

# DEVELOPMENT FACILITATIVE TEAM (DFT)

## Code Enforcement Comments

*Disclaimer: Comments provided are based upon information received from applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning staff.*

Jeff Palmer-Code Enforcement Supervisor  
Planning Department  
[jppalmer@cabq.gov](mailto:jppalmer@cabq.gov)

DATE: 05/01/2024

### **AGENDA ITEM NO: 5**

### **PROJECT NUMBER:**

**PR-2022-007999**

SI-2024-00582– EPC SITE PLAN SIGN-OFF  
SKETCH PLAT 12-2-22 (DRB)

**ADDRESS/LOCATION:** A tract of land situated in the **Southwest Quarter (SW 1/4) of Section 32, Townsh 3 East, N.M.P.M.**, zoned **NR-LM**, located at **336 Woodward RD SE** between **BROADWAY** and **2nd ST** containing approximately **19.1 acres (M-14)**

**PROPERTY OWNER:** Film Yard c/o J Rick Metz

**REQUEST:** EPC SITE PLAN SIGN-OFF

**IDO:** 2022

### **COMMENTS:**

1. Property is Zoned NR-LM, and is located within a Railroad Spur Area, an Airport Protection Overlay (APO) zone (IDO section 3-3). Must meet all applicable requirements in each of those respective areas.
2. Please correct Zoning on page shown as Revision 6, Sheet 1 to NR-LM (currently reads CR-LM).
3. Please submit copy of approved, recorded plat related to the use of these properties, to confirm location of property lines in regards to structures on premise.
4. Please identify where site dumpsters are located (indicated as Note #5, but could not find that on map).
5. Please note that this plan was approved by the EPC strictly for the use as a dry storage warehouse, with no utilities, as noted on the EPC approved site plan (General Notes #4 & #5).
6. Any change to the specific approved use as a Warehouse for dry storage, with no utilities, or any additional uses to be added, as indicated in Phase 2 on the site plan, will be subject to prior review and resubmittal for new approvals from all applicable City departments (Planning, Building Safety, Fire, and/or others required).
7. Code Enforcement advises that you submit any planned changes for a PRT and/or Sketch Plan review, at a minimum, to help determine and facilitate all procedures to be followed.
8. Code Enforcement has recently observed and cited the property for extensive Outside Storage that is currently existing on the premise. This use was not approved by the EPC and may require an amended or additional approval to allow for that use on the property, as per IDO section 5-2(E) Cumulative Impacts.



## **Development Facilitation Team (DFT) – Review Comments**

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**Reviewer: David G. Gutierrez, P.E. | Phone: 505-289-3381 | [dggutierrez@abcwua.org](mailto:dggutierrez@abcwua.org)**

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**Project No: PR-2022-007999 Date:5/1/2024**

**Agenda Item: #5**

**Zone Atlas Page: M-14**

**Legal Description: A Tract land Situate in the Southwest Quarter (SW ¼) of Section 32, Township 10 North, Range 3 East, N.M.P.M.**

**Request: EPC SITE PLAN SIGN-OFF SKETCH PLAT 12-2-22 (DRB)**

**Location: 336 Woodward RD SE between BROADWAY and 2<sup>nd</sup> ST**

### **Application For: SI-2024-00582 – EPC SITE PLAN SIGN-OFF**

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1. Availability Statement 230405 provides conditions for service.
    - a. The moratorium in place by the County for Woodward prohibits any excavation but there is a potential opportunity for acquiring service by constructing an extension by boring across Woodward from the stub across the street to serve the proposed development. Coordination with they County
  2. Provide a fire one plan to ensure that existing fire protection is sufficient.
  3. Provide a utility plan detailing all services and connection to the domestic system.
- Comment:** (Provide written response explaining how comments were addressed)

DEVELOPMENT FACILITATIVE TEAM (DFT) - **HYDROLOGY SECTION**

Renée Brissette, PE, Senior Engineer | 505-924-3995 [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov)

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DRB Project Number: 2022-007999 Hearing Date: 05-01-2024

Project: 336 Woodward Rd. SE Agenda Item No: 5

<input checked="" type="checkbox"/> Sketch Plat	<input type="checkbox"/> Site Plan for Bldg. Permit
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**ENGINEERING COMMENTS:**

- Hydrology has an approved Conceptual Grading & Drainage Plan (M14D037) with engineer's stamp 01/06/2023.
- Hydrology has no objection to the Site Plan for Building Permit.
- Comment – Prior to submitting for Building Permit, a licensed New Mexico civil engineer will need to submit a Grading & Drainage Plan to Hydrology for review & approval if one of these conditions is met. (500 cy of grading, 1,000 sf of proposed building, or 10,000 sf of proposed paving).

APPROVED  
 DENIED

DELEGATED TO:  TRANS  HYD  WUA  PRKS  PLNG  
Delegated For: \_\_\_\_\_  
SIGNED:  I.L.  SPSP  SPBP  FINAL PLAT  
DEFERRED TO \_\_\_\_\_

DEVELOPMENT FACILITATION TEAM

TRANSPORTATION DEVELOPMENT

DRB Project Number: 2022-007999  
336 Woodward Rd

AGENDA ITEM NO: 5

SUBJECT: EPC Site Plan

ENGINEERING COMMENTS:

1. Transportation has an approved TCL dated 6/27/2023. No objection.

. If new or revised information is submitted, additional comments may be provided by Transportation Development.

FROM: Ernest Armijo, P.E.  
Transportation Development  
505-924-3991 or [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

DATE: May 1, 2024

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ACTION:

APPROVED \_\_; DENIED \_\_; DEFERRED \_\_; COMMENTS PROVIDED \_\_; WITHDRAWN \_\_

DELEGATED: \_\_\_\_\_ TO: (TRANS) (HYD) (WUA) (PRKS) (CE) (PLNG)



## DEVELOPMENT FACILITATION TEAM

### Planning - Case Comments

**FIRST REVIEW DATE:** 05/01/24 -- **AGENDA ITEM:** #5

**Project Number:** PR-2022-007999

**Application Numbers:** SI-2024-00582

**Project Name:** 336 Woodward

**Requests:** EPC Site Plan Signoff

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*\*These are preliminary Planning comments. Additional reviews and/or revised comments may be needed for any modifications and/or supplemental submittals. **Sentences in bold face require additional applicant response.***

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#### **BACKGROUND INFORMATION, STANDARD COMMENTS AND ITEMS IN COMPLIANCE**

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- On November 16, 2023 the Environmental Planning Commission (EPC) voted to APPROVE Project # PR-2022-007999, SI-2023-01621- Site Plan- EPC.
- The request is for a new Site Plan for a property legally described as MRGCD Map 44, Tracts 64A3B1, 64A3B2, 64A4 & Vacated West 24 feet of the San Jose Drain adjacent & East of MRGCD Map 44 Tracts 64A3B2 & 64A4, located at 336 Woodward Rd. SE, between Broadway Blvd. SE and Second St. SE, approximately 20-acres (the “subject site”).
- The request would facilitate the development of a 50,000 SF storage warehouse on an approximately 5-acre subdivided parcel (64A3B1) within the 20-acre subject site, which would be used for storage of film industry equipment. The proposed storage warehouse is single-story with a max height 46’ at the roofs pitch.
- The applicant has received approval for Building Permit BP-2022-51961 with Conditions, which allows them to construct the structure for use as defined in the Temporary Use Not Listed (staging of props/materials, without storage on premise). This is only for purposes of the Temporary Use and is subject to conditions, including compliance with limitations and requirements of their approved Temporary Use Not Listed Application. The Temporary Use permit expires within 45 days from the start of use, and if the Site Plan – EPC is not approved by the EPC for continued use by the time the Temporary Use permit expires, the structure must be removed from the property and returned to

*\*(See additional comments on next page)*

similar condition as prior to construction (see attached Temporary Use Permit and internal communications).

- The subject site is zoned NR-LM (Non-residential Light Manufacturing), is in an Area of Change, and is not in a designated Center or Corridor.
- The subject site is in the Airport Protection Overlay zone for the Albuquerque International Sunport (IDO APO 14-16-3-3). The proposed Site Plan is required to comply with the APO and associated Federal Aviation Administration (FAA) sub-zones.
- The subject site is within the Air Space Protection Sub-area for the Albuquerque International Sunport. All signs and structures shall not be taller than the horizontal surface of the Albuquerque International Sunport, per IDO 3-3(D)(1) Height Standards in the Airport Protection Overlay Zone, specifically 3-3(D)(1)(b). An exhibit depicting that the proposed structures and buildings are under the Horizontal Surface of the Airport Surface at 5,504.9 was provided with the Site Plan set. This requirement is met.

#### **EPC Conditions Review**

1. After approval by the Environmental Planning Commission (EPC), the applicant shall submit the proposed site plan to the Development Facilitation Team (DFT) for Final sign-off. The reviewer will be responsible for ensuring that all EPC Conditions have been satisfied and that the IDO, DPM, and all other applicable City requirements have been met.

**Updated Site Plan has been received by the DFT Team**

2. The applicant shall coordinate with the Staff Planner prior to submitting to the DFT to ensure that the EPC Conditions in the Official Notification of Decision have been met. The staff planner will provide a post-EPC memo to the DFT.

**Post EPC Memo has been received**

3. The Site Plan shall be in compliance with all APO 3-3 standards.  
Airport Protection Overlay Zone (APO 3-3)
  - A. The Airspace Protection Sub-Area analysis shall be its own detail sheet.
  - B. Light Reflective Value (LRV) shall be called out for each surface pursuant to IDO 3-3(D)(2) Reflectivity.
  - C. A note shall be added to the Site Plan stating that Structure and any other features therein comply with the glare and reflectivity standards per IDO 3-3(D)(2) Reflectivity.

**The updated site plan sheet shows compliance with APO and LRV standards**

4. The Site Plan shall be in compliance with all Irrigation Facility (Acequia) Standards (14-16-5-5-2(G) due to the subject site's adjacency to the San Jose Interior Drain.

**Site plan shows compliance with Irrigation Facility (Acequia) Standards.**

*\*(See additional comments on next page)*

5. Site Plan Clean-up
  - A. The Site Plan shall indicate that the entire subject site is 19.1 acres.
  - B. The Site Plan shall indicate areas of the subject site that are expected to be developed in the future.
  - C. The Site Plan shall include a Phasing Plan noting that the current proposal is “Phase 1.” The Phasing Plan shall note future phases of development.
  - D. The Site Plan shall indicate that the proposed warehouse (Phase 1) will be located solely on Parcel 64A3B1, which is 4.74 acres in size.

**Updated Site Plan Reflects the above-mentioned criteria**

**6. CONDITIONS FROM THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT:**

- A. The Site Plan shall reference MRGCD Dwg #A-354 and R&C #3128 as well as the widths from the property lines to the centerline of the San Jose Interior Drain.
- B. The applicant shall seek the Final Plat Approval signature from the MRGCD.

**Site plan demonstrates compliance with MRGCD Drainage area IDO regulations.**

**CONDITIONS FROM THE SOLID WASTE MANAGEMENT DEPARTMENT:**

7. A. If the location where dumpsters have been approved for access by the Solid Waste Department has changed, a new approval for access by the Solid Waste Department shall be sought.

**Access to dumpsters has been approved by Solid Waste Department**

**Comments:**

*Items in Orange type need to be addressed*

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**GENERAL NOTES**

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**EPC Items Not Addressed**

- All Site Plan sheets must be included in the site plan set for this submittal to the DFT including Architectural Plans, Elevations, and Landscape Plan.
- Site Plan sheet and all other sheets must be signed and sealed by a professional licensed in the state of New Mexico.
- “Site Plan Notes” have been added to the revised Site Plan. Most of these notes indicate compliance with the conditions stated in the 11/16/23 NOD. However, these notes currently include an error stating that the site’s zoning is CR-LM. This is incorrect. The site’s zoning is NR-LM, which is shown on the EPC approved Site Plan.

*\*(See additional comments on next page)*

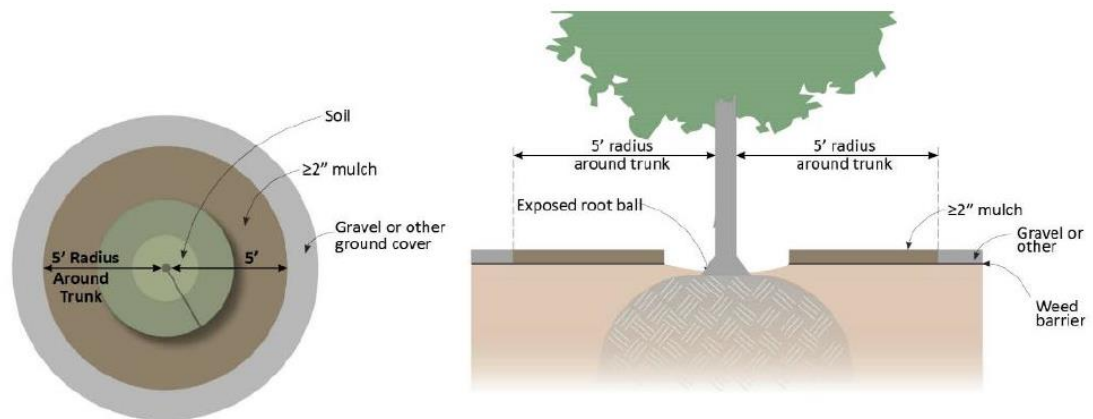
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## OTHER APPLICABLE IDO/DPM SECTIONS

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### 5-6 LANDSCAPING, BUFFERING, AND SCREENING

- Final Landscape plan must be signed and sealed by a Licensed Landscape Architect in the state of New Mexico.
- All landscaping calculations per 5-6(C)(2) must be provided on the landscape sheet.
- Per 5-6(C)(4)(i), shade trees planted approximately 25 feet on-center are required along all required pedestrian walkways. If the walkway is less than 25 feet long, at least one tree is required, or, where there is insufficient space for a tree, a trellis of at least 8 feet high for at least 5 feet along the walkway shall be provided. **Confirm compliance.**
- 5-6(C)(5)(c) The use of gravel or crusher fines as ground cover is limited to a maximum of 75 percent of any landscaped area, or **50 percent in DT-UC-MS areas.** **Confirm compliance.** Calculate the organic mulch ring around trees as your non gravel groundcover. Provide a breakdown showing square footage for both.
- Per 5-6(C)(5)(e), organic mulch is required as ground cover under trees within a 5- foot radius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited. (See figure below.) **Add a tree planting detail addressing this code.** The organic mulch used under the trees can be counted towards non gravel mulch used on the site as discussed under 5-6(C)(5)(c). Please make sure you are mention **'Organic Mulch'** on your planting details.



\*(See additional comments on next page)



### **5-6(C)(12) Existing Vegetation Credit**

- Are there plans to remove the existing wall and trees along Woodward or is it planned to keep what is currently in place? The landscaping plan submitted to EPC does not reflect the existing wall correctly nor does it show the existing trees in the plan. Adjust the plan to show the existing wall and trees correctly. Most Existing trees seem to be viable and per City Forester comment must be maintained. More comment from City Forester will be provided to the applicant.
- The landscaping plan submitted to the EPC shows a row of Pinon Pine trees along the existing wall. It is recommended by the city forestry team to alternate species of trees to reduce the impact of any potential disease. Adjust the landscape plan to reflect alternating species. Austrian pines, and Afghan pines are both recommended evergreen trees for Albuquerque per City Forester.

### **5-6(D) STREET FRONTAGE LANDSCAPING**

#### **5-6(D)(1) Required Street Trees**

- Per 5-6(D)(1)(a), all development shall comply with Part 6-6-2 of ROA 1994 (Street Trees) and any standards developed by the Parks and Recreation Department or other City department to implement that Ordinance. Trees are generally required along street frontages every 25 feet on center unless specified otherwise in Part 6-6-2 of ROA 1994 (Street Trees). Along street frontages where street trees are required, trees that are planted within 20 feet of the back of curb of the abutting street may fulfill this requirement. (See figure below.)

Confirm compliance with this code.

### **5-6(F) PARKING LOT LANDSCAPING**

- **5-6(F)(2)(c) Tree Requirements**
    1. One (1) tree is required per 10 parking spaces.
    2. No parking space may be more than 100 feet in any direction from a tree trunk.
    3. At least 75 percent of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet.
- Show on the landscaping plan how you intend to meet the tree requirement provision stated above.

*\*(See additional comments on next page)*



#### **5-6(F)(2)(d) Location and Dimension of Landscaped Areas**

1. The minimum size of tree planters within off-street parking areas shall be 60 square feet per tree. This requirement may be reduced to 36 square feet if the surface of a parking or vehicle circulation area abutting the tree planter is of a permeable material and, combined with the tree planter area, meets the 60 square foot per tree requirement. Please confirm compliance with this code. Show each planter area on the plan.

#### **5-6(G) SCREENING OF MECHANICAL EQUIPMENT AND SUPPORT AREAS**

- Confirm compliance with this code.

#### **5-6(G)(2) Ground-mounted Mechanical Equipment**

- Confirm compliance with this code.

#### **5-7 WALLS AND FENCES**

- Please demonstrate compliance with this section if there are any walls or fences being proposed for this project. Documents and related plan sheets must be submitted. Development requires separate permitting. Height per table 5-7-1. There is an existing wall on this site. Please clarify.

*\*(See additional comments on next page)*

## 5-8 OUTDOOR AND SITE LIGHTING

- Please articulate how the project meets codes under this section.
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## 5-11: BUILDING DESIGN

- Architectural plans must be submitted to the DFT for review.
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- Please note that staff could have future comments and this EPC final sign-off is still under review.
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FROM: Jacob Boylan  
Planning Department

DATE: 04/30/24

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*\*(See additional comments on next page)*