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GEOTECHNICAL REPORT NOTES:

1. THE FOLLOWING GEOTECHNICAL REPORTS FOR THE SITE SHALL BE CONSIDERED PART OF THESE CONSTRUCTION DOCUMENTS:

GEOTECHNICAL EVALUATION REPORT
WESTERN TECHNOLOGIES, INC.
8305 WASHINGTON PL. NE,
ALBUQUERQUE, NM 87113
TEL: (505) 823-4488
CONTACT: AZUPURI KABA, PE

2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PROVISIONS OF THE SOILS REPORT FOR THE SITE BE OBSERVED AND COMPLIED WITH DURING ALL PHASES OF THE SITE PREPARATION, GRADING OPERATIONS, FOUNDATION, SLAB, AND PAVING CONSTRUCTION.

3. ANY PROVISIONS OF THE SOILS REPORT WHICH CONFLICT WITH INFORMATION SHOWN ELSEWHERE ON THESE DRAWINGS, OR WHICH REQUIRE FURTHER CLARIFICATION, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER FOR DETERMINATION.

4. A REPRESENTATIVE OF THE SOILS ENGINEER SHALL BE AVAILABLE TO OBSERVE AND APPROVE THE EARTHWORK OPERATIONS AND TO VERIFY FIELD CONDITIONS AS WORK PROCEEDS. THE SOILS ENGINEER SHALL SUBMIT FIELD REPORTS CERTIFYING THAT THE METHODS AND MATERIALS OF THE EARTHWORK OPERATIONS WERE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION AND THAT THE WORK WAS PERFORMED TO HIS/HER SATISFACTION.

5. THE SOILS ENGINEER SHOULD BE NOTIFIED AT LEAST FIVE (5) WORKING DAYS PRIOR TO ANY SITE CLEARING OR GRADING.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

UTILITY CONNECTION NOTE:

ALL PRIVATE AND PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY AN ENGINEERING DEVELOPMENT REVIEW INSPECTOR.

BENCHMARK:

TEMPORARY BENCHMARK 1
ELEVATION: 5,383.86'
NORTHING: 1513352.23
EASTING: 1547027.66
FOUND CHISELED "X"
TEMPORARY BENCHMARK 2
ELEVATION: 5,371.73
NORTHING: 1513131.10
EASTING: 1546911.39
FOUND 1/2" REBAR WITH CAP
STAMPED "L MEDRANO PS 11993"

LEGAL DESCRIPTION:

PARCEL 1:
TRACT LETTERED C-ONE-A (C-1-A), PLAT OF ACADEMY ACRES, UNIT 17, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF TRACTS C-1-A THRU C-1-E, ACADEMY ACRES, UNIT 17, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 18, 1990, IN PLAT BOOK 90C, FOLIO 131.

PARCEL 2:
NON-EXCLUSIVE RIGHTS OF RECIPROCAL BLANKET PRIVATE ACCESS, DRAINAGE, UTILITY, AND PARKING EASEMENT, AS SHOWN ON PLAT FILED MAY 18, 1990, IN PLAT BOOK 90C, FOLIO 131, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, TO THE EXTENT OF AND ONLY FOR THE DURATION PROVIDED FOR THEREIN.

EXISTING TOPOGRAPHY / SURVEY INFORMATION NOTE:

AN A.L.T.A./N.S.P.S. TOPOGRAPHIC AND BOUNDARY SURVEY DATED NOVEMBER 27, 2023, PERFORMED BY BLEW & ASSOCIATES, P.A. HAS BEEN PROVIDED TO BARGHAUSEN CONSULTING ENGINEERS, INC. BARGHAUSEN CONSULTING ENGINEERS, INC. HAS NOT VERIFIED THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. SITE DESIGN HAS BEEN BASED ON ABOVE REFERENCED SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE OWNER TO HAVE ALL IMPROVEMENTS FIELD VERIFIED PRIOR TO CONSTRUCTION. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF BARGHAUSEN CONSULTING ENGINEERS, INC. PRIOR TO WORK.

MONUMENT PROTECTION NOTE:

ALL EXISTING SURVEY MONUMENTS ARE TO BE PRESERVED PER NEW MEXICO REVISED STATUTES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT MONUMENTS ARE PROPERLY PROTECTED AND/OR PERPETUATED. IF ANY OF THE MONUMENTS ARE DISTURBED OR ARE NEAR THE AREA OF CONSTRUCTION, A LICENSED SURVEYOR MUST CONFIRM THAT THE MONUMENTS HAVE BEEN PROTECTED AND/OR PERPETUATED AND THE APPROPRIATE DOCUMENTATION HAS BEEN RECORDED. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM ANY JURISDICTIONS HAVING AUTHORITY FOR REMOVING AND REPLACING ALL SURVEY MONUMENTATION THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITY. UPON COMPLETION OF CONSTRUCTION, ALL MONUMENTS DISPLACED, REMOVED, OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR, AT THE COST AND AT THE DIRECTION OF THE CONTRACTOR, PURSUANT TO THESE REGULATIONS. THE APPROPRIATE FORMS FOR REPLACEMENT OF SAID MONUMENTATION SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.

HORIZONTAL CONTROL NOTE:

CONTRACTOR SHALL HAVE ALL PROPERTY LINES, CURB, SIDEWALK, STRUCTURES, CONCRETE PADS AND ANY OTHER ABOVE GROUND PERMANENT STRUCTURE DEPICTED ON THESE PLANS STAKED FOR CONSTRUCTION BY A LICENSED SURVEYOR. LICENSED SURVEYOR SHALL STAKE ALL ITEMS USING COORDINATE GEOMETRY (RECTIFIED TO SITE CONTROL) CONTAINED IN CAD DRAWING FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RETRIEVE LATEST CAD FILES FROM BARGHAUSEN CONSULTING ENGINEERS INC., REFLECTING ANY ISSUED PLAN REVISIONS. BARGHAUSEN CONSULTING ENGINEERS SHALL IMMEDIATELY BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

FLOOD ZONE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO 35001C0141G, WHICH BEARS AN EFFECTIVE DATE OF 9/26/2008, AND COMMUNITY PANEL NO. 35001C0137H, WHICH BEARS AN EFFECTIVE DATE OF 8/16/2012. THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ARE. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

OWNER

MDG REAL ESTATE
7620 JEFFERSON ST.
ALBUQUERQUE NM 87109
TEL: (505) 878-0004

DEVELOPER

DUTCH BROS COFFEE
PO BOX 1929
GRANT'S PASS OR 87528
CONTACT: RON AUSTERMAN
TEL: (602) 320-8598

ENGINEER

BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72ND AVE. SOUTH
KENT, WA 98032
TEL: (425) 251-6222
CONTACT: ANTHONY E. MERLINO, P.E.

SURVEYOR

BLEW & ASSOCIATES, P.A.
3825 N. SHILOH DRIVE
FAYETTEVILLE, AR
TEL: (479) 443-4506

LANDSCAPE ARCHITECT

EVERGREEN DESIGN GROUP
1600 BROADWAY SUITE 1600
DENVER, CO 80202
CONTACT: RODNEY MCNABB
TEL: (800) 680-6630

BUILDING ARCHITECT

ARMET DAVIS NEWLOVE & ASSOCIATES
1330 OLYMPIC BLVD.
SANTA MONICA, CA 90404
TEL: (310) 849-4208

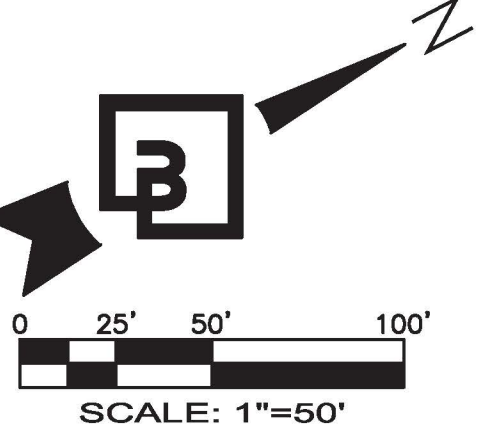
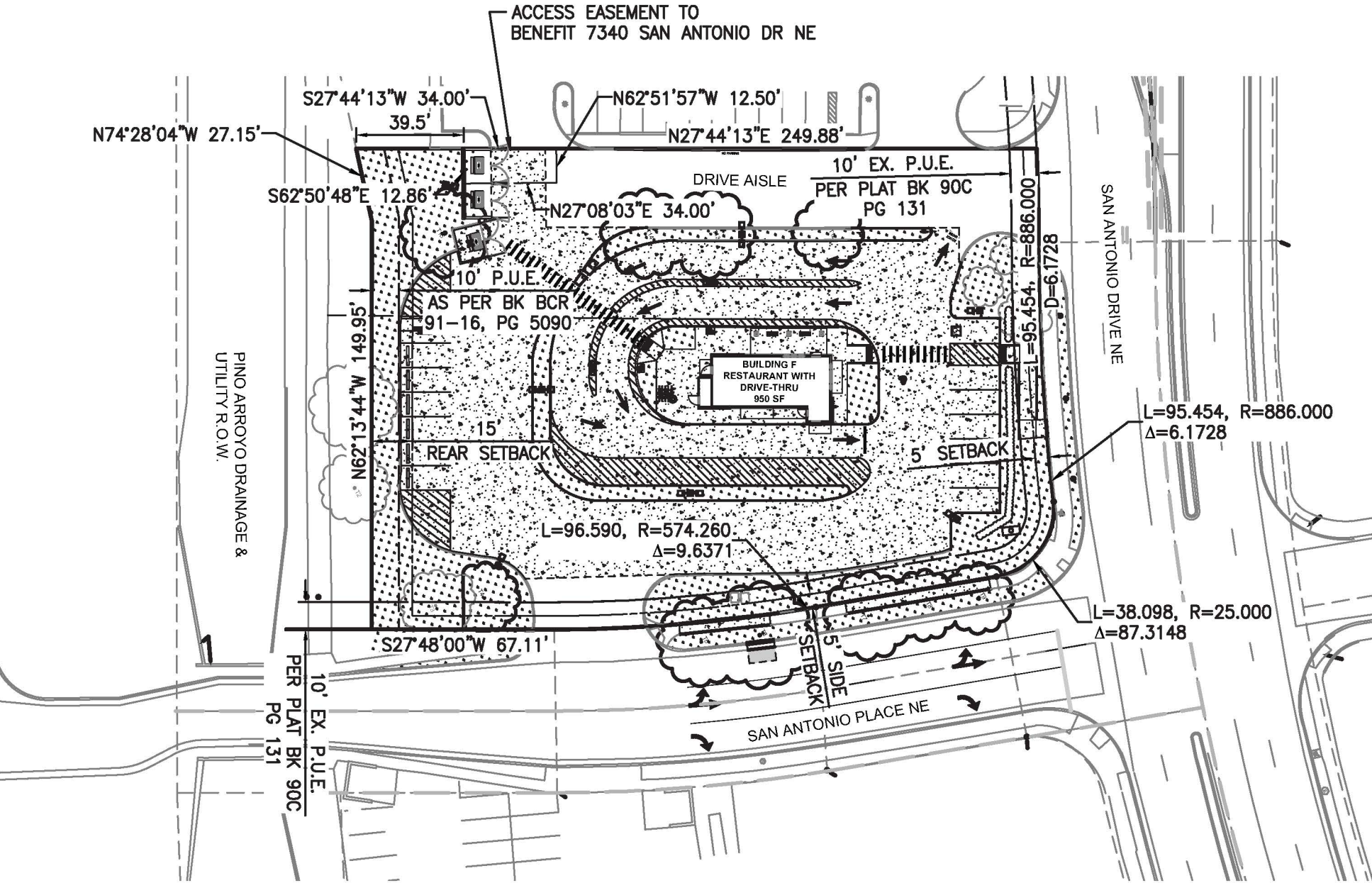
GEOTECHNICAL

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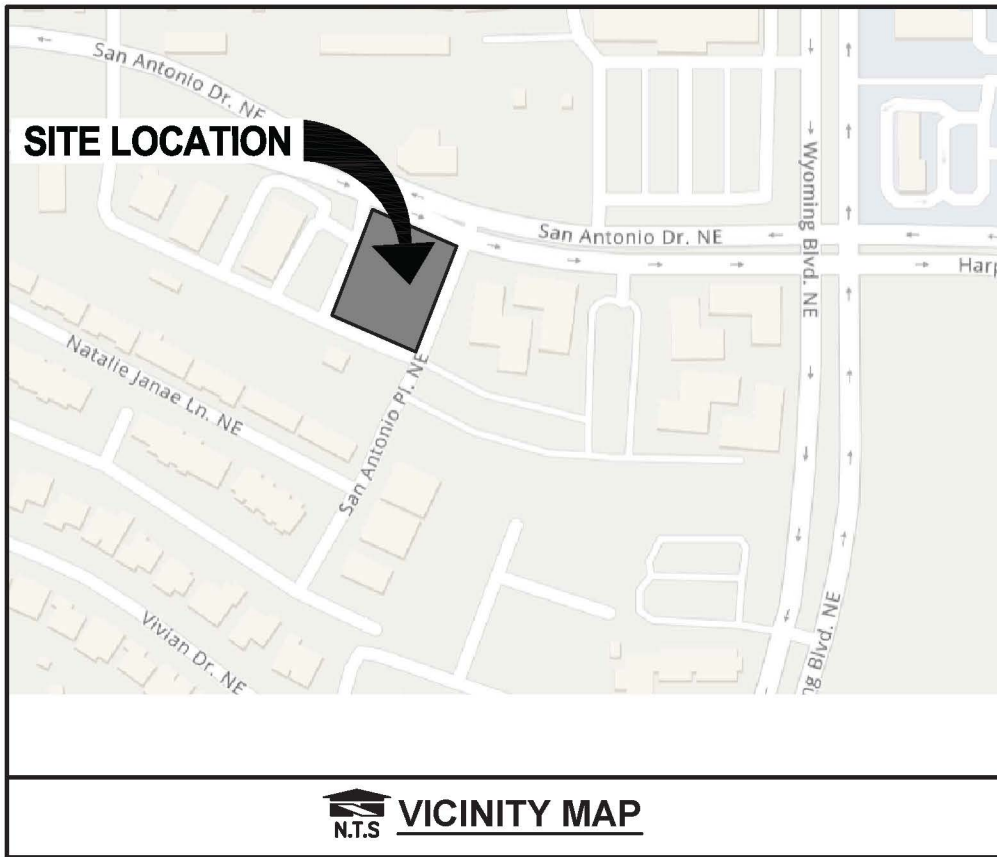
GENERAL SITE NOTES:

- THE CONTRACTOR SHALL OBTAIN AND HAVE AVAILABLE COPIES OF THE APPLICABLE GOVERNING AGENCY STANDARDS AT THE JOB SITE DURING THE RELATED CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE OR SHOWN ON RECORD DRAWING PROVIDED BY OTHERS ARE SHOWN HEREON. EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY AND ARE SUBJECT TO A DEGREE OF UNKNOWN VARIATION. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. BARGHAUSEN CONSULTING ENGINEERS, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS OR RECORDS OF OTHERS. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE APPROPRIATE UTILITIES INVOLVED PRIOR TO CONSTRUCTION.
- INSPECTION OF SITE WORK WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE GOVERNING JURISDICTION. INSPECTION OF PRIVATE FACILITIES WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE INSPECTOR 24 HOURS IN ADVANCE OF BACKFILLING ALL CONSTRUCTION.
- PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY THE CONTRACTOR SHALL CONTACT THE AGENCY AND/OR UTILITY INSPECTION PERSONNEL AND ARRANGE ANY REQUIRED PRE-CONSTRUCTION MEETING(S). CONTRACTOR SHALL PROVIDE ONE WEEK MINIMUM ADVANCE NOTIFICATION TO OWNER, FIELD ENGINEER AND ENGINEER OF PRE-CONSTRUCTION MEETINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR WORKER AND SITE SAFETY AND SHALL COMPLY WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED.
- PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL ADJACENT PUBLIC AND PRIVATE PROPERTIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITY SERVICES THAT ARE TO REMAIN OPERATIONAL WITHIN THE CONSTRUCTION AREA WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
- THE TWO (2) COPIES OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS. ONE (1) SET WITH RECORDS OF AS-BUILT INFORMATION SHALL BE SUBMITTED TO BARGHAUSEN CONSULTING ENGINEERS, INC. AT COMPLETION OF PROJECT.
- CONTRACTOR SHALL OBTAIN SERVICES OF A LICENSED LAND SURVEYOR TO STAKE HORIZONTAL CONTROL FOR ALL NEW IMPROVEMENTS. STAKING CONTROL SHALL BE TAKEN FROM ELECTRONIC PLAN FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC.
- CONTRACTOR SHALL REQUEST FROM BARGHAUSEN CONSULTING ENGINEERS, INC., PRIOR TO ANY CONSTRUCTION STAKING OR CONSTRUCTION WORK, A FORMAL CONSTRUCTION RELEASE PLAN SET OR SPECIFIC RELEASE IN WRITING. THE APPROVED AGENCY PERMIT DRAWINGS WILL NOT BE CONSIDERED CONSTRUCTION RELEASE PLANS BY BARGHAUSEN CONSULTING ENGINEERS, INC. UNLESS BARGHAUSEN CONSULTING ENGINEERS, INC. HAS GIVEN A FORMAL WRITTEN RELEASE OR ISSUED A CONSTRUCTION RELEASE PLAN SET.

PR-2022-007872 DUTCH BROS COFFEE - NM0504, ALBUQUERQUE, NM
SI-2024-00674 7330 SAN ANTONIO DRIVE N.E.
COVER SHEET



SHEET LIST	
Sheet Number	Sheet Title
C1.0	COVER SHEET
C2.0	SITE PLAN WITH SOLID WASTE APPROVAL
C2.2	HORIZONTAL CONTROL PLAN WITH TCL APPROVAL
C3.0G	GRADING AND DRAINAGE PLAN WITH HYDROLOGY APPROVAL
C4.0	UTILITY PLAN
C5.0	NOTES AND DETAILS
C5.1	NOTES AND DETAILS
C5.2	NOTES AND DETAILS
1 OF 1	FIRE 1 PLAN WITH AGENCY APPROVAL
A6.0	ARCHITECTURAL BUILDING ELEVATIONS
A6.1	BUILDING ELEVATIONS - COLOR
LP-1	LANDSCAPE PLANTING PLAN
LP-2	PLANTING SPECIFICATIONS AND DETAILS
LI-1	IRRIGATION PLAN
LI-2	IRRIGATION DETAILS
LI-3	IRRIGATION SPECIFICATIONS
1 OF 2	ALTA SURVEY
2 OF 2	ALTA SURVEY



PROJECT DATA

PROPERTY ADDRESS:	7330 SAN ANTONIO DRIVE NE ALBUQUERQUE, NM 87109
APN:	101906219148122105
IDO ZONE DISTRICT:	MIXED USE LOW DENSITY (MX-L) DESIGNATED ACTIVITY CENTER IN THE ALBUQUERQUE COMPREHENSIVE PLAN
IDO DISTRICT DEFINITION:	LOW INTENSITY
IDO CATEGORY:	MIXED USE
PROPOSED USE:	EATING AND DRINKING ESTABLISHMENT WITH DRIVE-THRU SERVICE
QUEUING	= 18
PARKING CALCULATIONS:	
REQUIRED:	6 AUTOMOBILE PARKING SPACES (5.6 SPACE PER 1,000 SF OF GFA) 1 VAN ACCESSIBLE ADA PARKING SPACE 1 MOTORCYCLE PARKING SPACE 3 BICYCLE PARKING SPACES
PARKING SPACES PROVIDED:	12 AUTOMOBILE SPACES 1 VAN ACCESSIBLE ADA SPACE 2 MOTORCYCLE PARKING SPACES 3 BICYCLE PARKING SPACES
PROPOSED SETBACKS	
MINIMUM FRONT:	5 FEET
MINIMUM SIDE:	5 FEET
MINIMUM REAR:	15 FEET
PROJECT AREA:	42,044 SF (0.97 AC)
DISTURBED AREA:	35,725 SF (0.82 AC)
GROSS FLOOR AREA (GFA)	= 950 SF (100% USED AS DRIVE-THRU RESTAURANT)
TRASH ENCLOSURE	= 13.27'x10.67' (NEW) + 26'x11'± (EXISTING)
NEW TRASH ENCLOSURE SQUARE FOOTAGE	= 142 SF
SITE COVERAGE (DISTURBED AREA):	
BUILDINGS:	950 SF (2.7%)
PARKING MANEUVERING, CURBS:	22,981 SF (64.3%)
WALKWAYS:	1,760 SF (4.0%)
LANDSCAPE:	10,034 SF (28.1%) 35,725 SF (100%)

PROJECT NUMBER: PR-2022-007872	
APPLICATION NUMBER: SI-2024-00674	
PLANNING DIRECTOR <i>Jeff Palmer</i>	Feb 20, 2025
PARKS AND RECREATION DEPARTMENT <i>Regina Cho</i>	Feb 20, 2025
HYDROLOGY <i>Ernest Armijo</i>	Feb 20, 2025
TRANSPORTATION DIVISION <i>Jeff Palmer</i>	Feb 20, 2025
CODE ENFORCEMENT <i>Don Grubb</i>	Mar 12, 2025
UTILITIES	

LEGEND

EXISTING	PROPOSED
CONCRETE	CONCRETE
EASEMENT	ASPHALT
RIGHT-OF-WAY LINE	EASEMENT
PROPERTY LINE	FINISH GRADE CONTOUR
EDGE OF PAVEMENT	SWALE
WATER LINE	RIDGELINE
GAS LINE	STORM DRAIN
SANITARY SEWER	POWER
STORM DRAIN	SANITARY SEWER LINE
UNDERGROUND POWER LINES	TELEPHONE
OVERHEAD POWER LINES	CABLE/TELEVISION
UNDERGROUND GAS LINES	WATER LINE
CATCH BASIN	BARRIER CURB
FIRE HYDRANT	CURB & GUTTER
POWER POLE	STORM DRAIN CATCH BASIN
TREE	STORM DRAIN CLEANOUT
STREET LIGHT	WATER METER
STORM DRAIN MANHOLE	SANITARY SEWER CLEANOUT
SANITARY SEWER MANHOLE	POWER TRANSFORMER
WATER VALVE	LOT LIGHT
	STREET LIGHT
	SIGN
	GUARD POST / BOLLARD

COVER SHEET
7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109

DUTCH BROS

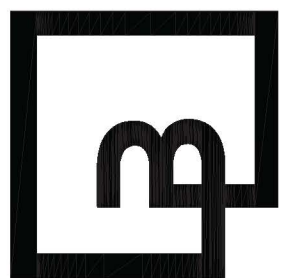
For:



Scale:
Horizontal
1" = 50'
Vertical
N/A

Designed: BB
Drawn: BB
Checked: MTL
Approved: AEM
Date: 2/11/25

Barghausen Consulting Engineers, LLC.



Job Number

23204

Sheet

C10

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DUTCH BROS COFFEE - NM0504, ALBUQUERQUE, NM

7330 SAN ANTONIO DRIVE N.E.

SITE PLAN

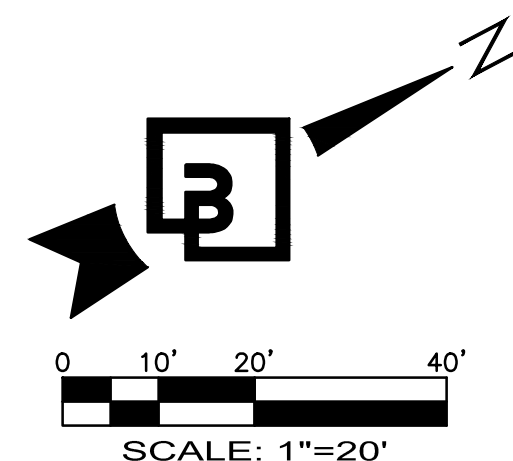
PARKING CALCULATIONS:

REQUIRED:

- 6 AUTOMOBILE PARKING SPACES (5.6 SPACE PER 1,000 SF OF GFA)
- 1 VAN ACCESSIBLE ADA PARKING SPACE
- 1 MOTORCYCLE PARKING SPACE
- 3 BICYCLE PARKING SPACES

PARKING SPACES PROVIDED:

- 12 AUTOMOBILE SPACES
- 1 VAN ACCESSIBLE ADA SPACE
- 2 MOTORCYCLE PARKING SPACES
- 3 BICYCLE PARKING SPACES



SIGHT TRIANGLE NOTE:

LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED TO THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

PARKING NOTE

NO CONTRACTOR OR EMPLOYEE MAY STORE, OR PERMIT TO BE STORED, A COMMERCIAL OR CONSTRUCTION VEHICLE/TRUCK; OR PERSONAL VEHICLE, TRUCK, OR OTHER PERSONAL PROPERTY ON PUBLIC-RIGHT-OF-WAY OR OTHER PUBLIC PROPERTY WITHOUT PERMISSION OF THE CITY ENGINEER.

TEMPORARY WORK EASEMENT NOTE:

CLIENT TO OBTAIN TEMPORARY WORK EASEMENT AGREEMENT; COORDINATE WITH ADJACENT PROPERTY OWNER, PRIOR TO CONSTRUCTION OF ANY OFF-SITE WORK.

ACCESSIBLE SITE REQUIREMENTS:

WALKING SURFACES SHALL BE CONTINUOUSLY ACCESSIBLE. ALL WALKWAYS MUST BE A MINIMUM 36" IN WIDTH, HAVE A MAXIMUM 1.5% CROSS SLOPE, AND SHALL HAVE RAMPS COMPLYING WITH ACCESSIBILITY STANDARDS (SECTION 402) WHERE NECESSARY TO CHANGE ELEVATION AT A LONGITUDINAL SLOPE EXCEEDING 5% (1:20). RAMPS WHERE PROVIDED SHALL COMPLY WITH ACCESSIBILITY REQUIREMENTS (SECTION 405) AND BE PROVIDED WITH A MINIMUM 24" WIDE DETECTABLE WARNING STRIP MEETING ACCESSIBILITY REQUIREMENTS (SECTION 406) SHALL BE PLACED WHERE A WALK CROSSES OR ADJOINS A VEHICULAR WAY AND IS NOT SEPARATED BY A CURB, RAILING, OR OTHER ELEMENT MEETING ACCESSIBILITY STANDARDS.

SIDEWALK REPLACEMENT NOTE

ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD DRAWINGS 2430 AND 2415A



Approved for access by the Solid Waste Department.

All containers must be made accessible for pick up between the hours of 5AM and 8PM.

Reviewer: Herman Galazaga

Date: 08-21-24

PINO ARROYO DRAINAGE CANAL

PUBLIC PEDESTRIAN AND BICYCLE PATH

NATALIE JAMAE LANE

JJ'S PREMIER
TIRE &
SERVICE
NOT A PART
(EXISTING)

BUILDING F
RESTAURANT WITH DRIVE-THRU
950 SF

L=95.454, R=886.000
Δ=6.1728
ADT22: 16.221 TRIPS
ADT22: 17.351 TRIPS
2 LANE EA DIRECTION

L=95.454, R=886.000
Δ=6.1728
110' EX. P.U.E.
PER PLAT BK 90C
PG 131

L=38.098, R=25.000
Δ=87.3148

INTERSECTION
STA SAN ANTONIO DR NE 3+00.00=
STA SAN ANTONIO PL NE 2+40.00

CONSTRUCTION NOTES:

- LOCATION OF BUILDING AS NOTED; CONFIRM ALL DIMENSIONS AND REQUIREMENTS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- CONSTRUCT RECYCLING ENCLOSURE WITH FLOOR DRAIN AND CONCRETE PAD. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL DETAILS.
- CONSTRUCT CONCRETE BARRIER CURB PER 3/C5.1, TYPICAL.
- EXISTING TRASH ENCLOSURE TO REMAIN. GATES AND BOLLARDS TO BE ADDED PER TO CITY OF ALBUQUERQUE STANDARDS. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- CONSTRUCT CONCRETE PAVEMENT PER 2/C5.0.
- CONSTRUCT ON-SITE CONCRETE SIDEWALK (WIDTH VARIES) PER 7/C5.0, TYPICAL. JOINTS PER 11/C5.0.
- INSTALL PAVEMENT MARKING PER 3/C5.0, TYPICAL.
- LANDSCAPE AREA. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION, TYPICAL.
- ACCESSIBLE PATH, TYPICAL. ACCESSES PUBLIC WALKWAY AND BIKE PATH VIA PUBLIC SIDEWALK. SEE C2.2 FOR ADDITIONAL INFORMATION
- SITE LIGHTING. REFER TO STRUCTURAL DRAWINGS FOR LIGHT POLE FOUNDATION REQUIREMENTS; REFER TO PHOTOMETRIC DRAWING FOR POLE AND FIXTURE SPECIFICATIONS.
- CONSTRUCT ADA ACCESSIBLE PERPENDICULAR CURB RAMP TO CITY OF ALBUQUERQUE STANDARDS PER 4/C5.1. DETECTABLE WARNING STRIP PER 5/C5.1.
- CONSTRUCT FREESTANDING SIGN. SEE SIGN DRAWINGS FOR ADDITIONAL DETAILS.
- INSTALL NO PARKING STRIPES. STRIPES 4" WIDE, 45 DEGREES, 24" O.C. SAFETY WHITE. TYPICAL.
- APPROXIMATE LOCATION OF NEAT SAW CUT LINE. PROVIDE HOT TAR SEAL AT ALL JOINTS.
- INSTALL "U" TYPE BIKE PARKING PER 10/C5.0 (4 SPACES PROVIDED)
- PAINT CONTINENTAL TYPE PEDESTRIAN CROSSWALK STRIPING 1 FOOT WIDE STRIPES SPACED 2.5' ON CENTER.
- EXISTING UTILITY APPURTENANCES TO BE PROTECTED DURING CONSTRUCTION.
- CONSTRUCT BOLLARD PER 2/C5.1, TYP.
- EXISTING TREES, STUBS/ROOTS TO BE REMOVED AS REQUIRED. TYPICAL. SEE LANDSCAPE DRAWINGS FOR PLANTING DETAILS.
- EXISTING PROPERTY LINE, TYPICAL.
- CONSTRUCT VAN ACCESSIBLE PARKING STALL PER 1/C5.0. SIGNAGE PER 8/C5.0 AND SIGN POST PER 5/C5.0. SEE DETAIL 6/C5.0 FOR INTERNATIONAL SYMBOL OF ACCESSIBILITY
- INSTALL CANOPY. SEE ARCHITECTURAL PLANS FOR DETAILS. CONFIRM ALL DIMENSIONS AND REQUIREMENTS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- INSTALL (2) MOTORCYCLE PARKING SPACES. INSTALL SIGN PER 9/C5.0. POST PER 5/C5.0.
- INSTALL TYPICAL PARKING SPACE, TYP. SEE C2.2 FOR PARKING SPACE GEOMETRY.
- CONSTRUCT WALL AND GUARDRAIL TO MATCH HEIGHT, WIDTH AND MATERIAL OF ADJACENT EXISTING WALL, BETWEEN KEYNOTES.
- EXISTING CURB/WALL TO REMAIN
- REPLACE SIDEWALK TO THE NEAREST PANEL OR JOINT PER CITY OF ALBUQUERQUE STANDARDS WHEREVER EXISTING TREES HAVE FORCED SIDEWALK OUT OF COMPLIANCE. CONSTRUCT SIDEWALK PER 6/C5.1. JOINTS PER 7/C5.1.
- PROPOSED NO PARKING SIGNAGE FOR FIRE LANE TO CITY OF ALBUQUERQUE STANDARDS. SIGN TYPE R7-1 OF 1/C5.2, POST PER 5/C5.0.
- PROPOSED CURB STRIPING FOR FIRE LANE. PAINT CURB RED ON BOTH TOP AND FACE ALONG THE ENTIRE LENGTH OF THE FIRE LANE. "NO PARKING-FIRE LANE" SHALL BE MARKED EVERY 15 FEET ALONG THE LENGTH OF FIRE LANE TO CITY OF ALBUQUERQUE STANDARDS.
- EXISTING MONUMENT SIGN TO BE REMOVED. CONSTRUCT NEW MONUMENT SIGN. SEE SIGN DRAWINGS FOR DETAILS.
- EXISTING BOLLARD TO BE REMOVED.
- EXISTING TREE TO BE REMOVED TO FACILITATE SIDEWALK REPAIR.
- EXISTING FIRE HYDRANT.
- EXISTING DRIVEWAY AND INGRESS/EGRESS TO BE PROTECTED.
- PROPOSED ACCESS EASEMENT TO BENEFIT 7340 SAN ANTONIO DR NE
- EXISTING EASEMENT
- SITE TRIANGLE TO CITY OF ALBUQUERQUE AND AASHTO STANDARDS, TYP. SEE C2.5 FOR ADDITIONAL DETAILS.
- EXISTING MULTI-USE TRAIL
- EXISTING PUBLIC SIDEWALK - SEE C2.2 FOR WIDTHS
- EXISTING PARCEL LINE
- CONSTRUCT RAMP WITH HANDRAIL PER 5/C5.2
- INSTALL DETECTABLE WARNING STRIP PER 5/C5.1
- CONSTRUCT SIDEWALK THROUGH-CUT PER 6/C5.2.
- INSTALL BENCH FOR OUTDOOR SEATING, TYP.

LEGEND

BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	
PROPOSED LANDSCAPING	
PROPOSED CONCRETE	

SITE PLAN
7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109

Title:

DUTCH BROS

For:



Scale:

Horizontal
1" = 20'

Vertical
N/A

Designed: BB

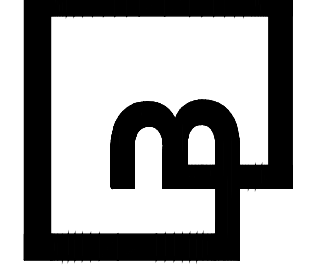
Drawn: BB

Checked: MTL

Approved: AEM

Date: 8/1/24

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Job Number
23204

Sheet
C20
2019 D&B
Franchising USA, LLC

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DRAINAGE PLAN CONCEPT NARRATIVE

THIS SITE FOLLOWS THE REVISED CONCEPTUAL DRAINAGE PLAN FOR WYOMING COMMERCIAL COMPLEX (E-19/D25C) WITH A REVISION DATE OF APRIL 2, 1990. THE CONCEPTUAL GRADING PLAN IS INCLUDED WITH THIS SUBMITTAL.

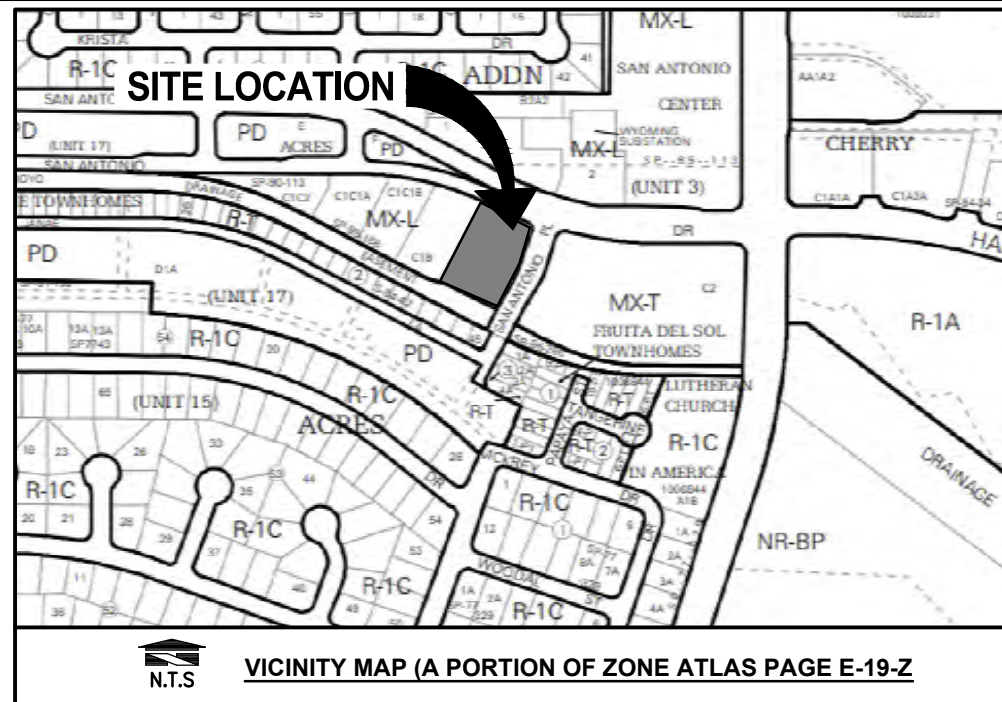
CURRENTLY, THE SITE'S HIGH POINT IS AT THE NORTHEAST CORNER, WHERE SAN ANTONIO PL NE INTERSECTS WITH SAN ANTONIO DRIVE NE. STORMWATER FOLLOWS DESCENDING GRADE TO THE SOUTHWEST CORNER OF THE SITE AND THEN OFFSITE INTO AN EXISTING VALLEY GUTTER LOCATED ON THE ADJACENT PARCEL. THIS VALLEY GUTTER FLOWS TO THE NORTHWEST WITH GRADE TO REACH A CONCRETE RUNDOWN WHICH OUTLETS INTO THE PINO ARROYO CANAL. THIS SITE DOES ALSO RECEIVE SOME RUN-ON FROM SAN ANTONIO DRIVE NE WHICH FOLLOWS THE SAME FLOW PATH.

THE PROPOSED SITE WILL MAINTAIN THIS PATTERN BY PLACING THE PROPOSED COFFEE STAND ON THE FOOTPRINT OF THE EXISTING STRUCTURE AND INSTALLING PAVEMENT AT SIMILAR ELEVATIONS TO THE EXISTING WHEREVER POSSIBLE.

DUTCH BROS COFFEE - NM0504, ALBUQUERQUE, NM 7330 SAN ANTONIO DRIVE N.E. GRADING AND DRAINAGE PLAN

UTILITY POTHOLES NOTE:

THE CIRCLED LOCATIONS ARE REQUIRED TO BE POTHOLED TO VERIFY VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITY AND/OR POTENTIAL CONFLICTS WITH EXISTING UTILITIES. POTHOLES SHALL BE PERFORMED PRIOR TO INSTALLING ANY PROPOSED UTILITIES. CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. OF ANY CONFLICTS.



LEGAL DESCRIPTION:

PARCEL 1:
TRACT LETTERED C-ONE-A (C-1-A), PLAT OF ACADEMY ACRES, UNIT 17, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF TRACTS C-1-A THRU C-1-E, ACADEMY ACRES, UNIT 17, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 18, 1990, IN PLAT BOOK 90C, FOLIO 131.

PARCEL 2:
NON-EXCLUSIVE RIGHTS OF RECIPROCAL BLANKET PRIVATE ACCESS, DRAINAGE, UTILITY, AND PARKING EASEMENT, AS SHOWN ON PLAT FILED MAY 18, 1990, IN PLAT BOOK 90C, FOLIO 131, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, TO THE EXTENT OF AND ONLY FOR THE DURATION PROVIDED FOR THEREIN.

STORMWATER TREATMENT NARRATIVE AND CALCULATIONS

THE SITE OWNER HAS ELECTED TO PAY A FEE IN LIEU OF ON-SITE TREATMENT FOR 100% OF THE SWQV. SEE CALCULATIONS BELOW FOR PAYMENT-IN-LIEU FEE AMOUNT AS WELL AS RUNOFF VOLUME AND PEAK DISCHARGE.

SWQV & Payment-in-lieu Calculations

Impervious Area Draining to Arroyo	32168 ft ²
Multiplication Factor for Redevelopment Site	0.26 in
SWQV	697 ft ³
Cost per Cubic Ft (non-single family residential)	\$8.00
Payment-in-lieu fee	\$5,576.79

CALCULATIONS: Proposed Dutch Bros Coffee

Based on City of Albuquerque DMP, Article 6-2 Hydrology Dated September 4, 2020

Historic Conditions (Service Station)				Developed Conditions (Proposed Restaurant with Drive-Thru)			
Terrain Type	Area (ac)	%		Terrain Type	Area (ac)	%	
Landscaping	0.204	21.2		Landscaping	0.227	23.5	
Buildings/Roofs	0.161	16.7		Buildings/Roof	0.022	2.3	
Pavement, Curbs, Sidewalks	0.599	62.1		Pavement, Curbs, Sidewalks	0.717	74.3	
Total	0.965	100.0		Total	0.965	100.0	

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

Historic Conditions (Service Station)				Developed Conditions (Proposed Restaurant with Drive-Thru)			
Land Treatments	A (ac)	E (in) (Zone 3)	Ex A	Land Treatments	A (ac)	E (in) (Zone 3)	Weighted
A	0.000	0.67	0.000	A	0.000	0.67	0.000
B	0.137	0.86	0.117	B	0.159	0.86	0.137
C	0.068	1.09	0.074	C	0.068	1.09	0.074
D	0.761	2.58	1.963	D	0.738	2.58	1.905

Weighted E (100-yr 6-hr)				Weighted E (100-yr 6-hr)			
2.232	in			2.192	in		
Historic Runoff Volume (V ₆₀)				Developed Runoff Volume (V ₆₀)			
0.180	ac-ft			0.176	ac-ft		
7820	ft ³			7681	ft ³		

On-Site Peak Discharge Rate (100-year Storm)

On-Site Peak Discharge Rate				$Q_p = Q_{pA} + Q_{pB} + Q_{pC} + Q_{pD}$			
Historic Conditions (Service Station)				Developed Conditions (Proposed Restaurant with Drive-Thru)			
Land Treatments	A (ac)	Peak Discharge (CFS/ACRE) (Zone 3)	Weighted	Land Treatments	A (ac)	Peak Discharge (CFS/ACRE) (Zone 3)	Weighted
A	0.000	1.84	0.000	A	0.000	1.84	0.000
B	0.137	2.49	0.340	B	0.159	2.49	0.365
C	0.068	3.17	0.215	C	0.068	3.17	0.215
D	0.761	4.49	3.416	D	0.738	4.49	3.316
Historic Q _p	3.971	cfs		Developed Q _p	3.927	cfs	

GRADING AND DRAINAGE CONSTRUCTION NOTES:

- CONSTRUCT DOWNSPOUT OUTLET TO SIDEWALK UNDERDRAIN.
- CONSTRUCT DOWNSPOUT OUTLET TO SIDEWALK UNDERDRAIN TO LANDSCAPED SWALE.
- INSTALL CURB CUT TO FACILITATE SWALE DRAINAGE.
- CONSTRUCT RETAINING WALL AND HANDRAIL BETWEEN KEYNOTES. RETAINING WALL TO MATCH HEIGHT, WIDTH, AND MATERIAL OF ADJACENT EXISTING RETAINING WALLS.
- INSTALL FLOOR DRAIN IN NEW REFUSE ENCLOSURE TO CITY OF ALBUQUERQUE STANDARDS. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- EXISTING RETAINING WALL TO REMAIN
- PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED ACCESS EASEMENT TO BENEFIT 7340 SAN ANTONIO DR NE
- PARCEL LINE
- INSTALL GREASE INTERCEPTOR WITH SAMPLING PORT. SEE PLUMBING DRAWINGS FOR ADDITIONAL DETAILS.
- EXISTING CURB/WALL TO REMAIN. POUR NEW PAVEMENT UP TO FACE OF EXISTING CURB/WALL
- EXISTING SEWER LATERAL TO REMAIN AND BE PROTECTED
- INLET TO BE CONNECTED TO THE SANITARY SEWER. SEE UTILITY PLAN.

ACCESSIBLE SITE REQUIREMENTS:

WALKING SURFACES SHALL BE CONTINUOUSLY ACCESSIBLE. ALL WALKWAYS MUST BE A MINIMUM 48" IN WIDTH, HAVE A MAXIMUM 1.5% CROSS SLOPE, AND SHALL HAVE RAMPS COMPLYING WITH ACCESSIBILITY STANDARDS (SECTION 11B-405) WHERE NECESSARY TO CHANGE ELEVATION AT A LONGITUDINAL SLOPE EXCEEDING 5% (1:20). CURB RAMPS WHERE PROVIDED SHALL COMPLY WITH ACCESSIBILITY REQUIREMENTS (SECTION 11B-406) AND BE PROVIDED WITH A CONTINUOUS 36" WIDE DETECTABLE WARNING STRIP MEETING ACCESSIBILITY REQUIREMENTS (SECTION 11B-709) SHALL BE PLACED WHERE A WALK CROSSES OR ADJACENT A VEHICULAR WAY AND IS NOT SEPARATED BY A CURB, RAILING, OR OTHER ELEMENT MEETING ACCESSIBILITY STANDARDS.

PROJECT DATA

PROPERTY ADDRESS:	7330 SAN ANTONIO DRIVE NE ALBUQUERQUE, NM 87109
APN:	101906219148122105
IDO ZONE DISTRICT:	MIXED USE LOW DENSITY (MX-L) DESIGNATED ACTIVITY CENTER IN THE ALBUQUERQUE COMPREHENSIVE PLAN
IDO DISTRICT DEFINITION:	LOW INTENSITY
IDO CATEGORY:	MIXED USE
PROPOSED USE:	EATING AND DRINKING ESTABLISHMENT WITH DRIVE-THROUGH SERVICE
PROJECT AREA:	42,044 SF (0.97 AC)
GROSS FLOOR AREA (GFA)	= 950 SF (100% USED AS DRIVE-THRU RESTAURANT)

GRADING GENERAL NOTES:

- ALL GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY ORDINANCE AND STANDARD PLANS. THE GRADING IS SUBJECT TO THE OBSERVATION AND APPROVAL OF THE PUBLIC WORKS DEPARTMENT.
- ALL PUBLIC SIDEWALKS BEING CONSTRUCTED WHERE THE EXISTING CURBING IS TO REMAIN SHALL BE CONSTRUCTED AT A CROSS SLOPE OF $\pm 1.5\%$ FROM THE EXISTING BACK OF CURB ELEVATION (CROSS SLOPE MAY REQUIRE TO BE VARIED: 1.25% TO 1.75%). CONTRACTOR SHALL VERIFY CONSTRUCTION CONFORMS WITH ADA STANDARDS PRIOR TO POURING CONCRETE.
- ALL TRENCHING IN THE RIGHT-OF-WAY SHALL BE REPLACED AND GRADED TO MATCH EXISTING CONDITIONS, CROSS SLOPES SHALL BE MAINTAINED.
- ALL EXISTING UTILITY STRUCTURES AND ASSOCIATED LIDS THAT FALL WITHIN THE AREA OF WORK SHALL BE ADJUSTED TO FINISHED GRADE ELEVATIONS, AND BE FREE OF ANY ABRUPT VERTICAL CHANGES. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- ALL PAVEMENT SAWCUTS ARE DESIGNED TO BE REPLACED TO MATCH EXISTING PAVEMENTS AND SHALL BE FLUSH AND FREE OF ANY VERTICAL CHANGES. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- REFER TO LANDSCAPE PLANS FOR LANDSCAPE PLANTER SOIL GRADING AND SOIL HOLD-DOWN (2" MINIMUM).
- ALL SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REMOVE AND CLEAN-UP ANY SPILLED DEBRIS WITHIN THE PUBLIC ROW THROUGHOUT THE GRADING OPERATIONS OF THE PROJECT.
- ALL GRADING CONSTRUCTION DEBRIS MATERIALS SHALL BE REMOVED AND DISPOSED INTO AN APPROVED DUMP SITE PRIOR TO ANY EXCAVATION OF FILL OPERATIONS AND/OR AS SPECIFIED BY THE SOLID WASTE MANAGEMENT PLAN AND/OR DIRECTED BY PUBLIC WORKS. ALL GRADING ACTIVITIES MUST COMPLY WITH ALL STORMWATER REGULATIONS INCLUDING STABILIZATION OF ANY SOIL DISTURBED AREA. ALL EXCESS DIRT SHALL BE LEVELED AND/OR DISPOSED OF CORRECTLY AND MAY NOT BE TAKEN TO A FACILITY THAT IS NOT LISTED IN THE SWPPP OF SOLID WASTE MANAGEMENT PLAN AND/OR APPROVED BY THE CITY.
- ALL CONSTRUCTION ACTIVITIES AND CONSTRUCTION MATERIAL MUST BE STORED ON-SITE AND NOT SPILL OUTSIDE ONTO THE PUBLIC RIGHT-OF-WAY.
- ALL SPOT ELEVATIONS ON THIS PLAN HAVE BEEN TRUNCATED FOR CLARITY BY SUBTRACTING 5300', EG 5382.09 = 82.09.

ABBREVIATIONS

FF	- FINISHED FLOOR
FL	- FLOWLINE
FSH	- FLUSH
GB	- GRADE BREAK
GRD	- GROUND
MA	- MATCH OFFSITE TIE IN ELEVATION
ME	- MATCH EXISTING
TC	- TOP OF CURB/SIDEWALK
TP	- TOP OF PAVING
RM	- RIM/GRADE ELEVATION OF STRUCTURE

LEGEND

BUILDING LINE	=====
CURB TO REMAIN	=====
CURB	=====
LANDSCAPING	=====
CONCRETE	=====

GRADING AND DRAINAGE PLAN
7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109

Title:

DUTCH BROS

For:



08/07/2024

Scale:

Horizontal

Vertical

1" = 20'

N/A

Designed

Drawn

Checked

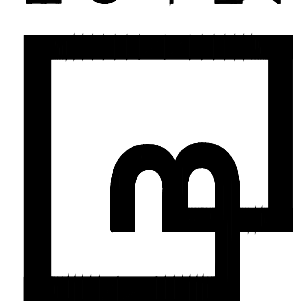
Approved

AEM

Date

8/7/24

Barghausen
Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number

23204

Sheet

C3-0G

2019 D&A
Franchising USA, LLC

BENCHMARK:

TEMPORARY BENCHMARK 1 ELEVATION: 5383.86' NORTHING: 1513352.23 EASTING: 1547027.66 FOUND CHISELED "X"	TEMPORARY BENCHMARK 2 ELEVATION: 5371.73' NORTHING: 1513131.10 EASTING: 1546911.39 FOUND 1/2" REBAR WITH CAP STAMPED "L MEDRANO PS 11993"
---	--

FLOOD ZONE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 35001C0141G, WHICH BEARS AN EFFECTIVE DATE OF 9/26/2008, AND COMMUNITY PANEL NO. 35001C0137H, WHICH BEARS AN EFFECTIVE DATE OF 8/16/2012. THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

EROSION CONTROL NOTE

THE FOLLOWING FACILITIES AND EROSION CONTROL MEASURES WILL BE PROVIDED DURING CONSTRUCTION, TO CITY OF ALBUQUERQUE AND NMDOT STANDARDS:

- CONCRETE WASHOUT
- STABILIZED CONSTRUCTION ENTRANCE TO SITE
- INLET PROTECTION FOR ALL DRAINAGE FACILITIES ON OR ADJACENT SITE
- WATTLIES AND SILT FENCING AT SITE PERIMETER, PREVENTING SOIL RUNOFF FROM SITE.



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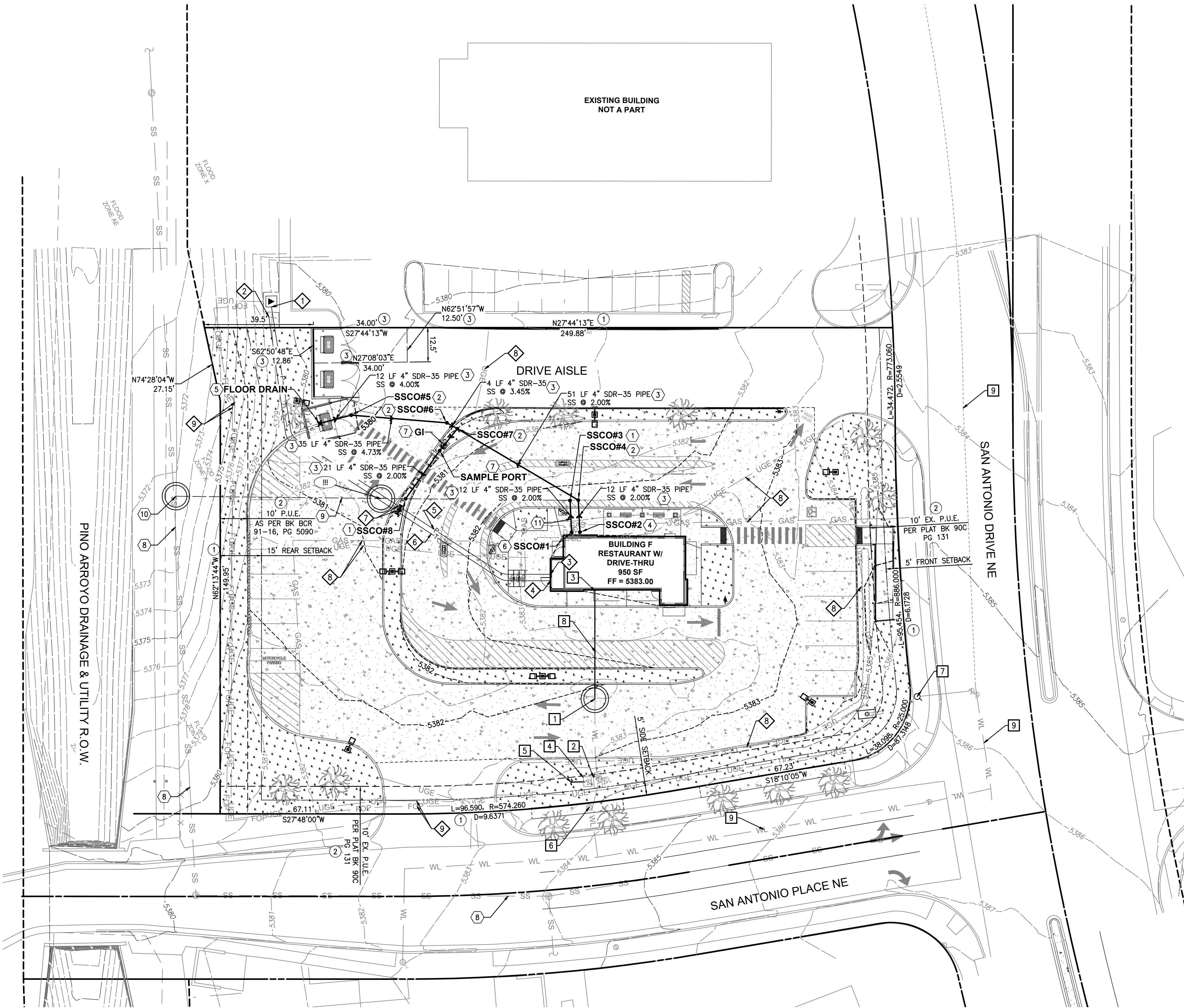
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DUTCH BROS COFFEE - NM0504, ALBUQUERQUE, NM

7330 SAN ANTONIO DRIVE N.E.

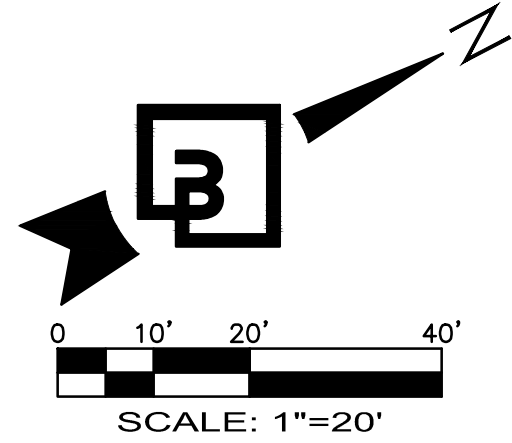
UTILITY PLAN

EXISTING BUILDING
NOT A PART



GENERAL UTILITY NOTES:

- ALL STRUCTURE ELEVATIONS SHOWN ARE TO CENTER OF STRUCTURE AT FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
- ALL UTILITY STRUCTURES EXPOSED TO TRAFFIC SHALL BE TRAFFIC RATED INCLUDING STRUCTURE, LID, ETC.
- ALL UTILITY STRUCTURES WITH LIDS EXPOSED TO PEDESTRIAN TRAFFIC SHALL BE SLIP RESISTANT IN ACCORDANCE WITH ACCESSIBILITY REQUIREMENTS.
- PROVIDE ALL INCIDENTAL FITTINGS, BENDS, WYES, TEES, COUPLINGS, GASKETS, ETC. REQUIRED TO CONSTRUCT THE INFRASTRUCTURE DEPICTED.
- ALL TRENCHING SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE PURVEYOR.
- PROVIDE MARKING TAPE AND LOCATE WIRE WITH ALL TRENCH INSTALLATIONS.
- ALL SANITARY SEWER PIPING SHALL BE PVC UNLESS DENOTED OTHERWISE. ALL PVC SEWER PIPE SHALL BE SDR-35 CONFORMING TO ASTM D3034.
- ALL WATER PIPING DENOTED SHALL BE TYPE K COPPER CONFORMING TO ASTM B88.
- ALL SANITARY SEWER MUST MEET THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE PUBLIC IMPROVEMENT STANDARDS.



⑧ SITE KEYNOTES

- PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED ACCESS EASEMENT TO BENEFIT 7340 SAN ANTONIO DR NE

⑦ SANITARY CONSTRUCTION NOTES:

- APPROXIMATE LOCATION OF CONNECTION TO EXISTING 4" PVC SANITARY SEWER LATERAL. INSTALL CLEANOUT PER 4/C5.0 TO CITY OF ALBUQUERQUE STANDARDS. CONTRACTOR TO POT HOLE TO VERIFY MATERIAL, DIAMETER, AND DEPTH OF EXISTING LATERAL. NOTIFY ENGINEER WITH RESULTS.
- CONSTRUCT 4" SANITARY SEWER CLEANOUT TO GRADE PER 4/C5.0. RIM AND INVERT ELEVATIONS PER SANITARY SEWER STRUCTURE TABLE.
- INSTALL NEW 4" SDR-35 SEWER LATERAL, TYPICAL.
- APPROXIMATE CONNECTION TO BUILDING. VERIFY FINAL LOCATION WITH PLUMBING DRAWINGS. INSTALL 4" SANITARY SEWER CLEANOUT TO GRADE PER 4/C5.0. RIM AND INVERT ELEVATIONS PER SANITARY SEWER STRUCTURE TABLE. SEE PLUMBING DRAWINGS FOR ADDITIONAL DETAILS.
- INSTALL 4" FLOOR DRAIN AT NEW TRASH ENCLOSURE INSTALLED TO CITY OF ALBUQUERQUE STANDARDS. SEE ARCHITECTURAL AND PLUMBING DRAWINGS FOR DETAILS.
- LOCATION OF EXISTING SANITARY SEWER CLEANOUT AND CONNECTION TO PROPOSED BUILDING. CONTRACTOR TO RAISE OR LOWER RIM OF EXISTING CLEANOUT AS REQUIRED, OR REPLACE AND INSTALL NEW CLEANOUT TO GRADE PER 4/C5.0.
- INSTALL GREASE INTERCEPTOR WITH SAMPLE BOX TO CITY OF ALBUQUERQUE STANDARDS. REFER TO ARCHITECTURAL AND PLUMBING PLANS FOR SIZE, TYPE AND VENDOR. RIM AND INVERTS PER SANITARY SEWER STRUCTURE TABLE.
- EXISTING 8" PVC PUBLIC SEWER MAIN
- EXISTING 4" PVC SEWER LATERAL. CONTRACTOR TO REPAIR AND JET EXISTING LATERAL AS REQUIRED.
- LOCATION OF EXISTING LATERAL TAP INTO EXISTING MAIN. CONTRACTOR TO POT HOLE TO VERIFY MATERIAL, DEPTH, AND CONDITION OF CONNECTION. CONTRACTOR TO COORDINATE SANITARY SEWER SERVICE WITH PURVEYOR PRIOR TO START OF CONSTRUCTION.
- REMOVE EXISTING 4" PVC LATERAL.

⑦ WATER CONSTRUCTION NOTES:

- APPROXIMATE LOCATION OF CONNECTION TO EXISTING WATER SERVICE STUB. POT HOLE AND VERIFY POINT OF CONNECTION LOCATION, PIPE DIAMETER, PIPE MATERIAL, AND DEPTH PRIOR TO CONSTRUCTION. REPORT RESULTS TO ENGINEER PRIOR TO PROCEEDING WITH ORDERING MATERIALS.
- APPROXIMATE LOCATION OF EXISTING BACKFLOW PREVENTION DEVICE (ASSUMED DOMESTIC). CONTRACTOR TO VERIFY SIZE, TYPE OF DEVICE, AND INTENDED USE PRIOR TO CONSTRUCTION.
- APPROXIMATE LOCATION OF WATER SERVICE CONNECTION TO BUILDING. REFER TO PLUMBING PLANS FOR FINAL LOCATION.
- APPROXIMATE LOCATION OF EXISTING BACKFLOW PREVENTION DEVICE (ASSUMED IRRIGATION). CONTRACTOR TO VERIFY SIZE, TYPE OF DEVICE, AND INTENDED USE PRIOR TO CONSTRUCTION.
- APPROXIMATE LOCATION OF IRRIGATION SERVICE STUB. SEE LANDSCAPE DRAWINGS FOR CONTINUATION.
- LOCATION OF EXISTING WATER METERS SERVICING SITE. CONTRACTOR TO VERIFY QUANTITY OF METERS, CURRENT CONNECTION STATUS, AND SIZE PRIOR TO CONSTRUCTION. CONTRACTOR TO COORDINATE WATER SERVICE WITH PURVEYOR PRIOR TO START OF CONSTRUCTION.
- EXISTING FIRE HYDRANT.
- INSTALL 40 LF 1.5" TYPE K WATER LINE FROM CITY APPROVED MATERIALS LIST
- EXISTING 10" PVC WATER MAIN

⑧ DRY UTILITIES CONSTRUCTION NOTES:

- INSTALL ELECTRICAL CONNECTION TO NEW TRANSFORMER. PURVEYOR TO REPLACE EXISTING TRANSFORMER. CONTRACTOR TO INSTALL SECONDARY ROUTING TO NEW TRANSFORMER. CONTRACTOR SHALL COORDINATE SCOPE OF WORK WITH MEP PLANS AND PURVEYOR PRIOR TO CONSTRUCTION.
- INSTALL CONNECTION TO TELECOMMUNICATIONS SERVICE. CONTRACTOR TO COORDINATE SCOPE OF WORK WITH MEP PLANS AND PURVEYOR PRIOR TO CONSTRUCTION.
- APPROXIMATE LOCATION OF POWER CONNECTION TO BUILDING. CONTRACTOR TO COORDINATE SCOPE OF WORK WITH MEP PLANS AND PURVEYOR PRIOR TO CONSTRUCTION.
- APPROXIMATE LOCATION OF COMMUNICATIONS CONNECTION TO BUILDING. CONTRACTOR TO COORDINATE SCOPE OF WORK WITH MEP PLANS AND PURVEYOR PRIOR TO CONSTRUCTION.
- APPROXIMATE LOCATION OF UNDERGROUND ELECTRICAL CONDUIT, CONSISTING OF 150 LF OF (2) 4" CONDUIT WITH PULL TAPE FOR INSTALLATION. INSTALL (2) RUNS OF 4-350 KCMIL CU. REFER TO ELECTRICAL AND PURVEYOR DRAWINGS FOR ADDITIONAL DETAILS.
- APPROXIMATE LOCATION OF UNDERGROUND TELECOMMUNICATIONS ROUTING, CONSISTING OF 150 LF OF (1) 4" CONDUIT WITH PULL TAPE FOR INSTALLATION. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL DETAILS.
- APPROXIMATE LOCATION OF PULLBOX
- EXISTING DRY UTILITY LINE TO BE DECOMMISSIONED PENDING CITY APPROVAL
- EXISTING DRY UTILITY LINE TO BE PROTECTED

SANITARY SEWER STRUCTURE TABLE	
⑤	FLOOR DRAIN, RIM=5380.09 IE=5376.52 (4" OUT N)
⑦	GI, RIM=5380.81 IE=5374.10 (4" IN NW) IE=5374.10 (4" OUT SE)
⑦	SAMPLE PORT, RIM=5380.69 IE=5374.05 (4" IN NW) IE=5373.88 (4" OUT SE)
⑥	SSCO#1, RIM=5382.98 IE=5375.50 (4" OUT NW)
④	SSCO#2, RIM=5382.98 IE=5375.50 (4" OUT NW)
①	SSCO#3, RIM=5382.24 IE=5375.27 (4" IN SE)
②	SSCO#4, RIM=5382.24 IE=5375.27 (4" IN SE) IE=5375.27 (4" OUT SW)
②	SSCO#5, RIM=5380.03 IE=5376.05 (4" IN S) IE=5376.05 (4" OUT NE)
②	SSCO#6, RIM=5380.54 IE=5374.40 (4" IN SW) IE=5374.40 (4" OUT NE)
②	SSCO#7, RIM=5381.00 IE=5374.25 (4" IN SW) IE=5374.25 (4" IN NE) IE=5374.25 (4" OUT SE)
①	SSCO#8, RIM=5381.21 IE=5373.45 (4" IN NW)

UTILITY LOCATION NOTE:

WATER LINES, CONDUITS FOR ELECTRICAL, OR OTHER UTILITIES SHALL BE LOCATED SO AS TO NOT CONFLICT WITH REQUIRED TREE LOCATIONS FOR STREETS AND PARKING LOTS.

UTILITY CROSSING NOTE:

CONTRACTOR SHALL MAINTAIN MINIMUM SEPARATION BETWEEN UTILITIES AS REQUIRED BY JURISDICTIONS HAVING AUTHORITY. CONTRACTOR TO VERIFY SEPARATION REQUIREMENTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT HOULING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE 811 AND THEN POT HOULING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

③ - UTILITY CROSSING NOTE:

CONTRACTOR TO MAINTAIN MINIMUM 1.5' VERTICAL SEPARATION BETWEEN WATER SERVICE LINES AND ALL OTHER UTILITIES. A MINIMUM OF 1'-0" VERTICAL SEPARATION MUST BE MAINTAINED BETWEEN SIDE SEWER AND ALL OTHER UTILITIES WITH THE EXCEPTION OF WATER SERVICE LINES.

Title:

DUTCH BROS

For:



Scale:

Horizontal 1" = 20'
Vertical N/A

Designed BB

Drawn BB

Checked MTL

Approved AEM

Date 8/1/24

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

Job Number 23204

Sheet C4.0

2019 DBA
Franchising USA, LLC

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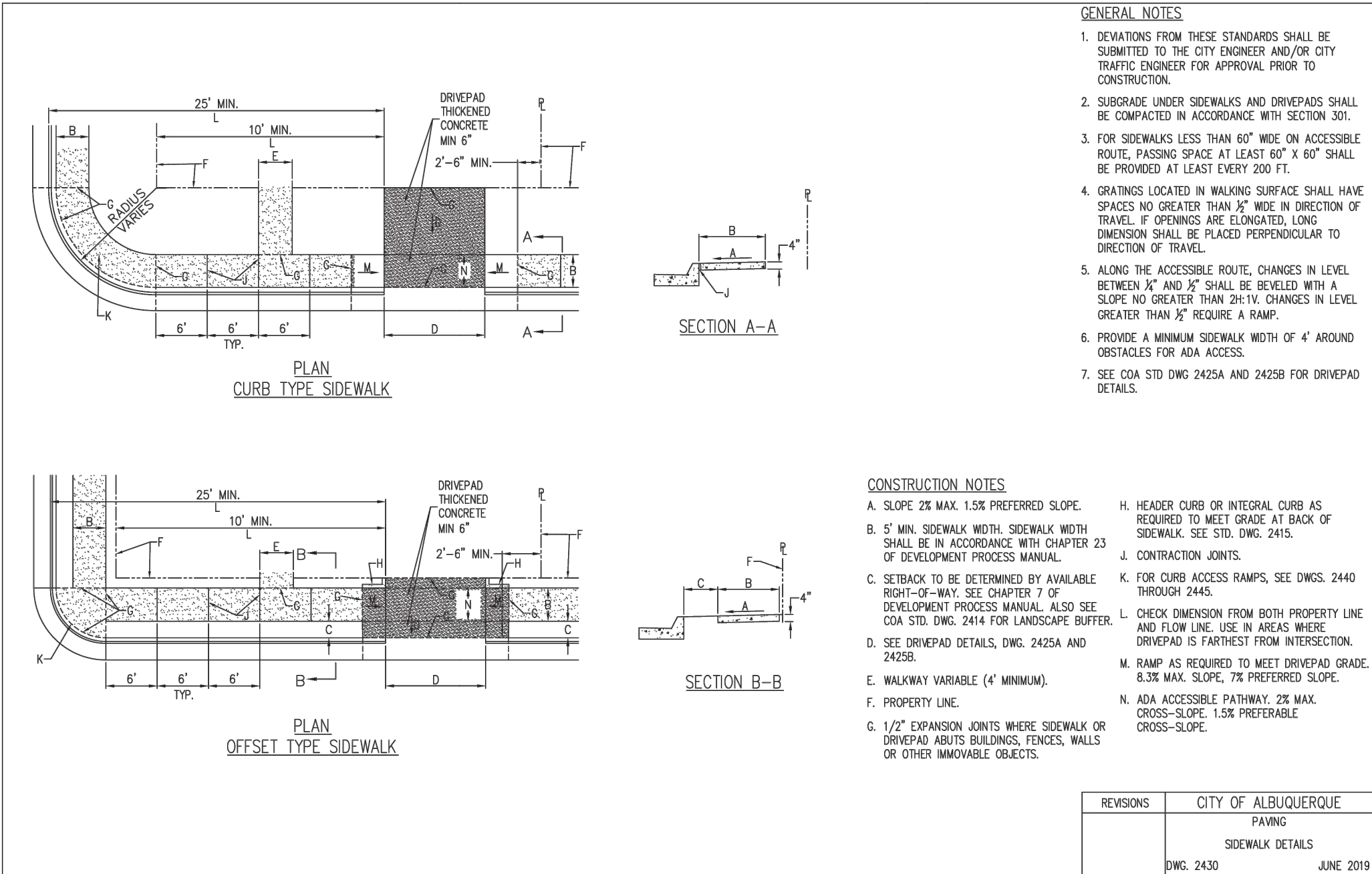


Know what's below.
Call before you dig.
Dial 811

DUTCH BROS COFFEE - NM0504, ALBUQUERQUE, NM

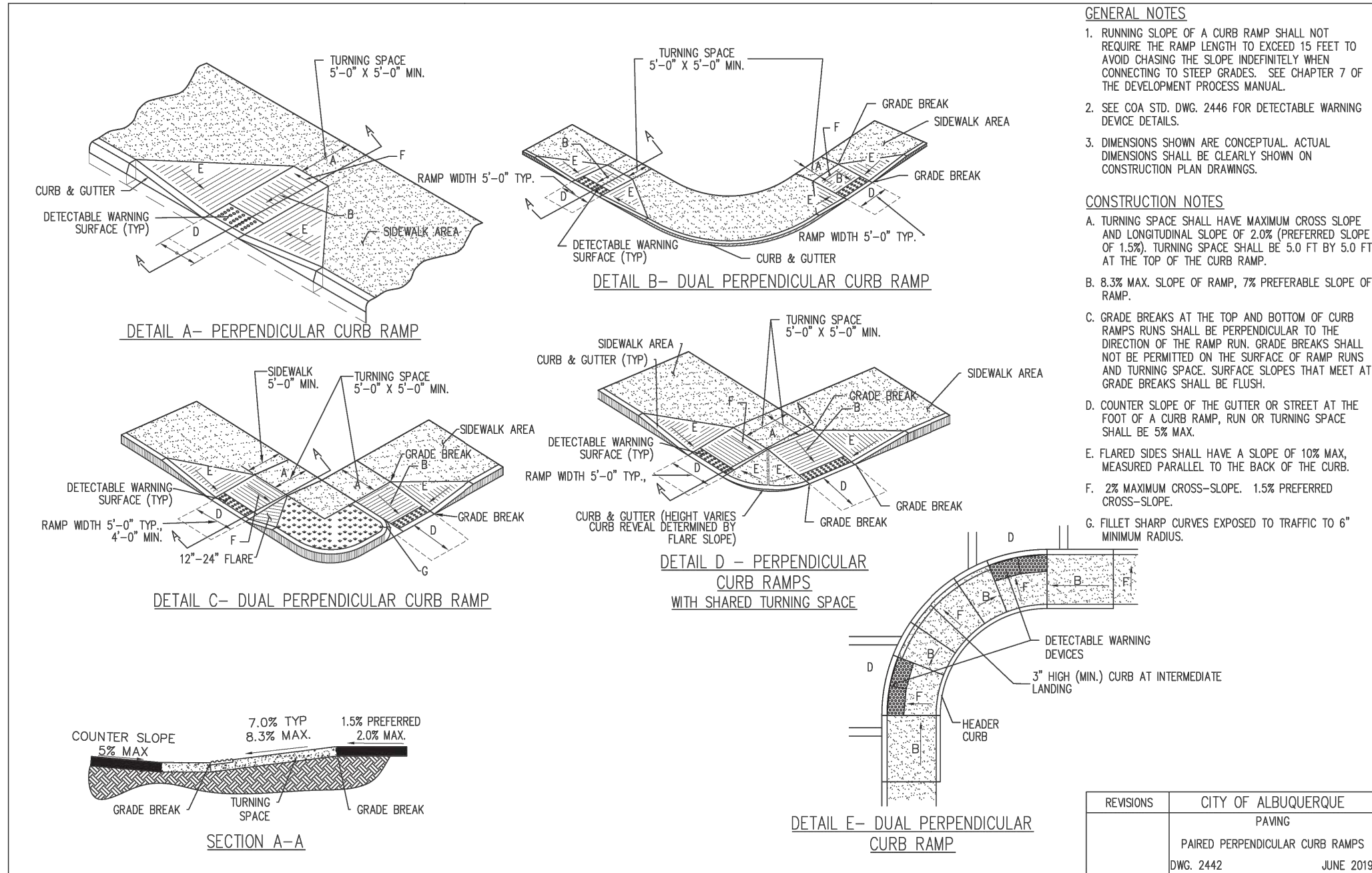
7330 SAN ANTONIO DRIVE N.E.

NOTES AND DETAILS



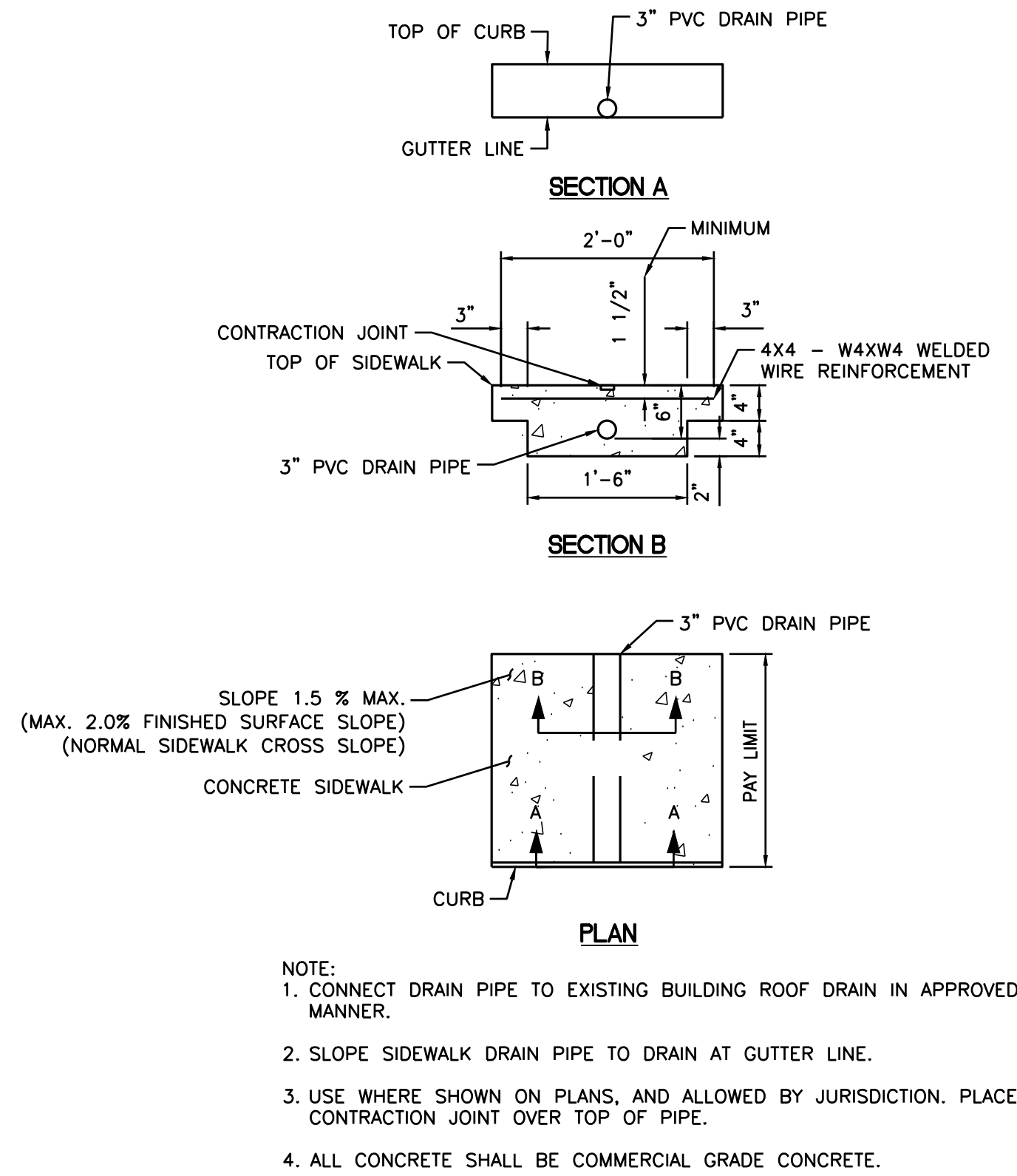
PUBLIC SIDEWALK

NOT TO SCALE



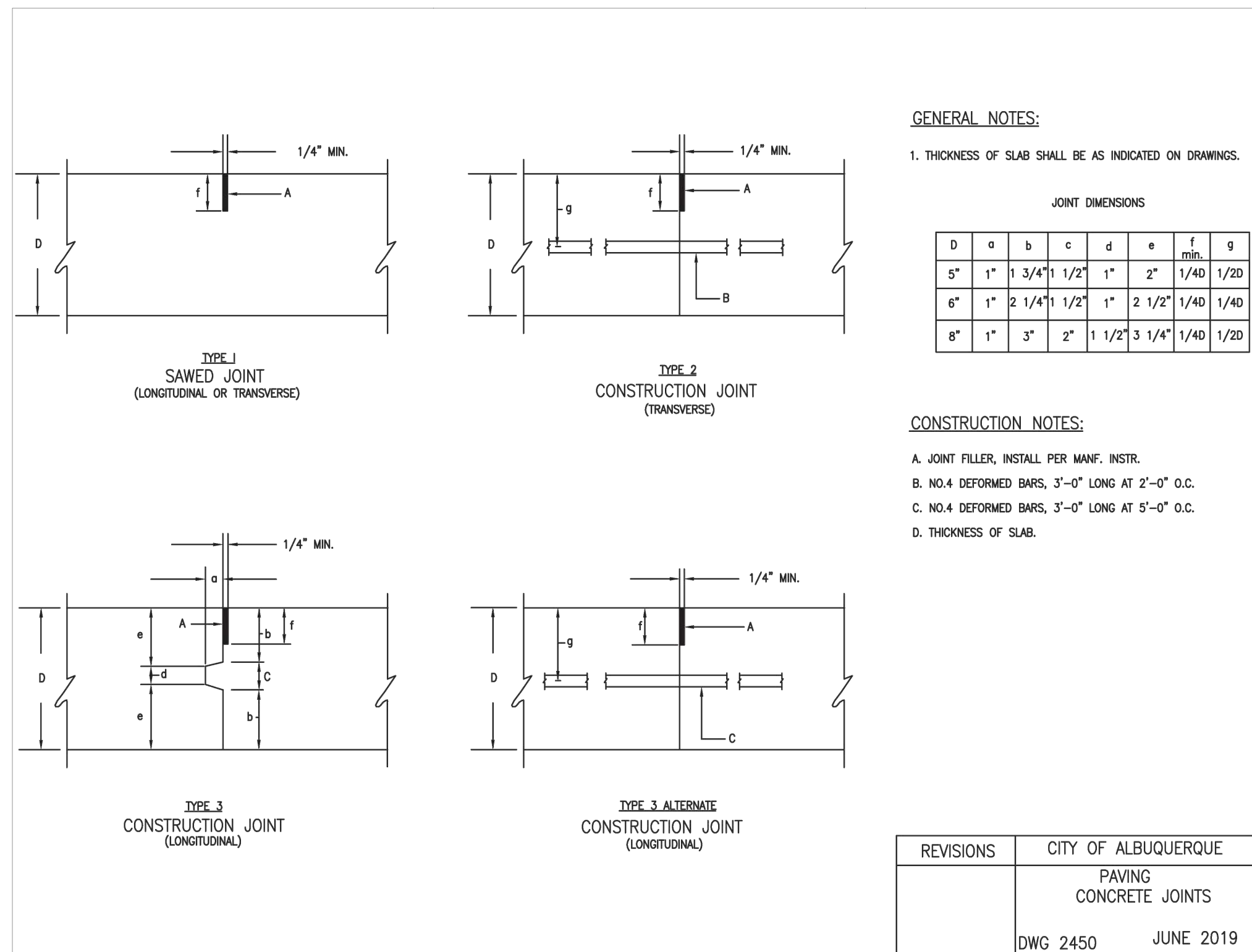
ACCESSIBLE CURB RAMP DETAILS

NOT TO SCALE



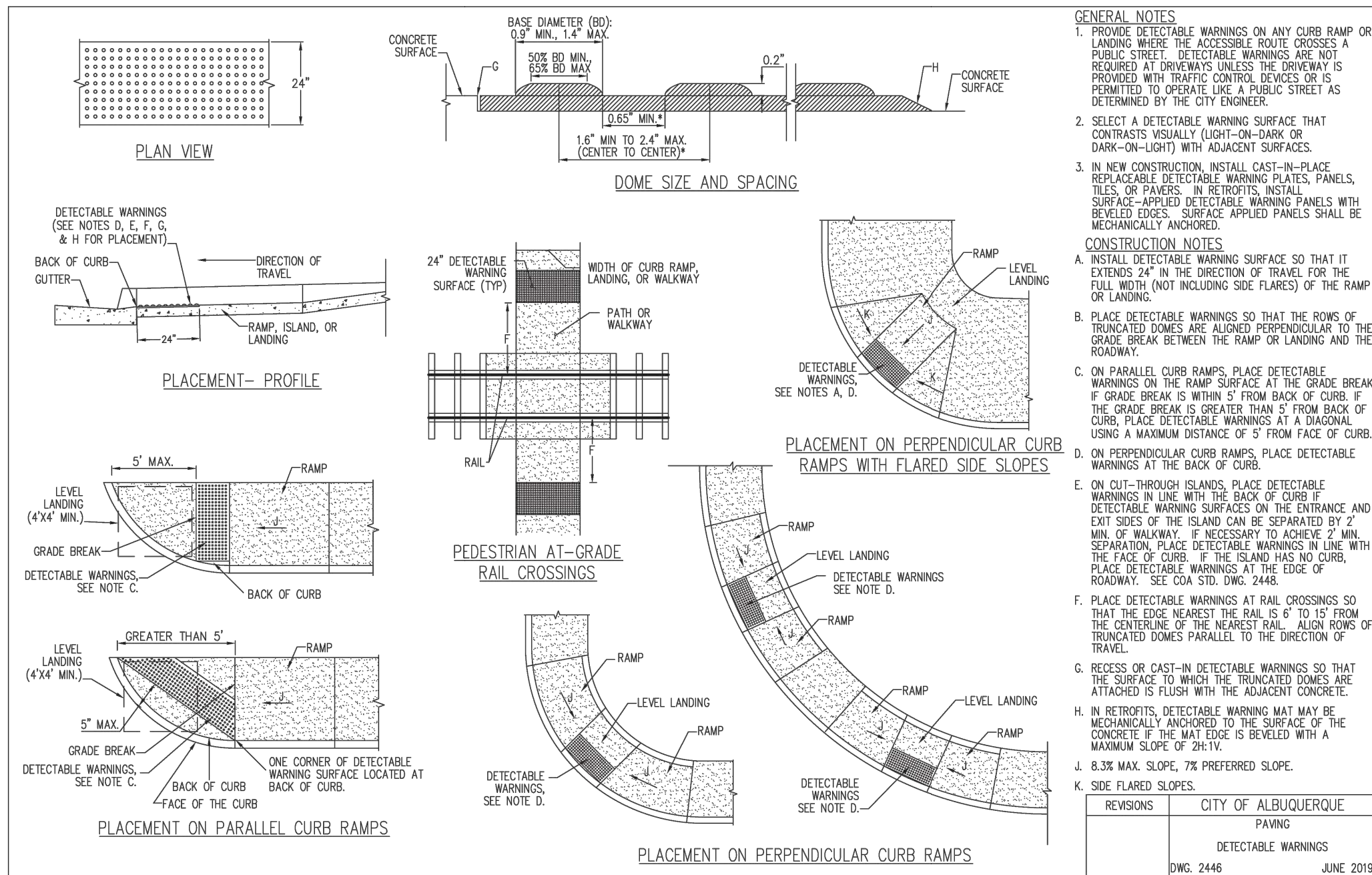
SIDEWALK UNDERDRAIN

NOT TO SCALE



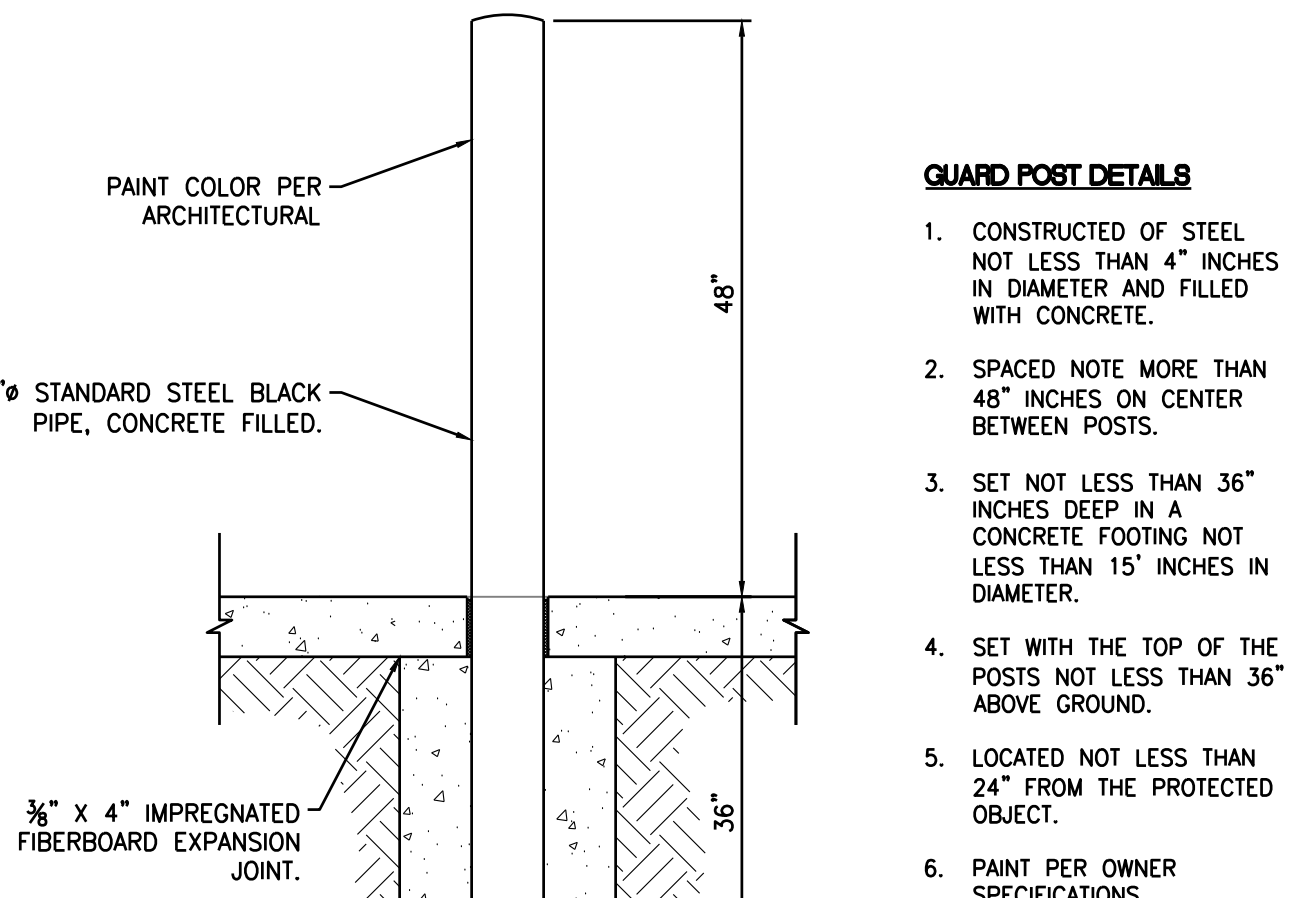
PUBLIC SIDEWALK CONCRETE JOINTS

NOT TO SCALE



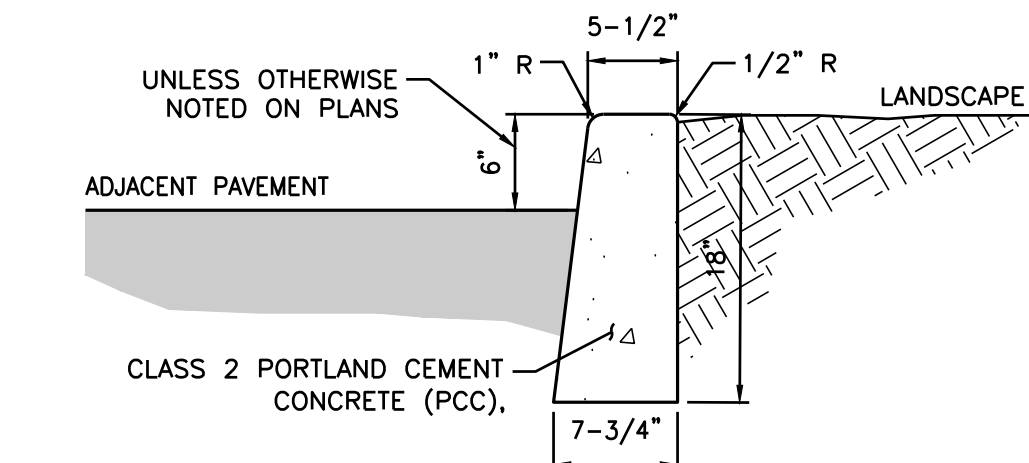
DETECTABLE WARNINGS

NOT TO SCALE



TYPICAL GUARD POST

NOT TO SCALE

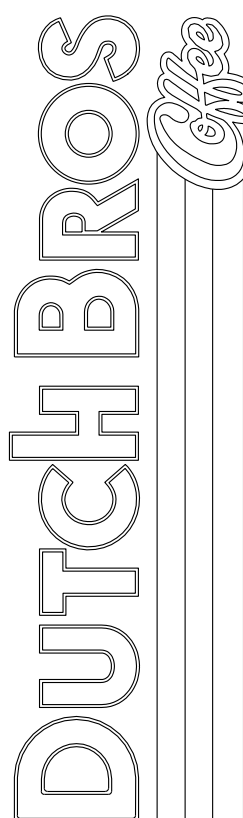


ON-SITE BARRIER CURB

NOT TO SCALE

NOTES AND DETAILS
7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109

Title:



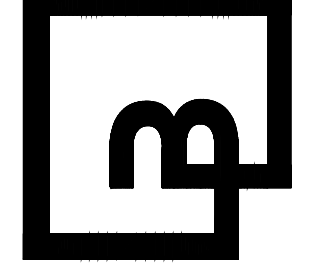
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Scale: Horizontal N/A Vertical N/A

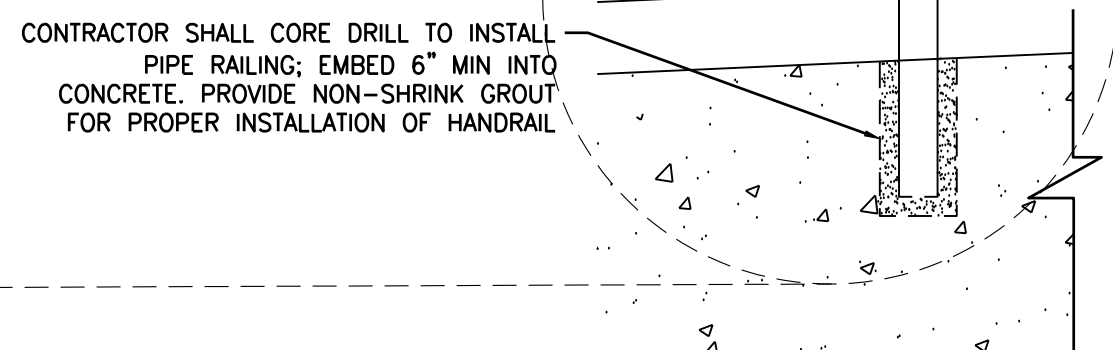
Designed BB Draw BB Checked MTL Approved AEM Date 8/1/24

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

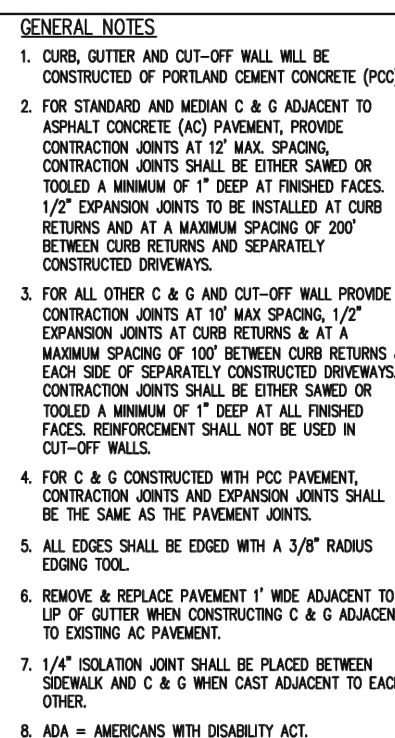


Job Number 23204
Sheet C51
2019 DB Franchising USA, LLC

DUTCH BROS COFFEE - NM0504, ALBUQUERQUE, NM
7330 SAN ANTONIO DRIVE N.E.
NOTES AND DETAILS



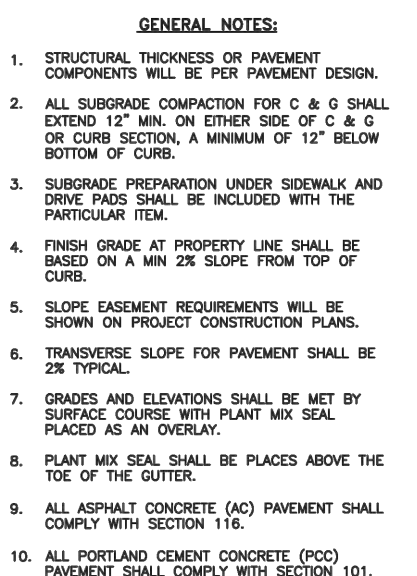
5 RAMP W
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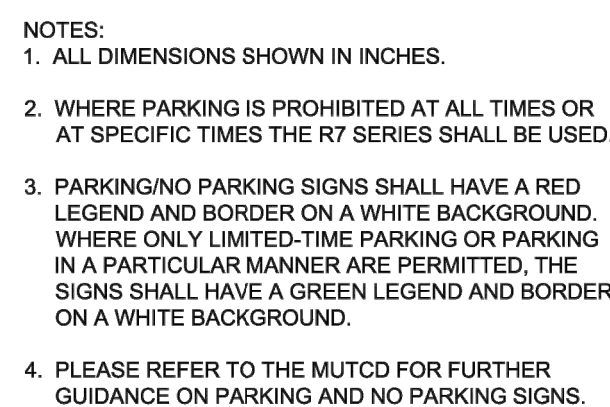
RIGHT-C
3
C5.2 NOT TO SCALE



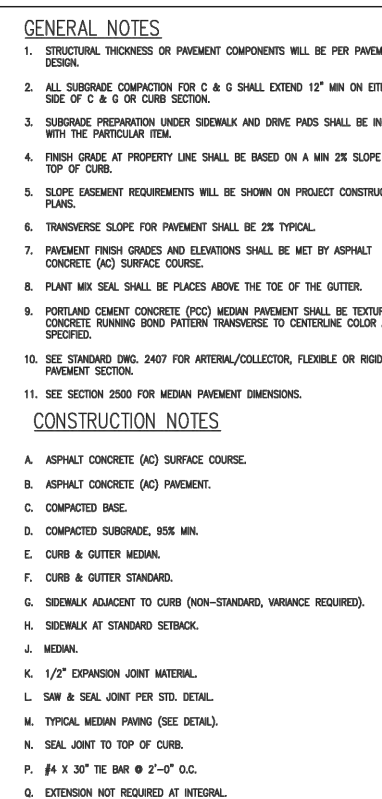
SIDEWA
6
C5.2 NOT TO SCALE



4 ASPHAL
C5.2 NOT TO SCALE



1
C5.2

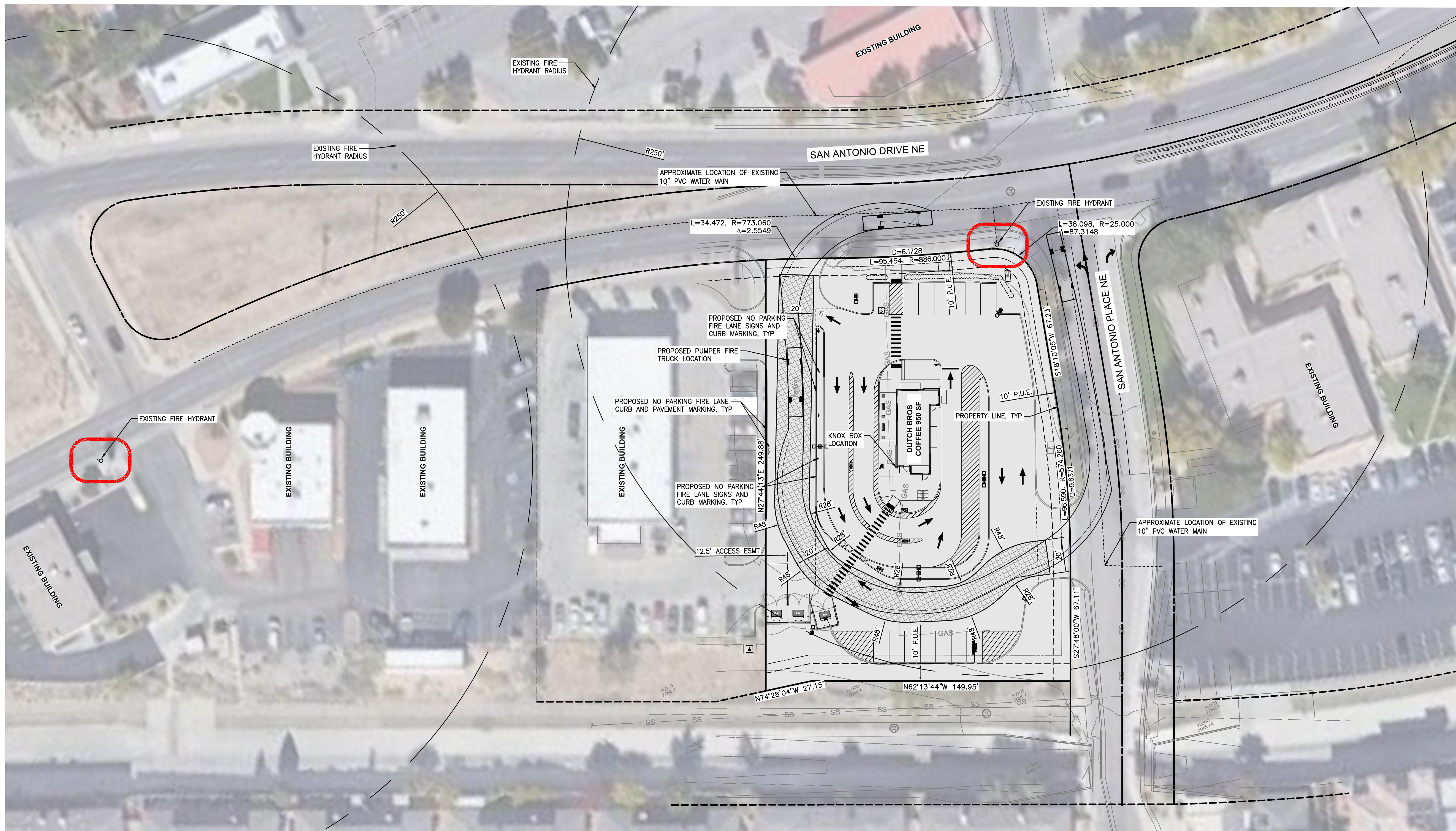
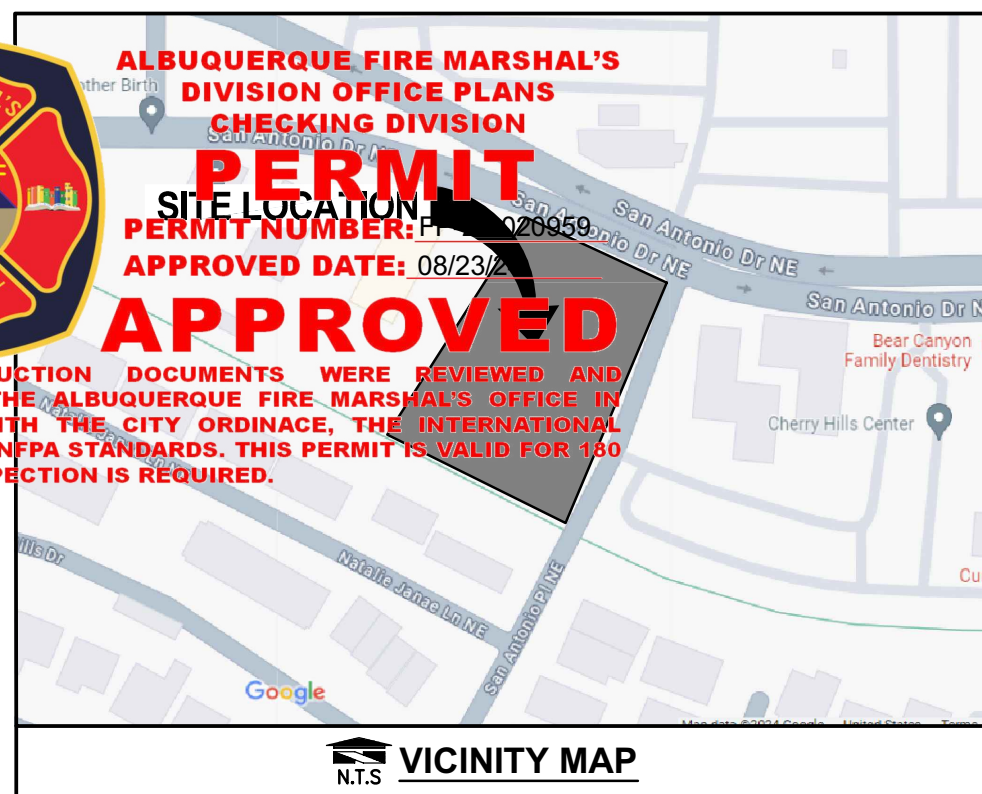
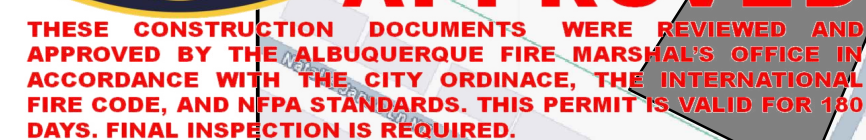


MEDIAN
NOT TO SCALE

CONSTRUCTION TYPE:	V-B (NON-SPRINKLERED)
BUILDING AREA:	950 SQUARE FEET
FLOW REQUIRED:	1,500 GPM
MINIMUM # OF HYDRANTS:	1
AVG. DISTANCE BETWEEN HYDRANTS:	500 FT
MAXIMUM DISTANCE FROM ANY: POINT ON A STREET OR ROAD FRONTAGE TO A HYDRANT (APPENDIX C, 2015 IFC)	250 FT
PROPOSED STORIES:	1 STORY

A KEYBOX (KNOX BOX) SHALL BE PROVIDED AND MOUNTED BETWEEN 4 AND 6 FT ABOVE GRADE AT THE MAIN ENTRANCE OF BUILDING. KEY BOX SHALL BE ILLUMINATED FOR VISIBILITY PURPOSES TO THE FIRE PERSONNEL.

1. ALL FIRE EXISTING FIRE HYDRANT LOCATIONS ARE APPROXIMATE, DESIGNED TO PROVIDE COVERAGE TO THE PROJECT AREA.
2. THE FIRE LANE SURFACES SHALL BE ASPHALT AND CAPABLE OF SUPPORTING AN IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 LBS.
3. ALL BUILDINGS ARE TO BE 1-STORY AND LESS THAN 24' HIGH.
4. ENGINEERING DATA SHALL BE SUBMITTED TO SUBSTANTIATE WEIGHT BEARING CAPACITY AND WEATHER DRIVING CAPABILITIES FOR FIRE APPARATUS ACCESS ROADS.
5. ALL DRIVING SURFACES SHALL NOT EXCEED 10% GRADE.
6. SECURITY GATES THAT EXTEND ACROSS FIRE APPARATUS ACCESS ROADS OR IMPEDE FIRE APPARATUS ACCESS SHALL HAVE AN APPROVED MEANS OF OPERATION TO ALLOW FIRE DEPARTMENT ACCESS.
7. FIRE ACCESS ROAD SHALL HAVE AN UNOBSTRUCTED WIDTH NOT LESS THAN 20-FEET AND NOT LESS THAN 26- FEET IN WIDTH WHEN FIRE ACCESS ROADS EXCEED 300- FEET.
8. FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED WITHIN 100' OF A HYDRANT AND UNOBSTRUCTED FROM ANY OBJECT FOR A MINIMUM DISTANCE OF 3'.
9. INDICATOR VALVES SHALL BE PROVIDED AS REQUIRED BY NFPA 13.
10. ALL FIRE HYDRANT SUPPLY LINES THAT BRANCH OFF FROM THE WATER MAINS SHALL BE 6" DIA. UNLESS OTHERWISE NEEDED ON THE PLANS.
11. THE MINIMUM INSIDE TURNING RADIUS SHALL BE 28- FEET
12. SEE PROJECT DATA NOTES ABOVE FOR PROPOSED BUILDING TYPE AND SQUARE FOOTAGE.
13. A KEY BOX (KNOX BOX) IS REQUIRED IF ACCESS TO THE BUILDING IS NECESSARY FOR LIFE SAFETY OR FIRE FIGHTING PURPOSES.



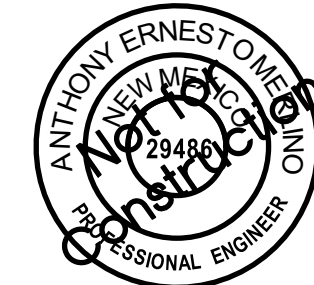
Job Number
23204

Sheet
1 OF 1

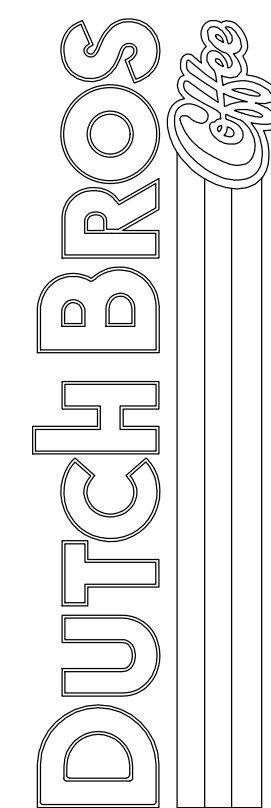
2018 DB
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**Barghausen
Consulting Engineers, Inc.**
18215 72nd Avenue South
Kent, WA 98032
425.251.6222 **barghausen.com**

Designed	BB	Scale: Horizontal 1" = 30' Vertical N/A
Drawn	BB	
Checked	MTL	
Approved	AEM	
Date	8/1/24	



For:

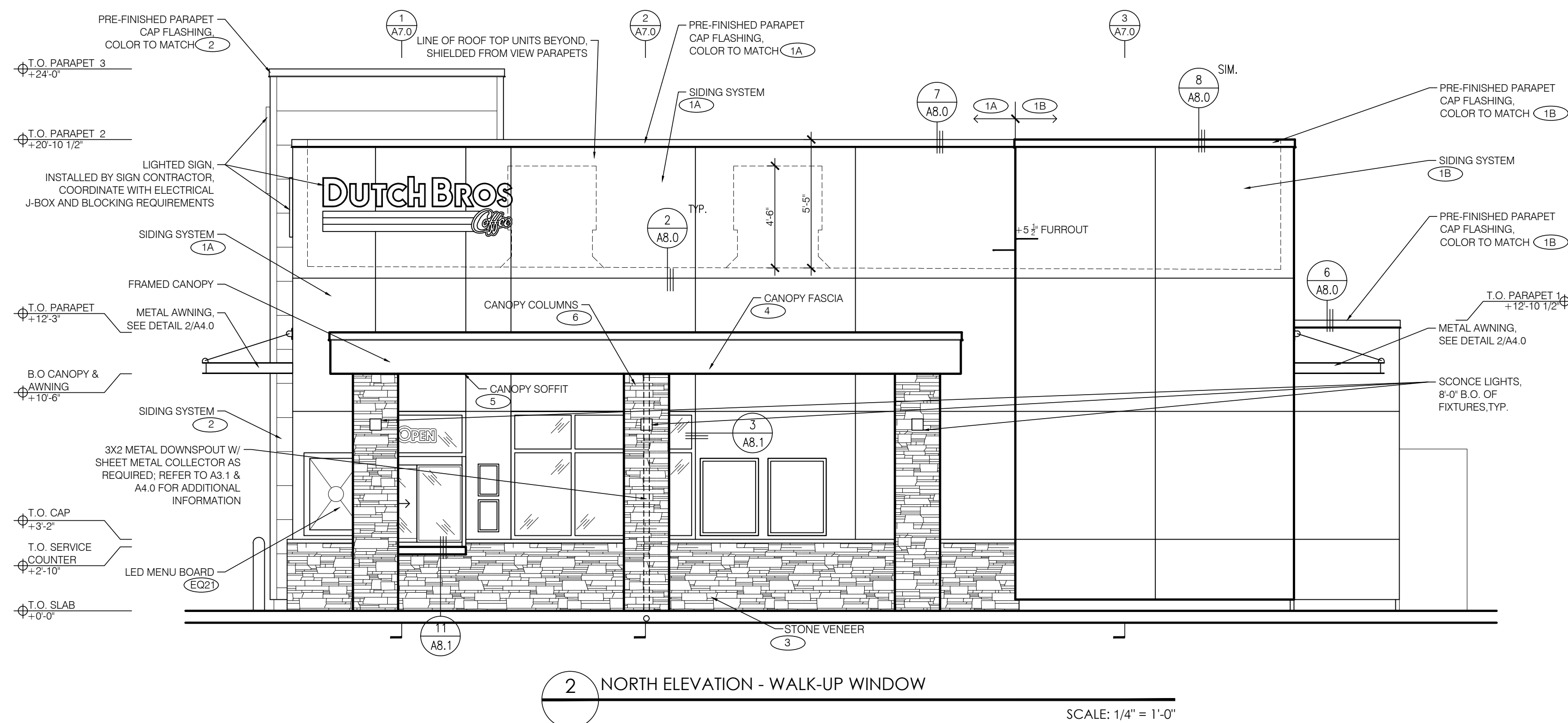
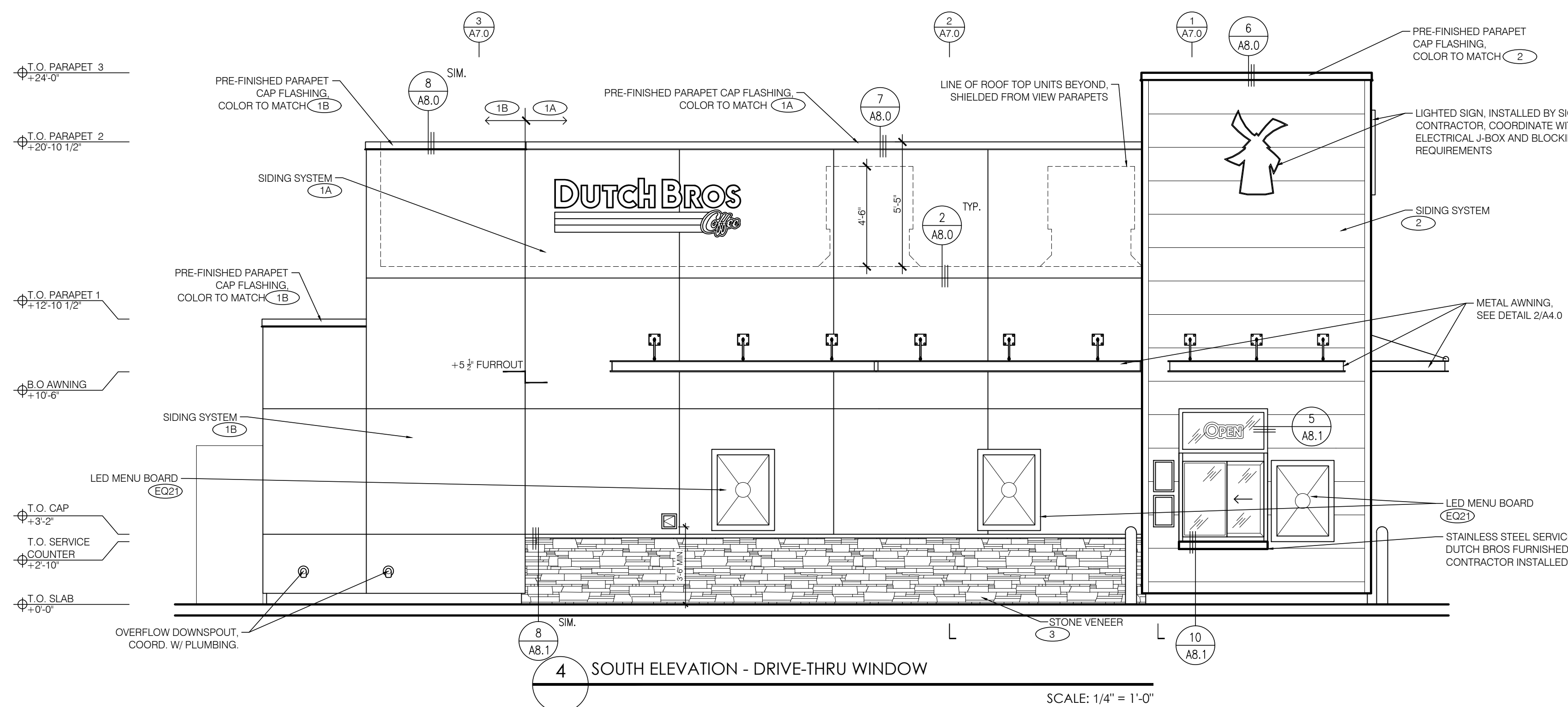


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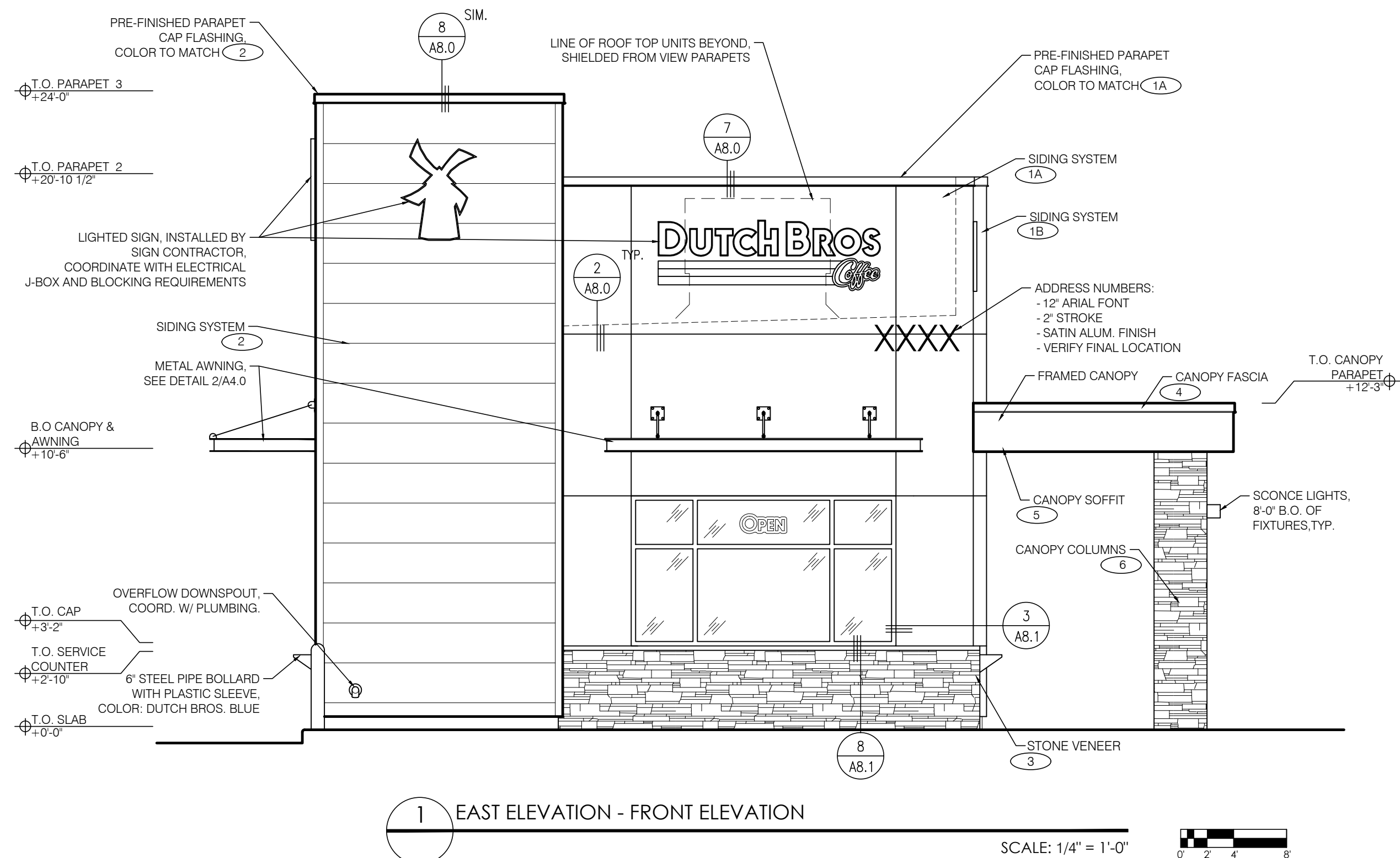
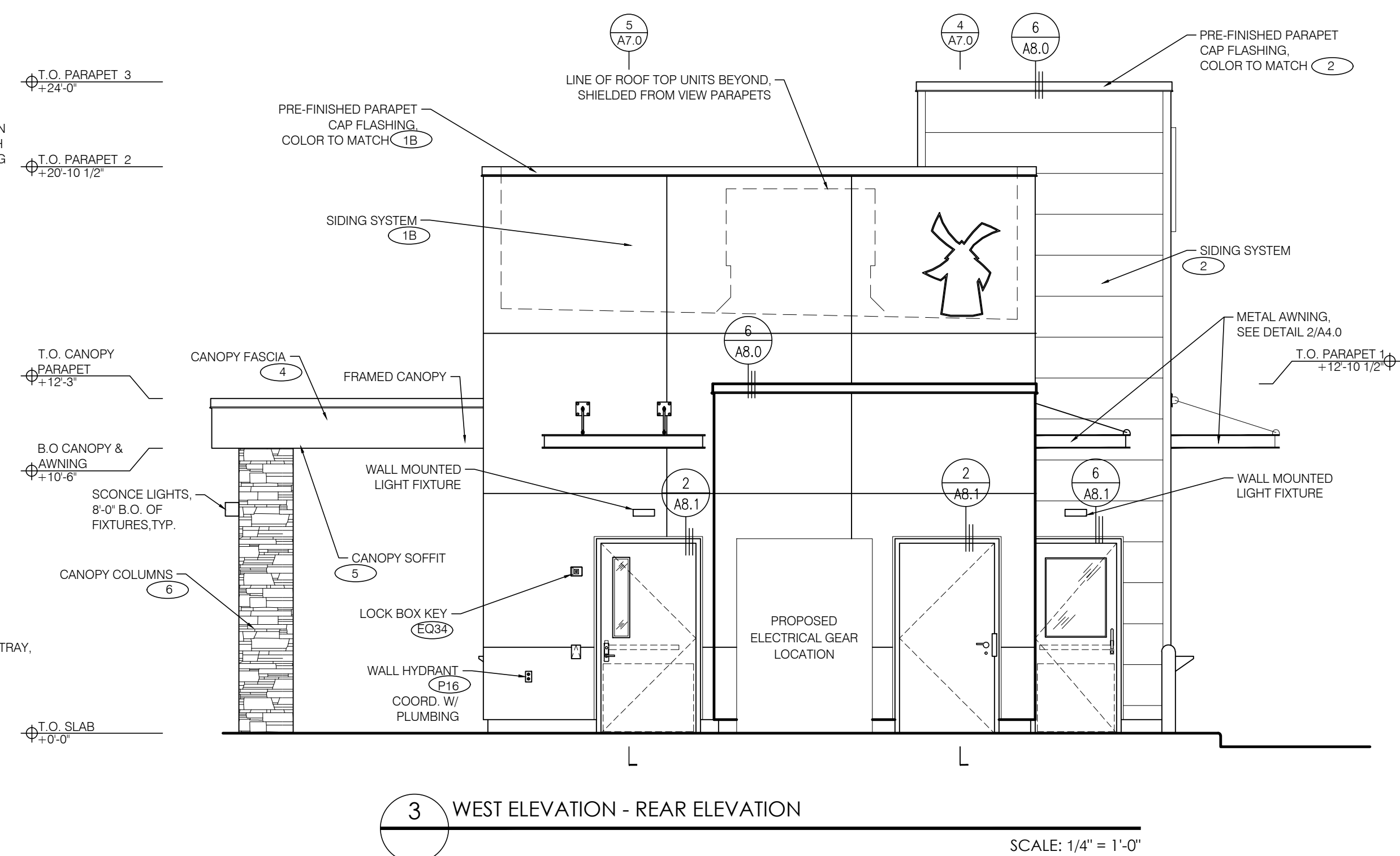
FIRE 1 PLAN
7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109

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NOTE:
SIGNS ARE IN CONFORMANCE WITH
THE 1995 CONTROLLING SITE PLAN.



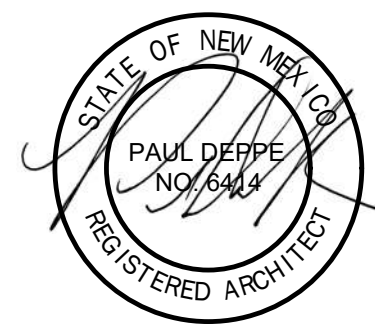
Exterior Finish Schedule				
ID Tag	Material	Manufacturer	Model	Remarks
Zone 1 (Body)				
1A	Exterior Cement Plaster	Sherwin Williams	Oak Barrel #SW 7714	3-Coat System w/ Acrylic Medium Sand Finish; Reveals as shown
1B	Exterior Cement Plaster	Sherwin Williams	Biscuit #SW 6112	3-Coat System w/ Acrylic Medium Sand Finish; Reveals as shown
Zone 2 (Tower) (Z2)				
2	Fiber Cement Siding	Nichiha	Illumination, AWP 1818 w/ Open Outside Corners	Factory Painted Bldg DB Blue; Cap Flashing to Match Bldg DB Blue
Zone 3 (3'-2" Base)				
3	Stone Veneer	Eldorado Stone	Cliffstone, Banff Springs	
	Stone Veneer Sill	Eldorado Stone	Snapped Edge Wainscot Sill; Pewter	
Zone 4 (Framed Canopy)				
4	Fascia	Western States Metal Roofing	T-Groove, 10"	3 Sides; Color: Bldg DB Dark Gray
5	Soffit	Hewn Elements	Natural Northwestern Spruce	1x6, T&G, 1/8" Reveal
6	Columns	Eldorado Stone	Cliffstone, Banff Springs	
Note: Exterior doors to be painted per A6.1				



ARMÉT DAVIS NEWLOVE &
ASSOCIATES, AIA ARCHITECTS

1330 OLYMPIC BLVD.
SANTA MONICA, CALIFORNIA 90404
PH 310 452-5533 FAX 310 450-4742

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EXPIRES 12/31/2025

Project No: NM0504
Dutch Bros Coffee - New Freestanding Store
2550 - A1 PROTOTYPE
7330 SAN ANTONIO DR NE,
ALBUQUERQUE, NM 87109

DATE: 09/19/2024

REV:	DATE:	DESCRIPTION:
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SHEET NAME:

BUILDING ELEVATIONS

SHEET NUMBER:

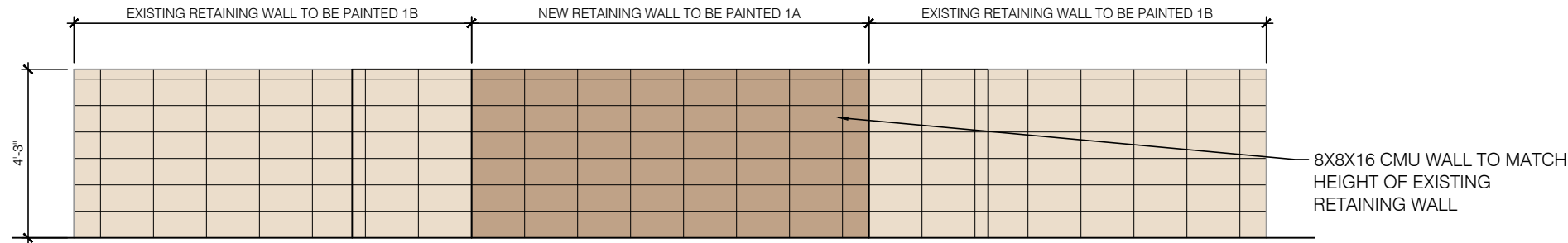
A6.0

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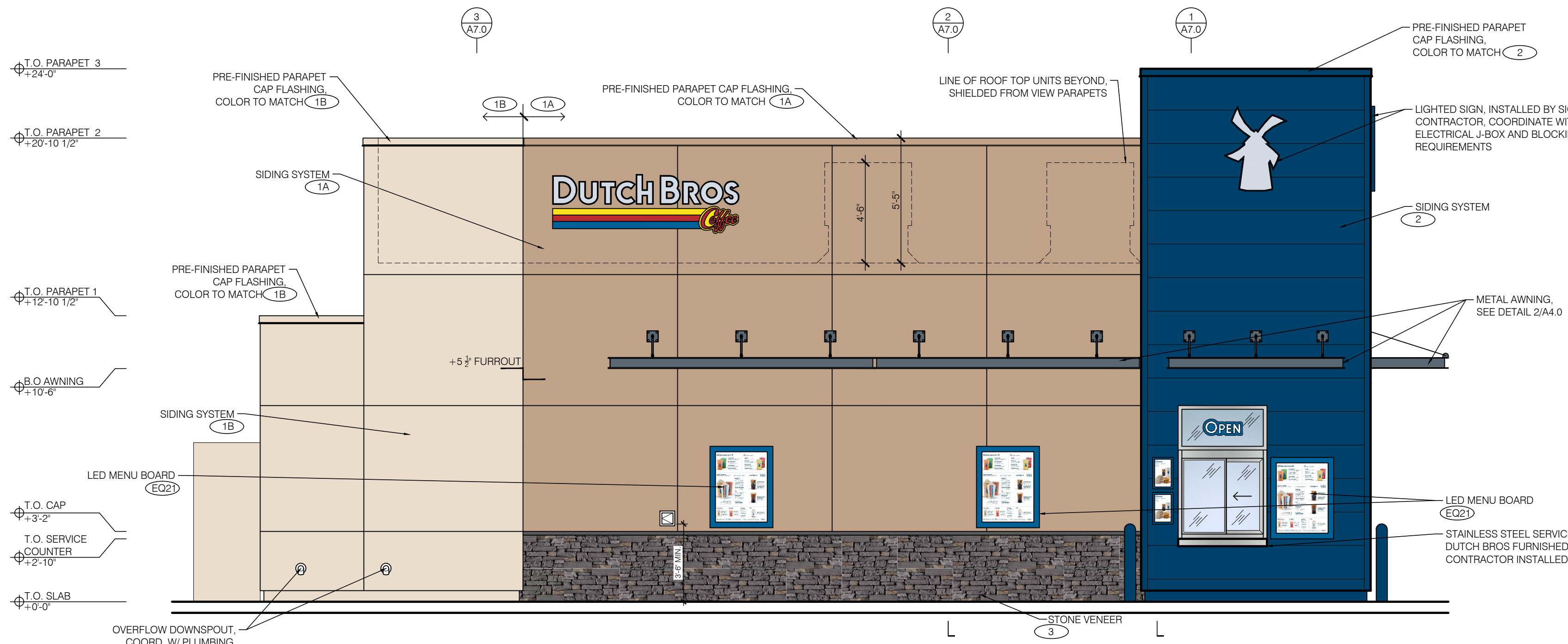
Y:\Active Projects\Dutch Bros\23 - NM0504 7330 San Antonio Dr. NE, Albuquerque, NM\Drawings\NM0504 - A60 - BUILDING ELEVATIONS - A1.dwg
A60.0 BLDG ELEV, 10/14/2024 2:57:50 PM, kenza

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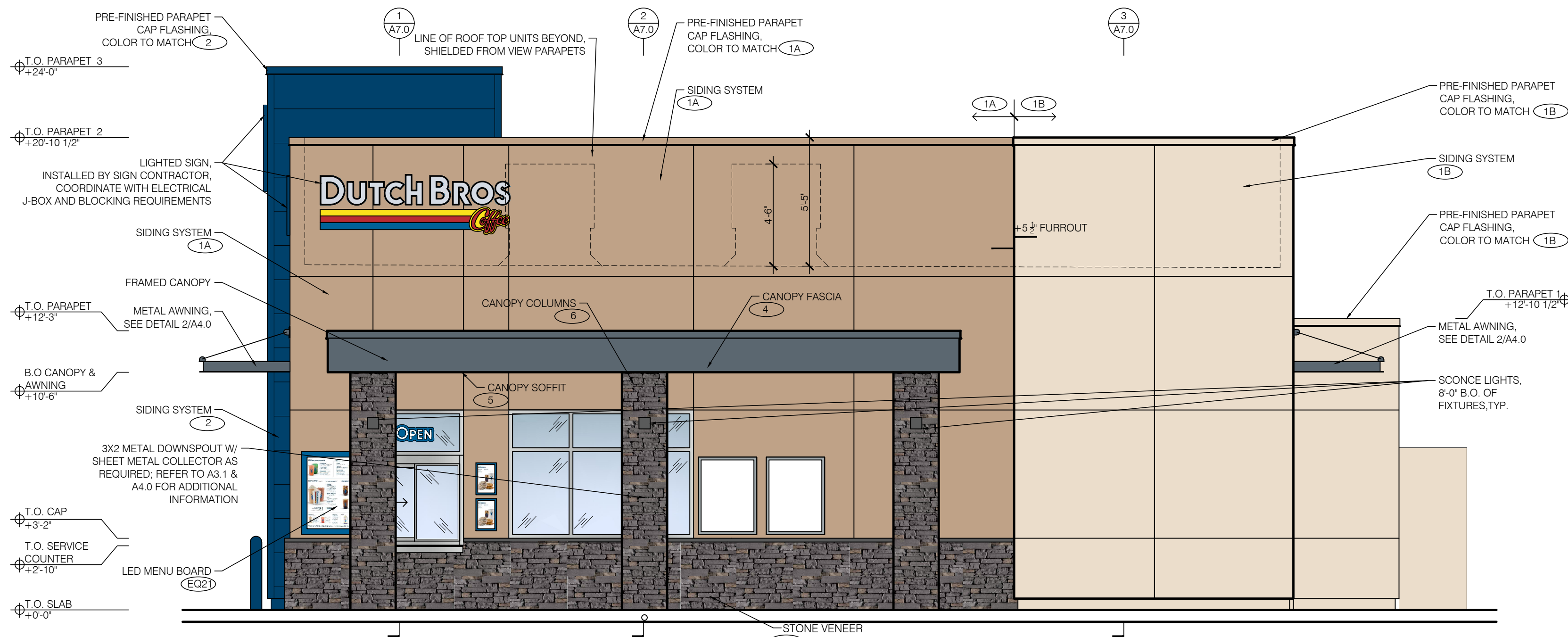
Note:
The exterior lighting designed at 7730 San Antonio Drive NE, Albuquerque, NM, is in compliance with Section 14-16-5-8 Outdoor and Site Lighting of the Integrated Development Ordinance IDO of the city of Albuquerque, New Mexico. Light poles in design are not more than 30 feet tall and all exterior light fixtures meet full cutoff requirements. All building mounted fixtures are mounted at least 8 feet high and not more than 15 feet above grade. Light fixtures installed in canopies or similar structures are flush-mounted above the lower edge of the canopy and do not project below the canopy ceiling. All sources of light for non-residential development that are visible from the property line do not exceed 300 foot lamberts as measured from the property line.



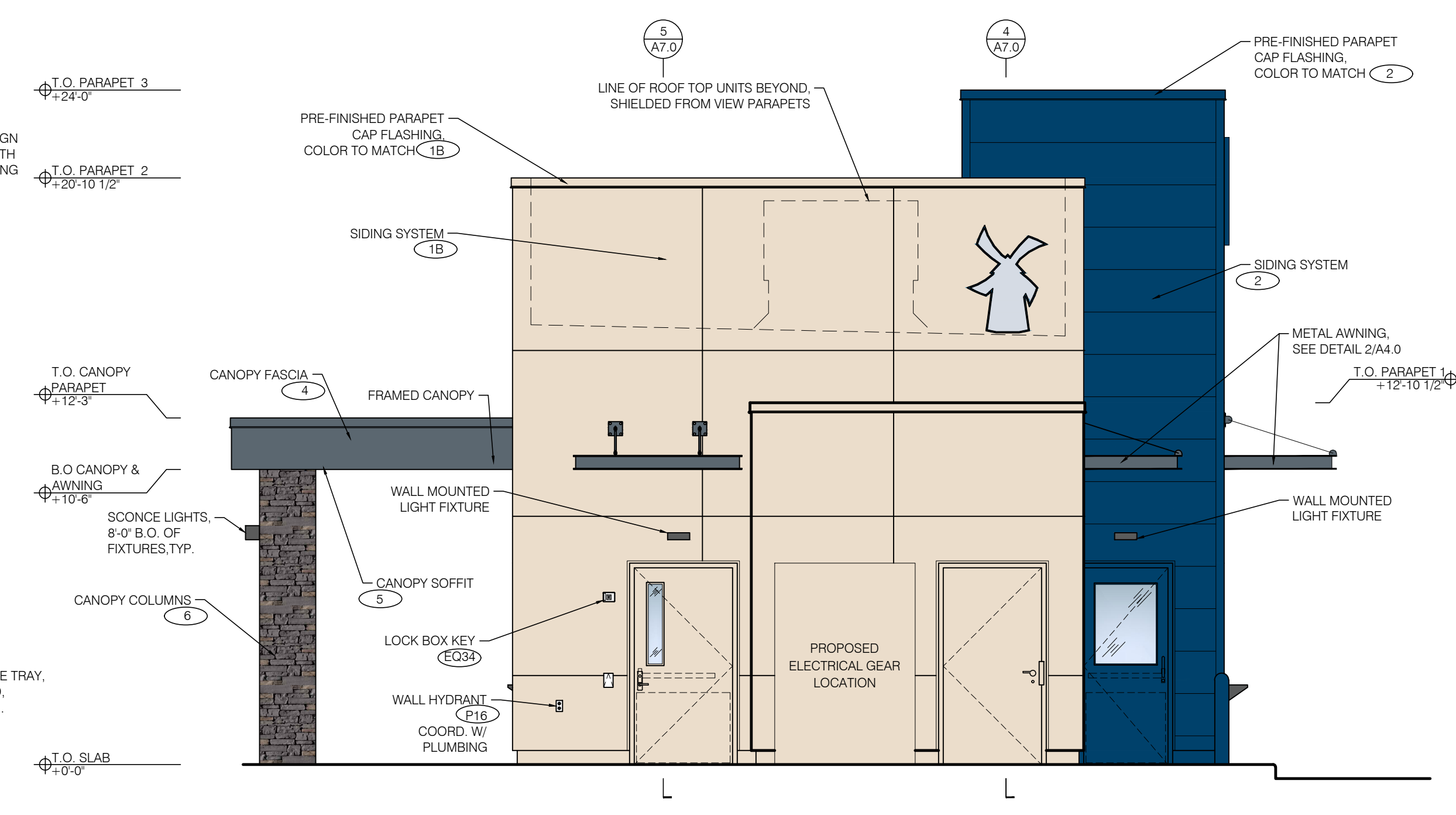
5 RETAINING WALL VIEW FROM PINO ARROYO DRAINAGE CANAL
SCALE: 1/4" = 1'-0"



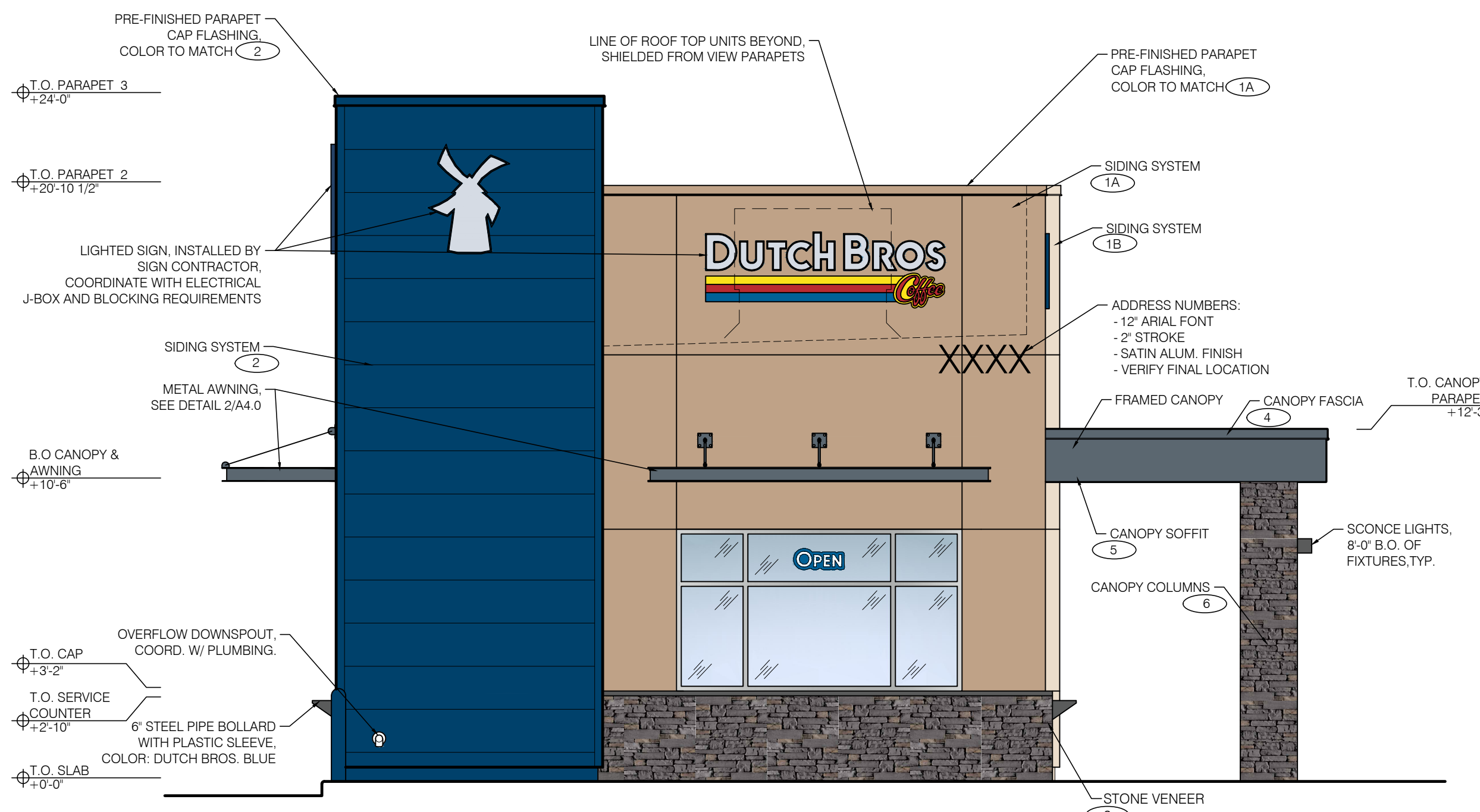
4 SOUTH ELEVATION - DRIVE-THRU WINDOW
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION - WALK-UP WINDOW
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION - REAR ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION - FRONT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

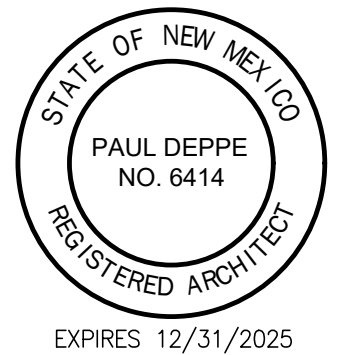
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	EXTERIOR CEMENT PLASTER	SHERWIN WILLIAMS	OAK BARREL #SW 7714	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH; REVEALS AS SHOWN
1B	EXTERIOR CEMENT PLASTER	SHERWIN WILLIAMS	BISCUIT #SW 6112	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH; REVEALS AS SHOWN
ZONE 2 (TOWER) (Z2)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 W/ OPEN OUTSIDE CORNERS	FACTORY PAINTED BLDG DB BLUE; CAP FLASHING TO MATCH BLDG DB BLUE
ZONE 3 (3'-2" BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	
	STONE VENEER SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL; PEWTER	
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	WESTERN STATES METAL ROOFING	T-GROOVE, 10"	3 SIDES; COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1X6, T&G, 1/8" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	
NOTE: EXTERIOR DOORS TO BE PAINTED PER A6.1				



ARMET DAVIS NEWLOVE & ASSOCIATES, AIA ARCHITECTS

1330 OLYMPIC BLVD.
SANTA MONICA, CALIFORNIA 90404
PH 310 452-5533 FAX 310 450-4742

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Project No: NM0504
Dutch Bros Coffee - New Freestanding Store
2550 - A1 PROTOTYPE
7330 SAN ANTONIO DR NE.
ALBUQUERQUE, NM 87109

DATE: 09/19/2024
REV: DATE: DESCRIPTION:

SHEET NAME:

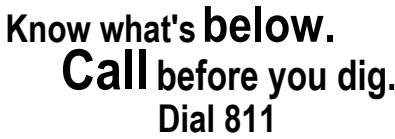
BUILDING ELEVATIONS
COLOR

SHEET NUMBER:

A6.1

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Project Number PR-2022-007872
Application Number SI-2024-00674



THIS IS A MAJOR AMENDMENT TO THE CONTROLLING SITE DEVELOPMENT PLAN FOR BUILDING F TO ALLOW A RESTAURANT WITH DRIVE THROUGH USE



AMENITY LEGEND

- ① PROPERTY LINE
- ② EASEMENT
- ③ SETBACK
- ④ EXISTING TREE TO REMAIN
- ⑤ EXISTING TREE TO BE REMOVED
- ⑥ EXISTING LANDSCAPE TO REMAIN
- ⑦ EXISTING SIDEWALK
- ⑧ SIDEWALK BY OTHERS
- ⑨ TRASH ENCLOSURE BY OTHERS
- ⑩ BIKE RACK BY OTHERS
- ⑪ PARKING LOT SCREENING HEDGE
- ⑫ PARKING LOT EDGE LANDSCAPING
- ⑬ DRIVE-THROUGH LANE SCREENING HEDGE
- ⑭ TRASH ENCLOSURE SCREENING HEDGE 6' HT. MIN.
- ⑮ LANDSCAPE EDGE BUFFER AREA
- ⑯ STEEL EDGING BETWEEN COBBLE & SHRUBS (TYP.)

MAINTENANCE RESPONSIBILITY NOTE

ALL LANDSCAPE AREAS WITHIN THE LIMIT OF WORK SHOWN SHALL BE MAINTAINED BY THE PROPERTY OWNER.

EXISTING TREE LEGEND

Tag	Trunk	Tree Type	Drip	DISPOSITION
T1	19"		15'	REMAIN
T2	16"		12'	REMAIN
T3	12"		12'	REMAIN
T4	16"		12'	REMAIN
T5	15"		15'	REMOVE
T6	19"		18'	REMOVE
T7	12"		15'	REMOVE
T8	11"		12'	REMOVE
T9	20"		12'	REMOVE
T10	8"		9'	REMAIN
T11	6"		6'	REMAIN
T12	9"		12'	REMAIN
T13	12"		15'	REMAIN
T14	12"		15'	REMAIN
T15	12"		15'	REMAIN

NOTE: PROVIDED FOR REFERENCE ONLY.
REFER TO CIVIL ENG. DEMOLITION PLAN
FOR MORE INFORMATION

PROJECT TEAM

LANDSCAPE ARCHITECT:

EVERGREEN DESIGN GROUP
2701 EAST CAMELBACK ROAD, STE 150
PHOENIX, AZ 85016
800-680-6630
WWW.EVERGREENDESIGNGROUP.COM
CONTACT: BLAKE TOMILLOSO-RHINEHART, PLA
EMAIL: BLAKE@EVERGREENDESIGNGROUP.COM

LANDSCAPE CALCULATIONS

NET SITE AREA: 42,062 SF
LANDSCAPE AREA REQUIRED: 6,309 SF (15% OF SITE AREA)
LANDSCAPE AREA PROVIDED: 10,615 SF (25.2% OF SITE AREA)

STREET FRONTAGE LANDSCAPING
FRONTAGE LENGTH - SAN ANTONIO DRIVE: 168.02 LF
STREET TREES REQUIRED: 7 TREES (1 PER 25 LF OF FRONTAGE)
STREET TREES PROVIDED: 5 PROPOSED + 2 EXISTING TREES
FRONTAGE LENGTH - SAN ANTONIO PLACE: 230.8 LF
STREET TREES REQUIRED: 11 TREES (1 PER 25 LF OF FRONTAGE)
STREET TREES PROVIDED: 2 PROPOSED + 9 EXISTING TREES

PARKING LOT LANDSCAPING
PARKING LOT AREA: 2,297 SF
LANDSCAPE AREA REQUIRED: 230 SF (10% OF PARKING AREA)
LANDSCAPE AREA PROVIDED: 1,419 SF (61.7% OF PARKING AREA)

TOTAL PARKING SPACES: 13 SPACES
TREES REQUIRED: 13 TREE (1 TREE PER 10 SPACES)
TREES PROVIDED: 1 EXISTING TREE

REAR PARKING BUFFER LENGTH: 63 LF
TREES REQUIRED: 5 TREES (2 PER 25 LF OF FRONTAGE)
TREES PROVIDED: 3 PROPOSED + 2 EXISTING TREES
SHRUBS TREES REQUIRED: 15 SHRUBS (6 PER 25 LF OF FRONTAGE)
SHRUBS PROVIDED: 15 SHRUBS

TOTAL LANDSCAPE AREA: 10,615 SF
MINIMUM REQUIRED COVERAGE: 8,068 SF (75% OF LANDSCAPE AREA)
COVERAGE PROVIDED OVERALL: 9,043 SF (85%)
MINIMUM COVERAGE REQUIRED FROM GROUND LEVEL PLANTS: 3,227 SF (25%)
PROVIDED GROUND LEVEL COVERAGE: 3,338 SF (31%)

GENERAL GRADING AND PLANTING NOTES

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
- a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
- c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
- d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
- c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

EXISTING TREE NOTE

- EXISTING TREES SHALL BE PRUNED - ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.
- IRRIGATION AT EXISTING TREES SHALL BE REPAIRED AND BROUGHT INTO COMPLIANCE WITH CURRENT LOCAL JURISDICTION STANDARDS AND SPECIFICATIONS.

CITY REQUIREMENT COMPLIANCE

THIS PROJECT SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION REQUIREMENTS AND THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE.

CITY R.O.W. NOTE

ROW LANDSCAPE BUFFER PER COA STD DWG 2414 EXCEPT WHERE CONFLICTS
WITH PROPOSED LANDSCAPING.

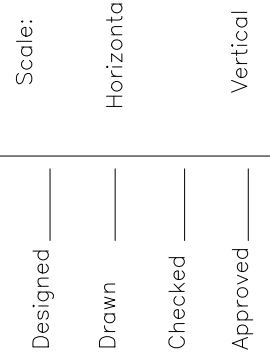
MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 2" THICK LAYER OF DECORATIVE ORGANIC MULCH IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

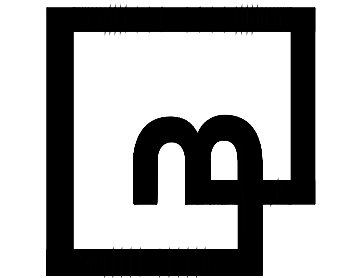
ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

Title: LANDSCAPE PLANTING PLAN
7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109



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THIS IS A MAJOR AMENDMENT TO THE CONTROLLING SITE DEVELOPMENT PLAN FOR BUILDING F TO ALLOW A RESTAURANT WITH DRIVE THROUGH USE

PLANTING SPECIFICATIONS

GENERAL

A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR

1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
2. LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.

B. SCOPE OF WORK

1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.

B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:

1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS SHARPED ROOTS).
3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO 4 INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.

C. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.

1. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
2. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
3. MULCH: SIZE AND TYPE AS INDICATED ON PLANS. FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
4. TREE STAKING AND GUYING:
 1. STAKES: 6" LONG GREEN METAL T-POSTS.
 2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH NYLON RINGS TO PROTECT TREE TRUNKS FROM DAMAGE.

L. STEEL EDGING: PROFESSIONAL STEEL EDGING, 1/4 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.

M. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

A. SOIL PREPARATION

1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
2. SOIL TESTING:
 - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 - b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
 - c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - i. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING.
 - ii. NITROGEN STABILIZED ORGANIC AMENDMENT: 4 CU. YDS. PER 1,000 S.F.
 - iii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE): 10 LBS. PER CU. YD.
 - iv. "CLAY BUSTER" OR EQUAL: USE MANUFACTURER'S RECOMMENDED RATE.
 - v. IRON SULPHATE - 2 LBS. PER CU. YD.

B. FINISH GRADE: IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.

C. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.

D. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.

E. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.

F. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.

G. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.

H. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

SUBMITTALS

1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE. PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.

GENERAL PLANTING

1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
3. TRENCING NEAR EXISTING TREES:
 - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PLANTS.

TREE PLANTING

1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL, LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
2. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
3. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
4. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
5. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - a. #15 CONT. - 24" BOX TREES: TWO STAKES PER TREE
 - b. 36" 48" BOX TREES: THREE STAKES PER TREE
 - c. OVER 48" BOX TREES: GUY AS NEEDED
 - d. MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
6. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH MULCH (TYPE AND DEPTH PER PLANS).

SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING

1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
2. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
3. MULCH:
 1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
 2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

CLEAN UP

1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

INSPECTION AND ACCEPTANCE

1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

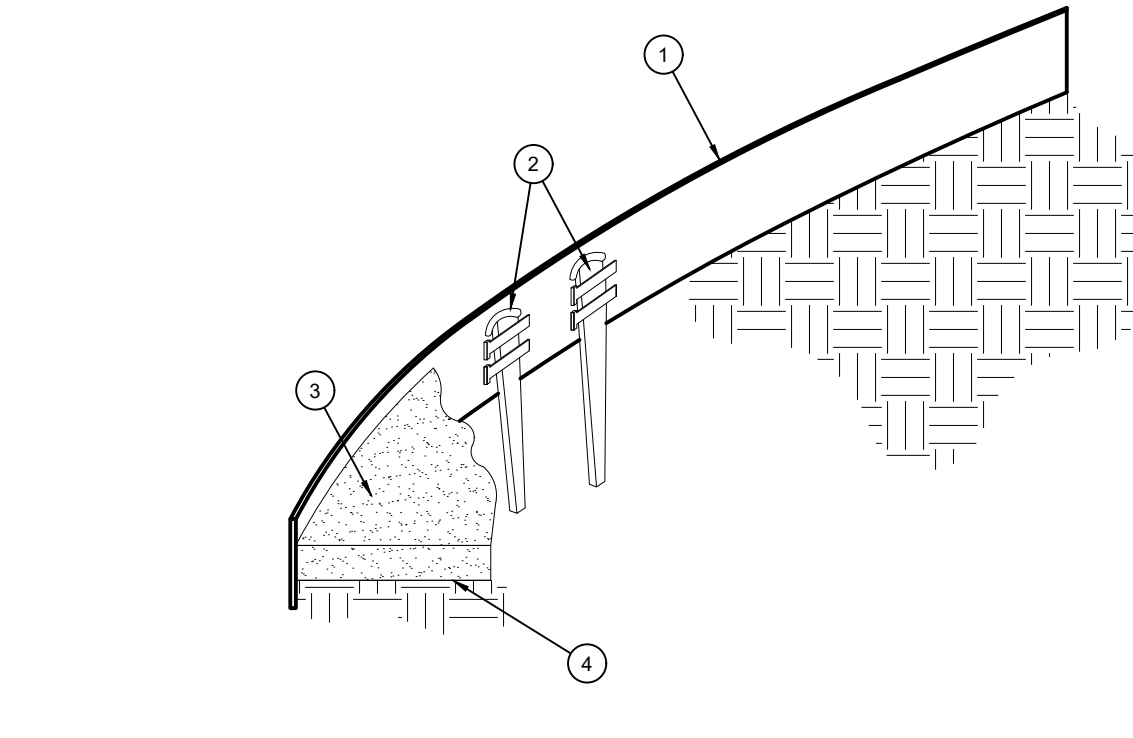
LANDSCAPE MAINTENANCE

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
2. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.

WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS

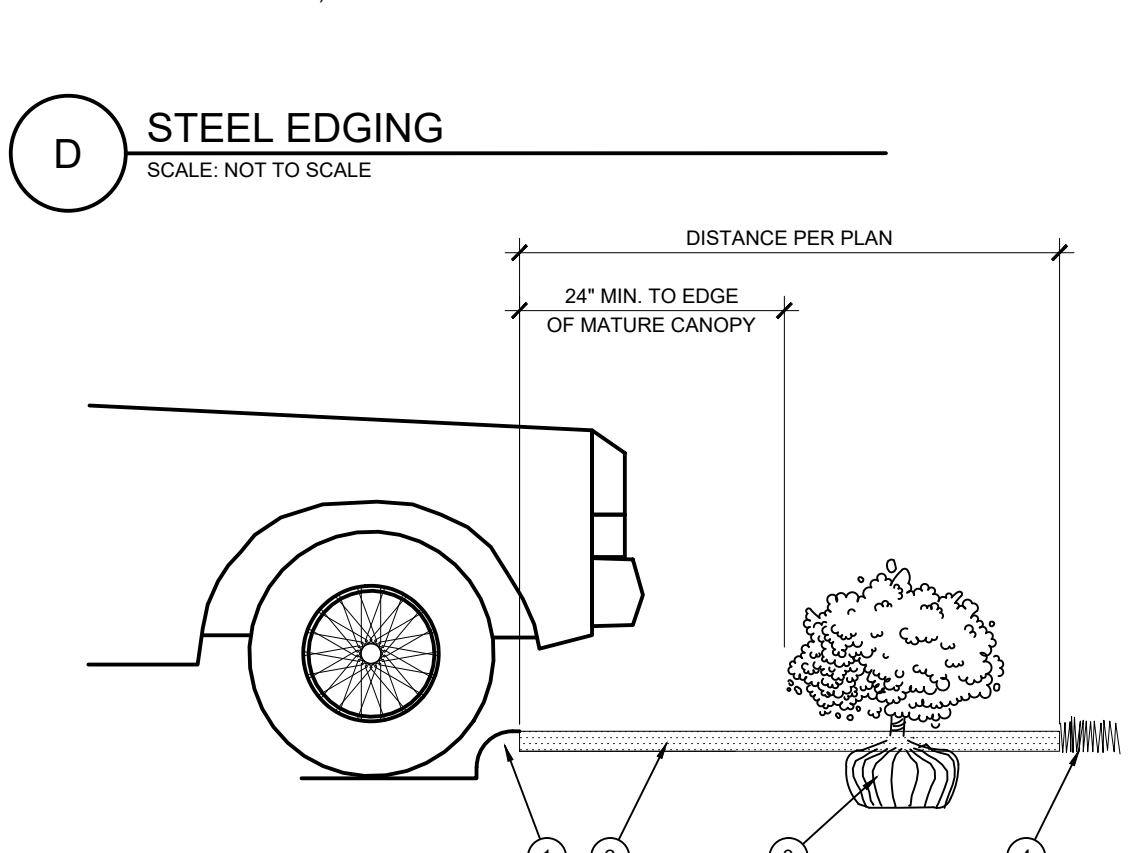
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.

PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



1. ROLLED-TOP STEEL EDGING PER PLANS.
2. TAPERED STEEL STAKES.
3. MULCH, TYPE AND DEPTH PER PLANS.
4. FINISH GRADE.

NOTES:
1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.



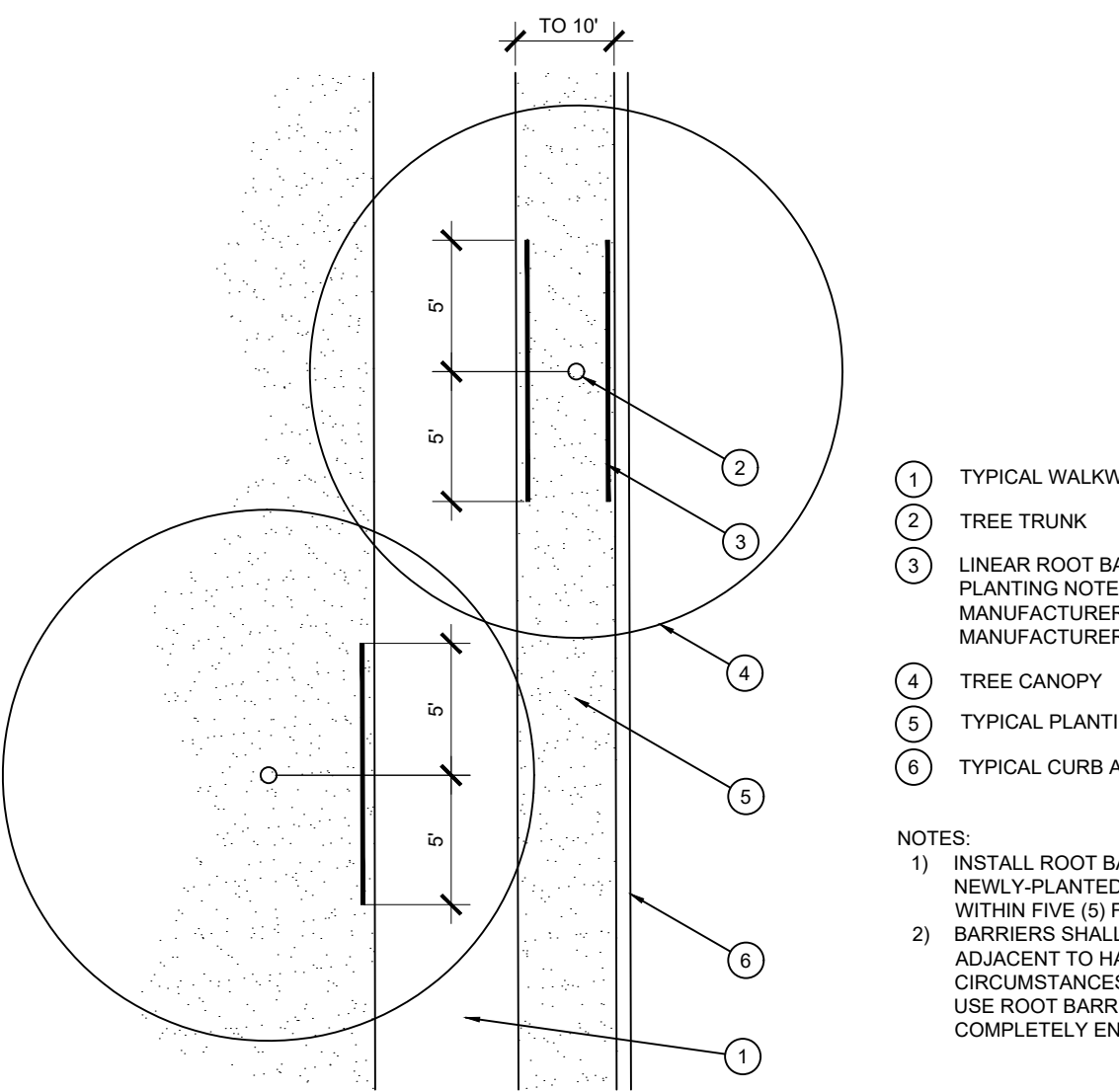
1. CURB.
2. MULCH LAYER.
3. PLANT.
4. TURF (WHERE SHOWN ON PLAN).

PLANTING AT PARKING AREA

SCALE: NOT TO SCALE

OPEN LANDSCAPE

PARKWAY OR ISLAND

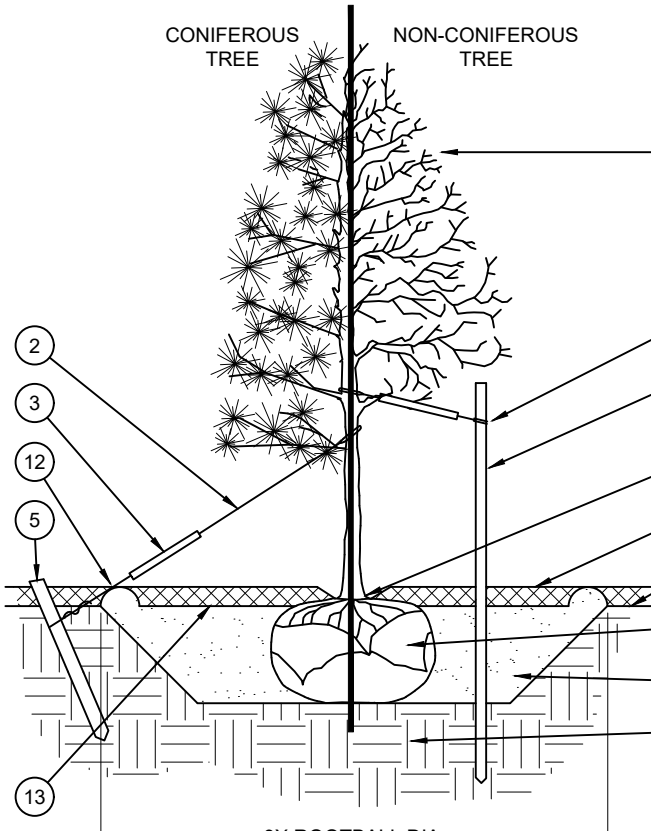


ROOT BARRIER - PLAN VIEW

SCALE: NOT TO SCALE

1. TYPICAL WALKWAY OR PAVING
2. TREE TRUNK
3. LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
4. TREE CANOPY
5. TYPICAL PLANTING AREA
6. TYPICAL CURB AND GUTTER

NOTES:
1) INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.
2) BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.



TREE PLANTING

SCALE: NOT TO SCALE

1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2-4" ABOVE FINISH GRADE.
3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
5. FOR TREES 36" BOX/2 1/2" CAL. AND LARGER, USE THREE STAKES OR DEADEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

SHRUB AND PERENNIAL PLANTING

SCALE: NTS

1. SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
2. MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
3. FINISH GRADE.
4. ROOT BALL.
5. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
6. UNDISTURBED NATIVE SOIL.
7. 3" HIGH EARTHEN WATERING BASIN.
8. WEED FABRIC UNDER MULCH.

PLANT SPACING

SCALE: NTS

NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:

TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.39	24"	3.46
10"	0.60	30"	5.41
12"	0.87	36"	7.79
15"	1.35		

2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER

STEP 1: 100 SF/1.95 = 51 PLANTS

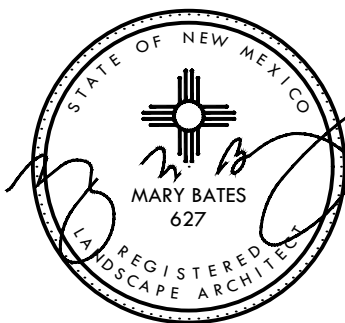
STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL

Title: PLANTING SPECIFICATIONS & DETAILS

7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109

Dutch Bros.
Coffee

For:



2/04/25

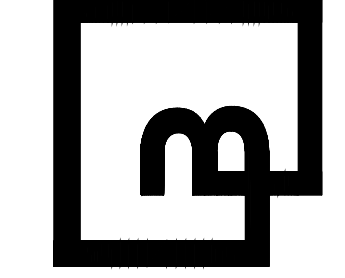
Scale:

Horizontal

Vertical

Designed _____
Drawn _____
Checked _____
Approved _____
Date _____

Barghausen
Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number

23204

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LP-2

Revised 08/2019



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800.680.6631
www.evergreendesigngroup.com

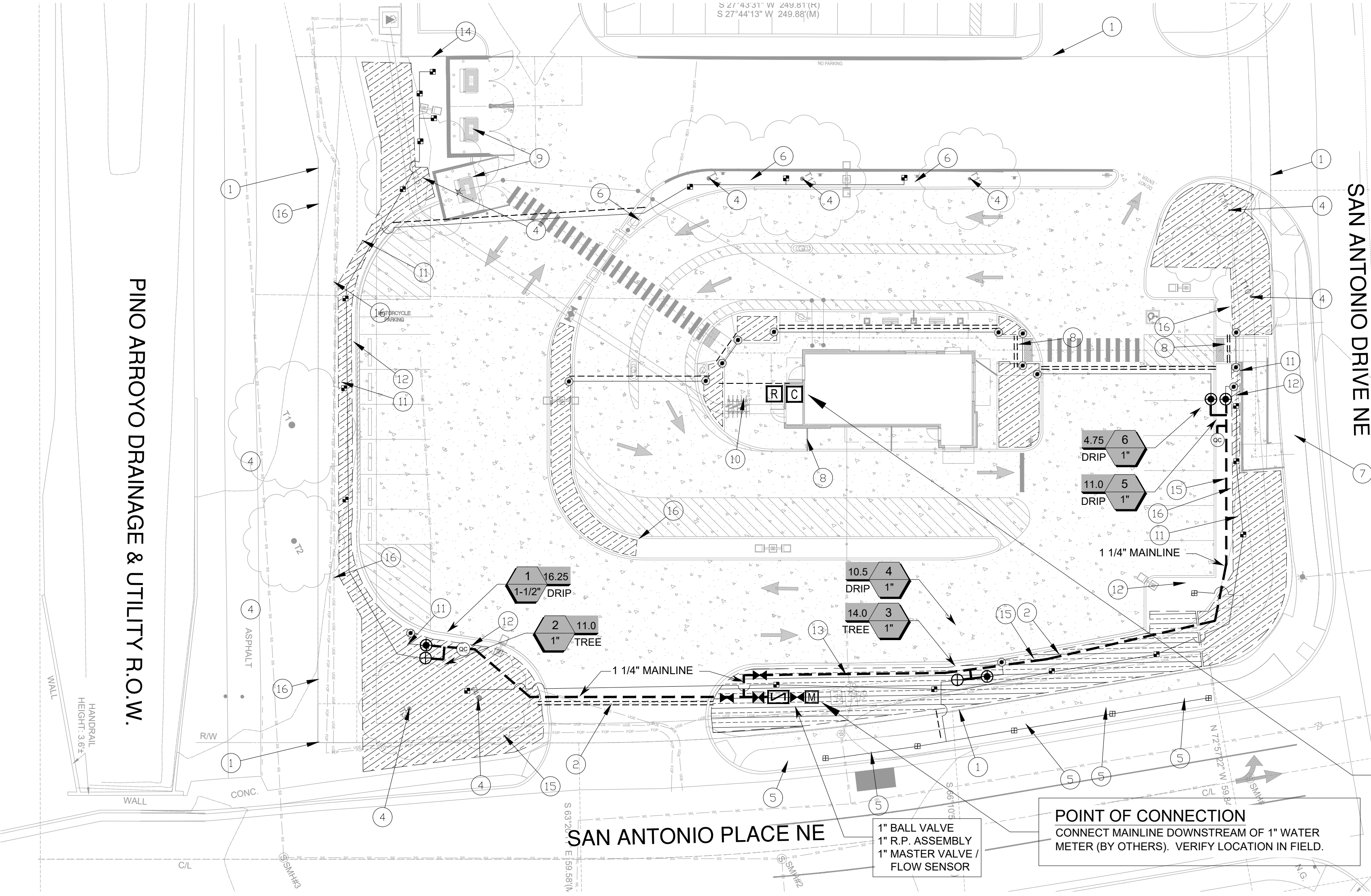
LANDSCAPE ARCHITECTURE
LAND PLANNING, IRRIGATION DESIGN

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THIS IS A MAJOR AMENDMENT TO THE CONTROLLING SITE DEVELOPMENT PLAN FOR BUILDING F TO ALLOW A RESTAURANT WITH DRIVE THROUGH USE



AMENITY LEGEND

- 1 PROPERTY LINE
- 2 EASEMENT
- 3 SETBACK
- 4 EXISTING TREE TO REMAIN
- 5 EXISTING TREE TO BE REMOVED
- 6 EXISTING LANDSCAPE TO REMAIN
- 7 EXISTING SIDEWALK
- 8 SIDEWALK BY OTHERS
- 9 TRASH ENCLOSURE BY OTHERS
- 10 BIKE RACK BY OTHERS
- 11 PARKING LOT SCREENING HEDGE
- 12 PARKING LOT EDGE LANDSCAPING
- 13 DRIVE-THROUGH LANE SCREENING HEDGE
- 14 TRASH ENCLOSURE SCREENING HEDGE 6' HT. MIN.
- 15 LANDSCAPE EDGE BUFFER AREA
- 16 STEEL EDGING BETWEEN COBBLE & SHRUBS (TYP.)

PROJECT TEAM

LANDSCAPE ARCHITECT:

EVERGREEN DESIGN GROUP
2701 EAST CAMELBACK ROAD, STE 150
PHOENIX, AZ 85016
800-680-6630
WWW.EVERGREENDESIGNGROUP.COM
CONTACT: BLAKE TOMILLOSO-RHINEHART, PLA
EMAIL: BLAKE@EVERGREENDESIGNGROUP.COM

EXISTING TREE NOTE

- IRRIGATION AT EXISTING TREES SHALL BE REPAIRED AND BROUGHT INTO COMPLIANCE WITH CURRENT LOCAL JURISDICTION STANDARDS AND SPECIFICATIONS.

IRRIGATION DISCLAIMER

THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS INDICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST.

IRRIGATION CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FINAL QUANTITIES PER DRAWINGS AND SPECIFICATIONS. ANY QUANTITIES PROVIDED ARE PROVIDED AS A CONVENIENCE TO THE CONTRACTOR ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE.

AUTOMATIC DRAIN VALVES AND AIR RELIEF VALVES

INSTALL AUTOMATIC DRAIN VALVES AT THE LOW POINTS OF EACH LATERAL LINE (MIN. 2 PER VALVE) AS PER DETAIL ON SHEET LI-2. INSTALL AIR RELIEF VALVES ON DRIP SYSTEMS AT THE LOCATIONS SHOWN ON THE PLANS, AS PER DETAILS.

SLEEVING / WIRING NOTES:

IN ADDITION TO PROVIDING SLEEVES FOR ALL PIPING UNDER ROADWAYS AND WALKWAYS, THE IRRIGATION CONTRACTOR SHALL PROVIDE AND INSTALL SCH. 40 PVC SLEEVES FOR ALL CONTROLLER WIRES OCCURRING UNDER ALL ROADWAYS AND WALKWAYS. SLEEVES FOR CONTROLLER WIRES SHALL BE 2" DIA. AND CONTAIN NO MORE THAN 25 WIRES. **FOR PLAN CLARITY, ONLY SOME REPRESENTATIVE SLEEVES ARE SHOWN; SOME SLEEVES MAY NOT BE SHOWN.**

COORDINATION WITH EXISTING TREES

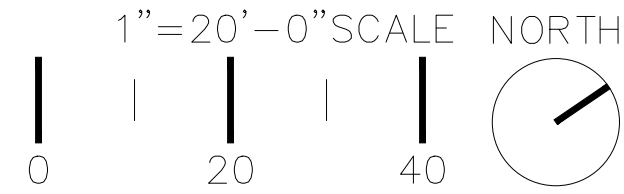
NO MACHINE TRENCHING SHALL BE PERMITTED WITHIN THE ROOT ZONE OF EXISTING TREES. HAND-DIG ONLY, WITHIN THE ROOT ZONES OF EXISTING TREES. NO ROOTS OVER 1" DIAMETER SHALL BE CUT. STAKE ALL PROPOSED TRENCH ROUTES NEAR EXISTING TREES FOR APPROVAL BY THE LANDSCAPE ARCHITECT BEFORE DIGGING BEGINS.

CONTROLLER NOTE
LOCATE CONTROLLER INSIDE OF ELECTRICAL ROOM. VERIFY LOCATION IN FIELD WITH OWNER'S REPRESENTATIVE.

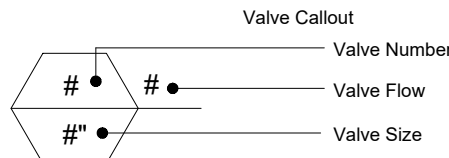
120 VAC POWER TO CONTROLLER LOCATION IS NOT WITHIN THE IRRIGATION CONTRACTOR'S SCOPE OF WORK, AND SHALL BE PROVIDED BY OTHERS. HOOK-UP OF CONTROLLER TO 120 VAC SHALL BE PERFORMED BY THE IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR SHALL COORDINATE LOCATION OF WIRE SLEEVE PENETRATIONS THROUGH BUILDING WITH OWNER AND GENERAL CONTRACTOR. STATION RUN ORDER SHALL MATCH PLANS.

POINT OF CONNECTION
CONNECT MAINLINE DOWNSTREAM OF 1" WATER METER (BY OTHERS). VERIFY LOCATION IN FIELD.

1" BALL VALVE
1" R.P. ASSEMBLY
1" MASTER VALVE / FLOW SENSOR



VALVE KEY



IRRIGATION LEGEND

SYMBOL	MANUFACTURER/MODEL
☒	RAINBIRD 1806-SAM-PRS SERIES POP UP SPRAY HEADS WITH ADAPTER AND RAINBIRD #1402 SERIES BUBBLER NOZZLES. (TWO PER TREE)
☒	RAINBIRD RWS ROOT WATERING SYSTEM MODEL RWS-M-B-C-1402 WITH RWS-SOCK. (TWO PER TREE)
⊕	RAINBIRD XCZ-100-PRB-COM / 150-PRB-COM SERIES AUTOMATIC DRIP VALVE ASSEMBLY WITH 40 PSI PRESSURE REGULATOR XCZ-100-PRB-COM - 1" BALL VALVE WITH 1" PESB VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 0.3GPM TO 20GPM.
⊕	RAINBIRD PEB SERIES ELECTRIC REMOTE CONTROL, "TREE BUBBLER ZONE" VALVE
☒	AREA TO RECEIVE DRIPLINE RAINBIRD XFS-CV-06-12 SERIES DRIP TUBE IN SHRUB BED INSTALLED AT 2" DEPTH
●	PIPE TRANSITION POINT ABOVE GRADE PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER TO ABOVE GRADE INSTALLATION.
☒	ZURN / WILKINS 375XLB SERIES REDUCED PRESSURE TYPE BACKFLOW PREVENTOR INSTALLED PER CITY CODE WITH HEATED / INSULATED ALUMINUM ENCLOSURE AND SAME SIZE BRONZE BALL VALVE INSTALLED ON THE UP-STREAM SIDE. G.C. TO COORDINATE POWER TO BACKFLOW ENCLOSURE LOCATION PRIOR TO CONSTRUCTION BLOW OFF VALVE TO BE INSTALLED BETWEEN THE METER AND BACKFLOW DEVICE FOR SYSTEM WINTERIZATION
☒	LASCO "V" SERIES SCH. 80 PVC TRUE UNION BALL VALVE, MAINLINE SIZE
☒	IRRIGATION WATER METER AND TAP (BY OTHERS) SIZE AS NOTED ON THE PLAN
☒	RAINBIRD 33DLRC QUICK COUPLER, 3/4"
☒	RAINBIRD ESP12LXMEF2P SERIES AUTOMATIC WALL MOUNT CONTROLLER
☒	RAINBIRD WR2-RFC RAIN / FREEZE SENSOR - CONFIRM SENSOR LOCATION WITH OWNERS REPRESENTATIVE
☒	1" MASTER VALVE MODEL # 100-EFB-CP WITH RAINBIRD FLOW SENSOR MODEL #FS100B SERIES
---	IRRIGATION LATERAL LINE: CLASS 200 PVC
---	IRRIGATION MAINLINE: SCHEDULE 40 PVC
==	IRRIGATION SLEEVES, SCH. 40 PVC, MIN. TWICE SIZE OF PIPE TO BE INSERTED

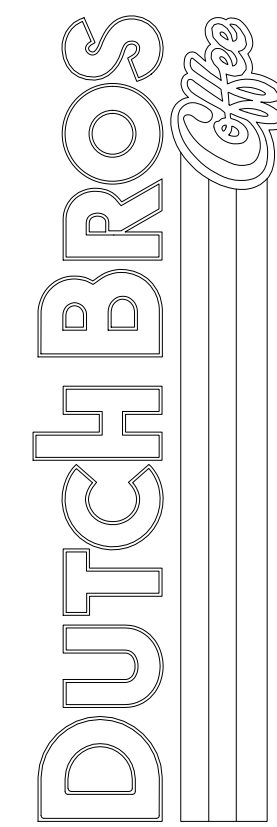
VALVE SCHEDULE

Zone #	Valve Type	Zone GPM	Zone Type	PSI Loss at Water Meter	PSI Loss at Backflow	PSI Loss at Master Valve	PSI Loss at Mainline	PSI Loss at Zone Valve	PSI Loss at Lateral Pipe	PSI Loss at Head / Nozzle	Total PSI Required	Residual PSI
1	1 1/2" RAINBIRD XCZ	16.25	DRIP	1.4	11	1.2	1.6	3	3.5	30	51.7	13.3
2	1" RAINBIRD PEB	11	BUBBLER	0.8	11	0.5	0.56	1.8	3.5	25	43.16	21.84
3	1" RAINBIRD PEB	14	BUBBLER	1.1	11	1.2	1.26	1.8	3.5	25	44.86	20.14
4	1" RAINBIRD XCZ	10.5	DRIP	0.8	11	1.2	0.81	3	3.5	30	50.31	14.69
5	1" RAINBIRD XCZ	11	DRIP	0.8	11	1.2	1.47	3	3.5	30	50.97	14.03
6	1" RAINBIRD XCZ	4.75	DRIP	0.2	11	0.5	0.56	3	3.5	30	48.76	16.24

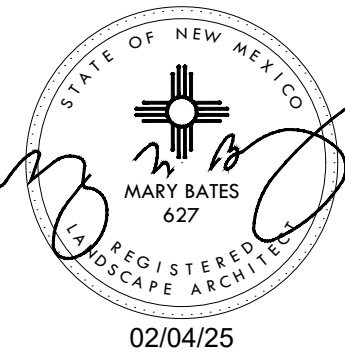
NOTE:
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE DESIGNER DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. AS SUCH, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED IMPROVEMENTS AND UTILITY CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION TO ASCERTAIN EXACT MATERIALS, LOCATIONS, ELEVATIONS, ETC. AND THEIR POTENTIAL CONFLICT WITH PROPOSED IMPROVEMENTS. GC SHALL CONSULT WITH CONSTRUCTION MANAGER AND ENGINEER AS APPROPRIATE BEFORE PROCEEDING WITH WORK.

IRRIGATION PLAN

Title:



For:



Scale:

Horizontal

Vertical

Designed

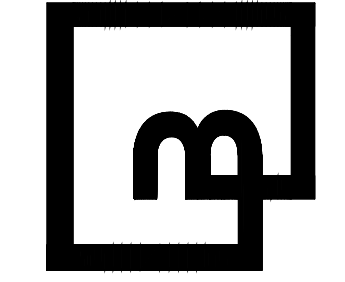
Drawn

Checked

Approved

Date

Barghausen Consulting Engineers, Inc.



Job Number

23204

Sheet

LI-1

2019 DB

Franchising USA, LLC

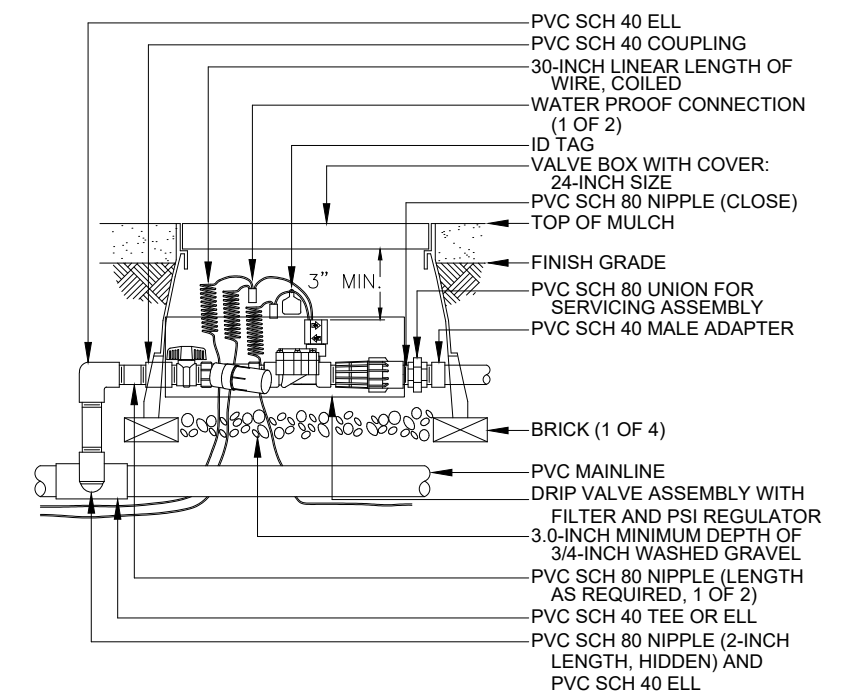
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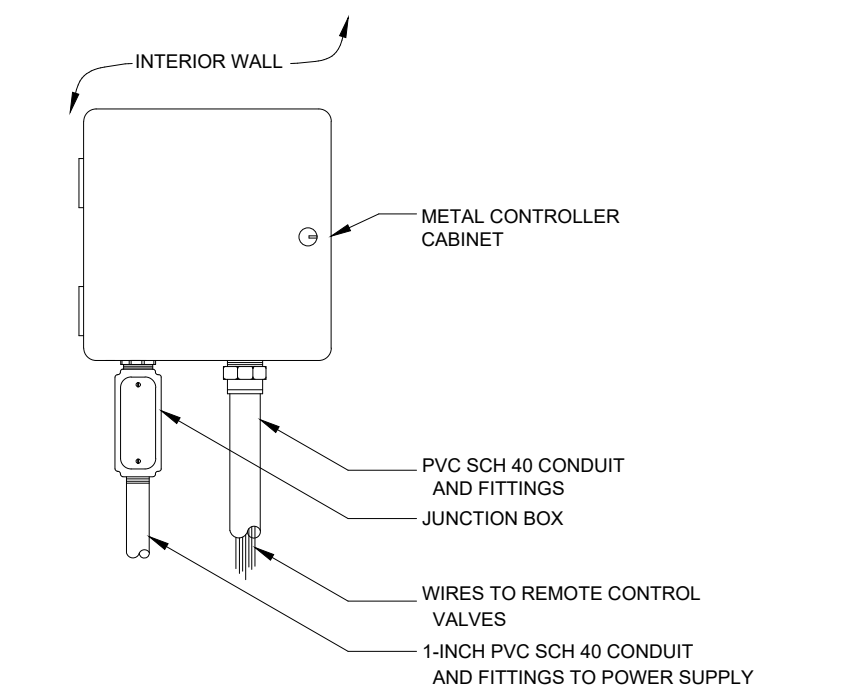
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THIS IS A MAJOR AMENDMENT TO THE CONTROLLING SITE DEVELOPMENT PLAN FOR BUILDING F TO ALLOW A RESTAURANT WITH DRIVE THROUGH USE



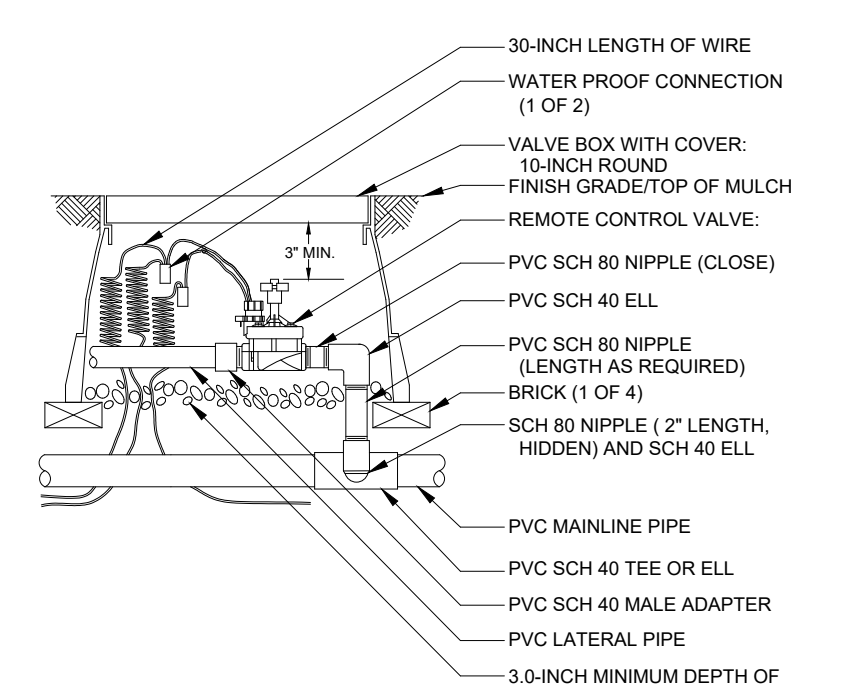
CONTROL ZONE KIT

N.T.S.



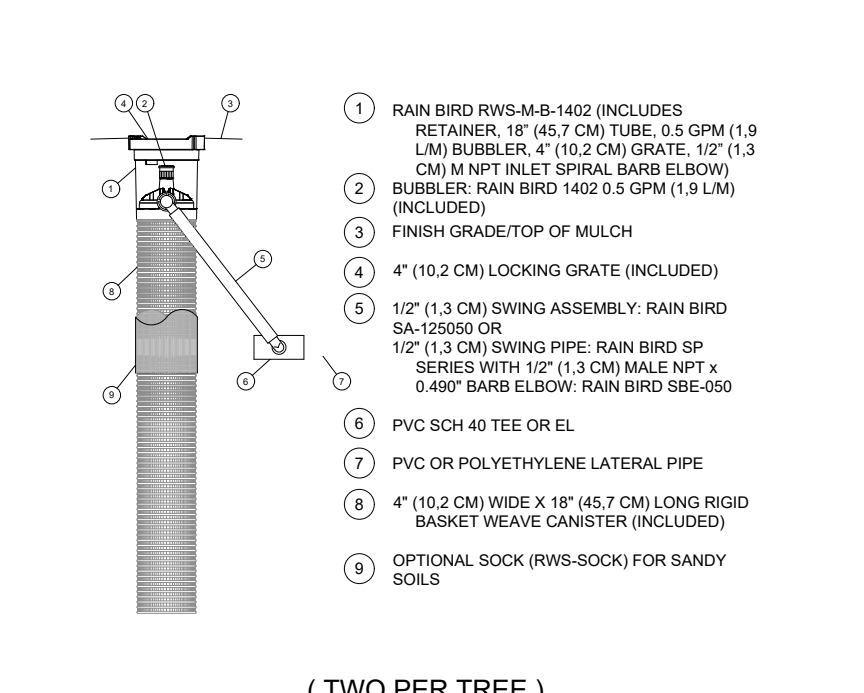
WALL MOUNT CONTROLLER

N.T.S.



REMOTE CONTROL VALVE

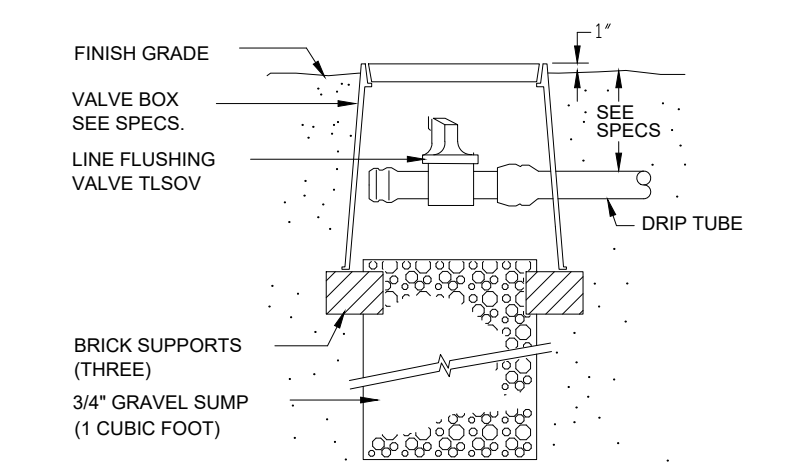
N.T.S.



(TWO PER TREE)

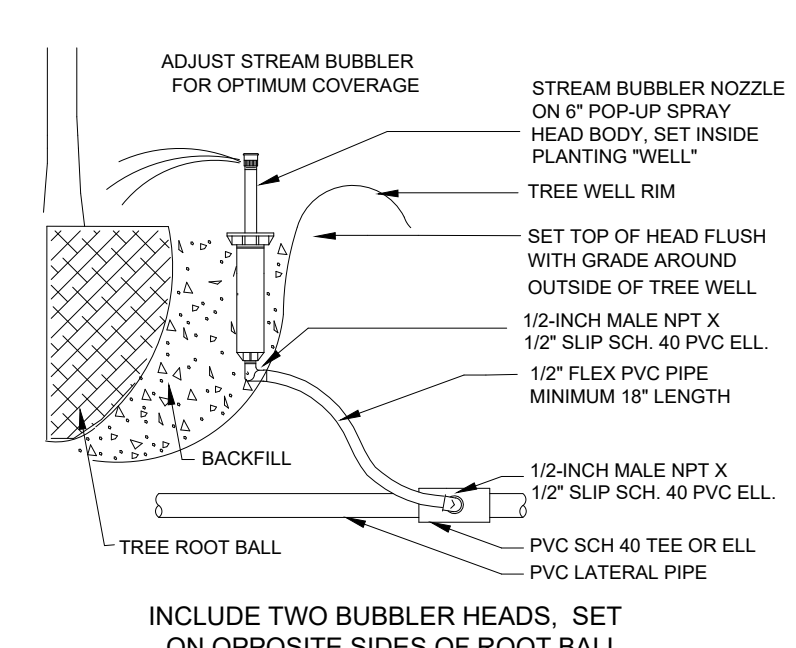
ROOT WATERING SYSTEM

N.T.S.



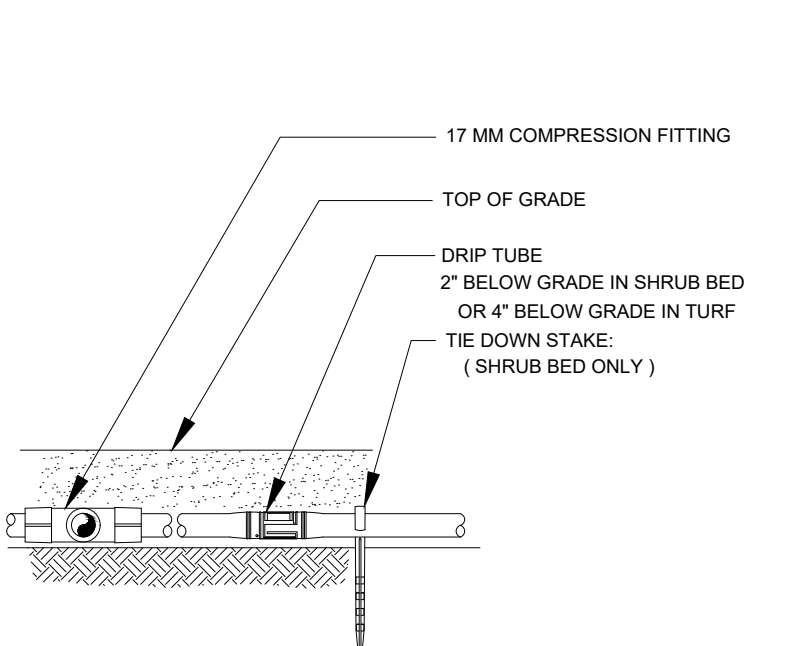
MANUAL LINE FLUSH VALVE

N.T.S.



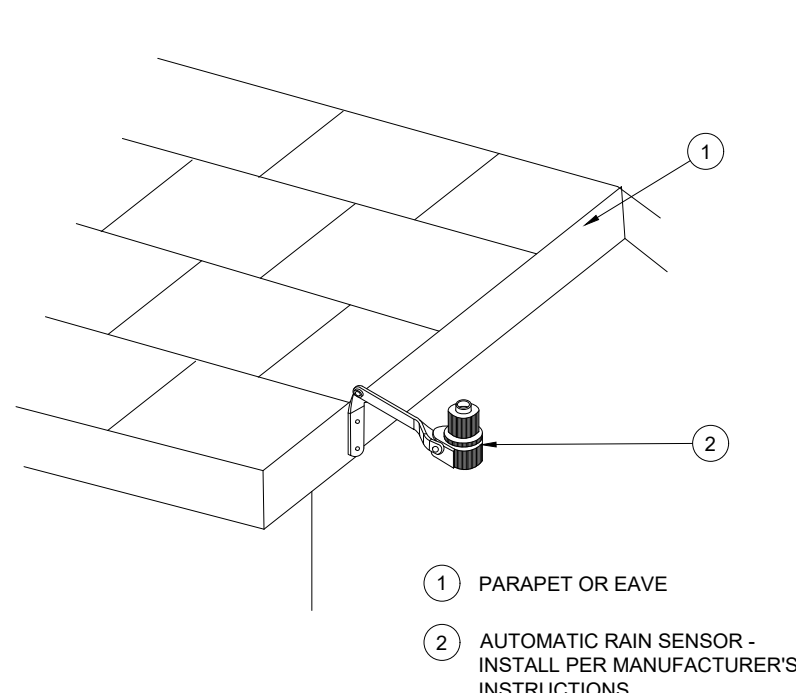
TREE BUBBLER

N.T.S.



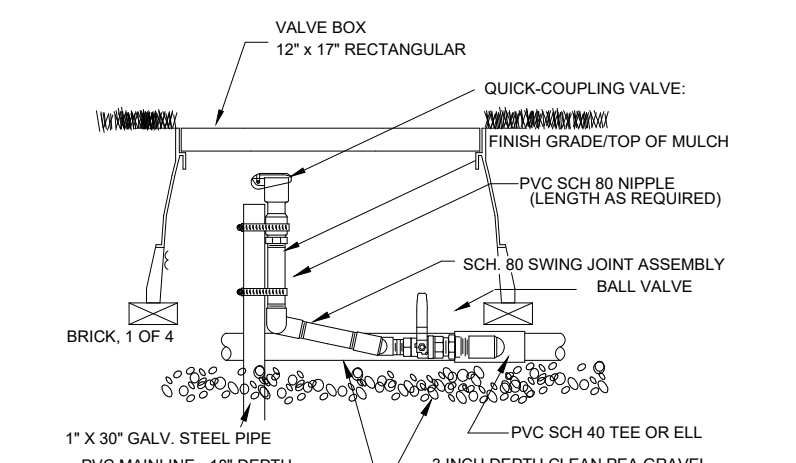
DRIPTUBE

N.T.S.



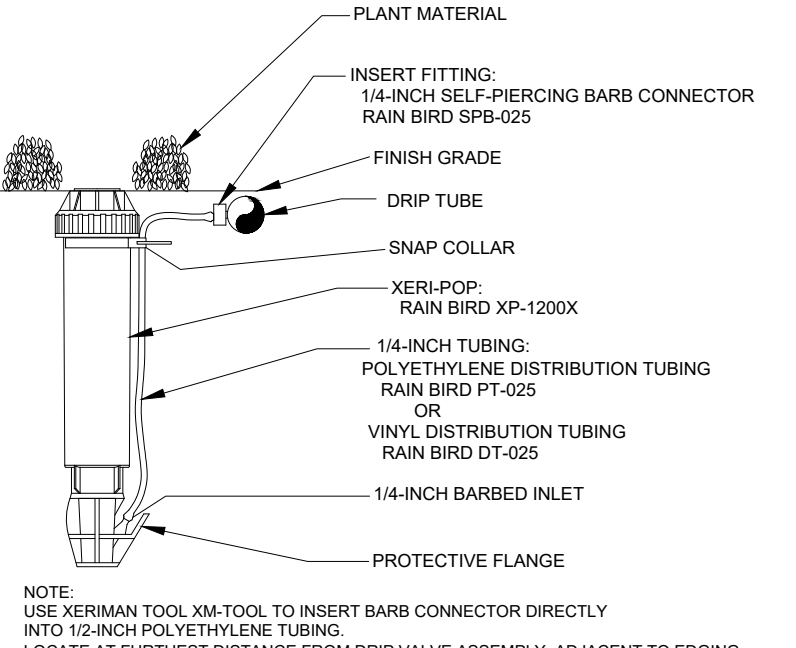
RAIN SENSOR, ROOF MOUNT

N.T.S.



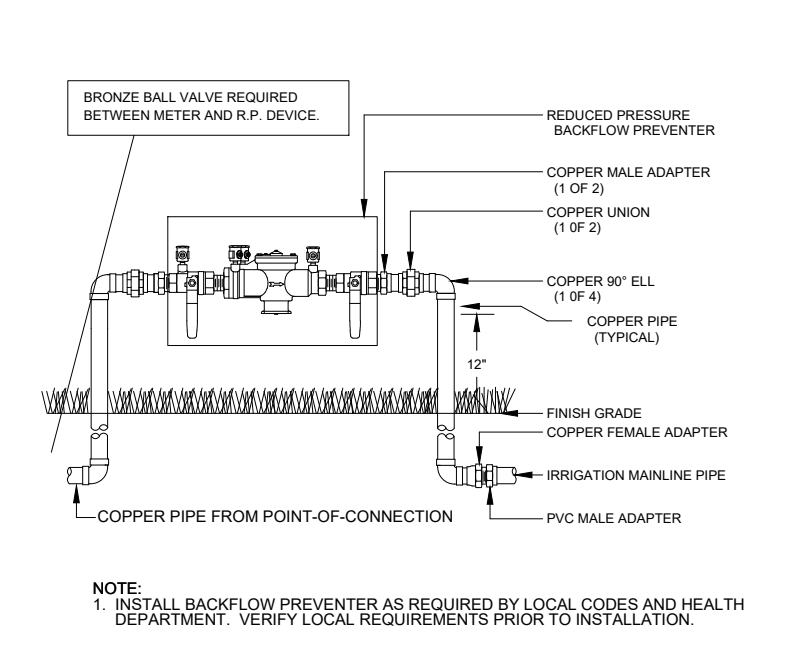
QUICK COUPLER VALVE WITH PVC BALL VALVE

N.T.S.



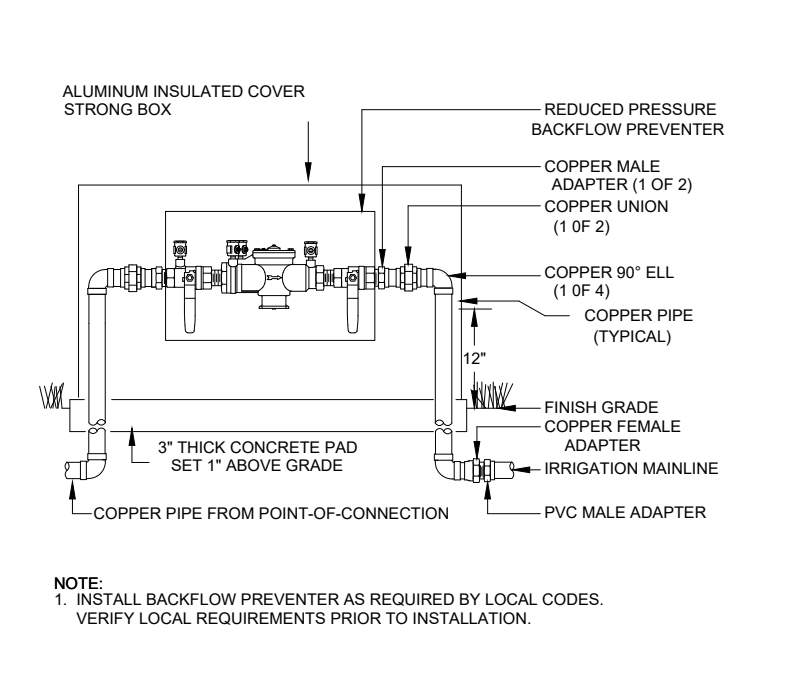
DRIPT ZONE INDICATOR

N.T.S.



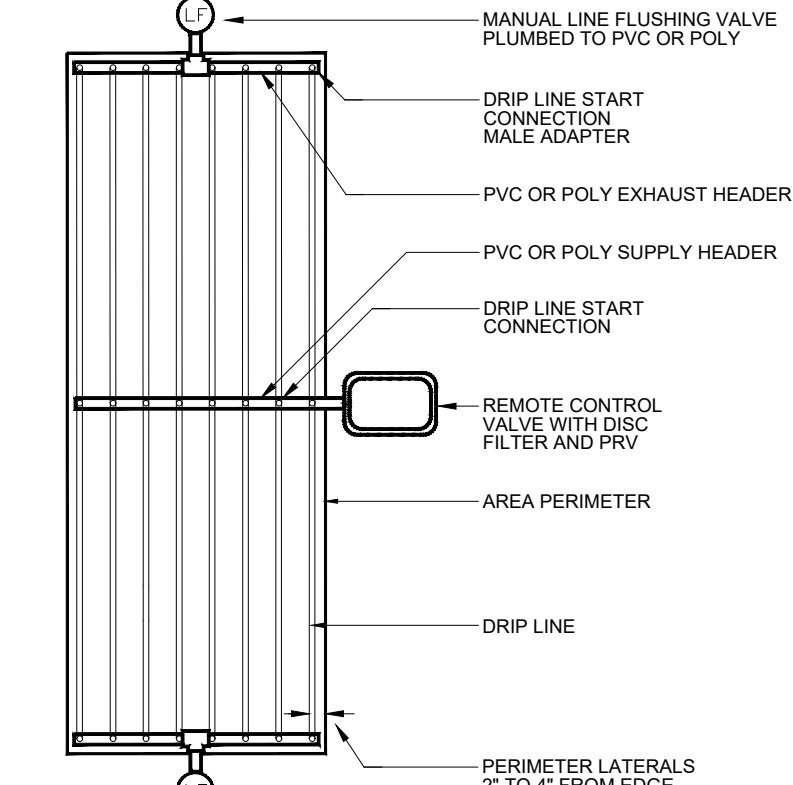
RP DEVICE

N.T.S.



RP DEVICE WITH INSULATED COVER

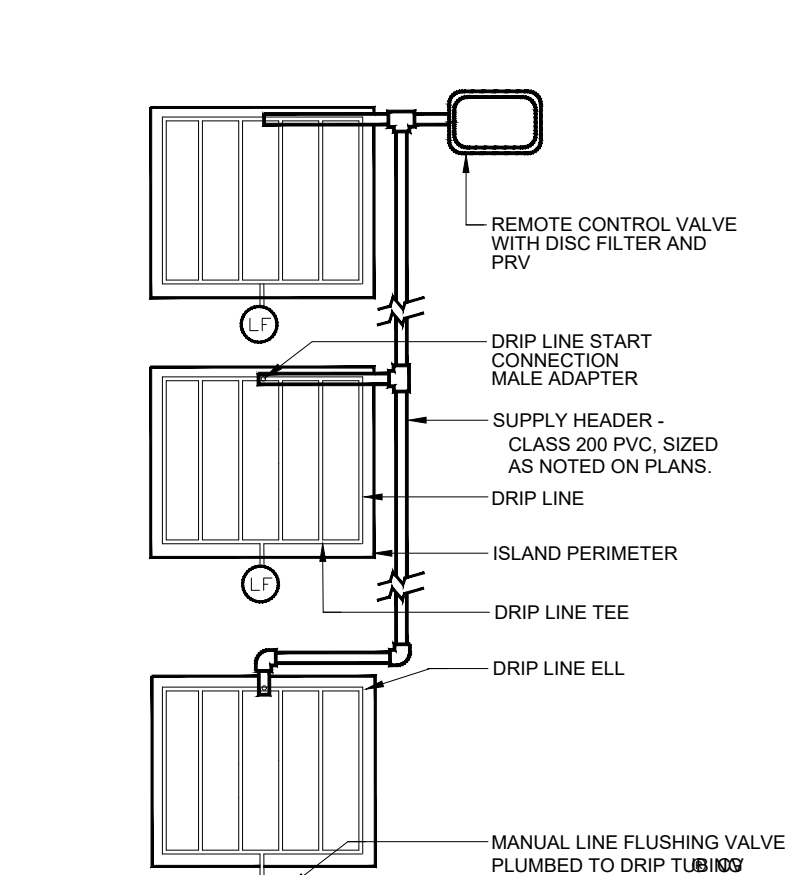
N.T.S.



SUPPLY AND EXHAUST HEADERS SHALL BE CLASS 200 PVC PIPE, OF THE SAME DIAMETER AS THE ZONE VALVE SIZE.
USE DRIPT TUBE FOR SUPPLY AND EXHAUST HEADERS ON GRIDS WITH FLOW SMALLER THAN 5 GPM ONLY.

DRIPT CENTER FEED LAYOUT

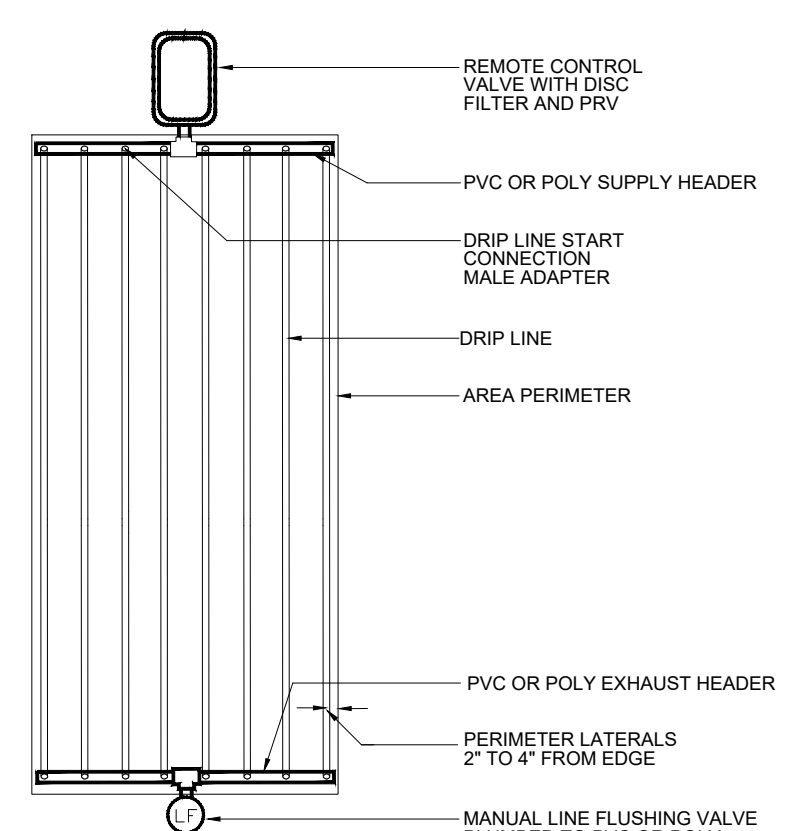
N.T.S.



USE DRIPT TUBE FOR SUPPLY AND EXHAUST HEADERS ON GRIDS WITH FLOW SMALLER THAN 5 GPM ONLY.

DRIPT ISLAND LAYOUT

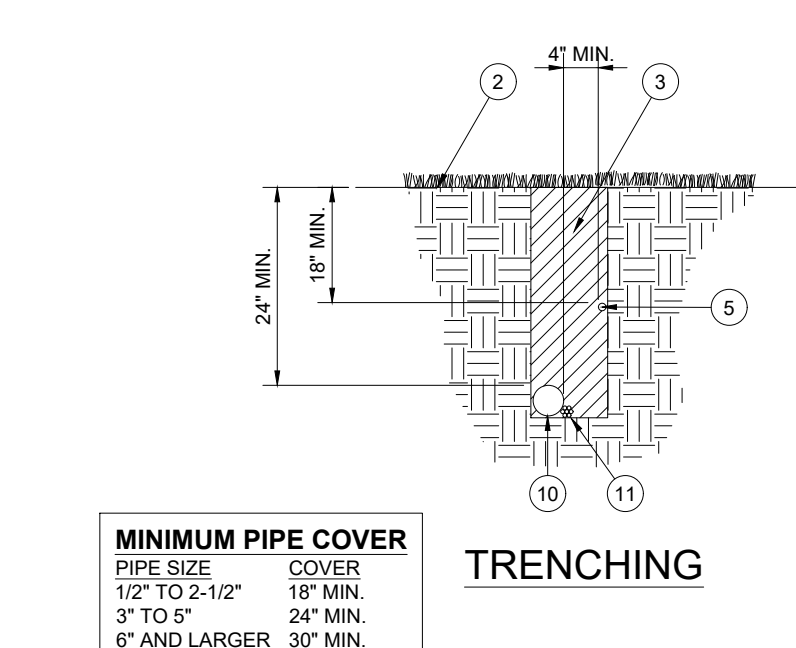
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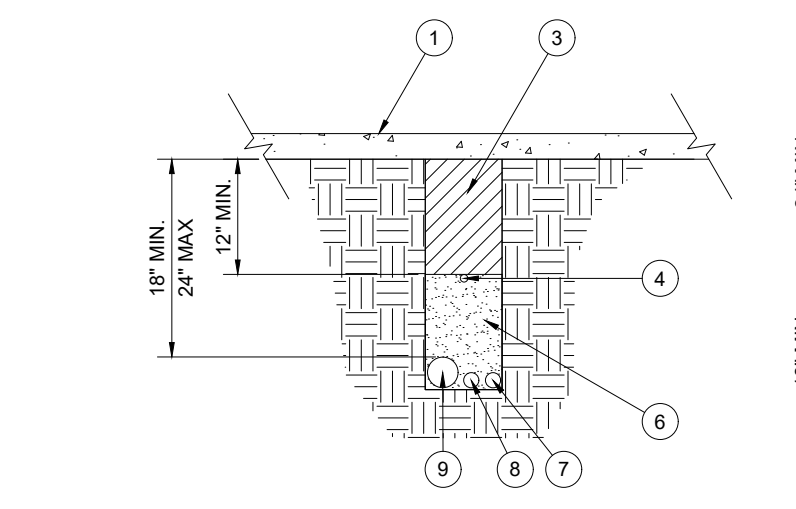
SUPPLY AND EXHAUST HEADERS SHALL BE CLASS 200 PVC PIPE, OF THE SAME DIAMETER AS THE ZONE VALVE SIZE.
USE DRIPT TUBE FOR SUPPLY AND EXHAUST HEADERS ON GRIDS WITH FLOW SMALLER THAN 5 GPM ONLY.

DRIPT END FEED LAYOUT

N.T.S.



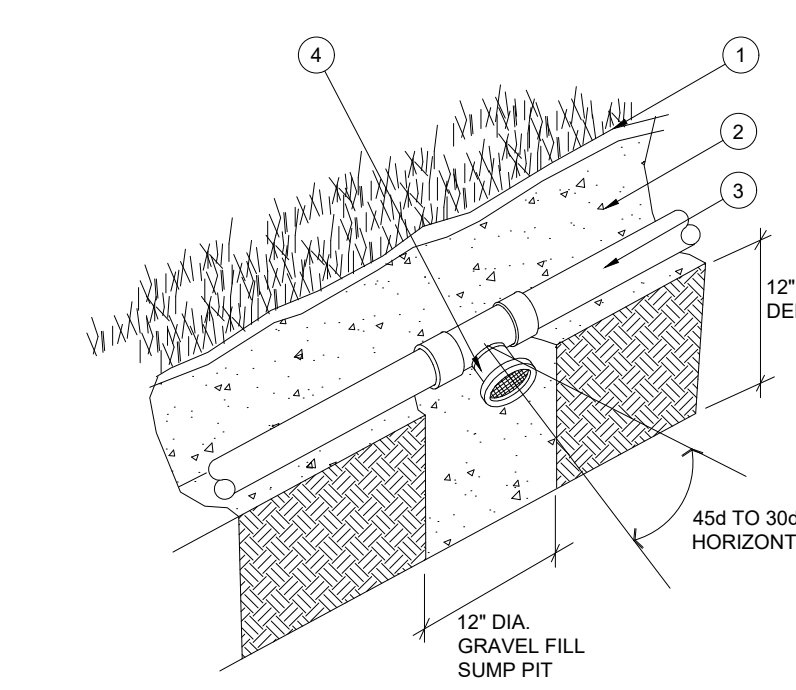
TRENCHING



SLEEVING

PIPE AND SLEEVE INSTALLATION

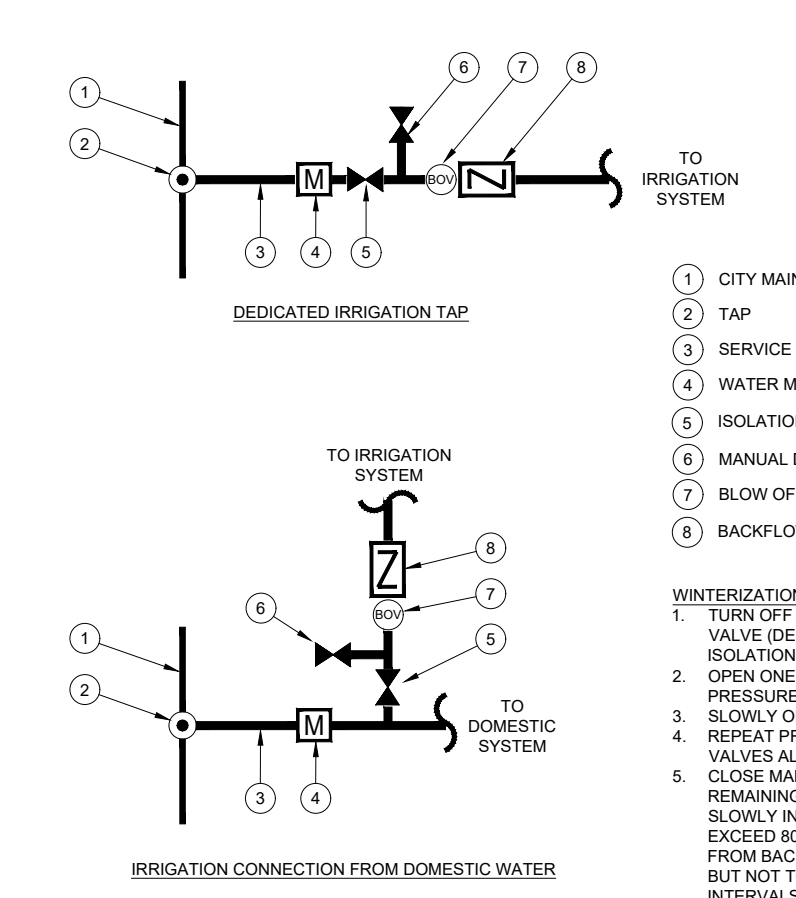
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NOTE: AUTOMATIC VALVES ARE TO BE LOCATED AT LOW POINTS OF LATERAL LINES. LOCATE END DRAIN VALVE 12" UPSTREAM FROM LAST HEAD.

AUTOMATIC DRAIN VALVE

N.T.S.



WINTERIZATION PROCEDURE:
1. TURN OFF EITHER THE METER AND ISOLATION VALVE (DEDICATED IRRIGATION METER) OR ISOLATION VALVE (DOMESTIC TAP)
2. OPEN ONE CONTROL VALVE TO RELIEVE PRESSURE
3. SLOWLY OPEN MANUAL DRAIN VALVE
4. REPEAT PROCEDURE FOR ALL MANUAL DRAIN VALVES ALONG IRRIGATION MAINLINE
5. CLOSE MANUAL DRAIN VALVES AND BLOW OUT REMAINING WATER FROM THE BLOWOUT VALVE
SLOWLY INCREASE AIR PRESSURE. NOT TO EXCEED 80 PSI. DO NOT BLOWOUT SYSTEM FROM BACKFLOW. BLOWOUT SYSTEM TWICE BUT NOT TO EXCEED AT MORE THAN 2 MIN. INTERVALS.

WATER TAP DIAGRAM

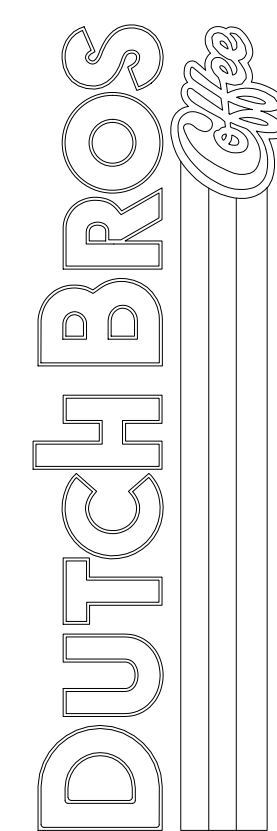
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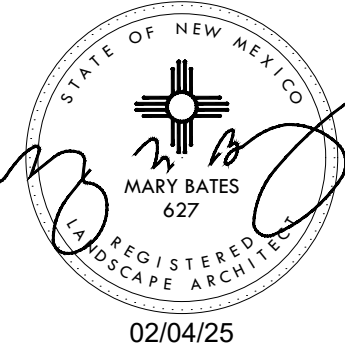
IRRIGATION DETAILS

7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109

Title:



For:



Scale:

Horizontal

Vertical

Designed

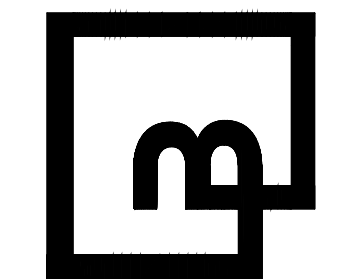
Drawn

Checked

Approved

Date

Barghausen Consulting Engineers, Inc.
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Job Number
23204

Sheet
LI-2
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IRRIGATION SPECIFICATIONS

- GENERAL
- A. QUALIFICATIONS OF IRRIGATION CONTRACTOR
- ALL WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE IRRIGATION CONTRACTING FIRM SPECIALIZING IN IRRIGATION SYSTEMS. SEE THE IRRIGATION PLAN FOR SPECIFIC EQUIPMENT AND SYSTEM LAYOUT.
 - THE IRRIGATION CONTRACTOR MUST HAVE ON ITS STAFF A LICENSED IRRIGATION INSTALLER, AS REGULATED BY THE APPROPRIATE LOCAL JURISDICTION. A LICENSED IRRIGATION INSTALLER SHALL BE PRESENT AT THE PROJECT SITE AT ALL TIMES AS WORK IS IN PROGRESS. THE OWNER MAY DEMAND THAT WORK STOP UNTIL THE CONTRACTOR PROVIDES FOR A LICENSED IRRIGATION INSTALLER TO BE PRESENT AT THE PROJECT SITE AND SUPERVISING ALL IRRIGATION WORK.
 - A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
- B. SCOPE OF WORK
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES, FEES, AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK SPECIFIED HEREIN AND/OR SHOWN ON THE IRRIGATION PLANS, NOTES, AND DETAILS.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS. IN CASE OF CONFLICT BETWEEN THESE PLANS AND LOCAL AND/OR STATE CODES, CODES SHALL PREVAIL.
 - THE INTENT OF THE IRRIGATION SYSTEM IS TO PROVIDE 100% COVERAGE OF ALL LANDSCAPE AREAS. THE IRRIGATION PLAN IS GENERALLY DIAGRAMMATIC; COORDINATE IRRIGATION INSTALLATION WITH UTILITY INSTALLATIONS. ACTUAL LOCATION OF CONTROLLER, BACKFLOW DEVICE, PIPING, VALVES, SPRAY HEADS, DRIP IRRIGATION, AND RELATED EQUIPMENT MAY NEED TO BE ADJUSTED BASED ON ACTUAL SITE CONDITIONS.
 - FOR CLARITY PURPOSES, SOME IRRIGATION LINES AND EQUIPMENT ARE SHOWN IN "HARDSCAPE AREAS WITHOUT ACCESS SLEEVES; THESE LINES SHALL BE INSTALLED IN A COMMON TRENCH OR AT THE BACK OF CURB IN LANDSCAPE AREAS. MINOR FIELD ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.

- PRODUCTS
- A. ALL MATERIALS SHALL BE NEW AND WITHOUT FLAWS OR DEFECTS OF ANY TYPE AND SHALL BE THE BEST OF THEIR CLASS AND KIND. ALL MATERIALS SHALL HAVE A MINIMUM GUARANTEE OF ONE YEAR AGAINST MATERIAL DEFECTS OR DEFECTIVE WORKMANSHIP. ALL MATERIALS SHALL BE OF THE BRANDS AND TYPES NOTED ON THE DRAWINGS OR AS SPECIFIED HEREIN, OR APPROVED EQUAL. THE CONTRACTOR MUST FIRST OBTAIN APPROVAL FROM THE IRRIGATION DESIGNER FOR AN APPROVED EQUAL BEFORE INSTALLING SUCH MATERIALS IN THE FIELD, OR THE CONTRACTOR MAY BE REQUIRED TO REPLACE SUCH MATERIALS AT HIS OWN COST.
- B. BACKFLOW PREVENTION DEVICES SHALL BE OF THE SIZE AND TYPE INDICATED ON THE DRAWINGS. INSTALL BACKFLOW PREVENTION UNITS IN ACCORDANCE WITH IRRIGATION CONSTRUCTION DETAILS AND ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
- C. PIPING
- PRESSURE SUPPLY LINES, DOWNSTREAM OF THE POINT-OF-CONNECTION:
 - SCHEDULE 40 PVC FOR ALL PIPE 1-1/2" OR LESS.
 - CLASS 315 PVC FOR ALL PIPE 2" TO 2-1/2"
 - CLASS 200 PVC, GASKETED, FOR ALL PIPE 3" AND LARGER
 - SLEEVING AND NON-PRESSURE LATERAL LINES (DOWNSTREAM FROM VALVES): CLASS 200 PVC
 - FITTINGS: SCH. 40 PVC, EXCEPT AS NOTED OTHERWISE.
- D. VALVES AND DRIP VALVE ASSEMBLY: TYPE AND SIZE AS NOTED ON PLANS. EACH VALVE SHALL BEAR A PRE-MANUFACTURED, NUMBERED WATERPROOF TAG BEARING A NUMBER CORRESPONDING TO ITS VALVE SEQUENCE OF OPERATION ON THE CONTROLLER. THE OPERATION SEQUENCE SHALL MATCH THAT AS SHOWN ON THE PLANS.
- E. QUICK COUPLERS, BALL VALVES, AND GATE VALVES: TYPE AND SIZE PER PLANS.
- F. VALVE BOXES: TYPE AND SIZE AS NOTED ON DETAILS. ALL VALVE BOXES SHALL BE LOCKING BOLT-DOWN TYPE, FURNISHED WITH LIDS AND BOLTS. BOXES SHALL BE OF A SIZE TO CONTAIN THE ENTIRE VALVE AND/OR VALVE ASSEMBLY. THE VALVE BOX LID SHALL HAVE THE VALVE STATION NUMBER HEAT-BRANDED INTO THE LID WITH 2" HIGH LETTERS.
- G. FIXED SPRAY HEADS AND ROTORS: PLASTIC BODY PORTAL WITH A REMOVABLE PLASTIC SPRAY NOZZLE. EXACT TYPE, MODEL, AND NOZZLE SHALL BE AS INDICATED ON PLANS.
- H. INTEGRAL EMITTER DRIP TUBING: TUBING MODEL AND FLOW RATE AS NOTED ON PLANS, WITH INTEGRAL EMITTERS WELDED TO THE INSIDE WALL OF THE TUBING AS AN INTEGRAL PART OF THE TUBING ASSEMBLY.
- I. AUTOMATIC CONTROLLER: TYPE AND MODEL PER PLANS. PROVIDE VANDAL-PROOF ENCLOSURE FOR ALL EXTERIOR INSTALLATIONS. PROVIDE LINE-VOLTAGE DISCONNECT SWITCH WITH GROUND FAULT PROTECTION.
- J. 24 VOLT VALVE WIRE SHALL BE A MINIMUM OF #14 GAUGE, U.F. APPROVED FOR DIRECT BURIAL, SINGLE CONDUCTOR IRRIGATION WIRE. EACH CONTROLLER SHALL HAVE A DIFFERENT COLOR STATION AND COMMON WIRE:
- STATION WIRE - ANY COLOR EXCEPT WHITE OR BLUE
 - COMMON WIRE - WHITE
 - EXTRA COMMON WIRES - BLUE
- K. WIRE SPLICES SHALL BE ENCASED IN A WATERPROOF COMPOUND OR GEL. ALL FIELD SPLICES SHALL BE LOCATED IN A 6 INCH ROUND VALVE BOX.
- L. RAIN SENSOR: TYPE AND MODEL PER PLANS.

- METHODS
- A. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS INDICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST. ENSURE FIELD COORDINATION IS MADE EARLY ON IN THE CONSTRUCTION PHASE SO PLACEMENT LOCATION IS CORRECT.
- B. THE IRRIGATION CONTRACTOR SHALL MEET WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK, AND SHALL OBTAIN ALL ENGINEERING, LANDSCAPE, AND OTHER APPLICABLE PLANS & DOCUMENTS. THE CONTRACTOR SHALL THOROUGHLY REVIEW THE PLANS AND REPORT ANY CONFLICTS OR DISCREPANCIES TO THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE IMMEDIATELY.
- C. THE IRRIGATION CONTRACTOR SHALL NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADES OR DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE IRRIGATION DESIGNER, IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS AND NECESSARY COSTS. THE IRRIGATION CONTRACTOR SHALL PAY ANY AND ALL FEES AND PERMITS ASSOCIATED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM.
- D. AT LEAST SEVEN DAYS BEFORE BEGINNING WORK, CONFIRM THE STATIC WATER PRESSURE IS AT LEAST 65 PSI. IF STATIC WATER PRESSURE IS OUTSIDE OF THE STATED RANGE, DO NOT PROCEED WITHOUT FIRST NOTIFYING THE IRRIGATION DESIGNER AND OWNER IN WRITING, AND OBTAINING SUBSEQUENT DIRECTION FOR CORRECTIONAL MEASURES. SHOULD THE IRRIGATION CONTRACTOR CHOOSE TO BEGIN THE INSTALLATION WITHOUT SUCH NOTIFICATION, THE IRRIGATION CONTRACTOR WILL ASSUME THE RESPONSIBILITY FOR ALL COSTS INCURRED TO ENSURE THE SYSTEM IS WORKING PROPERLY. NO CHANGE ORDERS WILL BE AUTHORIZED IN SUCH CIRCUMSTANCES.
- F. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL GRADE DIFFERENCES, LOCATIONS OF WALLS, STRUCTURES AND UTILITIES.
- G. COORDINATE WITH THE OWNER THE PROPOSED LOCATIONS OF THE AUTOMATIC CONTROLLER AND ANY REQUIRED SLEEVES THROUGH THE BUILDING FOR CONTROL WIRES.
- H. TRENCHING NEAR EXISTING TREES:
- CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER AT GROUND-HEIGHT (4.5 ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

THIS IS A MAJOR AMENDMENT TO THE CONTROLLING SITE DEVELOPMENT PLAN FOR BUILDING F TO ALLOW A RESTAURANT WITH DRIVE THROUGH USE

IRRIGATION LEGEND

SYMBOL	MANUFACTURER/MODEL
	RAINBIRD 1806-SAM-PRS SERIES POP UP SPRAY HEADS WITH ADAPTER AND RAINBIRD #1402 SERIES BUBBLER NOZZLES. (TWO PER TREE)
	RAINBIRD RWS ROOT WATERING SYSTEM MODEL RWS-M-B-C-1402 WITH RWS-SOCK. (TWO PER TREE)
	RAINBIRD XCZ-100-PRB-COM / 150-PRB-COM SERIES AUTOMATIC DRIP VALVE ASSEMBLY WITH 40 PSI PRESSURE REGULATOR XCZ-100-PRB-COM - 1" BALL VALVE WITH 1" PESB VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 0.3GPM TO 20GPM.
	RAINBIRD PEB SERIES ELECTRIC REMOTE CONTROL, "TREE BUBBLER ZONE" VALVE
	AREA TO RECEIVE DRIPLINE RAINBIRD XFS-CV-06-12 SERIES DRIP TUBE IN SHRUB BED INSTALLED AT 2" DEPTH
	PIPE TRANSITION POINT ABOVE GRADE PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER TO ABOVE GRADE INSTALLATION.
	ZURN / WILKINS 375XLB SERIES REDUCED PRESSURE TYPE BACKFLOW PREVENTOR INSTALLED PER CITY CODE WITH HEATED / INSULATED ALUMINUM ENCLOSURE AND SAME SIZE BRONZE BALL VALVE INSTALLED ON THE UP-STREAM SIDE. G.C. TO COORDINATE POWER TO BACKFLOW ENCLOSURE LOCATION PRIOR TO CONSTRUCTION [BLOW OFF VALVE TO BE INSTALLED BETWEEN THE METER AND BACKFLOW DEVICE FOR SYSTEM WINTERIZATION]
	LASCO "V" SERIES SCH. 80 PVC TRUE UNION BALL VALVE, MAINLINE SIZE
	IRRIGATION WATER METER AND TAP (BY OTHERS) SIZE AS NOTED ON THE PLAN
	RAINBIRD 33DLRC QUICK COUPLER, 3/4"
	RAINBIRD ESP12LXMEF2P SERIES AUTOMATIC WALL MOUNT CONTROLLER
	RAINBIRD WR2-RFC RAIN / FREEZE SENSOR - CONFIRM SENSOR LOCATION WITH OWNERS REPRESENTATIVE
	1" MASTER VALVE MODEL # 100-EFB-CP WITH RAINBIRD FLOW SENSOR MODEL #FS100B SERIES

- IRRIGATION LATERAL LINE: CLASS 200 PVC
- IRRIGATION MAINLINE: SCHEDULE 40 PVC
- IRRIGATION SLEEVES, SCH. 40 PVC, MIN. TWICE SIZE OF PIPE TO BE INSERTED

IRRIGATION NOTE:

- L.I.C. SHALL ENSURE PROPER COVERAGE, ADJUSTED
- FOR NO OVERSPRAY ONTO WALLS AND WALKS. NO OVERSPRAY INTO STREETS IS PERMITTED.
- ALL PIPE TO BE SIZED SUCH THAT FLOWS WILL NOT EXCEED VELOCITY OF 5 FPS

WATER CONSERVATION

IRRIGATION WATER CONSERVATION SHALL BE ACCOMPLISHED THROUGH THE FOLLOWING EFFORTS:

- SEPARATE TURF / SHRUB ZONES FOR SCHEDULING ADJUSTMENT
- NO OVERSPRAY ONTO PAVEMENT PERMITTED
- USE OF RAIN SENSOR SHUT OFF OVER-RIDE DEVICE

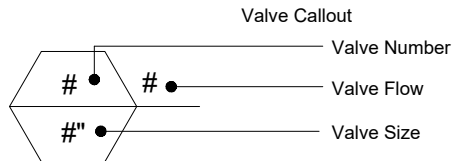
LATERAL PIPE SIZE CHART

LATERAL PIPE SHALL BE SIZED TO ALLOW A MAXIMUM FLOW VELOCITY OF FIVE FEET PER SECOND ACCORDING TO THE FOLLOWING CHART:

FLOW IN GPM	LATERAL PIPE SIZE
UP TO 5 GPM	3/4" CLASS 200
6 - 10 GPM	3/4" CLASS 200
11 - 15 GPM	1" CLASS 200
16 - 28 GPM	1 1/4" CLASS 200
29 - 35 GPM	1 1/2" CLASS 200
36 - 54 GPM	2" CLASS 200
55 - 81 GPM	2 1/2" CLASS 200
82 - 120 GPM	3" CLASS 200

- Q. NO PUMP ON SITE.
- R. ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- S. QUALITY CONTROL
- PERFORM COVERAGE TESTS AFTER IRRIGATION SYSTEM IS COMPLETED, BUT PRIOR TO ANY PLANTING AND BEFORE TESTING IN THE PRESENCE OF THE IRRIGATION DESIGNER AND THE CONSTRUCTION MANAGER.
 - TEST SYSTEM TO ASSURE THAT ALL LAWN AND PLANTING AREAS ARE WATERED COMPLETELY AND UNIFORMLY.
 - MAKE ALL NECESSARY ADJUSTMENTS TO PROVIDE COMPLETE COVERAGE, INCLUDING REALIGNMENT OF HEADS AND REPLACEMENT OF NOZZLES.
- T. CLEAN UP
- DURING IRRIGATION EXCAVATION AND INSTALLATION, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
 - DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- U. INSPECTION AND ACCEPTANCE
- UPON COMPLETION OF THE WORK, THE IRRIGATION CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE IRRIGATION CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
 - WHEN THE INSPECTED WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
 - THE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
 - CONTROLLER CHART: THE IRRIGATION CONTRACTOR SHALL PROVIDE A 11" X 17" COLOR-CODED, LAMINATED COPY OF THE IRRIGATION LAYOUT AND PLACE IT IN THE CONTROLLER'S COVER. THE CONTROLLER CHART SHALL CLEARLY DELINEATE THE AREAS COVERED BY EACH VALVE, USING A SEPARATE COLOR FOR EACH ZONE.
 - TURN THE FOLLOWING ITEMS IN TO THE OWNER UPON COMPLETION OF THE INSTALLATION:
 - QUICK COUPLER KEYS (2)
 - CONTROLLER MANUAL (1)
 - CONTROLLER KEYS (2)
 - A MINIMUM OF (2) COPIES OF RECORD DRAWINGS. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.
- V. REFER TO THE PLANTING SPECIFICATIONS FOR ADDITIONAL CONDITIONS OF FINAL ACCEPTANCE AND START OF THE MAINTENANCE PERIOD.
- W. WARRANTY
- THE IRRIGATION SYSTEM SUPPLIED AND INSTALLED SHALL BE WARRANTED (LABOR AND MATERIALS) TO REMAIN OPERATIONAL FOR A PERIOD OF 12 MONTHS AFTER THE DATE OF FINAL ACCEPTANCE. DURING THIS PERIOD, THE CONTRACTOR SHALL ALSO REPAIR ANY SETTLEMENT OF THE IRRIGATION TRENCHES.
 - BY THE END OF THE WARRANTY PERIOD, ANY IRRIGATION PART THAT IS EITHER NON-OPERATIONAL OR THAT IS OPERATING BELOW STANDARDS AS DETERMINED BY THE OWNER, SHALL BE REMOVED FROM THE SITE AND SHALL BE REPLACED. REPLACEMENTS SHALL BE OF THE SAME KIND AS SPECIFIED IN THE IRRIGATION LEGEND, AND SHALL BE INSTALLED AS ORIGINALLY SPECIFIED.
 - IRRIGATION PARTS DAMAGED OR IMPAIRED DUE TO ACTS OF GOD, VANDALISM, AND/OR THE OWNER'S IMPROPER MAINTENANCE SHALL NOT BE COVERED BY THIS WARRANTY.
- X. SHOULD THE PERMITTING JURISDICTION REQUIRE AN IRRIGATION AUDIT, THE IRRIGATION CONTRACTOR SHALL REPAIR THE SERVICES OF A THIRD-PARTY CERTIFIED LANDSCAPE IRRIGATION AUDITOR, AT NO ADDITIONAL COST TO THE OWNER.

VALVE KEY



CRITICAL ANALYSIS

P.O.C. NUMBER: 01
Water Source Information: Irrigation Meter, By Others

FLOW AVAILABLE
Water Meter Size: 1"
Flow Available: 30 gpm

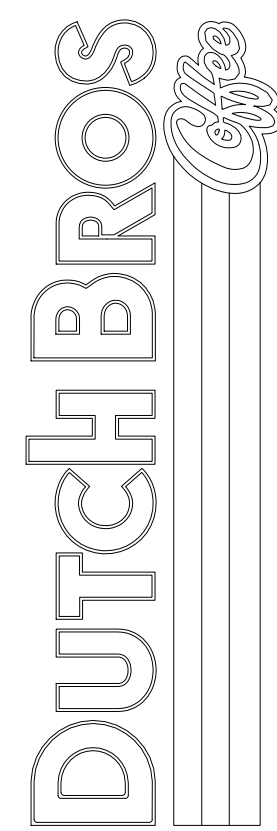
PRESSURE AVAILABLE
Static Pressure at POC (est.): 68.00 psi
Elevation Change: NA
Service Line Size: NA
Length of Service Line: NA
Pressure Available: 65.00 psi

DESIGN ANALYSIS
Maximum Station Flow: 16.25 gpm
Flow Available at POC: 30.0 gpm
Residual Flow Available: 13.75 gpm

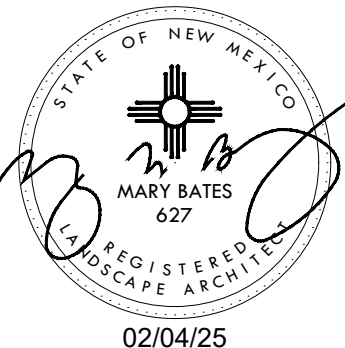
Critical Station: 1
Head Pressure Required: 30.0 psi
Lateral Loss: 3.0 psi
Loss through Valve: 3.0 psi
Pressure Req. at Critical Station: 36.4 psi
Loss for Main Line: 1.6 psi
Loss for Fittings 20%(Main Line): 0.32 psi
Loss for Master Valve: 1.2 psi
Loss for Backflow: 11.0 psi
Loss for Water Meter: 1.4 psi
Critical Station Pressure at POC: 51.92 psi
Pressure Available: 65.00 psi
Residual Pressure Available: 13.08 psi

IRRIGATION SPECIFICATIONS

Title:



For:

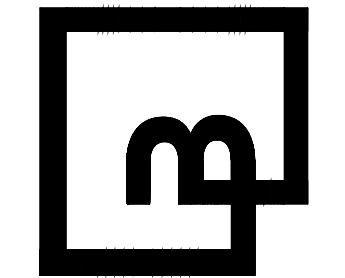


02/04/25

Scale:

Designed _____
Drawn _____
Checked _____
Approved _____
Date _____

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number
23204

Sheet
LI-3
2019.08
Franchising USA, LLC



LANDSCAPE ARCHITECTURE
LAND PLANNING, IRRIGATION DESIGN

1 TITLE DESCRIPTION

PARCEL 1:
TRACT LETTERED C-ONE-A (C-1-A), PLAT OF ACADEMY ACRES, UNIT 17, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF TRACTS C-1-A THRU C-1-E, ACADEMY ACRES, UNIT 17, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 18, 1990, IN PLAT BOOK 90C, FOLIO 131.

PARCEL 2:
NON-EXCLUSIVE RIGHTS OF RECIPROCAL BLANKET PRIVATE ACCESS, DRAINAGE, UTILITY, AND PARKING EASEMENT, AS SHOWN ON PLAT FILED MAY 18, 1990, IN PLAT BOOK 90C, FOLIO 131, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, TO THE EXTENT OF AND ONLY FOR THE DURATION PROVIDED FOR THEREIN.

THE LAND SHOWN IN THIS SURVEY IS THE SAME AS THAT DESCRIBED IN A TITLE SEARCH PERFORMED BY TITLEVEST, A FIRST AMERICAN COMPANY, FILE NO. SNM918454, DATED 11/16/2023, TITLE SEARCHED FROM OCTOBER 01, 1988 TO OCTOBER 31, 2023.

2 TITLE INFORMATION

THE TITLE DESCRIPTION AND SCHEDULE B ITEMS HEREON ARE FROM A TITLE SEARCH PERFORMED BY TITLEVEST, A FIRST AMERICAN COMPANY, FILE NO. SNM918454, DATED 11/16/2023, TITLE SEARCHED FROM OCTOBER 01, 1988 TO OCTOBER 31, 2023.

11 SURVEYOR'S NOTES

- IN REGARDS TO ALTA TABLE A ITEM 16, THERE WAS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- IN REGARDS TO ALTA TABLE A ITEM 17, THERE WERE NO OBSERVABLE EVIDENCE OF CHANGES IN STREET RIGHT-OF-WAY LINES COMPLETED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION AND NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- THE SUBJECT PROPERTY HAS DIRECT PHYSICAL ACCESS TO SAN ANTONIO DRIVE NE AND SAN ANTONIO PLACE NE, BOTH BEING DEDICATED PUBLIC STREETS OR HIGHWAYS.
- ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO UTILITIES, IMPROVEMENTS, STRUCTURES, PARTY WALLS, PARKING, EASEMENTS, SERVITUDES, AND ENCROACHMENTS, ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
- LOCATIONS OF UNDERGROUND UTILITIES HAVE BEEN PROVIDED TO SURVEYOR BY UTILITY LOCATE SERVICES, GPRS.
- THE DISTANCES SHOWN HEREON ARE UNITS OF GROUND MEASUREMENT.
- THE NEAREST INTERSECTION OF STREETS IS THAT OF SAN ANTONIO DRIVE NE AND SAN ANTONIO PLACE NE, WHICH ABUTS THE NORTHEAST CORNER OF THE SUBJECT PROPERTY.
- IN REGARD TO TABLE A ITEM 18, ANY PLOTTABLE OFFSITE (I.E., APPURTENANT) EASEMENTS DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR HAVE BEEN SHOWN AND/OR NOTED HEREON.
- THERE IS NO EVIDENCE OF ANY DELINEATED WETLAND AREAS, PER THE U.S. FISH & WILDLIFE SERVICE NATIONAL WETLANDS INVENTORY WEBSITE. NO MARKERS FROM A FIELD DELINEATION OF WETLANDS CONDUCTED BY A QUALIFIED SPECIALIST WERE OBSERVED DURING THE COURSE OF THE ALTA SURVEY.
- ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS UTILIZING ONLINE POSITIONING USER SERVICE (OPUS) FOR POST PROCESSING WITH ORIGINATING CITY OF ALBUQUERQUE BENCHMARK ID: 10-D18, VERTICAL DATUM BASED UPON NORTH AMERICAN VERTICAL DATUM (NAVOD83) IN US SURVEY FEET. CONTOURS SHOWN ARE AT ONE FOOT INTERVALS. BENCHMARK ID: 10-D18. PUBLISHED ELEVATION: ELLIPSOIDAL (METERS): 1601.218 (CONVERTED TO ORTHOMETRIC HEIGHT UTILIZING NGS GEODETIC TOOL KIT). MONUMENT DESCRIPTION: BRASS DISC STAMPED "10-D18 1978" SET IN TOP OF A CONCRETE POST.

3 SCHEDULE 'B' ITEMS

NOTES CORRESPONDING TO SCHEDULE "B":

- SITE DEVELOPMENT COST SHARING AGREEMENT BY AND BETWEEN PSG LIMITED PARTNERSHIP, A NEW MEXICO LIMITED PARTNERSHIP AND ZIP LUBE, INC., A NEW MEXICO CORPORATION AND WYO-SAN #1 PARTNERSHIP, A NEW MEXICO LIMITED PARTNERSHIP DATED OCTOBER 22, 1990 AND RECORDED OCTOBER 22, 1990 IN BOOK BCR 90-17, PAGE 2665 (AFFECTS, BLANKET IN NATURE)
- GRANT OF MUTUAL AND RECIPROCAL EASEMENTS BY AND BETWEEN PSG LIMITED PARTNERSHIP, A NEW MEXICO LIMITED PARTNERSHIP AND ZIP LUBE, INC., A NEW MEXICO CORPORATION AND WYO-SAN #1 PARTNERSHIP, A NEW MEXICO LIMITED PARTNERSHIP DATED OCTOBER 22, 1990 AND RECORDED OCTOBER 22, 1990 IN BOOK BCR 90-17, PAGE 2670 (AFFECTS, HOWEVER UNABLE TO PLOT - SITE DEVELOPMENT PLAN NUMBERED Z-79-66-8)
- EASEMENT BY AND BETWEEN PSG LIMITED PARTNERSHIP, A NEW MEXICO LIMITED PARTNERSHIP AND PUBLIC SERVICE COMPANY OF NEW MEXICO, A NEW MEXICO CORPORATION AND THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, A COLORADO CORPORATION DATED MAY 28, 1991 AND RECORDED SEPTEMBER 17, 1991 IN BOOK BCR 91-16, PAGE 5090 (AFFECTS, PLOTTED AND SHOWN)
- PLAT MAP RECORDED MAY 18, 1990 IN PLAT BOOK 90C, PAGE 131 (AFFECTS, PLOTTED AND SHOWN; HOWEVER 200' TEMPORARY DRAINAGE EASEMENT SHOWN WITHIN HAS BEEN RELEASED PER BOOK BCR 90-6, PAGE 2173 AND IS NOT SHOWN HEREON)
- SPECIAL WARRANTY DEED FROM FIRST JUMP, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY TO 7330 SAN ANTONIO LLC, A NEW MEXICO LIMITED LIABILITY COMPANY DATED DECEMBER 28, 2022 AND RECORDED DECEMBER 29, 2022 IN INSTRUMENT NO. 2022109648 (AFFECTS, BLANKET IN NATURE)
- SPECIAL WARRANTY DEED FROM LA CUEVA PROPERTY, LLC, AN IDAHO CORPORATION TO FIRST JUMP, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY DATED APRIL 11, 2022 AND RECORDED APRIL 12, 2022 IN INSTRUMENT NO. 2022036320 (AFFECTS, BLANKET IN NATURE)
- RE-RECORDED SPECIAL WARRANTY DEED FROM PRP INC., A NEW MEXICO CORPORATION ET AL., ("OWNER"), BY TRIGILD INCORPORATED, WITH KELLEY A. MCLAREN AS ITS AGENT, NOT IN HER INDIVIDUAL CAPACITY BUT SOLELY IN HER CAPACITY AS COURT APPOINTED RECEIVER OVER THE SPECIFIC ASSETS OF OWNER UNDER CASE NO. CV201006506 TO LA CUEVA PROPERTY, LLC, AN IDAHO CORPORATION DATED SEPTEMBER 02, 2011 AND RECORDED OCTOBER 27, 2011 IN INSTRUMENT NO. 2011097914 (AFFECTS, BLANKET IN NATURE)
- SPECIAL WARRANTY DEED FROM PRP INC., A NEW MEXICO CORPORATION ET AL., ("OWNER"), BY TRIGILD INCORPORATED, WITH KELLEY A. MCLAREN AS ITS AGENT, NOT IN HER INDIVIDUAL CAPACITY BUT SOLELY IN HER CAPACITY AS COURT APPOINTED RECEIVER OVER THE SPECIFIC ASSETS OF OWNER UNDER CASE NO. CV201006506 TO LA CUEVA PROPERTY, LLC, AN IDAHO CORPORATION DATED SEPTEMBER 02, 2011 AND RECORDED SEPTEMBER 02, 2011 IN INSTRUMENT NO. 2011080043 (AFFECTS, BLANKET IN NATURE)
- WARRANTY DEED FROM WYO-SAN #1 LTD. PARTNERSHIP TO PSG LIMITED PARTNERSHIP, A NEW MEXICO LIMITED PARTNERSHIP DATED JUNE 05, 1990 AND RECORDED JUNE 05, 1990 IN BOOK 90-9, PAGE 5719 (AFFECTS, BLANKET IN NATURE)

TEMPORARY BENCHMARK INFORMATION

TBM1:
CITY BENCHMARK: 10-D18
PUBLISHED ELEVATION: ELLIPSOIDAL (METERS): 1601.218
ELEVATION: 5,253.33

TBM2:
FOUND 1/2" REBAR WITH CAP
STAMPED "L. MEDRANO PS 11993"
ELEVATION: 5,371.84

6 CEMETERY

THERE IS NO VISIBLE EVIDENCE OF CEMETERIES ON THE SUBJECT PROPERTY AT THE TIME OF SURVEY.

7 SIGNIFICANT OBSERVATIONS

NONE OBSERVED AT TIME OF ALTA SURVEY.

8 ZONING INFORMATION

ZONING INFORMATION (REPORT OR LETTER) TO BE PROVIDED BY CLIENT PURSUANT TO TABLE A ITEM 6(A) AND/OR 6(B).

10 BASIS OF BEARINGS

THE BASIS OF BEARING FOR THIS SURVEY IS GRID NORTH PER NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD83-2011, AS MEASURED ALONG THE WEST LINE OF THE SUBJECT PROPERTY WHICH BEARS S27°44'13"W PER GPS COORDINATE OBSERVATIONS.

LATITUDE: 35°09'30.2402"
LONGITUDE: -106°33'44.6206"
CONVERGENCE ANGLE: -00°10'47.60"

5 FLOOD INFORMATION

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 35001C0141G, WHICH BEARS AN EFFECTIVE DATE OF 9/26/2008, AND COMMUNITY PANEL NO. 35001C0157H, WHICH BEARS AN EFFECTIVE DATE OF 8/16/2012. THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

ZONE "X" - AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRMS AS ABOVE THE 500-YEAR FLOOD LEVEL. ZONE "X" IS THE AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM 100-YEAR FLOOD.

TREE TABLE

TAG	TRUNK	TREE TYPE
T1	19"	DECIDUOUS
T2	16"	DECIDUOUS
T3	12"	DECIDUOUS
T4	16"	DECIDUOUS
T5	15"	DECIDUOUS
T6	19"	DECIDUOUS
T7	12"	DECIDUOUS
T8	11"	DECIDUOUS
T9	20"	DECIDUOUS
T10	8"	DECIDUOUS
T11	6"	DECIDUOUS
T12	9"	DECIDUOUS
T13	12"	DECIDUOUS
T14	12"	DECIDUOUS
T15	12"	DECIDUOUS

THE UTILITIES SHOWN ON THIS DRAWING HEREON HAVE BEEN LOCATED BY FIELD MEASUREMENTS. UTILITY MAP DRAWINGS, AND NEW MEXICO 811 DIG UTILITY LOCATE REQUEST. BLEW & ASSOCIATES MAKES NO WARRANTY TO THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ANY AND ALL UTILITIES PRIOR TO CONSTRUCTION.

TICKET NUMBER: 23NV140672

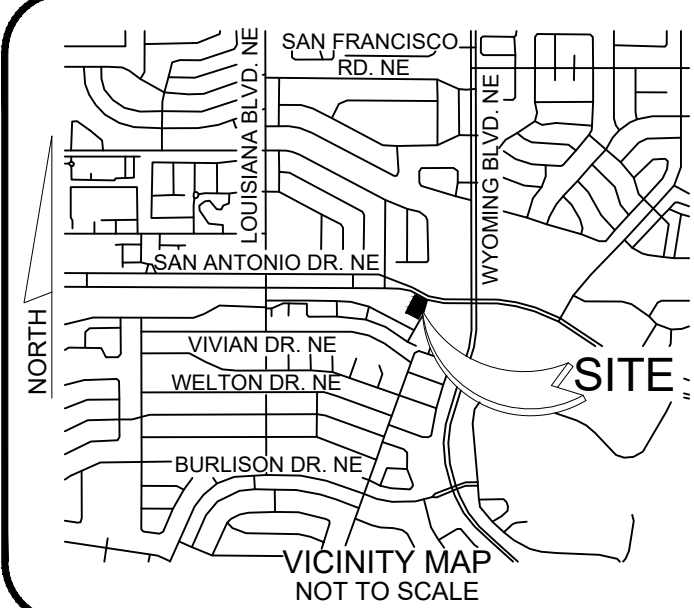
COMPANY:
CITY OF ALBUQUERQUE
ALBUQUERQUE/BERNALILLO COUNTY
NCI CABLE SEC
NEW MEXICO GAS COMPANY - ALBUQUERQUE
PNM ELECTRIC - ALBUQUERQUE
CENTURYLINK LOCAL NETWORK CENTRAL
ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY

CONTACT:
(505) 768-2000
(505) 468-7777
(505) 884-1913
(888) 664-2726
(888) 342-5766
(833) 591-0953
(505) 842-WATR

9 LEGEND

- FOUND MONUMENT AS NOTED
- SET MONUMENT AS NOTED
- (M) MEASURED/CALCULATED DIMENSION
- (R) RECORD DIMENSION
- N/F NOW OR FORMERLY
- R/W RIGHT-OF-WAY
- HANDICAP PARKING
- D.A. DUMPSTER AREA
- N.G. NATURAL GROUND (NG)
- BHL MEASURED BUILDING HEIGHT LOCATION
- SIGN
- BOLLARD
- CONCRETE
- TC TOP OF CONCRETE
- BOC BACK OF CURB
- TA TOP OF ASPHALT
- FL FLOW LINE
- FFE FINISHED FLOOR ELEVATION
- EC EDGE OF CONCRETE
- VCP VITRIFIED CLAY PIPE
- BR BOTTOM OF RAMP
- TR TOP OF RAMP
- GR TOP OF GRAVEL
- CR CROWN OF ROAD
- SW SIDEWALK
- PVC POLYVINYL CHLORIDE PIPE
- VCP VITRIFIED CLAY PIPE
- FIBER OPTIC VAULT
- CLEAN OUT
- IRRIGATED CONTROL VALVE
- LIGHT POLE
- ELECTRIC BOX
- ELECTRIC VAULT
- GAS METER
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- SEWER MANHOLE (SMH)
- PROPERTY LINE
- ADJOINER LINE
- EASEMENT LINE
- R/W RIGHT-OF-WAY LINE
- FENCE LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND FIBER OPTIC LINE
- UNDERGROUND WATER LINE
- UNDERGROUND SANITARY LINE
- UNDERGROUND GAS LINE
- FLOOD ZONE LINE

16 VICINITY MAP



4 SURVEYOR CERTIFICATION

TO: BB HOLDINGS NM, LLC, AN OREGON LIMITED LIABILITY COMPANY; DB FRANCHISING USA, LLC, AN OREGON LIMITED LIABILITY COMPANY; DUTCH BROS., LLC, AN OREGON LIMITED LIABILITY COMPANY; DUTCH MAFIA, LLC, A DELAWARE LIMITED LIABILITY COMPANY; BOERSMA BROS. LLC, AN OREGON LIMITED LIABILITY COMPANY; DUTCH BROS INC., A DELAWARE CORPORATION; TITLEVEST, A FIRST AMERICAN COMPANY AND COMMERCIAL DUE DILIGENCE SERVICES:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7(A), 7(B)(1), 7(C), 8, 9, 11(A), 11(B), 13, 14, 16, 17, 18, 19 AND 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 10/17/2024.

DATE OF PLAT OR MAP: 10/25/2024

01/21/2025
DATED



ROBERT J. WINNICKI
PROFESSIONAL SURVEYOR 26742
STATE OF NEW MEXICO

13 LAND AREA

TOTAL AREA:
42,044 SQUARE FEET ± OR 0.965 ACRES ±

12 PARKING INFORMATION

0 STANDARD SPACES
1 HANDICAP SPACES
1 TOTAL PARKING SPACES

Key to CDS ALTA Survey

- TITLE DESCRIPTION
- TITLE INFORMATION
- SCHEDULE 'B' ITEMS
- SURVEYOR CERTIFICATION
- FLOOD INFORMATION
- CEMETERY
- SIGNIFICANT OBSERVATIONS
- ZONING INFORMATION
- LEGEND
- BASIS OF BEARING
- SURVEYOR'S NOTES
- PARKING INFORMATION
- LAND AREA
- BUILDING AREA
- BUILDING HEIGHT
- VICINITY MAP
- NORTH ARROW / SCALE
- CLIENT INFORMATION BOX
- SURVEY DRAWING
- PROJECT ADDRESS

18 ALTA/NSPS Land Title Survey

This survey prepared in accordance with the "2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys" (Effective February 23, 2021)

This Work Coordinated By:

FA Commercial Due Diligence Services Co.

CDS
COMMERCIAL
DUE DILIGENCE SERVICES
3550 W. Robinson Street, Third Floor
Norman, Oklahoma 73072
Office: 405-253-2444
website: www.firstamcds.com
Toll Free: 888.322.7371

Drwn By: TJB/KAN
Surveyor Ref.No: 23-7704.01
Aprvd By: LT/JMC
Field Date: 10/17/2024
Scale: 1"=20'

Date: Revision:
Date: Revision:
Date: Revision:
Date: Revision:

Prepared For:

Client Ref. No:

20 PROJECT ADDRESS

7330 SAN ANTONIO DR.,
ALBUQUERQUE, NEW MEXICO

Project Name:
DB NM0504 - ALBUQUERQUE, NM

CDS Project Number:
24-10-0013

Approved CDS Surveyor

Surveyor's Name: Blew & Associates, P.A.
Address: 3825 N. Shiloh Drive
Fayetteville, AR
Telephone Number: 479-443-4506
email: survey@blewinc.com

19 SURVEY DRAWING

9 LEGEND

- FOUND MONUMENT AS NOTED
- SET MONUMENT AS NOTED
- (M) MEASURED/CALCULATED DIMENSION
- (R) RECORD DIMENSION
- N/F NOW OR FORMERLY
- R/W RIGHT-OF-WAY
- ♿ HANDICAP PARKING
- D.A. DUMPSTER AREA
- N.G. NATURAL GROUND (NG)
- BHL MEASURED BUILDING HEIGHT/LOCATION
- SIGN
- BOLLARD
- CONC. CONCRETE
- TC TOP OF CONCRETE
- BOC BACK OF CURB
- TA TOP OF ASPHALT
- FL FLOW LINE
- FFE FINISHED FLOOR ELEVATION
- EC EDGE OF CONCRETE
- VCP VITRIFIED CLAY PIPE
- BR BOTTOM OF RAMP
- TR TOP OF RAMP
- GR TOP OF GRAVEL
- CR CROWN OF ROAD
- SW SIDEWALK
- PVC POLYVINYL CHLORIDE PIPE
- VCP VITRIFIED CLAY PIPE
- FIBER OPTIC VAULT
- CO CLEAN OUT
- ⊠ IRRIGATED CONTROL VALVE
- * LIGHT POLE
- ⊠ ELECTRIC BOX
- ⊠ ELECTRIC VAULT
- ⊠ GAS METER
- ⊠ WATER VALVE
- ⊠ WATER METER
- ⊠ FIRE HYDRANT
- ⊠ SEWER MANHOLE (SMH)

- PROPERTY LINE
- ADJOINER LINE
- EASEMENT LINE
- R/W — RIGHT-OF-WAY LINE
- FENCE LINE
- UG — UNDERGROUND ELECTRIC LINE
- FOP — UNDERGROUND FIBER OPTIC LINE
- WL — UNDERGROUND WATER LINE
- SS — UNDERGROUND SANITARY LINE
- GAS — UNDERGROUND GAS LINE
- FLOOD ZONE LINE

INVERT TABLE

SMH#1	RIM ELEVATION: 5,386.75'
8" PVC INVERT SW: 5,380.7'	
SMH#2	RIM ELEVATION: 5,384.05'
8" PVC INVERT NE: 5,376.8'	
8" VCP INVERT SE: 5,377.4'	
8" PVC INVERT SW: 5,376.7'	
SMH#3	RIM ELEVATION: 5,380.17'
8" PVC INVERT NE: 5,371.2'	
8" PVC INVERT NW: 5,371.1'	
SMH#4	RIM ELEVATION: 5,369.55'
8" PVC INVERT SE: 5,363.4'	
8" PVC INVERT NW: 5,363.3'	

MEASURE CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1(M)	773.06'	34.47'	34.47'	S 63°43'11" E	2°33'18"	17.24'
C2(M)	886.00'	95.45'	95.41'	S 65°29'08" E	6°10'22"	47.77'
C3(M)	25.00'	38.40'	34.52'	S 24°54'50" E	87°18'53"	23.85'
C4(M)	574.26'	96.59'	96.48'	S 22°50'38" W	9°38'14"	48.41'
C5(M)	773.06'	134.09'	133.93'	S 69°51'38" E	9°56'18"	67.22'

RECORD CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1(R)	773.06'	34.44'	34.44'	S 63°33'03" E	2°33'09"	17.22'
C2(R)	886.00'	95.60'	95.55'	S 65°21'57" E	6°10'55"	47.84'
C3(R)	25.00'	37.76'	34.27'	S 25°11'14" E	86°32'20"	23.53'
C4(R)	574.26'	96.69'	96.54'	S 22°54'14" W	9°38'35"	48.44'
C5(R)	773.06'	134.09'	133.93'	S 69°51'38" E	9°56'18"	67.22'

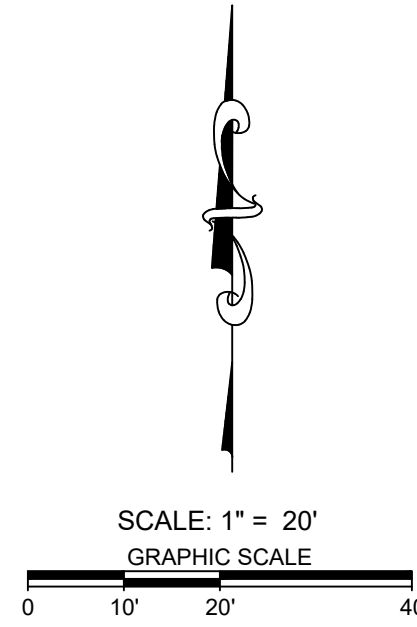
LINE TABLE

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1(M)	S 18°10'05" W	67.23'	L1(R)	S 18°04'56" W	67.04'
L2(M)	S 27°46'00" W	67.11'	L2(R)	S 27°43'51" W	67.03'
L3(M)	N 62°13'44" W	149.95'	L3(R)	N 62°16'29" W	150.00'
L4(M)	N 74°28'04" W	27.15'	L4(R)	N 74°29'59" W	27.14'
L5(M)	N 74°28'04" W	29.55'	L5(R)	N 74°29'59" W	29.53'

Approved CDS Surveyor

Surveyor's Name: Blew & Associates, P.A.
Address: 3825 N. Shiloh Drive
Fayetteville, AR
Telephone Number: 479-443-4506
email: survey@blewinc.com

17 NORTH ARROW / SCALE



TREE TABLE

TAG	TRUNK	TREE TYPE
T1	19"	DECIDUOUS
T2	16"	DECIDUOUS
T3	12"	DECIDUOUS
T4	16"	DECIDUOUS
T5	15"	DECIDUOUS
T6	19"	DECIDUOUS
T7	12"	DECIDUOUS
T8	11"	DECIDUOUS
T9	20"	DECIDUOUS
T10	8"	DECIDUOUS
T11	6"	DECIDUOUS
T12	9"	DECIDUOUS
T13	12"	DECIDUOUS
T14	12"	DECIDUOUS
T15	12"	DECIDUOUS

18 ALT/NSPS Land Title Survey

This survey prepared in accordance with the "2021 Minimum Standard Detail Requirements for ALT/NSPS Land Title Surveys" (Effective February 23, 2021)

This Work Coordinated By:

FA Commercial Due Diligence Services Co.

CDS
COMMERCIAL
DUE DILIGENCE
SERVICES
3550 W. Robinson Street, Third Floor
Norman, Oklahoma 73072
Office: 405-253-2444
website: www.firstamcds.com
Toll Free: 888.322.7371

Drwn By:	TJB/KAN	Date:	
Surveyor		Revision:	
Ref.No:	23-7704.01	Date:	
Aprvd By:	LT/JMC	Revision:	
Field Date:	10/17/2024	Date:	
Scale:	1"=20'	Revision:	

Prepared For:

Client Ref. No:

20 PROJECT ADDRESS

7330 SAN ANTONIO DR.,
ALBUQUERQUE, NEW MEXICO

Project Name:
DB NM0504 - ALBUQUERQUE, NM

CDS Project Number:
24-10-0013

TEMPORARY BENCHMARK INFORMATION

TBM1:
FOUND CHISELED "X"
ELEVATION: 5,383.97'

TBM2:
FOUND 1/2" REBAR WITH CAP
STAMPED "L. MEDRANO PS 11993"
ELEVATION: 5,371.84'












PR-2022-007872_SI-2024-00674

Final Audit Report

2025-03-13

Created:	2025-02-20
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAIoLOTR1nXF-WwKhOLNJldhUPdUKeRfFI

"PR-2022-007872_SI-2024-00674" History

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-  Document emailed to Jay Rodenbeck (jrodenbeck@cabq.gov) for signature
2025-02-20 - 6:53:03 PM GMT
-  Document emailed to Ernest Armijo (earmijo@cabq.gov) for signature
2025-02-20 - 6:53:04 PM GMT
-  Document emailed to Jeff Palmer (jppalmer@cabq.gov) for signature
2025-02-20 - 6:53:04 PM GMT
-  Document emailed to Tiequan Chen (tchen@cabq.gov) for signature
2025-02-20 - 6:53:04 PM GMT
-  Document emailed to Whitney Phelan (wphelan@cabq.gov) for signature
2025-02-20 - 6:53:05 PM GMT
-  Document emailed to David Gutierrez (dggutierrez@abcwua.org) for signature
2025-02-20 - 6:53:05 PM GMT
-  Document e-signed by Jay Rodenbeck (jrodenbeck@cabq.gov)
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-  Email viewed by Tiequan Chen (tchen@cabq.gov)
2025-02-20 - 7:01:33 PM GMT
-  Document e-signed by Tiequan Chen (tchen@cabq.gov)
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-  Email viewed by Whitney Phelan (wphelan@cabq.gov)
2025-02-20 - 8:18:14 PM GMT

 Document e-signed by Whitney Phelan (wphelan@cabq.gov)

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2025-02-20 - 8:28:05 PM GMT

 Document e-signed by Jeff Palmer (jppalmer@cabq.gov)

Signature Date: 2025-02-20 - 8:29:01 PM GMT - Time Source: server

 Document e-signed by David Gutierrez (dggutierrez@abcwua.org)

Signature Date: 2025-03-13 - 4:24:02 AM GMT - Time Source: server

 Agreement completed.

2025-03-13 - 4:24:02 AM GMT