



PROJECT TABULATED PARKING COUNTS

Space/Unit Type	Area	Use	Spaces/GFA	Req'd Parking	On-Site Parking Provided	HC Req'd	HC Provided	MC Req'd	MC Provided	Bicycle Req'd	Bicycle Provided
Phase 1	100,000	Wholesaling and Storage	1/2000	50							
	600	Office	3.5/1000	2							
		Combined Total		52	66	4	4	3	4	6	12
Phase 2	100,600	Wholesaling or Manufacturing TBD		52-101							
Phase 3	100,600	Wholesaling or Manufacturing TBD		52-101							
Phase 1 Total	100,600			52	66	4	4	3	4	6	12

Notes:
 1. Parking for Warehouse required 1 space per 2000GFA
 2. Bicycle parking required, 3 spaces or 10% whichever is greater
 3. Motorcycle parking required 1 space per 25 off street parking.
 4. Accessible Parking is based on 2015NM Commercial Building Code, Table 1106.1 of Title 14, Chapter 7, Part 2.

PER TABLE 5-5-4 MINIMUM MOTORCYCLE PARKING REQUIREMENTS WITH LESS THAN 25 OFF-STREET PARKING REQUIRED WE NEED 3 MC SPACE. (3 PROVIDED)

PER TABLE 5-5-5 MINIMUM BICYCLE PARKING FOR NON-RESIDENTIAL USES NOT LISTED IN TABLE, 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES WHICHEVER IS GREATER. 3 SPACES REQUIRED.

FLOOR AREA RATIO FOR PHASE 1 IS 0.27.

PROJECT NUMBER: PR-2022-007805

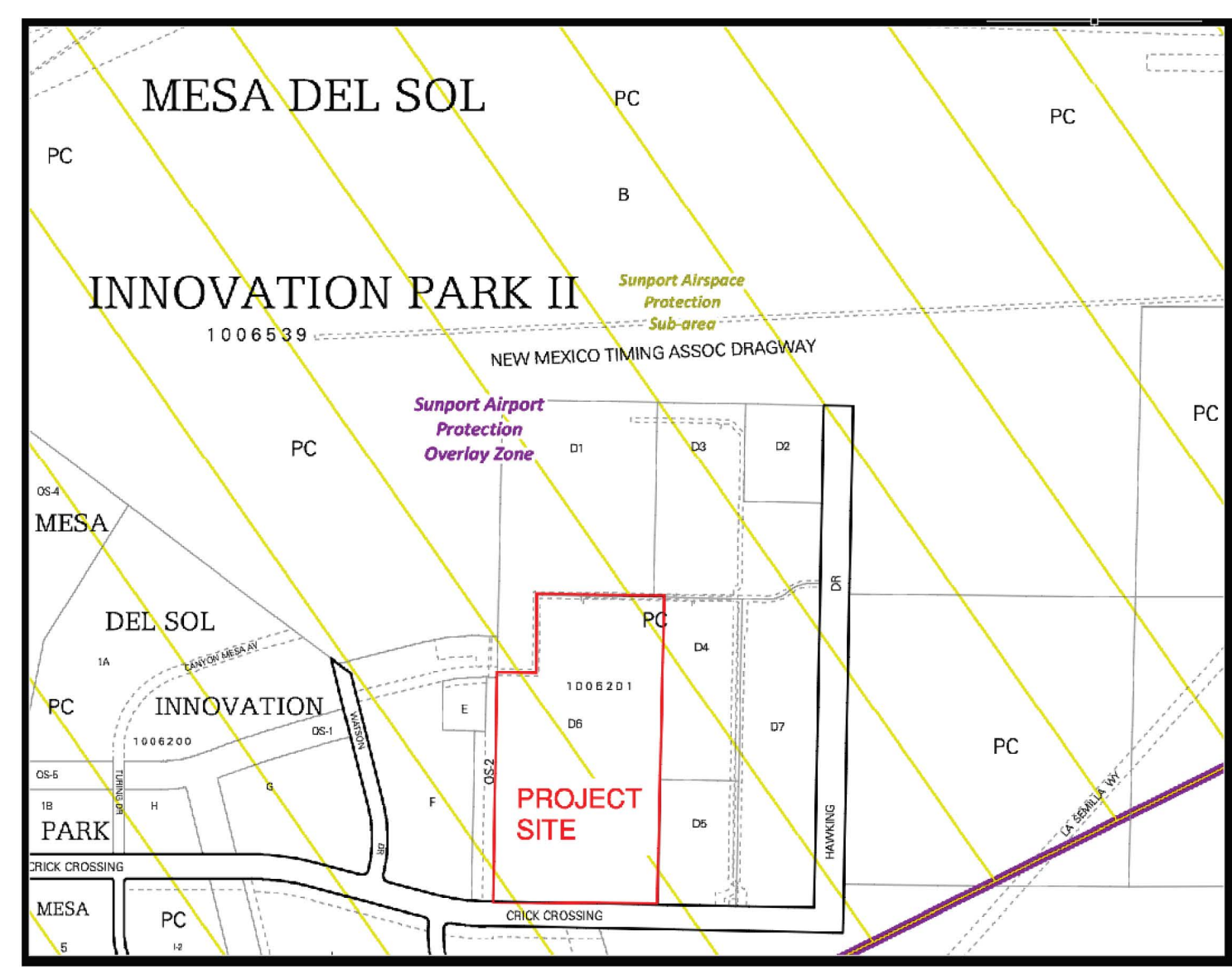
Application Number: SI-2024-00849

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

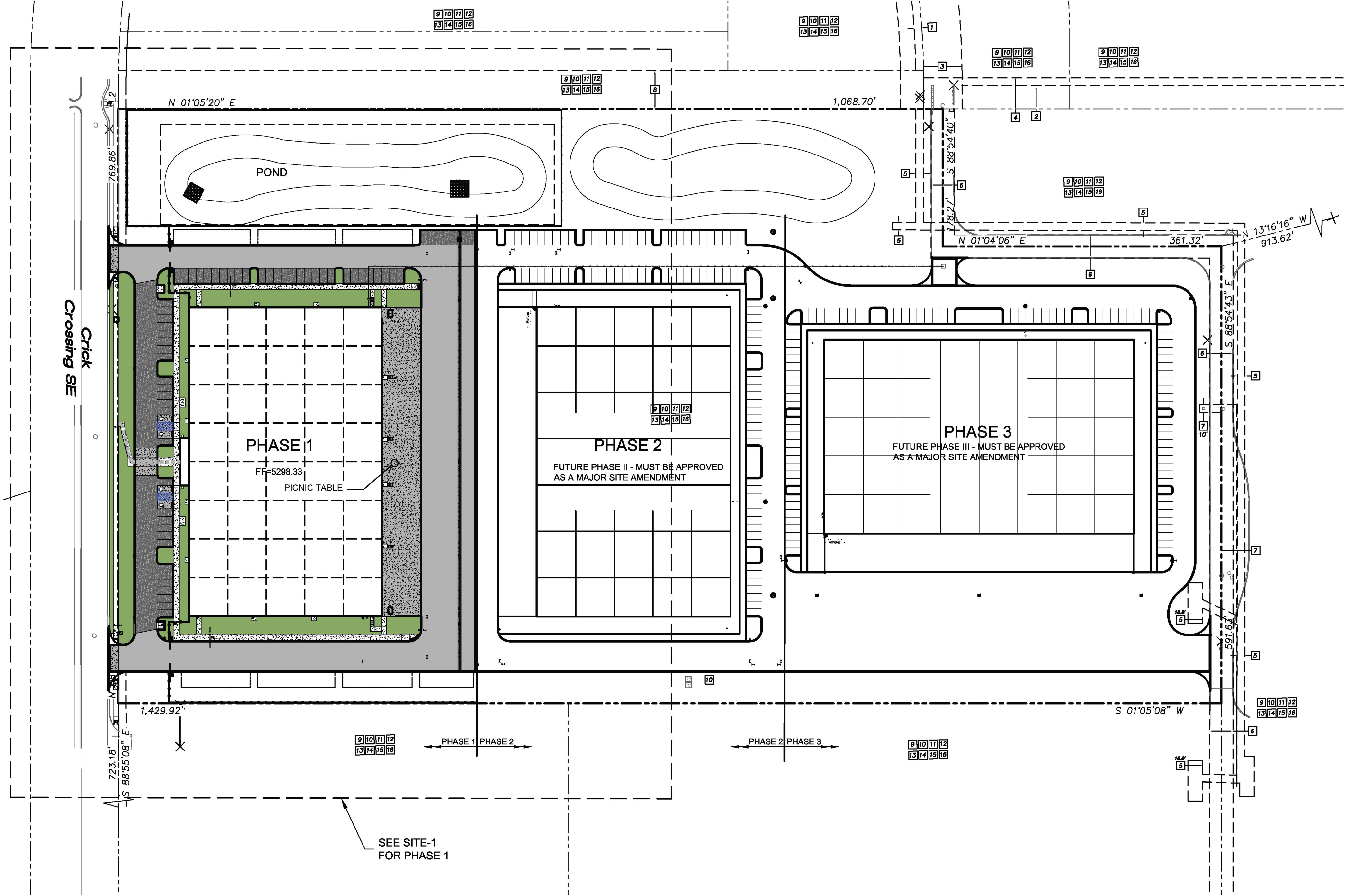
DFT SITE DEVELOPMENT PLAN APPROVAL:

Ernest Amayo
 Traffic Engineering, Transportation Division
 ABCWUA
 Parks and Recreation Department
 Hydrology
 Code Enforcement
 * Environmental Health Department (conditional)
 Solid Waste Management
 Planning Department

Date: 10/28/24
 Date: 10/31/24
 Date: 10/28/24
 Date: 10/25/24
 Date: 10/25/24
 Date: 10/29/24
 Date: 10/29/24



D1 ZONE ATLAS PAGE Q-16-Z
NOT TO SCALE

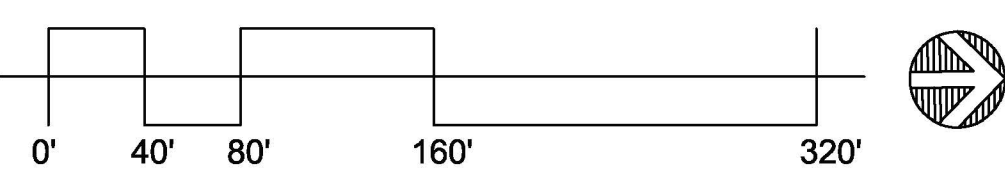


WATER HARVESTING REQUIREMENTS:
 PROVIDE 6" WIDE OPENINGS IN TREE ISLANDS WITHIN PARKING AREAS TO ALLOW FOR PASSIVE WATER HARVESTING

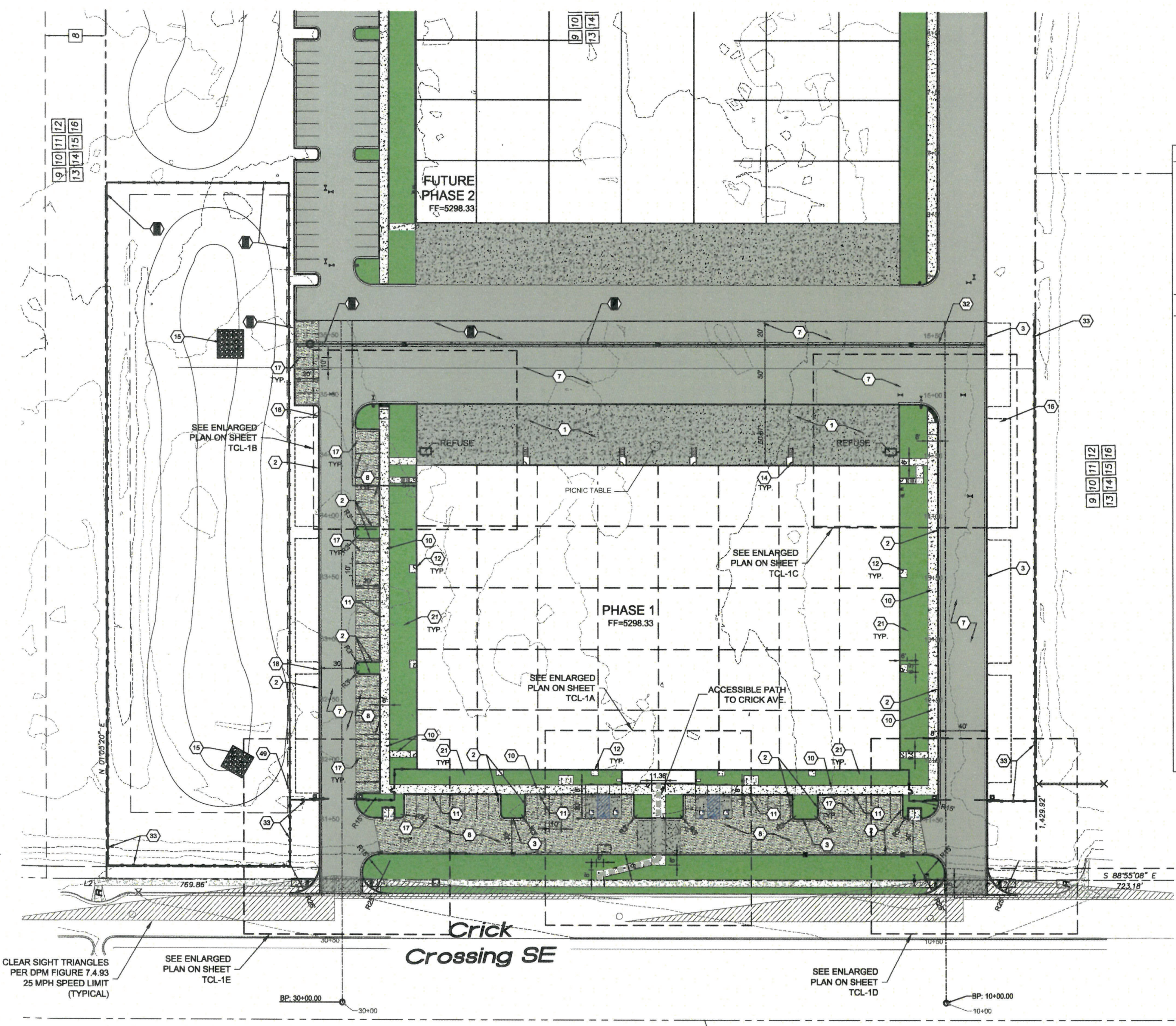
MATERIAL LEGEND

- HEAVY DUTY ASPHALT PER DETAIL D1/C-601
- PARKING LOT ASPHALT PER DETAIL D1/C-501
- HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501
- 4" THICK CONCRETE SIDEWALK PER DETAIL B4/C-501
- EROSION PROTECTION, SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
- EARTHEN POND, SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
- LANDSCAPING AREA.

A1 SITE PLAN - DFT
SCALE: 1" = 80'-0"



thcmm@yahoo.com
 P.O. BOX 65760 ALBUQUERQUE, NM 87193
 PHONE: (505) 271-2199 FAX: (505) 830-9246



GENERAL NOTES

- A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
- B. FIELD VERIFY ALL DIMENSIONS.
- C. DO NOT SCALE DRAWINGS, IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER BEFORE PROCEEDING.
- D. SEE SHEET C2001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL LINE/TYPE LEGEND THAT APPLY TO ALL SHEETS.
- E. PAVING PLAN KEYED NOTES ARE COMMON TO ALL SHEETS. NOT ALL KEYED NOTES WILL APPEAR ON EVERY PAGE.
- F. REFER TO PLAN FOR EASEMENT DEFINITIONS.
- G. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW CONCRETE SIDEWALK.
- H. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

KEYED NOTES

- 1. HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501.
- 2. 6" STANDARD CURB AND GUTTER PER DETAIL A5/C-501.
- 3. 6" DEPRESSED CURB AND GUTTER PER DETAIL A5/C-501.
- 4. ROUNDOFF DEPRESSED GUTTER PER DETAIL A5/C-501.
- 5. 6" HEADER CURB PER DETAIL A5/C-501.
- 6. CURB TRANSITION PER DETAIL A4/C-501.
- 7. HEAVY DUTY ASPHALT PAVEMENT PER DETAIL D1/C-501.
- 8. PARKING LOT ASPHALT PAVEMENT PER DETAIL D1/C-501.
- 9. CONCRETE CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD DWG 2441 THRU 2446.
- 10. CONCRETE SIDEWALK PER DETAIL B4/C-501.
- 11. TURNDOWN EDGE ON SIDEWALK PER DETAIL B4/C-501.
- 12. CONCRETE STOOP PER DETAIL C1/C-501.
- 13. CONCRETE SPEED TABLE, CONCRETE PAVEMENT PER DETAIL D4/C-501.
- 14. STAIRS WITH HANDRAILS PER DETAIL A2/C-501 AND C2/C-501.
- 15. RP RAMP EROSION PROTECTION PER DETAIL D3/C-501.
- 16. CONCRETE EQUIPMENT PAD UNDER NEW TRANSFORMER PER DETAIL A3/C-504. SEE ELECTRICAL PLANS SHEET ES-101 FOR ADDITIONAL REQUIREMENTS.
- 17. 4" WIDE WHITE TRAFFIC PARKING.
- 18. PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
- 19. PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 6" AND 8" TALL.
- 20. 3' WIDE X 8' TALL PERSONNEL GATE PER DETAIL F3/C-504.
- 21. SEE LANDSCAPING PLANS FOR DETAILS.
- 22. 6" CONCRETE BOLLARDS AT REFUSE CONTAINER PER DETAIL A2/C-501.
- 23. CONCRETE MASONRY SCREEN WALL 8' TALL PER STRUCTURAL PLANS.
- 24. RESERVED PARKING SYMBOL PER DETAIL C9/C-502.
- 25. 12" TALL WHITE LETTERS "NO PARKING".
- 26. UNLOADING ZONE PER DETAIL A3/C-502.
- 27. VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL EB/C-502.
- 28. RESERVED PARKING SIGN PER DETAIL EB/C-502.
- 29. ADA COMPLIANT CURB ACCESS RAMP PER DETAIL A1/C-502 AND COA DETAILS 2440.
- 30. PARKING BLOCK PER DETAIL F2/C-501.
- 31. MONUMENT SIGN BASE, SEE ARCHITECTURAL FOR DETAILS.
- 32. 4" WIDE CONCRETE VALLEY GUTTER PER DETAIL E5/C-501.
- 33. 6" TALL DECORATIVE WELDED WIRE FENCE PER DETAIL B4/C-504.
- 34. PAIR 20" WIDE WROUGHT IRON SLIDING GATES.
- 35. PAIR 15" WIDE WROUGHT IRON SLIDING GATES.
- 36. GATE OPERATOR.
- 37. REFUSE PAD PER DETAIL C1/C-502.
- 38. RETENTION POND, SEE SHEETS C-201 AND C-202.
- 39. CONCRETE CURB AND GUTTER PER COA STD DWG 2415A.
- 40. CONCRETE VALLEY GUTTER PER COA STD DWG 2420.
- 41. CONCRETE SPLASH BLOCK PER DETAIL A1/C-501.
- 42. AREA RESERVED FOR FUTURE PARKING.
- 43. 12" TALL LETTERS FOR MOTORCYCLES "MC".
- 44. RESERVED PARKING SIGN "MOTORCYCLES ONLY".
- 45. BIKE RACK PER DETAIL F3/C-501, 4" SPACING BETWEEN HOOPS.
- 46. INFILL MISSING CONCRETE SIDEWALK PER COA STD DWG 2430.
- 47. ASPHALT UTILITY PATCH PER COA STD DWG 2465.
- 48. MEDIAN CURB AND GUTTER TO MATCH EXISTING PER COA STD DWG 2415B.
- 49. 4" TALL CHAIN LINK FENCE AROUND POND, PROVIDE PAIR 8" WIDE SWING GATES ON EAST SIDE AT NEAR RIPRAP ROUNDOFF OF POND FOR ACCESS.

MATERIAL LEGEND

	HEAVY DUTY ASPHALT PER DETAIL D1/C-501
	PARKING LOT ASPHALT PER DETAIL D1/C-501
	HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501



ARCHITECT/ENGINEER



ROSES SOUTHWEST PAPERS
 CRICK CROSSING
 ALBUQUERQUE, NEW MEXICO

BUILDING PERMIT SET

REVISION	DATE

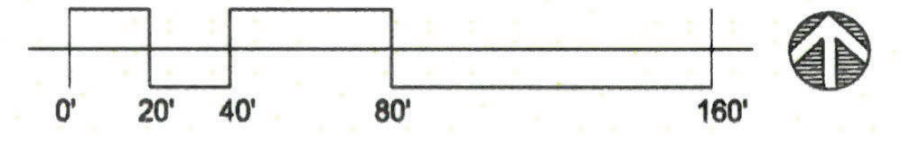
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PROJECT NO.

SHEET NO.

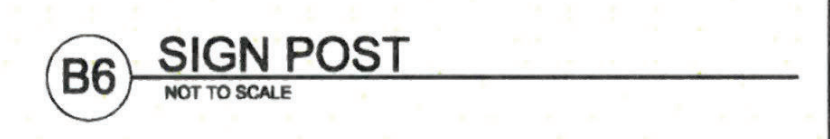
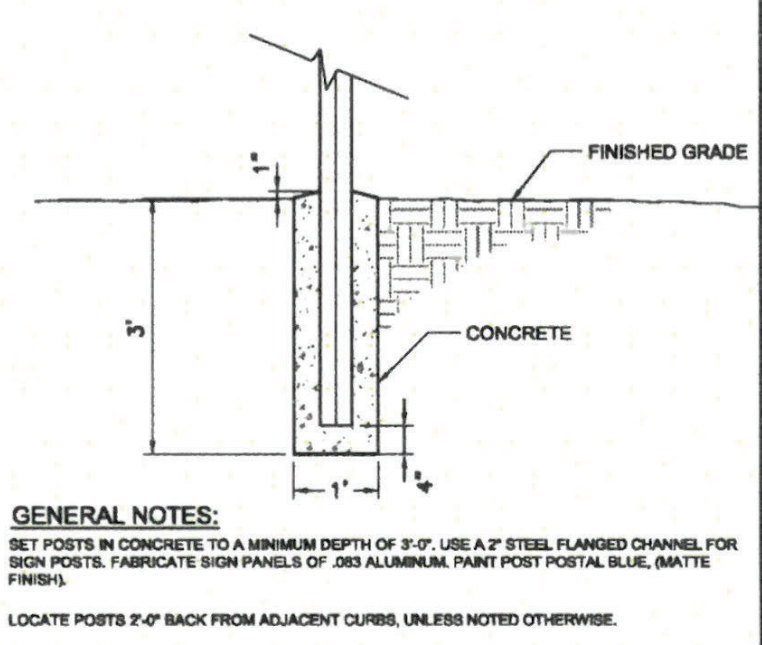
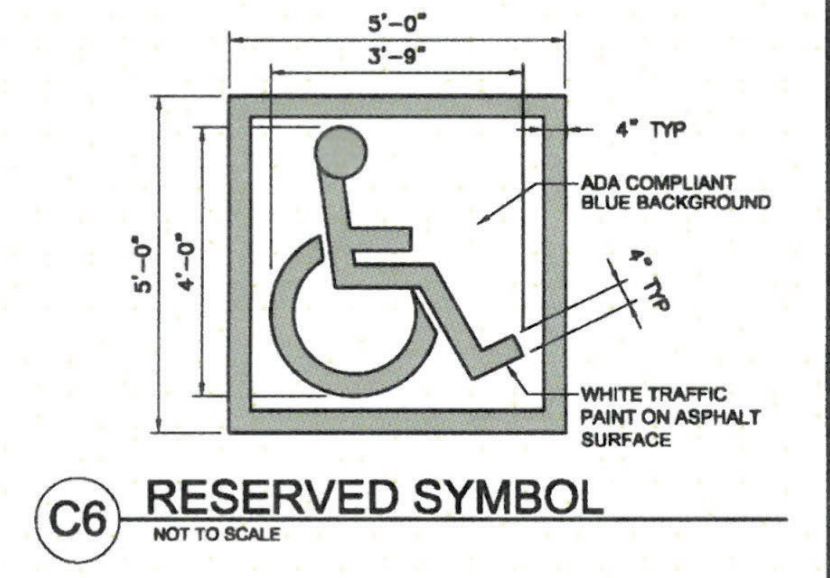
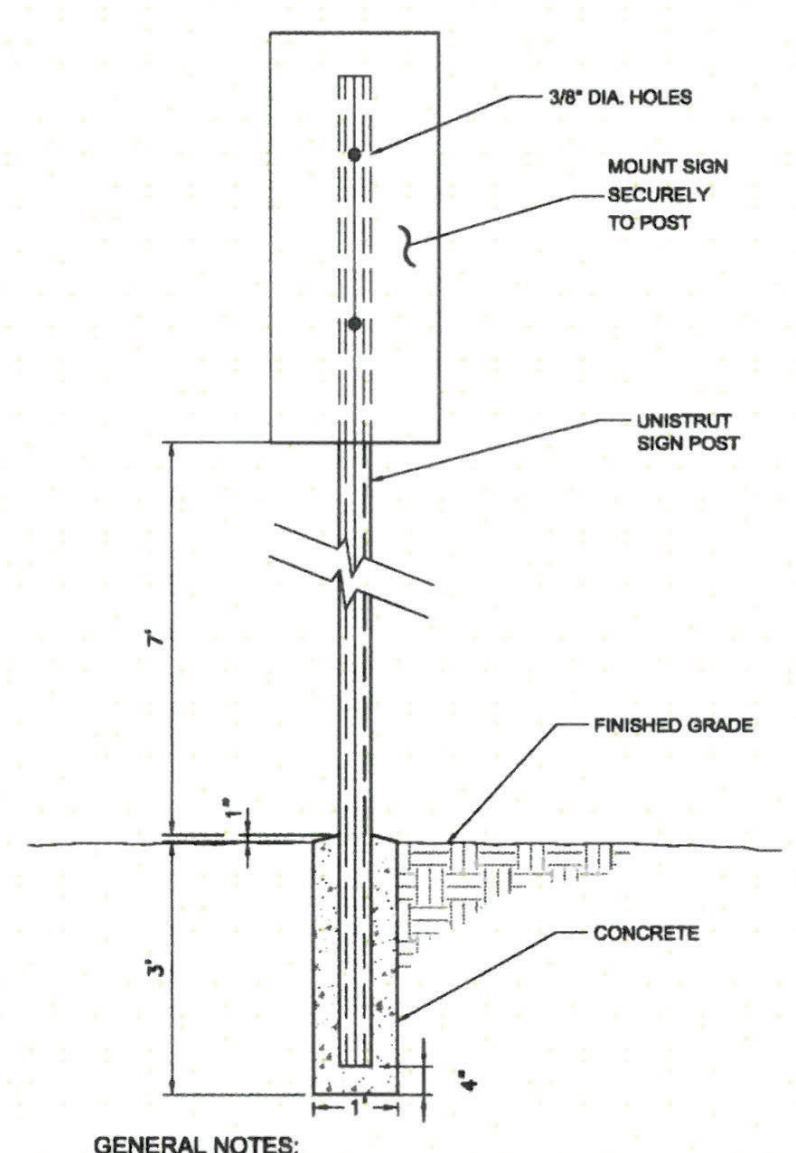
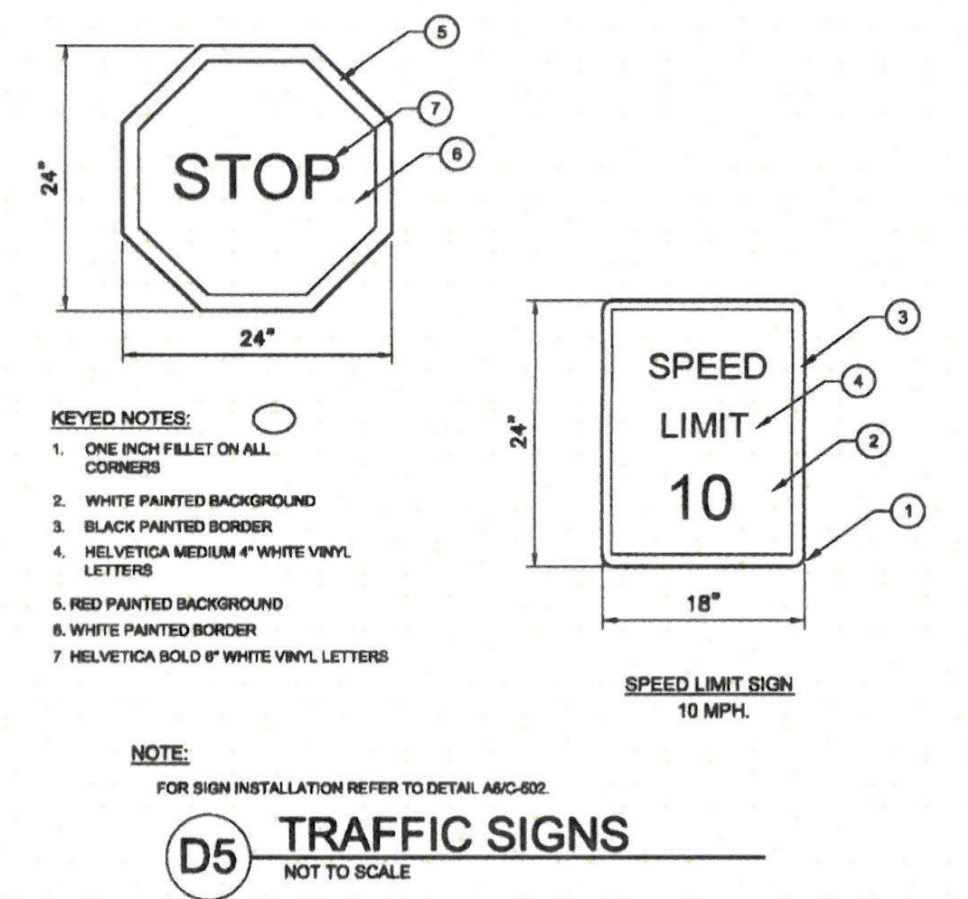
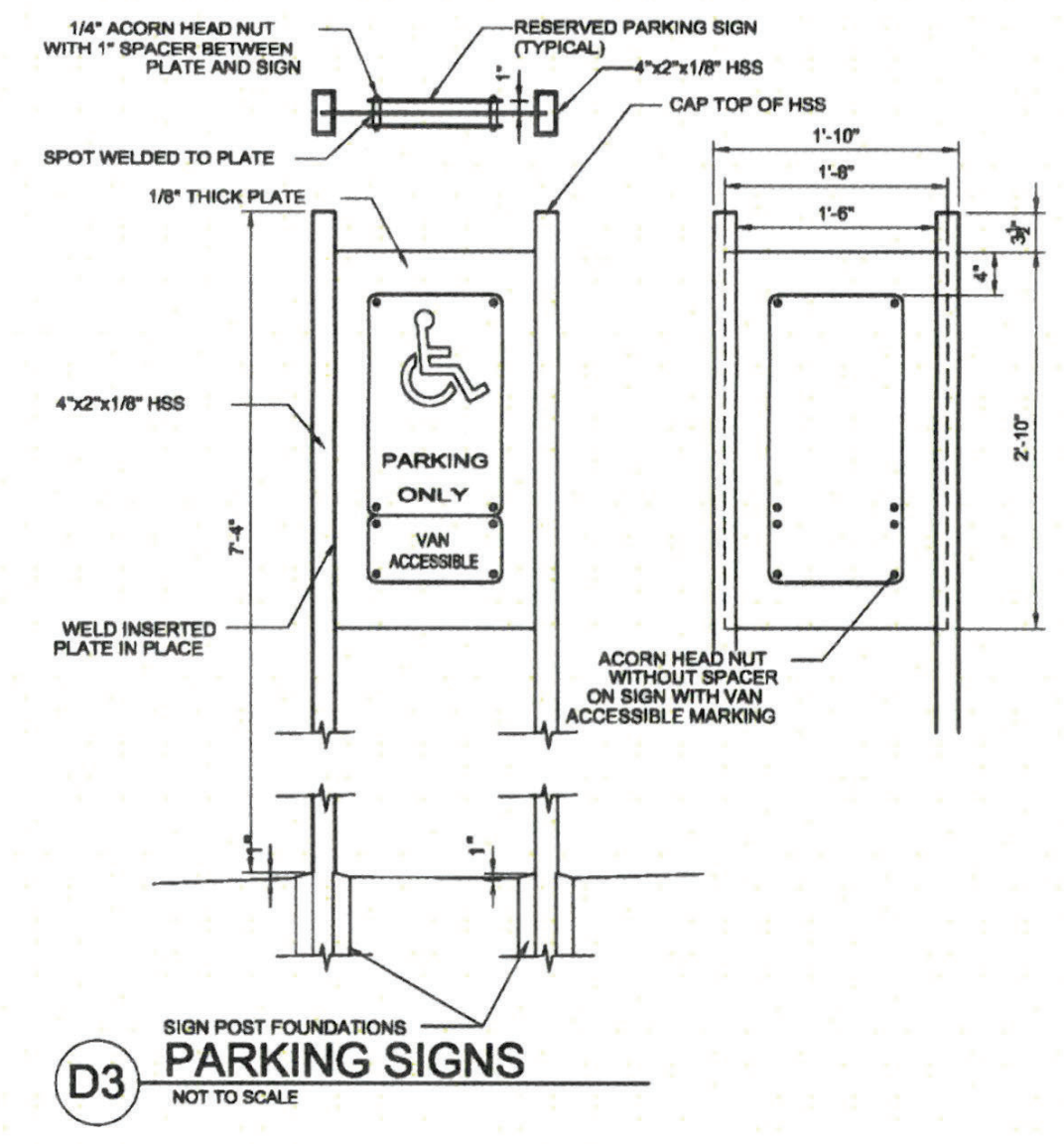
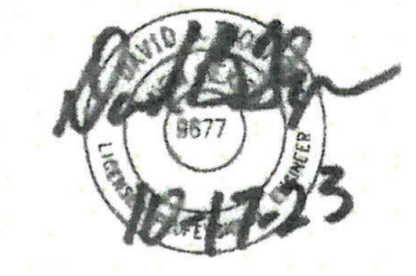
SITE-1

Thompson
Engineering
 Consultants, Inc.
 tecm@yahoo.com
 P.O. BOX 65760 ALBUQUERQUE, NM 87193 PHONE: (505) 271-2199 FAX: (505) 630-9246

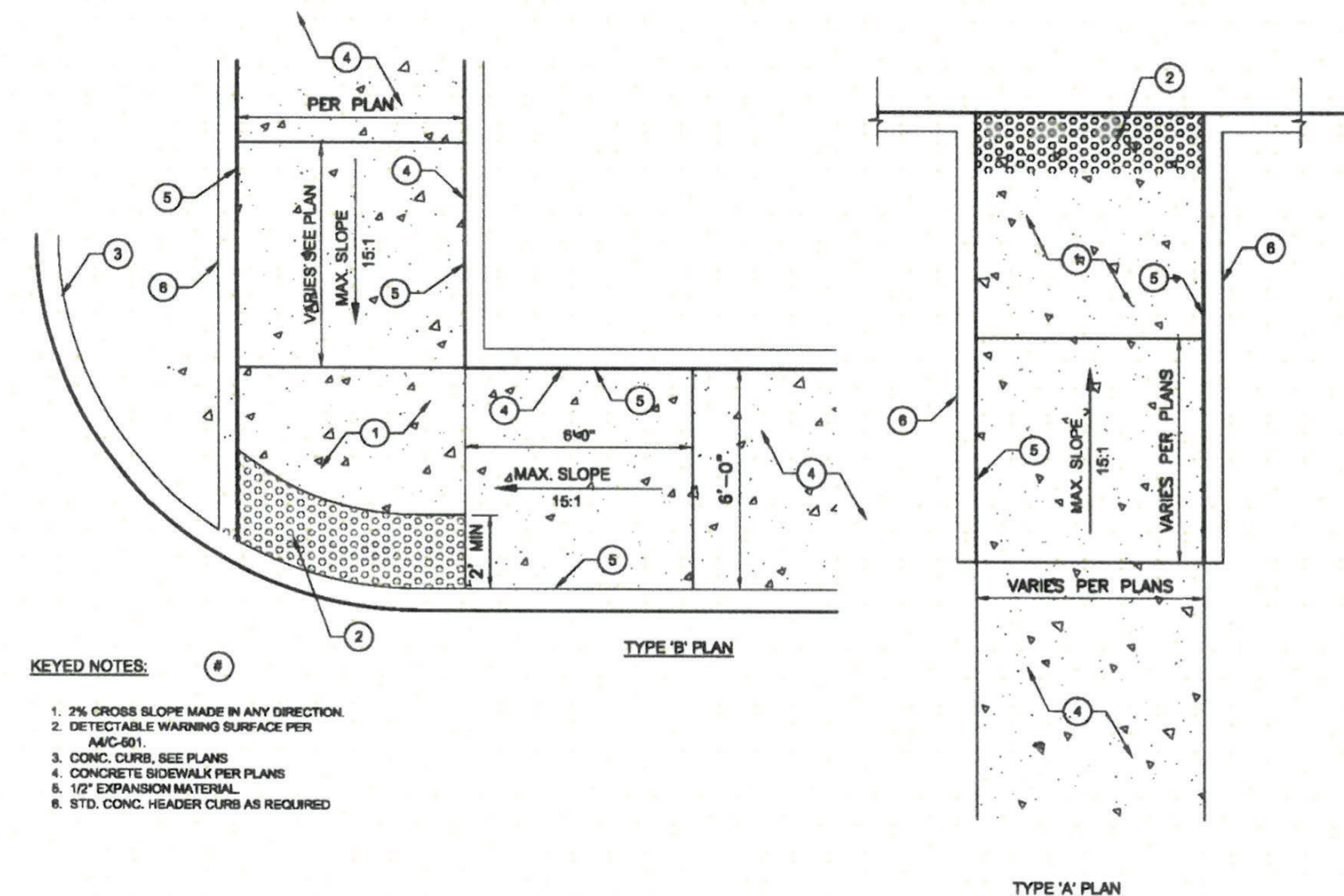
A1 SITE PLAN - PHASE 1
SCALE: 1" = 40'-0"



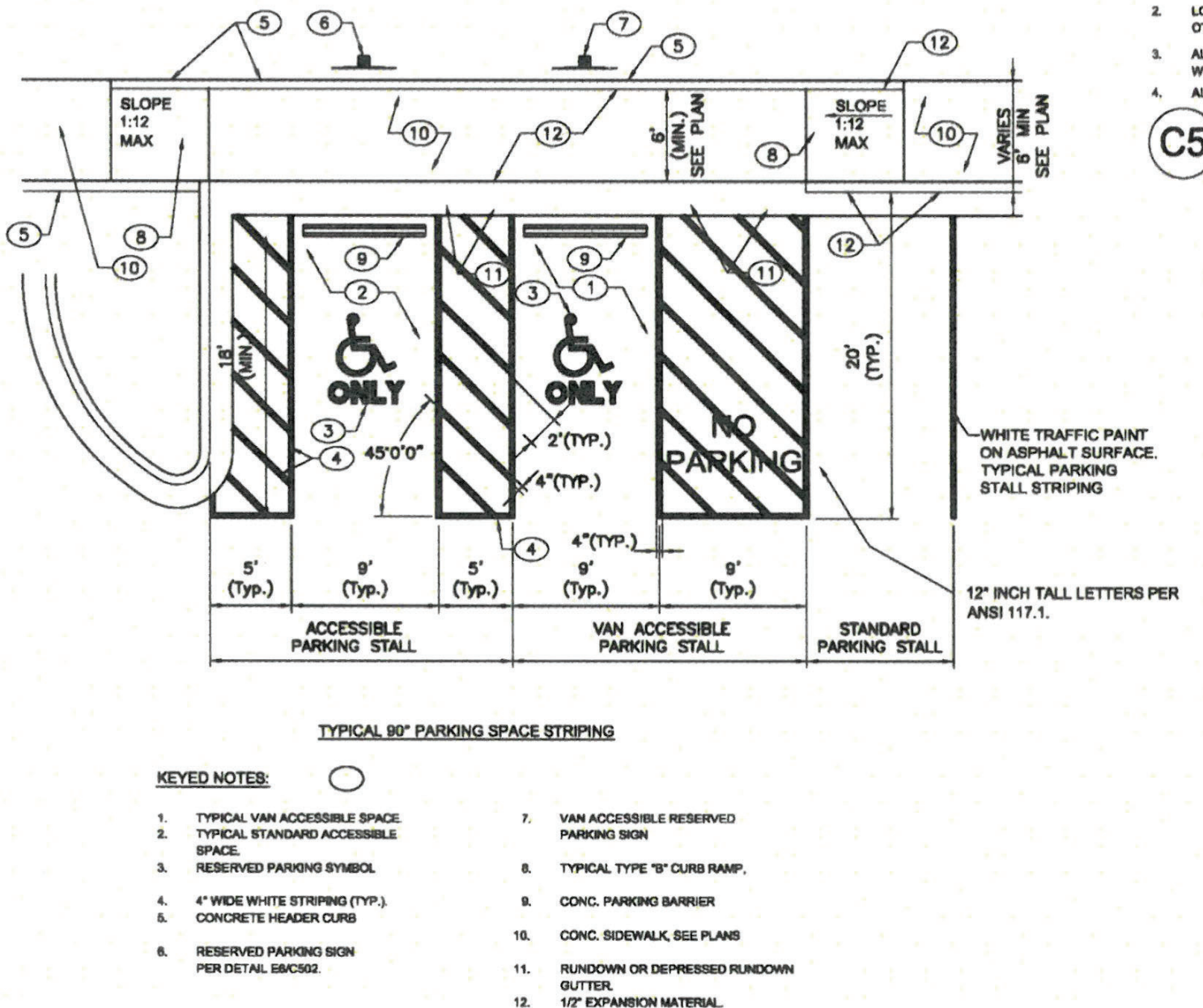
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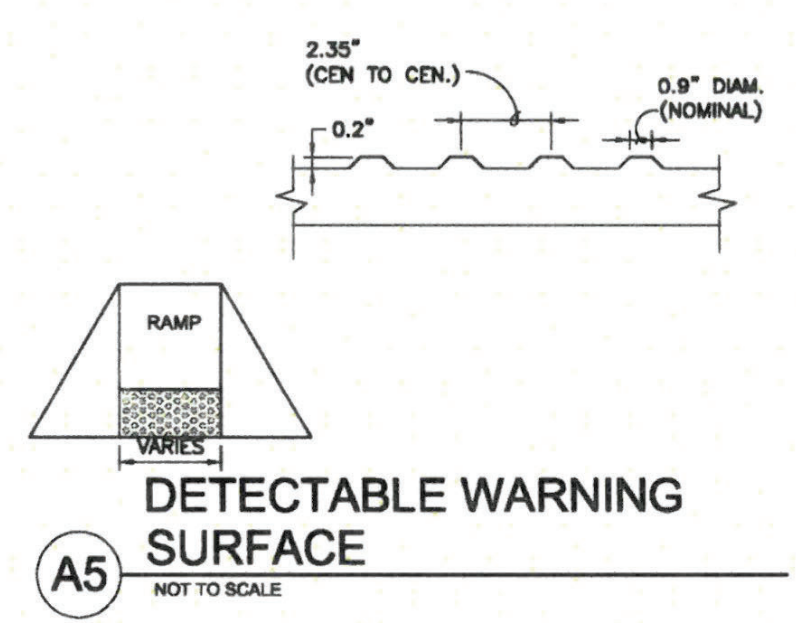
TRAFFIC CIRCULATION LAYOUT APPROVED
Curtis A. Cherna 11-28-23
Signed Date



A1 CURB ACCESS RAMPS
NOT TO SCALE



A3 ADA RESERVED PARKING STALL
NOT TO SCALE



A5 DETECTABLE WARNING SURFACE
NOT TO SCALE

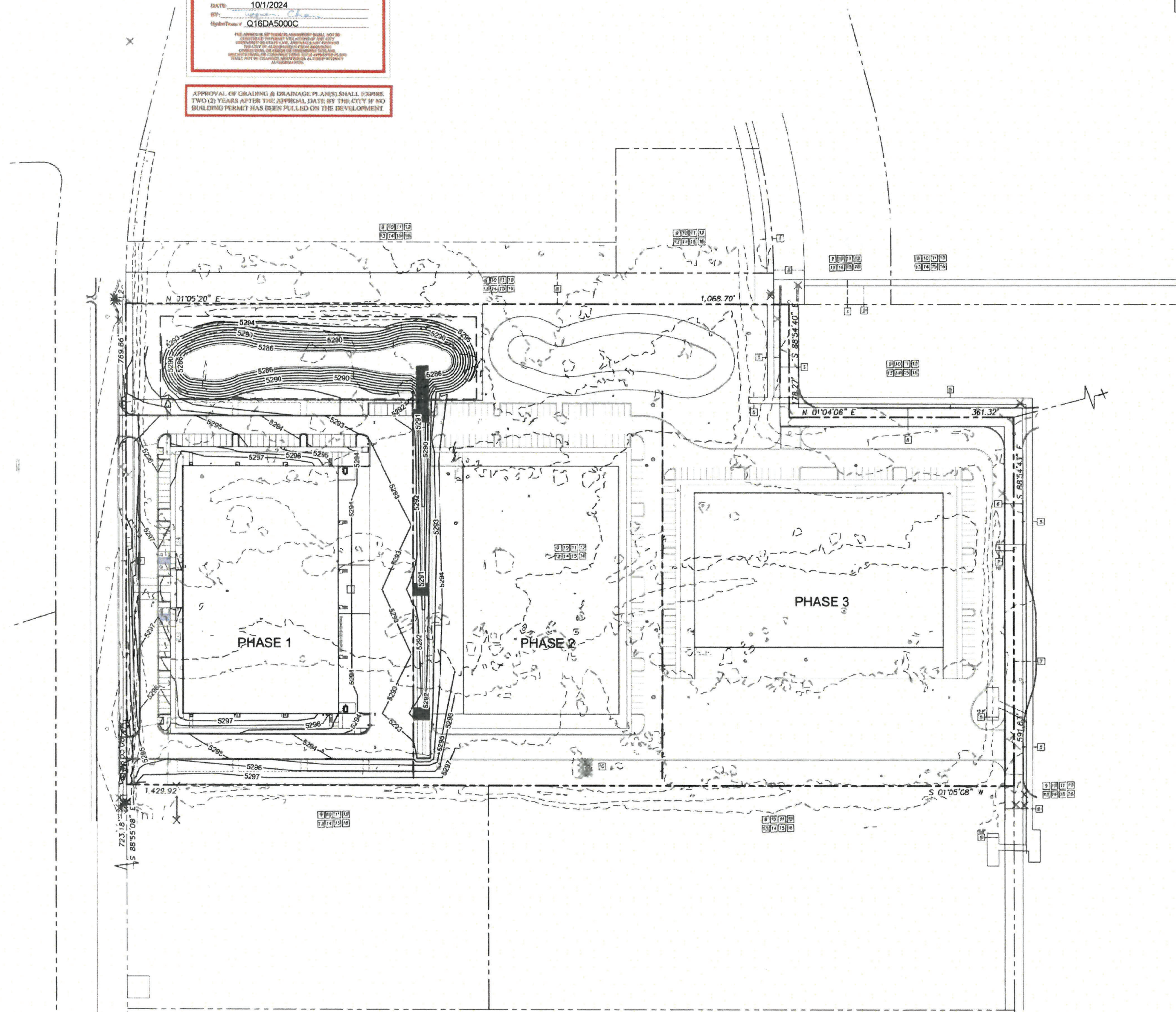
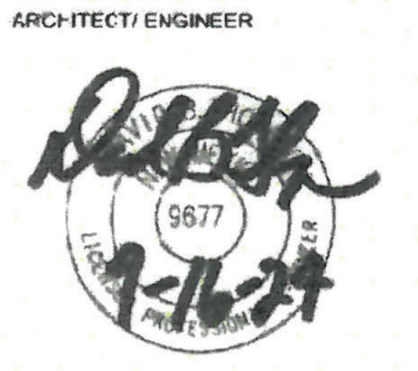
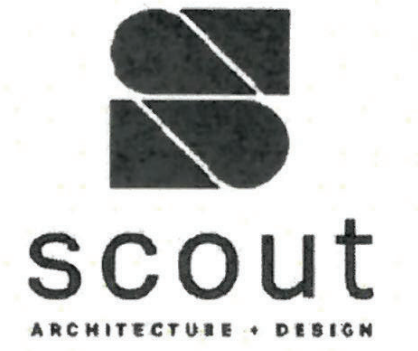
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Thompson Engineering Consultants, Inc.
tccim@yahoo.com
P.O. BOX 65760 ALBUQUERQUE, NM 87193 PHONE: (505) 271-2199 FAX: (505) 830-9246

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 10/1/2024
 BY: [Signature]
 Hydrology # Q16DA5000C

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT

GENERAL NOTES
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 C. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.



ROSES SOUTHWEST PAPERS
 CRICK CROSSING
 ALBUQUERQUE, NEW MEXICO

BUILDING PERMIT SET

REVISION	DATE
1	VE REVISIONS 9/16/24

DATE 10/18/22

PROJECT NO

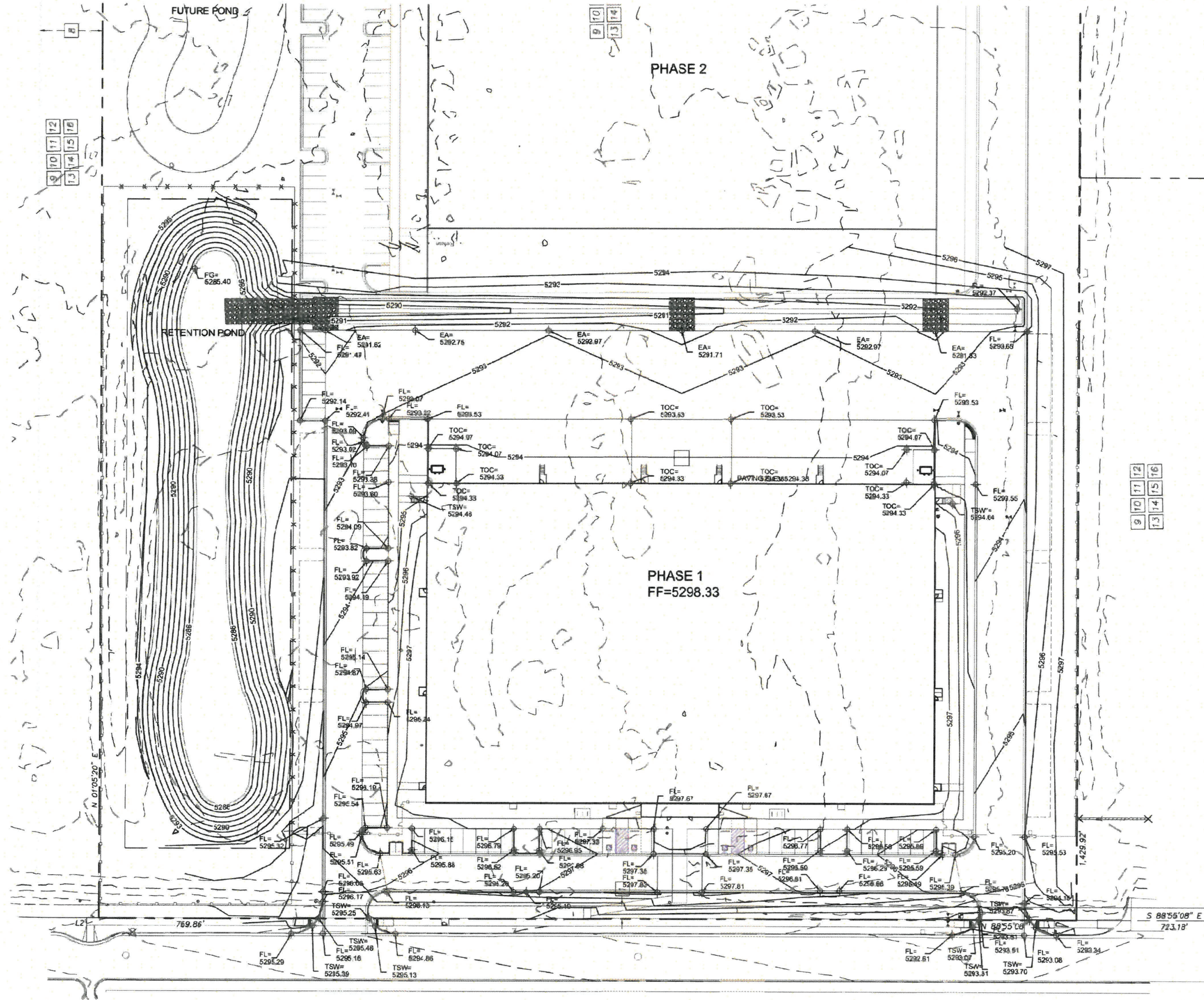
SITE GRADING PLAN - OVERALL

SHEET NO.

C201

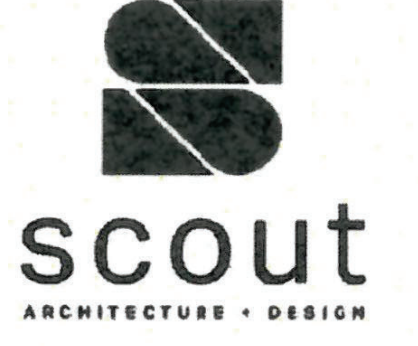


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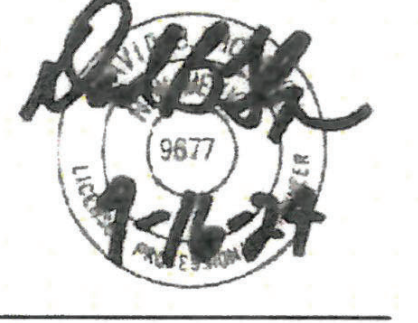


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ARCHITECT/ENGINEER



ROSES SOUTHWEST PAPERS
 CRICK, CROSSING
 ALBUQUERQUE, NEW MEXICO

BUILDING PERMIT SET

REVISION	DATE
1	VE REVISIONS 9/16/24

DATE 10/18/22

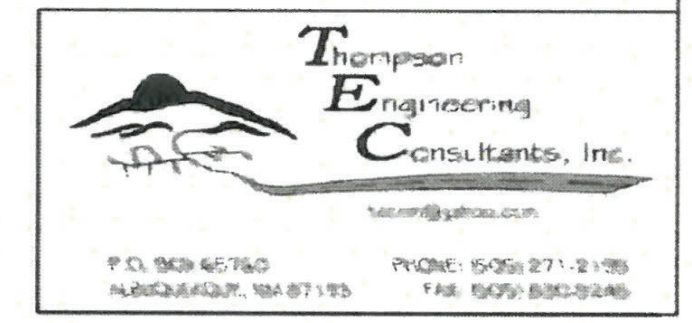
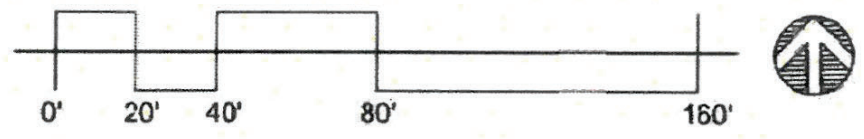
PROJECT NO.

SITE GRADING PLAN - PHASE 1 ENLARGED

SHEET NO.

C202

A1 SITE GRADING PLAN - PHASE 1 ENLARGED
 SCALE: 1" = 40'-0"



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GENERAL NOTES

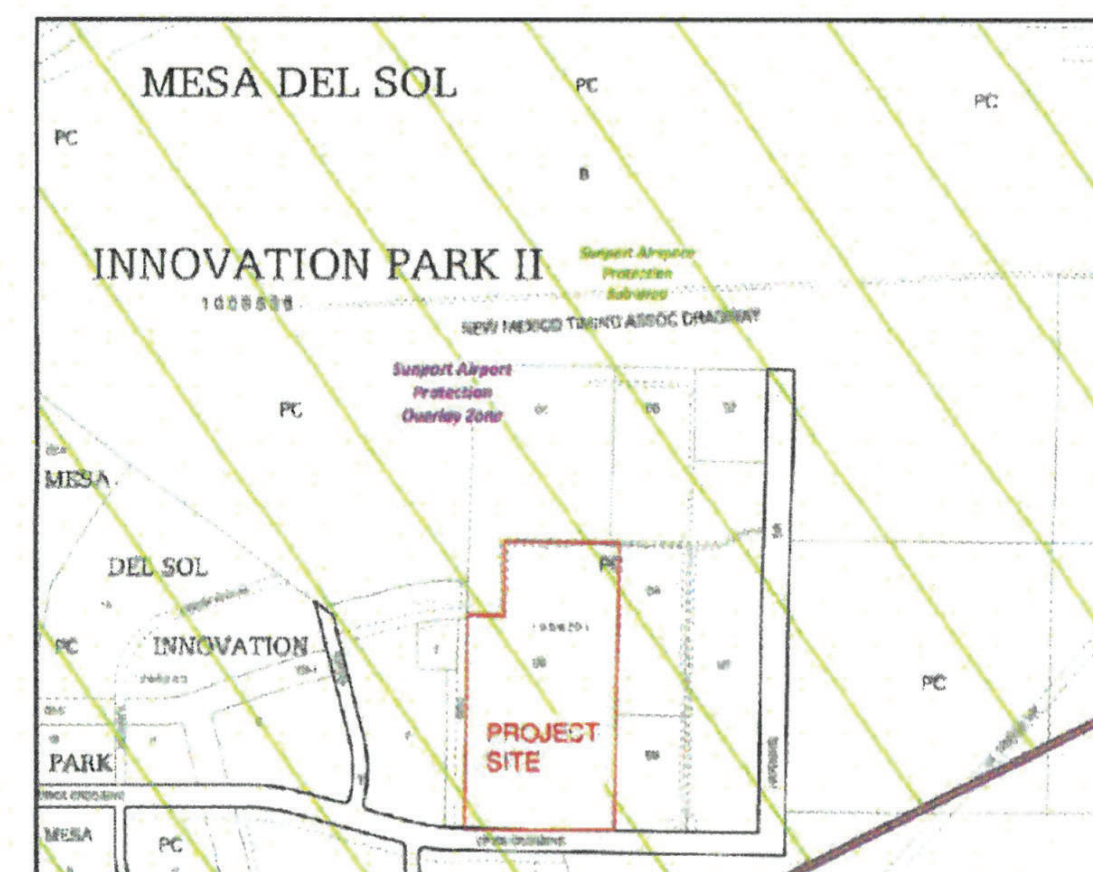
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- D. SEE PAGE 1 OF THE PLAT FOR EXCEPTIONS 9-31.

Record and Measured Legal Description

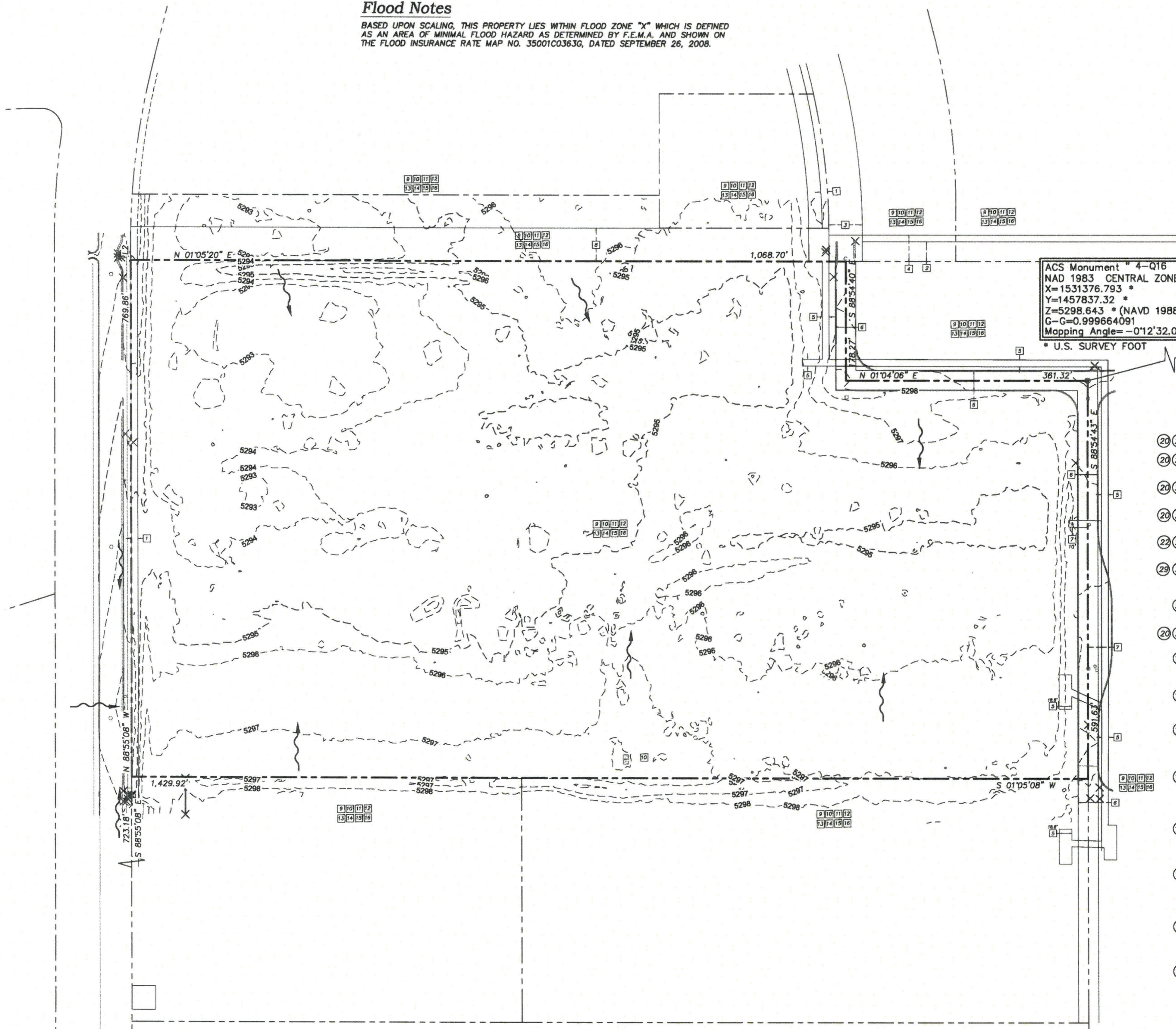
TRACT LETTERED D-SIX (D-6), PLAT OF MESA DEL SOL INNOVATION PARK II, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF RECORDED IN THE REAL PROPERTY RECORDS OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 29, 2017, IN PLAT BOOK 2017C, PAGE 159, AS DOCUMENT NO. 2017124120.

Flood Notes

BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE "X" WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0363G, DATED SEPTEMBER 26, 2008.



D1 ZONE ATLAS PAGE Q-16-Z
NOT TO SCALE



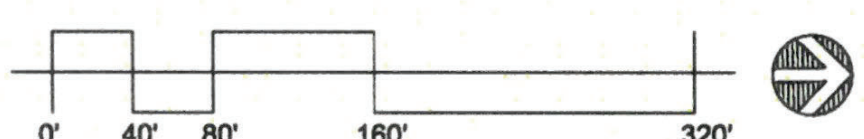
Benchmark -NAVD 88

ACS MONUMENT *4-016* HAVING AN ELEVATION OF 5298.64.

Easement Notes

- (29) (29) 1 EXISTING 10' P.U.E. (8/7/2008, 2008C-175) AND AS SHOWN ON PLAT (12/29/2017, 2017C-159)
- (29) (29) 2 EXISTING 30' PUBLIC PEDESTRIAN ACCESS EASEMENT (8/7/2008, 2008C-175) AND AS SHOWN ON PLAT AND AS SHOWN ON PLAT (12/29/2017, 2017C-159)
- (29) (29) 3 EXISTING 50' PUBLIC ROADWAY EASEMENT (8/7/2008, 2008C-175) AND AS SHOWN ON PLAT (12/29/2017, 2017C-159)
- (29) (29) 4 EXISTING 40' PNM TRANSMISSION LINE EASEMENT (8/7/2008, 2008C-175) AND AS SHOWN ON PLAT (12/29/2017, 2017C-159)
- (29) (29) 5 EXISTING 10' PNM EASEMENT (10/16/2008, DOC. NO. 2008113343) AND AS SHOWN ON PLAT (12/29/2017, 2017C-159)
- (29) (29) 6 EXISTING 30' PERMANENT PRIVATE ACCESS EASEMENT (12/29/2017, 2017C-159) AND AS SHOWN ON PLAT (12/29/2017, 2017C-159) SEE REPAIR AND MAINTENANCE AGREEMENT (2/21/2020, DOC. NO. 2020016464)
- (29) (29) 7 EXISTING 20' PRIVATE UTILITY EASEMENT (12/29/2017, 2017C-159) AND AS SHOWN ON PLAT (12/29/2017, 2017C-159)
- (29) (29) 8 EXISTING 50' PNM TRANSMISSION LINE EASEMENT (8/7/2008, 2008C-175) AND AS SHOWN ON PLAT (12/29/2017, 2017C-159)
- (15) (9) EXISTING NON-EXCLUSIVE ACCESS EASEMENT OVER COMMON AREAS (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)
- (15) (10) EXISTING PERPETUAL NON-EXCLUSIVE UTILITY ACCESS EASEMENT (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)
- (15) (11) EXISTING EASEMENT FOR MAINTENANCE, EMERGENCY AND ENFORCEMENT OF UTILITIES AND STRUCTURES (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)
- (15) (12) EXISTING TEMPORARY CONSTRUCTION EASEMENTS OVER COMMON AREAS FOR INGRESS/EGRESS, SLOPE AND INSTALLATION OF DRAINAGE, WATER, STORM DRAINAGE, SANITARY SEWER AND OTHER UTILITIES AS WELL AS EQUIPMENT, MATERIALS AND SUPPLY STORAGE (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)
- (15) (13) EXISTING RECIPROCAL, APPURTENANT EASEMENTS OF ENCROACHMENTS, AND MAINTENANCE USE OF ALL PERMITTED ENCROACHMENTS (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)
- (15) (14) EXISTING RECIPROCAL, APPURTENANT EASEMENTS OVER, UNDER, ACROSS AND BETWEEN PARCELS AND COMMON AREAS FOR THE INSTALLATION AND MAINTENANCE OF FOOTINGS, FOUNDATION SUPPORT SYSTEMS, SHEETING ETC. (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)
- (15) (15) EXISTING RECIPROCAL APPURTENANT EASEMENT OVER AND BETWEEN PARCELS AND COMMON AREAS FOR THE USE OF AIR SPACE (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)
- (15) (16) EXISTING SIGHTLINE EASEMENT FOR THE PURPOSE OF PRESERVING OR PROTECTING VIEWS FROM OR TO PARTICULAR PARCELS (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)

A1 DRAINAGE PLAN - EXISTING CONDITIONS
SCALE: 1" = 80'-0"



ARCHITECT/ENGINEER



ROSES SOUTHWEST PAPERS
CRICK CROSSING
ALBUQUERQUE, NEW MEXICO

BUILDING PERMIT SET

REVISION	DATE
1 VE REVISIONS	9/16/24

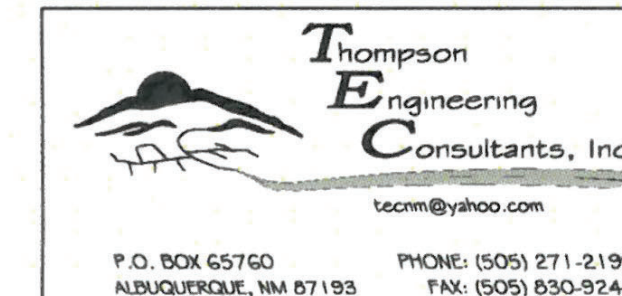
DATE 10/16/23

PROJECT NO

DRAINAGE PLAN - EXISTING CONDITIONS

SHEET NO.

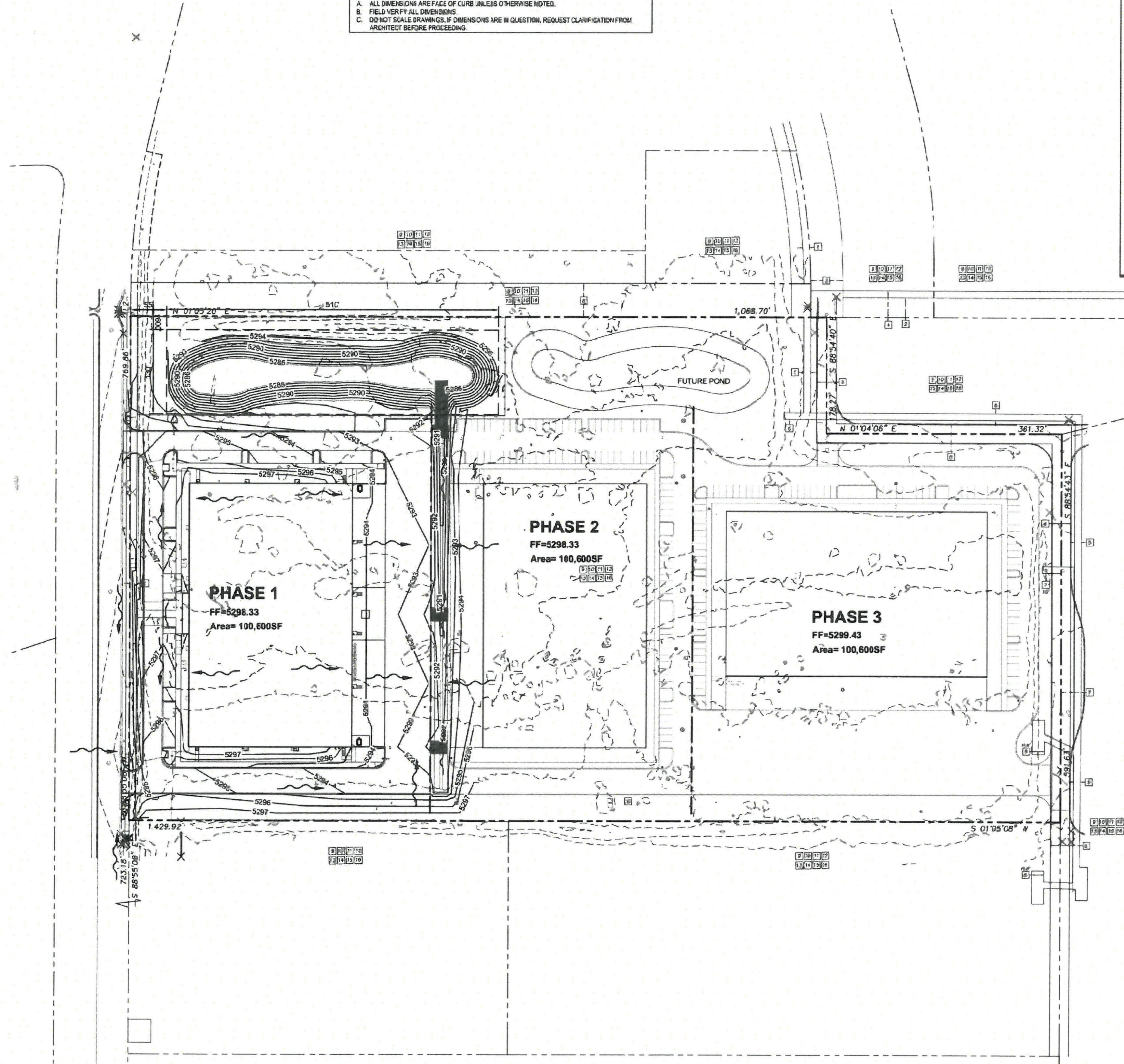
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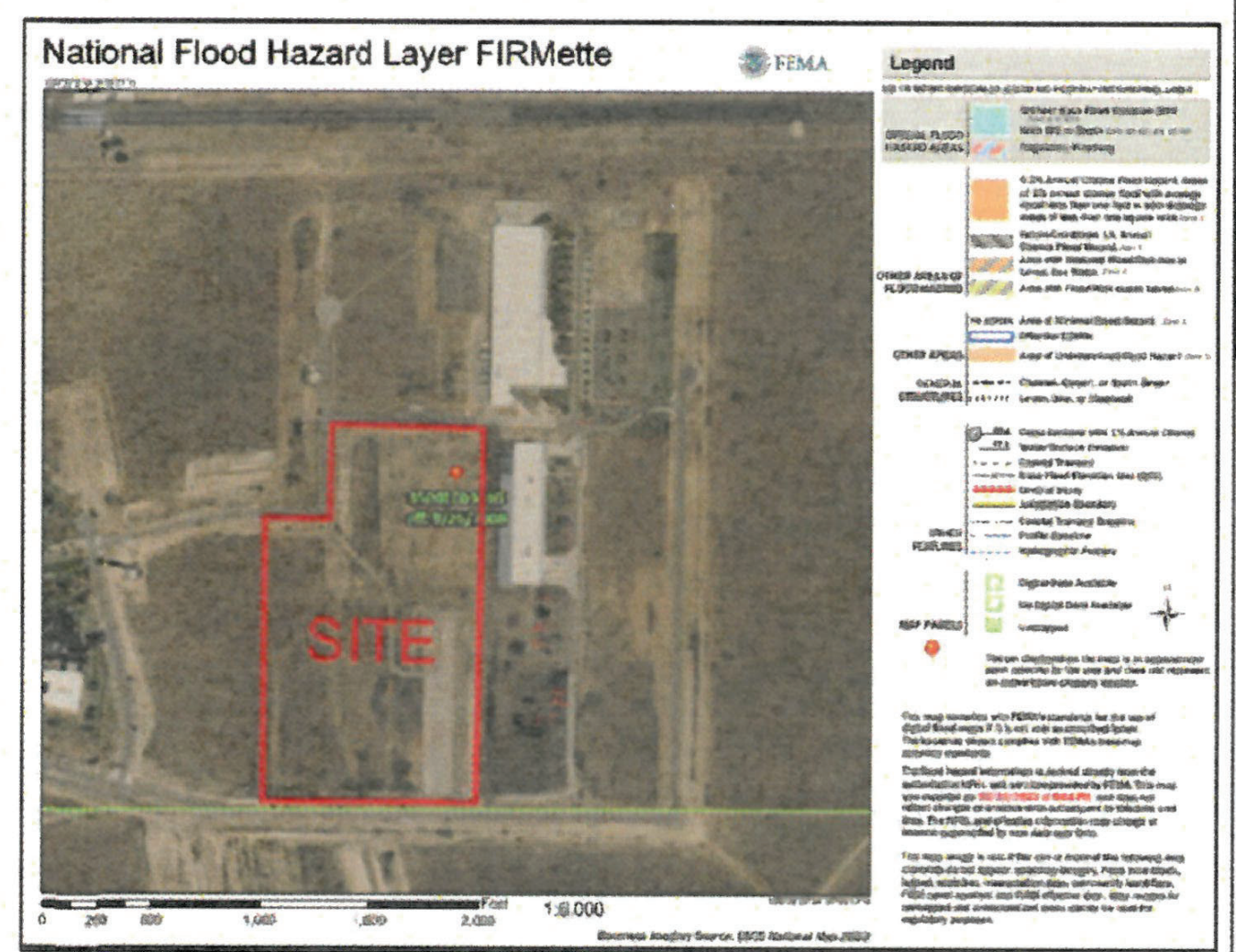
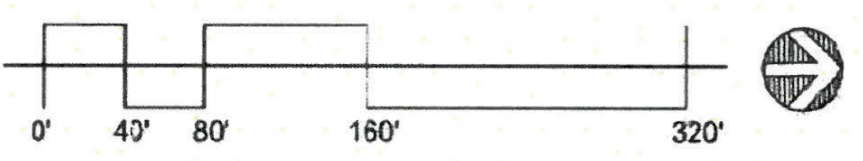
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GENERAL NOTES

A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
 B. FIELD VERIFY ALL DIMENSIONS.
 C. DO NOT SCALE DRAWINGS, IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.

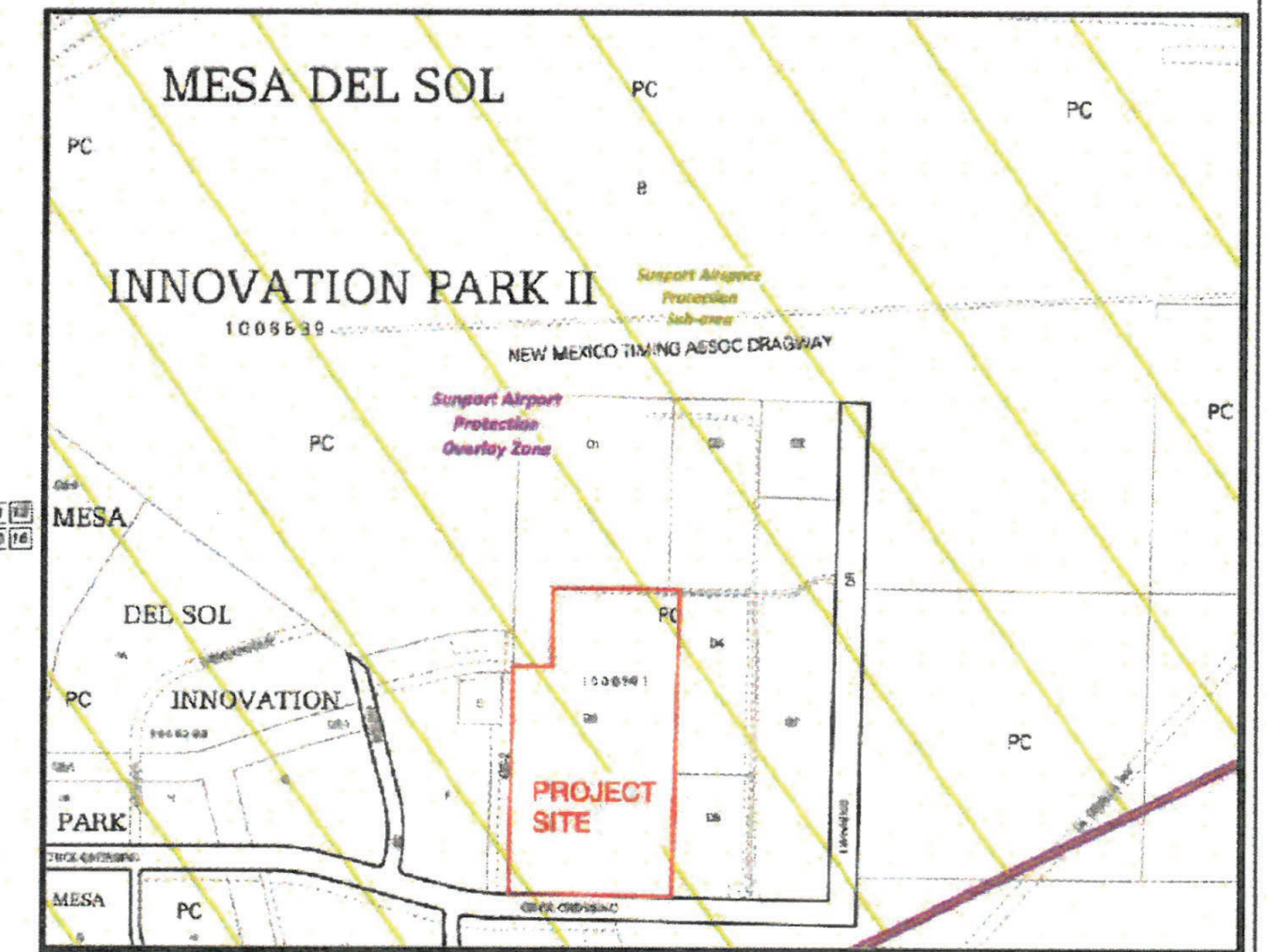


A1 DRAINAGE PLAN - OVERALL
 SCALE 1"=80'-0"



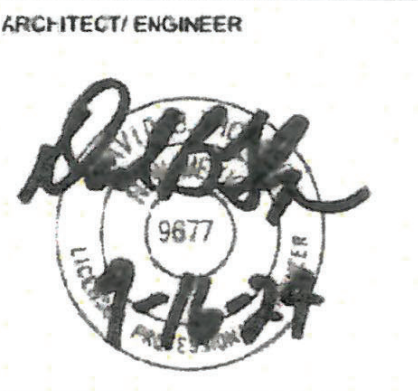
D4 FEMA FIRMETTE
 NOT TO SCALE

BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE "X" WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C03E3G, DATED SEPTEMBER 26, 2008.



D1 ZONE ATLAS PAGE Q-16-Z
 NOT TO SCALE

Thompson Engineering Consultants, Inc.
 P.O. BOX 46750 ALBUQUERQUE, NM 87175
 PHONE: (505) 271-2199 FAX: (505) 271-3948



ROSES SOUTHWEST PAPERS
 ERICK CROSSLING
 ALBUQUERQUE, NEW MEXICO

BUILDING PERMIT SET

REVISION	DATE
T	1/2 REVISIONS 9/16/24

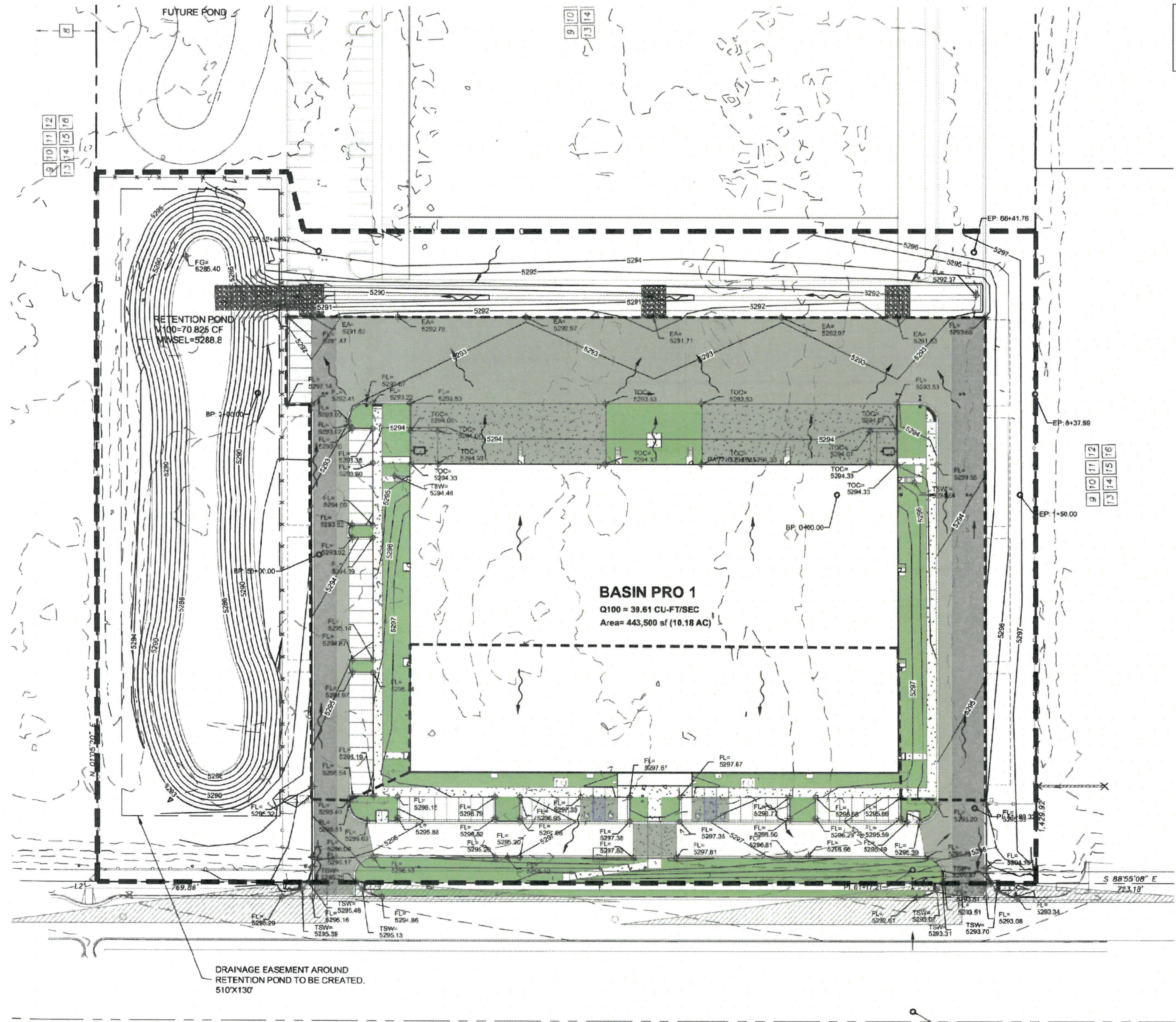
DATE 10/18/22
 PROJECT NO.

DRAINAGE PLAN - OVERALL

SHEET NO.

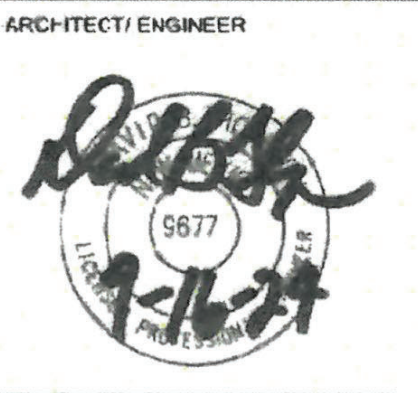
CD-1

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GENERAL NOTES

A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
 B. FIELD VERIFY ALL DIMENSIONS.
 C. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.



ROSES SOUTHWEST PAPERS
 CRICK CROSSING
 ALBUQUERQUE, NEW MEXICO

MATERIAL LEGEND

	HEAVY DUTY ASPHALT PER DETAIL C1/C-501
	PARKING LOT ASPHALT PER DETAIL D1/C-501
	HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501
	4" THICK CONCRETE SIDEWALK PER DETAIL B4/C-501
	RIPPRAP EROSION PROTECTION, SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	EARTHEN POND, SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	LANDSCAPING AREA

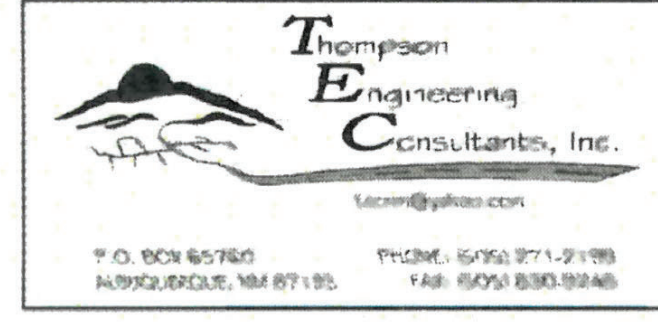
BUILDING PERMIT SET

REVISION	DATE
1	VE REVISIONS 9/16/24

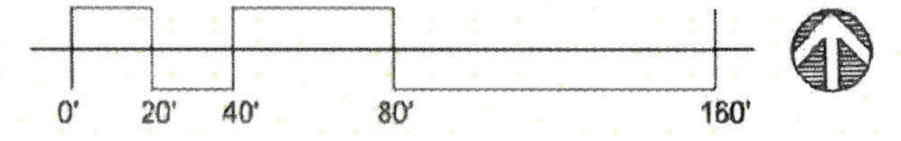
DATE 10/18/22
 PROJECT NO.

DRAINAGE PLAN - PHASE 1 ENLARGED

SHEET NO.
CD-2



(A1) DRAINAGE PLAN - PHASE 1 ENLARGED
 SCALE: 1" = 40'-0"



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I. PURPOSE AND SCOPE

THE PURPOSE OF THIS DRAINAGE PLAN IS TO PRESENT THE EXISTING AND PROPOSED DRAINAGE CONDITIONS FOR THE PROPOSED ROSES SOUTHWEST PAPERS PROJECT. THE NEW BUILDING IS LOCATED ON CRICK CROSSING SW, IN MESA DEL SOL, IN SOUTHWEST ALBUQUERQUE. THE ZONE ATLAS PAGE FOR THE SITE IS Q-16-Z.

II. SITE DESCRIPTION AND HISTORY

THE PROJECT SITE IS LOCATED ON THE NORTH SIDE OF CRICK AVENUE SW, WEST OF HANKING DRIVE SW, IN MESA DEL SOL. THE SITE IS CURRENTLY VACANT. PROPERTIES TO THE EAST AND NORTH HAVE BEEN DEVELOPED AND CONTAIN STORMWATER MANAGEMENT PONDS TO CONTROL RUNOFF. THE MESA DEL SOL COMMUNITY MASTER PLAN REQUIRES THAT ALL PARCELS CONTAIN THE 100-YEAR STORM RUNOFF EVENT IN RETENTION PONDS.

III. COMPUTATIONAL PROCEDURES

HYDROLOGIC ANALYSIS WAS PERFORMED UTILIZING THE DESIGN CRITERIA BASED ON CHAPTER 6, HYDROLOGY, OF THE DEVELOPMENT PROCESS MANUAL RELEASED 2020. TABLES WITHIN CHAPTER 6, WERE USED TO AID IN THE STUDY OF THE SITE HYDROLOGY.

IV. PRECIPITATION

THE STORM EVENT USED FOR THE FOLLOWING CALCULATIONS IS THE 100YR-24HR STORM. THE PROJECT SITE IS LOCATED IN ZONE 3 (EAST OF RIO GRANDE, SOUTH OF 40 AND WITHIN TOWNSHIP 4E).

V. EXISTING DRAINAGE CONDITIONS

THE SITE IS CURRENTLY UNDEVELOPED. THE SITE TO THE EAST IS FULLY DEVELOPED. THE SITE IS BOUNDED ON THE NORTH BY A PRIVATE DRIVE THAT IS UTILIZED BY KAIROS POWER FOR ACCESS. THE SITE IS BOUNDED ON THE SOUTH BY CRICK CROSSING THAT HAS THE NORTH HALF STREET SECTION DEVELOPED. NO RUNOFF FROM ADJACENT SITES IS ANTICIPATED.

THE SITE GENERALLY DRAINS FROM EAST TO WEST BUT HAS VERY LITTLE SLOPE. A MAJORITY OF EXCESS RUNOFF WOULD CURRENTLY BE CAUGHT IN LOCAL DEPRESSION AND ALLOWED TO SOAK INTO THE GROUND. INFILTRATION RATES WERE MEASURED BY THE GEOTECHNICAL ENGINEER AT 8" PER HOUR.

CRICK CROSSING CONTAINS PUBLIC STORMWATER COLLECTION AND CONVEYANCE PIPING BUT DISCHARGE INTO THE SYSTEM IS LIMITED TO THE ROADWAY AND MINOR DISCHARGE AT DRIVEWAYS. AS MENTIONED IN THE SITE DESCRIPTION AND HISTORY PORTION, THE MASTER PLAN FOR MESA DEL SOL REQUIRES THAT ALL PARCELS PROVIDE FULL RETENTION OF EXCESS FOR OFF FOR THE 100-YEAR -24 HOUR STORM RUNOFF EVENT (PROVIDED INFILTRATION WILL DRAIN THE POND PRIOR TO THE NEXT STORM EVENT).

VI. PROPOSED DRAINAGE CONDITIONS

THE NEW BUILDING WILL BE 100,000 SF WAREHOUSE/MANUFACTURING BUILDING. THE FRONT AND SIDES WILL BE GENERALLY BE AT GRADE TO ALLOW FOR EASY ACCESS FOR PEDESTRIANS, AND DUE TO NFPA REQUIRING ACCESS DOORS AT 10' INTERVALS. THE NORTH SIDE OF THE BUILDING WILL BE A LOADING DOCK, SO THERE WILL BE A 4" DROP FROM FINISHED FLOOR TO DOCK GRADE.

THE SITE FOR PHASE 1, ALL DRAINS TO THE RETENTION POND ON THE WEST SIDE OF THE SITE. THE ROOF WILL DRAIN BOTH NORTH AND SOUTH. 60% OF THE ROOF WILL DRAIN TO THE DOCK SIDE. ALONG THE SOUTH SIDE OF THE SITE IN THE PARKING AREA, A CONCRETE VALLEY GUTTER WILL CONVEY RUNOFF TO THE ACCESS DRIVES THAT DRAIN NORTH. A WATER BLOCK HAS BEEN SET AT CLOSE AS POSSIBLE TO THE DRIVEWAYS TO CAPTURE STORM RUNOFF. A SMALL AREA AT EACH DRIVEWAY WILL SPILL OUT INTO CRICK CROSSING AND WILL BE COLLECTED IN THE SLUMP CONDITION TYPE A CATCH BASIN NEAR THE EASTERN ENTRANCE DRIVE. THE INCREASE TO THE STREET RUNOFF IS LESS THAN 2,000 SF AND THEREFORE LESS THAN 0.1 CFS. THIS IS A NEGLIGIBLE INCREASE. AN 18" HDPE STORM PIPE WILL CONVEY THE STORM RUNOFF FROM THE FOUR CATCH BASINS TO THE RETENTION POND.

NORTHERN (60% OF ROOF) ROOF RUNOFF WILL BE COLLECTED IN INTERNAL ROOF DRAINS AND ROUTED INTERNALLY TO DISCHARGE THROUGH THE 4" TALL STEM WALL AT THE LOADING DOCK. FROM THERE, THE RUNOFF WILL SHEET FLOW OVER TO AN EARTHEN CHANNEL THAT IS JUST BEYOND THE PHASE 1 PAVING LIMITS. IN THE SUBSEQUENT PHASE, AN UNDERGROUND CONVEYANCE SYSTEM WILL BE DESIGNED AND INSTALLED TO CONVEY STORM RUNOFF TO THE RETENTION POND TO THE WEST.

THE EARTHEN CHANNEL WILL HAVE A 3" WIDE BOTTOM AND 3:1 SIDE SLOPE AND DRAIN TO THE WEST WITH A 0.8% SLOPE. CAPACITY OF THE OVERALL CHANNEL IS 140CFS. DEPTH WILL BE APPROXIMATELY 1.2 FEET TO CONVEY THE 100-YEAR, 6-HOUR STORM EVENT RUNOFF OF 39.61CFS.

INFILTRATION WAS CONFIRMED BY THE GEOTECHNICAL ENGINEER AS 8" PER HOUR. THE EXCESS RUNOFF FROM THE 100-YEAR 6-HOUR EVENT IS 39.61 CFS. THE RUNOFF VOLUME AS REQUIRED BY THE MESA DEL SOL COMMUNITY MASTERPLAN IS 2.1 ACRE- FEET FOR THE 100-YEAR -24 HOUR EVENT. THE PROPOSED POND IS 3.0' DEEP TO THE MWSL (PLUS OVER 2' OF FREEBOARD). THE INFILTRATION OF 8" PER HOUR (4.16 CFS) WOULD BE REQUIRED OVER 11.2 HOURS TO SOAK IN COMPLETELY. THEREFORE THE POND HAS BEEN SIZED TO CONTAIN SINGLE 100-YEAR. THE EXCESS RUNOFF VOLUME ENTERING THE POND IS 2.1 ACRE FEET.

VII. CONCLUSIONS

THE SITE HAS BEEN DESIGNED TO COLLECT AND CONVEY THE 100-YEAR, 6-HOUR PEAK RUNOFF RATE OF 39.61 CFS. THE FULL RETENTION POND AS REQUIRED BY THE MESA DEL SOL COMMUNITY MASTER PLAN HAS BEEN SIZED TO FULLY CONTAIN SINGLE 100-YEAR EVENT SINCE THE INFILTRATION RATE IS 8" PER HOUR AND WILL BE FULLY ABSORBED PRIOR TO THE NEXT POTENTIAL MONSOON EVENT.

FUTURE PHASES WILL REQUIRE THE EXPANSION OF THE STORM POND. COMPUTATIONS HAVE BEEN INCLUDED FOR THE FULL BUILDOUT AS CURRENTLY PLANNED, AND THE FULL RETENTION POND CAN EASILY BE ACCOMMODATED.

Pond Routing and Volumes		Full Buildout	Phase 1	
Incoming Flow Rate	Qin	94.93	36.61	cfs
Allowable Discharge Rate	Qout	3.5	4.16	cfs
Hydrology Zone		3	3	per Figure A-1
Area Total	At	23,792	10,181	acres
Area Type A	Aa	0	0	%
Area Type B	Ab	25	30	%
Area Type C	Ac	0	0	%
Area Type D Impervious	Ad	75	70	%
Excess runoff rates	A	0.67	0.67	
	B	0.86	0.86	
	C	1.09	1.09	
	D	2.58	2.58	
Weighted E (Excess Runoff)		2.15	2.08	
Time of Concentration		0.2	0.2	hours
Time to Peak		0.211	0.215	hours
$=0.7T_c + (1.6(Ad/At)^{1/2})$				
Time of Base		0.948	0.343	hours
$=2.107E^{-0.05(Ad/At)}$				
Duration of Peak		0.188	0.176	hours
Time for end of peak		0.389	0.360	hours
Time when storage begins		0.028	0.023	hours
Time incoming is less than discharge		0.028	0.034	hours
Volume Required during storm	acre-inch	50,928	18,848	acre inch
Volume Required during storm	cf	184,852	67,691	cubic feet
Volume Stored in Pond during storm	cf	220,780	70,625	cubic feet

TABLE 6.2.7 Precipitation Zones

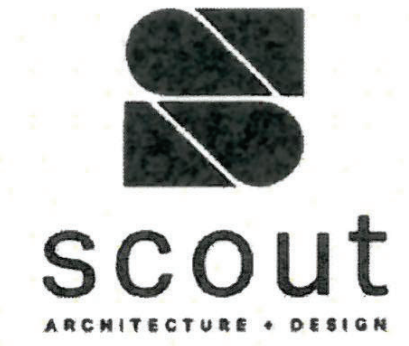
Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40 and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40 and East of the East boundary of Range 4 East, South of Interstate 40

Not including the Cibola National Forest

Infiltration Rates		
Per GeoMAT Report Perc Rate	6" per hour	inches per hour
	5 ft / hour	ft / hour
		0.0001289 ft/sec
Pond area	29,931 sf	
Infiltration Flow Rate	4.16 cfs	

Drainage Summary

Project:	Roses Southwest Papers			
Project Number:	TEC Roses SW Papers			
Date:	09/19/23			
By:	MTC			
Site Location				
Precipitation Zone	3 Per COA DPM Chapter 6			
Existing summary				
Basin Name	Ex Basin 1			
Area (sf)	1036392.4			
Area (acres)	23.79			
%A Land treatment	0			
%B Land treatment	80			
%C Land treatment	20			
%D Land treatment	0			
Soil Treatment (acres)				
Area "A"	0.00			
Area "B"	19.03			
Area "C"	4.76			
Area "D"	0.00			
Excess Runoff (acre-feet)				
100yr. 6hr.	1.7063	acre-ft		
10yr. 6hr.	0.7456	acre-ft		
2yr. 6hr.	0.1546	acre-ft		
100yr. 24hr.	1.7063	acre-ft		
Peak Discharge (cfs)				
100 yr.	62.48	cfs		
10yr.	26.41	cfs		
2yr.	6.23	cfs		
Proposed summary				
Basin Name	Overall Site	Phase 1	North SubBasin	
Area (sf)	1036392.4	443500	168977.5	
Area (acres)	23.792	10.181	3.879	
%A Land treatment	25	30	10	
%B Land treatment	75	70	90	
%C Land treatment				
%D Land treatment				
Soil Treatment (acres)				
Area "A"	0.00	0.00	0.00	
Area "B"	5.95	3.05	0.39	
Area "C"	0.00	0.00	0.00	
Area "D"	17.84	7.13	3.49	
Excess Runoff (acre-feet)				
100yr. 6hr.	4.2628	1.7512	0.7784	acre-ft.
10yr. 6hr.	2.6072	1.0606	0.4881	acre-ft.
2yr. 6hr.	1.5862	0.5363	0.3071	acre-ft.
100yr. 24hr.	5.1342	2.0962	0.9489	acre-ft.
100yr. 10day	6.7461	2.7430	1.2843	acre-ft.
Peak Discharge (cfs)				
100 yr.	94.93	36.61	16.64	cfs
10yr.	56.51	23.29	10.23	cfs
2yr.	31.76	12.79	6.10	cfs
Water Quality Pounding Volume (cf)				
	22023.3	8706.1	4308.0	cf
Water Quality Acre Feet				
	0.5056	0.2015	0.0989	acre-ft



ARCHITECT/ENGINEER



ROSES SOUTHWEST PAPERS
CRICK CROSSING
ALBUQUERQUE, NEW MEXICO

BUILDING PERMIT SET

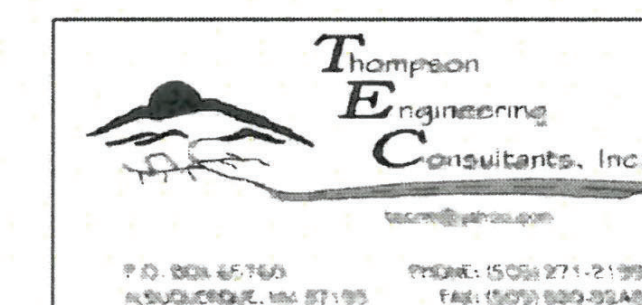
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DATE 10/16/23
PROJECT NO.

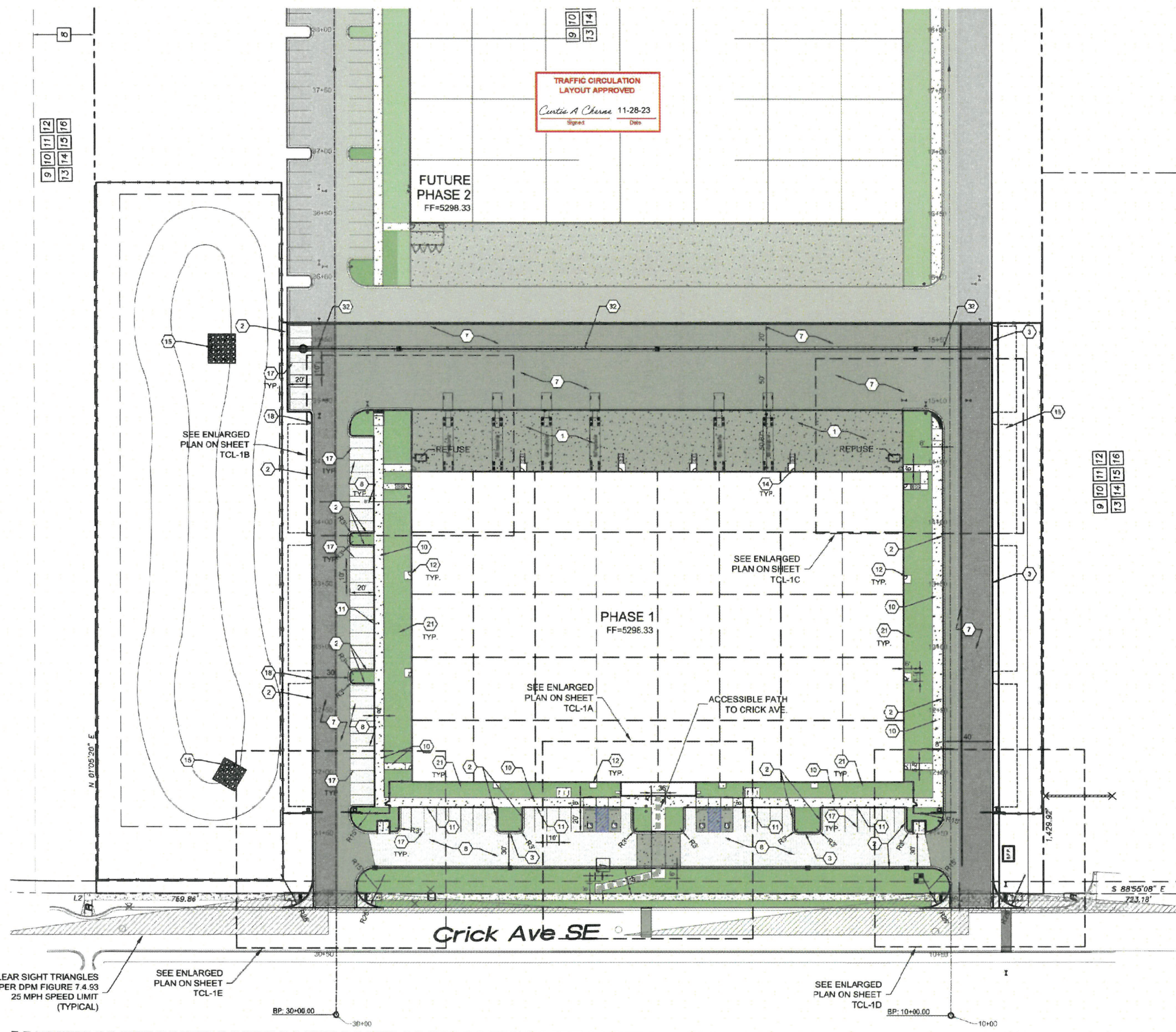
SITE DRAINAGE PLAN - NARRATIVE AND CALCULATIONS

SHEET NO.

CD-3



P.O. BOX 67160 ALBUQUERQUE, NM 87195 PHONE: (505) 971-2199 FAX: (505) 939-9348



TRAFFIC CIRCULATION
LAYOUT APPROVED
Curtis A. Chene 11-28-23
Signed Date

FUTURE
PHASE 2
FF=5296.33

PHASE 1
FF=5296.33

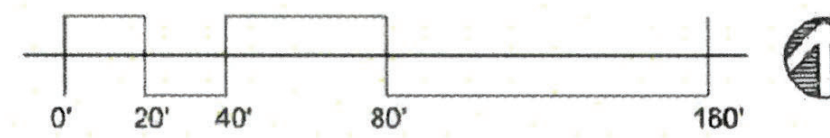
Crick Ave SE

CLEAR SIGHT TRIANGLES
PER DPM FIGURE 7.4.53
25 MPH SPEED LIMIT
(TYPICAL)

SEE ENLARGED
PLAN ON SHEET
TCL-1E

SEE ENLARGED
PLAN ON SHEET
TCL-1D

TRAFFIC CIRCULATION LAYOUT
- PHASE 1
SCALE: 1" = 40'-0"



GENERAL NOTES

- A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
- B. FIELD VERIFY ALL DIMENSIONS.
- C. DO NOT SCALE DRAWINGS; IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER BEFORE PROCEEDING.
- D. SEE SHEET COVER FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINE/TYPE LEGEND THAT APPLY TO ALL SHEETS.
- E. PAVING PLAN KEYED NOTES ARE COMMON TO ALL SHEETS. NOT ALL KEYED NOTES WILL APPEAR ON EVERY PAGE.
- F. REFER TO PLAN FOR EASEMENT DEFINITIONS.
- G. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW CONCRETE SIDEWALK.
- H. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH C.E.ARSIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

KEYED NOTES

1. HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D1C-501.
2. 8" STANDARD CURB AND GUTTER PER DETAIL ASC-501.
3. 6" DEPRESSED CURB AND GUTTER PER DETAIL ASC-501.
4. RUNDOWN DEPRESSED GUTTER PER DETAIL ASC-501.
5. 6" HAZARD CURB PER DETAIL ASC-501.
6. CURB TRANSITION PER DETAIL AAC-501.
7. HEAVY DUTY ASPHALT PAVEMENT PER DETAIL D1C-501.
8. PARKING LOT ASPHALT PAVEMENT PER DETAIL D1C-501.
9. CONCRETE CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD DWG 2441 THRU 2446.
10. CONCRETE SIDEWALK PER DETAIL B4C-501.
11. TURNDOWN EDGE ON SIDEWALK PER DETAIL E4C-501.
12. CONCRETE STOOP PER DETAIL C1C-501.
13. CONCRETE SREED TABLE, CONCRETE PAVEMENT PER DETAIL D4C-501.
14. STAIRS WITH HANDRAILS PER DETAIL A2C-501 AND C2C-501.
15. RFP RAP EROSION PROTECTION PER DETAIL D4C-501.
16. CONCRETE EQUIPMENT PAD UNDER NEW TRANSFORMER PER DETAIL A3C-504. SEE ELECTRICAL PANS SHEET ES-101 FOR ADDITIONAL REQUIREMENTS.
17. 4" WIDE WHITE TRAFFIC PARKING.
18. PAINT CURB RED WITH 8" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
19. PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 4" AND 8" TALL.
20. 3" WIDE X 6" TALL PERSONNEL GATE PER DETAIL F3C-504.
21. SEE LANDSCAPING PLANS FOR DETAILS.
22. 8" CONCRETE BOLLARDS AT REFUSE CONTAINER PER DETAIL ABG-501.
23. CONCRETE MASONRY SCREEN WALL 6" TALL PER STRUCTURAL PLANS.
24. RESERVED PARKING SYMBOL PER DETAIL C6C-502.
25. 12" TALL WHITE LETTERS "NO PARKING".
26. UNLOADING ZONE PER DETAIL A3C-502.
27. VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL E9C-502.
28. RESERVED PARKING SIGN PER DETAIL E9C-502.
29. ADA COMPLIANT CURB ACCESS RAMP PER DETAIL A1C-502 AND COA DETAILS 2440.
30. PARKING BLOCK PER DETAIL F2C-501.
31. MONUMENT SIGN BASE, SEE ARCHITECTURAL FOR DETAILS.
32. 4" WIDE CONCRETE VALLEY GUTTER PER DETAIL E5C-501.
33. 6" TALL WROUGHT IRON FENCE PER DETAIL B4C-504.
34. PAIR 20" WIDE WROUGHT IRON SLIDING GATES.
35. PAIR 18" WIDE WROUGHT IRON SLIDING GATES.
36. GATE OPERATOR.
37. REFUSE PAD PER DETAIL C1C-502.
38. RETENTION POND, SEE SHEETS C-201 AND C-202.
39. CONCRETE CURB AND GUTTER PER COA STD DWG #115A.
40. CONCRETE VALLEY GUTTER PER COA STD DWG 2450.
41. CONCRETE SPLASH BLOCK PER DETAIL A1C-501.
42. AREA RESERVED FOR FUTURE PARKING.
43. 12" TALL LETTERS FOR MOTORCYCLES "MC".
44. RESERVED PARKING SIGN "MOTORCYCLES ONLY".
45. BIKE RACK PER DETAIL F9C-511. 4" SPACING BETWEEN HOOPS.
46. INFILL MISSING CONCRETE SIDEWALK PER COA STD DWG 2440.
47. ASPHALT UTILITY PATCH PER COA STD DWG 2465.
48. MEDIAN CURB AND GUTTER TO MATCH EXISTING PER COA STD DWG 2415B.

MATERIAL LEGEND

- HEAVY DUTY ASPHALT PER DETAIL D1C-501
- PARKING LOT ASPHALT PER DETAIL D1C-501
- HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4C-501
- 4" THICK CONCRETE SIDEWALK PER DETAIL B4C-501
- EROSION PROTECTION, SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
- EARTHEN POND, SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
- LANDSCAPING AREA



ARCHITECT/ENGINEER
[Signature]
9677

ROSES SOUTHWEST PAPERS
CRICK CROSSING
ALBUQUERQUE, NEW MEXICO

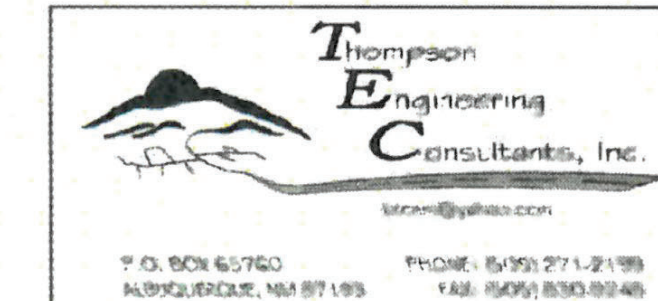
BUILDING PERMIT SET

REVISION DATE

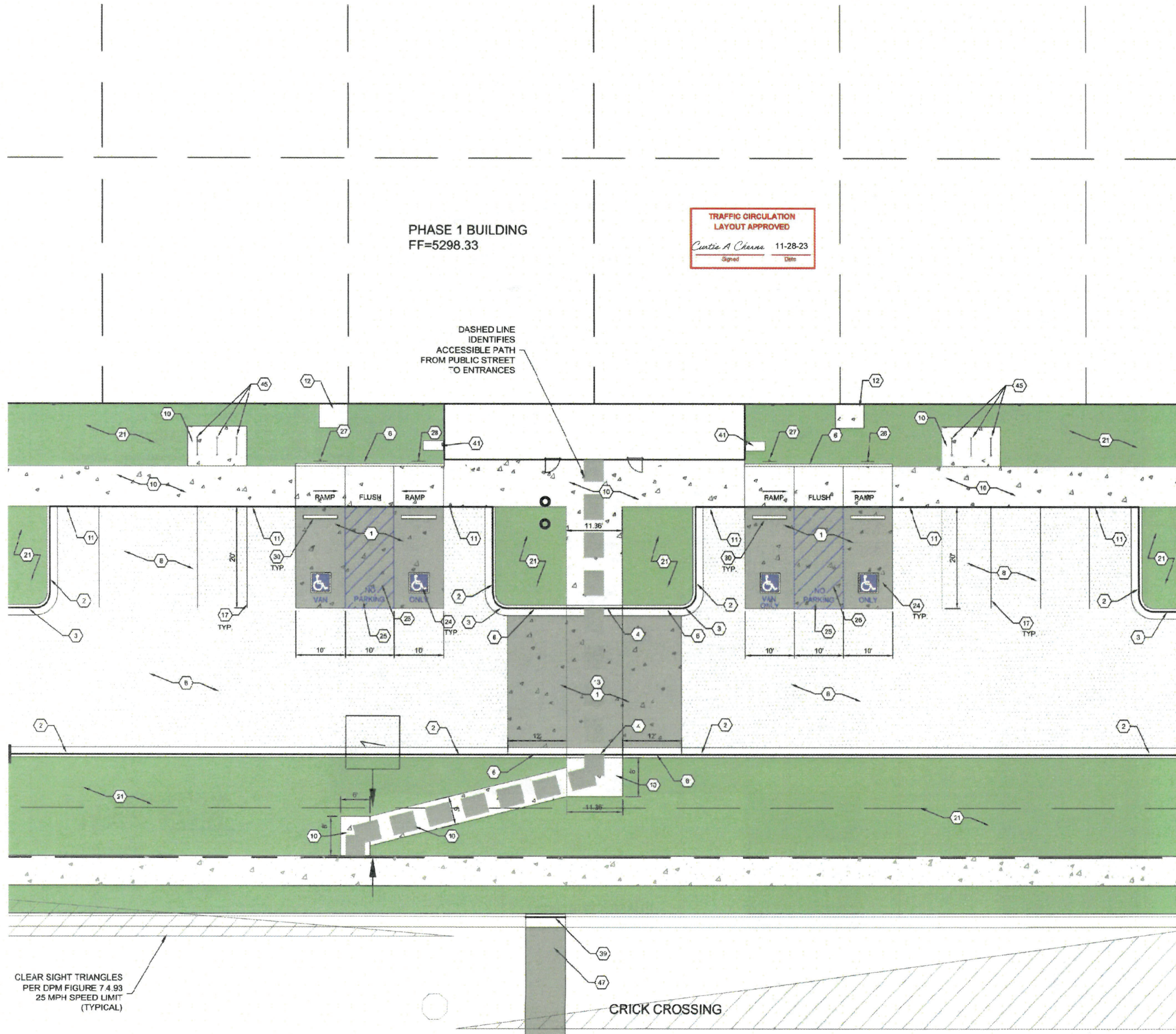
DATE 10/18/23
PROJECT NO.

TRAFFIC CIRCULATION LAYOUT - PHASE 1

SHEET NO.
TCL-1



01/20/23 10:07:53 PM



TRAFFIC CIRCULATION LAYOUT APPROVED
Curtis A. Cheema 11-28-23
Signed Date

PHASE 1 BUILDING
FF=5298.33

DASHED LINE IDENTIFIES ACCESSIBLE PATH FROM PUBLIC STREET TO ENTRANCES

GENERAL NOTES

1. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
2. FIELD VERIFY ALL DIMENSIONS.
3. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER BEFORE PROCEEDING.
4. SEE SHEET C001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOLLINE/TYPE LEGEND THAT APPLY TO ALL SHEETS.
5. PAVING PLAN KEYED NOTES ARE COMMON TO ALL SHEETS. NOT ALL KEYED NOTES WILL APPEAR ON EVERY PAGE.
6. REFER TO PLAN FOR EASEMENT DEFINITIONS.
7. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW CONCRETE SIDEWALK.
8. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER FAN WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

KEYED NOTES

1. HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4C-501.
2. 6" 8" AND 10" CURB AND GUTTER PER DETAIL A5C-501.
3. 6" DEPRESSED CURB AND GUTTER PER DETAIL A5C-501.
4. RUNDOWN DEPRESSED GUTTER PER DETAIL A5C-501.
5. 6" HEADER CURB PER DETAIL A5C-501.
6. CURB TRANSITION PER DETAIL A4C-501.
7. HEAVY DUTY ASPHALT PAVEMENT PER DETAIL D1C-501.
8. PARKING LOT ASPHALT PAVEMENT PER DETAIL D1C-501.
9. CONCRETE CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD DWG 2041 THRU 2046.
10. CONCRETE SIDEWALK PER DETAIL B4C-501.
11. TURNDOWN EDGE ON SIDEWALK PER DETAIL E4C-501.
12. CONCRETE STOOP PER DETAIL C1C-501.
13. CONCRETE SPEED TABLE CONCRETE PAVEMENT PER DETAIL D4C-501.
14. STAIRS WITH HANDRAILS PER DETAIL A5C-501 AND C2C-501.
15. RIP RAP EROSION PROTECTION PER DETAIL D3C-501.
16. CONCRETE EQUIPMENT PAD UNDER NEW TRANSFORMER PER DETAIL A9C-501. SEE ELECTRICAL PLANS SHEET ES-101 FOR ADDITIONAL REQUIREMENTS.
17. 4" WIDE WHITE TRAFFIC PAVERS.
18. PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
19. PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 2" AND 6" TALL.
20. 3" WIDE X 6" TALL PERSONNEL GATE PER DETAIL F3C-501.
21. SEE LANDSCAPING PLANS FOR DETAILS.
22. 6" CONCRETE BOLLARDS AT REFUSE CONTAINER PER DETAIL A2C-501.
23. CONCRETE MASONRY SCREEN WALL 6" TALL PER STRUCTURAL PLANS.
24. RESERVED PARKING SYMBOL PER DETAIL O5C-502.
25. 12" TALL WHITE LETTERS "NO PARKING".
26. UNLOADING ZONE PER DETAIL A3C-502.
27. VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL E5C-502.
28. RESERVED PARKING SIGN PER DETAIL E5C-502.
29. ADA COMPLIANT CURB ACCESS RAMP PER DETAIL A1C-501 AND C0A DETAIL S 2440.
30. PARKING BLOCK PER DETAIL F2C-501.
31. MONUMENT SIGN BASE. SEE ARCHITECTURAL FOR DETAILS.
32. 4" WIDE CONCRETE VALLEY GUTTER PER DETAIL E3C-501.
33. 6" TALL WROUGHT IRON FENCE PER DETAIL B1C-501.
34. PAIR 20" WIDE WROUGHT IRON SLICING GATES.
35. PAIR 6" WIDE WROUGHT IRON SLICING GATES.
36. GATE OPERATOR.
37. REFUSE PAD PER DETAIL C1C-502.
38. RETENTION POND. SEE SHEETS C-201 AND C-202.
39. CONCRETE CURB AND GUTTER PER C0A STD DWG 2415A.
40. CONCRETE VALLEY GUTTER PER C0A STD DWG 2420.
41. CONCRETE SPLASH BLOCK PER DETAIL A1C-501.
42. AREA RESERVED FOR FUTURE PARKING.
43. 12" TALL LETTERS FOR MOTORCYCLES "MC".
44. RESERVED PARKING SIGN "MOTORCYCLES ONLY".
45. BIKE RACK PER DETAIL F3C-501. 4" SPACING BETWEEN HOOPS.
46. INFILL MISSING CONCRETE SIDEWALK PER C0A STD DWG 2416.
47. ASPHALT UTILITY PATCH PER C0A STD DWG 2465.
48. MEDIAN CURB AND GUTTER TO MATCH EXISTING PER C0A STD DWG 2415B.

MATERIAL LEGEND

- HEAVY DUTY ASPHALT PER DETAIL D1C-501
- PARKING LOT ASPHALT PER DETAIL D1C-501
- HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4C-501
- 4" THICK CONCRETE SIDEWALK PER DETAIL B4C-501
- EROSION PROTECTION, SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
- EARTHEN POND, SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
- LANDSCAPING AREA

BUILDING PERMIT SET

REVISION DATE

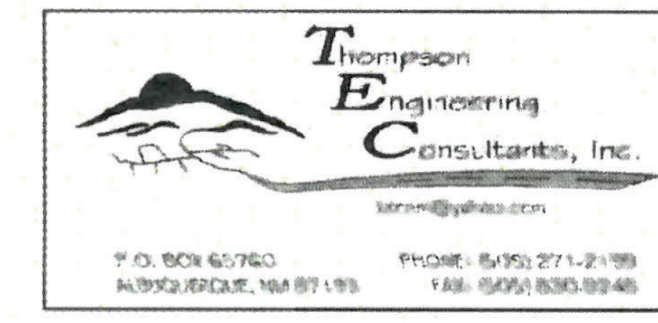
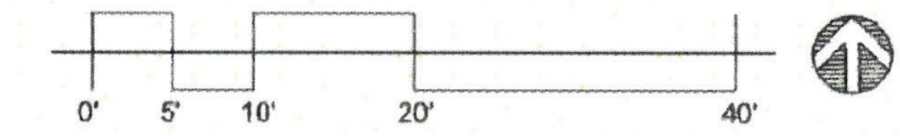
DATE 10/18/23
PROJECT NO.

TRAFFIC CIRCULATION LAYOUT - PHASE 1 ENLARGED

SHEET NO.

TCL-1A

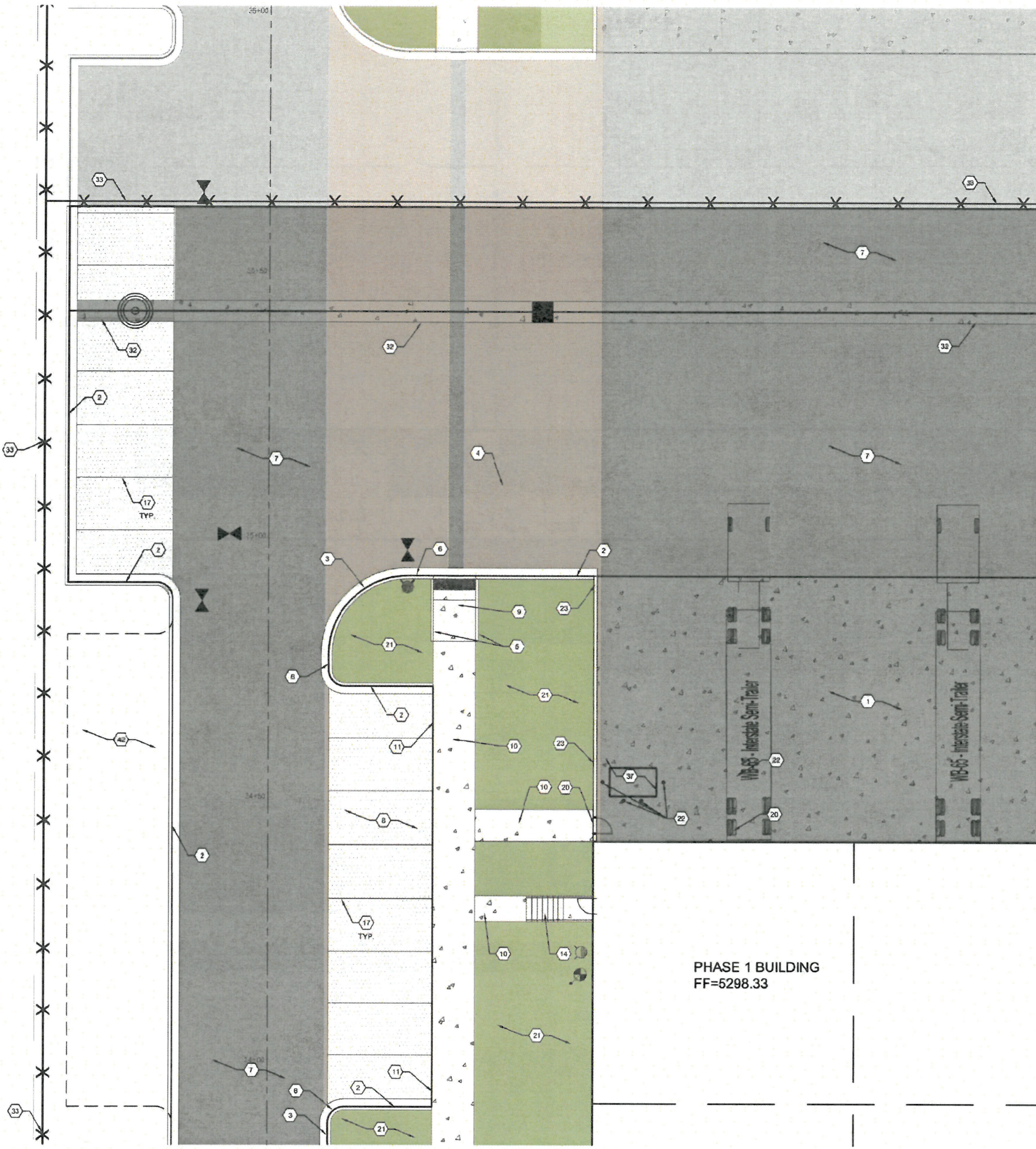
TRAFFIC CIRCULATION LAYOUT - PHASE 1 ENLARGED
SCALE: 1" = 10'-0"



6/1/2023 10:07:53 PM



TRAFFIC CIRCULATION
LAYOUT APPROVED
Curtis A. Chavez 11-28-23
Signed Date



- GENERAL NOTES**
- ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
 - FIELD VERIFY ALL DIMENSIONS.
 - DO NOT SCALE DRAWINGS, IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER BEFORE PROCEEDING.
 - SEE SHEET C000 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINE TYPE LEGEND THAT APPLY TO ALL SHEETS.
 - PAVING PLAN KEYED NOTES ARE COMMON TO ALL SHEETS. NOT ALL KEYED NOTES WILL APPEAR ON EVERY PAGE.
 - REFER TO PLAN FOR EASEMENT DEFINITIONS.
 - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW CONCRETE SIDEWALK.
 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER FAN WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

- KEYED NOTES**
- HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4C-501.
 - 6" STANDARD CURB AND GUTTER PER DETAIL A5C-501.
 - 6" DEPRESSED CURB AND GUTTER PER DETAIL A5C-501.
 - RUNDOWN DEPRESSED GUTTER PER DETAIL A5C-501.
 - IF HEADER CURB PER DETAIL A5C-501.
 - CURB TRANSITION PER DETAIL A4C-501.
 - HEAVY DUTY ASPHALT PAVEMENT PER DETAIL D1C-501.
 - PARKING LOT ASPHALT PAVEMENT PER DETAIL D1C-501.
 - CONCRETE CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD DWG 2441 THRU 2444.
 - CONCRETE SIDEWALK PER DETAIL B4C-501.
 - TURNDOWN EDGE ON SIDEWALK PER DETAIL E4C-501.
 - CONCRETE STOOP PER DETAIL C1C-501.
 - CONCRETE SPEED TABLE CONCRETE PAVEMENT PER DETAIL D4C-501.
 - STAIRS WITH HANDRAILS PER DETAIL A6C-501 AND C2C-501.
 - RIP RAP EROSION PROTECTION PER DETAIL D3C-501.
 - CONCRETE EQUIPMENT PAD UNDER NEW TRANSFORMER PER DETAIL A4C-504. SEE ELECTRICAL PLANS SHEET ES-101 FOR ADDITIONAL REQUIREMENTS.
 - 4" WIDE WHITE TRAFFIC PARKING.
 - PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
 - PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 2" AND 6" TALL.
 - 3" WIDE X 8" TALL PERSONNEL GATE PER DETAIL F3C-504.
 - SEE LANDSCAPING PLANS FOR DETAILS.
 - 6" CONCRETE BOLLARDS AT REFUSE CONTAINER PER DETAIL A2C-501.
 - CONCRETE MASONRY SCREEN WALL 8" TALL PER STRUCTURAL PLANS.
 - RESERVED PARKING SYMBOL PER DETAIL C8C-502.
 - 12" TALL WHITE LETTERS "NO PARKING".
 - UNLOADING ZONE PER DETAIL A3C-502.
 - VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL E5C-502.
 - RESERVED PARKING SIGN PER DETAIL E5C-502.
 - ADA COMPLIANT CURB ACCESS RAMP PER DETAIL A1C-506 AND COA DETAILS 2400.
 - PARKING BLOCK PER DETAIL F3C-501.
 - MONUMENT SIGN BASE, SEE ARCHITECTURAL FOR DETAILS.
 - 4" WIDE CONCRETE VALLEY GUTTER PER DETAIL E3C-504.
 - 8" TALL WROUGHT IRON FENCE PER DETAIL B4C-504.
 - PAIR 28" WIDE WROUGHT IRON SLICING GATES.
 - PAIR 12" WIDE WROUGHT IRON SLICING GATES.
 - GATE OPERATOR.
 - REFUSE PAD PER DETAIL C1C-502.
 - RETENTION POND. SEE SHEETS C-201 AND C-202.
 - CONCRETE CURB AND GUTTER PER COA STD DWG 2415A.
 - CONCRETE VALLEY GUTTER PER COA STD DWG 2400.
 - CONCRETE SPLASH BLOCK PER DETAIL A1C-501.
 - AREA RESERVED FOR FUTURE PARKING.
 - 12" TALL LETTERS FOR MOTORCYCLES "MC".
 - RESERVED PARKING SIGN "MOTORCYCLES ONLY".
 - BIKE RACK PER DETAIL F3C-501. 4" SPACING BETWEEN HOOPS.
 - INFILL MISSING CONCRETE SIDEWALK PER COA STD DWG 2400.
 - ASPHALT UTILITY PATCH PER COA STD DWG 2465.
 - MEDIAN CURB AND GUTTER TO MATCH EXISTING PER COA STD DWG 2415B.

MATERIAL LEGEND

	HEAVY DUTY ASPHALT PER DETAIL D1C-501
	PARKING LOT ASPHALT PER DETAIL D1C-501
	HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4C-501
	4" THICK CONCRETE SIDEWALK PER DETAIL B4C-501
	EROSION PROTECTION, SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	EARTHEN POND, SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	LANDSCAPING AREA

TRAFFIC CIRCULATION LAYOUT - PHASE 1 ENLARGED
SCALE: 1" = 10'-0"
0' 5' 10' 20' 40'

Thompson Engineering Consultants, Inc.
www.thompsoneng.com
1100 N. 10th St. Suite 100
Albuquerque, NM 87102
Phone: (505) 271-1215
Fax: (505) 835-9248

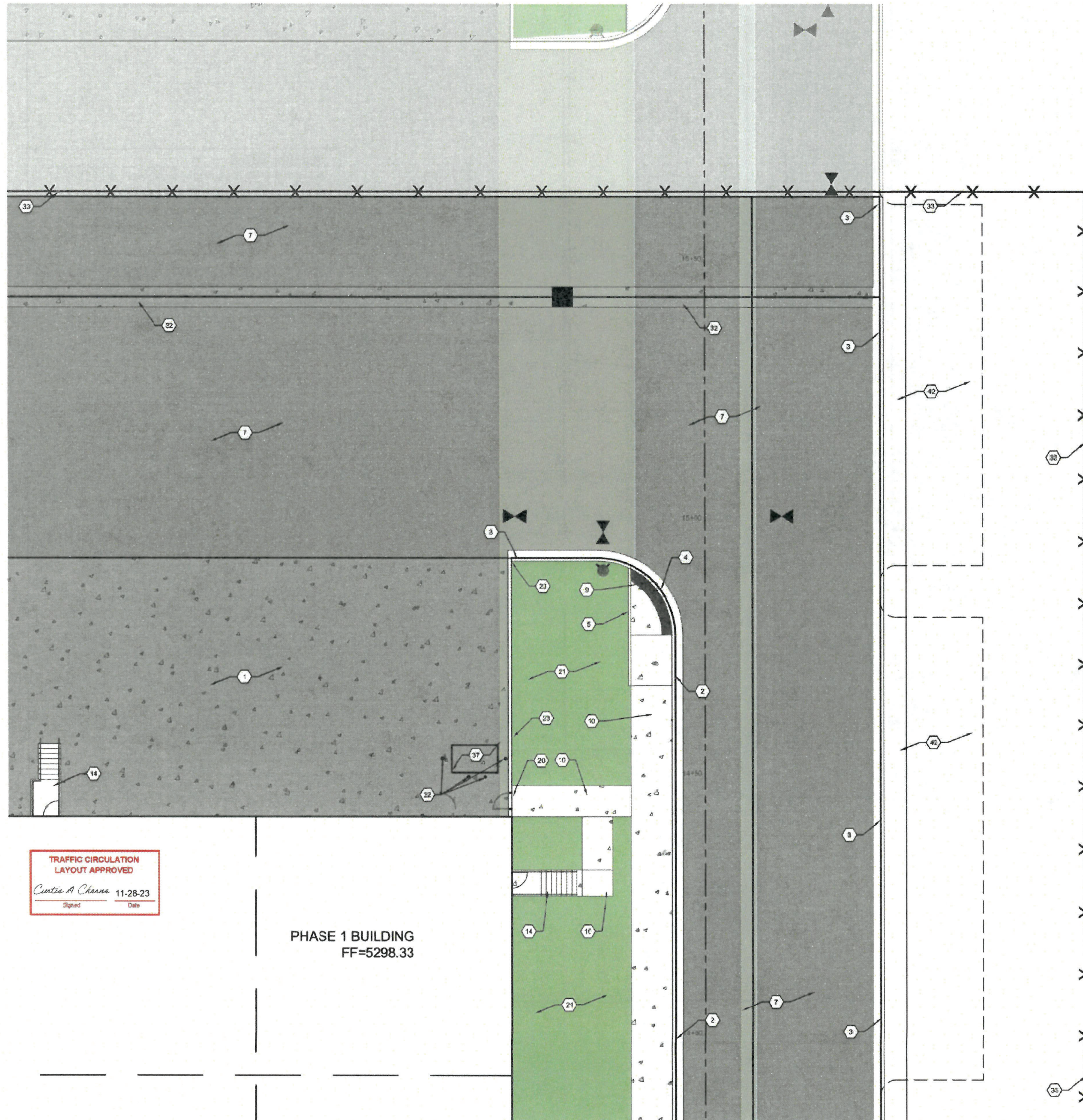
BUILDING PERMIT SET

REVISION	DATE

DATE: 10/16/23
PROJ. ECT NO:

TRAFFIC CIRCULATION LAYOUT - PHASE 1 ENLARGED
SHEET NO.

TCL-1B



TRAFFIC CIRCULATION
LAYOUT APPROVED

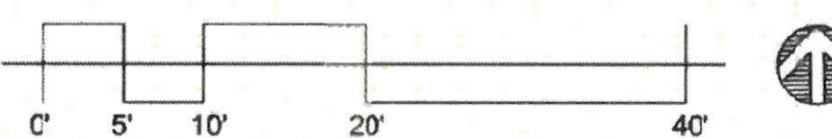
Curtis A. Cheema 11-28-23
Signed Date

PHASE 1 BUILDING
FF=5298.33

TRAFFIC CIRCULATION LAYOUT
- PHASE 1 ENLARGED

A1

SCALE: 1" = 10'-0"



GENERAL NOTES

- A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
- B. FIELD VERIFY ALL DIMENSIONS.
- C. DO NOT SCALE DRAWINGS, IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER BEFORE PROCEEDING.
- D. SEE SHEET C001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL LINE/TYPE LEGEND THAT APPLY TO ALL SHEETS.
- E. PAVING PLAN KEYED NOTES ARE COMMON TO ALL SHEETS. NOT ALL KEYED NOTES WILL APPEAR ON EVERY PAGE.
- F. REFER TO PLAN FOR EASEMENT DEFINITIONS.
- G. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW CONCRETE SIDEWALK.
- H. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER FAN WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

KEYED NOTES

1. HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4C-501.
2. 6" STANDARD CURB AND GUTTER PER DETAIL A5C-501.
3. 6" DEPRESSURE CURB AND GUTTER PER DETAIL A5C-501.
4. RUNDOWN DEPRESSURE GUTTER PER DETAIL A5C-501.
5. 6" HEADER CURB PER DETAIL A5C-501.
6. CURB TRANSITION PER DETAIL A4C-501.
7. HEAVY DUTY ASPHALT PAVEMENT PER DETAIL D1C-501.
8. PARKING LOT ASPHALT PAVEMENT PER DETAIL D1C-501.
9. CONCRETE CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD DWG 2411 THRU 244E.
10. CONCRETE SIDEWALK PER DETAIL B4C-501.
11. TURNDOWN EDGE ON SIDEWALK PER DETAIL B4C-501.
12. CONCRETE STUOP PER DETAIL C1C-501.
13. CONCRETE SPEED TABLE CONCRETE PAVEMENT PER DETAIL B4C-501.
14. STARS WITH HANDRAILS PER DETAIL A5C-501 AND C2C-501.
15. RIP RAP EROSION PROTECTION PER DETAIL E2C-501.
16. CONCRETE EQUIPMENT PAD UNDER NEW TRANSFORMER PER DETAIL A3C-504. SEE ELECTRICAL PLANS SHEET ES-101 FOR ADDITIONAL REQUIREMENTS.
17. 4" WIDE WHITE TRAFFIC PARKING.
18. PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
19. PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 1/2" AND 6" TALL.
20. 3" WIDE 16" TALL PERSONNEL GATE PER DETAIL F3C-504.
21. SEE LANDSCAPING PLANS FOR DETAILS.
22. 6" CONCRETE BOLLARDS AT REFUSE CONTAINER PER DETAIL A2C-501.
23. CONCRETE MASONRY SCREEN WALL 6" TALL PER STRUCTURAL PLANS.
24. RESERVED PARKING SYMBOL PER DETAIL D5C-502.
25. 12" TALL WHITE LETTERS "NO PARKING".
26. UNLOADING ZONE PER DETAIL A3C-502.
27. VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL E6C-502.
28. RESERVED PARKING SIGN PER DETAIL E6C-502.
29. ADA COMPLIANT CURB ACCESS RAMP PER DETAIL A1C-502 AND CDA DETAILS 2410.
30. PARKING BLOCK PER DETAIL F2C-501.
31. MONUMENT SIGN BASE. SEE ARCHITECTURAL FOR DETAILS.
32. 4" WIDE CONCRETE VALLEY GUTTER PER DETAIL E3C-501.
33. 6" TALL WROUGHT IRON FENCE PER DETAIL B4C-504.
34. PAIR 20" WIDE WROUGHT IRON SLIDING GATES.
35. PAIR 18" WIDE WROUGHT IRON SLIDING GATES.
36. GATE OPERATOR.
37. REFUSE PAD PER DETAIL C1C-502.
38. RETENTION POND. SEE SHEETS C-201 AND C-202.
39. CONCRETE CURB AND GUTTER PER COA STD DWG 2415A.
40. CONCRETE VALLEY GUTTER PER COA STD DWG 2415B.
41. CONCRETE SPLASH BLOCK PER DETAIL A1C-501.
42. AREA RESERVED FOR FUTURE PARKING.
43. 12" TALL LETTERS FOR MOTORCYCLES "M".
44. RESERVED PARKING SIGN "MOTORCYCLES ONLY".
45. BIKE RACK PER DETAIL F3C-501, 4' SPACING BETWEEN HOOPS.
46. INFILL MISSING CONCRETE SIDEWALK PER COA STD DWG 2430.
47. ASPHALT UTILITY PATCH PER COA STD DWG 2435.
48. MEDIAN CURB AND GUTTER TO MATCH EXISTING PER COA STD DWG 2415B.

MATERIAL LEGEND

	HEAVY DUTY ASPHALT PER DETAIL D1C-501
	PARKING LOT ASPHALT PER DETAIL D1C-501
	HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4C-501
	4" THICK CONCRETE SIDEWALK PER DETAIL B4C-501
	EROSION PROTECTION. SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	EARTHEN POND. SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	LANDSCAPING AREA

Thompson
Engineering
Consultants, Inc.

100 BOX 60750
ALBUQUERQUE, NEW MEXICO 87115

PHONE: 505.271.2199
FAX: 505.271.2198



ARCHITECT/ENGINEER



ROSES SOUTHWEST PAPERS

BRICK CROSSING
ALBUQUERQUE, NEW MEXICO

BUILDING
PERMIT SET

REVISION DATE

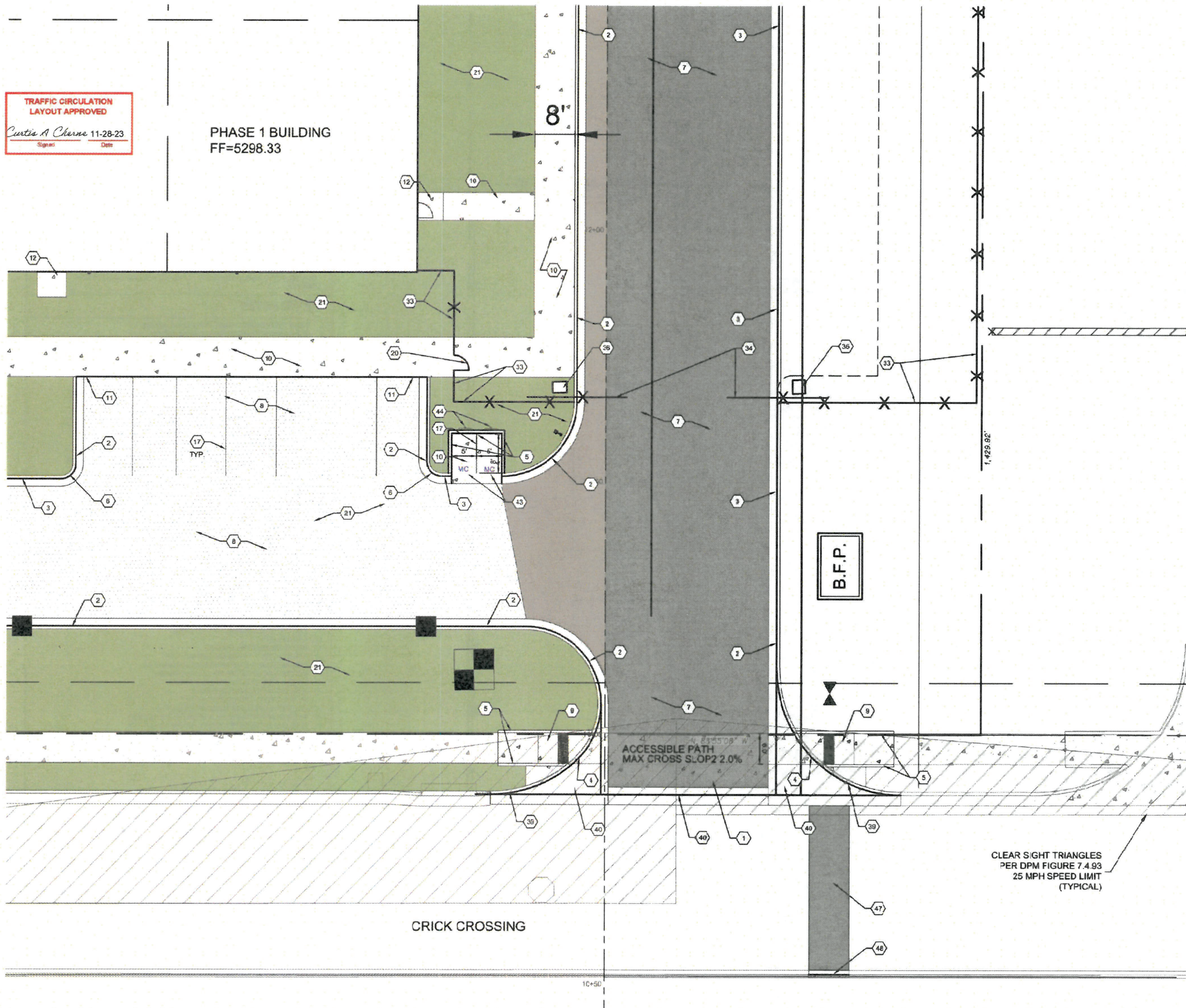
DATE 10/16/23

PROJECT NO.

TRAFFIC
CIRCULATION
LAYOUT -
PHASE 1
ENLARGED

SHEET NO.

TCL-1C



TRAFFIC CIRCULATION LAYOUT APPROVED
 Curtis A. Cherns 11-28-23
 Signer Date

PHASE 1 BUILDING
 FF=5298.33

A1 TRAFFIC CIRCULATION LAYOUT
 - PHASE 1 ENLARGED
 SCALE: 1" = 10'-0"

GENERAL NOTES

- A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
- B. FIELD VERIFY ALL DIMENSIONS.
- C. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER BEFORE PROCEEDING.
- D. SEE SHEET 02001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL LINE/TYPE LEGEND THAT APPLY TO ALL SHEETS.
- E. PAVING PLAN KEYED NOTES ARE COMMON TO ALL SHEETS. NOT ALL KEYED NOTES WILL APPEAR ON EVERY PAGE.
- F. REFER TO PLAN FOR EASEMENT DEFINITIONS.
- G. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW CONCRETE SIDEWALK.
- H. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER FAN WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

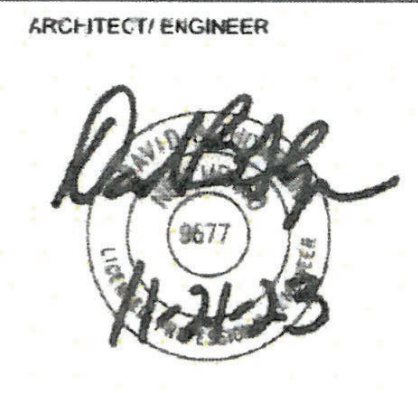
KEYED NOTES

- 1. HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4C-501.
- 2. 6" 5' STANDARD CURB AND GUTTER PER DETAIL A5C-501.
- 3. 8" DEPRESSED CURB AND GUTTER PER DETAIL A3C-501.
- 4. RUNDOWN DEPRESSED GUTTER PER DETAIL A4C-501.
- 5. 8" HEADER CURB PER DETAIL A5C-501.
- 6. CURB TRANSITION PER DETAIL A4C-501.
- 7. HEAVY DUTY ASPHALT PAVEMENT PER DETAIL D1C-601.
- 8. PARKING LOT ASPHALT PAVEMENT PER DETAIL D1C-501.
- 9. CONCRETE CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD DWG 24H1 THRU 24H4.
- 10. CONCRETE SIDEWALK PER DETAIL B4C-501.
- 11. TURNDOWN EDGE ON SIDEWALK PER DETAIL E4C-501.
- 12. CONCRETE STAIR PER DETAIL C1C-501.
- 13. CONCRETE SPEED TABLE CONCRETE PAVEMENT PER DETAIL D4C-501.
- 14. STAIRS WITH HANDRAILS PER DETAIL A3C-501 AND C2C-501.
- 15. RIP RAP EROSION PROTECTION PER DETAIL D3C-501.
- 16. CONCRETE EQUIPMENT PAD UNDER NEW TRANSFORMER PER DETAIL A3C-504. SEE ELECTRICAL PLANS SHEET ES-101 FOR ADDITIONAL REQUIREMENTS.
- 17. 4" WIDE WHITE TRAFFIC PARKING.
- 18. PAINT CURB RED WITH 8" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
- 19. PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 3" AND 8" TALL.
- 20. 3" WIDE X 8' TALL PERSONNEL GATE PER DETAIL F3C-504.
- 21. SEE LANDSCAPING PLANS FOR DETAILS.
- 22. 8" CONCRETE BOLLARDS AT REFUSE CONTAINER PER DETAIL A2C-501.
- 23. CONCRETE MASONRY SCREEN WALL 8" TALL PER STRUCTURAL PLANS.
- 24. RESERVED PARKING SYMBOL PER DETAIL C6C-502.
- 25. 12" TALL WHITE LETTERS "NO PARKING".
- 26. UNLOADING ZONE PER DETAIL A3C-502.
- 27. VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL E5C-502.
- 28. RESERVED PARKING SIGN PER DETAIL E5C-502.
- 29. ADA COMPLIANT CURB ACCESS RAMP PER DETAIL A1C-502 AND CDA DETAILS 24-0.
- 30. PARKING BLOCK PER DETAIL F2C-501.
- 31. MONUMENT SIGN BASE. SEE ARCHITECTURAL FOR DETAILS.
- 32. 4" WIDE CONCRETE VALLEY GUTTER PER DETAIL E3C-504.
- 33. 6" TALL WROUGHT IRON FENCE PER DETAIL B4C-504.
- 34. PAIR 28" WIDE WROUGHT IRON SLIDING GATES.
- 35. PAIR 18" WIDE WROUGHT IRON SLIDING GATES.
- 36. GATE OPERATOR.
- 37. REFUSE PAD PER DETAIL C1C-502.
- 38. RETENTION POND. SEE SHEETS C-201 AND C-202.
- 39. CONCRETE CURB AND GUTTER PER COA STD DWG 2415A.
- 40. CONCRETE VALLEY GUTTER PER COA STD DWG 2400.
- 41. CONCRETE SPLASH BLOCK PER DETAIL A1C-501.
- 42. AREA RESERVED FOR FUTURE PARKING.
- 43. 12" TALL LETTERS FOR MOTORCYCLES "MC".
- 44. RESERVED PARKING SIGN "MOTORCYCLES ONLY".
- 45. BIKE RACK PER DETAIL F3C-501. 4' SPACING BETWEEN HOOPS.
- 46. INFILL MISSING CONCRETE SIDEWALK PER COA STD DWG 2400.
- 47. ASPHALT UTILITY PATCH PER COA STD DWG 2465.
- 48. MEDIAN CURB AND GUTTER TO MATCH EXISTING PER COA STD DWG 2415B.

MATERIAL LEGEND

	HEAVY DUTY ASPHALT PER DETAIL D1C-601
	PARKING LOT ASPHALT PER DETAIL D1C-501
	HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4C-501
	4" THICK CONCRETE SIDEWALK PER DETAIL B4C-501
	EROSION PROTECTION. SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	EARTHEN POND. SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	LANDSCAPING AREA

Thompson Engineering Consultants, Inc.
 10000 E. 1st Avenue, Suite 100
 Aurora, CO 80012
 Phone: (303) 271-2100
 Fax: (303) 271-2100



ROSES SOUTHWEST PAPERS
 CRICK CROSSING
 ALBUQUERQUE, NEW MEXICO

BUILDING PERMIT SET

REVISION DATE

DATE 10/16/22

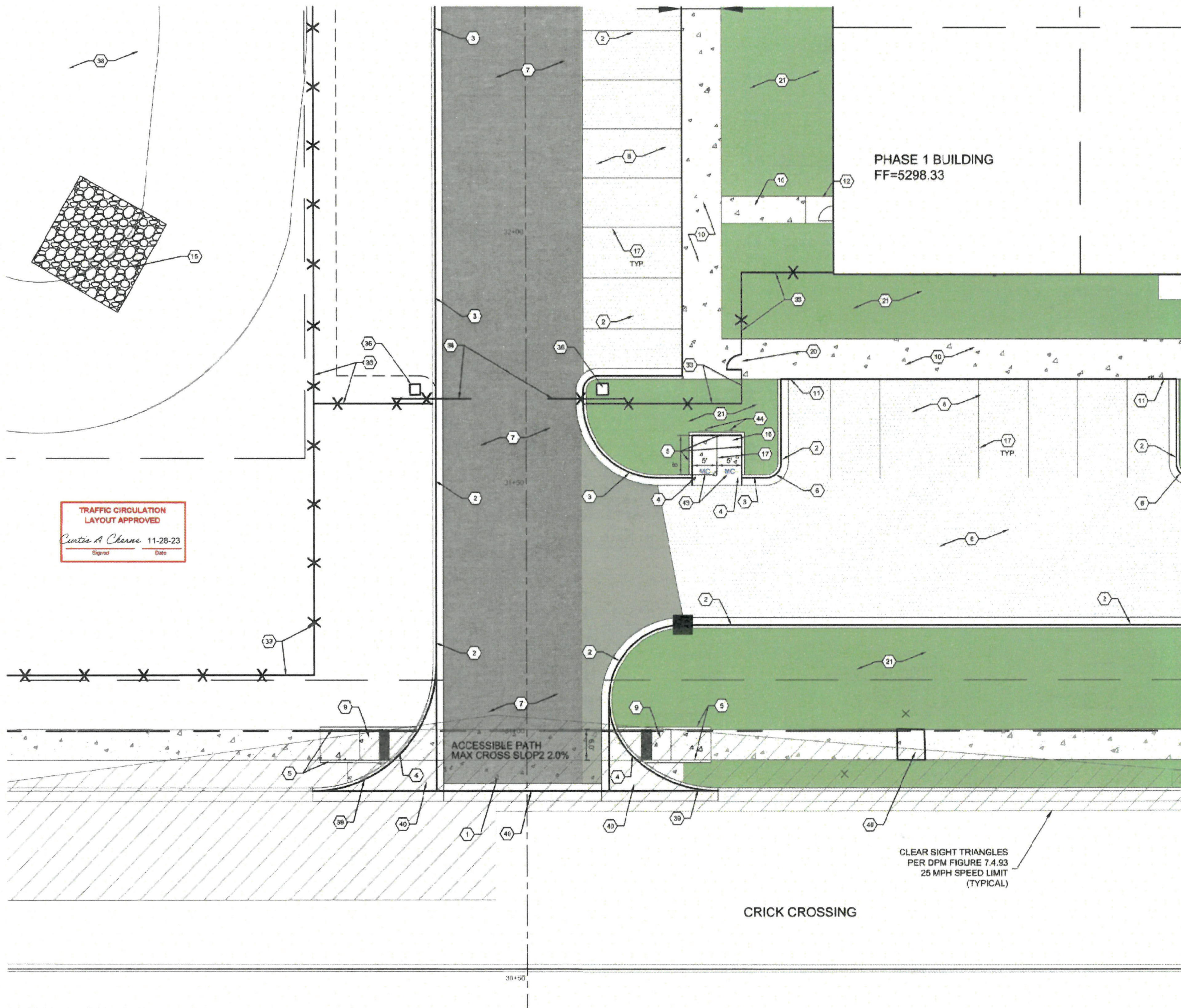
PROJECT NO.

TRAFFIC CIRCULATION LAYOUT - PHASE 1 ENLARGED

SHEET NO.

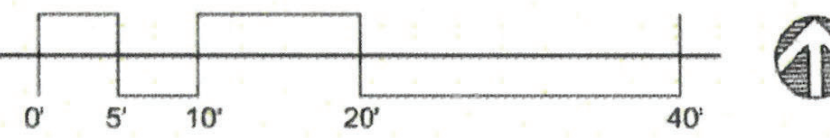
TCL-1D

6/1/2023 10:07:53 PM



TRAFFIC CIRCULATION
LAYOUT APPROVED
Curtis A. Chene 11-28-23
Signed _____ Date _____

TRAFFIC CIRCULATION LAYOUT
- PHASE 1 ENLARGED
SCALE: 1" = 10'-0"



- GENERAL NOTES**
- ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED
 - FIELD VERIFY ALL DIMENSIONS
 - DO NOT SCALE DRAWINGS, IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER, BEFORE PROCEEDING
 - SEE SHEET D900 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/NETYPE LEGEND THAT APPLY TO ALL SHEETS
 - PAVING PLAN KEYED NOTES ARE COMMON TO ALL SHEETS. NOT ALL KEYED NOTES WILL APPEAR ON EVERY PAGE
 - REFER TO PLAN FOR EASEMENT DEFINITIONS
 - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW CONCRETE SIDEWALK
 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL, AS MEASURED FROM THE GUTTER PANH WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

- KEYED NOTES**
- HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4C-501
 - 6" STANDARD CURB AND GUTTER PER DETAIL A5C-501
 - 6" DEPRESSED CURB AND GUTTER PER DETAIL A5C-501
 - RUNDOWN DEPRESSED SLUTTER PER DETAIL A5C-501
 - 6" HEADER CURB PER DETAIL A5C-501
 - CURB TRANSITION PER DETAIL A4C-501
 - HEAVY DUTY ASPHALT PAVEMENT PER DETAIL D1C-501
 - PARKING LOT ASPHALT PAVEMENT PER DETAIL D1C-501
 - CONCRETE CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD DWG 2441 THRU 2446
 - CONCRETE SIDEWALK PER DETAIL B4C-501
 - TURNDOWN EDGE ON SIDEWALK PER DETAIL E4C-501
 - CONCRETE STOOP PER DETAIL C1C-501
 - CONCRETE SPEED TABLE, CONCRETE PAVEMENT PER DETAIL D4C-501
 - STAIRS WITH HANDRAILS PER DETAIL A2C-501 AND C2C-501
 - RIP RAP EROSION PROTECTION PER DETAIL D3C-501
 - CONCRETE EQUIPMENT PAD UNDER NEW TRANSFORMER PER DETAIL A3C-501. SEE ELECTRICAL PLANS SHEET ES-101 FOR ADDITIONAL REQUIREMENTS
 - 4" WIDE WHITE TRAFFIC PARKING
 - PAINT CURB RED WITH 6" TALL, WHITE LETTERS READING "NO PARKING FIRE LANE"
 - PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 2" AND 6" TALL
 - 3" WIDE X 6" TALL PERSONNEL GATE PER DETAIL F3C-501
 - SEE LANDSCAPING PLANS FOR DETAILS
 - 8" CONCRETE BOLLARDS AT REFUSE CONTAINER PER DETAIL A3C-501
 - CONCRETE MASONRY SCREEN WALL, 6" TALL PER STRUCTURAL PLANS
 - RESERVED PARKING SYMBOL PER DETAIL C9C-501
 - 12" TALL WHITE LETTERS "NO PARKING"
 - UNLOADING ZONE PER DETAIL A3C-501
 - VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL E8C-501
 - RESERVED PARKING SIGN PER DETAIL E9C-501
 - ADA COMPLIANT CURB ACCESS RAMP PER DETAIL A1C-502 AND COA DETAILS 2440
 - PARKING BLOCK PER DETAIL F2C-501
 - MONUMENT SIGN BASE, SEE ARCHITECTURAL FOR DETAILS
 - 4" WIDE CONCRETE VALLEY GUTTER PER DETAIL E5C-501
 - 6" TALL WROUGHT IRON FENCE PER DETAIL B4C-504
 - PAIR 30" WIDE WROUGHT IRON SLIDING GATES
 - PAIR 15" WIDE WROUGHT IRON SLIDING GATES
 - GATE OPERATOR
 - REFUSE PAD PER DETAIL C1C-502
 - RETENTION POND, SEE SHEETS C-201 AND C-202
 - CONCRETE CURB AND GUTTER PER COA STD DWG 2415A
 - CONCRETE VALLEY GUTTER PER COA STD DWG 2420
 - CONCRETE BRUSH BLOCK PER DETAIL A1C-501
 - AREA RESERVED FOR FUTURE PARKING
 - 12" TALL LETTERS FOR MOTORCYCLES "MC"
 - RESERVED PARKING SIGN "MOTORCYCLES ONLY"
 - BIKE RACK PER DETAIL F3C-501, 4" SPACING BETWEEN HOOPS
 - INFILL MISSING CONCRETE SIDEWALK PER COA STD DWG 2446
 - ASPHALT UTILITY PATCH PER COA STD DWG 2465
 - MEDIAN CURB AND GUTTER TO MATCH EXISTING PER COA STD DWG 2415B

MATERIAL LEGEND

	HEAVY DUTY ASPHALT PER DETAIL D1C-501
	PARKING LOT ASPHALT PER DETAIL D1C-501
	HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4C-501
	4" THICK CONCRETE SIDEWALK PER DETAIL B4C-501
	EROSION PROTECTION, SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	EARTHEN POND, SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	LANDSCAPING AREA

Thompson Engineering Consultants, Inc.

 700 BOX 65760 ALBUQUERQUE, NM 87115 PHONE: 505/271-2199 FAX: 505/836-9946



ARCHITECT/ENGINEER

ROSES SOUTHWEST PAPERS
 CRICK CROSSING
 ALBUQUERQUE, NEW MEXICO

BUILDING PERMIT SET

REVISION _____ DATE _____

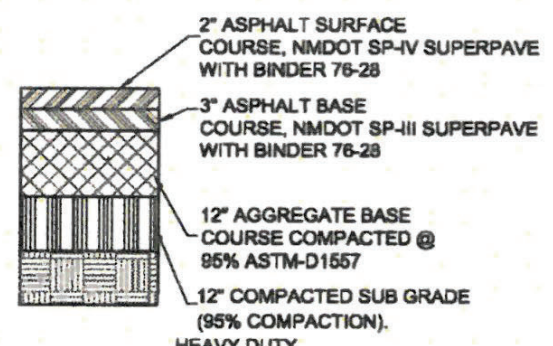
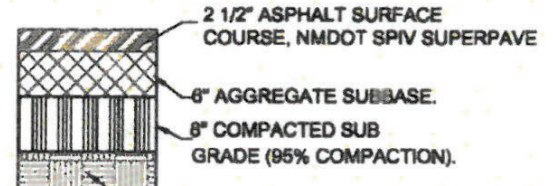
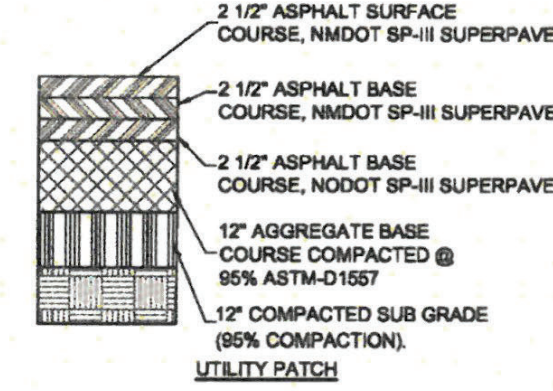
DATE 10/18/23
 PROJECT NO _____

TRAFFIC CIRCULATION LAYOUT - PHASE 1 ENLARGED

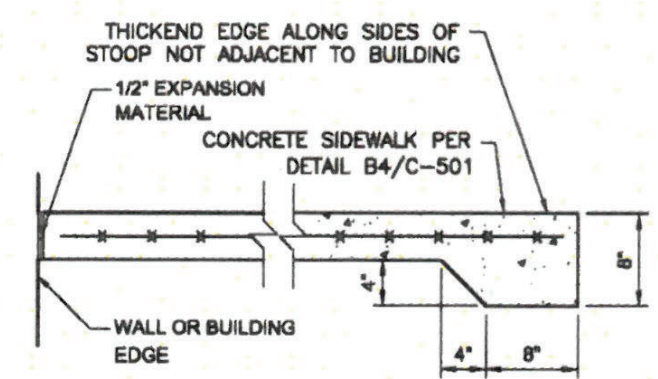
SHEET NO.

TCL-1E

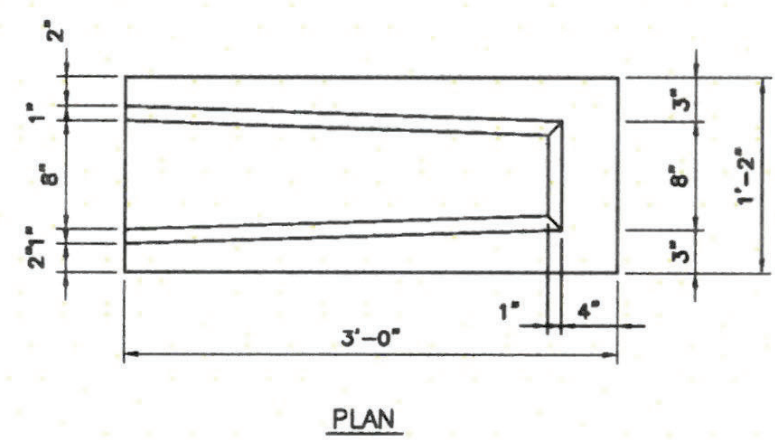
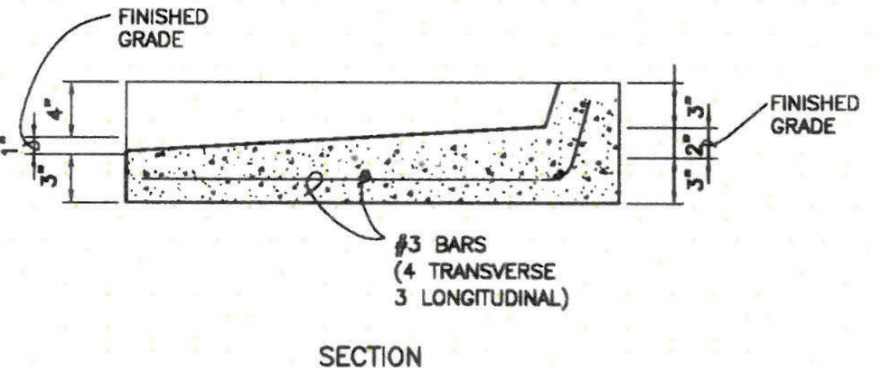
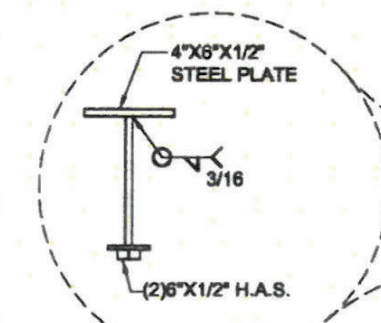
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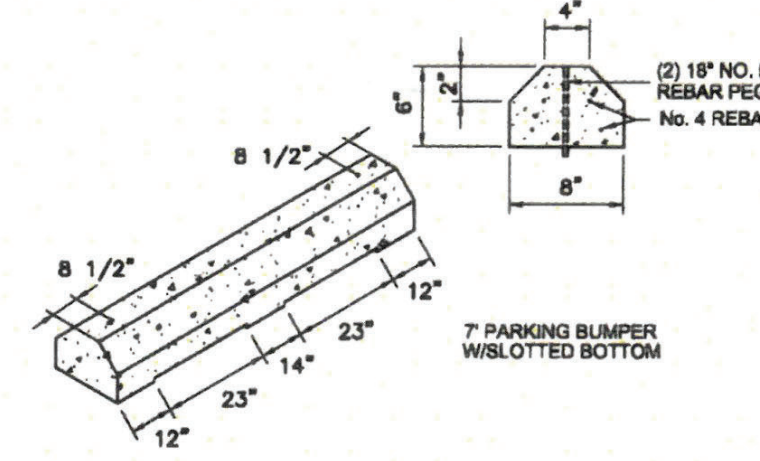
D1 ASPHALT PAVEMENT
NOT TO SCALE



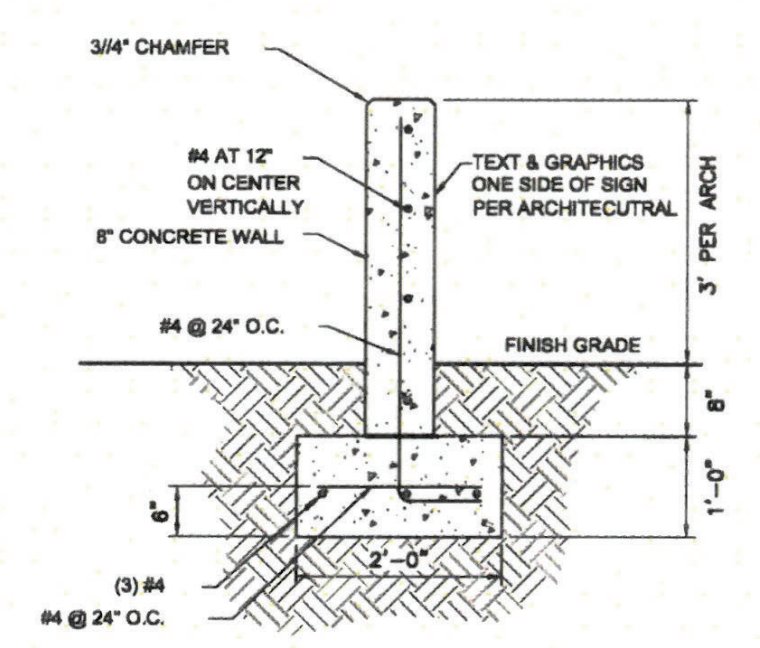
C1 CONCRETE STOOP
NOT TO SCALE



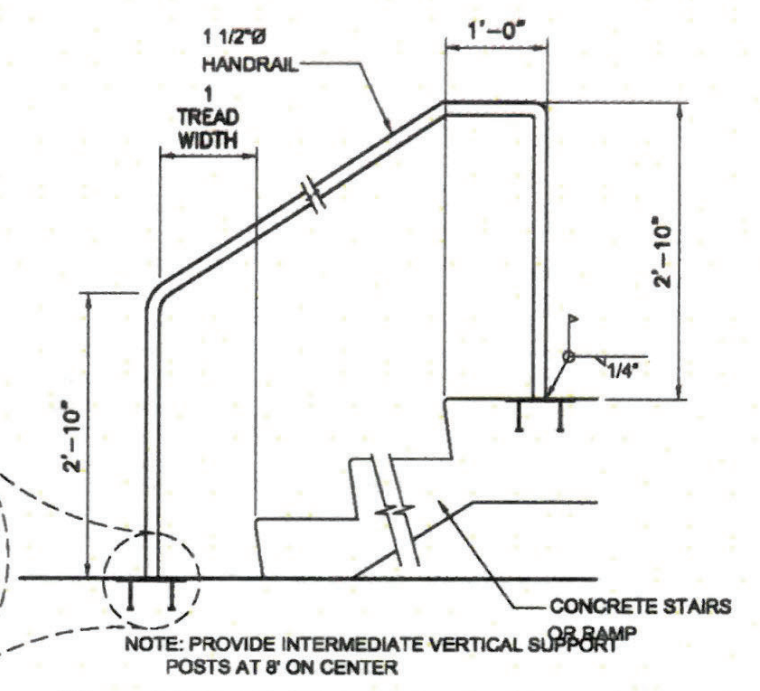
A1 CONCRETE SPLASH BLOCK
NOT TO SCALE



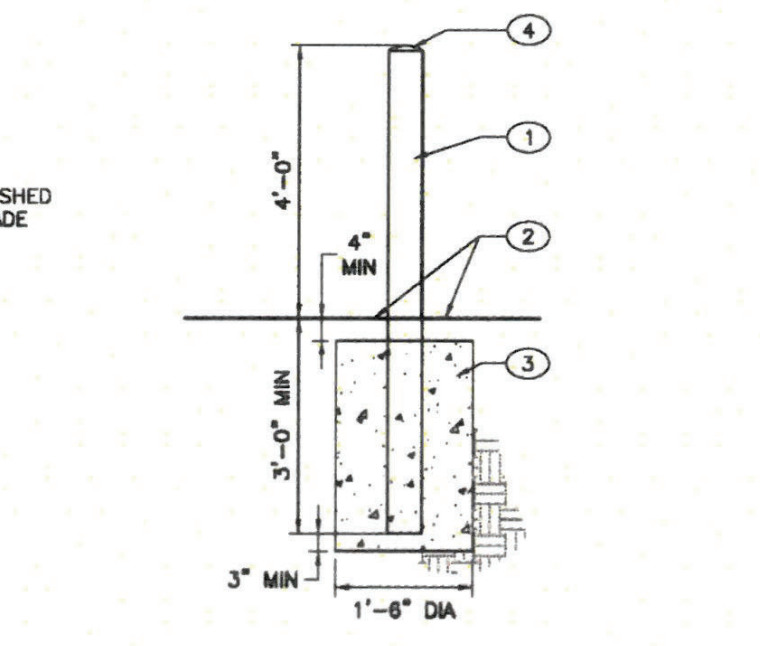
F2 PARKING BLOCK
NOT TO SCALE



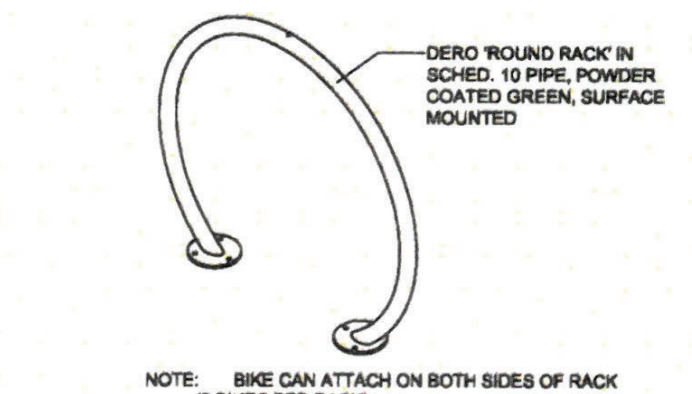
E2 MONUMENT SIGN
NOT TO SCALE



C2 STAIR/RAMP RAILING
NOT TO SCALE

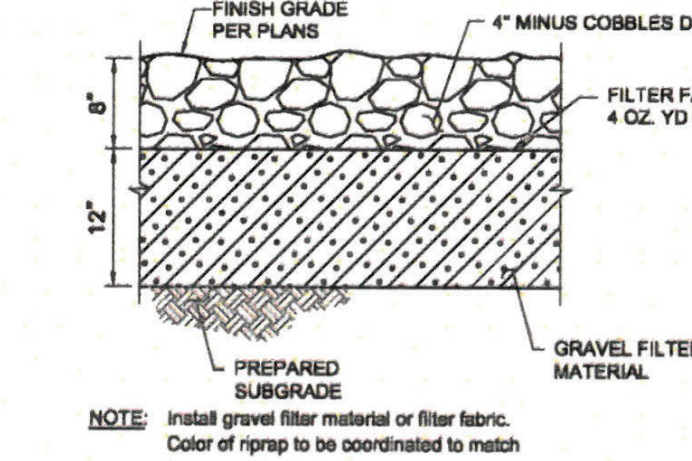


A2 BOLLARD, 6"Ø
NOT TO SCALE

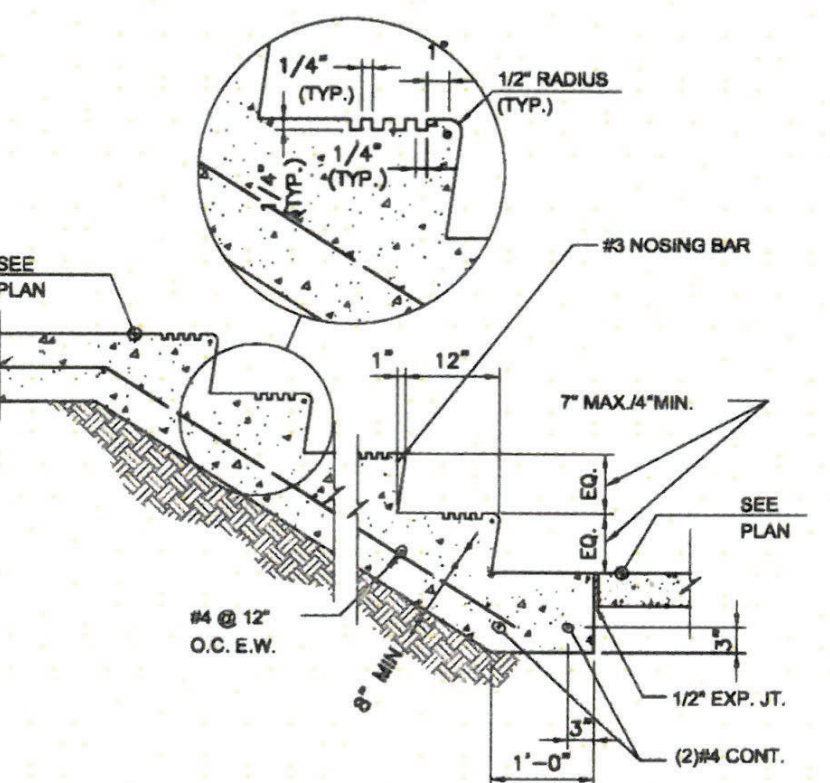


F3 BICYCLE RACK
NOT TO SCALE

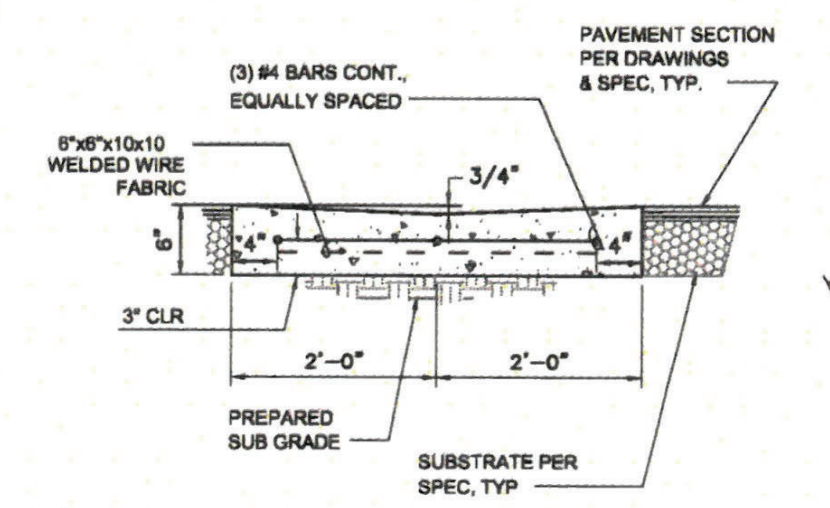
TRAFFIC CIRCULATION LAYOUT APPROVED
Cristina A. Chavez 11-28-23
Signed Date



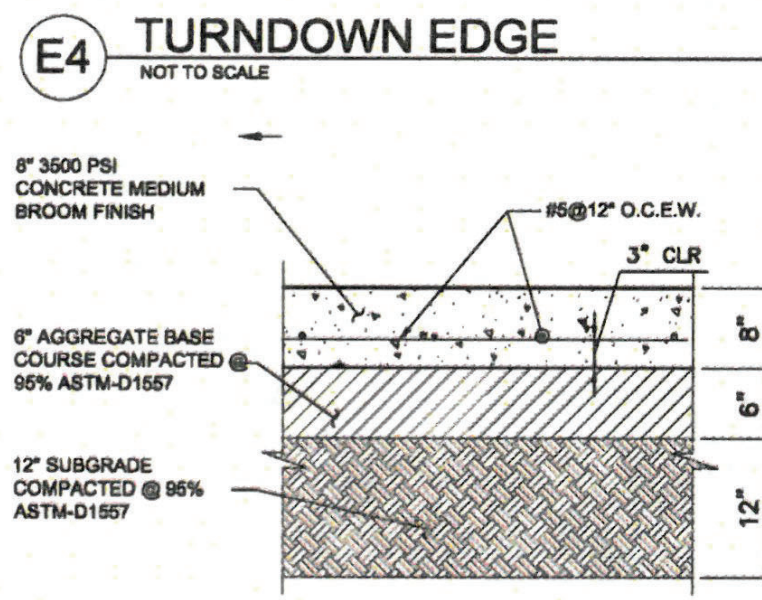
D3 RIP-RAP
NOT TO SCALE



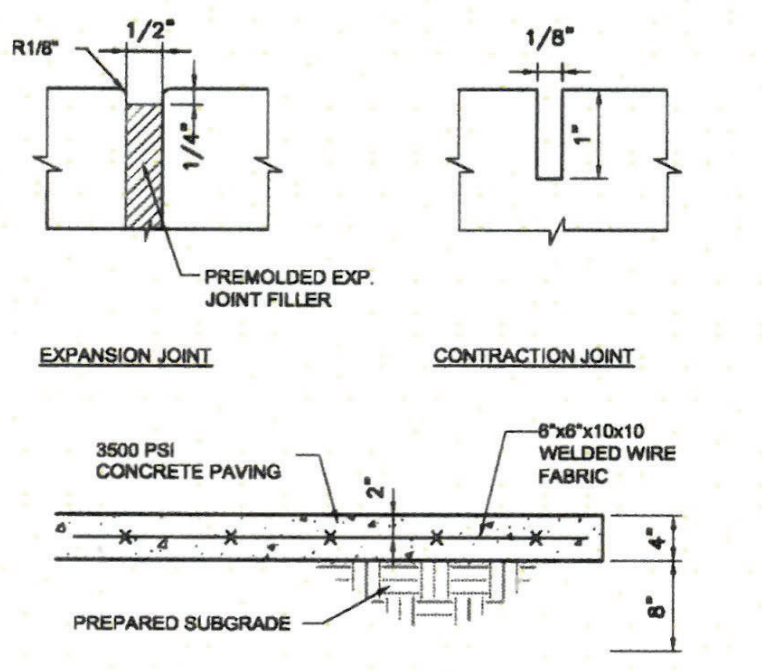
B3 CONCRETE STAIR
NOT TO SCALE



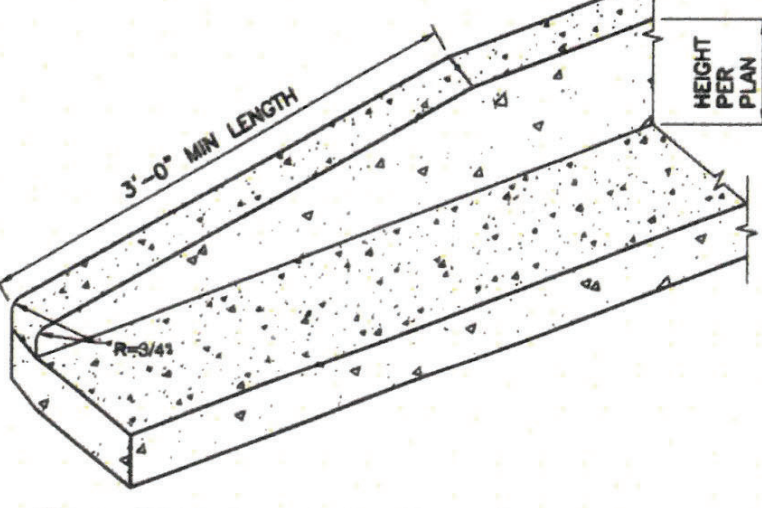
A3 CONCRETE VALLEY GUTTER
NOT TO SCALE



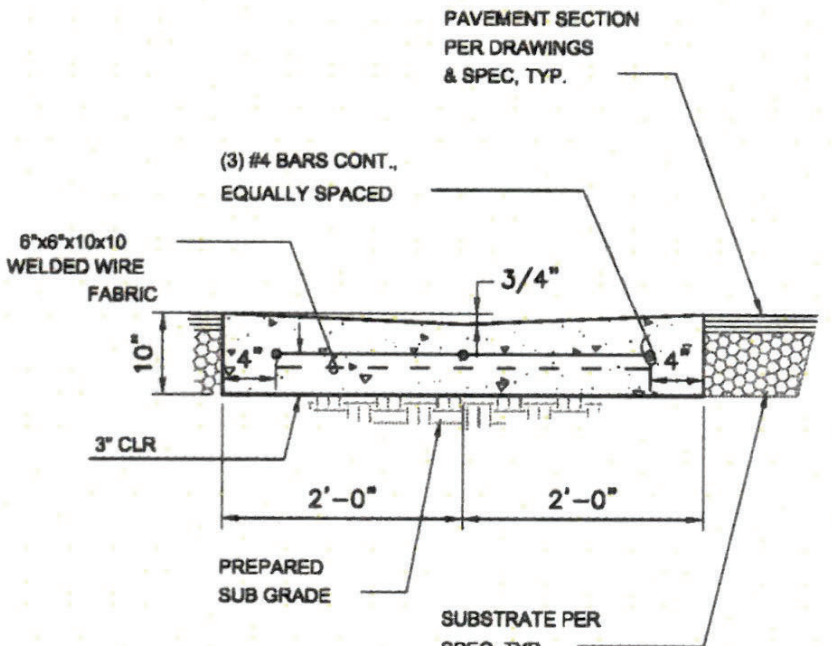
D4 CONCRETE PAVEMENT
NOT TO SCALE



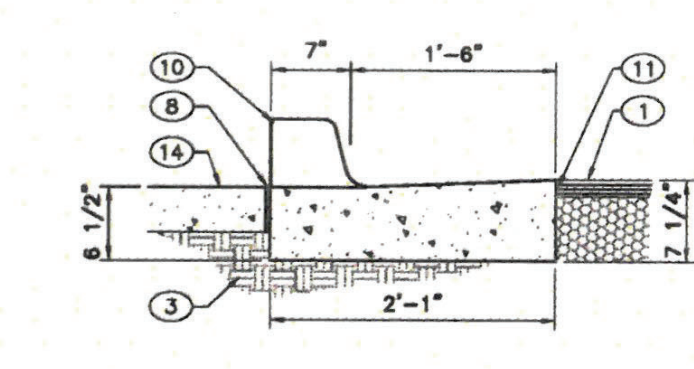
B4 CONCRETE SIDEWALK
NOT TO SCALE



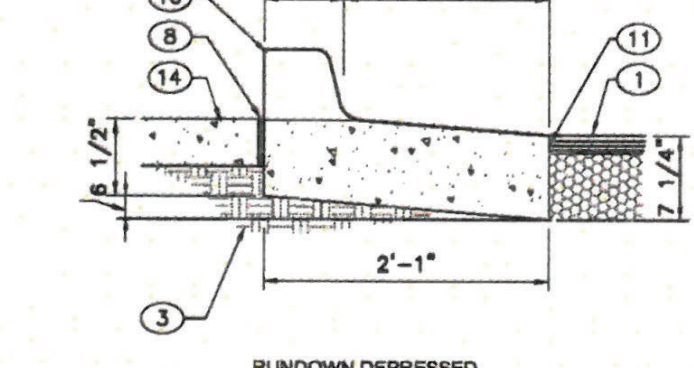
A4 CURB TRANSITION
NOT TO SCALE



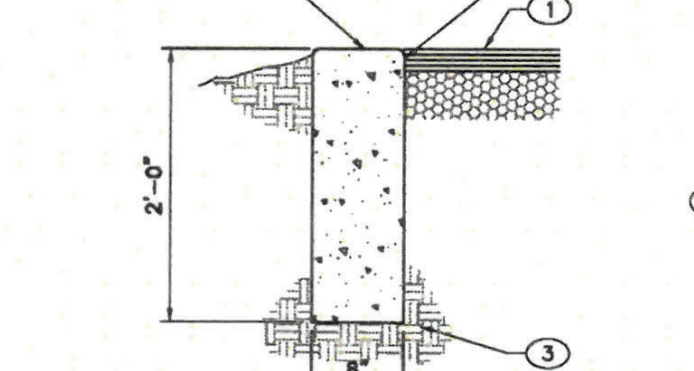
E5 CONCRETE VALLEY GUTTER
NOT TO SCALE



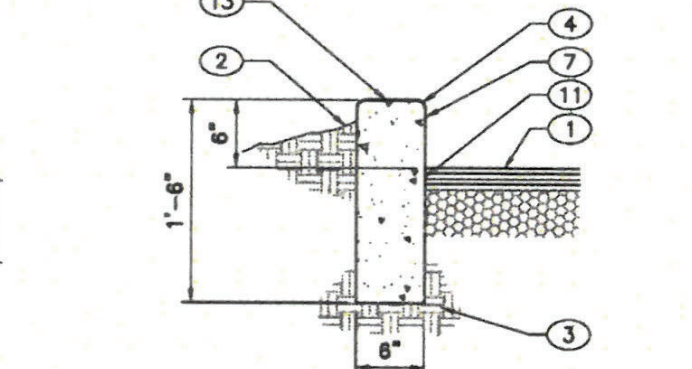
B RUN-DOWN GUTTER



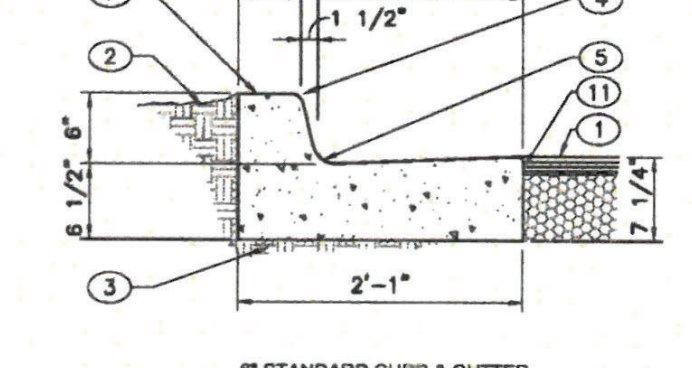
B RUN-DOWN DEPRESSED GUTTER



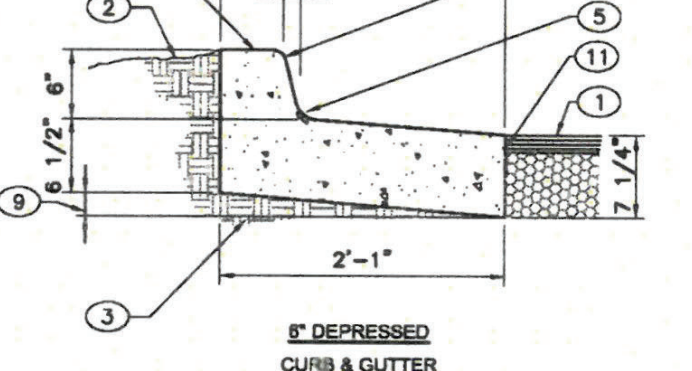
CUT-OFF WALL



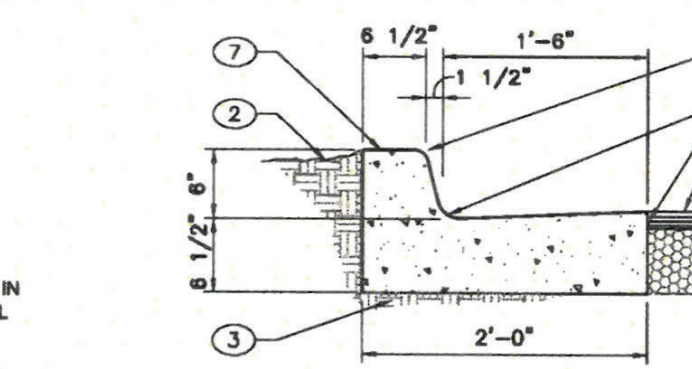
B 8" HEADER CURB



B 8" STANDARD CURB & GUTTER



B 8" DEPRESSED CURB & GUTTER



EX STREET CURB

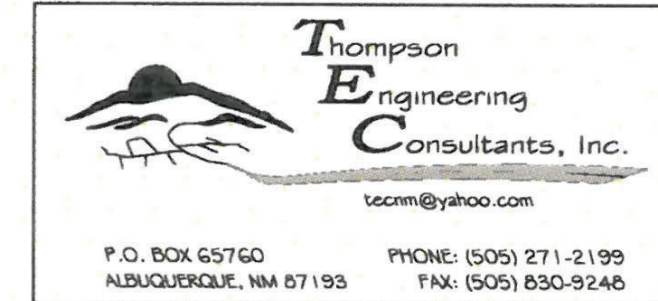
- KEYED NOTES:**
- PAVEMENT SECTION PER DRAWINGS AND SPECS.
 - FINISHED GRADE.
 - PREPARED SUBGRADE.
 - 3/4" RADIUS.
 - 1 1/2" RADIUS.
 - 2" RADIUS (BOTH SIDES).
 - CONCRETE.
 - EXPANSION JOINT.
 - VARIABLE DEPRESS AS NEEDED.
 - OMIT 6" CURB.
 - TACK COAT.
 - NEW OR EXISTING PAVING.
 - SMOOTH RUBBED FINISH.
 - CONCRETE SIDEWALK.
 - DRIVE NO. 4 BARS 18" DEEP IN HOLES DRILLED 8" O.C. SEAL WITH EPOXY.
 - EXTRUDED ASPHALT CURB.

- CURBS & GUTTER CONSTRUCTION NOTES:**
- CURBS, GUTTERS & CUT-OFF WALLS TO BE CONSTRUCTED OF 3600 PSI P.C.C. UNLESS OTHERWISE NOTED.
 - EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" EDGING TOOL.
 - REMOVE & REPLACE 12" WIDE STRIP OF PAVEMENT BEYOND LIP OF GUTTER WHEN CONSTRUCTING CURB & GUTTER ADJACENT TO EXISTING A.C. PAVEMENT.
 - DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
 - FOR 6" CURB & GUTTER PROVIDE CONTROL JTS. @ 8' O.C. MAX. ALSO PROVIDE 1/2" EXPANSION JTS. AT 30' O.C. MAX. AT CURB RETURNS, & AT EACH SIDE OF DRIVEWAYS.
 - FOR ALL OTHER CURBING PROVIDE CONTROL JOINTS @ 10' O.C. PROVIDE EXPANSION JOINTS @ 50' O.C. & ADJACENT TO BUILDINGS AND WALLS.



REVISION	DATE
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DATE	10/16/23
PROJECT NO.	



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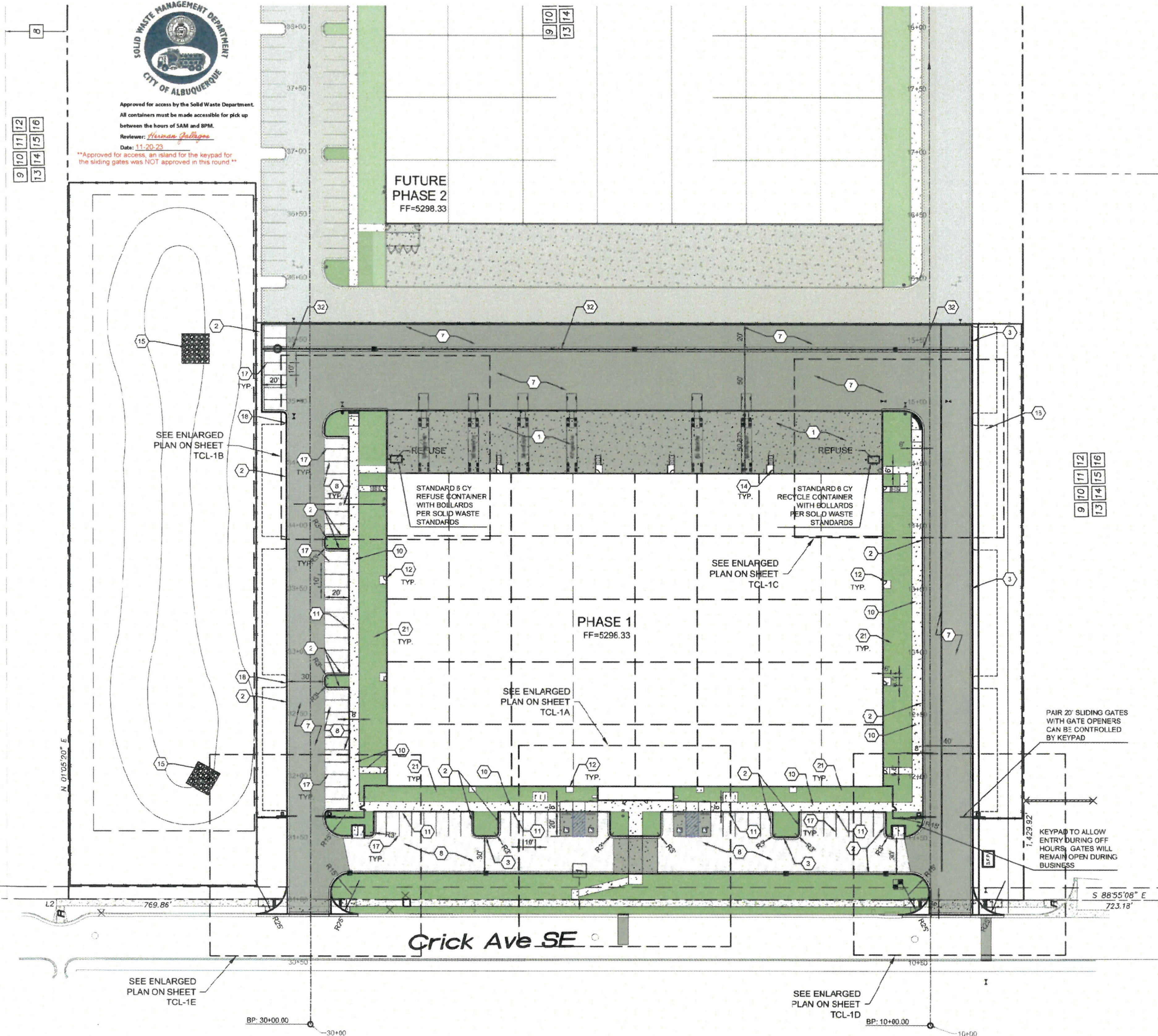


Approved for access by the Solid Waste Department.
All containers must be made accessible for pick up
between the hours of 5AM and 8PM.

Reviewer: *Hessan Ghalpou*

Date: 11/20/23

Approved for access, an island for the keypad for the sliding gates was NOT approved in this round



GENERAL NOTES

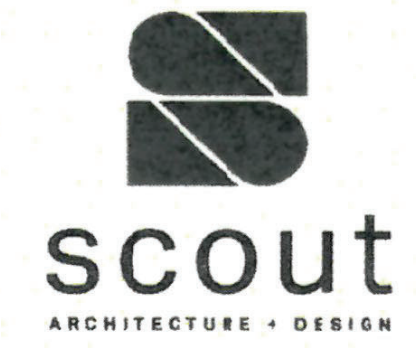
- A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
- B. FIELD VERIFY ALL DIMENSIONS.
- C. DO NOT SCALE DRAWINGS, IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER BEFORE PROCEEDING.
- D. SEE SHEET C-001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINETYPE LEGEND THAT APPLY TO ALL SHEETS.
- E. PAVING PLAN KEYED NOTES ARE COMMON TO ALL SHEETS. NOT ALL KEYED NOTES WILL APPEAR ON EVERY PAGE.
- F. REFER TO PLAT FOR EASEMENT DEFINITIONS.

KEYED NOTES

- 1. HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501.
- 2. 6" STANDARD CURB AND GUTTER PER DETAIL A5/C-501.
- 3. 6" DEPRESSED CURB AND GUTTER PER DETAIL A5/C-501.
- 4. RUNDOWN DEPRESSED GUTTER PER DETAIL A5/C-501.
- 5. 6" HEADER CURB PER DETAIL A5/C-501.
- 6. CURB TRANSITION PER DETAIL A4/C-501.
- 7. HEAVY DUTY ASPHALT PAVEMENT PER DETAIL D1/C-501.
- 8. PARKING LOT ASPHALT PAVEMENT PER DETAIL D1/C-501.
- 9. CONCRETE CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD DWG 2441 THRU 2446.
- 10. CONCRETE SIDEWALK PER DETAIL B4/C-501.
- 11. TURNDOWN EDGE ON SIDEWALK PER DETAIL E4/C-501.
- 12. CONCRETE STOOP PER DETAIL C1/C-501.
- 13. CONCRETE SPEED TABLE CONCRETE PAVEMENT PER DETAIL D4/C-501.
- 14. STAIRS WITH HANDRAILS PER DETAIL A2/C-501 AND C2/C-501.
- 15. RIP RAP EROSION PROTECTION PER DETAIL D3/C-501.
- 16. CONCRETE EQUIPMENT PAD UNDER NEW TRANSFORMER PER DETAIL A3/C-504. SEE ELECTRICAL PLANS SHEET ES-101 FOR ADDITIONAL REQUIREMENTS.
- 17. 4" WIDE WHITE TRAFFIC PARKING.
- 18. PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
- 19. PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 2" AND 6" TALL.
- 20. 3" WIDE X 6" TALL PERSONNEL GATE PER DETAIL F3/C-504.
- 21. SEE LANDSCAPING PLANS FOR DETAILS.
- 22. 6" CONCRETE SOLWADS AT REFUSE CONTAINER PER DETAIL A2/C-501.
- 23. CONCRETE MASONRY SCREEN WALL 6" ALL PER STRUCTURAL PLANS.
- 24. RESERVED PARKING SYMBOL PER DETAIL C6/C-502.
- 25. 12" TALL WHITE LETTERS "NO PARKING".
- 26. UNLOADING ZONE PER DETAIL A3/C-502.
- 27. VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL E6/C-502.
- 28. RESERVED PARKING SIGN PER DETAIL E6/C-502.
- 29. ADA COMPLIANT CURB ACCESS RAMP PER DETAIL A1/C-502 AND COA DETAILS 2440.
- 30. PARKING BLOCK PER DETAIL F2/C-501.
- 31. MONUMENT SIGN BASE. SEE ARCHITECTURAL FOR DETAILS.
- 32. 4" WIDE CONCRETE VALLEY GUTTER PER DETAIL E5/C-501.
- 33. 6" TALL WROUGHT IRON FENCE PER DETAIL B4/C-504.
- 34. PAIR 20" WIDE WROUGHT IRON SLIDING GATES.
- 35. PAIR 15" WIDE WROUGHT IRON SLIDING GATES.
- 36. GATE OPERATOR.
- 37. REFUSE PAD PER DETAIL C1/C-502.
- 38. RETENTION POND. SEE SHEETS C-201 AND C-202.
- 39. CONCRETE CURB AND GUTTER PER COA STD DWG 2415A.
- 40. CONCRETE VALLEY GUTTER PER COA STD DWG 2420.
- 41. CONCRETE SPLASH BLOCK PER DETAIL A1/C-501.
- 42. AREA RESERVED FOR FUTURE PARKING.
- 43. 12" TALL LETTERS FOR MOTORCYCLES "MC".
- 44. RESERVED PARKING SIGN "MOTORCYCLES ONLY".
- 45. BIKE RACK PER DETAIL F3/C-501, 4" SPACING BETWEEN HOOPS.
- 46. INFILL MASSING CONCRETE SIDEWALK PER COA STD DWG 2430.
- 47. ASPHALT UTILITY PATCHER PER COA STD DWG 2465.
- 48. MEDIAN CURB AND GUTTER TO MATCH EXISTING PER COA STD DWG 2415B.

MATERIAL LEGEND

- HEAVY DUTY ASPHALT PER DETAIL D1/C-501
- PARKING LOT ASPHALT PER DETAIL D1/C-501
- HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501
- 4" THICK CONCRETE SIDEWALK PER DETAIL B4/C-501
- EROSION PROTECTION. SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
- EARTH RETENTION. SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
- LANDSCAPING AREA



ARCHITECT/ENGINEER



ROSES SOUTHWEST PAPERS
CRICK CROSSING
ALBUQUERQUE, NEW MEXICO

BUILDING PERMIT SET

REVISION	DATE

DATE: 10/16/23
PROJECT NO:

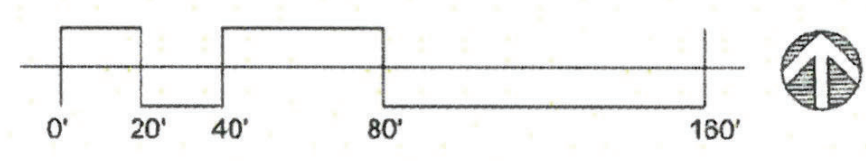
SOLID WASTE PLAN - PHASE 1

SHEET NO.

SOLID-1

Thompson Engineering Consultants, Inc.
1121 ROCK CREEK ROAD
ALBUQUERQUE, NM 87113
PHONE: (505) 271-2199
FAX: (505) 650-9246

A1 SOLID WASTE PLAN- PHASE 1
SCALE: 1" = 40'-0"

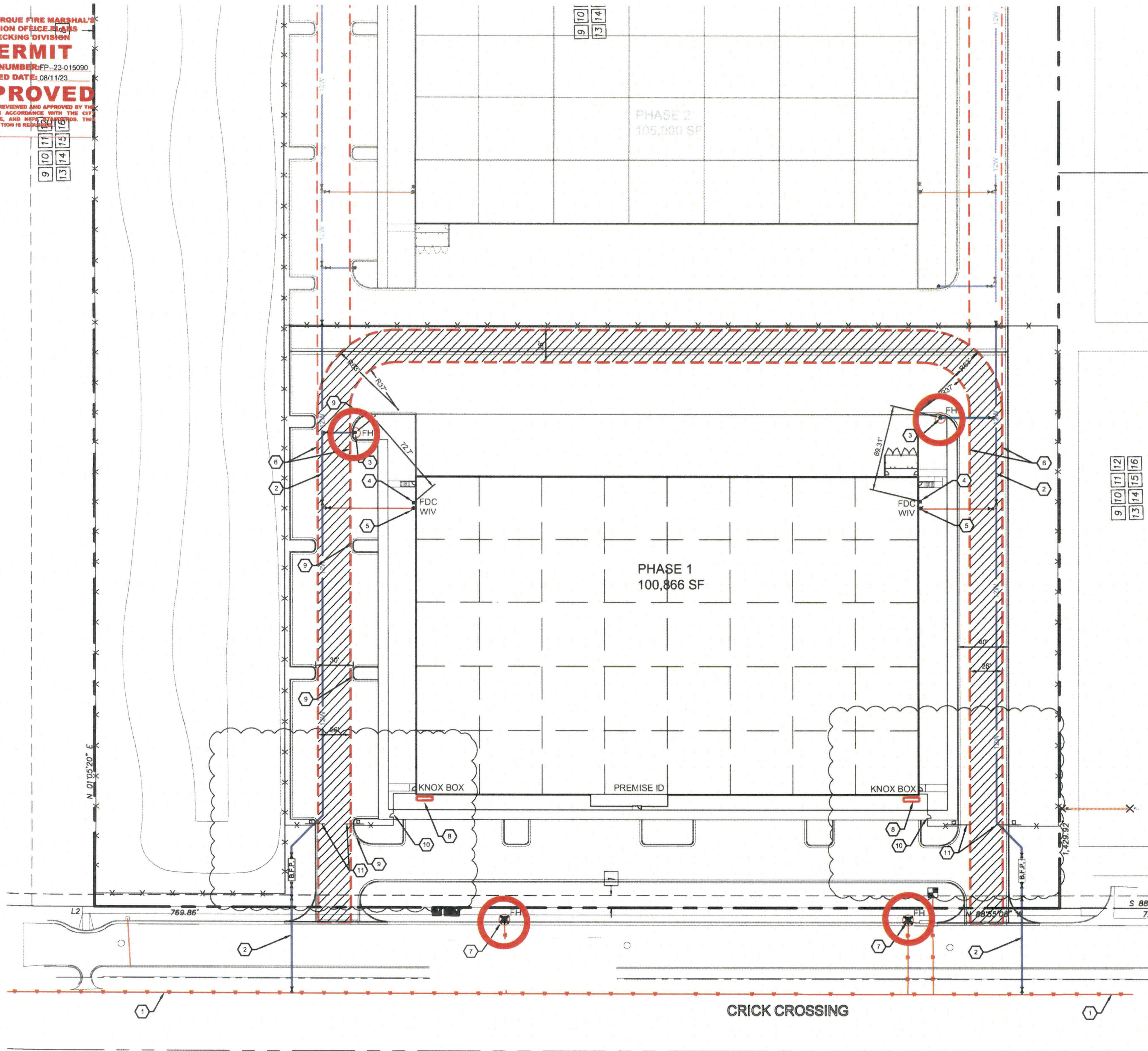


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ALBUQUERQUE FIRE MARSHAL'S
DIVISION OF FIRE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: FP-23-015090
APPROVED DATE: 08/11/23
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NEVADA FIRE CODE. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED. FIRE FLOW: 18, 3375 GPM, 4 HYDRANTS



GENERAL NOTES

- ALL FIRE LANES ARE A MINIMUM OF 26' WIDE.
- ALL FIRE LANES DESIGNED TO SUPPORT THE 75,000LB FIRE APPARATUS.
- ALL FIRE LANES WILL BE DESIGNED TO BE LESS THAN 10% LONGITUDINAL SLOPE.
- SECURITY GATES (BOTH PERSONNEL AND VEHICULAR) CAN BE CONTROLLED BY KEYS OR ACCESS CODES LOCATED WITHIN KNOX BOXES.
- PREMISE IDENTIFICATION WILL BE ADDED PER CITY OF ALBUQUERQUE FIRE DEPARTMENT REQUIREMENTS.
- ACCESS AND LOADING ZONES WILL BE IDENTIFIED IN THE FIELD PER DIRECTION FROM THE CITY OF ALBUQUERQUE FIRE DEPARTMENT.
- VEHICLES OR OBSTRUCTIONS SHALL NOT BE LOCATED WITHIN 15' OF A FIRE HYDRANT OR 5' OF THE FDC.
- THERE WILL BE A TOTAL OF 3 FIRE HYDRANTS (MINIMUM) SURROUNDING EACH BUILDING ON THE SITE. PER APPENDIX C OF IFC FOR FIRE FLOWS LESS THAN 3,375 GPM THE SPACING BETWEEN FIRE HYDRANTS CAN BE 600' AVERAGE. ACTUAL AVERAGE SPACING FOR THIS SITE IS 475'.
- BUILDING HEIGHT TO TOP OF PARAPET 38'.

BUILDING INFORMATION

S-1 AND F-1 MIXED OCCUPANCY BUILDING. FULLY SPRINKLED. TYPE II-B CONSTRUCTION AND UNLIMITED AREA PER PROVISION OF IBC SECTION 507.4.

WAREHOUSE S-1
MANUFACTURING F-1

INTERNATIONAL FIRE CODE 2015, APPENDIX B (TYPICAL BLDG)
FIRE FLOW PER IFC TABLE B105.1(2) IS 6,750 GPM (NON SPRINKLED BUILDING) PER IFC TABLE B105(1) FIRE FLOW CAN BE REDUCED TO 50% IF BUILDING PROTECTED BY AUTOMATIC SPRINKLER SYSTEM IN COMPLIANCE WITH 913.3.1.3 OF THE IFC.

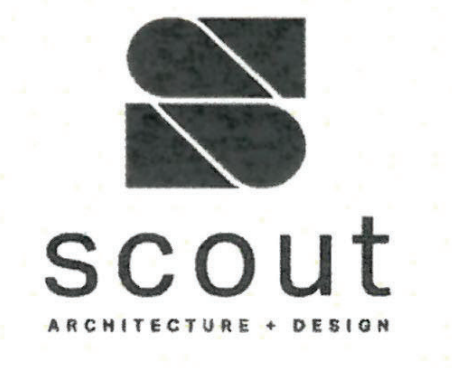
THEREFORE REQUIRED FIRE FLOW IS 3,375 GPM

INTERNATIONAL FIRE CODE 2015, APPENDIX C
SPACING AND NUMBER OF HYDRANTS FOR PROPOSAL BUILDING PER TABLE C102.1
MINIMUM NUMBER OF HYDRANTS = 3
AVERAGE SPACING BETWEEN HYDRANTS = 600' PER FOOTNOTE F, ALLOWING A 50% INCREASE IN SPACING FOR SPRINKLED BUILDINGS
MAXIMUM DISTANCE FROM ANY POINT ON FIRE LANE TO HYDRANT = 337.5' PER FOOTNOTE F, ALLOWING A 50% INCREASE IN SPACING FOR SPRINKLED BUILDINGS

PERIMETER ROAD CONTAINS 4 HYDRANTS OVER A TRAVEL LENGTH OF 1950'.
AVERAGE SPACING IS 487.5'

KEYED NOTES

- EXISTING 18" PUBLIC WATERLINE
- NEW 12" PRIVATE FIRE LINE
- NEW FIRE HYDRANT
- NEW WALL MOUNTED FIRE DEPARTMENT CONNECTION
- NEW WALL MOUNTED VALVE
- NEW 26' WIDE FIRE LANE
- EXISTING FIRE HYDRANT
- KNOX BOX
- RED CURB WITH WHITE LETTERS "FIRE LANE NO PARKING"
- PERSONNEL GATE, OPERABLE WITH KEY FROM KNOX BOX
- VEHICULAR GATE, OPERABLE WITH KEY FROM KNOX BOX



ARCHITECT/ENGINEER
[Signature]
7-15-23

ROSES SOUTHWEST PAPERS
CRICK CROSSING
ALBUQUERQUE, NEW MEXICO

SCHEMATIC DESIGN

REVISION _____ DATE _____
DATE 8/4/23
PROJECT NO _____

FIRE 1 PLAN - PHASE 1

SHEET NO _____
FIRE 1.1

A1 FIRE 1 PLAN - PHASE 1
SCALE: 1" = 40'-0"

0' 20' 40' 80' 160'

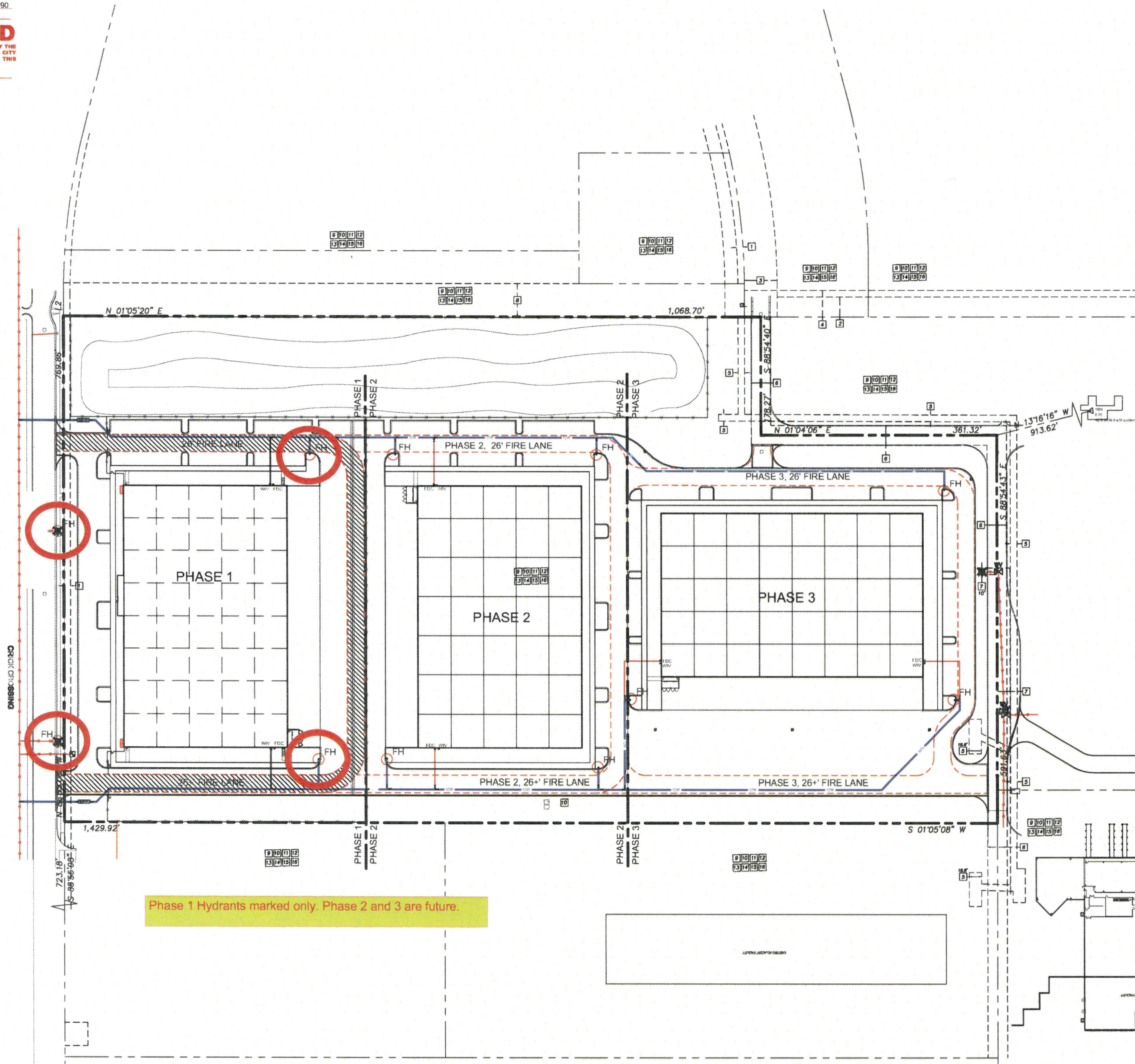
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ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: FP-23-015090
APPROVED DATE: 08/11/23
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 16, 3375 GPM, 4 HYDRANTS

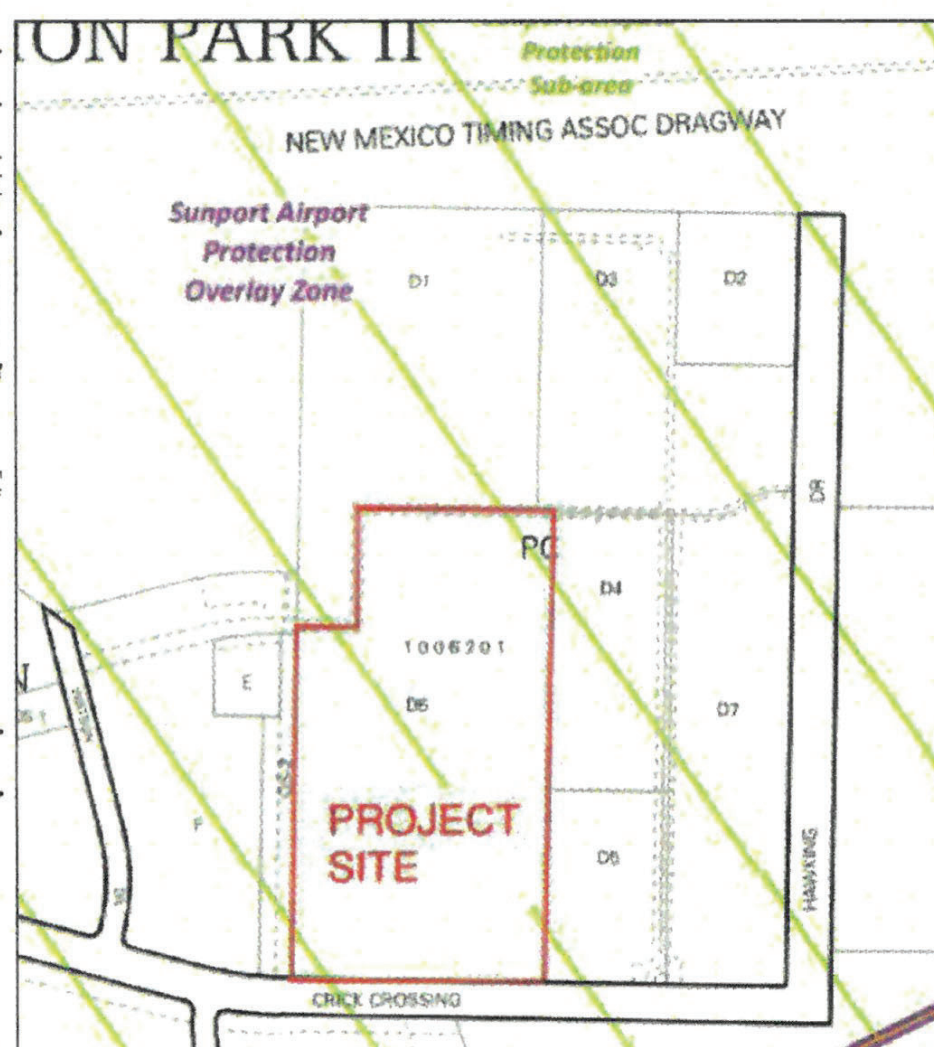


GENERAL NOTES

- A. ALL FIRE LANES ARE A MINIMUM OF 26' WIDE.
- B. ALL FIRE LANES DESIGNED TO SUPPORT THE 75,000LB FIRE APPARATUS.
- C. ALL FIRE LANES WILL BE DESIGNED TO BE LESS THAN 1% LONGITUDINAL SLOPE.
- D. SECURITY GATES (BOTH PERSONNEL AND VEHICULAR) CAN BE CONTROLLED BY KEYS OR ACCESS CODES LOCATED WITHIN KNOW BOXES.
- E. PREMISE IDENTIFICATION WILL BE ADDED PER CITY OF ALBUQUERQUE FIRE DEPARTMENT REQUIREMENTS.
- F. ACCESS AND LOADING ZONES WILL BE IDENTIFIED IN THE FIELD PER DIRECTION FROM THE CITY OF ALBUQUERQUE FIRE DEPARTMENT.
- G. VEHICLES OR OBSTRUCTIONS SHALL NOT BE LOCATED WITHIN 15' OF A FIRE HYDRANT OR 5' OF THE FDC.
- H. THERE WILL BE A TOTAL OF 3 FIRE HYDRANTS (MINIMUM) SURROUNDING EACH BUILDING ON THE SITE. PER APPENDIX C, OF IFC FOR FIRE FLOWS LESS THAN 3,375 GPM THE SPACING BETWEEN FIRE HYDRANTS CAN BE 600' AVERAGE ACTUAL AVERAGE SPACING FOR THIS SITE IS 475'.
- I. BUILDING HEIGHT TO TOP OF PARAPET 35'

BUILDING INFORMATION

S-1 AND F-1 MIXED OCCUPANCY BUILDING, FULLY SPRINKLED, TYPE II-B CONSTRUCTION AND UNLIMITED AREA PER PROVISION OF IBC SECTION 507.4
WAREHOUSE S-1
MANUFACTURING F-1
INTERNATIONAL FIRE CODE 2015, APPENDIX B (TYPICAL BLDG)
FIRE FLOW PER IFC TABLE B105.1(2) IS 8,750 GPM (NON SPRINKLED BUILDING)
PER IFC TABLE B105.1(1) FIRE FLOW CAN BE REDUCED TO 50% IF BUILDING PROTECTED BY AUTOMATIC SPRINKLER SYSTEM IN COMPLIANCE WITH 913.3.1.3 OF THE IFC
THEREFORE REQUIRED FIRE FLOW IS 3,375 GPM
INTERNATIONAL FIRE CODE 2015, APPENDIX C
SPACING AND NUMBER OF HYDRANTS FOR PROPOSAL BUILDING PER TABLE C102.1
MINIMUM NUMBER OF HYDRANTS = 3
AVERAGE SPACING BETWEEN HYDRANTS = 600' PER FOOTNOTE F, ALLOWING A 50% INCREASE IN SPACING FOR SPRINKLED BUILDINGS
MAXIMUM DISTANCE FROM ANY POINT ON FIRE LANE TO HYDRANT = 337' 5" PER FOOTNOTE F, ALLOWING A 50% INCREASE IN SPACING FOR SPRINKLED BUILDINGS
PERIMETER ROAD CONTAINS 4 HYDRANTS OVER A TRAVEL LENGTH OF 1950'
AVERAGE SPACING IS 487' 5"



A1 FIRE 1 MASTERPLAN - ALL PHASES
SCALE: 1" = 80'-0"



A5 ZONE ATLAS PAGE R-16
NOT TO SCALE



ARCHITECT/ENGINEER
[Signature]
7-15-23

ROSES SOUTHWEST PAPERS
CRICK CROSSING
ALBUQUERQUE, NEW MEXICO

SCHEMATIC DESIGN

REVISION _____ DATE _____

DATE 8/4/23

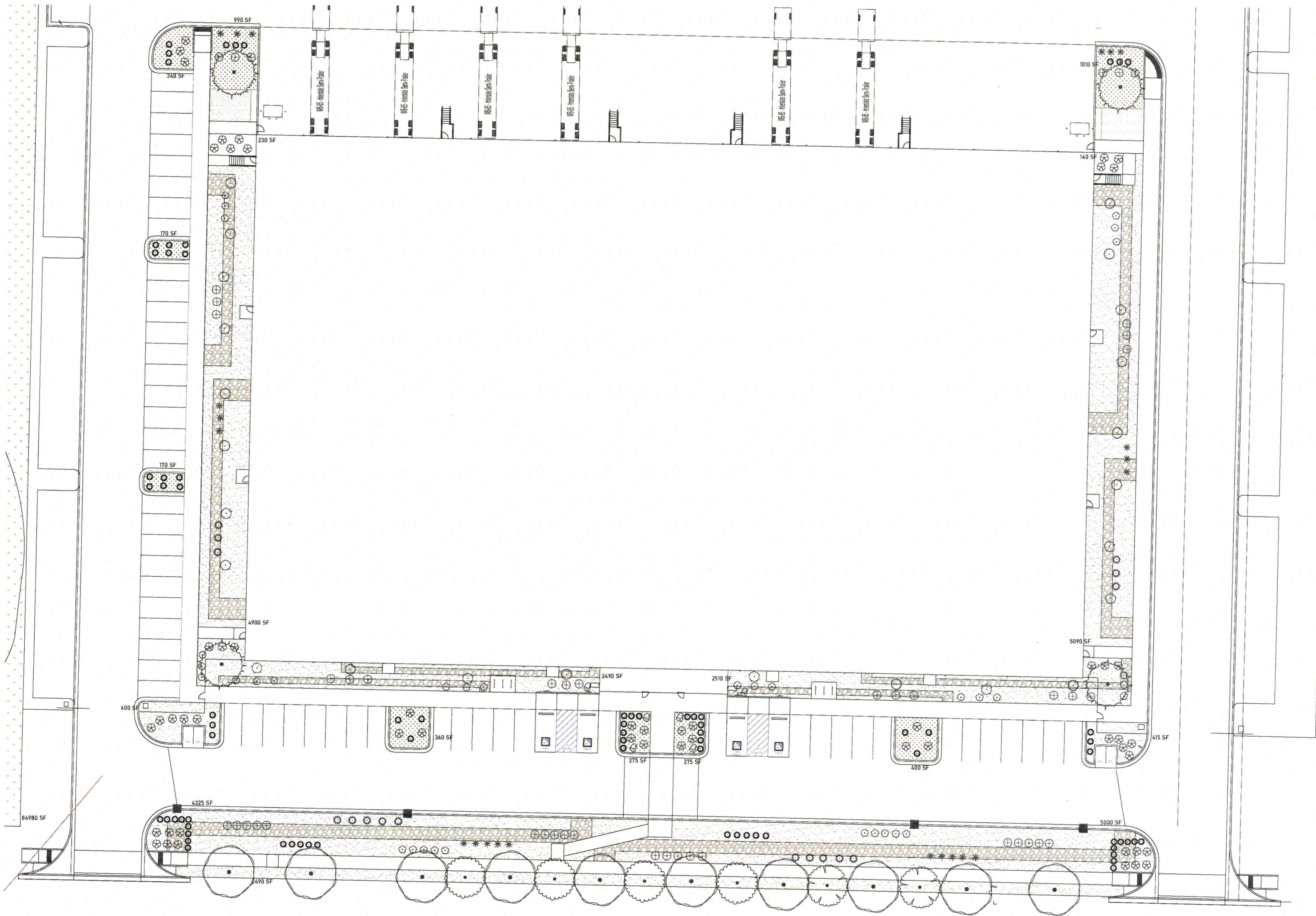
PROJECT NO _____

FIRE 1
MASTERPLAN -
ALL
PHASES

SHEET NO _____

FIRE 1.0

8/11/2023 10:07:53 PM



LANDSCAPING & IRRIGATION

ALL VEGETATION COMPLIES WITH CITY OF ALBUQUERQUE AND BERNALILLO COUNTY WATER AUTHORITY.

A LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.

ALL PLANT MATERIALS SHALL BE FREE OF DISEASE AND INSECTS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK.

ALL VEGETATED MATERIAL SHALL BE PLANTED IN UNCOMPACTED SOIL.

PERMEABLE WEED BARRIERS TO BE USED TO OPTIMIZE STORMWATER INFILTRATION AND PREVENT RUNOFF.

4" DEEP BARK MULCH IN TREE RINGS.

GRAVEL MULCH OVER FILTER FABRIC TO A MINIMUM DEPTH OF 3" SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED OR OTHER HATCHED GROUND COVER AREA. ALL GRAVEL SHALL BE PLACED .5"-1" LOWER THAN ADJACENT HARD SURFACES.

B COBBLE OVER FILTER FABRIC TO A MINIMUM DEPTH OF 4" SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED OR OTHER HATCHED GROUND COVER AREA. ALL GRAVEL SHALL BE PLACED .5"-1" LOWER THAN ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND ACTUAL FIELD VERIFICATION, CONTRACTOR SHALL CEASE WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTIONS ON HOW TO PROCEED.

POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

PLANTING

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE AND BERNALILLO COUNTY ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

C TREES OVERHANGING A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8' CLEARANCE OVER THE SIDEWALK. TREES OVERHANGING THE STREET SHALL BE TRIMMED TO MAINTAIN A 9' CLEARANCE OVER STREET SURFACE.

LANDSCAPING INSTALLED IN THE PUBLIC RIGHT-OF-WAY TO BE WATERED WITH A BUBBLER IRRIGATION SYSTEM BY EITHER A SEPARATE WATER METER OR SEPARATE VALVES.

IRRIGATION SYSTEM

IRRIGATION SYSTEMS TO COMPLY WITH ABCWUA LEGISLATION AND ORDINANCES.

ALL IRRIGATION SYSTEMS TO BE DESIGNED TO MINIMIZE WATER USE.

IRRIGATION SYSTEM TO HAVE CONTROLLERS TO PROGRAM WATERING SCHEDULES.

IRRIGATION SYSTEM SHALL NOT SPRAY OR IRRIGATE IMPERVIOUS SURFACES SUCH AS SIDEWALKS, DRIVEWAYS, STREETS, DRIVE AISLES, AND PARKING AND LOADING AREAS.

INSTALLATION

ANY DAMAGE TO UTILITY LINES RESULTING FROM THE NEGLIGENCE OF THE ABUTTING PROPERTY OWNER OR THE PROPERTY OWNER'S AGENTS OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF ANY LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT SHALL BE THE RESPONSIBILITY OF SUCH PROPERTY OWNER.

ANY DAMAGE TO UTILITY LINES RESULTING FROM THE GROWTH OF PLANT MATERIALS THAT HAVE BEEN APPROVED BY THE APPLICABLE PUBLIC UTILITY AS PART OF A PLAN FOR LANDSCAPING, SCREENING AND BUFFERING ON THE PUBLIC RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF SUCH PUBLIC UTILITY. IF A PUBLIC UTILITY DISTURBS LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPE MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF THE PLANT MATERIALS DIE DESPITE THOSE EFFORTS, IT IS THE OBLIGATION OF THE ABUTTING PROPERTY OWNER TO REPLACE THE PLANT MATERIAL.

PROPERTY OWNERS ACKNOWLEDGE THAT APPROVED LANDSCAPING AND TREES INSTALLED AND MAINTAINED IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT ABUTTING PRIVATE PROPERTIES ARE THE PROPERTY OF THE CITY, AND THAT THE CITY RESERVES THE RIGHT TO REMOVE THEM IF NECESSARY FOR A TRANSPORTATION PROJECT WITHOUT COMPENSATION, BUT AT NO COST TO THE PROPERTY OWNER.

LANDSCAPING INSTALLED IN AN ABUTTING PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT BY PROPERTY OWNERS AND LATER REMOVED BY THE CITY SHALL NOT IMPACT PREVIOUSLY APPROVED NET LOT AREA CALCULATIONS FOR REQUIRED LANDSCAPE.

LANDSCAPE, BUFFERING, AND SCREENING

LANDSCAPE, SCREENING AND BUFFERING AREAS SHALL BE MAINTAINED IN COMPLIANCE TO CITY OF ALBUQUERQUE AND BERNALILLO COUNTY WATER AUTHORITY LEGISLATION AND ORDINANCES.

ALL LANDSCAPE AREAS SHALL BE MAINTAINED WITH A NEAT AND ORDERLY APPEARANCE. THIS INCLUDES PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED PLANTS, DISPOSAL OF LITTER, REPAIR OF DAMAGED WALLS AND HARD SURFACE AREAS, AND UPKEEP OF IRRIGATION SYSTEM.

TREES OR PLANTS THAT DIE SHALL BE REPLACED BY THE OWNER IN NO LONGER THAN 60 CALENDAR DAYS AFTER A NOTICE FROM THE CITY. THE REPLACEMENT OF DEAD VEGETATION SHALL BE THE RESPONSIBILITY OF THE OWNER.

STREET TREES TO BE MAINTAINED ALIVE AND HEALTHY. MAINTAINING AND REPLACING STREET TREES OR OTHER TREES PLANTED IN THE PUBLIC RIGHT-OF-WAY ARE THE RESPONSIBILITY OF THE ABUTTING OWNER.

LANDSCAPE CALCULATIONS

ZONING: CABQ	PD: PLANNED DEVELOPMENT
APPLICABLE REGULATION(S)	IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994
TOTAL LOT AREA (ACRES)	6.33
TOTAL LOT AREA (SF)	275734.800
BUILDING AREA (SF)	99967
NET LOT AREA (SF)	175,768
REQUIRED LANDSCAPE (%)	15
REQUIRED LANDSCAPE (SF)	26365
LANDSCAPE PROVIDED (SF)	32350
VEGETATIVE COVER (% - REQ)	75.0
VEGETATIVE COVER (SF - REQ)	24263
VEGETATIVE COVER (SF - PROV.)	89221
REQ. TREES - 1ST AND 2ND STORY UNITS	64
PROVIDED UNIT TREES	68
GROUND COVER (% - REQ)	18.75
GROUND COVER (SF - REQ)	6066
GROUND COVER (SF - PROV.)	6187
PARKING LOT AREA (SF)	13766
REQ. PARKING LANDSCAPE 10% (SF)	1377
PROV. PARKING LANDSCAPE (SF)	3005
REQ. PARKING TREES (1/10 SPOTS)	7
PROV. PARKING TREES	9
COOL SEASON GRASS (SF)	0
COOL SEASON GRASS (% OF LANDSCAPE)	0.0
REQUIRED ORGANIC MULCH (SF)	8087.5
PROVIDED ORGANIC MULCH (SF)	8434.0

LANDSCAPE CALCULATIONS

ZONING: MESA DEL SOL	PD: PLANNED DEVELOPMENT
APPLICABLE REGULATION(S)	-
TYPE 1: ENTRANCE/COMMON AREAS	TYPE 2: STREET FRONTAGE
TOTAL ENTRANCE/COMMON AREAS AREA (SF)	TOTAL STREET FRONTAGE (SF)
2266	27000
REQUIRED VEGETATIVE COVERAGE (%)	REQUIRED VEGETATIVE COVERAGE (%)
85	85
VEGETATIVE COVERAGE (SF - REQ.)	VEGETATIVE COVERAGE (SF - REQ.)
1,926	22950.0000
VEGETATIVE COVERAGE (SF - PROV.)	VEGETATIVE COVERAGE (SF - PROV.)
4676	74496
TYPE 3: SURFACE PARKING LOT	TYPE 4: Perimeter and Loading Areas
TOTAL SURFACE PARKING LOT AREA (SF)	Total Street Frontage (SF)
5005	200
REQUIRED VEGETATIVE COVERAGE (%)	REQUIRED VEGETATIVE COVERAGE (%)
60	60
VEGETATIVE COVERAGE (SF - REQ.)	VEGETATIVE COVERAGE (SF - REQ.)
3003.00000	120.000000
0	
VEGETATIVE COVER (SF - PROV.)	VEGETATIVE COVERAGE (SF - PROV.)
42502	7952



10-03-2024

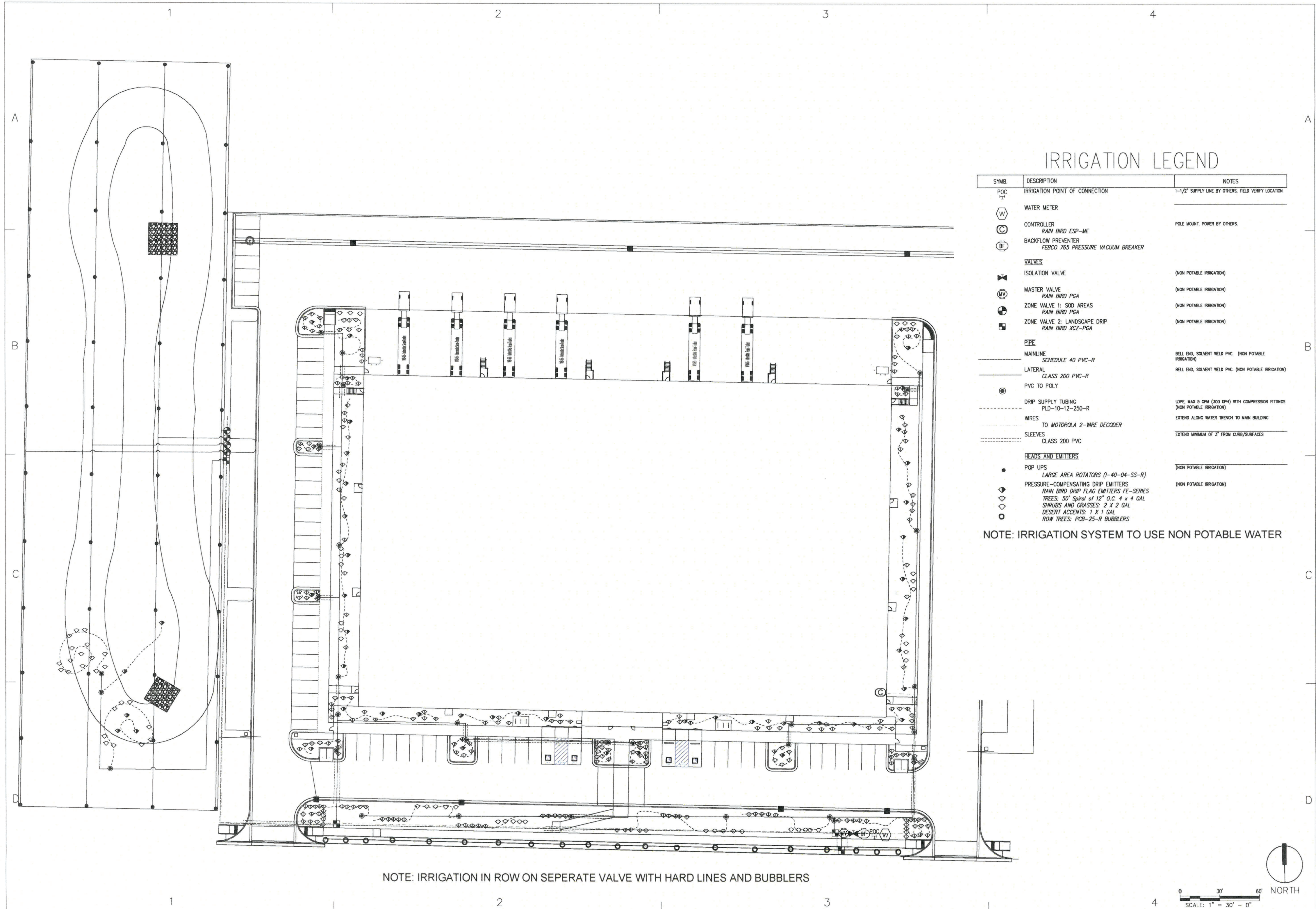
MDS ROSE WAREHOUSE PHASE 1

NW OF CIRCK AVE SE AND HAWKING DR SE
ALBUQUERQUE, NM 87105

ISSUE DATE: 08/20/2024
FILE:
DRAWN BY: JFL
CHECKED BY: ADR

SHEET TITLE
Landscape Notes

SHEET NUMBER
LP-003



IRRIGATION LEGEND

SYMB.	DESCRIPTION	NOTES
POC	IRRIGATION POINT OF CONNECTION	1-1/2" SUPPLY LINE BY OTHERS, FIELD VERIFY LOCATION
WT	WATER METER	
W	CONTROLLER	POLE MOUNT, POWER BY OTHERS.
C	RAIN BRD ESP-ME	
BF	BACKFLOW PREVENTER FEBCO 765 PRESSURE VACUUM BREAKER	
VALVES		
ISOLATION VALVE		(NON POTABLE IRRIGATION)
MV	MASTER VALVE RAIN BRD PCA	(NON POTABLE IRRIGATION)
ZV1	ZONE VALVE 1: SOD AREAS RAIN BRD PCA	(NON POTABLE IRRIGATION)
ZV2	ZONE VALVE 2: LANDSCAPE DRIP RAIN BRD X CZ-PCA	(NON POTABLE IRRIGATION)
PIPE		
MAINLINE	SCHEDULE 40 PVC-R	BELL END, SOLVENT WELD PVC. (NON POTABLE IRRIGATION)
LATERAL	CLASS 200 PVC-R	BELL END, SOLVENT WELD PVC. (NON POTABLE IRRIGATION)
	PVC TO POLY	
	DRIP SUPPLY TUBING PLD-10-12-250-R	LOPE, MAX 5 GPM (300 GPH) WITH COMPRESSION FITTINGS (NON POTABLE IRRIGATION)
	WIRES TO MOTOROLA 2-WIRE DECODER	EXTEND ALONG WATER TRENCH TO MAIN BUILDING
	SLEEVES CLASS 200 PVC	EXTEND MINIMUM OF 3" FROM CURB/SURFACES
HEADS AND EMITTERS		
POP UPS		(NON POTABLE IRRIGATION)
	LARGE AREA ROTATORS (1-40-04-SS-R)	
	PRESSURE-COMPENSATING DRIP EMITTERS RAIN BRD DRIP FLAG EMITTERS FE-SERIES	(NON POTABLE IRRIGATION)
	TREES: 50' Spiral of 12" O.C. 4 x 4 GAL	
	SHRUBS AND GRASSES: 2 X 2 GAL	
	DESERT ACCENTS: 1 X 1 GAL	
	ROW TREES: PCB-25-R BUBBLERS	

NOTE: IRRIGATION SYSTEM TO USE NON POTABLE WATER

NOTE: IRRIGATION IN ROW ON SEPERATE VALVE WITH HARD LINES AND BUBBLERS



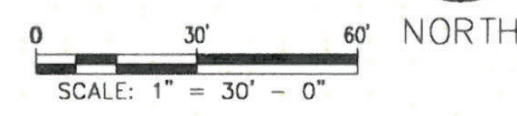
**MDS ROSE WAREHOUSE
PHASE 1**
NW OF CIRCK AVE SE AND HAWKING DR SE
ALBUQUERQUE, NM 87105

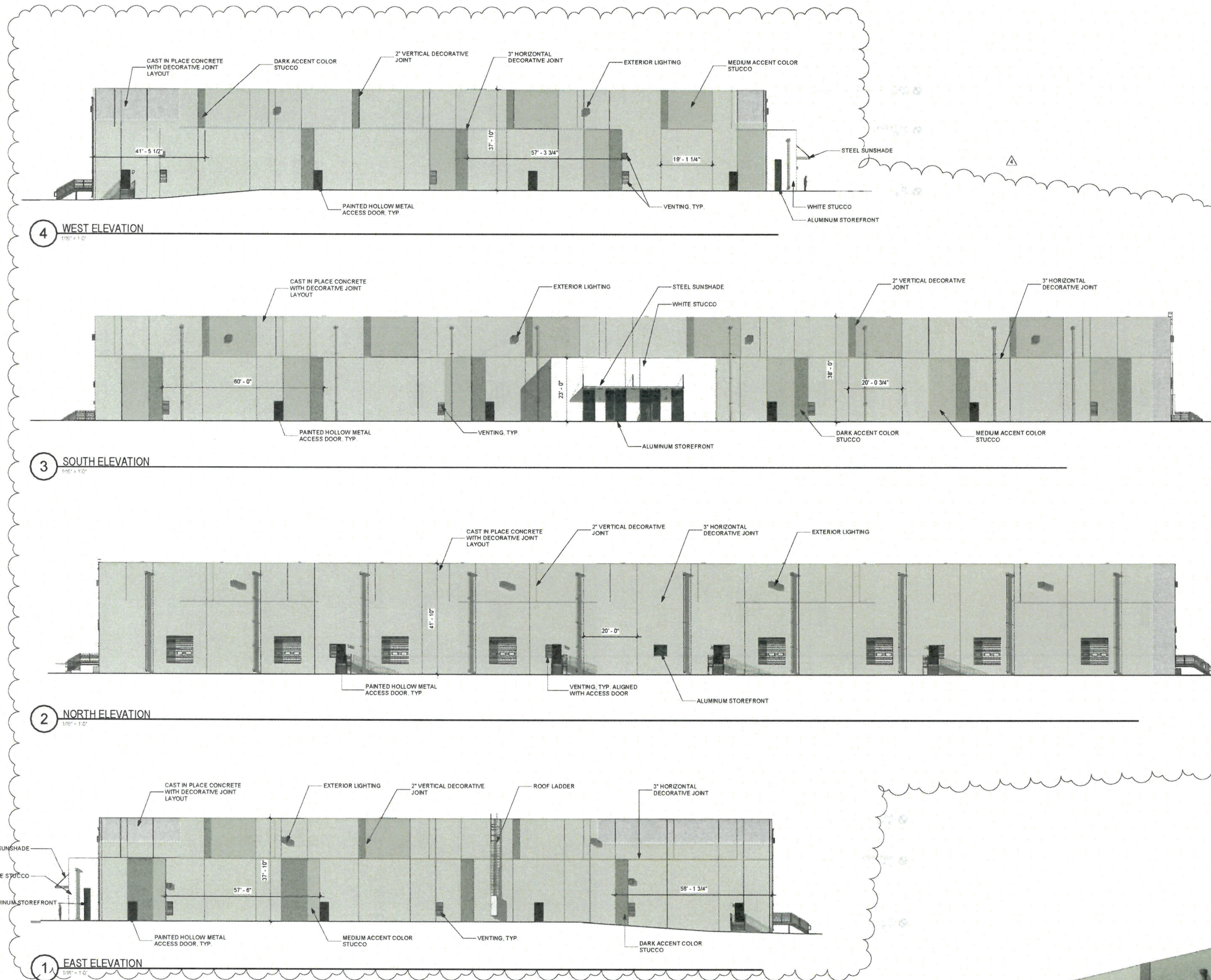
ISSUE DATE: 10/21/2024
FILE:
DRAWN BY: JFL
CHECKED BY: ACB

REVISION	DATE	DESCRIPTION

SHEET TITLE
Irrigation Plan

SHEET NUMBER
LI-001





GENERAL SHEET NOTES

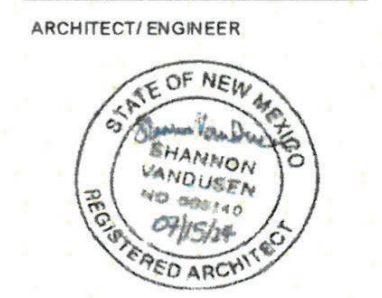
- A. ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED.
- B. REFER TO ELECTRICAL SCHEDULE FOR LIGHT FIXTURES. LOCATE PER ELEVATIONS.
- C. DIMENSIONS TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS BETWEEN TOP OF ADJACENT GRADE AND BOTTOM OF STUCCO.
- D. THE EXTERIOR FINISH MATERIALS SHALL NOT HAVE A LIGHT REFLECTIVE VALUE (LRV) THAT RESULTS IN GLARE IN THE EYES OF FLIGHTS USING THE AIRPORT. IMPAIRS VISIBILITY IN THE VICINITY OF THE AIRPORT OR OTHERWISE DEGRADES THE AIRSPACE TAKE-OFF OR MANEUVERING OF AIRCRAFT AS DETERMINED BY THE CITY AVIATION DEPARTMENT AND PER APPLICABLE FAA REGULATIONS.
- E. SEE AND FOLLOW ALL LOCAL AND STATE TREE GLAZING TO BE CLEAR WITH LOW E AND NON-REFLECTIVE.

KEYED NOTES

- 1. 60\"/>

FINISH LEGEND

	CONCRETE TILT UP PANEL
	MEDIUM GRAY PAINT AND TEXTURE
	DARK GRAY PAINT AND TEXTURE
	STUCCO



ROSES SW PAPERS - WAREHOUSE
 NW OF CRICK AVENUE SE AND HAWKING DRIVE SE
 ALBUQUERQUE, NM

100% PERMIT DRAWINGS

REVISION	DATE
005	DFT COMMENTS 08.05.24

DATE 08.05.24
 PROJECT NO.

RENDERED ELEVATIONS

SHEET NO.
A202



5 ENTRY PERSPECTIVE

08/05/2024 7:11:05 PM

KEYED NOTES

1. TPO ROOF 80 MIL. MECHANICALLY ATTACHED OVER 1/2" COVER BOARD OVER R-19 RIGID INSULATION OVER AIR BARRIER OVER METAL DECK - R-20 FIBERGLASS BATT WITH VENT PILING ON THE UNDERSIDE OF ROOF DECKING
2. ROOF PIGEE
3. 90° x 1/2" UNDER VENT SH-FLIGHTS TIP
4. 24" x 1/2" FIBERGLASS COMBED SH-FLIGHTS TIP - MAX U.F. FACTOR = 5 MAX SLOPE = 4
5. ROOF CRACKER TIP
6. TPO ROOF 80 MIL. MECHANICALLY ATTACHED OVER 1/2" COVER BOARD OVER RIGID INSULATION OVER AIR BARRIER OVER METAL DECK
7. PREFABRICATION ROOF PANEL

GENERAL NOTES

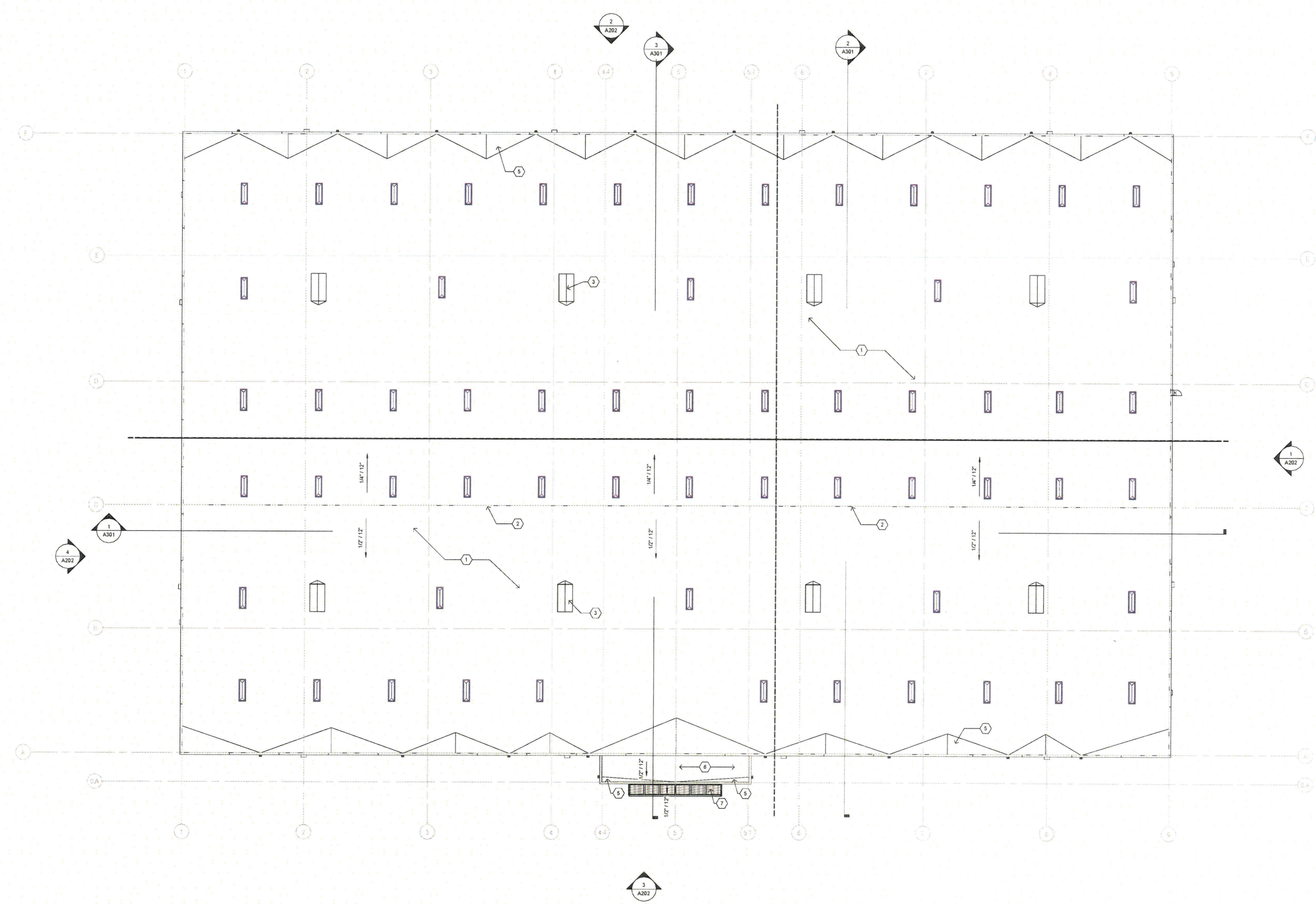
- A. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- B. CONTRACTOR SHALL PROVIDE AND INSTALL ALL APPURTENANT FLASHING, TRIM, SEALANTS, MATERIALS, ETC. REQUIRED TO PROVIDE A COMPLETE WATERPROOF AND WARRANTEED ROOF SYSTEM.
- C. FLASHING AND SEAL ALL ROOF PENETRATIONS.
- D. SHEATHING BY OWNER BETWEEN ALL FLASHED ITEMS.
- E. VERIFY TO WORK DRAWINGS FOR ANY CHANGES TO THE WORK.
- F. THE EXTERIOR FINISH MATERIALS SHALL NOT HAVE A LIGHT REFLECTIVE VALUE (LRV) THAT RESULTS IN GLOMERATION IN THE EYES OF FLIGHTS LEAVING THE AIRPORT. IMPAIRS VISIBILITY IN THE VICINITY OF THE AIRPORT OR OTHERWISE ENGINEERS THE LANDING TAKE OFF OR MANEUVERING OF AIRCRAFT AS DETERMINED BY THE CITY AVIATION DEPARTMENT AND PER APPLICABLE AIR REGULATIONS.



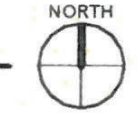
ARCHITECT/ENGINEER



ROSES SW PAPERS - WAREHOUSE
 NW OF CRICK AVENUE SE AND HAWKING DRIVE SE
 ALBUQUERQUE, NM



1 ROOF PLAN
 1/8" = 1'-0"



100% PERMIT DRAWINGS

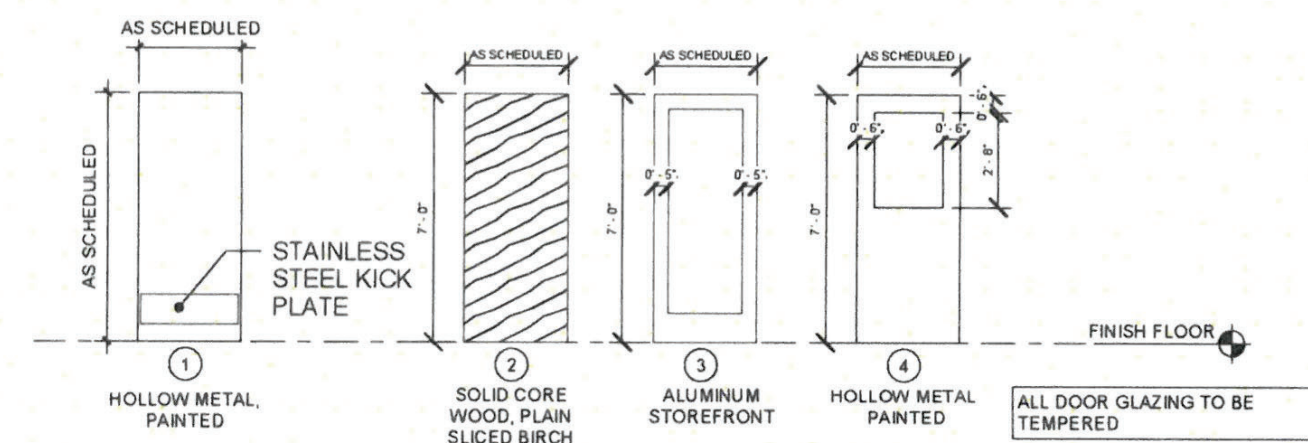
REVISION	DATE
005	DFT COMMENTS 08.06.24

DATE 08.05.24

PROJECT NO.
ROOF PLAN

SHEET NO.
A131

08/20/24 7:10:27 AM



DOOR TYPES
1/4" = 1'-0"

DOOR SCHEDULE					
DOOR NUMBER	WIDTH	HEIGHT	DOOR TYPE	FRAME TYPE	COMMENTS
101	3'-0"	7'-0"	3	A	
101A	3'-0"	7'-0"	2	G	
102	3'-0"	9'-10"	3	D	
103	3'-0"	7'-0"	3	D	
104	3'-0"	7'-0"	3	E	
105	3'-0"	7'-0"	2	G	
106	3'-0"	7'-0"	2	G	
107	3'-0"	7'-0"	2	G	
107A	3'-0"	7'-0"	2	G	
108	3'-0"	7'-0"	2	G	
109	3'-0"	7'-0"	2	G	
110	3'-0"	7'-0"	3	A	
110A	3'-0"	7'-0"	2	G	
112	3'-0"	7'-0"	1	G	
113	3'-0"	7'-0"	1	G	
114	3'-0"	7'-0"	1	G	
115	3'-0"	7'-0"	4	F	
115A	3'-0"	7'-0"	4	F	
116	3'-0"	7'-0"	1	2	
119A	3'-0"	7'-0"	1	G	
119B	3'-0"	7'-0"	1	G	
119C	3'-0"	7'-0"	1	G	
119D	3'-0"	7'-0"	1	G	
119E	3'-0"	7'-0"	1	G	
119F	3'-0"	7'-0"	1	G	
119G	3'-0"	7'-0"	1	G	
119H	3'-0"	7'-0"	1	G	
119J	3'-0"	7'-0"	1	G	
119K	3'-0"	7'-0"	1	G	
119L	3'-0"	7'-0"	1	G	
119M	3'-0"	7'-0"	1	G	
119N	3'-0"	7'-0"	1	G	
119P	3'-0"	7'-0"	1	G	
119Q	3'-0"	7'-0"	1	G	
119R	3'-0"	7'-0"	1	G	
LD101	10'-0"	10'-0"			OVERHEAD DOOR
LD102	10'-0"	10'-0"			OVERHEAD DOOR
LD103	10'-0"	10'-0"			OVERHEAD DOOR
LD104	10'-0"	10'-0"			OVERHEAD DOOR
LD105	10'-0"	10'-0"			OVERHEAD DOOR
LD106	10'-0"	10'-0"			OVERHEAD DOOR
LD107	10'-0"	10'-0"			OVERHEAD DOOR
LD108	10'-0"	10'-0"			OVERHEAD DOOR

GENERAL SHEET NOTES

- A. ALL UNFINISHED STEEL ELEMENTS TO BE PAINTED - COLOR TO BE SELECTED BY ARCHITECT AND APPROVED BY OWNER.
- B. ALL STOREFRONT TO BE THERMALLY BROKEN AND CLEAR ANODIZED
- C. FIELD VERIFY ALL DOOR, GLAZING FRAME DIMENSIONS BEFORE FABRICATION.
- D. NEW HARDWARE TO BE PROVIDED BY CONTRACTOR AS NOTED AND COORDINATED WITH OWNER.

KEYED NOTES

- 1. NOT USED

LEGEND

MARK	TYPE
A	1" CLEAR LOW-E INSULATED GLAZING U FACTOR MAX .38, SHGC .38
B	1" CLEAR LOW-E INSULATED GLAZING TEMPERED FIXED: U FACTOR MAX .38, SHGC MAX .38
C	.25" CLEAR GLAZING
D	.25" CLEAR GLAZING TEMPERED

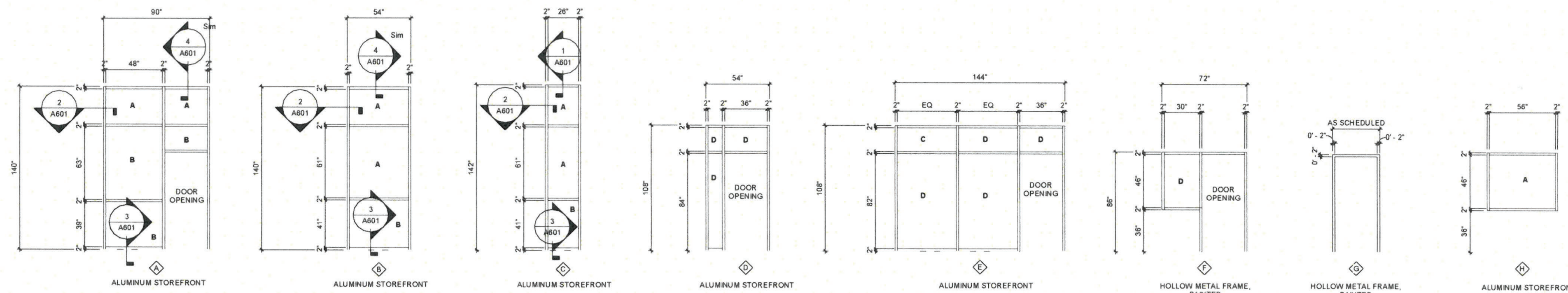


ARCHITECT/ENGINEER

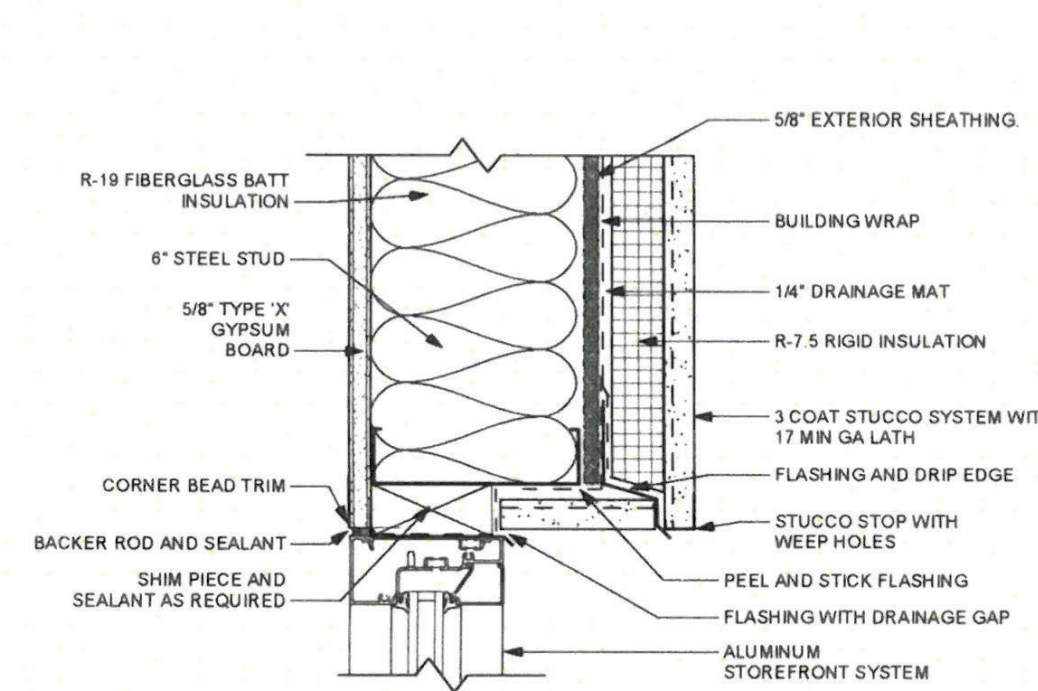


ROSES SW PAPERS - WAREHOUSE

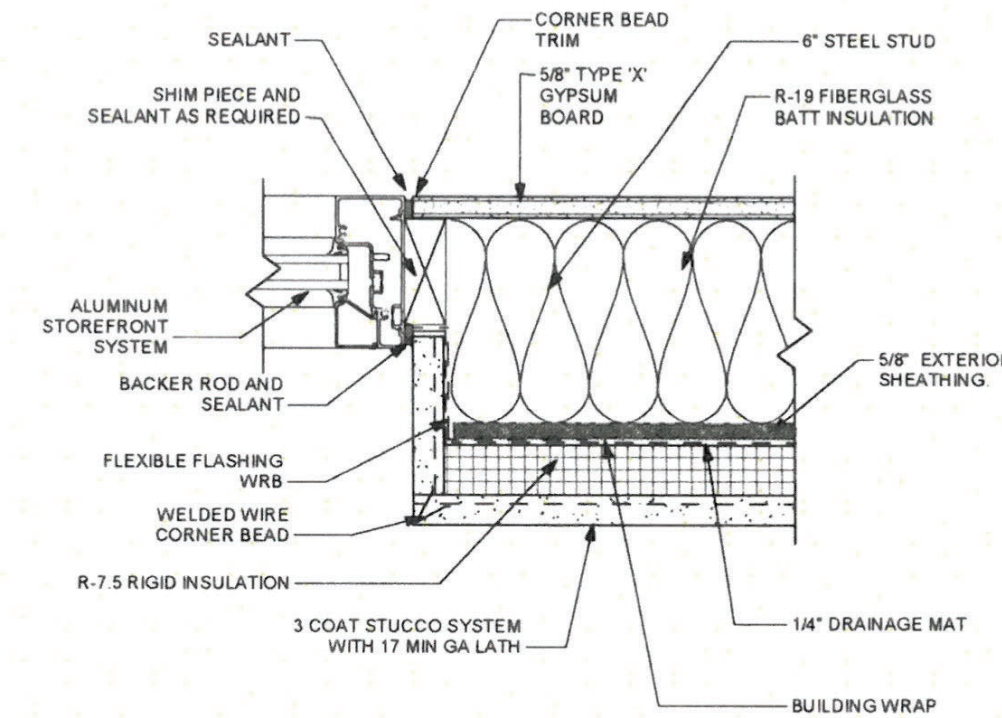
NW OF CRICK AVENUE SE AND HAWKING DRIVE SE
ALBUQUERQUE, NM



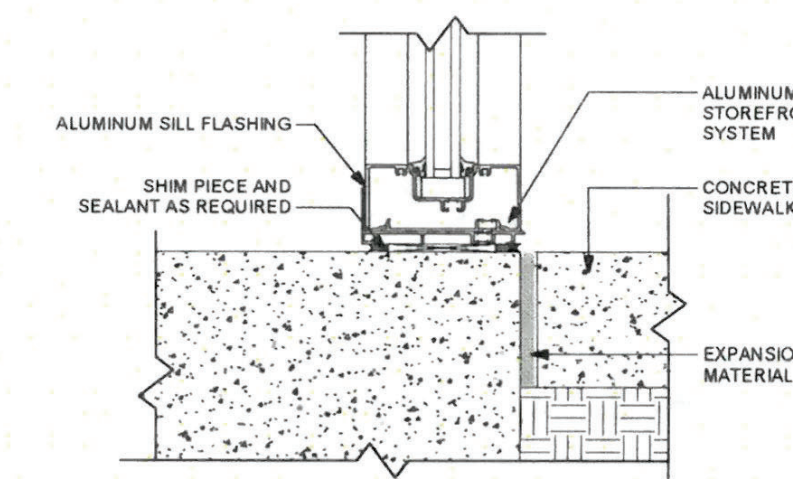
FRAME TYPES
1/4" = 1'-0"



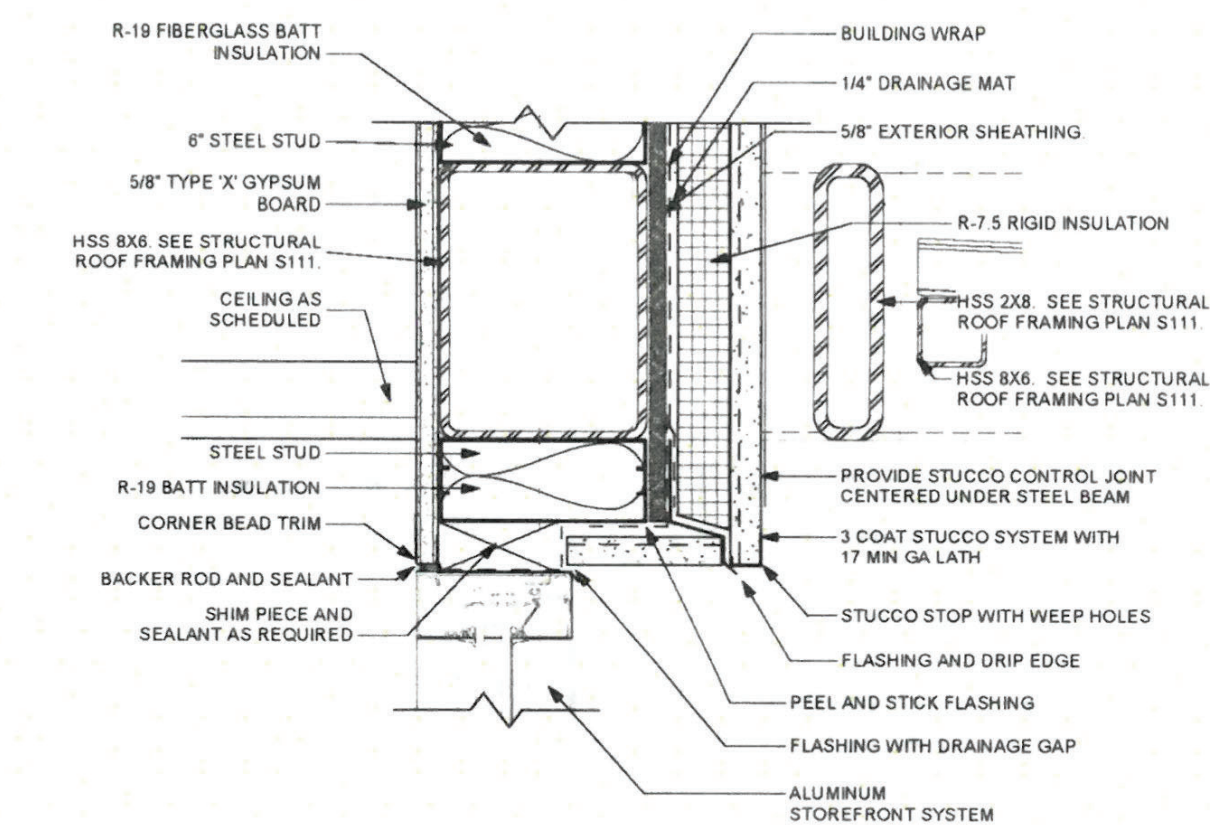
1 TYPICAL EXTERIOR STOREFRONT HEAD
3" = 1'-0"



2 TYPICAL EXTERIOR STOREFRONT JAMB
3" = 1'-0"



3 TYPICAL EXTERIOR ALUMINUM STOREFRONT SILL
3" = 1'-0"



4 STOREFRONT HEAD @ SUNSHADE
3" = 1'-0"

100% PERMIT DRAWINGS

REVISION DATE

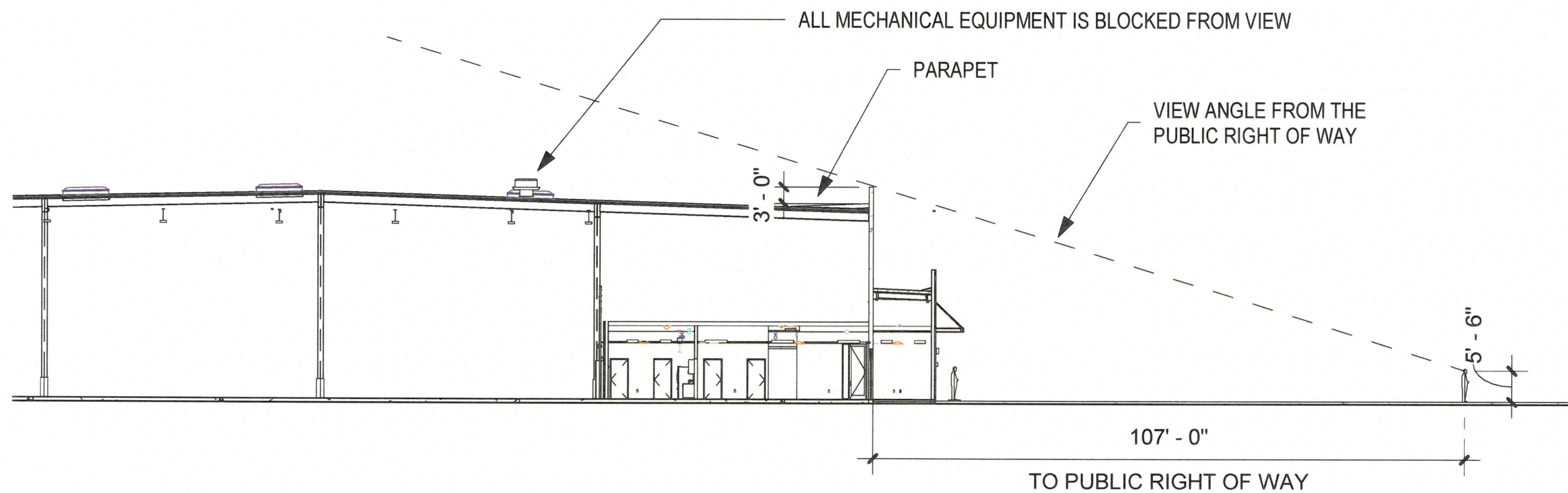
DATE 10.17.23

PROJECT NO

DOOR AND FRAME TYPES + DETAILS

SHEET NO

A601



MECH. EQUIP. VIEW ANGLE SCREENING

ROSES SW PAPERS - WAREHOUSE

08.05.24

1" = 30'-0"












PR-2022-007805_Site_Plan_Approved_Sheet_1


Final Audit Report

2024-10-31

Created:	2024-10-26
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAIF5Z4q_241Sdbq7rjFPuiX1cSQp-_ZpF

"PR-2022-007805_Site_Plan_Approved_Sheet_1" History

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-  Document emailed to Ernest Armijo (earnijo@cabq.gov) for signature
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-  Document emailed to Tiequan Chen (tchen@cabq.gov) for signature
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