

WAT PRATHAT DOI SUTHEP
BUDDHIST TEMPLE OF NEW MEXICO
EPC SITE PLAN MAJOR AMENDMENT
DFT SIGN OFF



DWL Architects & Planners, Inc. of New Mexico
300 Central Ave. SE, East Courtyard
Albuquerque, New Mexico 87102
Phone: (505) 242-6302

EPC MAJOR AMENDMENT DFT SIGN OFF DOCUMENT

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DFT APPLICATION



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS		<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)	
<input type="checkbox"/> Site Plan Administrative DFT (Forms P & P2)		PRE-APPLICATIONS	
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)		<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)	
<input type="checkbox"/> Amendment to Infrastructure List (Form S3)		<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)	
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)		APPEAL	
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)		<input type="checkbox"/> Administrative Decision (Form A)	
BRIEF DESCRIPTION OF REQUEST			
APPLICATION INFORMATION			
Applicant/Owner:		Phone:	
Address:		Email:	
City:	State:	Zip:	
Professional/Agent (if any):		Phone:	
Address:		Email:	
City:	State:	Zip:	
Proprietary Interest in Site:		List <u>all</u> owners:	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)			
Lot or Tract No.:		Block:	Unit:
Subdivision/Addition:		MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:		Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):	
LOCATION OF PROPERTY BY STREETS			
Site Address/Street:		Between:	and:
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)			
I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.			
Signature:		Date:	
Printed Name:		<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent	

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FORM P2

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022**_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Form P with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- ___ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- ___ 7) Infrastructure List, if required for building of public infrastructure
- ___ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- ___ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- ___ 10) Completed Site Plan Checklist
- ___ 11) Letter of authorization from the property owner if application is submitted by an agent
- ___ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- ___ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- ___ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

___ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

___ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

___ 17) Sign Posting Agreement

___ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

___ Office of Neighborhood Coordination neighborhood meeting inquiry response

___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

___ Completed neighborhood meeting request form(s)

___ If a meeting was requested or held, copy of sign-in sheet and meeting notes

___ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

___ Proof of emailed notice to affected Neighborhood Association representatives

_ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

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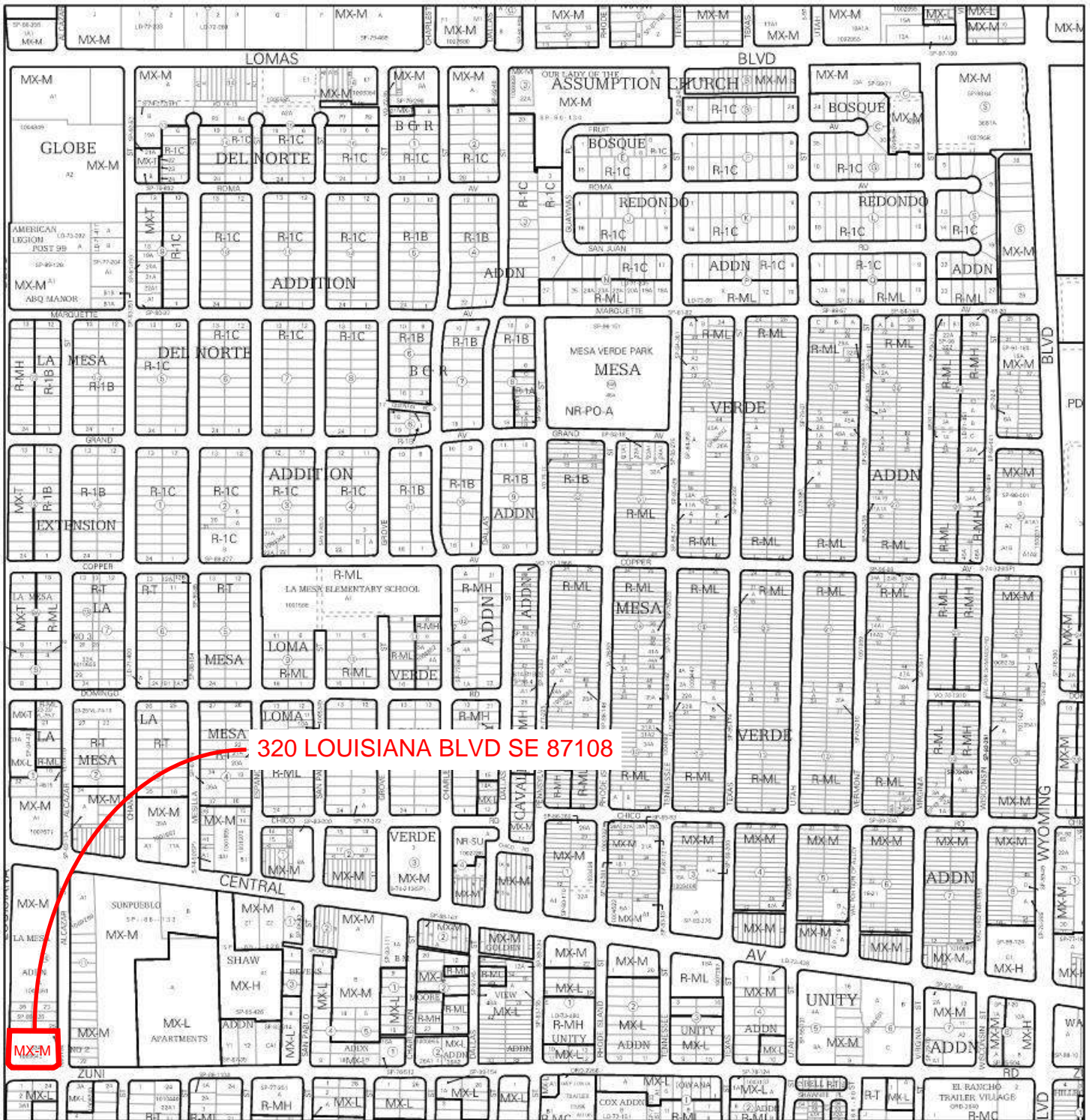
- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Site Plan and related drawings
- ___ 5) Infrastructure List, if require
- ___ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- ___ 7) Letter of authorization from the property owner if application is submitted by an agent
- ___ 8) Solid Waste Department signature on Site Plan
- ___ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- ___ 10) Approved Grading and Drainage Plan
- ___ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)

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ZONE ATLAS MAP



320 LOUISIANA BLVD SE 87108


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
K-19-Z



- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000
Feet

Page 9 of 44

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SITE PLAN AND RELATED DRAWINGS

SITE PLAN
LANDSCAPE PLAN
SITE DETAILS
TRASH ENCLOSURE DETAILS
ELEVATIONS



PROJECT NUMBER: _____

Application Number: _____

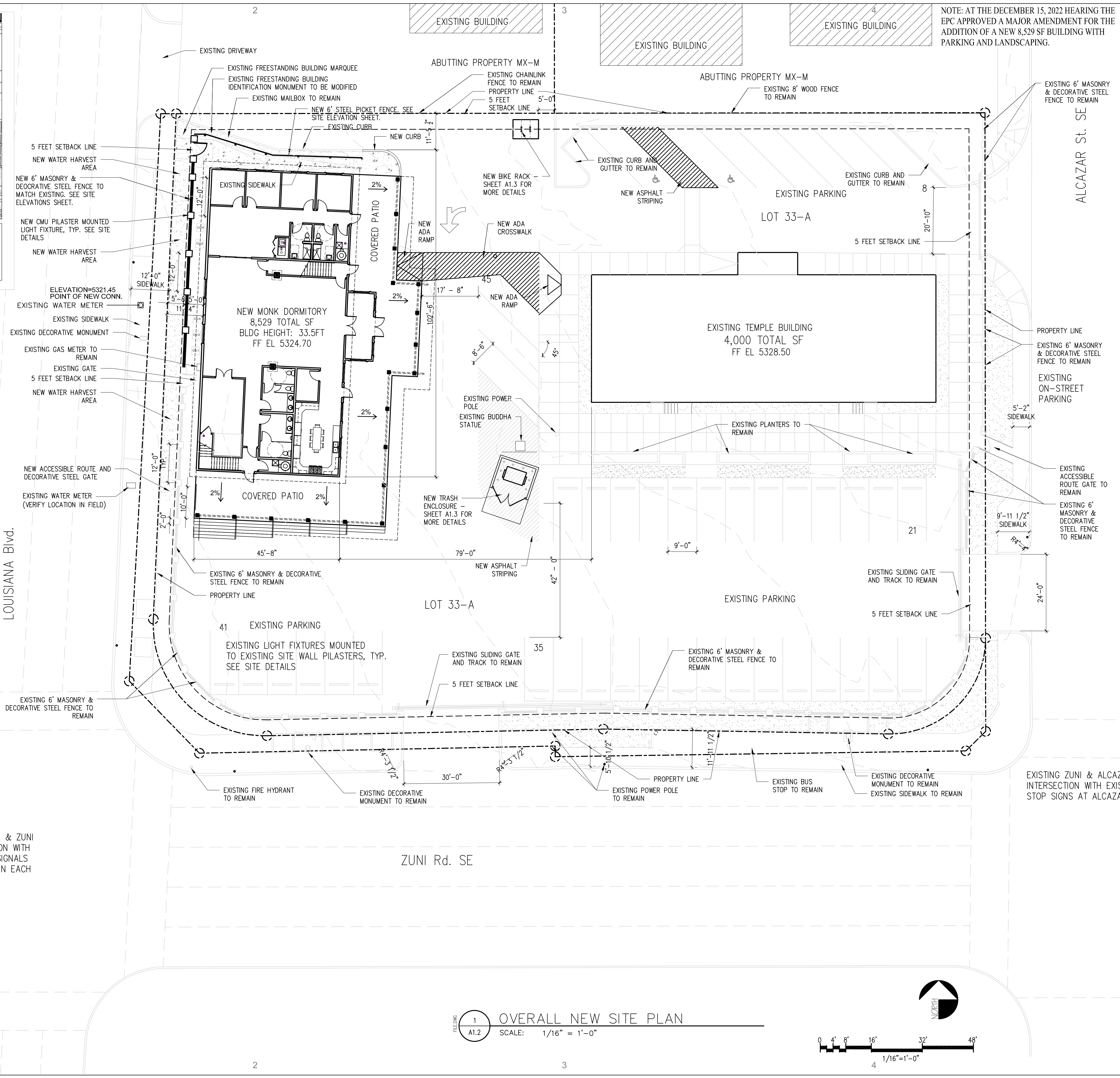
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DDC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DD SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date _____
ABCWUA	Date _____
Parks and Recreation Department	Date _____
Hydrology	Date _____
Code Enforcement	Date _____
*Environmental Health Department (conditional)	Date _____
Solid Waste Management	Date _____
Planning Department	Date _____

*Environmental Health, if necessary
12/2022



NOTE: AT THE DECEMBER 15, 2022 HEARING THE EPC APPROVED A MAJOR AMENDMENT FOR THE ADDITION OF A NEW 8,529 SF BUILDING WITH PARKING AND LANDSCAPING.

WAT PHRATHAT DOI SUTHEP NM USA
320 LOUISIANA BLVD. SE
DWL ARCHITECTS & PLANNERS, INC. OF NEW MEXICO
20_2201
7/27/2022

SITE DEVELOPMENT DATA
LEGAL DESCRIPTION: LT 33-A BLK 10 PLAT OF LT 33-A BLK 10 LA MESA NO. 2 CONT 1.1401AC

LAND AREA:
LOT 33-A 1.14 ACRES
TOTAL LAND AREA 1.14 ACRES

ZONING: MX-M

BUDDHIST TEMPLE MONKS RESIDENCE BUILDING
BUILDING OWNER: WAT PHRATHAT DOI SUTHEP NM USA

BUILDING ADDRESS: 320 LOUISIANA BOULEVARD SE, ALBUQUERQUE, NM 87108

EXISTING BUILDING: MONK'S DORMITORY, ONE STORY R-3 BUILDING ON WEST END OF SITE* TO BE DEMOLISHED FOR NEW BUILDING

NEW CONSTRUCTION:
NEW MONK'S DORMITORY, TWO STORY 3-3 NON-TRANSIENT IN PREVIOUS BUILDING FOOTPRINT WITH (12) DORM ROOMS, MULTI-PURPOSE EVENT SPACE, MEDITATION SPACE & SUPPORT SPACE.

SITE LANDSCAPING IMPROVEMENTS COMPLIANT WITH REGULATIONS & STANDARDS OUTLINED WITHIN THE IDO & CABQ DEVELOPMENT STANDARDS INCLUDING ADA CROSSWALK AND SITE STRIPING
NEW SITE MASONRY AND DECORATIVE STEEL FENCE TO MATCH EXISTING WITH INTEGRATED WALL MOUNTED ACCENT LIGHT FIXTURES

LIFE SAFETY CRITERIA
BUDDHIST TEMPLE MONKS RESIDENCE BUILDING TO HAVE AN AUTOMATIC FIRE SUPPRESSION SYSTEM (S)

1. CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION

1.1 SECTION 310: RESIDENTIAL GROUP R
310.5 RESIDENTIAL GROUP R-3. "RESIDENTIAL GROUP R-3 OCCUPANCIES WHERE THE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE AND NOT CLASSIFIED AS GROUP R-1, R-2, R-4 OR I, INCLUDING: CONGREGATE LIVING FACILITIES (NONTRANSIENT) WITH 16 OR FEWER OCCUPANTS"

GROUND FLOOR: 4,466 SF
SECOND FLOOR: 4,062 SF
TOTAL R-3 OCCUPANCY AREA = 8,529 SF

2. PARKING CALCULATIONS

OFF STREET PARKING SPACES:
REQUIRED: (IDO TABLE 5-5-1)
3 PERSONS / 1 PARKING SPACE
ACTUAL:
12 PERSONS / 3 PERSONS
= 4 POV SPACES REQUIRED
PROVIDED:
6 OFF STREET PARKING SPACES

ACCESSIBLE PARKING SPACES:
REQUIRED: (ADAAG TABLE 208.2)
1 HC / 25 PARKING SPACES
PROVIDED:
1 VAN ACCESSIBLE SPACE

MOTORCYCLE PARKING SPACES:
REQUIRED: (IDO TABLE 5-5-4)
1 / 25 PARKING SPACES
PROVIDED:
1 SPACE

BICYCLE PARKING SPACES:
REQUIRED: (IDO TABLE 5-5-5)
3 PERSONS / 1 PARKING SPACE
ACTUAL:
12 PERSONS / 3 PERSONS
= 4 SPACES REQUIRED
PROVIDED:
4 BICYCLE PARKING SPACES

NOTE: THIS FACILITY WILL ALSO SHARE PARKING WITH THE TEMPLE BUILDING. THE EXISTING PARKING PROVIDED IS TO REMAIN AND IS IN COMPLIANCE WITH IDO AND REGULATORY REQUIREMENTS.



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ALBUQUERQUE,
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FAX (505) 242-4199
W.EASTMAN@DWLNM.COM



WAT PHRATHAT DOI SUTHEP NM
CONGREGATE LIVING
NON-TRANSIENT
320 LOUISIANA BLVD. SE.
ALBUQUERQUE, NEW MEXICO 87108-3183

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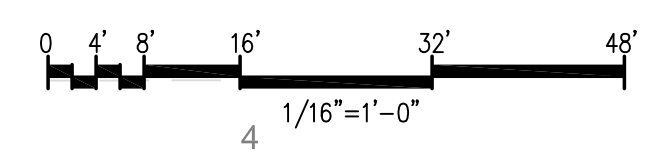
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W. EASTMAN
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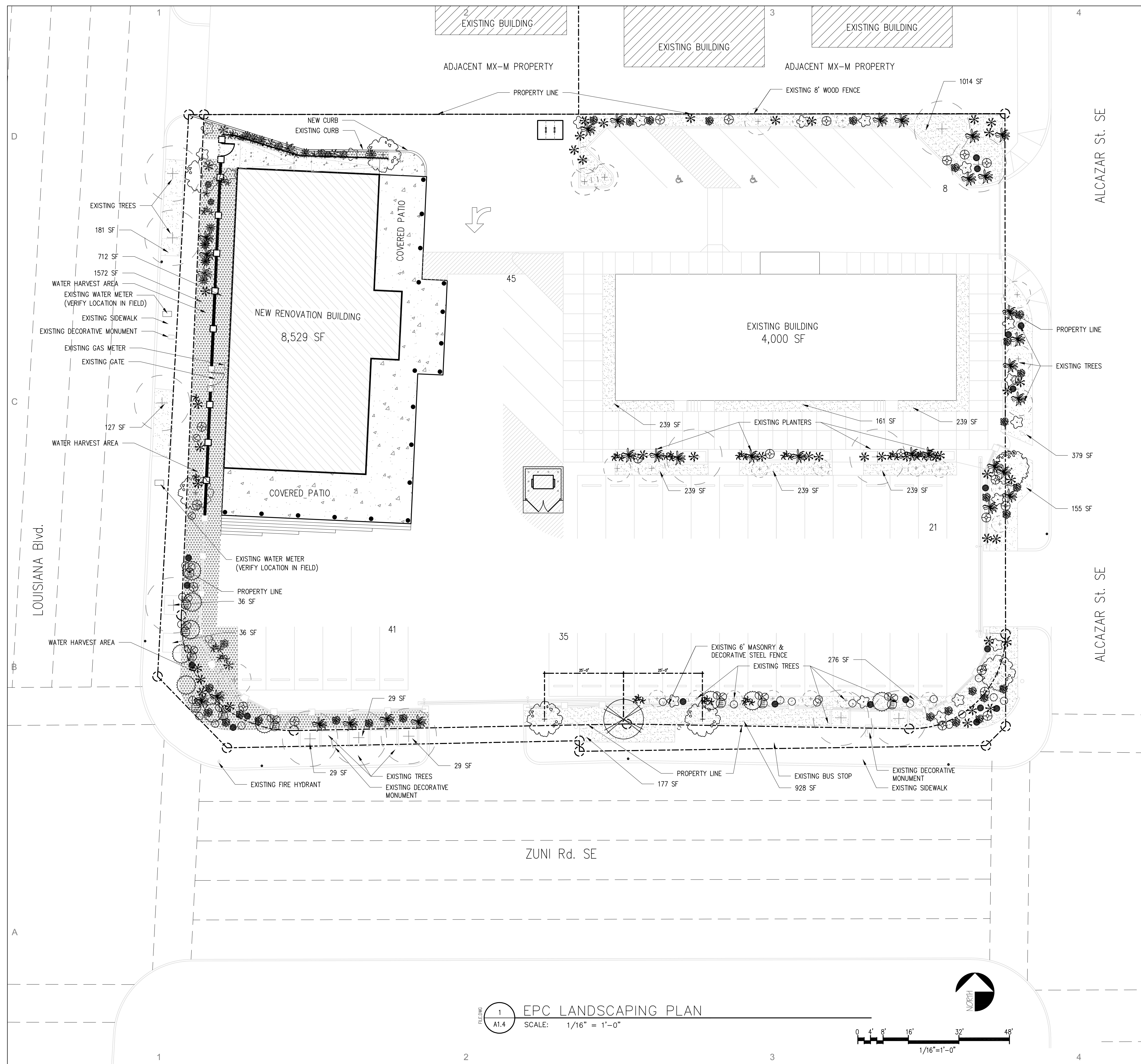
EPC
SITE PLAN EPC MAJOR AMENDMENT

EPC A.1

XX OF XX SHEET

1 OVERALL NEW SITE PLAN
SCALE: 1/16" = 1'-0"





OWNER & RESIDENTS TO MAINTAIN AND CONTINUE TO MAINTAIN UPKEEP OF ALL LANDSCAPING AND SITE FEATURES.
 IDO LANDSCAPING REQUIREMENTS:

THE SITE LANDSCAPING COVERAGE REQUIREMENT IS FOR 15%

LOT AREA: 49,658 SF (1.14 AC)
 BUILDING AREA EXISTING: 4,000 SF EXISTING
 BUILDING AREA NEW: 8,529 SF NEW

LOT MINUS BUILDING AREA 37,129 SF

REQUIRED LANDSCAPE AREA: 5,569 SF (15%)
 PROVIDED LANDSCAPE AREA: 7,047 SF (18%)

EXISTING LANDSCAPED AREA 3,812SF
 STREET LANDSCAPED AREA 951SF
 NEW LANDSCAPED AREA 2,284SF
 TOTAL LANDSCAPED AREA 7,047 SF
 EXISTING & NEW LANDSCAPE COVERAGE 75%

PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
(+)	EXISTING TREE	VARIES- TO REMAIN	
(+)	ACACIA WILLARDIANA	PALO BLANCO	36" BOX
(+)	GLEDITSIA TRIACANTHOS	'SHADEMASTER' THORNLESS HONEYLOCUST	24" BOX
(+)	PISTACHE X 'RED PUSH'	RED PUSH PISTACHE	24" BOX
SHRUBS			
(+)	EXISTING SHRUB/ ACCENT	VARIES- TO REMAIN	
(+)	EREMOPHILA HYGROPHANA	BLUE BELLS	5 GAL.
(+)	LEUCOPHYLLUM LAEVIGATUM	CHIHUAHUAN SAGE	5 GAL.
(+)	MUHLENBERGIA CAPILLARIS	REGAL MIST	5 GAL.
(+)	RUELLIA BRITTONIANA	BRITISH RUELLIA	5 GAL.
ACCENTS			
(+)	AGAVE MURPHEYI	MURPHEY'S AGAVE	5 GAL.
(+)	ALOE BARBADENSIS	MEDICINAL ALOE	5 GAL.
(+)	ALOE X 'BLUE ELF'	BLUE ELF ALOE	5 GAL.
(+)	HESPERALOE PARVIFLORA	'PERPA' BRAKELIGHTS YUCCA	5 GAL.
(+)	PEDILANTHUS BRACTEATUS	TALL SLIPPER PLANT	15 GAL.
(+)	PORTULACARIA AFRA	ELEPHANT FOOD	5 GAL.
GROUNDCOVER			
(+)	BAILEYA MULTIRADIATA	DESERT MARIGOLD	1 GAL.
(+)	EREMOPHILA GLABRA 'MINGENEW GOLD'	OUTBACK SUNRISE EMU	3 GAL.
(+)	LIRIOPE SPICATA	LILY TURF	3 GAL.
(+)	MELAMPodium LEUCANTHUM	BLACKFOOT DAISY	1 GAL.
(+)	PENSTEMON PARRYI	PARRY'S PENSTEMON	1 GAL.
(+)	PENSTEMON	DESERT PENSTEMOM	1 GAL.
(+)	PSEUDOSPECTABILIS		
(+)	RUELLIA BRITTONIANA 'KATIE'	KATIE RUELLIA	1 GAL.
(+)	SPHAGNETICOLA TRILOBATA	YELLOW DOT	1 GAL.
(+)	TURF	SYNTHETIC TURF-STYLE TBD	
INERT GROUNDCOVER			
(2)	DECOMPOSED GRANITE	REUSE EXISTING FROM COURTYARD	
(4)	DECOMPOSED GRANITE	PIONEER- DESERT BROWN	1/4" MINUS
(+)	STEEL HEADER- GREEN		
(+)	SELECT GRANITE BOULDERS- MATCH D.G. COLOR, USE ALL EXISTING BOULDERS FROM COURTYARD PLUS NEW. CONTRACTOR TO FIELD VERIFY EXIST. QTY. IN COURTYARD		3'x3' MIN.

NOTE: SEE SHEET L2 FOR ACTUAL LANDSCAPE LAYOUT.

DWL ARCHITECTS
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 PH (505) 242-6202
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STATE OF NEW MEXICO
 WILLIARD EASTMAN
 2181
 REGISTERED ARCHITECT
 2-08-2023

WAT PHRATHAT DOI SUTHEP NM
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 NON-TRANSIENT
 320 LOUISIANA BLVD. SE.
 ALBUQUERQUE, NEW MEXICO 87108-3183

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20_1611.03

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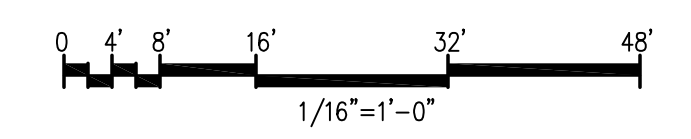
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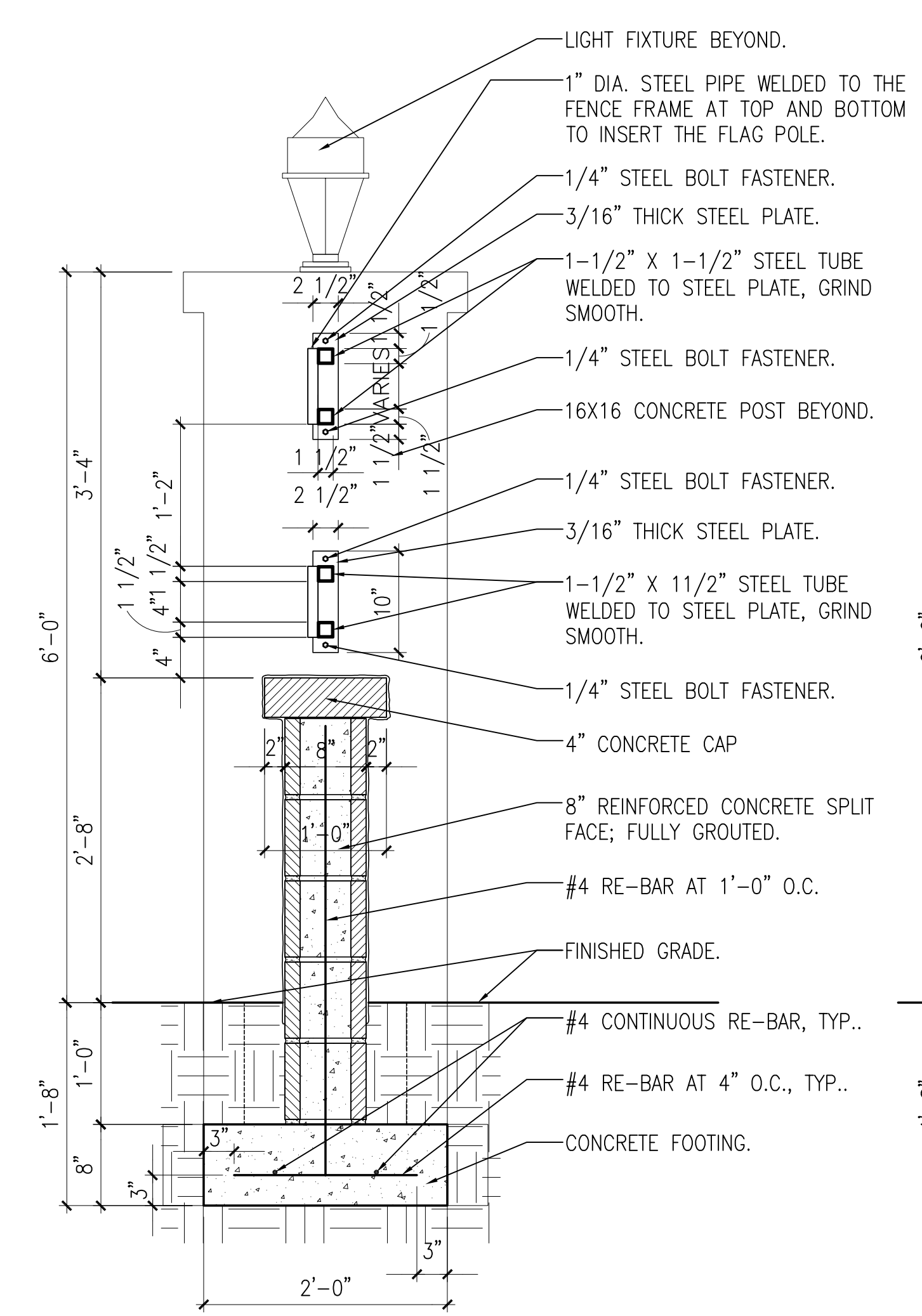
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W. EASTMAN

SHEET TITLE:
EPC
LANDSCAPING PLAN
EPC A.2

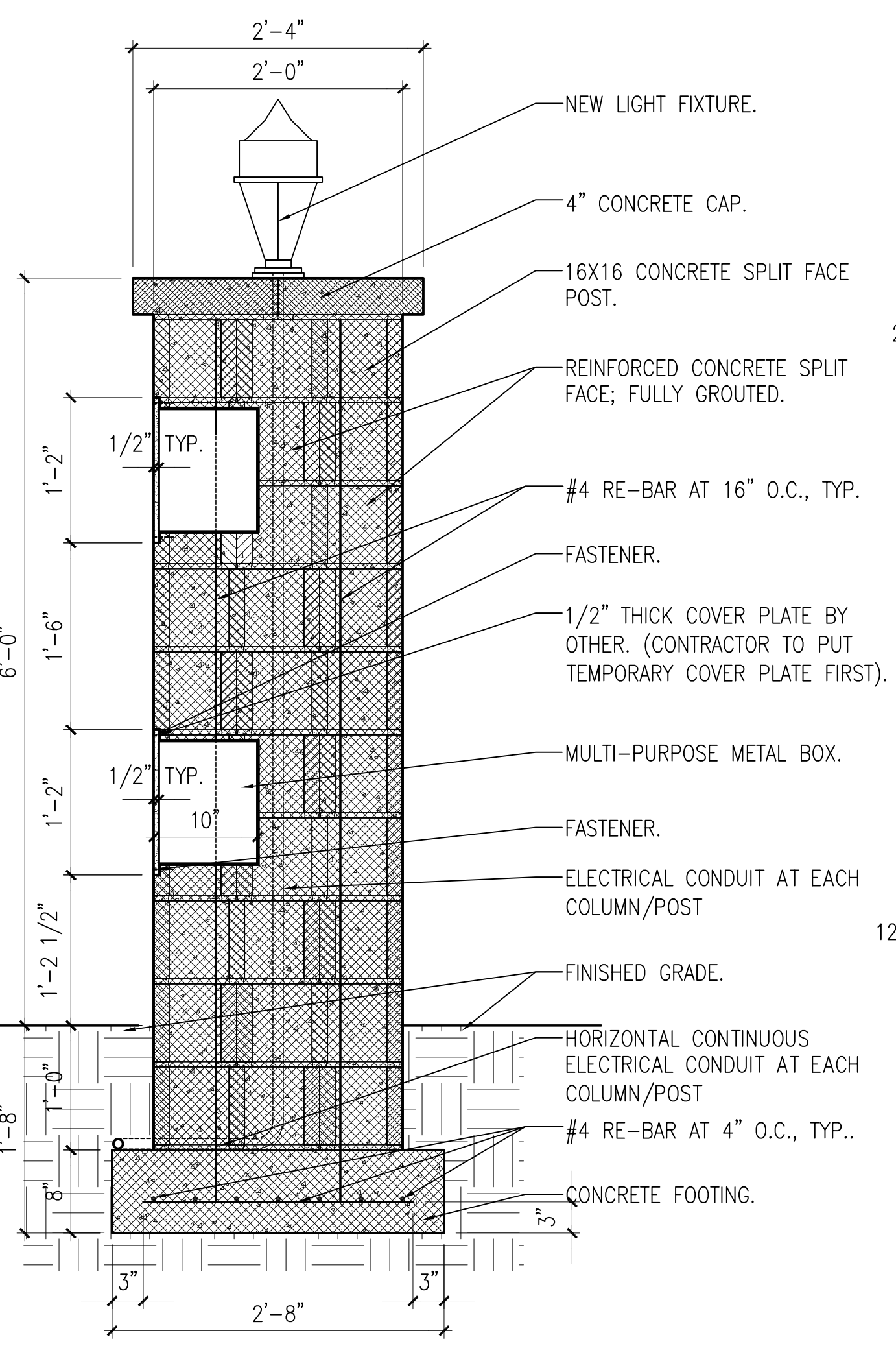
XX OF XX SHEET

1 EPC LANDSCAPING PLAN
 SCALE: 1/16" = 1'-0"

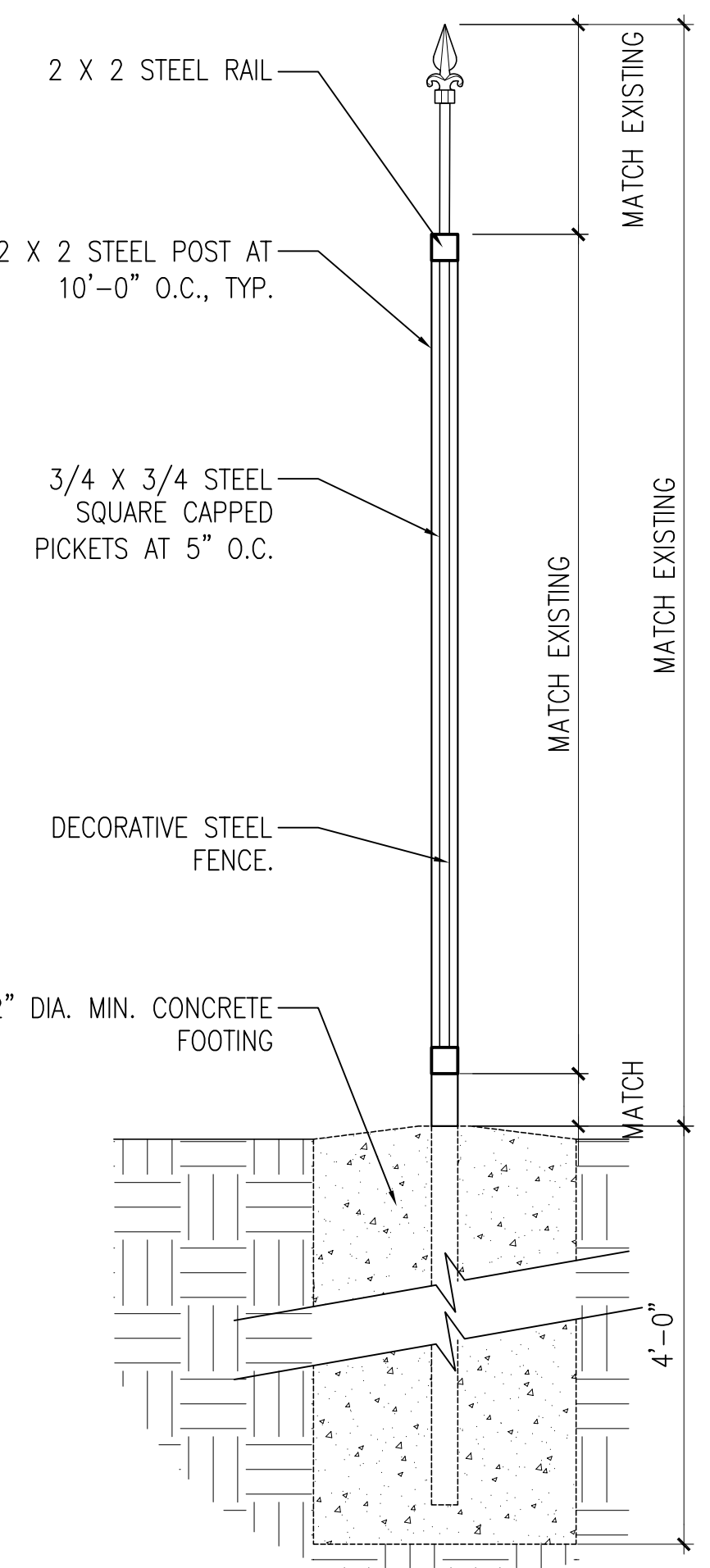




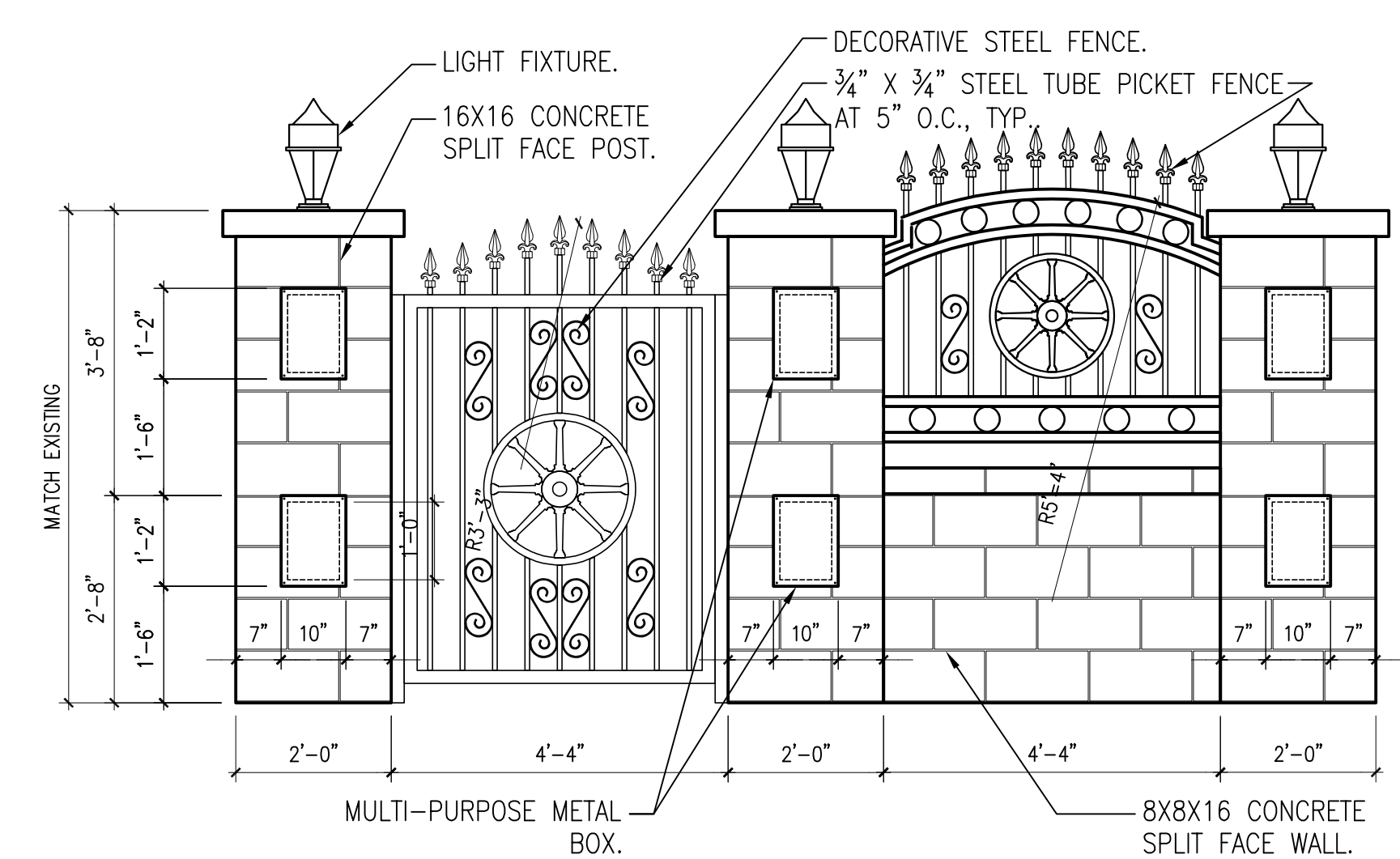
7 FOOTING/WALL DETAIL, TYP.
SCALE: 1" = 1'-0"



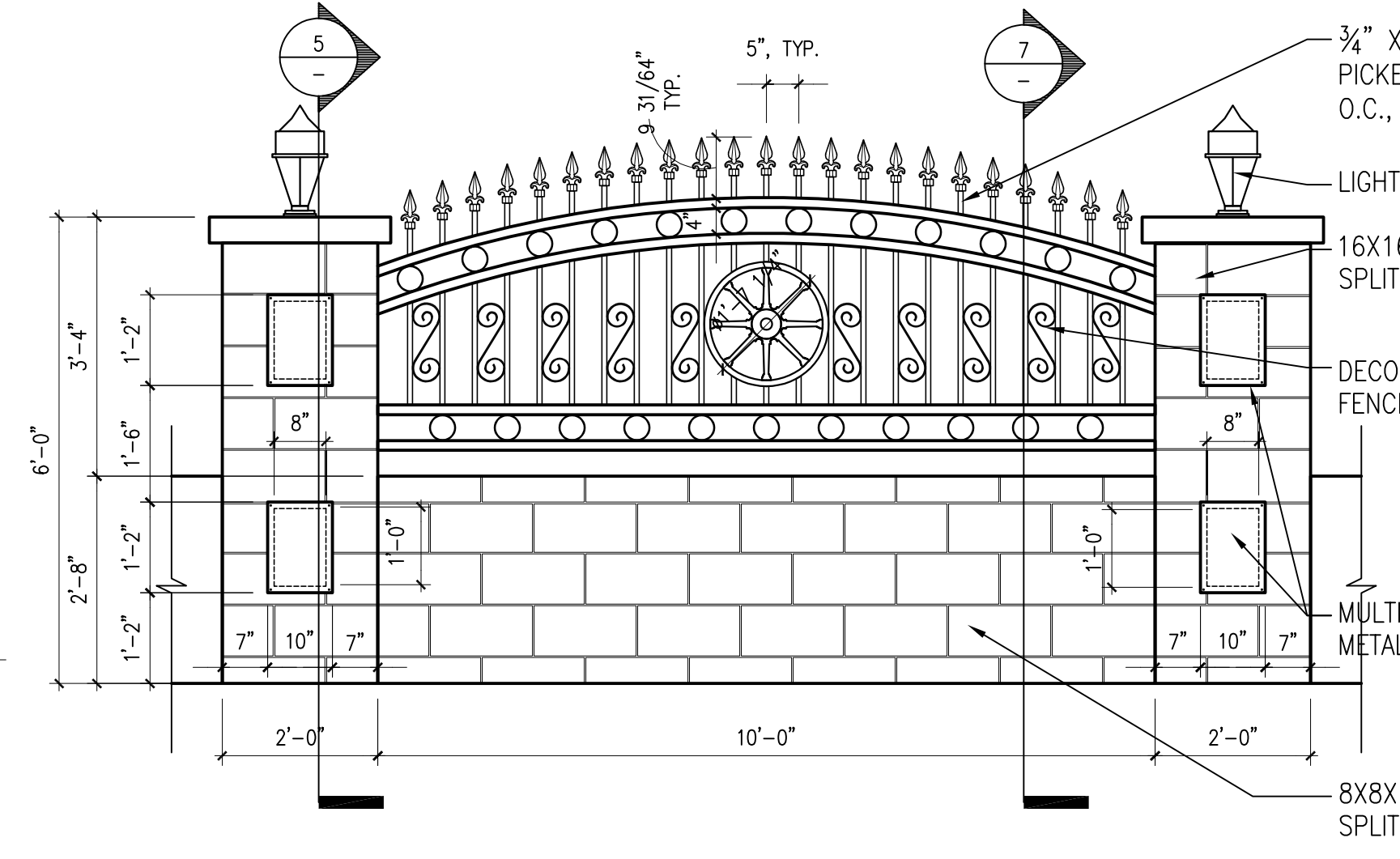
5 FOOTING/POST DETAIL, TYP.
SCALE: 1" = 1'-0"



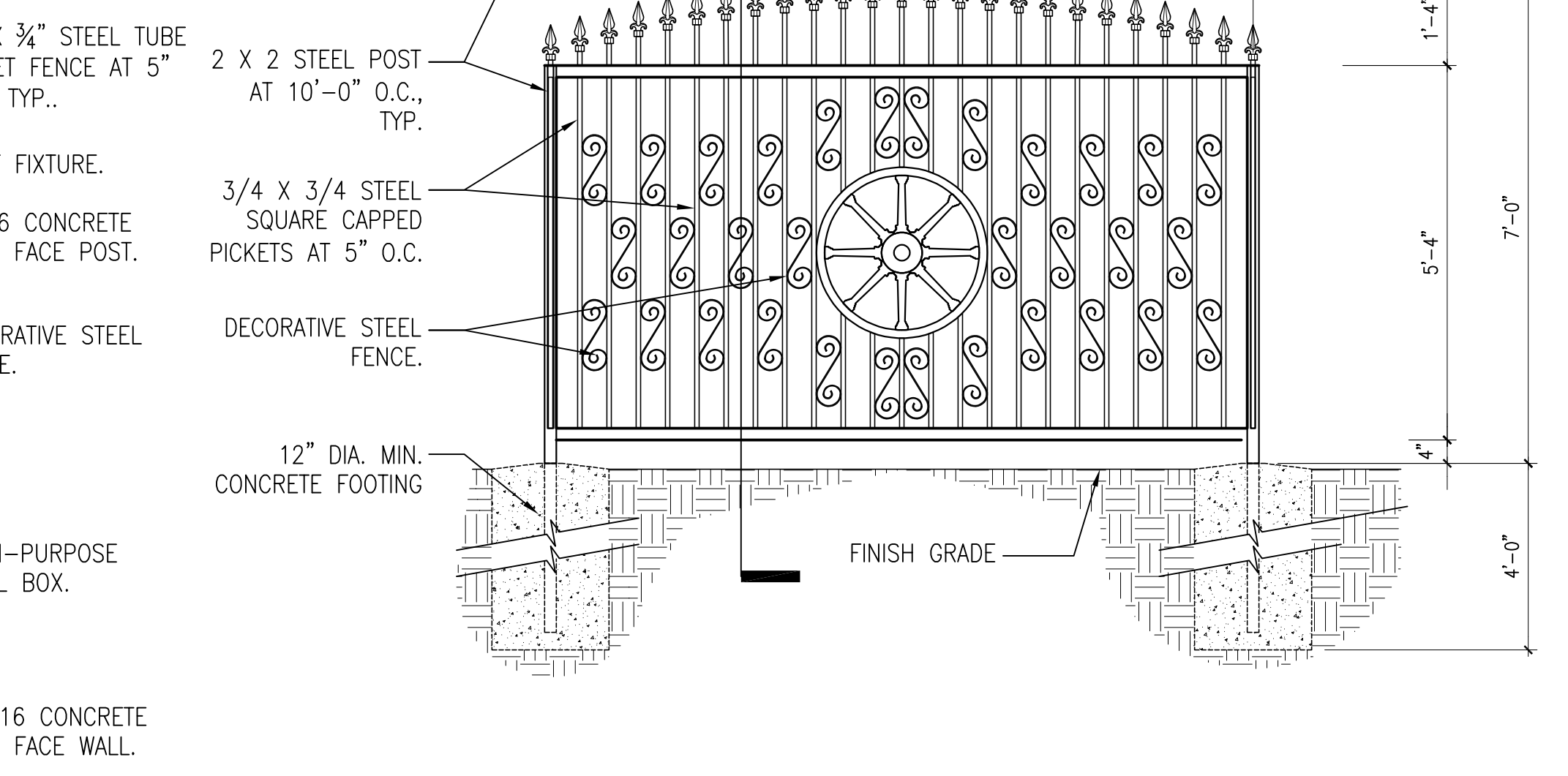
4 FOOTING/POST DETAIL, TYP.
SCALE: 1" = 1'-0"



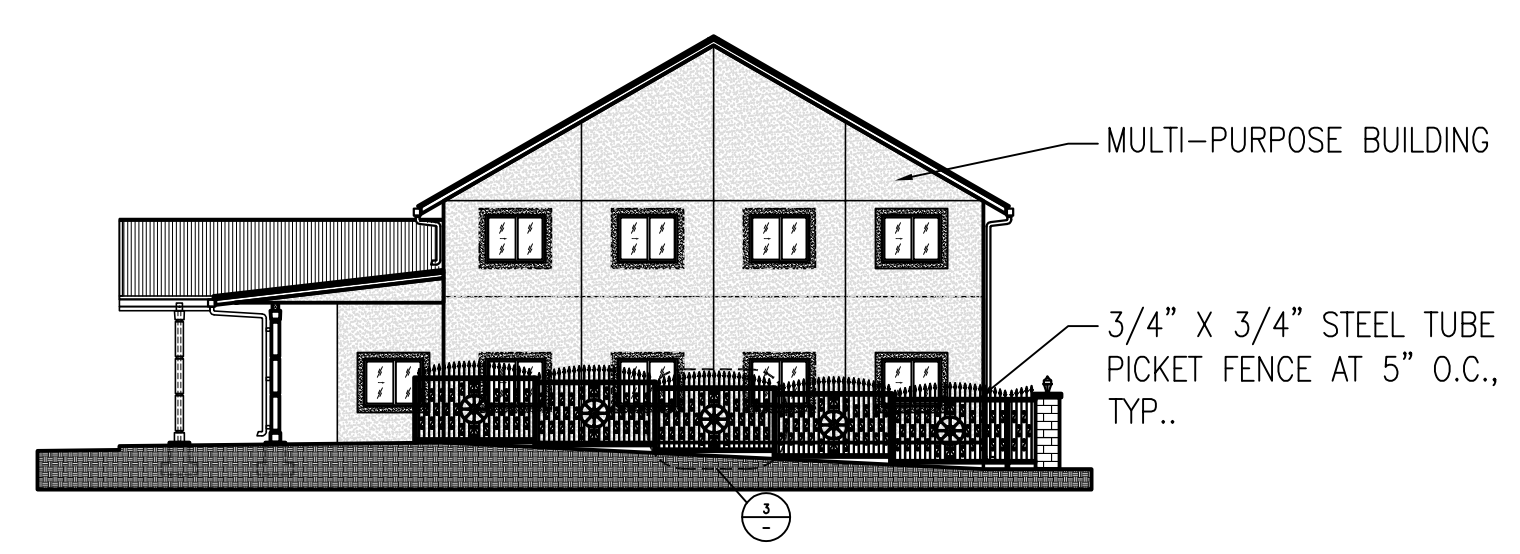
8 ENLARGED GATE/FENCE ELEVATION
SCALE: 1/2" = 1'-0"



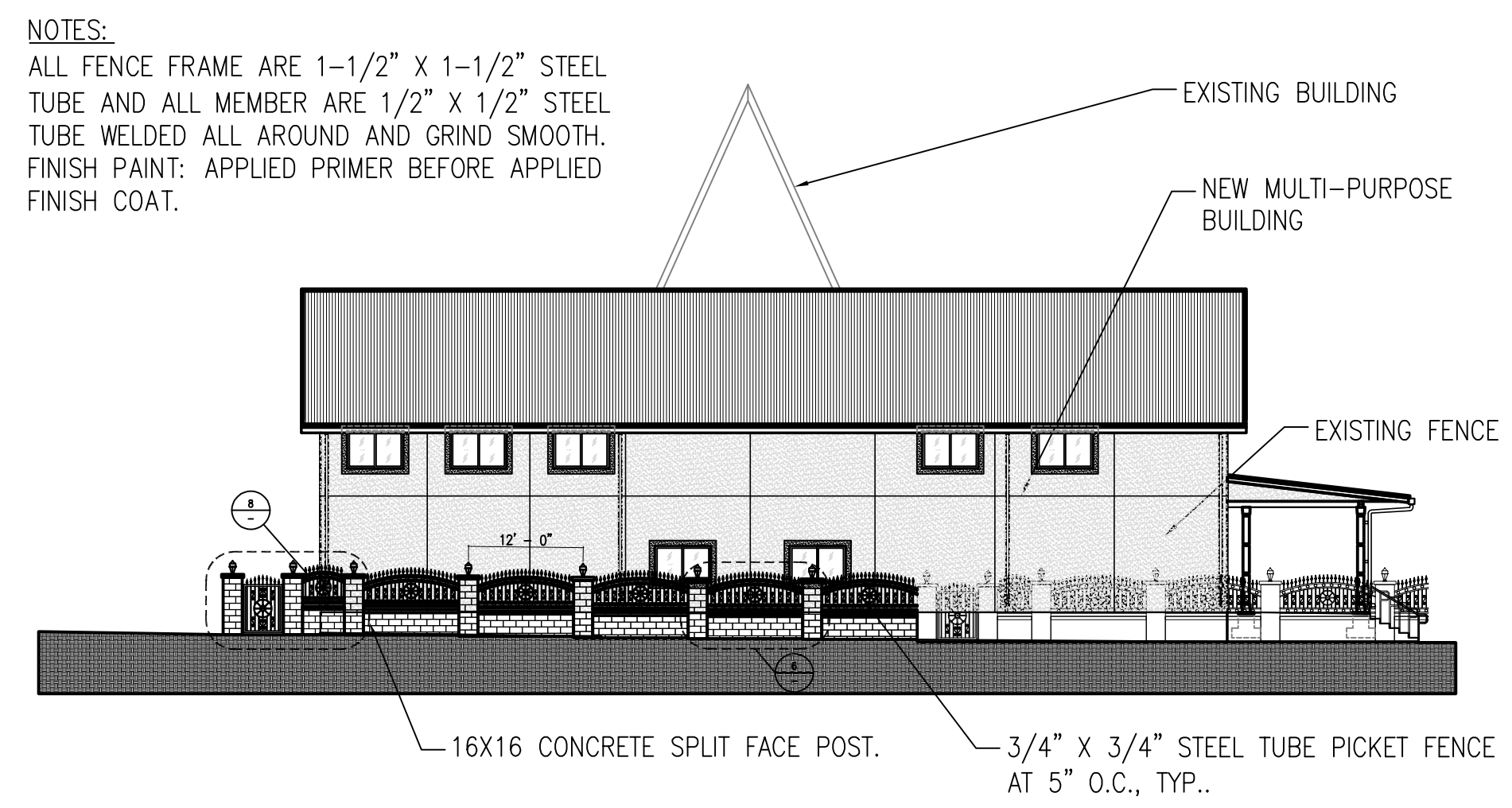
6 ENLARGED FENCE ELEVATION
SCALE: 1/2" = 1'-0"



3 ENLARGED FENCE ELEVATION
SCALE: 1/2" = 1'-0"



1 SITE PARTIAL NORTH ELEVATION
SCALE: 1/16" = 1'-0"



2 SITE PARTIAL WEST ELEVATION
SCALE: 1/16" = 1'-0"

NOTES:
1. PAINT ALL METAL TO MATCH EXISTING FENCE
2. MASONRY & DECORATIVE STEEL FENCE TO MATCH EXISTING



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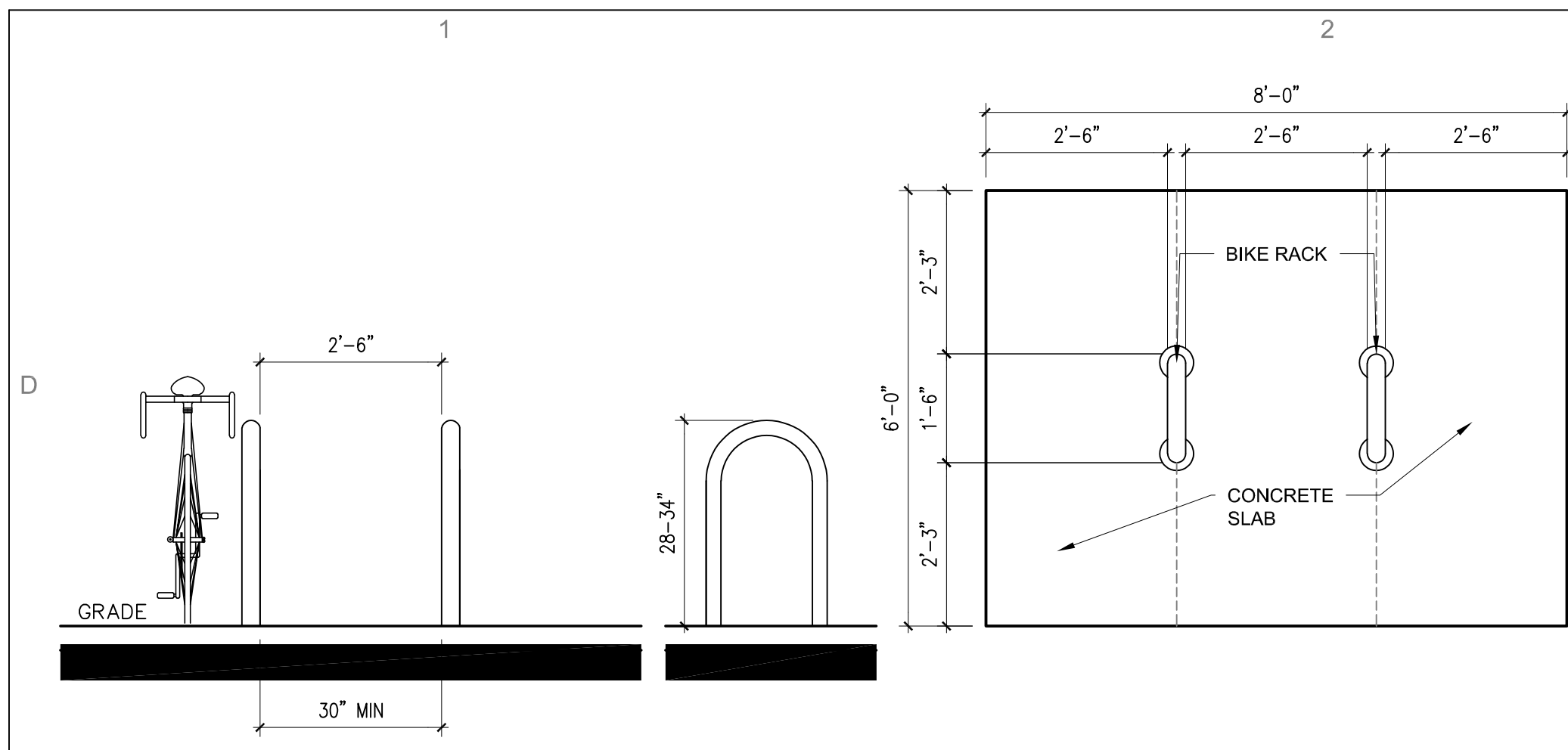
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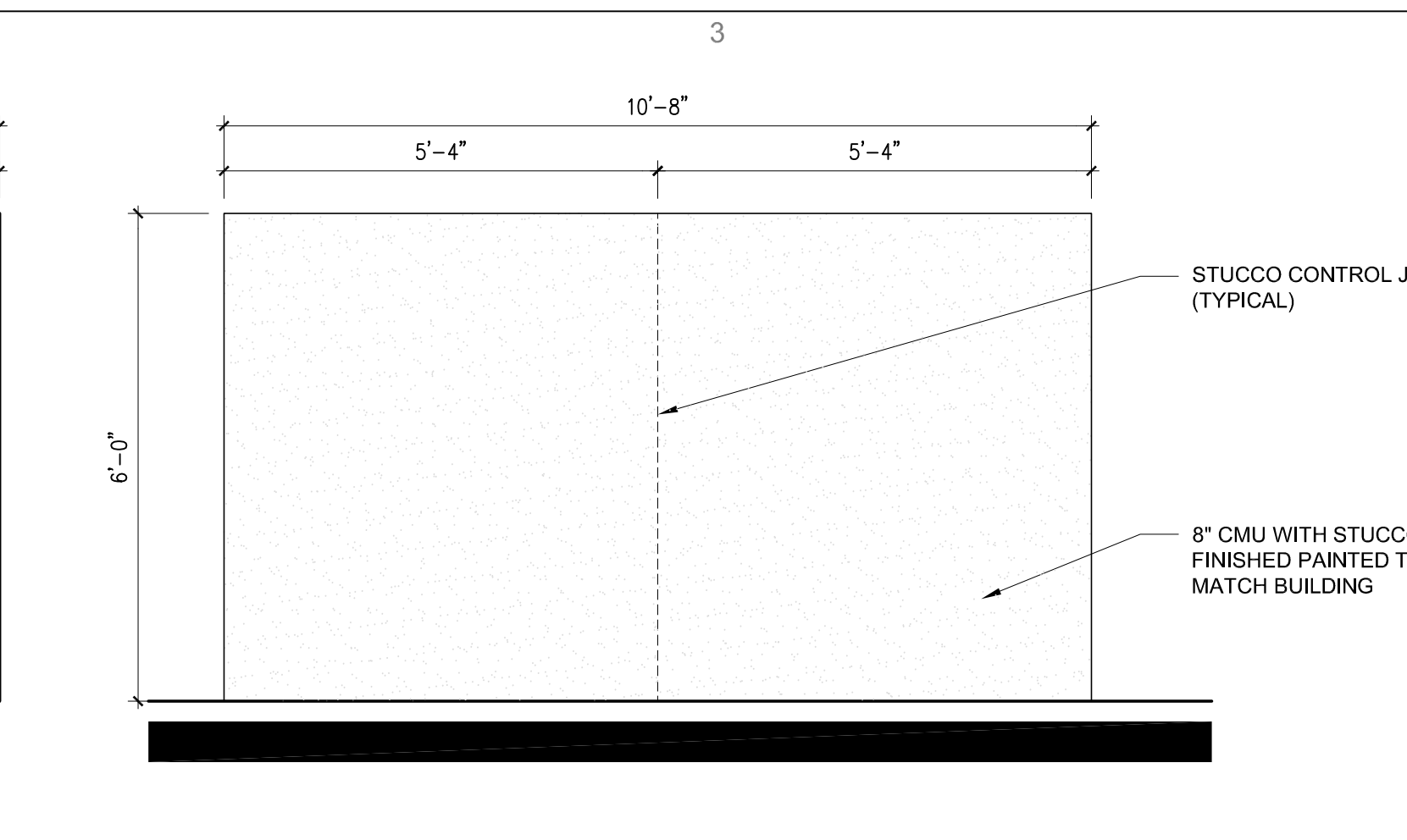
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S.S.
CHECKED BY:
W. EASTMAN
SHEET TITLE:
PARTIAL EXTERIOR ELEVATIONS
SECTIONS AND DETAILS

A1.2

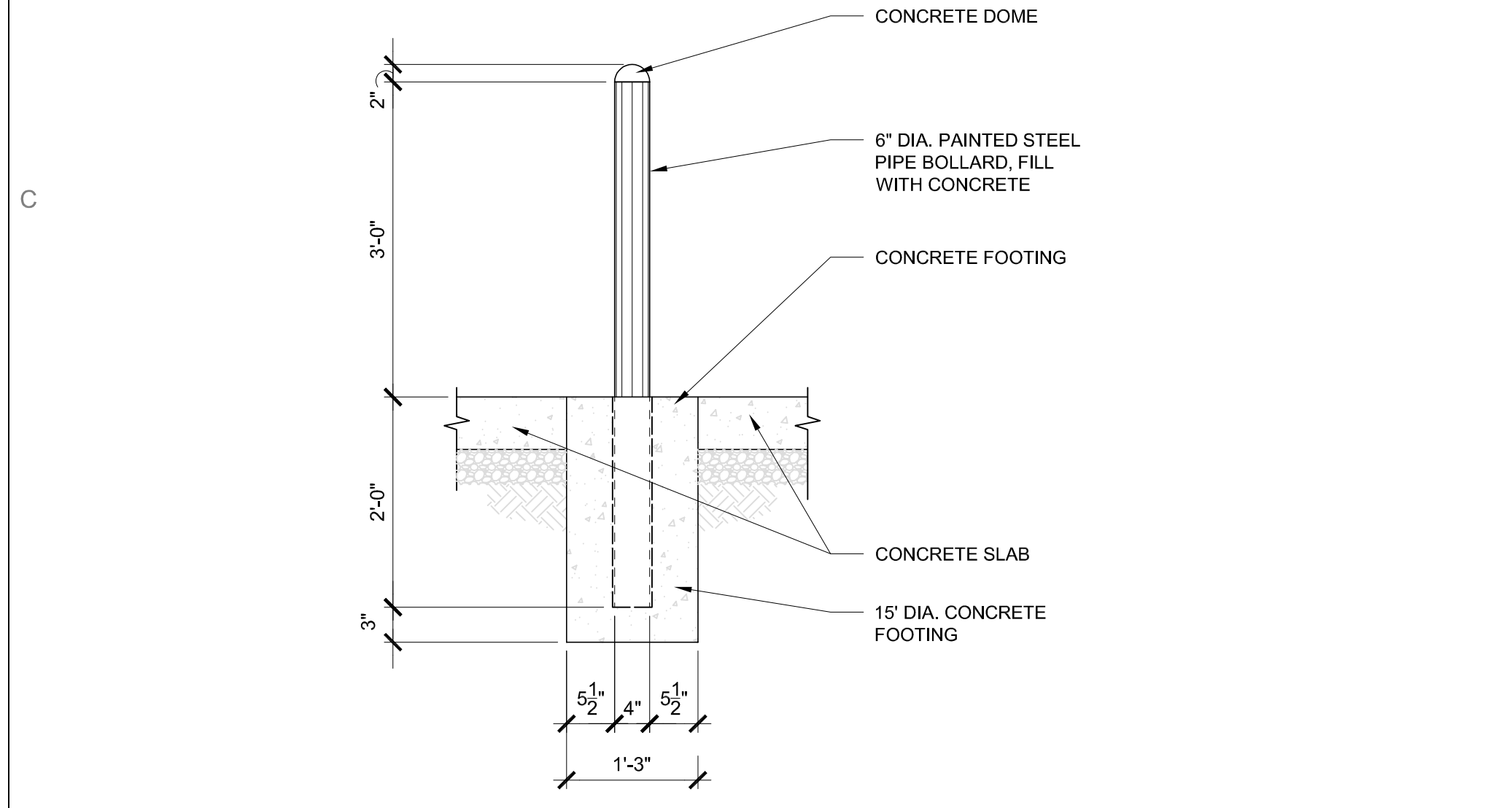
XX OF XX SHEET



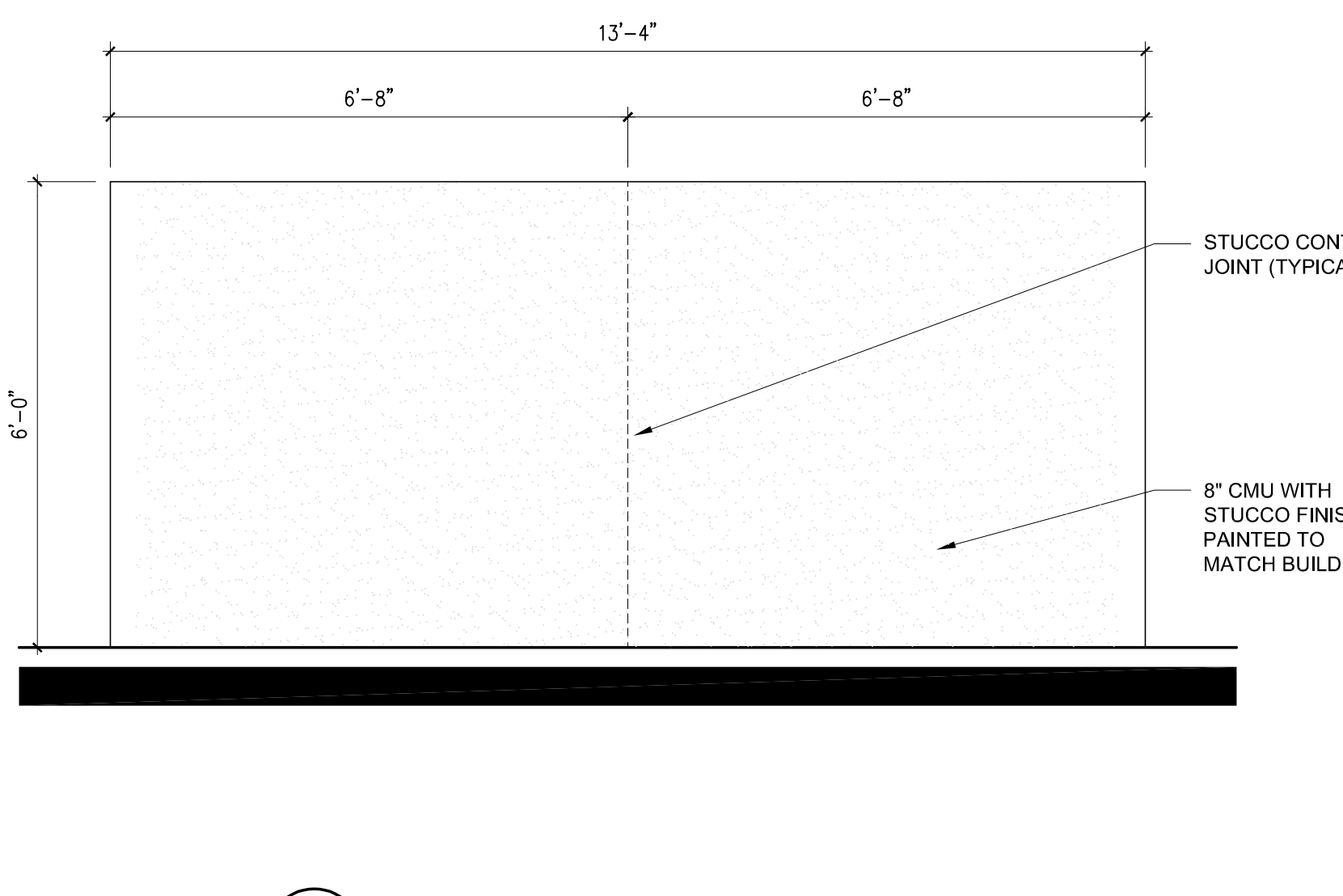
6 BIKE RACK - PLAN VIEW AND ELEVATION
SCALE: 1/2" = 1'-0"



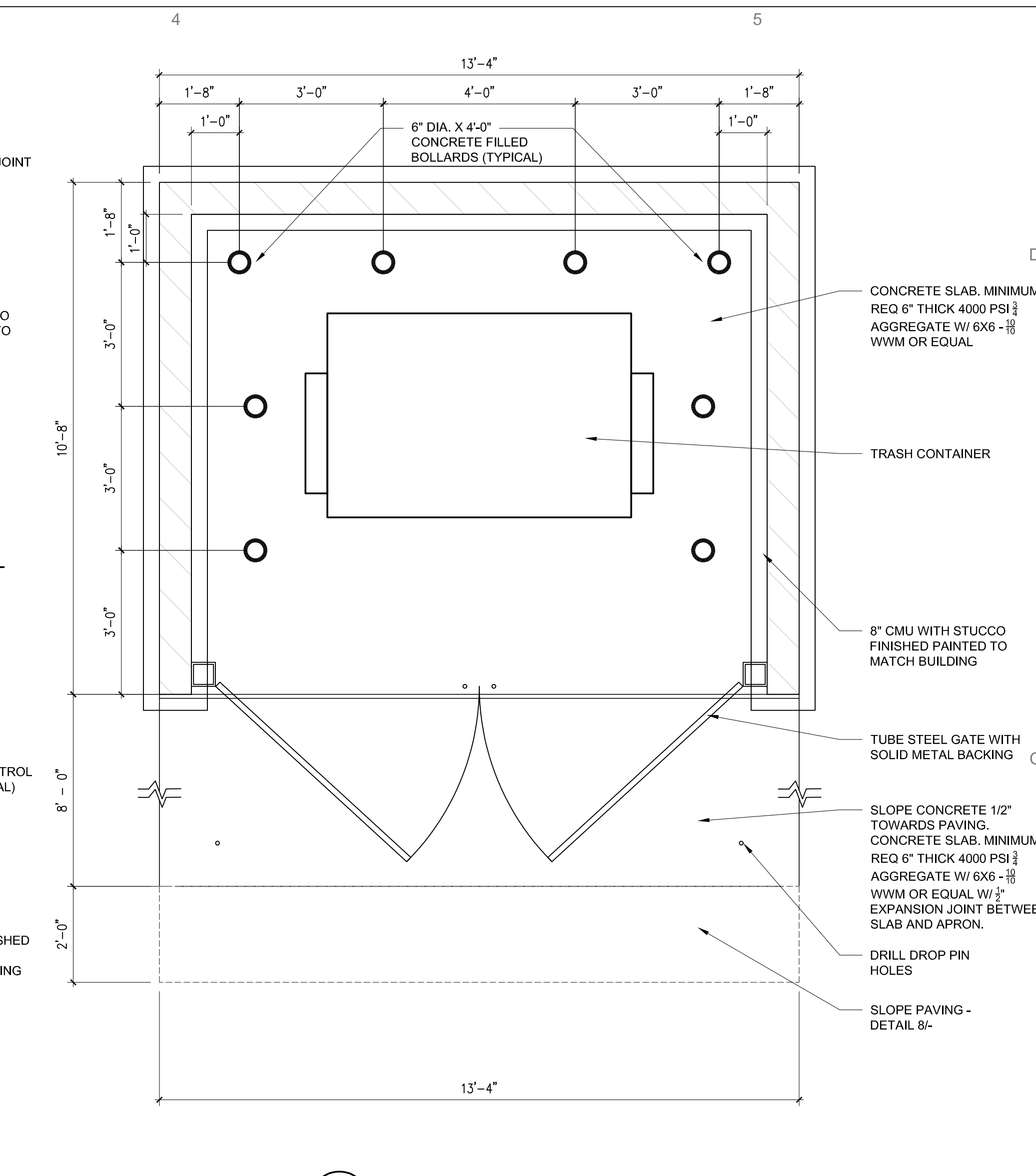
3 EAST/WEST ELEVATIONS
SCALE: 1/2" = 1'-0"



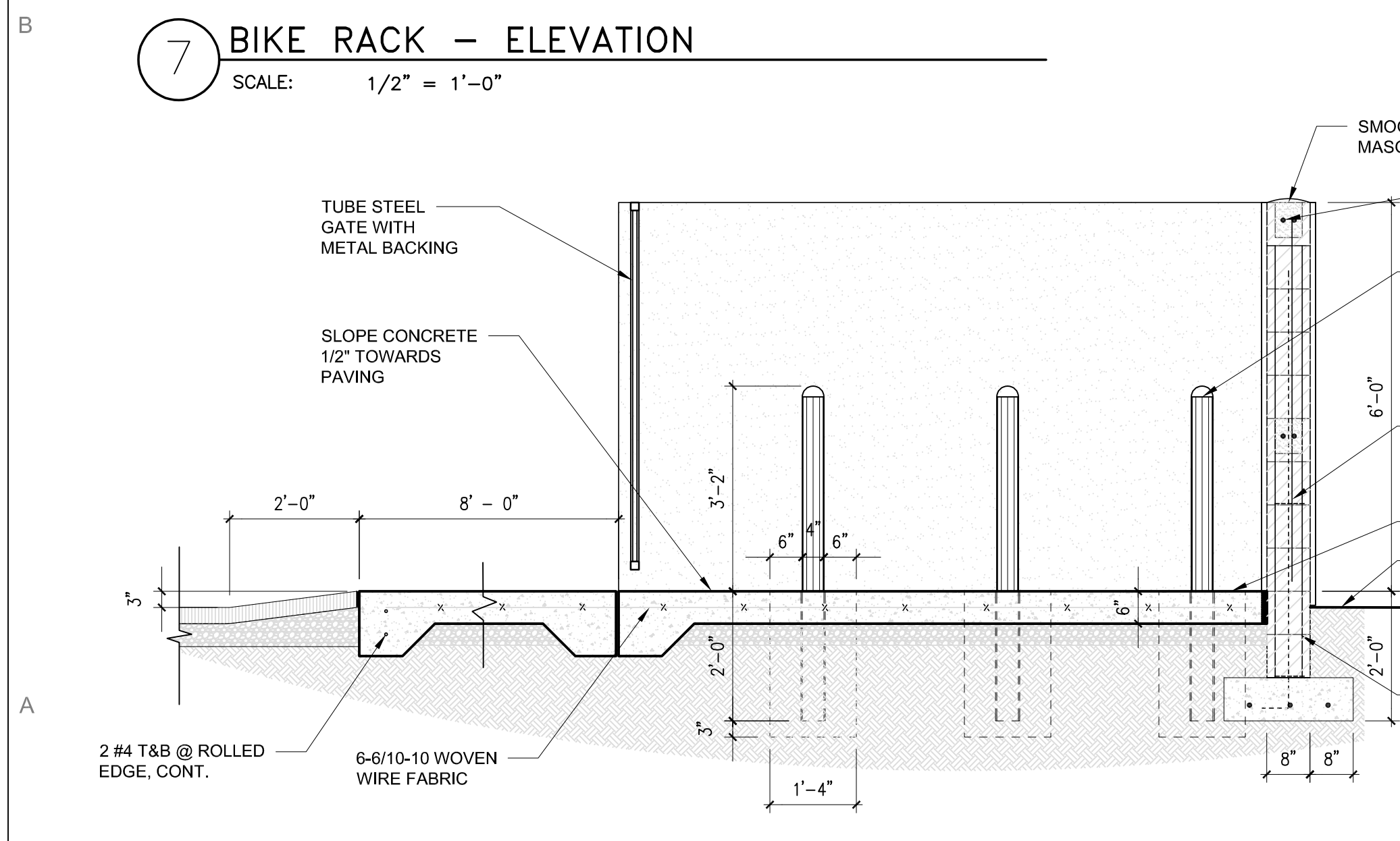
7 BIKE RACK - ELEVATION
SCALE: 1/2" = 1'-0"



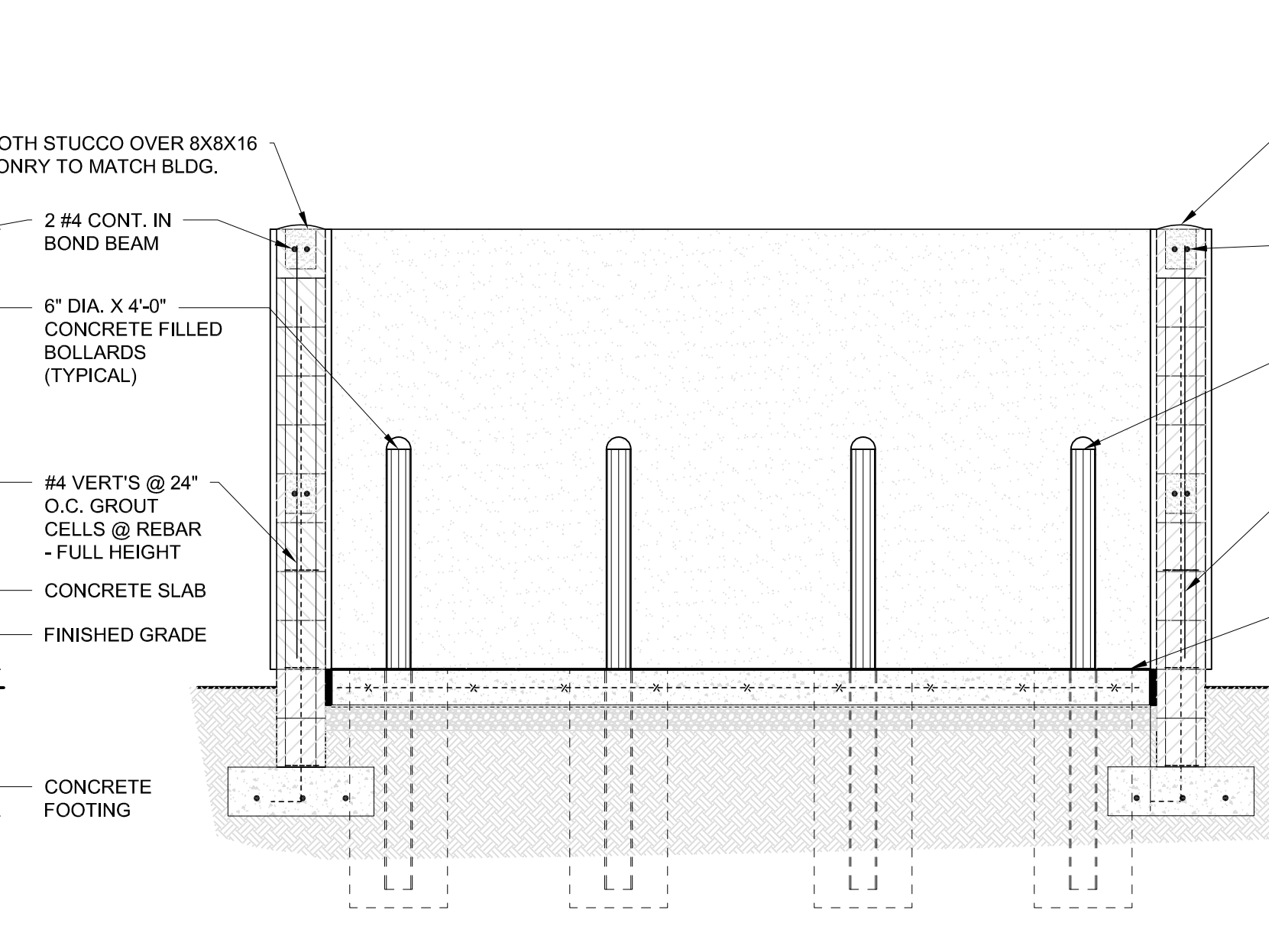
4 NORTH ELEVATION
SCALE: 1/2" = 1'-0"



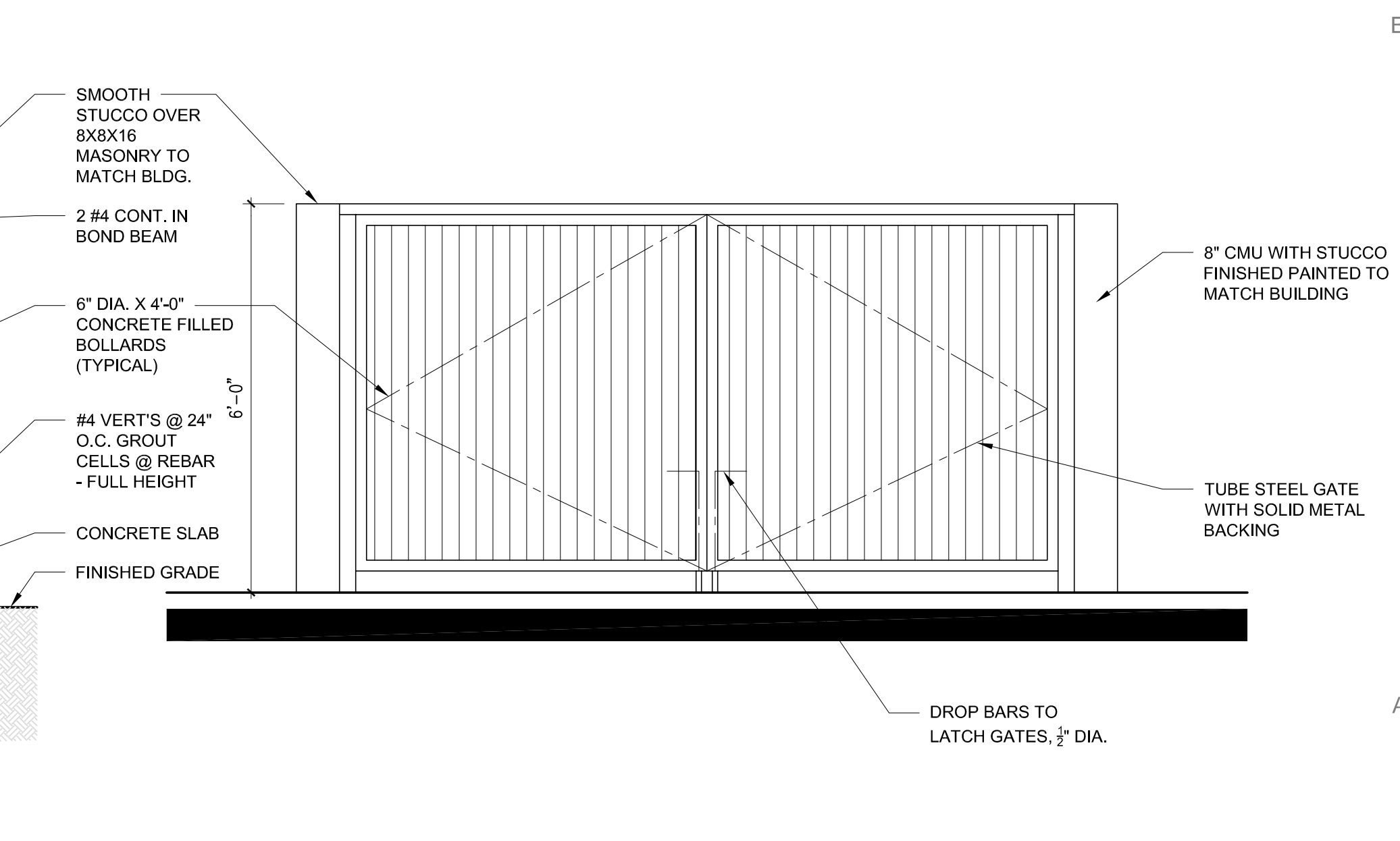
1 TRASH ENCLOSURE PLAN
SCALE: 1/2" = 1'-0"



8 SECTION @ TRASH
SCALE: 1/2" = 1'-0"



5 SECTION @ TRASH
SCALE: 1/2" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/2" = 1'-0"

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CAD DWG FILE:
DWL-NM_APS_OSUNA

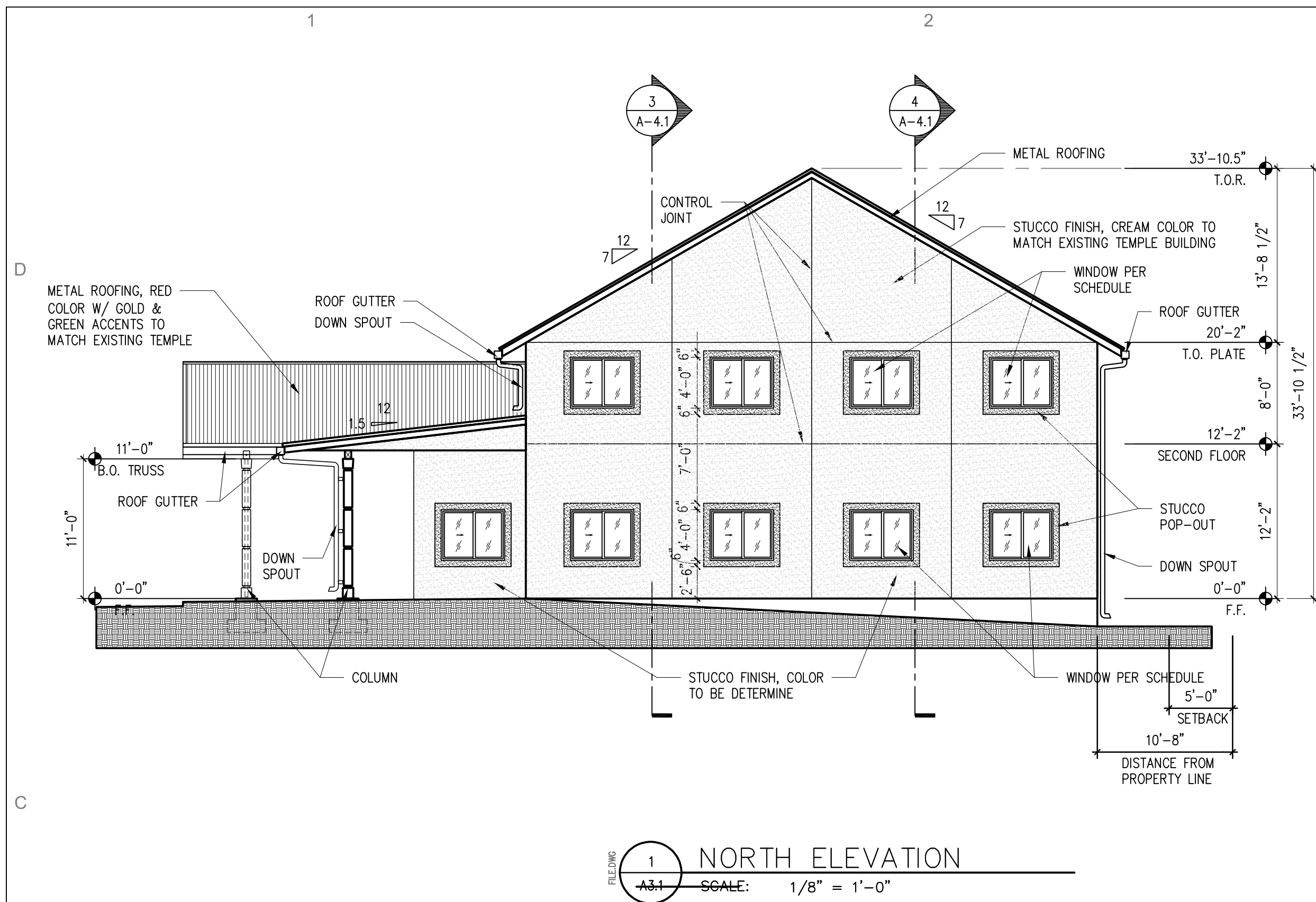
DRAWN BY:
S.S.

CHECKED BY:
W. EASTMAN

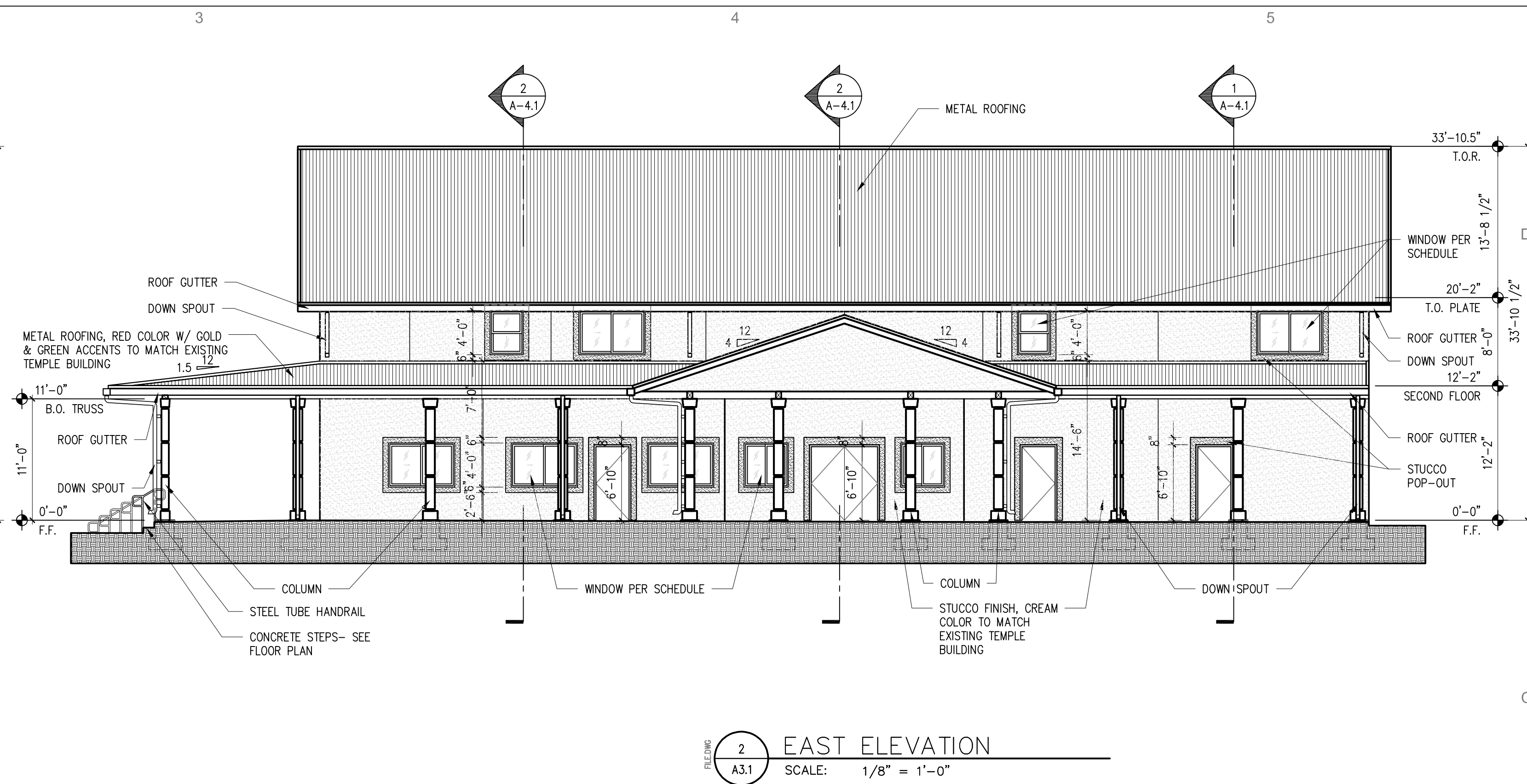
SHEET TITLE:
TRASH ENCLOSURE
PLAN AND DETAILS

A1.3

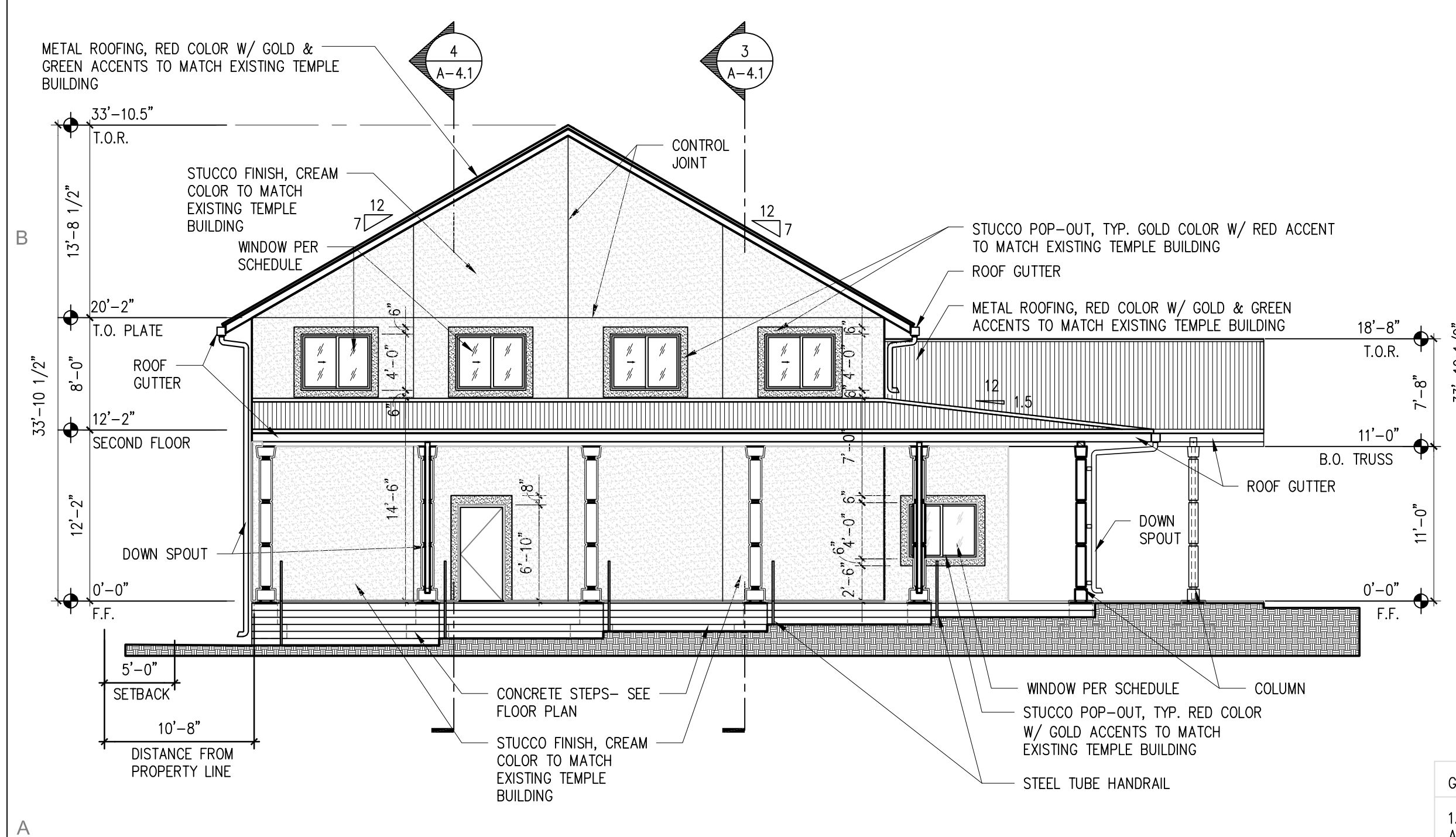
XX OF XX SHEET



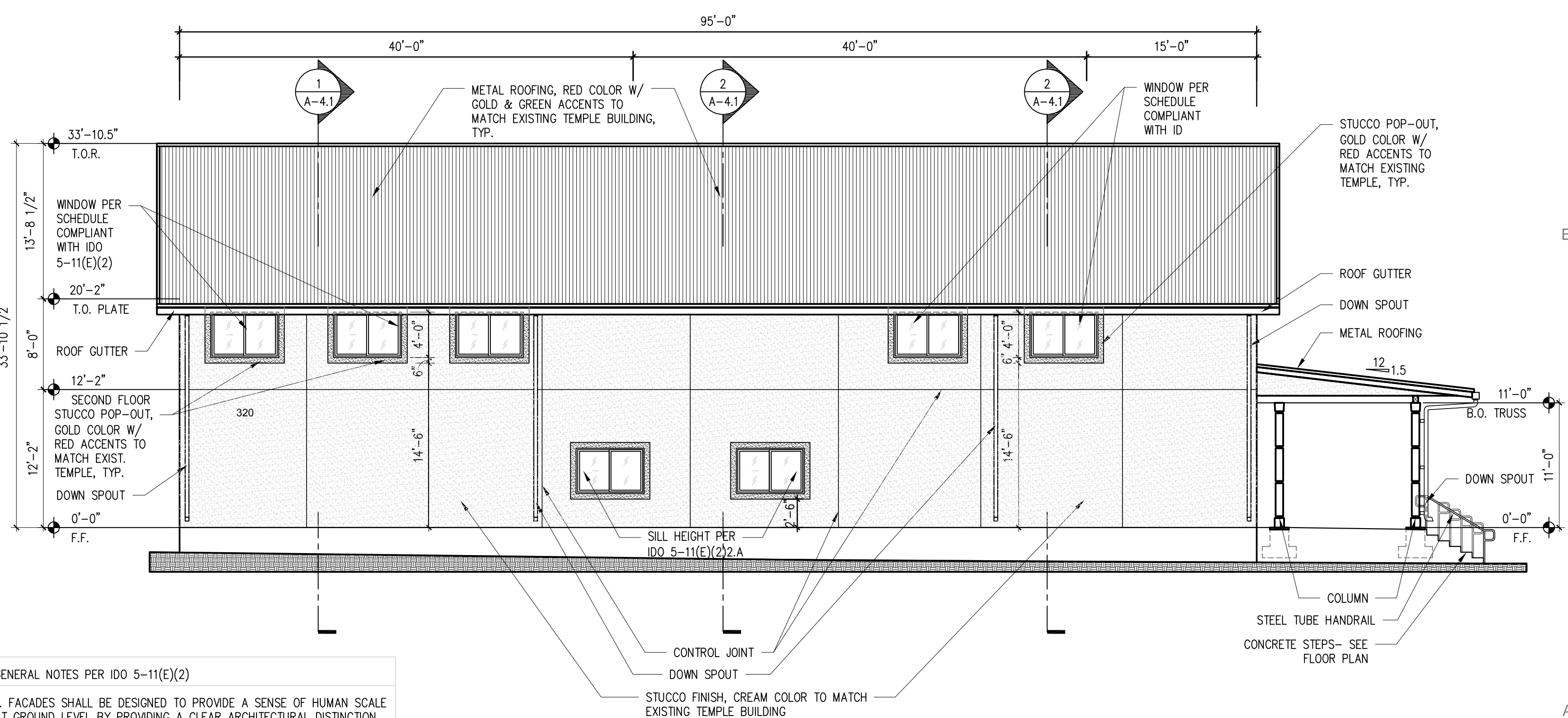
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



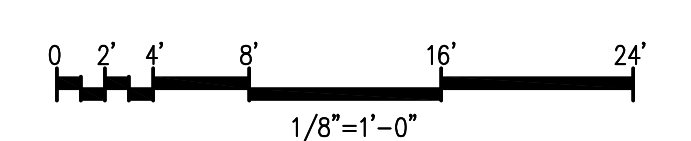
4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES PER IDO 5-11(E)(2)

1. FACADES SHALL BE DESIGNED TO PROVIDE A SENSE OF HUMAN SCALE AT GROUND LEVEL BY PROVIDING A CLEAR ARCHITECTURAL DISTINCTION BETWEEN GROUND FLOOR LEVELS AND ALL ADDITIONAL LEVELS.
2. EACH STREET-FACING FACADE (WEST ELEVATION) SHALL INCORPORATE THE FOLLOWING FEATURES ALONG AT LEAST 30% OF THE LENGTH OF THE FACADE, DISTRIBUTED ALONG THE FACADE SO THAT AT LEAST 1 OF THE INCORPORATED FEATURES OCCURS EVERY 40 FEET.
 - (A) GROUND FLOOR TRANSPARENT WINDOWS WITH THE LOWER EDGE OF WINDOW SILLS NO HIGHER THAN 30" FROM FF.
 - (B) WINDOWS ON UPPER FLOORS.



DWL ARCHITECTS
DWL ARCHITECTS & PLANNERS, INC. OF NM
202 CENTRAL AVE. S.E.
EAST COURTYARD
ALBUQUERQUE,
NEW MEXICO, 87102
PH (505) 242-6202
FAX (505) 242-4199
W.EASTMAN@DWLNM.COM

STATE OF NEW MEXICO
WILLIARD EASTMAN
2181
REGISTERED ARCHITECT
2-08-2023

WAT PHRATHAT DOI SUTHEP NM
CONGREGATE LIVING
NON-TRANSIENT
320 LOUISIANA BLVD. SE.
ALBUQUERQUE, NEW MEXICO 87108-3183

ISSUE/REVISION

PROJECT NUMBER:
20_1611.03

CAD DWG FILE:
DWL-NM_APS_OSUNA

DRAWN BY:
S.S.

CHECKED BY:
W. EASTMAN

SHEET TITLE:
EXTERIOR BUILDING ELEVATIONS

A3.1
XX OF XX SHEET

WAT PRATHAT DOI SUTHEP
BUDDHIST TEMPLE OF NEW MEXICO
EPC SITE PLAN MAJOR AMENDMENT
DFT SIGN OFF



DWL Architects & Planners, Inc. of New Mexico
300 Central Ave. SE, East Courtyard
Albuquerque, New Mexico 87102
Phone: (505) 242-6300

EPC NOD & LETTER

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



AMENDED (2-23-2023 due to incorrect applicant Address)
OFFICIAL NOTIFICATION OF DECISION

December 15, 2022

Wat Prathat Doi Suthep Buddhist Temple of New Mexico
320 Louisiana Blvd NE
Albuquerque, NM 87108

Project # PR-2022-007851
SI-2022-02075 - Site Plan- Major Amendment

LEGAL DESCRIPTION:

DWL Architects & Planners, Inc. of NM, agent for Wat Prathat Doi Suthep Buddhist Temple of New Mexico, requests a Site Plan- Major Amendment for all or a portion of Lot 33A, Block 10, La Mesa Addn. No. 2 located at 320 Louisiana Blvd. SE, at the NE corner of Louisiana Blvd. SE and Zuni Rd. SE, approximately 1.14 acres (K-19-Z)
Staff Planner: Megan Jones

On December 15, 2022, the Environmental Planning Commission (EPC) voted to APPROVE Project # PR-2022-007851, SI-2022-02075 - Site Plan- Major Amendment, based on the following Findings and subject to the following Conditions of Approval:

FINDINGS

1. The request is for a Site Plan-EPC, Major Amendment for an approximately 1.14-acre site legally described as all or a portion of Tracts 33A, Block 10, Unit 10, La Mesa Addn. No. 2 located at 320 Louisiana Blvd. SE, at the NE corner of Louisiana Blvd. SE and Zuni Rd. SE (the "subject site").
2. The subject site is zoned MX-M (Mixed-use Medium Intensity), a zoning designation received upon adoption of IDO in May 2018. The subject site was formerly zoned C-2 (Community Commercial).
3. The request requires Site Plan-EPC approval because the EPC was the original approving body of the controlling Site Development Plan and the expansion increases the gross floor area over 25 percent of the originally approved gross floor area.
4. The applicant wishes to amend the controlling Site Development Plans to demolish the existing 2,613 SF building on the western portion of the subject site and develop a new 8,529 square

foot multipurpose building for a dormitory use (Project # 1000194). The request would expand the originally approved Gross Floor Area (GFA) by 5,916 SF.

5. The applicant is requesting that the most recently approved plat (PR # 1009642) is included in the record as an attached exhibit with the proposed amended site plan.
6. The applicant is requesting that the EPC relinquish its controlling authority over the existing Site Development Plans, which would then be subject to IDO processes and any future amendments would be reviewed administratively.
7. The subject site is located in an Area of Change as designated by the Comprehensive Plan and is part of the Near Heights Community Planning Area (CPA).
8. The subject site is located on a Major Transit Corridor, Louisiana Blvd. SE and is within the International Market Activity Center.
9. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
10. The request is consistent with the following Comprehensive Plan Goal and Policies regarding Desired Growth and Efficient Development patterns from Chapter 5: Land Use.
 - A. Policy 5.1.1 – Desired Growth: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

The specific amendment would allow an additional 5,916 SF of Gross Floor Area to the existing Site Development Plan for a Dormitory use that is associated with the current religious institution use. Since the subject site is located along the Louisiana Blvd. SE, Major Transit Corridor and is within the International Market Activity Center, the proposed future development would be utilized by existing residents on the site. Additionally, the subject site is located in an Area of Change which allows for development that benefits the surrounding community. The redevelopment of a portion of the site could allow the religious institution to continue to capture congregation members from the surrounding International Market community and potential regional growth from the greater Albuquerque Metro, which the applicant has stated that the religious institution already does. The request would facilitate redevelopment of the site, which includes new fencing, landscaping, and lighting, that the surrounding community could utilize for community gathering purposes.

- B. Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request would continue to create a healthy and sustainable community because it would facilitate the proposed redevelopment on the subject site in an area with a mix of uses the surrounding distinct International District community utilizes. The subject site is

conveniently accessible from surrounding neighborhoods and the applicant has stated that the religious institution and new multi-purpose building will be available for community use. The development made possible by the request would contribute to the distinct character of the surrounding community.

- C. Goal 5.3 – Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request furthers this Goal because the amendment of the existing site development plan would facilitate development of the proposed site plan, which would be served by existing infrastructure and public facilities. The development made possible by the request would promote efficient development patterns and use of land that would remain consistent with the surrounding distinct community.

11. The request is consistent with the following Comprehensive Plan Goal and Policy regarding Activity centers and City Development Areas from Chapter 5: Land Use.

- A. Policy 5.1.6- Activity Centers: Foster mixed-use centers of activity with a range of services and amenities that support healthy lifestyles and meet the needs of nearby residents and businesses.

The request would facilitate the proposed redevelopment of the subject site that would provide an amenity that could support the healthy lifestyle of the religious congregation by providing new amenities for the surrounding community to utilize. The request would allow additional GFA on the site could meet the needs of nearby residents to gather and hold community activities in the International Market Activity Center, which is intended to Activity Centers provide convenient, day-to-day services at a neighborhood scale to serve the surrounding area, which the request would help to facilitate.

- B. Goal 5.6 – City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is located in an Area of Change, in the International Market Activity Center and along the Louisiana Blvd. Major Transit Corridor, where growth is expected and desired. The request would encourage enable and direct growth to it.

12. The request is consistent with the following Comprehensive Plan Policy from Chapter 7: Urban Design

Policy 7.3.2 - Community Character: Encourage design strategies that recognize and embrace the character differences that give communities their distinct identities and make them safe and attractive places.

The request would facilitate proposed development of a multi-purpose Dormitory, which would be developed pursuant to IDO Design Standards for its location in the International Market

Activity Center and along a Major Transit Corridor, which encourages design strategies to make a safe and attractive place. The applicant has provided a proposed Site Plan which would reflect the design of the existing development on the subject site, therefore embracing the character and distinct identity of the surrounding International District community.

13. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(J)(3) as follows:
 - A. 14-16-6-6(J)(3)(a) As demonstrated by the policy analysis of the site plan, the request is consistent with applicable Comprehensive Goals and Policies.
 - B. 14-16-6-6(J)(3)(b) The subject site is zoned MX-M; therefore, this criterion does not apply.
 - C. 14-16-6-6(J)(3)(c) With the application of conditions of approval, the site plan would comply with all applicable provisions of the IDO.
 - D. 14-16-6-6(J)(3)(d) The proposed new development would utilize existing infrastructure and public utilities on the property. The City's existing infrastructure has adequate capacity for the proposed development and the ABCWUA has approved a water availability statement for the subject site.
 - E. 14-16-6-6(J)(3)(e) The applicant has demonstrated that the request would not negatively impact the surrounding area based on their responses to applicable Comp Plan Goals and Policies. The applicant has stated that efforts to mitigate adverse impacts on the subject site and surrounding area have been proposed through landscape improvements, grading improvements, and new accessible routes.
 - F. 14-16-6-6(J)(3)(f) The subject property is not within a Master Development Plan, therefore this criterion does not apply. The applicant has stated that the proposed development complies with the Near Heights MRA standards.
 - G. 14-16-6-6(J)(3)(g) The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required. Therefore, the above criterion does not apply.
14. The affected, registered neighborhood organizations are the Trumbull Village Association, South San Pedro neighborhood association, and the District 6 Coalition of Neighborhood associations which were notified as required. Property owners within 100 feet of the subject site were also notified, as required.
15. The applicant should coordinate with the Albuquerque Police Department regarding comments provided for Crime Prevention through Environmental Design.
16. Conditions of approval are needed to ensure that applicable IDO regulations are met and to provide clarification.

17. The applicant has demonstrated that there were no requests for a public meeting concerning this project.
18. As of this writing, Staff has not received any comment in support or opposition to the request.

CONDITIONS OF APPROVAL

1. The EPC delegates final sign-off authority of this site development plan to the Site Plan-Administrative Process as per IDO Section 6-5(G)(1). The reviewer will be responsible for ensuring that the EPC Conditions have been satisfied and that other applicable City requirements have been met.
2. The applicant shall coordinate with the Staff planner prior to submitting for Building Permit.
3. Landscaping: The applicant must show that the required 75% of ground cover is being provided.
4. Site Plan: Site Plan must show all required dimensions including dimensions between light fixtures.
5. Wall/Fence height shall be subject to IDO standards unless a variance is obtained.
6. Elevations shall specify building materials and colors.
7. CONDITIONS FROM THE SOLID WASTE MANAGEMENT DEPARTMENT
 - A. A site plan approved for access signed by the Solid Waste Department will be required.
 - B. The trash enclosure will have to meet the City of Albuquerque's minimum requirements.
8. CONDITIONS FROM PNM
 - A. Applicant will coordinate with PNM regarding any existing easements that have to be revisited and/or new easements that need to be created for any electric facilities as determined by PNM.
 - B. Any existing and/or new PNM easements and facilities need to be reflected on this Site Plan.
 - C. Typical electric utility easement widths vary depending on the type of facility. On-site transformers should have a five-foot clear area on the sides and rear and ten-foot in front to allow for access and maintenance.
 - D. Structures, especially those made of metal like storage buildings and canopies, should not be within or near PNM easements.
 - E. Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **January 3, 2023**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

OFFICIAL NOTICE OF DECISION

Project # PR-2022-007851

December 15, 2022

Page 6 of 6

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the Integrated Development Ordinance (IDO), Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal an EPC Recommendation to the City Council since this is not a final decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the IDO must be complied with, even after approval of the referenced application(s).

Sincerely,

Catalina Lehner

for Alan M. Varela,
Planning Director

AV/MJ/CL

cc: Wat Prathat Doi Suthep Buddhist Temple of New Mexico, mimysingvilay@gmail.com
DWL Architects & Planners, Inc. of NM, w.eastman@dwlnm.com
Trumbull Village Association, Joanne Landry, landry54@msn.com
Trumbull Village Association, Alyce Ice, alyceice@gmail.com
South San Pedro NA, Zabdiel Aldaz, zabdiel505@gmail.com
South San Pedro NA, Khadijah Bottom, khadijahasili@vizionz.org
District 6 Coalition of Neighborhood Association, Patricia Willson, info@willsonstudio.com
District 6 Coalition of Neighborhood Association, Mandy Warr, mandy@theremedyspa.com
Legal, dking@cabq.gov
EPC File

POST EPC MEMORANDUM

TO: Development Facilitation Team (DFT)

FROM: Megan Jones, Senior Planner

DATE: 02/23/2023

RE: PR-2022-007851, SI-2022-02075-Buddhist Temple, Site Plan – EPC Major Amendment

The agent (DWL Architects) for the Buddhist Temple Site Plan-EPC Major Amendment, has worked with Staff to fulfill post EPC requirements to meet Conditions of Approval, 1-8, for SI-2022-02075. See EPC Notice of Decision (NOD) dated 12-15-2022

The applicant provided a letter (see attached), describing how each condition has been satisfied in regards to the site plan, landscaping, wall heights, and elevations.

Responses to Conditions:

1. The applicant must submit the site plan for a Site Plan Administrative review to obtain a building permit, which they have agreed to.
2. The applicant has provided the attached letter and updated drawings to staff prior to submitting for building permit to ensure Conditions have been met.
3. Condition has been met.
4. Condition has been met.
5. A variance for the 8-foot wall must be obtained pursuant to IDO 6-6(O) VARIANCE – ZHE. The existing wall along Zuni Rd. in the controlling Site Development Plan was constructed prior to the IDO effective date in 2018. At that time, 8-foot walls were allowed and there were no height limitations for walls in non-residential zones (see Zoning Ordinance in effect prior to 2018). If the applicant wishes to develop an 8-foot wall that matches the existing wall, a variance must be obtained to meet maximum wall height standards in IDO 5-7 before construction.
6. Condition has been met.
7. The applicant has transmitted the Site Plan to Solid Waste. They are working with them for an approved site plan for access.
8. Condition has been met and applicant is working with PNM.

DWL Architects, Agent for Wat Prathat Doi Suthep Buddhist Temple of New Mexico, has satisfied Conditions for NOD dated December 15, 2022 (PR-2022-007851, SI-2022-02075) Site Plan EPC, Major Amendment. A variance for the proposed wall along Louisiana Blvd. must be obtained before construction.

Megan Jones

Megan Jones, Senior Planner
Current Planning, Urban Design & Development
City of Albuquerque Planning Department



Willard L. Eastman, AIA

February 6, 2023

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

Project # PR-2022-007851

SI-2022-02075 - Site Plan- Major Amendment

LEGAL DESCRIPTION:

DWL Architects & Planners, Inc. of NM, agent for Wat Prathat Doi Suthep Buddhist Temple of New Mexico, requests a Site Plan- Major Amendment for all or a portion of Lot 33A, Block 10, La Mesa Addn. No. 2 located at 320 Louisiana Blvd. SE, at the NE corner of Louisiana Blvd. SE and Zuni Rd. SE, approximately 1.14 acres (K-19-Z)

Staff Planner: Ms. Megan Jones

Please review the attached Site Plan – Major Amendment drawing which reflects the Temple’s designation of west and south property to the city for the installation of the “International District” streetscape elements and landscaping, the expansion of existing site landscaping along Louisiana Boulevard SE with this project and the incorporation of the Conditions of Approval issued December 15, 2022. Items 1 – 8 are restated below along with a response to each.

CONDITIONS OF APPROVAL AND RESPONSES:

1. The EPC delegates final sign-off authority of this site development plan to the Site Plan-Administrative Process as per IDO Section 6-5(G)(1). The reviewer will be responsible for ensuring that the EPC Conditions have been satisfied and that other applicable City requirements have been met.
The applicant Wat Prathat Doi Suthep Buddhist Temple of New Mexico acknowledges that the property at 320 Louisiana Boulevard SE site development plan will concur with the Site Plan Administrative Process as per IDO Section 6-5(G)(1).
2. The applicant shall coordinate with the Staff planner prior to submitting for Building Permit.
These responses to the conditions of approval have been coordinated with the Staff Planner prior to submitting for Building Permit.
3. Landscaping: The applicant must show that the required 75% of ground cover is being provided.
The Site Landscaping Plan A-1.4 reflects that the required 15% landscaped area has plantings with trees and/or groundcovers over 75% of the landscaped areas. Site Area 49,658 SF (1.14 acres) less



Willard L. Eastman, AIA

existing building 4,000 SF plus new building 8,529 SF equals 37,129 SF. Required landscape area 15% = 5,569 SF, provided landscape area 7,047 SF (18%).

4. **Site Plan:** Site Plan must show all required dimensions including dimensions between light fixtures. The site plan reflects the required dimensions and annotates the site lighting at each CMU pilaster, both existing and new, are on a 12'-0" on center spacing along Zuni Road and Louisiana Boulevard SE. The covered patio of the residence is illuminated from fixtures on its exterior soffit. Existing solar landscape ground lighting remains in-place and will be augmented with new fixtures once the project is completed within the new landscaped areas.

5. **Wall/Fence height** shall be subject to IDO standards unless a variance is obtained.

The IDO reflects within MX-M zoning a wall height on side and front yards of 3'-0" and walls on other locations of the lot to not exceed 8'-0" tall. [Footnote 4. Taller walls may be approved in any mixed-use zone district pursuant to Subsection 14-16-5-7D3C] The new masonry site walls are 2'-8" high 10'-0" long between 2'-0" square by 6'-0" high masonry pilasters at each end of the low wall. Decorative steel picket fence panels are placed between the pilasters. This design replicates the existing site perimeter wall along Zuni and Louisiana Boulevard. In accordance with the IDO a request for variance will be submitted for review and approval. This perimeter site wall/fence design with the pilaster top lighting reflects the recommendations of "Crime Prevention through Environmental Design" (CPTED). The User's will contact APD reviewer Laura Kuehn, NCPS/ICPS regarding the CPTED recommendations and the offer to conduct an on-site security survey after the project is complete.

6. **Elevations** shall specify building materials and colors.

The building exterior stucco field colors will be similar to the exterior finishes of the existing Temple building. Cream color stucco for the exterior wall finish, gold color stucco "frames" around building window and door openings with red color accents. There will be a red metal roof panel with eave and soffit trim elements with gold and green color accents.

7. **CONDITIONS FROM THE SOLID WASTE MANAGEMENT DEPARTMENT**

A. A site plan approved for access signed by the Solid Waste Department will be required.

A site plan and details with dimensions has been transmitted to SWMD Herman Gallegos (hgallegos@cabq.gov) code enforcement/dispatch supervisor for site plan approval of access to the trash enclosure.

B. The trash enclosure will have to meet the City of Albuquerque's minimum requirements.

The trash enclosure design on sheet A1.3 Plan & Details reflect the SWMD dimensions and construction materials requirements of the "enclosure specifications" document. This enclosure does not require an exterior sanitary sewer drain, this facility is not a "Restaurant, Food Services or Food Distributors" function.



Willard L. Eastman, AIA

8. CONDITIONS FROM PNM

- A. Applicant will coordinate with PNM regarding any existing easements that have to be revisited and/or new easements that need to be created for any electric facilities as determined by PNM.

The upgrade to the existing service application, NSD-20330, for 320 Louisiana Boulevard SE is presently under PNM Engineering, there will not be a requirement for changes to existing easements.

- B. Any existing and/or new PNM easements and facilities need to be reflected on this Site Plan.

There is an existing north south 10' wide public utility easement for overhead electric (OHE) poles and lines which bisects the property. The existing power pole at the south west corner of the temple will have an upgraded pole mounted transformer to serve both the temple and this new Monk's Residence building. The service to the Monk's Residence will be underground from the pole to the building.

- C. Typical electric utility easement widths vary depending on the type of facility. On-site transformers should have a five-foot clear area on the sides and rear and ten-foot in front to allow for access and maintenance.

The existing and new on-site electrical transformers will be pole mounted and be within the existing public utility easements.

- D. Structures, especially those made of metal like storage buildings and canopies, should not be within or near PNM easements.

The new building covered patio at the first floor of the building is 30 feet away from the existing north-south public utility easement with the PNM OHE infrastructure.

- E. Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities.

Both perimeter and interior site landscape design abide by easement restrictions and do not impact PNM facilities.

If there are any questions or further clarification is needed do not hesitate to contact us regarding this communication and the attached drawings: Sheets EPC A.1 EPC Site Plan, EPC A.2 EPC Landscaping Plan, A-3.1 Exterior Elevations and A-1.3 Trash Enclosure Plan and Details.

Best regards,

A handwritten signature in blue ink, appearing to read "W. Eastman", is written over a horizontal line.

File: 20_2201

WAT PRATHAT DOI SUTHEP
BUDDHIST TEMPLE OF NEW MEXICO
EPC SITE PLAN MAJOR AMENDMENT
DFT SIGN OFF



DWL Architects & Planners, Inc. of New Mexico
300 Central Ave. SE, East Courtyard
Albuquerque, New Mexico 87102
Phone: (505) 242-6302

AGENT AUTHORIZATION LETTER



Dillon K. Romero

Wat Prathat Doi Suthep
Buddhist Temple of New Mexico
320 Louisiana Blvd SE
Albuquerque, NM

To whom it may concern,

This letter is to recognize that Wat Prathat Doi Suthep Buddhist Temple of New Mexico, located at 320 Louisiana Blvd SE, authorizes as *Agent*, DWL Architects & Planners, Inc. of New Mexico (DWL/NM) to handle administrative and professional matters regarding the city approvals and permitting of a new Monk's Dormitory and Site Improvements.

As *Agent*, DWL is authorized to communicate and execute duties with 3rd parties, including but not limited to, the City of Albuquerque Planning Department, City of Albuquerque Fire Marshal's office, and other official regulating agencies on behalf of the Buddhist Temple of New Mexico.

This agency shall expire upon completion of the contract and receipt of the building permit.

Wat Prathat Doi Suthep
Buddhist Temple of New Mexico

10-18-22

Date

DWL Architects & Planners, Inc. of NM

10-17-2022

Date

Thank you,
Dillon Romero

DWL Architects & Planners, Inc. of New Mexico

WAT PRATHAT DOI SUTHEP
BUDDHIST TEMPLE OF NEW MEXICO
EPC SITE PLAN MAJOR AMENDMENT
DFT SIGN OFF



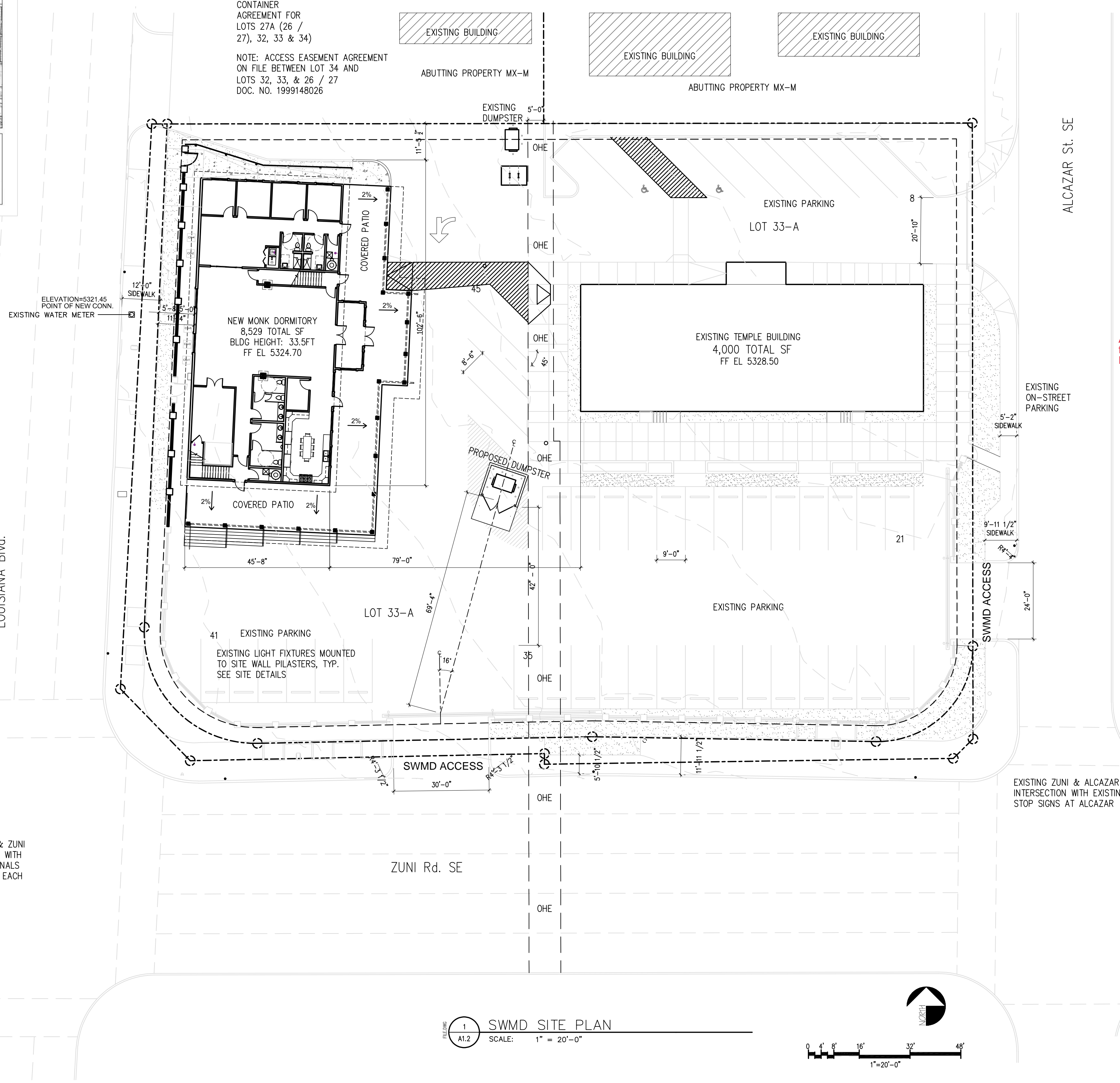
DWL Architects & Planners, Inc. of New Mexico
300 Central Ave. SE, East Courtyard
Albuquerque, New Mexico 87102
Phone: (505) 242-6302

SOLID WASTE APPROVED SITE PLAN



NOTE: RECIPROCAL USE REFUSE CONTAINER AGREEMENT FOR LOTS 27A (26 / 27), 32, 33 & 34)

NOTE: ACCESS EASEMENT AGREEMENT ON FILE BETWEEN LOT 34 AND LOTS 32, 33, & 26 / 27 DOC. NO. 1999148026



NOTE: AT THE DECEMBER 15, 2022 HEARING THE EPC APPROVED A MAJOR AMENDMENT FOR THE ADDITION OF A NEW 8,529 SF BUILDING WITH PARKING AND LANDSCAPING.

WAT PHRATHAT DOI SUTHEP NM USA
320 LOUISIANA BLVD. SE
DWL ARCHITECTS & PLANNERS, INC. OF NEW MEXICO
20_2201
7/27/2022

SITE DEVELOPMENT DATA
LEGAL DESCRIPTION: LT 33-A BLK 10 PLAT OF LT 33-A BLK 10 LA MESA NO. 2 CONT 1.1401AC

LAND AREA:
LOT 33-A 1.14 ACRES
TOTAL LAND AREA 1.14 ACRES

ZONING: MX-M

BUDDHIST TEMPLE MONKS RESIDENCE BUILDING
BUILDING OWNER: WAT PHRATHAT DOI SUTHEP NM USA

BUILDING ADDRESS: 320 LOUISIANA BOULEVARD SE, ALBUQUERQUE, NM 87108

EXISTING BUILDING: MONK'S DORMITORY, ONE STORY R-3 BUILDING ON WEST END OF SITE* TO BE DEMOLISHED FOR NEW BUILDING

NEW CONSTRUCTION:
NEW MONK'S DORMITORY, TWO STORY 3-3 NON-TRANSIENT IN PREVIOUS BUILDING FOOTPRINT WITH (12) DORM ROOMS, MULTI-PURPOSE EVENT SPACE, MEDITATION SPACE & SUPPORT SPACE.

SITE LANDSCAPING IMPROVEMENTS COMPLIANT WITH REGULATIONS & STANDARDS OUTLINED WITHIN THE IDO & CABQ DEVELOPMENT STANDARDS INCLUDING ADA CROSSWALK AND SITE STRIPING
NEW SITE MASONRY AND DECORATIVE STEEL FENCE TO MATCH EXISTING WITH INTEGRATED WALL MOUNTED ACCENT LIGHT FIXTURES

LIFE SAFETY CRITERIA
BUDDHIST TEMPLE MONKS RESIDENCE BUILDING TO HAVE AN AUTOMATIC FIRE SUPPRESSION SYSTEM (S)

- CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION
 - 1.1 SECTION 310: RESIDENTIAL GROUP R
310.5 RESIDENTIAL GROUP R-3. "RESIDENTIAL GROUP R-3 OCCUPANCIES WHERE THE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE AND NOT CLASSIFIED AS GROUP R-1, R-2, R-4 OR I, INCLUDING: CONGREGATE LIVING FACILITIES (NONTRANSIENT) WITH 16 OR FEWER OCCUPANTS"

- PARKING CALCULATIONS
 - OFF STREET PARKING SPACES:
REQUIRED: (IDO TABLE 5-5-1)
3 PERSONS / 1 PARKING SPACE
ACTUAL:
12 PERSONS / 3 PERSONS
= 4 POV SPACES REQUIRED
PROVIDED:
6 OFF STREET PARKING SPACES

- ACCESSIBLE PARKING SPACES:
REQUIRED: (ADAAG TABLE 208.2)
1 HC / 25 PARKING SPACES
PROVIDED:
1 VAN ACCESSIBLE SPACE

- MOTORCYCLE PARKING SPACES:
REQUIRED: (IDO TABLE 5-5-4)
1 / 25 PARKING SPACES
PROVIDED:
1 SPACE

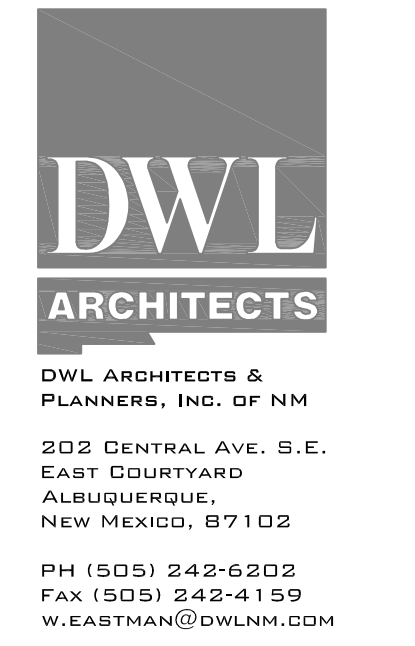
- BICYCLE PARKING SPACES:
REQUIRED: (IDO TABLE 5-5-5)
3 PERSONS / 1 PARKING SPACE
ACTUAL:
12 PERSONS / 3 PERSONS
= 4 SPACES REQUIRED
PROVIDED:
4 BICYCLE PARKING SPACES

NOTE: THIS FACILITY WILL ALSO SHARE PARKING WITH THE TEMPLE BUILDING. THE EXISTING PARKING PROVIDED IS TO REMAIN AND IS IN COMPLIANCE WITH IDO AND REGULATORY REQUIREMENTS.

The temple agreed to pay an extra fee per month for lock at two gates (ZUNI Rd SE and Alcazar St SE).

DEPARTMENT OF SOLID WASTE TO USE GATES INDICATED BELOW FOR ACCESS WITH SWMD LOCKS.

Approved for access by the Solid Waste Department for a single trash enclosure. "Hazard Route Only" Herman Gallegos 02-27-23 *Herman Gallegos*



WAT PHRATHAT DOI SUTHEP NM
CONGREGATE LIVING
NON-TRANSIENT
320 LOUISIANA BLVD. SE.
ALBUQUERQUE, NEW MEXICO 87108-3183

ISSUE/REVISION

PROJECT NUMBER:
20_1611.03

CAD DWG FILE:
DWL-NM_APS_OSUNA

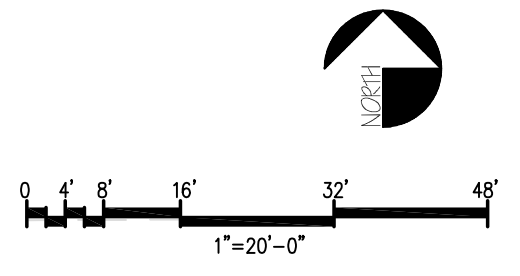
DRAWN BY:
S.S.

CHECKED BY:
W. EASTMAN

SHEET TITLE:

EPC
SWMD SITE PLAN
SWMD A.1

1 SWMD SITE PLAN
SCALE: 1" = 20'-0"



EXISTING LOUISIANA & ZUNI 4-WAY INTERSECTION WITH EXISTING TRAFFIC SIGNALS AND CROSSWALKS IN EACH DIRECTION.

EXISTING ZUNI & ALCAZAR INTERSECTION WITH EXISTING STOP SIGNS AT ALCAZAR

WAT PRATHAT DOI SUTHEP
BUDDHIST TEMPLE OF NEW MEXICO
EPC SITE PLAN MAJOR AMENDMENT
DFT SIGN OFF



DWL Architects & Planners, Inc. of New Mexico
300 Central Ave. SE, East Coastland
Albuquerque, New Mexico 87102
Phone: (505) 242-6300

ABCWUA AVAILABILITY & APPROVED GRADING AND DRAINAGE

November 18, 2022

Chair

Klarissa J. Peña
City of Albuquerque
Councilor, District 3

Vice Chair

Debbie O'Malley
County of Bernalillo
Commissioner, District 1

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Councilor, District 7

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City of Albuquerque
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Charlene Pyskoty
County of Bernalillo
Commissioner, District 5

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County of Bernalillo
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Village of Los Ranchos
Board Trustee

Executive Director
Mark S. Sanchez

Website
www.abcwua.org

Willard Eastman
DWL Architects & Planners, Inc. of New Mexico
202 Central Ave SE, East Courtyard
Albuquerque, NM 87102

RE: Water and Sanitary Sewer Availability Statement #221002
Project Name: Wat Prathat Doi Suthep Buddhist Temple of New Mexico New Dormitory
Project Address: 320 Louisiana Blvd SE Albuquerque New Mexico
Legal Description: Lot 33-A, Block 10, La Mesa Subdivision
UPC: 101905701501730104
Zone Atlas Map: K1-8, K-19

Dear Mr. Eastman:

Project Description: The subject site is located north of Zuni Road, between Louisiana Boulevard and Alcazar Street within the City of Albuquerque. The proposed development consists of approximately 1.14 acres and the property is currently zoned MX-M for moderate intensity mixed-use. The property lies within the Pressure Zone 3E in the Ridgecrest Trunk.

The request for availability indicates plans for commercial development, namely a new two-story R-3 non-transient living building for the Buddhist Temple of New Mexico. The new dormitory is building a replacement of the existing multi-use building.

Existing Conditions: Water infrastructure in the area consists of the following:

- Abandoned four-inch cast-iron distribution line (project # 03-014-56) along Louisiana Boulevard.
- 12-inch PVC distribution line that transitions into an existing four-inch cast iron distribution line (project #26-4324.90-96) along Louisiana Boulevard.
- Four-inch cast-iron distribution line (project #03-014.56) along Louisiana Boulevard.
- Six-inch cast-iron distribution line (project #03-26-64) along Zuni Road.
- Six-inch cast-iron distribution (project #03-24-70) along Alcazar Street.

Sanitary sewer infrastructure in the area consists of the following:

- Eight-inch PVC sanitary sewer collector (project #26-1671-87) along Louisiana Boulevard.
- Eight-inch PVC sanitary sewer collector (project #26-1823-86) along Alcazar Street.

Water Service: Water service is currently available at this location. If the service connection needs to be revised, new metered water service to the property can be provided via routine connection to the existing six-inch distribution lines along Zuni Road and Alcazar Street. Service can also be provided by routine connection to the

existing 12-inch distribution line along Louisiana Boulevard. No new service connections shall be made at the four-inch cast-iron distribution line along Louisiana Boulevard. The engineer is responsible for determining pressure losses and sizing of the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and collar removed.

Non-Potable Water Service: Currently, there is no non-potable infrastructure available to serve the subject property.

Sanitary Sewer Service: Sanitary sewer service is already available at this location. If the service connection needs to be revised, new sanitary sewer service can be provided via routine connection to the sewer infrastructure described in the preceding Existing Conditions section. No property shall share a private sewer service with any other property. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

Fire Protection: From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 1750 GPM gallons-per-minute. One fire hydrant is required. There is one existing hydrant available and no new hydrants are proposed with this project. As modeled using InfoWater™ computer software, the fire flow can be met. Analysis was performed by simulating the required fire flow at fire hydrant #291 which is along the southern frontage of the project site.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

Cross Connection Prevention: Per the Cross Connection Ordinance, all new non-residential premises must have a reduced pressure principal backflow prevention assembly approved by the Water Authority installed at each domestic service connection at a location accessible to the Water Authority. No tees, branches or possible connection fittings or openings are allowed between the reduced principal backflow prevention assembly and the service connection unless protected by a backflow prevention assembly. These requirements also apply to all remodeled non-residential premises when the work area of the building undergoing repairs, alterations or rehabilitation, as defined in the International Existing Building Code, exceeds 50 percent of the aggregate area of the building regardless of the costs of repairs, alteration, or rehabilitation.

All non-residential irrigation water systems connected to the public water system shall have a pressure vacuum breaker, spill-resistant pressure vacuum breaker, or a reduced pressure principal backflow prevention assembly installed after the service connection. Such devices shall be approved by the Water Authority. No tees, branches or possible connection fittings or openings are allowed between the containment backflow prevention assembly and the service connection.

All non-residential customers connected via piping to an alternative water source or an auxiliary water supply and the public water system shall install a containment reduced pressure principal backflow prevention assembly approved by the Water Authority after the potable service connection.

All new services to private fire protection systems shall be equipped with a containment reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction installed after the service connection. No tees, branches or possible connection fittings or openings are allowed between the containment backflow prevention assembly and the service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the private fire protection system meets or exceeds ANSI/NSF Standard 60.61 throughout the entire private fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections nor connections from auxiliary water supplies.

The Water Authority requests that all backflow (containment) devices be located above ground just outside the easement or roadway right-of-way. Contact Cross Connection at (505) 289-3454 for more information.

Pretreatment – Fats, Oils and Greases: The user is considered to potentially be a Significant Industrial User (as defined in the Sewer Use and Wastewater Control Ordinance (SUO) and summarized below) the user must obtain a Wastewater Discharge Permit from the Industrial Pretreatment Program and comply with all permitting requirements per the SUO section 3-4.

1. The industry falls under one or more EPA categorical pretreatment standards found in Title 40 Code of Federal Regulations, Chapter 1, Subchapter N, Sections 405-471
<https://www.ecfr.gov/current/title-40/chapter-I/subchapter-N>
2. The industry plans to discharge more than 25,000 gallons of wastewater per day.
3. Has reasonable potential to adversely affect the POTWs (sewer system) operation or for violating any pretreatment standard or requirement. (such as potential to discharge a prohibited discharge SUO 3-2-1 or concentrated waste over a Local Limit SUO 3-2-3)

The development is for commercial use and has the potential to discharge Fats, Oils, Grease and/or Solids (FOGS) to the sanitary sewer and/or falls under one of the applicable users in the SUO:

FOGS Applicability SUO Section 3-3-2 A.:

Users "...such as food service establishments, commercial food processors, automotive shops, auto wash racks, car washes, vehicle

fueling stations, septic tank pumpers, grease rendering facilities, breweries/distilleries, bottling plants, commercial and industrial laundries, slaughterhouses & meat packing establishments (fish, fowl, meat, curing, hide curing), oil tank firms and transporters...”

Such Users must comply with all FOGS discharge requirements defined in SUO Section 3-3-2 and FOGS Policy including but not limited to:

1. Installation of an adequately sized Grease Interceptor (GI) approved by the appropriate code enforcement authority (City of Albuquerque, and/or Bernalillo County)
 - a. Interceptors and/or Separators are required for dumpsters pads and outdoor washdown areas that have the potential to discharge grease, sand, solids, flammable liquids to the sanitary sewer. Pad shall be installed at an elevation higher than surrounding grade. It is not required for dumpster pads to have a sewer connection.
 - b. Placement of Interceptors in drive-thru or traffic lanes is not allowed.
2. All FOGS source within the facility are plumbed to the GI as required by the appropriate plumbing code.
3. Long term Best Management Practices (BMP), and GI maintenance such as pumping and manifest requirements.
4. Unobstructed access to inspections of the facility and records.

Easements and Property: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service. A Warranty Deed shall be required when a property will be transferred to the Water Authority for the installation of Water Authority owned facilities such as pump stations, reservoirs, wells, lift stations, or any other facility.

Pro Rata: Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction: Design and construction of all required improvements will be at the developer/property owner’s expense. Improvements must be coordinated through the Water Authority Connection Permit process. However, if the work will be done within the City of Albuquerque public right-of-way, coordination with the City of Albuquerque Design Review and Construction Section must take place if this mechanism will be acceptable. Construction must be performed by a licensed and bonded public utility contractor.

Utility Expansion Charge (UEC): In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service

is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter.

Contact Customer Service at (505) 842-9287 (option 3) for more information regarding account fees.

Water Use: All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Reduction Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

Sincerely,

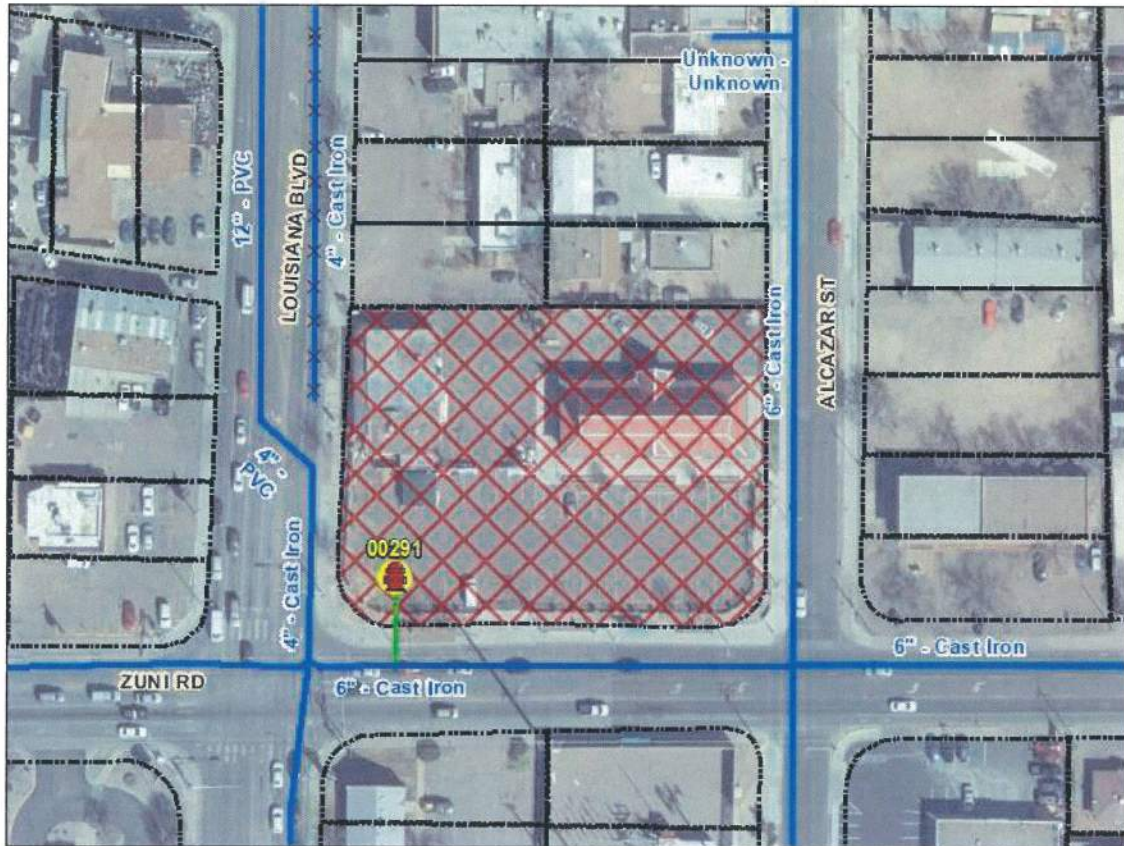


Mark S. Sanchez
Executive Director

Enclosures: Infrastructure Maps

f/ **Availability Statement #221002**

221002 - Water



Legend

-  Hydrant
-  Project Location
-  Base Map City
- Water Pipe**
- Subtype**
-  Distribution Line
-  Hydrant Leg
-  Abandoned
- Fire Flow Analysis Points**
-  Analysis Point - Existing Hydrant (1)



221002 - Sanitary Sewer



Legend

-  Sewer Manhole
-  Project Location
- Sewer Pipe**
- Subtype
-  COLLECTOR
-  Base Map City





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (___# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 27, 2022

Verlyn Miller, P.E.
Miller Engineering Consultants
3500 Comanche NE, Bldg F
Albuquerque, NM 87107

**RE: Wat Phrathat Doi Suthep NM
Conceptual Grading and Drainage Plan
Engineer's Stamp Date: no stamp
Hydrology File: K19D125A**

Dear Mr. Miller:

Based upon the information provided in your submittal received 10-18-22, the Conceptual Grading & Drainage Plan is approved for Administrative Site Amendment.

PO Box 1293

If you have any questions, please contact me at 924-3993 or ccherne@cabq.gov

Albuquerque

Sincerely,

NM 87103

Curtis Cherne, P.E. CFM
Principal Engineer
Planning Department

www.cabq.gov

National Flood Hazard Layer FIRMette



Legend

SEE THIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE) Zone A, X, or D
- With BFE or Depth Zone AE, AO, AH, VE, AR
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard, Areas of 2% Annual Chance Flood with average depth less than one foot or with drainage areas of less than one square mile Zone D
- Future Conditions 1% Annual Chance Flood Hazard Zone D
- Area with Reduced Flood Risk due to Levee. See Notes. Zone D
- Area with Flood Risk due to Levee Zone D

OTHER AREAS

- Area of Minimal Flood Hazard Zone X
- Effective LOMs
- Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES

- Cross Sections with 1% Annual Chance
- Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 8/31/2022 at 9:37 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

DRAINAGE REPORT

SITE LOCATION

The existing site is an approximate 1-acre site located 320 Louisiana Boulevard SE in Albuquerque. The site is located on the east side of Louisiana Boulevard north of Zuni Road and can be accessed via Zuni Road south of the site (see vicinity map this sheet).

EXISTING CONDITIONS

The existing site is estimated at 1-acres and is mostly developed with buildings and asphalt paving. The site currently slopes from the east to west at a mild slope. The site does not lie within a 100-year FEMA floodplain (see FEMA panel on this sheet).

PROPOSED CONDITIONS

The proposed project will consist of a new building to be located on the western portion of the site. There is an existing building located on the eastern portion of the site that will remain. Since the existing site is currently fully developed and there will be no increase in impervious area on the site. The total area of disturbance for this site is estimated at 9481 square feet. The storm water quality volume for this disturbance area is estimated at 202 cubic feet. A small 330 cubic foot storm water quality pond has been provided between the existing on Louisiana and the new perimeter wall. The drainage calculations for proposed conditions are indicated on this sheet.

CONCLUSIONS

When fully developed as indicated on the grading and drainage plan, the runoff from the site will decrease by an estimated at 0.02 cfs and 0.001 acre-feet during the 100-year, 24-hour event. Storm water runoff from the site will discharge to its historical location west into Louisiana Boulevard. A small 330 cubic foot storm water quality pond is proposed along the back of existing sidewalk on Louisiana Boulevard to address the water quality volume required for this site.

- GENERAL NOTES:**
- EXISTING TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY HARRIS SURVEYING INC., CORRALES, NEW MEXICO AUGUST, 2022. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
 - CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
 - ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
 - THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 - ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."
 - THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
 - THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LADEN STORM WATER FROM EXITING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER, WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
 - THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY.
 - THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.
 - SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK AND HANDICAPPED RAMPS, DETAILS AROUND THE BUILDING.
 - THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
 - THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%. ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%, AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15:1.
 - ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.
 - THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.
 - THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2014 EDITION OF THE NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION (GREY BOOK).
 - ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.

DPM HYDROLOGY CALCULATIONS

Precipitation Zone 3 - 100-year Storm P(360) = 2.6 in P(1440) = 3.1 in

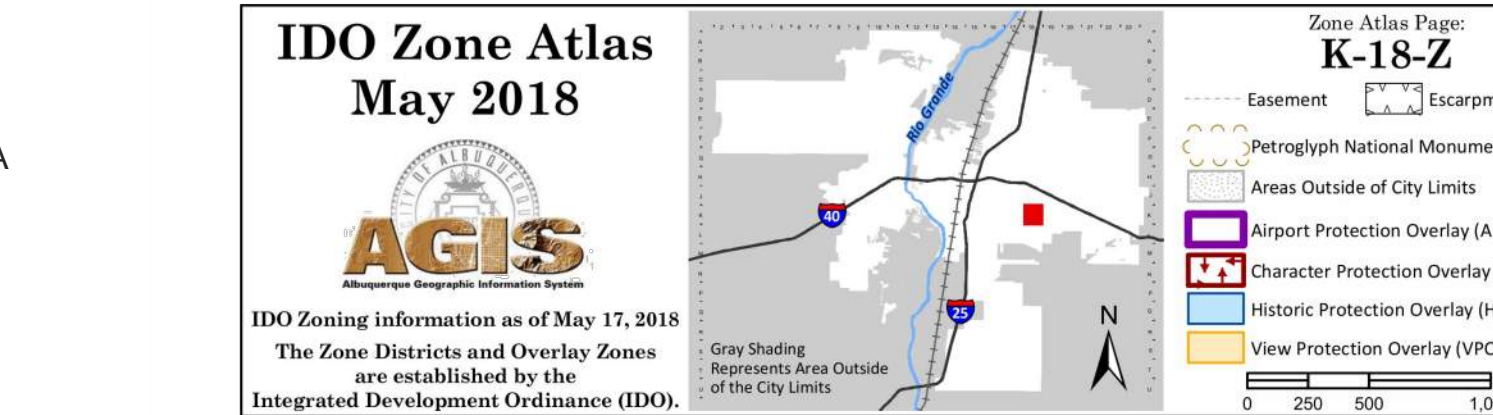
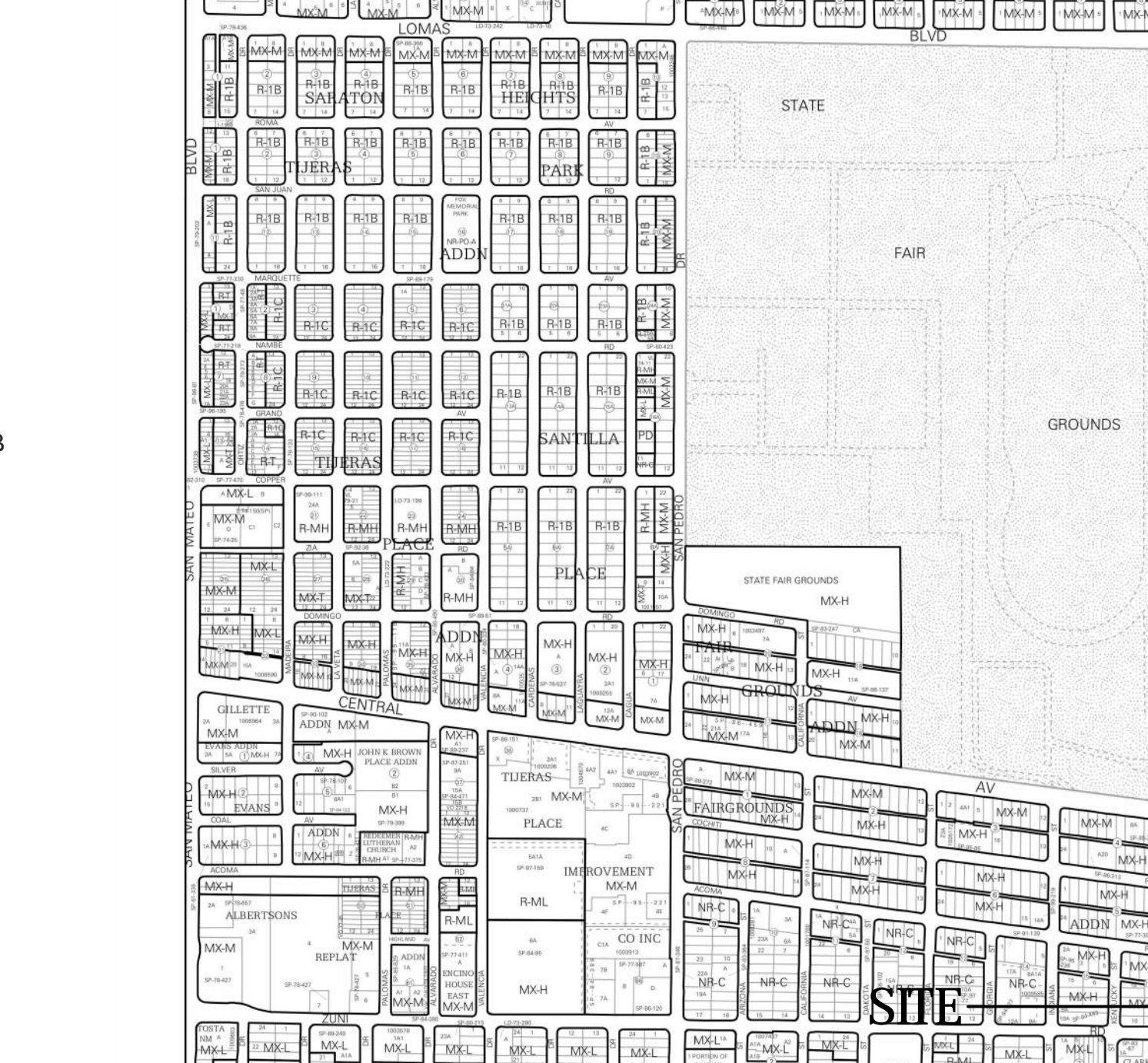
Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(100-6) (af)	V(100-24) (af)	Q(100) (cfs)
		A	B	C	D				
Existing Conditions									
Site	1.14	0.00	0.00	0.15	0.99	2.22	0.211	0.252	5.49
Total	1.14								5.49
Proposed Conditions									
Site	1.14	0.00	0.00	0.16	0.98	2.21	0.210	0.251	5.47
Total	1.14								5.47

STORM WATER QUALITY VOLUME CALCULATIONS

STORM WATER QUALITY VOLUME (REQUIRED) = 9481 SF * 0.26"/12 = 205 CF < 330 CF

FLOOD ZONE MAP

FLOOD ZONE MAP 35001C0354H



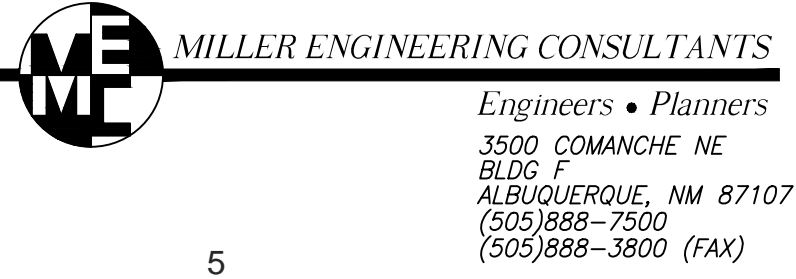
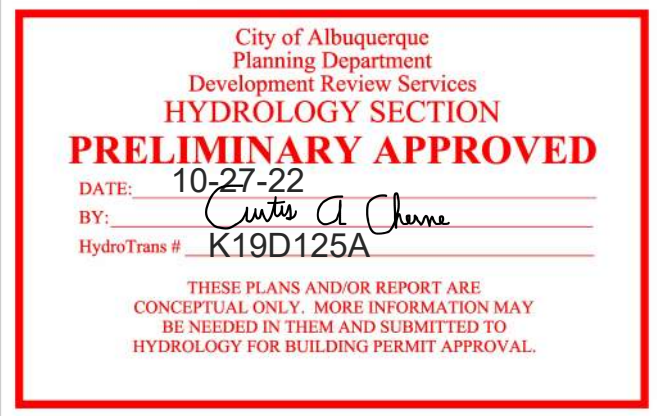
VICINITY MAP

ZONE MAP K-18-Z



DWL Architects & Planners, Inc. of NM
 202 Central Ave. S.E.
 East Courtyard
 Albuquerque,
 New Mexico, 87102
 PH (505) 242-6202
 Fax (505) 242-4159
 w.casman@dwlrm.com

WAT PHRATHAT DOI SUTHEP NM
 CONGREGATE LIVING
 NON-TRANSIENT
 320 LOUISIANA BLVD. SE.
 ALBUQUERQUE, NEW MEXICO 87108-3183



ISSUE/REVISION

PROJECT NUMBER: 20_1611.03

CAD DWG FILE: DWL-NM_APS OSUNA

DRAWN BY: MEC

CHECKED BY: VAM

SHEET TITLE: HYDROLOGY PLAN

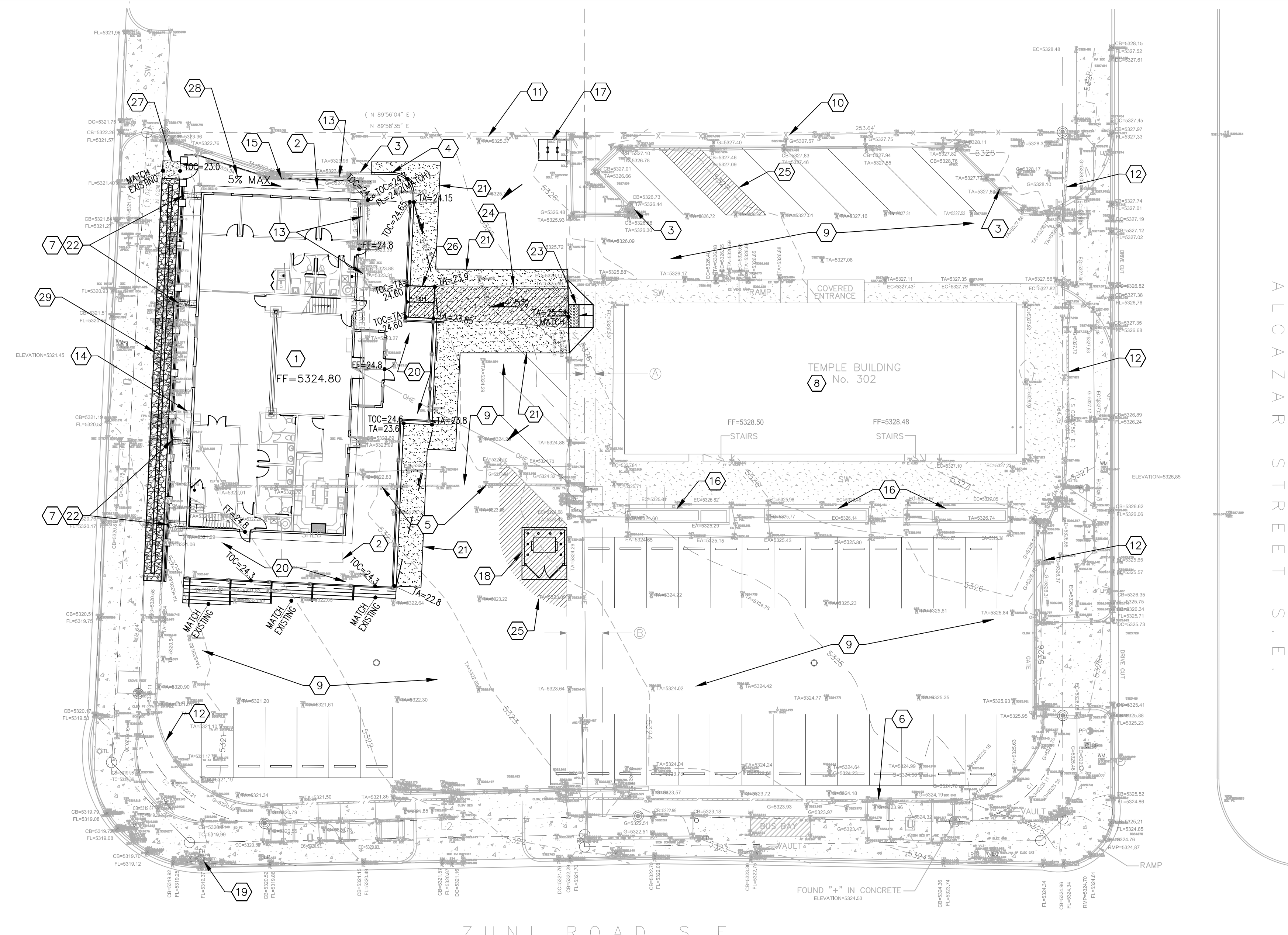
C-100

OF SHEET

1 2 3 4 5

LEGEND:

- 38.00 PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
- MATCH (95.19) MATCH EXISTING ELEVATIONS
- TC TOP OF CONCRETE
- FL FLOW LINE, CURB
- INV INVERT
- FG FINISH GRADE
- TBC TOP OF BASE COURSE
- TG TOP OF GRADE
- TA TOP OF ASPHALT
- GRADE BREAK—HIGH POINT
- SWALE
- SD— STORM DRAIN LINE
- 5895— PROPOSED MAJOR CONTOUR
- 5895--- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ▲ TOP OF CUT SLOPE
- Ⓟ EXISTING TELEPHONE MANHOLE
- Ⓜ EXISTING WATER METER
- Ⓛ EXISTING LIGHT POLE
- ⓐ EXISTING CABLE BOX
- ⓔ EXISTING ELECTRICAL CABINET
- Ⓛ EXISTING TRAFFIC LIGHT
- Ⓥ EXISTING VAULT
- ➔ FLOW ARROW

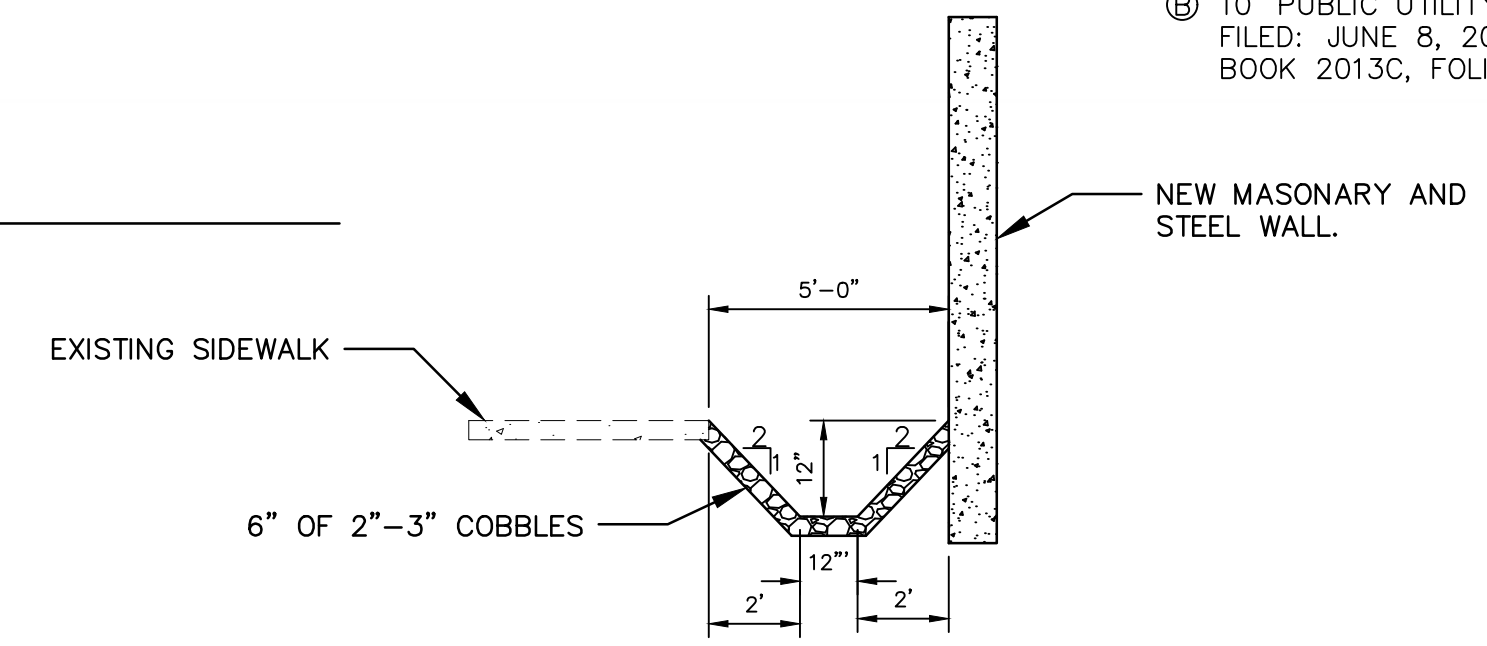


KEYED NOTES:

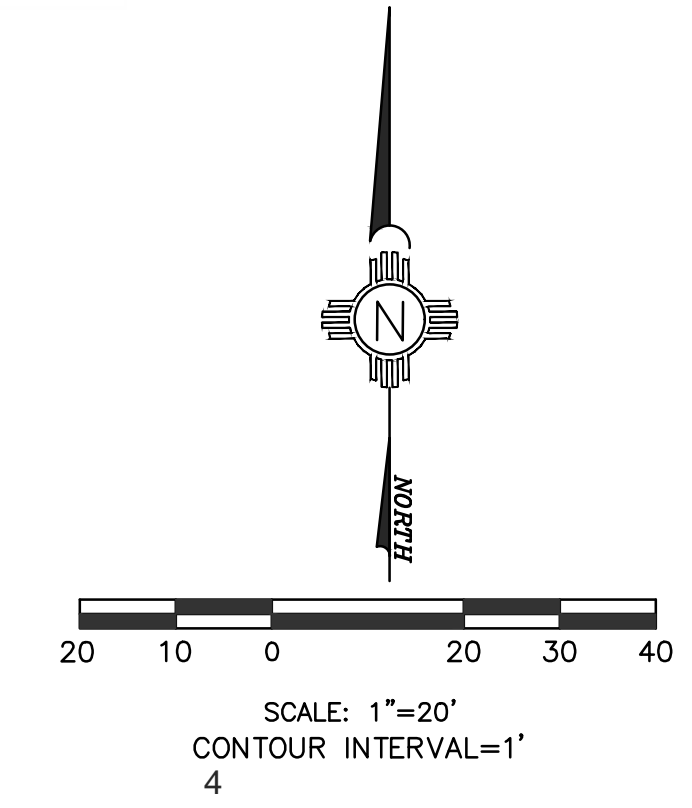
- 1 NEW BUILDING. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 2 EXISTING BUILDING TO BE REMOVED.
- 3 EXISTING CURB AND GUTTER TO REMAIN.
- 4 NEW CURB AND CUTTER. SEE DETAIL SHEET C-501.
- 5 EXISTING BLOCK WALL TO BE REMOVED.
- 6 EXISTING 6' MASONRY AND DECORATIVE STEEL FENCE TO REMAIN.
- 7 NEW 6' MASONRY AND DECORATIVE STEEL FENCE. PLACE 16" WIDE TURN-DOWN BLOCK IN WALL AS REQUIRED FOR DRAINAGE FROM ROOF DRAINS.
- 8 EXISTING BUILDING TO REMAIN.
- 9 EXISTING ASPHALT PARKING LOT.
- 10 EXISTING WOOD FENCE TO REMAIN.
- 11 EXISTING CHAIN LINK FENCE TO REMAIN.
- 12 EXISTING BLOCK WALL TO REMAIN. PROVIDE 6"x6" WEEP HOLES IN WALL AS REQUIRED FOR DRAINAGE.
- 13 EXISTING CURB AND GUTTER TO BE REMOVED AND DISPOSED OF.
- 14 EXISTING GAS METER.
- 15 NEW 6' STEEL PICKET FENCE SEE ARCHITECTURAL DRAWINGS.
- 16 EXISTING PLANTERS TO REMAIN.
- 17 NEW BIKE RACK. SEE ARCHITECTURAL DRAWINGS.
- 18 NEW TRASH ENCLOSURE SEE ARCHITECTURAL DRAWINGS.
- 19 EXISTING FIRE HYDRANT TO REMAIN.
- 20 NEW COVERED PATIO.
- 21 EXISTING ASPHALT TO BE REMOVED AND REPLACED. SAW CUT TO A CLEAN STRAIGHT EDGE TO ADJOINING ASPHALT DEPTH. MATCH EXISTING ELEVATIONS.
- 22 NEW 12" WIDE CONCRETE CHANNEL TO BE PLACED AT ALL DOWNSPOUT LOCATIONS. SEE DETAIL SHEET C-501.
- 23 NEW ADA RAMP. SEE DETAIL SHEET C-501.
- 24 NEW ADA CROSSWALK STRIPING. SEE ARCHITECTURAL SHEETS.
- 25 NEW ASPHALT STRIPING. SEE ARCHITECTURAL PLANS.
- 26 NEW 9' ADA RAMP. 12:1 MAX. SLOPE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 27 NEW 5' WIDE SIDEWALK @ 2% MAX. SLOPE.
- 28 5% MAX. LONGITUDINAL SLOPE ALONG SIDEWALK ON NORTH SIDE OF NEW BUILDING.
- 29 NEW WATER HARVEST AREA #1. VOLUME=330 CUBIC FEET. SEE DETAIL THIS SHEET.

A1 CONCEPTUAL GRADING AND DRAINAGE PLAN

SCALE: 1"=20'



WATER HARVEST DETAIL SECTION
SCALE: NONE



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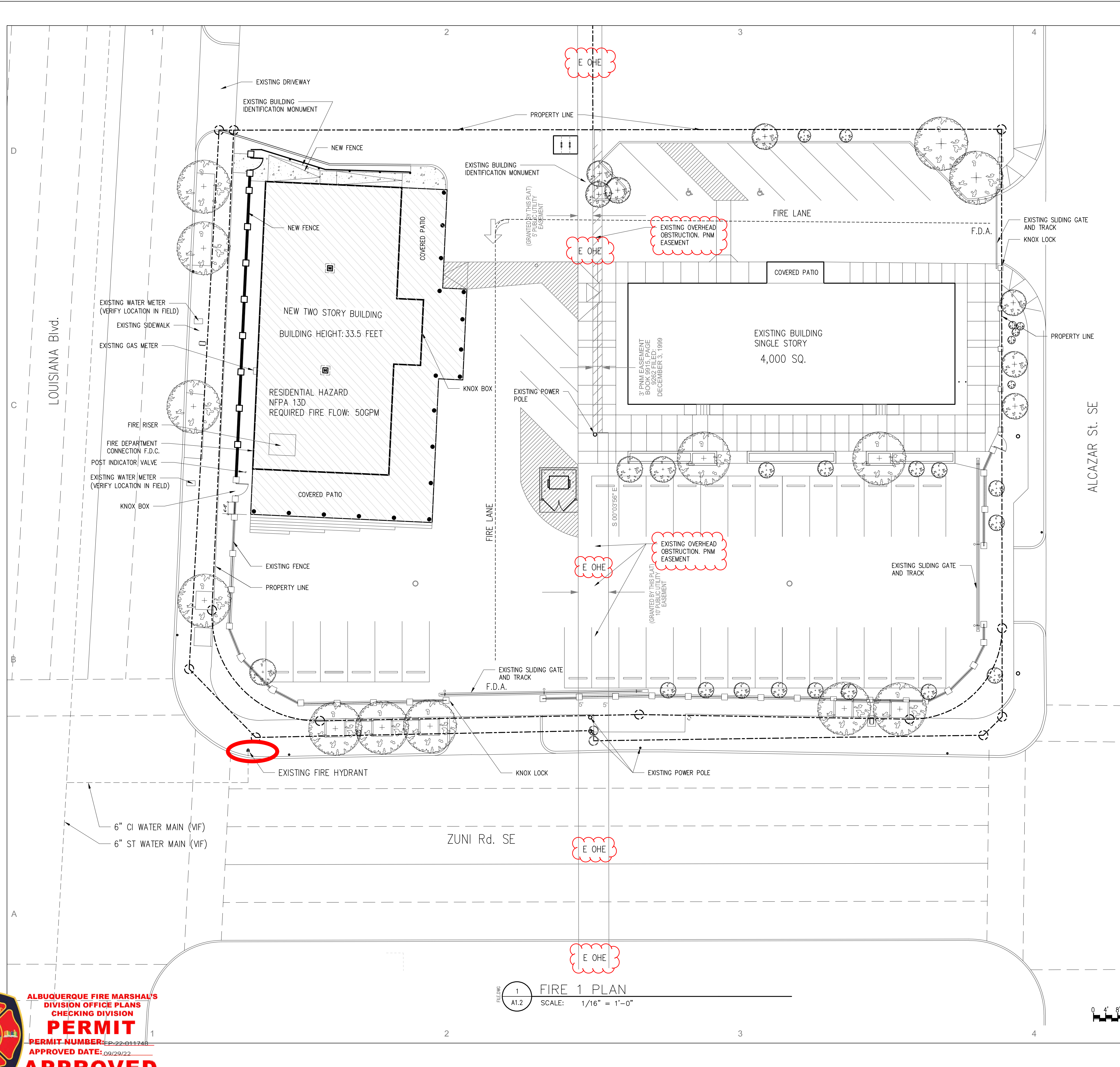
CONCEPTUAL GRADING AND DRAINAGE PLAN
C-101
 OF SHEET

WAT PRATHAT DOI SUTHEP
BUDDHIST TEMPLE OF NEW MEXICO
EPC SITE PLAN MAJOR AMENDMENT
DFT SIGN OFF



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APPROVED FIRE 1



FIRE 1 GENERAL NOTES

1. THE FIRE APPARATUS ACCESS ROAD TO BE USED ARE ZUNI RD. SE AND ALCAZAR ST. SE
2. IT IS ASSUMED THAT THE FIRE APPARATUS ROADS WERE BUILT IN COMPLIANCE WITH THE CITY REGULATIONS WHEN BUILT.
3. THE ACCESS ROADS WHERE THE FIRE HYDRANTS ARE LOCATED HAVE A 40' WIDTH OR GREATER.
4. NO GRADES ON OR OFFSITE OR ADJACENT TO THE SITE HAVE GRADES >10%.
5. THE TURNING RADI ON THE FIRE ACCESS ROAD HAS RADIUS >30'.
6. THE BUILDING IS A TWO STORY BUILDING AND 33.5 FEET IN HEIGHT.
7. APPROVED ACCESS ROUTE DRIVING SURFACE TO SUPPORT IMPOSED LOAD OF AT LEAST 75,000 LBS.
8. 8,529 GSF CONSTRUCTION TYPE IIB, R-3 OCCUPANCY.
9. BUILDING HAS ORDINARY HAZARD RATING. SPRINKLED.
10. FIRE PROTECTION SYSTEMS SHALL BE DEFERRED SUBMITTALS AND SHALL BE NOTED AS SUCH ON THE PLAN.
- 10.1. SHOP DRAWINGS WILL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL OF ANY INSTALLATION OR MODIFICATION TO THE FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM, KITCHEN SUPPRESSION SYSTEM, OR ANY OTHER FIRE RELATED SYSTEM.
- 10.2. THE FIRE SPRINKLER SYSTEM WILL BE SUPERVISED WHEN REQUIRED BY THE 2015 INTERNATIONAL FIRE CODE.

903.3.1.3 NFPA 13D SPRINKLER SYSTEMS. "AUTOMATIC SPRINKLER SYSTEMS INSTALLED IN GROUP R-3 SHALL BE PERMITTED TO BE INSTALLED THROUGHOUT IN ACCORDANCE WITH NFPA 13D."

907.2.1.1.2 GROUPS R-2, R-3, R-4, AND I-1. "SINGLE-OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN GROUP R-3 REGARDLESS OF OCCUPANT LOAD

OVERALL SITE DATA:

SITE AREA GROSS:	49,658 S.F. / 1.14 AC.
ZONING:	MX-M
LOT:	33A
BLOCK:	10
SUBDIVISION:	LA MESA ADDN NO 2
PROPOSED USE:	RESIDENTIAL R-3
BUILDING HEIGHT MAX. ALLOWABLE:	45 FEET
BUILDING HEIGHT PROVIDED:	33.5 FEET
OCCUPANCY GROUP:	R-3
FIRST FLOOR:	4,486
SECOND FLOOR:	4,062
SUBTOTAL:	8,528
TOTAL FLOOR AREA:	8,528 SF
GROSS FLOOR AREA:	

CODE ANALYSIS SUMMARY

(2015) NEW MEXICO BUILDING CODE

APPLICABLE CODES (CITY OF ALBUQUERQUE)

- 2015 NEW MEXICO COMMERCIAL BUILDING CODE
- 2015 NEW MEXICO EARTHEN BUILDING MATERIALS CODE
- 2014 NEW MEXICO ELECTRICAL CODE
- 2009 NEW MEXICO ENERGY CONSERVATION CODE
- 2015 NEW MEXICO EXISTING BUILDING CODE
- 2015 NEW MEXICO HISTORIC EARTHEN BUILDINGS CODE
- 2012 NEW MEXICO MECHANICAL CODE
- 2012 NEW MEXICO PLUMBING CODE
- 2015 NEW MEXICO RESIDENTIAL BUILDING CODE

OCCUPANCY CLASSIFICATION (CHAPTER 3)

PRIMARY USE: CONGREGATE LIVING NON-TRANSIENT
OCCUPANCY: R-3

GENERAL BUILDING LIMITATIONS (CHAPTERS 5)

CONSTRUCTION TYPE: II-B
BASIC ALLOWABLE HEIGHT/AREAS: (TABLE 503)

GROUP	CONSTR. TYPE	AREA / HT	UL / ST	(65 FT)
R-3	II-B			

FIRE RESISTANCE RATED CONSTRUCTION

INTERIOR FINISHES (CHAPTER 8 TABLE 8-B)

ROOMS / ENCLOSED AREAS CLASS III
ENCLOSED VERT. EXITWAYS CLASS II
OTHER EXITWAYS CLASS I

SMOKE / HEAT VENTS (906) - REQUIRED/NOT REQUIRED
MIN. ROOF CLASSIFICATION (TABLE 15A) -

PORTABLE FIRE EXTINGUISHERS (NFPA STANDARD 10) REQUIRED - TRAVEL DIST. NOT TO EXCEED 75'

MEANS OF EGRESS (CHAPTER 10)

OCCUPANCY LOAD AND MIN. EGRESS REQUIREMENTS (TABLE 1004.1.2)

USE	OCCUPANT LOAD FACTOR
UNCONCENTRATED (TABLES AND CHAIRS)	15
SLEEPING AREAS	120
KITCHEN	200
OFFICES	100
STORAGE	300

EGRESS WIDTH PER PERSON SERVED (TABLE 1028.6.2)

USE	STAIRWAYS (INCHES PER PERSON)	OTHER EGRESS COMPONENTS (INCHES PER PERSON)
A	.2	.15

SEPARATION OF EXITS (1016.2) 1/2 DIAGONAL OF SPACE

TRAVEL DISTANCE (1016.2) NON SPRINKLERED 200 FT.
SPRINKLERED 250 FT.

CORRIDOR RATING (1004.3.4) 1 HR. - 20 MIN DOOR

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2181
REGISTERED ARCHITECT
09-22-2022

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REV 1 OHE 09-27-2022

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S.S.
CHECKED BY:
W. EASTMAN
SHEET TITLE:

FIRE 1 PLAN
FIRE 1
XX OF XX SHEET

ALBUQUERQUE FIRE MARSHAL'S DIVISION OFFICE PLANS CHECKING DIVISION PERMIT
PERMIT NUMBER: 20-011740
APPROVED DATE: 09/29/22
APPROVED
THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 185 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 1.750 GPM @ 1.1 HYDRANT