



## DEVELOPMENT FACILITATION TEAM

### Planning - Case Comments

#### SEE NOTES IN RED

**HEARING DATE:** 3/18/26 -- **AGENDA ITEM:** #4

**Project Number:** PR-2022-007999

**Application Number:** SP-2025-00091

**Project Name:** 1700 Unser Blvd. NW

**Request:** EPC final sign-off

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*\*These are preliminary Planning comments. Additional reviews and/or revised comments may be needed for any modifications and/or supplemental submittals.*

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#### BACKGROUND

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Items in *orange type* need to be addressed.

- The subject property is located at 336 Woodward Rd SE. It is zoned NR-LM (Non-Residential – Light Manufacturing Zone District). The site is situated within an area of change and is surrounded by other areas of change.
- On December 18, 2025, the Environmental Planning Commission (EPC) approved Plan No. SP-2022-007999, a Site Plan–EPC Major Amendment. The subject site encompasses approximately 20 acres and is located between 2<sup>nd</sup> St and Broadway. The site is legally described as MRGCD Map 44 Tracts 64A3B1, 64A3B2, 64A4, & Vacated West 24 Feet of San Jose Drain Adjacent & East of MRGCD Map 44 Tracts 64A3B2 & 64A4
- The project proposes to add Light Manufacturing and Outdoor Storage use as allowable uses on the subject site. This would allow for the development of a new 44,000 sq.ft. structure to be used as a film production soundstage and warehousing and storage of fil related equipment and vehicles.

*\*(See additional comments on next pages)*

- On November 16, 2023, the EPC reviewed and approved a request for the site plan EPC under PR-2022-007999/SI-2023-01621. The final sign off of the site plan was provided by DFT staff on March 12, 2025.
- The subject property is not located within any noted Neighborhood Association area. Woodward, which borders the property, is designated as a Major Collector Street in the Long-Range Roadway System (LRRS) which requires 6’ sidewalks with 5-6’ Landscape buffers. Verification of standards per Transportation’s review.
- The EPC outlined eight conditions that must be satisfied for final approval. The Applicant team submitted a memorandum confirming that all conditions identified in the EPC’s Notice of Decision have been met.

**APPROVED FIRE ONE WAS PROVIDED. LET ME KNOW IF YOU THINK THIS IS OUTSTANDING**

- The 10/8/2025 Post EPC memo confirms the applicant team has met all conditions of approval **except for conditions 8b & 8d which are contingent upon review and approval from Urban Forestry and Fire Rescue.**

**Forestry has been provided clarification that may clear their comment. Waiting on feedback from Whitney**

**IDO/DPM COMMENTS**

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**6-6(I) SITE PLAN – EPC**

**6-6(I)(3) Review and Decision Criteria**

Any application for a Site Plan – EPC shall be approved if it meets all of the following criteria.

6-6(I)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.

6-6(I)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.

6-6(I)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

6-6(I)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

6-6(I)(3)(e) The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

6-6(I)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

6-6(I)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Small Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

- This review by DFT staff is responsible for ensuring that the Site Plan complies with all applicable City development standards and regulations within the IDO and the DPM, and is a required process prior to the issuance of a Building Permit.
- The EPC has confirmed that the request complies with the Site Plan–EPC Review and Decision Criteria in IDO Section 14-6-6-6(I)(3) and noted that final sign-off is the last step in the process.
- Planning staff defer to other DFT members to determine whether any additional infrastructure needs to be financially guaranteed.

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#### **EPC CONDITIONS OF APPROVAL**

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1. After approval by the EPC, the applicant shall coordinate with the Staff Planner prior to submitting the Site Plan to the Development Facilitation Team (DFT) for final sign-off to ensure that EPC Conditions have been met. Pursuant to IDO section 14-16- 6-6(I)(2)(m) Site Plans shall be reviewed administratively for compliance with conditions of approval, DPM, and zoning standards prior to the issuance of a building permit.

**A final version of the site plan EPC sign off sheets have been uploaded to ABQ-PLAN and a comment response letter was provided by the applicant to verify the conditions of approval outlined by the EPC.**

2. Pursuant to IDO section 14-16-6-4(O)(4) Any conditions shall be met within 1 year of the approval, unless stated otherwise in the approval. If any conditions are not met within that time, the approval is void. The Planning Director may extend the time limit up to an additional 1 year.

**Condition 2 has been met. The applicant has agreed to meeting this condition within a year of approval.**

3. Site Plan clean up and revisions:

- a. Update all sheets (site plan, landscaping, grading & drainage, TCL and utility) to accurately reflect form of developed phases on site, including both structures, new landscaping areas, new parking areas and outdoor storage areas.

**Updated site plan sheets showing existing and proposed structures, new landscaped areas, as well as parking and storage areas, have been provided by the applicant.**

- b. All existing and planned outdoor storage areas shall be listed on the Site Plan.
  1. Any fences and screening of these outdoor storage areas should be included on site plan and detail sheet.

**The applicant has provided an updated Site Plan that shows the location of existing and planned outdoor storage areas, including any fences, walls and screening materials surrounding outdoor storage areas on the site plan and detail sheet.**

- c. All existing outdoor storage areas on lots 64A4 and 224 shall be called out on Site Plan.

**The applicant has provided an updated Site Plan that shows the land use of lots 64A4 and 224.**

- d. Outdoor Vehicle Storage shall be added to the list of allowable uses on the site plan.
  1. All existing outdoor vehicle storage areas shall be called out on the site plan, including those stored on the site for loading/unloading and film production purposes.

**The applicant has provided an updated Site Plan that includes Outdoor Vehicle Storage as a land use and has showed that Outdoor Vehicle Storage will be limited to the southern portion of the subject site.**

- e. Parking calculations shall be updated to show total parking spaces required and provided on subject area.
  1. Update bicycle parking calculations to reflect how many bike spaces per bike rack are provided and the total amount of individual bicycle spaces on the subject area.

**The applicant has provided an updated Site Plan that accurately reflects the required and provided parking calculations, including bicycle parking calculations and location on site.**

4. Signs:

1. Update Site Plan Note #5 to accurately reflect signs on entire site.
2. Provide sign details on detail sheet (see Condition of Approval #4).
3. Update site plan to indicate all sign locations on the site.

**The applicant has provided an updated Site Plan that accurately reflects the location and number of signs on the site, including sign detail on the detail sheet.**

5. Walls/Fences:

1. All walls and fences (internal and around perimeter) shall be shown on the site plan.
2. All walls and fence detail shall be shown on detail sheet for each that provide height, type/material and any screening materials (e.g. Fabric, slats).

**The applicant has provided an updated Site Plan that accurately reflects the location of all walls and fences on the site, including the specifications of all walls and fences on the detail sheet.**

6. Landscaping Plan: Provide an additional, new overall Landscape Plan sheet (of both Phase 1 and 2) that shows the landscaping, calculations and landscape legend for the subject area.

1. Landscaping sheet LS-101 shall remain the landscaping sheet for the current subject area of this request.
- Update Total Tree and Total Shrub calculations to accurately reflect total amount of trees and shrubs that are on this sheet.
2. Re-name previous Landscaping sheet LS-101, which showed landscaping detail for lot 64A3B1 (PR-2022-007999/SI-2023-01621), to sheet LS-201.

**The applicant has provided updated Landscaping Plan/Sheets that accurately show the total landscaping calculations, landscaping provided, trees, shrubs for the subject area of Phases 1 and 2. The applicant has updated the landscape legend and re-titled sheets for consistency and clarity.**

7. Provide separate Detail Sheet for parking related barriers and signage, walls and fences, and wall signs.

**The applicant has provided a Detail Sheet that provides specifications for walls, fences, signs and parking related fixtures.**

8. Agency Comment Conditions:

A. CABQ Parks and Recreation/Trails:

1. Communicate with Trails Staff to review and comply with requirements for sites in adjacency or visibility from a planned or existing City Trails.

B. CABQ Parks and Recreation/Urban Forestry:

1. Contact Urban Forestry Staff to determine best practices in preserving and protecting existing trees.
2. Coordinate with Urban Forestry Staff set up site visit to assess condition of any vegetation being utilized for existing vegetation credit [5-6(C)(12)(a)].

C. Bernalillo County – Transportation:

1. Collaborate with Bernalillo County Transportation Staff on driveway restrictions.

D. CABQ Fire Department:

1. Work with AFR staff to apply for “Fire 1” permit prior to submitting to DFT.

**The applicant has asserted that they have been in contact with Parks and Rec and BernCo. Transportation to clear up the requirements from conditions 8a,8b, and 8c. An approved Fire 1 plan has also been provided by the applicant to satisfy condition 8d.**

**Water Authority, Transportation, Hydrology, and Parks and Recreation DFT staff must confirm if any public infrastructure is required for this proposed development and financially-guaranteed. If so, an Infrastructure List will need to be created, with the required items populated on the list, and a recorded Infrastructure Improvements Agreement submitted prior to final sign-off of the Site Plan.**

**NO NEW PUBLIC INFRASTRUCTURE IS REQUIRED**

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**ITEMS NEEDING APPROVAL OR CORRECTIONS**

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- Project and application numbers will need to be added to the site plan cover sheet prior to distribution for sign off.

**EPC APPLICATION NUMBER IS ON THE SITE PLAN WITH THE SIGNATURE BLOCK. IF OTHER NUMBERS NEED TO BE ADDED PLEASE LET ME KNOW. THANK YOU**

- An approved solid waste plan will need to be submitted for review by DFT staff.

**SITE PLAN SIGNED BY SOLID WASTE WAS PROVIDED (SEE SIGNATURE BLOCK ON THE SOLID WASTE VERSION OF THE SITE PLAN AS NAMED.**

- All plan sheets need to be signed and sealed by registered engineers/architects licensed in the state of New Mexico.

**ALL MAIN SHEETS ARE SIGNED. IVE STAMPED THE DRAWING SHEET THAT WAS MISSING A STAMP LET ME KNOW IF THIS COVERS THIS CONDITION, THANK YOU**

- Provide elevation sheets for the proposed warehouse-soundstage.

**ATTACHED**

- The Code Enforcement Division has comments on parking requirements, elevations, and outdoor and site lighting requirements (see their memo), which will need to be met prior to final sign-off of the Site Plan.

**CODE ENFORCEMENT WAS PROVIDED A PHOTOMETRIC STUDY, ALL CLARIFICATION ON PARKING, TCLS FOR REVIEW, AND AND ELEVATION. ALSO ATTACHED HERE**



*Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.*

FROM: Jacob Boylan/Jay Rodenbeck  
Planning Department

DATE: 3/18/26

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# Code Enforcement Questions

Question 1:

**Parking requirements: please clarify use classifications and provide parking requirement calculations for each use, accordingly, to show how the plan meets the required parking for the proposed use(s).**

Answer:

Classification

EPC and the ZEO determined that a classification of "Light Manufacturing" would be applied to the New Construction on the site. The approved EPC site plan General Notes Item "B" designates:

OCCUPANCY GROUP = F-1 TYPE, IIB CONSTRUCTION. As a LIGHT MANUFACTURING designation.

The Existing structure on the site was previously designated:

OCCUPANCY GROUP = S-1, IIB CONSTRUCTION, as a WAREHOUSING designation

Parking Requirements

Parking for the existing building, designated as Warehousing, has no requirement per Table 5-5-1 (excerpt below). 8 spots were provided, including all required handicap, motorcycle, and bike parking per the IDO. This is documented in the approved/attached 2003 TCL.

waste and/or recycling transfer station	
<b>Wholesaling and Storage</b>	
Above-ground storage of fuels or feed	No requirement
Outdoor storage	
Warehousing	
Wholesaling and distribution center	1 space / 2,000 sq. ft. GFA

Parking requirements for the new building, designated as Light Manufacturing, have a requirement of 1 spot per 1000 sqft.

Transit facility	Determined by transportation authority
<b>INDUSTRIAL USES</b>	
<b>Manufacturing, Fabrication, and Assembly</b>	
Artisan manufacturing	1 space / 1,000 sq. ft. GFA
Cannabis cultivation	1 space / 1,000 sq. ft. GFA
Cannabis-derived products manufacturing	
Light manufacturing	
Heavy manufacturing	1 space / 5,000 sq. ft. GFA

The new building is 44,000 sqft as shown on the approved EPC site plan, and 44 parking spaces are

provided for in the approved 2026 TCL. All other parking requirements, including standards, parking reductions, bike parking, handicap parking, lane access, lot slope, and parking island requirements, ect are all addressed in the approved/attached 2026 TCL.

Both TCLs are attached for your reference, and each has a parking calculations area outlining required/provided details.

#### Question 2:

Provide Elevations of the proposed new structure with height/dimensions.

#### Answer:

Proposed new structure elevation/s attached. NOTE: Building height meets IDO limitations and APO requirements as noted on the EPC site plan.

#### Question 3:

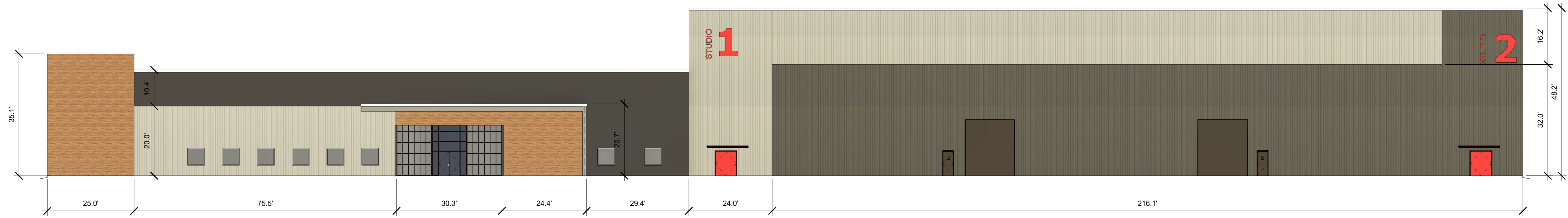
Proposed new development will trigger IDO 5-8 Outdoor and Site Lighting requirements for the property. Provide proper documentation to show how it will meet the requirements of IDO 5-8, including:

a) Light Detail sheets to show how lighting meets requirements of 5-8(E) General Design and Illumination Standards: pay particular attention to 5-8(E)(1) regarding uplight restrictions and IDO 5-8(E)(2), Correlated Color Temperature (CCT) and Color Rendering Index (CRI) standards.

b) Provide photometric lighting site plan to show how the development will meet light trespass restrictions, as per IDO 5-8(F)(4) Light Trespass and Tables 5-8-2 and 5-8-3.

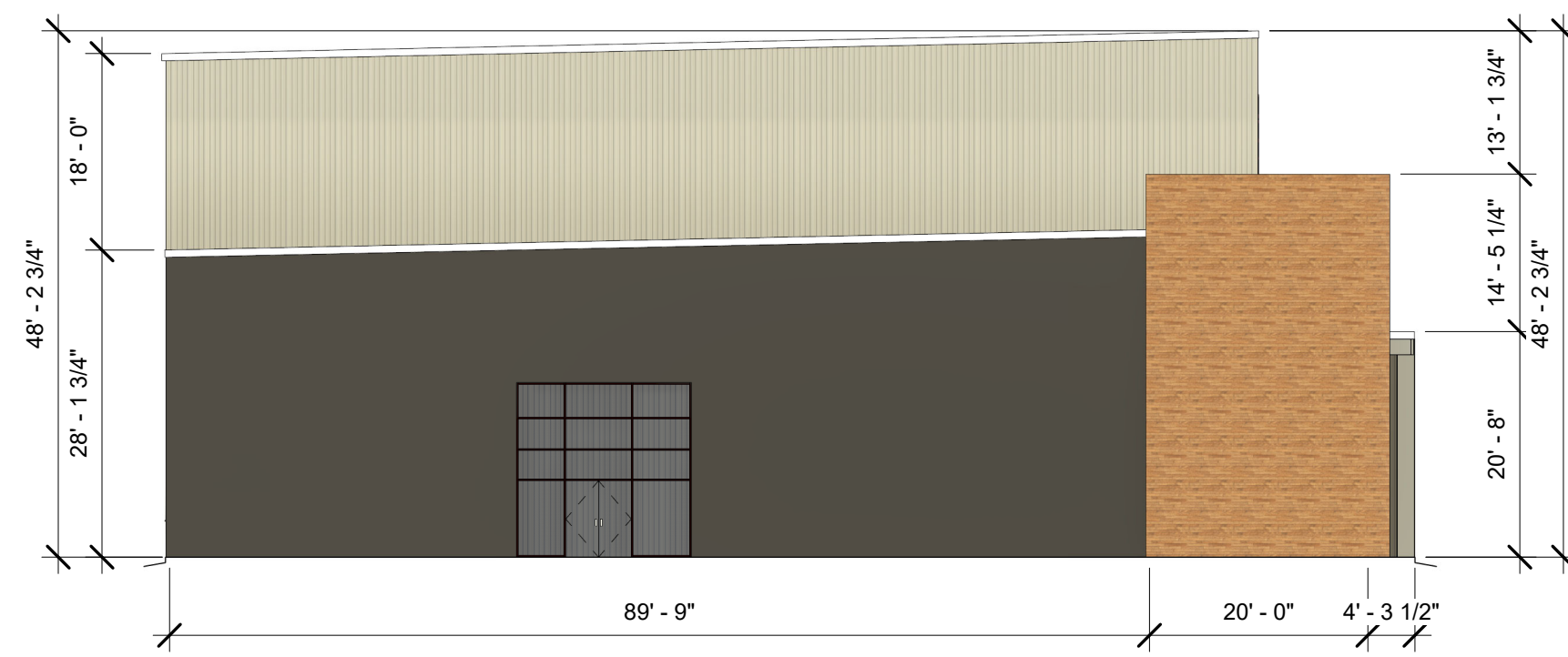
#### Answer:

Since new development will trigger 14-16-5-8 requirements, a Photometric lighting plan is provided to demonstrate that the site meets all standards for Design, Illumination Standards, and Restrictions on light direction, color temperature, and CRI. Attached.



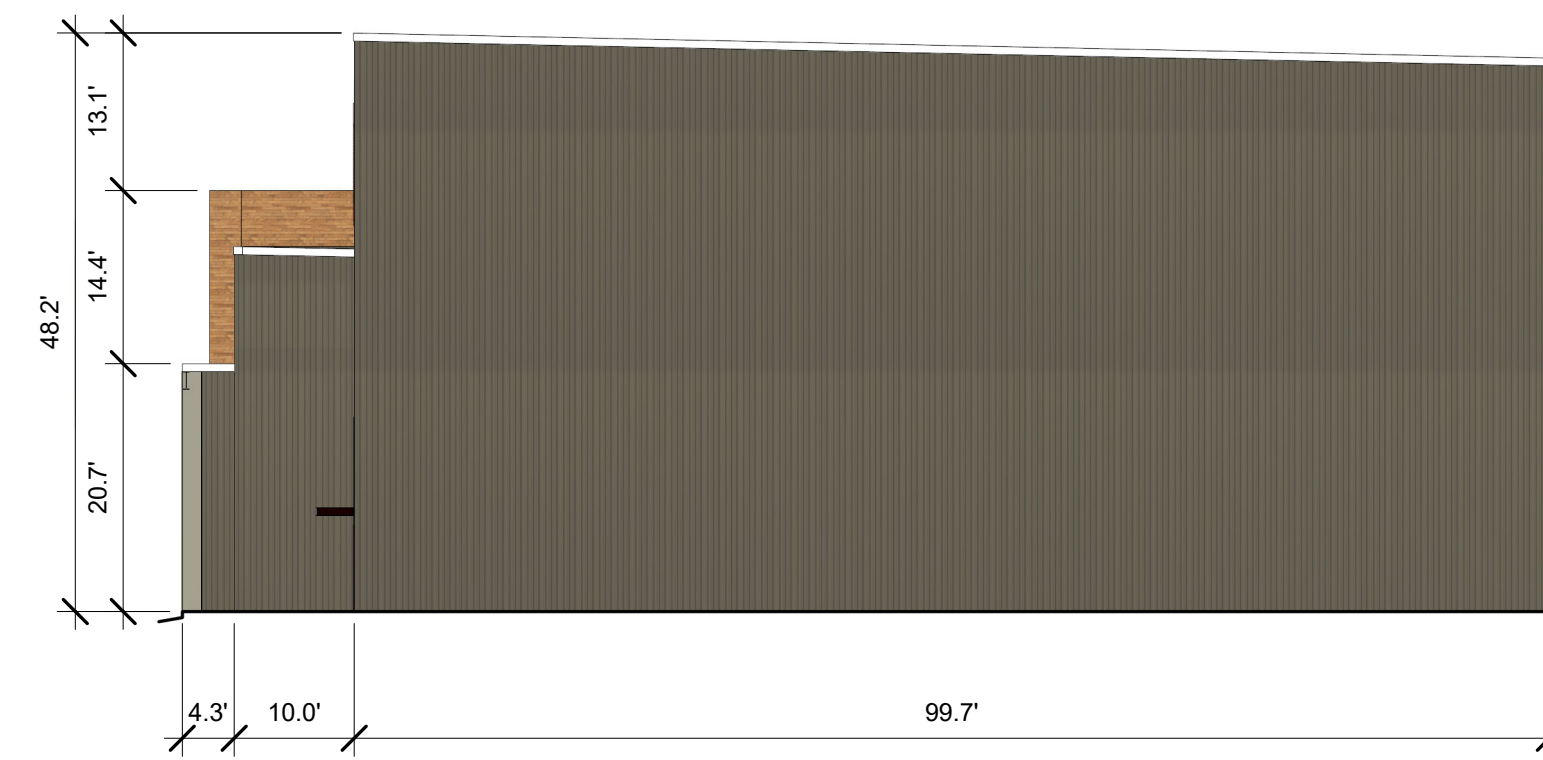
**EAST ELEVATION**

1/16" = 1'-0"



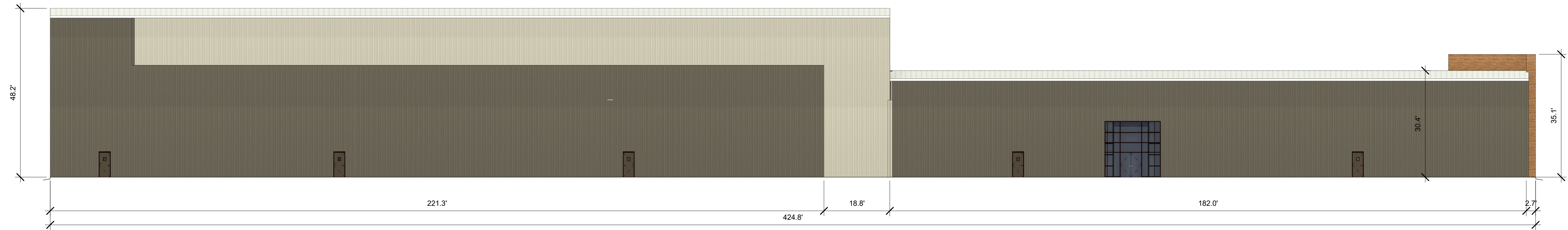
**SOUTH ELEVATION**

1/16" = 1'-0"



**NORTH ELEVATION**

1/16" = 1'-0"



**WEST ELEVATION**

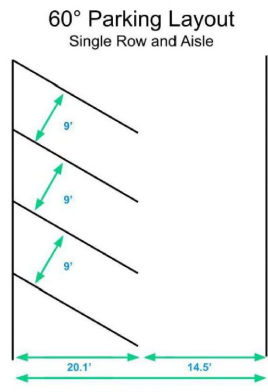
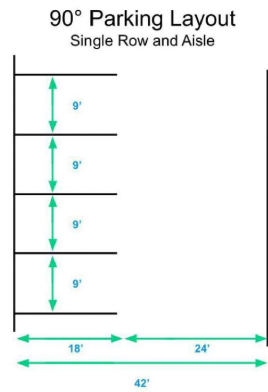
1/16" = 1'-0"

**SCOTT C. ANDERSON**  
 & associates architects  
 2818 4th St NW, Suite C | Albuquerque NM 87107  
 scott@scaarchitects.com  
 505.401.7575

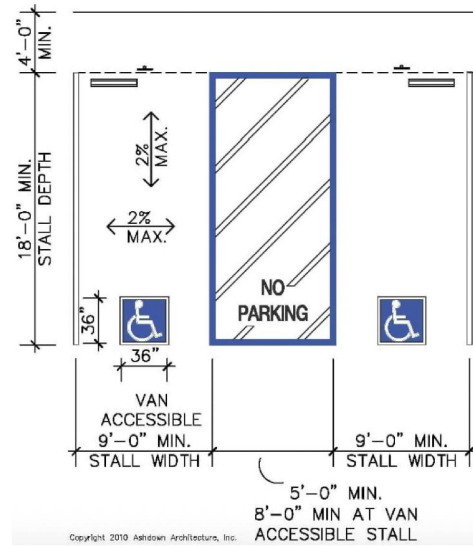
**BROADWAY STUDIO**  
 336 WOODWARD RD SE  
 ALBUQUERQUE, NM 87102

**EXTERIOR ELEVATIONS**

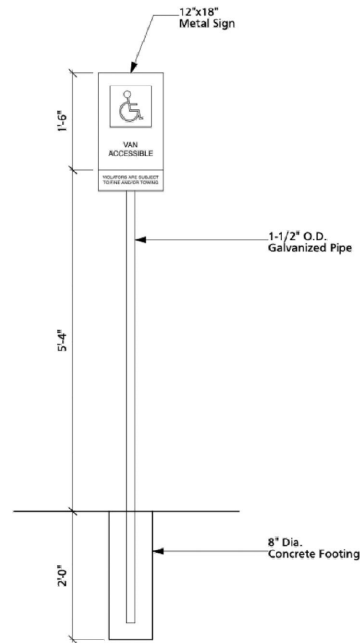
	DESIGNED	A.Q.	PROJECT NO.	22-046
	DRAWN	A.Q.	SCALE	1/16" = 1'-0"
	CHECKED	S.C.A.	DRAWING NO.	
	REVIEWED	S.C.A.		<b>A-201</b>
	DATE	06/26/2025		



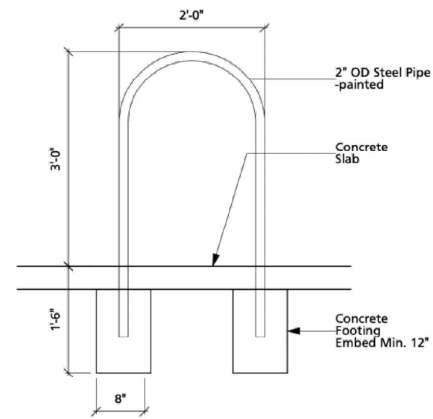
PARKING LAYOUT  
Not to Scale



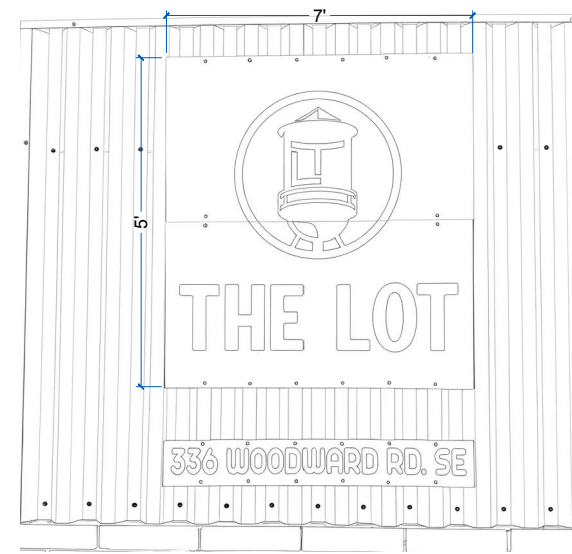
ACCESSIBLE PARKING LAYOUT  
Not to Scale



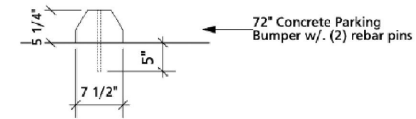
HC SIGN DETAIL  
Not to Scale



BIKE RACK ELEVATION  
Not to Scale



SIGN DETAIL  
7' WIDE x 5' HIGH



PARKING BUMPER  
Not to Scale



336 Woodward Rd SE  
Albuquerque, NM 87102

SHEET NAME:  
TCL - DETAILS

DRAWINGS PROVIDED FOR:  
THE LOT

DRAWINGS PROVIDED BY:  
Jeremy Williams C.A.  
Romy Creative LLC  
St George, UT 84790  
design@romycreative.com  
(530) 863-7238

Engineer of Record (EOR)  
Ronald R. Bohannon P.E.  
NM license 7868  
topengineer137@gmail.com  
(325) 200-4255

PROEJCT:

DRAWN BY:

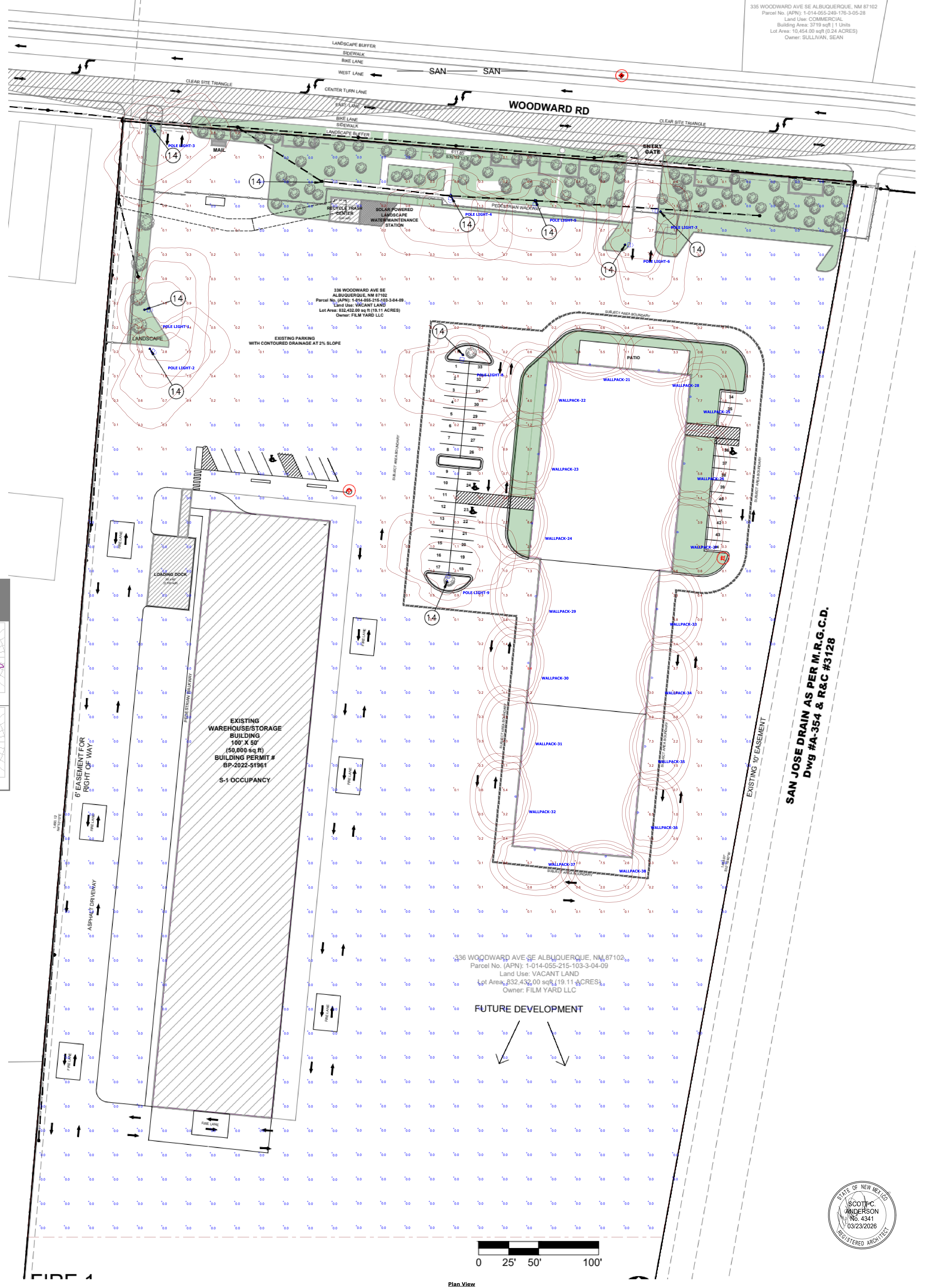
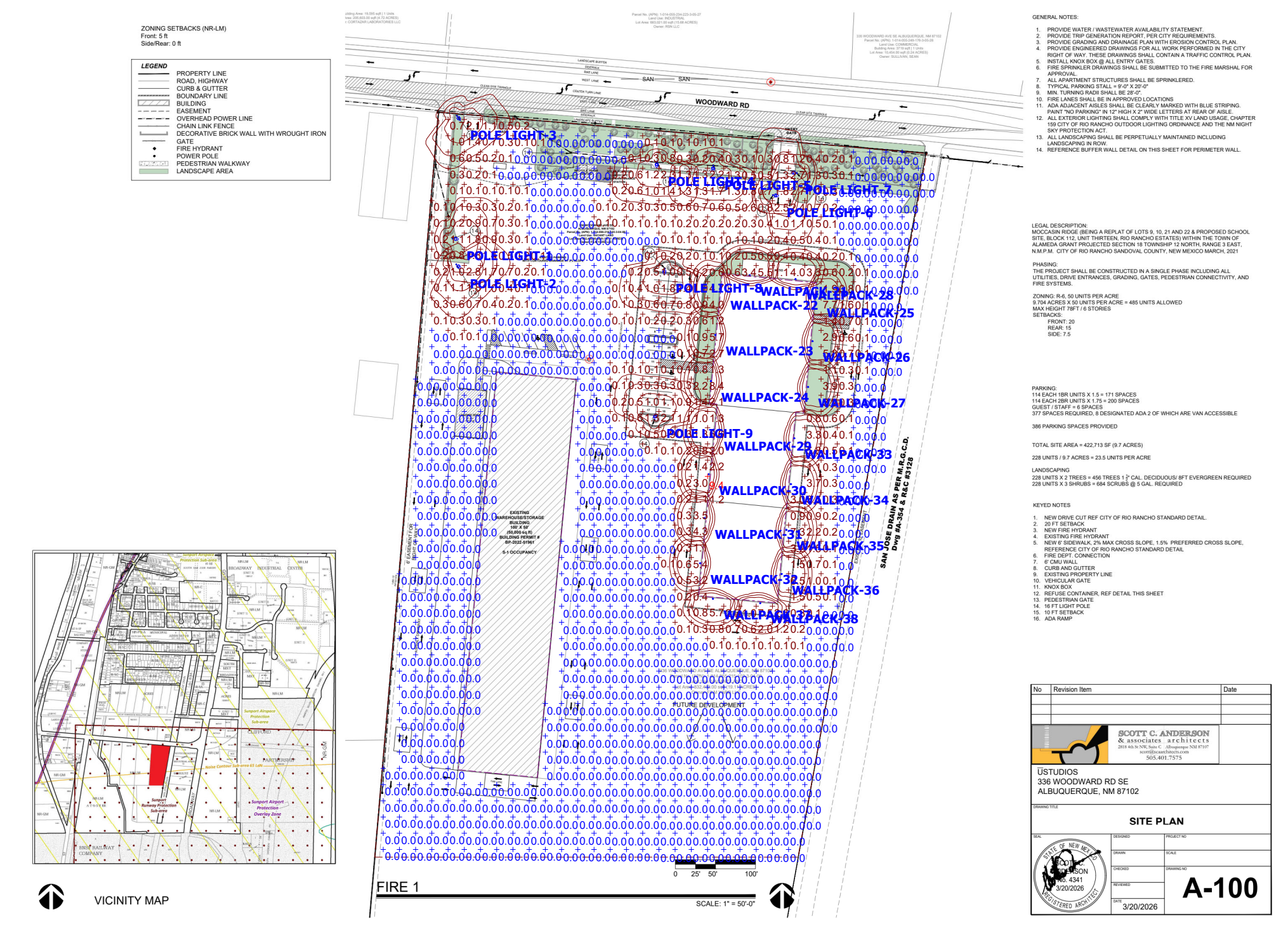
REVISION TABLE		
#	DATE	DESCRIPTION

DATE:

SCALE:

SHEET:

A1.2



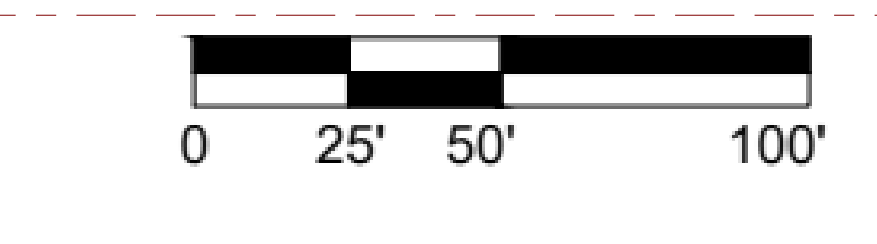
Symbol	Label	Image	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Polar Plot
	POLE LIGHT		9	DSX0 LED P2 30K 70CRI T4M	D-Series Size 0 Area Luminaire P2 Performance Package 3000K CCT 70 CRI Type 4 Medium		1	6018	1	45.14	 Max: 4815cd
	WALPACK		18	WDGE2 LED P5 30K 80CRI VW	WDGE2 LED WITH P5 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT WIDE OPTIC		1	5921	1	48.44	 Max: 4513cd

### Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
grade level	+	0.3 fc	9.4 fc	0.0 fc	N/A	N/A

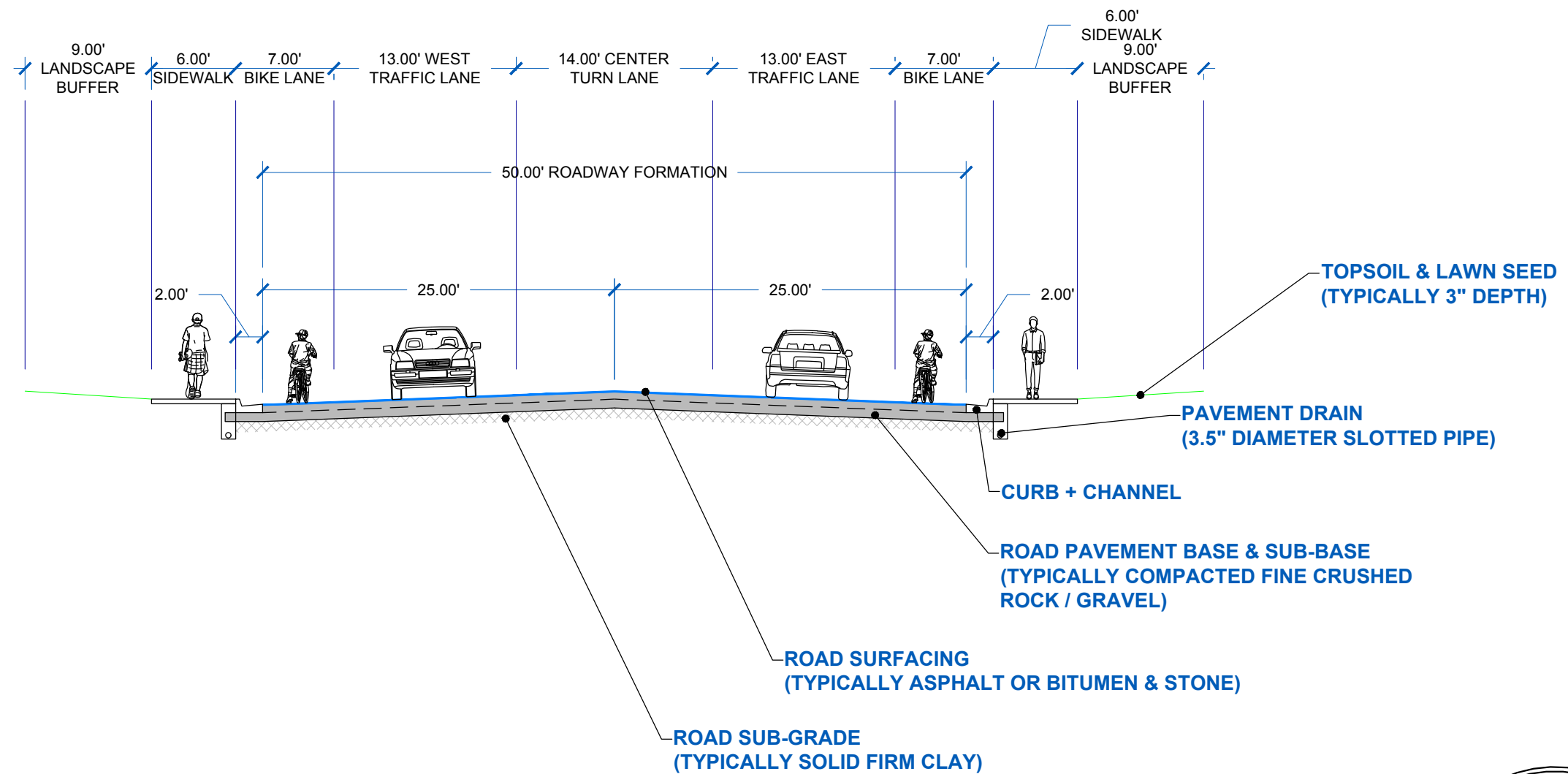
**Note**  
 1. all calculation points set at grade level, 0'.  
 2. all wall packs are mounted at 16' overall.  
 3. all site heads are mounted at 16' overall.

SAN JOSE DRAIN AS PER M.R.G.-C.D.  
 Dwg #A-354 & R&C #3128



...336 Woodward site lighting...

# Street Frontage Cross Section 336 Woodward Road NE



336 Woodward Rd SE  
Albuquerque, NM 87102

SHEET NAME:  
Street Frontage Cross Section  
336 Woodward Road NE

DRAWINGS PROVIDED FOR:  
THE LOT

DRAWINGS PROVIDED BY:  
Jeremy Williams C.A.  
Romy Creative LLC  
St George, UT 84790  
design@romycreative.com  
(530) 863-7238

Engineer of Record (EOR)  
Ronald R. Bohannon P.E.  
NM license 7868  
topengineer137@gmail.com  
(325) 200-4255

PROEJCT:

DRAWN BY:

REVISION TABLE		
#	DATE	DESCRIPTION

DATE:

SCALE:

1" = 60'

