



Effective 3/01/2022

Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Forms P2)	<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2)
<input type="checkbox"/> Major - Preliminary Plat (Forms S & S1)	<input type="checkbox"/> Amendment to Site Plan (Forms P & P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major - Bulk Land Plat (Forms S & S1)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Minor - Final Plat (Forms S & S2)	<input type="checkbox"/> Temporary Deferral of S/W (Form V2)	<input checked="" type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor - Preliminary/Final Plat (Forms S & S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	<input type="checkbox"/> Sketch Plan Review and Comment (Form P2)
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Forms P & P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

BRIEF DESCRIPTION OF REQUEST

We want to re plat and Merge 8 Lots owned by our church into 1 Lot

APPLICATION INFORMATION

Applicant/Owner: <u>Juanita Ibarra</u>		Phone: <u>505-927-1769</u>
Address: <u>711 San Mateo Blvd SE</u>		Email: <u>JuanitaIbarra@gmail.com</u>
City: <u>Albuquerque</u>	State: <u>NM</u>	Zip: <u>87108</u>
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List all owners: <u>Iglesia Del Dios Vivo</u>

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: <u>Lots 3 through 10</u>	Block: <u>52</u>	Unit:
Subdivision/Addition: <u>Parkland Hills Addition</u>	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning: <u>C-1 Neighborhood Commercial</u>	Proposed Zoning: <u>SAME</u>
# of Existing Lots: <u>8</u>	# of Proposed Lots: <u>1</u>	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street: <u>San Mateo SE</u>	Between: <u>Bell</u>	and: <u>Trumbull</u>
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature: <u>Juanita Ibarra</u>	Date: <u>10/14/22</u>
Printed Name: <u>Juanita Ibarra</u>	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DRB minor case schedule for meeting dates and deadlines. Bring original Mylar or paper copy of plat with property owner's and City Surveyor's signatures on it to the meeting. Your attendance is required.



SKETCH PLAT REVIEW AND COMMENT

Interpreter Needed for Hearing? _____ if yes, indicate language: _____

- ___ A Single PDF file of the complete application including all documents being submitted must be emailed to **PLNDRS@cabq.gov** prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Letter describing, explaining, and justifying the request
- ___ Scale drawing of the proposed subdivision plat
- ___ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use



MAJOR SUBDIVISION FINAL PLAT APPROVAL

Interpreter Needed for Hearing? _____ if yes, indicate language: _____

- ___ A Single PDF file of the complete application including all documents being submitted must be emailed to **PLNDRS@cabq.gov** prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Proposed Final Plat
- ___ Design elevations & cross sections of perimeter walls
- ___ Landfill disclosure and EHD signature line on the plat if property is within a landfill buffer



SUBDIVISION OF LAND – MINOR (PRELIMINARY/FINAL PLAT APPROVAL)

Interpreter Needed for Hearing? _____ if yes, indicate language: _____

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- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(K)
- ___ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- ___ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use
- ___ Sidewalk Exhibit and/or cross sections of proposed streets
- ___ Proposed Infrastructure List, if applicable
- ___ Required notice with content per IDO Section 14-16-6-4(K)
- ___ Office of Neighborhood Coordination inquiry response and proof of emailed notice to applicable Neighborhood Association representatives, copy of notification letter, completed notification form(s), and proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
- ___ Sensitive Lands Site Analysis for new subdivisions of land in accordance with IDO Section 5-2(C)
- ___ Landfill disclosure and Environmental Health Department signature line on the plat if property is within a landfill buffer

Note: Any application that requires major public infrastructure must be processed as a Subdivision of Land - Major. See Form S1.

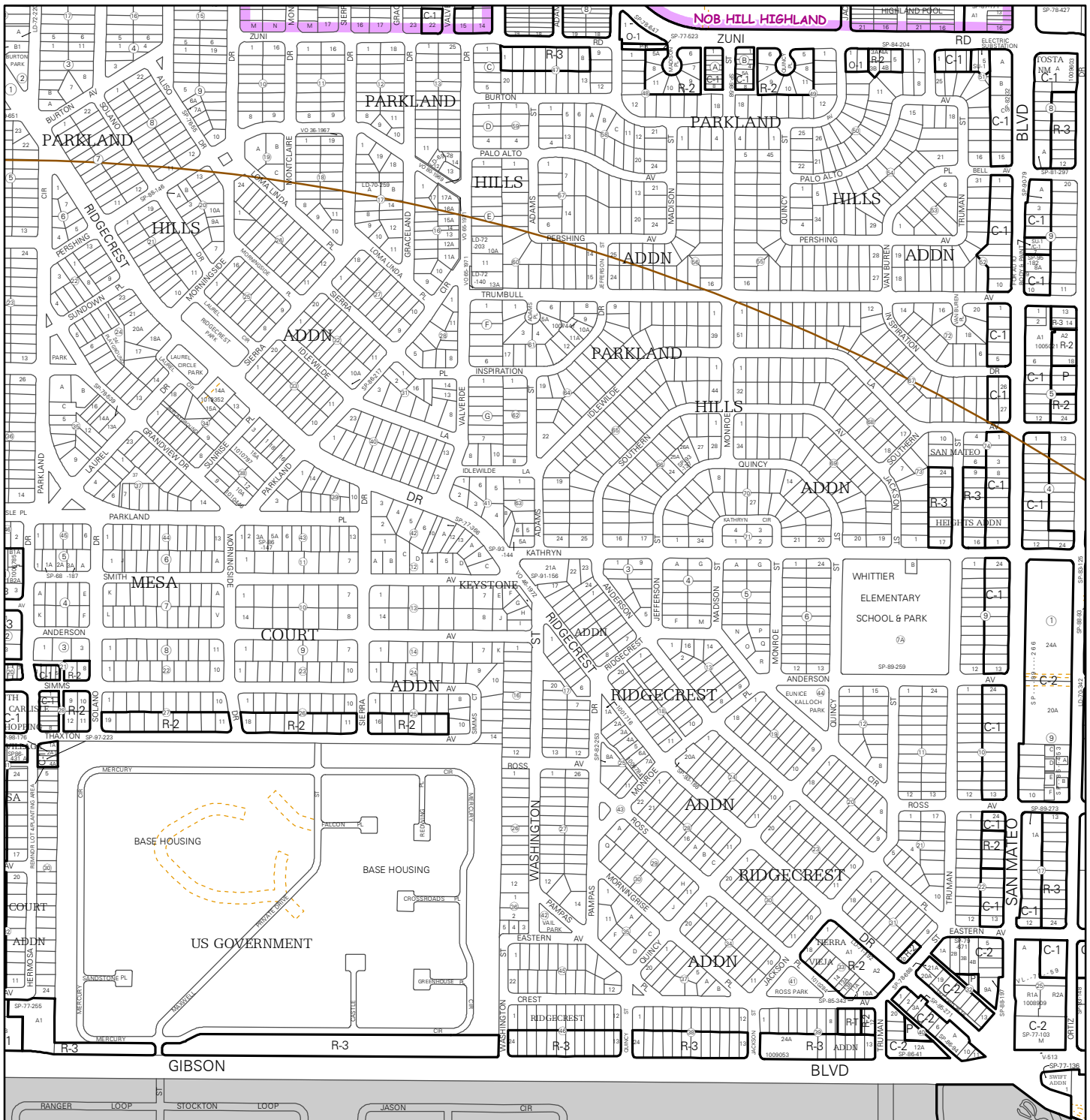


MINOR AMENDMENT TO PRELIMINARY PLAT / INFRASTRUCTURE LIST

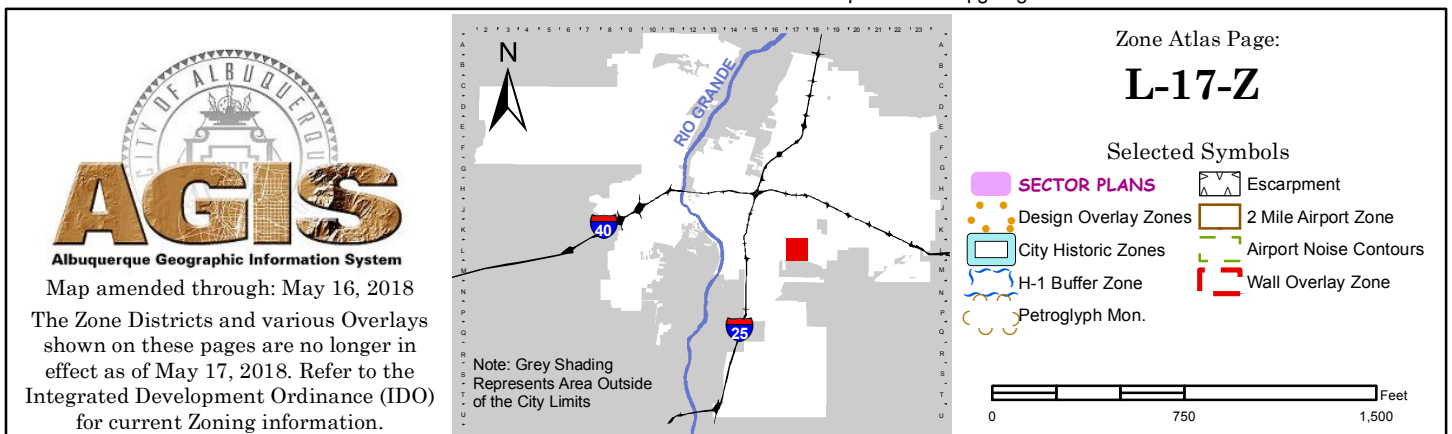
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- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan
- ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan
- ___ Infrastructure List, if applicable

Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.



For more current information and details visit: <http://www.cabq.gov/gis>



Map amended through: May 16, 2018
The Zone Districts and various Overlays shown on these pages are no longer in effect as of May 17, 2018. Refer to the Integrated Development Ordinance (IDO) for current Zoning information.

Iglesia Del Dios Vivo Columna y Apoyo de La Verdad
711 San Mateo Blvd SE Albuquerque, NM 87108

October 14, 2022

City of Albuquerque Planning Dept
Development Review Board

To Whom it May Concern:

Please accept this letter as part of the development review board application. This is for a Sketch Plan Review and Comment Form S2.

Our Church owns lots 3-10 of Block 52 of Parkland Hills Addition. We are located right off San Mateo Blvd SE, between Bell and Trumbull.

On behalf of the church, we are requesting that lots 3-10 be combined into 1 single lot. Reason being is that we applied for a tall wall permit exception, and the planning zone examiner, explained that it is not cost effective, as we would have to make application and pay for each lot separately. She advised we apply to re plat first. Then we would only have to submit one application for the tall wall exception.

Currently the church property is unprotected and we would like to secure with a wall, as we are concerned for the wellbeing of the church members and their families. That is why we are requesting that the 8 lots owned by the church be re-platted into 1 lot only.

Thank you for your time and attention with this matter.

Respectfully submitted,



Juanita Ibarra

Board Chair/President



711 San Mateo Blvd SE

