



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms P & P2)	PRE-APPLICATIONS
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	APPEAL
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Administrative Decision (Form A)

BRIEF DESCRIPTION OF REQUEST

APPLICATION INFORMATION			
Applicant/Owner:		Phone:	
Address:		Email:	
City:	State:	Zip:	
Professional/Agent (if any):		Phone:	
Address:		Email:	
City:	State:	Zip:	
Proprietary Interest in Site:		List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS		
Site Address/Street:	Between:	and:

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022**_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Form P with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- ___ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- ___ 7) Infrastructure List, if required for building of public infrastructure
- ___ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- ___ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- ___ 10) Completed Site Plan Checklist
- ___ 11) Letter of authorization from the property owner if application is submitted by an agent
- ___ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- ___ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- ___ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

___ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

___ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

___ 17) Sign Posting Agreement

___ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

___ Office of Neighborhood Coordination neighborhood meeting inquiry response

___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

___ Completed neighborhood meeting request form(s)

___ If a meeting was requested or held, copy of sign-in sheet and meeting notes

___ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

___ Proof of emailed notice to affected Neighborhood Association representatives

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

Legal Description & Location: Tract D-6, Mesa Del Sol Innovation Park II
Crick Avenue SE, between Watson SE and Hawking Drive SE

Request Description: Roses Southwest Papers Warehouse, Phase 1 of 3.

Hydrology:

- Sensitive Lands Analysis (5-2(C)) Approved NA
- Grading and Drainage Plan Approved NA
- AMAFCA Approved NA
- Bernalillo County Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Reggie Cho 6/7/2024
 Hydrology Department Date

Transportation:

- Traffic Circulations Layout (TCL) Approved NA
- Traffic Impact Study (TIS) Approved NA
- Neighborhood Impact Analysis (NIA) Approved NA
- Bernalillo County Approved NA
- MRCOG Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Ernest Armyo 6/11/2024
 Transportation Department Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Request for Availability submitted? Yes No NA
- Availability Statement/Serviceability Letter Number _____
- Note: Commitment for service is required prior to application approval.

 ABCWUA Date

- Infrastructure Improvements Agreement (IIA*) Approved NA
- Solid Waste Department Signature on the Plan Approved NA
- Fire Marshall Signature on the Plan Approved NA

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

Legal Description & Location: Tract D-6, Mesa Del Sol Innovation Park II
Crick Avenue SE, between Watson SE and Hawking Drive SE

Request Description: Roses Southwest Papers Warehouse, Phase 1 of 3.

Hydrology:

- Sensitive Lands Analysis (5-2(C)) Approved NA
- Grading and Drainage Plan Approved NA
- AMAFCA Approved NA
- Bernalillo County Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Hydrology Department

Date

Transportation:

- Traffic Circulations Layout (TCL) Approved NA
- Traffic Impact Study (TIS) Approved NA
- Neighborhood Impact Analysis (NIA) Approved NA
- Bernalillo County Approved NA
- MRCOG Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Transportation Department

Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

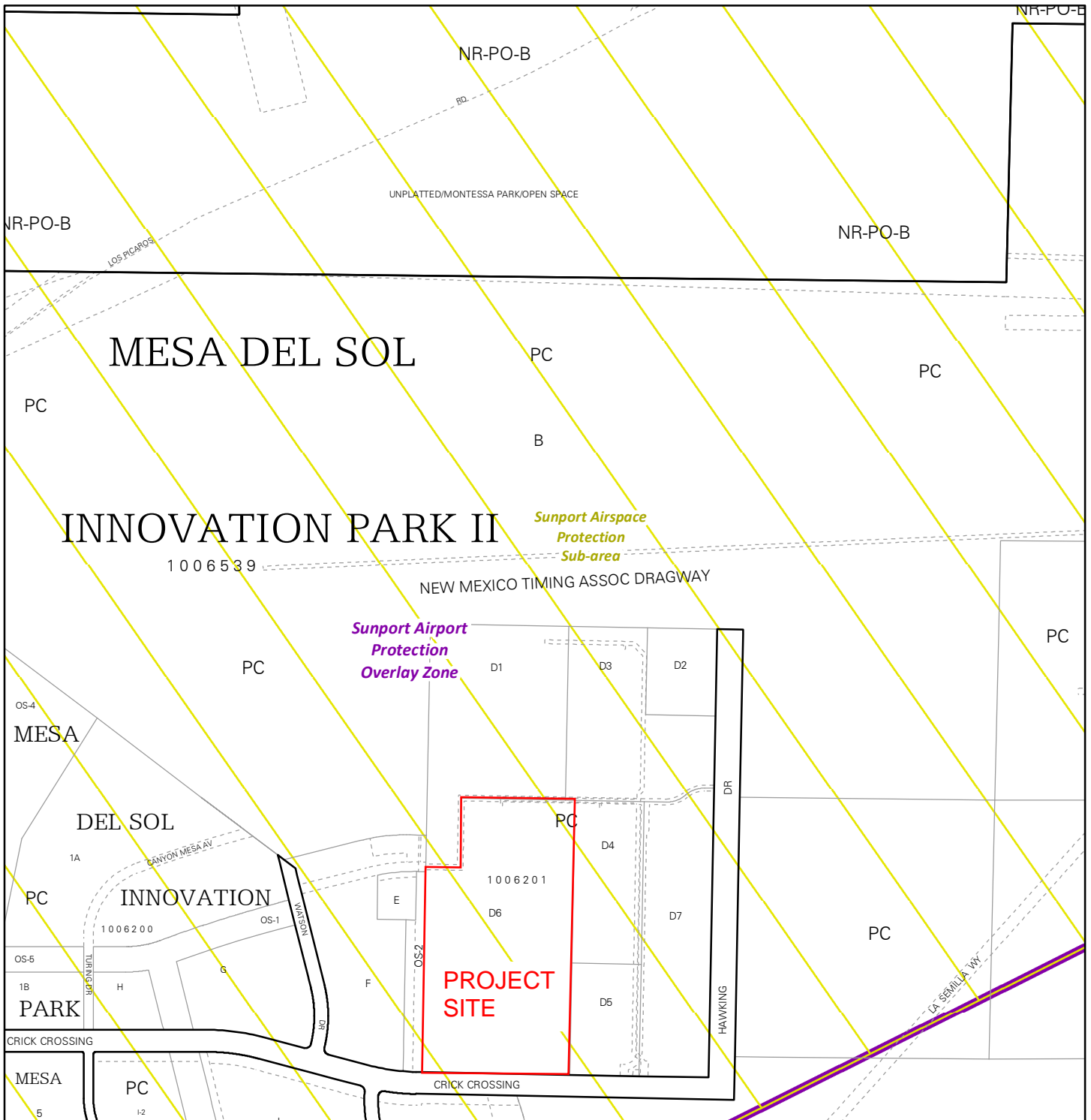
- Request for Availability submitted? Yes No NA
- Availability Statement/Serviceability Letter Number 230704
- Note: Commitment for service is required prior to application approval.

Edwin Bergeron
ABCWUA

3/27/2024
Date

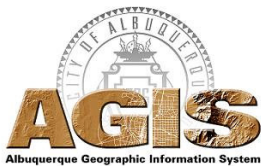
- Infrastructure Improvements Agreement (IIA*) Approved NA
- Solid Waste Department Signature on the Plan Approved NA
- Fire Marshall Signature on the Plan Approved NA

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

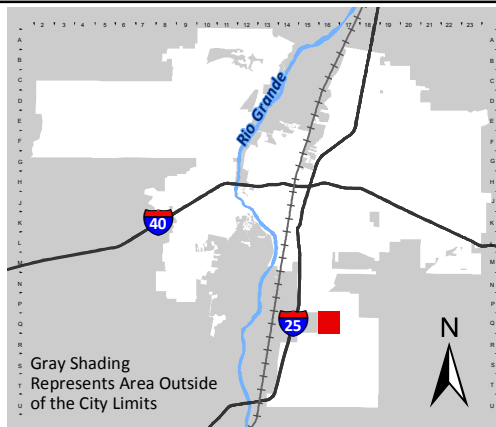


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

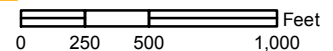


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
Q-16-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone





GENERAL NOTES

- A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
- B. FIELD VERIFY ALL DIMENSIONS.
- C. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER BEFORE PROCEEDING.
- D. SEE SHEET CG001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINE TYPE LEGEND THAT APPLY TO ALL SHEETS.
- E. PAVING PLAN KEYED NOTES ARE COMMON TO ALL SHEETS. NOT ALL KEYED NOTES WILL APPEAR ON EVERY PAGE.
- F. REFER TO PLAT FOR EASEMENT DEFINITIONS.
- G. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW CONCRETE SIDEWALK.
- H. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

KEYED NOTES

- 1. HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501.
- 2. 6" STANDARD CURB AND GUTTER PER DETAIL A5/C-501.
- 3. 8" DEPRESSED CURB AND GUTTER PER DETAIL A5/C-501.
- 4. RUNDOWN DEPRESSED GUTTER PER DETAIL A5/C-501.
- 5. 6" HEADER CURB PER DETAIL A5/C-501.
- 6. CURB TRANSITION PER DETAIL A4/C-501.
- 7. HEAVY DUTY ASPHALT PAVEMENT PER DETAIL D1/C-501.
- 8. PARKING LOT ASPHALT PAVEMENT PER DETAIL D1/C-501.
- 9. CONCRETE CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD DWG 2441 THRU 2446.
- 10. CONCRETE SIDEWALK PER DETAIL B4/C-501.
- 11. TURNDOWN EDGE ON SIDEWALK PER DETAIL E4/C-501.
- 12. CONCRETE STOPPER PER DETAIL C1/C-501.
- 13. CONCRETE SPEED TABLE CONCRETE PAVEMENT PER DETAIL D4/C-501.
- 14. STAIRS WITH HANDRAILS PER DETAIL A2/C-501 AND C2/C-501.
- 15. RIP RAP EROSION PROTECTION PER DETAIL D3/C-501.
- 16. CONCRETE EQUIPMENT PAD UNDER NEW TRANSFORMER PER DETAIL A3/C-504. SEE ELECTRICAL PLANS SHEET ES-101 FOR ADDITIONAL REQUIREMENTS.
- 17. 4" WIDE WHITE TRAFFIC PARKING.
- 18. PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
- 19. PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 7" AND 6" TALL.
- 20. 3" WIDE X 6" TALL PERSONNEL GATE PER DETAIL F3/C-504.
- 21. SEE LANDSCAPING PLANS FOR DETAILS.
- 22. 8" CONCRETE BOLLARDS AT REFUSE CONTAINER PER DETAIL A2/C-501.
- 23. CONCRETE MASONRY SCREEN WALL 6" TALL PER STRUCTURAL PLANS.
- 24. RESERVED PARKING SYMBOL PER DETAIL C6/C-502.
- 25. 12" TALL WHITE LETTERS "NO PARKING".
- 26. UNLOADING ZONE PER DETAIL A3/C-502.
- 27. VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL E6/C-502.
- 28. RESERVED PARKING SIGN PER DETAIL E6/C-502.
- 29. ADA COMPLIANT CURB ACCESS RAMP PER DETAIL A1/C-502 AND COA DETAILS 2440.
- 30. PARKING BLOCK PER DETAIL F2/C-501.
- 31. MONUMENT SIGN BASE. SEE ARCHITECTURAL FOR DETAILS.
- 32. 4" WIDE CONCRETE VALLEY GUTTER PER DETAIL E5/C-501.
- 33. 6" TALL WROUGHT IRON FENCE PER DETAIL B4/C-504.
- 34. PAIR 20" WIDE WROUGHT IRON SLIDING GATES.
- 35. PAIR 15" WIDE WROUGHT IRON SLIDING GATES.
- 36. GATE OPERATOR.
- 37. REFUSE PAD PER DETAIL C1/C-502.
- 38. RETENTION POND. SEE SHEETS C-201 AND C-202.
- 39. CONCRETE CURB AND GUTTER PER COA STD DWG 2415A.
- 40. CONCRETE VALLEY GUTTER PER COA STD DWG 2420.
- 41. CONCRETE SPLASH BLOCK PER DETAIL A1/C-501.
- 42. AREA RESERVED FOR FUTURE PARKING.
- 43. 12" TALL LETTERS FOR MOTORCYCLES "MC".
- 44. RESERVED PARKING SIGN "MOTORCYCLES ONLY".
- 45. BIKE RACK PER DETAIL F3/C-501, 4' SPACING BETWEEN HOOPS.
- 46. INFILL MISSING CONCRETE SIDEWALK PER COA STD DWG 2430.
- 47. ASPHALT UTILITY PATCH PER COA STD DWG 2465.
- 48. MEDIAN CURB AND GUTTER TO MATCH EXISTING PER COA STD DWG 2415B.

MATERIAL LEGEND

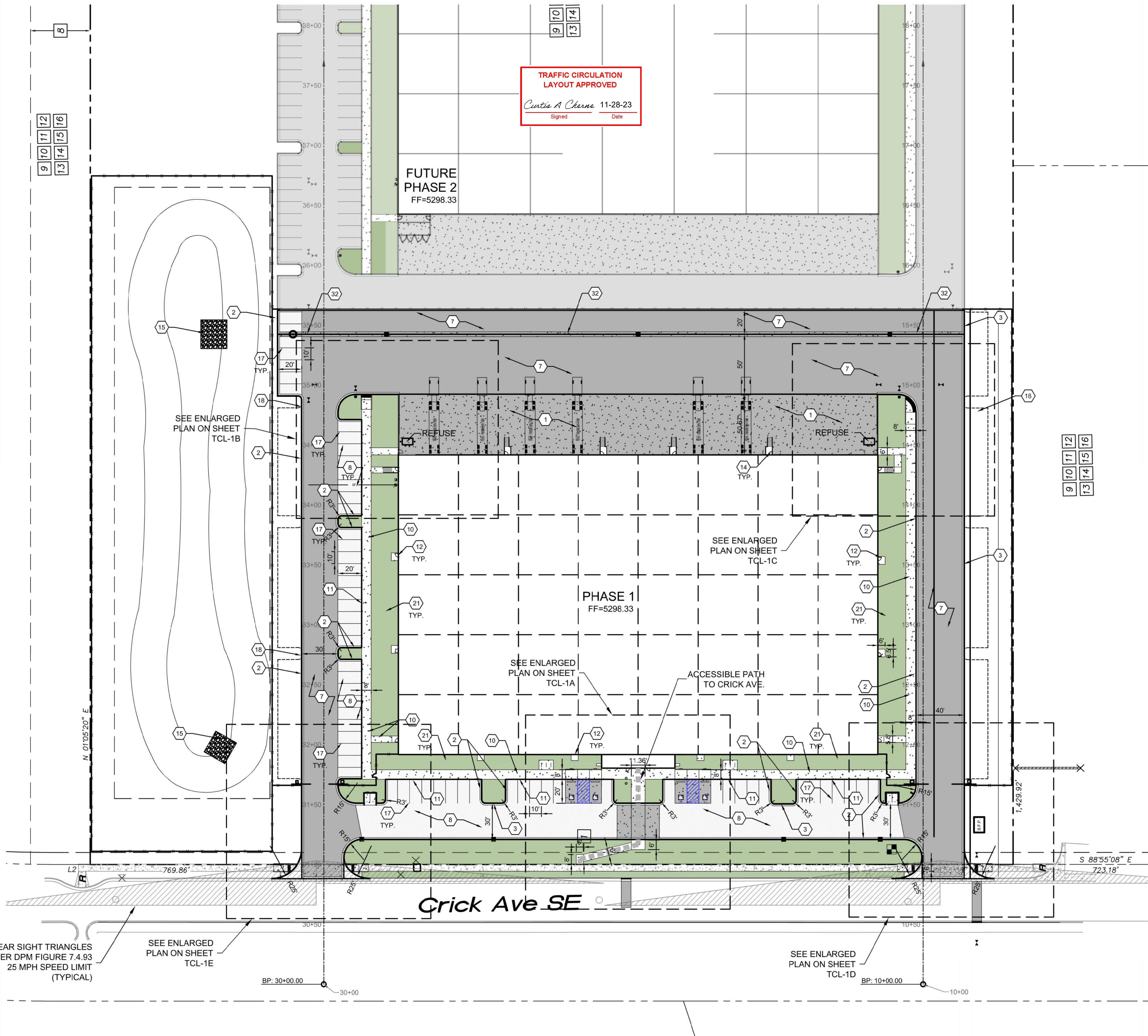
	HEAVY DUTY ASPHALT PER DETAIL D1/C-501
	PARKING LOT ASPHALT PER DETAIL D1/C-501
	HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501
	4" THICK CONCRETE SIDEWALK PER DETAIL B4/C-501
	EROSION PROTECTION. SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	EARTHEN POND. SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	LANDSCAPING AREA.

BUILDING PERMIT SET

REVISION	DATE
DATE	10/16/23
PROJECT NO	
TRAFFIC CIRCULATION LAYOUT - PHASE 1	
SHEET NO.	

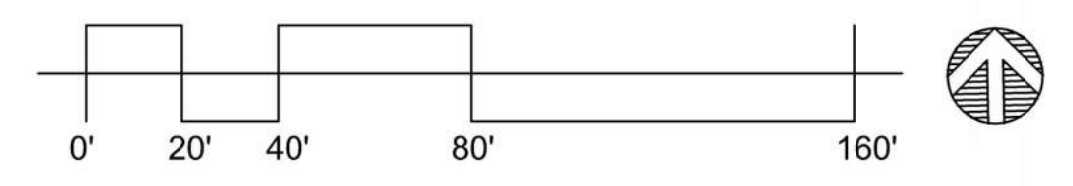
TCL-1

tecnc@yahoo.com
P.O. BOX 65760 ALBUQUERQUE, NM 87193
PHONE: (505) 271-2199 FAX: (505) 630-9248



TRAFFIC CIRCULATION LAYOUT APPROVED
Curtis A. Chessa 11-28-23
Signed Date

TRAFFIC CIRCULATION LAYOUT - PHASE 1
SCALE: 1" = 40'-0"



6/1/2023 10:07:53 PM



GENERAL NOTES

- A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
- B. FIELD VERIFY ALL DIMENSIONS.
- C. DO NOT SCALE DRAWINGS, IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER BEFORE PROCEEDING.
- D. SEE SHEET CG001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINE TYPE LEGEND THAT APPLY TO ALL SHEETS.
- E. PAVING PLAN KEYED NOTES ARE COMMON TO ALL SHEETS. NOT ALL KEYED NOTES WILL APPEAR ON EVERY PAGE.
- F. REFER TO PLAT FOR EASEMENT DEFINITIONS.
- G. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW CONCRETE SIDEWALK.
- H. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

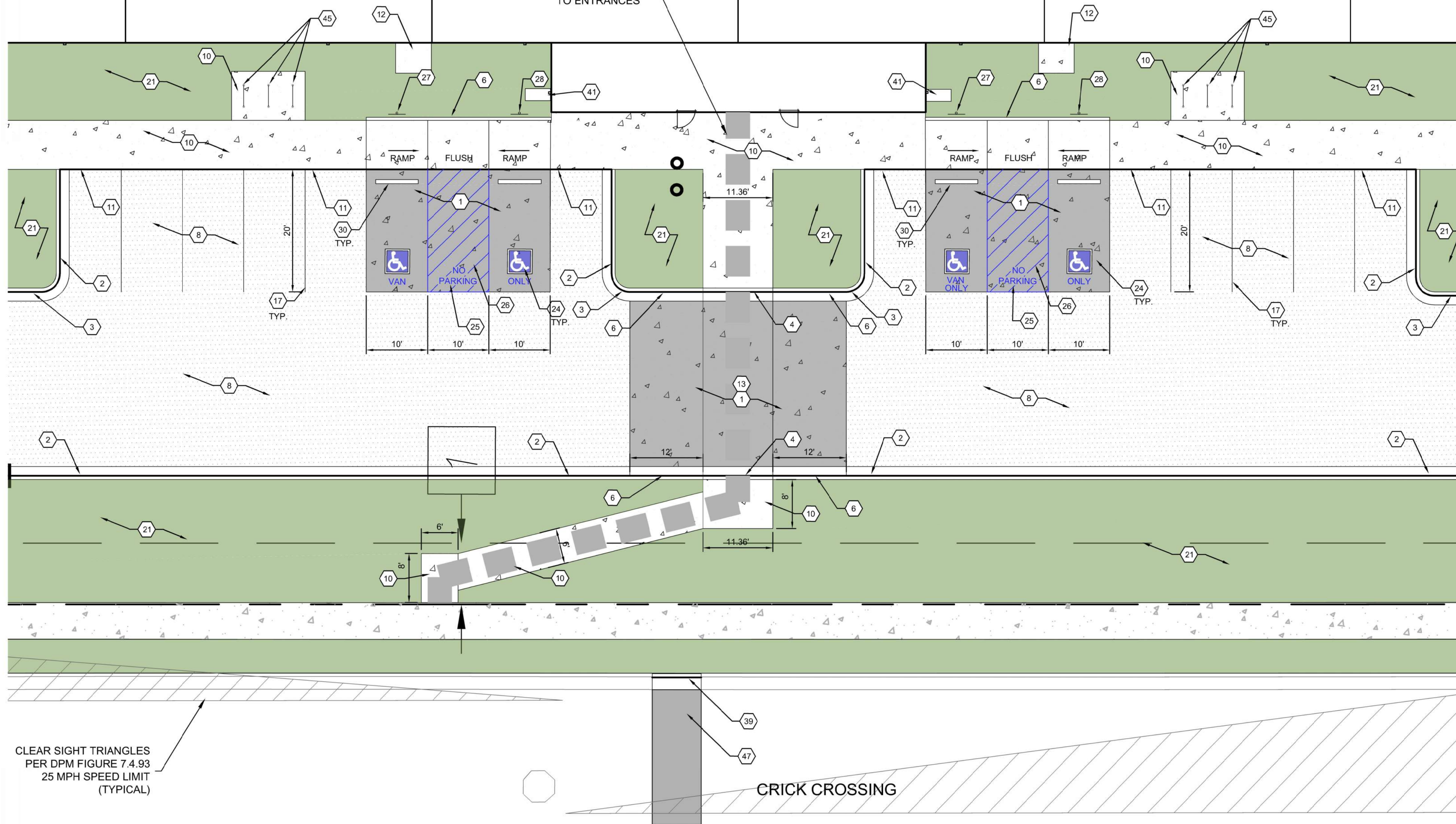
KEYED NOTES

- 1. HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501.
- 2. 6" STANDARD CURB AND GUTTER PER DETAIL A5/C-501.
- 3. 8" DEPRESSED CURB AND GUTTER PER DETAIL A5/C-501.
- 4. RUNDOWN DEPRESSED GUTTER PER DETAIL A5/C-501.
- 5. 6" HEADER CURB PER DETAIL A5/C-501.
- 6. CURB TRANSITION PER DETAIL A4/C-501.
- 7. HEAVY DUTY ASPHALT PAVEMENT PER DETAIL D1/C-501.
- 8. PARKING LOT ASPHALT PAVEMENT PER DETAIL D1/C-501.
- 9. CONCRETE CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD DWG 2441 THRU 2446.
- 10. CONCRETE SIDEWALK PER DETAIL B4/C-501.
- 11. TURNDOWN EDGE ON SIDEWALK PER DETAIL E4/C-501.
- 12. CONCRETE STOPOP PER DETAIL C1/C-501.
- 13. CONCRETE SPEED TABLE CONCRETE PAVEMENT PER DETAIL D4/C-501.
- 14. STAIRS WITH HANDRAILS PER DETAIL A2/C-501 AND C2/C-501.
- 15. RIP RAP EROSION PROTECTION PER DETAIL D3/C-501.
- 16. CONCRETE EQUIPMENT PAD UNDER NEW TRANSFORMER PER DETAIL A3/C-504. SEE ELECTRICAL PLANS SHEET ES-101 FOR ADDITIONAL REQUIREMENTS.
- 17. 4" WIDE WHITE TRAFFIC PARKING.
- 18. PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
- 19. PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 1/2" AND 6" TALL.
- 20. 3' WIDE X 6' TALL PERSONNEL GATE PER DETAIL F3/C-504.
- 21. SEE LANDSCAPING PLANS FOR DETAILS.
- 22. 6" CONCRETE BOLLARDS AT REFUSE CONTAINER PER DETAIL A2/C-501.
- 23. CONCRETE MASONRY SCREEN WALL 6" TALL PER STRUCTURAL PLANS.
- 24. RESERVED PARKING SYMBOL PER DETAIL C6/C-502.
- 25. 12" TALL WHITE LETTERS "NO PARKING".
- 26. UNLOADING ZONE PER DETAIL A3/C-502.
- 27. VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL E6/C-502.
- 28. RESERVED PARKING SIGN PER DETAIL E6/C-502.
- 29. ADA COMPLIANT CURB ACCESS RAMP PER DETAIL A1/C-502 AND COA DETAILS 2440.
- 30. PARKING BLOCK PER DETAIL F2/C-501.
- 31. MONUMENT SIGN BASE. SEE ARCHITECTURAL FOR DETAILS.
- 32. 4" WIDE CONCRETE VALLEY GUTTER PER DETAIL E5/C-501.
- 33. 8" TALL WROUGHT IRON FENCE PER DETAIL B4/C-504.
- 34. PAIR 20" WIDE WROUGHT IRON SLIDING GATES.
- 35. PAIR 15" WIDE WROUGHT IRON SLIDING GATES.
- 36. GATE OPERATOR.
- 37. REFUSE PAD PER DETAIL C1/C-502.
- 38. RETENTION POND. SEE SHEETS C-201 AND C-202.
- 39. CONCRETE CURB AND GUTTER PER COA STD DWG 2415A.
- 40. CONCRETE VALLEY GUTTER PER COA STD DWG 2420.
- 41. CONCRETE SPLASH BLOCK PER DETAIL A1/C-501.
- 42. AREA RESERVED FOR FUTURE PARKING.
- 43. 12" TALL LETTERS FOR MOTORCYCLES "MC".
- 44. RESERVED PARKING SIGN "MOTORCYCLES ONLY".
- 45. BIKE RACK PER DETAIL F3/C-501, 4' SPACING BETWEEN HOOPS.
- 46. INFILL MISSING CONCRETE SIDEWALK PER COA STD DWG 2430.
- 47. ASPHALT UTILITY PATCH PER COA STD DWG 2465.
- 48. MEDIAN CURB AND GUTTER TO MATCH EXISTING PER COA STD DWG 2415B.

TRAFFIC CIRCULATION LAYOUT APPROVED
Curtis A. Charva 11-28-23
 Signed Date

PHASE 1 BUILDING
FF=5298.33

DASHED LINE IDENTIFIES ACCESSIBLE PATH FROM PUBLIC STREET TO ENTRANCES



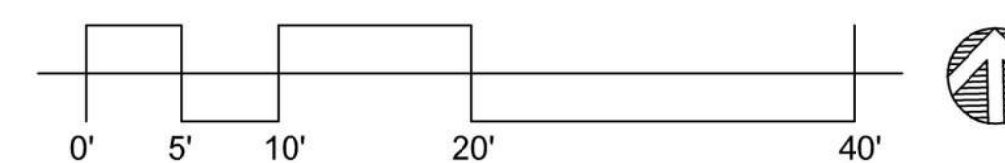
MATERIAL LEGEND

	HEAVY DUTY ASPHALT PER DETAIL D1/C-501
	PARKING LOT ASPHALT PER DETAIL D1/C-501
	HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501
	4" THICK CONCRETE SIDEWALK PER DETAIL B4/C-501
	EROSION PROTECTION. SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	EARTHEN POND. SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	LANDSCAPING AREA.

CLEAR SIGHT TRIANGLES PER DPM FIGURE 7.4.93 25 MPH SPEED LIMIT (TYPICAL)

CRICK CROSSING

TRAFFIC CIRCULATION LAYOUT - PHASE 1 ENLARGED
SCALE: 1" = 10'-0"



ROSES SOUTHWEST PAPERS
 CRICK CROSSING
 ALBUQUERQUE, NEW MEXICO

BUILDING PERMIT SET

REVISION DATE

DATE 10/16/23

PROJECT NO

TRAFFIC CIRCULATION LAYOUT - PHASE 1 ENLARGED

SHEET NO.

TCL-1A

Thompson Engineering Consultants, Inc.
 tecnm@yahoo.com
 P.O. BOX 65760 ALBUQUERQUE, NM 87193
 PHONE: (505) 271-2199 FAX: (505) 630-9248



GENERAL NOTES

- A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
- B. FIELD VERIFY ALL DIMENSIONS.
- C. DO NOT SCALE DRAWINGS, IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER BEFORE PROCEEDING.
- D. SEE SHEET CG001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINE TYPE LEGEND THAT APPLY TO ALL SHEETS.
- E. PAVING PLAN KEYED NOTES ARE COMMON TO ALL SHEETS. NOT ALL KEYED NOTES WILL APPEAR ON EVERY PAGE.
- F. REFER TO PLAT FOR EASEMENT DEFINITIONS.
- G. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW CONCRETE SIDEWALK.
- H. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

KEYED NOTES

1. HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501.
2. 6" STANDARD CURB AND GUTTER PER DETAIL A5/C-501.
3. 8" DEPRESSED CURB AND GUTTER PER DETAIL A5/C-501.
4. RUNDOWN DEPRESSED GUTTER PER DETAIL A5/C-501.
5. 6" HEADER CURB PER DETAIL A5/C-501.
6. CURB TRANSITION PER DETAIL A4/C-501.
7. HEAVY DUTY ASPHALT PAVEMENT PER DETAIL D1/C-501.
8. PARKING LOT ASPHALT PAVEMENT PER DETAIL D1/C-501.
9. CONCRETE CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD DWG 2441 THRU 2446.
10. CONCRETE SIDEWALK PER DETAIL B4/C-501.
11. TURNDOWN EDGE ON SIDEWALK PER DETAIL E4/C-501.
12. CONCRETE STOOP PER DETAIL C1/C-501.
13. CONCRETE SPEED TABLE CONCRETE PAVEMENT PER DETAIL D4/C-501.
14. STAIRS WITH HANDRAILS PER DETAIL A2/C-501 AND C2/C-501.
15. RIP RAP EROSION PROTECTION PER DETAIL D3/C-501.
16. CONCRETE EQUIPMENT PAD UNDER NEW TRANSFORMER PER DETAIL A3/C-504. SEE ELECTRICAL PLANS SHEET ES-101 FOR ADDITIONAL REQUIREMENTS.
17. 4" WIDE WHITE TRAFFIC PARKING.
18. PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
19. PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 1/2" AND 6" TALL.
20. 3' WIDE X 6' TALL PERSONNEL GATE PER DETAIL F3/C-504.
21. SEE LANDSCAPING PLANS FOR DETAILS.
22. 6" CONCRETE BOLLARDS AT REFUSE CONTAINER PER DETAIL A2/C-501.
23. CONCRETE MASONRY SCREEN WALL 6" TALL PER STRUCTURAL PLANS.
24. RESERVED PARKING SYMBOL PER DETAIL C6/C-502.
25. 12" TALL WHITE LETTERS "NO PARKING".
26. UNLOADING ZONE PER DETAIL A3/C-502.
27. VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL E6/C-502.
28. RESERVED PARKING SIGN PER DETAIL E6/C-502.
29. ADA COMPLIANT CURB ACCESS RAMP PER DETAIL A1/C-502 AND COA DETAILS 2440.
30. PARKING BLOCK PER DETAIL F2/C-501.
31. MONUMENT SIGN BASE. SEE ARCHITECTURAL FOR DETAILS.
32. 4" WIDE CONCRETE VALLEY GUTTER PER DETAIL E5/C-501.
33. 8" TALL WROUGHT IRON FENCE PER DETAIL B4/C-504.
34. PAIR 20" WIDE WROUGHT IRON SLIDING GATES.
35. PAIR 15" WIDE WROUGHT IRON SLIDING GATES.
36. GATE OPERATOR.
37. REFUSE PAD PER DETAIL C1/C-502.
38. RETENTION POND. SEE SHEETS C-201 AND C-202.
39. CONCRETE CURB AND GUTTER PER COA STD DWG 2415A.
40. CONCRETE VALLEY GUTTER PER COA STD DWG 2420.
41. CONCRETE SPLASH BLOCK PER DETAIL A1/C-501.
42. AREA RESERVED FOR FUTURE PARKING.
43. 12" TALL LETTERS FOR MOTORCYCLES "MC".
44. RESERVED PARKING SIGN "MOTORCYCLES ONLY".
45. BIKE RACK PER DETAIL F3/C-501, 4' SPACING BETWEEN HOOPS.
46. INFILL MISSING CONCRETE SIDEWALK PER COA STD DWG 2430.
47. ASPHALT UTILITY PATCH PER COA STD DWG 2465.
48. MEDIAN CURB AND GUTTER TO MATCH EXISTING PER COA STD DWG 2415B.

MATERIAL LEGEND

	HEAVY DUTY ASPHALT PER DETAIL D1/C-501
	PARKING LOT ASPHALT PER DETAIL D1/C-501
	HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501
	4" THICK CONCRETE SIDEWALK PER DETAIL B4/C-501
	EROSION PROTECTION. SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	EARTHEN POND. SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	LANDSCAPING AREA.

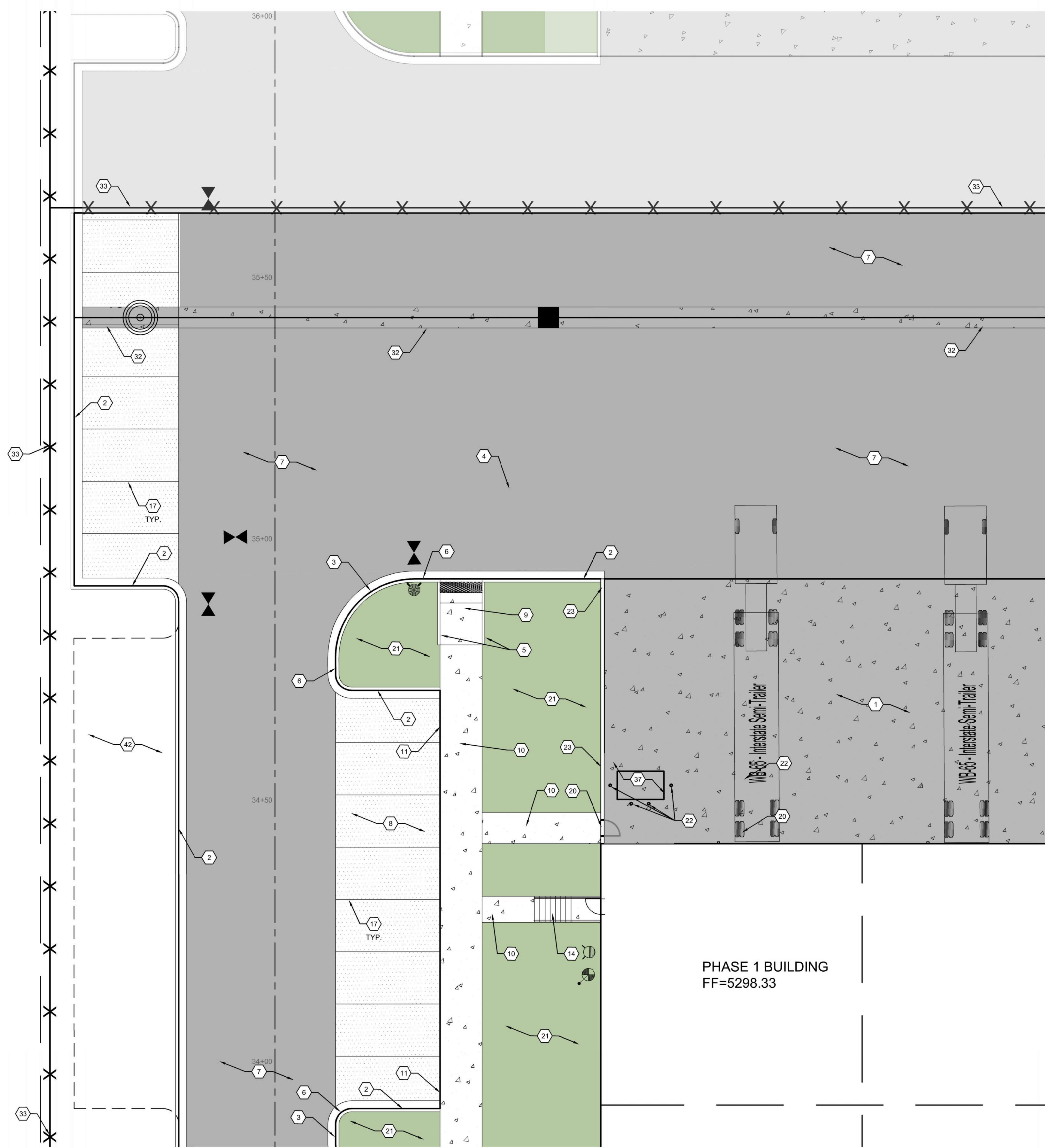
Thompson Engineering Consultants, Inc.
tecnm@yahoo.com
P.O. BOX 65760 ALBUQUERQUE, NM 87193
PHONE: (505) 271-2199 FAX: (505) 630-9248

ROSES SOUTHWEST PAPERS
CRICK CROSSING
ALBUQUERQUE, NEW MEXICO

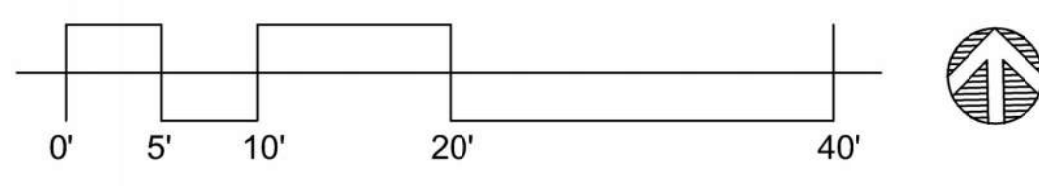
BUILDING PERMIT SET

REVISION	DATE
DATE	10/16/23
PROJECT NO	
TRAFFIC CIRCULATION LAYOUT - PHASE 1 ENLARGED	
SHEET NO.	

TCL-1B



TRAFFIC CIRCULATION LAYOUT - PHASE 1 ENLARGED
SCALE: 1" = 10'-0"



TRAFFIC CIRCULATION LAYOUT APPROVED
Curtis A. Cherns 11-28-23
Signed Date



- GENERAL NOTES**
- ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
 - FIELD VERIFY ALL DIMENSIONS.
 - DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER BEFORE PROCEEDING.
 - SEE SHEET CG001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINETYPE LEGEND THAT APPLY TO ALL SHEETS.
 - PAVING PLAN KEYED NOTES ARE COMMON TO ALL SHEETS. NOT ALL KEYED NOTES WILL APPEAR ON EVERY PAGE.
 - REFER TO PLAT FOR EASEMENT DEFINITIONS.
 - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW CONCRETE SIDEWALK.
 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

- KEYED NOTES**
- HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501.
 - 6" STANDARD CURB AND GUTTER PER DETAIL A5/C-501.
 - 6" DEPRESSED CURB AND GUTTER PER DETAIL A5/C-501.
 - RUNDOWN DEPRESSED GUTTER PER DETAIL A5/C-501.
 - 6" HEADER CURB PER DETAIL A5/C-501.
 - CURB TRANSITION PER DETAIL A4/C-501.
 - HEAVY DUTY ASPHALT PAVEMENT PER DETAIL D1/C-501.
 - PARKING LOT ASPHALT PAVEMENT PER DETAIL D1/C-501.
 - CONCRETE CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD DWG 2441 THRU 2446.
 - CONCRETE SIDEWALK PER DETAIL B4/C-501.
 - TURNDOWN EDGE ON SIDEWALK PER DETAIL E4/C-501.
 - CONCRETE STOOP PER DETAIL C1/C-501.
 - CONCRETE SPEED TABLE, CONCRETE PAVEMENT PER DETAIL D4/C-501.
 - STAIRS WITH HANDRAILS PER DETAIL A2/C-501 AND C2/C-501.
 - RIP RAP EROSION PROTECTION PER DETAIL D3/C-501.
 - CONCRETE EQUIPMENT PAD UNDER NEW TRANSFORMER PER DETAIL A3/C-504. SEE ELECTRICAL PLANS SHEET ES-101 FOR ADDITIONAL REQUIREMENTS.
 - 4" WIDE, WHITE TRAFFIC PARKING.
 - PAINT CURB RED WITH 6" TALL, WHITE LETTERS READING "NO PARKING FIRE LANE".
 - PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 1/2" AND 6" TALL.
 - 3' WIDE X 6' TALL PERSONNEL GATE PER DETAIL F3/C-504.
 - SEE LANDSCAPING PLANS FOR DETAILS.
 - 6" CONCRETE BOLLARDS AT REFUSE CONTAINER PER DETAIL A2/C-501.
 - CONCRETE MASONRY SCREEN WALL 6" TALL PER STRUCTURAL PLANS
 - RESERVED PARKING SYMBOL PER DETAIL C6/C-502.
 - 12" TALL WHITE LETTERS "NO PARKING".
 - UNLOADING ZONE PER DETAIL A3/C-502.
 - VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL E6/C-502.
 - RESERVED PARKING SIGN PER DETAIL E9/C-502.
 - ADA COMPLIANT CURB ACCESS RAMP PER DETAIL A1/C-502 AND COA DETAILS 2440.
 - PARKING BLOCK PER DETAIL F2/C-501.
 - MONUMENT SIGN BASE, SEE ARCHITECTURAL FOR DETAILS.
 - 4" WIDE CONCRETE VALLEY GUTTER PER DETAIL E5/C-501.
 - 6" TALL WROUGHT IRON FENCE PER DETAIL B4/C-504.
 - PAIR 20' WIDE WROUGHT IRON SLIDING GATES.
 - PAIR 15' WIDE WROUGHT IRON SLIDING GATES.
 - GATE OPERATOR.
 - REFUSE PAD PER DETAIL C1/C-502.
 - RETENTION POND. SEE SHEETS C-201 AND C-202.
 - CONCRETE CURB AND GUTTER PER COA STD DWG 2415A.
 - CONCRETE VALLEY GUTTER PER COA STD DWG 2420.
 - CONCRETE SPLASH BLOCK PER DETAIL A1/C-501.
 - AREA RESERVED FOR FUTURE PARKING.
 - 12" TALL LETTERS FOR MOTORCYCLES "MC".
 - RESERVED PARKING SIGN "MOTORCYCLES ONLY".
 - BIKE RACK PER DETAIL F3/C-501, 4' SPACING BETWEEN HOOPS.
 - INFILL MISSING CONCRETE SIDEWALK PER COA STD DWG 2430.
 - ASPHALT UTILITY PATCH PER COA STD DWG 2465.
 - MEDIAN CURB AND GUTTER TO MATCH EXISTING PER COA STD DWG 2415B.

MATERIAL LEGEND

	HEAVY DUTY ASPHALT PER DETAIL D1/C-501
	PARKING LOT ASPHALT PER DETAIL D1/C-501
	HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501
	4" THICK CONCRETE SIDEWALK PER DETAIL B4/C-501
	EROSION PROTECTION, SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	EARTHEN POND, SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	LANDSCAPING AREA.

Thompson Engineering Consultants, Inc.
 tecnm@yahoo.com
 P.O. BOX 65760 ALBUQUERQUE, NM 87193 PHONE: (505) 271-2199 FAX: (505) 630-9248

ROSES SOUTHWEST PAPERS
 CRICK CROSSING
 ALBUQUERQUE, NEW MEXICO

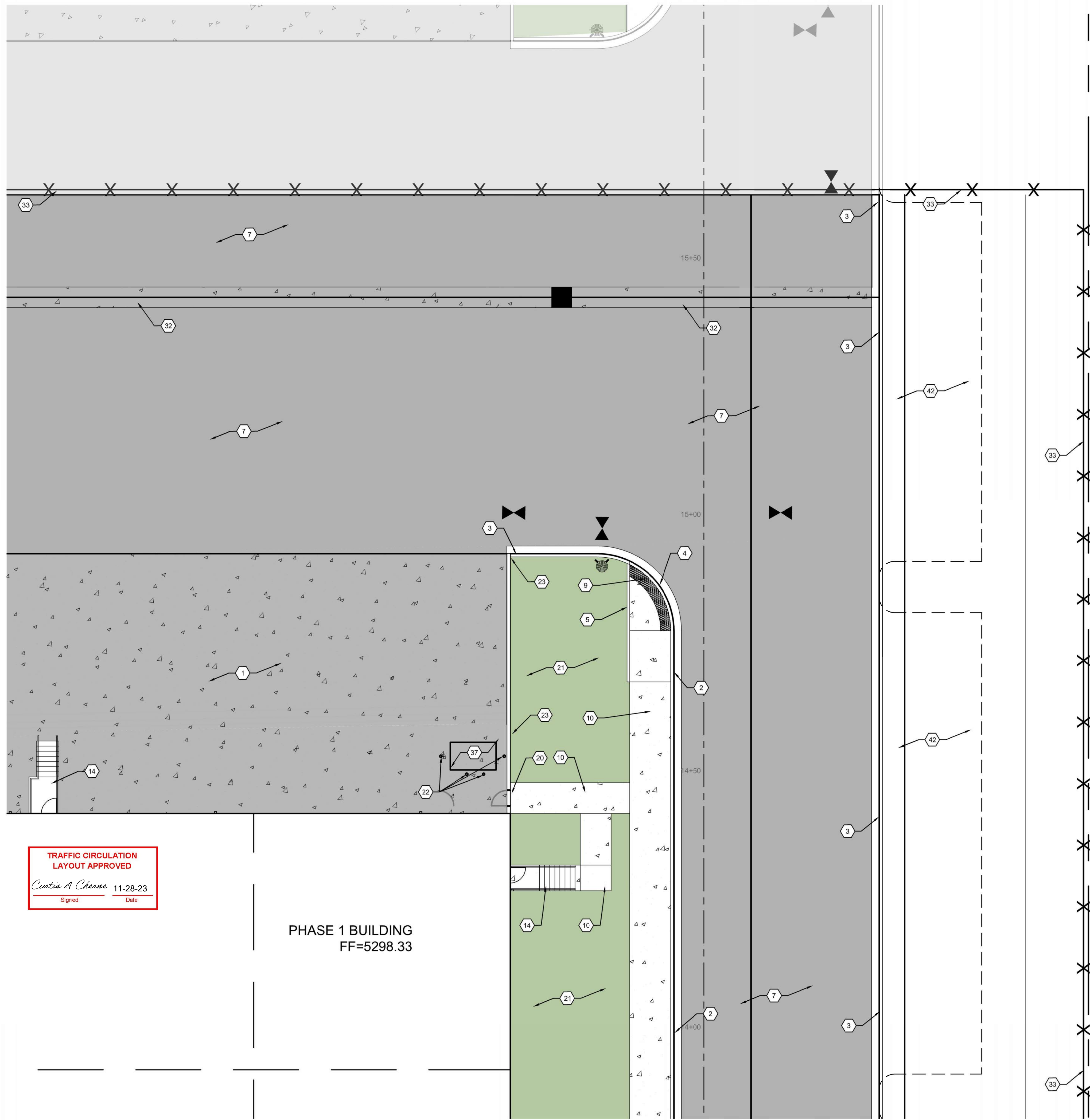
BUILDING PERMIT SET

REVISION	DATE
----------	------

DATE 10/16/23
 PROJECT NO

TRAFFIC CIRCULATION LAYOUT - PHASE 1 ENLARGED

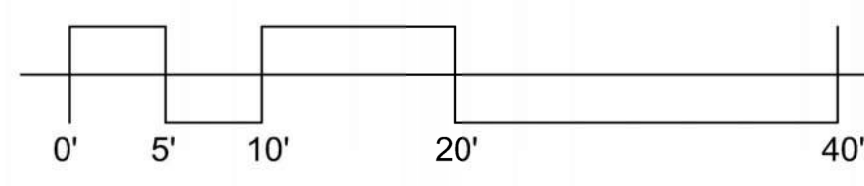
SHEET NO. **TCL-1C**



TRAFFIC CIRCULATION LAYOUT APPROVED
 Curtis A Charne 11-28-23
 Signed Date

PHASE 1 BUILDING FF=5298.33

TRAFFIC CIRCULATION LAYOUT - PHASE 1 ENLARGED
 SCALE: 1" = 10'-0"



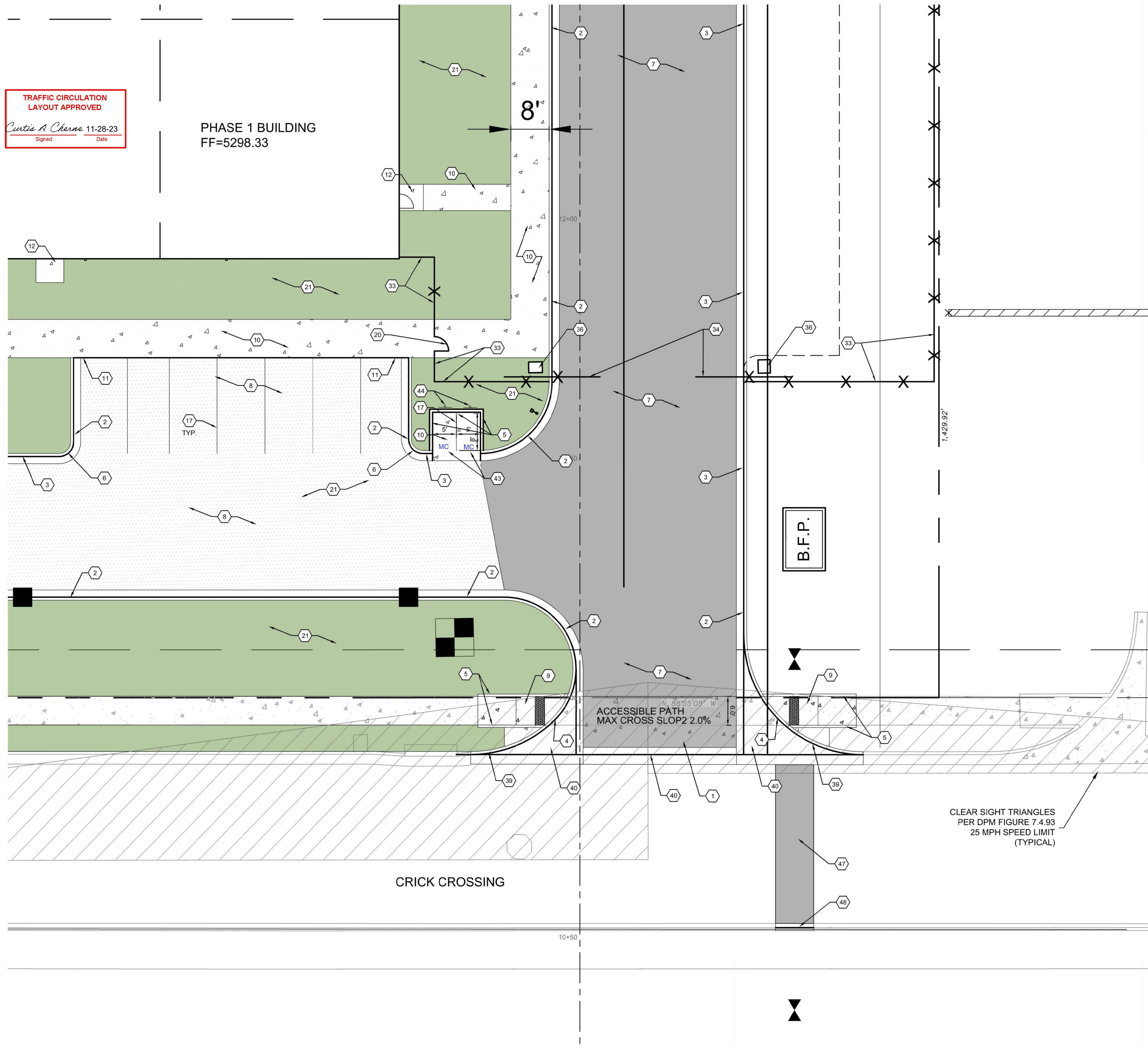


- GENERAL NOTES**
- A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
 - B. FIELD VERIFY ALL DIMENSIONS.
 - C. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER BEFORE PROCEEDING.
 - D. SEE SHEET CG901 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINETYPE LEGEND THAT APPLY TO ALL SHEETS.
 - E. PAVING PLAN KEYED NOTES ARE COMMON TO ALL SHEETS. NOT ALL KEYED NOTES WILL APPEAR ON EVERY PAGE.
 - F. REFER TO PLAT FOR EASEMENT DEFINITIONS.
 - G. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW CONCRETE SIDEWALK.
 - H. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

- KEYED NOTES**
1. HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501.
 2. 6" STANDARD CURB AND GUTTER PER DETAIL A5/C-501.
 3. 6" DEPRESSED CURB AND GUTTER PER DETAIL A5/C-501.
 4. RUNDOWN DEPRESSED GUTTER PER DETAIL A5/C-501.
 5. 6" HEADER CURB PER DETAIL A5/C-501.
 6. CURB TRANSITION PER DETAIL A4/C-501.
 7. HEAVY DUTY ASPHALT PAVEMENT PER DETAIL D1/C-501.
 8. PARKING LOT ASPHALT PAVEMENT PER DETAIL D1/C-501.
 9. CONCRETE CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD DWG 2441 THRU 2446.
 10. CONCRETE SIDEWALK PER DETAIL B4/C-501.
 11. TURNDOWN EDGE ON SIDEWALK PER DETAIL E4/C-501.
 12. CONCRETE STOOP PER DETAIL C1/C-501.
 13. CONCRETE SPEED TABLE, CONCRETE PAVEMENT PER DETAIL D4/C-501.
 14. STAIRS WITH HANDRAILS PER DETAIL A2/C-501 AND C2/C-501.
 15. RIP RAP EROSION PROTECTION PER DETAIL D3/C-501.
 16. CONCRETE EQUIPMENT PAD UNDER NEW TRANSFORMER PER DETAIL A3/C-504. SEE ELECTRICAL PLANS SHEET ES-101 FOR ADDITIONAL REQUIREMENTS.
 17. 4" WIDE WHITE TRAFFIC PARKING.
 18. PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
 19. PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 4" AND 6" TALL.
 20. 3' WIDE X 6' TALL PERSONNEL GATE PER DETAIL F3/C-504.
 21. SEE LANDSCAPING PLANS FOR DETAILS.
 22. 6" CONCRETE BOLLARDS AT REFUSE CONTAINER PER DETAIL A2/C-501.
 23. CONCRETE MASONRY SCREEN WALL 6" TALL PER STRUCTURAL PLANS.
 24. RESERVED PARKING SYMBOL PER DETAIL C6/C-502.
 25. 12" TALL WHITE LETTERS "NO PARKING".
 26. UNLOADING ZONE PER DETAIL A3/C-502.
 27. VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL E6/C-502.
 28. RESERVED PARKING SIGN PER DETAIL E6/C-502.
 29. ADA COMPLIANT CURB ACCESS RAMP PER DETAIL A1/C-502 AND COA DETAILS 2440.
 30. PARKING BLOCK PER DETAIL F2/C-501.
 31. MONUMENT SIGN BASE. SEE ARCHITECTURAL FOR DETAILS.
 32. 4" WIDE CONCRETE VALLEY GUTTER PER DETAIL E5/C-501.
 33. 6" TALL WROUGHT IRON FENCE PER DETAIL B4/C-504.
 34. PAIR 20' WIDE WROUGHT IRON SLIDING GATES.
 35. PAIR 15' WIDE WROUGHT IRON SLIDING GATES.
 36. GATE OPERATOR.
 37. REFUSE PAD PER DETAIL C1/C-502.
 38. RETENTION POND. SEE SHEETS C-201 AND C-202.
 39. CONCRETE CURB AND GUTTER PER COA STD DWG 2415A.
 40. CONCRETE VALLEY GUTTER PER COA STD DWG 2420.
 41. CONCRETE SPLASH BLOCK PER DETAIL A1/C-501.
 42. AREA RESERVED FOR FUTURE PARKING.
 43. 12" TALL LETTERS FOR MOTORCYCLES "MC".
 44. RESERVED PARKING SIGN "MOTORCYCLES ONLY".
 45. BIKE RACK PER DETAIL F3/C-501, 4' SPACING BETWEEN HOOPS.
 46. INFILL MISSING CONCRETE SIDEWALK PER COA STD DWG 2430.
 47. ASPHALT UTILITY PATCH PER COA STD DWG 2465.
 48. MEDIAN CURB AND GUTTER TO MATCH EXISTING PER COA STD DWG 2415B.

MATERIAL LEGEND

	HEAVY DUTY ASPHALT PER DETAIL D1/C-501
	PARKING LOT ASPHALT PER DETAIL D1/C-501
	HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501
	4" THICK CONCRETE SIDEWALK PER DETAIL B4/C-501
	EROSION PROTECTION. SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	EARTHEN POND. SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	LANDSCAPING AREA.



TRAFFIC CIRCULATION LAYOUT APPROVED
 Curtis A. Charne 11-28-23
 Signed _____ Date _____

PHASE 1 BUILDING
 FF=5298.33

TRAFFIC CIRCULATION LAYOUT - PHASE 1 ENLARGED
 SCALE: 1" = 10'-0"

ROSES SOUTHWEST PAPERS
 CRICK CROSSING
 ALBUQUERQUE, NEW MEXICO

BUILDING PERMIT SET

REVISION	DATE

DATE 10/16/23
 PROJECT NO

TRAFFIC CIRCULATION LAYOUT - PHASE 1 ENLARGED

SHEET NO. **TCL-1D**

Thompson Engineering Consultants, Inc.
 tecnm@yahoo.com
 P.O. BOX 65760 ALBUQUERQUE, NM 87193
 PHONE: (505) 271-2199 FAX: (505) 630-9248

GENERAL NOTES

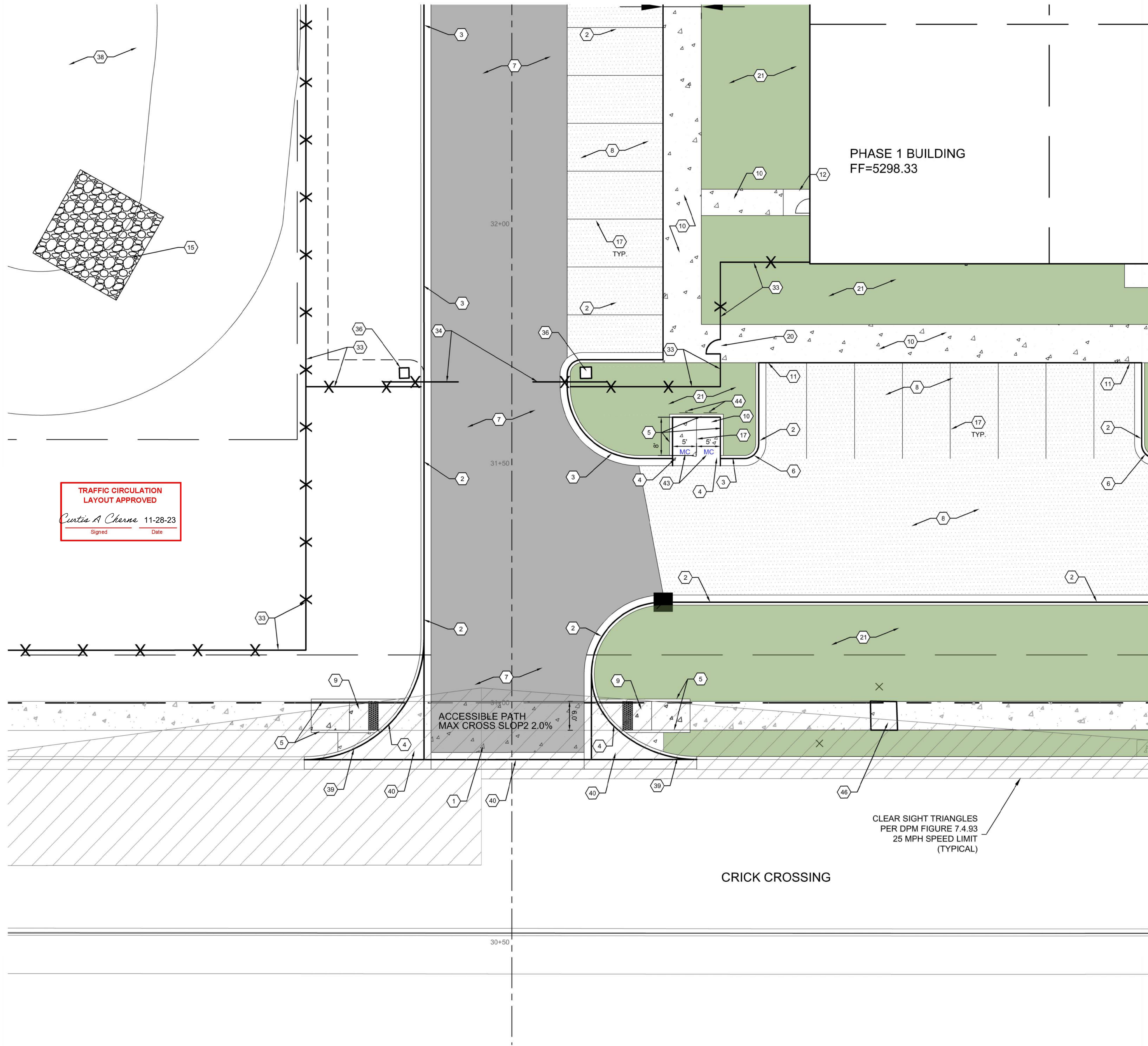
- A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
- B. FIELD VERIFY ALL DIMENSIONS.
- C. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER BEFORE PROCEEDING.
- D. SEE SHEET CG001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINE TYPE LEGEND THAT APPLY TO ALL SHEETS.
- E. PAVING PLAN KEYED NOTES ARE COMMON TO ALL SHEETS. NOT ALL KEYED NOTES WILL APPEAR ON EVERY PAGE.
- F. REFER TO PLAT FOR EASEMENT DEFINITIONS.
- G. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW CONCRETE SIDEWALK.
- H. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

KEYED NOTES

1. HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501.
2. 6" STANDARD CURB AND GUTTER PER DETAIL A5/C-501.
3. 6" DEPRESSED CURB AND GUTTER PER DETAIL A5/C-501.
4. RUNDOWN DEPRESSED GUTTER PER DETAIL A5/C-501.
5. 6" HEADER CURB PER DETAIL A5/C-501.
6. CURB TRANSITION PER DETAIL A4/C-501.
7. HEAVY DUTY ASPHALT PAVEMENT PER DETAIL D1/C-501.
8. PARKING LOT ASPHALT PAVEMENT PER DETAIL D1/C-501.
9. CONCRETE CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD DWG 2441 THRU 2446.
10. CONCRETE SIDEWALK PER DETAIL B4/C-501.
11. TURNDOWN EDGE ON SIDEWALK PER DETAIL E4/C-501.
12. CONCRETE STOOP PER DETAIL C1/C-501.
13. CONCRETE SPEED TABLE CONCRETE PAVEMENT PER DETAIL D4/C-501.
14. STAIRS WITH HANDRAILS PER DETAIL A2/C-501 AND C2/C-501.
15. RIP RAP EROSION PROTECTION PER DETAIL D3/C-501.
16. CONCRETE EQUIPMENT PAD UNDER NEW TRANSFORMER PER DETAIL A3/C-504. SEE ELECTRICAL PLANS SHEET ES-101 FOR ADDITIONAL REQUIREMENTS.
17. 4" WIDE WHITE TRAFFIC PARKING.
18. PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
19. PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 2" AND 6" TALL.
20. 3' WIDE X 6' TALL PERSONNEL GATE PER DETAIL F3/C-504.
21. SEE LANDSCAPING PLANS FOR DETAILS.
22. 6" CONCRETE BOLLARDS AT REFUSE CONTAINER PER DETAIL A2/C-501.
23. CONCRETE MASONRY SCREEN WALL 6" TALL PER STRUCTURAL PLANS.
24. RESERVED PARKING SYMBOL PER DETAIL C8/C-502.
25. 12" TALL WHITE LETTERS "NO PARKING".
26. UNLOADING ZONE PER DETAIL A3/C-502.
27. VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL E6/C-502.
28. RESERVED PARKING SIGN PER DETAIL E6/C-502.
29. ADA COMPLIANT CURB ACCESS RAMP PER DETAIL A1/C-502 AND COA DETAILS 2440.
30. PARKING BLOCK PER DETAIL F2/C-501.
31. MONUMENT SIGN BASE. SEE ARCHITECTURAL FOR DETAILS.
32. 4" WIDE CONCRETE VALLEY GUTTER PER DETAIL E5/C-501.
33. 8" TALL WROUGHT IRON FENCE PER DETAIL B4/C-504.
34. PAIR 20" WIDE WROUGHT IRON SLIDING GATES.
35. PAIR 15" WIDE WROUGHT IRON SLIDING GATES.
36. GATE OPERATOR.
37. REFUSE PAD PER DETAIL C1/C-502.
38. RETENTION POND. SEE SHEETS C-201 AND C-202.
39. CONCRETE CURB AND GUTTER PER COA STD DWG 2415A.
40. CONCRETE VALLEY GUTTER PER COA STD DWG 2420.
41. CONCRETE SPLASH BLOCK PER DETAIL A1/C-501.
42. AREA RESERVED FOR FUTURE PARKING.
43. 12" TALL LETTERS FOR MOTORCYCLES "MC".
44. RESERVED PARKING SIGN "MOTORCYCLES ONLY".
45. BIKE RACK PER DETAIL F3/C-501. 4' SPACING BETWEEN HOOPS.
46. INFILL MISSING CONCRETE SIDEWALK PER COA STD DWG 2430.
47. ASPHALT UTILITY PATCH PER COA STD DWG 2465.
48. MEDIAN CURB AND GUTTER TO MATCH EXISTING PER COA STD DWG 2415B.

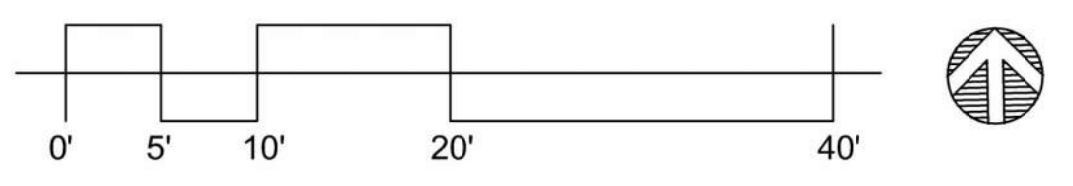
MATERIAL LEGEND

	HEAVY DUTY ASPHALT PER DETAIL D1/C-501
	PARKING LOT ASPHALT PER DETAIL D1/C-501
	HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501
	4" THICK CONCRETE SIDEWALK PER DETAIL B4/C-501
	EROSION PROTECTION. SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	EARTHEN POND. SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	LANDSCAPING AREA.



TRAFFIC CIRCULATION LAYOUT APPROVED
Curtis A. Cherns 11-28-23
Signed _____ Date _____

A1 TRAFFIC CIRCULATION LAYOUT - PHASE 1 ENLARGED
SCALE: 1" = 10'-0"



BUILDING PERMIT SET

REVISION _____ DATE _____

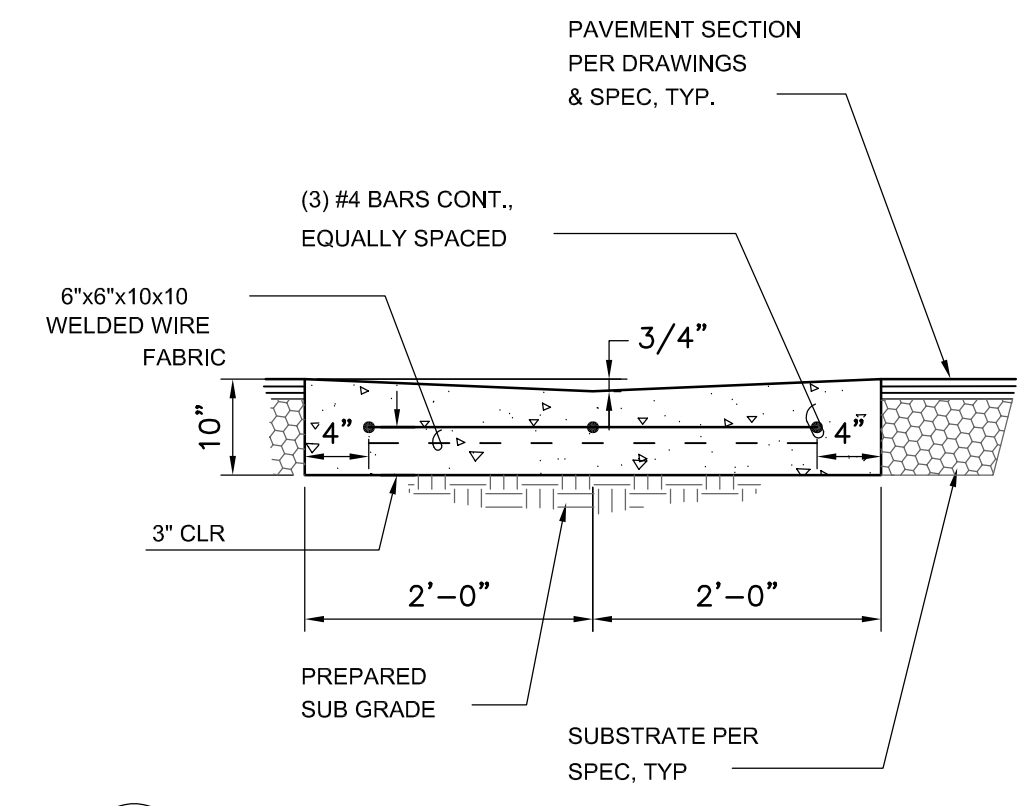
DATE 10/16/23
PROJECT NO _____

TRAFFIC CIRCULATION LAYOUT - PHASE 1 ENLARGED

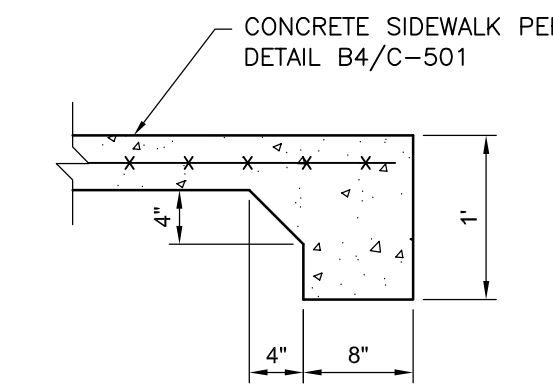
SHEET NO. _____

TCL-1E

tecnc@yahoo.com
P.O. BOX 65760 ALBUQUERQUE, NM 87193
PHONE: (505) 271-2199 FAX: (505) 630-9248

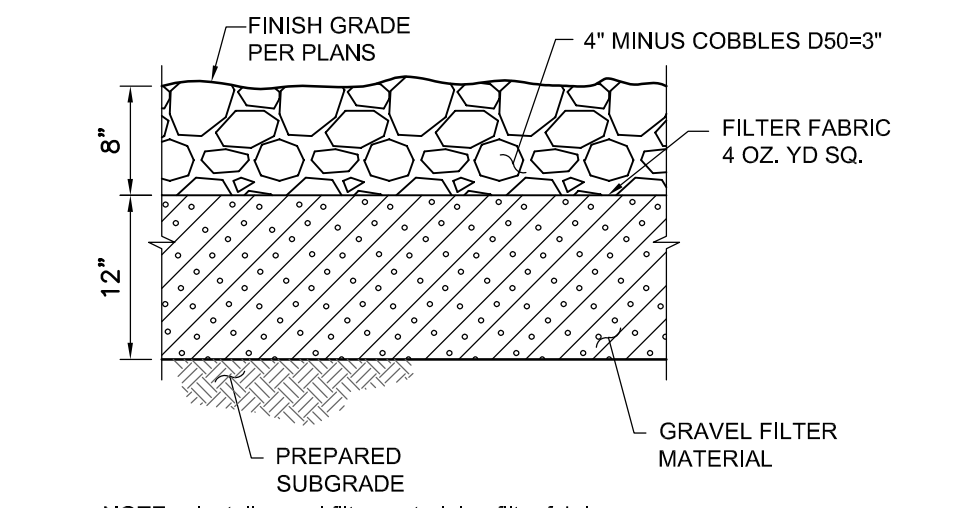


E5 CONCRETE VALLEY GUTTER
NOT TO SCALE

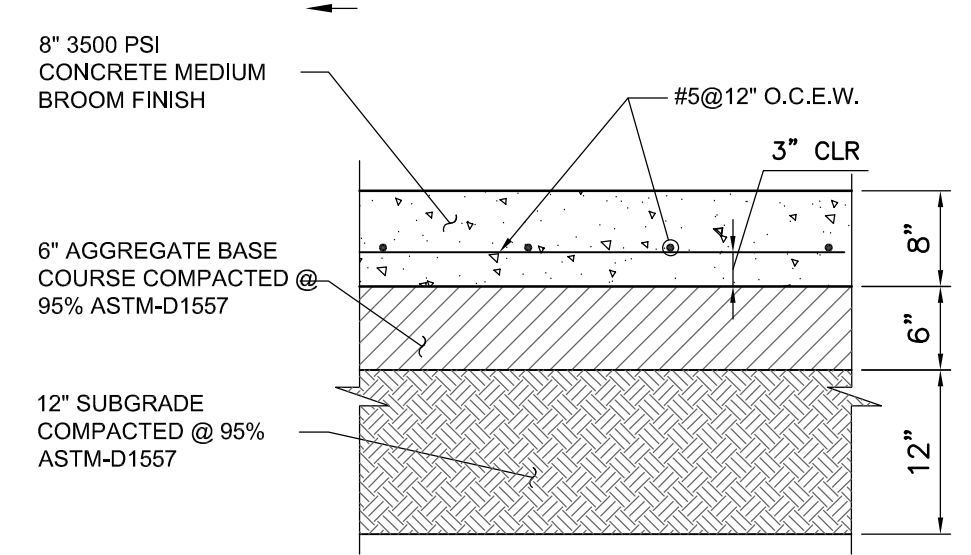


E4 TURNDOWN EDGE
NOT TO SCALE

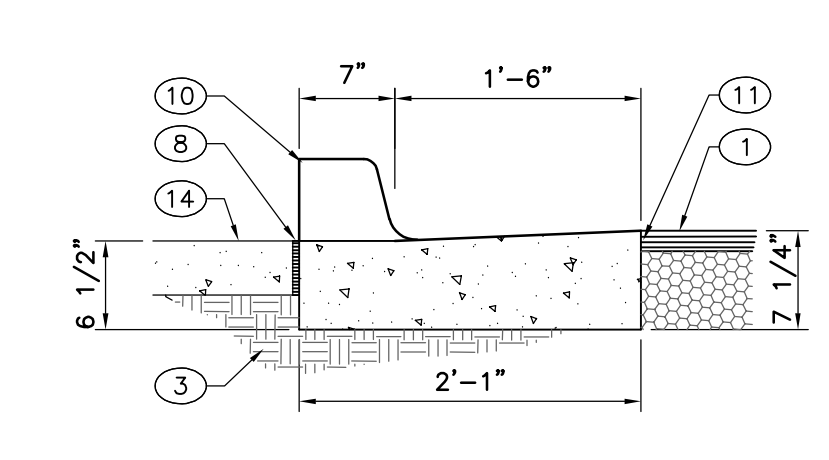
TRAFFIC CIRCULATION
LAYOUT APPROVED
Curtis A. Chems 11-28-23
Signed Date



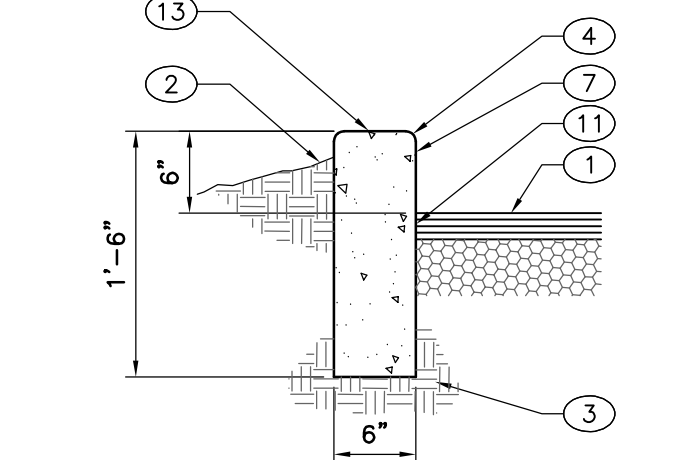
D3 RIP-RAP
NOT TO SCALE



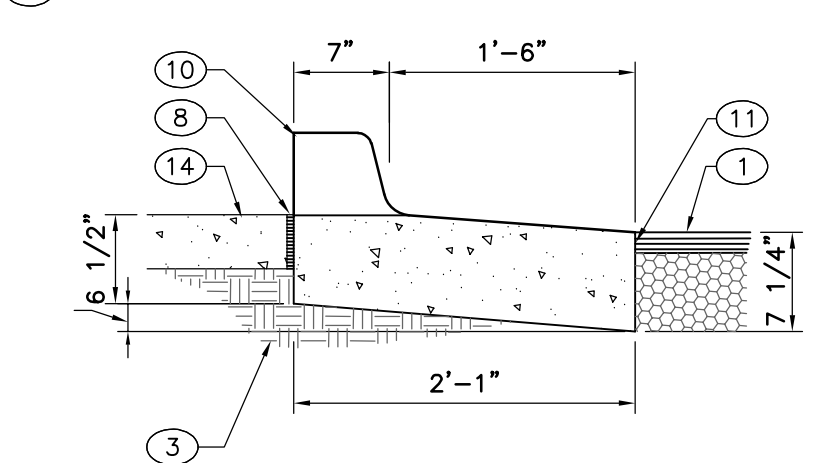
D4 CONCRETE PAVEMENT
NOT TO SCALE



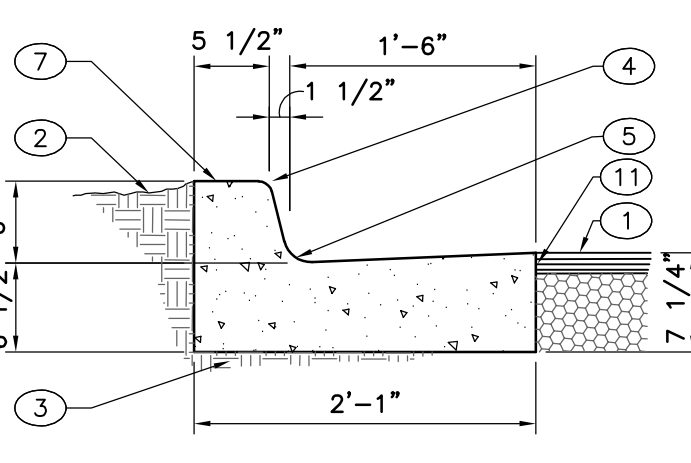
RUNDOWN GUTTER



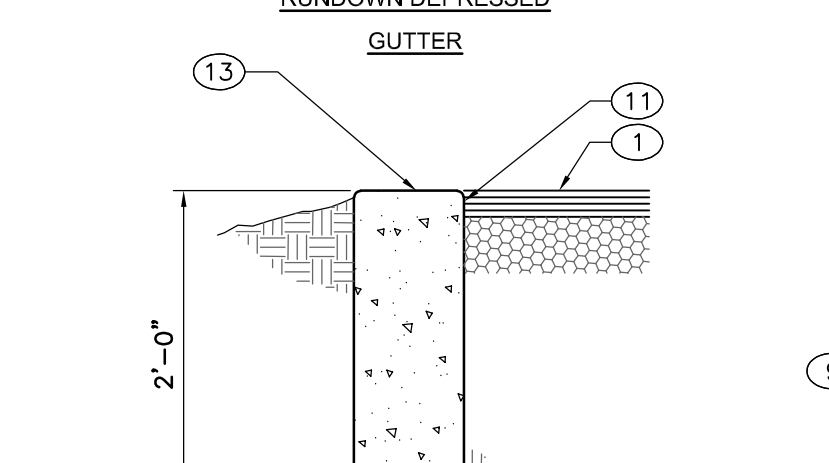
6" HEADER CURB



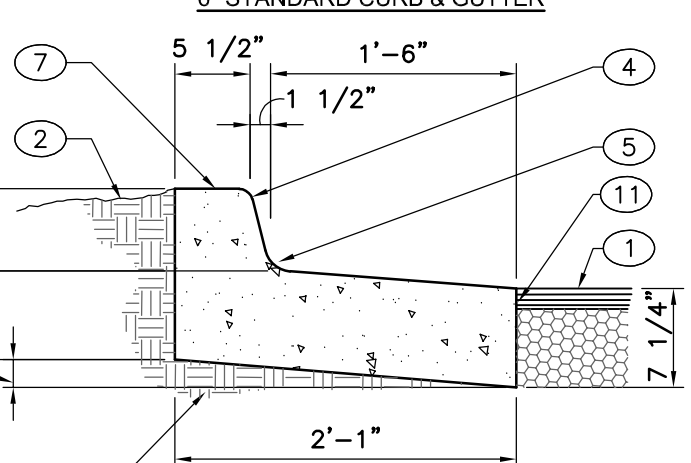
RUNDOWN DEPRESSED GUTTER



6" STANDARD CURB & GUTTER



CUT OFF WALL



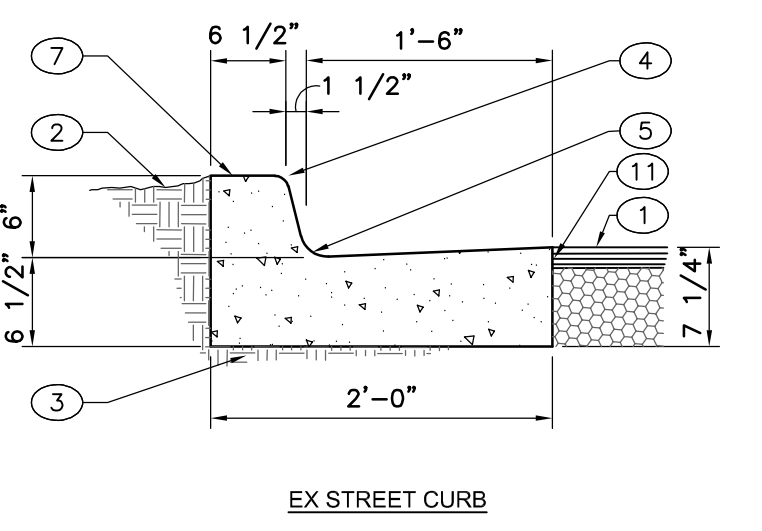
6" DEPRESSED CURB & GUTTER

KEYED NOTES:

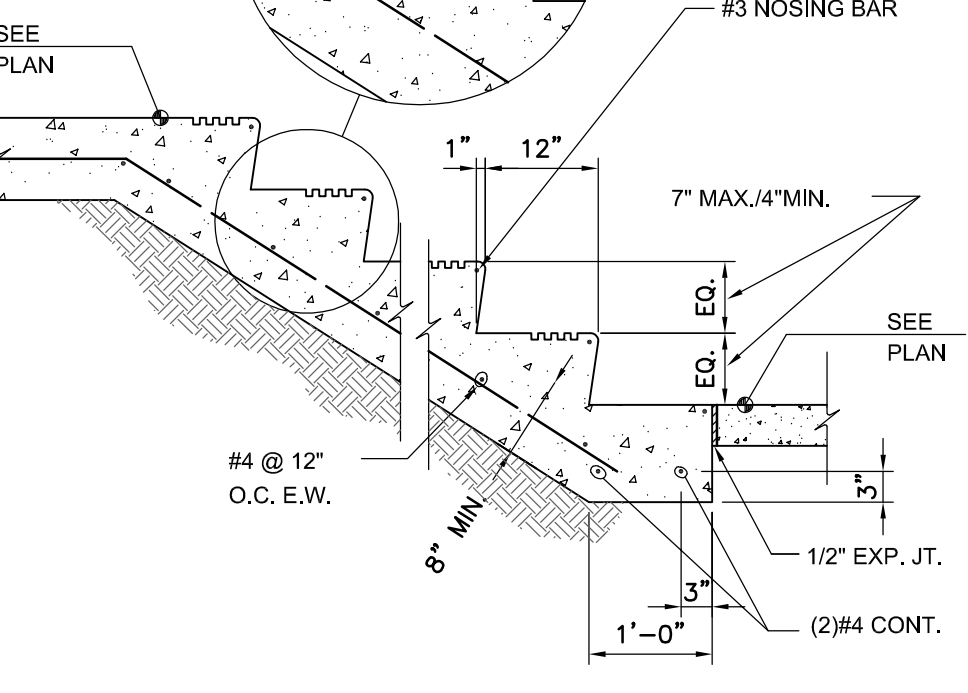
1. PAVEMENT SECTION PER DRAWINGS AND SPECS.
2. FINISHED GRADE.
3. PREPARED SUBGRADE.
4. 3/4" RADIUS.
5. 1 1/2" RADIUS.
6. 2" RADIUS (BOTH SIDES).
7. CONCRETE.
8. EXPANSION JOINT.
9. VARIES, DEPRESS AS NEEDED.
10. OMIT 6" CURB.
11. TACK COAT.
12. NEW OR EXISTING PAVING.
13. SMOOTH RUBBED FINISH.
14. CONCRETE SIDEWALK.
15. DRIVE NO.4 BARS 18" DEEP IN HOLES DRILLED 2' O.C. SEAL WITH EPOXY.
16. EXTRUDED ASPHALT CURB.

CURB & GUTTER CONSTRUCTION NOTES:

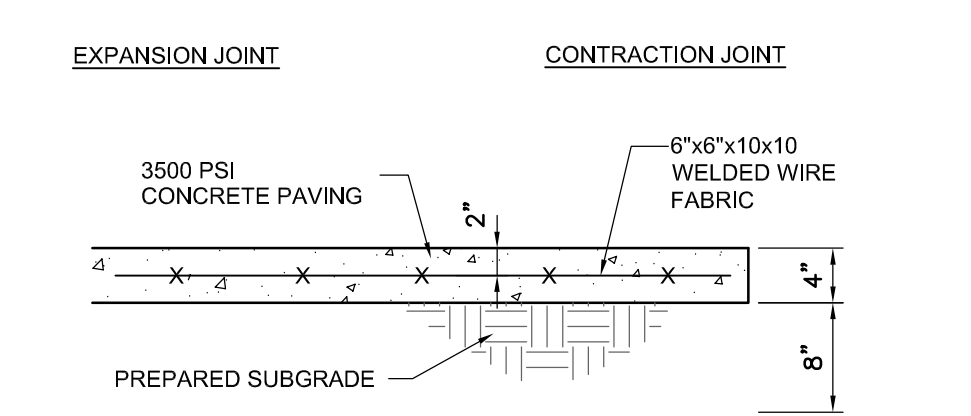
- A. CURBS, GUTTERS & CUT-OFF WALLS TO BE CONSTRUCTED OF 3500 PSI P.C. UNLESS OTHERWISE NOTED.
- B. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" EDGING TOOL.
- C. REMOVE & REPLACE 12" WIDE STRIP OF PAVEMENT BEYOND LIP OF GUTTER WHEN CONSTRUCTING CURB & GUTTER ADJACENT TO EXISTING A.C. PAVEMENT.
- D. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
- E. FOR 6" CURB & GUTTER PROVIDE CONTROL JTS. @ 6' O.C. MAX. ALSO PROVIDE 1/2" EXPANSION JTS. AT 30' O.C. MAX. AT CURB RETURNS, & AT EACH SIDE OF DRIVEWAYS.
- F. FOR ALL OTHER CURBING PROVIDE CONTROL JOINTS @ 50' O.C. PROVIDE EXPANSION JOINTS @ 50' O.C. & ADJACENT TO BUILDINGS AND WALLS.



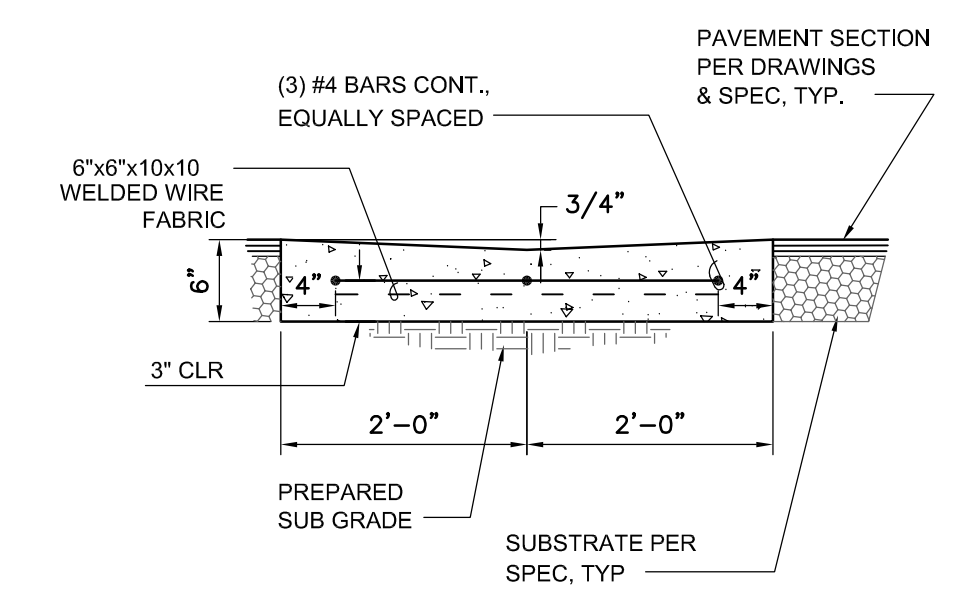
EX STREET CURB



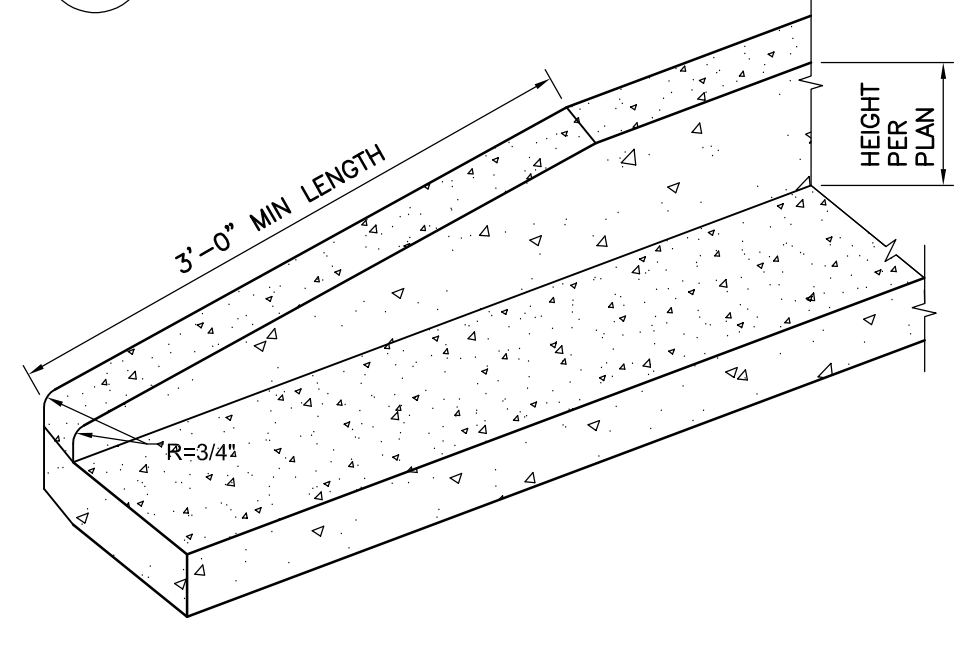
B3 CONCRETE STAIR
NOT TO SCALE



B4 CONCRETE SIDEWALK
NOT TO SCALE



A3 CONCRETE VALLEY GUTTER
NOT TO SCALE



A4 CURB TRANSITION
NOT TO SCALE

KEYED NOTES:

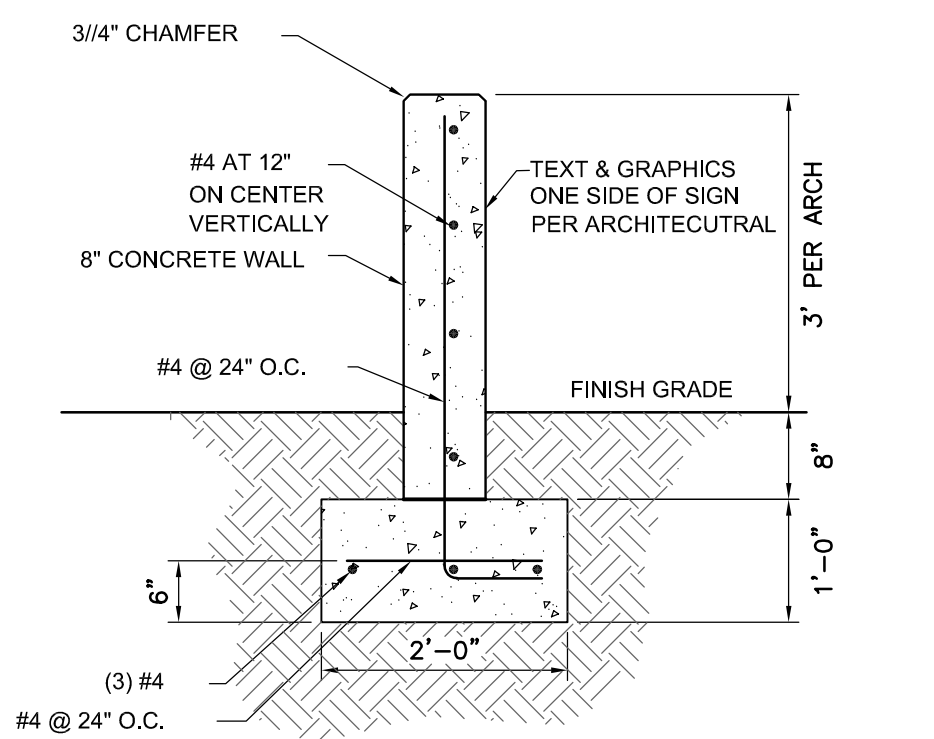
1. PAVEMENT SECTION PER DRAWINGS AND SPECS.
2. FINISHED GRADE.
3. PREPARED SUBGRADE.
4. 3/4" RADIUS.
5. 1 1/2" RADIUS.
6. 2" RADIUS (BOTH SIDES).
7. CONCRETE.
8. EXPANSION JOINT.
9. VARIES, DEPRESS AS NEEDED.
10. OMIT 6" CURB.
11. TACK COAT.
12. NEW OR EXISTING PAVING.
13. SMOOTH RUBBED FINISH.
14. CONCRETE SIDEWALK.
15. DRIVE NO.4 BARS 18" DEEP IN HOLES DRILLED 2' O.C. SEAL WITH EPOXY.
16. EXTRUDED ASPHALT CURB.

CURB & GUTTER CONSTRUCTION NOTES:

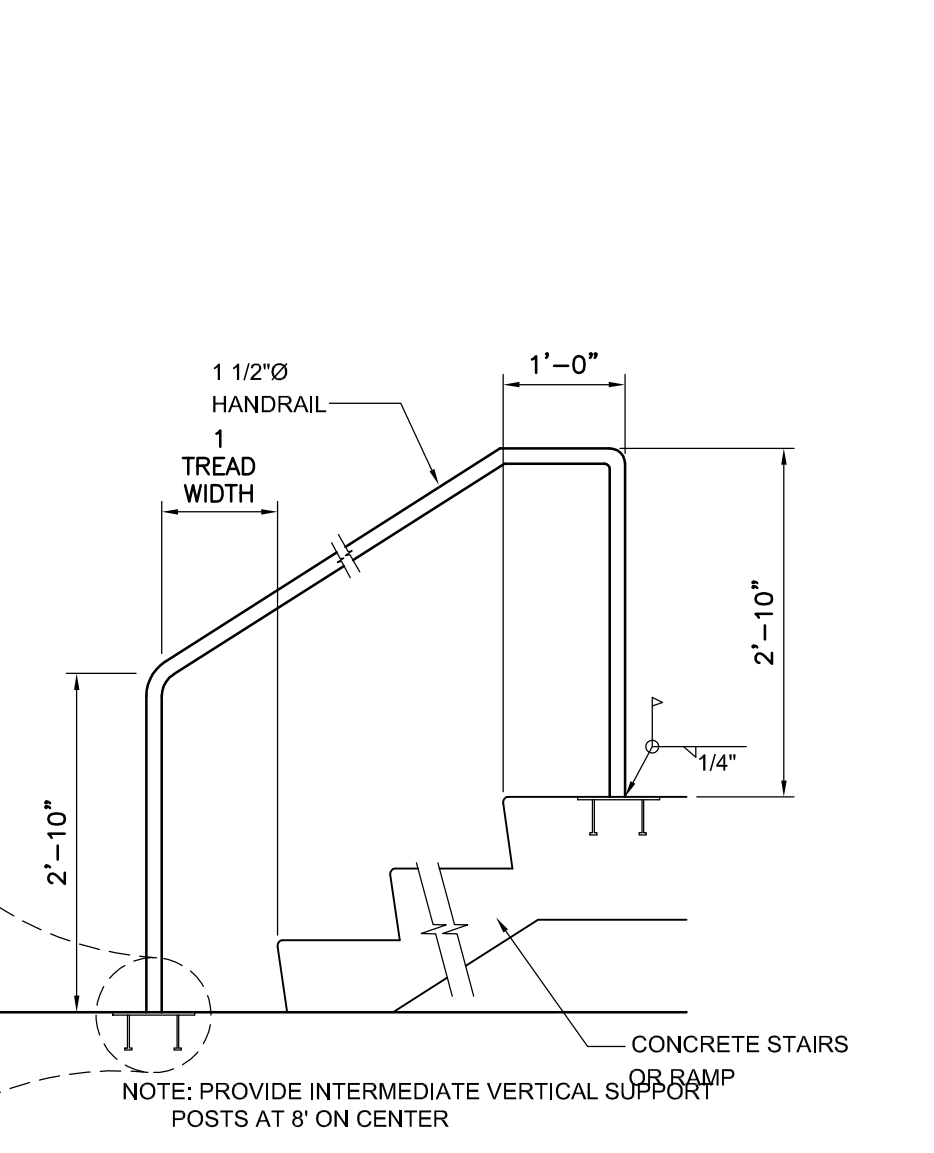
- A. CURBS, GUTTERS & CUT-OFF WALLS TO BE CONSTRUCTED OF 3500 PSI P.C. UNLESS OTHERWISE NOTED.
- B. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" EDGING TOOL.
- C. REMOVE & REPLACE 12" WIDE STRIP OF PAVEMENT BEYOND LIP OF GUTTER WHEN CONSTRUCTING CURB & GUTTER ADJACENT TO EXISTING A.C. PAVEMENT.
- D. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
- E. FOR 6" CURB & GUTTER PROVIDE CONTROL JTS. @ 6' O.C. MAX. ALSO PROVIDE 1/2" EXPANSION JTS. AT 30' O.C. MAX. AT CURB RETURNS, & AT EACH SIDE OF DRIVEWAYS.
- F. FOR ALL OTHER CURBING PROVIDE CONTROL JOINTS @ 50' O.C. PROVIDE EXPANSION JOINTS @ 50' O.C. & ADJACENT TO BUILDINGS AND WALLS.

A5 CURB SECTIONS
NOT TO SCALE

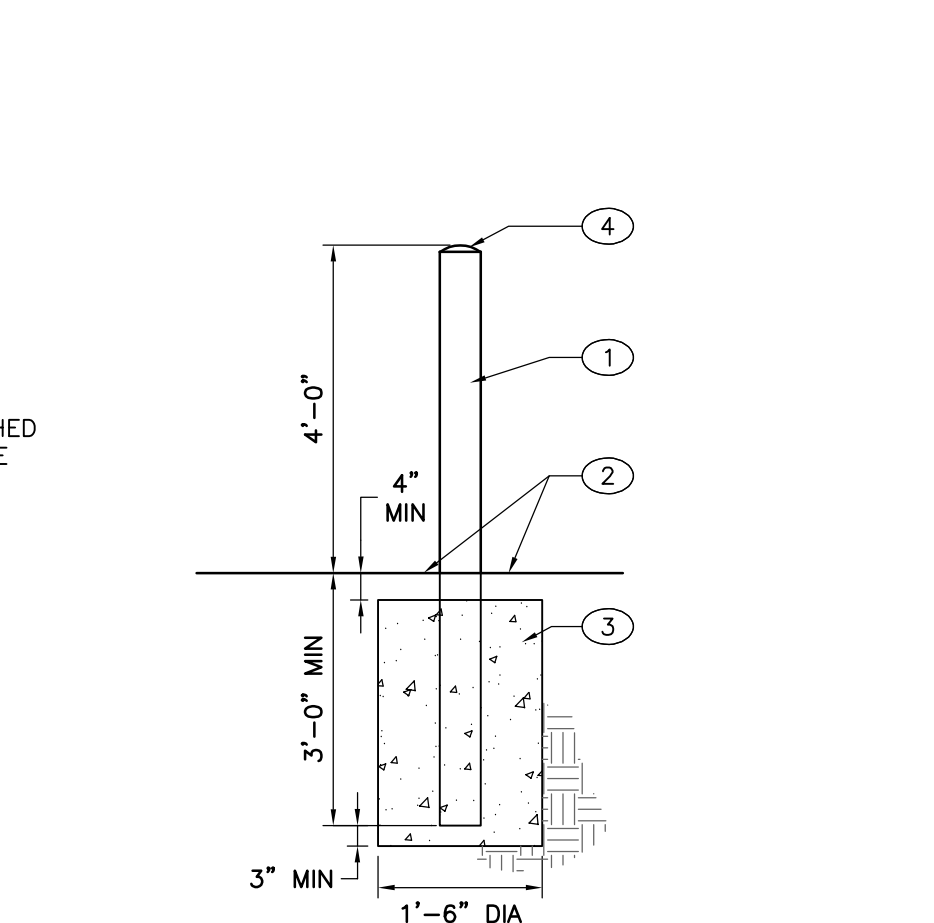
F2 PARKING BLOCK
NOT TO SCALE



E2 MONUMENT SIGN
NOT TO SCALE



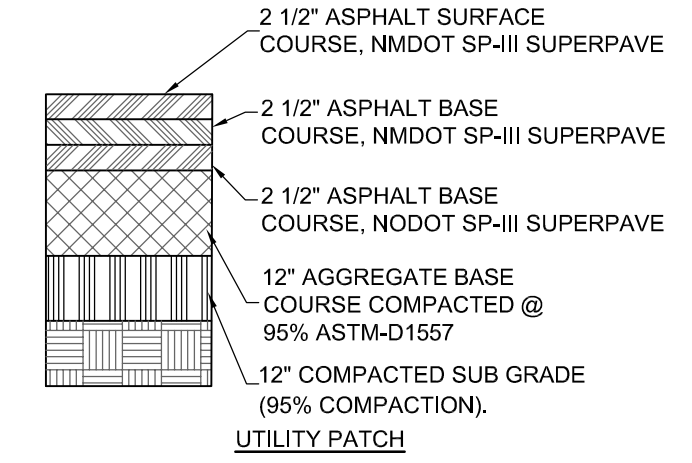
C2 STAIR/RAMP RAILING
NOT TO SCALE



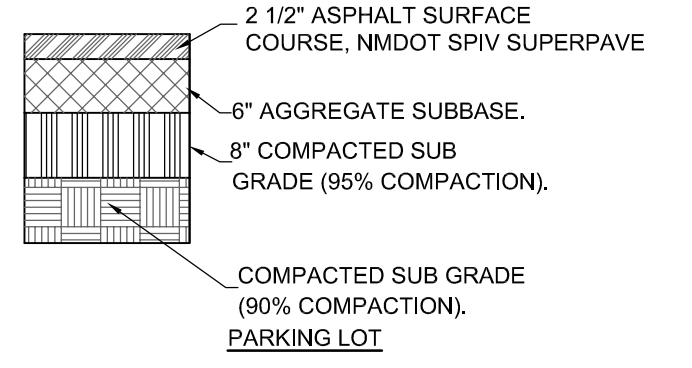
KEYED NOTES:

1. 6" DIA. STEEL PIPE W/ REFLECTORIZED YELLOW PAINT (CONC. FILLED W/ SMOOTH EDGES).
2. FINISHED GRADE OR PAVING AS PER DRAWINGS & SPECS - SEE PLANS.
3. CONCRETE FOOTING.
4. ROUNDED CONCRETE.

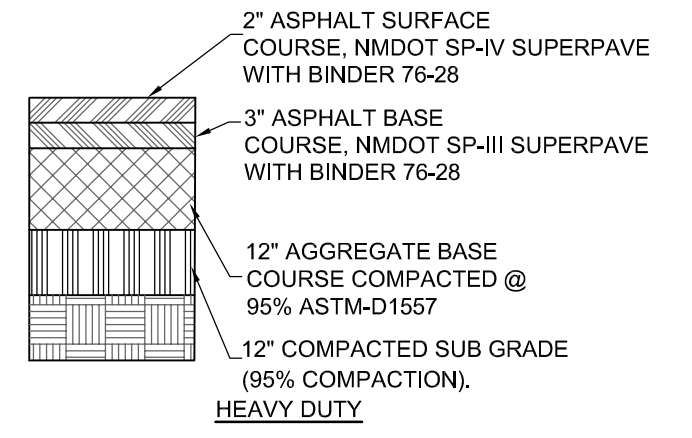
A2 BOLLARD, 6 inch DIA
NOT TO SCALE



D1 ASPHALT PAVEMENT
NOT TO SCALE

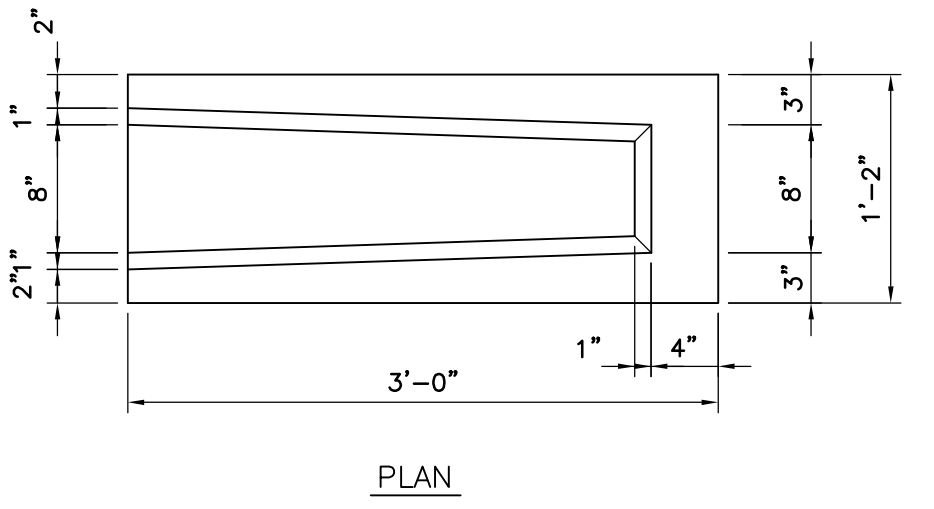
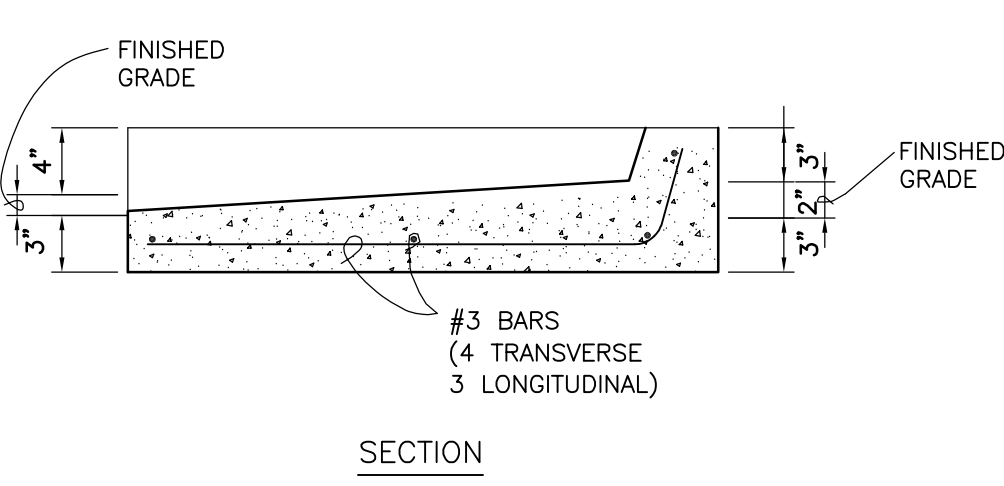
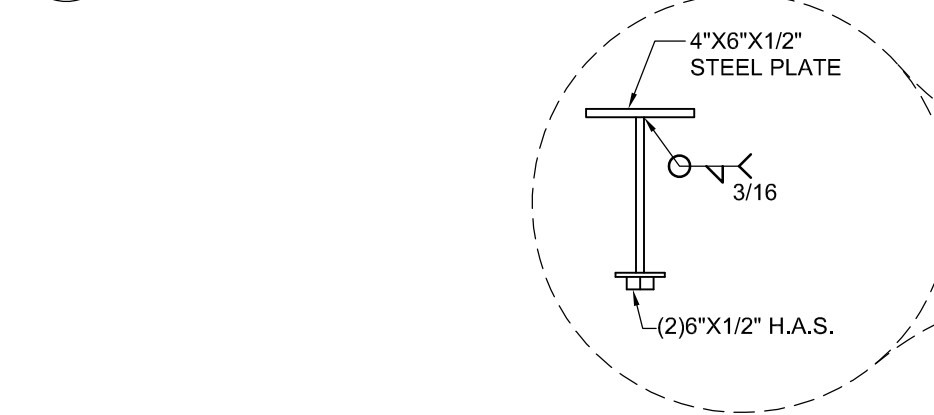


PARKING LOT

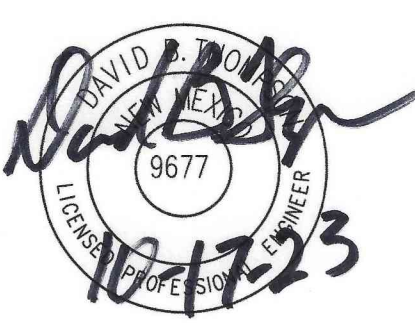


HEAVY DUTY

C1 CONCRETE STOOP
NOT TO SCALE



A1 CONCRETE SPLASH BLOCK
NOT TO SCALE



REVISION	DATE

Thompson
Engineering
 Consultants, Inc.
 tecnm@yahoo.com
 P.O. BOX 65760 ALBUQUERQUE, NM 87193 PHONE: (505) 271-2199 FAX: (505) 630-9248

D5 TRAFFIC SIGNS
NOT TO SCALE

KEYED NOTES:

- ONE INCH FILLET ON ALL CORNERS
- WHITE PAINTED BACKGROUND
- BLACK PAINTED BORDER
- HELVETICA MEDIUM 4" WHITE VINYL LETTERS
- RED PAINTED BACKGROUND
- WHITE PAINTED BORDER
- HELVETICA BOLD 6" WHITE VINYL LETTERS

NOTE:
FOR SIGN INSTALLATION REFER TO DETAIL A6/C-502

D5 TRAFFIC SIGNS
NOT TO SCALE

GENERAL NOTES:

- SET POSTS IN CONCRETE TO A MINIMUM DEPTH OF 3'-0". USE A 2" STEEL FLANGED CHANNEL FOR SIGN POSTS. FABRICATE SIGN PANELS OF .063 ALUMINUM PAINT POST POSTAL BLUE, MATTIE FINISH.
- LOCATE POSTS 2'-0" BACK FROM ADJACENT CURBS, UNLESS NOTED OTHERWISE.
- ALL 2" FLANGED CHANNEL SIGN POSTS TO BE INSTALLED WITH WITH BREAK AWAY CONNECTION.
- ALL SIGNS TO HAVE AN ANTI GRAFFITI COATING, BOTH SIDES.

C5 RESERVED PARKING SIGNS
NOT TO SCALE

GENERAL NOTES:

- SET POSTS IN CONCRETE TO A MINIMUM DEPTH OF 3'-0". USE A 2" STEEL FLANGED CHANNEL FOR SIGN POSTS. FABRICATE SIGN PANELS OF .063 ALUMINUM PAINT POST POSTAL BLUE, MATTIE FINISH.
- LOCATE POSTS 2'-0" BACK FROM ADJACENT CURBS, UNLESS NOTED OTHERWISE.

E6 RESERVED PARKING SIGNS
NOT TO SCALE
PROVIDE SIGN POSTS AND MOUNTING PER D4/C-502.

C6 RESERVED SYMBOL
NOT TO SCALE

GENERAL NOTES:

- SET POSTS IN CONCRETE TO A MINIMUM DEPTH OF 3'-0". USE A 2" STEEL FLANGED CHANNEL FOR SIGN POSTS. FABRICATE SIGN PANELS OF .063 ALUMINUM PAINT POST POSTAL BLUE, MATTIE FINISH.
- LOCATE POSTS 2'-0" BACK FROM ADJACENT CURBS, UNLESS NOTED OTHERWISE.

B6 SIGN POST
NOT TO SCALE

GENERAL NOTES:

- SET POSTS IN CONCRETE TO A MINIMUM DEPTH OF 3'-0". USE A 2" STEEL FLANGED CHANNEL FOR SIGN POSTS. FABRICATE SIGN PANELS OF .063 ALUMINUM PAINT POST POSTAL BLUE, MATTIE FINISH.
- LOCATE POSTS 2'-0" BACK FROM ADJACENT CURBS, UNLESS NOTED OTHERWISE.

A5 DETECTABLE WARNING SURFACE
NOT TO SCALE

D3 SIGN POST FOUNDATIONS PARKING SIGNS
NOT TO SCALE

KEYED NOTES:

- 14" ACORN HEAD NUT WITH 1" SPACER BETWEEN PLATE AND SIGN
- RESERVED PARKING SIGN (TYPICAL)
- 4"x2"x1/8" HSS
- CAP TOP OF HSS
- 1-10"
- 1-8"
- 1-6"
- 7-4"
- 1/8" THICK PLATE
- SPOT WELDED TO PLATE
- WELD INSERTED PLATE IN PLACE
- ACORN HEAD NUT WITHOUT SPACER ON SIGN WITH VAN ACCESSIBLE MARKING

A3 ADA RESERVED PARKING STALL
NOT TO SCALE

KEYED NOTES:

- TYPICAL VAN ACCESSIBLE SPACE.
- TYPICAL STANDARD ACCESSIBLE SPACE.
- RESERVED PARKING SYMBOL.
- 4" WIDE WHITE STRIPING (TYP.) CONCRETE HEADER CURB
- CONCRETE HEADER CURB
- RESERVED PARKING SIGN PER DETAIL E6/C-502.
- VAN ACCESSIBLE RESERVED PARKING SIGN
- TYPICAL TYPE "B" CURB RAMP.
- CONC. PARKING BARRIER
- CONC. SIDEWALK. SEE PLANS
- RUNDOWN OR DEPRESSED RUNDOWN GUTTER
- 1/2" EXPANSION MATERIAL.

TRAFFIC CIRCULATION LAYOUT APPROVED
Curtis A. Charne 11-28-23
 Signed Date

A1 CURB ACCESS RAMPS
NOT TO SCALE

KEYED NOTES:

- 2% CROSS SLOPE MADE IN ANY DIRECTION.
- DETECTABLE WARNING SURFACE PER A6/C-501.
- CONC. CURB. SEE PLANS
- CONCRETE SIDEWALK PER PLANS
- 1/2" EXPANSION MATERIAL.
- STD. CONC. HEADER CURB AS REQUIRED

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 28, 2023

David Thompson, PE
Thompson Engineering Consultants
PO Box 65760
Albuquerque, NM 87193

Re: Roses SouthWest Papers
Not Addressed-Crick Ave SE-Mesa Del Sol
Traffic Circulation Layout
Architect's Stamp TCL Sheets 11-21-23 and C-501 and C-502 10-17-23 (Q16DA5000C)

Dear Mr. Thompson,

The TCL submittal received 11-28-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

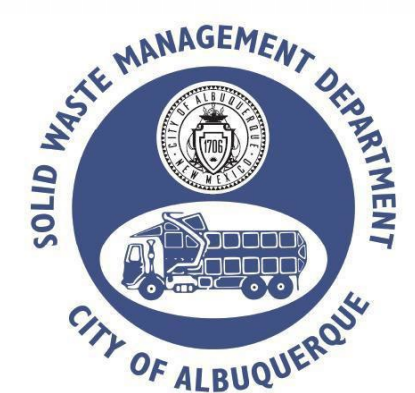
When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Curtis Cherne, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: File



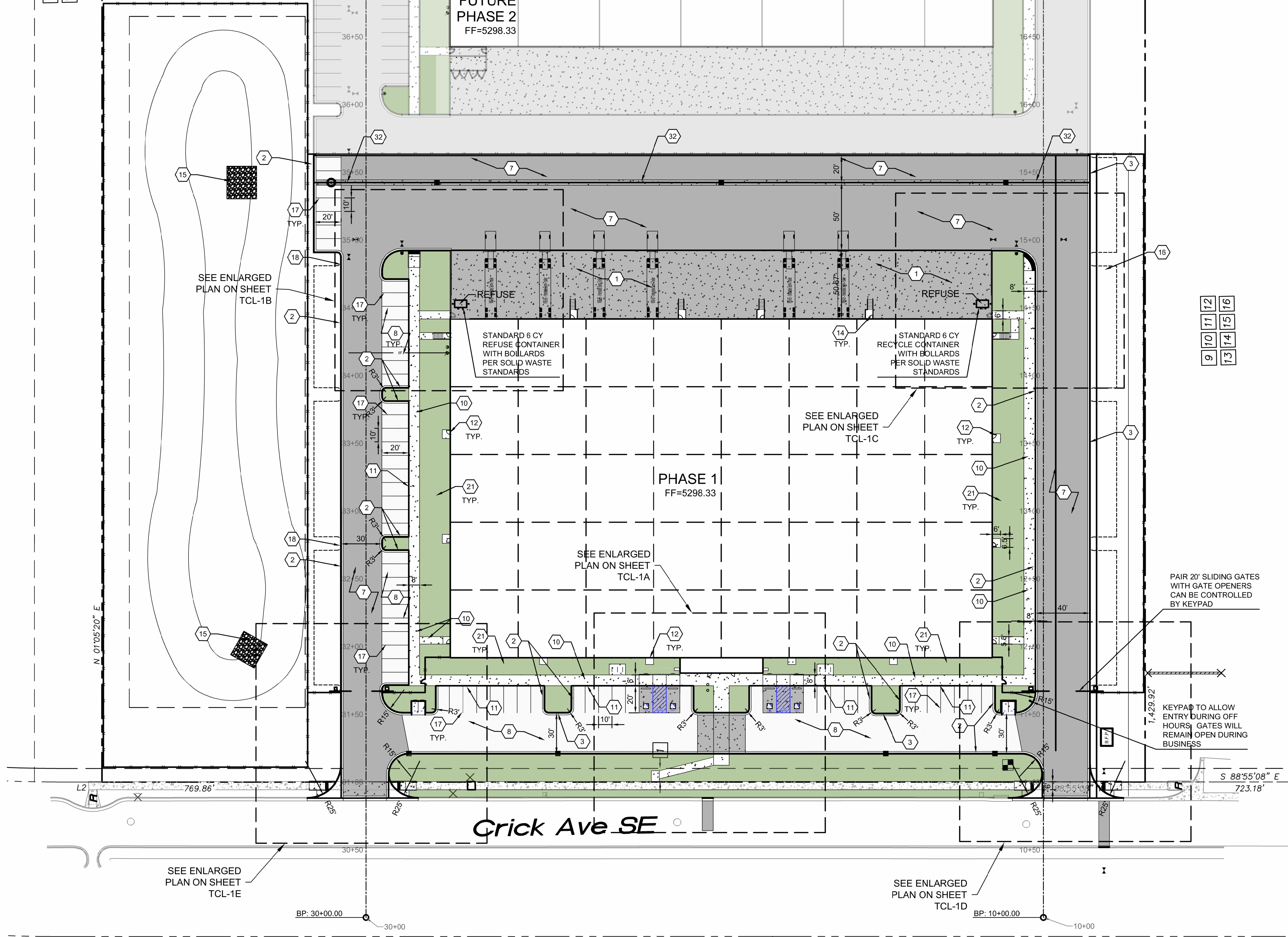
Approved for access by the Solid Waste Department.
 All containers must be made accessible for pick up
 between the hours of 5AM and 8PM.
 Reviewer: *Herman Gallagos*
 Date: 11-20-23

**Approved for access, an island for the keypad for
 the sliding gates was NOT approved in this round.**

9 10 11 12
 13 14 15 16

9 10
 13 14

9 10 11 12
 13 14 15 16



GENERAL NOTES

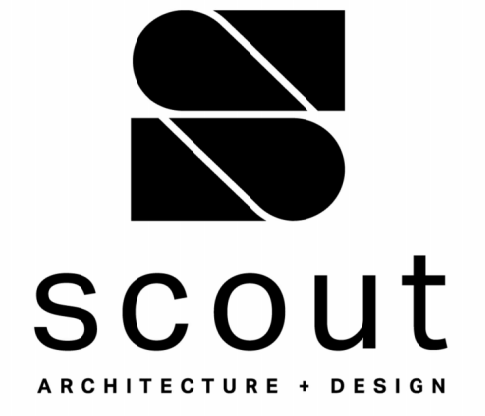
- A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
- B. FIELD VERIFY ALL DIMENSIONS.
- C. DO NOT SCALE DRAWINGS, IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER, BEFORE PROCEEDING.
- D. SEE SHEET C0001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINE TYPE LEGEND THAT APPLY TO ALL SHEETS.
- E. PAVING PLAN KEYED NOTES ARE COMMON TO ALL SHEETS. NOT ALL KEYED NOTES WILL APPEAR ON EVERY PAGE.
- F. REFER TO PLAT FOR EASEMENT DEFINITIONS.

KEYED NOTES

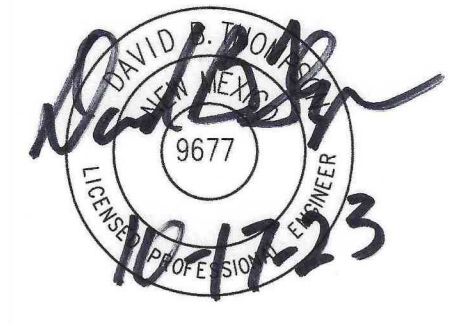
1. HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501.
2. 6" STANDARD CURB AND GUTTER PER DETAIL A5/C-501.
3. 6" DEPRESSED CURB AND GUTTER PER DETAIL A5/C-501.
4. RUNDOWN DEPRESSED GUTTER PER DETAIL A5/C-501.
5. 6" HEADER CURB PER DETAIL A5/C-501.
6. CURB TRANSITION PER DETAIL A4/C-501.
7. HEAVY DUTY ASPHALT PAVEMENT PER DETAIL D1/C-501.
8. PARKING LOT ASPHALT PAVEMENT PER DETAIL D1/C-501.
9. CONCRETE CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD DWG 2441 THRU 2446.
10. CONCRETE SIDEWALK PER DETAIL B4/C-501.
11. TURNDOWN EDGE ON SIDEWALK PER DETAIL E4/C-501.
12. CONCRETE STOP PER DETAIL C1/C-501.
13. CONCRETE SPEED TABLE CONCRETE PAVEMENT PER DETAIL D4/C-501.
14. STAIRS WITH HANDRAILS PER DETAIL A2/C-501 AND C2/C-501.
15. RIP RAP EROSION PROTECTION PER DETAIL D3/C-501.
16. CONCRETE EQUIPMENT PAD UNDER NEW TRANSFORMER PER DETAIL A3/C-504. SEE ELECTRICAL PLANS SHEET ES-101 FOR ADDITIONAL REQUIREMENTS.
17. 4" WIDE WHITE TRAFFIC PARKING.
18. PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
19. PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 1/2" AND 6" TALL.
20. 3" WIDE X 6" TALL PERSONNEL GATE PER DETAIL F3/C-504.
21. SEE LANDSCAPING PLANS FOR DETAILS.
22. 6" CONCRETE BOLLARDS AT REFUSE CONTAINER PER DETAIL A2/C-501.
23. CONCRETE MASONRY SCREEN WALL 6" TALL PER STRUCTURAL PLANS.
24. RESERVED PARKING SYMBOL PER DETAIL C6/C-502.
25. 12" TALL WHITE LETTERS "NO PARKING".
26. UNLOADING ZONE PER DETAIL A3/C-502.
27. VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL E6/C-502.
28. RESERVED PARKING SIGN PER DETAIL E6/C-502.
29. ADA COMPLIANT CURB ACCESS RAMP PER DETAIL A1/C-502 AND COA DETAILS 2440.
30. PARKING BLOCK PER DETAIL F2/C-501.
31. MONUMENT SIGN BASE. SEE ARCHITECTURAL FOR DETAILS.
32. 4" WIDE CONCRETE VALLEY GUTTER PER DETAIL E5/C-501.
33. 6" TALL WROUGHT IRON FENCE PER DETAIL B4/C-504.
34. PAIR 20' WIDE WROUGHT IRON SLIDING GATES.
35. PAIR 15' WIDE WROUGHT IRON SLIDING GATES.
36. GATE OPERATOR.
37. REFUSE PAD PER DETAIL C1/C-502.
38. RETENTION POND. SEE SHEETS C-201 AND C-202.
39. CONCRETE CURB AND GUTTER PER COA STD DWG 2415A.
40. CONCRETE VALLEY GUTTER PER COA STD DWG 2420.
41. CONCRETE SPLASH BLOCK PER DETAIL A1/C-501.
42. AREA RESERVED FOR FUTURE PARKING.
43. 12" TALL LETTERS FOR MOTORCYCLES "MC".
44. RESERVED PARKING SIGN "MOTORCYCLES ONLY".
45. BIKE RACK PER DETAIL F3/C-501, 4' SPACING BETWEEN HOOPS.
46. INFILL MISSING CONCRETE SIDEWALK PER COA STD DWG 2430.
47. ASPHALT UTILITY PATCH PER COA STD DWG 2465.
48. MEDIAN CURB AND GUTTER TO MATCH EXISTING PER COA STD DWG 2415B.

MATERIAL LEGEND

	HEAVY DUTY ASPHALT PER DETAIL D1/C-501
	PARKING LOT ASPHALT PER DETAIL D1/C-501
	HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501
	4" THICK CONCRETE SIDEWALK PER DETAIL B4/C-501
	EROSION PROTECTION. SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	EARTHEN POND. SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	LANDSCAPING AREA.



ARCHITECT/ENGINEER



ROSES SOUTHWEST PAPERS
 CRICK CROSSING
 ALBUQUERQUE, NEW MEXICO

BUILDING PERMIT SET

REVISION DATE

DATE 10/16/23

PROJECT NO

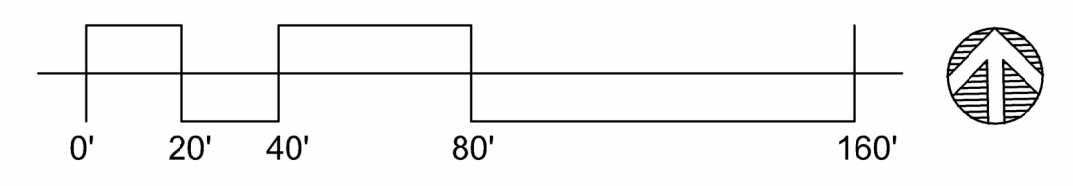
SOLID WASTE PLAN-PHASE 1

SHEET NO.

SOLID-1

6/1/2023 10:07:53 PM

(A1) SOLID WASTE PLAN- PHASE 1
 SCALE: 1" = 40'-0"



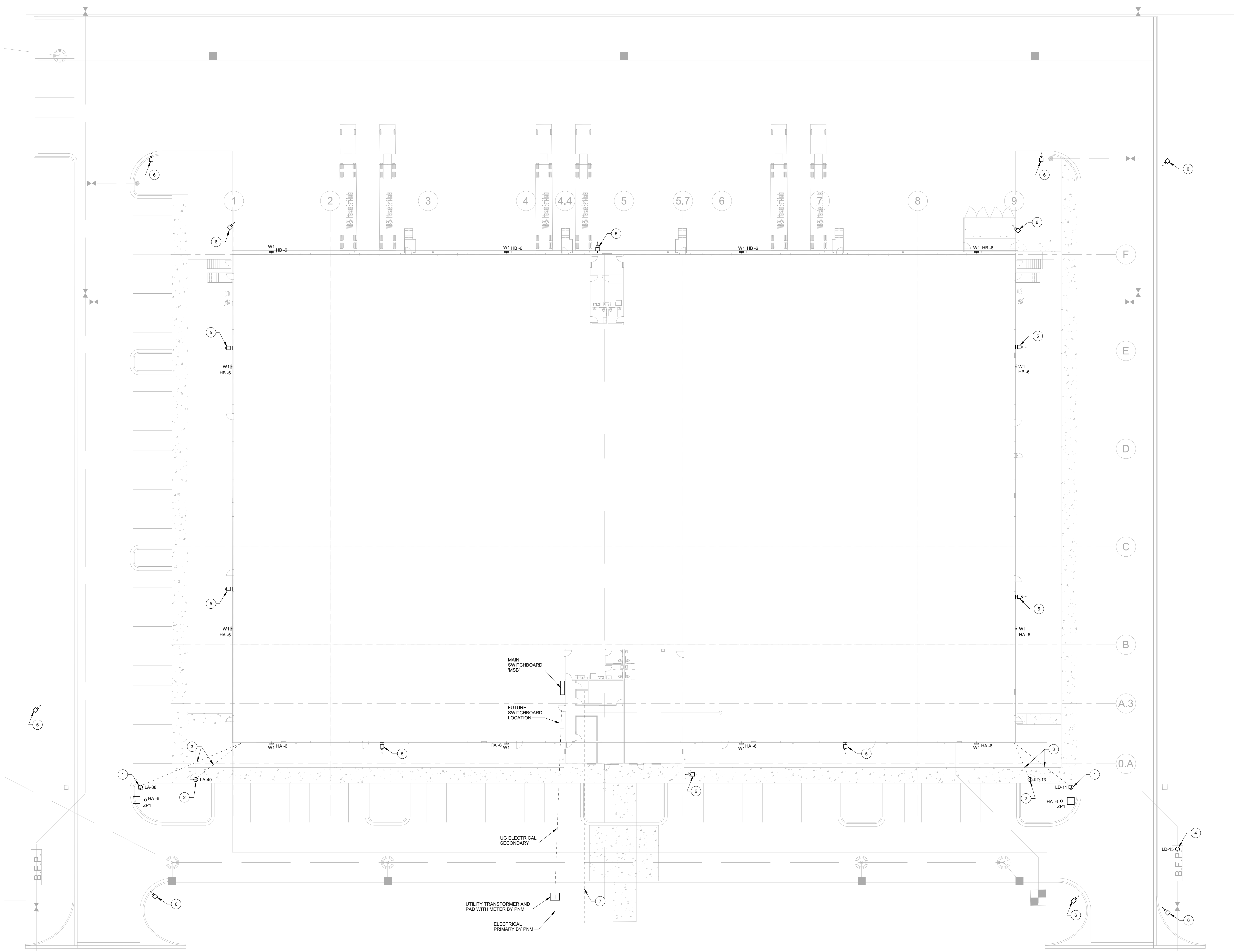
Thompson Engineering Consultants, Inc.
 tecm@yahoo.com
 P.O. BOX 65760 ALBUQUERQUE, NM 87193 PHONE: (505) 271-2199 FAX: (505) 830-9248

SITE POWER NOTES:

- REFER TO ARCHITECTURAL PLANS AND INTERIOR ELEVATIONS FOR FINAL RECEPTACLE AND DEVICE PLACEMENT. COORDINATE ALL RECEPTACLE MOUNTING LOCATIONS WITH FIXTURES, APPLIANCES, FURNITURE, CABINETS, AND OTHER EQUIPMENT PRIOR TO ROUGH-IN.
- REFER TO MECHANICAL EQUIPMENT SCHEDULE ON SHEET E060 FOR CIRCUIT, DISCONNECT, AND CONDUCTORS FOR MECHANICAL EQUIPMENT.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR FIELD COORDINATING THE LOCATION OF ELECTRICAL EQUIPMENT, JUNCTION BOXES, DISCONNECTS, ETC. EC SHALL BE RESPONSIBLE FOR COORDINATION AND THE ROUTING OF FEEDERS, AND BRANCH CIRCUITS.
- COORDINATE POWER CONNECTIONS FOR OWNER PROVIDED EQUIPMENT AND APPLIANCES, AND ALL OTHER EQUIPMENT PROVIDED BY OTHER DIVISIONS WITH SUBMITTAL DATA OUT SHEETS, WIRING DIAGRAMS, AND MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS. FIELD COORDINATE FINAL LOCATIONS OF EQUIPMENT AND POWER CONNECTIONS WITH GENERAL CONTRACTOR AND OTHER DIVISIONS/CONTRACTORS PRIOR TO ROUGH-IN. PROVIDE READILY ACCESSIBLE GROUND-Fault Circuit Interrupter (GFCI) PROTECTION FOR RECEPTACLES FOR APPLIANCES LISTED AND IN LOCATIONS REQUIRED IN NEC 210.8.

FLAG NOTES:

- PROVIDE 120V POWER CONNECTION FOR AUTOMATIC GATE AND CONTROLS.
- PROVIDE 120V POWER CONNECTION FOR GATE SECURITY ACCESS AND CONTROLS.
- PROVIDE 1" CONDUIT FOR POWER AND 2" CONDUIT FOR CONTROLS. HOMERUN CONTROLS CONDUIT TO IT ROOM.
- PROVIDE 120V POWER CONNECTION FOR BACKFLOW HOT BOX.
- PROVIDE 2" CONDUIT FOR WALL MOUNTED SECURITY CAMERA HOMERUN TO NEAREST IT ROOM.
- PROVIDE 2" CONDUIT FOR POLE MOUNTED SECURITY CAMERA HOMERUN TO NEAREST IT ROOM. POLE SPECIFIED BY OWNER'S SECURITY VENDOR.
- PROVIDE 6" x 6" C FROM TELCO UTILITY BOXES IN SIDEWALK. STUB UP 12" INTO IT ROOM 106.



1 ELECTRICAL SITE PLAN
1" = 20'-0"

100% PERMIT DRAWINGS

REVISION	DATE

DATE 10.12.23

PROJECT NO. -
ELECTRICAL SITE PLAN

SHEET NO.
ES101

ROSES SW PAPERS - WAREHOUSE
NW OF CRICK AVENUE SE AND HAWKING DRIVE SE
ALBUQUERQUE, NM

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 7, 2023

Dave Thompson, P.E.
Thompson Engineering Consultants
P O Box 65760
Albuquerque, NM 87193

**RE: Roses SW Papers
TR D-6 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL
INNOVATIONPARK II
Grading and Drainage Plan
Engineer's Stamp Date: 11/9/2023
Hydrology File: Q16DA5000C**

Dear Mr. Thompson:

Based upon the information provided in your submittal received 11/13/2023, the Grading Plan and Drainage Report are approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality pond per Article 6-15(C) of the DPM to Hydrology for review.

NM 87103

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3695 or tchen@cabq.gov.

Sincerely,

Tiequan Chen, P.E.
Principal Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Roses SW Papers Building Permit #: _____ Hydrology File #: Q16DA5000
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: TR D-6 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATIONPARK II
City Address: Not yet established

Applicant: Thompson Engineering Consultants Contact: Dave Thompson
Address: PO Box 65760, Albuquerque, NM 87193
Phone#: 505-271-2199 Fax#: 505-830-9248 E-mail: tecnm@yahoo.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ADMIN SITE

IS THIS A RESUBMITTAL? Yes _____ No

DEPARTMENT _____ TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

DATE SUBMITTED: 11-6-2023 By: Dave Aube

COA STAFF: _____

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

GENERAL NOTES

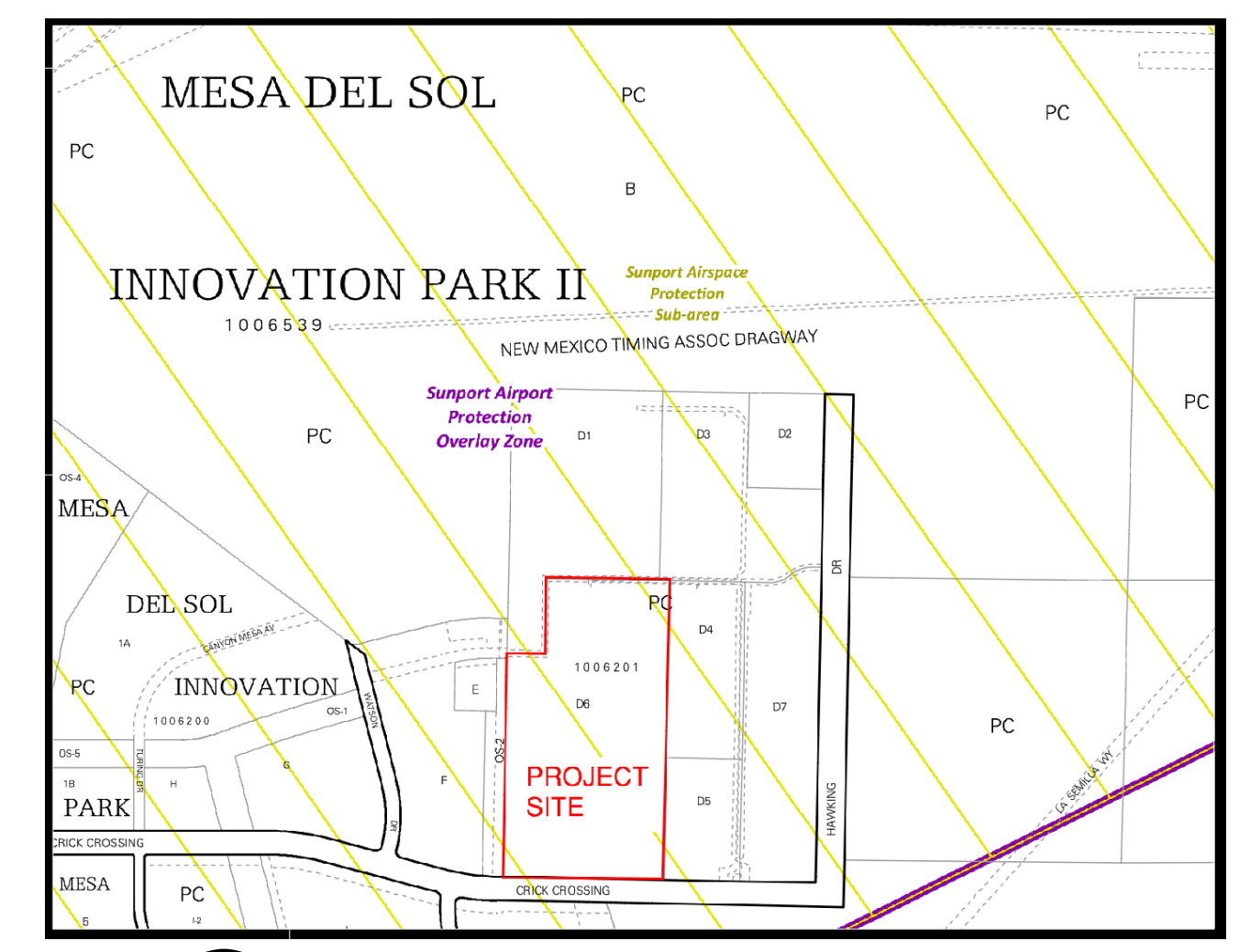
- A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
- B. FIELD VERIFY ALL DIMENSIONS.
- C. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.
- D. SEE PAGE 1 OF THE PLAT FOR EXCEPTIONS 9-31.

Record and Measured Legal Description

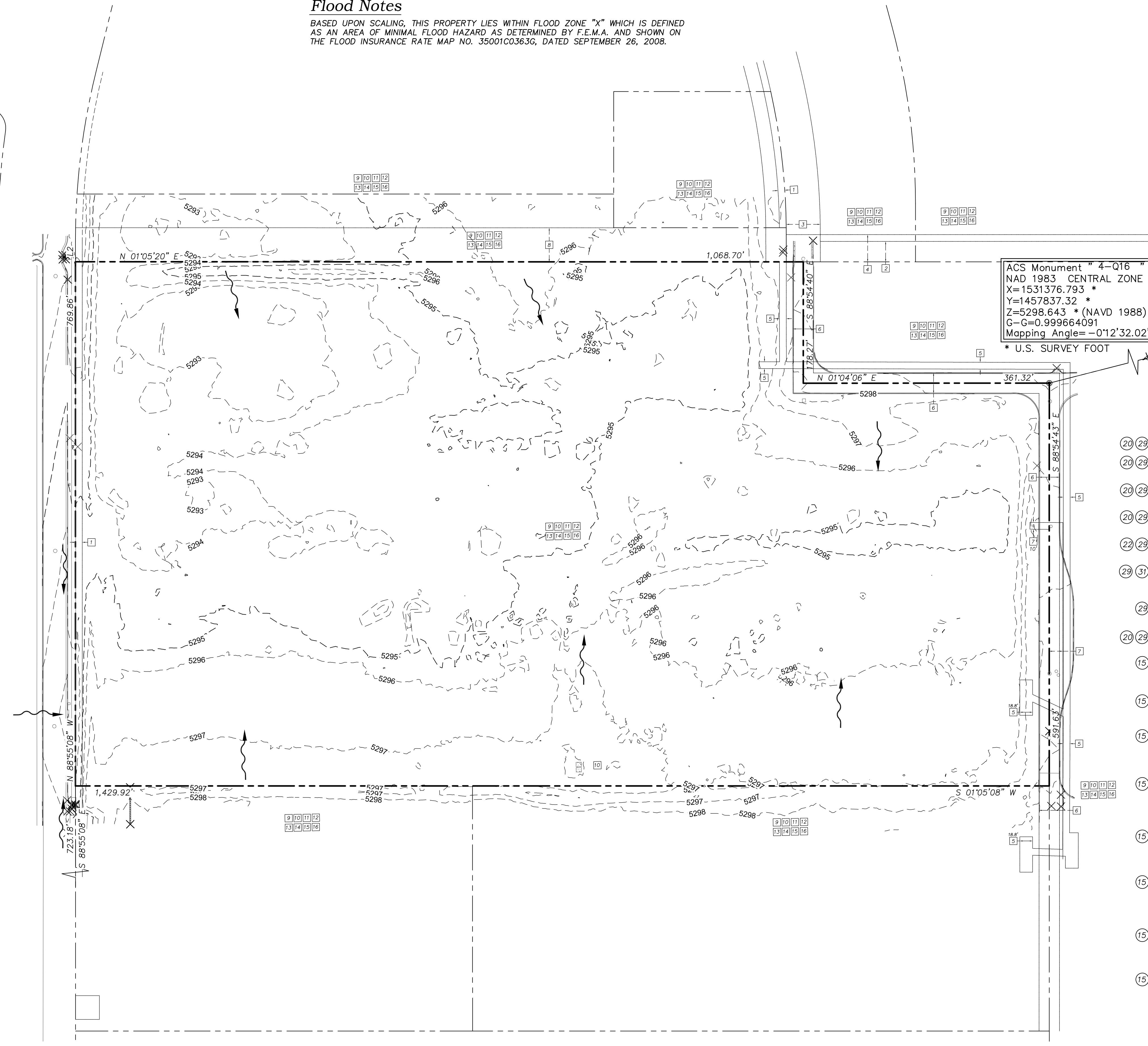
TRACT LETTERED D-SIX (D-6), PLAT OF MESA DEL SOL INNOVATION PARK II, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF RECORDED IN THE REAL PROPERTY RECORDS OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 29, 2017, IN PLAT BOOK 2017C, PAGE 159, AS DOCUMENT NO. 2017124120.

Flood Notes

BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE "X" WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C03636, DATED SEPTEMBER 26, 2008.



D1 ZONE ATLAS PAGE Q-16-Z
NOT TO SCALE



ACS Monument "4-Q16"
NAD 1983 CENTRAL ZONE
X=1531376.793 *
Y=1457837.32 *
Z=5298.643 * (NAVD 1988)
G-C=0.999664091
Mapping Angle=-0°12'32.02"
* U.S. SURVEY FOOT

Benchmark -NAVD 88

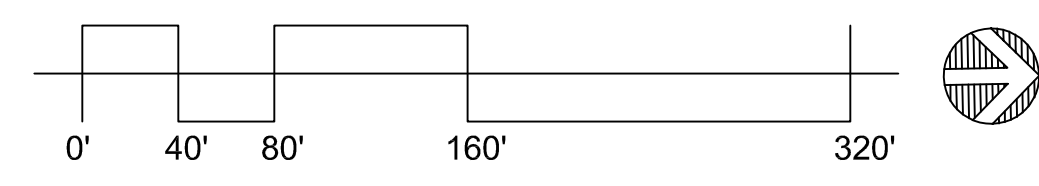
ACS MONUMENT "4-Q16" HAVING AN ELEVATION OF 5298.64.

Easement Notes

- (20) (29) (1) EXISTING 10' P.U.E. (8/7/2008, 2008C-175) AND AS SHOWN ON PLAT (12/29/2017, 2017C-159)
- (20) (29) (2) EXISTING 30' PUBLIC PEDESTRIAN ACCESS EASEMENT (8/7/2008, 2008C-175) AND AS SHOWN ON PLAT AND AS SHOWN ON PLAT (12/29/2017, 2017C-159)
- (20) (29) (3) EXISTING 50' PUBLIC ROADWAY EASEMENT (8/7/2008, 2008C-175) AND AS SHOWN ON PLAT (12/29/2017, 2017C-159)
- (20) (29) (4) EXISTING 40' PNM TRANSMISSION LINE EASEMENT (8/7/2008, 2008C-175) AND AS SHOWN ON PLAT (12/29/2017, 2017C-159)
- (29) (29) (5) EXISTING 10' PNM EASEMENT (10/16/2008, DOC. NO. 2008113343) AND AS SHOWN ON PLAT (12/29/2017, 2017C-159)
- (29) (31) (6) EXISTING 30' PERMANENT PRIVATE ACCESS EASEMENT (12/29/2017, 2017C-159) AND AS SHOWN ON PLAT (12/29/2017, 2017C-159) SEE REPAIR AND MAINTENANCE AGREEMENT (2/21/2020, DOC. NO. 2020016464)
- (29) (7) EXISTING 20' PRIVATE UTILITY EASEMENT (12/29/2017, 2017C-159) AND AS SHOWN ON PLAT (12/29/2017, 2017C-159)
- (20) (29) (8) EXISTING 50' PNM TRANSMISSION LINE EASEMENT (8/7/2008, 2008C-175) AND AS SHOWN ON PLAT (12/29/2017, 2017C-159)
- (15) (9) EXISTING NON-EXCLUSIVE ACCESS EASEMENT OVER COMMON AREAS (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)
- (15) (10) EXISTING PERPETUAL NON-EXCLUSIVE UTILITY ACCESS EASEMENT (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)
- (15) (11) EXISTING EASEMENT FOR MAINTENANCE, EMERGENCY AND ENFORCEMENT OF UTILITIES AND STRUCTURES (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)
- (15) (12) EXISTING TEMPORARY CONSTRUCTION EASEMENTS OVER COMMON AREAS FOR INGRESS/EGRESS, SLOPE AND INSTALLATION OF DRAINAGE, WATER, STORM DRAINAGE, SANITARY SEWER AND OTHER UTILITIES AS WELL AS EQUIPMENT, MATERIALS AND SUPPLY STORAGE (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)
- (15) (13) EXISTING RECIPROCAL, APPURTENANT EASEMENTS OF ENCROACHMENTS, AND MAINTENANCE USE OF ALL PERMITTED ENCROACHMENTS (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)
- (15) (14) EXISTING RECIPROCAL, APPURTENANT EASEMENTS OVER, UNDER, ACROSS AND BETWEEN PARCELS AND COMMON AREAS FOR THE INSTALLATION AND MAINTENANCE OF FOOTINGS, FOUNDATION SUPPORT SYSTEMS, SHEETING ETC. (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)
- (15) (15) EXISTING RECIPROCAL APPURTENANT EASEMENT OVER AND BETWEEN PARCELS AND COMMON AREAS FOR THE USE OF AIR SPACE (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)
- (15) (16) EXISTING SIGHTLINE EASEMENT FOR THE PURPOSE OF PRESERVING OR PROTECTING VIEWS FROM OR TO PARTICULAR PARCELS (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)

A1 DRAINAGE PLAN - EXISTING CONDITIONS

SCALE: 1" = 80'-0"



Thompson
Engineering
Consultants, Inc.
tecnm@yahoo.com
P.O. BOX 65760 ALBUQUERQUE, NM 87193 PHONE: (505) 271-2199 FAX: (505) 630-9248

I. PURPOSE AND SCOPE

THE PURPOSE OF THIS DRAINAGE PLAN IS TO PRESENT THE EXISTING AND PROPOSED DRAINAGE CONDITIONS FOR THE PROPOSED ROSES SOUTHWEST PAPERS PROJECT. THE NEW BUILDING IS LOCATED ON CRICK CROSSING SW, IN MESA DEL SOL, IN SOUTHWEST ALBUQUERQUE, THE ZONE ATLAS PAGE FOR THE SITE IS Q-16-Z.

II. SITE DESCRIPTION AND HISTORY

THE PROJECT SITE IS LOCATED ON THE NORTH SIDE OF CRICK CROSSING SW, WEST OF HAWKING DRIVE SW, IN MESA DEL SOL. THE SITE IS CURRENTLY VACANT. PROPERTIES TO THE EAST AND NORTH HAVE BEEN DEVELOPED AND CONTAIN STORMWATER MANAGEMENT PONDS TO CONTROL RUNOFF. THE MESA DEL SOL COMMUNITY MASTER PLAN REQUIRES THAT ALL PARCELS CONTAIN THE 100 YEAR STORM RUNOFF EVENT IN RETENTION PONDS.

III. COMPUTATIONAL PROCEDURES

HYDROLOGIC ANALYSIS WAS PERFORMED UTILIZING THE DESIGN CRITERIA BASED ON CHAPTER 6, HYDROLOGY, OF THE DEVELOPMENT PROCESS MANUAL RELEASED 2020. TABLES WITHIN CHAPTER 6, WERE USED TO AID IN THE STUDY OF THE SITE HYDROLOGY.

IV. PRECIPITATION

THE STORM EVENT USED FOR THE FOLLOWING CALCULATIONS IS THE 100YR-24HR STORM. THE PROJECT SITE IS LOCATED IN ZONE 3 (EAST OF RIO GRANDE, SOUTH OF I40 AND WITHIN TOWNSHIP 4E).

V. EXISTING DRAINAGE CONDITIONS

THE SITE IS CURRENTLY UNDEVELOPED. THE SITE TO THE EAST IS FULLY DEVELOPED. THE SITE IS BOUNDED ON THE NORTH BY A PRIVATE DRIVE THAT IS UTILIZED BY KAIROS POWER FOR ACCESS. THE SITE IS BOUNDED ON THE SOUTH BY CRICK CROSSING THAT HAS THE NORTH HALF STREET SECTION DEVELOPED. NO RUNOFF FROM ADJACENT SITES IS ANTICIPATED.

THE SITE GENERALLY DRAINS FROM EAST TO WEST BUT HAS VERY LITTLE SLOPE. A MAJORITY OF EXCESS RUNOFF WOULD CURRENTLY BE CAUGHT IN LOCAL DEPRESSION AND ALLOWED TO SOAK INTO THE GROUND. INFILTRATION RATES WERE MEASURED BY THE GEOTECHNICAL ENGINEER AT 6" PER HOUR.

CRICK CROSSING CONTAINS PUBLIC STORMWATER COLLECTION AND CONVEYANCE PIPING BUT DISCHARGE INTO THE SYSTEM IF LIMITED TO THE ROADWAY AND CONVEYANCE MINOR DISCHARGE AT DRIVEWAYS. AS MENTIONED IN THE SITE DESCRIPTION AND HISTORY PORTION, THE MASTER PLAN FOR MESA DEL SOL REQUIRES THAT ALL PARCELS PROVIDE FULL RETENTION OF EXCESS FOR OFF FOR THE 100 YEAR - 24 HOUR STORM RUNOFF EVENT (PROVIDED INFILTRATION WILL DRAIN THE POND PRIOR TO THE NEXT STORM EVENT).

VI. PROPOSED DRAINAGE CONDITIONS

THE NEW BUILDING WILL BE 100,600 SF WAREHOUSE/MANUFACTURING BUILDING. THE FRONT AND SIDES WILL BE GENERALLY AT GRADE TO ALLOW FOR EASY ACCESS FOR PEDESTRIANS, AND DUE TO NFPA REQUIRING ACCESS DOORS AT 100' INTERVALS. THE NORTH SIDE OF THE BUILDING WILL BE A LOADING DOCK, SO THERE WILL BE A 4' DROP FROM FINISHED FLOOR TO DOCK GRADE.

THE SITE FOR PHASE 1 ALL DRAINS TO THE RETENTION POND ON THE WEST SIDE OF THE SITE. THE ROOF WILL DRAIN BOTH NORTH AND SOUTH. 60% OF THE ROOF WILL DRAIN TO THE DOCK SIDE. ALONG THE SOUTH SIDE OF THE SITE IN THE PARKING AREA, CATCH BASINS WILL COLLECT RUNOFF AND CONVEY STORM WATER TO THE RETENTION POND. CATCH BASINS HAVE BEEN SET AT CLOSE AS POSSIBLE TO THE DRIVEWAYS TO CAPTURE STORM RUNOFF. A SMALL AREA AT EACH DRIVEWAY WILL SPILL OUT INTO CRICK CROSSING AND WILL BE COLLECTED IN THE SUMP CONDITION TYPE A CATCH BASIN NEAR THE EASTERN ENTRANCE DRIVE. THE INCREASE TO THE STREET RUNOFF IS LESS THAN 2,000 SF AND THEREFORE LESS THAN 0.1 CFS. THIS IS A NEGLIGIBLE INCREASE. AN 18" HDPE STORM PIPE WILL CONVEY THE STORM RUNOFF FROM THE FOUR CATCH BASINS TO THE RETENTION POND.

APPROXIMATELY 25% OF BASIN PRO #1 FLOWS TO THE SOUTH TO THE CATCH BASINS. THERE ARE A TOTAL OF FOUR CATCH BASINS AND PER FIGURE 6.9.9 THE CAPACITY OF EACH TYPE "C" INLET FLOWING AT A MAXIMUM OF 0.5' DEEP (AND 1% SLOPE GOING TOWARD INLET ALONG CURB LINE) THE COLLECTION RATE IS APPROXIMATELY 6.6 CFS. WITH THE REQUIRED COLLECTION OF 8 CFS (25% OF 39.61 CFS) ONLY TWO INLETS WOULD BE REQUIRED. FOUR INLETS WILL ELIMINATE THE BYPASS OUT INTO THE PUBLIC STREET VIA THE DRIVEWAYS, EXCEPT FOR WHAT RAIN FALLS BEYOND THE CATCH BASINS.

NORTHERN (60% OF ROOF) ROOF RUNOFF WILL BE COLLECTED IN INTERNAL ROOF DRAINS AND ROUTED INTERNALLY TO DISCHARGE THROUGH THE 4' TALL STEM WALL AT THE LOADING DOCK. FROM THERE THE RUNOFF WILL SHEET FLOW OVER TO A SERIES OF SUMP CONDITION MEDIAN TYPE CATCH BASINS. HDPE STORM PIPES WILL CONVEY RUNOFF TO THE POND.

THERE ARE A TOTAL OF 3 TYPE "D" (MEDIAN TYPE) CATCH BASINS LOCATED IN THE TRUCK DOCK AREA. EACH AREA LOCATED IN A SUMP CONDITION WITH A MAXIMUM DEPTH OF 0.90'. BEYOND THAT DEPTH, THE WATER OVERTOPS FROM ONE CATCH BASIN TO THE NEXT AND FLOW WEST TOWARD THE RETENTION POND.

THE WEIR EQUATION ($Q=CW^{3/2}$) WAS USED TO EVALUATE THE CAPACITY OF THE TYPE "D" CATCH BASINS. THE GRATE PERIMETER IS $(25' \times 40') = 10.83'$. AT A MAXIMUM DEPTH OF 0.90' THE CAPACITY OF THE INLET IS $(Q=2.77 \times 10.83^{3/2}) = 24.5$ CFS. THE FUTURE PHASE 2 WILL DOUBLE THE REQUIRED FLOW RATE OF THE BASIN CONTRIBUTING TO THE LINE OF TYPE "D" CATCH BASINS. THE TOTAL RUNOFF TO BE COLLECTED IN THIS SYSTEM WILL BE = 32.4 CFS (AFTER PHASE 2 IS CONSTRUCTED, AND ONLY 16.64 IN THIS PHASE. SEE NORTH SUB BASIN COMPUTATIONS). THE THREE INLETS WILL HAVE CAPACITY OF 74.7 CFS. PIPES HAVE BEEN SIZED TO KEEP THE ENERGY GRADE LINE BELOW GRADE.

CONVEYANCE PIPING WILL START WITH 18" HDPE AND BE UP-SIZED TO 30" HDPE AT THE SECOND CATCH BASIN, AND 36" HDPE AT THE THIRD INLET TO BE ABLE TO CONVEY THE EXCESS STORM RUNOFF TO THE RETENTION POND. THE ENERGY GRADE LINE WILL REMAIN BELOW THE SURFACE AT ALL INLETS.

INFILTRATION WAS CONFIRMED BY THE GEOTECHNICAL ENGINEER AS 6" PER HOUR. THE EXCESS RUNOFF FROM THE 100 YEAR 6 HOUR EVENT IS 39.61 CFS. THE RUNOFF VOLUME AS REQUIRED BY THE MESA DEL SOL COMMUNITY MASTERPLAN IS 2.1 ACRE-FEET FOR THE 100 YEAR - 24 HOUR EVENT. THE PROPOSED POND IS 3.0' DEEP TO THE MWSEL (PLUS OVER 2 OF FREEBOARD). THE INFILTRATION OF 6" PER HOUR (4.16 CFS) WOULD REQUIRED OVER 11.2 HOURS TO SOAK IN COMPLETELY. THEREFORE THE POND HAS BEEN SIZED TO CONTAIN SINGLE 100 YEAR. THE EXCESS RUNOFF VOLUME ENTERING THE POND IS 2.1 ACRE FEET.

VII. CONCLUSIONS

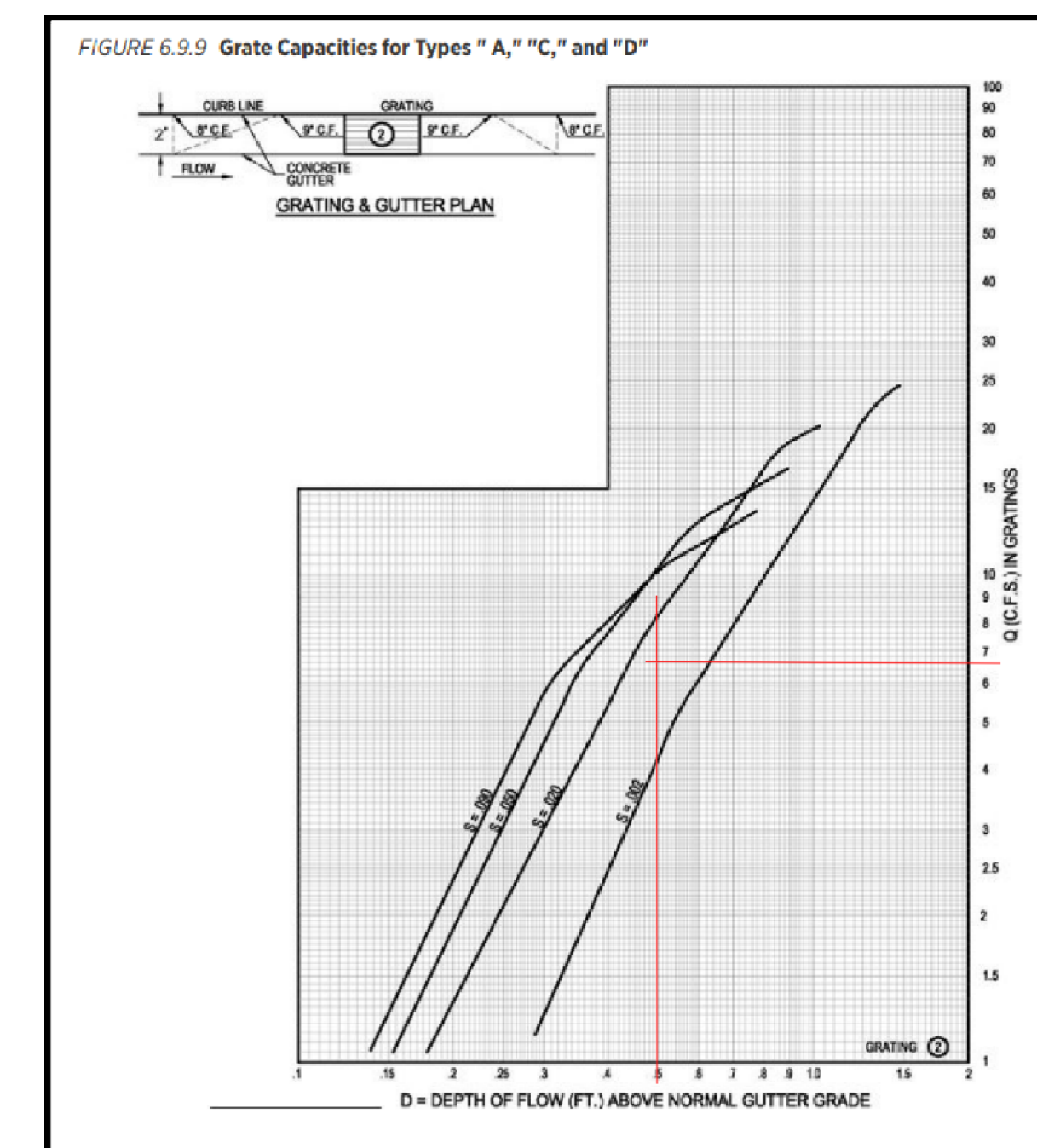
THE SITE HAS BEEN DESIGNED TO COLLECT AND CONVEY THE 100-YEAR, 6-HOUR PEAK RUNOFF RATE OF 39.61 CFS. THE FULL RETENTION POND AS REQUIRED BY THE MESA DEL SOL COMMUNITY MASTER PLAN HAS BEEN SIZED TO FULLY CONTAIN SINGLE 100-YEAR EVENT SINCE THE INFILTRATION RATE IS 6" PER HOUR AND WILL BE FULLY ABSORBED PRIOR TO THE NEXT POTENTIAL MONSOON EVENT.

FUTURE PHASES WILL REQUIRE THE EXPANSION OF THE STORM POND. COMPUTATIONS HAVE BEEN INCLUDED FOR THE FULL BUILDOUT AS CURRENTLY PLANNED, AND THE FULL RETENTION POND CAN EASILY BE ACCOMMODATED.

Pond Routing and Volumes		Full Buildout	Phase 1
Incoming Flow Rate	Qin	94.93	39.61 cfs
Allowable Discharge Rate	Qout	3.5	4.19 cfs
Hydrology Zone		3	3 per Figure A-1
Area Total	At	23.792	10.181 acres
Area Type A	Aa	0	0%
Area Type B	Ab	25	30%
Area Type C	Ac	0	0%
Area Type D Impervious	Ad	75	70%
Excess runoff rates	A	0.67	0.67
	B	0.86	0.86
	C	1.09	1.09
	D	2.58	2.58
Weighted E (Exces Runoff)		2.15	2.06
Time of Concentration		0.2	0.2 hours
Time to Peak		0.211	0.215 hours
$=0.7T_c + ((1.6-Ad/Ai)/12)$			
Time of Base		0.948	0.943 hours
$=2.107E^{-At/Qp} + (25Ad/Ai)$			
Duration of Peak		0.198	0.175 hours
Time for end of peak		0.398	0.390 hours
Time when storage begins		0.008	0.023 hours
Time incoming is less than discharge		0.928	0.884 hours
Volume Required during storm	acre-inch	50.926	18.648 acre inch
Volume Required during storm	cf	184.862	67.691 cubic feet
Volume Stored in Pond during storm	cf	220.780	70.825 cubic feet

TABLE 6.2.7 Precipitation Zones	
Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40 and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40 and East of the East boundary of Range 4 East, South of Interstate 40
Not including the Cibola National Forest	

Infiltration Rates		
Per GeoMAT Report Perc Rate	6" per hour	inches per hour
	.5 ft / hour	ft/ hour
	0.0001389	ft/sec
Pond area	29,931	sf
Infiltration Flow Rate	4.16	cfs



Drainage Summary

Project: Roses Southwest Papers
 Project Number: TEC Roses SW Papers
 Date: 09/16/23
 By: MTD

Site Location

Precipitation Zone: 3 Per COA DPM Chapter 6

Existing summary

Basin Name	Ex Basin 1
Area (sf)	1036392.4
Area (acres)	23.79
%A Land treatment	0
%B Land treatment	80
%C Land treatment	20
%D Land treatment	0
Soil Treatment (acres)	
Area "A"	0.00
Area "B"	19.03
Area "C"	4.76
Area "D"	0.00

Excess Runoff (acre-feet)

100yr. 6hr.	1.7963	acre-ft
10yr. 6hr.	0.7455	acre-ft
2yr. 6hr.	0.1548	acre-ft
100yr. 24hr.	1.7963	acre-ft

Peak Discharge (cfs)

100 yr.	62.48	cfs
10yr.	28.41	cfs
2yr.	6.23	cfs

Proposed summary

Basin Name	Overall Site	Phase 1	North SubBasin
Area (sf)	1036392.4	443500	168977.5
Area (acres)	23.792	10.181	3.879
%A Land treatment			
%B Land treatment	25	30	10
%C Land treatment			
%D Land treatment	75	70	90
Soil Treatment (acres)			
Area "A"	0.00	0.00	0.00
Area "B"	5.95	3.05	0.39
Area "C"	0.00	0.00	0.00
Area "D"	17.84	7.13	3.49

Excess Runoff (acre-feet)

100yr. 6hr.	4.2628	1.7512	0.7784	acre-ft.
10yr. 6hr.	2.6072	1.0606	0.4881	acre-ft.
2yr. 6hr.	1.5862	0.6363	0.3071	acre-ft.
100yr. 24hr.	5.1342	2.0992	0.9489	acre-ft.
100yr. 10day	6.7461	2.7430	1.2643	acre-ft.

Peak Discharge (cfs)

100 yr.	94.93	39.61	16.64	cfs
10yr.	56.61	23.29	10.23	cfs
2yr.	31.76	12.79	6.10	cfs

Water Quality Ponding Volume (cf)	22023.3	8796.1	4308.9 cf
Water Quality Acre Feet	0.5056	0.2019	0.0989 acre-ft

HYDRAULIC GRADELINE CALCULATIONS

STORM LINE ON LOADING DOCK SIDE

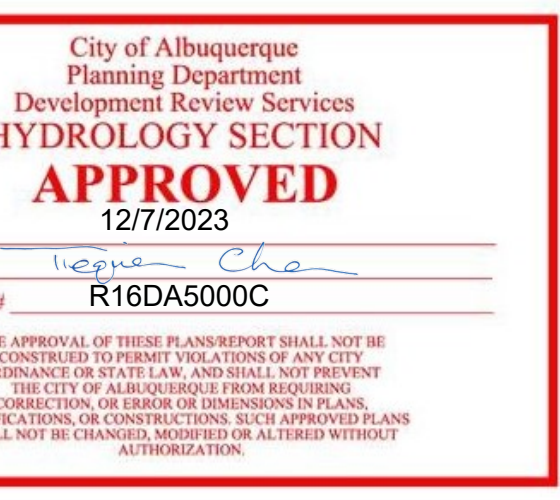
Roses Southwest Papers

BY: DAA

DATE: REVISED 9-27-23

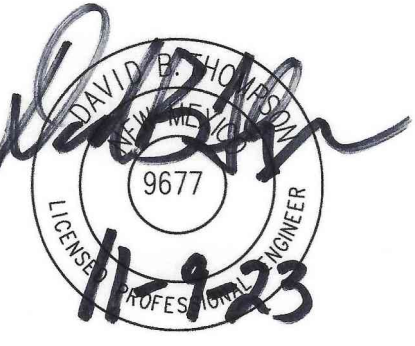
LINE: Loading Dock

STATION	STRUCT	D	Q	A	V	K	Sf	L	DELTA	Q	hf	hb	Asvg	bj	hbh	SUM	E.G.	hw	H.G.
1+00.00	POND										0.21					0.21	5287.44	0.33	5286.90
1+60.00	MB #1	36	32.44	7.069	4.589	667	0.002	90									5287.44	0.33	5287.11
3+38.00	CB #1	36	32.44	7.069	4.589	667	0.002	78			0.18					0.18	5287.66	0.33	5287.15
5+48.00	CB #2	30	21.63	4.909	4.406	410	0.003	210		10.81			0.58			0.58	5288.52	0.30	5287.61
7+58.00	CB #3	18	10.81	1.767	6.119	105	0.011	210		10.81			2.23			2.23	5291.48	0.58	5288.96



APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

ARCHITECT/ENGINEER



REVISION DATE

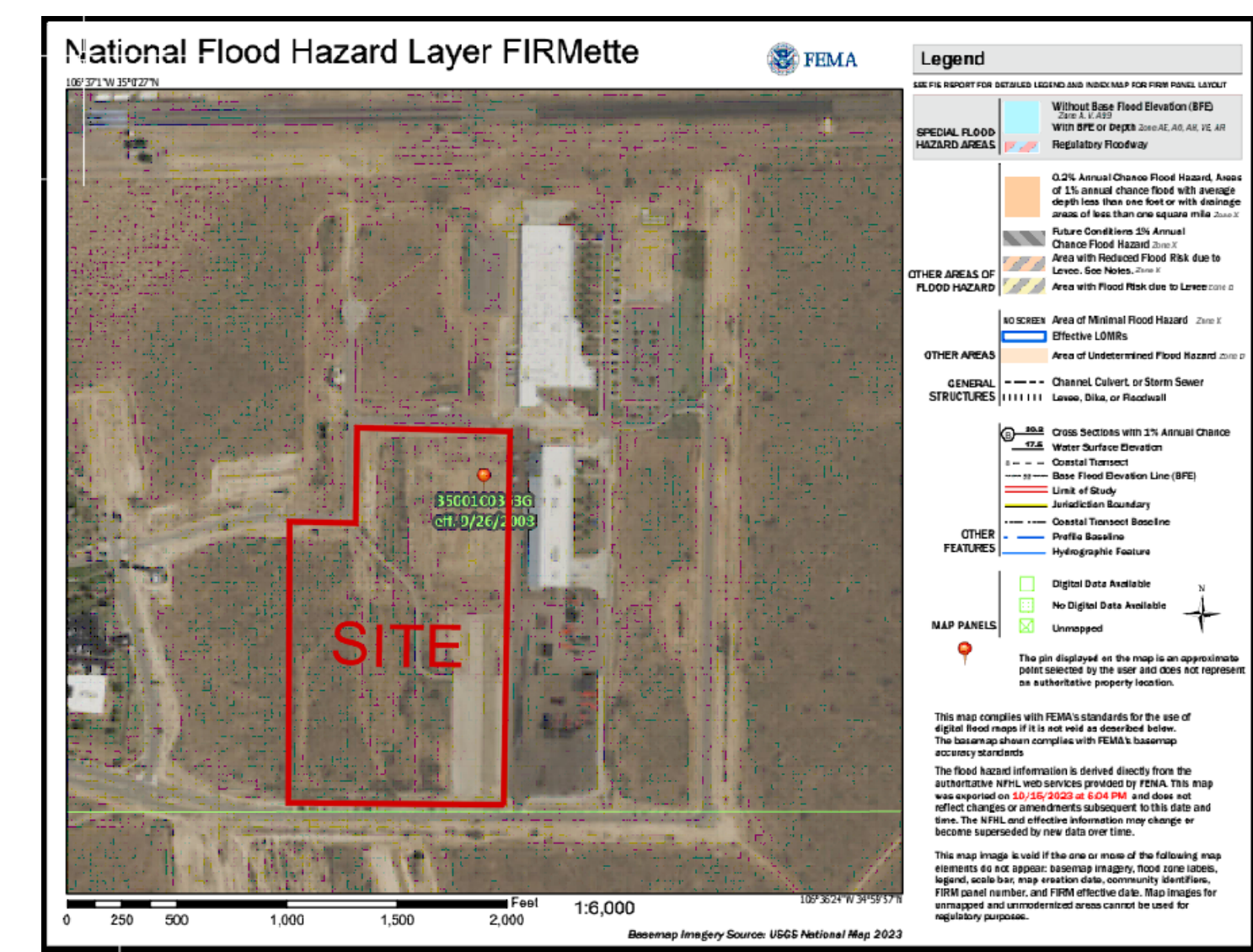
DATE 10/16/23

PROJECT NO

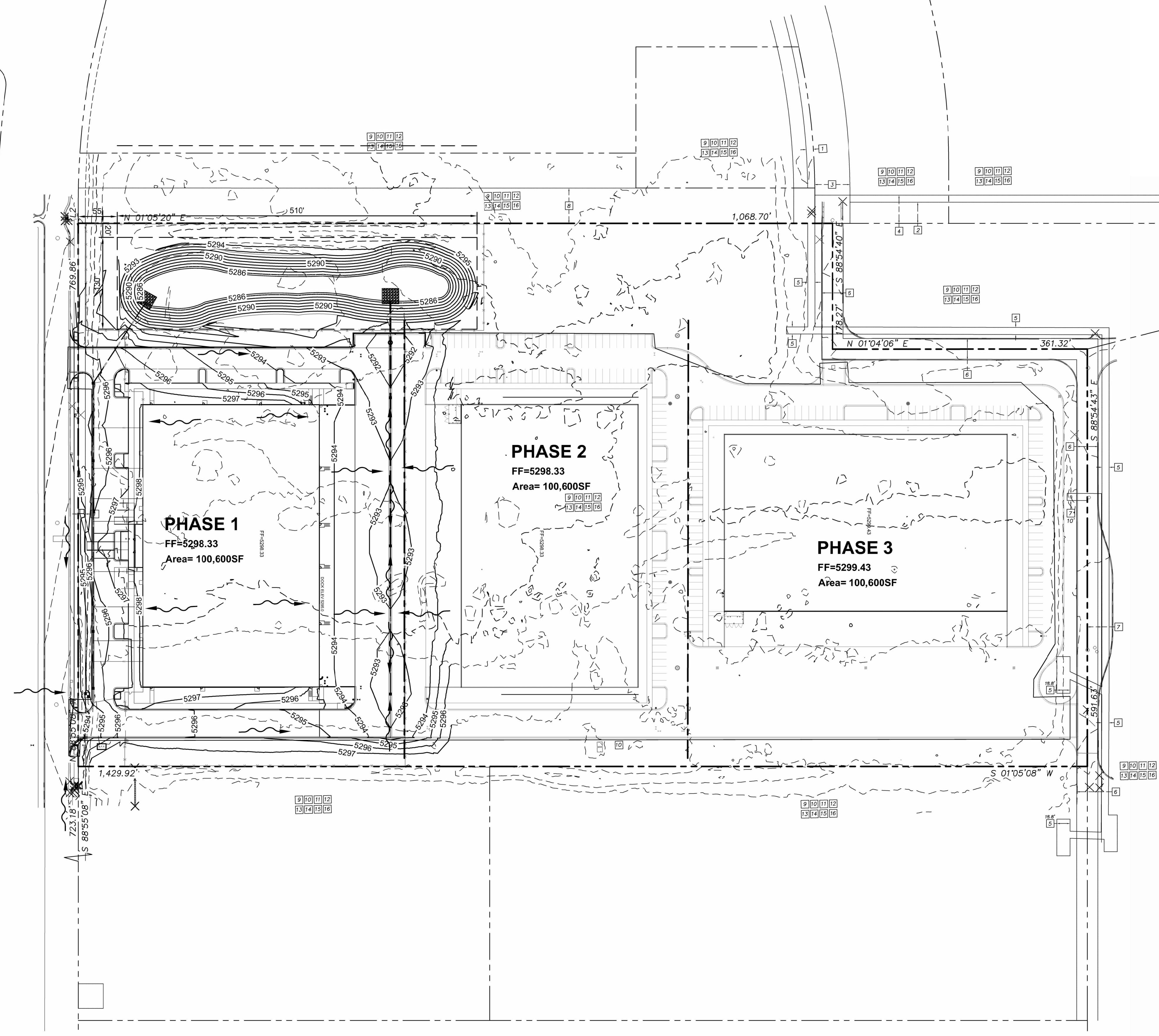
SHEET NO.

GENERAL NOTES

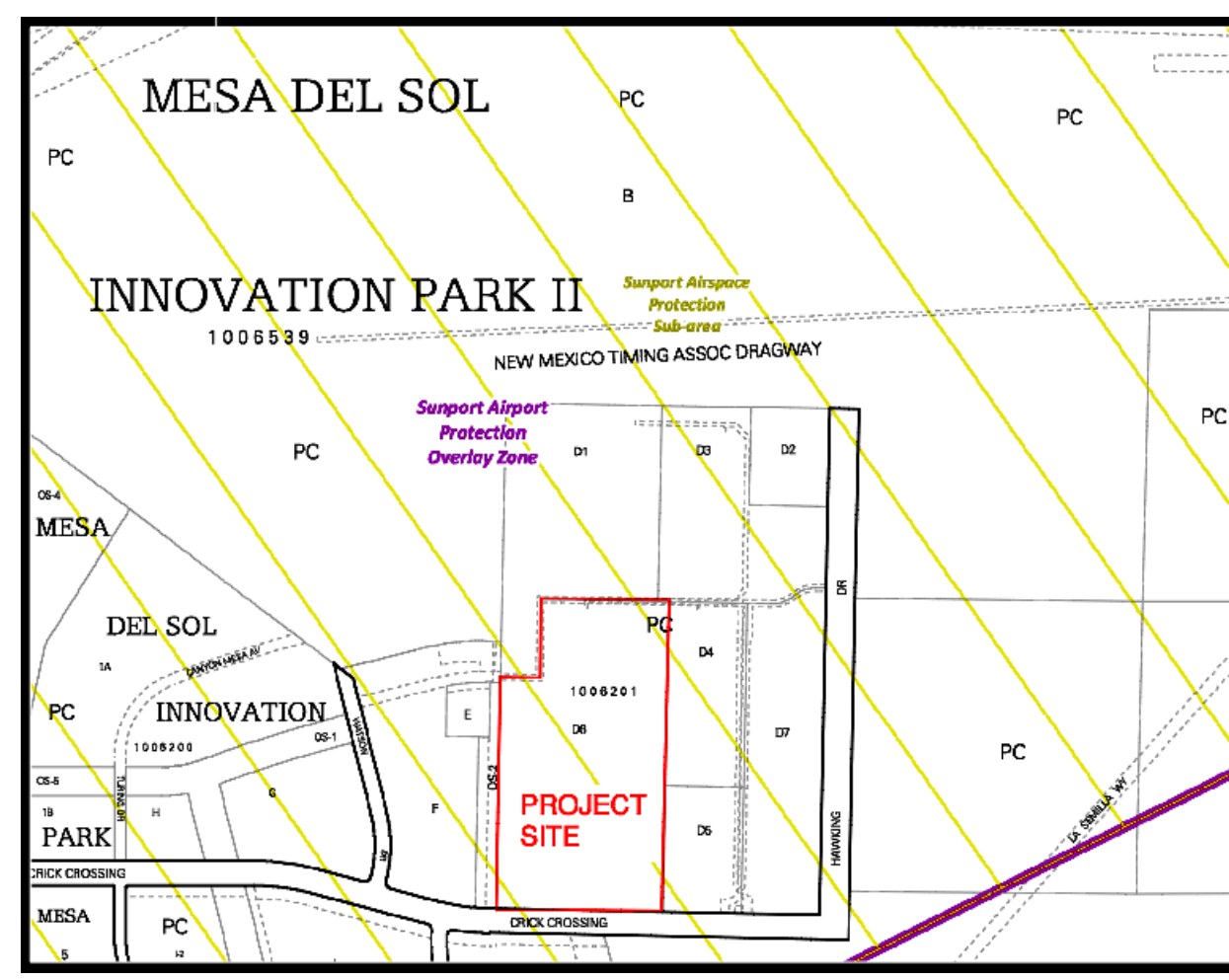
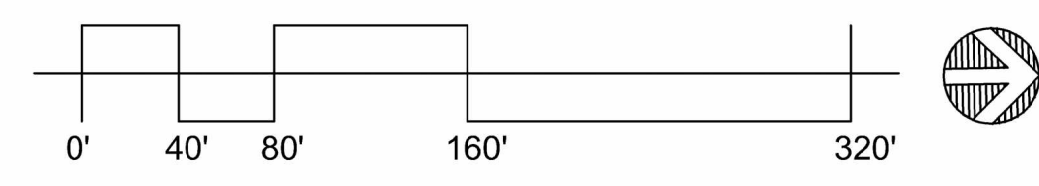
A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
 B. FIELD VERIFY ALL DIMENSIONS.
 C. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.



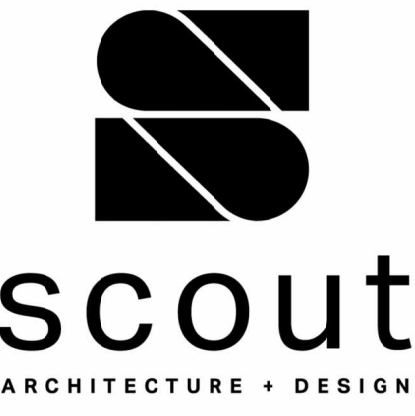
D4 FEMA FIRMETTE
NOT TO SCALE



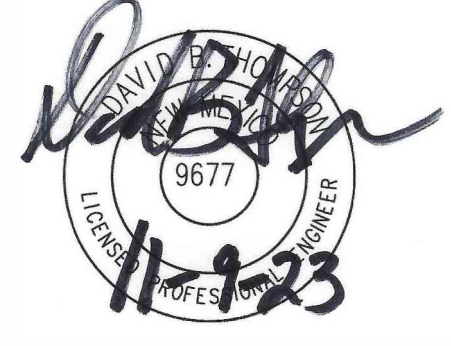
A1 DRAINAGE PLAN - OVERALL
SCALE: 1" = 80'-0"



D1 ZONE ATLAS PAGE Q-16-Z
NOT TO SCALE



ARCHITECT/ENGINEER



ROSES SOUTHWEST PAPERS
CRICK CROSSING
ALBUQUERQUE, NEW MEXICO

BUILDING PERMIT SET

REVISION DATE

DATE 10/16/23

PROJECT NO

DRAINAGE PLAN - OVERALL

SHEET NO.

CD-1

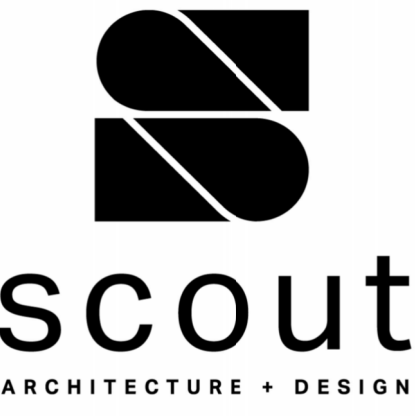
Thompson Engineering Consultants, Inc.
tecni@yahoo.com

P.O. BOX 65760 ALBUQUERQUE, NM 87193

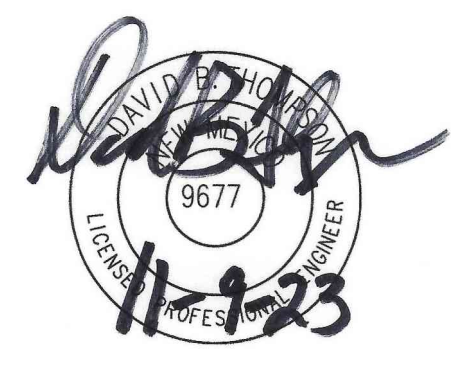
PHONE: (505) 271-2199 FAX: (505) 830-9248

GENERAL NOTES

- A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
- B. FIELD VERIFY ALL DIMENSIONS.
- C. DO NOT SCALE DRAWINGS, IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.



ARCHITECT/ENGINEER



ROSES SOUTHWEST PAPERS

CRICK CROSSING
ALBUQUERQUE, NEW MEXICO

BUILDING PERMIT SET

REVISION _____ DATE _____

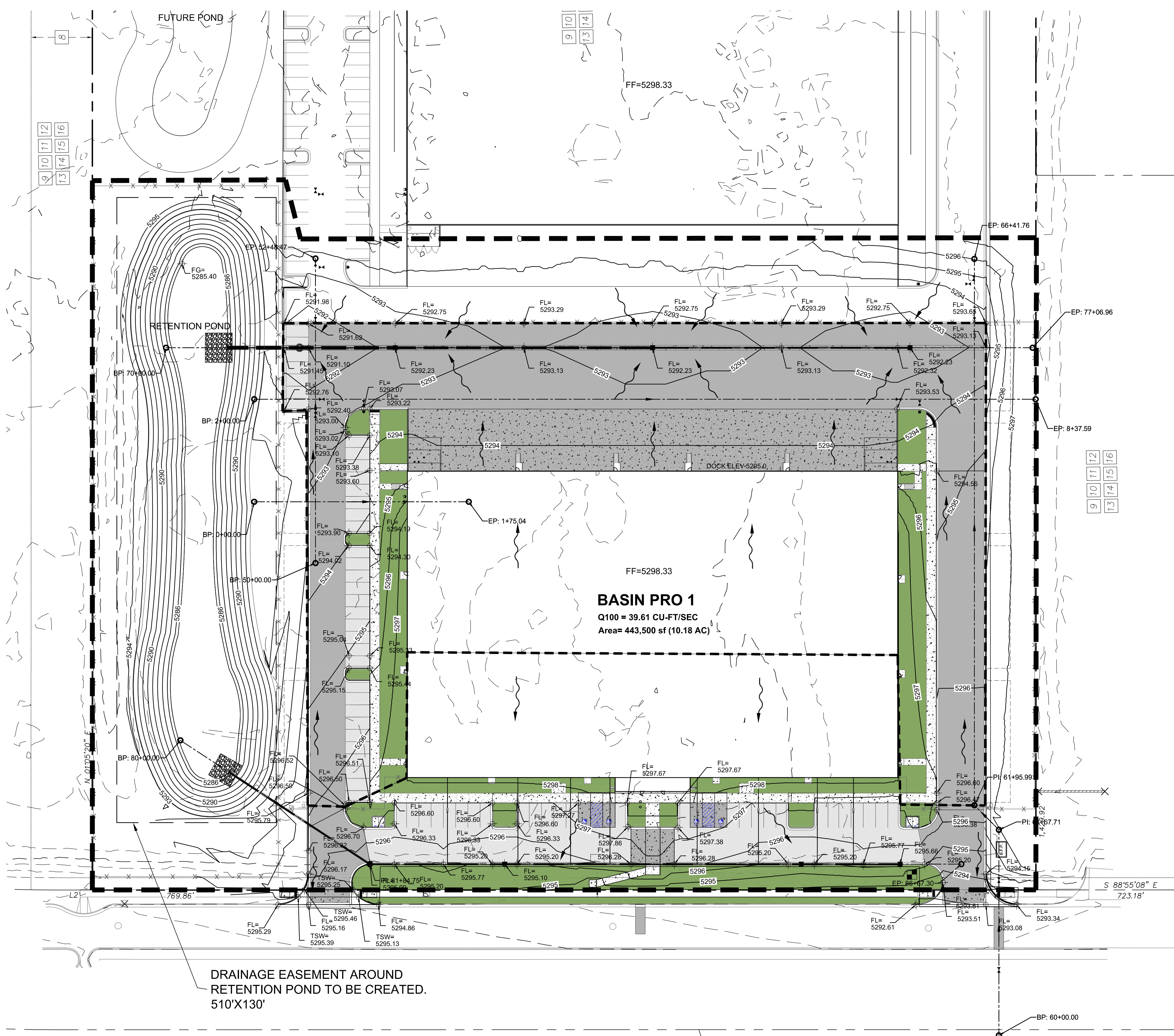
DATE 10/16/23

PROJECT NO _____

DRAINAGE PLAN - PHASE 1 ENLARGED

SHEET NO. _____

CD-2

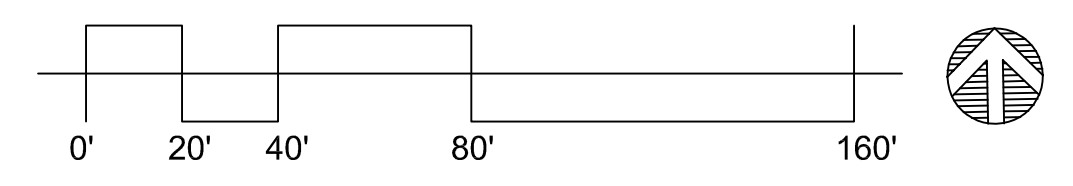


DRAINAGE EASEMENT AROUND RETENTION POND TO BE CREATED. 510'X130'

MATERIAL LEGEND

- HEAVY DUTY ASPHALT PER DETAIL D1/C-501
- PARKING LOT ASPHALT PER DETAIL D1/C-501
- HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501
- 4" THICK CONCRETE SIDEWALK PER DETAIL B4/C-501
- RIPRAP EROSION PROTECTION, SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
- EARTHEN POND, SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
- LANDSCAPING AREA.

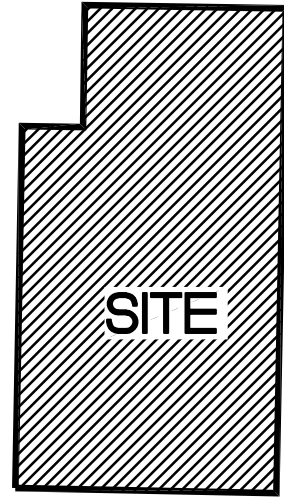
(A1) DRAINAGE PLAN - PHASE 1 ENLARGED
SCALE: 1" = 40'-0"



Thompson Engineering Consultants, Inc.
tecnm@yahoo.com

P.O. BOX 65760 ALBUQUERQUE, NM 87193 PHONE: (505) 271-2199 FAX: (505) 630-9248

6/1/2023 10:07:53 PM



Missing or invalid reference

Vicinity Map - Zone Atlas Q-16-Z and R-16-Z



Record and Measured Legal Description

TRACT LETTERED D-SIX (D-6), PLAT OF MESA DEL SOL INNOVATION PARK II, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF RECORDED IN THE REAL PROPERTY RECORDS OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 29, 2017, IN PLAT BOOK 2017C, PAGE 159, AS DOCUMENT NO. 2017124120.

Notes

- 1. FIELD SURVEY PERFORMED IN JANUARY 2023.
2. ALL DISTANCES ARE GROUND DISTANCES; U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).
4. WITH REGARD TO UNDERGROUND UTILITY LOCATIONS, SOURCE INFORMATION FROM PLANS AND MARKINGS WERE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.IV. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, WHICH MAY AFFECT THIS SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY. INVERT DATA SHOWN WITH A ± SHOULD BE CONSIDERED TAKEN FROM AS-BUILTS. (NM811 TICKET NO. 23JA030601).
5. THE COORDINATES SHOWN HEREON REFERENCE MODIFIED NEW MEXICO STATE PLANE COORDINATES (NAD 83-GROUND-CENTRAL ZONE), USING A GROUND TO GRID FACTOR OF 0.9996635537, WITH AN ORIGIN OF (0,0).
6. THERE ARE NO EASEMENTS, RIGHTS-OF-WAY, OLD HIGHWAYS, OR ABANDONED ROADS, LANES OR DRIVEWAYS AFFECTING THE PROPERTY APPEARING FROM A CAREFUL PHYSICAL INSPECTION OF THE SAME, OTHER THAN THOSE SHOWN AND DEPICTED ON THE SURVEY OR THOSE WHICH MAY BE DISCOVERED BY A COMPLETE EXAMINATION OF THE PROPERTY AND ALL ADJOINERS.
7. THERE ARE NO VISIBLE BOUNDARY LINE CONFLICTS.
8. EXCEPT AS SHOWN ON THIS SURVEY, THERE ARE NO OBSERVABLE ENCROACHMENTS OF IMPROVEMENTS ON THE PROPERTY UPON ANY EASEMENT, RIGHTS-OF-WAY, OR ADJACENT LAND NOR ENCROACHMENTS OF IMPROVEMENTS LOCATED ON ADJACENT LAND UPON THE PROPERTY.
9. THERE ARE NO GAPS, CORES, OVERLAPS OR HIATUS INHERENT TO THE SUBJECT PROPERTY BASED ON THE FIELD SURVEY PERFORMED AND THE TITLE COMMITMENT PROVIDED.
10. THE SUBJECT PROPERTY HAS DIRECT ACCESS TO AND FROM CRICK CROSSING SE (118' R/W), A PUBLIC RIGHT-OF-WAY.
11. THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS IN THE PROCESS OF CONDUCTING THE FIELDWORK.
12. THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
13. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SUBSTANTIAL REFUSE OR USE AS A BURIAL GROUND OR CEMETERY.
14. THE SURVEYED LEGAL DESCRIPTION IS ONE AND THE SAME AS THAT LEGAL DESCRIPTION CONTAINED ON THE TITLE COMMITMENT ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, UNDER COMMITMENT NO. 2207829, WITH AN EFFECTIVE DATE OF APRIL 5, 2023.

Flood Notes

BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE "X" WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0363G, DATED SEPTEMBER 26, 2008.

Indexing Information

Sections 15 and 22, Township 9 North, Range 3 East, N.M.P.M.
Subdivision: Mesa Del Sol Innovation Park II
Owner: Akinita LLC
UPC #: 101605227405540202

Documents

- 1. TITLE COMMITMENT PROVIDED BY OLD REPUBLIC NATIONAL TITLE, HAVING FILE NO. 2207829 AND AN EFFECTIVE DATE OF APRIL 5, 2023.
2. PLAT OF RECORD FOR MESA DEL SOL INNOVATION PARK II, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 29, 2017, IN BOOK 2017C, PAGE 159, DOC. NO. 2017124120.
3. WARRANTY DEED FOR SUBJECT PROPERTY FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON MAY 27, 2020, AS DOC. NO. 2020046995.

Benchmark -NAVD 88

ACS MONUMENT "3-Q16" HAVING AN ELEVATION OF 5310.39.

Easement Notes

- EXISTING 10' P.U.E. (8/7/2008, 2008C-175) AND AS SHOWN ON PLAT (12/29/2017, 2017C-159)
EXISTING 30' PUBLIC PEDESTRIAN ACCESS EASEMENT (8/7/2008, 2008C-175) AND AS SHOWN ON PLAT AND AS SHOWN ON PLAT (12/29/2017, 2017C-159)
EXISTING 50' PUBLIC ROADWAY EASEMENT (8/7/2008, 2008C-175) AND AS SHOWN ON PLAT (12/29/2017, 2017C-159)
EXISTING 40' PNM TRANSMISSION LINE EASEMENT (8/7/2008, 2008C-175) AND AS SHOWN ON PLAT (12/29/2017, 2017C-159)
EXISTING 10' PNM EASEMENT (10/16/2008, DOC. NO. 2008113343) AND AS SHOWN ON PLAT (12/29/2017, 2017C-159)
EXISTING 30' PERMANENT PRIVATE ACCESS EASEMENT (12/29/2017, 2017C-159) SEE REPAIR AND MAINTENANCE AGREEMENT (2/21/2020, DOC. NO. 2020016464)
EXISTING 20' PRIVATE UTILITY EASEMENT (12/29/2017, 2017C-159) AND AS SHOWN ON PLAT (12/29/2017, 2017C-159)
EXISTING 50' PNM TRANSMISSION LINE EASEMENT (8/7/2008, 2008C-175) AND AS SHOWN ON PLAT (12/29/2017, 2017C-159)
EXISTING NON-EXCLUSIVE ACCESS EASEMENT OVER COMMON AREAS (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)
EXISTING PERPETUAL NON-EXCLUSIVE UTILITY ACCESS EASEMENT (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)
EXISTING EASEMENT FOR MAINTENANCE, EMERGENCY AND ENFORCEMENT OF UTILITIES AND STRUCTURES (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)
EXISTING TEMPORARY CONSTRUCTION EASEMENTS OVER COMMON AREAS FOR INGRESS/EGRESS, SLOPE AND INSTALLATION OF DRAINAGE, WATER, STORM DRAINAGE, SANITARY SEWER AND OTHER UTILITIES AS WELL AS EQUIPMENT, MATERIALS AND SUPPLY STORAGE (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)
EXISTING RECIPROCAL, APPURTENANT EASEMENTS OF ENCROACHMENTS, AND MAINTENANCE USE OF ALL PERMITTED ENCROACHMENTS (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)
EXISTING RECIPROCAL, APPURTENANT EASEMENTS OVER, UNDER, ACROSS AND BETWEEN PARCELS AND COMMON AREAS FOR THE INSTALLATION AND MAINTENANCE OF FOOTINGS, FOUNDATION SUPPORT SYSTEMS, SHEETING ETC. (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)
EXISTING RECIPROCAL APPURTENANT EASEMENT OVER AND BETWEEN PARCELS AND COMMON AREAS FOR THE USE OF AIR SPACE (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)
EXISTING SIGHTLINE EASEMENT FOR THE PURPOSE OF PRESERVING OR PROTECTING VIEWS FROM OR TO PARTICULAR PARCELS (4/16/2008, AS DOC. NO. 2008043398) AND RESTATED WITHIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MESA DEL SOL (12/28/2010, DOC. NO. 2010132684)

Exceptions 9-31

- RESERVATIONS AND EXCEPTIONS IN THE EXCHANGE PATENT BY THE COMMISSIONER OF PUBLIC LANDS OF THE STATE OF NEW MEXICO, RECORDED ON JUNE 21, 2006 IN BOOK A119, PAGE 1045 AS DOC. NO. 2006091303 AND STATE OF NEW MEXICO PATENT FOR STATE TRUST LAND RECORDED APRIL 17, 2008 AS DOC. NO. 2008043677, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS SUBJECT PROPERTY-BLANKET IN NATURE
LEVEL A DEVELOPMENT AGREEMENT ENTERED INTO BY AND BETWEEN FOREST CITY COVINGTON NM, LLC, A NEVADA LIMITED LIABILITY COMPANY AND THE CITY OF ALBUQUERQUE, A NEW MEXICO MUNICIPAL CORPORATION RECORDED MARCH 21, 2006 IN BOOK A113, PAGE 9604 AS DOC. NO. 2006039738, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS SUBJECT PROPERTY-BLANKET IN NATURE
ASSIGNMENT OF LAND USE AUTHORIZATION FROM PATRICK H. LYONS, THE NEW MEXICO COMMISSIONER OF PUBLIC LANDS, TRUSTEE OF THE ENABLING ACT TRUST ACT OF JUNE 20, 1920, 36 STAT. 557, CH 310 TO THE REGENTS OF THE UNIVERSITY OF NEW MEXICO, A CONSTITUTIONALLY CREATED EDUCATIONS INSTITUTION OF THE STATE OF NEW MEXICO, RECORDED JUNE 21, 2006 IN BOOK A119, PAGE 1046 AS DOC. NO. 2006091304, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS SUBJECT PROPERTY-BLANKET IN NATURE
INTENTIONALLY OMITTED
INTENTIONALLY OMITTED
NOTICE OF AIRPORT IMPACTS AND COVENANTS NOT TO SUE DATED JUNE 23, 2006, RECORDED JULY 7, 2006 IN BOOK A120, PAGE 642 AS DOC. NO. 2006100926, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. NOT SURVEY RELATED
COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN THE DOCUMENT ENTITLED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR THE MESA DEL SOL EMPLOYMENT CENTER, RECORDED APRIL 16, 2008 AS DOC. NO. 2008043398; RECORDED JULY 17, 2009 AS DOC. NO. 2009081004; RECORDED DECEMBER 28, 2010 AS DOC. NO. 2010132684 AND RECORDED OCTOBER 8, 2018 AS DOC. NO. 2018087976. NOTE: THIS EXCEPTION OMITTS ANY COVENANT, CONDITION OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN AS PROVIDED IN 42 U.S.C. SEC. 3604, UNLESS AND ONLY TO THE EXTENT THAT THE COVENANT (A) IS NOT IN VIOLATION OF STATE OR FEDERAL LAW, (B) IS EXEMPT UNDER 42 U.S.C. SEC. 3607, OR (C) RELATES TO A HANDICAP, BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PEOPLE, AND AS SHOWN ON THE BOUNDARY SURVEY, ALTA/NSPS LAND TITLE SURVEY PREPARED BY CSI-CARTESIAN SURVEYS, INC., DATED JANUARY 10, 2023, UNDER JOB NO. 222114, LAST REVISED APRIL 10, 2023 ("SURVEY"). AFFECTS SUBJECT PROPERTY-EASEMENTS SHOWN HEREON AS 9, 10, 11, 12, 13, 14, 15 AND 16
AGREEMENT AND COVENANT BETWEEN THE CITY OF ALBUQUERQUE AND MESA DEL SOL, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY, RECORDED JUNE 25, 2008 AS DOC. NO. 2008071872, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS SUBJECT PROPERTY-BLANKET IN NATURE
MESA DEL SOL TAX INCREMENT DEVELOPMENT DISTRICTS NOTICE OF FORMATION RESOLUTION DATED DECEMBER 28, 2006, RECORDED DECEMBER 28, 2006 IN BOOK A129, PAGE 4128 AS DOC. NO. 2006194654; FIRST AMENDMENT TO THE MASTER DEVELOPMENT AGREEMENT MESA DEL SOL TAX INCREMENT DEVELOPMENT DISTRICTS 1 THROUGH 5 BY AND AMONG THE CITY OF ALBUQUERQUE, NEW MEXICO, MESA DEL SO, LLC AND MESA DEL SOL TAX INCREMENT DEVELOPMENT DISTRICTS 1 THROUGH 5, RECORDED MARCH 30, 2010 AS DOC. NO. 2010026776, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. NOT SURVEY RELATED
LEVEL B DEVELOPMENT AGREEMENT ENTERED INTO BY AND BETWEEN GRANTOR AND THE CITY OF ALBUQUERQUE, A NEW MEXICO MUNICIPAL CORPORATION, RECORDED DECEMBER 3, 2007 AS DOC. NO. 2007163468; AMENDED BY FIRST AMENDMENT TO MESA DEL SOL PHASE 1 LEVEL B DEVELOPMENT AGREEMENT RECORDED AUGUST 22, 2011 AS DOC. NO. 2011075937, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS SUBJECT PROPERTY-BLANKET IN NATURE
INTENTIONALLY OMITTED
{A} TEN FOOT P.U.E. RESERVED ALONG THE SOUTH PORTION OF INSURED PREMISES, {B} EASEMENTS, NOTICE OF SUBDIVISION PLAT CONDITIONS AND NOTES AS SHOWN, NOTED AND PROVIDED FOR ON THE BULK LAND PLAT FOR MESA DEL SOL INNOVATION PARK II, RECORDED AUGUST 7, 2008 IN PLAT BOOK 2008C, PAGE 175 AS DOC. NO. 2008089615, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, AND AS SHOWN ON SURVEY PREPARED BY CSI-CARTESIAN SURVEYS, INC., DATED JANUARY 10, 2023, UNDER JOB NO. 222114, LAST REVISED APRIL 10, 2023 ("SURVEY").
{A} AFFECTS SUBJECT PROPERTY-SHOWN HEREON AS 1
{B} AFFECTS SUBJECT PROPERTY-SHOWN HEREON AS 2, 3, 4 AND 8
TAX INCREMENT DEVELOPMENT DISTRICT COVENANT DATED SEPTEMBER 16, 2008, BY AND BETWEEN MESA DEL SOL, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY AND SCHOTT SOLAR, INC., A DELAWARE CORPORATION, RECORDED SEPTEMBER 17, 2008 AS DOC. NO. 2008102553 AND ASSUMPTION OF TIDD COVENANT RECORDED JUNE 1, 2016 AS DOC. NO. 2016049810, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. NOT SURVEY RELATED
EASEMENT, AND INCIDENTAL PURPOSES THERETO, GRANTED TO PUBLIC SERVICE COMPANY OF NEW MEXICO, A NEW MEXICO CORPORATION, RECORDED OCTOBER 16, 2008 AS DOC. NO. 2008113343, RECORDS OF BERNALILLO COUNTY, NEW MEXICO AND AS SHOWN ON SURVEY PREPARED BY CSI-CARTESIAN SURVEYS, INC., DATED JANUARY 10, 2023, UNDER JOB NO. 222114, LAST REVISED APRIL 10, 2023 ("SURVEY"). AFFECTS SUBJECT PROPERTY-SHOWN HEREON AS 5
PUBLIC IMPROVEMENT DISTRICT PROHIBITION COVENANT DATED SEPTEMBER 16, 2008, BY AND BETWEEN MESA DEL SOL, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY AND SCHOTT SOLAR, INC., A DELAWARE CORPORATION, RECORDED SEPTEMBER 17, 2008 AS DOC. NO. 2008102555, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. NOT SURVEY RELATED
INTENTIONALLY OMITTED
NOTICE OF MESA DEL SOL EMPLOYMENT CENTER OWNER'S ASSOCIATION, INC. RECORDED APRIL 30, 2014 AS DOC. NO. 2014033938, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. NOT SURVEY RELATED
NOTICE OF MESA DEL SOL COMMUNITY COMPANY, INC. RECORDED OCTOBER 18, 2019 AS DOC. NO. 2019089422, RECORDED SEPTEMBER 2, 2022 AS DOCUMENT NO. 2022080789, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. NOT SURVEY RELATED
MESA DEL SOL MASTER PARKS AGREEMENT RECORDED JULY 30, 2014 AS DOC. NO. 2014059937, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS SUBJECT PROPERTY-BLANKET IN NATURE
SUBDIVISION IMPROVEMENTS AGREEMENT PUBLIC AND/OR PRIVATE-AGREEMENT TO CONSTRUCT PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS, RECORDED DECEMBER 30, 2016 AS DOC. NO. 2016121967; AMENDED BY AMENDMENT TO AGREEMENT TO CONSTRUCT INFRASTRUCTURE IMPROVEMENTS AND AMENDMENT TO DRB INFRASTRUCTURE LIST RECORDED AUGUST 27, 2019 AS DOC. NO. 2019072687, AMENDED AND EXTENSION AGREEMENT FILED APRIL 11, 2022 AS DOCUMENT NO. 2022035809, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. NOT SURVEY RELATED
{A} EXISTING 10' P.U.E., {B} EXISTING 30' PUBLIC PEDESTRIAN ACCESS EASEMENT, {C} EXISTING 50' PUBLIC ROADWAY EASEMENT, {D} EXISTING 40' PNM TRANSMISSION LINE EASEMENT, {E} EXISTING 10' PNM EASEMENT, {F} EXISTING 30' PERMANENT PRIVATE ACCESS EASEMENT, SEE REPAIR AND MAINTENANCE AGREEMENT (2/21/2020, DOC. NO. 2020016464), {G} EXISTING 20' PRIVATE UTILITY EASEMENT, {H} EXISTING 50' PNM TRANSMISSION LINE EASEMENT, EASEMENTS AND NOTES AS SHOWN, NOTED AND PROVIDED FOR ON THE PLAT OF TRACTS D-1 THRU D-7, MESA DEL SOL INNOVATION PARK II, RECORDED IN PLAT BOOK 2017C, PAGE 159 AS DOC. NO. 2017124120; REMAINING MONUMENTATION AFFIDAVIT RECORDED JANUARY 5, 2018 AS DOC. NO. 2018001453, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, AS SHOWN ON SURVEY PREPARED BY CSI-CARTESIAN SURVEYS, INC., DATED JANUARY 10, 2023, UNDER JOB NO. 222114, LAST REVISED APRIL 10, 2023 ("SURVEY").
{A} AFFECTS SUBJECT PROPERTY-SHOWN HEREON AS 1
{B} AFFECTS SUBJECT PROPERTY-SHOWN HEREON AS 2
{C} AFFECTS SUBJECT PROPERTY-SHOWN HEREON AS 3
{D} AFFECTS SUBJECT PROPERTY-SHOWN HEREON AS 4
{E} AFFECTS SUBJECT PROPERTY-SHOWN HEREON AS 5
{F} AFFECTS SUBJECT PROPERTY-SHOWN HEREON AS 6
{G} AFFECTS SUBJECT PROPERTY-SHOWN HEREON AS 7
{H} AFFECTS SUBJECT PROPERTY-SHOWN HEREON AS 8
INTENTIONALLY OMITTED
REPAIR AND MAINTENANCE AGREEMENT BY AND BETWEEN GOLD MESA INVESTMENTS, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY, AND MB INVESTMENTS GROUP, LLC, A MISSOURI LIMITED LIABILITY COMPANY, RECORDED FEBRUARY 21, 2020 AS DOCUMENT NO. 2020016464, RECORDS OF BERNALILLO COUNTY, NEW MEXICO AS SHOWN ON SURVEY PREPARED BY CSI-CARTESIAN SURVEYS, INC., DATED JANUARY 10, 2023, UNDER JOB NO. 222114, LAST REVISED APRIL 10, 2023 ("SURVEY"). AFFECTS SUBJECT PROPERTY-PERTAINS TO EASEMENT 6

Boundary Survey, ALTA/NSPS Land Title Survey and Topographic Map for Tract D-6 Mesa Del Sol Innovation Park II City of Albuquerque Bernalillo County, New Mexico April 2023

Surveyor's Certificate for ALTA/NSPS Survey

TO: R04, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY, AKINITA LLC, A NEW MEXICO LIMITED LIABILITY COMPANY, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-4 AND 7(A) OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 10, 2023.

BRIAN J. MARTINEZ DATE
N.M.R.P.S. NO. 18374
REVISIONS: 2/2/2023 - ORIGINAL
4/10/2023 - REVISED TO ADD NOTES 6-14 AND REFLECT THE UPDATED TITLE COMMITMENT



Surveyor's Certificate for Boundary Survey

I, BRIAN J. MARTINEZ, NEW MEXICO PROFESSIONAL SURVEYOR NO. 18374, DO HEREBY CERTIFY THAT THIS BOUNDARY SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT AND THAT THIS INSTRUMENT IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

BRIAN J. MARTINEZ DATE
N.M.R.P.S. NO. 18374



Surveyor's Certificate for Topographic Map

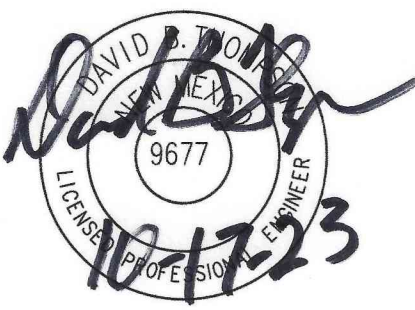
I, BRIAN J. MARTINEZ, A NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE TOPOGRAPHIC MAP SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BRIAN J. MARTINEZ DATE
N.M.R.P.S. NO. 18374

CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896 - 3050 Fax (505) 891 - 0244
cartesianbrian@gmail.com



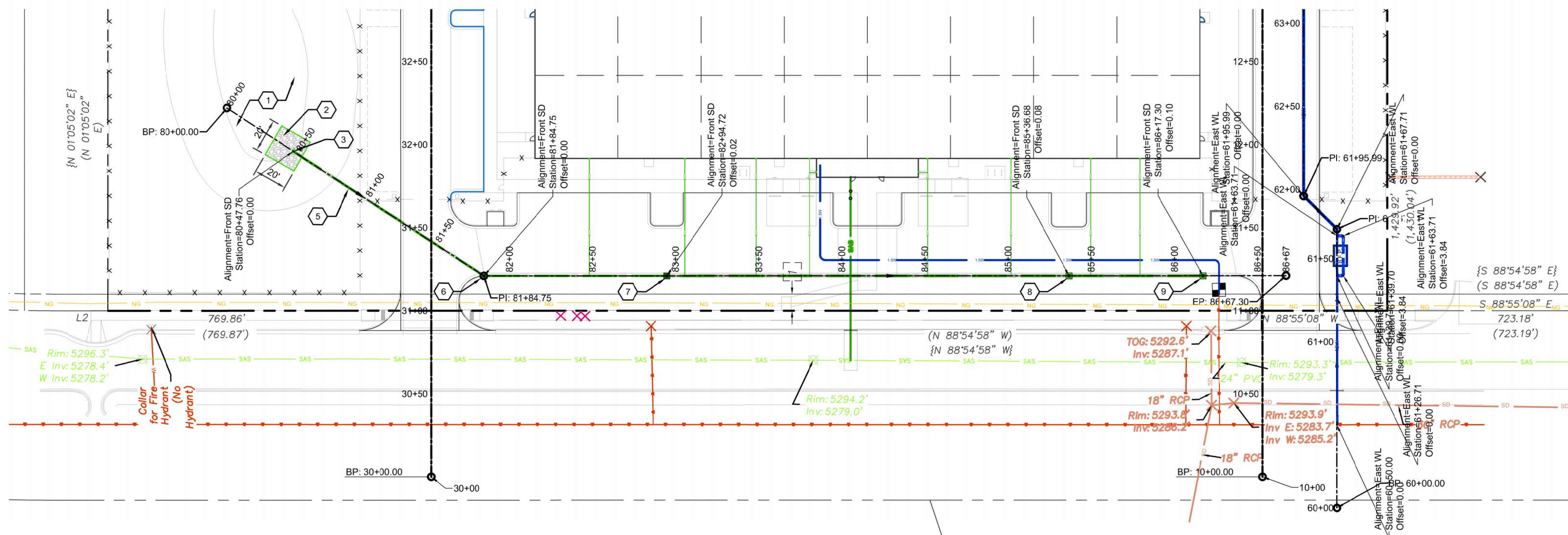


GENERAL NOTES

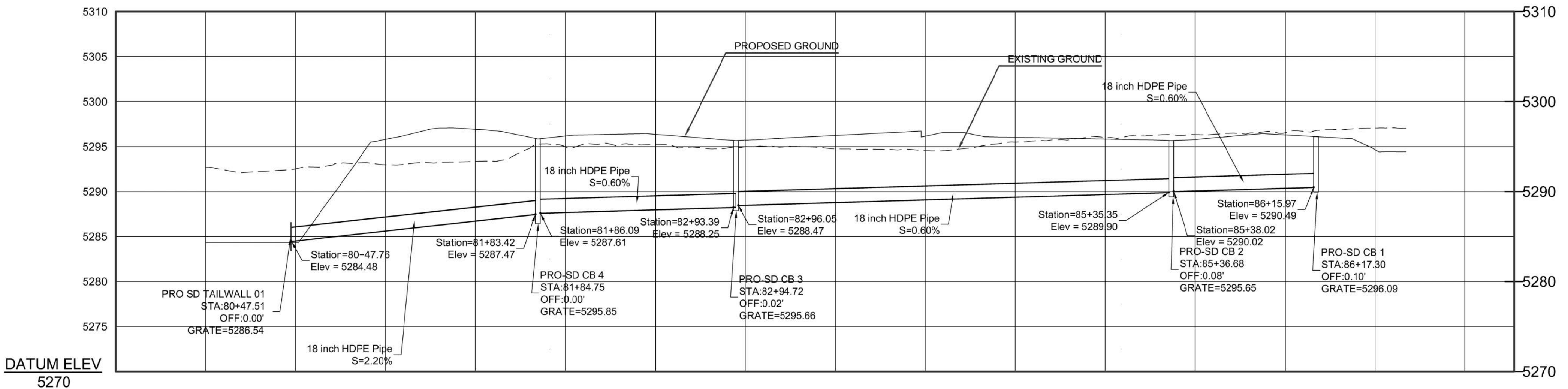
- A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
- B. FIELD VERIFY ALL DIMENSIONS.
- C. DO NOT SCALE DRAWINGS, IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.
- D. SEE SHEETS C-303 AND C-304 FOR STORM DRAIN LINE PLAN AND PROFILES.
- E. SEE SHEETS C-305 THRU C-307 FOR WATERLINE PLAN AND PROFILES.

KEYED NOTES

- 1. STORMWATER RETENTION POND, SEE SHEET C202.
- 2. 20'X20' RIP RAP EROSION PROTECTION PER DETAIL D3/C-501.
- 3. STA: 80+47.26, OFF: 0.00' RT, 18" HDPE FLARED END SECTION.
- 4. 18" HDPE STORM DRAIN PIPE
- 5. STA: 81+84.75, OFF: 0.00' RT, TYPE "C" CATCH BASIN PER COA STD DWG 2205.
- 6. STA: 82+94.72, OFF: 0.00' RT, TYPE "C" CATCH BASIN PER COA STD DWG 2205.
- 7. STA: 85+36.68, OFF: 0.04' RT, TYPE "C" CATCH BASIN PER COA STD DWG 2205.
- 8. STA: 86+17.30, OFF: 0.04' RT, TYPE "C" CATCH BASIN PER COA STD DWG 2205



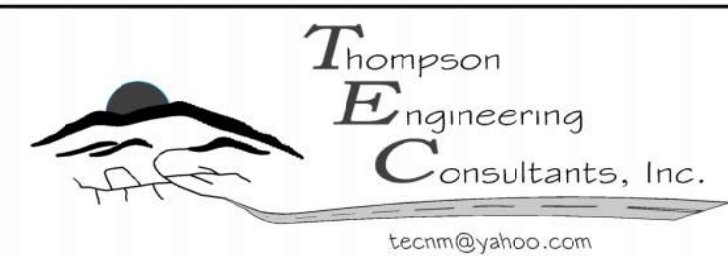
C1 STORM DRAIN PLAN
SCALE: 1" = 40'-0"



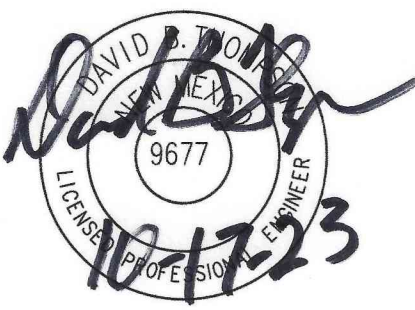
DATUM ELEV 5270

5282.7	5284.33	5292.2	5292.5	5293.0	5293.81	5293.2	5293.94	5296.92	5294.4	5296.25	5295.0	5296.17	5296.36	5295.2	5296.36	5294.9	5295.97	5295.0	5295.71	5296.0	5296.97	5294.7	5296.23	5294.7	5296.49	5294.5	5296.16	5294.8	5296.42	5295.5	5296.02	5296.93	5296.84	5296.2	5296.74	5296.3	5295.79	5296.4	5296.23	5296.5	5296.30	5296.9	5296.01	5297.1	5294.66
79+50	80+00	80+50	81+00	81+50	82+00	82+50	83+00	83+50	84+00	84+50	85+00	85+50	86+00	86+50	87+00	87+27.30																													

A1 STORM DRAIN PROFILE
SCALE: 1" = 40'-0" HORIZ,
1" = 8' VERT.
VERTICAL EXAGGERATION 5X



P.O. BOX 65760 ALBUQUERQUE, NM 87193
PHONE: (505) 271-2199 FAX: (505) 630-9248

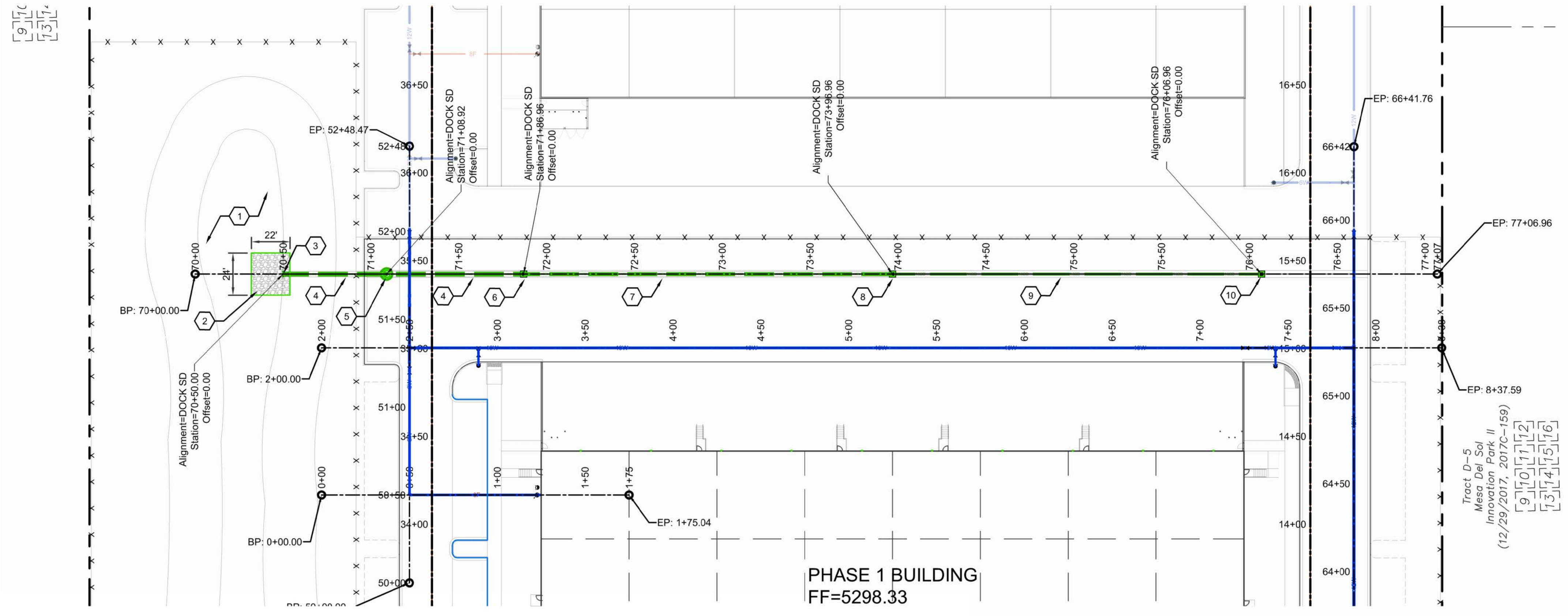


GENERAL NOTES

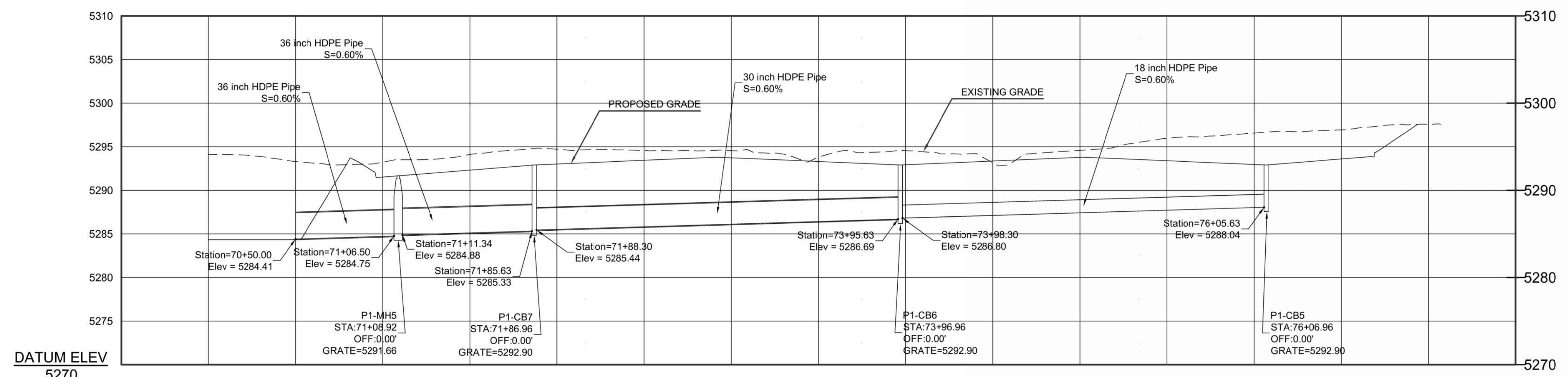
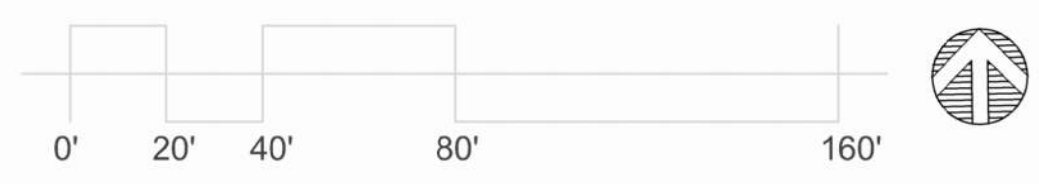
- A. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
- B. FIELD VERIFY ALL DIMENSIONS.
- C. DO NOT SCALE DRAWINGS, IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.
- D. SEE SHEETS C-303 AND C-304 FOR STORM DRAIN LINE PLAN AND PROFILES.
- E. SEE SHEETS C-305 THRU C-307 FOR WATERLINE PLAN AND PROFILES.

KEYED NOTES

1. STORMWATER RETENTION POND, SEE SHEET C202.
2. 24'X22' RIP RAP EROSION PROTECTION PER DETAIL D3/C501.
3. STA: 70+50.00, OFF: 0.00' RT, 36" HDPE FLARED END SECTION.
4. 36" HDPE STORM DRAIN PIPE
5. STA 71+08.92, OFF: 0.00' RT, 6" DIA STORM DRAIN MAINHOLE TYPE "E" PER COA STD DWG 2208.
6. STA: 71.85.96, OFF: 0.00' RT, TYPE "D" CATCH BASIN PER COA STD DWG 2206.
7. 30" HDPE STORM DRAIN PIPE
8. STA: 73+96.96, OFF: 0.00' RT, TYPE "D" CATCH BASIN PER COA STD DWG 2206.
9. 18" HDPE STORM DRAIN PIPE
10. STA: 76+06.96, OFF: 0.00' RT, TYPE "D" CATCH BASIN PER COA STD DWG 2206.



C1 STORM DRAIN PLAN
SCALE: 1" = 40'-0"



A1 STORM DRAIN PROFILE
SCALE: 1" = 40'-0" HORIZ,
1" = 8' VERT.
VERTICAL EXAGGERATION 5X

5294.1	5294.33	5294.0	5294.33	5293.3	5294.33	5292.9	5291.66	5293.2	5291.52	5293.5	5291.91	5294.1	5292.31	5294.6	5292.71	5294.7	5293.01	5294.7	5293.23	5294.6	5293.44	5294.6	5293.05	5294.3	5293.32	5293.8	5293.30	5294.3	5293.09	5294.6	5292.93	5294.2	5293.14	5293.2	5293.35	5294.3	5293.67	5294.6	5293.78	5294.2	5293.60	5296.0	5293.39	5296.2	5293.17	5296.6	5292.96	5296.7	5293.19	5296.9	5293.59	5297.4	5295.04	5297.6
--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------	---------	--------

tecnc@yahoo.com
P.O. BOX 65760 ALBUQUERQUE, NM 87193
PHONE: (505) 271-2199
FAX: (505) 630-9248



**ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION**

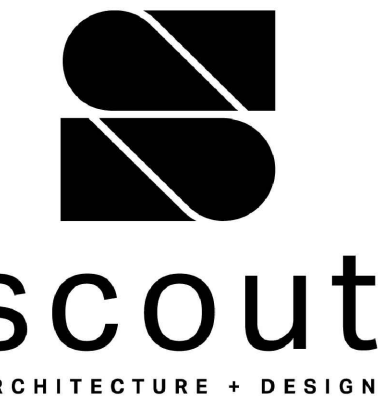
PERMIT

PERMIT NUMBER: FP-23-015090
APPROVED DATE: 08/11/23

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

FIRE FLOW: 11B, 3375GPM, 4 HYDRANTS



ARCHITECT/ENGINEER

GENERAL NOTES

- A. ALL FIRE LANES ARE A MINIMUM OF 26' WIDE.
- B. ALL FIRE LANES DESIGNED TO SUPPORT THE 75,000LB FIRE APPARATUS.
- C. ALL FIRE LANES WILL BE DESIGNED TO BE LESS THAN 10% LONGITUDINAL SLOPE.
- D. SECURITY GATES (BOTH PERSONNEL AND VEHICULAR) CAN BE CONTROLLED BY KEYS OR ACCESS CODES LOCATED WITHIN KNOX BOXES.
- E. PREMISE IDENTIFICATION WILL BE ADDED PER CITY OF ALBUQUERQUE FIRE DEPARTMENT REQUIREMENTS.
- F. ACCESS AND LOADING ZONES WILL BE IDENTIFIED IN THE FIELD PER DIRECTION FROM THE CITY OF ALBUQUERQUE FIRE DEPARTMENT.
- G. VEHICLES OR OBSTRUCTIONS SHALL NOT BE LOCATED WITHIN 15' OF A FIRE HYDRANT OR 5' OF THE FDC.
- H. THERE WILL BE A TOTAL OF 3 FIRE HYDRANTS (MINIMUM) SURROUNDING EACH BUILDING ON THE SITE. PER APPENDIX C. OF IFC FOR FIRE FLOWS LESS THAN 3,375 GPM THE SPACING BETWEEN FIRE HYDRANTS CAN BE 600' AVERAGE. ACTUAL AVERAGE SPACING FOR THIS SITE IS 475'.
- I. BUILDING HEIGHT TO TOP OF PARAPET 36'.

BUILDING INFORMATION

S-1 AND F-1 MIXED OCCUPANCY BUILDING, FULLY SPRINKLED, TYPE II-B CONSTRUCTION AND UNLIMITED AREA PER PROVISION OF IBC SECTION 507.4.

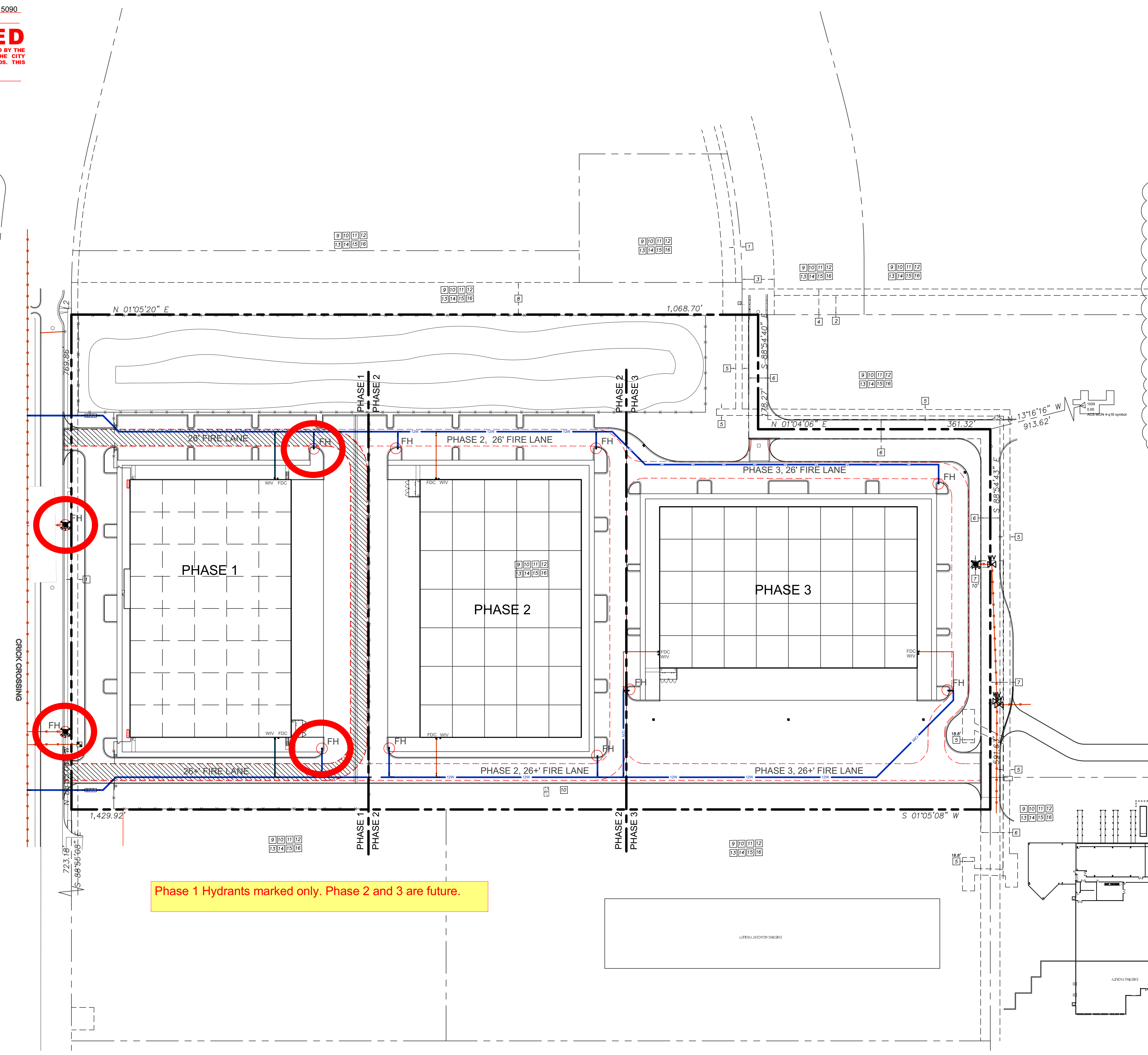
WAREHOUSE S-1
MANUFACTURING F-1

INTERNATIONAL FIRE CODE 2015, APPENDIX B (TYPICAL BLDG)
FIRE FLOW PER IFC TABLE B105.1(2) IS 6,750 GPM (NON SPRINKLED BUILDING)
PER IFC TABLE B105(1) FIRE FLOW CAN BE REDUCED TO 50% IF BUILDING PROTECTED BY AUTOMATIC SPRINKLER SYSTEM IN COMPLIANCE WITH 913.3.1.3 OF THE IFC.

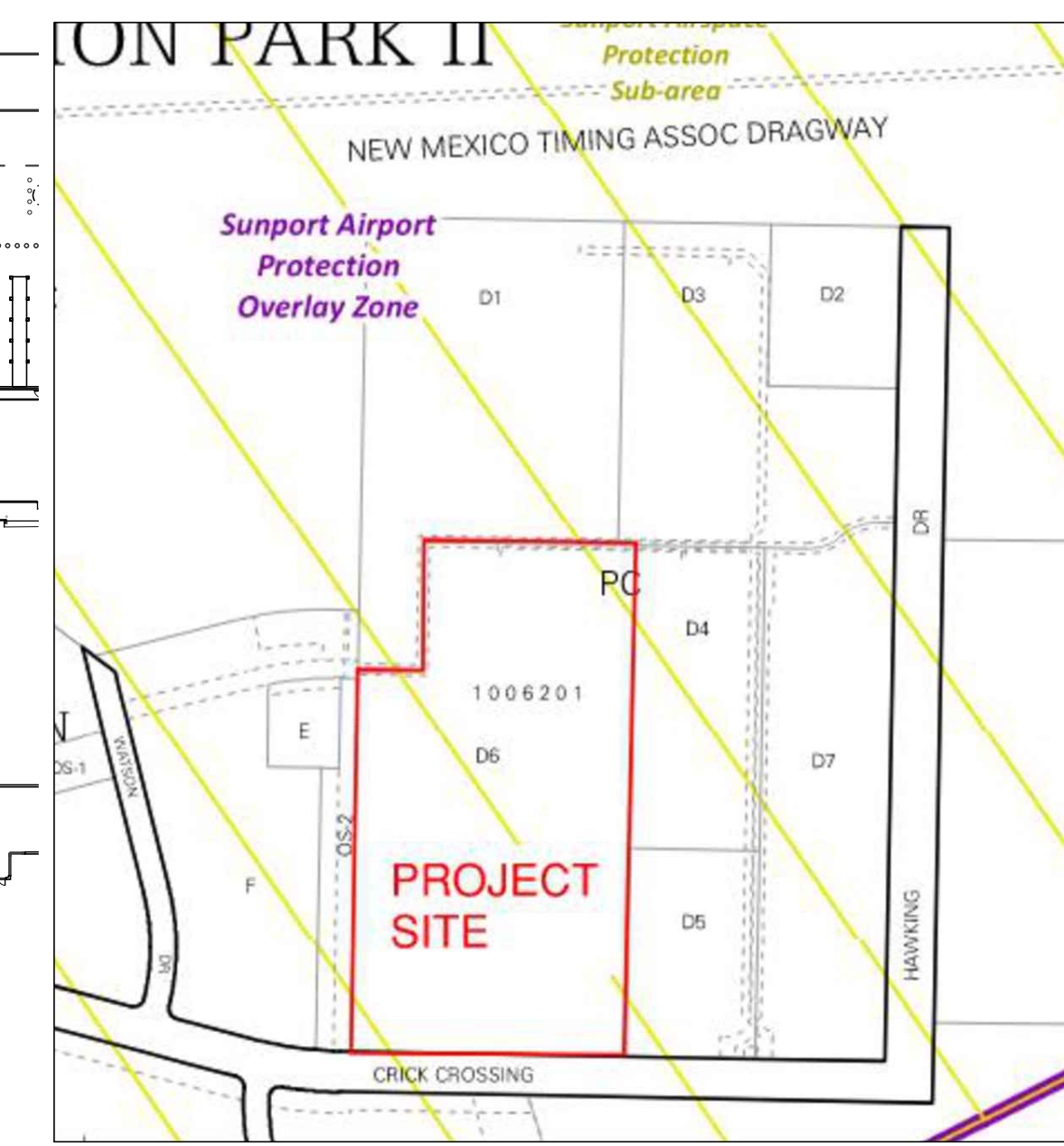
THEREFORE REQUIRED FIRE FLOW IS 3,375 GPM.

INTERNATIONAL FIRE CODE 2015, APPENDIX C
SPACING AND NUMBER OF HYDRANTS FOR PROPOSAL BUILDING PER TABLE C102.1
MINIMUM NUMBER OF HYDRANTS = 3
AVERAGE SPACING BETWEEN HYDRANTS = 600' PER FOOTNOTE F, ALLOWING A 50% INCREASE IN SPACING FOR SPRINKLED BUILDINGS
MAXIMUM DISTANCE FROM ANY POINT ON FIRE LANE TO HYDRANT = 337.5' PER FOOTNOTE F, ALLOWING A 50% INCREASE IN SPACING FOR SPRINKLED BUILDINGS

PERIMETER ROAD CONTAINS 4 HYDRANTS OVER A TRAVEL LENGTH OF 1950'.
AVERAGE SPACING IS 487.5'



Phase 1 Hydrants marked only. Phase 2 and 3 are future.

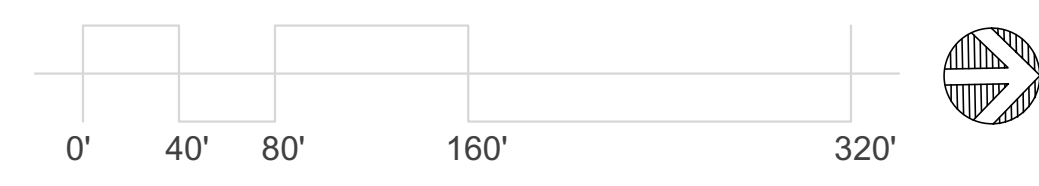


ROSES SOUTHWEST PAPERS
CRICK CROSSING
ALBUQUERQUE, NEW MEXICO

SCHEMATIC DESIGN

REVISION	DATE
DATE	8/4/23
PROJECT NO	
FIRE 1 MASTERPLAN - ALL PHASES	
SHEET NO.	

A1 FIRE 1 MASTERPLAN - ALL PHASES
SCALE: 1" = 80'-0"



A5 ZONE ATLAS PAGE R-16
NOT TO SCALE



FIRE 1.0

6/1/2023 10:07:53 PM

ALBUQUERQUE FIRE MARSHAL'S DIVISION OFFICE PLANS CHECKING DIVISION

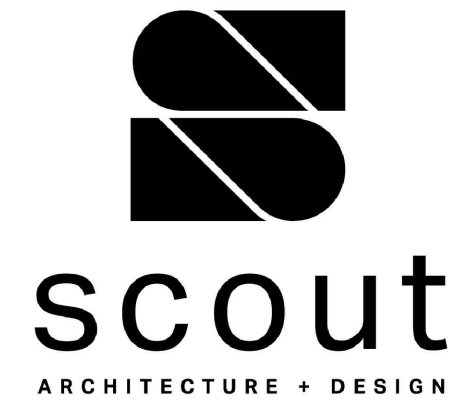
PERMIT

PERMIT NUMBER: FP-23-015090
 APPROVED DATE: 08/11/23

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

FIRE FLOW: IIB, 3375 GPM, 4 HYDRANTS



ARCHITECT/ENGINEER

ROSES SOUTHWEST PAPERS
 CRICK CROSSING
 ALBUQUERQUE, NEW MEXICO

GENERAL NOTES

- A. ALL FIRE LANES ARE A MINIMUM OF 26' WIDE.
- B. ALL FIRE LANES DESIGNED TO SUPPORT THE 75,000LB FIRE APPARATUS.
- C. ALL FIRE LANES WILL BE DESIGNED TO BE LESS THAN 10% LONGITUDINAL SLOPE.
- D. SECURITY GATES (BOTH PERSONNEL AND VEHICULAR) CAN BE CONTROLLED BY KEYS OR ACCESS CODES LOCATED WITHIN KNOX BOXES.
- E. PREMISE IDENTIFICATION WILL BE ADDED PER CITY OF ALBUQUERQUE FIRE DEPARTMENT REQUIREMENTS.
- F. ACCESS AND LOADING ZONES WILL BE IDENTIFIED IN THE FIELD PER DIRECTION FROM THE CITY OF ALBUQUERQUE FIRE DEPARTMENT.
- G. VEHICLES OR OBSTRUCTIONS SHALL NOT BE LOCATED WITHIN 15' OF A FIRE HYDRANT OR 5' OF THE FDC.
- H. THERE WILL BE A TOTAL OF 3 FIRE HYDRANTS (MINIMUM) SURROUNDING EACH BUILDING ON THE SITE. PER APPENDIX C OF IFC FOR FIRE FLOWS LESS THAN 3,375 GPM THE SPACING BETWEEN FIRE HYDRANTS CAN BE 600' AVERAGE. ACTUAL AVERAGE SPACING FOR THIS SITE IS 475'.
- I. BUILDING HEIGHT TO TOP OF PARAPET 36'.

BUILDING INFORMATION

S-1 AND F-1 MIXED OCCUPANCY BUILDING. FULLY SPRINKLED, TYPE II-B CONSTRUCTION AND UNLIMITED AREA PER PROVISION OF IBC SECTION 507.4.

WAREHOUSE S-1
 MANUFACTURING F-1

INTERNATIONAL FIRE CODE 2015, APPENDIX B (TYPICAL BLDG)
 FIRE FLOW PER IFC TABLE B105.1(2) IS 6,750 GPM (NON SPRINKLED BUILDING)
 PER IFC TABLE B105(1) FIRE FLOW CAN BE REDUCED TO 50% IF BUILDING PROTECTED BY AUTOMATIC SPRINKLER SYSTEM IN COMPLIANCE WITH 913.3.1.3 OF THE IFC.

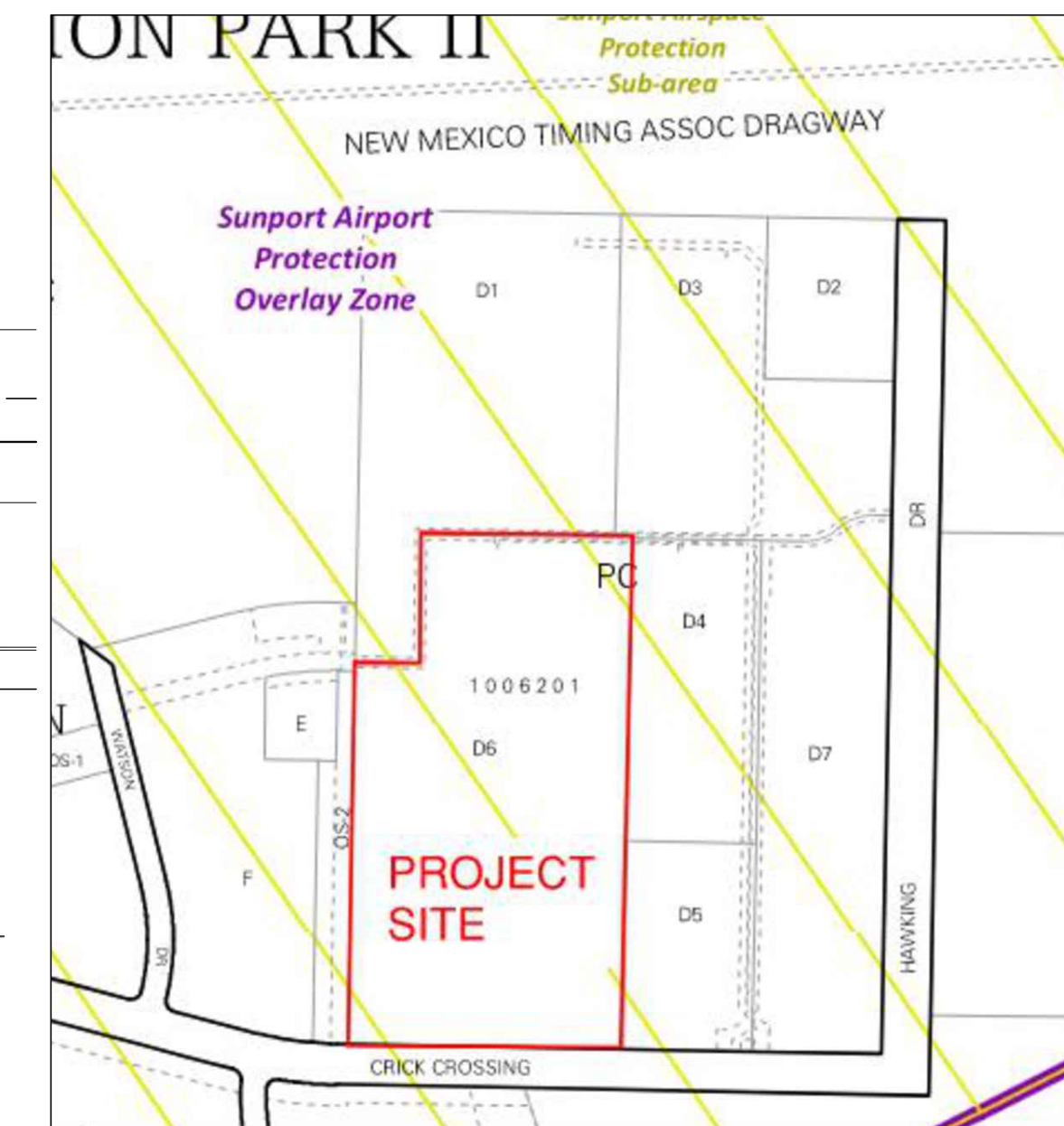
THEREFORE REQUIRED FIRE FLOW IS 3,375 GPM.

INTERNATIONAL FIRE CODE 2015, APPENDIX C
 SPACING AND NUMBER OF HYDRANTS FOR PROPOSAL BUILDING PER TABLE C102.1
 MINIMUM NUMBER OF HYDRANTS = 3
 AVERAGE SPACING BETWEEN HYDRANTS = 600'. PER FOOTNOTE F, ALLOWING A 50% INCREASE IN SPACING FOR SPRINKLED BUILDINGS
 MAXIMUM DISTANCE FROM ANY POINT ON FIRE LANE TO HYDRANT = 337.5' PER FOOTNOTE F, ALLOWING A 50% INCREASE IN SPACING FOR SPRINKLED BUILDINGS

PERIMETER ROAD CONTAINS 4 HYDRANTS OVER A TRAVEL LENGTH OF 1950'.
 AVERAGE SPACING IS 487.5'

KEYED NOTES

1. EXISTING 18" PUBLIC WATERLINE.
2. NEW 12" PRIVATE FIRE LINE.
3. NEW FIRE HYDRANT.
4. NEW WALL MOUNTED FIRE DEPARTMENT CONNECTION.
5. NEW WALL INDICATOR VALVE.
6. NEW 26" WIDE FIRE LANE.
7. EXISTING FIRE HYDRANT.
8. KNOX BOX.
9. RED CURB WITH WHITE LETTERS "FIRE LANE NO PARKING"
10. PERSONNEL GATE OPERABLE WITH KEY FROM KNOX BOX.
11. VEHICULAR GATE, OPERABLE WITH KEY FROM KNOX BOX.



A5 ZONE ATLAS PAGE Q-16
 NOT TO SCALE

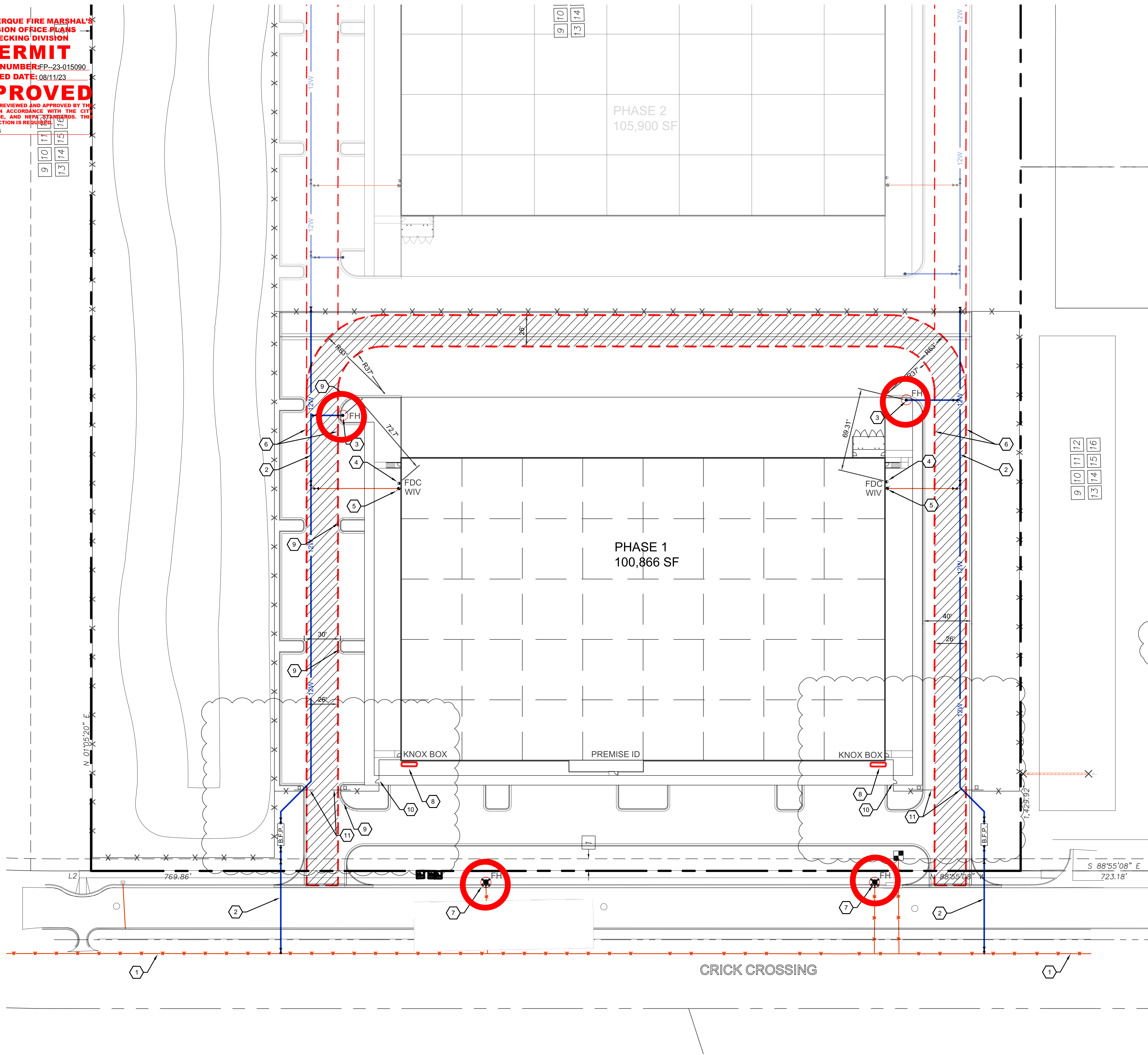
SCHEMATIC DESIGN

REVISION	DATE

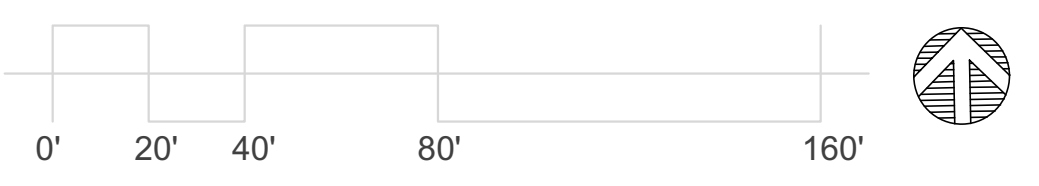
DATE: 8/4/23
 PROJECT NO:

FIRE 1 PLAN - PHASE 1

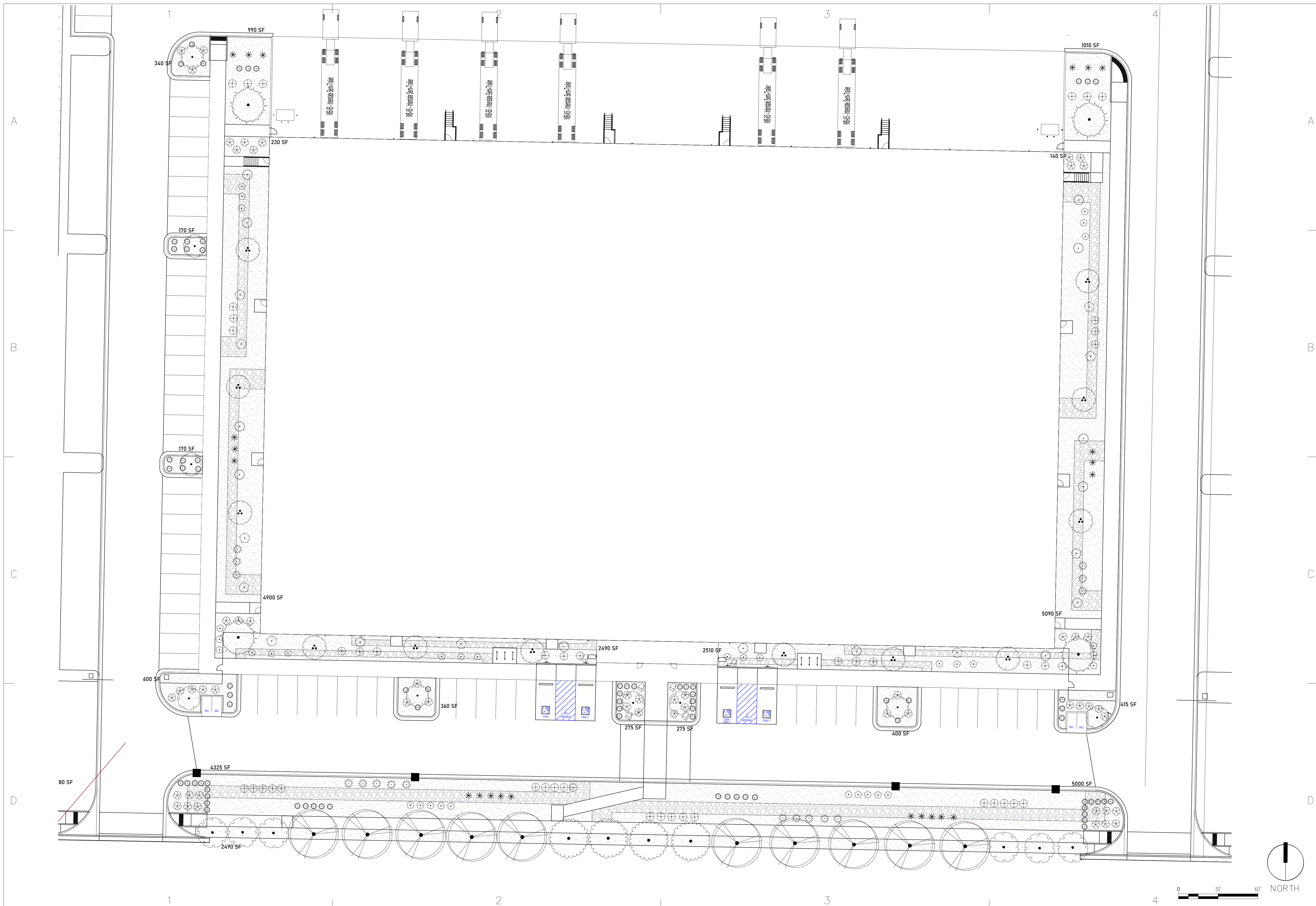
SHEET NO.
FIRE 1.1



A1 FIRE 1 PLAN - PHASE 1
 SCALE: 1" = 40'-0"



6/1/2023 10:07:53 PM

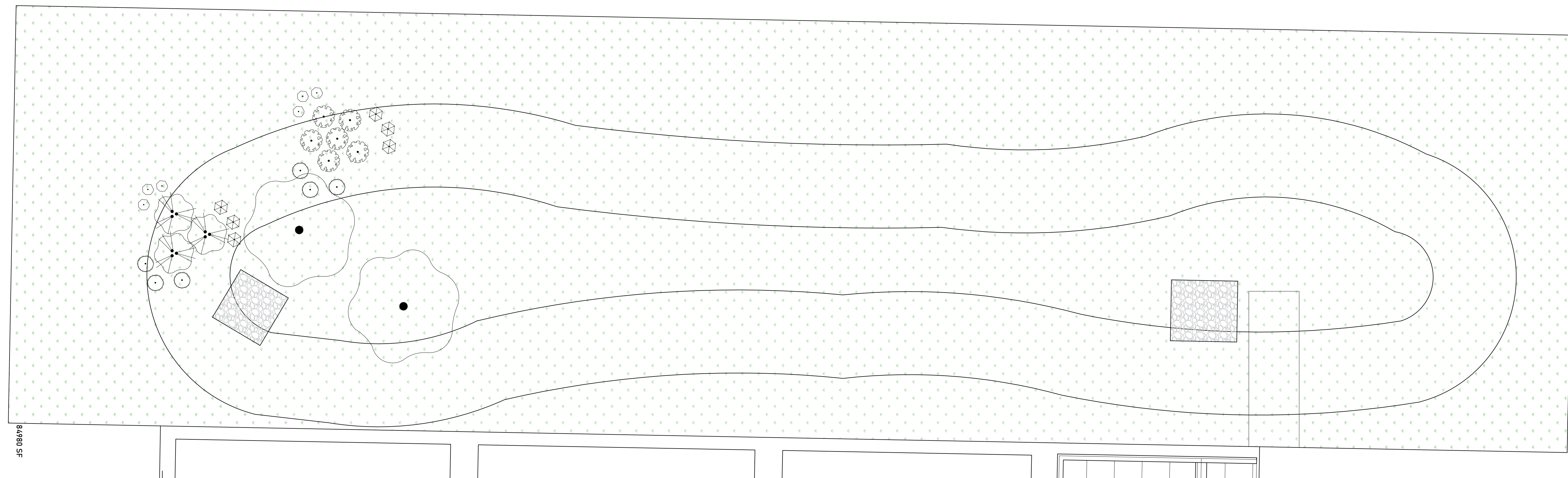


**MDS ROSE WAREHOUSE
PHASE 1**
NW OF CIRCK AVE SE AND HAWKING DR SE
ALBUQUERQUE, NM 87105

ISSUE DATE: 05/01/2024
FILE:
DRAWN BY: JFL
CHECKED BY: AGB

REVISION	DATE	DESCRIPTION

SHEET TITLE
Landscape Plan
SHEET NUMBER
LP-001



PLANT SCHEDULE OVERALL

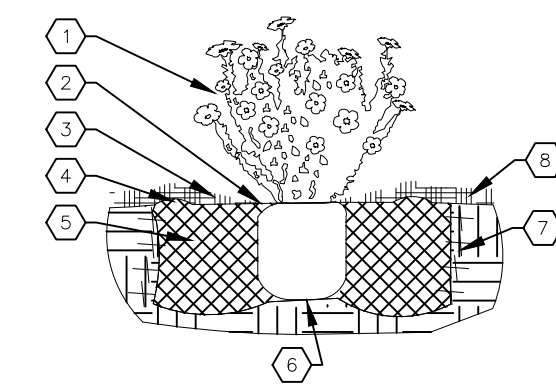
SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	CAL
TREES				
	12	Acer tataricum 'Hot Wings' / Hot Wings Tatarian Maple	2.5" cal	2.5"
	3	Chilopsis linearis / Desert Willow	2.5" cal	
	10	Fraxinus americana 'Autumn Purple' / Autumn Purple Ash	2.5" cal	2.5"
	6	Gleditsia triacanthos / Honey Locust	2.5" cal	
	9	Malus x 'Radiant' / Radiant Crab Apple	15 gal	
	4	Pinus nigra / Austrian Pine	2" cal	6'
	2	Populus fremontii / Fremont Cottonwood	2.5" cal	
	4	Quercus fusiformis / Texas Live Oak	2.5" cal	
SHRUBS				
	6	Atriplex canescens / Fourwing Saltbush	5 gal	
	6	Caesalpinia gilliesii / Yellow Bird of Paradise	5 gal	Low
	44	Caryopteris x clandonensis / Blue Mist Spirea	5 gal	Low
	6	Chrysothamnus nauseosa / Chamisa	5 gal	RW
	16	Dasylirion texanum / Texas Sotol	5 gal	RW
	6	Fallugia paradoxa / Apache Plume	5 gal	RW
	22	Hesperaloe parviflora / Red Yucca	5 gal	Low+
	12	Hibiscus syriacus / Rose Of Sharon	5 gal	Medium
	12	Lagerstroemia indica 'Dynamite' / Dynamite Crape Myrtle	5 gal	Medium
	34	Rhaphiolepis indica / Indian Hawthorn	5 gal	Medium
	54	Rosa x 'Double Knockout' / Rose	5 gal	
GRASSES				
	75	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	Medium

Other Materials

SYMB.	QTY	TYPE
	6 EA	Large Boulders (3' x 2' x 2') To be placed at contractor's discretion
	24950 SF	Landscape Gravel A with Filter Fabric 1-2" Amaretto Brown Gravel
	7400 SF	Oversize Landscape Gravel with Filter Fabric (Except Ponding Area) 2-4" Blue Sais Cobble
	84204 SF	Hydro Seed Pop-Up Irrigation

LANDSCAPE CALCULATIONS

ZONING: CABQ	PD: PLANNED DEVELOPMENT		
APPLICABLE REGULATION(S)	IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994		
TOTAL LOT AREA (ACRES)	6.33	GROUND COVER (% - REQ)	25.00
TOTAL LOT AREA (SF)	275734.800	GROUND COVER (SF - REQ)	9591
BUILDING AREA (SF)	99967	GROUND COVER (SF - PROV.)	9921
NET LOT AREA (SF)	175,768		
		PARKING LOT AREA (SF)	13766
REQUIRED LANDSCAPE (%)	15	REQ. PARKING LANDSCAPE (SF)	1377
REQUIRED LANDSCAPE (SF)	26365	PROV. PARKING LANDSCAPE (SF)	30664
LANDSCAPE PROVIDED (SF)	51150	REQ. PARKING TREES (1/10 SPOTS)	7
		PROV. PARKING TREES	9
VEGETATIVE COVER (% - REQ)	75.0		
VEGETATIVE COVER (SF - REQ)	38363	COOL SEASON GRASS (SF)	0
VEGETATIVE COVER (SF - PROV.)	121621	COOL SEASON GRASS (% OF LANDSCAPE)	0.0
REQ. TREES - 1ST AND 2ND STORY UNITS	21		
PROVIDED UNIT TREES	71		

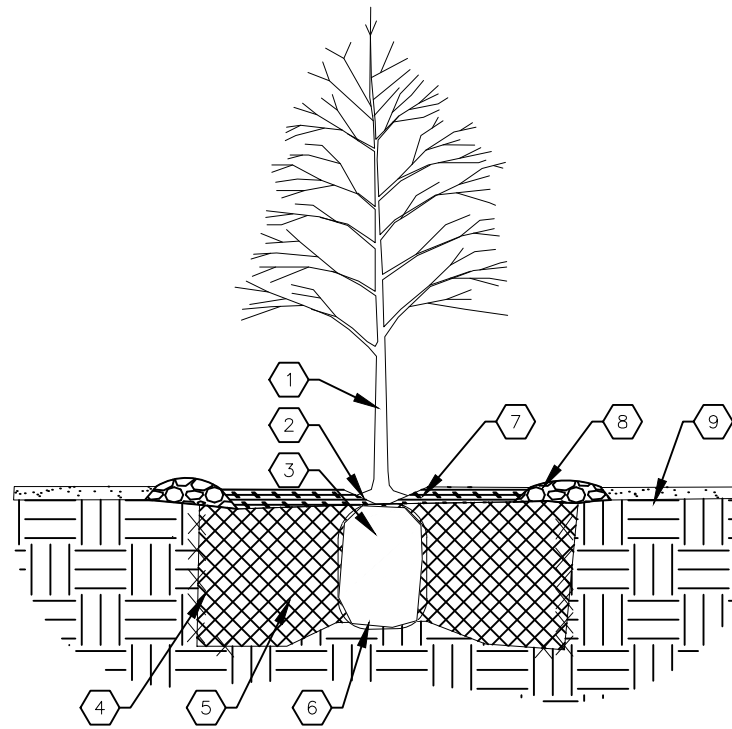


SHRUB PLANTING KEYED NOTES

- SHRUB LOCATION, SPECIES, AND CONDITION AS PER PLAN.
- INSTALL WITH TOP OF ROOT BALL FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
- USE WOOD CHIP MULCH OVER ROOTBALL, FEATHERED TO A 2" DEPTH AND HELD BACK 2" FROM TRUNKS AND STEMS.
- 2" HIGH X 6" WIDE BERM.
- BACKFILL PER SPECIFICATIONS, LIGHTLY TAMP-IN LIFTS AND WATER-IN TO ELIMINATE VIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL.
- SCAFFY AND LOOSEN EDGES OF PLANTING PIT.
- MULCH - SEE PLANTING PLAN, 3" DEPTH UNLESS OTHERWISE NOTED.

01 SHRUB PLANTING

NTS SHRUB PLANTING DETAIL



TREE PLANTING KEYED NOTES

- TREE LOCATION, SPECIES, AND CONDITION AS PER PLAN.
- REMOVING EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE, INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
- INSTALL TREE PLUMB, REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TWINE, AND/OR ROPE PRIOR TO BACKFILL, REMOVE BURIAL EXCEPT FROM BOTTOM OF ROOT BALL.
- SCAFFY AND LOOSEN EDGES OF PLANTING PIT.
- BACKFILL PER SPECIFICATIONS, LIGHTLY TAMP-IN LIFTS AND WATER-IN TO ELIMINATE VIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
- INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL, AND BELOW DRIP LINE. GENERALLY, MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
- 4" HIGH X 6" WIDE COBBLE BERM AT DRIP LINE.
- MULCH - SEE PLANTING PLAN.

02 TREE PLANTING

NTS TREE PLANTING DETAIL

LANDSCAPE CALCULATIONS

ZONING: MESA DEL SOL	PD: PLANNED DEVELOPMENT	
APPLICABLE REGULATION(S)	-	
TYPE 1: ENTRANCE / COMMON AREAS	TYPE 2: STREET FRONTAGE	
TOTAL ENTRANCE / COMMON AREAS AREA (SF)	TOTAL STREET FRONTAGE (SF)	27000
REQUIRED VEGETATIVE COVERAGE (%)	REQUIRED VEGETATIVE COVERAGE (%)	85
VEGETATIVE COVERAGE (SF - REQ.)	VEGETATIVE COVERAGE (SF - REQ.)	22950.0000
VEGETATIVE COVERAGE (SF - PROV.)	VEGETATIVE COVERAGE (SF - PROV.)	43652
TYPE 3: SURFACE PARKING LOT	TYPE 4: PERIMETER AND LOADING AREAS	
TOTAL SURFACE PARKING LOT AREA (SF)	TOTAL STREET FRONTAGE (SF)	84983
REQUIRED VEGETATIVE COVERAGE (%)	REQUIRED VEGETATIVE COVERAGE (%)	60
VEGETATIVE COVERAGE (SF - REQ.)	VEGETATIVE COVERAGE (SF - REQ.)	50989.8000
VEGETATIVE COVER (SF - PROV.)	VEGETATIVE COVERAGE (SF - PROV.)	57320



**MDS ROSE WAREHOUSE
PHASE 1**
NW OF CIRCK AVE SE AND HAWKING DR SE
ALBUQUERQUE, NM 87105

ISSUE DATE: 04/18/2024
FILE:
DRAWN BY: JFL
CHECKED BY: AGR

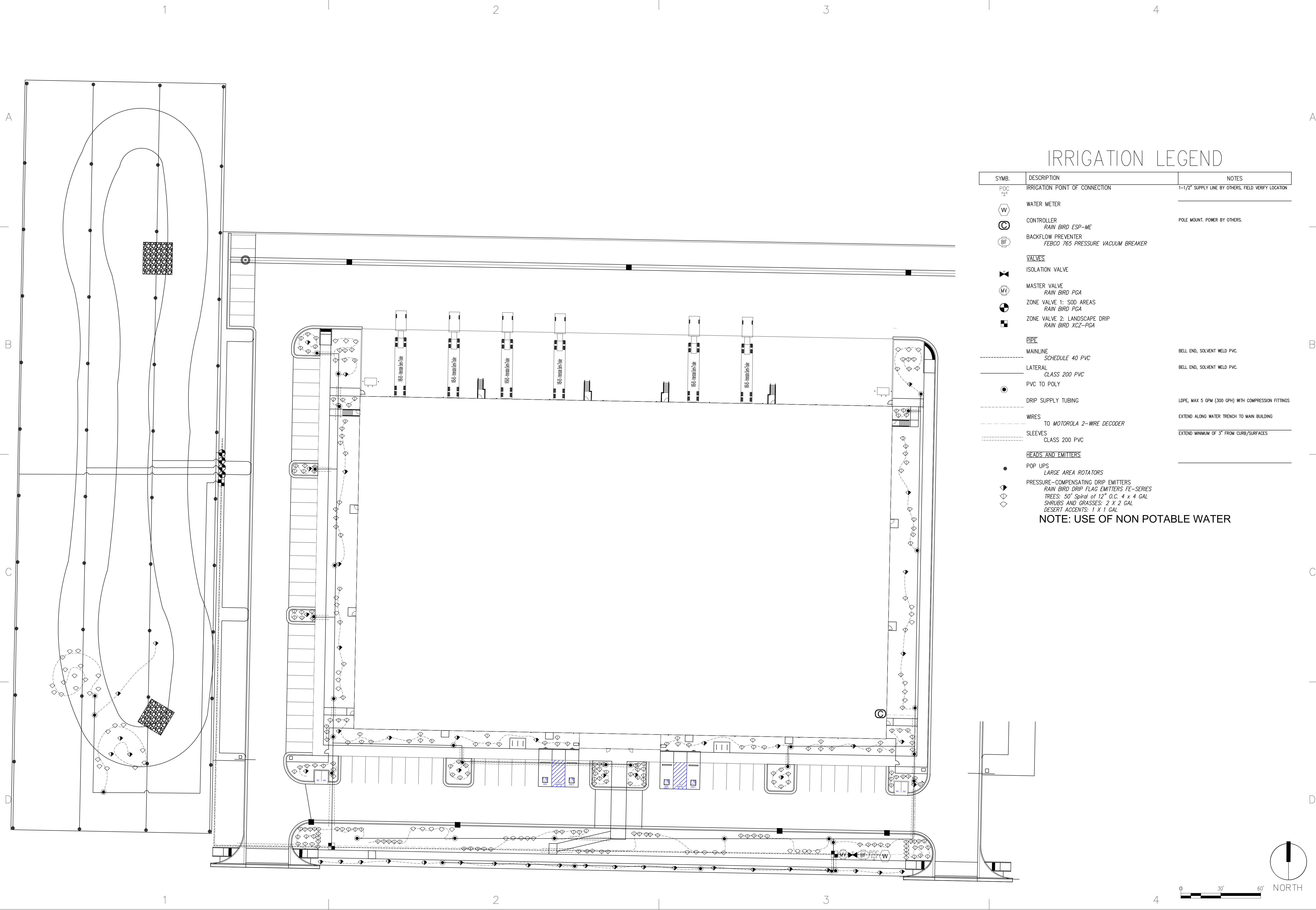
REVISION	DATE	DESCRIPTION

SHEET TITLE
Landscape Plan
SHEET NUMBER
LI-001

IRRIGATION LEGEND

SYMB.	DESCRIPTION	NOTES
POC	IRRIGATION POINT OF CONNECTION	1-1/2" SUPPLY LINE BY OTHERS, FIELD VERIFY LOCATION
W	WATER METER	
C	CONTROLLER <i>RAIN BIRD ESP-ME</i>	POLE MOUNT, POWER BY OTHERS.
BF	BACKFLOW PREVENTER <i>FEBCO 765 PRESSURE VACUUM BREAKER</i>	
VALVES		
X	ISOLATION VALVE	
MV	MASTER VALVE <i>RAIN BIRD PGA</i>	
ZV1	ZONE VALVE 1: SOD AREAS <i>RAIN BIRD PGA</i>	
ZV2	ZONE VALVE 2: LANDSCAPE DRIP <i>RAIN BIRD XCZ-PGA</i>	
PIPE		
---	MAINLINE <i>SCHEDULE 40 PVC</i>	BELL END, SOLVENT WELD PVC.
---	LATERAL <i>CLASS 200 PVC</i>	BELL END, SOLVENT WELD PVC.
●	PVC TO POLY	
---	DRIP SUPPLY TUBING	LOPE, MAX 5 GPM (300 GPH) WITH COMPRESSION FITTINGS
---	WIRES <i>TO MOTOROLA 2-WIRE DECODER</i>	EXTEND ALONG WATER TRENCH TO MAIN BUILDING
---	SLEEVES <i>CLASS 200 PVC</i>	EXTEND MINIMUM OF 3" FROM CURB/SURFACES
HEADS AND EMITTERS		
●	POP UPS <i>LARGE AREA ROTATORS</i>	
◆	PRESSURE-COMPENSATING DRIP EMITTERS <i>RAIN BIRD DRIP FLAG EMITTERS FE-SERIES</i>	
◆	<i>TREES: 50' Spiral of 12" O.C. 4 x 4 GAL</i>	
◆	<i>SHRUBS AND GRASSES: 2 X 2 GAL</i>	
◆	<i>DESERT ACCENTS: 1 X 1 GAL</i>	

NOTE: USE OF NON POTABLE WATER



- GENERAL NOTES**
- ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
 - FIELD VERIFY ALL DIMENSIONS.
 - DO NOT SCALE DRAWINGS, IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT AND ENGINEER BEFORE PROCEEDING.
 - SEE SHEET CG001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINETYPE LEGEND THAT APPLY TO ALL SHEETS.
 - PAVING PLAN KEYED NOTES ARE COMMON TO ALL SHEETS. NOT ALL KEYED NOTES WILL APPEAR ON EVERY PAGE.
 - REFER TO PLAT FOR EASEMENT DEFINITIONS.
 - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW CONCRETE SIDEWALK.
 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

- KEYED NOTES**
- HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501.
 - 6" STANDARD CURB AND GUTTER PER DETAIL A5/C-501.
 - 8" DEPRESSED CURB AND GUTTER PER DETAIL A5/C-501.
 - RUNDOWN DEPRESSED GUTTER PER DETAIL A5/C-501.
 - 6" HEADER CURB PER DETAIL A5/C-501.
 - CURB TRANSITION PER DETAIL A4/C-501.
 - HEAVY DUTY ASPHALT PAVEMENT PER DETAIL D1/C-501.
 - PARKING LOT ASPHALT PAVEMENT PER DETAIL D1/C-501.
 - CONCRETE CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD DWG 2441 THRU 2446.
 - CONCRETE SIDEWALK PER DETAIL B4/C-501.
 - TURNDOWN EDGE ON SIDEWALK PER DETAIL E4/C-501.
 - CONCRETE STOPPER PER DETAIL C1/C-501.
 - CONCRETE SPEED TABLE CONCRETE PAVEMENT PER DETAIL D4/C-501.
 - STAIRS WITH HANDRAILS PER DETAIL A2/C-501 AND C2/C-501.
 - RIP RAP EROSION PROTECTION PER DETAIL D3/C-501.
 - CONCRETE EQUIPMENT PAD UNDER NEW TRANSFORMER PER DETAIL A3/C-504. SEE ELECTRICAL PLANS SHEET ES-101 FOR ADDITIONAL REQUIREMENTS.
 - 4" WIDE WHITE TRAFFIC PARKING.
 - PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
 - PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 2" AND 6" TALL.
 - 3" WIDE X 6" TALL PERSONNEL GATE PER DETAIL F3/C-504.
 - SEE LANDSCAPING PLANS FOR DETAILS.
 - 8" CONCRETE BOLLARDS AT REFUSE CONTAINER PER DETAIL A2/C-501.
 - CONCRETE MASONRY SCREEN WALL 6" TALL PER STRUCTURAL PLANS.
 - RESERVED PARKING SYMBOL PER DETAIL C6/C-502.
 - 12" TALL WHITE LETTERS "NO PARKING".
 - UNLOADING ZONE PER DETAIL A3/C-502.
 - VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL E6/C-502.
 - RESERVED PARKING SIGN PER DETAIL E6/C-502.
 - ADA COMPLIANT CURB ACCESS RAMP PER DETAIL A1/C-502 AND COA DETAILS 2440.
 - PARKING BLOCK PER DETAIL F2/C-501.
 - MONUMENT SIGN BASE. SEE ARCHITECTURAL FOR DETAILS.
 - 4" WIDE CONCRETE VALLEY GUTTER PER DETAIL E5/C-501.
 - 6" TALL WROUGHT IRON FENCE PER DETAIL B4/C-504.
 - PAIR 20" WIDE WROUGHT IRON SLIDING GATES.
 - PAIR 15" WIDE WROUGHT IRON SLIDING GATES.
 - GATE OPERATOR.
 - REFUSE PAD PER DETAIL C1/C-502.
 - RETENTION POND. SEE SHEETS C-201 AND C-202.
 - CONCRETE CURB AND GUTTER PER COA STD DWG 2415A.
 - CONCRETE VALLEY GUTTER PER COA STD DWG 2420.
 - CONCRETE SPLASH BLOCK PER DETAIL A1/C-501.
 - AREA RESERVED FOR FUTURE PARKING.
 - 12" TALL LETTERS FOR MOTORCYCLES "MC".
 - RESERVED PARKING SIGN "MOTORCYCLES ONLY".
 - BIKE RACK PER DETAIL F3/C-501, 4" SPACING BETWEEN HOOPS.
 - INFILL MISSING CONCRETE SIDEWALK PER COA STD DWG 2430.
 - ASPHALT UTILITY PATCH PER COA STD DWG 2465.
 - MEDIAN CURB AND GUTTER TO MATCH EXISTING PER COA STD DWG 2415B.

MATERIAL LEGEND

	HEAVY DUTY ASPHALT PER DETAIL D1/C-501
	PARKING LOT ASPHALT PER DETAIL D1/C-501
	HEAVY DUTY CONCRETE PAVEMENT PER DETAIL D4/C-501
	4" THICK CONCRETE SIDEWALK PER DETAIL B4/C-501
	EROSION PROTECTION. SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	EARTHEN POND. SEE GRADING AND DRAINAGE PLANS (SHEET C-201 AND C-202)
	LANDSCAPING AREA.

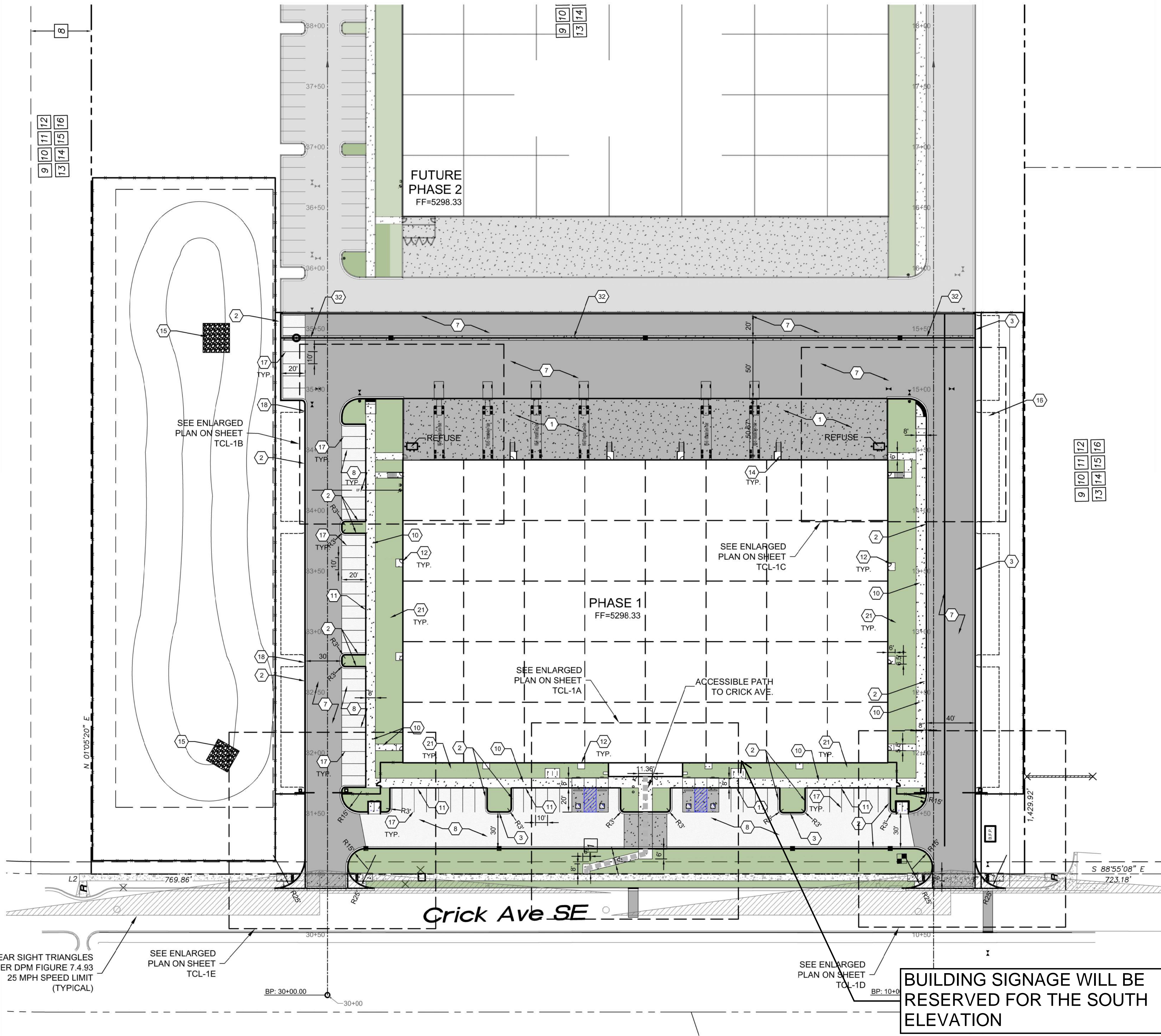
BUILDING PERMIT SET

REVISION	DATE
----------	------

DATE 10/16/23
PROJECT NO

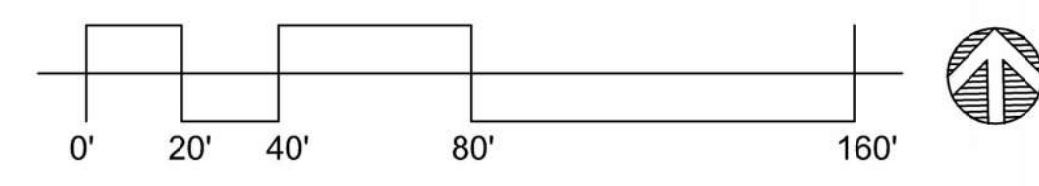
signage plan

SHEET NO.
SG-1



BUILDING SIGNAGE WILL BE RESERVED FOR THE SOUTH ELEVATION

SIGNAGE PLAN
SCALE: 1" = 40'-0"

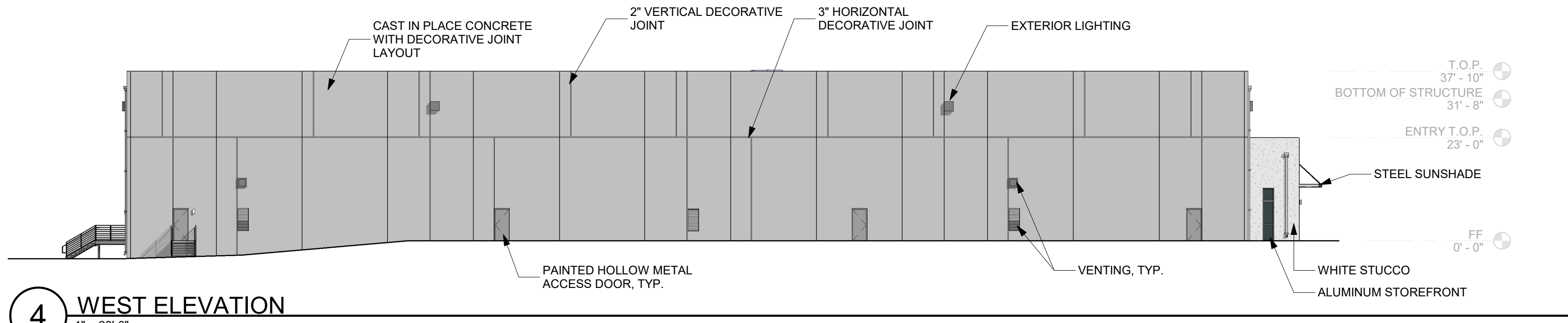


6/1/2023 10:07:53 PM

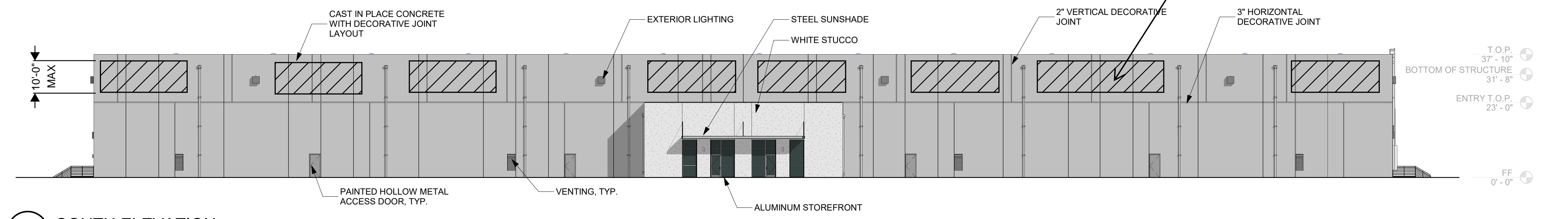
Thompson Engineering Consultants, Inc.
tecnc@yahoo.com
P.O. BOX 65760 ALBUQUERQUE, NM 87193
PHONE: (505) 271-2199 FAX: (505) 630-9248

SIGNAGE HAS NOT BEEN DETERMINED AT THIS POINT. HATCHED AREA INDICATES POSSIBLE LOCATION OF SIGNAGE. THERE WILL BE ONLY ONE SIGN PER TENANT (MAX 2 SIGNS TOTAL). SIGNAGE NOT TO EXCEED 75 SQ FT. SIGNAGE WILL NOT PROJECT MORE THAN 1 FOOT FROM THE WALL.

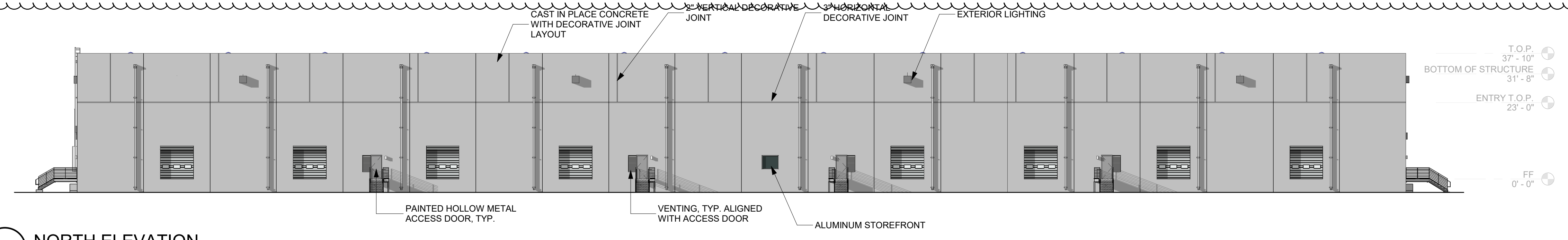
BUILDING SIGNAGE RESERVED FOR SOUTH ELEVATION



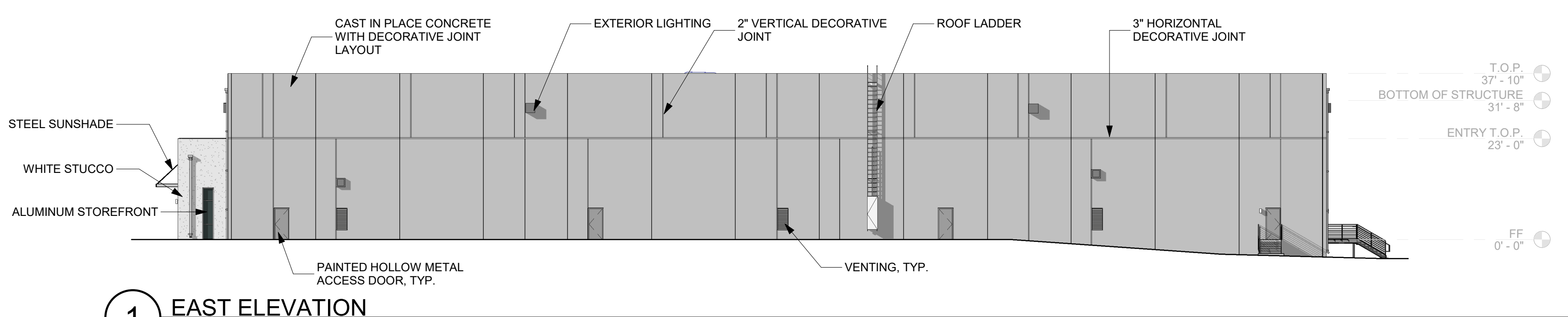
4 WEST ELEVATION
 1" = 20'-0"



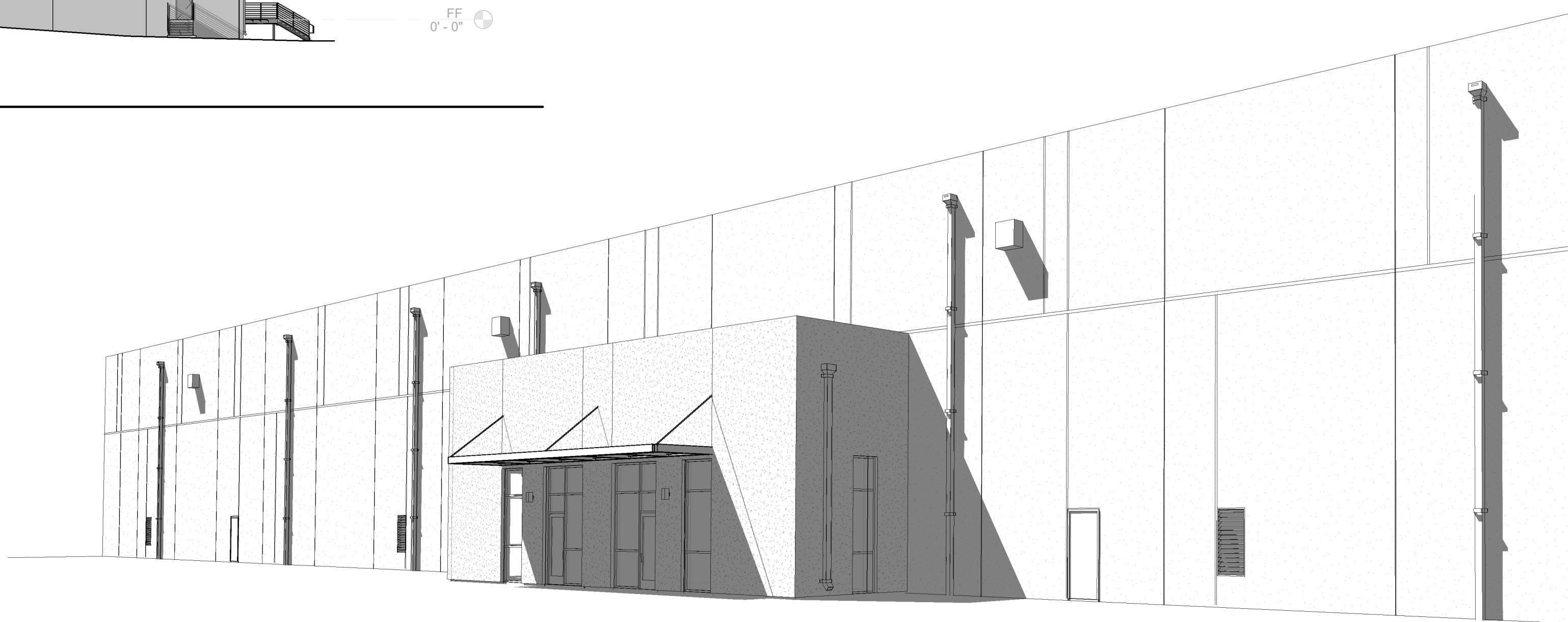
3 SOUTH ELEVATION
 1" = 20'-0"



2 NORTH ELEVATION
 1" = 20'-0"



1 EAST ELEVATION
 1" = 20'-0"



5 ENTRY PERSPECTIVE



Dave Aube <daveaube9@gmail.com>

RE: FW: Form 2 for Roses Southwest Papers at 99999 Crick Avenue, SE, Mesa Del Sol

1 message

Wolfley, Jolene <jwolfley@cabq.gov>

Fri, Jun 7, 2024 at 2:54 PM

To: Dave Aube <daveaube9@gmail.com>, "Rodenbeck, Jay B." <jrodenbeck@cabq.gov>

Cc: "Chen, Tiequan" <tchen@cabq.gov>, Thompson Engineering consultan <tecnm@yahoo.com>

Dave,

This is an excellent Sensitive Lands Analysis. Sorry that we did not get this reviewed in a timely way and thanks for continuing to inquire.

The report shows that no sensitive lands exist on the subject parcel.

Hydrology can sign the necessary form to move this application to an agenda.

Thanks for your patience. And I do apologize. We are extremely busy right now.

**JOLENE WOLFLEY, M.C.P.**

associate director

o 505.924.3891

e jwolfley@cabq.govcabq.gov/planning**From:** Dave Aube <daveaube9@gmail.com>**Sent:** Monday, April 1, 2024 1:07 PM**To:** Rodenbeck, Jay B. <jrodenbeck@cabq.gov>**Cc:** Wolfley, Jolene <jwolfley@cabq.gov>; Chen, Tiequan <tchen@cabq.gov>; Thompson Engineering consultan <tecnm@yahoo.com>**Subject:** Re: FW: Form 2 for Roses Southwest Papers at 99999 Crick Avenue, SE, Mesa Del Sol

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Jay

Attached is the Sensitive Lands Analysis for Roses Southwest Papers.

Please let me know if you need any clarification.

Thanks

Dave

Cell 505-463-4503

On Wed, Mar 27, 2024 at 5:39 PM Rodenbeck, Jay B. <jrodenbeck@cabq.gov> wrote:

Good afternoon Dave,

Due to the size of the site (approx. 23.8-acres in size) and the amount of what appears to be ungraded area, a Sensitive Lands Analysis will need to be submitted before Tiequan can sign Form SP for Hydrology.

If confirmation can be provided that the entirety of the site has been graded, such an Analysis won't be required, otherwise it will be required.



Jay Rodenbeck

Planning Manager

Development Review Services

o (505) 924-3994

c (505) 553-0682

e jrodenbeck@cabq.gov

cabq.gov/planning

From: Dave Aube <daveaube9@gmail.com>

Sent: Wednesday, March 27, 2024 5:08 PM

To: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>

Cc: Chen, Tiequan <tchen@cabq.gov>

Subject: Re: Form 2 for Roses Southwest Papers at 99999 Crick Avenue, SE, Mesa Del Sol

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Jay

Attached is an overall site plan and the ZAP that you requested.

Please let me know if any additional drawings will be helpful in the determination of Sensitive Lands.

Cell 505-463-4503

Thanks

Dave

On Wed, Mar 27, 2024 at 9:33 AM Rodenbeck, Jay B. <jrodenbeck@cabq.gov> wrote:

Good afternoon Dave,

Can you please send me, at the very least, a Site Plan sheet as well as the Zone Atlas Map of the site in question to help determine if a Sensitive Lands Analysis will be required or not.



Jay Rodenbeck

Planning Manager

Development Review Services

o (505) 924-3994

c (505) 553-0682

e jrodenbeck@cabq.gov

cabq.gov/planning

From: Chen, Tiequan <tchen@cabq.gov>
Sent: Wednesday, March 27, 2024 8:51 AM
To: Dave Aube <daveaube9@gmail.com>
Cc: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>
Subject: FW: Form 2 for Roses Southwest Papers at 99999 Crick Avenue, SE, Mesa Del Sol

Hi Dave:

Please contact Jay Rodenbeck asking him if the sensitive land analysis (IDO 5-2(C)) is required. Hydrology needs Planning's review and approval prior to sign off the form SP.

Thanks!



TIEQUAN CHEN, P.E.

principal engineer, hydrology

development review services

o 505.924.3695

e tchen@cabq.gov

cabq.gov/planning

From: Dave Aube <daveaube9@gmail.com>
Sent: Tuesday, March 26, 2024 8:28 PM
To: Armijo, Ernest M. <earmijo@cabq.gov>; Chen, Tiequan <tchen@cabq.gov>; Bergeron, Edwin V. <ebergeron@abcwua.org>
Cc: Thompson Engineering consultan <tecnm@yahoo.com>
Subject: Re: Form 2 for Roses Southwest Papers at 99999 Crick Avenue, SE, Mesa Del Sol

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Ernest and all

Attached is the corrected Form SP for the Roses Southwest Papers Project. As mentioned previously we are submitting to DFT for Site Plan Approval.

We have received approvals from Hydrology and Transportation. Q16DA5000C

We have the ABCWUA Water and Sewer Availability. #230704

Please fill out and forward on to all listed.

Let me know if you have any questions.

Thanks

Dave

cell 505-463-4503

On Tue, Mar 26, 2024 at 7:32 AM Armijo, Ernest M. <earmijo@cabq.gov> wrote:

Dave,

Form P has changed to Form SP.

Also, do not fill out any of the information below the top lines with name of project location and description. Those are for us to fill out.



ERNEST ARMIJO, P.E., C.F.M.

principal engineer

transportation

o 505.924.3991

e earmijo@cabq.gov

cabq.gov/planning

From: Dave Aube <daveaube9@gmail.com>
Sent: Monday, March 25, 2024 7:06 PM
To: Chen, Tiequan <tchen@cabq.gov>; Armijo, Ernest M. <earmijo@cabq.gov>; Magnanelli, Grant H. <gmagnanelli@abcwua.org>
Cc: Thompson Engineering consultan <tecnm@yahoo.com>
Subject: Form 2 for Roses Southwest Papers at 99999 Crick Avenue, SE, Mesa Del Sol

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Good morning

Can you please take a look at the attached Form P2 that is required for our submittal to DFT.

We have included the Project Number and Approval Dates for each of the Approvals/Statements.

Please let me know if you have any questions.

Thanks

Dave

Cell 505-463-4503

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' 1" = 80'

SITE PLAN CHECKLIST

- X 3. Bar scale
- X 4. North arrow
- X 5. Legend
- X 6. Scaled vicinity map
- X 7. Property lines (clearly identify)
- X 8. Existing and proposed easements (identify each)
- X 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- X A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- X B. Square footage of each structure
- X C. Proposed use of each structure
- X D. Signs (freestanding) and other improvements
- X E. Walls, fences, and screening: indicate height, length, color and materials
- X F. Dimensions of all principal site elements or typical dimensions
- X G. Loading facilities
- X H. Site lighting (indicate height & fixture type)
- X I. Indicate structures within 20 feet of site
- NA J. Elevation drawing of refuse container and enclosure, if applicable.
- X K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- X A. Parking layout with spaces numbered per aisle and totaled.
 - X 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - X 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - NA 3. On street parking spaces
- X B. Bicycle parking & facilities
 - X 1. Bicycle racks – location and detail
 - NA 2. Other bicycle facilities, if applicable
- X C. Vehicular Circulation (Refer to DPM and IDO)
 - X 1. Ingress and egress locations, including width and curve radii dimensions
 - X 2. Drive aisle locations, including width and curve radii dimensions
 - X 3. End aisle locations, including width and curve radii dimensions
 - X 4. Location & orientation of refuse enclosure, with dimensions
 - X 5. Loading, service area, and refuse service locations and dimensions
- X D. Pedestrian Circulation
 - X 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

- NA** E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas

- NA** F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - NA** 3. Location of traffic signs and signals related to the functioning of the proposal
 - NA** 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - NA** 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.

- NA** B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

May 23, 2024

Attention: Planning Department

Re: Roses Southwest Papers
Request for Approval of Site Plan Administrative - DFT

Dear Planning Department:

We are writing on behalf of our client, Roses Southwest Papers to request approval of a Site Plan Administrative for a proposed three Phase Warehouse Project in Mesa Del Sol located on Crick Avenue SE between Waston Drive SE and Hawking Drive SE. The current lot is described as *TR D-6 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATIONPARK II (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATIONPARK II) CONT 23.7954 AC.*

The zoning designation for this property is PC (Planned Community) under the Mesa Del Sol Community Masterplan (MDSCMP). The MDSCMP has identified this location for Industrial Facilities and the Mesa Del Sol Architectural Review Committee has approved the project as compliant with the MDSCMP standard.

The site contains 23.8 acres and will contain three 100,000sf warehouse buildings, constructed in phases. This request is for all three phases. Plans have been submitted and approved by Hydrology, Transportation, ABCWUA, Solid Waste and Fire. The approved plans are included in the package for easy reference.

Landscaping and Lighting Plans are only developed for the first phase, and will be similar for the remaining phases.



Aerial of the Site.



Image of site looking north-west.



Image of site looking north.

In preparation for this submittal, the Office of Neighborhood Coordination (ONC) was contacted to identify any Neighborhood Association (NA) in the area. At this time there are no recognized (registered with the ONC) Neighborhood Associations. This is mentioned as the standard is to require that a Information meeting be

conducted with the NA prior to application to DFT. We confirmed with City staff that this requirement is void if there are no registered NA in the area.

Per Section 16-6-5(G)(3)(a) the Site Plan has been developed in compliance with the IDO and DPM as reflected in the approvals from the separate engineering departments.

Per Section 16-6-5(G)(3)(b) the MDSCMP requires that stormwater for the 100-year event be fully retained on site. The site has been designed to meet those requirements, and therefore will not burden the public stormwater infrastructure surrounding the site.

Water and Sanitary Sewer for the project can be supplied by ABCWUA. We have received a Water and Sewer Availability and Serviceability Statement from the ABCWUA. The site has been designed in accordance to the requirements contained in the ABCWUA Statement. No Public Work Order is required for utility extensions.

The Roadway system is still being developed in the area. The northern half street section for Crick Avenue is fully developed including curb and gutter and sidewalk with street trees. No Public Work Order for roadway improvements.

Because the surrounding streets and utilities are developed this site will not require public improvements to be constructed. No Infrastructure Improvements Agreement will be required.

Per Section 16-6-5(G)(3)(c) the site has been checked by the MDSCMP Architectural Review Committee to determine that relevant sections of the Master Development Plan have been included in the design.

Section 16-6-5(G)(3)(d) does not apply to this property as it is not within a Framework Plan.

Thank you for your consideration. We look forward to hearing from you.

Please do not hesitate to contact me at (505) 414-6212 if you have any questions or require additional information.

Sincerely,



Shannon VanDusen



December 19th, 2023

City of Albuquerque Planning Department

To Whom it May Concern:

Please accept the following as the authorization letter for our civil engineer Thompson Engineering Consultant, Inc. to act as our agent for the purpose of processing the administrative Design Facilitation Team approval process for site plan for the project at 99999 Hawking Drive, Albuquerque 87106. This is BP# - 40671. Project is located at NW of Crick Avenue SE and Hawking Drive SE.

If you have any questions, please feel free to contact me at 505.842.0134.

Thank you,

A handwritten signature in blue ink, appearing to read "Robert Espat", enclosed within a blue oval scribble.

Robert Espat
President
Espat Opportunity Zone Fund LLC.
robepat@rosesnm.com
<http://www.rosessouthwest.com>
phone 505.842.0134



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Alan Varela, Interim Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: February 26, 2024

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR-2019-001971
Agent: SCOUT design
Applicant: Espat Opportunity Fund LLC
Legal Description: TR D-6 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATIONPARK
Zoning: PC
Acreage: 23.79 acres
Zone Atlas Page(s): Q-16-z

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

Historic Google Earth images, NMCRIS records

SITE VISIT: n/a

RECOMMENDATIONS:


Almost entirely bladed clear by 2009 and previously surveyed under NMCRIS 109134 with no significant finds,

Therefore: CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 1 "an archaeological investigation has been conducted..." and criterion 2 "The property has been disturbed through previous land use"

SUBMITTED BY:

SUBMITTED TO:

Planning, Development Services

 2-26-2024
Douglas H. M. Boggess, MA, RPA Date
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.

Mesa del Sol Architectural Review Committee
5700 University Blvd. SE Ste. 300
Albuquerque, New Mexico 87106

May 10th, 2024

Scout Architecture and Design
4215 Avenida La Resolana NE
Albuquerque, NM 87110

**Re: Mesa del Sol Architectural Review Committee
Step 2 Submission Approval for Roses Southwest Papers**

Dear Scout Architecture and Design Team,

This letter serves as formal confirmation of the Mesa del Sol Architectural Review Committee's (MdS ARC) approval of the Roses Southwest Papers Step 2 Submission. The submission, initially dated February 7th, 2024, underwent a series of acknowledgments and responses on February 12th, 2024, March 22nd, 2024, April 4th, 2024, and May 3rd, 2024. We are pleased to announce that the approval response has been finalized as of May 10th, 2024.

The MdS ARC grants approval for the Step 2 Submission, taking into account the acknowledgments and responses outlined in the aforementioned correspondences. The resubmission of plans includes the following details:

- Project Title: ROSES SOUTHWEST PAPERS
- Project Address: NW OF CRICK AVENUE SE AND HAWKING DRIVE SE, ALBUQUERQUE, NM 87105
- Project Number: REVISION 003 / ARC COMMENTS 05.03.24
- Project Dated: 10.12.23

For additional information regarding this submission and its approval, please contact the Mesa del Sol Architectural Review Committee. We anticipate a collaborative effort in the development of Roses Southwest Papers and look forward to working closely with you.

Sincerely,

Jerome Gonzales

Jerome Gonzales
Architectural Review Committee
Mesa del Sol

DFT SIGN POSTING AGREEMENT – A PUBLIC NOTICE REQUIREMENT

All development applications are required to complete public notice under the Integrated Development Ordinance, Section 6-1, Table 6-1-1. <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1> All applicants are obligated to satisfy all of the public notice requirements, i.e., sending email notifications, mailing notices, and posting signage on the subject property. **This form covers posting signs.** Adherence to sign posting requirements will inform the public of a proposed project and relevant project details.

Signs should be picked up at the Development Review Services office, located at 600 2nd St in the Plaza Del Sol building. Signs are available upon the acceptance of the application. The cost for the signs is included in the project application fee. It is critical that the signs be prominently located and clearly visible without any obstructions from each street frontage.

Applicants are responsible to maintain posting from time of application through the appeal period (15 days following a final decision on the application). Signs must be posted within 3 days of application acceptance and remain for at least 15 days. Evidence of the sign posting must also be provided within 3 days. In addition, applicants must ensure that required signs are in place during the 15-day appeal period after the project approval. Evidence of posting includes: Time stamped photographs of the sign at the location must be submitted as a supplement to the application.

Failure to install or replace the signs during the required timeframe may result in your application being deferred.

LOCATION

- A. The sign shall be conspicuously located, i.e, within twenty feet of the public sidewalk (or edge of a street).
- B. The face of the sign shall be parallel to the street.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

NUMBER

- A. One sign shall be posted on each street frontage.
- B. If the land does not abut a public street, a sign shall be placed at the edge of the public right-of-way of the nearest paved street, in addition to the sign placed on the property.

PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

I have read and understand all of the public notice requirements. By my signature, I acknowledge that: I understand (A) I have read the sign posting requirements; (B) I understand my obligation to keep the signs posted for (15) days at the time of application, and (15) days after application approval, (C) where/how the sign(s) should be posted, and (D) agree to provide evidence of posting.

I further certify that the required public notice signs were posted per the instructions above.

SIGNATURE & DATE:



6-11-24

PROJECT NUMBER & ADDRESS:

Roses Southwest Papers
99999 Crick Avenue, SE



Dave Aube <daveaube9@gmail.com>

99999 Hawking Drive SE _Public Notice Inquiry Sheet Submission

1 message

Flores, Suzanna A. <Suzannaflores@cabq.gov>
To: Dave Aube <daveaube9@gmail.com>

Wed, Jun 12, 2024 at 2:49 PM

Dear Applicant:

As of June 12, 2024 there are **NO** neighborhood associations to notify. You will need to attach a copy of this e-mail from the Office of Neighborhood Coordination (ONC) to your application when you submit it to the Planning Department.

Please note that the ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

Public Notice Inquiry For:

Administrative Decision

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

David Albert Aube

Telephone Number

5054634503

Email Address

daveaube9@gmail.com

Company Name

Company Address

4590 Nicole Court

City

Missoula

State

MT

ZIP

59803

Legal description of the subject site for this project:

UPC: 101605227405540202

Owner: ESPAT OPPORTUNITY ZONE FUND LLC

Owner Address: [1701 2ND ST NW ALBUQUERQUE NM 87102-4505](#)

Situs Address: [HAWKING DR SE ALBUQUERQUE 87105](#)

Legal Description: TR D-6 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATIONPARK II (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATIONPARK II) CONT 23.7954 AC

Physical address of subject site:

999999 Hawking Drive SE (address not yet assigned)

Subject site cross streets:

Crick Crossing

Other subject site identifiers:

This site is located on the following zone atlas page:

Q-16

Captcha

x