MAX SLOPE WITH 2% MAX CROSS SLOPE
11. COVERED OUTDOOR GRILLING AREA
12. OUTDOOR SEATING AREA
13. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
14. VEHICULAR PAINTED STEEL PICKET SECURITY GATE
15. PERIMETER PAINTED STEEL PICKET FENCE
16. DECORATIVE FENCE
17. POOL EQUIPMENT/PET CARE STATION/RESTROOMS
18. SECURED PEDESTRIAN GATE
19. COMPACT PARKING SPACE WITH SIGNAGE
20. MOTORCYCLE PARKING SPACE WITH SIGNAGE
21. CARPORT WITH SHIELDED LIGHTING INDICATED BY DASHED LINES, TYPICAL
22. POTENTIAL LANDSCAPED WATER HARVESTING AREA - REFER TO CIVIL
23. LOT LINES TO BE PLATTED UNDER A SEPARATE FUTURE SUBMITTAL
24. BUILDING SETBACK
25. UTILITY EASEMENT
26. DRAINAGE AND UTILITY EASEMENT
27. 100 FOOT OFFSET FROM THE SINGLE FAMILY PROPERTY LINE SOUTH OF ROSA PARKS

**SHEET KEYED NOTES**

28. ILLUMINATED MONUMENT SIGN WITH PROJECT NAME AND ADDRESS
29. TANDEM ELECTRIC VEHICLE CHARGING STATION
30. SPA
31. FIRE DEPARTMENT CONNECTION
32. PATTERNED CONCRETE
33. TANDEM PARKING SPACE IN FRONT OF GARAGE SPACE
34. STRIPED 6 FOOT WIDE SIDEWALK WITH 'NO PARKING' SIGNAGE
35. 4 FOOT WIDE CONCRETE SIDEWALK
36. 4 FOOT WIDE ACCESSIBLE PATH
37. 3' WIDE LANDSCAPE BUFFER SWALE
38. 5' WIDE LANDSCAPE BUFFER SWALE

**VICINITY MAP**



- REVISIONS
- △
  - △
  - △
  - △
  - △
  - △

DRAWN BY AG, JB  
REVIEWED BY RAW  
DATE 09/30/2022  
PROJECT NO: 22-0033

DRAWING NAME  
**TRAFFIC  
CIRCULATION  
LAYOUT**

SHEET NO  
**TCL-1.1**










# PR-2022-007712\_SI-2022-01874\_Site\_Plan\_Aproved\_11-9-22\_Sheet\_1

Final Audit Report










2024-03-05

Created:	2024-02-02
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAYRZDzT7ZxhAJcc7BAWS8ipvBE9aOJVV

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