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Dial 811

GEOTECHNICAL REPORT NOTES:

- THE FOLLOWING GEOTECHNICAL REPORTS FOR THE SITE SHALL BE CONSIDERED PART OF THESE CONSTRUCTION DOCUMENTS:

GEOTECHNICAL EVALUATION REPORT
WESTERN TECHNOLOGIES, INC.
8305 WASHINGTON PL. NE,
ALBUQUERQUE, NM 87113
TEL: (505) 823-4488
CONTACT: AZUPURI KABA, PE
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PROVISIONS OF THE SOILS REPORT FOR THE SITE BE OBSERVED AND COMPLIED WITH DURING ALL PHASES OF THE SITE PREPARATION, GRADING OPERATIONS, FOUNDATION, SLAB, AND PAVING CONSTRUCTION.
- ANY PROVISIONS OF THE SOILS REPORT WHICH CONFLICT WITH INFORMATION SHOWN ELSEWHERE ON THESE DRAWINGS, OR WHICH REQUIRE FURTHER CLARIFICATION, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER FOR DETERMINATION.
- A REPRESENTATIVE OF THE SOILS ENGINEER SHALL BE AVAILABLE TO OBSERVE AND APPROVE THE EARTHWORK OPERATIONS AND TO VERIFY FIELD CONDITIONS AS WORK PROCEEDS. THE SOILS ENGINEER SHALL SUBMIT FIELD REPORTS CERTIFYING THAT THE METHODS AND MATERIALS OF THE EARTHWORK OPERATIONS WERE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION AND THAT THE WORK WAS PERFORMED TO HIS/HER SATISFACTION.
- THE SOILS ENGINEER SHOULD BE NOTIFIED AT LEAST FIVE (5) WORKING DAYS PRIOR TO ANY SITE CLEARING OR GRADING.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE 811 AND THEN POTHOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

UTILITY CONNECTION NOTE:

ALL PRIVATE AND PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY AN ENGINEERING DEVELOPMENT REVIEW INSPECTOR.

BENCHMARK:

TEMPORARY BENCHMARK 1 ELEVATION: 5,383.86' NORTHING: 1513352.23 EASTING: 1547027.66 FOUND CHISELED "X"	TEMPORARY BENCHMARK 2 ELEVATION: 5,371.73' NORTHING: 1513131.10 EASTING: 1546911.39 FOUND 1/2" REBAR WITH CAP STAMPED "L. MEDRANO PS 11993"
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LEGAL DESCRIPTION:

PARCEL 1:
TRACT LETTERED C-ONE-A (C-1-A), PLAT OF ACADEMY ACRES, UNIT 17, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF TRACTS C-1-A THRU C-1-E, ACADEMY ACRES, UNIT 17, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 18, 1990, IN PLAT BOOK 90C, FOLIO 131.

PARCEL 2:
NON-EXCLUSIVE RIGHTS OF RECIPROCAL BLANKET PRIVATE ACCESS, DRAINAGE, UTILITY, AND PARKING EASEMENT, AS SHOWN ON PLAT FILED MAY 18, 1990, IN PLAT BOOK 90C, FOLIO 131, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, TO THE EXTENT OF AND ONLY FOR THE DURATION PROVIDED FOR THEREIN.

EXISTING TOPOGRAPHY / SURVEY INFORMATION NOTE:

AN A.L.T.A./N.S.P.S. TOPOGRAPHIC AND BOUNDARY SURVEY DATED NOVEMBER 27, 2023, PERFORMED BY BLEW & ASSOCIATES, P.A. HAS BEEN PROVIDED TO BARGHAUSEN CONSULTING ENGINEERS, INC. BARGHAUSEN CONSULTING ENGINEERS, INC. HAS NOT VERIFIED THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. SITE DESIGN HAS BEEN BASED ON ABOVE REFERENCED SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE OWNER TO HAVE ALL IMPROVEMENTS FIELD VERIFIED PRIOR TO CONSTRUCTION. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF BARGHAUSEN CONSULTING ENGINEERS, INC. PRIOR TO WORK.

MONUMENT PROTECTION NOTE:

ALL EXISTING SURVEY MONUMENTS ARE TO BE PRESERVED PER NEW MEXICO REVISED STATUTES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT MONUMENTS ARE PROPERLY PROTECTED AND/OR PERPETUATED. IF ANY OF THE MONUMENTS ARE DISTURBED OR ARE NEAR THE AREA OF CONSTRUCTION, A LICENSED SURVEYOR MUST CONFIRM THAT THE MONUMENTS HAVE BEEN PROTECTED AND/OR PERPETUATED AND THE APPROPRIATE DOCUMENTATION HAS BEEN RECORDED. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM ANY JURISDICTIONS HAVING AUTHORITY FOR REMOVING AND REPLACING ALL SURVEY MONUMENTATION THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITY. UPON COMPLETION OF CONSTRUCTION, ALL MONUMENTS DISPLACED, REMOVED, OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR, AT THE COST AND AT THE DIRECTION OF THE CONTRACTOR, PURSUANT TO THESE REGULATIONS. THE APPROPRIATE FORMS FOR REPLACEMENT OF SAID MONUMENTATION SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.

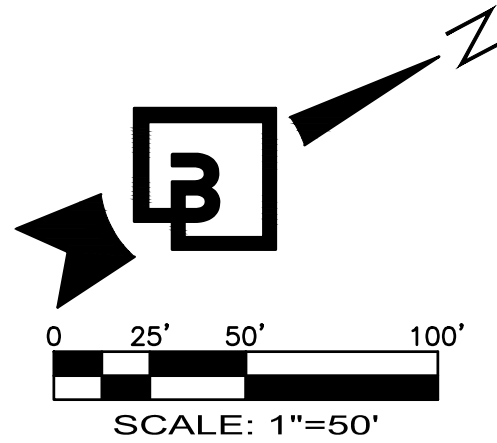
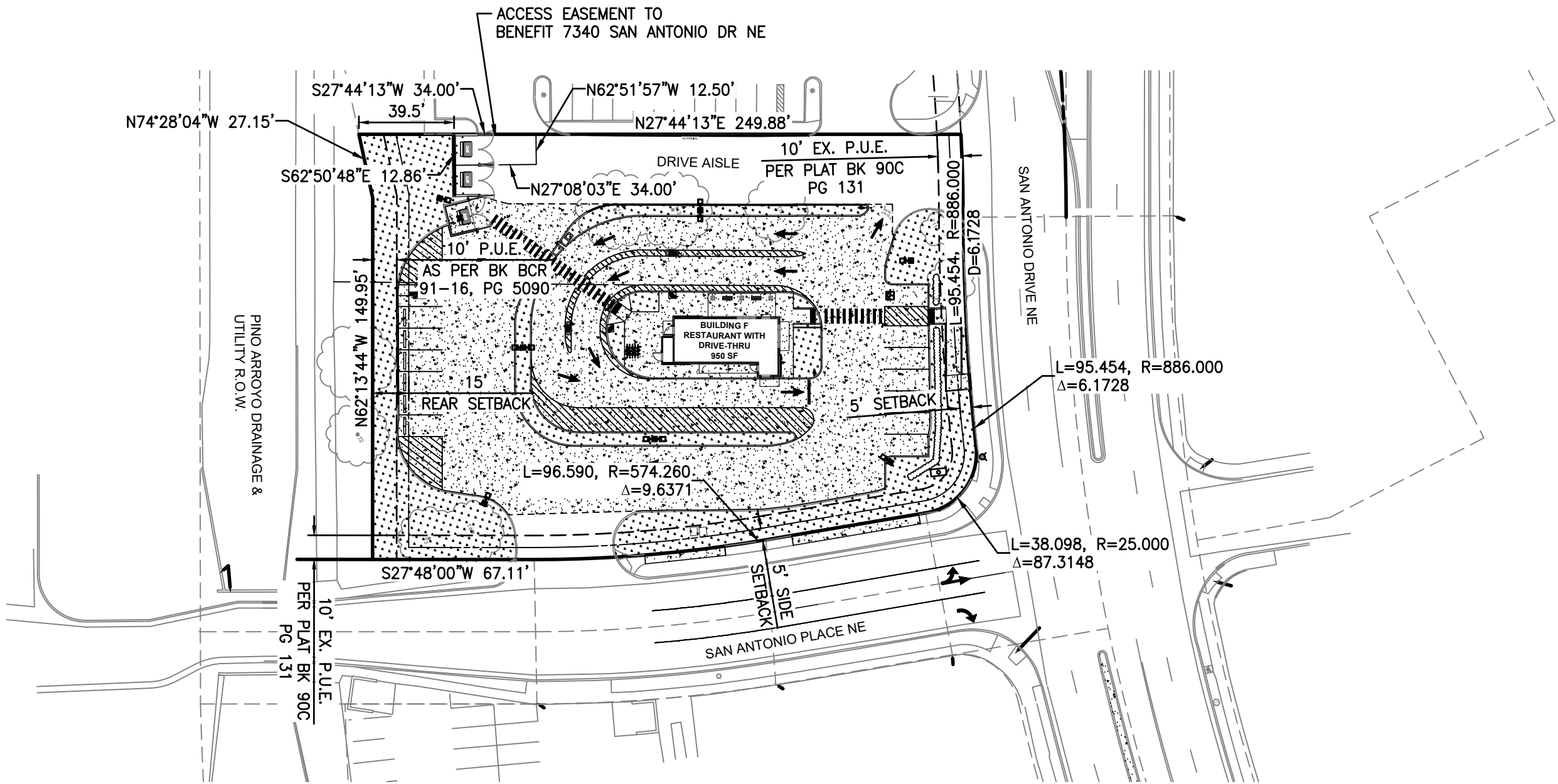
HORIZONTAL CONTROL NOTE:

CONTRACTOR SHALL HAVE ALL PROPERTY LINES, CURB, SIDEWALK, STRUCTURES, CONCRETE PADS AND ANY OTHER ABOVE GROUND PERMANENT STRUCTURE DEPICTED ON THESE PLANS STAKED FOR CONSTRUCTION BY A LICENSED SURVEYOR. LICENSED SURVEYOR SHALL STAKE ALL ITEMS USING COORDINATE GEOMETRY (RECTIFIED TO SITE CONTROL) CONTAINED IN CAD DRAWING FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RETRIEVE LATEST CAD FILES FROM BARGHAUSEN CONSULTING ENGINEERS INC., REFLECTING ANY ISSUED PLAN REVISIONS. BARGHAUSEN CONSULTING ENGINEERS SHALL IMMEDIATELY BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

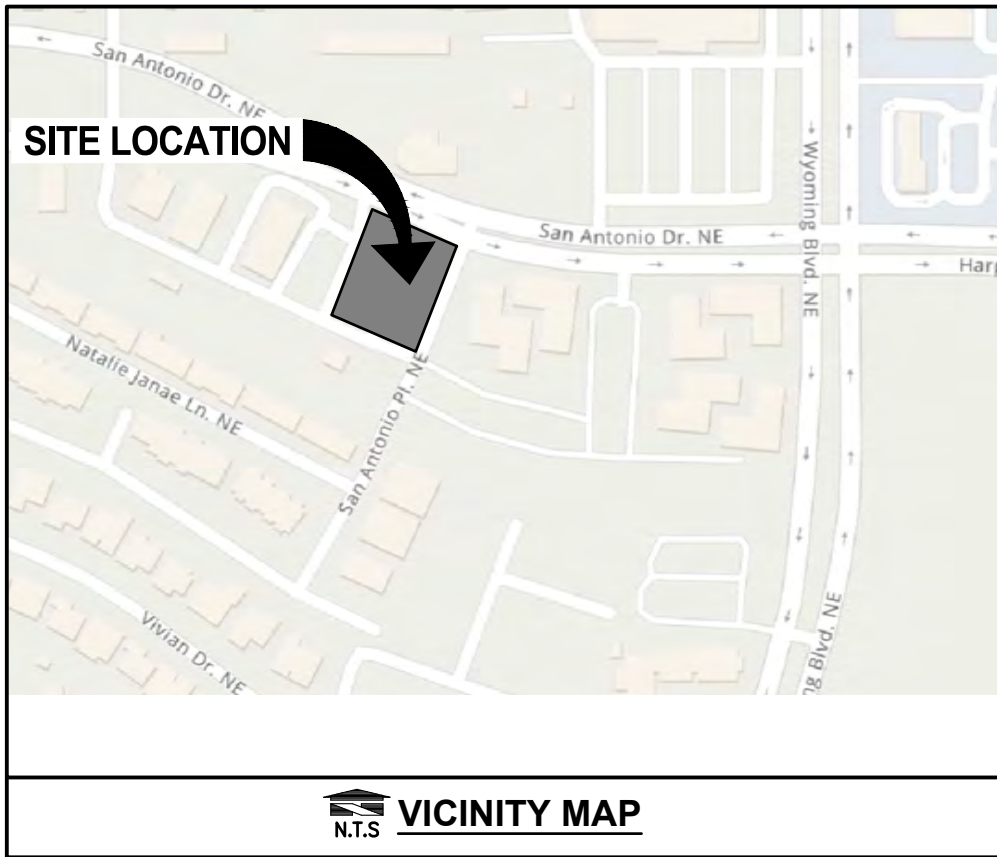
FLOOD ZONE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO 35001C0141G, WHICH BEARS AN EFFECTIVE DATE OF 9/26/2008, AND COMMUNITY PANEL NO. 35001C0137H, WHICH BEARS AN EFFECTIVE DATE OF 8/16/2012. THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ARE. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

DUTCH BROS COFFEE - NM0504, ALBUQUERQUE, NM
7330 SAN ANTONIO DRIVE N.E.
COVER SHEET



CIVIL SHEET LIST	
Sheet Number	Sheet Title
CO.1	COVER SHEET
1 OF 2	ALTA SURVEY
2 OF 2	ALTA SURVEY
C1.0	DEMOLITION AND EROSION CONTROL PLAN
C1.1	EROSION CONTROL NOTES
C2.0	SITE PLAN
C2.1	HORIZONTAL CONTROL PLAN
C3.0	GRADING AND DRAINAGE PLAN
C4.0	UTILITY PLAN
C5.0	NOTES AND DETAILS
C5.1	NOTES AND DETAILS
C5.2	NOTES AND DETAILS
LP-1	LANDSCAPE PLANTING PLAN
LP-2	PLANTING SPECIFICATIONS AND DETAILS



PROJECT DATA

PROPERTY ADDRESS:	7330 SAN ANTONIO DRIVE NE ALBUQUERQUE, NM 87109
APN:	101906219148122105
IDO ZONE DISTRICT:	MIXED USE LOW DENSITY (MX-L) DESIGNATED ACTIVITY CENTER IN THE ALBUQUERQUE COMPREHENSIVE PLAN
IDO DISTRICT DEFINITION:	LOW INTENSITY
IDO CATEGORY:	MIXED USE
PROPOSED USE:	EATING AND DRINKING ESTABLISHMENT WITH DRIVE-THRU SERVICE
QUEUING	= 18
PARKING CALCULATIONS:	
REQUIRED:	6 AUTOMOBILE PARKING SPACES (5.6 SPACE PER 1,000 SF OF GFA) 1 VAN ACCESSIBLE ADA PARKING SPACE 1 MOTORCYCLE PARKING SPACE 3 BICYCLE PARKING SPACES
PARKING SPACES PROVIDED:	12 AUTOMOBILE SPACES 1 VAN ACCESSIBLE ADA SPACE 2 MOTORCYCLE PARKING SPACES 3 BICYCLE PARKING SPACES
PROPOSED SETBACKS	
MINIMUM FRONT:	5 FEET
MINIMUM SIDE:	5 FEET
MINIMUM REAR:	15 FEET
PROJECT AREA:	42,044 SF (0.97 AC)
DISTURBED AREA:	35,725 SF (0.82 AC)
GROSS FLOOR AREA (GFA)	= 950 SF (100% USED AS DRIVE-THRU RESTAURANT)
TRASH ENCLOSURE	= 13.27'x10.67' (NEW) + 26'±x11'± (EXISTING)
NEW TRASH ENCLOSURE SQUARE FOOTAGE	= 142 SF
SITE COVERAGE (DISTURBED AREA):	
BUILDINGS:	950 SF (2.7%)
PARKING MANEUVERING, CURBS:	22,981 SF (64.3%)
WALKWAYS:	1,760 SF (4.0%)
LANDSCAPE:	10,034 SF (28.1%) 35,725 SF (100%)

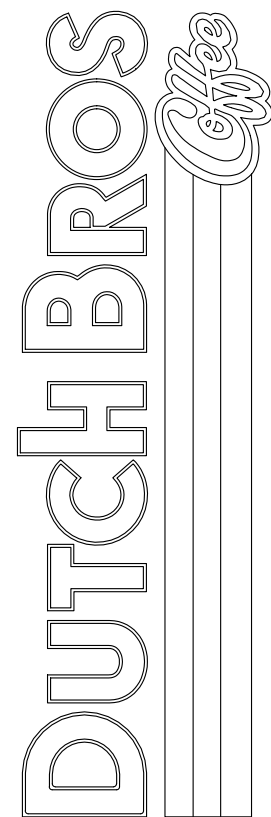
GENERAL SITE NOTES:

- THE CONTRACTOR SHALL OBTAIN AND HAVE AVAILABLE COPIES OF THE APPLICABLE GOVERNING AGENCY STANDARDS AT THE JOB SITE DURING THE RELATED CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE OR SHOWN ON RECORD DRAWING PROVIDED BY OTHERS ARE SHOWN HEREON. EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY AND ARE SUBJECT TO A DEGREE OF UNKNOWN VARIATION. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. BARGHAUSEN CONSULTING ENGINEERS, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS OR RECORDS OF OTHERS. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE APPROPRIATE UTILITIES INVOLVED PRIOR TO CONSTRUCTION.
- INSPECTION OF SITE WORK WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE GOVERNING JURISDICTION. INSPECTION OF PRIVATE FACILITIES WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE INSPECTOR 24 HOURS IN ADVANCE OF BACKFILLING ALL CONSTRUCTION.
- PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY THE CONTRACTOR SHALL CONTACT THE AGENCY AND/OR UTILITY INSPECTION PERSONNEL AND ARRANGE ANY REQUIRED PRE-CONSTRUCTION MEETING(S). CONTRACTOR SHALL PROVIDE ONE WEEK MINIMUM ADVANCE NOTIFICATION TO OWNER, FIELD ENGINEER AND ENGINEER OF PRE-CONSTRUCTION MEETINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR WORKER AND SITE SAFETY AND SHALL COMPLY WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED.
- PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL ADJACENT PUBLIC AND PRIVATE PROPERTIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITY SERVICES THAT ARE TO REMAIN OPERATIONAL WITHIN THE CONSTRUCTION AREA WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
- TWO (2) COPIES OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS. ONE (1) SET WITH RECORDS OF AS-BUILT INFORMATION SHALL BE SUBMITTED TO BARGHAUSEN CONSULTING ENGINEERS, INC. AT COMPLETION OF PROJECT.
- CONTRACTOR SHALL OBTAIN SERVICES OF A LICENSED LAND SURVEYOR TO STAKE HORIZONTAL CONTROL FOR ALL NEW IMPROVEMENTS. STAKING CONTROL SHALL BE TAKEN FROM ELECTRONIC PLAN FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC.
- CONTRACTOR SHALL REQUEST FROM BARGHAUSEN CONSULTING ENGINEERS, INC., PRIOR TO ANY CONSTRUCTION STAKING OR CONSTRUCTION WORK, A FORMAL CONSTRUCTION RELEASE PLAN SET OR SPECIFIC RELEASE IN WRITING. THE APPROVED AGENCY PERMIT DRAWINGS WILL NOT BE CONSIDERED CONSTRUCTION RELEASE PLANS BY BARGHAUSEN CONSULTING ENGINEERS, INC. UNLESS BARGHAUSEN CONSULTING ENGINEERS, INC. HAS GIVEN A FORMAL WRITTEN RELEASE OR ISSUED A CONSTRUCTION RELEASE PLAN SET.

LEGEND

EXISTING		PROPOSED	
	CONCRETE		CONCRETE
	EASEMENT		ASPHALT
	RIGHT-OF-WAY LINE		EASEMENT
	PROPERTY LINE		FINISH GRADE CONTOUR
	EDGE OF PAVEMENT		SWALE
	WATER LINE		RIDGELINE
	GAS LINE		STORM DRAIN
	SANITARY SEWER		POWER
	STORM DRAIN		SANITARY SEWER LINE
	UNDERGROUND POWER LINES		TELEPHONE
	OVERHEAD POWER LINES		CABLE/TELEVISION
	UNDERGROUND GAS LINES		WATER LINE
			BARRIER CURB
			CURB & GUTTER
			STORM DRAIN CATCH BASIN
			STORM DRAIN CLEANOUT
			WATER METER
			SANITARY SEWER CLEANOUT
			POWER TRANSFORMER
			LOT LIGHT
			STREET LIGHT
			SIGN
			GUARD POST / BOLLARD

COVER SHEET
7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109



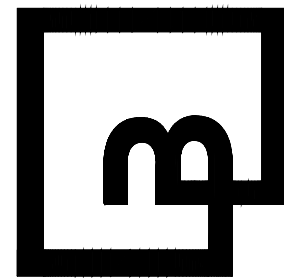
For:



Scale:
Horizontal
1" = 50'
Vertical
N/A

Designed: BB
Drawn: BB
Checked: MTL
Approved: AEM
Date: 11/7/24

Barghausen
Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number
Sheet
CO.1
Franchising USA, LLC

1 TITLE DESCRIPTION

PARCEL 1:

TRACT LETTERED C-ONE-A (C-1-A), PLAT OF ACADEMY ACRES, UNIT 17, ALBUQUERQUE, NEW MEXICO, AS THE SAME, IS SHOWN AND DESIGNATED ON THE PLAT OF TRACTS C-1-A THRU C-1-E, ACADEMY ACRES, UNIT 17, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 18, 1990, IN PLAT BOOK 90C, FOLIO 131.

PARCEL 2:

NON-EXCLUSIVE RIGHTS OF RECIPROCAL BLANKET PRIVATE ACCESS, DRAINAGE, UTILITY, AND PARKING EASEMENT, AS SHOWN ON PLAT FILED MAY 18, 1990, IN PLAT BOOK 90C, FOLIO 131, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, TO THE EXTENT OF AND ONLY FOR THE DURATION PROVIDED FOR THEREIN.

THE LAND SHOWN IN THIS SURVEY IS THE SAME AS THAT DESCRIBED IN A TITLE SEARCH PERFORMED BY TITLEVEST, A FIRST AMERICAN COMPANY, FILE NO. SNM918454, DATED 11/16/2023, TITLE SEARCHED FROM OCTOBER 01, 1988 TO OCTOBER 31, 2023.

2 TITLE INFORMATION

THE TITLE DESCRIPTION AND SCHEDULE B ITEMS HEREON ARE FROM A TITLE SEARCH PERFORMED BY TITLEVEST, A FIRST AMERICAN COMPANY, FILE NO. SNM918454, DATED 11/16/2023, TITLE SEARCHED FROM OCTOBER 01, 1988 TO OCTOBER 31, 2023.

11 SURVEYOR'S NOTES

- IN REGARDS TO ALTA TABLE A ITEM 16, THERE WAS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- IN REGARDS TO ALTA TABLE A ITEM 17, THERE WERE NO OBSERVABLE EVIDENCE OF CHANGES IN STREET RIGHT-OF-WAY LINES COMPLETED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION AND NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- THE SUBJECT PROPERTY HAS DIRECT PHYSICAL ACCESS TO SAN ANTONIO DRIVE NE AND SAN ANTONIO PLACE NE, BOTH BEING DEDICATED PUBLIC STREETS OR HIGHWAYS.
- ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING, EASEMENTS, SERVITUDES, AND ENCROACHMENTS, ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
- LOCATIONS OF UNDERGROUND UTILITIES HAVE BEEN PROVIDED TO SURVEYOR BY UTILITY LOCATE SERVICES, GPRS.
- THE DISTANCES SHOWN HEREON ARE UNITS OF GROUND MEASUREMENT.
- THE NEAREST INTERSECTION OF STREETS IS THAT OF SAN ANTONIO DRIVE NE AND SAN ANTONIO PLACE NE, WHICH ABUTS THE NORTHEAST CORNER OF THE SUBJECT PROPERTY.
- IN REGARD TO TABLE A ITEM 18, ANY PLOTTABLE OFFSITE (I.E., APPURTENANT) EASEMENTS DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR HAVE BEEN SHOWN AND/OR NOTED HEREON.
- ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS UTILIZING ONLINE POSITIONING USER SERVICE (OPUS) FOR POST PROCESSING, VERTICAL DATUM BASED UPON NORTH AMERICAN VERTICAL DATUM (NAVD83) IN US SURVEY FEET. CONTOURS SHOWN ARE (INSERT CONTOUR INTERVAL). RESEARCH WAS DONE TO FIND LOCAL AND/OR NGS DATA BUT NONE WERE AVAILABLE IN THE AREA AS OF DATE OF SURVEY.
- THERE IS NO EVIDENCE OF ANY DELINEATED WETLAND AREAS, PER THE U.S. FISH & WILDLIFE SERVICE NATIONAL WETLANDS INVENTORY WEBSITE. NO MARKERS FROM A FIELD DELINEATION OF WETLANDS CONDUCTED BY A QUALIFIED SPECIALIST WERE OBSERVED DURING THE COURSE OF THE ALTA SURVEY.

6 CEMETERY

THERE IS NO VISIBLE EVIDENCE OF CEMETERIES ON THE SUBJECT PROPERTY AT THE TIME OF SURVEY.

7 SIGNIFICANT OBSERVATIONS

NONE OBSERVED AT TIME OF ALTA SURVEY.

3 SCHEDULE 'B' ITEMS

NOTES CORRESPONDING TO SCHEDULE "B":

- SITE DEVELOPMENT COST SHARING AGREEMENT BY AND BETWEEN PSG LIMITED PARTNERSHIP, A NEW MEXICO LIMITED PARTNERSHIP AND ZIP LUBE, INC., A NEW MEXICO CORPORATION AND WYO-SAN #1 PARTNERSHIP, A NEW MEXICO LIMITED PARTNERSHIP DATED OCTOBER 22, 1990 AND RECORDED OCTOBER 22, 1990 IN BOOK BCR 90-17, PAGE 2665 (AFFECTS, BLANKET IN NATURE)
- GRANT OF MUTUAL AND RECIPROCAL EASEMENTS BY AND BETWEEN PSG LIMITED PARTNERSHIP, A NEW MEXICO LIMITED PARTNERSHIP AND ZIP LUBE, INC., A NEW MEXICO CORPORATION AND WYO-SAN #1 PARTNERSHIP, A NEW MEXICO LIMITED PARTNERSHIP DATED OCTOBER 22, 1990 AND RECORDED OCTOBER 22, 1990 IN BOOK BCR 90-17, PAGE 2670. (AFFECTS, HOWEVER UNABLE TO PLOT - SITE DEVELOPMENT PLAN NUMBERED Z-79-66-8)
- EASEMENT BY AND BETWEEN PSG LIMITED PARTNERSHIP, A NEW MEXICO LIMITED PARTNERSHIP AND PUBLIC SERVICE COMPANY OF NEW MEXICO, A NEW MEXICO CORPORATION AND THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, A COLORADO CORPORATION DATED MAY 28, 1991 AND RECORDED SEPTEMBER 17, 1991 IN BOOK BCR 91-16, PAGE 5090. (AFFECTS, PLOTTED AND SHOWN)
- PLAT MAP RECORDED MAY 18, 1990 IN PLAT BOOK 90C, PAGE 131. (AFFECTS, PLOTTED AND SHOWN; HOWEVER 200' TEMPORARY DRAINAGE EASEMENT SHOWN WITHIN HAS BEEN RELEASED PER BOOK BCR 90-6, PAGE 2173 AND IS NOT SHOWN HEREON)
- SPECIAL WARRANTY DEED FROM FIRST JUMP, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY TO 7330 SAN ANTONIO LLC, A NEW MEXICO LIMITED LIABILITY COMPANY DATED DECEMBER 28, 2022 AND RECORDED DECEMBER 29, 2022 IN INSTRUMENT NO. 2022109648. (AFFECTS, BLANKET IN NATURE)
- SPECIAL WARRANTY DEED FROM LA CUEVA PROPERTY, LLC, AN IDAHO CORPORATION TO FIRST JUMP, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY DATED APRIL 11, 2022 AND RECORDED APRIL 12, 2022 IN INSTRUMENT NO. 2022036320. (AFFECTS, BLANKET IN NATURE)
- RE-RECORDED SPECIAL WARRANTY DEED FROM PRP INC., A NEW MEXICO CORPORATION ET AL., ("OWNER"), BY TRIGILD INCORPORATED, WITH KELLEY A. MCLAREN AS ITS AGENT, NOT IN HER INDIVIDUAL CAPACITY BUT SOLELY IN HER CAPACITY AS COURT APPOINTED RECEIVER OVER THE SPECIFIC ASSETS OF OWNER UNDER CASE NO. CV201006506 TO LA CUEVA PROPERTY, LLC, AN IDAHO CORPORATION DATED SEPTEMBER 02, 2011 AND RECORDED OCTOBER 27, 2011 IN INSTRUMENT NO. 2011097914. (AFFECTS, BLANKET IN NATURE)
- SPECIAL WARRANTY DEED FROM PRP INC., A NEW MEXICO CORPORATION ET AL., ("OWNER"), BY TRIGILD INCORPORATED, WITH KELLEY A. MCLAREN AS ITS AGENT, NOT IN HER INDIVIDUAL CAPACITY BUT SOLELY IN HER CAPACITY AS COURT APPOINTED RECEIVER OVER THE SPECIFIC ASSETS OF OWNER UNDER CASE NO. CV201006506 TO LA CUEVA PROPERTY, LLC, AN IDAHO CORPORATION DATED SEPTEMBER 02, 2011 AND RECORDED SEPTEMBER 02, 2011 IN INSTRUMENT NO. 2011080043. (AFFECTS, BLANKET IN NATURE)
- WARRANTY DEED FROM WYO-SAN #1 LTD. PARTNERSHIP TO PSG LIMITED PARTNERSHIP, A NEW MEXICO LIMITED PARTNERSHIP DATED JUNE 05, 1990 AND RECORDED JUNE 05, 1990 IN BOOK 90-3, PAGE 5719. (AFFECTS, BLANKET IN NATURE)

SEE SHEET 2 OF 2 FOR SURVEY DRAWING

10 BASIS OF BEARINGS

THE BASIS OF BEARING FOR THIS SURVEY IS GRID NORTH PER NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD83-2011, AS MEASURED ALONG THE WEST LINE OF THE SUBJECT PROPERTY WHICH BEARS S27°44'13"W PER GPS COORDINATE OBSERVATIONS.

LATITUDE: 35°09'30.2402"
LONGITUDE: -106°33'44.6206"
CONVERGENCE ANGLE: -00°10'47.60"

5 FLOOD INFORMATION

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 35001C0141G, WHICH BEARS AN EFFECTIVE DATE OF 9/26/2008, AND COMMUNITY PANEL NO. 35001C0137H, WHICH BEARS AN EFFECTIVE DATE OF 8/16/2012. THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

ZONE "X" - AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRMS AS ABOVE THE 500-YEAR FLOOD LEVEL. ZONE X IS THE AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM 100-YEAR FLOOD.

UTILITY INFORMATION

THE UTILITIES SHOWN ON THIS DRAWING HEREON HAVE BEEN LOCATED BY FIELD MEASUREMENTS UTILITY MAP DRAWINGS, AND NEW MEXICO 811 DIG UTILITY LOCATE REQUEST. BLEW & ASSOCIATES MAKES NO WARRANTY TO THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ANY AND ALL UTILITIES PRIOR TO CONSTRUCTION.

TICKET NUMBER: 23NV140672

CITY OF ALBUQUERQUE
ALBUQUERQUE/BERNALILLO COUNTY
MCI CABLE SEC
NEW MEXICO GAS COMPANY - ALBUQUERQUE
PNM ELECTRIC - ALBUQUERQUE
CENTURYLINK LOCAL NETWORK CENTRAL

CONTACT:
(505) 758-2000
(505) 468-7777
(505) 884-1913
(888) 604-2728
(888) 342-5765
(833) 591-0933

TEMPORARY BENCHMARK INFORMATION

TBM1:
ELEVATION: 5,383.86'
NORTHING: 1513352.23
EASTING: 1547027.66
FOUND CHISELED "X"

TBM2:
ELEVATION: 5,371.73'
NORTHING: 1513131.10
EASTING: 1546911.39
FOUND 1/2" REBAR WITH CAP
STAMPED "L. MEDRANO PS 11983"

8 ZONING INFORMATION

ZONING INFORMATION (REPORT OR LETTER) TO BE PROVIDED BY CLIENT PURSUANT TO TABLE A ITEM 6(A) AND/OR 6(B).

12 PARKING INFORMATION

0 STANDARD SPACES
1 HANDICAP SPACES
1 TOTAL PARKING SPACES

13 LAND AREA

TOTAL AREA:
42,044 SQUARE FEET OR 0.965 ACRES ±

14 BUILDING AREA

BUILDING 1: 1,816 SQ. FEET ±

15 BUILDING HEIGHT

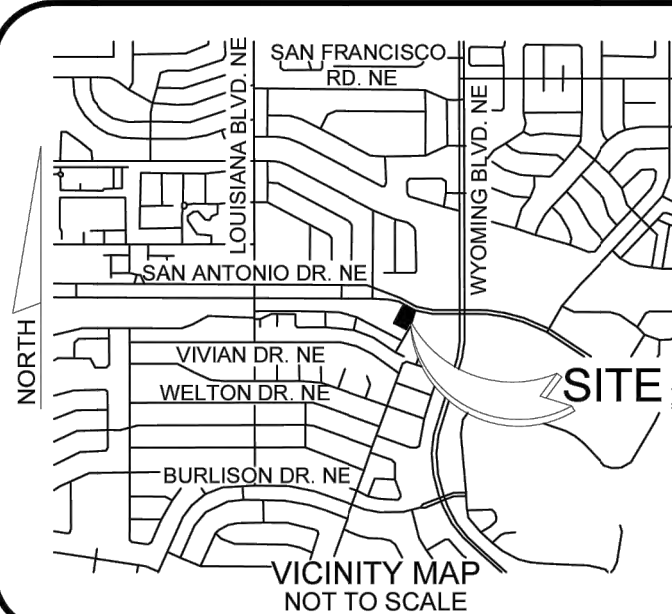
BUILDING 1: 12.9' OR 1-STORY

Sheet 1 of 2

Approved CDS Surveyor

Surveyor's Name: Blew & Associates, P.A.
Address: 3825 N. Shiloh Drive
Fayetteville, AR
Telephone Number: 479-443-4506
email: survey@blewinc.com

16 VICINITY MAP



4 SURVEYOR CERTIFICATION

TO: BB HOLDINGS NM, LLC, AN OREGON LIMITED LIABILITY COMPANY; DB FRANCHISING USA, LLC, AN OREGON LIMITED LIABILITY COMPANY; DUTCH BROS., LLC, AN OREGON LIMITED LIABILITY COMPANY; DUTCH MAFIA, LLC, A DELAWARE LIMITED LIABILITY COMPANY; BOERSMA BROS. LLC, AN OREGON LIMITED LIABILITY COMPANY; DUTCH BROS INC., A DELAWARE CORPORATION, TITLEVEST, A FIRST AMERICAN COMPANY AND COMMERCIAL DUE DILIGENCE SERVICES:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7(A), 7(B)(1), 7(C), 8, 9, 11(A), 11(B), 13, 14, 16, 17, 18, 19 AND 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 11/27/2023.

DATE OF PLAT OR MAP: 12/15/2023

I, ERIC MATTHEW ROLLSTON, NEW MEXICO PROFESSIONAL SURVEYOR NO. 26888, DO HEREBY CERTIFY THAT THIS BOUNDARY SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT AND THAT THIS INSTRUMENT IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

Eric M. Rollston PS NO. 26888 DATE: 05/21/2024



Key to CDS ALTA Survey

1 TITLE DESCRIPTION

2 TITLE INFORMATION

3 SCHEDULE 'B' ITEMS

4 SURVEYOR CERTIFICATION

5 FLOOD INFORMATION

6 CEMETERY

7 SIGNIFICANT OBSERVATIONS

8 ZONING INFORMATION

9 LEGEND

10 BASIS OF BEARING

11 SURVEYOR'S NOTES

12 PARKING INFORMATION

13 LAND AREA

14 BUILDING AREA

15 BUILDING HEIGHT

16 VICINITY MAP

17 NORTH ARROW / SCALE

18 CLIENT INFORMATION BOX

19 SURVEY DRAWING

20 PROJECT ADDRESS

18 ALTA/NSPS Land Title Survey

This survey prepared in accordance with the "2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys" (Effective February 23, 2021).

This Work Coordinated By:
FA Commercial Due Diligence Services Co.

CDS
COMMERCIAL
DUE DILIGENCE SERVICES
3550 W. Robinson Street, Third Floor
Norman, Oklahoma 73072
Office: 405-253-2444
website: www.firstamcds.com
Toll Free: 888.322.7371

Drwn By: TJB

Surveyor Ref.No: 23-7704

Aprvd By: LT

11/27/2023

Scale: 1" = 20'

Date: 03/29/2024

Revision: Client Comments

Date: 05/21/2024

Revision: Client Comments

Date:

Revision:

Date:

Revision:

Prepared For:

Client Ref. No:

20 PROJECT ADDRESS

7330 SAN ANTONIO DR.,
ALBUQUERQUE, NEW MEXICO

Project Name:
DB NM0504 - ALBUQUERQUE, NM

CDS Project Number:
23-11-0005

19 SURVEY DRAWING

TEMPORARY BENCHMARK INFORMATION

TBM1:
ELEVATION: 5,383.86'
NORTHING: 1513352.23
EASTING: 1547027.85
FOUND CHISELED "X"

TBM2:
ELEVATION: 5,371.73'
NORTHING: 1513131.10
EASTING: 1546911.39
FOUND 1/2" REBAR WITH CAP
STAMPED "L MEDRANO PS 11993"

INVERT TABLE

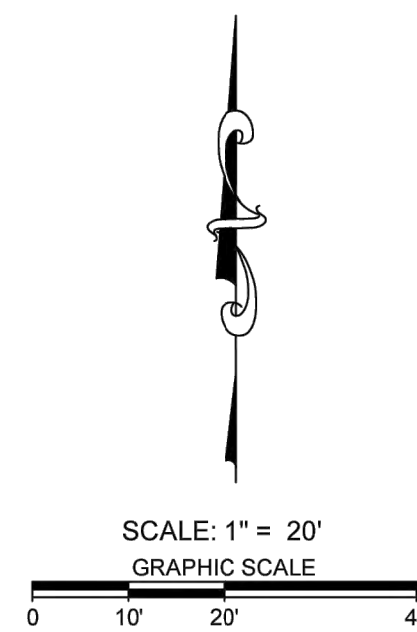
SMH#1
RIM ELEVATION: 5,386.64'
8" PVC INVERT SW: 5,380.5'

SMH#2
RIM ELEVATION: 5,383.94'
8" PVC INVERT NE: 5,378.8'
6" VCP INVERT SE: 5,377.2'
8" PVC INVERT SW: 5,376.5'

SMH#3
RIM ELEVATION: 5,380.05'
8" PVC INVERT NE: 5,371.1'
8" PVC INVERT NW: 5,371.0'

SMH#4
RIM ELEVATION: 5,369.43'
8" PVC INVERT SE: 5,363.2'
8" PVC INVERT NW: 5,363.2'

17 NORTH ARROW / SCALE



TREE TABLE

Tag	Trunk	Tree Type	Drip
T1	19"		15'
T2	16"		12'
T3	12"		12'
T4	16"		12'
T5	15"		15'
T6	19"		18'
T7	12"		15'
T8	11"		12'
T9	20"		12'
T10	8"		9'
T11	6"		6'
T12	9"		12'
T13	12"		15'
T14	12"		15'
T15	12"		15'
varies	187		180

9 LEGEND

- FOUND MONUMENT AS NOTED
- SET MONUMENT AS NOTED
- TEMPORARY BENCHMARK
- (M) MEASURED/CALCULATED DIMENSION
- (R) RECORD DIMENSION
- NF NOW OR FORMERLY
- ⚡ HANDICAP PARKING
- D.A. DUMPSTER AREA
- N.G. NATURAL GROUND (NG)
- BHL MEASURED BUILDING HEIGHT LOCATION
- SIGN
- BOLLARD
- CONC. CONCRETE
- TC TOP OF CONCRETE
- BOC BACK OF CURB
- TA TOP OF ASPHALT
- FL FLOW LINE
- FFE FINISHED FLOOR ELEVATION
- EC EDGE OF CONCRETE
- VCP VITRIFIED CLAY PIPE
- BR BOTTOM OF RAMP
- TR TOP OF RAMP
- GR TOP OF GRAVEL
- FIBER OPTIC VAULT
- CLEAN OUT
- ⊗ IRRIGATED CONTROL VALVE
- ⊗ ELECTRIC BOX
- ⊗ LIGHT POLE
- ⊗ UNKNOWN MANHOLE
- ⊗ WATER VALVE
- ⊗ WATER METER
- ⊗ FIRE HYDRANT
- ⊗ SEWER MANHOLE
- PROPERTY LINE
- ADJOINER LINE
- BUILDING SETBACK LINE
- EASEMENT LINE
- R/W RIGHT-OF-WAY LINE
- X - X - FENCE LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND FIBER OPTIC LINE
- UNDERGROUND WATER LINE
- UNDERGROUND SANITARY LINE
- UNDERGROUND GAS LINE
- FLOOD ZONE LINE

18 ALTA/NSPS Land Title Survey

This survey prepared in accordance with the "2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys" (Effective February 23, 2021).

This Work Coordinated By:
FA Commercial Due Diligence Services Co.

CDS
COMMERCIAL
DUE DILIGENCE SERVICES
3550 W. Robinson Street, Third Floor
Norman, Oklahoma 73072
Office: 405-253-2444
website: www.firstamcds.com
Toll Free: 888.322.7371

Drawn By:	TJB	Date:	03/29/2024
Surveyor		Revision:	Client Comments
Ref.No:	23-7704	Date:	05/21/2024
Aprvd By:	LT	Revision:	Client Comments
		Date:	
		Revision:	
Scale:	1"=20'	Date:	
		Revision:	

Prepared For:

Client Ref. No:

20 PROJECT ADDRESS

7330 SAN ANTONIO DR.,
ALBUQUERQUE, NEW MEXICO

Project Name:
DB NM0504 - ALBUQUERQUE, NM
CDS Project Number:
23-11-0005

MEASURE CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1(M)	773.06'	34.47'	34.47'	S 63°43'11" E	2°33'18"	17.24'
C2(M)	886.00'	95.45'	95.41'	S 65°29'08" E	6°10'22"	47.77'
C3(M)	25.00'	32.10'	34.52'	S 24°54'53" E	0°71'53"	23.85'
C4(M)	574.26'	96.65'	96.48'	S 22°50'38" W	9°35'14"	48.41'
C5(M)	773.06'	134.09'	133.93'	S 69°51'38" E	9°56'18"	67.22'

RECORD CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1(R)	773.06'	34.44'	34.44'	S 63°33'03" E	2°33'09"	17.22'
C2(R)	886.00'	95.60'	95.55'	S 65°21'57" E	6°10'55"	47.84'
C3(R)	25.00'	37.76'	34.27'	S 25°11'14" E	86°32'20"	23.53'
C4(R)	574.26'	96.65'	96.54'	S 22°54'14" W	9°38'35"	48.44'
C5(R)	773.06'	134.09'	133.93'	S 69°51'38" E	9°56'18"	67.22'

Approved CDS Surveyor

Surveyor's Name: Blew & Associates, P.A.
Address: 3825 N. Shiloh Drive
Fayetteville, AR
Telephone Number: 479-443-4506
email: survey@blewinc.com

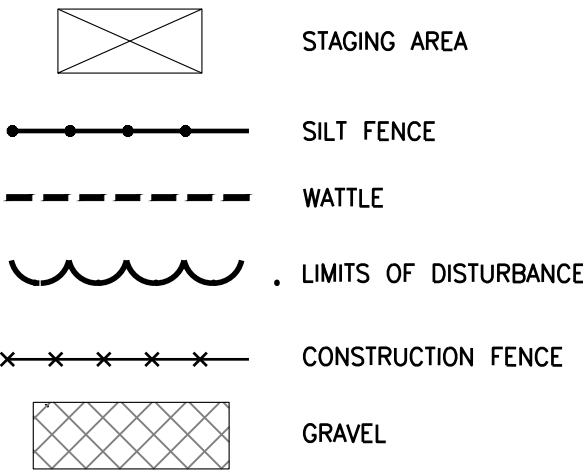
LINE TABLE

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1(M)	S 18°10'05" W	67.23'	L1(R)	S 18°04'56" W	67.04'
L2(M)	S 27°46'00" W	67.11'	L2(R)	S 27°43'31" W	67.03'
L3(M)	N 62°13'44" W	149.85'	L3(R)	N 62°16'29" W	150.00'
L4(M)	N 74°28'04" W	27.15'	L4(R)	N 74°29'59" W	27.14'
L5(M)	N 74°28'04" W	29.55'	L5(R)	N 74°29'59" W	29.53'



Know what's below.
Call before you dig.
Dial 811

TESC LEGEND:



DRIVEWAY & SIDEWALK TEMPORARY CLOSURE

CONTRACTOR TO ENSURE ALL NECESSARY SIGNAGE, COORDINATION, AND NOTICE ARE GIVEN OR INSTALLED FOR ANY DISTURBANCE TO DRIVEWAY OR PEDESTRIAN ACCESS PRIOR TO CONSTRUCTION. CONTRACTOR TO COORDINATE WITH THE CITY OF ALBUQUERQUE AS REQUIRED.

TEMPORARY WORK EASEMENT NOTE:

CLIENT TO OBTAIN TEMPORARY WORK EASEMENT AGREEMENT; COORDINATE WITH ADJACENT PROPERTY OWNER, PRIOR TO CONSTRUCTION OF ANY OFF-SITE WORK.

UTILITY COORDINATION NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES PRIOR TO PERFORMING ANY DEMOLITION ACTIVITIES TO ENSURE PROPER PROTECTION AND DISCONNECTION PROCEDURES ARE IN PLACE

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE AT 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

DAMAGE TO PUBLIC IMPROVEMENTS

ALL PUBLIC IMPROVEMENTS SHALL BE CONSTRUCTED IN A MANNER THAT DOES NOT DAMAGE EXISTING PUBLIC IMPROVEMENTS. ANY DAMAGE SHALL BE DETERMINED BY AND CORRECTED BY THE DEVELOPER TO THE SATISFACTION OF THE CITY ENGINEER.

PARKING NOTE

NO CONTRACTOR OR EMPLOYEE MAY STORE, OR PERMIT TO BE STORED, A COMMERCIAL OR CONSTRUCTION VEHICLE/TRUCK; OR PERSONAL VEHICLE, TRUCK, OR OTHER PERSONAL PROPERTY ON PUBLIC-RIGHT-OF-WAY OR OTHER PUBLIC PROPERTY WITHOUT PERMISSION OF THE CITY ENGINEER.

UTILITY COORDINATION NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES PRIOR TO PERFORMING ANY DEMOLITION ACTIVITIES TO ENSURE PROPER PROTECTION AND DISCONNECTION PROCEDURES ARE IN PLACE

DEMOLITION CONTROL NOTES:

- CLEAR AND GRUB AREA PER GEOTECHNICAL RECOMMENDATIONS.
 - DEMOLISH EXISTING PAVEMENT.
 - DECOMMISSION EXISTING UTILITY APPURTENANCE/UTILITY LINES. COORDINATE DECOMMISSIONING WITH PURVEYOR AS REQUIRED.
 - EXISTING TRANSFORMER TO BE REMOVED BY PURVEYOR. CONTRACTOR TO COORDINATE WORK WITH PURVEYOR PRIOR TO CONSTRUCTION.
 - REMOVE EXISTING LIGHT POLE BASE.
 - REMOVE EXISTING SIGN/MONUMENT SIGN.
 - REMOVE EXISTING BOLLARD.
 - REMOVE EXISTING TREE.
 - REMOVE EXISTING CURB.
 - SAWCUT LINE. HOT TAR SEAL ALL EXISTING JOINTS.
 - REMOVE EXISTING NON-ADA COMPLAINT SIDEWALK TO NEAREST JOINT.
 - REMOVE EXISTING BUILDING.
 - REMOVE EXISTING SEWER CLEANOUTS AND LATERAL TO LOCATION OF BREAK IN LATERAL. REFERENCE SEPTEMBER 2022 SEWER INSPECTION REPORT BY TLC PLUMBING AND UTILITY FOR LOCATION, APPROXIMATELY 30 FEET FROM EXISTING CLEANOUTS.
- * ALL DEMOLITION/REMOVAL ITEMS MENTIONED ABOVE TO BE DISPOSED OF OFFSITE. CONTRACTOR TO ENSURE DISPOSAL COMPLIES WITH CITY STANDARDS AND REGULATIONS FOR OFFSITE DISPOSAL/RECYCLING.

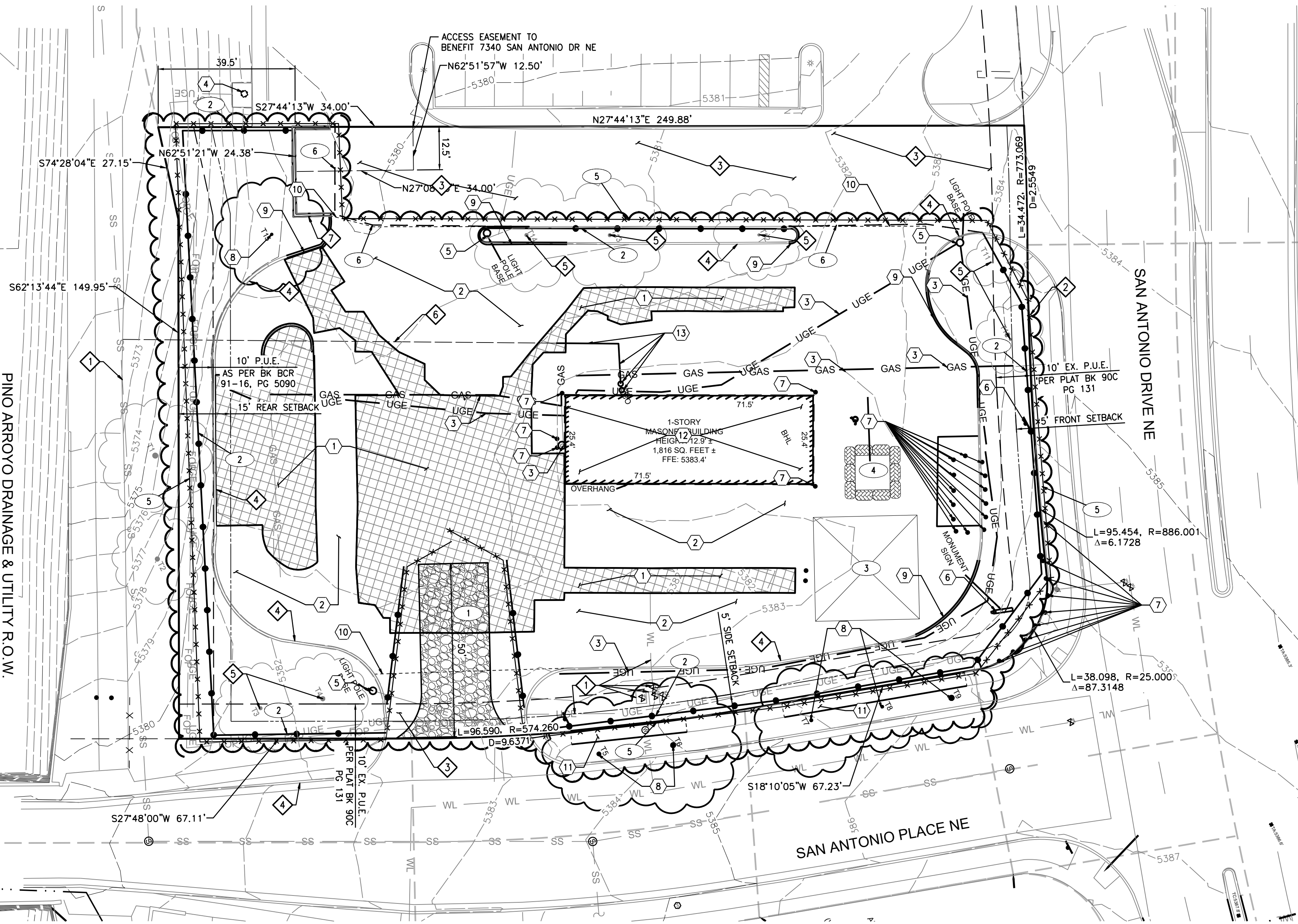
CITY OF ALBUQUERQUE ESC PLAN STANDARD NOTES:

- ALL EROSION AND SEDIMENT CONTROL (ESC) WORK ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON SHALL BE PERMITTED, CONSTRUCTED, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH:
 - THE CITY ORDINANCE § 14-5-2-11, THE ESC ORDINANCE.
 - THE EPA'S 2017 CONSTRUCTION GENERAL PERMIT (CGP), AND
 - THE CITY OF ALBUQUERQUE CONSTRUCTION BMP MANUAL.
- ALL BMP'S MUST BE INSTALLED PRIOR TO BEGINNING ANY EARTH MOVING ACTIVITIES EXCEPT AS SPECIFIED HEREON IN THE PHASING PLAN. CONSTRUCTION OF EARTHEN BMP'S SUCH AS SEDIMENT TRAPS, SEDIMENT BASINS, AND DIVERSION BERMS SHALL BE COMPLETED AND INSPECTED PRIOR TO ANY OTHER CONSTRUCTION OR EARTHWORK. SELF-INSPECTION IS REQUIRED AFTER INSTALLATION OF THE BMP'S AND PRIOR TO BEGINNING CONSTRUCTION.
- SELF-INSPECTIONS - AT A MINIMUM A ROUTINE COMPLIANCE SELF-INSPECTION IS REQUIRED TO REVIEW THE PROJECT FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT ONCE EVERY 14 DAYS AND AFTER ANY PRECIPITATION EVENT OF 1/4 INCH OR GREATER UNTIL THE SITE CONSTRUCTION HAS BEEN COMPLETED AND THE SITE DETERMINED AS STABILIZED BY THE CITY. REPORTS OF THESE INSPECTIONS SHALL BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.
- CORRECTIVE ACTION REPORTS MUST BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.
- STABILIZATION REPORTS MUST BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST. REPORTS SHOULD INCLUDE RECORDS OF WEED REMOVAL PER CITY ORDINANCE (§ 9-8-1), STERILIZATION, SOIL TEST RESULTS AND RECOMMENDATION, MATERIALS AND MANUFACTURER'S SPECIFICATIONS FOR APPLICATION RATES, ESTIMATED FUNCTIONAL LONGEVITY, METHODS OF APPLICATION, INSPECTION AND MAINTENANCE. THE IN-CITY SELF-INSPECTION SCHEDULE IN CGP 4.4.1 APPLIES TO STABILIZED AREA AND ANY DAMAGED OR WORN STABILIZATION MUST BE IDENTIFIED IN THE REPORTS ALONG WITH WEED PROBLEMS. CORRECTIVE ACTIONS FOR STABILIZATION SHALL BE DOCUMENTED IN A STABILIZATION REPORT INCLUDING ACTUAL RATES AND DATES OF STABILIZATION, AND THE MATERIALS AND MANUFACTURER'S SPECIFICATIONS USED.
- BMP'S SHALL BE INSPECTED AND MAINTAINED UNTIL ALL DISTURBED AREAS ARE STABILIZED IN ACCORDANCE WITH THE FINAL STABILIZATION CRITERIA (CGP 2.2.14.B). GENERALLY, ALL DISTURBED AREAS, OTHER THAN STRUCTURES AND IMPERVIOUS SURFACES, MUST HAVE UNIFORM PERENNIAL VEGETATION THAT PROVIDES 70 PERCENT OR MORE OF THE COVER PROVIDED BY NATIVE VEGETATION OR SEED THE DISTURBED AREA AND PROVIDE NON-VEGETATIVE MULCH THAT PROVIDES COVER FOR AT LEAST THREE YEARS WITHOUT ACTIVE MAINTENANCE. FINAL STABILIZATION MUST BE APPROVED BY THE CITY OF ALBUQUERQUE PRIOR TO REMOVAL OF BMP'S AND DISCONTINUATION OF INSPECTIONS.

EROSION AND SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF THE NEW MEXICO DEPARTMENT OF TRANSPORTATION BEST MANAGEMENT PRACTICES AND THE CITY OF ALBUQUERQUE. A NOTICE OF INTENT LETTER SHALL BE POSTED IN THE JOB TRAILER AT ALL TIMES. THIS SITE SHALL BE PROTECTED BY MEANS DESCRIBED IN THE ACCOMPANYING PLANS. IF THERE ARE ANY QUESTIONS REGARDING EROSION CONTROL MEASURES, THE CIVIL ENGINEER OF RECORD MUST BE CONTACTED. A COPY OF THIS SHEET AND THE EROSION CONTROL PLANS MUST BE KEPT ON-SITE THROUGH THE DURATION OF CONSTRUCTION ACTIVITY. ANY CHANGES MADE TO THIS PLAN MUST BE NOTED, DATED, AND INITIALED BY THE GENERAL CONTRACTOR.
- EROSION CONTROL BEST MANAGEMENT PRACTICES (BMP'S) SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT. SEDIMENT CONTROL BMP'S SHALL BE INSTALLED AND MAINTAINED YEAR ROUND.
- ALL DRAINAGE INLETS IMMEDIATELY DOWNSTREAM OF THE WORK AREAS AND WITHIN THE WORK AREAS SHALL BE PROTECTED WITH SEDIMENT CONTROL AND INLET FILTER BAGS YEAR ROUND. INLET FILTER BAGS SHALL BE REMOVED FROM THE DRAINAGE INLETS UPON COMPLETION OF CONSTRUCTION.
- ALL STABILIZED CONSTRUCTION ACCESS LOCATIONS SHALL BE CONSTRUCTED PER THE NEW MEXICO DEPARTMENT OF TRANSPORTATION BEST MANAGEMENT PRACTICES AND THE CITY OF ALBUQUERQUE WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES PAVED AREAS. THE STABILIZED ACCESS SHALL BE MAINTAINED ON A YEAR ROUND BASIS UNTIL THE COMPLETION OF CONSTRUCTION.
- ALL AREAS DISTURBED DURING CONSTRUCTION BY GRADING, TRENCHING, OR OTHER ACTIVITIES, SHALL BE PROTECTED FROM EROSION DURING THE WET SEASON (OCTOBER 1 THROUGH APRIL 30). HYDROSEED, IF UTILIZED, MUST BE PLACED BY SEPTEMBER 15. HYDROSEED PLACED DURING THE WET SEASON SHALL USE A SECONDARY EROSION PROTECTION METHOD.
- SENSITIVE AREAS AND AREAS WHERE EXISTING VEGETATION IS BEING PRESERVED SHALL BE PROTECTED WITH CONSTRUCTION FENCING. SEDIMENT CONTROL BMP'S SHALL BE INSTALLED WHERE ACTIVE CONSTRUCTION AREAS DRAIN INTO SENSITIVE OR PRESERVED VEGETATION AREAS.
- SEDIMENT CONTROL BMP'S SHALL BE PLACED ALONG THE PROJECT PERIMETER WHERE DRAINAGE LEAVES THE PROJECT. SEDIMENT CONTROL BMP'S SHALL BE MAINTAINED YEAR ROUND UNTIL THE CONSTRUCTION IS COMPLETED OR THE DRAINAGE PATTERN HAS BEEN CHANGED AND NO LONGER LEAVES THE SITE.
- EFFECTIVE EROSION CONTROL BMP'S SHALL BE IN PLACE PRIOR TO ANY STORM EVENTS.
- CONTRACTOR SHALL INSTALL AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENTATION CONTROL BMP'S.

DUTCH BROS COFFEE - NM0504, ALBUQUERQUE, NM 7330 SAN ANTONIO DRIVE N.E. DEMOLITION AND EROSION CONTROL PLAN



① EROSION CONTROL CALLOUTS:

- INSTALL TEMPORARY STABILIZED CONSTRUCTION ENTRANCE PER NMDOT STANDARD DWG 603-01-7/7 ON SHEET C1.1. TYPICAL ADJUST AS NECESSARY DURING CONSTRUCTION.
- INSTALL TEMPORARY SILT FENCE PER NMDOT STANDARD DWG 603-01-2/7 ON SHEET C1.1 AND MANUFACTURERS RECOMMENDATIONS AROUND PERIMETER OF SITE AS REQUIRED TO PREVENT SILT-LADEN RUNOFF FROM LEAVING SITE. INSTALL AS DIRECTED BY AGENCY INSPECTOR.
- APPROXIMATE LOCATION OF CONTRACTOR STAGING AREA THAT IS TO BE USED FOR MATERIAL/EQUIPMENT STORAGE, VEHICLE AND EQUIPMENT FUELING/MAINTENANCE, AND TEMPORARY SANITARY FACILITIES.
- CONTRACTOR TO INSTALL CONCRETE WASHOUT STATION PER NEW MEXICO NPDES MANUAL BMP A1-10 SPECIFICATIONS AND STANDARDS. ADJUST AS NECESSARY DURING CONSTRUCTION.
- INSTALL TEMPORARY CONSTRUCTION FENCE (6' HIGH CHAIN LINK, MINIMUM) AROUND PERIMETER OF CONSTRUCTION SITE WITH SITE ACCESS GATE (6' HIGH-CHAIN LINK WITH LOCKING DEVICE) AT TEMPORARY CONSTRUCTION ENTRANCES. FIELD VERIFY AND CONFIRM EXACT LOCATION WITH ARCHITECT/OWNER.
- INSTALL WATTLES PER 1/C1.1.

② SPECIAL PROTECTION NOTES:

- PROTECT EXISTING UTILITY BOXES, MANHOLES, CLEANOUTS, PEDESTALS, AND ASSOCIATED UNDERGROUND UTILITY LINES FROM DAMAGE DURING CONSTRUCTION, TYPICAL.
- PROTECT EXISTING SIDEWALK.
- PROTECT EXISTING PAVEMENT FROM DAMAGE DURING CONSTRUCTION.
- PROTECT EXISTING CURB/WALL.
- PROTECT EXISTING TREE.
- CONTRACTOR TO PRESERVE EXISTING SEWER LATERAL. CLEAN AND JET AS REQUIRED TO BRING LATERAL BACK INTO SERVICE.
- EXISTING TRASH ENCLOSURE TO REMAIN AND BE PROTECTED. REFERENCE ARCHITECTURAL DRAWINGS FOR ADDITIONAL DETAILS.

DEMOLITION PLAN
7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109

Title:

DUTCH BROS
COFFEE

For:

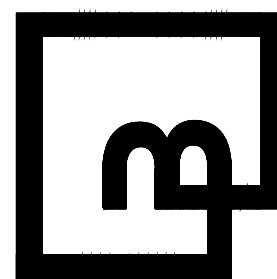


11/07/2024

Scale: Horizontal 1" = 10' Vertical N/A

Designed BB Drawn BB Checked MTL Approved AEM Date 11/7/24

Barghausen
Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425-251-6222
barghausen.com

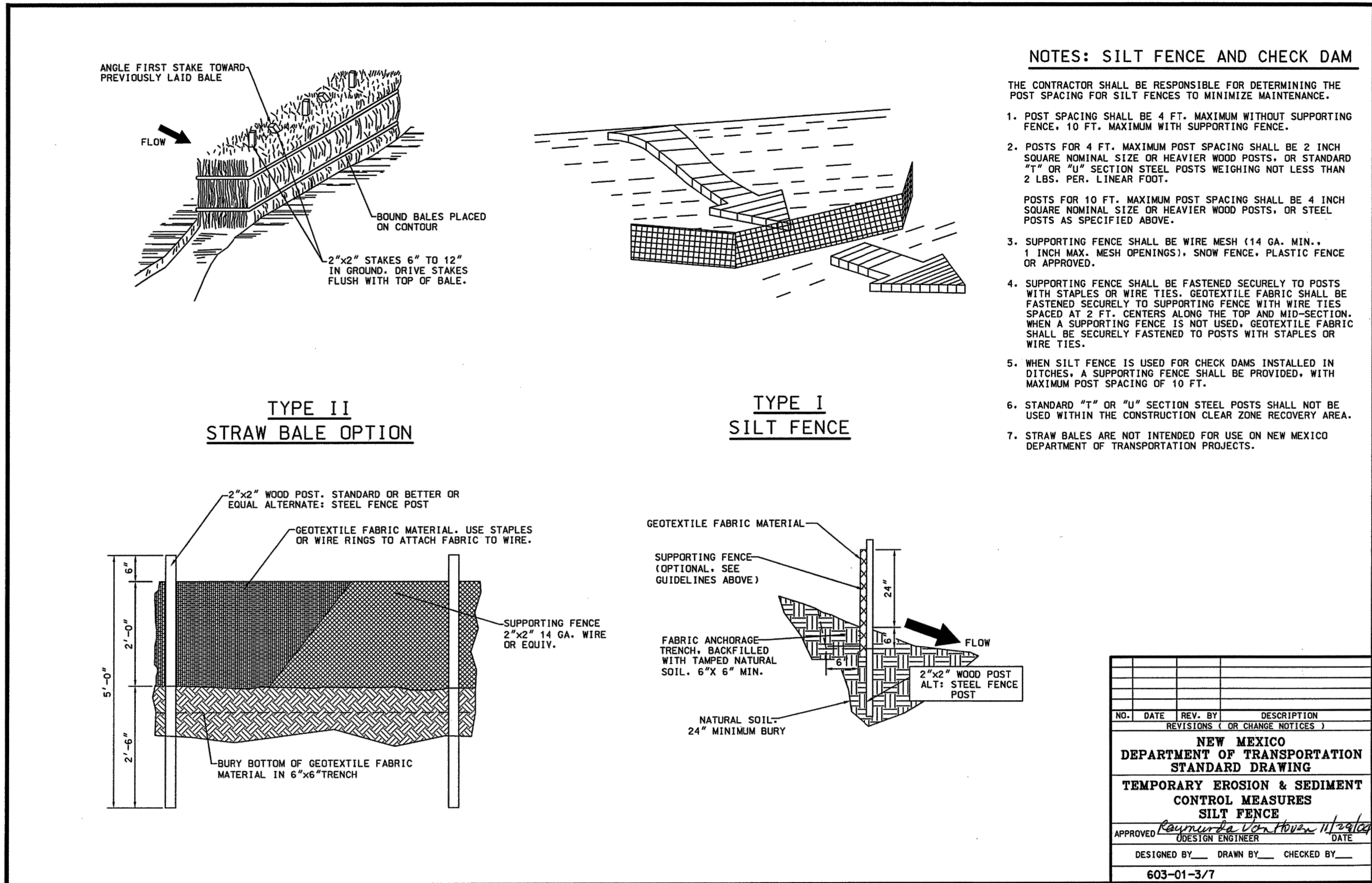


Job Number

Sheet
C1.2
2019 DB
Final.dwg USA, LLC



DUTCH BROS COFFEE - NM0504, ALBUQUERQUE, NM
7330 SAN ANTONIO DRIVE N.E.
EROSION CONTROL NOTES



DURAWATTLE.COM • (916) 822-2174

DURAWATTLE SPECIFICATIONS

DEMOLITION PLAN
7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109

Title:

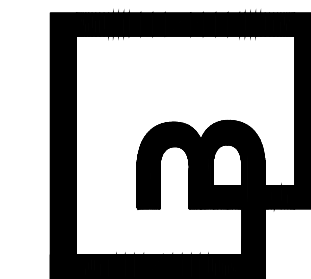
For:



11/07/202

Scale:	Score:
Designed BB	Horizontal
Drawn BB	1" = 10'
Checked MTL	Vertical
Approved AEM	N/A

**Barghausen
Consulting Engineers, Inc.**
18215 72nd Avenue South
Kent, WA 98032
425.251.6222 **barghausen.com**



Job Number
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C1.2

2:\23000s\23204\engineering\23204-FN.dwg 11/7/2024 11:13 AM BRIADES



PARKING NOTE

NO CONTRACTOR OR EMPLOYEE MAY STORE, OR PERMIT TO BE STORED, A COMMERCIAL OR CONSTRUCTION VEHICLE/TRUCK; OR PERSONAL VEHICLE, TRUCK, OR OTHER PERSONAL PROPERTY ON PUBLIC—RIGHT-OF-WAY OR OTHER PUBLIC PROPERTY WITHOUT PERMISSION OF THE CITY ENGINEER.

TEMPORARY WORK EASEMENT NOTE:

CLIENT TO OBTAIN TEMPORARY WORK EASEMENT AGREEMENT; COORDINATE WITH ADJACENT PROPERTY OWNER, PRIOR TO CONSTRUCTION OF ANY OFF-SITE WORK

ACCESSIBLE SITE REQUIREMENTS:

WALKING SURFACES SHALL BE CONTINUOUSLY ACCESSIBLE. ALL WALKWAYS SHALL BE A MINIMUM 36" IN WIDTH, HAVE A MAXIMUM 1.5% CROSS SLOPE, AND SHALL HAVE RAMPS COMPLYING WITH ACCESSIBILITY STANDARDS (SECTION 402) WHERE NECESSARY TO CHANGE ELEVATION AT A LONGITUDINAL SLOPE EXCEEDING 5% (1:20). RAMPS WHERE PROVIDED SHALL COMPLY WITH ACCESSIBILITY REQUIREMENTS (SECTION 405) AND BE PROVIDED WITH A MINIMUM 24" WIDE DETECTABLE WARNING STRIP MEETING ACCESSIBILITY REQUIREMENTS (SECTION 406) SHALL BE PLACED WHERE A WALK CROSSES OR ADJOINS A VEHICULAR WAY AND IS NOT SEPARATED BY A CURB, RAILING, OR OTHER ELEMENT MEETING ACCESSIBILITY STANDARDS.

SIDEWALK REPLACEMENT NOTE

ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD DRAWINGS 2430 AND 2415A

DUTCH BROS COFFEE - NM0504, ALBUQUERQUE, NM

7330 SAN ANTONIO DRIVE N.E.

SITE PLAN

PARKING CALC

REG

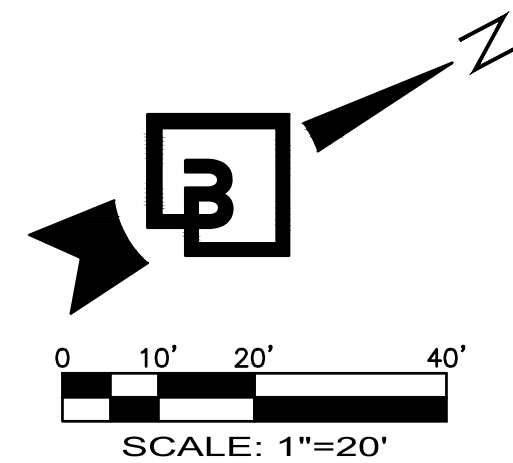
PARKING CALCULATIONS:

REQUIRED:

6 AUTOMOBILE PARKING SPACES (5.6 SPACE PER 1,000 SF OF GFA)
1 VAN ACCESSIBLE ADA PARKING SPACE
1 MOTORCYCLE PARKING SPACE
3 BICYCLE PARKING SPACES

PARKING SPACES PROVIDED:






12 AUTOMOBILE SPACES
1 VAN ACCESSIBLE ADA SPACE
2 MOTORCYCLE PARKING SPACES
3 BICYCLE PARKING SPACES



CONSTRUCTION NOTES:

1. LOCATION OF BUILDING AS NOTED; CONFIRM ALL DIMENSIONS AND REQUIREMENTS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
2. CONSTRUCT REFUSE ENCLOSURE WITH FLOOR DRAIN AND CONCRETE PAD. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL DETAILS.
3. CONSTRUCT CONCRETE BARRIER CURB PER 3/C5.1, TYPICAL.
4. EXISTING TRASH ENCLOSURE TO REMAIN. GATES AND BOLLARDS TO BE ADDED PER TO CITY OF ALBUQUERQUE STANDARDS. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
5. CONSTRUCT CONCRETE PAVEMENT PER 2/C5.0.
6. CONSTRUCT ON-SITE CONCRETE SIDEWALK (WIDTH VARIES) PER 7/C5.0, TYPICAL. JOINTS PER 11/C5.0.
7. INSTALL PAVEMENT MARKING PER 3/C5.0, TYPICAL.
8. LANDSCAPE AREA. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION, TYPICAL.
9. ACCESSIBLE PATH, TYPICAL. ACCESSES PUBLIC WALKWAY AND BIKE PATH VIA PUBLIC SIDEWALK. SEE C2.2 FOR ADDITIONAL INFORMATION
10. SITE LIGHTING. REFER TO STRUCTURAL DRAWINGS FOR LIGHT POLE FOUNDATION REQUIREMENTS; REFER TO PHOTOMETRIC DRAWING FOR POLE AND FIXTURE SPECIFICATIONS.
11. CONSTRUCT ADA ACCESSIBLE PERPENDICULAR CURB RAMP TO CITY OF ALBUQUERQUE STANDARDS PER 4/C5.1. DETECTABLE WARNING STRIP PER 5/C5.1.
12. CONSTRUCT FREESTANDING SIGN. SEE SIGN DRAWINGS FOR ADDITIONAL DETAILS.
13. INSTALL NO PARKING STRIPES. STRIPES 4" WIDE, 45 DEGREES, 24" O.C. SAFETY WHITE. TYPICAL.
14. APPROXIMATE LOCATION OF NEAT SAW CUT LINE. PROVIDE HOT TAR SEAL AT ALL JOINTS.
15. INSTALL "U" TYPE BIKE PARKING PER 10/C5.0 (5 SPACES PROVIDED)
16. PAINT CONTINENTAL TYPE PEDESTRIAN CROSSWALK STRIPING 1 FOOT WIDE STRIPES SPACED 2.5' ON CENTER.
17. INSTALL PRECAST WHEELSTOP PER 12/C5.0, TYP.
18. CONSTRUCT BOLLARD PER 2/C5.1, TYP.
19. NOT USED.
20. EXISTING PROPERTY LINE, TYPICAL.
21. CONSTRUCT VAN ACCESSIBLE PARKING STALL PER 1/C5.0. SIGNAGE PER 8/C5.0 AND SIGN POST PER 5/C5.0. SEE DETAIL 6/C5.0 FOR INTERNATIONAL SYMBOL OF ACCESSIBILITY
22. INSTALL CANOPY. SEE ARCHITECTURAL PLANS FOR DETAILS. CONFIRM ALL DIMENSIONS AND REQUIREMENTS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
23. INSTALL (2) MOTORCYCLE PARKING SPACES. INSTALL SIGN PER 9/C5.0. POST PER 5/C5.0.
24. INSTALL TYPICAL PARKING SPACE, TYP. SEE C2.2 FOR PARKING SPACE GEOMETRY.
25. CONSTRUCT STEM WALL AND GUARDRAIL TO MATCH HEIGHT, WIDTH AND MATERIAL OF ADJACENT EXISTING WALL, BETWEEN KEYNOTES.
26. EXISTING CURB/WALL TO REMAIN
27. REPLACE SIDEWALK TO THE NEAREST PANEL OR JOINT PER CITY OF ALBUQUERQUE STANDARDS WHEREVER EXISTING TREES HAVE FORCED SIDEWALK OUT OF COMPLIANCE. CONSTRUCT SIDEWALK PER 6/C5.1. JOINTS PER 7/C5.1.
28. PROPOSED NO PARKING SIGNAGE FOR FIRE LANE TO CITY OF ALBUQUERQUE STANDARDS. SIGN TYPE RT-1 OF 1/C5.2, POST PER 5/C5.0.
29. PROPOSED CURB STRIPING FOR FIRE LANE. PAINT CURB RED ON BOTH TOP AND FACE ALONG THE ENTIRE LENGTH OF THE FIRE LANE. "NO PARKING FIRE LANE" SHALL BE MARKED EVERY 15 FEET ALONG THE LENGTH OF FIRE LANE TO CITY OF ALBUQUERQUE STANDARDS.
30. CONSTRUCT NEW PYLON SIGN. SEE SIGN DRAWINGS FOR DETAILS.
31. NOT USED.
32. INSTALL BENCH FOR OUTDOOR SEATING, TYP.
33. EXISTING FIRE HYDRANT.
34. EXISTING DRIVEWAY AND INGRESS/EGRESS TO BE PROTECTED.
35. PROPOSED ACCESS EASEMENT TO BENEFIT 7340 SAN ANTONIO DR NE
36. EXISTING EASEMENT
37. CONSTRUCT SIDEWALK THROUGH-CUT PER 7/C5.2.
38. EXISTING MULTI-USE TRAIL
39. EXISTING PUBLIC SIDEWALK - SEE C2.2 FOR WIDTHS
40. EXISTING PARCEL LINE
41. CONSTRUCT RAMP WITH HANDRAIL PER 5/C5.2
42. INSTALL DETECTABLE WARNING STRIP PER 5/C5.1
43. LANDSCAPED HEDGE. SEE LANDSCAPING DRAWINGS FOR DETAILS.

LEGEND

BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	
PROPOSED LANDSCAPING	
PROPOSED CONCRETE	

SITE PLAN
77330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109

Title:

Dutch Bros

For:

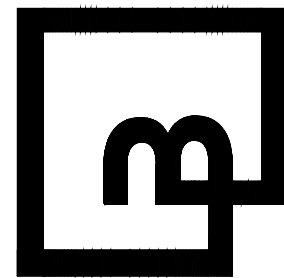


11/07/2024

Scale:
Horizontal
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Vertical
N/A

Designed	<u>BB</u>
Drawn	<u>BB</u>
Checked	<u>MTL</u>
Approved	<u>AEM</u>
Date	11/7/24

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Prohibited USA

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The name DUTCH BROS. and all associated logos, distinctive designs, content, information, and other materials featured, displayed, contained herein, and made available by Dutch Bros., including but not limited to, the "hook and feel" of the establishments and products, all text, images, colors, configurations, graphics, designs, illustrations, photographs, and pictures (collectively, the "Materials") are owned by and/or licensed by DB Franchising USA, LLC and are protected by copyright, trademark, trade dress, patent, and/or other intellectual property rights and unfair competition laws under the United States and foreign laws.

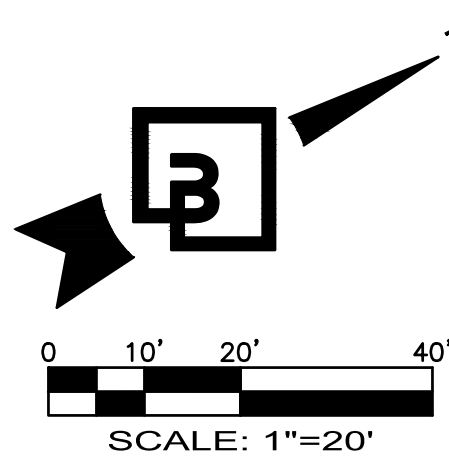


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DUTCH BROS COFFEE - NM0504, ALBUQUERQUE, NM

7330 SAN ANTONIO DRIVE N.E.

HORIZONTAL CONTROL PLAN

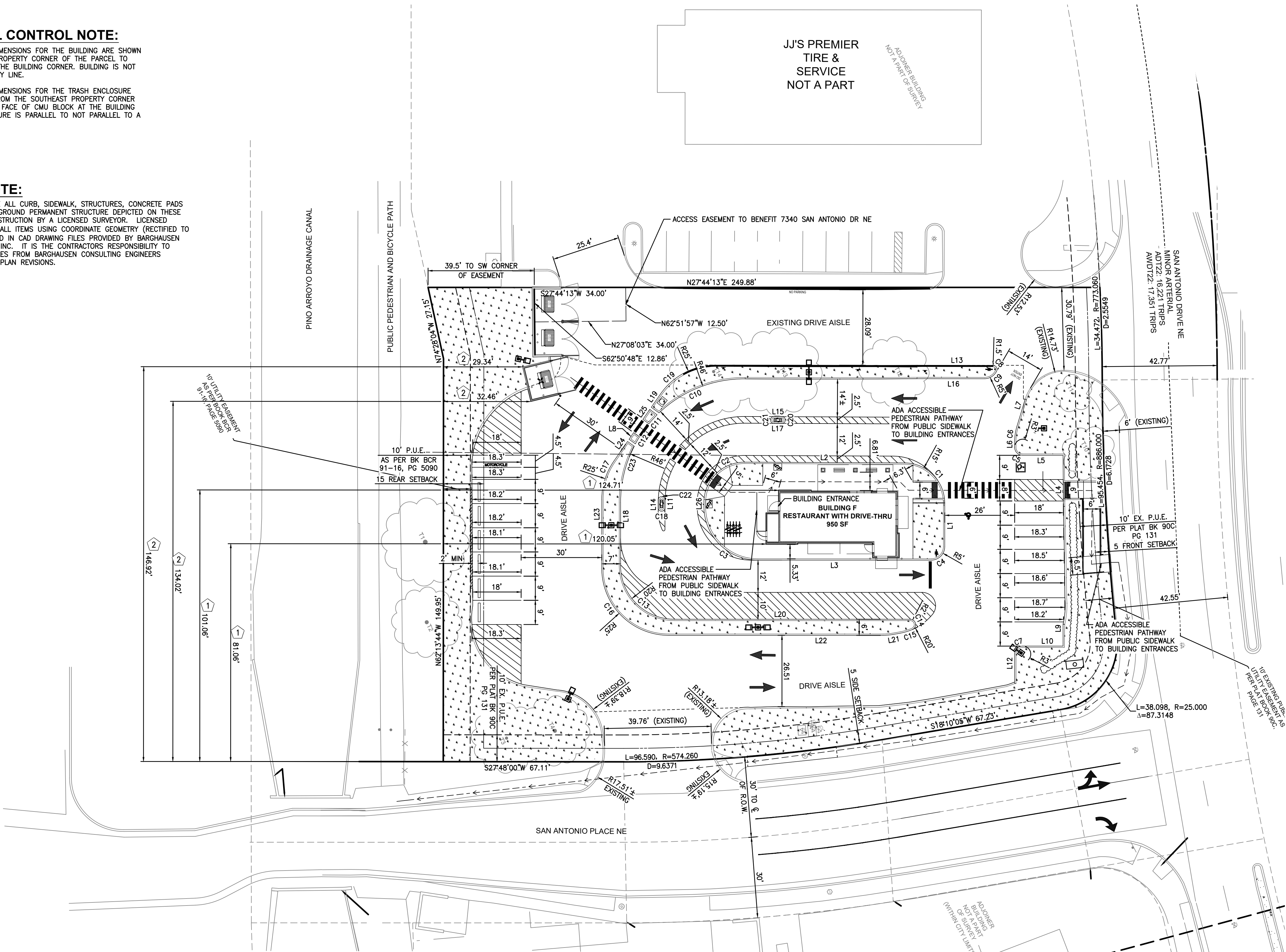


HORIZONTAL CONTROL NOTE:

- HORIZONTAL CONTROL DIMENSIONS FOR THE BUILDING ARE SHOWN FROM THE SOUTHEAST PROPERTY CORNER OF THE PARCEL TO THE FACE OF STUD AT THE BUILDING CORNER. BUILDING IS NOT PARALLEL TO A PROPERTY LINE.
- HORIZONTAL CONTROL DIMENSIONS FOR THE TRASH ENCLOSURE BUILDING ARE SHOWN FROM THE SOUTHEAST PROPERTY CORNER OF THE PARCEL TO THE FACE OF CMU BLOCK AT THE BUILDING CORNER. TRASH ENCLOSURE IS PARALLEL TO NOT PARALLEL TO A PROPERTY LINE.

STAKING NOTE:

CONTRACTOR SHALL HAVE ALL CURB, SIDEWALK, STRUCTURES, CONCRETE PADS AND ANY OTHER ABOVE GROUND PERMANENT STRUCTURE DEPICTED ON THESE PLANS STAKED FOR CONSTRUCTION BY A LICENSED SURVEYOR. LICENSED SURVEYOR SHALL STAKE ALL ITEMS USING COORDINATE GEOMETRY (RECTIFIED TO SITE CONTROL) CONTAINED IN CAD DRAWING FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC. IT IS THE CONTRACTORS RESPONSIBILITY TO RETRIEVE LATEST CAD FILES FROM BARGHAUSEN CONSULTING ENGINEERS REFLECTING ANY ISSUED PLAN REVISIONS.



LINE TABLE		
Line #	Length	Direction
L1	16.19	N62° 15' 46.70"W
L2	59.57	S28° 00' 06.90"W
L3	64.44	N27° 44' 13.30"E
L4	19.00	S62° 42' 30.52"E
L5	15.00	N27° 44' 13.30"E
L6	2.02	S62° 15' 46.70"E
L7	10.50	S45° 20' 14.28"W
L8	3.00	N27° 30' 00.83"W
L9	8.12	S62° 15' 46.70"E
L10	15.00	S27° 44' 13.30"W
L11	3.00	S61° 53' 24.05"E
L12	10.96	S62° 15' 46.70"E
L13	28.27	N27° 52' 57.35"E
L14	3.00	N61° 53' 24.05"W
L15	3.00	S28° 00' 06.90"W
L16	25.10	S27° 49' 36.22"W
L17	3.00	N28° 00' 06.90"E
L18	23.47	S62° 15' 46.70"E
L19	6.05	S27° 30' 00.83"E
L20	87.73	N27° 44' 13.30"E
L21	2.96	N17° 44' 21.08"E
L22	79.65	N27° 44' 13.30"E
L23	25.52	S62° 15' 46.70"E
L24	8.98	N27° 30' 00.83"W
L25	4.50	S27° 30' 00.83"E
L26	1.47	S62° 15' 46.70"E

CURVE TABLE			
Curve #	Length	Radius	Delta
C1	23.49	15.00	89.74
C2	23.63	15.00	90.26
C3	31.42	20.00	90.00
C4	7.85	5.00	90.00
C5	4.71	3.00	90.00
C6	5.91	20.00	16.93
C7	4.71	3.00	90.00
C8	3.15	1.50	120.17
C9	5.26	5.00	60.26
C10	35.30	46.00	43.97
C11	4.52	46.00	5.63
C12	3.01	46.00	3.75
C13	31.42	20.00	90.00
C14	5.46	2.00	156.56
C15	4.69	20.00	13.44
C16	39.27	25.00	90.00
C17	15.17	25.00	34.76
C18	3.93	1.25	180.00
C19	24.14	25.00	55.31
C20	3.93	1.25	180.00
C21	3.93	1.25	180.00
C22	3.93	1.25	180.00
C23	21.72	46.00	27.05

LEGEND

BUILDING LINE	=====
EXISTING CURB TO REMAIN	=====
PROPOSED CURB	=====
PROPOSED LANDSCAPING	=====
PROPOSED CONCRETE	=====

HORIZONTAL CONTROL NOTE:

THE CONTRACTOR SHALL HAVE ALL PROPERTY LINES, CURB, SIDEWALK, STRUCTURES, CONCRETE PADS AND ANY OTHER ABOVE GROUND PERMANENT STRUCTURE DEPICTED ON THESE PLANS STAKED FOR CONSTRUCTION BY A LICENSED SURVEYOR. LICENSED SURVEYOR SHALL STAKE ALL ITEMS USING COORDINATE GEOMETRY (RECTIFIED TO SITE CONTROL) CONTAINED IN CAD DRAWING FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RETRIEVE LATEST CAD FILES FROM BARGHAUSEN CONSULTING ENGINEERS INC., REFLECTING ANY ISSUED PLAN REVISIONS. BARGHAUSEN CONSULTING ENGINEERS SHALL IMMEDIATELY BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

HORIZONTAL CONTROL PLAN
7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109

Title:

DUTCH BROS

For:



Scale:

Horizontal
1" = 20'
Vertical
N/A

Designed: BB

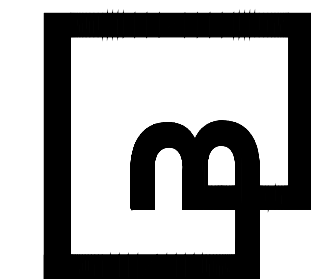
Drawn: BB

Checked: MTL

Approved: AEM

Date: 11/7/24

Barghausen
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GRADING NARRATIVE

THIS SITE FOLLOWS THE REVISED CONCEPTUAL DRAINAGE PLAN FOR WYOMING COMMERCIAL COMPLEX (E-19/D25C) WITH A REVISION DATE OF APRIL 2, 1990. THE CONCEPTUAL GRADING PLAN IS INCLUDED WITH THIS SUBMITTAL.

CURRENTLY, THE SITE'S HIGH POINT IS AT THE NORTHEAST CORNER, WHERE SAN ANTONIO PL NE INTERSECTS WITH SAN ANTONIO DRIVE NE. STORMWATER FOLLOWS DESCENDING GRADE TO THE SOUTHWEST CORNER OF THE SITE AND THEN OFFSITE INTO AN EXISTING VALLEY GUTTER LOCATED ON THE ADJACENT PARCEL. THIS VALLEY GUTTER FLOWS TO THE NORTHWEST WITH GRADE TO REACH A CONCRETE RUNDOWN WHICH OUTLETS INTO THE PINO ARROYO CANAL. THIS SITE DOES ALSO RECEIVE SOME RUN-ON FROM SAN ANTONIO DRIVE NE WHICH FOLLOWS THE SAME FLOW PATH.

THE PROPOSED SITE WILL MAINTAIN THIS PATTERN BY PLACING THE PROPOSED COFFEE STAND ON THE FOOTPRINT OF THE EXISTING STRUCTURE AND INSTALLING PAVEMENT AT SIMILAR ELEVATIONS TO THE EXISTING WHEREVER POSSIBLE.

DUTCH BROS COFFEE - NM0504, ALBUQUERQUE, NM

7330 SAN ANTONIO DRIVE N.E.

GRADING AND DRAINAGE PLAN

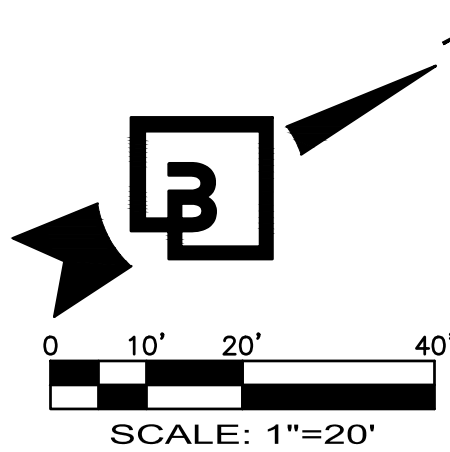
UTILITY POTHOLES NOTE:

THE CIRCLED LOCATIONS ARE REQUIRED TO BE POTHOLED TO VERIFY VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITY AND/OR POTENTIAL CONFLICTS WITH EXISTING UTILITIES. POTHOLES SHALL BE PERFORMED PRIOR TO INSTALLING ANY PROPOSED UTILITIES. CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. OF ANY CONFLICTS.

EROSION CONTROL NOTE

THE FOLLOWING FACILITIES AND EROSION CONTROL COUNTERMEASURES WILL BE PROVIDED DURING CONSTRUCTION, TO CITY OF ALBUQUERQUE AND NMDOT STANDARDS:

- CONCRETE WASHOUT
- STABILIZED CONSTRUCTION ENTRANCE TO SITE
- INLET PROTECTION FOR ALL DRAINAGE FACILITIES ON OR ABOUT SITE
- WADDOLES AND SILT FENCING AT SITE PERIMETER, PREVENTING SOIL RUNOFF FROM SITE.



GRADING GENERAL NOTES:

- ALL GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY ORDINANCE AND STANDARD PLANS. THE GRADING IS SUBJECT TO THE OBSERVATION AND APPROVAL OF THE PUBLIC WORKS DEPARTMENT.
- ALL PUBLIC SIDEWALKS BEING CONSTRUCTED WHERE THE EXISTING CURBING IS TO REMAIN SHALL BE CONSTRUCTED AT A CROSS SLOPE OF $\pm 1.5\%$ FROM THE EXISTING BACK OF CURB ELEVATION (CROSS SLOPE MAY REQUIRE TO BE VARYED: 1.25% TO 1.75%). CONTRACTOR SHALL VERIFY CONSTRUCTION FORMS COMPLY WITH ADA STANDARDS PRIOR TO POURING CONCRETE.
- ALL TRENCHING IN THE RIGHT-OF-WAY SHALL BE REPLACED AND GRADED TO MATCH EXISTING CONDITIONS. CROSS SLOPES SHALL BE MAINTAINED.
- ALL EXISTING UTILITY STRUCTURES AND ASSOCIATED LIDS THAT FALL WITHIN THE AREA OF WORK SHALL BE ADJUSTED TO FINISHED GRADE ELEVATIONS, AND BE FREE OF ANY ABRUPT VERTICAL CHANGES. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- ALL PAVEMENT SAWCUTS ARE DESIGNED TO BE REPLACED TO MATCH EXISTING PAVEMENTS AND SHALL BE FLUSH AND FREE OF ANY VERTICAL CHANGES. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- REFER TO LANDSCAPE PLANS FOR LANDSCAPE PLANTER SOIL GRADING AND SOIL HOLD-DOWN (2" MINIMUM).
- ALL SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REMOVE AND CLEAN-UP ANY SPILLED DEBRIS WITHIN THE PUBLIC ROW THROUGHOUT THE GRADING OPERATIONS OF THE PROJECT.
- ALL GRADING CONSTRUCTION DEBRIS MATERIALS SHALL BE REMOVED AND DISPOSED INTO AN APPROVED DUMP SITE PRIOR TO ANY EXCAVATION OF FILL OPERATIONS AND/OR AS SPECIFIED BY THE SOLID WASTE MANAGEMENT PLAN AND/OR DIRECTED BY PUBLIC WORKS. ALL GRADING ACTIVITIES MUST COMPLY WITH ALL STORMWATER REGULATIONS INCLUDING STABILIZATION OF ANY SOIL DISTURBED AREA. ALL EXCESS DIRT SHALL BE LEVELED AND/OR DISPOSED OF CORRECTLY AND MAY NOT BE TAKEN TO A FACILITY THAT IS NOT LISTED IN THE SWPPP OF SOLID WASTE MANAGEMENT PLAN AND/OR APPROVED BY THE CITY.
- ALL CONSTRUCTION ACTIVITIES AND CONSTRUCTION MATERIAL MUST BE STORED ON-SITE AND NOT SPILL OUTSIDE ONTO THE PUBLIC RIGHT-OF-WAY.
- ALL SPOT ELEVATIONS ON THIS PLAN HAVE BEEN TRUNCATED FOR CLARITY BY SUBTRACTING 5300', EG 5382.09 = 82.09.

GRADING AND DRAINAGE CONSTRUCTION NOTES:

- CONSTRUCT DOWNSPOUT OUTLET TO SIDEWALK UNDERDRAIN. SEE 1/C5.1.
- CONSTRUCT DOWNSPOUT OUTLET TO SIDEWALK UNDERDRAIN TO LANDSCAPED SWALE. SEE 1/C5.1 FOR UNDERDRAIN DETAIL.
- INSTALL CURB CUT PER 6/C5.2 TO FACILITATE SWALE DRAINAGE.
- CONSTRUCT STEM WALL AND HANDRAIL BETWEEN KEYNOTES. STEM WALL TO MATCH HEIGHT, WIDTH, AND MATERIAL OF ADJACENT EXISTING STEM WALLS.
- INSTALL FLOOR DRAIN IN NEW REFUSE ENCLOSURE TO CITY OF ALBUQUERQUE STANDARDS. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- EXISTING RETAINING WALL TO REMAIN.
- PROPERTY LINE.
- EXISTING EASEMENT.
- PROPOSED ACCESS EASEMENT TO BENEFIT 7340 SAN ANTONIO DR NE.
- PARCEL LINE.
- INSTALL GREASE INTERCEPTOR WITH SAMPLING PORT. SEE PLUMBING DRAWINGS FOR ADDITIONAL DETAILS.
- EXISTING CURB/WALL TO REMAIN. POUR NEW PAVEMENT UP TO FACE OF EXISTING CURB/WALL.
- EXISTING SEWER LATERAL TO REMAIN AND BE PROTECTED EXCEPT WHERE REPLACEMENT OF BROKEN PIPE REQUIRED. REFERENCE C4.0 FOR ADDITIONAL DETAILS.
- INLET TO BE CONNECTED TO THE SANITARY SEWER. SEE UTILITY PLAN.

PROJECT DATA

PROPERTY ADDRESS:	7330 SAN ANTONIO DRIVE NE ALBUQUERQUE, NM 87109
APN:	101906219148122105
IDO ZONE DISTRICT:	MIXED USE LOW DENSITY (MX-L) DESIGNATED ACTIVITY CENTER IN THE
IDO DISTRICT DEFINITION:	ALBUQUERQUE COMPREHENSIVE PLAN
IDO CATEGORY:	LOW INTENSITY MIXED USE
PROPOSED USE:	EATING AND DRINKING ESTABLISHMENT WITH DRIVE-THROUGH SERVICE
QUEUING	= 16
PROJECT AREA:	42,044 SF (0.97 AC)
DISTURBED AREA:	35,725 SF (0.82 AC)
GROSS FLOOR AREA (GFA)	= 950 SF (100% USED AS DRIVE-THRU RESTAURANT)
TRASH ENCLOSURE	= 13.27'x10.67' (NEW) + 26'x11'± (EXISTING)
NEW TRASH ENCLOSURE SQUARE FOOTAGE	= 142 SF
SITE COVERAGE (DISTURBED AREA):	
BUILDINGS:	950 SF (2.7%)
PARKING MANEUVERING, CURBS:	22,981 SF (64.3%)
WALKWAYS:	1,760 SF (4.0%)
LANDSCAPE:	10,034 SF (28.1%)
	35,725 SF (100%)

GEOTECHNICAL GRADING NOTES:

THE FOLLOWING NOTES HAVE BEEN REFERENCED FROM THE GEOTECHNICAL REPORT PREPARED BY WESTERN TECHNOLOGIES DATED MAY 31, 2024. REFER TO THE COMPLETE REPORT FOR ALL EARTHWORK REQUIREMENTS.

GROUNDWATER:

GROUNDWATER WAS NOT ENCOUNTERED IN ANY BORING AT THE TIME OF EXPLORATION.

BUILDING FOUNDATIONS PREPARATION

REMOVE EXISTING SOILS THROUGHOUT THE ENTIRE BUILDING AREA TO A MINIMUM DEPTH OF 2 FEET BELOW THE BOTTOM OF FOOTING ELEVATION OR 4 BELOW EXISTING SITE GRADE, WHICHEVER IS DEEPER. THIS INCLUDES BOTH FOUNDATION AND INTERIOR FLOOR SLAB AREAS. FOLLOWING THE REMOVAL, SCARIFY, MOISTEN OR DRY AS REQUIRED, AND RECOMPACT THE BOTTOM OF THE EXCAVATION TO A MINIMUM DEPTH OF 10 INCHES. REFILL THE EXCAVATION WITH PROPERLY COMPACTED ENGINEERED FILL MATERIAL. THE REMOVAL AND REPLACEMENT SHOULD EXTEND LATERALLY A MINIMUM OF 5 FEET BEYOND THE PERIMETER OF THE BUILDING.

MATERIALS FOR FILL:

- CLEAN IMPORTED MATERIALS WITH LOW EXPANSIVE POTENTIALS AND MAXIMUM DIMENSION OF 6 INCHES OR IMPORTED MATERIALS MAY BE USED AS FILL MATERIAL FOR THE FOLLOWING:
- FOUNDATION AREAS
 - INTERIOR/EXTERIOR SLABS
 - PAVEMENT
 - BACKFILL

FROZEN SOILS SHOULD NOT BE USED AS FILL OR BACKFILL.

ON-SITE SOILS CAN BE USED AS ENGINEERED FILL.

BASE COURSE SHOULD CONFORM TO THE NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OR THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, WHICHEVER IS APPLICABLE.

PAVEMENT PREPARATION

THE SUBGRADE SHOULD BE SCARIFIED, MOISTENED AS REQUIRED, AND RECOMPACTED FOR A MINIMUM DEPTH OF 12 INCHES PRIOR TO PLACEMENT OF FILL AND PAVEMENT MATERIALS.

TEMPORARY EXCAVATIONS AND SLOPES

TEMPORARY, NON-SURCHARGED CONSTRUCTION EXCAVATIONS SHOULD BE SLOPED OR SHORED. THE INDIVIDUAL CONTRACTOR SHOULD BE MADE RESPONSIBLE FOR DESIGNING AND CONSTRUCTING STABLE, TEMPORARY EXCAVATIONS AS REQUIRED TO MAINTAIN STABILITY OF BOTH THE EXCAVATION SIDES AND BOTTOM. ALL EXCAVATIONS SHOULD BE SLOPED OR SHORED IN THE INTEREST OF SAFETY FOLLOWING LOCAL AND FEDERAL REGULATIONS, INCLUDING CURRENT OSHA EXCAVATION AND TRENCH SAFETY STANDARDS. OSHA RECOMMENDS A MAXIMUM SLOPE INCLINATION OF 3/4:1 (HORIZONTAL:VERTICAL) FOR TYPE A SOILS, 1:1 FOR TYPE B SOILS, AND 1 1/2:1 FOR TYPE C SOILS.

AS A SAFETY MEASURE, IT IS RECOMMENDED THAT ALL VEHICLES AND SOIL PILES BE KEPT A MINIMUM LATERAL DISTANCE BACK FROM THE CREST OF THE SLOPE AT LEAST EQUAL TO THE SLOPE HEIGHT. THE EXPOSED SLOPE FACE SHOULD BE PROTECTED AGAINST THE ELEMENTS.

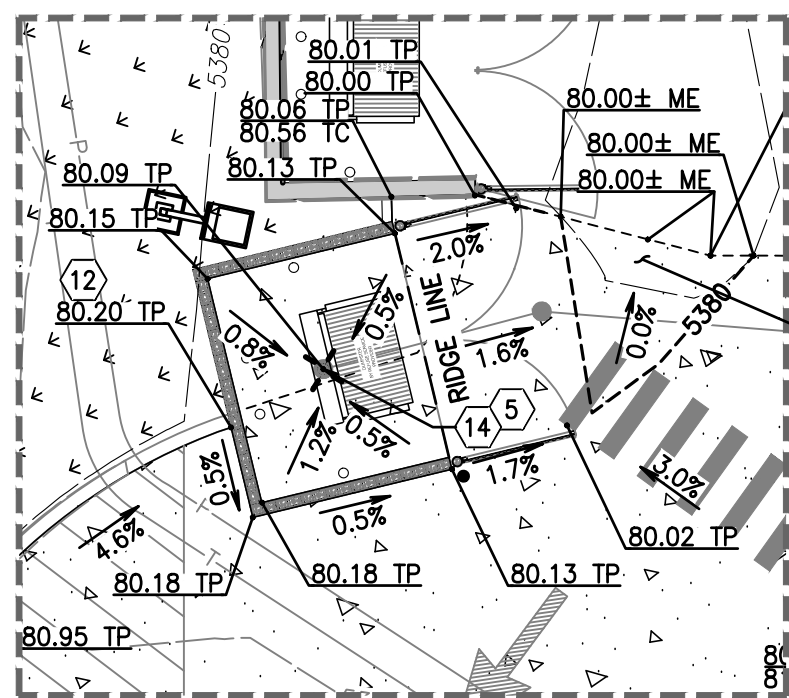
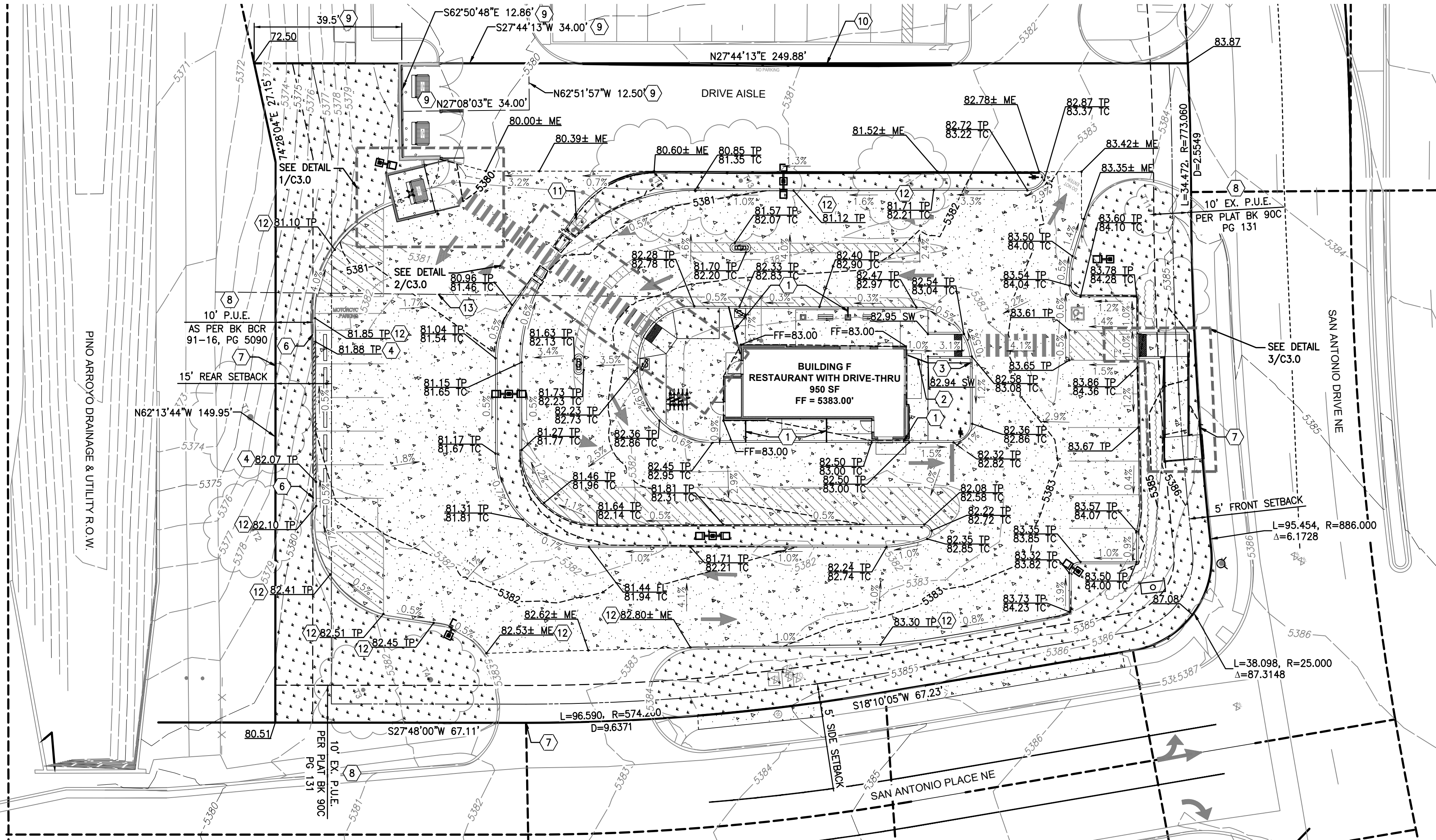
IF ANY EXCAVATION, INCLUDING A UTILITY TRENCH, IS EXTENDED TO A DEPTH OF MORE THAN 20 FEET, IT WILL BE NECESSARY TO HAVE THE SIDE SLOPES DESIGNED BY A PROFESSIONAL ENGINEER.

WE RECOMMEND THAT THE CONTRACTOR RETAIN A GEOTECHNICAL ENGINEER TO OBSERVE THE SOILS EXPOSED IN ALL EXCAVATIONS AND PROVIDE ENGINEERING DESIGN FOR THE SLOPES. THIS WILL PROVIDE AN OPPORTUNITY TO CLASSIFY THE SOIL TYPES ENCOUNTERED, AND TO MODIFY THE EXCAVATION SLOPES AS NECESSARY. THIS ALSO ALLOWS THE OPPORTUNITY TO ANALYZE THE STABILITY OF THE EXCAVATION SLOPES DURING CONSTRUCTION.

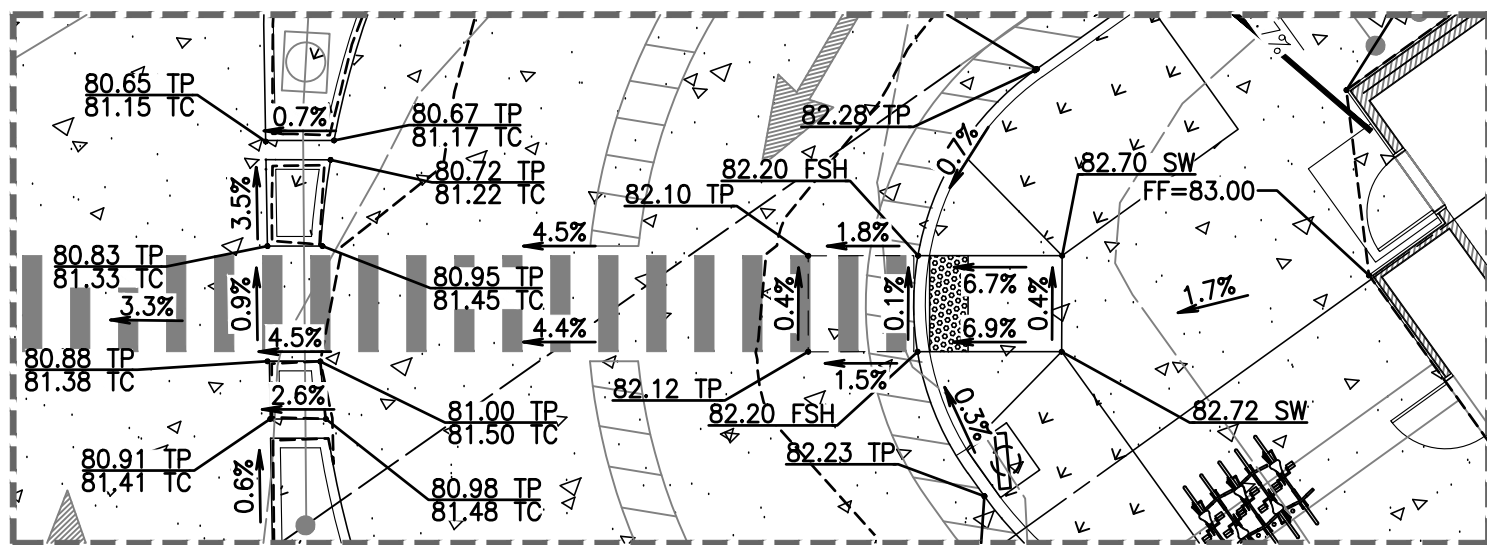
LEGEND

BUILDING LINE	=====
CURB TO REMAIN	=====
CURB	=====
LANDSCAPING	=====
CONCRETE	=====

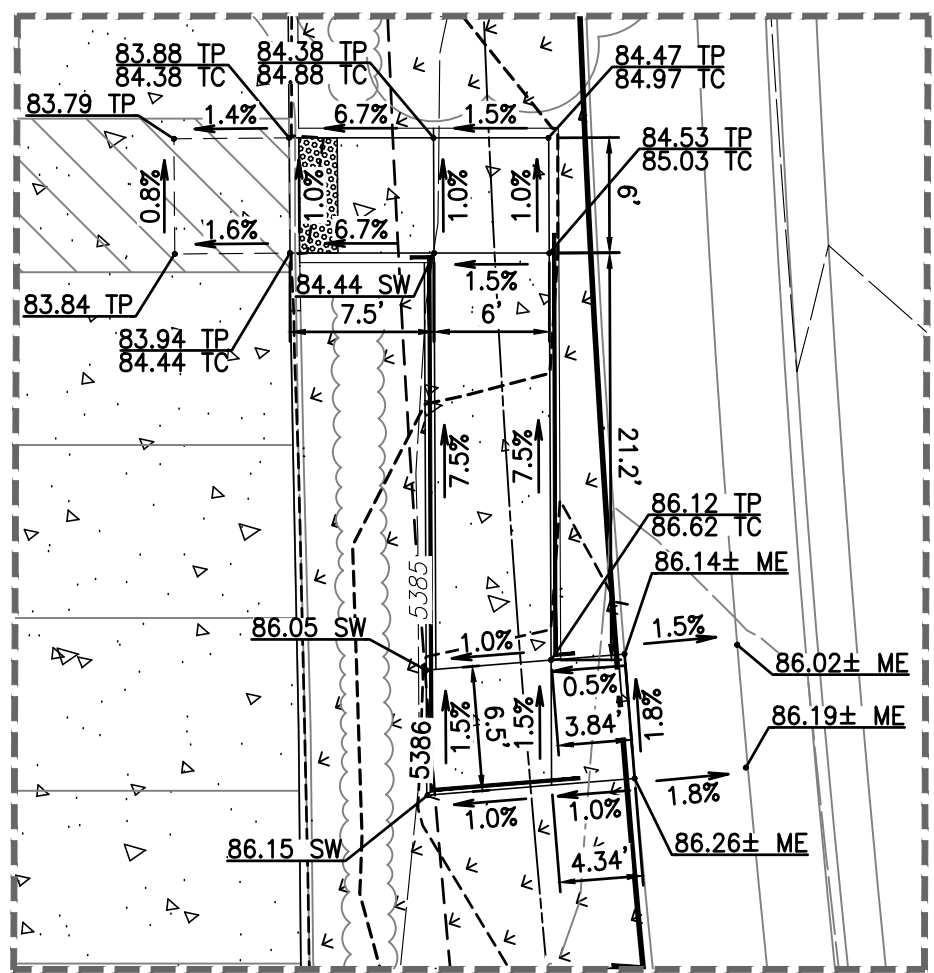
FF - FINISHED FLOOR
FL - FLOWLINE
FSH - FLUSH
GB - GRADE BREAK
GRD - GROUND
MA - MATCH OFFSITE TIE IN ELEVATION
ME - MATCH EXISTING
TC - TOP OF CURB/SIDEWALK
TP - TOP OF PAVING
RIM - RIM/GRATE ELEVATION OF STRUCTURE



1 ENLARGEMENT
SCALE: 1"=10'



2 ENLARGEMENT
SCALE: 1"=10'



3 ENLARGEMENT
SCALE: 1"=10'

GRADING AND DRAINAGE PLAN
7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109

Title:

Dutch Bros

For:



11/07/2024

Scale:

Horizontal

Vertical

1" = 20'

N/A

Designed

Drawn

Checked

Approved

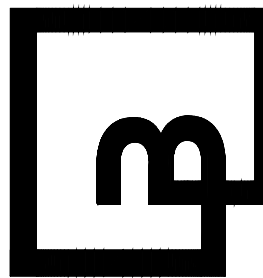
AEM

Date

11/7/24

Barghausen
Consulting Engineers, Inc.

18215 72nd Avenue South
Kent, WA 98032
425-251-6222
barghausen.com



Job Number

Sheet
C30

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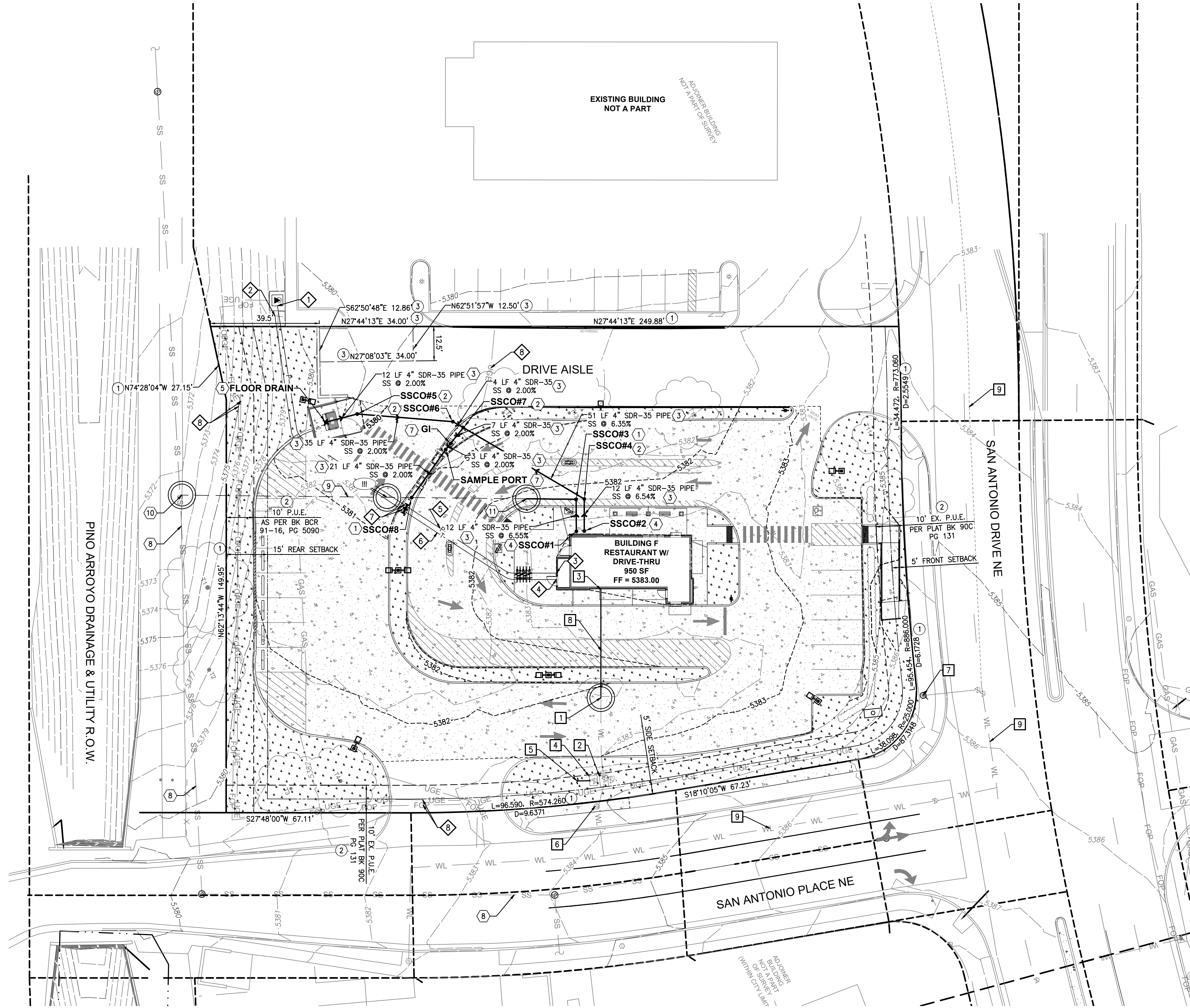


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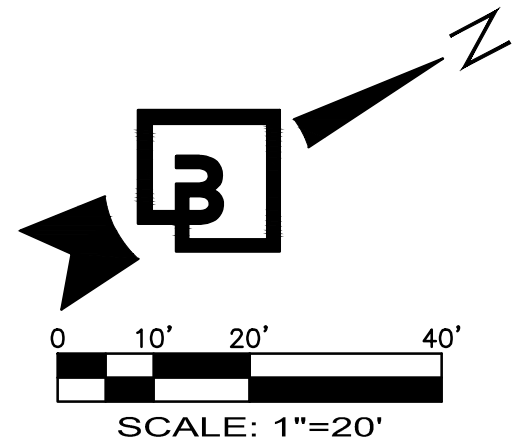
7330 SAN ANTONIO DRIVE N.E.

UTILITY PLAN



GENERAL UTILITY NOTES:

- ALL STRUCTURE ELEVATIONS SHOWN ARE TO CENTER OF STRUCTURE AT FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
- ALL UTILITY STRUCTURES EXPOSED TO TRAFFIC SHALL BE TRAFFIC RATED INCLUDING STRUCTURE, LID, ETC.
- ALL UTILITY STRUCTURES WITH LIDS EXPOSED TO PEDESTRIAN TRAFFIC SHALL BE SLIP RESISTANT IN ACCORDANCE WITH ACCESSIBILITY REQUIREMENTS.
- PROVIDE ALL INCIDENTAL FITTINGS, BENDS, WYES, TEES, COUPLINGS, GASKETS, ETC. REQUIRED TO CONSTRUCT THE INFRASTRUCTURE DEPICTED.
- ALL TRENCHING SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE PURVEYOR.
- PROVIDE MARKING TAPE AND LOCATE WIRE WITH ALL TRENCH INSTALLATIONS.
- ALL SANITARY SEWER PIPING SHALL BE PVC UNLESS DENOTED OTHERWISE. ALL PVC SEWER PIPE SHALL BE SDR-35 CONFORMING TO ASTM D3034.
- ALL WATER PIPING DENOTED SHALL BE TYPE K COPPER CONFORMING TO ASTM B88.
- ALL SANITARY SEWER MUST MEET THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE PUBLIC IMPROVEMENT STANDARDS.



⑧ SITE KEYNOTES

- PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED ACCESS EASEMENT TO BENEFIT 7340 SAN ANTONIO DR NE

⑦ SANITARY CONSTRUCTION NOTES:

- APPROXIMATE LOCATION OF CONNECTION TO EXISTING 4" PVC SANITARY SEWER LATERAL. INSTALL CLEANOUT PER 4/C5.0 TO CITY OF ALBUQUERQUE STANDARDS. CONTRACTOR TO POTHOLE TO VERIFY MATERIAL, DIAMETER, AND DEPTH OF EXISTING LATERAL. NOTIFY ENGINEER WITH RESULTS. NOTIFY ENGINEER IF INVERT OF EXISTING LATERAL IS HIGHER THAN SHOWN IN THE SANITARY SEWER STRUCTURE TABLE.
- CONSTRUCT 4" SANITARY SEWER CLEANOUT TO GRADE PER 4/C5.0. RIM AND INVERT ELEVATIONS PER SANITARY SEWER STRUCTURE TABLE.
- INSTALL NEW 4" SDR-35 SEWER LATERAL, TYPICAL.
- APPROXIMATE LOCATION OF CONNECTION TO BUILDING. VERIFY FINAL LOCATION WITH PLUMBING DRAWINGS. INSTALL 4" SANITARY SEWER CLEANOUT TO GRADE PER 4/C5.0. RIM AND INVERT ELEVATIONS PER SANITARY SEWER STRUCTURE TABLE. SEE PLUMBING DRAWINGS FOR ADDITIONAL DETAILS.
- INSTALL 4" FLOOR DRAIN AT NEW TRASH ENCLOSURE INSTALLED TO CITY OF ALBUQUERQUE STANDARDS. SEE ARCHITECTURAL AND PLUMBING DRAWINGS FOR DETAILS.
- NOT USED.
- INSTALL GREASE INTERCEPTOR WITH SAMPLE BOX TO CITY OF ALBUQUERQUE STANDARDS. REFER TO ARCHITECTURAL AND PLUMBING PLANS FOR SIZE, TYPE AND VENDOR. RIM AND INVERTS PER SANITARY SEWER STRUCTURE TABLE.
- EXISTING 8" PVC PUBLIC SEWER MAIN
- EXISTING 4" PVC SEWER LATERAL CONTRACTOR TO CLEAN AND JET EXISTING LATERAL AS REQUIRED.
- LOCATION OF EXISTING LATERAL TAP INTO EXISTING MAIN. CONTRACTOR TO POTHOLE TO VERIFY MATERIAL, DEPTH, AND CONDITION OF CONNECTION. INVERT ELEVATION OF EXISTING MAIN ASSUMED TO BE 5363.12 AT THIS LOCATION. CONTRACTOR TO COORDINATE SANITARY SEWER SERVICE WITH PURVEYOR PRIOR TO START OF CONSTRUCTION.
- PER TLC PLUMBING AND UTILITY SEWER INSPECTION FROM SEPTEMBER 2022, EXISTING SEWER LATERAL HAS A BREAK IN THE LINE APPROXIMATELY 30' FROM EXISTING CLEANOUT. CONTRACTOR TO REPLACE DAMAGED PIPE IN KIND TO NEAREST JOINT.

⑦ WATER CONSTRUCTION NOTES:

- APPROXIMATE LOCATION OF CONNECTION TO EXISTING WATER SERVICE STUB. POTHOLE AND VERIFY POINT OF CONNECTION LOCATION, PIPE DIAMETER, PIPE MATERIAL, AND DEPTH PRIOR TO CONSTRUCTION. REPORT RESULTS TO ENGINEER PRIOR TO PROCEEDING WITH ORDERING MATERIALS.
- APPROXIMATE LOCATION OF EXISTING BACKFLOW PREVENTION DEVICE (ASSUMED DOMESTIC). CONTRACTOR TO VERIFY SIZE, TYPE OF DEVICE, AND INTENDED USE PRIOR TO CONSTRUCTION.
- APPROXIMATE LOCATION OF WATER SERVICE CONNECTION TO BUILDING. REFER TO PLUMBING PLANS FOR FINAL LOCATION.
- APPROXIMATE LOCATION OF EXISTING BACKFLOW PREVENTION DEVICE (ASSUMED IRRIGATION). CONTRACTOR TO VERIFY SIZE, TYPE OF DEVICE, AND INTENDED USE PRIOR TO CONSTRUCTION.
- APPROXIMATE LOCATION OF IRRIGATION SERVICE STUB. SEE LANDSCAPE DRAWINGS FOR CONTINUATION.
- LOCATION OF EXISTING WATER METERS SERVICING SITE. CONTRACTOR TO VERIFY QUANTITY OF METERS, CURRENT CONNECTION STATUS, AND SIZE PRIOR TO CONSTRUCTION. CONTRACTOR TO COORDINATE WATER SERVICE WITH PURVEYOR PRIOR TO START OF CONSTRUCTION.
- EXISTING FIRE HYDRANT.
- INSTALL 40 LF 1.5" TYPE K WATER LINE FROM CITY APPROVED MATERIALS LIST
- EXISTING 10" PVC WATER MAIN

⑧ DRY UTILITIES CONSTRUCTION NOTES:

- INSTALL ELECTRICAL CONNECTION TO NEW TRANSFORMER. PURVEYOR TO REPLACE EXISTING TRANSFORMER. CONTRACTOR TO INSTALL SECONDARY ROUTING TO NEW TRANSFORMER. CONTRACTOR SHALL COORDINATE SCOPE OF WORK WITH MEP PLANS AND PURVEYOR PRIOR TO CONSTRUCTION.
- INSTALL CONNECTION TO TELECOMMUNICATIONS SERVICE. CONTRACTOR TO COORDINATE SCOPE OF WORK WITH MEP PLANS AND PURVEYOR PRIOR TO CONSTRUCTION.
- APPROXIMATE LOCATION OF POWER CONNECTION TO BUILDING. CONTRACTOR TO COORDINATE SCOPE OF WORK WITH MEP PLANS AND PURVEYOR PRIOR TO CONSTRUCTION.
- APPROXIMATE LOCATION OF COMMUNICATIONS CONNECTION TO BUILDING. CONTRACTOR TO COORDINATE SCOPE OF WORK WITH MEP PLANS AND PURVEYOR PRIOR TO CONSTRUCTION.
- APPROXIMATE LOCATION OF UNDERGROUND ELECTRICAL CONDUIT, CONSISTING OF 150 LF OF (2) 4" CONDUIT WITH PULL TAPE FOR INSTALLATION. INSTALL (2) RUNS OF 4-350 KCMIL CU. REFER TO ELECTRICAL AND PURVEYOR DRAWINGS FOR ADDITIONAL DETAILS.
- APPROXIMATE LOCATION OF UNDERGROUND TELECOMMUNICATIONS ROUTING, CONSISTING OF 150 LF OF (1) 4" CONDUIT WITH PULL TAPE FOR INSTALLATION. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL DETAILS.
- APPROXIMATE LOCATION OF PULLBOX
- EXISTING DRY UTILITY LINE TO BE PROTECTED

SANITARY SEWER STRUCTURE TABLE	
5	FLOOR DRAIN, RIM=5380.09 IE=5376.52 (4" OUT N)
7	GI, RIM=5381.14 IE=5375.35 (4" IN NW) IE=5375.35 (4" OUT SE)
7	SAMPLE PORT, RIM=5381.19 IE=5375.30 (4" IN NW) IE=5375.13 (4" OUT SE)
6	SSCO#1, RIM=5382.98 IE=5379.50 (4" OUT NW)
4	SSCO#2, RIM=5382.98 IE=5379.50 (4" OUT NW)
1	SSCO#3, RIM=5382.24 IE=5378.74 (4" IN SE) IE=5377.52 (4" IN SW) (EXISTING)
2	SSCO#4, RIM=5382.24 IE=5378.74 (4" IN SE) IE=5378.74 (4" OUT SW)
2	SSCO#5, RIM=5380.03 IE=5376.29 (4" IN S) IE=5376.29 (4" OUT NE)
2	SSCO#6, RIM=5380.52 IE=5375.59 (4" IN SW) IE=5375.59 (4" OUT NE)
2	SSCO#7, RIM=5381.07 IE=5375.50 (4" IN SW) IE=5375.50 (4" IN NE) IE=5375.50 (4" OUT SE)
1	SSCO#8, RIM=5381.29 IE=5374.70 (4" IN NW) IE=5374.70 (4" IN NE) IE=5374.70 (4" OUT SW) (EXISTING) (EXISTING)

UTILITY LOCATION NOTE:

WATER LINES, CONDUITS FOR ELECTRICAL, OR OTHER UTILITIES SHALL BE LOCATED SO AS TO NOT CONFLICT WITH REQUIRED TREE LOCATIONS FOR STREETS AND PARKING LOTS.

UTILITY CROSSING NOTE:

CONTRACTOR SHALL MAINTAIN MINIMUM SEPARATION BETWEEN UTILITIES AS REQUIRED BY JURISDICTIONS HAVING AUTHORITY. CONTRACTOR TO VERIFY SEPARATION REQUIREMENTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

UTILITY CONFLICT NOTE:

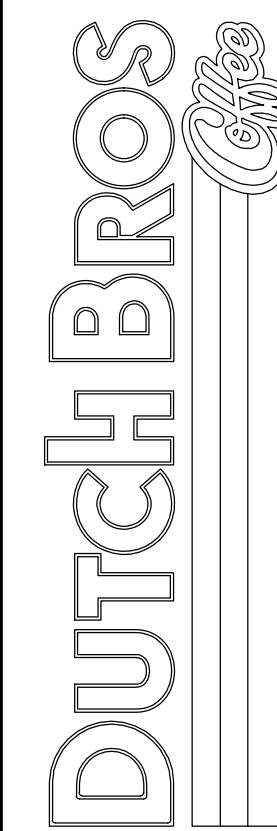
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE 811 AND THEN POTHOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

③ - UTILITY CROSSING NOTE:

CONTRACTOR TO MAINTAIN MINIMUM 1.5' VERTICAL SEPARATION BETWEEN WATER SERVICE LINES AND ALL OTHER UTILITIES. A MINIMUM OF 1.0' VERTICAL SEPARATION MUST BE MAINTAINED BETWEEN SIDE SEWER AND ALL OTHER UTILITIES WITH THE EXCEPTION OF WATER SERVICE LINES.

UTILITY PLAN
7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109

Title:



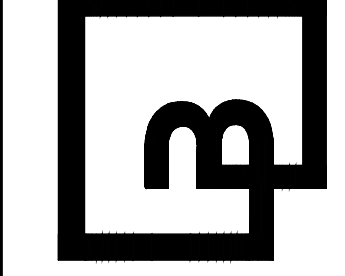
For:



Scale: Horizontal 1" = 20' Vertical N/A

Designed BB Draw BB Checked MTL Approved AEM Date 11/7/24

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

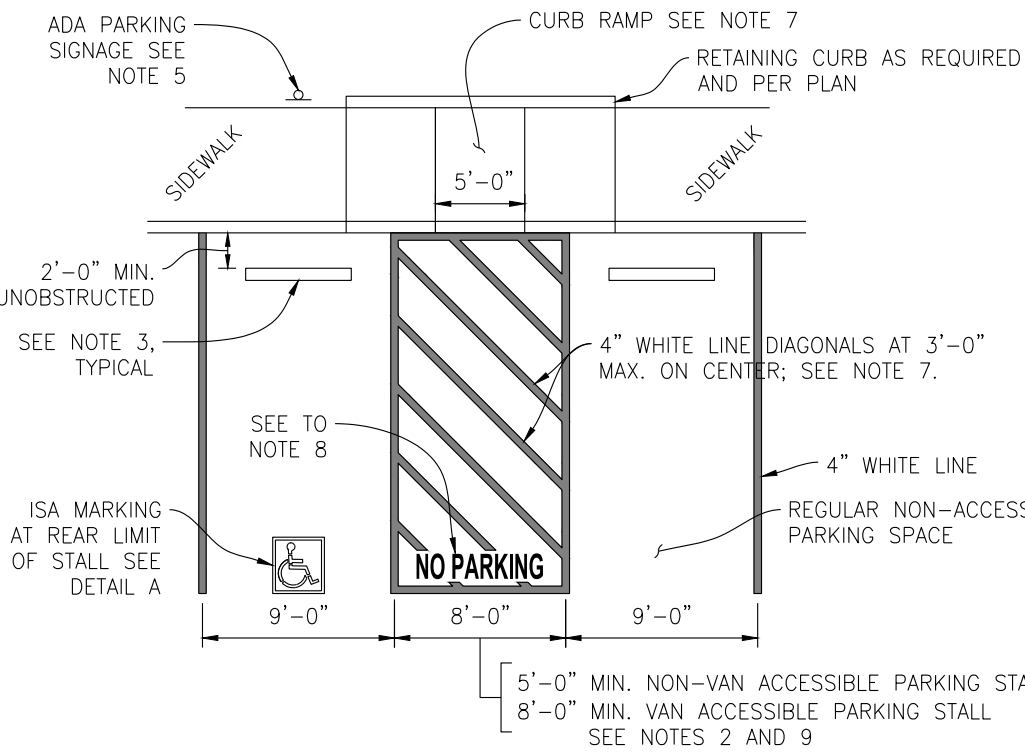


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SINGLE ACCESSIBLE PARKING STALL



Sign R7-8
Size = 12"x18"



Sign R7-8b
See Notes 2 and 6
Size = 12"x9"

OFF-STREET PARKING SIGNS

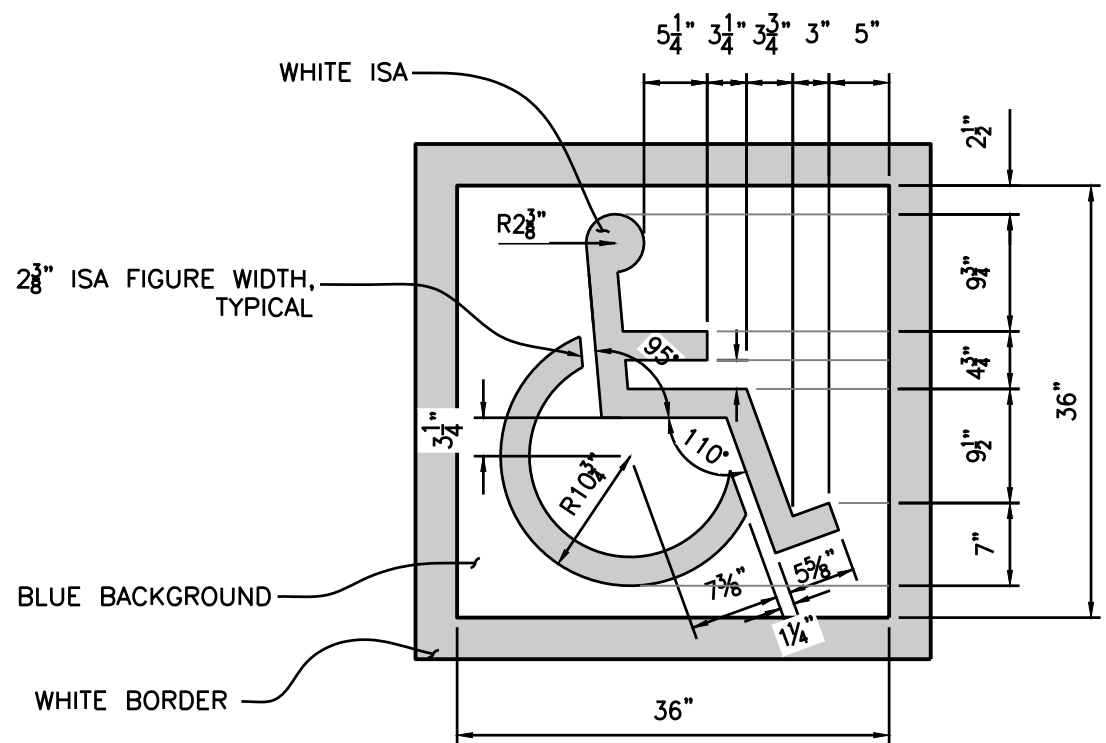
NOTES:

1. ACCESSIBLE PARKING SPACES SERVING A PARTICULAR BUILDING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE ENTRANCE.
2. THE FIRST ONE OUT OF EVERY SIX ACCESSIBLE OFF-STREET ACCESSIBLE PARKING STALLS SHALL BE SERVED BY AN ACCESSIBLE AISLE OF 8'-0" MINIMUM WIDTH AND SHALL BE SIGNED VAN ACCESSIBLE. THE R7-8B SIGN SHALL BE MOUNTED BELOW THE R7-8 PLAQUE.
3. IN EACH PARKING STALL, A CURB OR PARKING BUMPER SHALL BE PROVIDED IF REQUIRED TO PREVENT ENCROACHMENT OF VEHICLES OVER THE REQUIRED WIDTH OF WALKWAYS. PARKING STALLS SHALL BE SO LOCATED THAT PERSONS WITH DISABILITIES ARE NOT COMPELLED TO WHEEL OR WALK BEHIND PARKED VEHICLES OTHER THAN THEIR OWN.
4. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES DESIGNED TO NOT EXCEED 1.5% IN ANY DIRECTION (CONSTRUCTED SURFACES SLOPES SHALL NOT EXCEED 2.0% IN ANY DIRECTION).
5. WHERE PLAQUE R7-8, OR SIGN R7-8B ARE INSTALLED, THE BOTTOM OF THE SIGN OF PLAQUE SHALL BE A MINIMUM OF 7'-0" ABOVE THE SURROUNDING SURFACE. INSTALL IN CONFORMANCE WITH CITY STANDARD DETAIL 700-11 AND 700-12.
6. CURB RAMP SHALL BE AS REFERENCED PER PLAN AND SHALL BE CONSTRUCTED COMPLYING WITH DETAIL 2 OF C5.0.
7. BLUE PAINT, INSTEAD OF WHITE MAY BE USED FOR MARKING ACCESSIBILITY AISLES IN AREAS WHERE SNOW MAY CAUSE VISIBILITY ISSUES WITH WHITE MARKINGS.
8. THE WORDS "NO PARKING", SHALL BE PAINTED IN WHITE LETTERS NO LESS THAN 1'-0" TALL AND 2" WIDE AND LOCATED AT THE REAR OF PARKING SPACE.
9. ALL SINGLE SPACE ACCESSIBLE PARKING SPACES SHALL PROVIDE, THE LOADING AND UNLOADING ACCESS AISLE ON THE PASSENGER SIDE OF THE VEHICLE.
10. ACCESSIBLE PARKING ONLY SIGN SHALL BE SIGN R7-8. VAN ACCESSIBLE PLAQUE SHALL BE R7-8A OF THE M.U.T.C.D. AND INSTALL IN CONFORMANCE WITH CITY STANDARD DETAIL 700-11 AND 700-12.

NOTE: ISA = INTERNATIONAL SYMBOL OF ACCESSIBILITY

1 ACCESSIBLE PARKING DETAILS

C5.0 NOT TO SCALE



PAVEMENT INTERNATIONAL SYMBOL OF ACCESSIBILITY NOTES:

- A. SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL.
- B. BOTTOM OF SYMBOL TO BE LOCATED FLUSH WITH ACCESS DRIVE, CENTERED ON PARKING SPACE.
- C. SYMBOL IS REQUIRED TO CONTRAST WITH BACKGROUND.

6 INTERNATIONAL SYMBOL OF ACCESSIBILITY

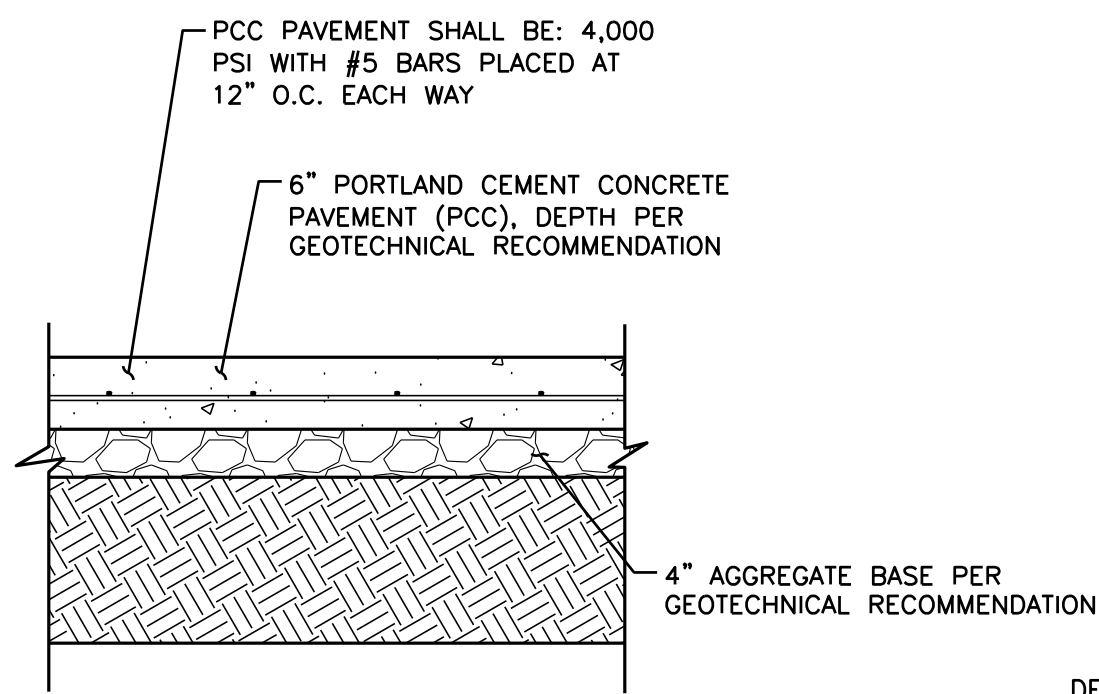
C5.0 NOT TO SCALE



DUTCH BROS COFFEE - NM0504, ALBUQUERQUE, NM

7330 SAN ANTONIO DRIVE N.E.

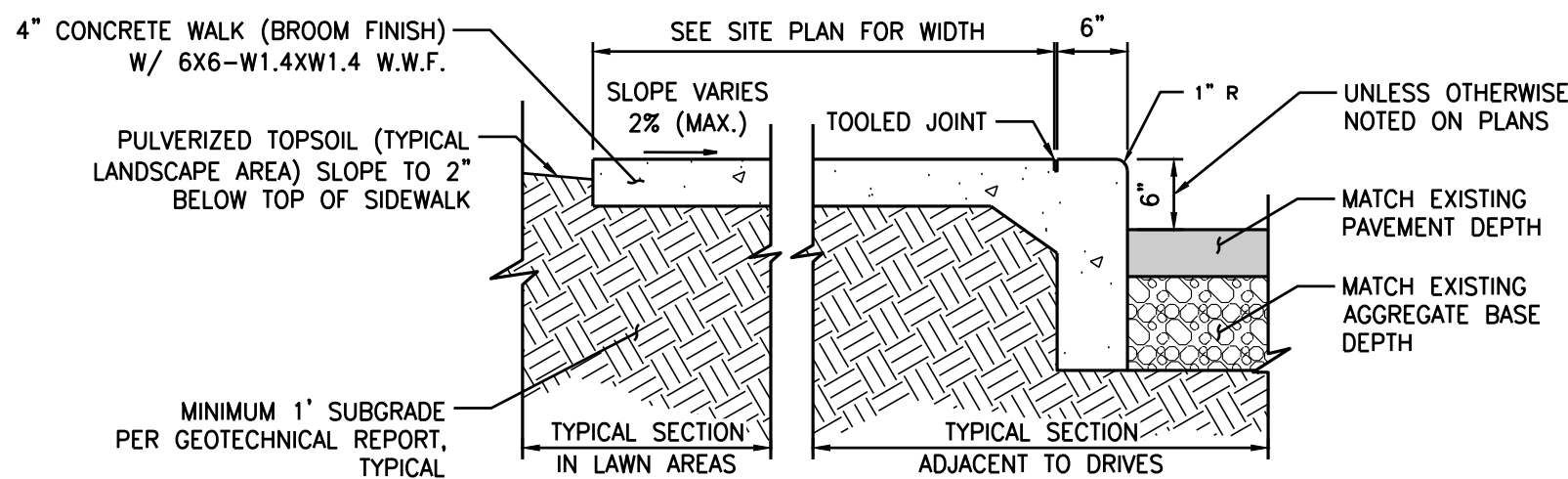
NOTES AND DETAILS



NOTE:
ALL PORTLAND CEMENT CONCRETE PAVEMENT (PCC) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.

2 PCC PAVING SECTION

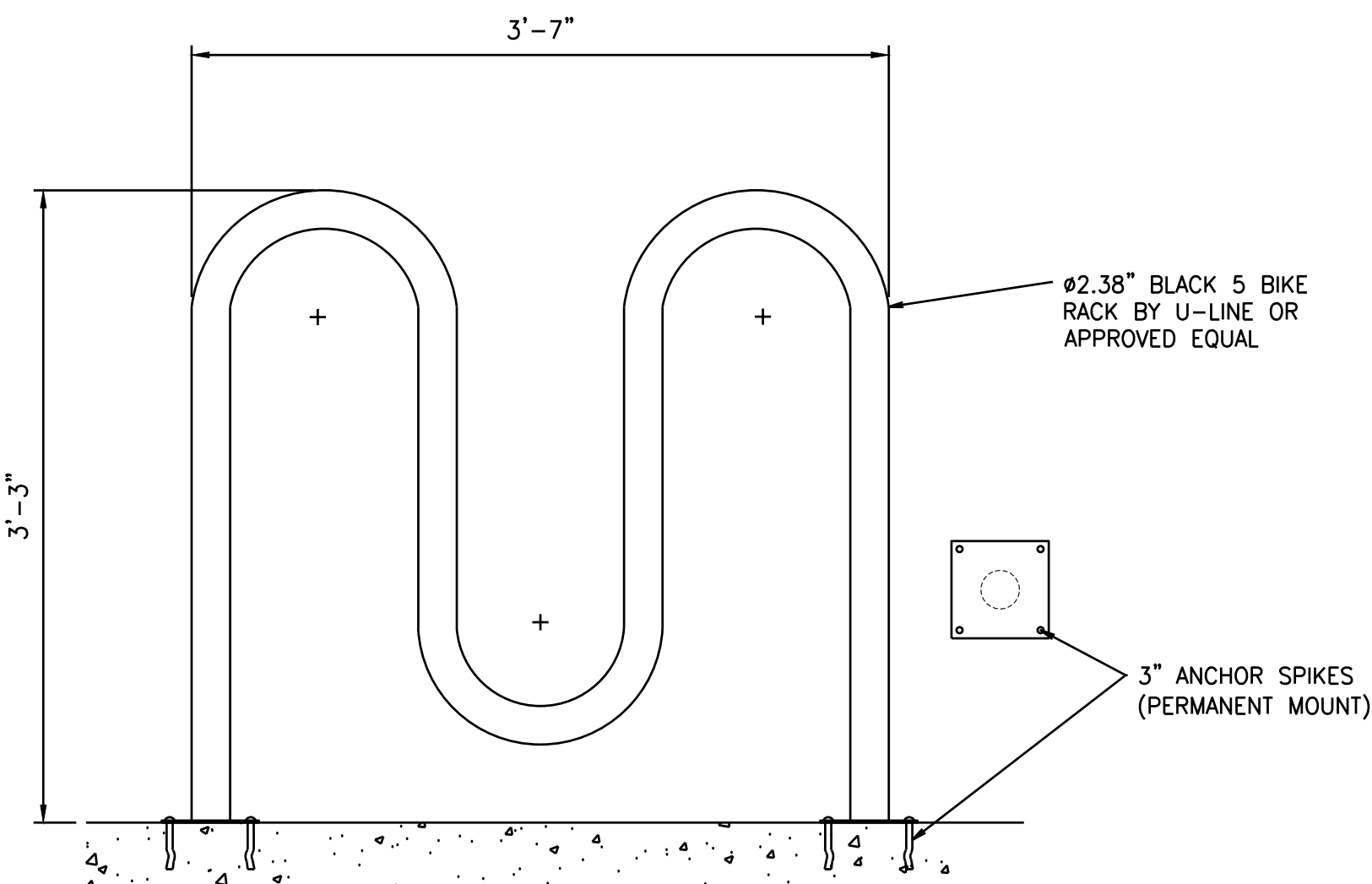
C5.0 NOT TO SCALE



- NOTES:
- A. SIDEWALKS VARY IN WIDTH. CONTROL JOINTS TO BE PLACED AT SPACING EQUAL TO SIDEWALK WIDTH.
 - B. PROVIDE EXPANSION JOINTS AT 28' TO 30' O.C. MAXIMUM.
 - C. WHEN WALK IS ADJACENT TO THE BUILDING PROVIDE 3/8" X 4" IMPREGNATED FIBERBOARD.
 - D. ALL PORTLAND CEMENT CONCRETE PAVEMENT (PCC) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORTS.

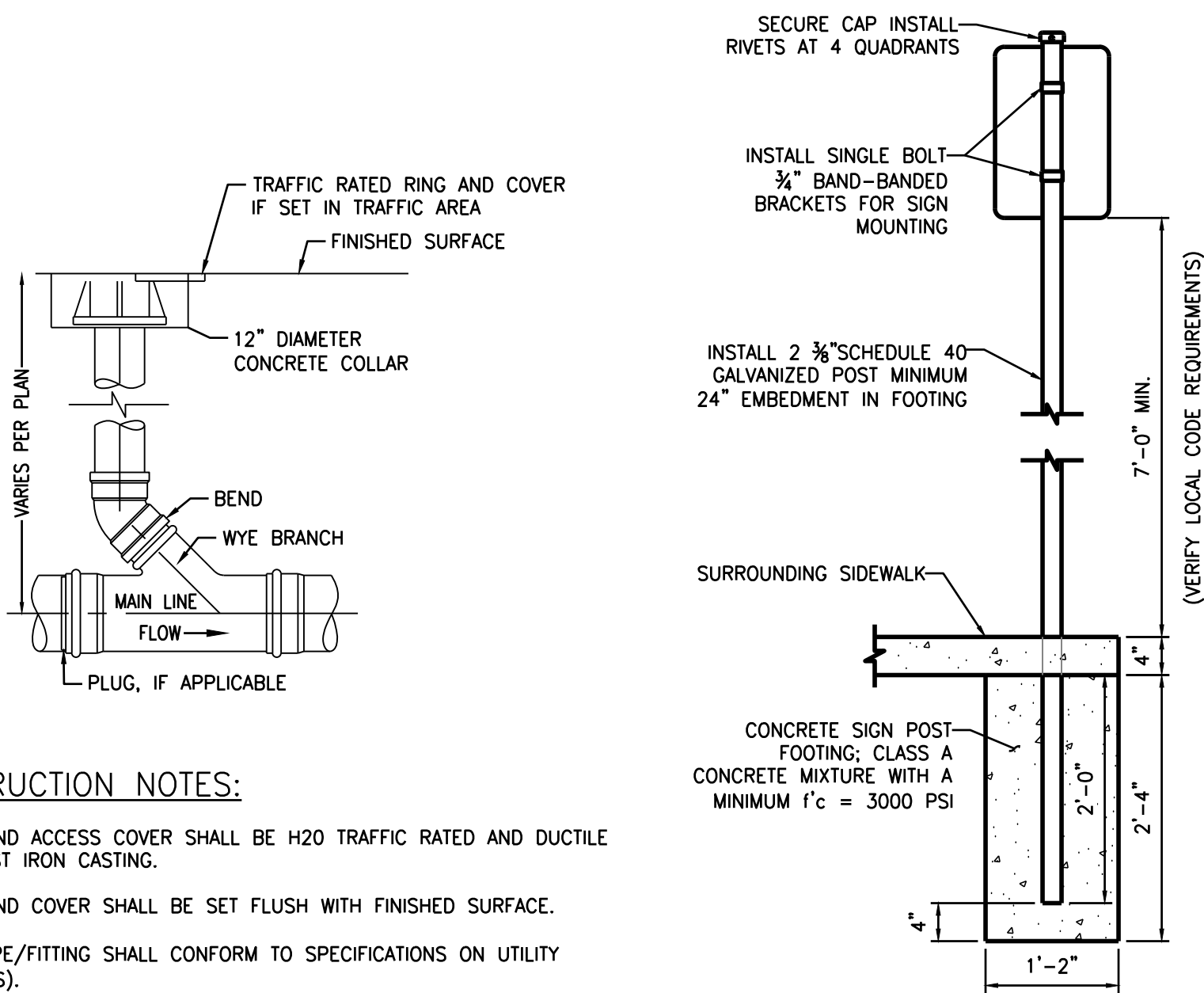
7 ON-SITE CONCRETE SIDEWALK

C5.0 NOT TO SCALE



10 SHORT TERM BICYCLE PARKING

C5.0 NOT TO SCALE

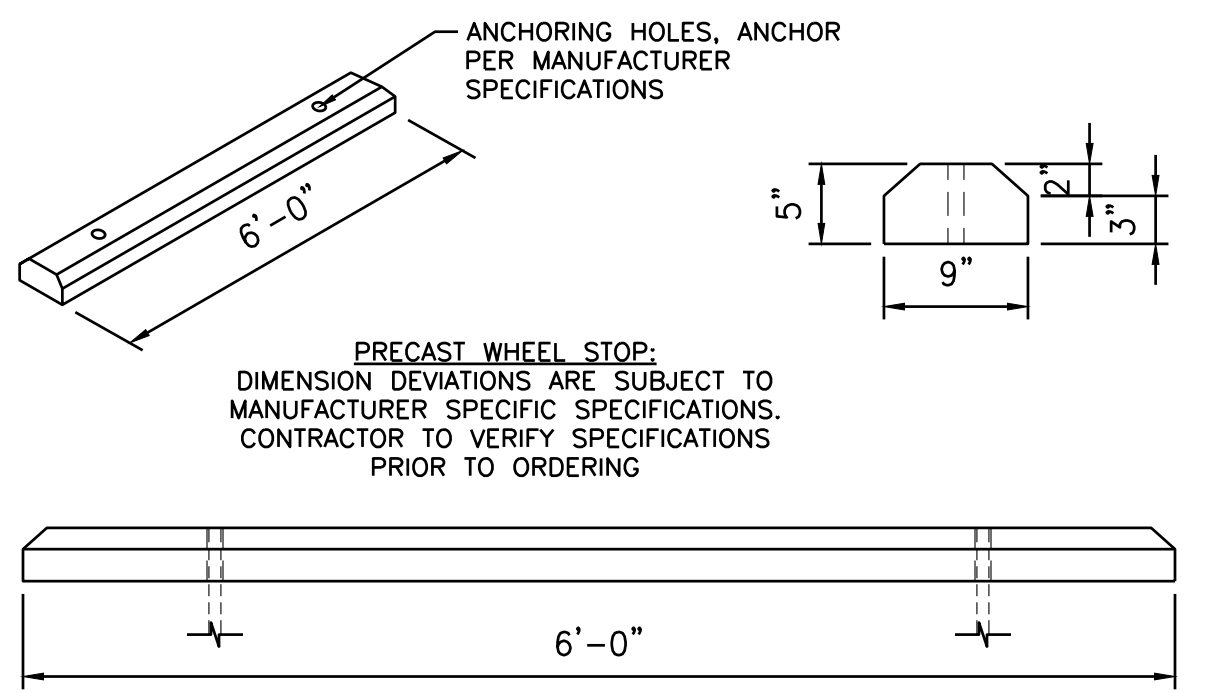


CONSTRUCTION NOTES:

1. RING AND ACCESS COVER SHALL BE H20 TRAFFIC RATED AND DUCTILE OR CAST IRON CASTING.
2. RING AND COVER SHALL BE SET FLUSH WITH FINISHED SURFACE.
3. ALL PIPE/FITTING SHALL CONFORM TO SPECIFICATIONS ON UTILITY SHEET(S).

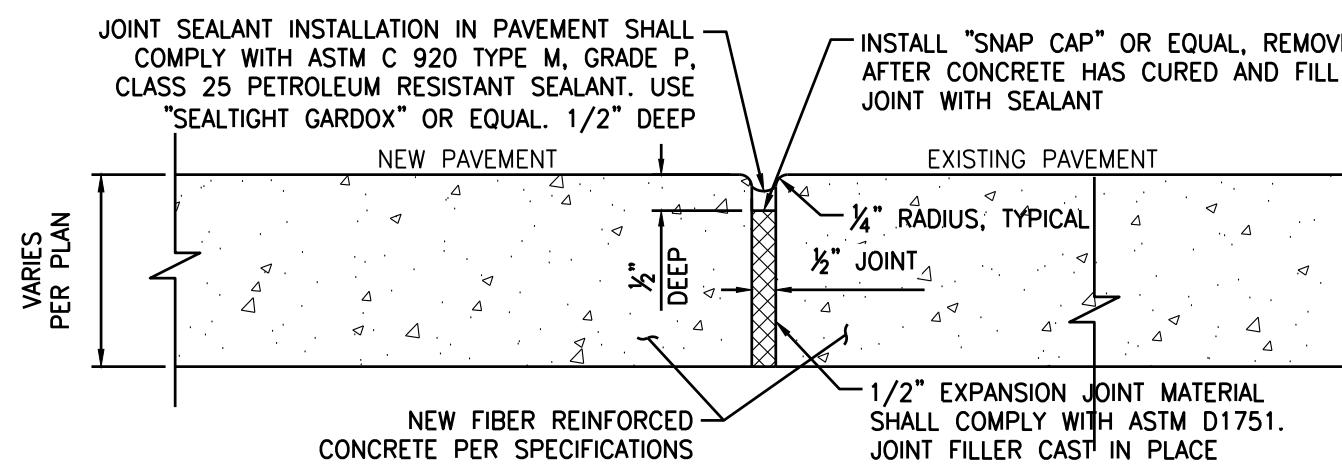
4 CLEANOUT

C5.0 NOT TO SCALE

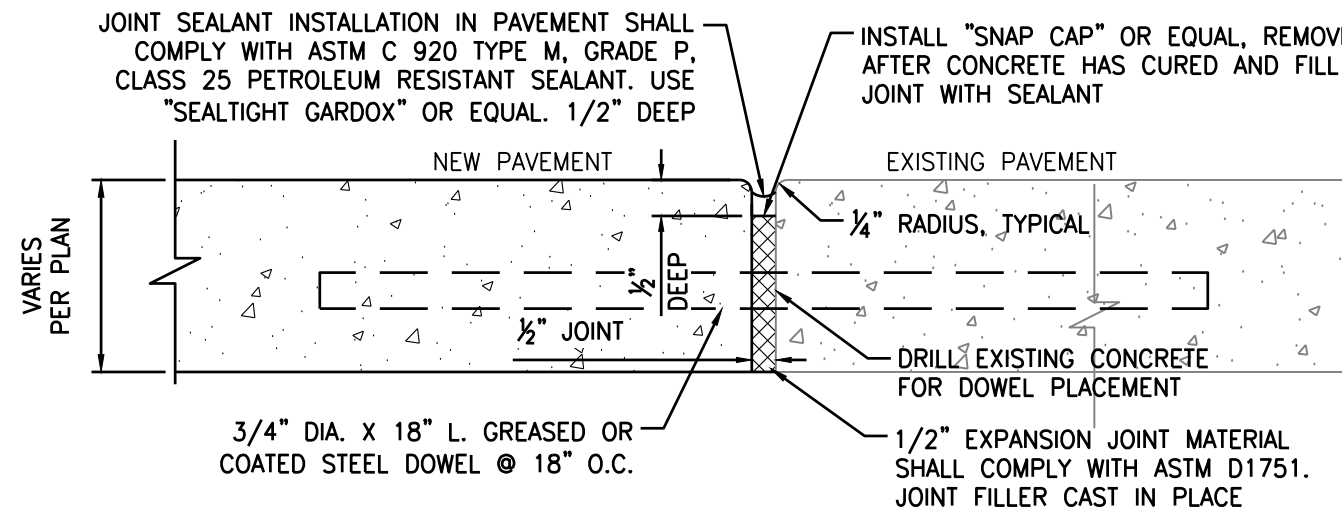


12 WHEEL STOP

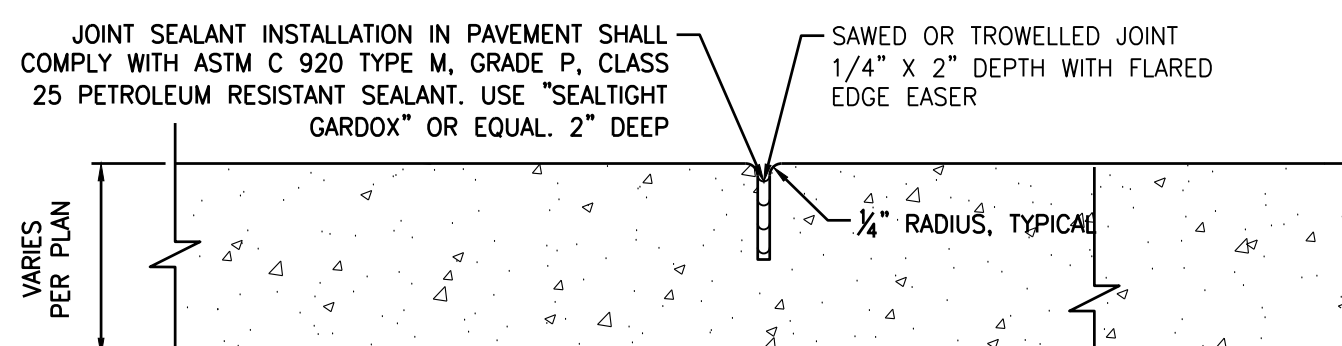
C5.0 NOT TO SCALE



CONSTRUCTION JOINT



EXPANSION JOINT (TYPICAL)



CONTROL JOINT

11 CONCRETE JOINTING

C5.0 NOT TO SCALE

8 NEW MEXICO ADA PARKING SIGN (SIZE: 12"X18")

C5.0 NOT TO SCALE

9 12"X18" MOTORCYCLE PARKING ONLY SIGN

C5.0 NOT TO SCALE

Title:

DUTCH BROS

For:

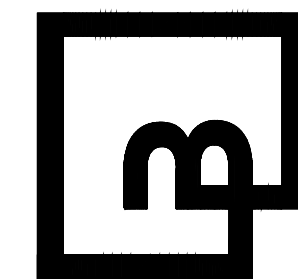


Scale:

Horizontal N/A Vertical N/A

Designed BB Draw BB Checked MTL Approved AEM Date 11/7/24

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Kent, WA 98032
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barghausen.com



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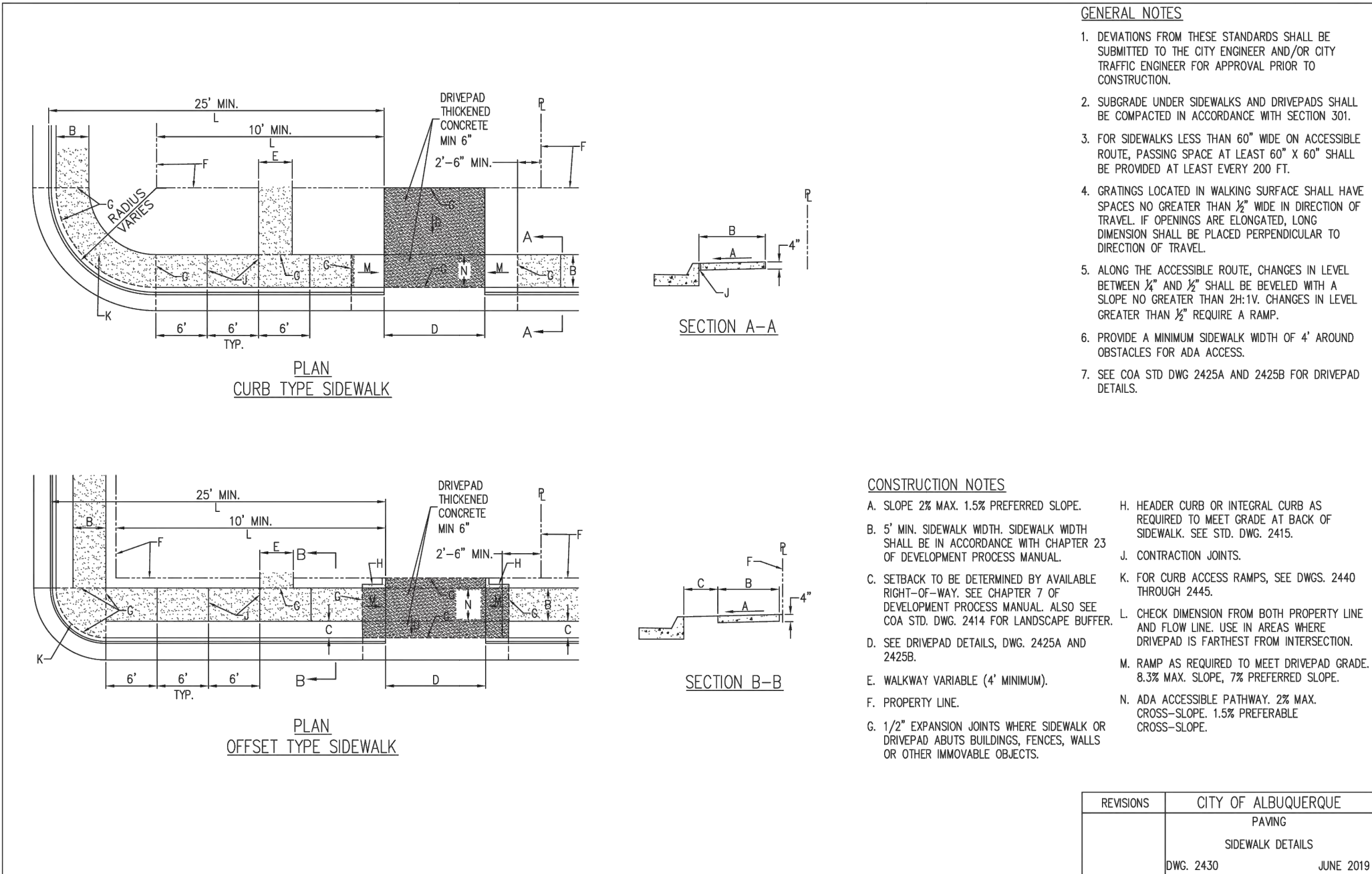


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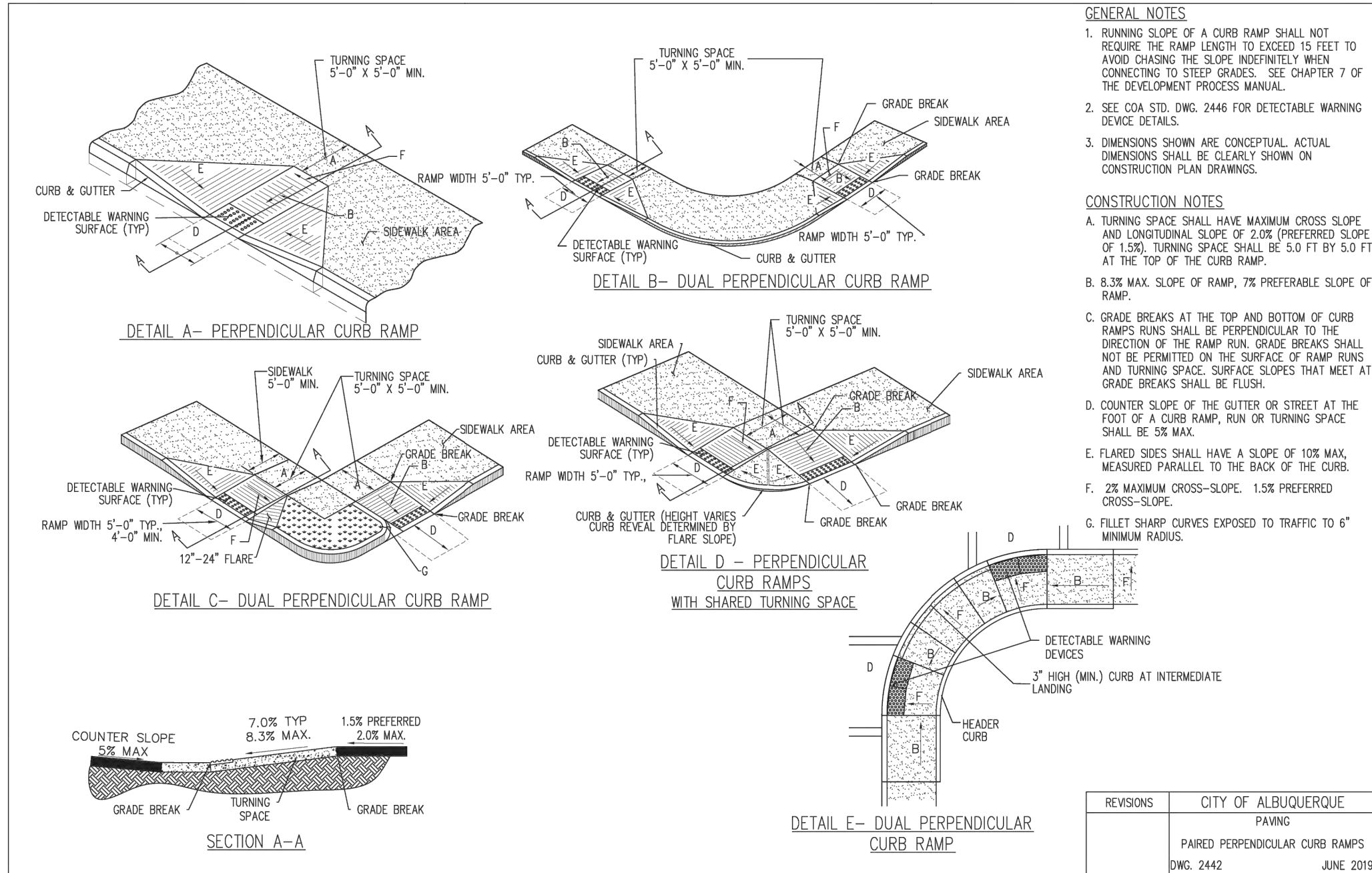
7330 SAN ANTONIO DRIVE N.E.

NOTES AND DETAILS



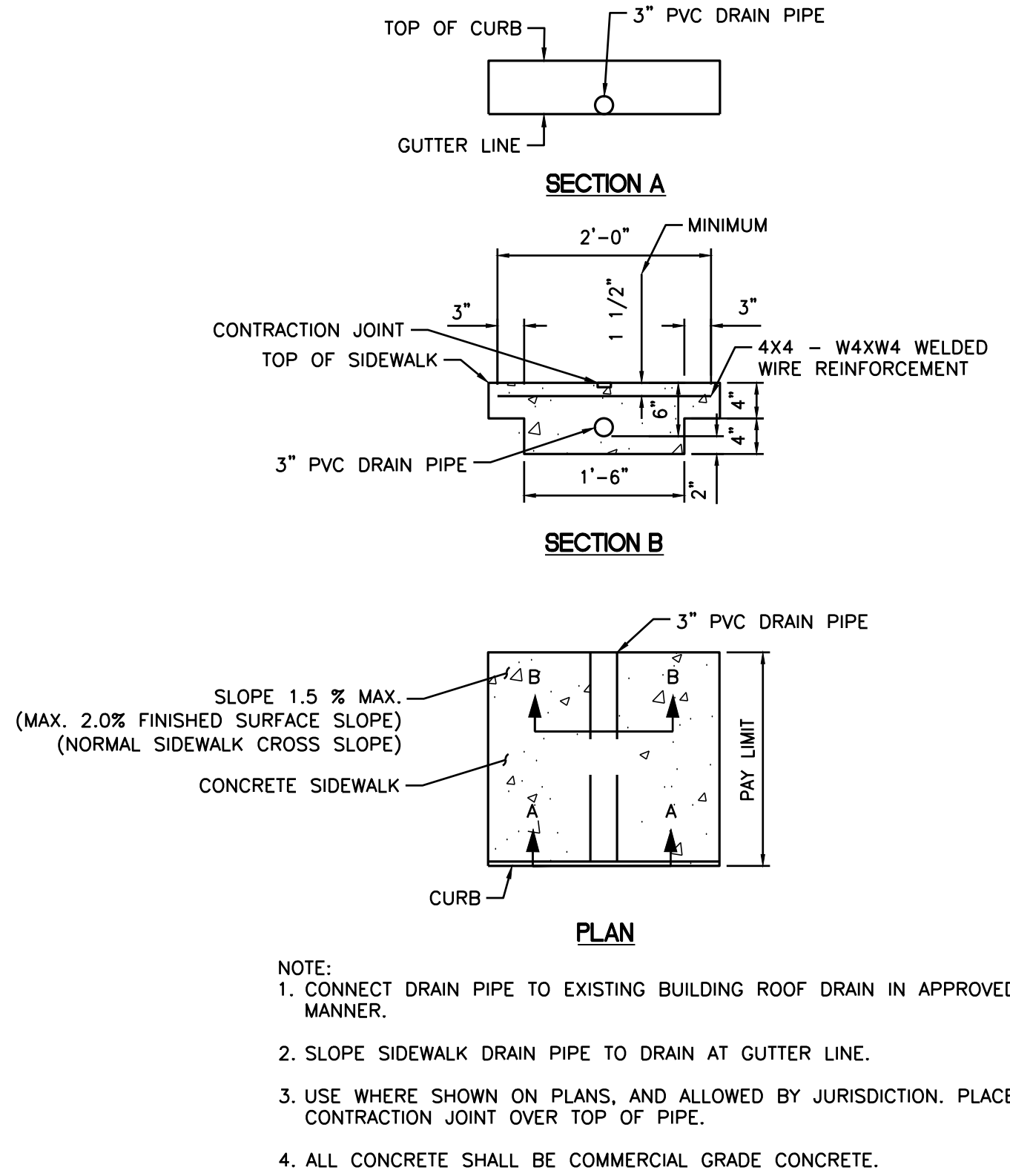
PUBLIC SIDEWALK

NOT TO SCALE



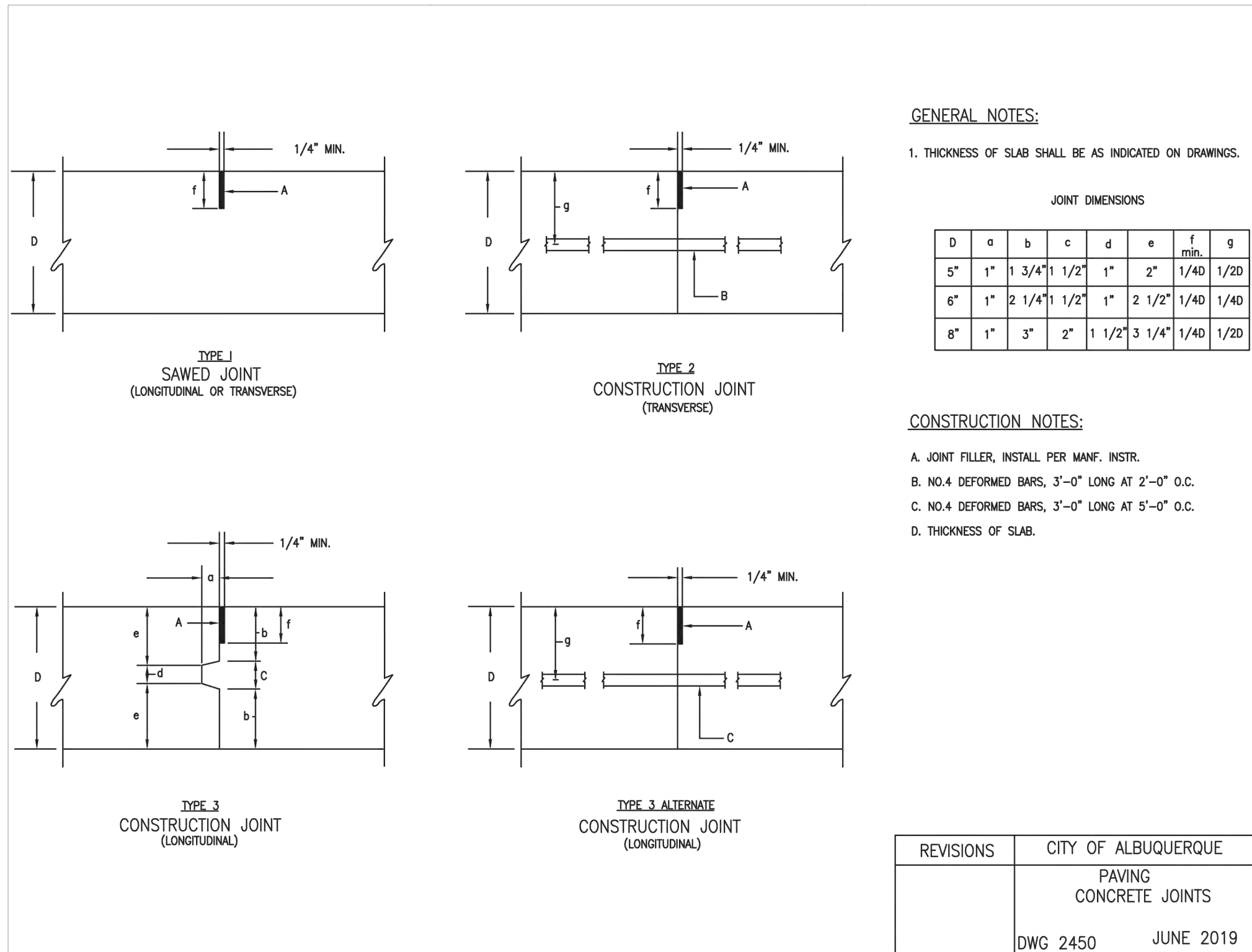
ACCESSIBLE CURB RAMP DETAILS

NOT TO SCALE



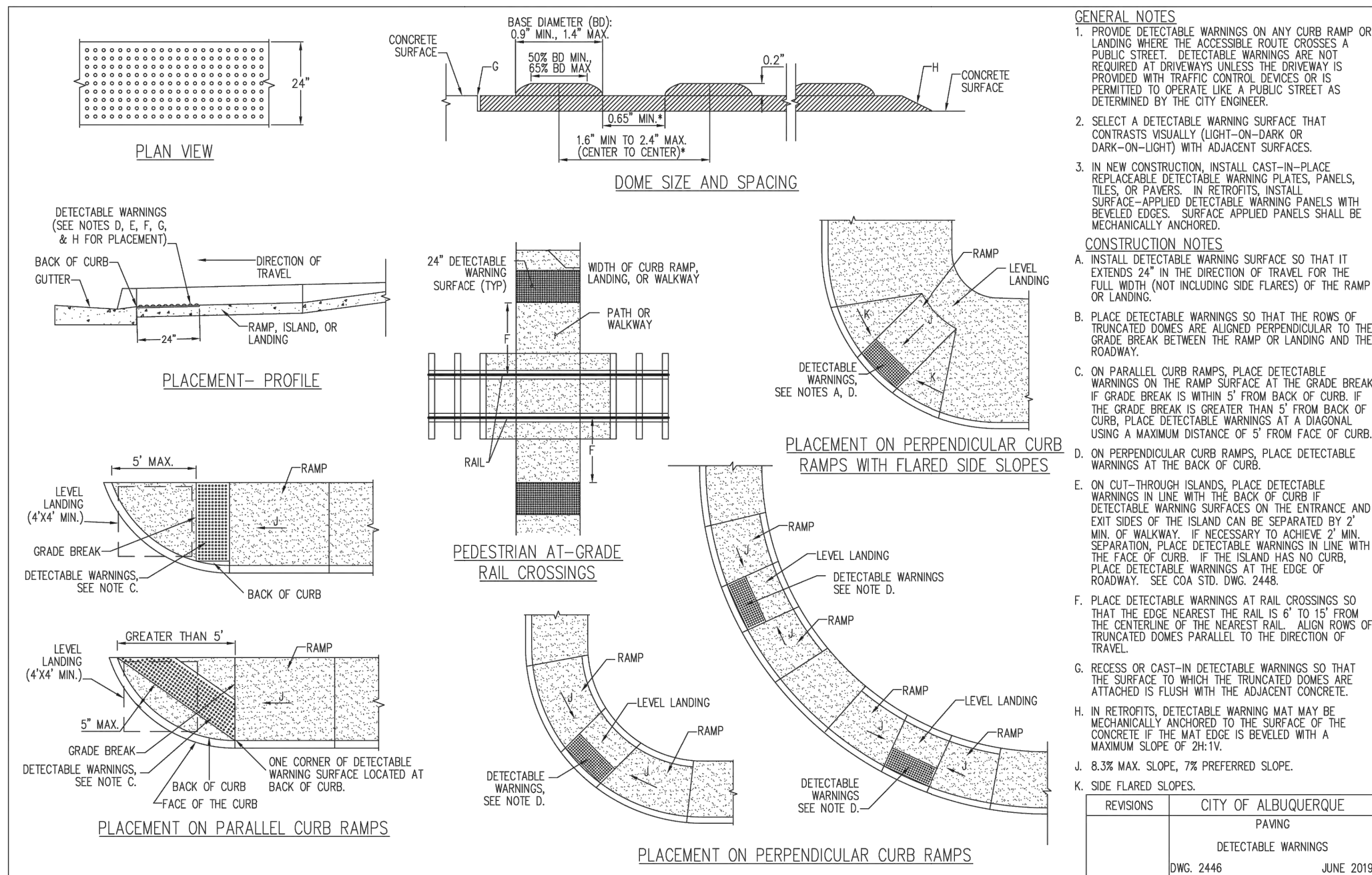
SIDEWALK UNDERDRAIN

NOT TO SCALE



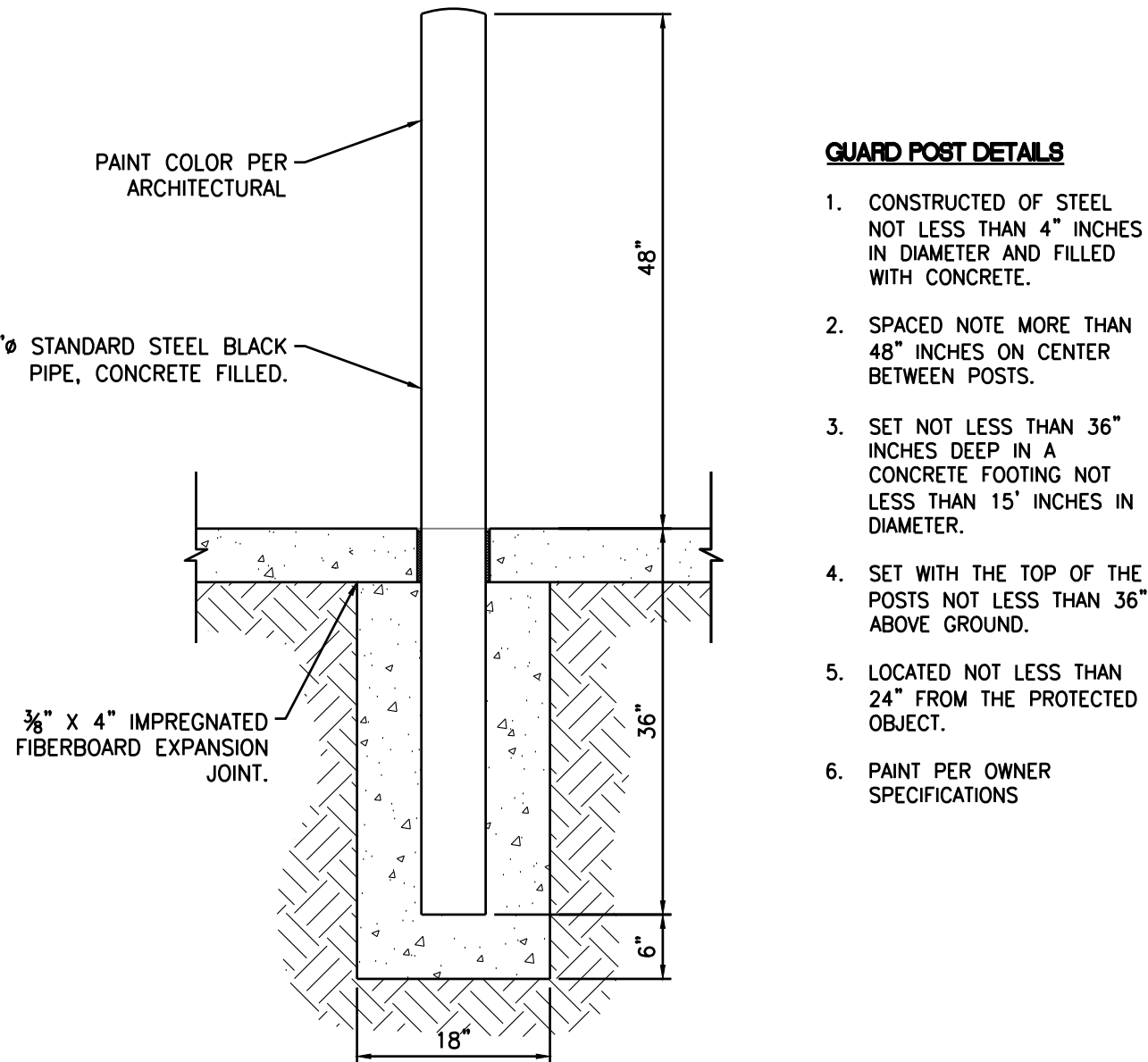
PUBLIC SIDEWALK CONCRETE JOINTS

NOT TO SCALE



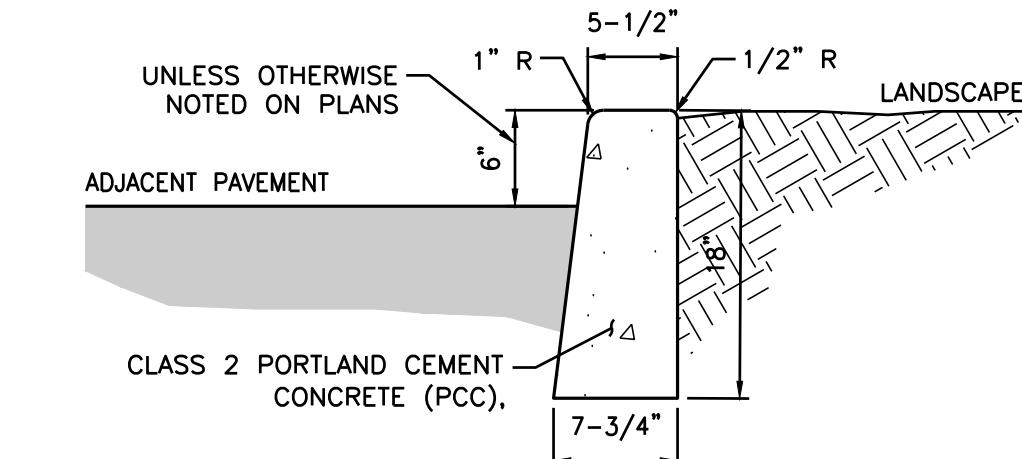
DETECTABLE WARNINGS

NOT TO SCALE



TYPICAL GUARD POST

NOT TO SCALE

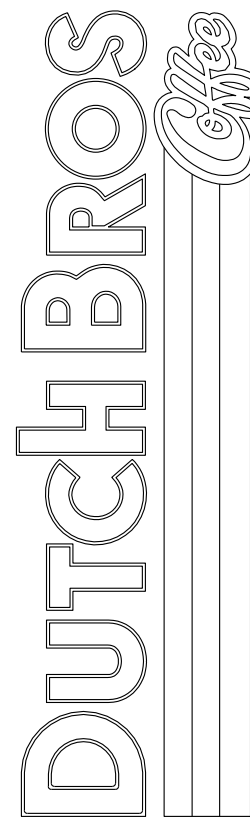


ON-SITE BARRIER CURB

NOT TO SCALE

NOTES AND DETAILS
7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109

Title:



For:

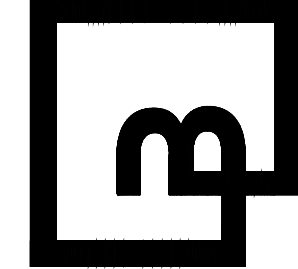


11/07/2024

Scale: Horizontal N/A Vertical N/A

Designed BB Draw BB Checked MTL Approved AEM Date 11/7/24

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425-251-6222
barghausen.com



Job Number
Sheet
C5.1
2019 DB
Franchising USA, LLC

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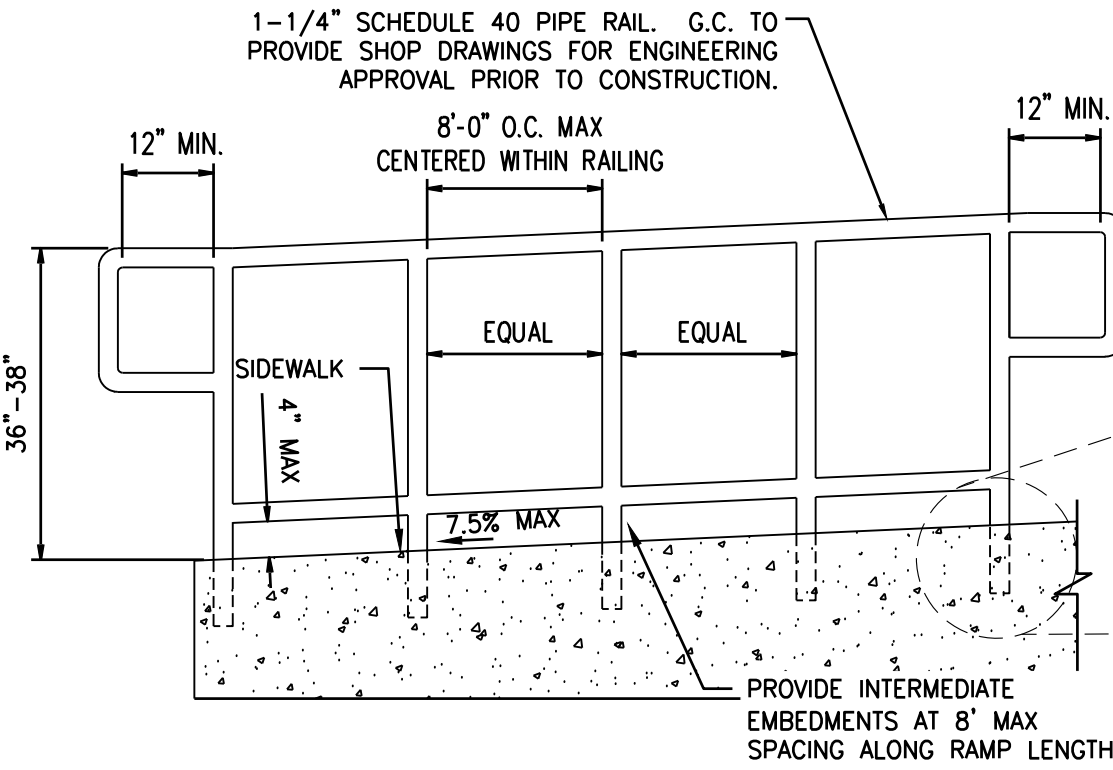


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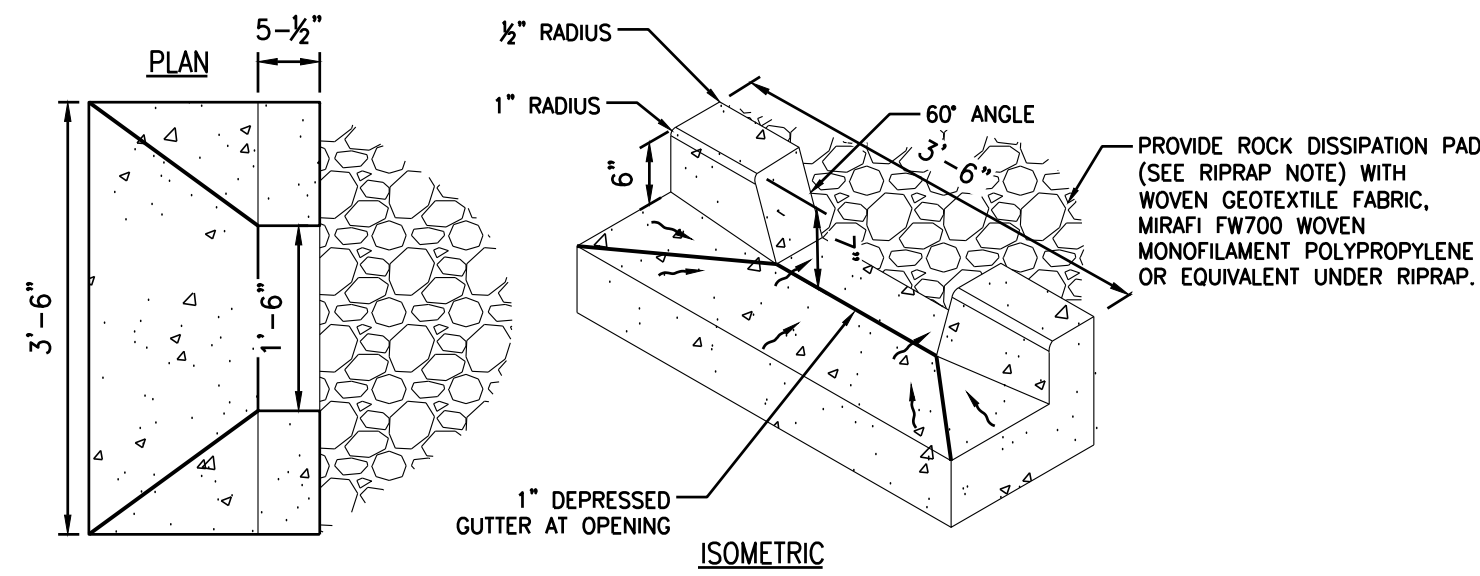
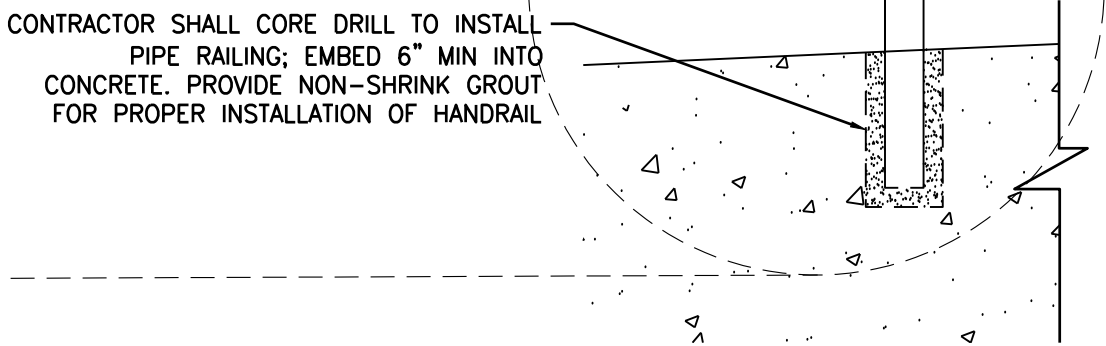
DUTCH BROS COFFEE - NM0504, ALBUQUERQUE, NM

7330 SAN ANTONIO DRIVE N.E.

NOTES AND DETAILS

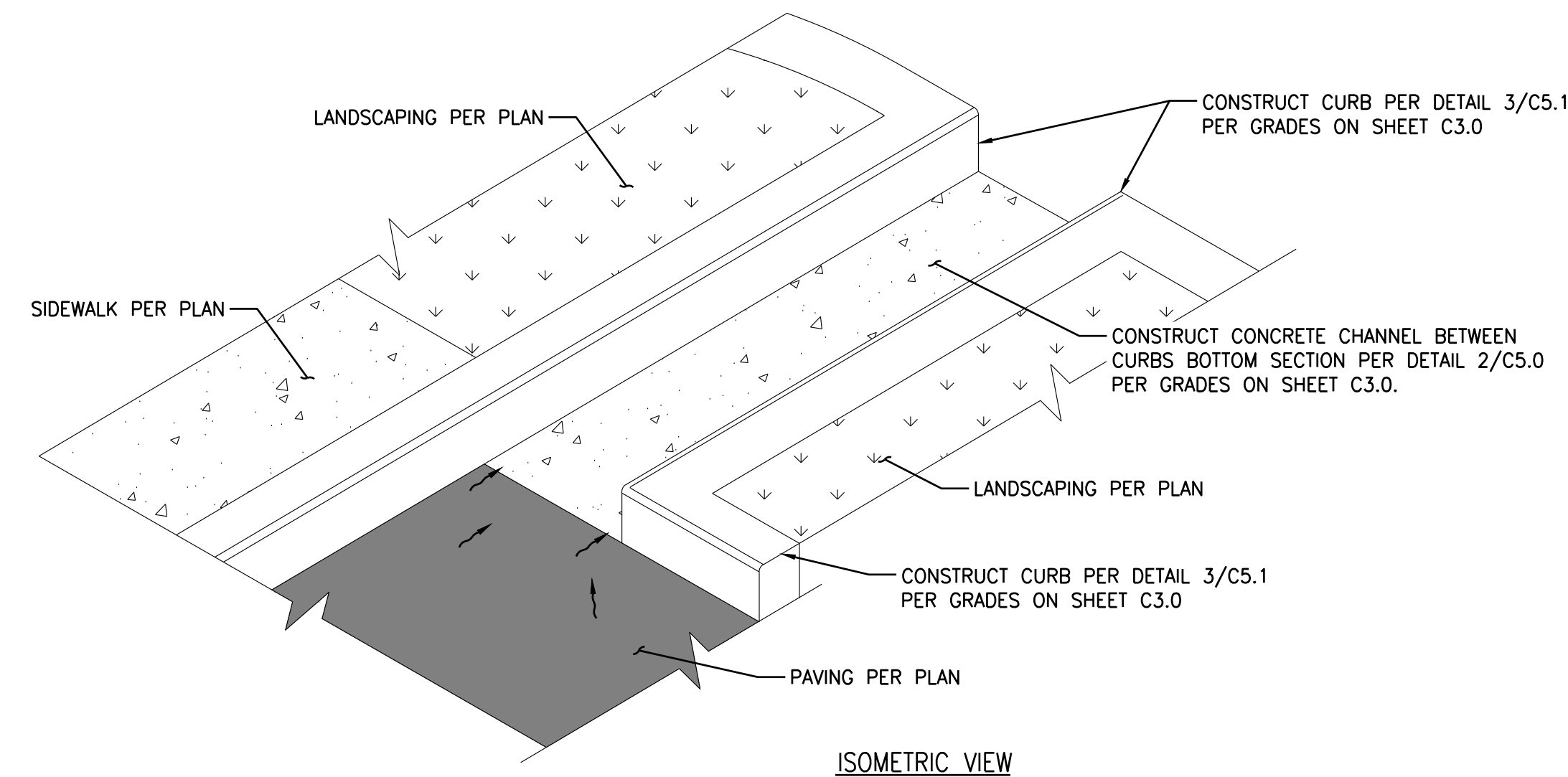


5 RAMP WITH HANDRAIL
NOT TO SCALE

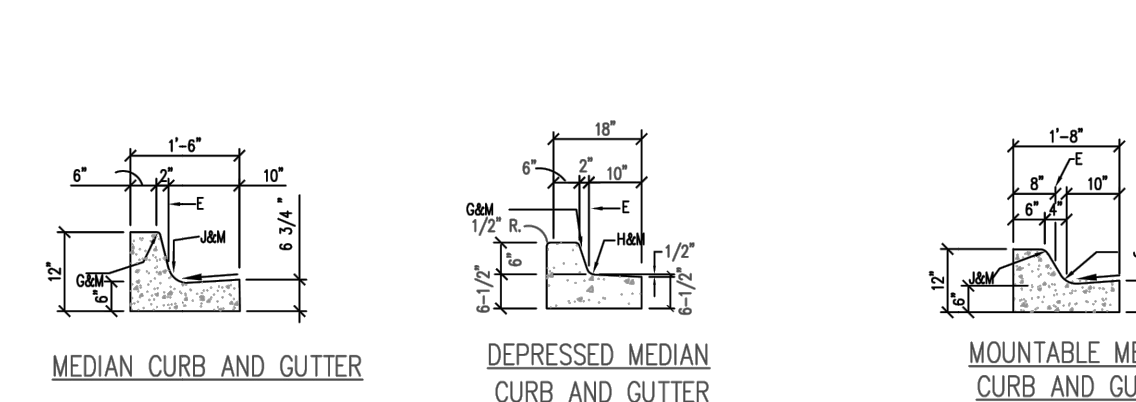
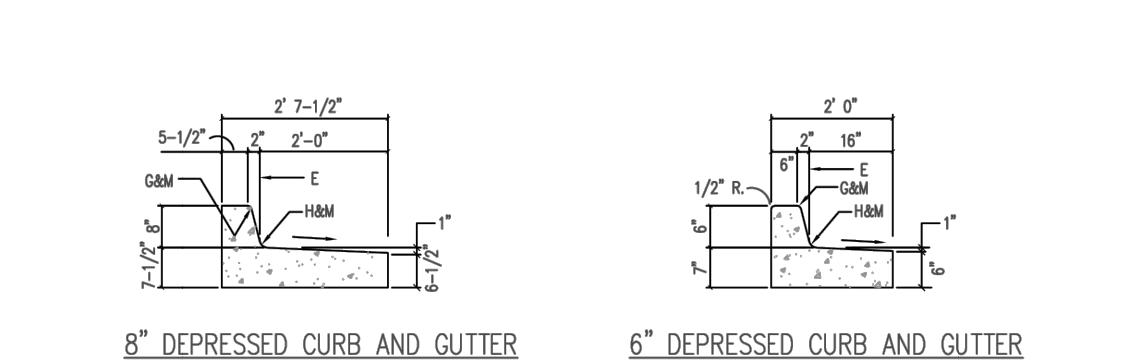
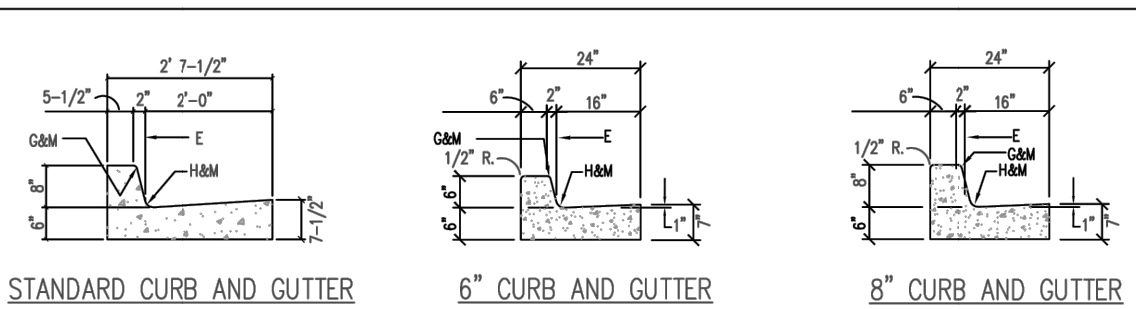


RIPRAP NOTE:
CONTRACTOR TO INSTALL GROUTED RIP-RAP PAD. RIP-RAP GRAVEL SHALL CONSIST OF R3 AND R4 OR EQUIVALENT SIZED ANGULAR GRAVEL. CONTRACTOR SHALL GROUT RIP-RAP PAD AFTER INSTALLED TO CONFIRM PAD WILL REMAIN IN LOCATION AS DESIGNED. RIP-RAP PAD SHALL BE GROUTED PER MEANS AND METHODS APPROPRIATE IN THE FIELD.

6 ON-SITE CURB CUT
NOT TO SCALE



7 SIDEWALK THROUGH-CUT
NOT TO SCALE



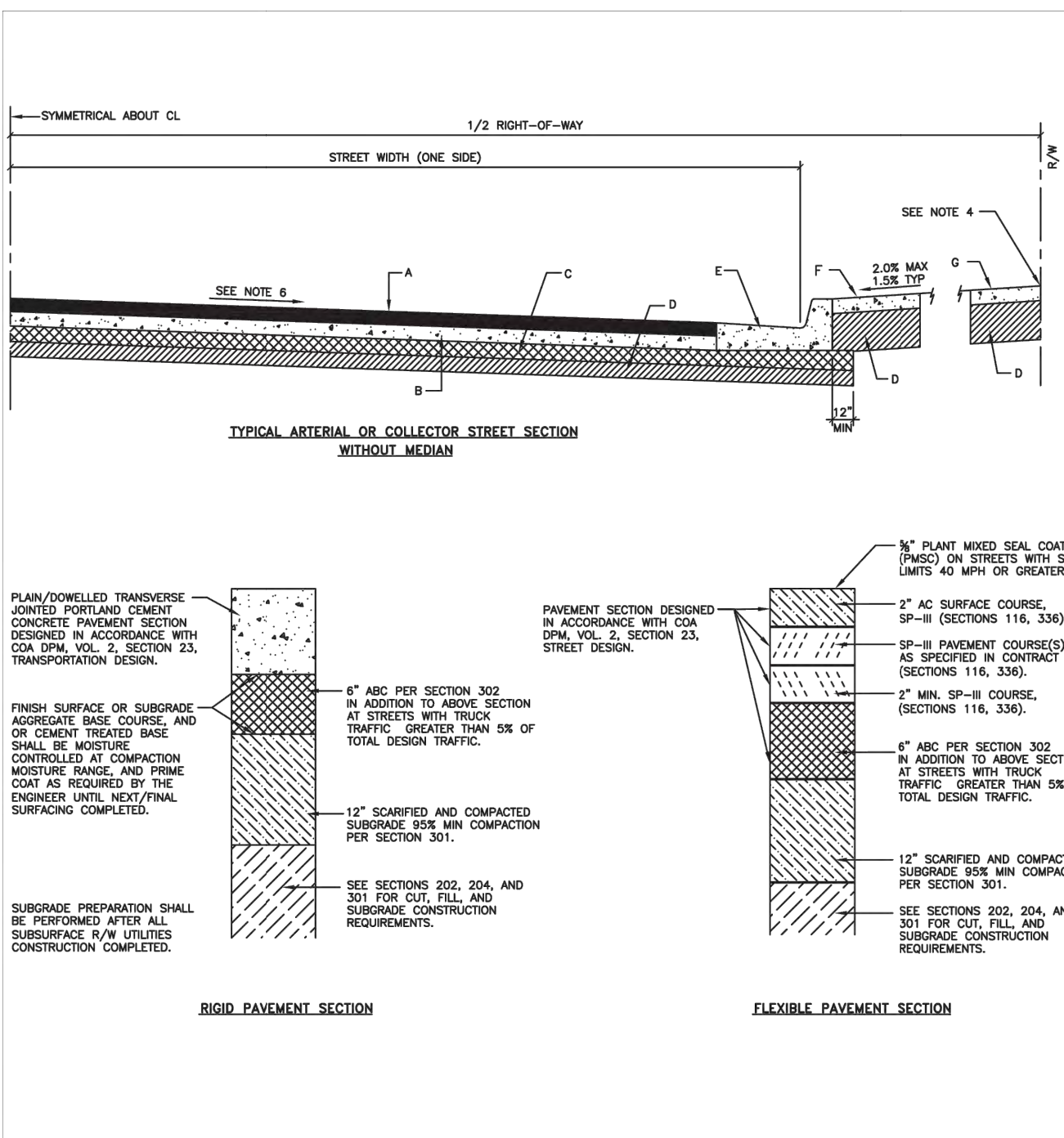
GENERAL NOTES:

- CURB, GUTTER AND CUT-OFF WALL WILL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC).
- FOR STANDARD AND MOUNT C & G ADJACENT TO ASPHALT CONCRETE (AC) PAVEMENT, PROVIDE CONTRACTION JOINTS AT 12' MAX SPACING. 1/2" EXPANSION JOINTS AT CURB RETURNS & AT A MAXIMUM SPACING OF 100' BETWEEN CURB RETURNS & EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JOINTS SHALL BE EITHER SAVED OR TOoled A MINIMUM OF 1" DEEP AT FINISHED FACES. 1/2" EXPANSION JOINTS TO BE INSTALLED AT CURB RETURNS AND AT A MAXIMUM SPACING OF 200' BETWEEN CURB RETURNS AND SEPARATELY CONSTRUCTED DRIVEWAYS.
- FOR ALL OTHER C & G AND CUT-OFF WALL, PROVIDE CONTRACTION JOINTS AT 12' MAX SPACING. 1/2" EXPANSION JOINTS AT CURB RETURNS & AT A MAXIMUM SPACING OF 100' BETWEEN CURB RETURNS & EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JOINTS SHALL BE EITHER SAVED OR TOoled A MINIMUM OF 1" DEEP AT ALL FINISHED FACES. REINFORCEMENT SHALL NOT BE USED IN CUT-OFF WALLS.
- FOR C & G CONSTRUCTED WITH PCC PAVEMENT, CONTRACTION JOINTS AND EXPANSION JOINTS SHALL BE THE SAME AS THE PAVEMENT JOINTS.
- ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
- REMOVE & REPLACE PAVEMENT 1" WIDE ADJACENT TO TOP OF GUTTER WHEN CONSTRUCTING C & G ADJACENT TO EXISTING AC PAVEMENT.
- 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND C & G WHEN CAST ADJACENT TO EACH OTHER.
- ADA - AMERICANS WITH DISABILITY ACT.

CONSTRUCTION NOTES:
SEE CDA DRAWING 2415B

REVISIONS	CITY OF ALBUQUERQUE
PAVING	
CURB AND GUTTER AND CURB OUT	
DWG. 2415A	FEBRUARY 2021

3 RIGHT-OF-WAY CURB AND GUTTER
NOT TO SCALE



GENERAL NOTES:

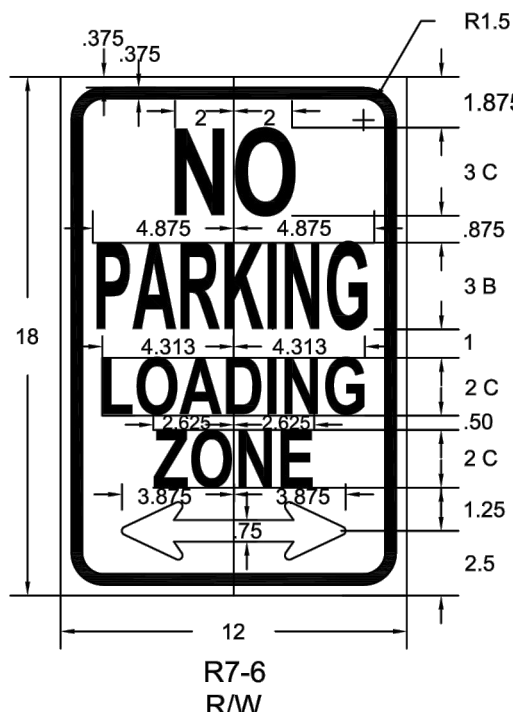
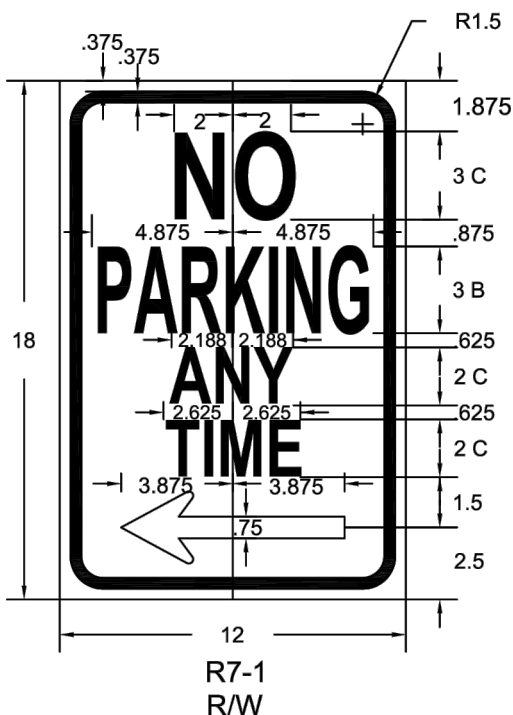
- STRUCTURAL THICKNESS OF PAVEMENT COMPONENTS WILL BE PER PAVEMENT DESIGN.
- ALL SUBGRADE COMPACTION FOR C & G SHALL EXCEED 12" MIN. ON EITHER SIDE OF C & G OR CURB SECTION, A MINIMUM OF 12" BELOW BOTTOM OF CURB.
- SUBGRADE PREPARATION UNDER SIDEWALK AND DRIVE PADS SHALL BE INCLUDED WITH THE PARTICULAR ITEM.
- FINISH GRADE AT PROPERTY LINE SHALL BE BASED ON A MIN 2% SLOPE FROM TOP OF CURB.
- SLOPE GRADIENT REQUIREMENTS WILL BE SHOWN ON PROJECT CONSTRUCTION PLANS.
- TRANSVERSE SLOPE FOR PAVEMENT SHALL BE 2% TYPICAL.
- GRADES AND ELEVATIONS SHALL BE MET BY SURFACE COURSE WITH PLANT MIX SEAL PLACED AS AN OVERLAY.
- PLANT MIX SEAL SHALL BE PLACED ABOVE THE TOP OF THE CUTTERS.
- ALL ASPHALT CONCRETE (AC) PAVEMENT SHALL COMPLY WITH SECTION 116.
- ALL PORTLAND CEMENT CONCRETE (PCC) PAVEMENT SHALL COMPLY WITH SECTION 101.

CONSTRUCTION NOTES:

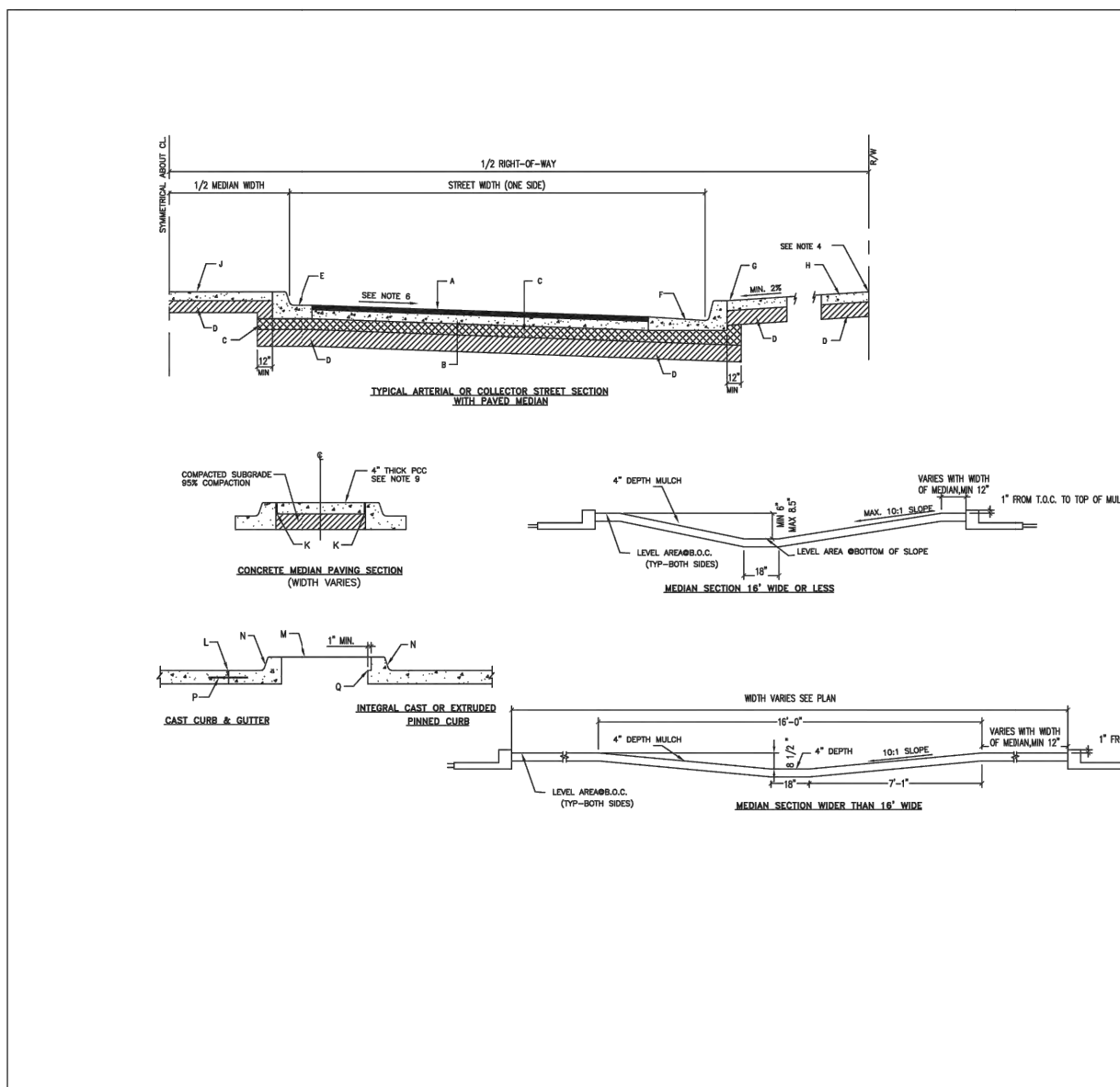
- ASPHALT CONCRETE SURFACE COURSE.
- ASPHALT CONCRETE (AC) PAVEMENT.
- IF AGGREGATE BASE COURSE (ABC), IF REQUIRED.
- 12" SUBGRADE PREP, BASE COMPACTION.
- STANDARD CURB AND GUTTER.
- SIDEWALK ADJACENT TO CURB (NON-STANDARD, VARIANCE REQUIRED).
- SIDEWALK AT STANDARD SETBACK.

REVISIONS	CITY OF ALBUQUERQUE
PAVING	
ART./COLL. ST. SECTIONS	
WITHOUT MEDIAN	
DWG. 2407	JUNE 2019

4 ASPHALT PAVEMENT DETAILS
NOT TO SCALE



1 NO PARKING SIGNAGE
NOT TO SCALE



GENERAL NOTES:

- ALL SUBGRADE COMPACTION FOR C & G SHALL EXCEED 12" MIN. ON EITHER SIDE OF C & G OR CURB SECTION.
- SUBGRADE PREPARATION UNDER SIDEWALK AND DRIVE PADS SHALL BE INCLUDED WITH THE PARTICULAR ITEM.
- FINISH GRADE AT PROPERTY LINE SHALL BE BASED ON A MIN 2% SLOPE FROM TOP OF CURB.
- SLOPE GRADIENT REQUIREMENTS WILL BE SHOWN ON PROJECT CONSTRUCTION PLANS.
- TRANSVERSE SLOPE FOR PAVEMENT SHALL BE 2% TYPICAL.
- GRADES AND ELEVATIONS SHALL BE MET BY SURFACE COURSE WITH PLANT MIX SEAL PLACED AS AN OVERLAY.
- PLANT MIX SEAL SHALL BE PLACED ABOVE THE TOP OF THE CUTTERS.
- ALL ASPHALT CONCRETE (AC) PAVEMENT SHALL COMPLY WITH SECTION 116.
- ALL PORTLAND CEMENT CONCRETE (PCC) PAVEMENT SHALL COMPLY WITH SECTION 101.

CONSTRUCTION NOTES:

- ASPHALT CONCRETE SURFACE COURSE.
- ASPHALT CONCRETE (AC) PAVEMENT.
- IF AGGREGATE BASE COURSE (ABC), IF REQUIRED.
- 12" SUBGRADE PREP, BASE COMPACTION.
- STANDARD CURB AND GUTTER.
- SIDEWALK ADJACENT TO CURB (NON-STANDARD, VARIANCE REQUIRED).
- SIDEWALK AT STANDARD SETBACK.

REVISIONS	CITY OF ALBUQUERQUE
PAVING	
ART./COLL. ST. SECTIONS	
WITH MEDIAN	
DWG. 2408	JUNE 2019

2 MEDIAN DETAILS
NOT TO SCALE

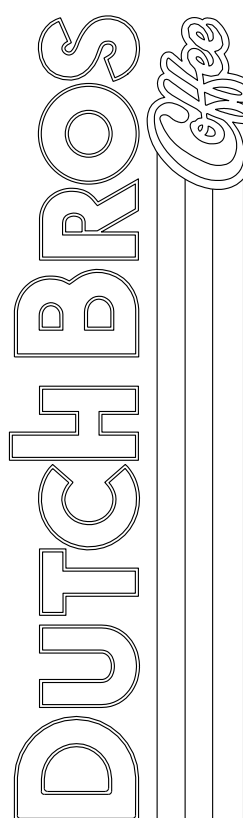
- NOTES:
- ALL DIMENSIONS SHOWN IN INCHES.
 - WHERE PARKING IS PROHIBITED AT ALL TIMES OR AT SPECIFIC TIMES THE R7 SERIES SHALL BE USED.
 - PARKING/NO PARKING SIGNS SHALL HAVE A RED LEGEND AND BORDER ON A WHITE BACKGROUND, WHERE ONLY LIMITED-TIME PARKING OR PARKING IN A PARTICULAR MANNER ARE PERMITTED, THE SIGNS SHALL HAVE A GREEN LEGEND AND BORDER ON A WHITE BACKGROUND.
 - PLEASE REFER TO THE MUTCD FOR FURTHER GUIDANCE ON PARKING AND NO PARKING SIGNS.

SCALE:
1" = 0.5'

REVISIONS	CITY OF ALBUQUERQUE
SIGN FACE DETAILS	
PARKING/NO PARKING	
SIGN DETAILS	
DWG. 2600-604	NOVEMBER 2019

NOTES AND DETAILS
7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109

Title:



For:



11/07/2024

Scale:

Horizontal

N/A

Vertical

N/A

Designed

Drawn

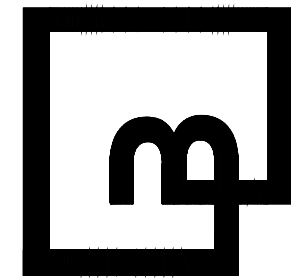
Checked

Approved

Date

11/17/24

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number

Sheet

C5.2

2019 DB

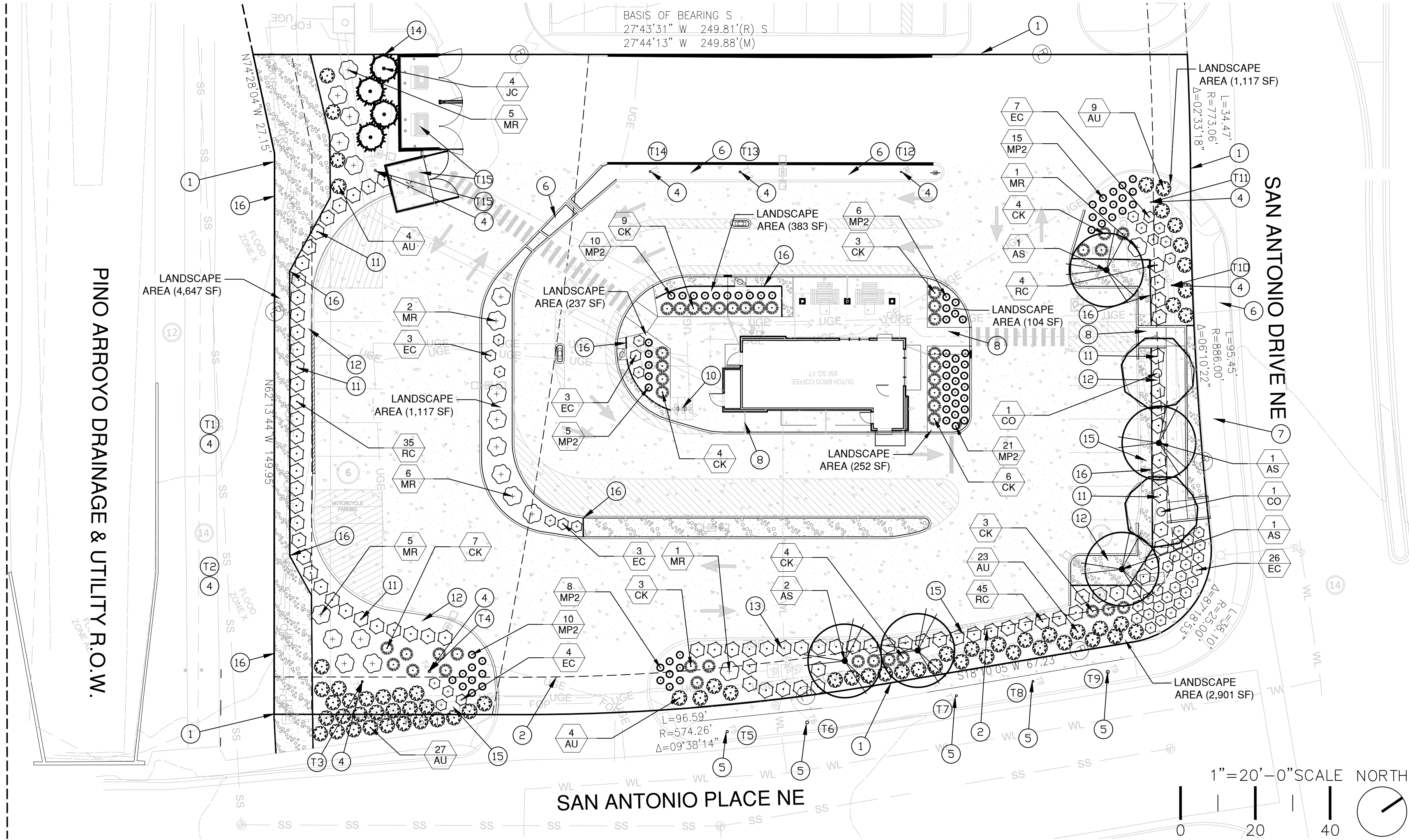
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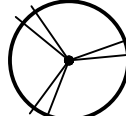







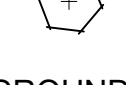
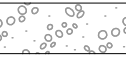


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THIS IS A MAJOR AMENDMENT TO THE CONTROLLING SITE DEVELOPMENT PLAN FOR BUILDING F TO ALLOW A RESTAURANT WITH DRIVE THROUGH USE



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CAL	HEIGHT	QTY	
TREES							
	AS	ACER NEGUNDO 'SENSATION' SENSATION BOX ELDER	CONT.	2" CAL	8'-10'	5	
	JC	JUNIPERUS SCOPULORUM ROCKY MOUNTAIN JUNIPER	CONT.	--	8'	4	
	CO	QUERCUS MUEHLENBERGII CHINKAPIN OAK	CONT.	2" CAL	8'-10'	2	
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	MATURE SIZE (W'XH')	ADDITIONAL	SPACING	QTY
SHRUBS							
	RC	RHAMNUS CALIFORNICA CALIFORNIA COFFEEBERRY	3 GAL			48" o.c.	84
ORNAMENTAL GRASSES							
	CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	1 GAL			42" o.c.	43
	MR	MUEHLENBERGIA RIGENS DEER GRASS	5 GAL			60" o.c.	20
	MP2	MUEHLENBERGIA RIGIDA PURPLE MUHLY	1 GAL			24" o.c.	75
GROUND COVER							
	AU	ARCTOSTAPHYLOS UVA-URSI KINNIKINNICK	1 GAL			48" o.c.	67
	EC	EUONYMUS FORTUNEI 'COLORATUS' COLORATUS PURPLE WINTERCREEPER	5 GAL			36" o.c.	46
GROUND COVERS							
	DGG2	2-4" COBBLE - DESERT BRONZE 4" DEPTH OVER FABRIC	-				2,876 SF

AMENITY LEGEND

- 1 PROPERTY LINE
- 2 EASEMENT
- 3 SETBACK
- 4 EXISTING TREE TO REMAIN
- 5 EXISTING TREE TO BE REMOVED
- 6 EXISTING LANDSCAPE TO REMAIN
- 7 EXISTING SIDEWALK
- 8 SIDEWALK BY OTHERS
- 9 TRASH ENCLOSURE BY OTHERS
- 10 BIKE RACK BY OTHERS
- 11 PARKING LOT SCREENING HEDGE
- 12 PARKING LOT EDGE LANDSCAPING
- 13 DRIVE-THROUGH LANE SCREENING HEDGE
- 14 TRASH ENCLOSURE SCREENING HEDGE 6' HT. MIN.
- 15 LANDSCAPE EDGE BUFFER AREA
- 16 STEEL EDGING BETWEEN COBBLE & SHRUBS (TYP.)

PROJECT TEAM

LANDSCAPE ARCHITECT:

EVERGREEN DESIGN GROUP
11801 PIERCE STREET, SUITE 200
RIVERSIDE, CA 92505
800-680-6630
WWW.EVERGREENDESIGNGROUP.COM
CONTACT: BLAKE TOMILLOSO-RHINEHART, PLA
EMAIL: BLAKE@EVERGREENDESIGNGROUP.COM

LANDSCAPE CALCULATIONS

NET SITE AREA:	42,062 SF
LANDSCAPE AREA REQUIRED:	6,309 SF (15% OF SITE AREA)
LANDSCAPE AREA PROVIDED:	10,758 SF (25.6% OF SITE AREA)
STREET FRONTAGE LANDSCAPING	
FRONTAGE LENGTH - SAN ANTONIO DRIVE:	168.02 LF
STREET TREES REQUIRED:	7 TREES (1 PER 25 LF OF FRONTAGE)
STREET TREES PROVIDED:	5 PROPOSED + 2 EXISTING
FRONTAGE LENGTH - SAN ANTONIO PLACE:	230.8 LF
STREET TREES REQUIRED:	9 TREES (1 PER 25 LF OF FRONTAGE)
STREET TREES PROVIDED:	2 PROPOSED + 7 EXISTING
PARKING LOT LANDSCAPING	
PARKING LOT AREA:	2,297 SF
LANDSCAPE AREA REQUIRED:	230 SF (10% OF PARKING AREA)
LANDSCAPE AREA PROVIDED:	1,419 SF (61.7% OF PARKING AREA)
TOTAL PARKING SPACES:	
TREES REQUIRED:	13 SPACES
TREES PROVIDED:	1.3 TREE (1 TREE PER 10 SPACES)
TOTAL LANDSCAPE AREA:	
MINIMUM REQUIRED COVERAGE:	10,758 SF
COVERAGE PROVIDED OVERALL:	8,068 SF (75% OF LANDSCAPE AREA)
MINIMUM COVERAGE REQUIRED FROM GROUND LEVEL PLANTS:	9,043 SF (84%)
PROVIDED GROUND LEVEL COVERAGE:	3,227 SF (25%)
	3,338 SF (31%)

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 2" THICK LAYER OF DECOMPOSED GRANITE, COLOR VALLEY GOLD, OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.



CITY REQUIREMENT COMPLIANCE

THIS PROJECT SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION REQUIREMENTS AND THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE.

MAINTENANCE RESPONSIBILITY NOTE

ALL LANDSCAPE AREAS WITHIN THE LIMIT OF WORK SHOWN SHALL BE MAINTAINED BY THE PROPERTY OWNER.

EXISTING TREE LEGEND

Tag	Trunk	Tree Type	Drip	DISPOSITION
T1	19"		15'	REMAIN
T2	16"		12'	REMAIN
T3	12"		12'	REMAIN
T4	16"		12'	REMAIN
T5	15"		15'	REMOVE
T6	19"		18'	REMOVE
T7	12"		15'	REMOVE
T8	11"		12'	REMOVE
T9	20"		12'	REMOVE
T10	8"		9'	REMAIN
T11	6"		6'	REMAIN
T12	9"		12'	REMAIN
T13	12"		15'	REMAIN
T14	12"		15'	REMAIN
T15	12"		15'	REMAIN
varies	187		180	

NOTE: PROVIDED FOR REFERENCE ONLY. REFER TO CIVIL ENG. DEMOLITION PLAN FOR MORE INFORMATION

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUND COVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

IRRIGATION CONCEPT

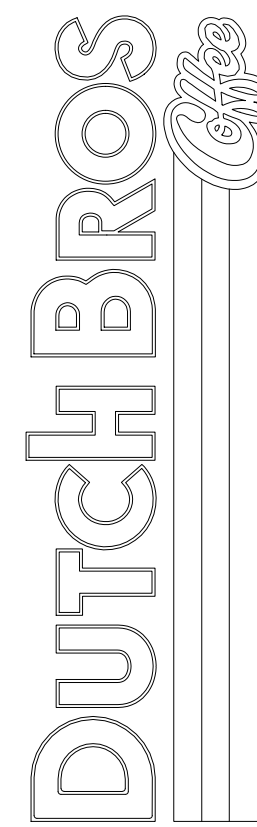
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

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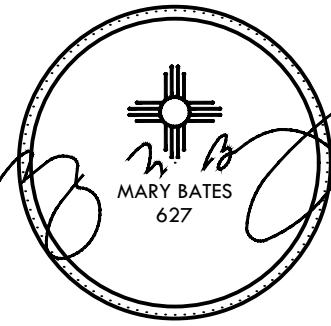
LANDSCAPE PLANTING PLAN

Title:

7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109



For:

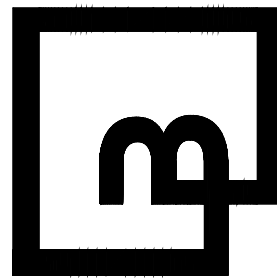


5/23/24

Scale: Horizontal Vertical
Designed Drawn Checked Approved Date

Barghausen
Consulting Engineers, Inc.

18215 72nd Avenue South
Kent, WA 98032
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Job Number
23204

Sheet
LP-1
2019.08
Revamping USA, LLC

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THIS IS A MAJOR AMENDMENT TO THE CONTROLLING SITE DEVELOPMENT PLAN FOR BUILDING F TO ALLOW A RESTAURANT WITH DRIVE THROUGH USE

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 - LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
- B. SCOPE OF WORK
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

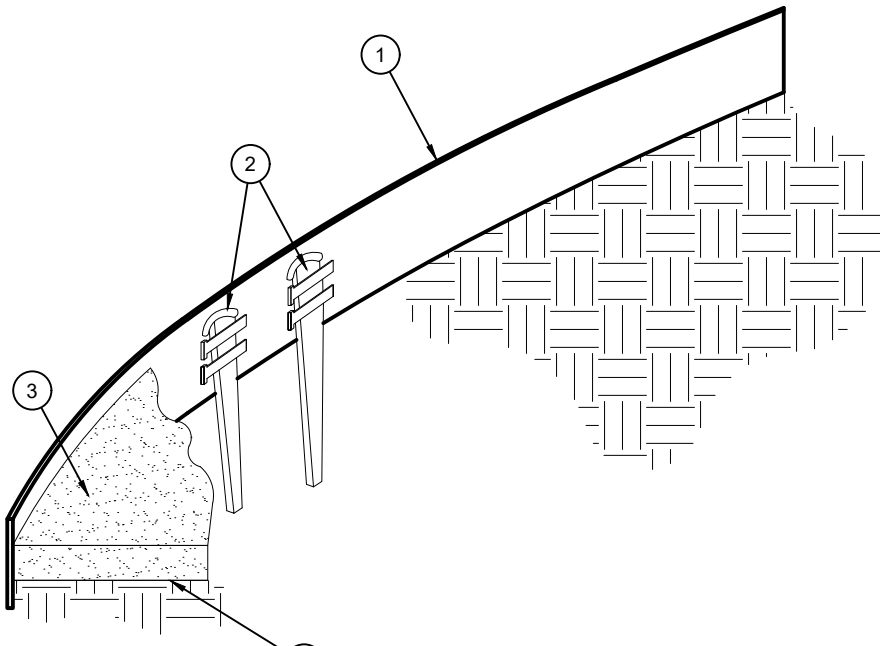
PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 - ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS SHARPED ROOTS).
 - TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
 - ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 - ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED. THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
 - ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN FULLY COVERED, SHALL BE REJECTED.
- C. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- D. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- E. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- F. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- G. TREE STAKING AND GUYING
- STAKES: 6" LONG GREEN METAL T-POSTS.
 - GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 - STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH NYLON RINGS TO PROTECT TREE TRUNKS FROM DAMAGE.
- L. STEEL EDGING: PROFESSIONAL STEEL EDGING, 1/4 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- M. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1 OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 - SOIL TESTING:
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 - THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
 - THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - IRON SULPHATE - 2 LBS. PER CU. YD.
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1 OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
 - ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

- B. SUBMITTALS
- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
 - SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE. PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
 - SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
 - WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
 - EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
 - TRENCHING NEAR EXISTING TREES:
 - CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER AT-BREAST-HEIGHT (4.5 ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
- D. TREE PLANTING
- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL, LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
 - FOR CONTAINER AND BOX TREES: TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
 - INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
 - BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
 - TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - #15 CONT. - 24" BOX TREES - TWO STAKES PER TREE
 - #16 CONT. - 36" BOX TREES - THREE STAKES PER TREE
 - OVER 48" BOX TREES - GUY AS NEEDED
 - MULTI-TRUNK TREES - THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 - UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH MULCH (TYPE AND DEPTH PER PLANS).
- E. SHRUBS, PERENNIAL, AND GROUNDCOVER PLANTING
- DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
 - WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- H. MULCH
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
 - DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- I. CLEAN UP
- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
 - DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- J. INSPECTION AND ACCEPTANCE
- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
 - WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
 - THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- K. LANDSCAPE MAINTENANCE
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
 - TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
- L. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
 - AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
- M. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



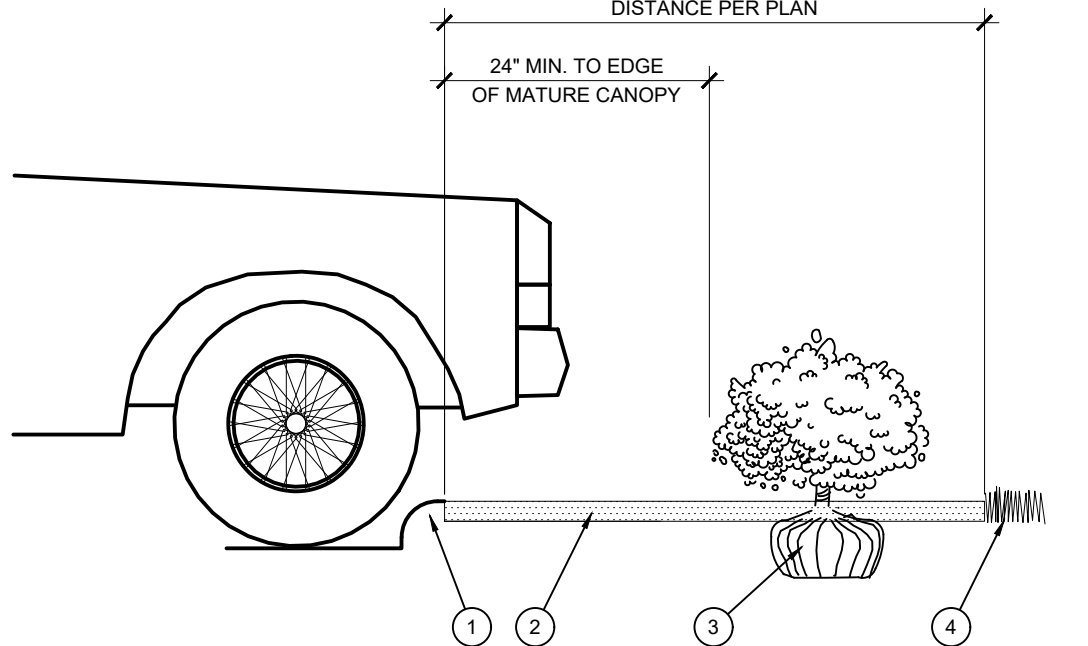
- ROLLED-TOP STEEL EDGING PER PLANS.
- TAPERED STEEL STAKES.
- MULCH, TYPE AND DEPTH PER PLANS.
- FINISH GRADE.

NOTES:

- INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
- BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
- TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

D STEEL EDGING

SCALE: NOT TO SCALE

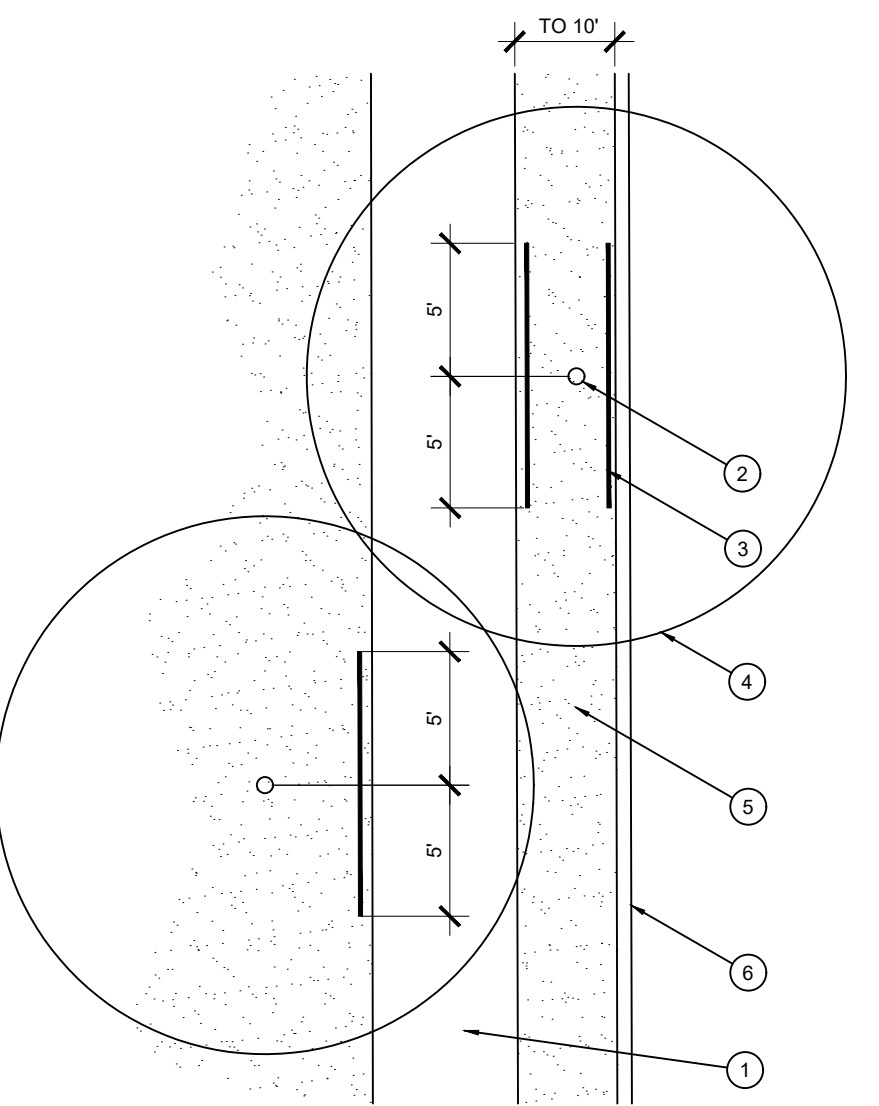


- CURB.
- MULCH LAYER.
- PLANT.
- TURF (WHERE SHOWN ON PLAN).

E PLANTING AT PARKING AREA

SCALE: NOT TO SCALE

OPEN LANDSCAPE PARKWAY OR ISLAND



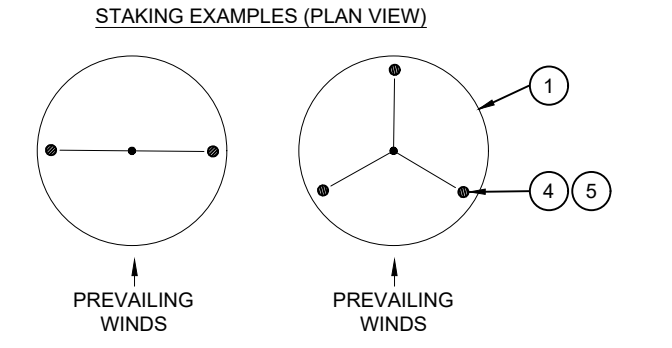
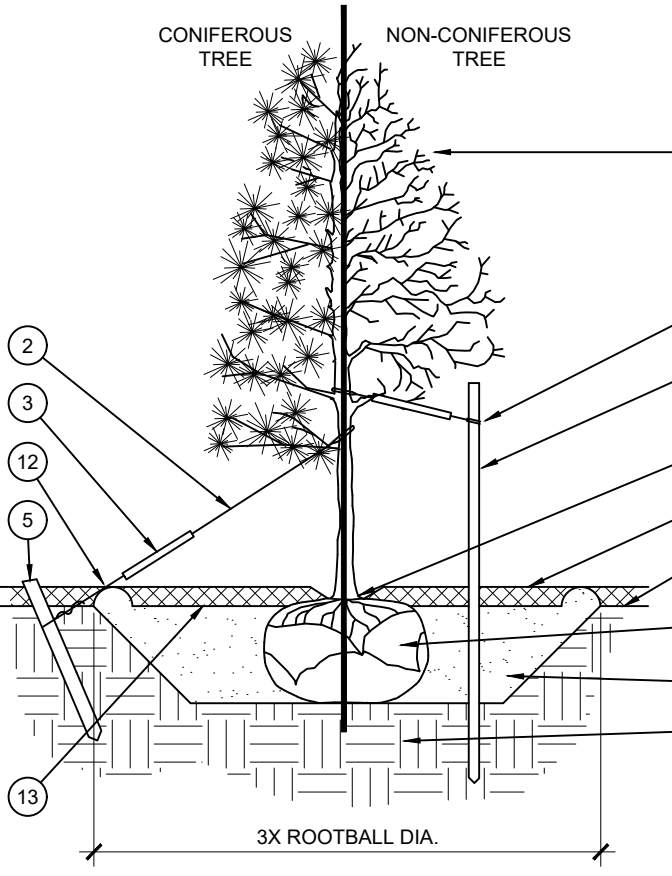
- TYPICAL WALKWAY OR PAVING
- TREE TRUNK
- LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSPECT PER MANUFACTURER'S SPECIFICATIONS.
- TREE CANOPY
- TYPICAL PLANTING AREA
- TYPICAL CURB AND GUTTER

NOTES:

- INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.
- BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

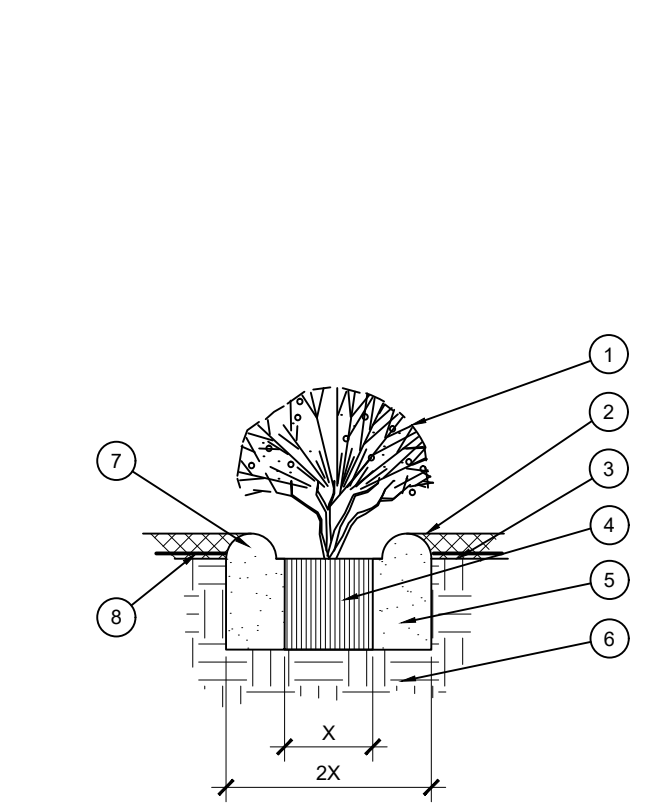
F ROOT BARRIER - PLAN VIEW

SCALE: NOT TO SCALE



A TREE PLANTING

SCALE: NOT TO SCALE



- TREE CANOPY.
- REMOVE EXCESS SOIL APPLIED TO THE TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2" ABOVE FINISH GRADE.
- 24" X 3/4" P.V.C. MARKERS OVER WIRES.
- GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
- PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
- TRUNK FLARE.
- MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- FINISH GRADE.
- ROOT BALL.
- BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- UNDISTURBED NATIVE SOIL.
- 3" HIGH EARTHEN WATERING BASIN.
- FINISH GRADE.

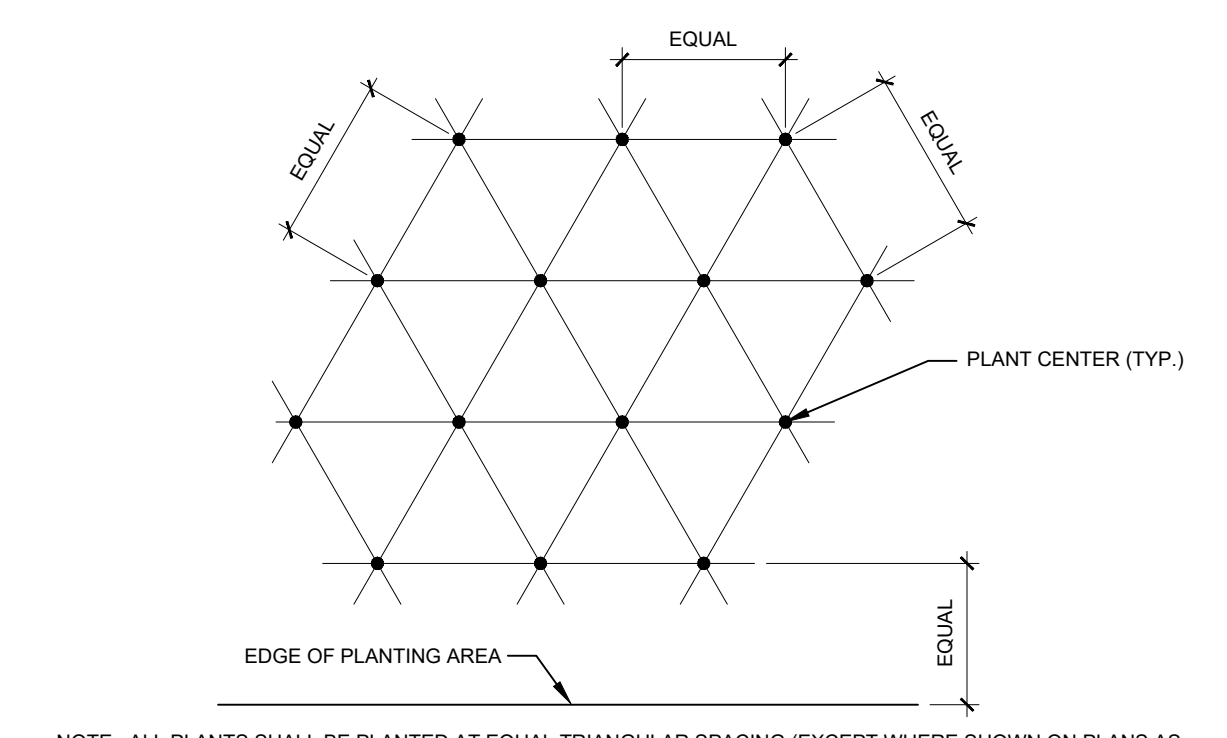
NOTES:

- SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
- REMOVE EXCESS SOIL APPLIED TO THE TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2" ABOVE FINISH GRADE.
- FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
- REMOVE ALL NURSERY STAKES AFTER PLANTING.
- FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMAN (AS APPROPRIATE), SPACED EVENLY AROUND TREE. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

- SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
- MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
- FINISH GRADE.
- ROOT BALL.
- BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- UNDISTURBED NATIVE SOIL.
- 3" HIGH EARTHEN WATERING BASIN.
- WEED FABRIC UNDER MULCH.

B SHRUB AND PERENNIAL PLANTING

SCALE: NTS



NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:

PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.39	24"	3.46
10"	0.60	30"	5.41
12"	0.87	36"	7.79
15"	1.35		

2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER
STEP 1: 100 SF/1.95 = 51 PLANTS
STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL

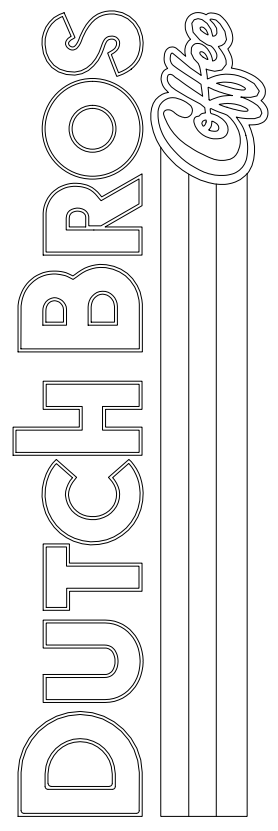
C PLANT SPACING

SCALE: NTS

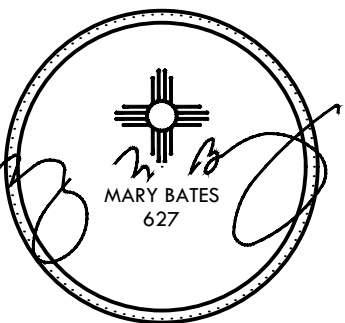


Title: PLANTING SPECIFICATIONS & DETAILS

7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109



For:



5/23/24

Scale:

Horizontal

Vertical

Designed

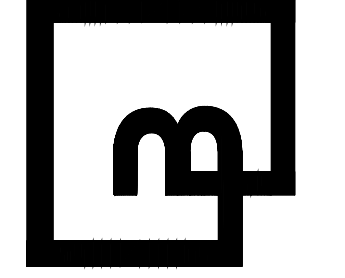
Drawn

Checked

Approved

Date

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