



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)	PRE-APPLICATIONS
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	APPEAL
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)

BRIEF DESCRIPTION OF REQUEST

APPLICATION INFORMATION		
Applicant/Owner:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS		
Site Address/Street:	Between:	and:

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022**_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Form SP with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- ___ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- ___ 7) Infrastructure List, if required for building of public infrastructure
- ___ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- ___ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- ___ 10) Completed Site Plan Checklist
- ___ 11) Letter of authorization from the property owner if application is submitted by an agent
- ___ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- ___ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- ___ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

___ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

___ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

___ 17) Sign Posting Agreement

___ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

___ Office of Neighborhood Coordination neighborhood meeting inquiry response

___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

___ Completed neighborhood meeting request form(s)

___ If a meeting was requested or held, copy of sign-in sheet and meeting notes

___ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

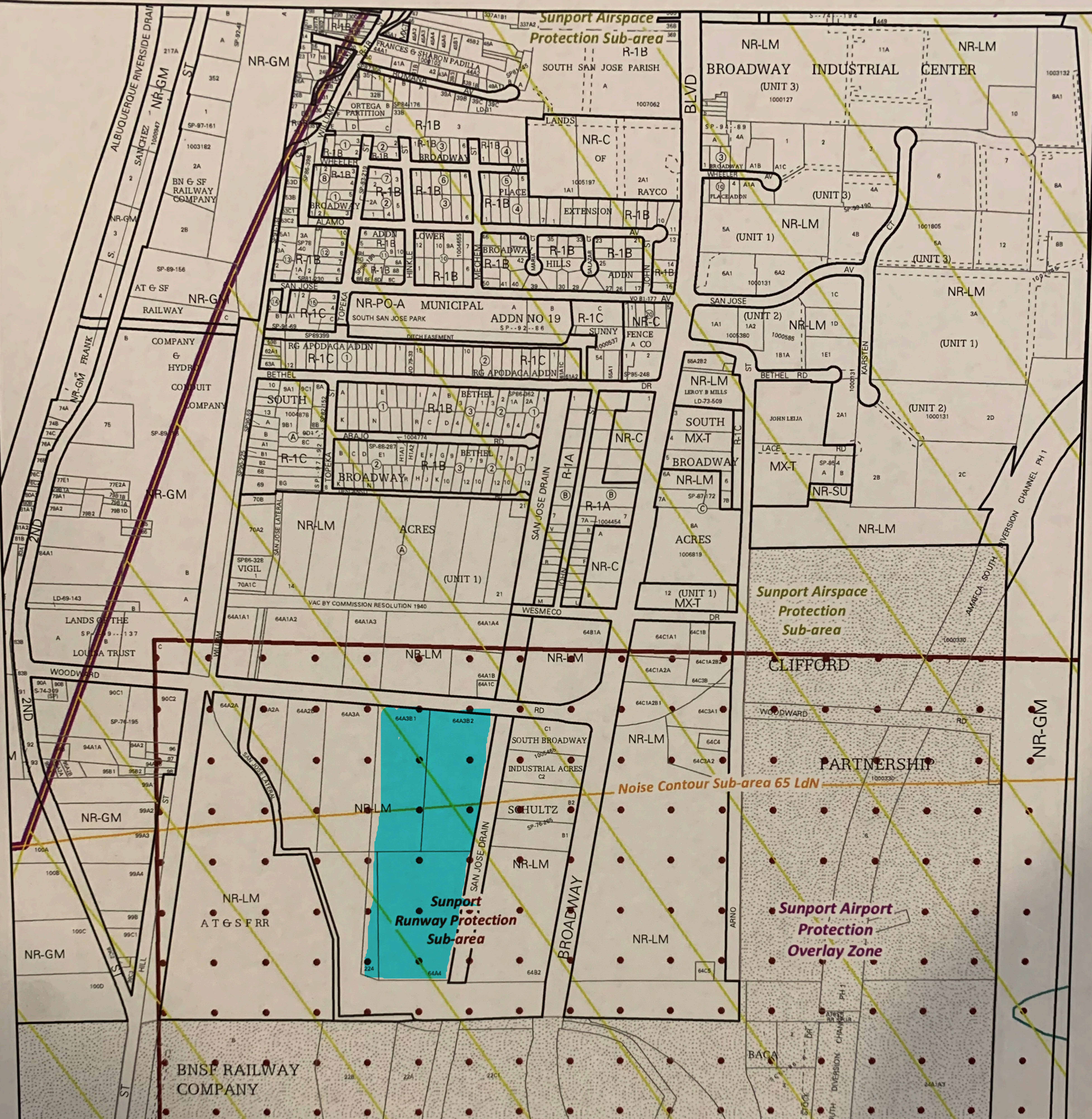
___ Proof of emailed notice to affected Neighborhood Association representatives

_ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

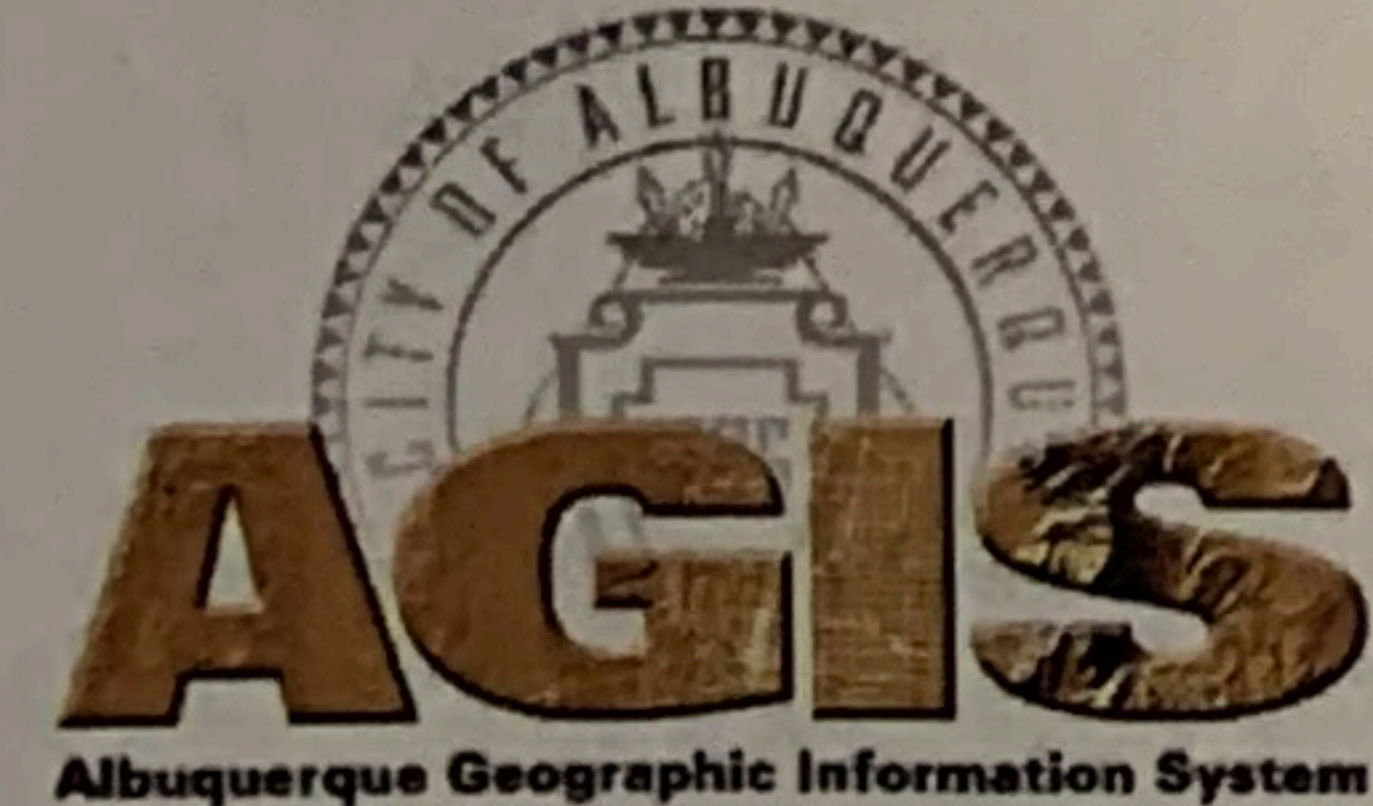
- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Site Plan and related drawings
- ___ 5) Infrastructure List, if require
- ___ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- ___ 7) Letter of authorization from the property owner if application is submitted by an agent
- ___ 8) Solid Waste Department signature on Site Plan
- ___ 9) FORM SP and attachments signed by departments.
- ___ 10) Approved Grading and Drainage Plan
- ___ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)

* Not required, but included.

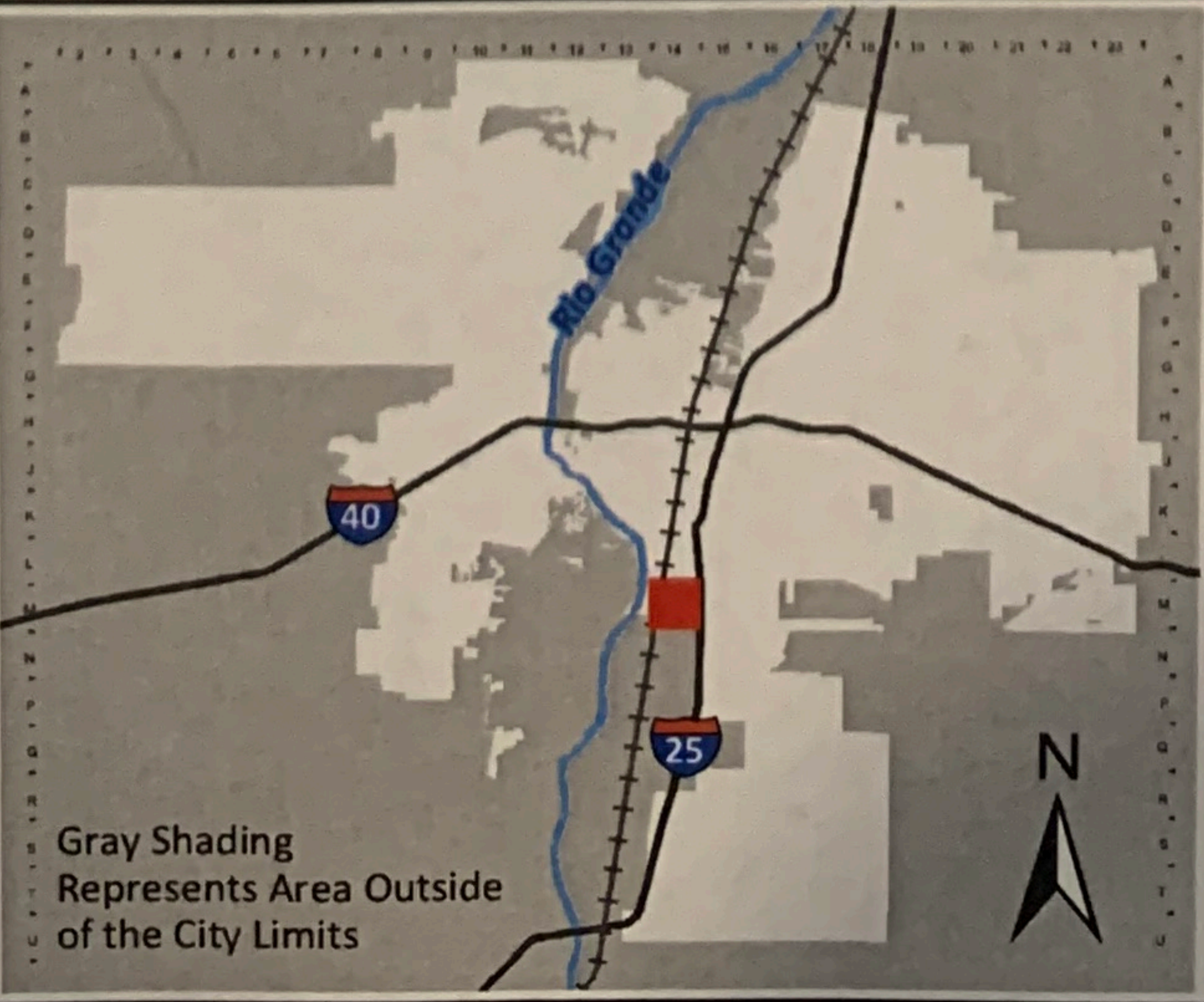


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Zone Atlas Page: **M-14-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet

WARD AVE SE ALBUQUERQUE, NM 87102
 No. (APN): 1-014-055-149-223-3-05-19
 Land Use: INDUSTRIAL
 Building Area: 82,445 sqft
 Lot Area: 418,176.00 sqft (9.6 ACRES)
 Owner: CORTAZAR LABORATORIES LLC

245 WOODWARD AVE SE ALBUQUERQUE, NM 87102
 Parcel No. (APN): 1-014-055-188-223-3-05-22
 Land Use: INDUSTRIAL
 Building Area: 13,955 sqft 1 Units
 Lot Area: 205,603.00 sqft (4.72 ACRES)
 Owner: CORTAZAR LABORATORIES LLC

335 WOODWARD AVE SE ALBUQUERQUE, NM 87102
 Parcel No. (APN): 1-014-055-234-223-3-05-27
 Land Use: INDUSTRIAL
 Lot Area: 883,021.00 sqft (20.08 ACRES)
 Owner: RSN LLC

336 WOODWARD AVE SE ALBUQUERQUE, NM 87102
 Parcel No. (APN): 1-014-055-248-176-3-05-28
 Land Use: COMMERCIAL
 Building Area: 37,119 sqft 1 Units
 Lot Area: 10,564.00 sqft (0.24 ACRES)
 Owner: SULLIVAN, SEAN

WOODWARD AVE SE ALBUQUERQUE, NM 87102
 Parcel No. (APN): 1-014-055-149-133-3-04-21
 Land Use: INDUSTRIAL
 Building Area: 2694 sqft 1 Units
 Lot Area: 174,240.00 sqft (4 ACRES)
 Owner: KAPUSCINSKI, ANDREW T

248 WOODWARD AVE SE ALBUQUERQUE, NM 87102
 Parcel No. (APN): 1-014-055-173-131-3-04-15
 Land Use: INDUSTRIAL
 Building Area: 16,320 sqft 1 Units
 Lot Area: 217,786.00 sqft (5 ACRES)
 Owner: FORD INVESTMENTS LLC

336 WOODWARD AVE SE ALBUQUERQUE, NM 87102
 Parcel No. (APN): 64A3B1
 Land Use: VACANT LAND
 Lot Area: 212,500.00 sqft (4.88 acres)
 Owner: FILM YARD LLC

334 WOODWARD AVE SE ALBUQUERQUE, NM 87102
 Parcel No. (APN): 1-014-055-215-103-3-04-09
 Land Use: VACANT LAND
 Lot Area: 832,432.00 sqft (19.11 ACRES)
 Owner: FILM YARD LLC

LEGEND

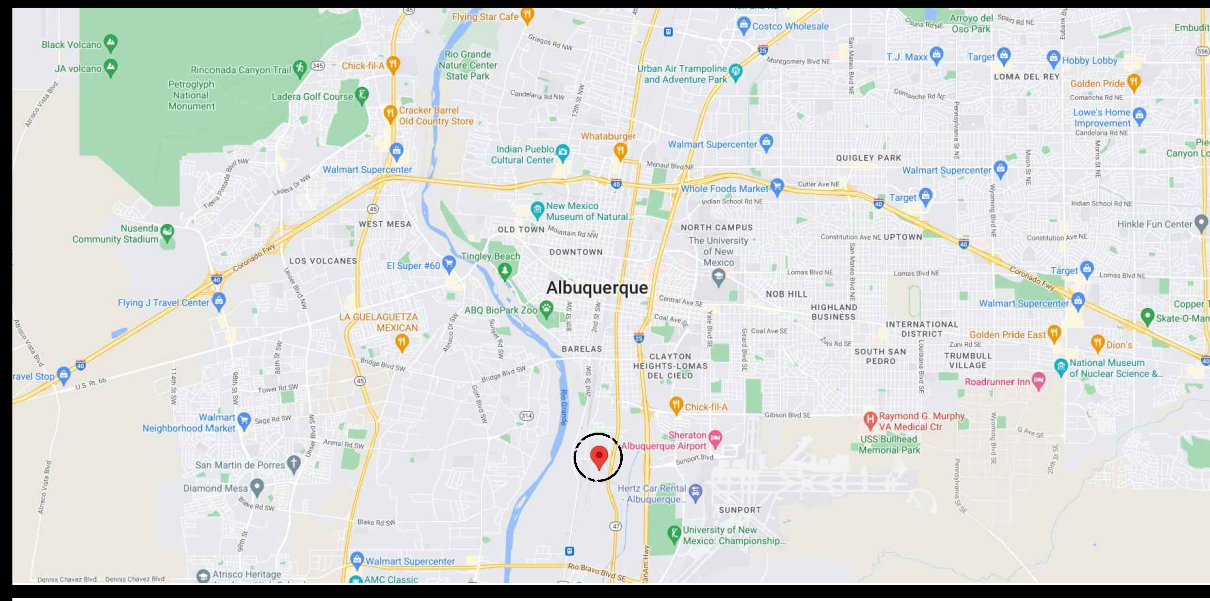
- PROPERTY LINE
- ROAD, HIGHWAY
- CURB & GUTTER
- BOUNDARY LINE
- BUILDING
- - - EASEMENT
- - - OVERHEAD POWER LINE
- - - CHAIN LINK FENCE
- - - DECORATIVE BRICK WALL WITH ROD IRON
- GATE
- FIRE HYDRANT
- POWER POLE
- ▨ PEDESTRIAN WALKWAY
- ▨ LANDSCAPE AREA

KEYED NOTES

- ① PROPERTY ENTRY
- ② MAIL BOX
- ③ RECYCLED TRASH CENTER
- ④ TURNAROUND
- ⑤ SITE DUMPSTERS
- ⑥ OFF-GRID LANDSCAPE MAINTENANCE STATION (rain water capture from storm system and solar powered with battery backup timer/drip system)

GENERAL NOTES

1. Project # PR-2022-007999
2. Occupancy: IBC Storage Group S-1
3. City of Albuquerque Opportunity Zone
4. Property Usage is for a single private dry storage warehouse. Will have minimal occupancy and traffic.
5. Warehouse will have no utilities.
6. All Asphalt is Existing
7. Core Drilling performed by Western Technologies Inc (11/2022) evidences a compact subsurface up to 5' deep with 3" of asphalt. Samples taken at 2 coring locations in the existing asphalt parking area.
8. All Driveways are oversized to accommodate any truck traffic that may occur. All Trucks are for delivery only. No Long term truck parking
9. Parking Area is level, contoured for drainage, with no areas exceeding 2% grading.
10. Building Setback from frontage: 332 ft
11. Landscaped Area 8,362 sqft (3.94%)
12. Fire apparatus access and fire lanes are designed to support imposed loads of 80,000 lbs. All areas are paved or concrete.



VICINITY MAP

EPC SITE PLAN - WOODWARD
336 WOODWARD AVE SE ALBUQUERQUE, NM 87102

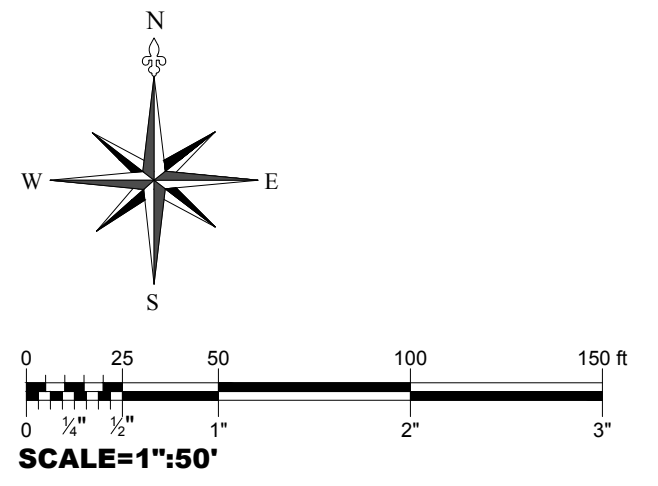
AREA: 19.1 acres

SITE PLAN NOTES

AREAS OF FUTURE DEVELOPMENT NOTATED
 ZONING IS CR-LM
 THE ENTIRE SITE IS AN EXISTING PAVED LOT.
 ABC DESIGNATED - AREA OF CHANGE
 SITE HAS NO SIGNAGE
 SITE HAS AND UNDERGROUND STORM SYSTEM. HYDROLOGY AND DRAINAGE APPROVED WITH COA 5/2023.
 THE ENTIRE FRONTAGE WILL BE BORDERED BY A 6' HIGH BRICK OPAQUE PRIVACY WALL. WALL CONSTRUCTION IS SOLID BRICK WITH DECORATIVE ROD IRON TOP. (SEE #8).
 WALL & GREENBELT IS USED TO MITIGATE LIGHT/SOUND AND VISIBILITY OF EXT. STORAGE PER CUMULATIVE IMPACT REGULATIONS.
 BUILDING IS SINGLE STORY. MAX HEIGHT AT THE PITCH IS 46' AND COMPLIES WITH AIRPORT PROTECTION OVERLAY REQUIREMENTS.
 CLEAR LINE OF SIGHT REQUIREMENTS ARE ADHERED TO AND THE CLEAR SIGHT TRIANGLE IS MAINTAINED.
 PROJECT COMPLIES WILL ALL APPLICABLE PROVISIONS OF THE IDO AND DPM.
 BUILDING SETBACK, FRONT WALL, GREENBELT LANDSCAPING AND LOW USAGES ARE DESIGNED TO MITIGATE ADVERSE EFFECTS, IF ANY, PER 6-6(I)(3)(E).
 PHASING PLAN NOTES:
 PHASE 1 - CURRENT PROPOSED WAREHOUSE
 PHASE 2 - FILM STUDIO
 *PHASE 1 IS ON PARCEL 64A3B1 @ 4.75 ACRES
 APO NOTES:
 STRUCTURE AND OTHER FEATRUES COMPLY WITH GLARE AND REFLECTIVITY STANDERDS PER IDO 3-3(D)(2)
 MRGCD Dwg# A-354 AND R&C #3128 (SEE 25' CENTER TO PROPERTY NOTATION BELOW)
 NO CHANGES HAVE BEEN MADE TO APPROVED ACCESS LOCATION OF SOLID WASTE DUMPSTER SINCE LAST APPROVAL.

FUTURE DEVELOPMENT

PROPERTY LINE TO CENTER OF SAN JOSE LATERAL 60'
 As per MRGCD Drawing #A-028 and receipt & conveyance #3915



336 WOODWARD AVE SE ALBUQUERQUE, NM 87102
 AREA: 19.1 acres

LEGAL INFORMATION:
 MRGCD MAP 44 TRS 64A3B1 CONT AC
 LAND USE CATEGORY: VACANT LAND
 LAND USE DESCRIPTION: MISCELLANEOUS VACANT
 LAND OWNER NAME: FILM YARD LLC
 OWNER ADDRESS:
 366 LOS RANCHOS RD NW LOS RANCHOS, NM 87107

DESIGNED BY:

REVISION #:	SHEET #:
6	1

SCALE: 1"=50'
 DATE: JANUARY 2024

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

November 16, 2023

John R. Metz
366 Los Ranchos NW
Albuquerque, NM 87107

Project # PR-2022-007999
SI-2023-01621- Site Plan- EPC

LEGAL DESCRIPTION:

ABQ Land Use Consulting LLC - Carl Garcia, agent for John R. Metz, requests a Site Plan - EPC for all or a portion Tract MRGCD Map 44, Tracts 64A3B1, 64A3B2, 64A4 & Vacated West 24 feet of the San Jose Drain adjacent & East of MRGCD Map 44 Tracts 64A3B2 & 64A4, located at 336 Woodward Rd. SE, between Broadway Blvd. SE, and Second St. SE, containing approximately 20 acres. (M-14)
Staff Planner: Seth Tinkle

On November 16, 2023 the Environmental Planning Commission (EPC) voted to APPROVE Project # PR-2022-007999, SI-2023-01621- Site Plan- EPC, based on the following Findings and subject to the following Conditions of Approval:

1. The request is for a new Site Plan for a property legally described as MRGCD Map 44, Tracts 64A3B1, 64A3B2, 64A4 & Vacated West 24 feet of the San Jose Drain adjacent & East of MRGCD Map 44 Tracts 64A3B2 & 64A4, located at 336 Woodward Rd. SE, between Broadway Blvd. SE and Second St. SE, approximately 20-acres (the "subject site").
2. The request would facilitate the development of a 50,000 SF storage warehouse on an approximately 5-acre subdivided parcel (64A3B1) within the 20-acre subject site, which would be used for storage of film industry equipment. The proposed storage warehouse is single-story with a max height 46' at the roofs pitch.
3. The EPC is hearing this case as required by IDO section 14-16-6-6(I)(1)(c)5. for development within ½ a mile of the Railroad and Small Spur Small Area, which requires a Cumulative impact analysis pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements). A cumulative impacts analysis was included with this request (see attachments).
4. The applicant has received approval for Building Permit BP-2022-51961 with Conditions, which allows them to construct the structure for use as defined in the Temporary Use Not Listed (staging of props/materials, without storage on premise). This is only for purposes of the Temporary Use

and is subject to conditions, including compliance with limitations and requirements of their approved Temporary Use Not Listed Application. The Temporary Use permit expires within 45 days from the start of use, and if the Site Plan – EPC is not approved by the EPC for continued use by the time the Temporary Use permit expires, the structure must be removed from the property and returned to similar condition as prior to construction (see attached Temporary Use Permit and internal communications).

5. Staff reviewed the Site Plan drawings pursuant to IDO section 5: Development standards for development within an NR-LM zone district and Use Specific Standards for the proposed use. DFT reviewers shall check the Site Plan for compliance with the DPM and all development standards for the use.
6. The subject site is zoned NR-LM (Non-residential Light Manufacturing), is in an Area of Change, and is not in a designated Center or Corridor.
7. The subject site is in the Airport Protection Overlay zone for the Albuquerque International Sunport (IDO APO 14-16-3-3). The proposed Site Plan is required to comply with the APO and associated Federal Aviation Administration (FAA) sub-zones.
8. The subject site is within the Air Space Protection Sub-area for the Albuquerque International Sunport. All signs and structures shall not be taller than the horizontal surface of the Albuquerque International Sunport, per IDO 3-3(D)(1) Height Standards in the Airport Protection Overlay Zone, specifically 3-3(D)(1)(b). An exhibit depicting that the proposed structures and buildings are under the Horizontal Surface of the Airport Surface at 5,504.9 was provided with the Site Plan set. This requirement is met.
9. The proposed structure and any other features therein comply with the glare and reflectivity standards per IDO APO 3-3(D)(2) Reflectivity standards.
10. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
11. The request is consistent with the following Comprehensive Plan Goal and Policy from Chapter 4: Community Identity.

A. Goal 4.1 – Character: Enhance, protect, and preserve distinct communities.

The request would enhance, protect, and preserve the South Broadway community because it would allow the subject site to be developed pursuant to IDO development standards for NR-LM uses, which would protect the character of the surrounding community, and comply with standards for the Airport Protection Overlay Zone APO-3 pursuant to IDO 14-16-3-3. The proposed Site Plan – EPC would enhance the surrounding area by facilitating development of a currently underutilized site that would be consistent in character with surrounding development. The request would preserve a distinct community by absorbing new development that is most appropriate on the subject site due to its NR-LM zoning and location within an Area of Change.

B. Policy 4.1.1 – Distinct Communities: Encourage quality development that is consistent with the distinct character of communities

The request would encourage quality development that is consistent with the distinct industrial character of this part of the South Broadway community. Development on the subject site would be controlled by IDO development standards, which would ensure that character of building, landscape, and parking design on subject site are generally consistent with the scale of the industrial land uses in the area.

12. The request is consistent with the following Goals and Policies regarding Desired Growth and Complete Communities from Comprehensive Plan Chapter 5: Land Use.

- A. Policy 5.1.1 Sub-policy(c): Encourage employment density, compact development, redevelopment, and infill in Centers and Corridors as the most appropriate areas to accommodate growth over time and discourage the need for development at the urban edge.

The requests would encourage redevelopment on an infill site within an Area of Change and near a Commuter Corridor (I-25). The request would add infill development and employment density to an established industrial area.

- B. Policy 5.2.1 Sub-policy (a)– Land Uses: Encourage development and redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods and promotes good access for all residents.

The request would encourage development and redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods and promotes good access for all residents. The subject site is within 1/8-mile walking and biking distance of single-family zoned residential neighborhoods. Future City and MRMPO transportation plans include more multi-modal transportation options throughout the area to provide residents with greater accessibility. This development will promote good access for all residents by its location on a major collector (Woodward Rd. SE), near a major arterial (Broadway Blvd. SE), with access to the I-25 exit onto Sunport Blvd. SE.

- C. Policy 5.2.1 Sub-policy (h): Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development

The request would encourage infill development that adds complementary uses and is compatible in form and scale to surrounding development because it would facilitate the development of a storage warehouse on the subject site. The form of the proposed building, landscaping, drive access, and parking/circulation is compatible with existing industrial uses in the area.

- D. Policy 5.2.1 – Sub-policy (n): Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

The request would encourage more productive use of vacant lots and under-utilized lots, including surface lots, because it would allow redevelopment of the under-utilized subject site. Development of the subject site would result in more productive uses on this lot, which has sat mostly-vacant for more than a decade in an established industrial area.

13. The request is consistent with the following goal and policies regarding infill and city development areas from Comprehensive Plan Chapter 5: Land Use.

- A. Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would make possible development that maximizes the utility of existing infrastructure and public facilities because the subject site is located within a developed area. The proposed development would support the public good in the form of economic development, job creation, and an expansion to the tax base.

- B. Policy 5.3.1 – Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The request would support additional growth in areas with existing infrastructure and public facilities because it would facilitate infill development of the subject site, which features existing infrastructure and public facilities.

- C. Goal 5.6 City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The request would encourage and direct growth to Areas of Change, because it would facilitate development of a storage warehouse on the subject site, which is located in an Area of Change. By locating a storage warehouse in an Area of Change near an interstate exit, the request would locate a use that could be potentially harmful in a residential area to an established industrial area where such uses are most appropriate.

- D. Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The request would direct growth and more intense development within an Area of Change, where growth and development are encouraged, because it would facilitate development of a storage warehouse on the subject site, which is located in an Area of Change. The request is consistent with Policy 5.6.2 Areas of Change.

14. The request is consistent with the following goal and policies regarding strengthening the local economy and economic base from Comprehensive Plan Chapter 8: Economic Development.

- A. Policy 8.1.2 Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster robust, resilient, and diverse economy.

The request would encourage economic development efforts that improve quality of life for new and existing residents because it would result in development of the subject site and increased employment opportunities. The request would foster a robust, resilient, and diverse economy because it would meet an unmet need within Albuquerque’s burgeoning film industry.

- B. Policy 8.1.3 Economic Base: Strengthen and diversity the economic base to help reduce reliance on government spending.

The request would strengthen and diversify Albuquerque's economic base, which would help reduce reliance on government spending, because it would promote local economic activity and bolster Albuquerque's emergent film industry.

C. Policy 8.2.5 Creative Economy: Promote the creative economy.

The request would promote Albuquerque's creative economy because it would result in development that meets an unmet need within Albuquerque's film industry – an intrinsic feature of Albuquerque's creative economy.

15. The request is consistent with the goals established in the South Broadway Metropolitan Redevelopment Plan. Goals #2 and #6 are specifically applicable to the request because it would facilitate development that would promote, contribute to, and improve the economic conditions within the South Broadway community and larger city of Albuquerque.
16. The applicant has adequately justified the request pursuant to the Integrated Development Ordinance (IDO) Section 14-16-6-7(G)(3)-Review and Decision Criteria for Zoning Map Amendments, as follows:
 - A. Criterion A: As demonstrated by the policy analysis of the Site Plan – EPC (see above), the request is generally consistent with applicable Comprehensive Plan Goals and policies.
 - B. Criterion B: The subject site is zoned NR-LM; therefore, the above criterion does not apply.
 - C. Criterion C: The request is for a Site Plan - EPC. The proposed Site Plan is required to comply with all applicable provisions of the IDO, DPM, and other adopted City regulations. All conditions must be met prior to building permit approval.

The applicant has stated that the development will comply with all applicable provisions pursuant to the NR-LM zone district including landscaping, lot sizes, setbacks, and parking.
 - D. Criterion D: The subject site is already served by existing infrastructure and public facilities, which has adequate capacity to serve the proposed development. Burdens on these systems have been mitigated to the extent practicable and any future burdens on those systems shall be mitigated as the site continues to develop.
 - E. Criterion E: The request mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable. The subject site is within ¼ mile of the Railroad and Spur Small area and a Cumulative Impact Analysis was provided with the request.

The applicant was required to provide a cumulative impacts analysis due to the subject site's location within the Railroad and Small Spur area, and because the subject site and adjacent properties met all the applicability criteria in IDO 14-16-5-2(E)(1). The cumulative impacts analysis adequately addresses impacts on the surrounding area to the maximum extent practicable. The Site Plan is required to follow all standards of the IDO, DPM and other applicable City standards, which the applicant has agreed to follow.

F. Criterion F: The subject property is not within an approved Master Development Plan; therefore, the above criterion does not apply.

G. Criterion G: The subject property is within the Railroad and Spur Area and a cumulative impacts analysis is required. The cumulative impacts analysis indicates that the proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances. Existing and proposed design features will comply with all standards in the IDO, DPM, and other applicable City standards. These designs and features will ensure that the development sufficiently mitigates any adverse impacts on surrounding areas including compliance with Airport Protection Overlay (IDO 14-16-3-3) standards.

17. The affected, registered neighborhood organization is the San Jose Neighborhood Association, which was notified as required. Property owners within 100 feet of the subject site were also notified as required.
18. A facilitated meeting was not requested and staff has not received any comments of opposition or support as of this writing.
19. Staff has crafted conditions of approval needed to improve compliance and provide clarity moving forward.

CONDITIONS OF APPROVAL – SI-2023-01621

1. After approval by the Environmental Planning Commission (EPC), the applicant shall submit the proposed site plan to the Development Facilitation Team (DFT) for Final sign-off. The reviewer will be responsible for ensuring that all EPC Conditions have been satisfied and that the IDO, DPM, and all other applicable City requirements have been met.
2. The applicant shall coordinate with the Staff Planner prior to submitting to the DFT to ensure that the EPC Conditions in the Official Notification of Decision have been met. The staff planner will provide a post-EPC memo to the DFT.
3. The Site Plan shall be in compliance with all APO 3-3 standards.
4. Airport Protection Overlay Zone (APO 3-3)
 - A. The Airspace Protection Sub-Area analysis shall be its own detail sheet.
 - B. Light Reflective Value (LRV) shall be called out for each surface pursuant to IDO 3-3(D)(2) Reflectivity.
 - C. A note shall be added to the Site Plan stating that Structure and any other features therein comply with the glare and reflectivity standards per IDO 3-3(D)(2) Reflectivity.
5. The Site Plan shall be in compliance with all Irrigation Facility (Acequia) Standards (14-16-5 5-2(G) due to the subject site's adjacency to the San Jose Interior Drain.

6. Site Plan Clean-up

- A. The Site Plan shall indicate that the entire subject site is 19.1 acres.
- B. The Site Plan shall indicate areas of the subject site that are expected to be developed in the future.
- C. The Site Plan shall include a Phasing Plan noting that the current proposal is “Phase 1.” The Phasing Plan shall note future phases of development.
- D. The Site Plan shall indicate that the proposed warehouse (Phase 1) will be located solely on Parcel 64A3B1, which is 4.74 acres in size.

7. CONDITIONS FROM THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT:

- A. The Site Plan shall reference MRGCD Dwg #A-354 and R&C #3128 as well as the widths from the property lines to the centerline of the San Jose Interior Drain.
- B. The applicant shall seek the Final Plat Approval signature from the MRGCD.

8. CONDITIONS FROM THE SOLID WASTE MANAGEMENT DEPARTMENT:

- A. If the location where dumpsters have been approved for access by the Solid Waste Department has changed, a new approval for access by the Solid Waste Department shall be sought.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC’s decision or by **December 4, 2023**. The date of the EPC’s decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the Integrated Development Ordinance (IDO), Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal an EPC Recommendation to the City Council since this is not a final decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the IDO must be complied with, even after approval of the referenced application(s).

Sincerely,

Catalina Lehner

for Alan M. Varela,
Planning Director

OFFICIAL NOTICE OF DECISION

PR-2022-007999

November 16, 2023

Page 8 of 8

cc: ABQ Land Use Consulting LLC - Carl Garcia, carl@abqlanduse.com
John R. Metz, jrickmetz@gmail.com
San Jose NA Deanna Barela bacadeanna@gmail.com
San Jose NA Olivia Greathouse snase@gmail.com
Legal, dking@cabq.gov
EPC File

Response Letter

Mr. Tinkle

In reference to 336 Woodward Road SE and the conditions of approval:

The conditions of approval have been addressed and we request your review and the provision of our final work for DFT for final sign off.

Specifically in reference to #1... an updated site plan was provided to you.

For #2...this letter is our effort to comply with this condition.

#3... the site plan is in compliance with all APO standards, a separate summary document was supplied and the updated plan has comments to this effect

#4... is addressed with notes on the site plan... the site has no signage or reflective surfaces to further evidence.

#5... the site plan is in compliance with the IFS and noted on the updated site plan

#6... all comments in this condition are reflected in the updated plan provided.

#7... these comments are reflected on the updated plan... we need a submission contact from you for this.

#8... as reflected on the plan... there have been no changes to the site since final Solid Waste approvals... so no changes are hereby required.

In reference to MRGCD: I spoke to DeAnna Philips (deanna@mrgcd.us) and provided here with the updated site plan that I'm attaching here for you and she has no further conditions. She said you can contact her if you have any questions.

Please advise that this will meet our conditions with you and facilitate submission for final approval.

Best

Rick Metz
505-991-5384

Airport Protection Overlay Considerations (APO)

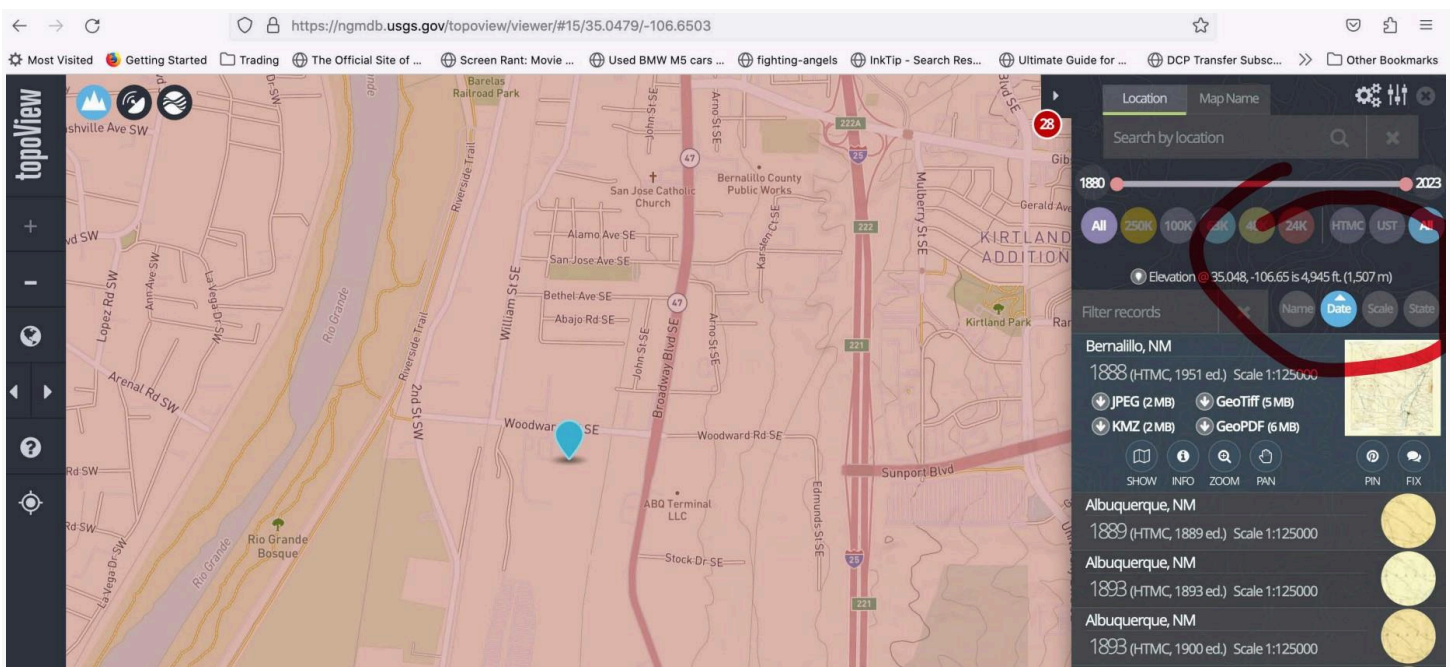
The subject site is within the Airport Protection Overlay Zone (APO 3-3). The purpose of the Airport Protection Overlay (APO) zone is to require that land use and development at or around the Albuquerque International Sunport in this case comply with the regulations of the Federal Aviation Administration (FAA). These regulations protect the public from noise, vibration, and hazard impacts of airport operations and that protect the safety of aircraft operators. The subject site is within the Air Space Protection Sub-area, the Runway Protection Sub-area, and the Noise Contour Sub-area 65 LdN. Use regulations and Development Standards for properties within these sub-areas can be found in IDO 14-16-3-3

It is required that the Subject Site and proposed structure be lower than 5505 feet above sea level. According to the US Geological Survey chart (below) the site is below that altitude at 4945 feet. The proposed structure is a single story warehouse which is 46' at its highest point. So the project is within the required height limitations.

It is also required that the project complies with IDO APO 3-3(D)(2) Reflectivity standards. The Proposed meets these standards. The building is a matte gray, with a light gray low reflectability roof the building will have no high reflective surfaces, colors or materials. Site has no signage.

Elevation Attachment

An Elevation for the proposed structure was provided which illustrates that the highest point of the structure is 46'. When combined with the altitude of the Subject Site of 4945', this identifies the height of 4991' as the highest point of the project and demonstrates compliance with APO.

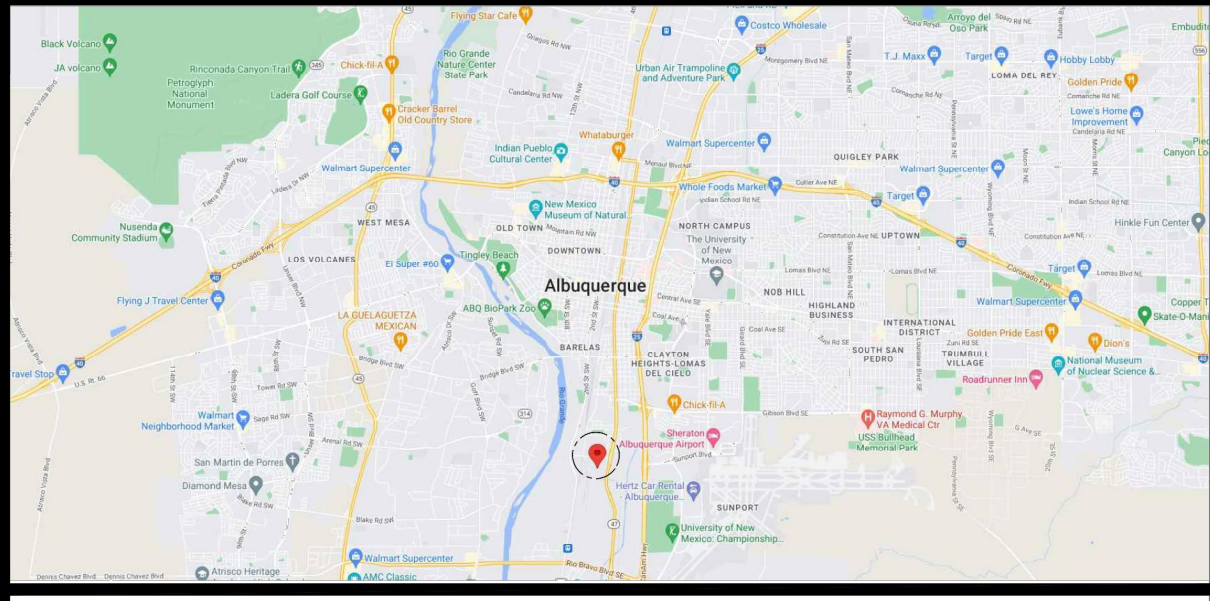


335 WOODWARD AVE SE ALBUQUERQUE, NM 87102
 Parcel No. (APN): 1-014-055-185-223-3-05-22
 Land Use: INDUSTRIAL
 Building Area: 19,595 sqft | 1 Units
 Lot Area: 205,603.00 sqft (4.72 ACRES)
 Owner: CORTAZAR LABORATORIES LLC

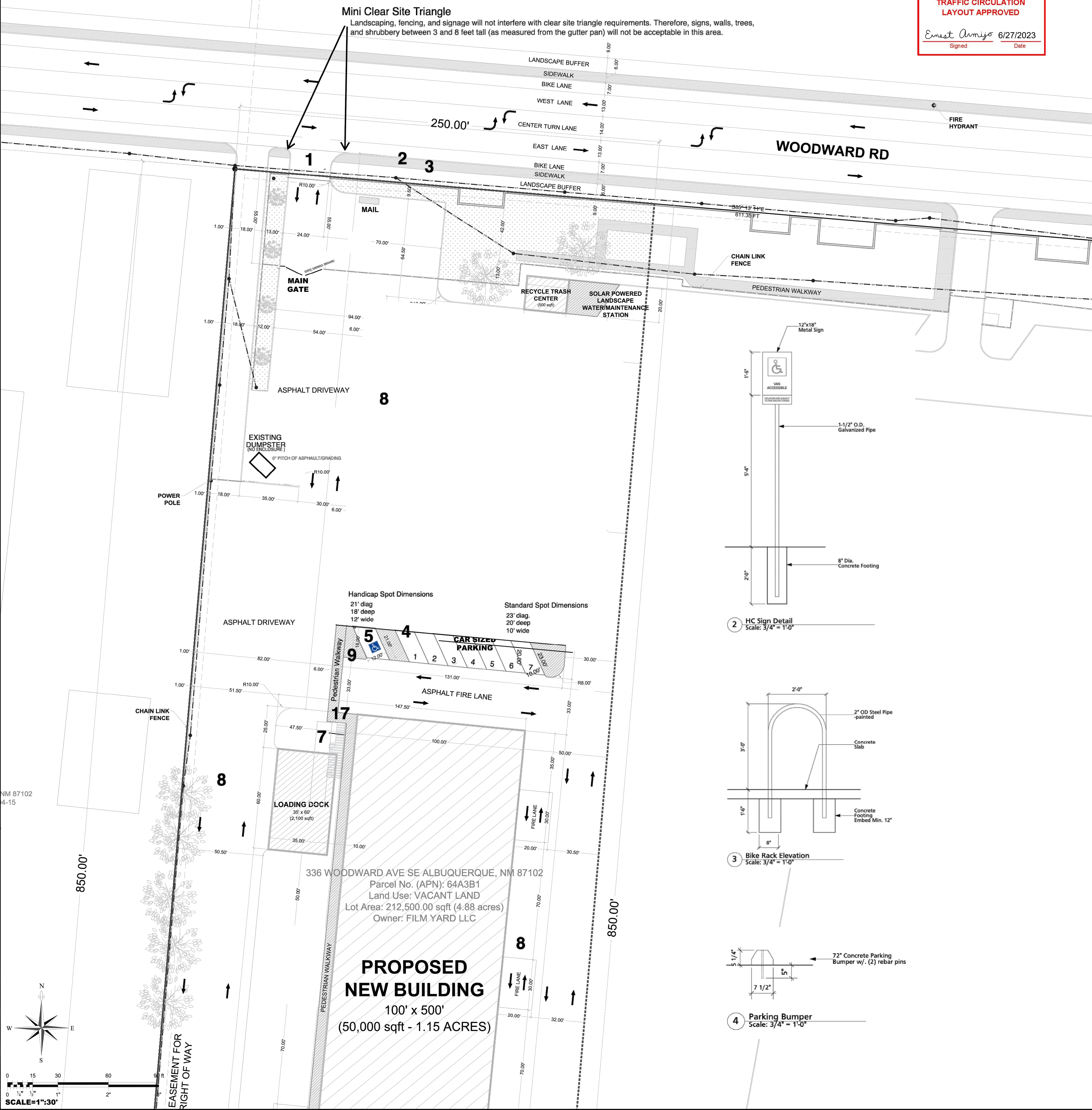
335 WOODWARD AVE SE ALBUQUERQUE, NM 87102
 Parcel No. (APN): 1-014-055-234-223-3-05-27
 Land Use: INDUSTRIAL
 Lot Area: 683,021.00 sqft (15.68 ACRES)
 Owner: RSN LLC

TRAFFIC CIRCULATION LAYOUT APPROVED
 Ernest Armijo 6/27/2023
 Signed Date

- LEGEND**
- PROPERTY LINE
 - ROAD, HIGHWAY
 - CURB & GUTTER
 - BOUNDARY LINE
 - BUILDING
 - EASEMENT
 - OVERHEAD POWER LINE
 - CHAIN LINK FENCE
 - DECORATIVE BRICK WALL WITH ROD IRON
 - GATE
 - FIRE HYDRANT
 - POWER POLE
 - PEDESTRIAN WALKWAY
 - LANDSCAPE AREA



VICINITY MAP



PROJECT SUMMARY

New 50,000 sq.ft. storage building.

PROJECT INFORMATION

PROJECT ADDRESS

336 Woodward
 Albuquerque, New Mexico 87102

APPLICABLE CODES

- 2015 International Building Code
- 2015 Uniform Plumbing Code
- 2015 Uniform Mechanical Code
- 2017 National Electrical Code
- 2018 International Energy Conservation Code

ZONING

NR-LM

KEYED NOTES

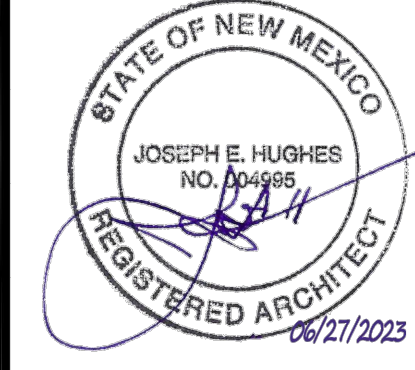
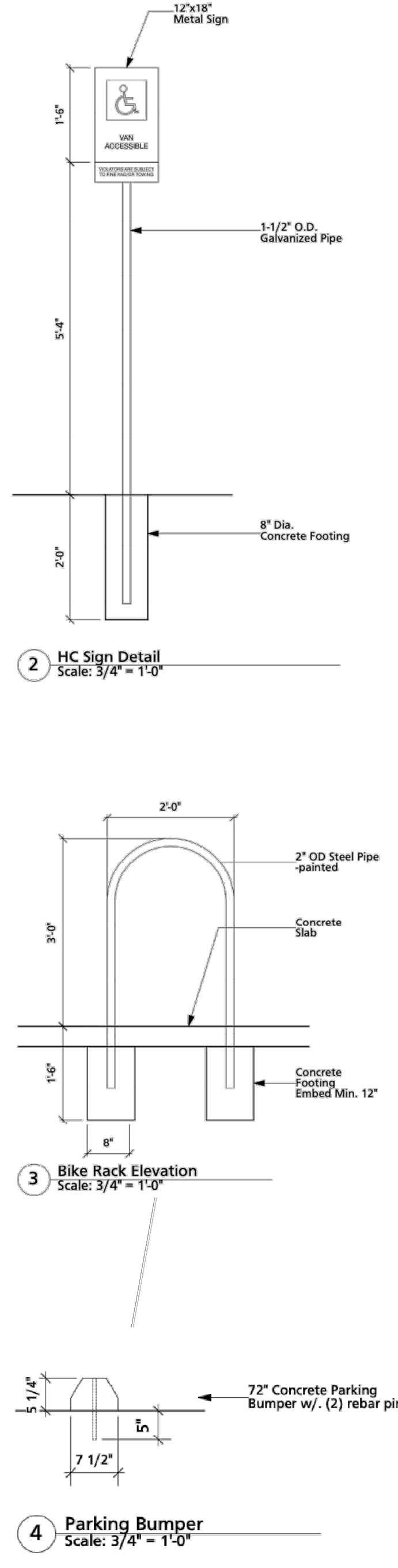
1. EXISTING CONCRETE DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2425
2. EXISTING CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2415A
3. EXISTING CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2430
4. 6' X 5.75' X 4"H WHEEL STOP. PROVIDE (2) 18" LONG #4 REBAR STAKES AT EA. STOP WITH IN PARKING SPACES AS INDICATED SEE DETAIL TCL SHEET
5. ADA ACCESSIBLE PARKING SIGN SEE DETAIL TCL SHEET
6. NOT USED
7. BICYCLE RACK SEE DETAIL TCL SHEET PROVIDE EACH RACK WITH 2x6" CLEAR SPACE WITH MINIMUM 1' CLEAR AROUND
8. PARKING AND DRIVE AISLE FOR FIRE APPARATUS ACCESS ROADS SHALL HAVE AN ASPHALT, CONCRETE, OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF APPARATUS WEIGHING AT LEAST 75,000 POUNDS. CONTRACTOR TO PROVIDE ENGINEER DATA FOR APPROVAL.
9. PARKING STRIPING 2" WIDE X 2' O.C. DIAGONAL PAINT STRIPING. SEE INDICATED LAYOUT WITH 3'X3' HANDICAP SYMBOL AND WORDS "NO PARKING" IN CAPITAL LETTERS 1" HIGH 2" STROKE AS CLOSE TO WHERE ADJACENT VEHICLES REAR TIRE WOULD BE PARKED
10. ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.
11. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST INCLUDE A WORK ORDER
12. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER CoA STD. DTL. 2415
13. CONFIRM EXISTING RAMP MEETS CURRENT ADA STANDARD CoA DTL. 2425 IF NOT REPLACE ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.
14. PARKING STRIPING 2" WIDE X 2' O.C. DIAGONAL PAINT STRIPING. SEE INDICATED LAYOUT
15. DRIVE AISLE STRIPING 4" WIDE YELLOW STRIPING. SEE INDICATED LAYOUT
16. ALL INTERNAL RAMPS TO ADA ACCESSIBLE MAX SLOPE 1:12 WITH MAX 2% CROSS SLOPE LANDING AREA MIN. 5'X5' SEE CoA DWG 2430
17. DRIVE AISLE STRIPING 4" WIDE WHITE STRIPING. SEE INDICATED LAYOUT

PARKING REQUIREMENTS per 14-16-5-5

No Requirement (Warehousing)	=0
Total Spaces required	=0
ADA	=0 (0 Var)
Motorcycle	=0
Bicycle	=0
Total Spaces Required	=0
Total Spaces Provided	=8

PROJECT AREA Table 503

STORAGE (S-1)	= 50,000 Sq.Ft. (Non-Sprinkled)
ALLOWABLE AREA	= S-1 @ 70,000 sq.ft. / 2 Stories per tables 504.4 / 506.2



TCL

336 WOODWARD AVE SE ALBUQUERQUE, NM 87102
PARCEL #:64A3B1
AREA:212,500.00 sqft (4.88 acres)

336 WOODWARD AVE SE ALBUQUERQUE, NM 87102
PARCEL #:64A3B1
AREA:212,500.00 sqft (4.88 acres)

LEGAL INFORMATION:
MRGCD MAP 44 TRS 64A3B1 CONT 4.88 AC
 SUBDIVISION: -
 LEGAL LOT: - LEGAL BLOCK: -
 ZONING: -
 LAND USE CATEGORY: VACANT LAND
 LAND USE DESCRIPTION: MISCELLANEOUS VACANT LAND
 OWNER NAME: FILM YARD LLC
 OWNER ADDRESS:
 366 LOS RANCHOS RD NW LOS RANCHOS, NM 87107

DESIGNED BY:

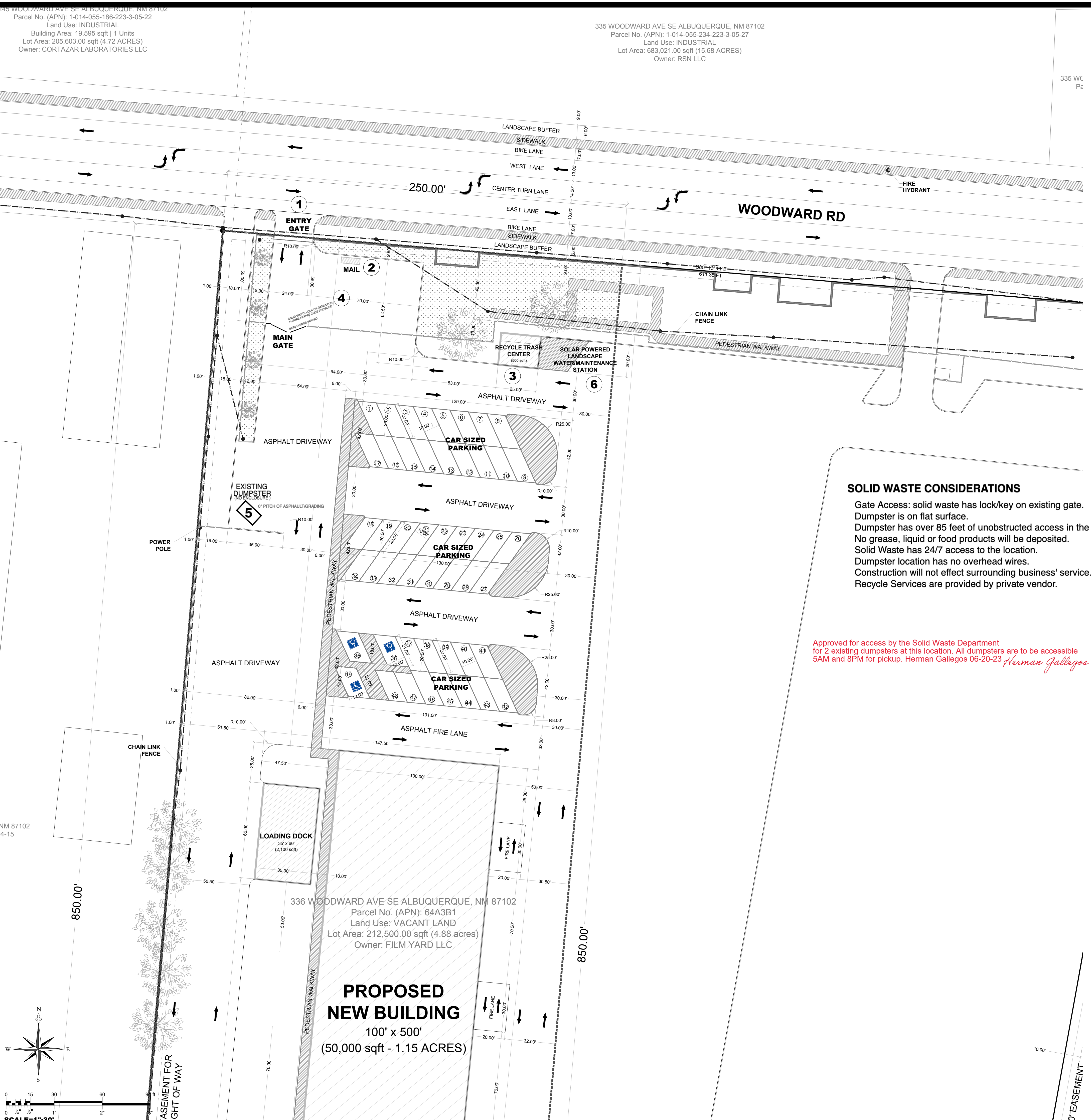
REVISION #:	SHEET #:
3	4

SCALE:1"=30'
 DATE: JANUARY 2,023

335 WOODWARD AVE SE ALBUQUERQUE, NM 87102
 Parcel No. (APN): 1-014-055-185-223-3-05-22
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 Parcel No. (APN): 1-014-055-234-223-3-05-27
 Land Use: INDUSTRIAL
 Lot Area: 683,021.00 sqft (15.68 ACRES)
 Owner: RSN LLC

335 WC
 Pe



SOLID WASTE CONSIDERATIONS

Gate Access: solid waste has lock/key on existing gate.
 Dumpster is on flat surface.
 Dumpster has over 85 feet of unobstructed access in the front.
 No grease, liquid or food products will be deposited.
 Solid Waste has 24/7 access to the location.
 Dumpster location has no overhead wires.
 Construction will not effect surrounding business' service.
 Recycle Services are provided by private vendor.

Approved for access by the Solid Waste Department
 for 2 existing dumpsters at this location. All dumpsters are to be accessible
 5AM and 8PM for pickup. Herman Gallegos 06-20-23 *Herman Gallegos*

LEGEND

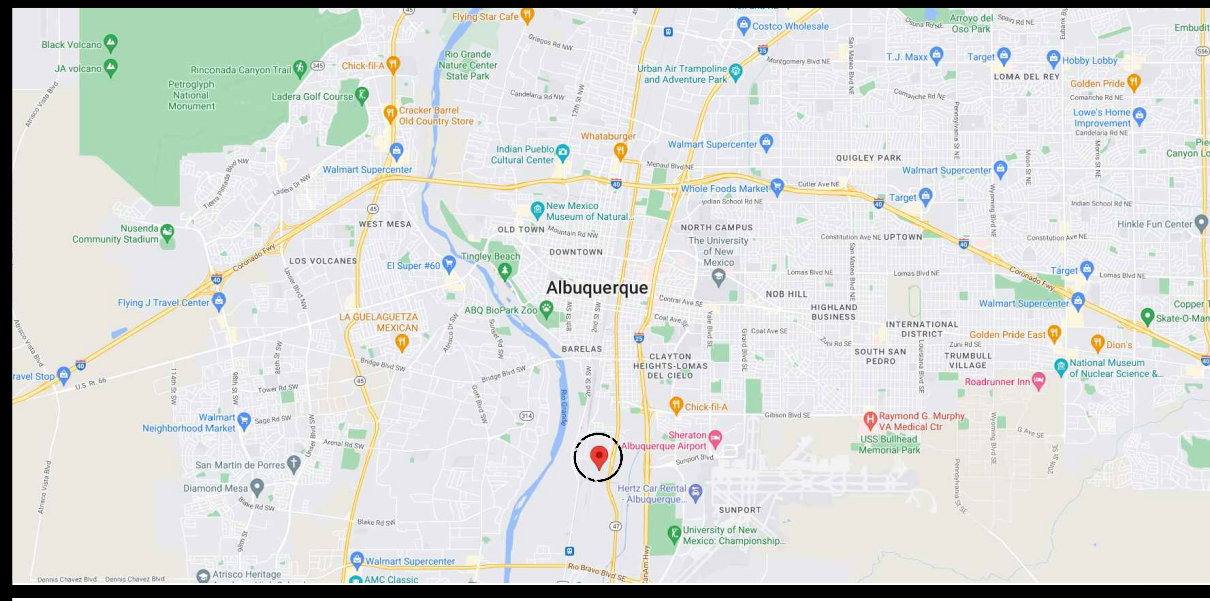
- PROPERTY LINE
- ROAD, HIGHWAY
- CURB & GUTTER
- BOUNDARY LINE
- BUILDING
- EASEMENT
- OVERHEAD POWER LINE
- CHAIN LINK FENCE
- DECORATIVE BRICK WALL WITH ROD IRON
- GATE
- FIRE HYDRANT
- POWER POLE
- ▨ PEDESTRIAN WALKWAY
- ▨ LANDSCAPE AREA

KEYED NOTES

- 1 PROPERTY ENTRY
- 2 MAIL BOX
- 3 RECYCLED TRASH CENTER
- 4 TURNAROUND
- 5 SITE DUMPSTERS
- 6 OFF-GRID LANDSCAPE MAINTENANCE STATION (rain water capture from storm system and solar powered with battery backup timer/drip system)

GENERAL NOTES

1. Permit #BP-2022-51961
2. Occupancy: IBC Storage Group S-2
3. City of Albuquerque Opportunity Zone
4. Property Usage is for a single private dry storage warehouse. Will have minimal occupancy and traffic.
5. Warehouse will have no utilities.
6. All Asphalt is Existing
7. Core Drilling performed by Western Technologies Inc (11/2022) evidences a compact subsurface up to 5' deep with 3" of asphalt. Samples taken at 2 coring locations in the existing asphalt parking area.
8. All Driveways are oversized to accommodate any truck traffic that may occur. All Trucks are for delivery only. No Long term truck parking
9. Parking Area is level, contoured for drainage, with no areas exceeding 2% grading.
10. Building Setback from frontage: 332 ft
11. Landscaped Area 8,362 sqft (3.94%)
12. Fire apparatus access and fire lanes are designed to support imposed loads of 80,000 lbs. All areas are paved or concrete.



VICINITY MAP

SOLID WASTE SITE PLAN

336 WOODWARD AVE SE ALBUQUERQUE, NM 87102
PARCEL #:64A3B1
AREA:212,500.00 sqft (4.88 acres)

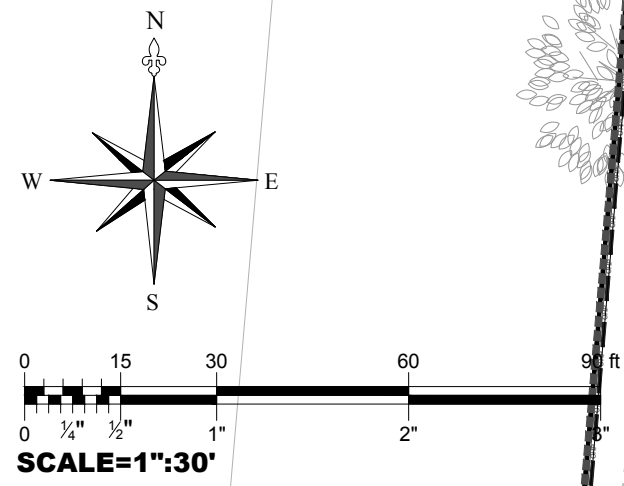
336 WOODWARD AVE SE ALBUQUERQUE, NM 87102
PARCEL #:64A3B1
AREA:212,500.00 sqft (4.88 acres)

LEGAL INFORMATION:
MRCGD MAP 44 TRS 64A3B1 CONT 4.88 AC
 SUBDIVISION: -
 LEGAL LOT: - LEGAL BLOCK: -
 ZONING: -
 LAND USE CATEGORY: VACANT LAND
 LAND USE DESCRIPTION: MISCELLANEOUS VACANT LAND
 OWNER NAME: FILM YARD LLC
 OWNER ADDRESS:
366 LOS RANCHOS RD NW LOS RANCHOS, NM 87107

DESIGNED BY:

REVISION #:	SHEET #:
3	4

SCALE: 1"=30'
 DATE: JANUARY 2, 2023



FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

Legal Description & Location: A tract of land Situate in the Southwest Quarter (SW 1/4) of Section 32, Township 10 North, Range 3 East, N.M.P.M.

Request Description: DFT for final approval

Hydrology:

- Sensitive Lands Analysis (5-2(C))
Grading and Drainage Plan
AMAFCA
Bernalillo County
NMDOT
MRGCD

Hydrology Department Date

Transportation:

- Traffic Circulations Layout (TCL)
Traffic Impact Study (TIS)
Neighborhood Impact Analysis (NIA)
Bernalillo County
MRCOG
NMDOT
MRGCD

Transportation Department Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Request for Availability submitted? Yes No NA
Availability Statement/Serviceability Letter Number
Note: Commitment for service is required prior to application approval.

ABCWUA Date

- Infrastructure Improvements Agreement (IIA*)
Solid Waste Department Signature on the Plan
Fire Marshall Signature on the Plan

* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

Legal Description & Location: A tract of land Situate in the Southwest Quarter (SW 1/4) of Section 32, Township 10 North, Range 3 East, N.M.P.M. - 336 Woodward Rd. SE

Request Description: DFT for final approval

Hydrology:

- Sensitive Lands Analysis (5-2(C)) Approved NA
- Grading and Drainage Plan Approved NA
- AMAFCA Approved NA
- Bernalillo County Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Hydrology Department

Date

Transportation:

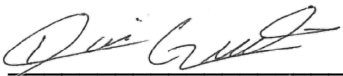
- Traffic Circulations Layout (TCL) Approved NA
- Traffic Impact Study (TIS) Approved NA
- Neighborhood Impact Analysis (NIA) Approved NA
- Bernalillo County Approved NA
- MRCOG Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Ernest Armijo
Transportation Department

4/15/2024
Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Request for Availability submitted? Yes No NA
- Availability Statement/Serviceability Letter Number 230405
- Note: Commitment for service is required prior to application approval.


ABCWUA

4/22/2024
Date

- Infrastructure Improvements Agreement (IIA*) Approved NA
- Solid Waste Department Signature on the Plan Approved NA
- Fire Marshall Signature on the Plan Approved NA

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

Legal Description & Location: A tract of land Situate in the Southwest Quarter (SW 1/4) of Section 32, Township 10 North, Range 3 East, N.M.P.M.

Request Description: DFT for final approval

Hydrology:

- Sensitive Lands Analysis (5-2(C)) Approved NA
- Grading and Drainage Plan Approved NA
- AMAFCA Approved NA
- Bernalillo County Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Regina Chan
Hydrology Department

4/17/2024
Date

Transportation:

- Traffic Circulations Layout (TCL) Approved NA
- Traffic Impact Study (TIS) Approved NA
- Neighborhood Impact Analysis (NIA) Approved NA
- Bernalillo County Approved NA
- MRCOG Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Transportation Department

Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Request for Availability submitted? Yes No NA
- Availability Statement/Serviceability Letter Number _____
- Note: Commitment for service is required prior to application approval.

ABCWUA

Date

- Infrastructure Improvements Agreement (IIA*) Approved NA
- Solid Waste Department Signature on the Plan Approved NA
- Fire Marshall Signature on the Plan Approved NA

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 20, 2023

Åsa Nilsson-Weber, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

**RE: Storage Building
336 Woodward Rd. SE
Conceptual Grading & Drainage Plan
Engineer's Stamp Date: 01/06/23
Hydrology File: M14D037**

Dear Ms. Nilsson-Weber:

PO Box 1293

Based upon the information provided in your submittal received 04/13/2023, the Grading & Drainage Plan is approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

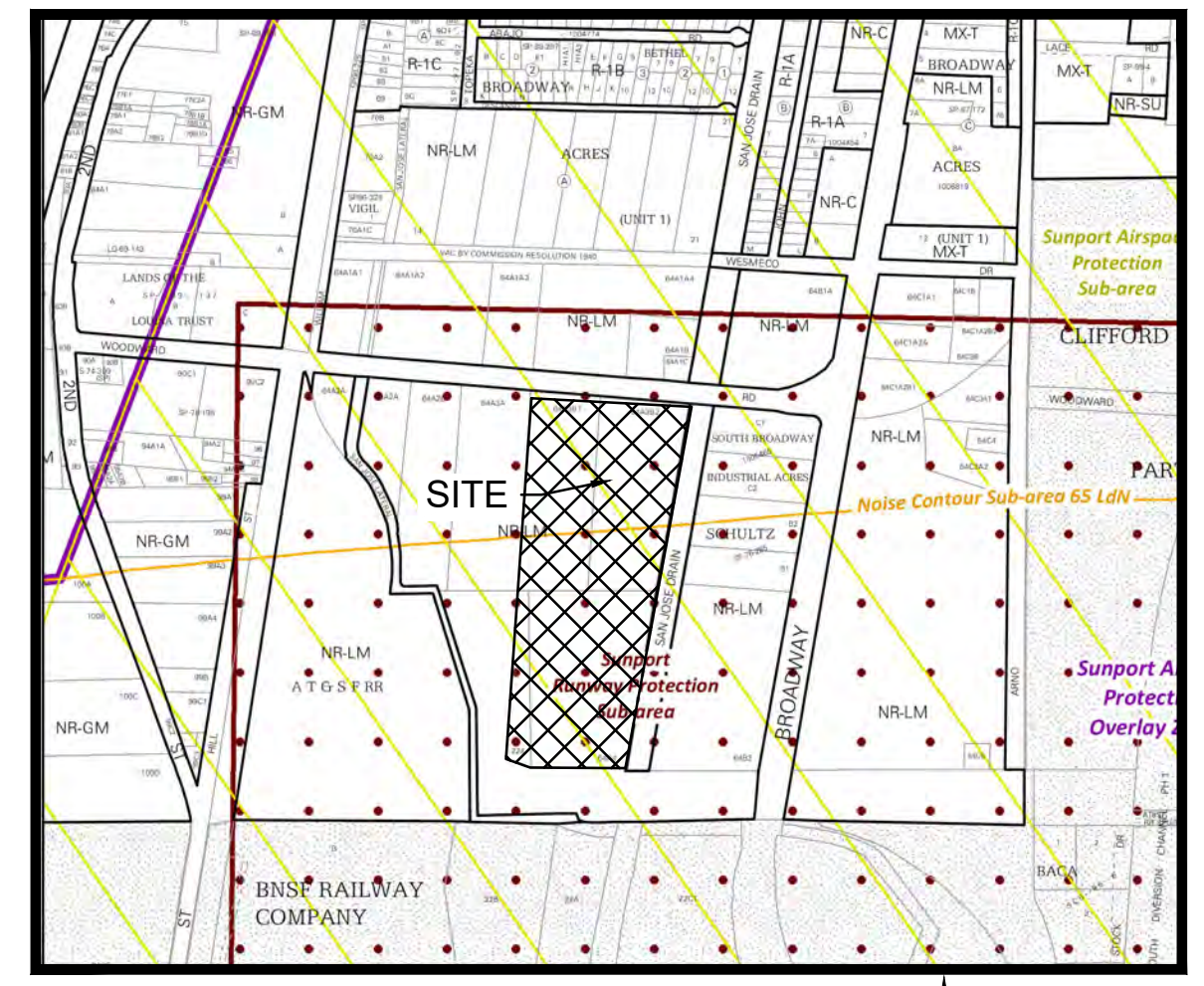
If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

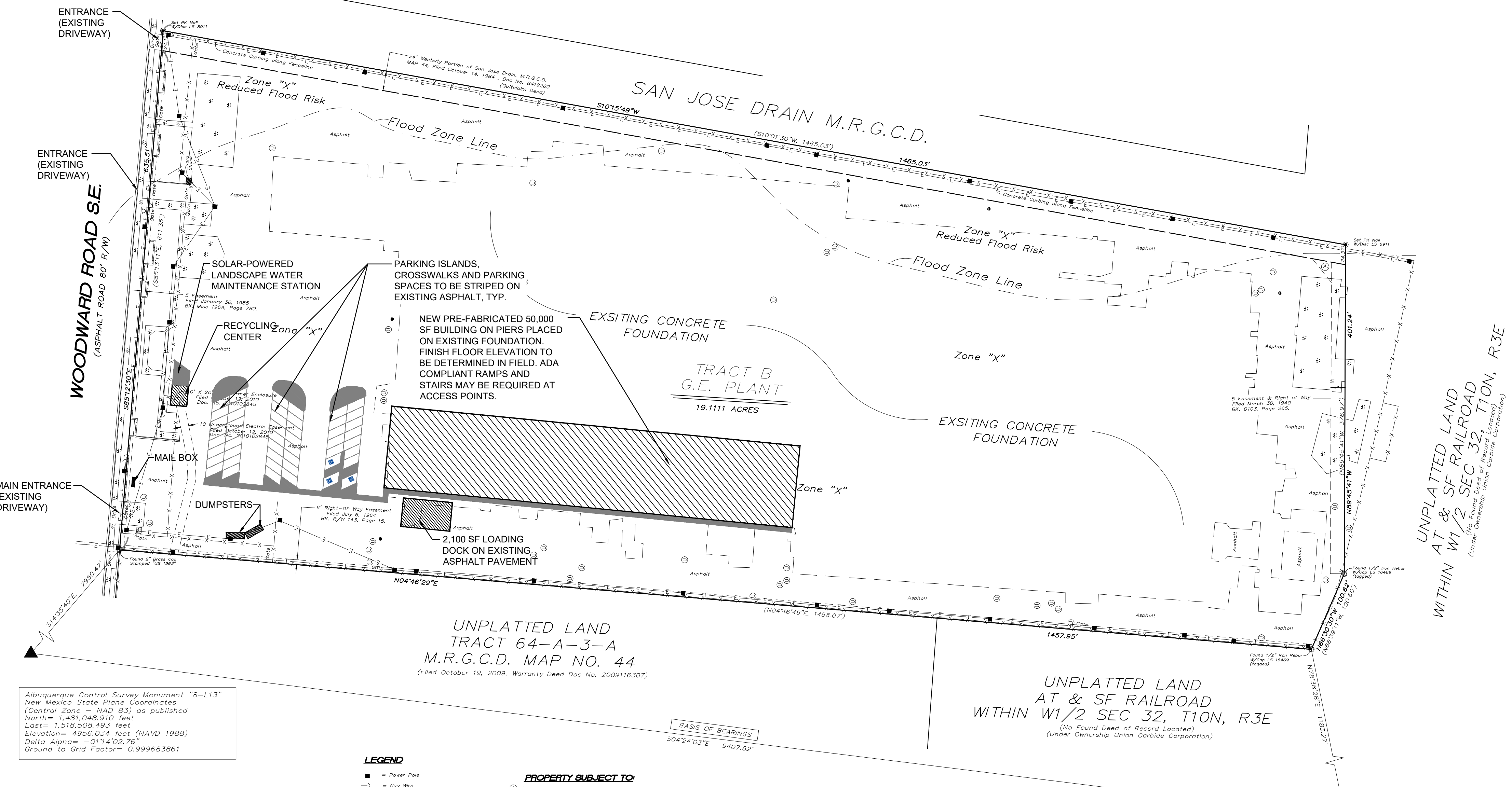
Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 04/20/23
 BY: *Randy Brissett*
 HydroTrans # M14D037

THE APPROVAL OF THESE PLANS SHALL NOT BE
 CONSIDERED TO PREVENT VIOLATIONS OF ANY CITY
 ORDINANCES OR STATE LAWS, AND SHALL NOT PREVENT
 THE CITY FROM ENFORCING ANY CITY ORDINANCE
 OR STATE LAW IN CONNECTION WITH THE PROPOSED
 DEVELOPMENT. THE CITY DOES NOT WARRANT THAT THE
 APPROVAL OF THESE PLANS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT
 AUTHORIZATION.



VICINITY MAP - M-14



NOTES

LEGAL DESCRIPTION: TRACT B G.E. PLANT SITE TOGETHER WITH PORTION OF SAN JOSE DRAIN MRGCD MAP 44.

AREA: TOTAL AREA = 19.1117 AC.

FLOOD ZONE: THE PROPERTY IS LOCATED WITHIN ZONE X MINIMAL FLOOD HAZARD AND ZONE X REDUCED FLOODRISK DUE TO LEVEES AS SHOWN ON FIRM MAP NO. 35001C0342G EFFECTIVE DATE 9/26/2008.

BOUNDARY SURVEY: BY SURV-TEK, JULY 2022

TOPOGRAPHIC SURVEY: NONE PROVIDED.

EXISTING CONDITIONS: THIS SITE IS THE OLD GENERAL ELECTRIC SITE LOCATED SOUTH OF WOODWARD RD. SE AND WEST OF BROADWAY BLVD SE. ALL BUILDINGS ONSITE HAVE BEEN DEMOLISHED, BUT THE FOUNDATIONS AND ASPHALT AREAS REMAIN. THE SITE IS 95% IMPERVIOUS AND FREE DISCHARGES TO THE SAN JOSE DRAIN LOCATED EAST OF THE PROPERTY, WEST OF BROADWAY BLVD. VIA AN ONSITE STORM DRAIN SYSTEM WITH THREE OUTFALL PIPES TO THE DRAIN. THERE ARE UNDERGROUND CONTAINMENT BASINS FOR STORM WATER QUALITY CONTROL LOCATED AT EACH OUTFALL POINT ADJACENT TO THE SAN JOSE DRAIN.

PROPOSED CONDITIONS: THE EXISTING FOUNDATION AND ASPHALT SHALL REMAIN. A 50,000 SF MODULAR BUILDING SHALL BE PLACED ON PIERS WITHOUT REMOVING THE EXISTING FOUNDATION. PARKING SPACES SHALL BE STRIPED ON THE EXISTING ASPHALT. OTHER IMPROVEMENTS INCLUDE 2 DUMPSTERS, A 2,100 SF LOADING DOCK, A RECYCLING CENTER AND A SOLAR-POWERED LANDSCAPE WATER MAINTENANCE STATION. NO TOPOGRAPHIC SURVEY HAS BEEN PROVIDED AND NO ELEVATIONS ARE SHOWN ON THIS DRAINAGE PLAN.

THERE IS NO CHANGE IN IMPERVIOUS AREA; NO CHANGE IN DISCHARGE OR DRAINAGE PATTERNS.

THE ONSITE STORM DRAIN SYSTEM SHALL REMAIN IN PLACE AND THE SITE SHALL CONTINUE TO DISCHARGE TO THE EXISTING ONSITE STORM DRAIN SYSTEM AND OUTFALL TO THE SAN JOSE DRAIN.

UPDATES TO DRAINAGE MASTER PLAN: THE APPROXIMATE 100-YEAR FLOW RATES SHOWN IN THE DRAINAGE CALCULATIONS ON THE DRAINAGE MASTER PLAN (DMP) PREPARED BY SMITH-SCHUECH ENGINEERING CO. IN 1991 HAVE BEEN UPDATED USING THE METHODS IN ARTICLE 6-2 OF THE JUNE 26, 2020 COA DPM--SEE SHEET C-102. THE RESULTS SHOW A NEGLIGIBLE INCREASE OF 0.1 CFS/AC AS COMPARED TO THE DMP CALCULATIONS. THE NEW CALCULATIONS INDICATE A SITE DISCHARGE OF 4.2 CFS/AC; THE DMP CALCULATIONS SHOWED AN APPROXIMATED DISCHARGE OF 4.1 CFS/AC.

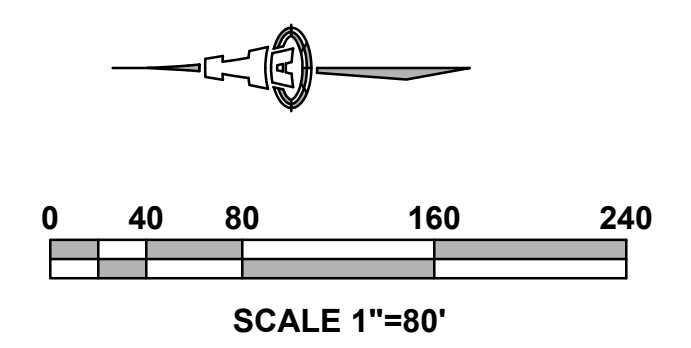
Albuquerque Control Survey Monument "B-L13"
 New Mexico State Plane Coordinates
 (Central Zone - NAD 83) as published
 North = 1,481,048.910 feet
 East = 1,519,508.493 feet
 Elevation = 4956.034 feet (NAVD 1988)
 Delta Alpha = -01°14'02.76"
 Ground to Grid Factor = 0.999683961

Albuquerque Control Survey Monument "NM-47-20"
 New Mexico State Plane Coordinates
 (Central Zone - NAD 83) as published
 North = 1,471,671.964 feet
 East = 1,519,230.120 feet
 Elevation = 4942.068 feet (NAVD 1988)
 Delta Alpha = -00°13'56.97"
 Ground to Grid Factor = 0.999684328

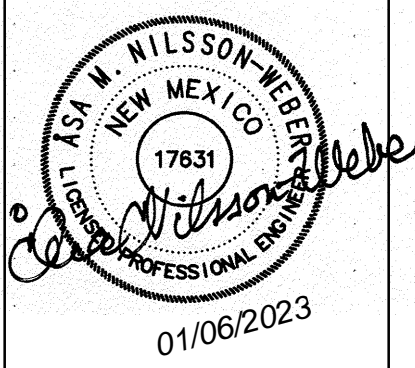
LEGEND

- = Power Pole
- = Guy Wire
- = Overhead Wire
- = Light Pole
- ⊗ = Concrete Area
- ⊕ = Utility Pedestal
- ⊙ = Water Meter
- ⊚ = Utility Manhole
- ⊛ = Gas Valve
- ⊜ = Water Valve

PROPERTY SUBJECT TO:
 (Approximate Location)
 Easement & Right-of-Way
 Filed March 30, 1942, BK D103, Pg. 265
 Repable Copy provided at this time.



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Engineer

**336 WOODWARD RD SE
 STORAGE BUILDING
 ALBUQUERQUE, NM**

DESIGN	ISSUE:	DEVELOPMENT
	PROJECT NUMBER:	IA 2568
	FILE:	
	DRAWN BY:	ANW
	CHECKED BY:	ANW
	DATE:	01-04-2023

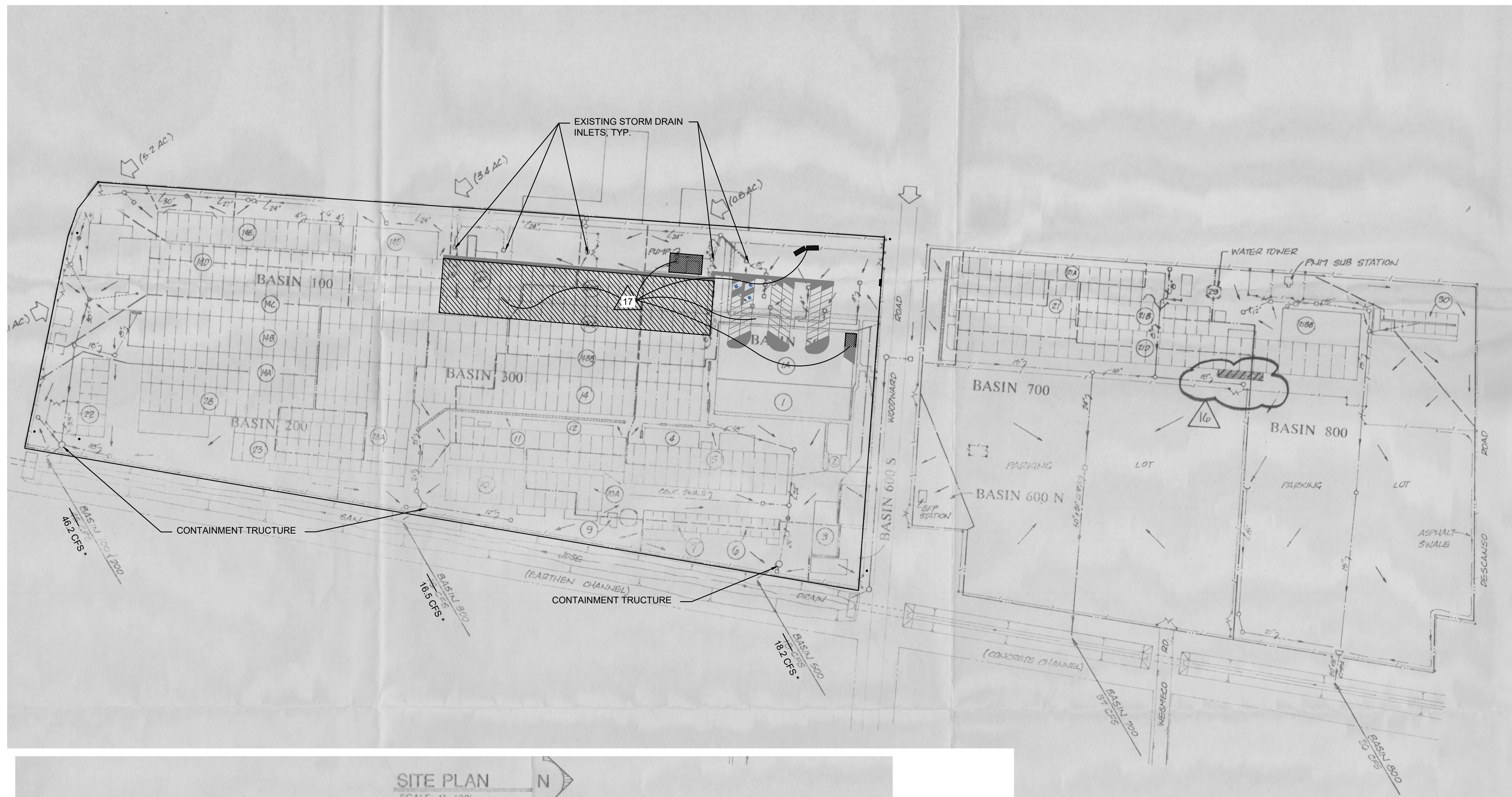
No	Date	Description

SHEET TITLE

DRAINAGE PLAN

SHEET NUMBER

C-101



NOTES:

THIS SHEET SHOWS MARKUPS TO THE DRAINAGE MASTER PLAN REVISIONS PREPARED BY SMITH-SCHEUCH ENGINEERING CO. IN 1991.

ALL BUILDINGS ON THE PROPERTY HAVE BEEN DEMOLISHED BUT THE FOUNDATION REMAINS. THERE ARE INLETS AND A STORM DRAIN SYSTEM THROUGHOUT THE SITE WITH THREE CONTAINMENT STRUCTURES AT THE OUTFALLS TO THE SAN JOSE DRAIN.

A 50,000 SF PRE-FABRICATED BUILDING SHALL BE INSTALLED ON PIERS ON THE EXISTING FOUNDATION AND PAVEMENT MARKINGS SHALL BE INSTALLED ON THE EXISTING ASPHALT. OTHER IMPROVEMENTS INCLUDE 2 DUMPSTERS, A 2,100 SF LOADING DOCK, A RECYCLING CENTER AND A SOLAR-POWERED LANDSCAPE WATER MAINTENANCE STATION.

THE PROPOSED IMPROVEMENTS WILL NOT ALTER THE RUNOFF FROM THE SITE (NO IMPERVIOUS IMPROVEMENTS WILL BE REMOVED OR ADDED).

THE DRAINAGE CALCULATIONS WERE UPDATED PER THE JUNE 26, 2020 DEVELOPMENT PROCESS MANUAL ARTICLE 6-2. THE LAND TREATMENTS WERE CALCULATED AT 95% TYPE D AND 5% TYPE B. THESE CALCULATIONS SHOW THE DISCHARGE FROM THE SITE IS 4.2 CFS/AC. VS. 4.1 CFS/AC. SHOWN IN THE SMITH-SCHEUCH ENGINEERING CO. 1991 DRAINAGE MASTER PLAN.

336 WOODWARD - DPM CALCS .xlsx

Job Name:	336 WOODWARD RD SE
Client:	
Date Prepared:	1/3/2023
Date Modified:	
Precipitation Zone:	2

CALCULATIONS: 336 WOODWARD RD SE					
Based on City of Albuquerque DMP Article 6-2 Hydrology dated June 26, 2020					
100-YEAR, 6-HOUR CALCULATIONS					
AREA OF SITE:	832431.6	SF	=	19.11	ACRE
100-year, 6-hour					
HISTORIC FLOWS:					
Treatment SF	%	Treatment SF	%	Excess Precip.	Zone
Area A	= 0	0%	Area A	= 0	0%
Area B	= 41622	5%	Area B	= 41622	5%
Area C	= 0	0%	Area C	= 0	0%
Area D	= 790810	95%	Area D	= 790810	95%
Total Area	= 832432	100%	Total Area	= 832432	100%
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)					
Weighted E = $E_A A_A + E_B A_B + E_C A_C + E_D A_D$					
Historic E = 2.25 in. / Developed E = 2.25 in.					
On-Site Volume of Runoff: V360 = $E^* A / 12$					
Historic V ₁₀₀ = 156324 CF / Developed V ₁₀₀ = 156324 CF					
On-Site Peak Discharge Rate: $Q_p = Q_A A_A + Q_B A_B + Q_C A_C + Q_D A_D / 43.560$					
For Precipitation Zone 2					
Q _{pA}	= 1.71		Q _{pC}	= 3.05	
Q _{pB}	= 2.36		Q _{pD}	= 4.34	
Historic Q _p	= 81.0 CFS	Developed Q _p	= 81.0 CFS		

336 WOODWARD - DPM CALCS .xlsx

BASIN NO.	DESCRIPTION	TO SAN JUAN DRAIN
100	365904 SF	8.40 Ac.
The following calculations are based on Treatment %'s as shown in table to the right		
Sub-basin Weighted Excess Precipitation:	2.25 in.	LAND TREATMENT
Sub-basin Volume of Runoff:	68714 CF	
Sub-basin Peak Discharge Rate:	35.6 cfs	
Q _p	= 10.6 cfs	
200	108902 SF	2.5 Ac.
The following calculations are based on Treatment %'s as shown in table to the right		
Sub-basin Weighted Excess Precipitation:	2.25 in.	LAND TREATMENT
Sub-basin Volume of Runoff:	20451 CF	
Sub-basin Peak Discharge Rate:	10.6 cfs	
Q _p	= 10.6 cfs	
300	169824 SF	3.9 Ac.
The following calculations are based on Treatment %'s as shown in table to the right		
Sub-basin Weighted Excess Precipitation:	2.25 in.	LAND TREATMENT
Sub-basin Volume of Runoff:	31903 CF	
Sub-basin Peak Discharge Rate:	16.5 cfs	
Q _p	= 16.5 cfs	
500	187308 SF	4.3 Ac.
The following calculations are based on Treatment %'s as shown in table to the right		
Sub-basin Weighted Excess Precipitation:	2.25 in.	LAND TREATMENT
Sub-basin Volume of Runoff:	35175 CF	
Sub-basin Peak Discharge Rate:	18.2 cfs	
Q _p	= 18.2 cfs	

SITE PLAN
SCALE 1"=100'
NTS

LEGEND

- EXISTING
- BASIN 400 MAJOR DRAINAGE BASIN
- MAJOR DRAINAGE BASIN BOUNDARY
- SUB BASIN BOUNDARY
- STORM DRAIN
- MANHOLE
- GRATED MANHOLE
- CATCH BASIN
- TRENCH DRAIN
- DIRECTION OF OVERLAND FLOW
- BUILDING NUMBER
- CHAINLINK FENCE
- OFF SITE FLOWS
- STORM DRAIN CONTAINMENT STRUCTURE

REVISIONS

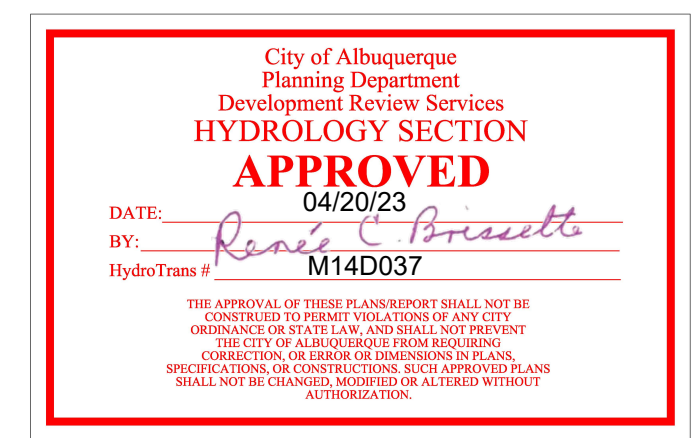
NO.	DATE	DESCRIPTION
15	4/15/91	CONSTRUCT A 720 CF BLDG ATTACHED TO THE SOUTH SIDE OF 14-E OVER EXIST. PAVED AREA. CONSTRUCT NEW CATCH BASIN & REVISE STORM DRAIN PIPING.
16	01/06/2023	CONSTRUCT A 1344 G.F. BLDG ATTACHED TO THE EAST SIDE OF 21-D OVER EXIST. PAVED AREA.
17	01/06/2023	A NEW 50,000 SF PRE-FABRICATED BUILDING SHALL BE INSTALLED ON PIERS ON THE EXISTING FOUNDATION AND PAVEMENT MARKINGS SHALL BE INSTALLED ON THE EXISTING ASPHALT. OTHER IMPROVEMENTS INCLUDE 2 DUMPSTERS, A 2,100 SF LOADING DOCK, A RECYCLING CENTER AND A SOLAR-POWERED LANDSCAPE WATER MAINTENANCE STATION.

DRAINAGE BASIN INFORMATION

NO.	ACRES	Q ₁₀₀ (APPROX.)	Q ₁₀₀ (2020 DPM)
100	8.4	35.6 CFS	35.6 CFS
200	2.5	10 CFS	10.6 CFS
300	3.9	16 CFS	16.5 CFS
400	---	---	---
500	4.3	18 CFS	18.2 CFS
600	0.3	1 CFS	
700	8.8	37 CFS	
800	6.3	26 CFS	

$Q_{100} = C \times I \times A$
 $C = 0.90$ (COMPOSITE)
 $I = 4.65$ ($T_r = 10$ MINUTES MINIMUM, ASSUMED)
 A = AREA IN ACRES
 RAINFALL VOLUME 2.2" (100 YEAR FREQUENCY) FROM PLATE 22.2 D-1, DPM
 $Q_{100} = 0.90 \times 4.65 \times A$

01/06/2023 17
SEE THIS SHEET FOR CALCULATIONS USING PROCEDURE FROM ARTICLE 6-2 OF THE CITY OF ALBUQUERQUE DMP DATED JUNE 26, 2020

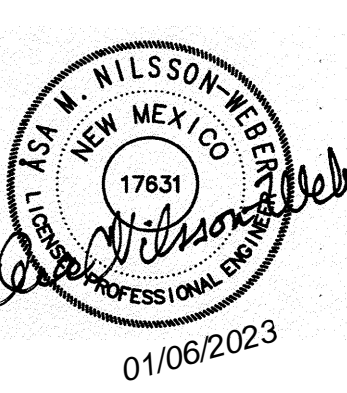


PREVIOUS REVISIONS

NO	INDEX	DATE	REVISION	CHK D	APP
16		4/15/91	7500 COMPRESSOR BUILDING/ MAINTENANCE CHOC (PE 2247)	PJC	KES
15			TRIP TRAIL CONTACT (PE 2116)	PJC	KES
				CK D	
				APP	



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Engineer

336 WOODWARD RD SE STORAGE BUILDING ALBUQUERQUE, NM

DESIGN DEVELOPMENT	ISSUE:
PROJECT NUMBER: IA 2568	FILE:
DRAWN BY: ANW	CHECKED BY: ANW
DATE: 01-04-2023	

No	Date	Description

SHEET TITLE
MASTER DRAINAGE PLAN UPDATE

SHEET NUMBER
C-102

