

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 2nd Floor, Albuquerque, NM 87102
PO Box 1293, Albuquerque, NM 87103
Office: (505) 924-3860



OFFICIAL NOTICE OF DECISION

December 18, 2025

Rick Metz
366 Los Ranchos Rd. NW
Unit: FILM YARD LLC
Albuquerque, NM 87107

Project # PR-2022-007999
Plan #: [SP-2025-00091](#)
Site Plan – EPC, Major Amendment

LEGAL DESCRIPTION:

John Metz, agent for Film Yard, LLC, requests a Site Plan EPC Major Amendment for all or a portion of MRGCD Map 44 Tracts 64A3B1, 64A3B2, 64A4 & Vacated West 24 Feet of San Jose Drain Adjacent & East of MRGCD Map 44 Tracts 64A3B2 & 64A4, located at 336 Woodward Rd SE between 2nd St. SW and Broadway Blvd. SE, approximately 20 acres.

(M-14)

Staff Planner: Daniel Soriano

On December 18, 2025, the Environmental Planning Commission (EPC) voted to APPROVE Project # PR-2022-007999, Plan # SP-2025-00091, a Site Plan – EPC, Major Amendment, based on the following Findings and subject to the following Conditions of Approval.

FINDINGS – SP-2025-00091, a Site Plan – EPC, Major Amendment

1. This is a request for a Major Amendment of a Site Plan – EPC for an approximately 20- acre site legally described as MRGCD Map 44 Tracts 64A3B1, 64A3B2, 64A4, & Vacated West 24 Feet of San Jose Drain Adjacent & East of MRGCD Map 44 Tracts 64A3B2 & 64A4, located at 336 Woodward Rd. SE, between 2nd St. SW and Broadway Blvd SE (the “subject site”).
2. The Major Amendment proposes to add Light Manufacturing and Outdoor Storage as allowed Land Uses on the subject site. The Light Manufacturing Land use would facilitate the development of a new 44,000 square foot structure on the subject site to be used as a film production soundstage (light manufacturing) and incidental warehousing, storage of film production related equipment and vehicles. The proposed development has been included with the amendment. The existing controlling Site Plan follows all standards of the IDO and does not establish any development guidelines outside of the IDO requirements.
3. The EPC is hearing this case as required by IDO section 14-16-6-6(I)(1)(c)5, because the proposed land use (light manufacturing and outdoor storage) was not previously authorized on the governing Site Plan and the request exceeds the thresholds for a minor amendment [Table 6-4-4 & 14-16-6-4(x)(2)(a)12.]. The site is within ½ a mile of the Railroad and Small Spur Small Area, within a ¼ mile of a residential zone district, and involves a light manufacturing use, which requires a

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Cumulative Impact Analysis [IDO §14-16-6-4(H) (Cumulative Impacts Analysis Requirements)], pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts). A Cumulative Impacts Analysis was included with this request.

4. Prior to the effective date of the IDO, the subject site was zoned SU-2 HM (Heavy Manufacturing) in the now-repealed South Broadway Sector Development Plan.
5. With the effective date of the IDO in 2018, the site's zoning was converted to NR-LM (Non-Residential – Light Manufacturing Zone District). The purpose of the NR-LM zone district is to accommodate moderate-intensity commercial, light assembly, fabrication, and manufacturing uses, while buffering adjacent lower-intensity, Residential and Mixed-use zone districts from the traffic, noise, and other impacts of those uses. Allowable uses are shown in Table 4-2-1.

Light Manufacturing, Warehousing, Outdoor Storage and Outdoor Vehicle Storage are permissive uses in this zone district.
6. Any future land uses not provided on Site Plan will require an additional Major Amendment- EPC of the approved Site Plan.
7. On November 16, 2023, the EPC approved a request for Site Plan – EPC for the subject site (PR-2022-007999/SI-2023-01621). This request established the governing Site Plan and facilitated the development of a 50,000 square foot warehouse, used to store film industry equipment, on an approximately 5-acre parcel (Tract 64A3B1) within the approximately 20-acre subject site. The Site Plan was signed-off as final by Development Facilitation Team (DFT) on March 12, 2025.
8. The Long-Range Roadway System (2040 LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), includes existing roadways and future recommended roadways along with their regional role.
 - a. The LRRS designates Woodward Ave. SE as an existing major collector road, and Broadway Blvd. SE as an existing regional principal arterial.
9. The Long-Range Bikeway System (LRBS) map, produced by MRCOG, identifies existing and proposed trails. The LRBS shows a Proposed Bike Lanes on Woodward Rd. SE, 2nd St. SE and Broadway Blvd. SE. A Proposed Paved Trail west of the subject site along Hill St. SW, and a Proposed Bike Boulevard on William St. SE.
10. Transit: The closest, active bus stop is on Broadway Blvd. SE at San Jose Ave. SE, served by ABQ Ride Route 16 that runs every 40 minutes (weekdays) and 65 minutes (weekends). This stop is approximately ½ mile from the subject site, or a 10 to 15-minute walk on average.
11. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
12. IDO §14-16-6-6(I)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.
13. The subject site is within the Central ABQ Community Planning Area (CPA). Centrally located in Albuquerque, spanning the area between I-25 and the Rio Grande, and between I-40 and the city's southern boundary with Bernalillo County. Central ABQ is home to the original Old Town settlement and New Town, now known as Downtown, which developed with the arrival of the railroad in the 1880s. Central ABQ features varying architectural styles, small residential lots and a mix of land uses and proximity of residential and non-residential uses.

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14. The subject site is located in an Area of Change as designated by the Comprehensive Plan. Areas of Change include Centers, Corridors, and Metropolitan Redevelopment Areas, where new development and redevelopment are desired and appropriate.
15. The site plan has been evaluated for conformance with applicable Goals and Policies in the Comprehensive Plan, and other applicable Plans.
16. The request is consistent with the following Comprehensive Plan Goals and Policies regarding distinct communities from Chapter 4: Community Identity.

- a. **POLICY 4.1.1 DISTINCT COMMUNITIES:** Encourage quality development that is consistent with the distinct character of communities.

This Major Amendment will facilitate additional development of an underutilized lot in an area with land uses predominantly in the industrial use category. The proposed development is consistent with the character of the adjacent lots, maintaining the industrial and light manufacturing focus of the surrounding community. Once the subject site meets all applicable standards of the IDO, the proposed development should be a quality site in the area.

17. The request is consistent with the following Comprehensive Plan Goals and Policies regarding land uses, infill development and city development areas from Chapter 5: Land Use.

- a. **POLICY 5.2.1 LAND USES, SUB-POLICY (g):** Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

This request would facilitate a new 44,000 square foot soundstage and warehouse storage for the film industry (light manufacturing land use), bringing infill development on an underutilized lot that is compatible in form and scale to the surrounding land uses. The form of the proposed building, landscaping, and parking is compatible with the existing industrial businesses in the area.

- b. **POLICY 5.2.1 LAND USES, SUB-POLICY (m):** Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

This request would encourage a more productive use of the under-utilized subject site. Approximately 5-acres of the entire approximate 20-acre site is developed with a pre-fabricated structure that is used for storage. This request would facilitate the development of an additional 44,000 square foot structure that will bring more productive uses to the site that has been mostly vacant and under-utilized for more than a decade in an established industrial area.

- c. **POLICY 5.3.1 INFILL DEVELOPMENT:** Support additional growth in areas with existing infrastructure and public facilities.

This request would support additional growth in areas with existing infrastructure and public facilities because it would facilitate infill development of an under-utilized subject site that has existing electrical, water and sewage utility infrastructure as well as vehicle access from the nearby I-25 Commuter Corridor, the recently redeveloped Woodward Rd. SE and Broadway Blvd. SE.

- d. GOAL 5.6 CITY DEVELOPMENT AREAS: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

This request would facilitate development on the subject site that is located in an Area of Change, where growth is expected and desired. The request would also locate a light manufacturing use that could potentially be harmful to residential communities and Areas of Consistency, to an established industrial area where the use is appropriate.

18. The request is partially consistent with the following Comprehensive Plan Goals, Policies and Sub-Policies regarding Areas of Change from Chapter 5: Economic Development.

- a. POLICY 5.6.2 AREAS OF CHANGE: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

Although the subject site is not located in a Center, Corridor, industrial or business park or in a Metropolitan Redevelopment Area, this request would direct growth and more intense development to a site within an Area of Change, where growth and development is encouraged, by potentially facilitating the development of a structure to be used as a film production soundstage (light manufacturing) and storage of film equipment.

19. IDO §14-16-6-G(I)(3)- Site Plan-EPC Review and Decision Criteria. IDO Section 14-16-6-6(I)(3) states that any application for a Site Plan-EPC will be approved if it meets all of the following criteria:

- a. 6-6(I)(3)(a) The site plan is consistent with the ABC Comp Plan, as amended.

As demonstrated by the policy analysis of the Site Plan – EPC the request is generally consistent with applicable Comprehensive Plan Goals and Policies from Chapter 4 Community Identity regarding distinct communities, and Chapter 5 Land Use regarding Desired Growth, Land Uses, Infill Development, City Development Areas and Areas of Change.

- b. 6-6(I)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

The subject site is zoned NR-LM (Light Manufacturing – Non-Residential). There are no prior approved NR-SU or PD zoning covering the property or prior development agreements or regulations.

- c. 6-6(I)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

The request is for a Site Plan - EPC. The proposed Site Plan complies with all applicable provisions of the IDO, DPM, and other adopted City regulations like air quality, fire code, ADA, and vehicle egress and ingress. Pursuant to IDO §14-16-6-4(O), the EPC may impose conditions necessary to ensure compliance with the development standards of the IDO. All conditions must be met prior to building permit approval. City Staff has reviewed the Site Plan against IDO development standards for the proposed addition of a 44,000 SF film production soundstage and film equipment storage on the subject site. Upon approval by the

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EPC, the Site Plan shall be submitted to the Development Facilitation Team (DFT) for final sign-off, at which point, the Site Plan will be reviewed against the DPM and any other adopted City regulations. The Site Plan notes that the development will comply with all applicable provisions pursuant to the NR-LM zone district including landscaping, lot sizes, setbacks, parking, lighting, and grading and drainage. Staff has included a review and analysis of the Site Plan against the IDO regulations.

- d. 6-6(I)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

The subject site is already served by existing infrastructure and public facilities including water, sewer, power, gas, internet, and fire suppression, as well as roads, sidewalks and public transit, which has adequate capacity to serve the proposed development. There are no foreseen burdens on the existing infrastructure such as streets, trails and sidewalk systems, as there will be no changes to the existing infrastructure and capacity serving the development will be unchanged. Any potential burdens have already been mitigated to the most practicable extent through development meeting the standards established in the IDO, DPM and all other necessary city and state regulations.

- e. 6-6(I)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

A Cumulative Impacts Analysis was provided with the request as required. The analysis adequately addresses impacts that the proposed light manufacturing development could have on the surrounding area to the maximum extent practicable.

The subject site is approximately 650ft from the nearest residential development, and is separated by two roads (Wesmeco Dr. SE and Woodward Rd. SE), the San Jose Drainage Channel, and the NR-LM zoned, industrial uses at 3005 Broadway Blvd SE. the subject site contains a 9ft landscape buffer along Woodward Rd. SE, with a 7-foot decorative brick and wrought iron opaque wall along the street frontage. Directly abutting the wall is an additional landscaped vegetative strip that is 9 ½ ft wide along the westernmost vehicle access, that expands to a range of 42ft to 55ft wide across the remaining front boundary which will soften the industrial look of the site while acting as a buffer for internal vehicle circulation and other business-related activities.

The Site Plan is required to follow all standards of the IDO, DPM and other applicable City standards, which the applicant has agreed to follow.

- f. 6-6(I)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

The subject property is not within an approved Master Development Plan; therefore, the above criterion does not apply.

- g. 6-6(I)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified

cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

The subject property is within the Railroad and Spur Area and a cumulative impacts analysis was required to be provided with this request, triggering an EPC review and decision. The cumulative impacts analysis indicates that the proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, impact of hazardous materials on the environment, or other nuisances. The subject site is located approximately 650ft from the nearest residential uses and is buffered by streets, drainage and existing buildings on lots between the subject site and residential uses. Existing and proposed design features will comply with all standards in the IDO, DPM, and other applicable City and State standards. A 'Cumulative Impacts Analysis' provides a thorough investigation on the said adverse impacts and has been included in the Findings for this review.

- h. 6-6(I)(3)(h) If an outdoor or site lighting performance analysis is requested, the proposed lighting design must prove it will not adversely affect the lighting requirements of Section 14-16-5-2(E) without sufficient mitigation and benefits that outweigh the expected impacts.

An outdoor or site lighting performance analysis was not requested. The proposed development does not include additional lighting with the Site Plan. All existing lighting complies with the NM Night Sky Protection Act and minimizes light spread onto adjacent properties. The proposed project will not adversely affect surrounding properties.

20. Pursuant to IDO 14-16-6-4(H)(1) A cumulative impacts analysis is required prior to approval of a Site Plan-EPC for any development in the Railroad and Spur Small Area that meets the criteria in Subsection 14-16-5-2(E)(1). Staff's analysis of the provided Cumulative Impact Analysis is as follows:

- a. 5-2(E)(2)(a) Mitigate any material negative cumulative impacts on surrounding residential development through adequate and effective measures, including but not limited to all of the following:
 - 1. Locating and designing vehicle access, circulation, parking, and loading to minimize impacts on residential uses within 660 feet in any direction of the subject property.

The subject site is approximately 650ft from the nearest residential development. The primary access for those residences is from Broadway Blvd SE. The subject site and the nearest residential use are separated by Wesmeco Dr. SE, Woodward Rd. SE, the San Jose Drainage Channel, and the NR-LM zoned, industrial uses at 3005 Broadway Blvd SE. All vehicle access points are to remain on the northern boundary of the site along Woodward Rd. SE, where an existing landscape buffer and 7-foot-tall brick, opaque wall with ornamental wrought iron will further mitigate any potential impacts surrounding vehicle usage on the site to any residential uses within 660ft. in any direction.

Potential negative impacts on residential uses within 660 feet of the subject site are minimized because of the location of the residential uses and all vehicle access,

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circulation, parking spaces, and loading are contained within the site. The site has 52 parking spaces that are contained behind the 6-foot decorative wall, landscaping and are more than 150 feet from any street. Mitigation efforts related to vehicle access, circulation, parking and loading is sufficient.

2. Locating, designing, and orienting site lighting to be compatible with residential uses within 660 feet in any direction of the subject property.

All existing lighting will be required to meet the requirements of the IDO, including any light fixtures will be full-cut off light fixtures for security that is only intended to illuminate parking areas that will prevent light spillage onto neighboring sites. No new lighting is proposed on the subject site with this request, and no additional mitigation measures are being introduced through this request.

3. Locating the storage of hazardous materials, as defined by federal regulations, to minimize impact on surrounding residential uses.

The site plan and analysis indicate that there will be no hazardous materials, as defined by federal regulations, stored on the subject site at any time.

4. Locating outdoor storage of materials or equipment to minimize impact on surrounding residential uses.

The site plan proposes outdoor storage as an allowed use on the subject site. The nearest residential uses are separated from the subject site by two streets, additional manufacturing/industrial use businesses and drainage. The homes at this location are not visible from the subject site, the line of sight between the two uses are obstructed by existing businesses along Broadway Blvd. SE, an 8-foot-tall opaque brick and wrought iron wall and a vegetative landscaped buffer along the front of the subject site. Historically, exterior outdoor storage was held in an area towards the rear of the subject site, and according to the Cumulative Impacts Analysis provided by the applicant, any outdoor storage will be completely shielded from the view of any residential properties and the public right of way. The potential negative impacts created by the storage of materials and equipment outdoors is adequately mitigated.

5. Locating activities on the site that generate noise to minimize impacts on residential uses within 660 feet in any direction of the subject property.

All activities that generate noise are going to be located inside the new, proposed soundstage building situated approximately 840-feet from the nearest residential uses to the north. By limiting noise generating work to inside the new structure, and maintaining a standard 9am-5pm operating hours, the impact on neighboring residential uses will be sufficiently mitigated.

- b. 5-2(E)(2)(b) Provide a cumulative impact analysis to the EPC that addresses, at a minimum, the items required in Subsection §14-16-6-4(H), which the EPC may use as the basis to require mitigation of identified impacts through conditions of approval.
 1. 6-4(H)(1)(b)1: A list of other uses listed in Subsection 14-16-5-2(E)(1)(c) that are within 660 feet in any direction of the subject property.

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The subject site is located between 2nd St. SW and Broadway Blvd. SE, containing a variety of land uses, primarily non-residential. As evidenced by the City's GIS Land Use mapping, there is a single low-density residential lot, industrial, drainage, office and commercial retail uses within 660 feet of the property, triggering this cumulative impact analysis.

2. 6-4(H)(1)(b)2: A Traffic Impact Study, pursuant to Subsection 14-16-5-2(E)(2)(c).

A Traffic Scoping Form was prepared, reviewed and signed by the city's Traffic Engineer on November 24, 2025. The city Traffic Engineer has determined that this request does not require a Traffic Impact Study (TIS).

3. 6-4(H)(1)(b)3: A list, estimated amount, and storage location of hazardous materials, as defined by federal regulation, to be used for operations, including but not limited to fuels.

The site plan and analysis indicate there will be no hazardous materials, as defined by federal regulations, stored on the subject site at any time.

4. 6-4(H)(1)(b)4: A summary of sewer and storm water discharge, including volumes.

A pre-approved Grading and Drainage Plan for the subject site was included as part of this EPC request. The proposed soundstage will be connected to the existing sewage system, which has adequate capacity for the predicted volume of wastewater discharge. The provided Grading and Drainage plan contains proposed stormwater volumes and shall comply with the most current DPM requirements for stormwater discharge.

5. 6-4(H)(1)(b)5: A Letter of Availability from the ABCWUA, including estimate of volume of water to be used annually for operations.

The Cumulative Impact analysis provided by the applicant has indicated that the proposed soundstage addition will utilize existing water and sewage services for the site. A letter of availability has been requested from ABCWUA, at the time of this writing, that request has not been completed. The volume of water used annually for operations is estimated at 237,250 gallons.

6. 6-4(H)(1)(b)6: The operating hours of the facility, including but not limited to times when there may be delivery or movement of freight vehicles to and from the property and activities that generate noise and occur outdoors.

The hours of operation of the soundstage facility are 9am-5pm. All activities associated to the soundstage will occur indoors. The subject site will contain a low level of traffic, typically 2-3 freight trucks per day either loading or unloading materials and equipment, no excessive generated noise is expected with this use.

7. 6-4(H)(1)(b)7: A list of and copies of all permits required for the use.

The applicant has stated that there are no additional permits required for the soundstage and warehousing uses.

- c. 5-2(E)(2)(c) Provide a traffic impact study pursuant to Article 7-5(D) of the DPM, notwithstanding the thresholds or mitigation requirements in the DPM, which the EPC may

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use as the basis to require mitigation of the traffic generated by the use through conditions of approval.

The applicant has provided Traffic Scoping Form, prepared, reviewed and signed for by the city's Traffic Engineer on November 24, 2025. The provided Traffic Scoping Form does not require a Traffic Impact Study (TIS) for the proposed Major Amendment.

- d. 5-2(E)(2)(d) Be reviewed by the Environmental Planning Commission (EPC), pursuant to Subsection 14-16-6-6(I).

The site plan is being submitted for review and decision by the EPC.

- e. 5-2(E)(2)(e) Have an approved Site Plan – EPC that meets conditions of approval deemed necessary by the EPC to further compliance with the above standards to minimize impact on the surrounding residential uses and maximize compatibility of the proposed development prior to the submittal of any request for platting on the property.

The site plan is being submitted for review by the EPC at the December 18, 2025 EPC Hearing. Any conditions of approval that the EPC deems necessary would be included as part of the site plan approval.

- 21. The Office of Neighborhood Coordination verified that there was one recognized neighborhood association (NA) within 660 ft of the subject site, the South San Jose Neighborhood Association— was notified by email as required. Property owners within 100 ft of the subject site were also notified as required.
- 22. There was no facilitated meeting with neighborhoods or neighborhood officials and as of writing this report, there is no known opposition or support of this request.
- 23. The applicant was not required to offer a tribal meeting as part of a pre-submittal requirement [see IDO §14-16-[6-4\(B\)](#)].

CONDITIONS OF APPROVAL

Project #: SP-2025-00091, a Site Plan – EPC, Major Amendment

- 1. After approval by the EPC, the applicant shall coordinate with the Staff Planner prior to submitting the Site Plan to the Development Facilitation Team (DFT) for final sign-off to ensure that EPC Conditions have been met. Pursuant to IDO section 14-16- 6-6(I)(2)(m) Site Plans shall be reviewed administratively for compliance with conditions of approval, DPM, and zoning standards prior to the issuance of a building permit.
- 2. Pursuant to IDO section 14-16-6-4(O)(4) Any conditions shall be met within 1 year of the approval, unless stated otherwise in the approval. If any conditions are not met within that time, the approval is void. The Planning Director may extend the time limit up to an additional 1 year.
- 3. Site Plan clean up and revisions:
 - a. Update all sheets (site plan, landscaping, grading & drainage, TCL and utility) to accurately reflect form of developed phases on site, including both structures, new landscaping areas, new parking areas and outdoor storage areas.
 - b. All existing and planned outdoor storage areas shall be listed on the Site Plan.
 - 1. Any fences and screening of these outdoor storage areas should be included on site plan and detail sheet.

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- c. All existing outdoor storage areas on lots 64A4 and 224 shall be called out on Site Plan.
- d. Outdoor Vehicle Storage shall be added to the list of allowable uses on the site plan.
 1. All existing outdoor vehicle storage areas shall be called out on the site plan, including those stored on the site for loading/unloading and film production purposes.
- e. Parking calculations shall be updated to show total parking spaces required and provided on subject area.
 1. Update bicycle parking calculations to reflect how many bike spaces per bike rack are provided and the total amount of individual bicycle spaces on the subject area.

4. Signs:

1. Update Site Plan Note #5 to accurately reflect signs on entire site.
2. Provide sign details on detail sheet (see Condition of Approval #4).
3. Update site plan to indicate all sign locations on the site.

5. Walls/Fences:

1. All walls and fences (internal and around perimeter) shall be shown on the site plan.
2. All walls and fence detail shall be shown on detail sheet for each that provide height, type/material and any screening materials (e.g. Fabric, slats).

6. Landscaping Plan: Provide an additional, new overall Landscape Plan sheet (of both Phase 1 and 2) that shows the landscaping, calculations and landscape legend for the subject area.

1. Landscaping sheet LS-101 shall remain the landscaping sheet for the current subject area of this request.
 - Update Total Tree and Total Shrub calculations to accurately reflect total amount of trees and shrubs that are on this sheet.
2. Re-name previous Landscaping sheet LS-101, which showed landscaping detail for lot 64A3B1 (PR-2022-007999/SI-2023-01621), to sheet LS-201.

7. Provide separate Detail Sheet for parking related barriers and signage, walls and fences, and wall signs.

8. Agency Comment Conditions:

A. CABQ Parks and Recreation/Trails:

1. Communicate with Trails Staff to review and comply with requirements for sites in adjacency or visibility from a planned or existing City Trails.

B. CABQ Parks and Recreation/Urban Forestry:

1. Contact Urban Forestry Staff to determine best practices in preserving and protecting existing trees.
2. Coordinate with Urban Forestry Staff set up site visit to assess condition of any vegetation being utilized for existing vegetation credit [5-6(C)(12)(a)].

C. Bernalillo County – Transportation:

1. Collaborate with Bernalillo County Transportation Staff on driveway restrictions.

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D. CABQ Fire Department:

1. Work with AFR staff to apply for “Fire 1” permit prior to submitting to DFT.

APPEAL

If you wish to appeal, you must do so within 15 days of the EPC’s decision or by **January 5, 2026**. The date of the EPC’s decision is not included in this 15-day period. If the 15th day falls on a Saturday, Sunday, or Holiday, the next working day is considered the deadline for filing an appeal.

For more information regarding the appeal process, please refer to the Integrated Development Ordinance (IDO), §14-16-6-4(U) (Appeals). The IDO is available online here: <https://www.cabq.gov/ido>. A non-refundable fee is required to be paid when the appeal is filed. It is not possible to appeal EPC recommendations to the City Council, because a recommendation is not a final decision.

You will receive notification if anyone files an appeal. If the decision is not appealed, you can receive building permits any time after the appeal deadline, provided all conditions of approval associated with the decision and all other applicable regulations have been met.

Sincerely,



for Alan Varela
Planning Director

AV/MJ/DS

cc: Film Yard LLC, Rick Metz, jrickmetz@gmail.com Agent/Applicant
South San Jose Neighborhood Association, Esther Kottke, rekhilo505@gmail.com
South San Jose Neighborhood Association, Theresa Duncan, theresadniles@gmail.com
City Legal, aconon@cabq.gov
EPC file



CITY OF ALBUQUERQUE

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW Room 190
Albuquerque, NM 87102
Tel: (505) 924-3320

POST EPC MEMORANDUM

TO: CABQ Development Facilitation Team (DFT)
FROM: Daniel Soriano, Planner
DATE: 01/28/2026
RE: PR-2022-007999/SP-2025-00091 – Major Amendment - Site Plan – EPC

The Agent, Rick Metz, has worked with Staff to fulfill post EPC requirements to meet Conditions of Approval #1-8, for a Major Amendment to a Site Plan – EPC, for an approximately 20-acre subject site, which is legally described as all or a portion of MRGCD Map 44 Tracts 64A3B1, 64A3B2, 64A4 and Vacated West 24 Feet of San Jose Drain Adjacent & East of MRGCD Map 44 Tracts 64A3B2 & 64A4, located at 336 Woodward Rd. SE, Albuquerque, NM 87102, between 2nd St. SW and Broadway Blvd. SE. See EPC Notice of Decision (NOD) dated December 18, 2025.

The applicant provided a letter which shall be included with the DFT submittal describing how each condition has been satisfied or will be met moving forward. Updated Site Plan drawings have been provided incorporating the Conditions of Approval.

NOD CONDITIONS OF APPROVAL, SP-2025-00091 – Major Amendment to Site Plan – EPC

1. After approval by the EPC, the applicant shall coordinate with the Staff Planner prior to submitting the Site Plan to the Development Facilitation Team (DFT) for final sign-off to ensure that EPC Conditions have been met. Pursuant to IDO section 14-16-6-6(I)(2)(m) Site Plans shall be reviewed administratively for compliance with conditions of approval, DPM, and zoning standards prior to the issuance of a building permit.

Condition 1 has been met or is agreed to by the applicant: The applicant has provided a vetted final version of the site plan, required documents and accompanied letter describing how some of the Conditions of Approval are met. The applicant has agreed to submitting the final version of the Site Plan to DFT for review and final sign off.

2. Pursuant to IDO section 14-16-6-4(O)(4) Any conditions shall be met within 1 year of the approval, unless stated otherwise in the approval. If any conditions are not met within that time, the approval is void. The Planning Director may extend the time limit up to an additional 1 year.

Condition 2 has been met or is agreed to by the applicant: The applicant has agreed to meeting the Conditions of Approval within a year.

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URBAN DESIGN & DEVELOPMENT DIVISION

600 2nd Street NW Room 190

Albuquerque, NM 87102

Tel: (505) 924-3320



3. Site Plan clean up and revisions:

- a. Update all sheets (site plan, landscaping, grading & drainage, TCL and utility) to accurately reflect form of developed phases on site, including both structures, new landscaping areas, new parking areas and outdoor storage areas.

Condition 3a has been met by the applicant: The applicant has provided an updated Site Plan set that accurately reflects the site, including proposed and existing structures, new landscaped areas, parking and outdoor storage areas.

- b. All existing and planned outdoor storage areas shall be listed on the Site Plan.
 1. Any fences and screening of these outdoor storage areas should be included on site plan and detail sheet.

Condition 3b has been met by the applicant: The applicant has provided an updated Site Plan that shows the location of existing and planned outdoor storage areas, including any fences, walls and screening materials surrounding outdoor storage areas on the site plan and detail sheet.

- c. All existing outdoor storage areas on lots 64A4 and 224 shall be called out on Site Plan.

Condition 3c has been met by the applicant: The applicant has provided an updated Site Plan that shows the land use of lots 64A4 and 224.

- d. Outdoor Vehicle Storage shall be added to the list of allowable uses on the site plan.
 1. All existing outdoor vehicle storage areas shall be called out on the site plan, including those stored on the site for loading/unloading and film production purposes.

Condition 3d has been met by the applicant: The applicant has provided an updated Site Plan that includes Outdoor Vehicle Storage as a land use and has showed that Outdoor Vehicle Storage will be limited to the southern portion of the subject site.

- e. Parking calculations shall be updated to show total parking spaces required and provided on subject area.
 1. Update bicycle parking calculations to reflect how many bike spaces per bike rack are provided and the total amount of individual bicycle spaces on the subject area.

Condition 3e has been met by the applicant: The applicant has provided an updated Site Plan that accurately reflects the required and provided parking calculations, including bicycle parking calculations and location on site.

4. Signs:

1. Update Site Plan Note #5 to accurately reflect signs on entire site.
2. Provide sign details on detail sheet (see Condition of Approval #4).
3. Update site plan to indicate all sign locations on the site.

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Condition 4 has been met by the applicant: The applicant has provided an updated Site Plan that accurately reflects the location and number of signs on the site, including sign detail on the detail sheet.

5. Walls/Fences:

1. All walls and fences (internal and around perimeter) shall be shown on the site plan.
2. All walls and fence detail shall be shown on detail sheet for each that provide height, type/material and any screening materials (e.g. Fabric, slats).

Condition 5 has been met by the applicant: The applicant has provided an updated Site Plan that accurately reflects the location of all walls and fences on the site, including the specifications of all walls and fences on the detail sheet.

6. Landscaping Plan: Provide an additional, new overall Landscape Plan sheet (of both Phase 1 and 2) that shows the landscaping, calculations and landscape legend for the subject area.

1. Landscaping sheet LS-101 shall remain the landscaping sheet for the current subject area of this request.
 - Update Total Tree and Total Shrub calculations to accurately reflect total amount of trees and shrubs that are on this sheet.
2. Re-name previous Landscaping sheet LS-101, which showed landscaping detail for lot 64A3B1 (PR-2022-007999/SI-2023-01621), to sheet LS-201.

Condition 6 has been met by the applicant: The applicant has provided updated Landscaping Plan/Sheets that accurately show the total landscaping calculations, landscaping provided, trees, shrubs for the subject area of Phases 1 and 2. The applicant has updated the landscape legend and re-titled sheets for consistency and clarity.

7. Provide separate Detail Sheet for parking related barriers and signage, walls and fences, and wall signs.

Condition 7 has been met by the applicant: The applicant has provided a Detail Sheet that provides specifications for walls, fences, signs and parking related fixtures.

8. Agency Comment Conditions:

a. CABQ Parks and Recreation/Trails:

1. Communicate with Trails Staff to review and comply with requirements for sites in adjacency or visibility from a planned or existing City Trails.

b. CABQ Parks and Recreation/Urban Forestry:

1. Contact Urban Forestry Staff to determine best practices in preserving and protecting existing trees.
2. Coordinate with Urban Forestry Staff set up site visit to assess condition of any vegetation being utilized for existing vegetation credit [5-6(C)(12)(a)].



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- c. Bernalillo County – Transportation:
 - 1. Collaborate with Bernalillo County Transportation Staff on driveway restrictions.
- d. CABQ Fire Department:
 - 1. Work with AFR staff to apply for “Fire 1” permit prior to submitting to DFT.

Condition(s) 8 (a-d) have been agreed to by the applicant and is contingent on the review and approval by the appropriate commenting agencies. The applicant has spoken with and confirmed compliance with CABQ Parks and Recreation/Trails, satisfying 8a. The applicant has provided a comment to the site plan to address 8c. Urban Forestry and Fire Department comments shall be addressed during the permitting process.

The Agent, Rick Metz, has satisfied Conditions 1-8 for the NOD dated December 18, 2025. *Condition 8b & 8d being met is contingent on review and approval from Urban Forestry and Fire. All conditions that have not been met (i.e., Condition 8b & 8d) shall be coordinated with DFT staff prior to receiving final sign-off.

Daniel Soriano

Daniel Soriano, Planner
Current Planning, Urban Design & Development
City of Albuquerque Planning Department

EMERGENCY UTILITY STRIKE RESPONSE
 IF AN UNDERGROUND FACILITY IS DAMAGED DURING CONSTRUCTION, STOP CONSTRUCTION, CALL 911 (IF APPROPRIATE), NOTIFY THE UNDERGROUND FACILITY OPERATOR (UFO) IMMEDIATELY, AND CALL 811 TO REPORT THE DAMAGE. DAMAGE MAY INCLUDE NICKS, DENTS, GOUGES, CUTS, SCRAPES OR SCRATCHES TO THE COATING, INSULATING JACKET, OR TRACER WIRE. FOR ABCWUA WATER AND SANITARY SEWER INFRASTRUCTURE, ALL EMERGENCY RESPONSES ARE INITIATED BY A CALL TO DISPATCH AT 842-9287.

- KEYED NOTES**
- PROPERTY ENTRY
 - MAIL BOX
 - RECYCLE CENTER
 - BATHROOM MODULE
 - SITE DUMPSTER
 - OFF-GRID LANDSCAPE MAINTENANCE STATION (rain water capture from storm system and solar powered with battery backup timer/drip system)
 - OUTDOOR SEATING AREAS
 - BIKE RACKS (5 BIKES EACH RACK)

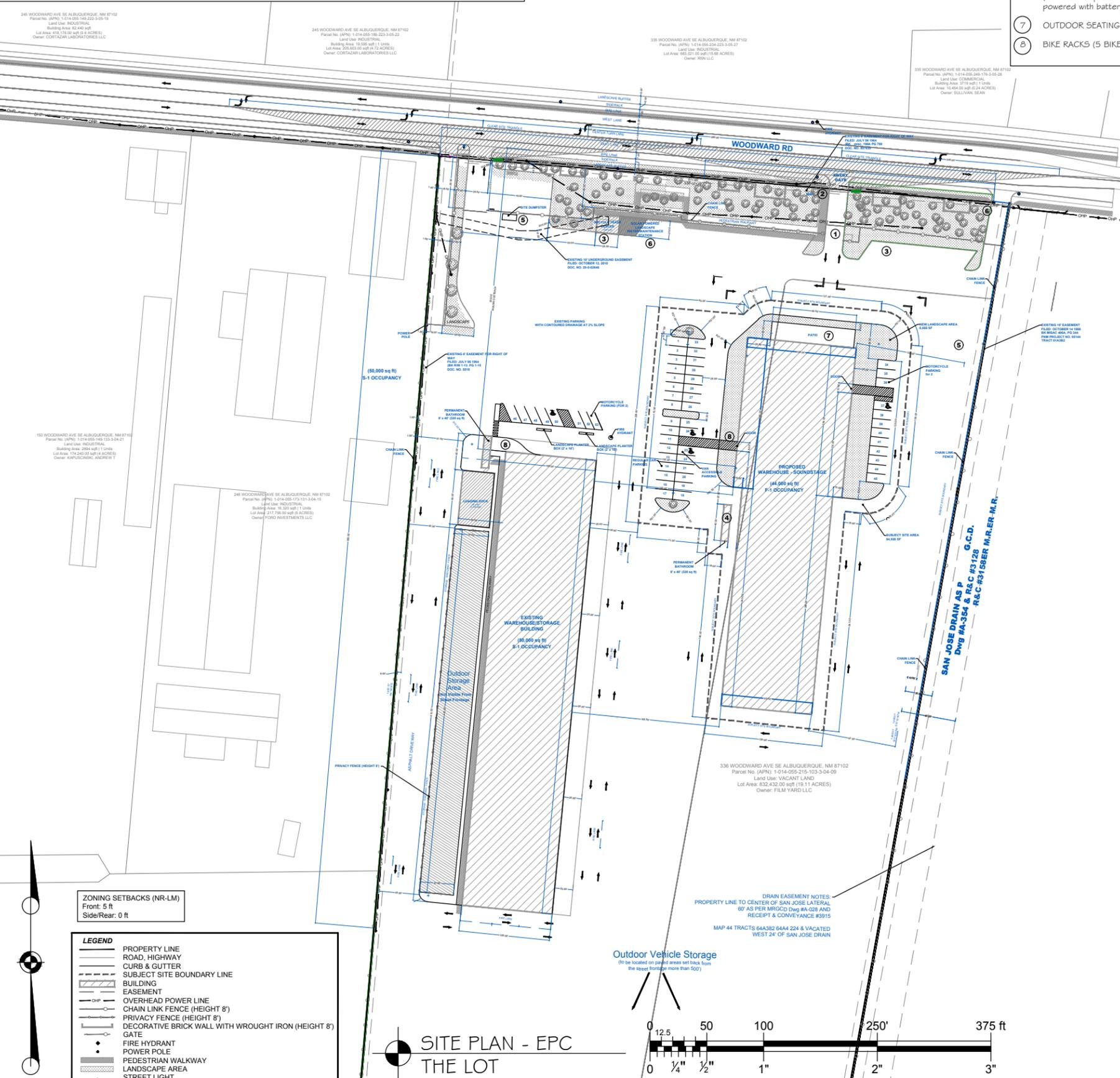
PAGE CONTENTS:
 1. PROPERTY BOUNDARY DIMENSIONS, PARCEL SIZE, BUILDING SETBACK AND EASEMENTS, ENCROACHMENT
 2. LOCATIONS TO PRIVATE, PUBLIC, OR STATE RIGHT OF WAYS
 3. EXISTING STRUCTURES ON THE PROPERTY, SHOWN AT APPROPRIATE SCALE.

SUBJECT PROPERTY:
 336 WOODWARD RD SE

ZONING SETBACKS (NR-LM)
 Front: 5 ft
 Side/Rear: 0 ft



336 Woodward Rd SE
 Albuquerque, NM 87102
EPC SITE PLAN - MAJOR AMENDMENT
SOUNDSTAGE / WAREHOUSE



SITE DATA

UFG: L01405521510330409
 SITE ADDRESS: 336 WOODWARD RD SE
 ALBUQUERQUE NM 87102
 OWNER: FILM YARD LLC
 OWNER ADDRESS: 366 LOS RANCHOS RD NW
 ALBUQUERQUE NM 87107-6532
 LEGAL DESCRIPTION: MRGCD MAP 44 TRACTS 64A3B1, 64A3B2, 64A4 & VACATED WESTERLY 24-FT OF SAN JOSE DRAIN ADJACENT & EAST OF MRGCD MAP 44 TRACTS 64A3B2 & 64A4 CONTAINING 19.1117 ACRES. ACREAGE: 19.11 ACRES ELEVATION: +/- 4,960 ft

SITE PLAN NOTES

- AREAS OF VEHICLE AND EXTERIOR STORAGE NOTATED.
- ZONING: NR-LM
- THE ENTIRE SITE IS AN EXISTING PAVED LOT.
- ABC DESIGNATED AREA OF CHANGE.
- SITE HAS UNLIT SIGNAGE FLUSH MOUNTED TO THE WALL AT BOTH ENTRANCES. (SEE DETAIL).
- SITE HAS AN UNDERGROUND STORM SYSTEM. HYDROLOGY AND DRAINAGE APPROVED WITH COA 5/2023. THE ENTIRE FRONTAGE IS BORDERED BY A 8" HIGH BRICK OPAQUE PRIVACY WALL. WALL CONSTRUCTION IS SOLID BRICK WITH DECORATIVE WROUGHT IRON TOP. WALL IS LEGAL PREEXISTING NON-CONFORMING WALL.
- WALL & GREENBELT IS USED TO MITIGATE LIGHT, SOUND, AND VISIBILITY OF EXT. STORAGE PER CUMULATIVE IMPACT REGULATIONS.
- BUILDING IS SINGLE STORY. MAX HEIGHT AT THE RIDGE IS DOES NOT EXCEED 50'.
- CLEAR LINE OF SIGHT REQUIREMENTS ARE ADHERED TO AND THE CLEAR SIGHT TRIANGLE IS MAINTAINED.
- PROJECT COMPLIES WITH ALL APPLICABLE PROVISIONS OF THE IDO AND DPM.
- BUILDING SETBACK, FRONT WALL, GREENBELT LANDSCAPING AND LOW USAGES ARE DESIGNED TO MITIGATE ADVERSE EFFECTS, IF ANY, PER 6-G(1)(3)(E).
- PHASING PLAN NOTES:
 PHASE 1 - CURRENT WAREHOUSE
 PHASE 2 - WAREHOUSE / SOUNDSTAGE 44,000 SF
 SUBJECT AREA 2.179 ACRES
- NO CHANGES HAVE BEEN MADE TO APPROVED ACCESS LOCATION OF SOLID WASTE DUMPSTER SINCE LAST APPROVAL.
- THE SITE PLAN IS IN COMPLIANCE WITH ALL OBLIGATION FACILITY (ACEQUIA) STANDARDS PER 2022-0007999
- NEW SUBJECT SITE BOUNDARY DOES NOT OVERLAP WITH PREVIOUSLY APPROVED PHASE 1 SITE MAP APPROVED NOD 11/16/23 (PR-2022-007999). NEW PROPOSED SUBJECT SITE LIES IN AN AREA DEFINED AS "FUTURE DEVELOPMENT" ON PREVIOUS SITE PLAN.
- EXISTING CURB CUTS AT MARKED PROPERTY ENTRANCES TO REMAIN AND ARE CONSTRUCTED TO DPM STANDARDS. NO NEW ENTRIES, PER BERNALILLO COUNTY STANDARDS, ARE BEING ADDED.
- ANY HVAC/MECHANICAL WILL CONFORM TO IDO STANDARDS ON PLACEMENT AND SHIELDING PER 14-16-5-5-G(G)(2).
- SITE IS SURROUNDED ON ALL SIDES BY EXISTING PERIMETER WALL/FENCING. STREET FRONTAGE (NORTH) IS A 8" HIGH DECORATIVE BROWN BRICK WALL WITH ROD IRON ACCENTS. ALL OTHER NON-STREET FACING PERIMETER FENCING (EAST/WEST/SOUTH) IS A PRE-EXISTING 8' CHAIN LINK FENCE. ALL SIDES TO ALSO INTEGRATE FULL VEGETATIVE SCREENING THROUGHOUT. WALL IS A PRE-EXISTING LEGALLY NON-CONFORMING WALL.
- APO NOTES:
 19. THE SITE PLAN IS IN COMPLIANCE WITH ALL AIRPORT PROTECTION OVERLAY ZONE (APO) 3-3 STANDARDS, BUILDING AND FUTURE PERMANENT BATHROOM COMPLY WITH GLARE AND REFLECTIVITY STANDARDS PER IDO 3-3(D)(2)
 20. MRGCD Dwg# A-354 AND R4C #3128 (SEE 25' CENTER TO PROPERTY NOTATION BELOW)
 21. SINCE THE RANK 2 BIKEWAYS AND TRAILS FACILITY PLAN SHOWS A PROPOSED TRAIL ALONG THE SAN JOSE DRAIN, THE SITE WILL COMPLY WITH ALL SECTIONS OF THE IDO THAT RELATE TO ADJACENCY OR VISIBILITY FROM AN EXISTING OR PLANNED CITY TRAIL.

GENERAL NOTES

- EPC PROJECT NUMBER SP-2025-00091
- OCCUPANCY GROUP = F-1 TYPE IIB CONSTRUCTION (MODERATE-HAZARD FACTORY INDUSTRIAL).
- CITY OF ALBUQUERQUE OPPORTUNITY ZONE MESA DEL SOL NR-LM.
- SOUNDSTAGE / WAREHOUSE
- USES ON THE PROPERTY WILL CONFORM TO ALL THE PRIMARY PERMISSIBLE USES UNDER THE IDO INCLUDING WAREHOUSING, EXTERIOR STORAGE & PARKING AND OUTDOOR VEHICLE STORAGE.
- ALL ASPHALT PAVING IS EXISTING, AND TO REMAIN, NO NEW PAVEMENT.
- CORE SAMPLE DRILLING PERFORMED BY WESTER TECHNOLOGIES INC., WITH EVIDENCE OF COMPACT SUBSURFACE UP TO 5-FT IN DEPTH WITH 3-INCH THICK ASPHALT PAVEMENT. TWO CORE SAMPLES OBTAINED WITHIN EXISTING ASPHALT PAVED PARKING AREA.
- OVERSIZED WIDTH DEDICATED AND MARKED VEHICLE ACCESS DRIVE AISLES FOR FIRE DEPARTMENT ACCESS AND OVERSIZE TRUCK DELIVERY TRAFFIC.
- EXISTING PARKING WITH CONTOURED DRAINAGE AT 2% SLOPE TO REMAIN, BUILDING PAD IS CONSTRUCTED WITH PILASTER SPOT FOOTINGS OVER EXISTING REINFORCED PAVEMENT.
- BUILDING SETBACK FROM FRONTAGE = 217 FT
- ALL PHASE I LANDSCAPING TO REMAIN. NEW BUILDING WILL ADD LANDSCAPING PER IDO 14-16-5-G(B)(1) STANDARDS.
- FIRE APPARATUS ACCESS AND FIRE LANES DESIGNED TO SUPPORT IMPOSED LOADS OF 80,000 LBS. ALL TRAFFIC CIRCULATION ON SITE IS 3-INCH ASPHALT OVER COMPACTED GRADE OR REINFORCED CONCRETE SLAB ON GRADE.

SIGNATURE BLOCK

PROJECT NUMBER: _____
Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Modification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved IDOC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DEF SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

*Environmental Health, Necessary 10/16/23

DRAWINGS PROVIDED FOR:
 THE LOT



PROJECT: THE LOT

DRAWN BY: ROBERTO

REVISION TABLE

#	DATE	INITIALS	DESCRIPTION

DATE: 1/20/2026

SCALE: 1" = 100'

PR-2022-007999

SHEET: A1.1

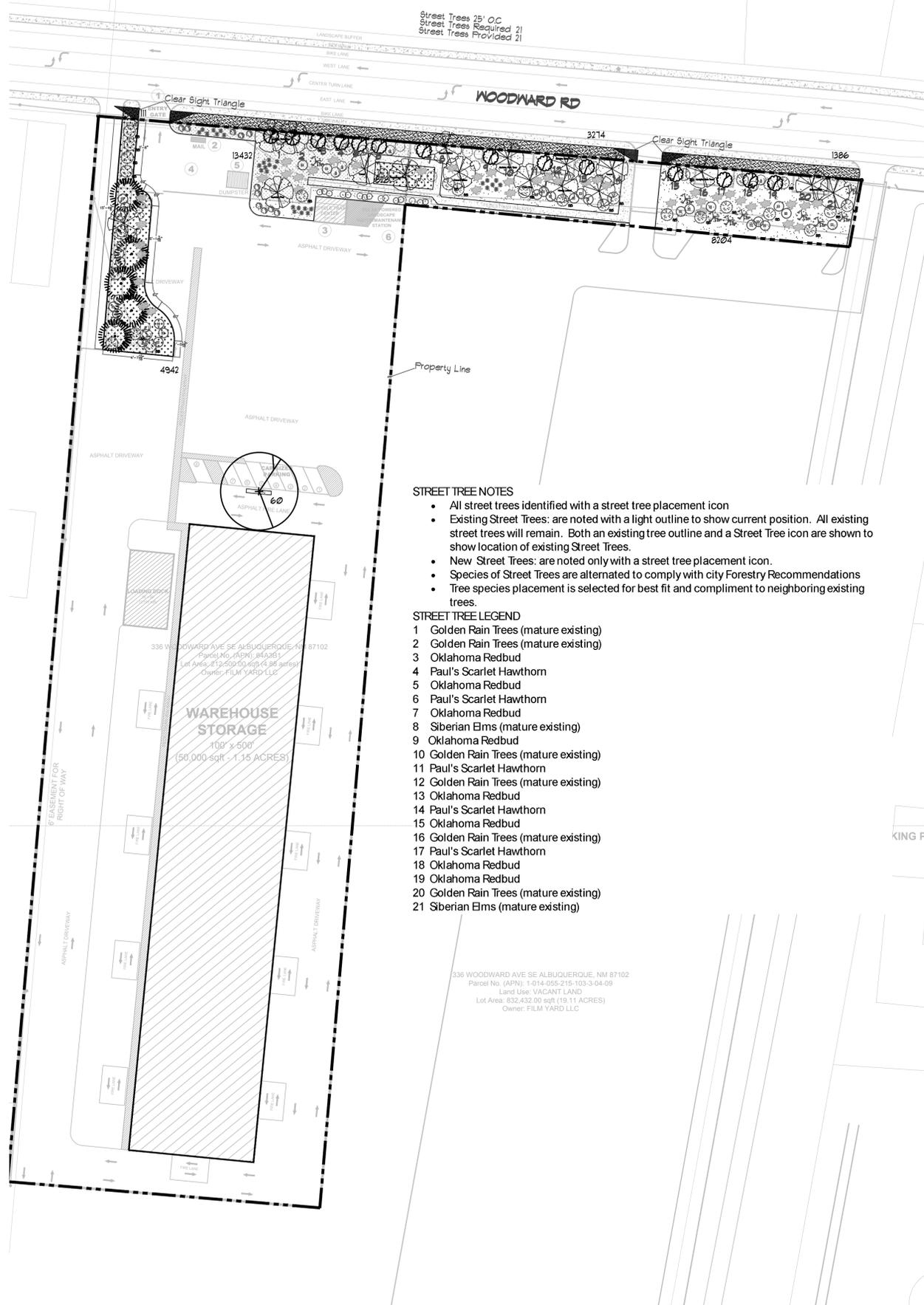
A1.1

ZONING SETBACKS (NR-LM)
 Front: 5 ft
 Side/Rear: 0 ft

- LEGEND**
- PROPERTY LINE
 - ROAD, HIGHWAY
 - CURB & GUTTER
 - SUBJECT SITE BOUNDARY LINE
 - BUILDING
 - EASEMENT
 - OVERHEAD POWER LINE
 - CHAIN LINK FENCE (HEIGHT 8')
 - PRIVACY FENCE (HEIGHT 8')
 - DECORATIVE BRICK WALL WITH WROUGHT IRON (HEIGHT 8')
 - GATE
 - FIRE HYDRANT
 - POWER POLE
 - PEDESTRIAN WALKWAY
 - LANDSCAPE AREA
 - STREET LIGHT
 - "THE LOT" SIGN

SITE PLAN - EPC
THE LOT





LANDSCAPE LEGEND

TREES

QTY.	SIZE	COMMON/BOTANICAL NAME	DIMS	WATER USE	COVERAGE	TOTAL COVERAGE
14	2" CAL	Oklahoma Redbud <i>Cercis reniformis</i>	15'x12'	M	113.04	1582.56
5	6'-8'	Austrian Pine <i>Pinus nigra</i>	35'x25'	M	490.63	2453.15
1	2" CAL	Chinese Pistache <i>Pistacia chinensis</i>	6'0"x6'0"	M	2826	2826.00
11	Varies	Existing Trees to Remain	Varies	Varies	800	136.00
TOTAL TREES:						2046.71

Note: All trees shall have a 5' rad. circle of wood chips, per COA requirement

Shrubs & Groundcovers

QTY.	SIZE	COMMON/BOTANICAL NAME	DIMS	WATER USE	COVERAGE	TOTAL COVERAGE
13	5 Gal	Existing Shrubs	3'x3'	Varies	7.01	91.91
11	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	3'x5'	M	19.63	215.93
29	5 Gal	Spanish Broom <i>Caryopteris x glandonensis</i>	10'x10'	M	18.50	2276.50
42	5 Gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	1'x8'	M	50.21	2111.34
10	5 Gal	Yellow Bird of Paradise <i>Caesalpinia gilliesii</i>	10'x10'	RW	18.50	185.00
30	5 Gal	Red Yucca <i>Hesperaloe parviflora</i>	3'x3'	L	7.01	212.10
12	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	6'x5'	L	19.63	235.56
15	5 Gal	Chamaea <i>Chrysothamnus nauseosus</i>	5'x5'	L	19.63	294.45
21	5 Gal	Gro-Low Sumac <i>Rhus aromatica 'Gro-Low'</i>	3'x8'	M	50.21	1055.61
11	5 Gal	Rose of Sharon <i>Hibiscus syriacus</i>	10'x10'	M	18.50	863.50
TOTAL SHRUBS:						8141.96

16,810 SF	48%	Landscape Gravel 3/4" Crushed Grey Or to be determined by owner
4,711 SF	15%	Landscape Crusher Fine / Filter Fabric Submit samples of gravel and cobble for approval Total Landscape Area Provided
10,656 SF	33%	Organic Mulch in areas shown on plan Per Organic Mulch Plant Req. Below Not shown due to scale
32,231 SF		Total Landscape Area

Organic Mulch No Fabric Under Tree and Shrubs in gravel areas, not shown due to scale. Submit samples of wood mulch for approval. Organic Mulch, 25% Required. Note, Each Tree, min, 5' rad. 78.5sf. 40 Trees x 78.5 sf = 3140. See Tree Detail, a 5' radius of wood mulch is require around each tree without Filter Fabric. Note, Each Shrub, min, 2' rad. 12.56sf. 139 Shrubs x 12.56 sf = 1746. Total Mulch Provided for plants 4886. Note: Organic Mulch Calculations for trees and plant in gravel and crusher fine areas, not in mulch areas.

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain landscaping in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque, IDO Ordinance.

Water management is the sole responsibility of the Property Owner.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas.

Landscape shall be watered by above ground, captured rain water drip and bubbler system.

Trees and shrubs shall be zoned separately.

Point of connection for irrigation system is unknown at current time and shall be coordinated between the Landscape Contractor and the General Contractor of the project prior to construction.

Landscaping shall be installed according to the approved plan. Installation shall be completed within 60 days of the related building's occupancy.

No substitutions or alterations to this plan with out the express written permission of the Landscape Architect, and approval of the City of Albuquerque, approved permit set.

5-6(C)(2)(a) If existing non-prohibited vegetation meets the location requirements and intent of landscaping, buffering, or screening required by this Section 14-16-5-6, that existing vegetation may be credited toward the landscaping, buffering, or screening materials required by this Section 14-16-5-6.

5-6(C)(2)(b) All existing vegetation preserved and used for credit against the requirements for new vegetation shall be protected during construction by a fence erected one foot beyond the drip line of the vegetation.

Clear Site Triangle Note:
Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery between 3 and 8 feet tall, (as measured from the gutter pan) are not included within the clear site triangle.

Street Tree Notes:
Per Section 5-6(D) (1) (a) Required Street Trees. Trees are GENERALLY required along street frontages every 25 feet on center unless otherwise specified in Part 6-2-2 of ROA 1994 (Street Trees)

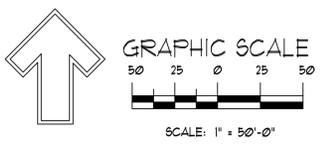
Section 6-6-2-5 Street Trees (A)

- Size of the trees at maturity should be in proportion to the planting space provided for them. ... Smaller species of trees will require closer spacing, and larger trees will require greater spacing. Spacing shall be approved as part of the plan approval process.
- On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced.

Acceptance of Street Tree Variance Approved by Bonnie Strange, Senior Planner Urban Forestry

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	231,006
TOTAL BUILDING AREA (SF)	50,000
TOTAL NET LOT AREA (SF)	181,006
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIRED	27151
TOTAL ON-SITE AND OFF-SITE LANDSCAPE PROVIDED (SF)	32231
TOTAL VEGETATIVE COVERAGE REQUIRED (SF)	24178
TOTAL VEGETATIVE COVERAGE PROVIDED (SF)	89%
TOTAL GROUND VEGETATIVE COVERAGE REQUIRED (SF)	8059
TOTAL GROUND VEGETATIVE COVERAGE PROVIDED (SF)	2525%



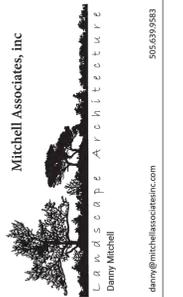
REVISIONS

Rev	Date	Comment

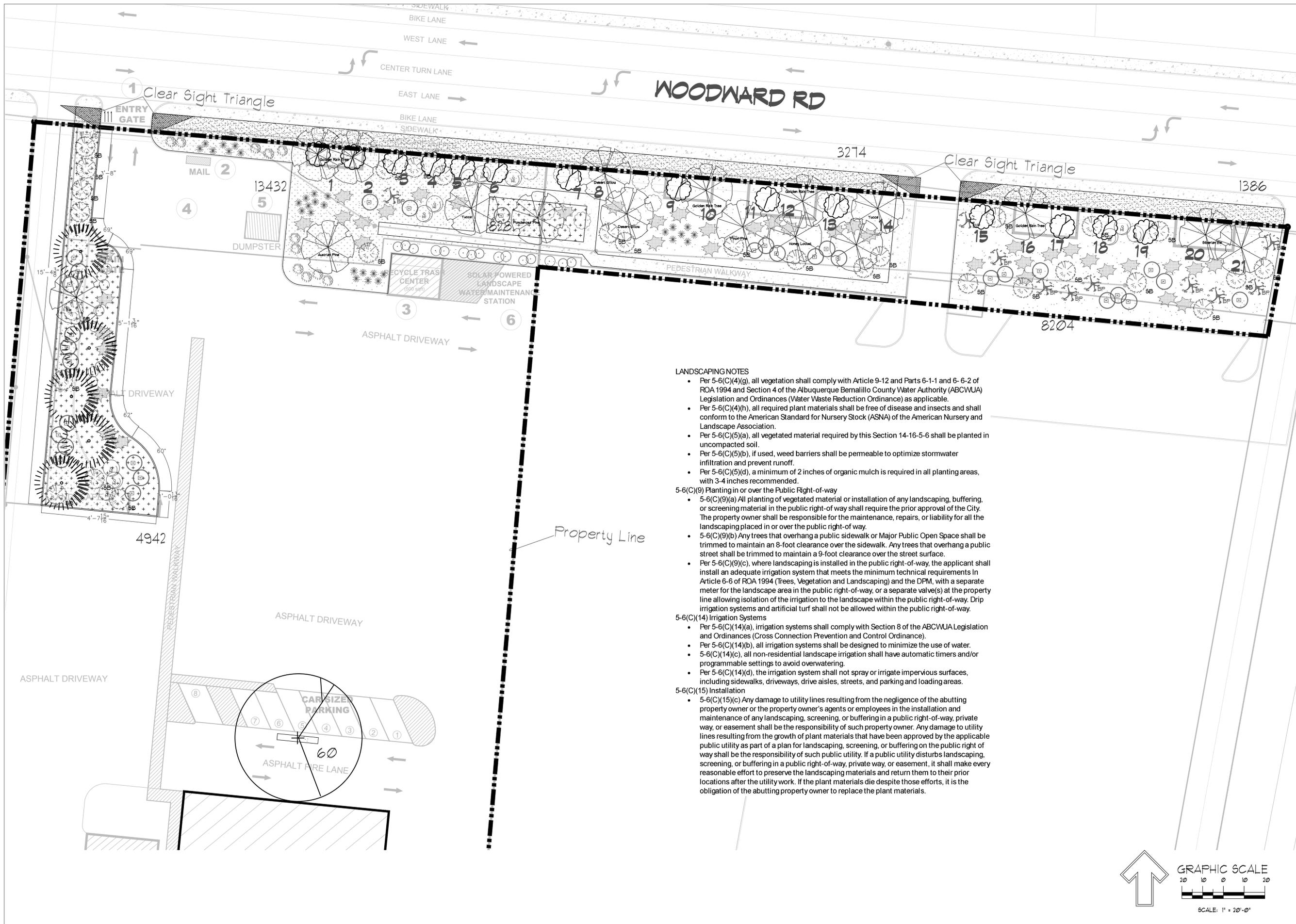
Designed By: dm
Drawn By: dm
Approved By: dm
Date: NEW MEXICO LINE CALL 1-800-321-ALERT (6537) www.nmcall.org Call two working days before you dig. File ID:

Landscape Plan

MOVIE FILM STORAGE
336 WOODWARD AVE SE
ALBUQUERQUE, NM 87102



Seal: Landscape Architect
STATE OF NEW MEXICO
DANNY D. MITCHELL
239
REGISTERED LANDSCAPE ARCHITECT
Nov. 21, 2024
Copyright 2024, Mitchell Associates Inc.
PROJECT NO. 2024-055
DRAWING NO. LS-101



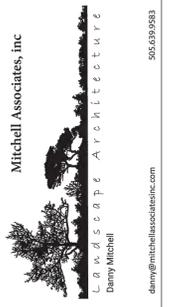
LANDSCAPING NOTES

- Per 5-6(C)(4)(g), all vegetation shall comply with Article 9-12 and Parts 6-1-1 and 6-6-2 of ROA 1994 and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable.
- Per 5-6(C)(4)(h), all required plant materials shall be free of disease and insects and shall conform to the American Standard for Nursery Stock (ASNA) of the American Nursery and Landscape Association.
- Per 5-6(C)(5)(a), all vegetated material required by this Section 14-16-5-6 shall be planted in uncompacted soil.
- Per 5-6(C)(5)(b), if used, weed barriers shall be permeable to optimize stormwater infiltration and prevent runoff.
- Per 5-6(C)(5)(d), a minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended.
- 5-6(C)(9) Planting in or over the Public Right-of-way
 - 5-6(C)(9)(a) All planting of vegetated material or installation of any landscaping, buffering, or screening material in the public right-of-way shall require the prior approval of the City. The property owner shall be responsible for the maintenance, repairs, or liability for all the landscaping placed in or over the public right-of-way.
 - 5-6(C)(9)(b) Any trees that overhang a public sidewalk or Major Public Open Space shall be trimmed to maintain an 8-foot clearance over the sidewalk. Any trees that overhang a public street shall be trimmed to maintain a 9-foot clearance over the street surface.
 - Per 5-6(C)(9)(c), where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements in Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM, with a separate meter for the landscape area in the public right-of-way, or a separate valve(s) at the property line allowing isolation of the irrigation to the landscape within the public right-of-way. Drip irrigation systems and artificial turf shall not be allowed within the public right-of-way.
- 5-6(C)(14) Irrigation Systems
 - Per 5-6(C)(14)(a), irrigation systems shall comply with Section 8 of the ABCWUA Legislation and Ordinances (Cross Connection Prevention and Control Ordinance).
 - Per 5-6(C)(14)(b), all irrigation systems shall be designed to minimize the use of water.
 - 5-6(C)(14)(c), all non-residential landscape irrigation shall have automatic timers and/or programmable settings to avoid overwatering.
 - Per 5-6(C)(14)(d), the irrigation system shall not spray or irrigate impervious surfaces, including sidewalks, driveways, drive aisles, streets, and parking and loading areas.
- 5-6(C)(15) Installation
 - 5-6(C)(15)(c) Any damage to utility lines resulting from the negligence of the abutting property owner or the property owner's agents or employees in the installation and maintenance of any landscaping, screening, or buffering in a public right-of-way, private way, or easement shall be the responsibility of such property owner. Any damage to utility lines resulting from the growth of plant materials that have been approved by the applicable public utility as part of a plan for landscaping, screening, or buffering on the public right of way shall be the responsibility of such public utility. If a public utility disturbs landscaping, screening, or buffering in a public right-of-way, private way, or easement, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after the utility work. If the plant materials die despite those efforts, it is the obligation of the abutting property owner to replace the plant materials.

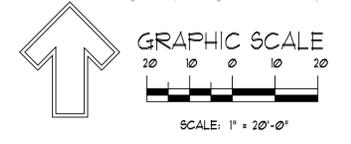
REVISIONS	Date:	Comment

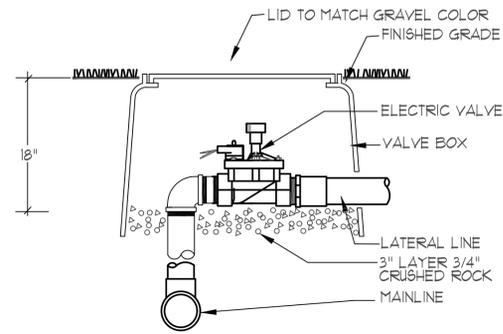
Designed By: *lm*
 Drawn By: *lm*
 Approved By: *lm*
 Date:
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MOVIE FILM STORAGE
386 WOODWARD AVE SE
ALBUQUERQUE, NM 87102



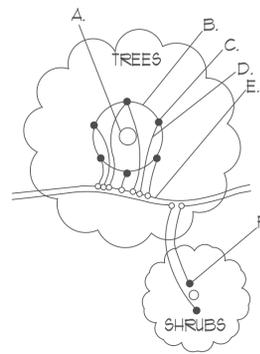
Seal:
 Landscape Architect
 STATE OF NEW MEXICO
 DANNY D. MITCHELL
 238
 REGISTERED
 LANDSCAPE ARCHITECT
 Nov. 21, 2024
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 PROJECT NO: 2024-055
 DRAWING NO: LS-102





ELECTRIC VALVE ASSEMBLY

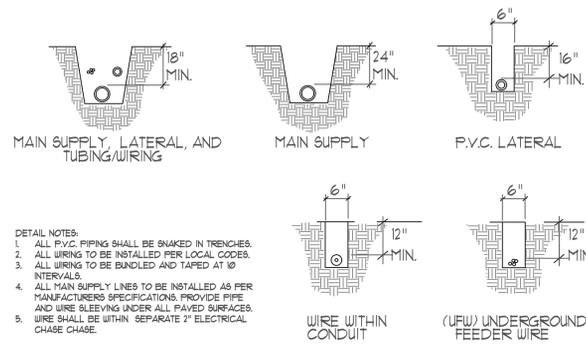
N.T.S.



- A. TREE TRUNK/ROOT CROWN
 - B. 24" CIRCLE FROM TRUNK
 - C. EMITTERS
 - D. 1/8" DISTRIBUTION LINE
 - E. PE DRIPLINE
 - F. EMITTER PLACED WITHIN 6" OF PLANT STEM
- NOTE: PLACE EMITTER ABOVE PLANT ON SLOPE

EMITTER PLACEMENT DETAIL

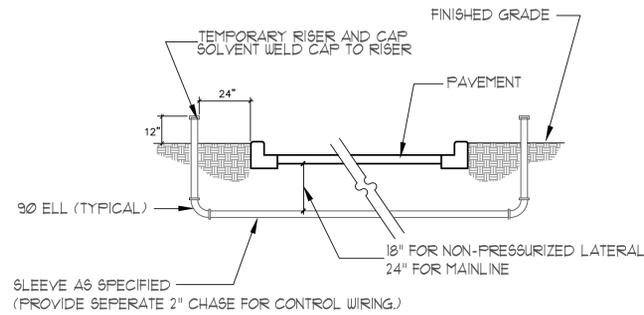
N.T.S.



- DETAIL NOTES:
1. ALL P.V.C. PIPING SHALL BE SNAKED IN TRENCHES.
 2. ALL WIRING TO BE INSTALLED PER LOCAL CODES.
 3. ALL WIRING TO BE BUNDLED AND TAPED AT 10' INTERVALS.
 4. ALL MAIN SUPPLY LINES TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. PROVIDE PIPE AND WIRE SLEEVING UNDER ALL PAVED SURFACES.
 5. WIRE SHALL BE WITHIN SEPARATE 2" ELECTRICAL CHASE CHASE.

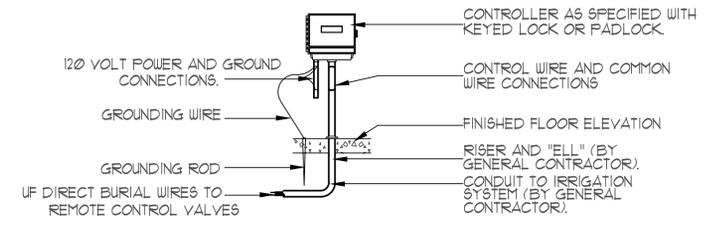
TRENCHING DETAIL

N.T.S.



SLEEVE INSTALLATION DETAIL

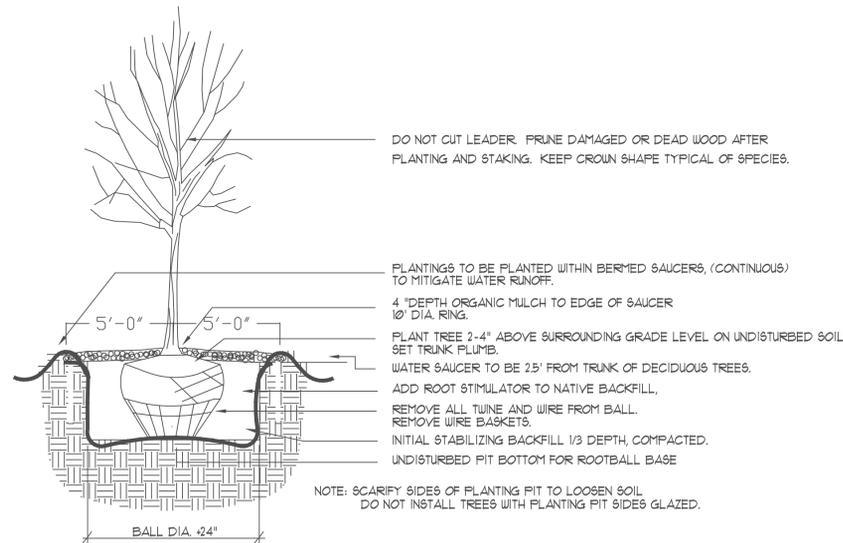
N.T.S.



- DETAIL NOTES:
1. ELECTRICAL POWER TO BE SUPPLIED BY OTHERS.
 2. ALL WIRING TO BE INSTALLED PER LOCAL CODES.
 3. SEE ELECTRICAL PLANS FOR LOCATION OF CONTROLLER.
 4. CONTROLLER TO BE MOUNTED APPROXIMATELY 5'-0" ABOVE FINISHED FLOOR ELEVATION.

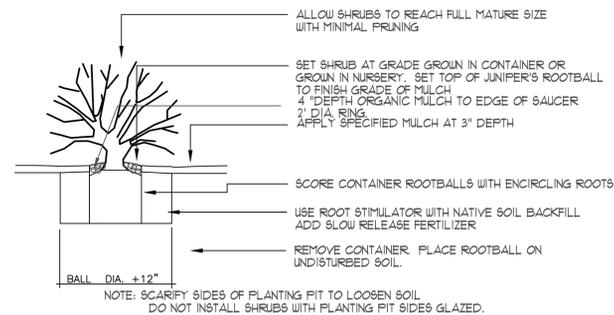
CONTROLLER DETAIL

N.T.S.



TREE PLANTING DETAIL

N.T.S.



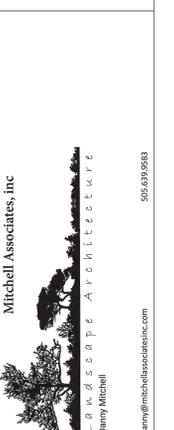
SHRUB PLANTING DETAIL

N.T.S.

REVISIONS	By:	Date:	Comment:

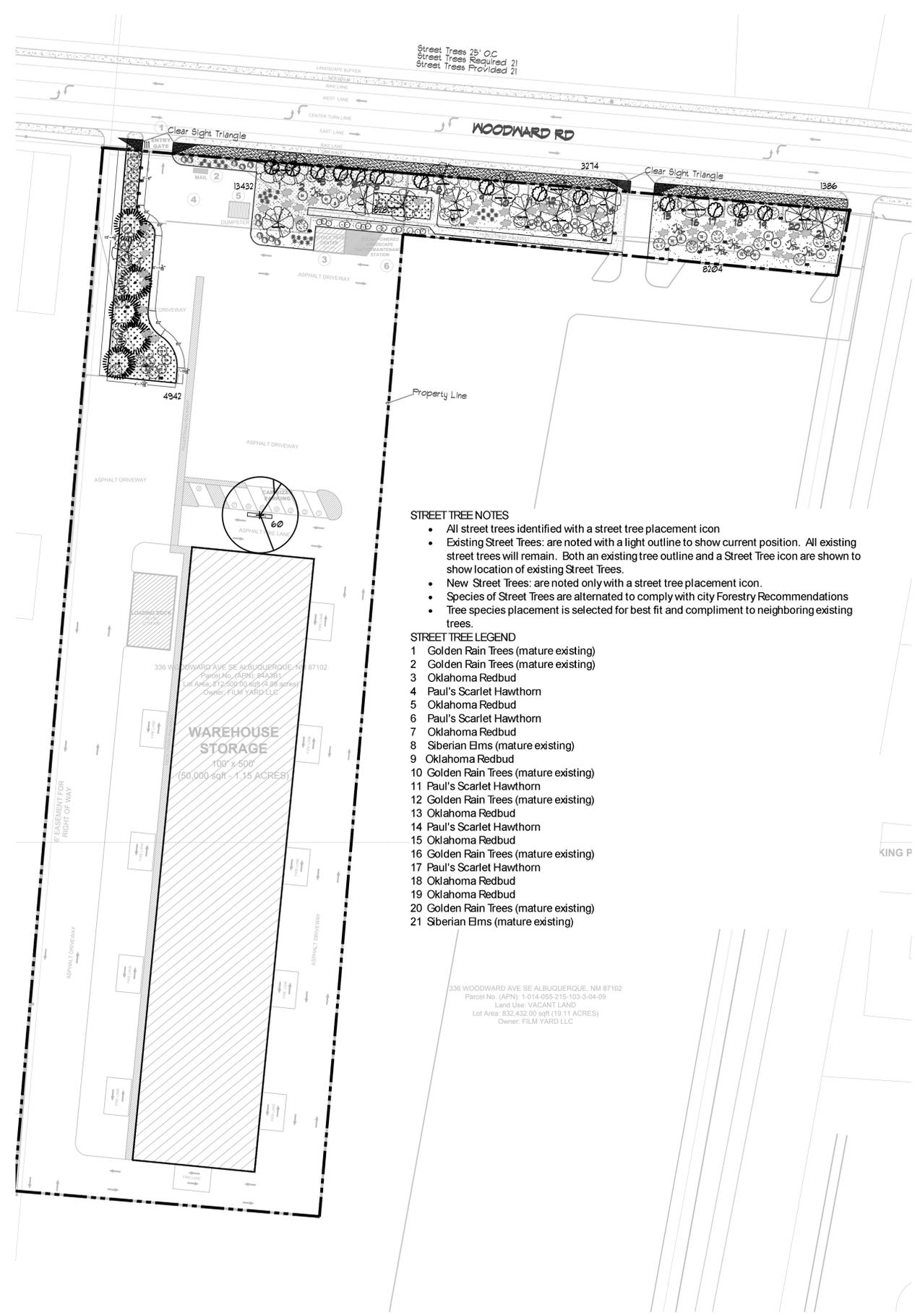
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 DRAWING NO: **LS-103**



Street Trees 25' OC
 Street Trees Required 21
 Street Trees Provided 21

STREET TREE NOTES

- All street trees identified with a street tree placement icon
- Existing Street Trees: are noted with a light outline to show current position. All existing street trees will remain. Both an existing tree outline and a Street Tree icon are shown to show location of existing Street Trees.
- New Street Trees: are noted only with a street tree placement icon.
- Species of Street Trees are alternated to comply with city Forestry Recommendations
- Tree species placement is selected for best fit and compliment to neighboring existing trees.

STREET TREE LEGEND

- Golden Rain Trees (mature existing)
- Golden Rain Trees (mature existing)
- Oklahoma Redbud
- Paul's Scarlet Hawthorn
- Oklahoma Redbud
- Paul's Scarlet Hawthorn
- Oklahoma Redbud
- Siberian Elms (mature existing)
- Oklahoma Redbud
- Golden Rain Trees (mature existing)
- Paul's Scarlet Hawthorn
- Golden Rain Trees (mature existing)
- Oklahoma Redbud
- Paul's Scarlet Hawthorn
- Oklahoma Redbud
- Golden Rain Trees (mature existing)
- Paul's Scarlet Hawthorn
- Oklahoma Redbud
- Golden Rain Trees (mature existing)
- Siberian Elms (mature existing)

336 WOODWARD AVE SE ALBUQUERQUE, NM 87102
 Parcel No. (APN): 1-014-055-215-103-3-04-09
 Land Use: VACANT LAND
 Lot Area: 832,432.00 sqft (19.11 ACRES)
 Owner: FILM YARD LLC

LANDSCAPE LEGEND

TREES							
QTY.	SIZE	COMMON/BOTANICAL NAME	DIMS	WATER USE	COVERAGE	TOTAL COVERAGE	
14	2" CAL	Oklahoma Redbud <i>Cercis reniformis</i>	15'x12'	M	113.04	1582.56	
5	6'-8'	Austrian Pine <i>Pinus nigra</i>	35'x25'	M	490.63	2453.15	
1	2" CAL	Chinese Pistache <i>Pistacia chinensis</i>	6'0"x6'0"	M	2826	2826.00	
11	Varies	Existing Trees to Remain	Varies	Varies	800	136.00	
TOTAL TREES:						2046.71	

Note: All trees shall have a 5' rad. circle of wood chips, per COA requirement

Shrubs & Groundcovers							
QTY.	SIZE	COMMON/BOTANICAL NAME	DIMS	WATER USE	COVERAGE	TOTAL COVERAGE	
13	5 Gal	Existing Shrubs	3'x3'	Varies	7.01	91.91	
11	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	3'x5'	M	19.63	215.93	
29	5 Gal	Spanish Broom <i>Caryopteris x glandonensis</i>	10'x10'	M	18.50	2276.50	
42	5 Gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	1'x8'	M	50.21	2111.34	
10	5 Gal	Yellow Bird of Paradise <i>Caesalpinia gilliesii</i>	10'x10'	RW	18.50	185.00	
30	5 Gal	Red Yucca <i>Hesperaloe parviflora</i>	3'x3'	L	7.01	212.10	
12	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	6'x5'	L	19.63	235.56	
15	5 Gal	Chamaea <i>Chrysothamnus nauseosus</i>	5'x5'	L	19.63	234.45	
21	5 Gal	Gro-Low Sumac <i>Rhus aromatica 'Gro-Low'</i>	3'x8'	M	50.21	1055.61	
11	5 Gal	Rose of Sharon <i>Hibiscus syriacus</i>	10'x10'	M	18.50	863.50	
TOTAL SHRUBS:						8141.96	

	16,810 SF 48%	Landscape Gravel 3/4" Crushed Grey Or to be determined by owner
	4,711 SF 15%	Landscape Crusher Fine / Filter Fabric Submit samples of gravel and cobble for approval Total Landscape Area Provided
	10,656 SF 33%	Organic Mulch in areas shown on plan Per Organic Mulch Plant Req. Below Not shown due to scale
32,231 SF		Total Landscape Area
Organic Mulch No Fabric Under Tree and Shrubs In gravel areas, not shown due to scale. Submit samples of wood mulch for approval Organic Mulch, 25% Required Note, Each Tree, min, 5' rad. 78.5sf 40 Trees x 78.5 sf = 3140 See Tree Detail, a 5' radius of wood mulch is require around each tree without Filter Fabric Note, Each Shrub, min, 2' rad. 12.56sf 139 Shrubs x 12.56 sf = 1746 Total Mulch Provided for plants 4886 Note: Organic Mulch Calculations for trees and plant in gravel and crusher fine areas, not in mulch areas		

LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain landscaping in a living, healthy, and attractive condition.
 It is the intent of this plan to comply with the City Of Albuquerque, IDO Ordinance.
 Water management is the sole responsibility of the Property Owner.
 Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas.
 Landscape shall be watered by above ground, captured rain water drip and bubbler system.
 Trees and shrubs shall be zoned separately.
 Point of connection for irrigation system is unknown at current time and shall be coordinated between the Landscape Contractor and the General Contractor of the project prior to construction.
 Landscaping shall be installed according to the approved plan. Installation shall be completed within 60 days of the related building's occupancy.

No substitutions or alterations to this plan with out the express written permission of the Landscape Architect, and approval of the City of Albuquerque, approved permit set.
 5-6(C)(2)(a) If existing non-prohibited vegetation meets the location requirements and intent of landscaping, buffering, or screening required by this Section 14-16-5-6, that existing vegetation may be credited toward the landscaping, buffering, or screening materials required by this Section 14-16-5-6.
 5-6(C)(2)(b) All existing vegetation preserved and used for credit against the requirements for new vegetation shall be protected during construction by a fence erected one foot beyond the drip line of the vegetation.

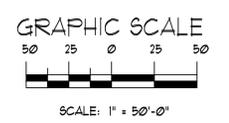
Clear Site Triangle Note:
 Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery between 3 and 8 feet tall, (as measured from the gutter pan) are not included within the clear site triangles.
Street Tree Notes:
 Per Section 5-6(D) (1) (a) Required Street Trees. Trees are GENERALLY required along street frontages every 25 feet on center unless otherwise specified in Part 6-2-2 of ROA 1994 (Street Trees)

Section 6-6-2-5 Street Trees (A)
 1. Size of the trees at maturity should be in proportion to the planting space provided for them. ... Smaller species of trees will require closer spacing, and larger trees will require greater spacing. Spacing shall be approved as part of the plan approval process.
 2. On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced

Acceptance of Street Tree Variance Approved by Bonnie Strange, Senior Planner Urban Forestry

LANDSCAPE CALCULATIONS

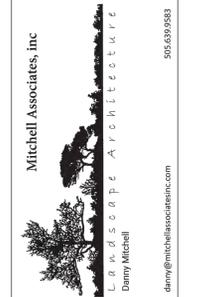
TOTAL LOT AREA	231,006
TOTAL BUILDING AREA (SF)	50,000
TOTAL NET LOT AREA (SF)	181,006
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIRED	27151
TOTAL ON-SITE AND OFF-SITE LANDSCAPE PROVIDED (SF)	32231
TOTAL VEGETATIVE COVERAGE REQUIRED (SF)	24178
TOTAL VEGETATIVE COVERAGE PROVIDED (SF)	89%
TOTAL GROUND VEGETATIVE COVERAGE REQUIRED (SF)	8059
TOTAL GROUND VEGETATIVE COVERAGE PROVIDED (SF)	2525%

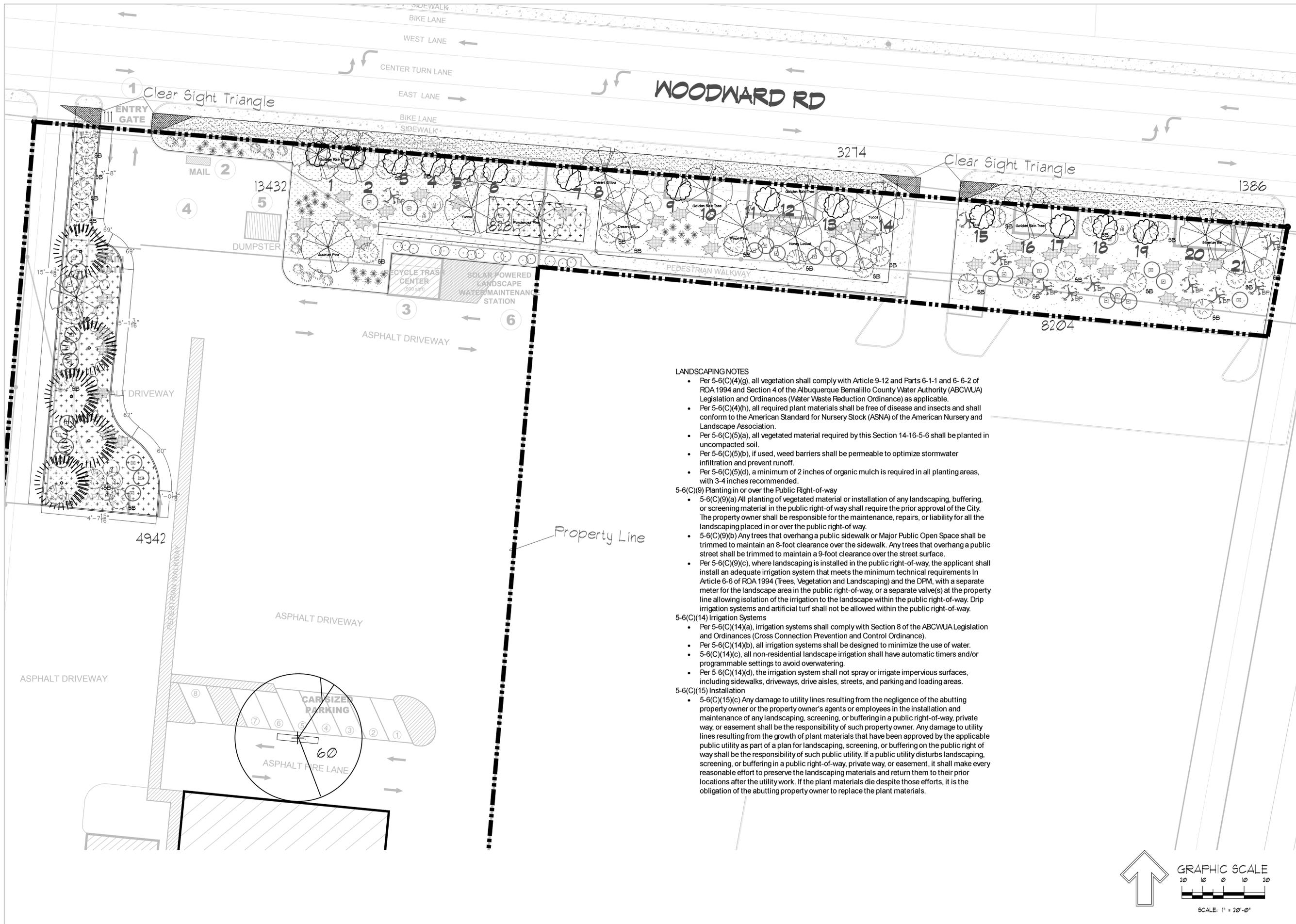


REVISIONS	Date:	Comment

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 Drawn By: dm
 Approved By: dm
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MOVIE FILM STORAGE
336 WOODWARD AVE SE
ALBUQUERQUE, NM 87102





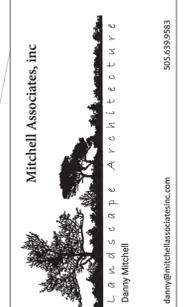
LANDSCAPING NOTES

- Per 5-6(C)(4)(g), all vegetation shall comply with Article 9-12 and Parts 6-1-1 and 6-6-2 of ROA 1994 and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable.
- Per 5-6(C)(4)(h), all required plant materials shall be free of disease and insects and shall conform to the American Standard for Nursery Stock (ASNA) of the American Nursery and Landscape Association.
- Per 5-6(C)(5)(a), all vegetated material required by this Section 14-16-5-6 shall be planted in uncompacted soil.
- Per 5-6(C)(5)(b), if used, weed barriers shall be permeable to optimize stormwater infiltration and prevent runoff.
- Per 5-6(C)(5)(d), a minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended.
- 5-6(C)(9) Planting in or over the Public Right-of-way
 - 5-6(C)(9)(a) All planting of vegetated material or installation of any landscaping, buffering, or screening material in the public right-of-way shall require the prior approval of the City. The property owner shall be responsible for the maintenance, repairs, or liability for all the landscaping placed in or over the public right-of-way.
 - 5-6(C)(9)(b) Any trees that overhang a public sidewalk or Major Public Open Space shall be trimmed to maintain an 8-foot clearance over the sidewalk. Any trees that overhang a public street shall be trimmed to maintain a 9-foot clearance over the street surface.
 - Per 5-6(C)(9)(c), where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements in Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM, with a separate meter for the landscape area in the public right-of-way, or a separate valve(s) at the property line allowing isolation of the irrigation to the landscape within the public right-of-way. Drip irrigation systems and artificial turf shall not be allowed within the public right-of-way.
- 5-6(C)(14) Irrigation Systems
 - Per 5-6(C)(14)(a), irrigation systems shall comply with Section 8 of the ABCWUA Legislation and Ordinances (Cross Connection Prevention and Control Ordinance).
 - Per 5-6(C)(14)(b), all irrigation systems shall be designed to minimize the use of water.
 - 5-6(C)(14)(c), all non-residential landscape irrigation shall have automatic timers and/or programmable settings to avoid overwatering.
 - Per 5-6(C)(14)(d), the irrigation system shall not spray or irrigate impervious surfaces, including sidewalks, driveways, drive aisles, streets, and parking and loading areas.
- 5-6(C)(15) Installation
 - 5-6(C)(15)(c) Any damage to utility lines resulting from the negligence of the abutting property owner or the property owner's agents or employees in the installation and maintenance of any landscaping, screening, or buffering in a public right-of-way, private way, or easement shall be the responsibility of such property owner. Any damage to utility lines resulting from the growth of plant materials that have been approved by the applicable public utility as part of a plan for landscaping, screening, or buffering on the public right of way shall be the responsibility of such public utility. If a public utility disturbs landscaping, screening, or buffering in a public right-of-way, private way, or easement, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after the utility work. If the plant materials die despite those efforts, it is the obligation of the abutting property owner to replace the plant materials.

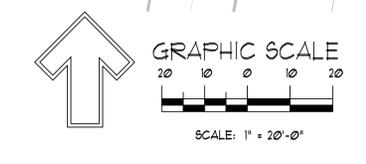
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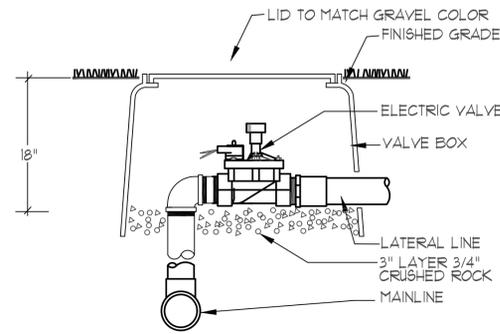
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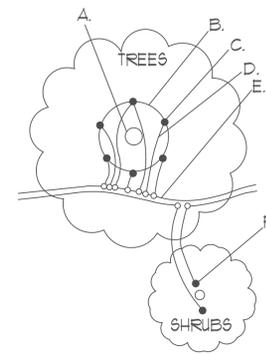
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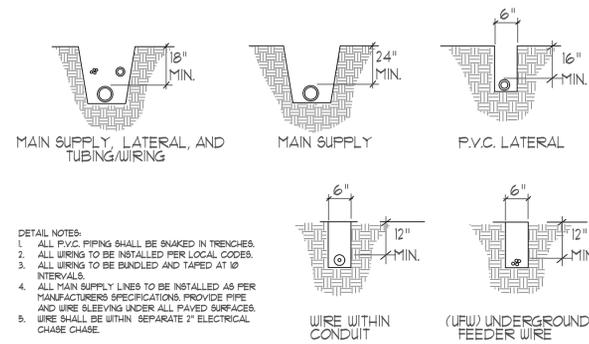
ELECTRIC VALVE ASSEMBLY

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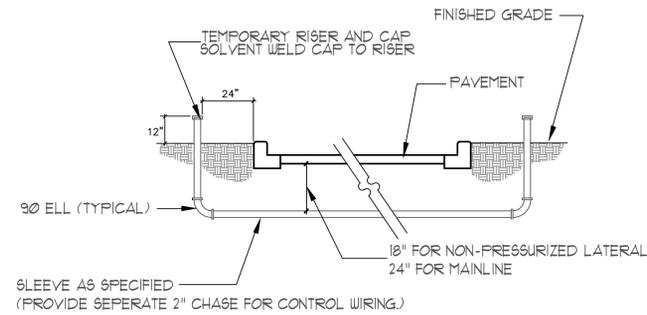
EMITTER PLACEMENT DETAIL

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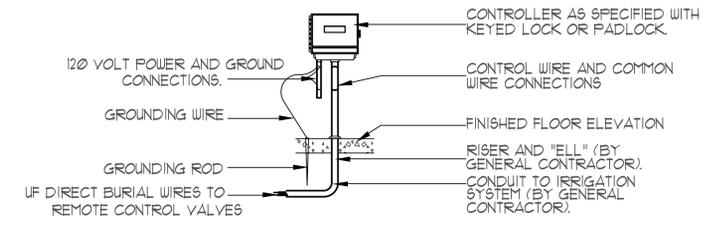
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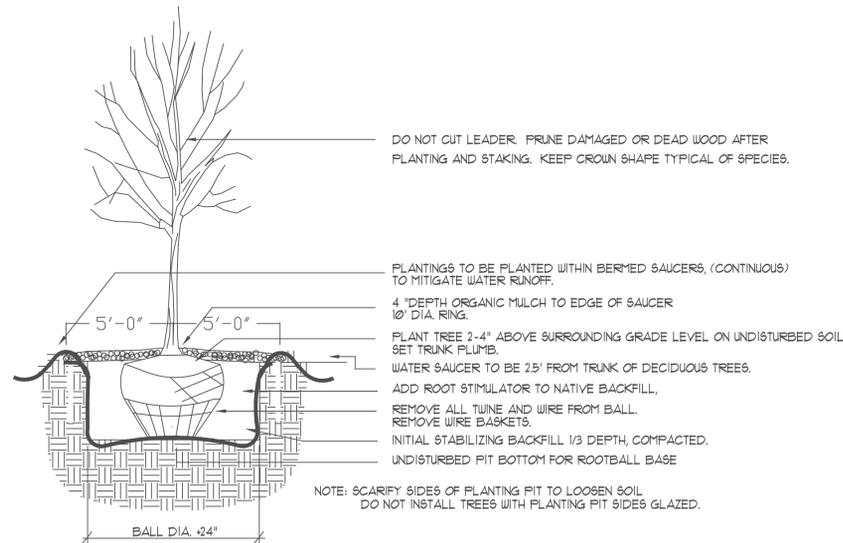
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CONTROLLER DETAIL

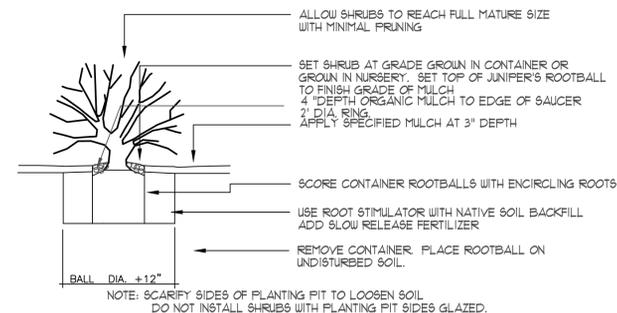
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TREE PLANTING DETAIL

N.T.S.



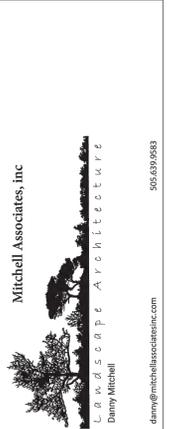
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EMERGENCY UTILITY STRIKE RESPONSE
 IF AN UNDERGROUND FACILITY IS DAMAGED DURING CONSTRUCTION, STOP CONSTRUCTION, CALL 911 (IF APPROPRIATE), NOTIFY THE UNDERGROUND FACILITY OPERATOR (UFO) IMMEDIATELY, AND CALL 811 TO REPORT THE DAMAGE. DAMAGE MAY INCLUDE NICKS, DENTS, GOUGES, CUTS, SCRAPES OR SCRATCHES TO THE COATING, INSULATING JACKET, OR TRACER WIRE. FOR ABCWUA WATER AND SANITARY SEWER INFRASTRUCTURE, ALL EMERGENCY RESPONSES ARE INITIATED BY A CALL TO DISPATCH AT 842-9287.

PROJECT INFORMATION

PROJECT ADDRESS
 336 Woodward Rd SE
 Albuquerque, NM 87102

APPLICABLE CODES

- 2015 INTERNATIONAL BUILDING CODE
- 2015 UNIFORM PLUMBING CODE
- 2015 UNIFORM MECHANICAL CODE
- 2017 NATIONAL ELECTRICAL CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE

KEYED NOTES

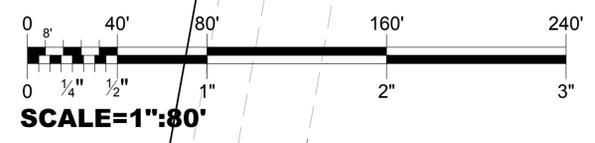
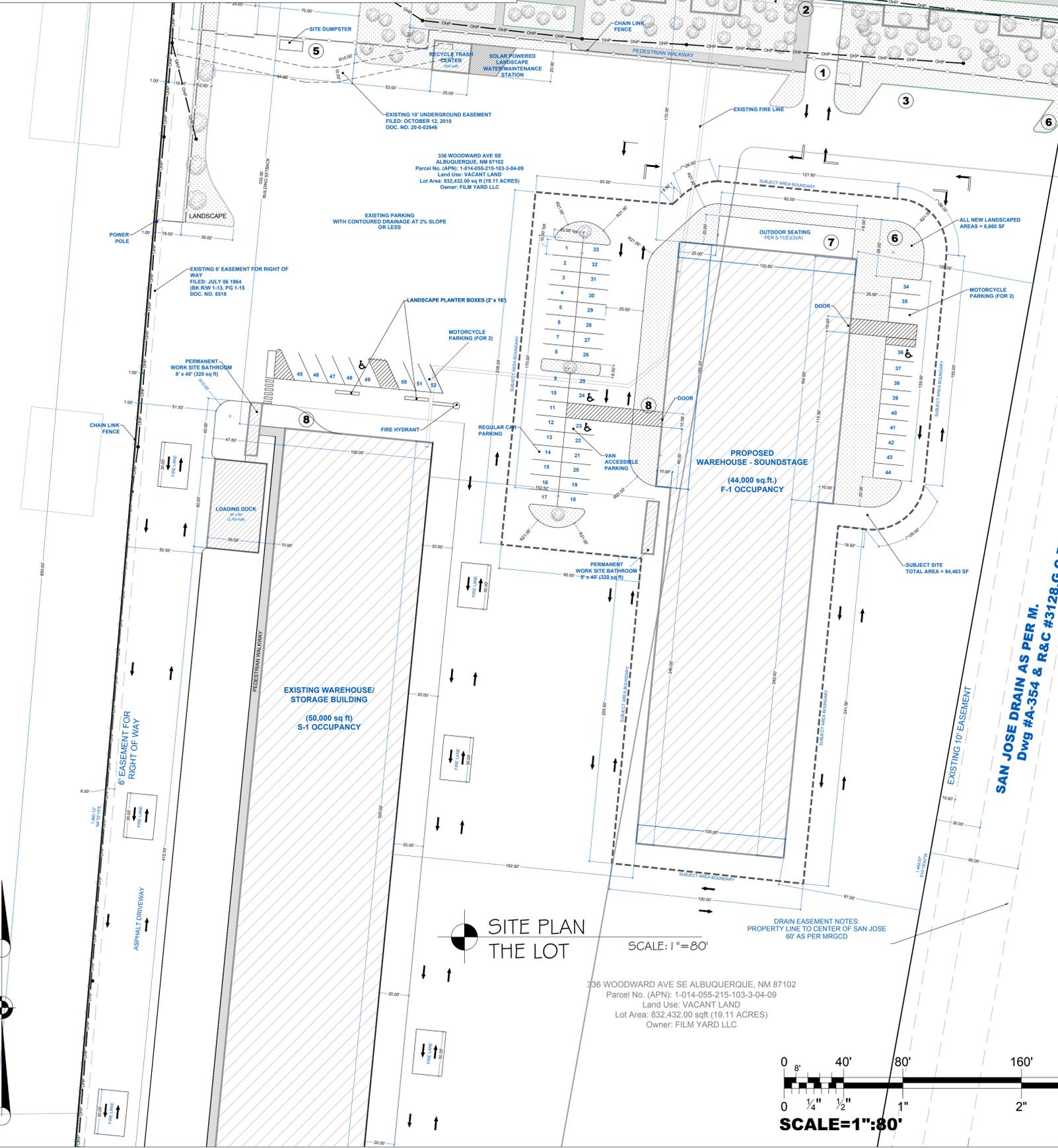
1. EXISTING CONCRETE DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION TO CITY STANDARD DETAIL 2425
2. EXISTING CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2415A
3. EXISTING CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2430
4. 6' X 5.75' X 4" H WHEEL STOP. PROVIDE (2) 18" LONG #4 REBAR STAKES AT EA. STOP WITH IN PARKING SPACES AS INDICATED SEE DETAIL TCL SHEET
5. ADA ACCESSIBLE PARKING SIGN SEE DETAIL TCL SHEET NOT USED
6. BICYCLE RACK SEE DETAIL TCL SHEET PROVIDE EACH RACK WITH 2' CLEAR SPACE WITH MINIMUM 1' CLEAR AROUND PARKING AND DRIVE AISLE FOR FIRE APPARATUS ACCESS. ROADS SHALL HAVE AN ASPHALT, CONCRETE, OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF APPARATUS WEIGHING AT LEAST 75,000 POUNDS. CONTRACTOR TO PROVIDE ENGINEER DATA FOR APPROVAL.
7. PARKING STRIPING 2" WIDE X 2' O.C. DIAGONAL PAINT STRIPING. SEE INDICATED LAYOUT WITH 3X3' HANDICAP SYMBOL AND WORDS "NO PARKING" IN CAPITAL LETTERS 1" HIGH 2' STROKE AS CLOSE TO WHERE ADJACENT VEHICLES REAR TIRE WOULD BE PARKED
8. ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.
9. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST INCLUDE A WORK ORDER
10. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STD. DTL. 2415
11. CONFIRM EXISTING RAMPS MEET CURRENT ADA STANDARDS COA DTL. 2425 IF NOT REPLACE ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.
12. PARKING STRIPING 2" WIDE X 2' O.C. DIAGONAL PAINT STRIPING. SEE INDICATED LAYOUT
13. DRIVE AISLE STRIPING 4" WIDE YELLOW STRIPING. SEE INDICATED LAYOUT
14. ALL INTERNAL RAMPS TO ADA ACCESSIBLE MAX SLOPE 1:12 WITH MAX 2% CROSS SLOPE LANDING AREA MIN. 5'X5' SEE COA DWG 2430
15. DRIVE AISLE STRIPING 4" WIDE WHITE STRIPING. SEE INDICATED LAYOUT
16. MOTORCYCLE SPACES CONFORM TO THE IDO STANDARDS IN 14-16-5-5(E)(4)
17. WALKWAYS CONFORM TO IDO STANDARDS IN 14-16-5-3(D)(3) SIDEWALK SPANS THE ENTIRE PROPERTY FRONTAGE. WIDTH IS 5' CONSTRUCTED IN 2023.
18. THE BUILDING'S STREET-FACING FACADE HAS NO PEDESTRIAN ENTRY DOORS.
19. ALL PEDESTRIAN WALKWAYS TO BUILDING ENTRYWAYS ARE 10' WIDE (PER TABLE 5-3-1)

- KEYED NOTES
- 1 PROPERTY ENTRY
 - 2 MAIL BOX
 - 3 RECYCLE CENTER
 - 4 -
 - 5 SITE DUMPSTER
 - 6 OFF-GRID LANDSCAPE MAINTENANCE STATION (rain water capture from storm system and solar powered with battery backup timer/drip system)
 - 7 OUTDOOR SEATING AREAS
 - 8 BIKE RACKS (each rack supports five bikes)

ZONING SETBACKS (NR-LM)
 Front: 5 ft
 Side/Rear: 0 ft

LEGEND

- PROPERTY LINE
- ROAD, HIGHWAY
- CURB & GUTTER
- SUBJECT SITE - BOUNDARY LINE
- BUILDING
- EASEMENT
- OVERHEAD POWER LINE
- CHAIN LINK FENCE
- DECORATIVE BRICK WALL W/ WROUGHT IRON GATE
- FIRE HYDRANT
- POWER POLE
- PEDESTRIAN WALKWAY
- LANDSCAPE AREA



336 Woodward Rd SE
 Albuquerque, NM 87102

SHEET NAME:
TCL - SITE PLAN

DRAWINGS PROVIDED FOR:
 THE LOT



PROJECT: THE LOT
 DRAWN BY: ROBERTO

REVISION TABLE

#	DATE	INITIALS	DESCRIPTION

DATE: 11/25/2025

SCALE: 1" = 80'

SHEET: TCL.1

TCL.1

PARKING REQUIREMENTS per IDO 14-16-5-5
 Total Spaces = 44

ADA Handicap Spaces = 3
 Motorcycle Spaces = 2
 per Table 5-5-4

Bicycle Parking Spaces = 5
 per Table 5-5-5

PARKING PROVIDED
 Total Spaces = 52 (+8)

ADA Handicap = 4 (+1)
 Motorcycle Spaces = 4 (+2)
 Bicycle Parking = 10 (+5)

336 WOODWARD AVE SE ALBUQUERQUE, NM 87102
 Parcel No. (APN): 1-014-055-215-103-3-04-09
 Land Use: VACANT LAND
 Lot Area: 832,432.00 sqft (19.11 ACRES)
 Owner: FILM YARD LLC

SAN JOSE DRAIN AS PER M.
 Dwg #A-354 & R&C #3128.G.C.D.

UE, NM 87102
 1-3-04-15
 (RES)
 LLC



VICINITY MAP - M-14

NOTES

LEGAL DESCRIPTION: TRACT B, G.E. PLANT SITE TOGETHER WITH PORTION OF SAN JOSE DRAIN MRGCD MAP 44.

AREA: TOTAL AREA = 19.1111 AC.

FLOOD ZONE: THE PROPERTY IS LOCATED WITHIN ZONE X MINIMAL FLOOD HAZARD AND ZONE X REDUCED FLOODRISK DUE TO LEVEES AS SHOWN ON FIRM MAP NO. 35001C0342C EFFECTIVE DATE 9/26/2008.

BOUNDARY SURVEY: BY SURV-TEK, JULY 2022

TOPOGRAPHIC SURVEY: NONE PROVIDED.

EXISTING CONDITIONS: THIS SITE IS THE OLD GENERAL ELECTRIC SITE LOCATED SOUTH OF WOODWARD RD. SE AND WEST OF BROADWAY BLVD SE. ALL BUILDINGS ONSITE HAVE BEEN DEMOLISHED, BUT THE FOUNDATIONS AND ASPHALT AREAS REMAIN.

AN EXISTING MODULAR STORAGE BUILDING HAS BEEN CONSTRUCTED ON THE SITE WITH GRADING PLAN HYD. NO. M14D037, STAMP DATE 01/06/2023.

THE SITE IS 95% IMPERVIOUS AND FREE DISCHARGES TO THE SAN JOSE DRAIN LOCATED EAST OF THE PROPERTY, WEST OF BROADWAY BLVD. VIA AN ONSITE STORM DRAIN SYSTEM WITH THREE OUTFALL PIPES TO THE DRAIN. THERE ARE UNDERGROUND CONTAINMENT BASINS FOR STORM WATER QUALITY CONTROL LOCATED AT EACH OUTFALL POINT ADJACENT TO THE SAN JOSE DRAIN.

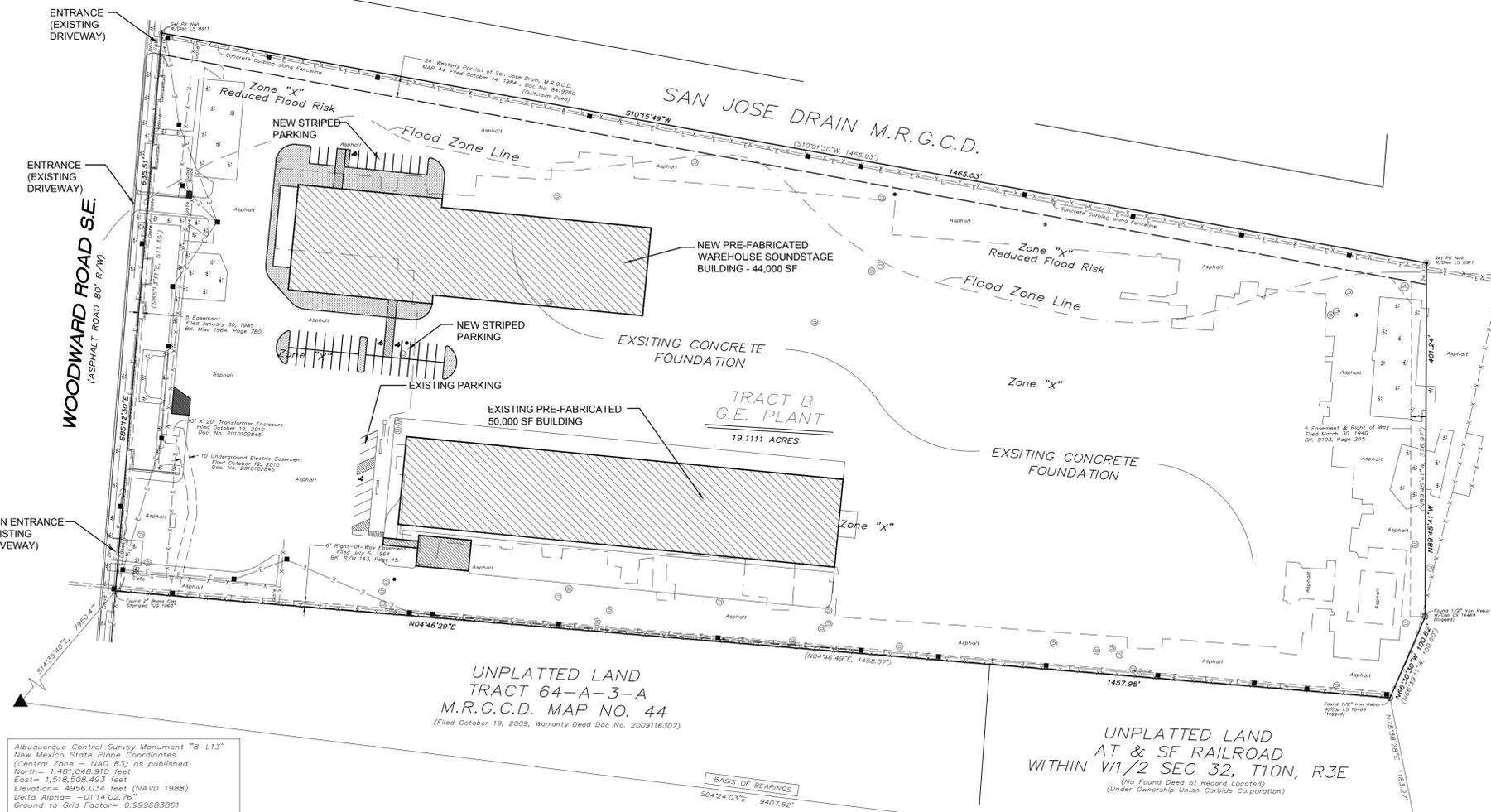
PROPOSED CONDITIONS: THE EXISTING FOUNDATIONS AND ASPHALT SHALL REMAIN. A MODULAR SOUNDSTAGE STORAGE BUILDING (44,000 SF TOTAL) SHALL BE CONSTRUCTED WITH PILASTER SPOT FOOTINGS ON THE EXISTING FOUNDATION. PARKING SPACES SHALL BE STRIPED ON THE EXISTING CONCRETE/ASPHALT.

NO TOPOGRAPHIC SURVEY HAS BEEN PROVIDED AND NO ELEVATIONS ARE SHOWN ON THIS DRAINAGE PLAN.

THERE IS NO CHANGE IN IMPERVIOUS AREA; NO CHANGE IN DISCHARGE OR DRAINAGE PATTERNS.

THE ONSITE STORM DRAIN SYSTEM SHALL REMAIN IN PLACE AND THE SITE SHALL CONTINUE TO DISCHARGE TO THE EXISTING ONSITE STORM DRAIN SYSTEM AND OUTFALL TO THE SAN JOSE DRAIN.

UPDATES TO DRAINAGE MASTER PLAN: THE APPROXIMATE 100-YEAR FLOW RATES SHOWN IN THE DRAINAGE CALCULATIONS ON THE DRAINAGE MASTER PLAN (DMP) PREPARED BY SMITH-SCHUECH ENGINEERING CO. IN 1991 WERE UPDATED WITH THE APPROVED GRADING PLAN (HYD. NO. M14D037), STAMP DATE 01/06/2023 USING THE METHODS IN ARTICLE 6-2 OF THE JUNE 26, 2020 COA DPM-SEE SHEET C-102. THE RESULTS SHOW A NEGLIGIBLE INCREASE OF 0.1 CFS/AC AS COMPARED TO THE DMP CALCULATIONS. THE NEW CALCULATIONS INDICATE A SITE DISCHARGE OF 4.2 CFS/AC; THE DMP CALCULATIONS SHOWED AN APPROXIMATED DISCHARGE OF 4.1 CFS/AC.



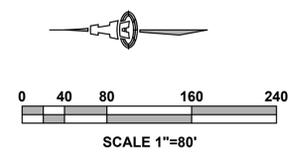
Albuquerque Control Survey Monument "B-L13"
New Mexico State Plane Coordinates
(Central Zone - NAD 83) as published
North = 1,481,048.910 feet
East = 1,519,508.493 feet
Elevation = 4956.034 feet (NAVD 1988)
Delta Alpha = -01'14.02.76"
Ground to Grid Factor = 0.999683961

- LEGEND**
- = Power Pole
 - = Guy Wire
 - = Overhead Wire
 - = Light Pole
 - ▣ = Concrete Area
 - ▨ = Utility Pedestal
 - ⊙ = Meter Meter
 - ⊕ = Utility Manhole
 - = Gas Valve
 - = Water Valve

PROPERTY SUBJECT TO:

- ⊙ (Approximate Location) Easement & Right-of-Way Filed March 30, 1940, BK D103, Pg. 265 Repable Copy provided at this time.

Albuquerque Control Survey Monument "NM-47-20"
New Mexico State Plane Coordinates
(Central Zone - NAD 83) as published
North = 1,471,671.964 feet
East = 1,519,230.120 feet
Elevation = 4942.068 feet (NAVD 1988)
Delta Alpha = -001'35.6.97"
Ground to Grid Factor = 0.999684328



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Engineer

**336 WOODWARD RD SE
STORAGE BUILDING
ALBUQUERQUE, NM**

DESIGN	ISSUE:	DEVELOPMENT
	PROJECT NUMBER:	IA 2568
	FILE:	
	DRAWN BY:	ANW
	CHECKED BY:	ANW
	DATE:	12-22-2025

No	Date	Description

SHEET TITLE

DRAINAGE PLAN

SHEET NUMBER

C-101



KEYED NOTES:
 A. PER FIELD MEASURE - AS-BUILT LOCATION OF EXST TRENCH DRAIN IS 8' WEST OF NEW BUILDING.

SITE PLAN
 SCALE 1"=100'
 NTS

LEGEND

- EXISTING
- BASIN 400 MAJOR DRAINAGE BASIN
- MAJOR DRAINAGE BASIN BOUNDARY
- SUB BASIN BOUNDARY
- STORM DRAIN
- MANHOLE
- GRATED MANHOLE
- CATCH BASIN
- TRENCH DRAIN
- DIRECTION OF OVERLAND FLOW
- BUILDING NUMBER
- CHAINLINK FENCE
- OFF SITE ROAD
- STORM DRAIN CONTAINMENT STRUCTURE

REVISIONS

NO.	DATE	DESCRIPTION
15		
16	4/15/21	CONSTRUCT A 720 LF BLDG ATTACHED TO THE SOUTH SIDE OF 14-E OVER EXIST. PAVED AREA. CONSTRUCT NEW CATCH BASIN & REVISE STORM DRAIN PIPING.
17	01/05/2023	A NEW 50,000 SF PRE-FABRICATED BUILDING SHALL BE INSTALLED ON PIERS ON THE EXISTING FOUNDATION AND PAVEMENT MARKINGS SHALL BE INSTALLED ON THE EXISTING ASPHALT. OTHER IMPROVEMENTS INCLUDE 2 DUMPSTERS, A 2,100 SF LOADING DOCK, A RECYCLING CENTER AND A SOLAR-POWERED LANDSCAPE WATER MAINTENANCE STATION.
18	12/19/2025	A NEW 44,000 SF PRE-FABRICATED BUILDING SHALL BE INSTALLED ON ON THE EXISTING FOUNDATION AND PAVEMENT MARKINGS SHALL BE INSTALLED ON THE EXISTING ASPHALT.

DRAINAGE BASIN INFORMATION

NO.	ACRES	Q ₁₀₀ (APPROX.)	Q ₁₀₀ (2020 DPM)
100	8.4	35 CFS	35.6 CFS
200	2.5	10 CFS	10.6 CFS
300	3.9	16 CFS	16.5 CFS
400	---	---	---
500	4.3	18 CFS	18.2 CFS
600	0.3	1 CFS	---
700	8.8	37 CFS	---
800	6.3	26 CFS	---

$Q_{100} = C \times I \times A$
 $C = 0.90$ (COMPOSITE)
 $I = 4.65$ ($T_L = 10$ MINUTES MINIMUM, ASSUMED)
 A = AREA IN ACRES
 RAINFALL VOLUME 2.2" (100 YEAR FREQUENCY) FROM PLATE 22.2 D-1, DPM
 $Q_{100} = 0.90 \times 4.65 \times A$

01/05/2023 17
 SEE THIS SHEET FOR CALCULATIONS USING PROCEDURE FROM ARTICLE 6-2 OF THE CITY OF ALBUQUERQUE DMP DATED JUNE 26, 2020

PREVIOUS REVISIONS

NO	INDEX	DATE	REVISION	CK	D	APP
16		4/15/21	7500 COMPRESSOR BUILDING/ MAINTENANCE SHED (PE 2247)	PJC		KES
15			TRUCK TRAIL CONTAINER (PE 2116)	PJC		TS
				CK D		
				APP		

NOTES:

THIS SHEET SHOWS MARKUPS TO THE DRAINAGE MASTER PLAN REVISIONS PREPARED BY SMITH-SCHEUCH ENGINEERING CO. IN 1991.

ALL BUILDINGS ON THE PROPERTY HAVE BEEN DEMOLISHED BUT THE FOUNDATION AND ASPHALT REMAIN.

A 44,000 SF PRE-FABRICATED WAREHOUSE SOUNDSTAGE BUILDING SHALL BE INSTALLED WITH PILASTER SPOT FOOTINGS ON THE EXISTING FOUNDATION AND PAVEMENT MARKINGS SHALL BE INSTALLED ON THE EXISTING ASPHALT.

THE PROPOSED IMPROVEMENTS WILL NOT ALTER THE RUNOFF FROM THE SITE (NO IMPERVIOUS IMPROVEMENTS WILL BE REMOVED OR ADDED).

THE DRAINAGE CALCULATIONS WERE UPDATED WITH THE APPROVED GRADING PLAN (HYD. NO. M14D037), STAMP DATE 01/06/2023 PER THE JUNE 26, 2020 DEVELOPMENT PROCESS MANUAL ARTICLE 6-2. THE LAND TREATMENTS WERE CALCULATED AT 95% TYPE D AND 5% TYPE B. THESE CALCULATIONS SHOW THE DISCHARGE FROM THE SITE IS 4.2 CFS/AC. VS. 4.1 CFS/AC. SHOWN IN THE SMITH-SCHEUCH ENGINEERING CO. 1991 DRAINAGE MASTER PLAN.

336 WOODWARD - DPM CALCS .xlsx

Job Name:	336 WOODWARD RD SE
Client:	
Date Prepared:	1/3/2023
Date Modified:	
Precipitation Zone:	2

CALCULATIONS: 336 WOODWARD RD SE :

Based on City of Albuquerque DMP Article 6-2 Hydrology dated June 26, 2020

100-YEAR, 6-HOUR CALCULATIONS

AREA OF SITE:	832431.6 SF	=	19.11	ACRE
100-year, 6-hour				
HISTORIC FLOWS:		DEVELOPED FLOWS:		EXCESS PRECIP:
Treatment SF	%	Treatment SF	%	Precip. Zone
Area A = 0	0%	Area A = 0	0%	E _A = 0.62
Area B = 41622	5%	Area B = 41622	5%	E _B = 0.80
Area C = 0	0%	Area C = 0	0%	E _C = 1.03
Area D = 790810	95%	Area D = 790810	95%	E _D = 2.33
Total Area = 832432	100%	Total Area = 832432	100%	

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

Weighted E = $E_A A_A + E_B A_B + E_C A_C + E_D A_D$
 $A_A + A_B + A_C + A_D$

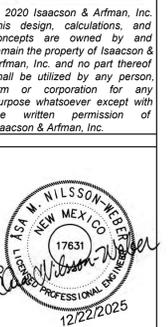
Historic E = 2.25 in. | Developed E = 2.25 in.

On-Site Volume of Runoff: V₃₆₀ = E * A / 12
 Historic V₃₆₀ = 156324 CF | Developed V₃₆₀ = 156324 CF

On-Site Peak Discharge Rate: Q_p = Q_AA_A + Q_BA_B + Q_CA_C + Q_DA_D / 43,560
 For Precipitation Zone 2
 Q_{pA} = 1.71 | Q_{pC} = 3.05
 Q_{pB} = 2.36 | Q_{pD} = 4.34
 Historic Q_p = 81.0 CFS | Developed Q_p = 81.0 CFS

336 WOODWARD - DPM CALCS .xlsx

BASIN NO.	DESCRIPTION	TO SAN JUAN DRAIN
100	Area of basin flows = 365904 SF Page-1	8.40 Ac.
The following calculations are based on Treatment %'s as shown in table to the right		
Sub-basin Weighted Excess Precipitation:		LAND TREATMENT
Weighted E = 2.25 in.		A = 0%
Sub-basin Volume of Runoff:		B = 5%
V ₃₆₀ = 68714 CF		C = 0%
Sub-basin Peak Discharge Rate:		D = 95%
Q _p = 35.6 cfs		
200	Area of basin flows = 108920 SF	2.5 Ac.
The following calculations are based on Treatment %'s as shown in table to the right		
Sub-basin Weighted Excess Precipitation:		LAND TREATMENT
Weighted E = 2.25 in.		A = 0%
Sub-basin Volume of Runoff:		B = 5%
V ₃₆₀ = 20451 CF		C = 0%
Sub-basin Peak Discharge Rate:		D = 95%
Q _p = 10.6 cfs		
300	Area of basin flows = 169824 SF	3.9 Ac.
The following calculations are based on Treatment %'s as shown in table to the right		
Sub-basin Weighted Excess Precipitation:		LAND TREATMENT
Weighted E = 2.25 in.		A = 0%
Sub-basin Volume of Runoff:		B = 5%
V ₃₆₀ = 31903 CF		C = 0%
Sub-basin Peak Discharge Rate:		D = 95%
Q _p = 16.5 cfs		
500	Area of basin flows = 187308 SF	4.3 Ac.
The following calculations are based on Treatment %'s as shown in table to the right		
Sub-basin Weighted Excess Precipitation:		LAND TREATMENT
Weighted E = 2.25 in.		A = 0%
Sub-basin Volume of Runoff:		B = 5%
V ₃₆₀ = 35175 CF		C = 0%
Sub-basin Peak Discharge Rate:		D = 95%
Q _p = 18.2 cfs		



Engineer

**336 WOODWARD RD SE
 STORAGE BUILDING
 ALBUQUERQUE, NM**

DESIGN	ISSUE: DEVELOPMENT
PROJECT NUMBER: IA 2568	FILE: -
DRAWN BY: ANW	CHECKED BY: ANW
DATE: 12-22-2025	

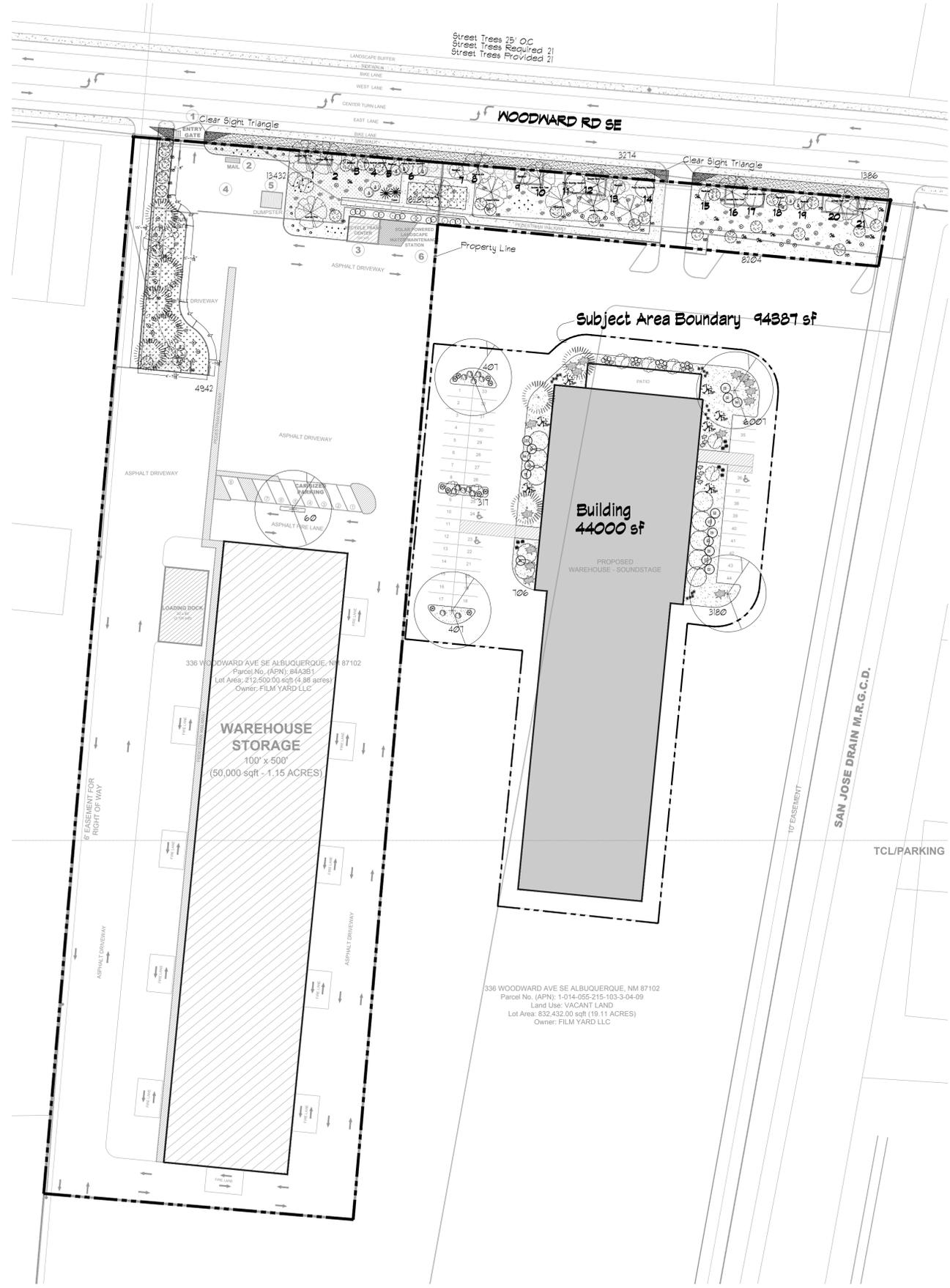
No	Date	Description

SHEET TITLE

MASTER DRAINAGE PLAN UPDATE

SHEET NUMBER

C-102



LANDSCAPE LEGEND

TREES

QTY.	SIZE	COMMON/BOTANICAL NAME	DIMS	WATER USE	COVERAGE	TOTAL COVERAGE
17	2" CAL	Redbud <i>Cercis canadensis</i> 'Pink pom poms'	15'x12'	M	113	1921
8	6'-8'	Austrian Pine <i>Pinus nigra</i>	35'x25'	M	491	3928
5	2" CAL	Chinese Pistache <i>Pistacia chinensis</i>	60'x60'	M	2826	14130.00
15	2" CAL	Paul's scarlet hawthorn <i>Crataegus laevigata</i>	15'x15'	M	171	2655.00
17	Varies	Existing Trees to Remain	Varies	Varies	800	13600
					TOTAL COVERAGE:	36234

Note: All trees shall have a 5' rad. circle of wood chips, per COA requirement.

Shrubs & Groundcovers

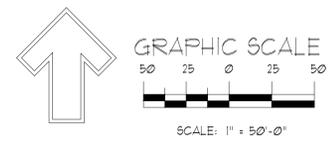
QTY.	SIZE	COMMON/BOTANICAL NAME	DIMS	WATER USE	COVERAGE	TOTAL COVERAGE
13	5 Gal	Existing Shrubs	3'x3'	Varies	7	91
23	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	3'x5'	M	19.63	451
29	5 Gal	Spanish Broom <i>Caryopteris x clandonensis</i>	10'x10'	M	79	2291
51	5 Gal	Buffalo Juniper <i>Juniperus sabinia</i> 'Buffalo'	1'x8'	M	50	2850
10	5 Gal	Yellow Bird of Paradise <i>Caesalpinia gillesii</i>	10'x10'	RW	79	790
49	5 Gal	Red Yucca <i>Hesperaloe parviflora</i>	3'x3'	L	7	343
12	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	6'x5'	L	20	240
15	5 Gal	Chamaisa <i>Chrysothamnus nauseosus</i>	5'x5'	L	20	300
41	5 Gal	Gro-Low Sumac <i>Rhus aromatica</i> 'Gro-Low'	3'x8'	M	50	2350
11	5 Gal	Rose of Sharon <i>Hibiscus syriacus</i>	10'x10'	M	79	869
7	5 Gal	Yellow Bird of Paradise <i>Caesalpinia gillesii</i>	10'x10'	RW	79	553
16	5 Gal	Knock Out Roses <i>Rosa</i> 'Knock Out'	3'x4'	L	12	192
12	1 Gal	Deep Blue Lavender <i>Lavendar angustifolia</i> 'Hidcote'	2'x3'	M	9	108
9	1 Gal	Dwarf Fountain Grass <i>Pennisetum alopecuroides</i> 'Hamelin'	3'x3'	M	9	81
					TOTAL COVERAGE:	11509

24,632 SF 43%	Landscape Gravel 3/4" Crushed Grey Or to be determined by owner
4,711 SF 12%	Landscape Crusher Fines / Filter Fabric Submit samples of gravel and cobble for approval Total Landscape Area Provided
14,038 SF 31%	Organic Mulch in areas shown on plan 5170 P&F Organic Mulch Plant Req. Below 2288 Not shown due to scale 14,038 Total Mulch
43,441 SF	Total Landscape Area

Acceptance of Street Tree Variance Approved by Bonnie Strange,
Senior Planner Urban Forestry

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	325,393
TOTAL BUILDING AREA (SF)	94,000
TOTAL NET LOT AREA (SF)	231,393
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIRED	34,709
TOTAL LANDSCAPE PROVIDED (SF)	48,603
TOTAL VEGETATIVE COVERAGE REQUIRED (SF)	36,452
TOTAL VEGETATIVE COVERAGE PROVIDED (SF)	47,920
TOTAL GROUND VEGETATIVE COVERAGE REQUIRED (SF)	913
TOTAL GROUND VEGETATIVE COVERAGE PROVIDED (SF)	11,626



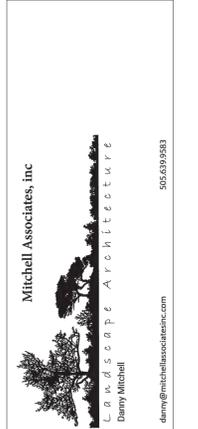
REVISIONS

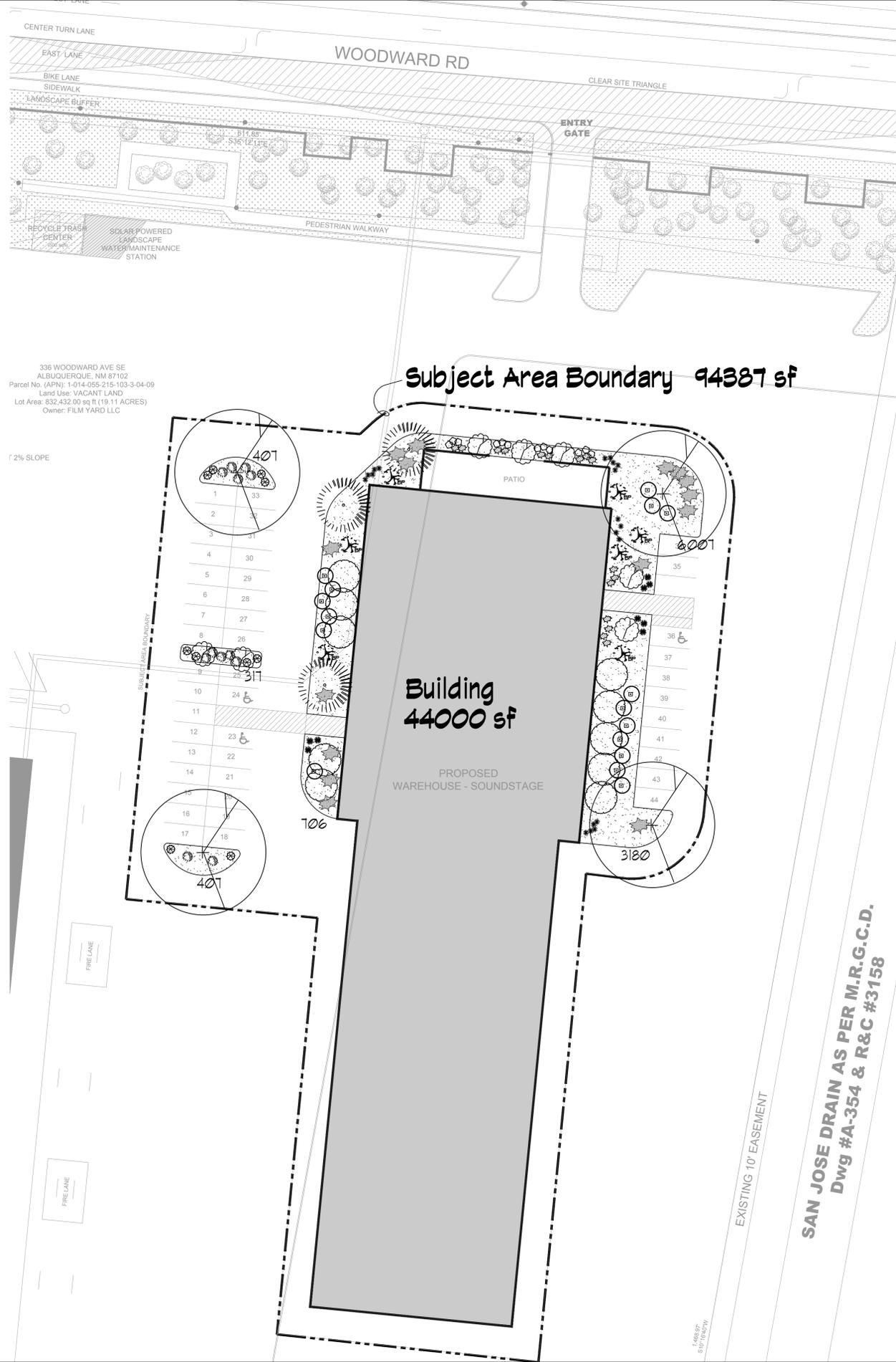
Date:	Comment

Designed By: dm
 Drawn By: dm
 Approved By: dm
 Date: 12/31/2025
 NEW MEXICO ONE CALL
 STATEWIDE- 811 OR
 1-800-321-ALERT (2537)
 www.nmonecall.org
 Call two working days
 before you dig.
 File ID:

Landscape Plan (Overall)
Phase 1 and 2

The Lot
336 WOODWARD AVE SE
ALBUQUERQUE, NM 87102





336 WOODWARD AVE SE
ALBUQUERQUE, NM 87102
Parcel No. (APN): 1-014-055-215-103-3-04-09
Land Use: VACANT LAND
Lot Area: 832,432.00 sq ft (19.11 ACRES)
Owner: FILM YARD LLC

2% SLOPE

Subject Area Boundary 94387 sf

Building 44000 sf

PROPOSED WAREHOUSE - SOUNDSTAGE

SAN JOSE DRAIN AS PER M.R.G.C.D.
Dwg #A-354 & R&C #3158

EXISTING 10' EASEMENT

LANDSCAPE LEGEND

TREES

QTY.	SIZE	COMMON/BOTANICAL NAME	DIMS	WATER USE	COVERAGE	TOTAL COVERAGE
1	2" CAL	Redbud <i>Cercis canadensis</i> 'Pink pom poms'	15x12'	M	113	191
3	6"-8"	Austrian Pine <i>Pinus nigra</i>	35x25'	M	491	1473
4	2" CAL	Chinese Pistache <i>Pistacia chinensis</i>	60'x60'	M	2826	11304
10	2" CAL	Paul's scarlet hawthorn <i>Crataegus laevigata</i>	15x15'	M	171	1710
TOTAL TREES:	38					TOTAL COVERAGE: 15338

Note: All trees shall have a 5' rad. circle of mulch per COA requirement

Shrubs & Groundcovers

QTY.	SIZE	COMMON/BOTANICAL NAME	DIMS	WATER USE	COVERAGE	TOTAL COVERAGE
12	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	3'x5'	M	20	240
7	5 Gal	Yellow Bird of Paradise <i>Caesalpinia gilliesii</i>	10'x10'	RU	79	553
15	5 Gal	Buffalo Juniper <i>Juniperus sabina</i> 'Buffalo'	1'x8'	M	50	750
19	5 Gal	Red Yucca <i>Hesperaloe parviflora</i>	3'x3'	L	7	133
16	5 Gal	Gro-Low Sumac <i>Rhus aromatica</i> 'Gro-Low'	3'x8'	M	50	800
10	5 Gal	Red Switch Grass <i>Panicum virgatum</i> 'Rotstrahibuch'	4x4	L	16	160
16	5 Gal	Knock Out Roses <i>Rosa</i> 'Knock Out'	3x4	L	12	120
12	1 Gal	Deep Blue Lavendar <i>Lavendar angustifolia</i> 'Hidcote'	2'x3	M	9	192
9	1 Gal	Dwarf Fountain Grass <i>Pennisetum alopecuroides</i> 'Hamelin'	3x3	M	9	81
TOTAL SHRUBS:	204					TOTAL COVERAGE: 3029

8403 SF	Landscape Gravel 3/4" Crushed Grey Or to be determined by owner
2801	Organic Mulch 25% See Tree and Shrub Details Not Shown due to scale
11204 SF	Total Landscape Area
	Organic Mulch No Fabric Under Tree and Shrubs in gravel areas, not shown due to scale. Submit samples of wood mulch for approval
	Organic Mulch, 25% Required Note, Each Tree, min, 5' rad. 78.5sf 37 Trees x 78.5 sf = 2,905
	See Tree Detail, a 5' radius of wood mulch is require around each tree without Filter Fabric
	Note, Each Shrub, min, 2' rad. 12.56sf 204 Shrubs x 12.56 sf = 2,562
	Total Mulch Provided for plants 5,467
	Note: Organic Mulch Calculations for trees and plant in gravel and crusher fine areas, not in mulch areas

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain landscaping in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner.
Landscape Gravel to a minimum depth of 3" shall be placed in all landscape areas.

Landscape shall be watered by above ground, captured rain water, drip and bubbler system.

Trees and shrubs shall be zoned separately.
Point of connection for irrigation system is unknown at current time and shall be coordinated between the Landscape Contractor and the General Contractor of the project prior to construction.

Landscaping shall be installed according to the approved plan. Installation shall be completed within 60 days of the related building's occupancy.

No substitutions or alterations to this plan with out the express written permission of the Landscape Architect, and approval of the City of Albuquerque, approved permit set.

Clear Site Triangle Note:
Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery between 3 and 8 feet tall, (as measured from the gutter pan) are not included within the clear site triangle.

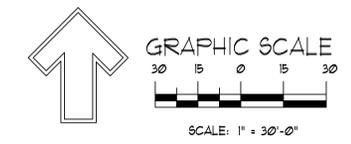
Street Tree Notes:
Per Section 5-6(D) (1) (a) Required Street Trees.
Trees are GENERALLY required along street frontages every 25 feet on center unless otherwise specified in Part 6-2-2 of RDA 1994 (Street Trees)

Section 6-6-2-5 Street Trees (A)
1. Size of the trees at maturity should be in proportion to the planting space provided for them. ... Smaller species of trees will require closer spacing, and larger trees will require greater spacing. Spacing shall be approved as part of the plan approval process.
2. On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced

Acceptance of Street Tree Variance Approved by Bonnie Strange, Senior Planner Urban Forestry

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	94387
TOTAL BUILDING AREA (SF)	44000
TOTAL NET LOT AREA (SF)	50387
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIRED	7558
TOTAL LANDSCAPE PROVIDED (SF)	11204
TOTAL VEGETATIVE COVERAGE REQUIRED (SF)	8268
TOTAL VEGETATIVE COVERAGE PROVIDED (SF)	10361
TOTAL GROUND VEGETATIVE COVERAGE REQUIRED (SF)	2061
TOTAL GROUND VEGETATIVE COVERAGE PROVIDED (SF)	3029

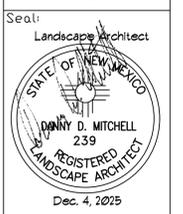
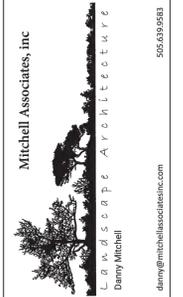


REVISIONS	Date:	Comment

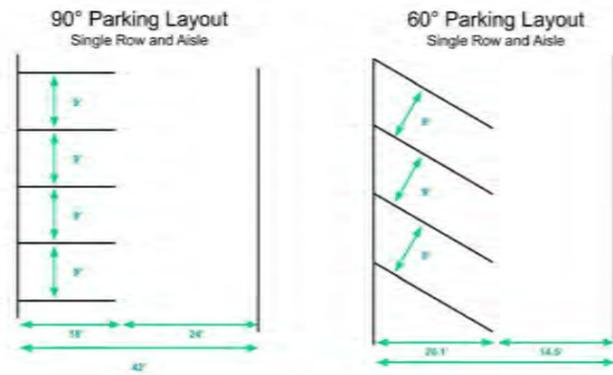
Designed By: dfm
Drawn By: dfm
Approved By: dfm
Date: 1/24/2025
NEW MEXICO ONE CALL STATEWIDE - 811 OR 1-800-321-ALERT (2537) www.nmonecall.org
Working days before you dig. File ID:

Landscape Plan

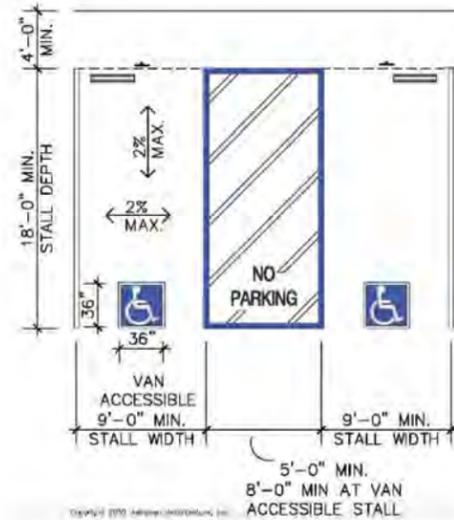
The Lot
336 WOODWARD AVE SE
ALBUQUERQUE, NM 87102



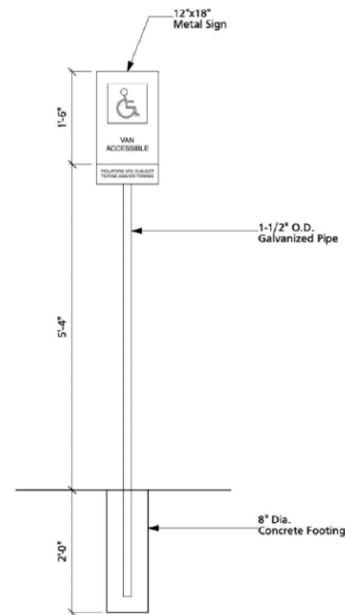
Copyright 2025, Mitchell Associates Inc.
PROJECT NO: 2024-055
DRAWING NO: LS-102



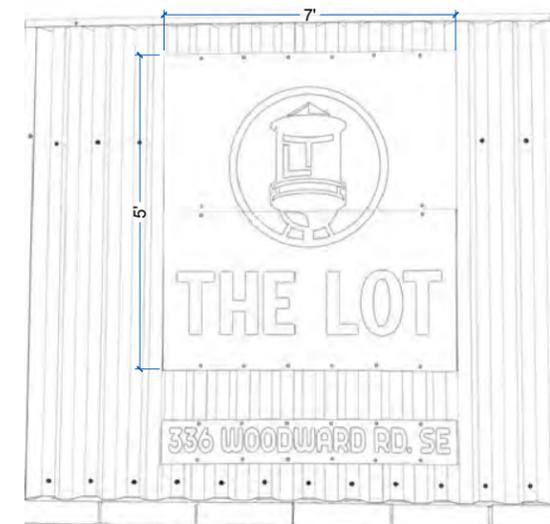
PARKING LAYOUT
Not to Scale



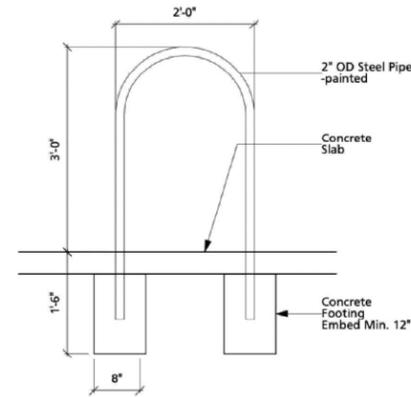
ACCESSIBLE PARKING LAYOUT
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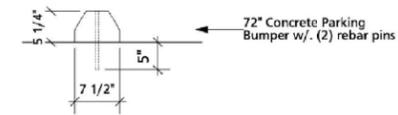
HC SIGN DETAIL
Not to Scale



SIGN DETAIL
7' WIDE x 5' HIGH



BIKE RACK ELEVATION
Not to Scale



PARKING BUMPER
Not to Scale

336 Woodward Rd SE
Albuquerque, NM 87102

SHEET NAME:
TCL - DETAILS

DRAWINGS PROVIDED FOR:
THE LOT

DRAWINGS PROVIDED BY:
Jeremy Williams C.A.
Romy Creative LLC
St George, UT 84790
design@romycreative.com
(530) 863-7238

Engineer of Record (EOR)
Ronald R. Bohannon P.E.
NM license 7868
topengineer137@gmail.com
(325) 200-4255

PROEJCT:

DRAWN BY:

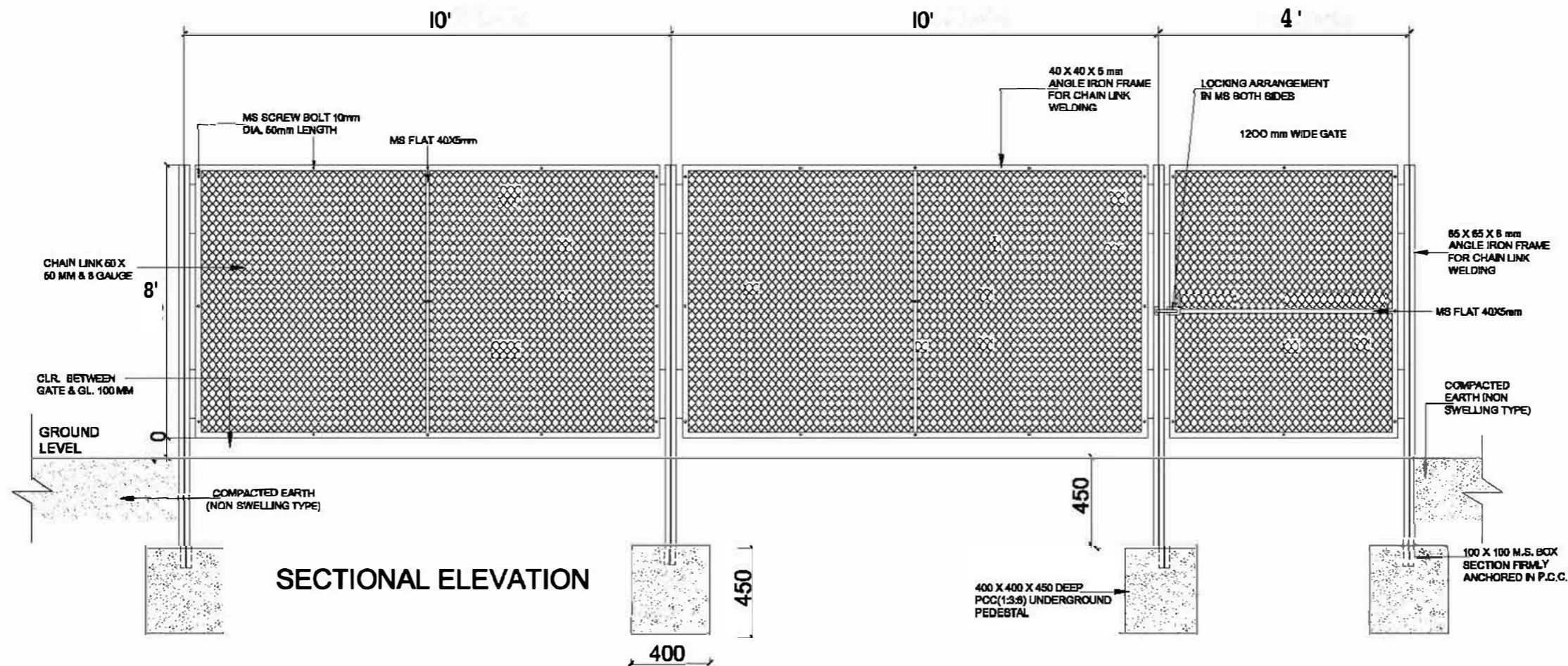
REVISION TABLE		
#	DATE	DESCRIPTION

DATE:

SCALE:

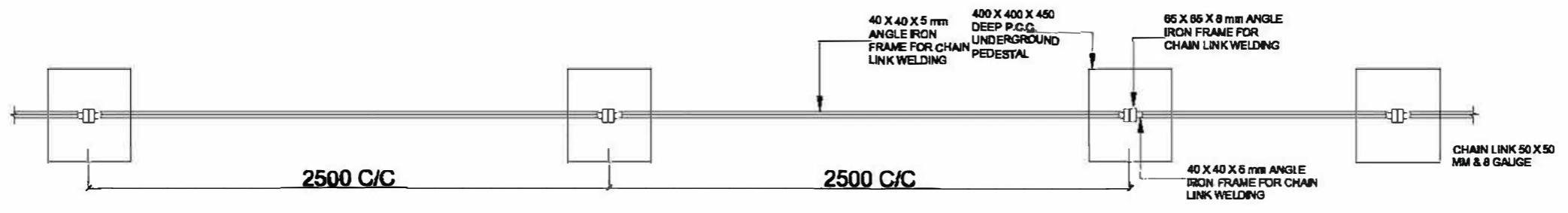
SHEET:

A1.2



SECTIONAL ELEVATION

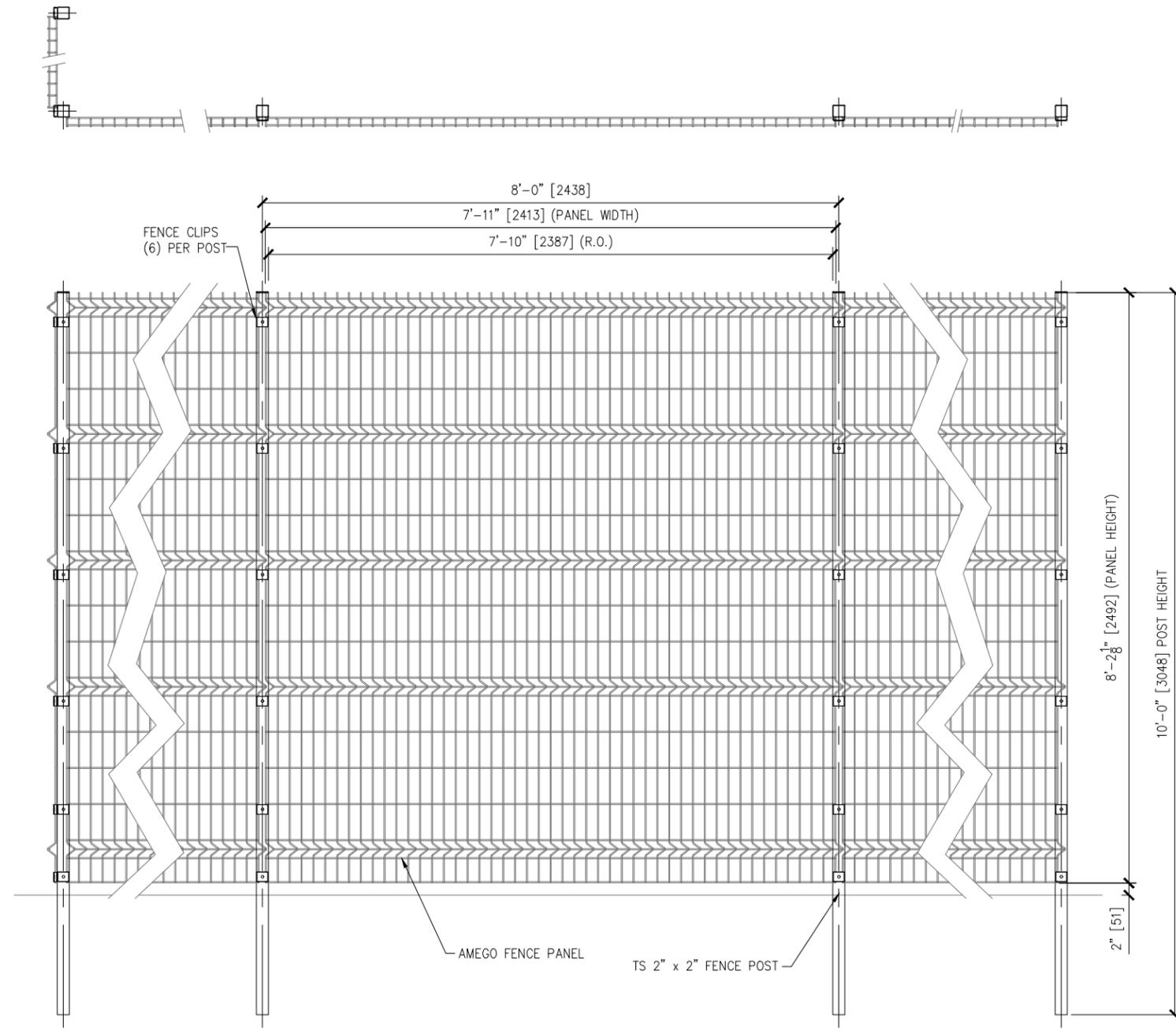
SECTIONAL ELEVATION



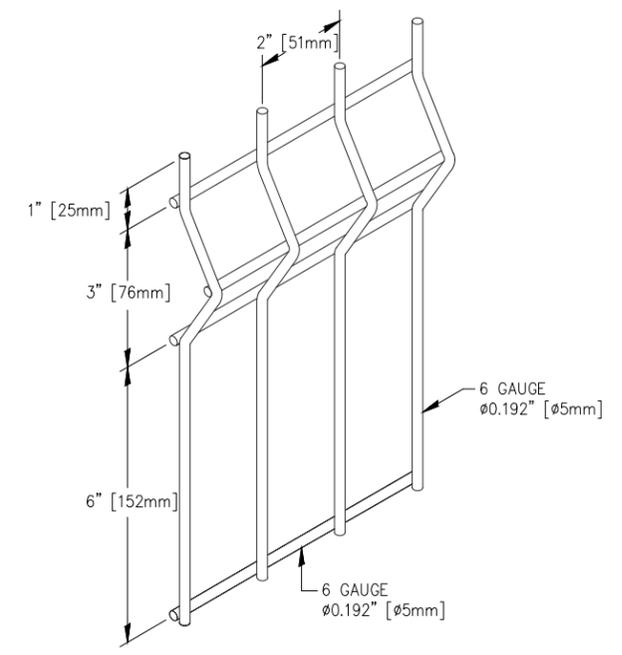
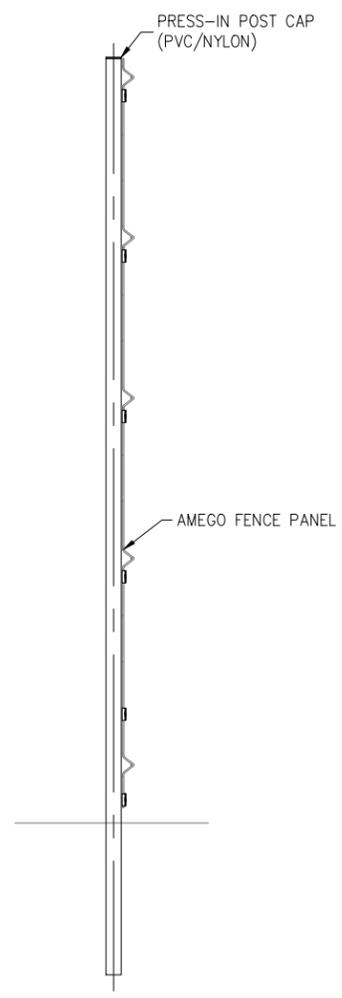
COMMERCIAL GAUGE LINK

336 WOODWARD PERIMETER SECURITY FENCING

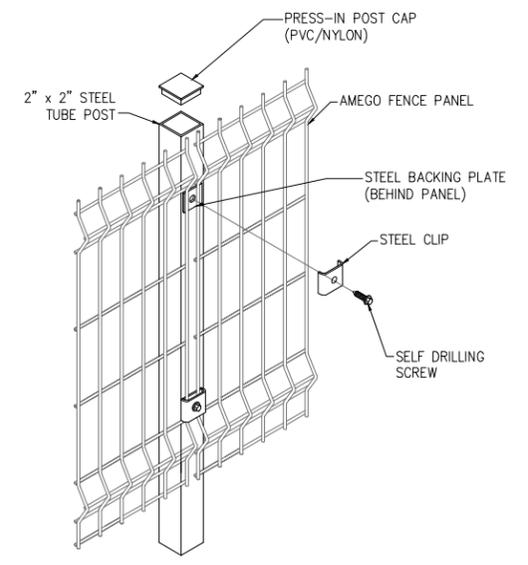
CHAIN LINK FENCING DETAIL



1 TYPICAL 8'-0" TALL PARTIAL ELEVATION
SK1 SCALE: 1/2"=1'-0"



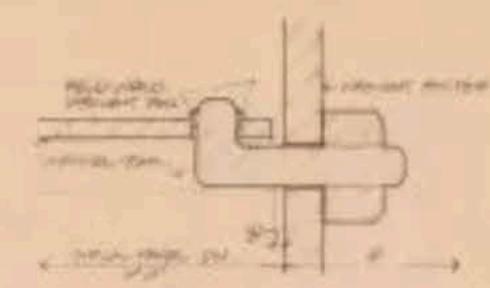
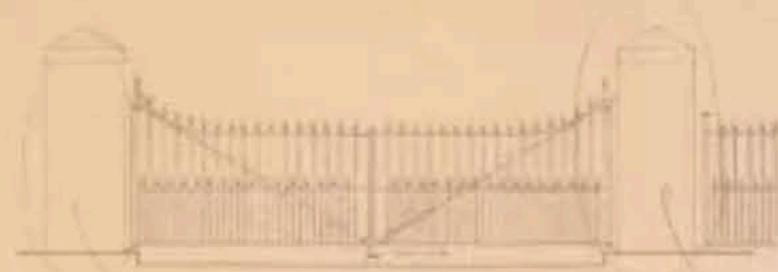
2 PANEL ISOMETRIC
SK1 SCALE: 3"=1'-0"



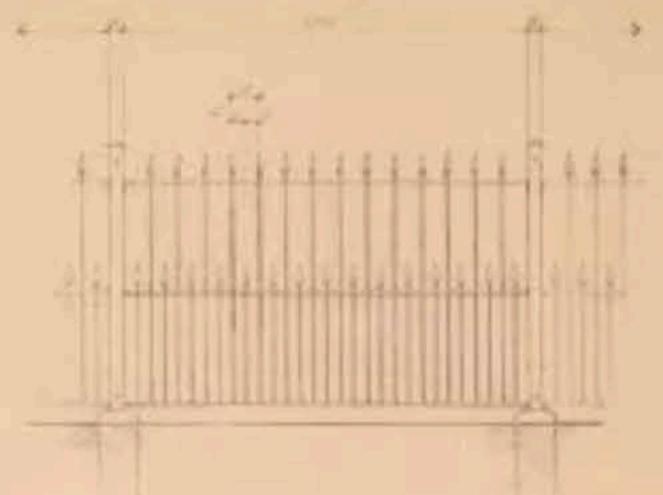
3 CONNECTION DETAIL ISOMETRIC
SK1 SCALE: N.T.S.

DRAWN BY: JRM	336 Woodward Road SE
CHECKED BY:	
SCALE: AS NOTED	TITLE: TYPICAL 8'-0" H FENCE ELEVATION AND DETAILS
DATE: 11/20/2025	SHEET NO: SK001

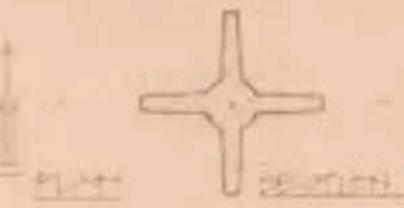
THIS DRAWING AND DESIGN DETAIL TO BE USED BY CONSTRUCTION FOR REFERENCE AND INSTALLATION. ANY CHANGES REQUIRED BY SITE CONDITIONS TO BE REFERRED TO THE ARCHITECT FOR INPUT.
INSTALLATION LOCATION 336 WOODWARD ROAD SE ALBUQUERQUE NM
* FENCE WILL BE LINED WITH HDPE PRIVACY SCREEN FABRIC.



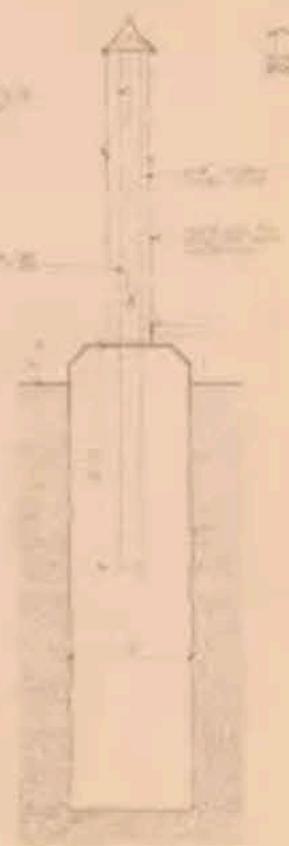
GATE HEAD / POST CONNECTION
ELEVATION



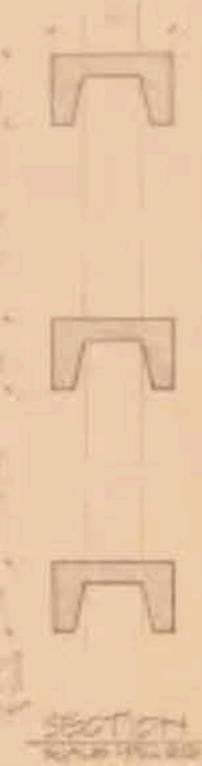
TOP RAIL SECTION
ELEVATION



SECTION



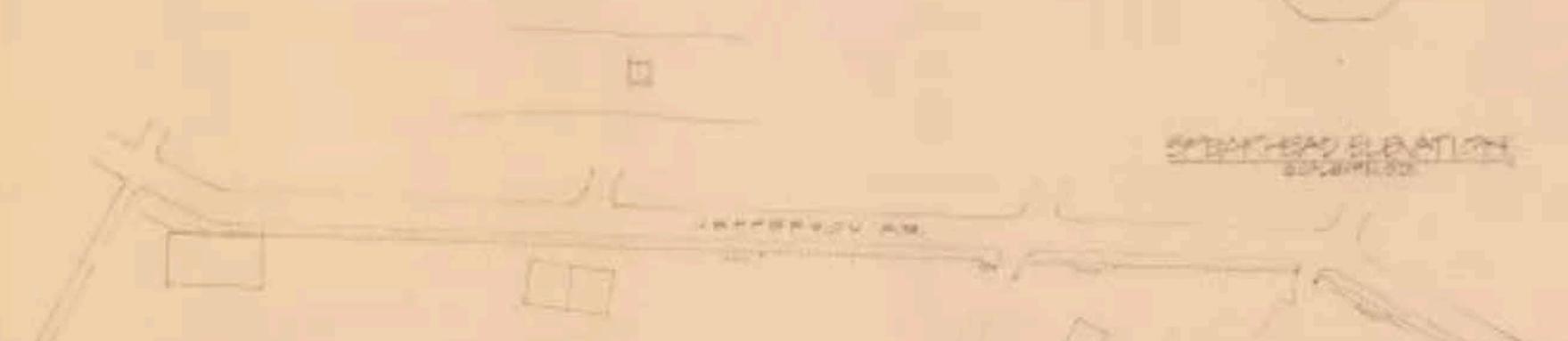
SECTION
ELEVATION



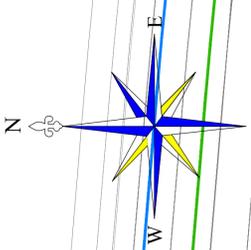
SECTION
ELEVATION



STEM-HEAD ELEVATION
ELEVATION



UTILITY PLAN

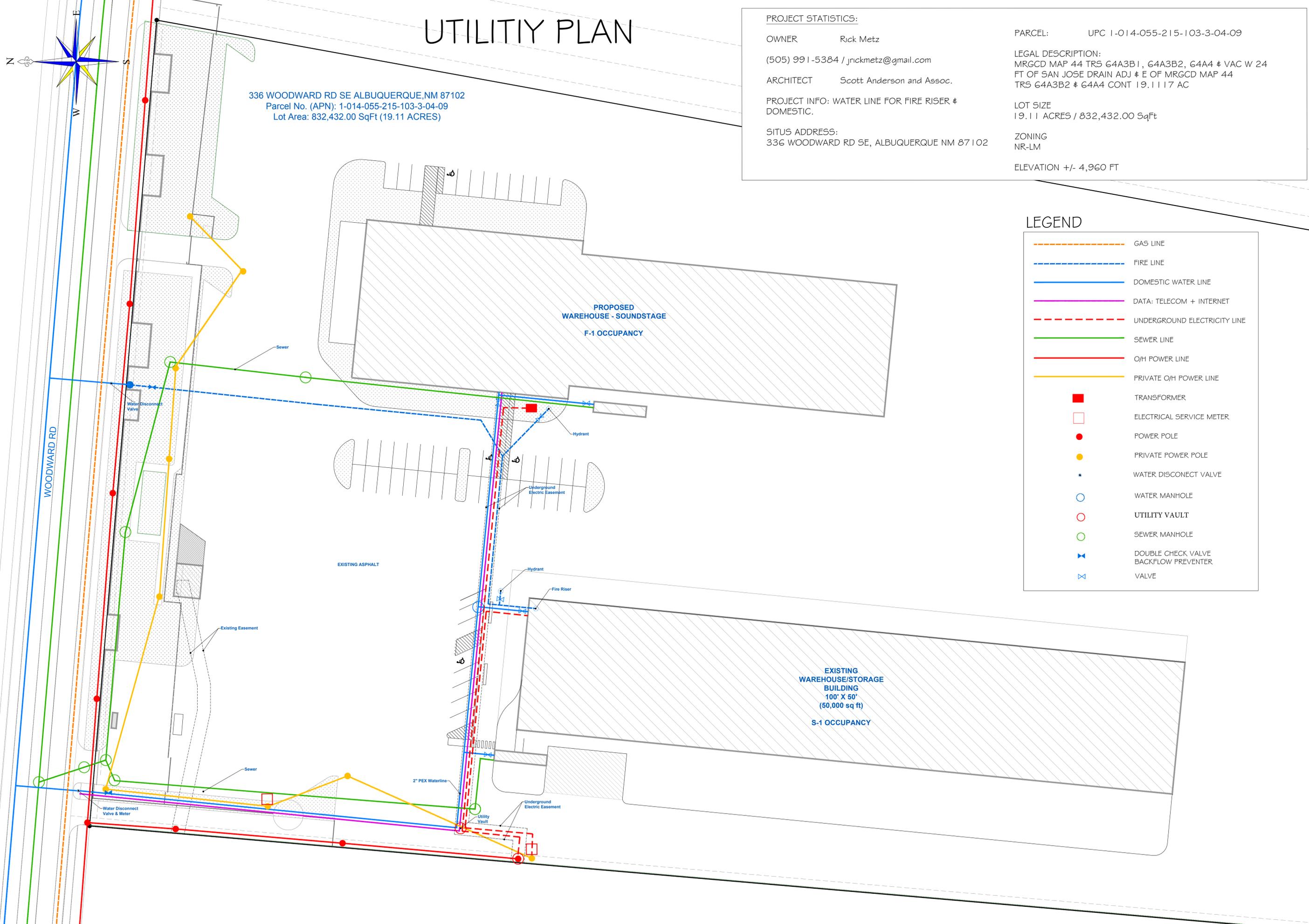


336 WOODWARD RD SE ALBUQUERQUE, NM 87102
 Parcel No. (APN): 1-014-055-215-103-3-04-09
 Lot Area: 832,432.00 SqFt (19.11 ACRES)

PROJECT STATISTICS:
 OWNER Rick Metz
 (505) 991-5384 / jrnickmetz@gmail.com
 ARCHITECT Scott Anderson and Assoc.
 PROJECT INFO: WATER LINE FOR FIRE RISER & DOMESTIC.
 SITUS ADDRESS: 336 WOODWARD RD SE, ALBUQUERQUE NM 87102
 PARCEL: UPC 1-014-055-215-103-3-04-09
 LEGAL DESCRIPTION: MRGCD MAP 44 TR5 G4A3B1, G4A3B2, G4A4 & VAC W 24 FT OF SAN JOSE DRAIN ADJ & E OF MRGCD MAP 44 TR5 G4A3B2 & G4A4 CONT 19.1117 AC
 LOT SIZE 19.11 ACRES / 832,432.00 SqFt
 ZONING NR-LM
 ELEVATION +/- 4,960 FT

LEGEND

	GAS LINE
	FIRE LINE
	DOMESTIC WATER LINE
	DATA: TELECOM + INTERNET
	UNDERGROUND ELECTRICITY LINE
	SEWER LINE
	O/H POWER LINE
	PRIVATE O/H POWER LINE
	TRANSFORMER
	ELECTRICAL SERVICE METER
	POWER POLE
	PRIVATE POWER POLE
	WATER DISCONNECT VALVE
	WATER MANHOLE
	UTILITY VAULT
	SEWER MANHOLE
	DOUBLE CHECK VALVE BACKFLOW PREVENTER
	VALVE



DRAWINGS FOR:
 RICK METZ
 (505) 991-5384
 jrnickmetz@gmail.com

336 WOODWARD RD SE
 ALBUQUERQUE, NM 87102
 UTILITY PLAN

DATE:
 01/06/2025
 SHEET:
 1"=30'
 SHEET

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

November 16, 2023

John R. Metz
366 Los Ranchos NW
Albuquerque, NM 87107

Project # PR-2022-007999
SI-2023-01621- Site Plan- EPC

LEGAL DESCRIPTION:

ABQ Land Use Consulting LLC - Carl Garcia, agent for John R. Metz, requests a Site Plan - EPC for all or a portion Tract MRGCD Map 44, Tracts 64A3B1, 64A3B2, 64A4 & Vacated West 24 feet of the San Jose Drain adjacent & East of MRGCD Map 44 Tracts 64A3B2 & 64A4, located at 336 Woodward Rd. SE, between Broadway Blvd. SE, and Second St. SE, containing approximately 20 acres. (M-14)
Staff Planner: Seth Tinkle

On November 16, 2023 the Environmental Planning Commission (EPC) voted to APPROVE Project # PR-2022-007999, SI-2023-01621- Site Plan- EPC, based on the following Findings and subject to the following Conditions of Approval:

1. The request is for a new Site Plan for a property legally described as MRGCD Map 44, Tracts 64A3B1, 64A3B2, 64A4 & Vacated West 24 feet of the San Jose Drain adjacent & East of MRGCD Map 44 Tracts 64A3B2 & 64A4, located at 336 Woodward Rd. SE, between Broadway Blvd. SE and Second St. SE, approximately 20-acres (the "subject site").
2. The request would facilitate the development of a 50,000 SF storage warehouse on an approximately 5-acre subdivided parcel (64A3B1) within the 20-acre subject site, which would be used for storage of film industry equipment. The proposed storage warehouse is single-story with a max height 46' at the roofs pitch.
3. The EPC is hearing this case as required by IDO section 14-16-6-6(I)(1)(c)5. for development within ½ a mile of the Railroad and Small Spur Small Area, which requires a Cumulative impact analysis pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements). A cumulative impacts analysis was included with this request (see attachments).
4. The applicant has received approval for Building Permit BP-2022-51961 with Conditions, which allows them to construct the structure for use as defined in the Temporary Use Not Listed (staging of props/materials, without storage on premise). This is only for purposes of the Temporary Use

and is subject to conditions, including compliance with limitations and requirements of their approved Temporary Use Not Listed Application. The Temporary Use permit expires within 45 days from the start of use, and if the Site Plan – EPC is not approved by the EPC for continued use by the time the Temporary Use permit expires, the structure must be removed from the property and returned to similar condition as prior to construction (see attached Temporary Use Permit and internal communications).

5. Staff reviewed the Site Plan drawings pursuant to IDO section 5: Development standards for development within an NR-LM zone district and Use Specific Standards for the proposed use. DFT reviewers shall check the Site Plan for compliance with the DPM and all development standards for the use.
6. The subject site is zoned NR-LM (Non-residential Light Manufacturing), is in an Area of Change, and is not in a designated Center or Corridor.
7. The subject site is in the Airport Protection Overlay zone for the Albuquerque International Sunport (IDO APO 14-16-3-3). The proposed Site Plan is required to comply with the APO and associated Federal Aviation Administration (FAA) sub-zones.
8. The subject site is within the Air Space Protection Sub-area for the Albuquerque International Sunport. All signs and structures shall not be taller than the horizontal surface of the Albuquerque International Sunport, per IDO 3-3(D)(1) Height Standards in the Airport Protection Overlay Zone, specifically 3-3(D)(1)(b). An exhibit depicting that the proposed structures and buildings are under the Horizontal Surface of the Airport Surface at 5,504.9 was provided with the Site Plan set. This requirement is met.
9. The proposed structure and any other features therein comply with the glare and reflectivity standards per IDO APO 3-3(D)(2) Reflectivity standards.
10. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
11. The request is consistent with the following Comprehensive Plan Goal and Policy from Chapter 4: Community Identity.

A. Goal 4.1 – Character: Enhance, protect, and preserve distinct communities.

The request would enhance, protect, and preserve the South Broadway community because it would allow the subject site to be developed pursuant to IDO development standards for NR-LM uses, which would protect the character of the surrounding community, and comply with standards for the Airport Protection Overlay Zone APO-3 pursuant to IDO 14-16-3-3. The proposed Site Plan – EPC would enhance the surrounding area by facilitating development of a currently underutilized site that would be consistent in character with surrounding development. The request would preserve a distinct community by absorbing new development that is most appropriate on the subject site due to its NR-LM zoning and location within an Area of Change.

B. Policy 4.1.1 – Distinct Communities: Encourage quality development that is consistent with the distinct character of communities

The request would encourage quality development that is consistent with the distinct industrial character of this part of the South Broadway community. Development on the subject site would be controlled by IDO development standards, which would ensure that character of building, landscape, and parking design on subject site are generally consistent with the scale of the industrial land uses in the area.

12. The request is consistent with the following Goals and Policies regarding Desired Growth and Complete Communities from Comprehensive Plan Chapter 5: Land Use.

- A. Policy 5.1.1 Sub-policy(c): Encourage employment density, compact development, redevelopment, and infill in Centers and Corridors as the most appropriate areas to accommodate growth over time and discourage the need for development at the urban edge.

The requests would encourage redevelopment on an infill site within an Area of Change and near a Commuter Corridor (I-25). The request would add infill development and employment density to an established industrial area.

- B. Policy 5.2.1 Sub-policy (a)– Land Uses: Encourage development and redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods and promotes good access for all residents.

The request would encourage development and redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods and promotes good access for all residents. The subject site is within 1/8-mile walking and biking distance of single-family zoned residential neighborhoods. Future City and MRMPO transportation plans include more multi-modal transportation options throughout the area to provide residents with greater accessibility. This development will promote good access for all residents by its location on a major collector (Woodward Rd. SE), near a major arterial (Broadway Blvd. SE), with access to the I-25 exit onto Sunport Blvd. SE.

- C. Policy 5.2.1 Sub-policy (h): Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development

The request would encourage infill development that adds complementary uses and is compatible in form and scale to surrounding development because it would facilitate the development of a storage warehouse on the subject site. The form of the proposed building, landscaping, drive access, and parking/circulation is compatible with existing industrial uses in the area.

- D. Policy 5.2.1 – Sub-policy (n): Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

The request would encourage more productive use of vacant lots and under-utilized lots, including surface lots, because it would allow redevelopment of the under-utilized subject site. Development of the subject site would result in more productive uses on this lot, which has sat mostly-vacant for more than a decade in an established industrial area.

13. The request is consistent with the following goal and policies regarding infill and city development areas from Comprehensive Plan Chapter 5: Land Use.

- A. Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would make possible development that maximizes the utility of existing infrastructure and public facilities because the subject site is located within a developed area. The proposed development would support the public good in the form of economic development, job creation, and an expansion to the tax base.

- B. Policy 5.3.1 – Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The request would support additional growth in areas with existing infrastructure and public facilities because it would facilitate infill development of the subject site, which features existing infrastructure and public facilities.

- C. Goal 5.6 City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The request would encourage and direct growth to Areas of Change, because it would facilitate development of a storage warehouse on the subject site, which is located in an Area of Change. By locating a storage warehouse in an Area of Change near an interstate exit, the request would locate a use that could be potentially harmful in a residential area to an established industrial area where such uses are most appropriate.

- D. Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The request would direct growth and more intense development within an Area of Change, where growth and development are encouraged, because it would facilitate development of a storage warehouse on the subject site, which is located in an Area of Change. The request is consistent with Policy 5.6.2 Areas of Change.

14. The request is consistent with the following goal and policies regarding strengthening the local economy and economic base from Comprehensive Plan Chapter 8: Economic Development.

- A. Policy 8.1.2 Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster robust, resilient, and diverse economy.

The request would encourage economic development efforts that improve quality of life for new and existing residents because it would result in development of the subject site and increased employment opportunities. The request would foster a robust, resilient, and diverse economy because it would meet an unmet need within Albuquerque’s burgeoning film industry.

- B. Policy 8.1.3 Economic Base: Strengthen and diversity the economic base to help reduce reliance on government spending.

The request would strengthen and diversify Albuquerque's economic base, which would help reduce reliance on government spending, because it would promote local economic activity and bolster Albuquerque's emergent film industry.

C. Policy 8.2.5 Creative Economy: Promote the creative economy.

The request would promote Albuquerque's creative economy because it would result in development that meets an unmet need within Albuquerque's film industry – an intrinsic feature of Albuquerque's creative economy.

15. The request is consistent with the goals established in the South Broadway Metropolitan Redevelopment Plan. Goals #2 and #6 are specifically applicable to the request because it would facilitate development that would promote, contribute to, and improve the economic conditions within the South Broadway community and larger city of Albuquerque.
16. The applicant has adequately justified the request pursuant to the Integrated Development Ordinance (IDO) Section 14-16-6-7(G)(3)-Review and Decision Criteria for Zoning Map Amendments, as follows:
 - A. Criterion A: As demonstrated by the policy analysis of the Site Plan – EPC (see above), the request is generally consistent with applicable Comprehensive Plan Goals and policies.
 - B. Criterion B: The subject site is zoned NR-LM; therefore, the above criterion does not apply.
 - C. Criterion C: The request is for a Site Plan - EPC. The proposed Site Plan is required to comply with all applicable provisions of the IDO, DPM, and other adopted City regulations. All conditions must be met prior to building permit approval.

The applicant has stated that the development will comply with all applicable provisions pursuant to the NR-LM zone district including landscaping, lot sizes, setbacks, and parking.

- D. Criterion D: The subject site is already served by existing infrastructure and public facilities, which has adequate capacity to serve the proposed development. Burdens on these systems have been mitigated to the extent practicable and any future burdens on those systems shall be mitigated as the site continues to develop.
- E. Criterion E: The request mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable. The subject site is within ¼ mile of the Railroad and Spur Small area and a Cumulative Impact Analysis was provided with the request.

The applicant was required to provide a cumulative impacts analysis due to the subject site's location within the Railroad and Small Spur area, and because the subject site and adjacent properties met all the applicability criteria in IDO 14-16-5-2(E)(1). The cumulative impacts analysis adequately addresses impacts on the surrounding area to the maximum extent practicable. The Site Plan is required to follow all standards of the IDO, DPM and other applicable City standards, which the applicant has agreed to follow.

F. Criterion F: The subject property is not within an approved Master Development Plan; therefore, the above criterion does not apply.

G. Criterion G: The subject property is within the Railroad and Spur Area and a cumulative impacts analysis is required. The cumulative impacts analysis indicates that the proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances. Existing and proposed design features will comply with all standards in the IDO, DPM, and other applicable City standards. These designs and features will ensure that the development sufficiently mitigates any adverse impacts on surrounding areas including compliance with Airport Protection Overlay (IDO 14-16-3-3) standards.

17. The affected, registered neighborhood organization is the San Jose Neighborhood Association, which was notified as required. Property owners within 100 feet of the subject site were also notified as required.
18. A facilitated meeting was not requested and staff has not received any comments of opposition or support as of this writing.
19. Staff has crafted conditions of approval needed to improve compliance and provide clarity moving forward.

CONDITIONS OF APPROVAL – SI-2023-01621

1. After approval by the Environmental Planning Commission (EPC), the applicant shall submit the proposed site plan to the Development Facilitation Team (DFT) for Final sign-off. The reviewer will be responsible for ensuring that all EPC Conditions have been satisfied and that the IDO, DPM, and all other applicable City requirements have been met.
2. The applicant shall coordinate with the Staff Planner prior to submitting to the DFT to ensure that the EPC Conditions in the Official Notification of Decision have been met. The staff planner will provide a post-EPC memo to the DFT.
3. The Site Plan shall be in compliance with all APO 3-3 standards.
4. Airport Protection Overlay Zone (APO 3-3)
 - A. The Airspace Protection Sub-Area analysis shall be its own detail sheet.
 - B. Light Reflective Value (LRV) shall be called out for each surface pursuant to IDO 3-3(D)(2) Reflectivity.
 - C. A note shall be added to the Site Plan stating that Structure and any other features therein comply with the glare and reflectivity standards per IDO 3-3(D)(2) Reflectivity.
5. The Site Plan shall be in compliance with all Irrigation Facility (Acequia) Standards (14-16-5 5-2(G) due to the subject site's adjacency to the San Jose Interior Drain.

6. Site Plan Clean-up

- A. The Site Plan shall indicate that the entire subject site is 19.1 acres.
- B. The Site Plan shall indicate areas of the subject site that are expected to be developed in the future.
- C. The Site Plan shall include a Phasing Plan noting that the current proposal is "Phase 1." The Phasing Plan shall note future phases of development.
- D. The Site Plan shall indicate that the proposed warehouse (Phase 1) will be located solely on Parcel 64A3B1, which is 4.74 acres in size.

7. CONDITIONS FROM THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT:

- A. The Site Plan shall reference MRGCD Dwg #A-354 and R&C #3128 as well as the widths from the property lines to the centerline of the San Jose Interior Drain.
- B. The applicant shall seek the Final Plat Approval signature from the MRGCD.

8. CONDITIONS FROM THE SOLID WASTE MANAGEMENT DEPARTMENT:

- A. If the location where dumpsters have been approved for access by the Solid Waste Department has changed, a new approval for access by the Solid Waste Department shall be sought.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **December 4, 2023**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the Integrated Development Ordinance (IDO), Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal an EPC Recommendation to the City Council since this is not a final decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the IDO must be complied with, even after approval of the referenced application(s).

Sincerely,

Catalina Lehner

for Alan M. Varela,
Planning Director

OFFICIAL NOTICE OF DECISION

PR-2022-007999

November 16, 2023

Page 8 of 8

cc: ABQ Land Use Consulting LLC - Carl Garcia, carl@abqlanduse.com
John R. Metz, jrickmetz@gmail.com
San Jose NA Deanna Barela bacadeanna@gmail.com
San Jose NA Olivia Greathouse snase@gmail.com
Legal, dking@cabq.gov
EPC File