



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms P & P2)	PRE-APPLICATIONS
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	APPEAL
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Administrative Decision (Form A)

BRIEF DESCRIPTION OF REQUEST

APPLICATION INFORMATION			
Applicant/Owner:		Phone:	
Address:		Email:	
City:	State:	Zip:	
Professional/Agent (if any):		Phone:	
Address:		Email:	
City:	State:	Zip:	
Proprietary Interest in Site:		List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS		
Site Address/Street:	Between:	and:

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
Project # PR-2023-008085, SI-2023-00065 - Site Plan- EPC		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022**_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Form P with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- ___ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- ___ 7) Infrastructure List, if required for building of public infrastructure
- ___ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- ___ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- ___ 10) Completed Site Plan Checklist
- ___ 11) Letter of authorization from the property owner if application is submitted by an agent
- ___ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- ___ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- ___ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

___ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

___ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

___ 17) Sign Posting Agreement

___ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

___ Office of Neighborhood Coordination neighborhood meeting inquiry response

___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

___ Completed neighborhood meeting request form(s)

___ If a meeting was requested or held, copy of sign-in sheet and meeting notes

___ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

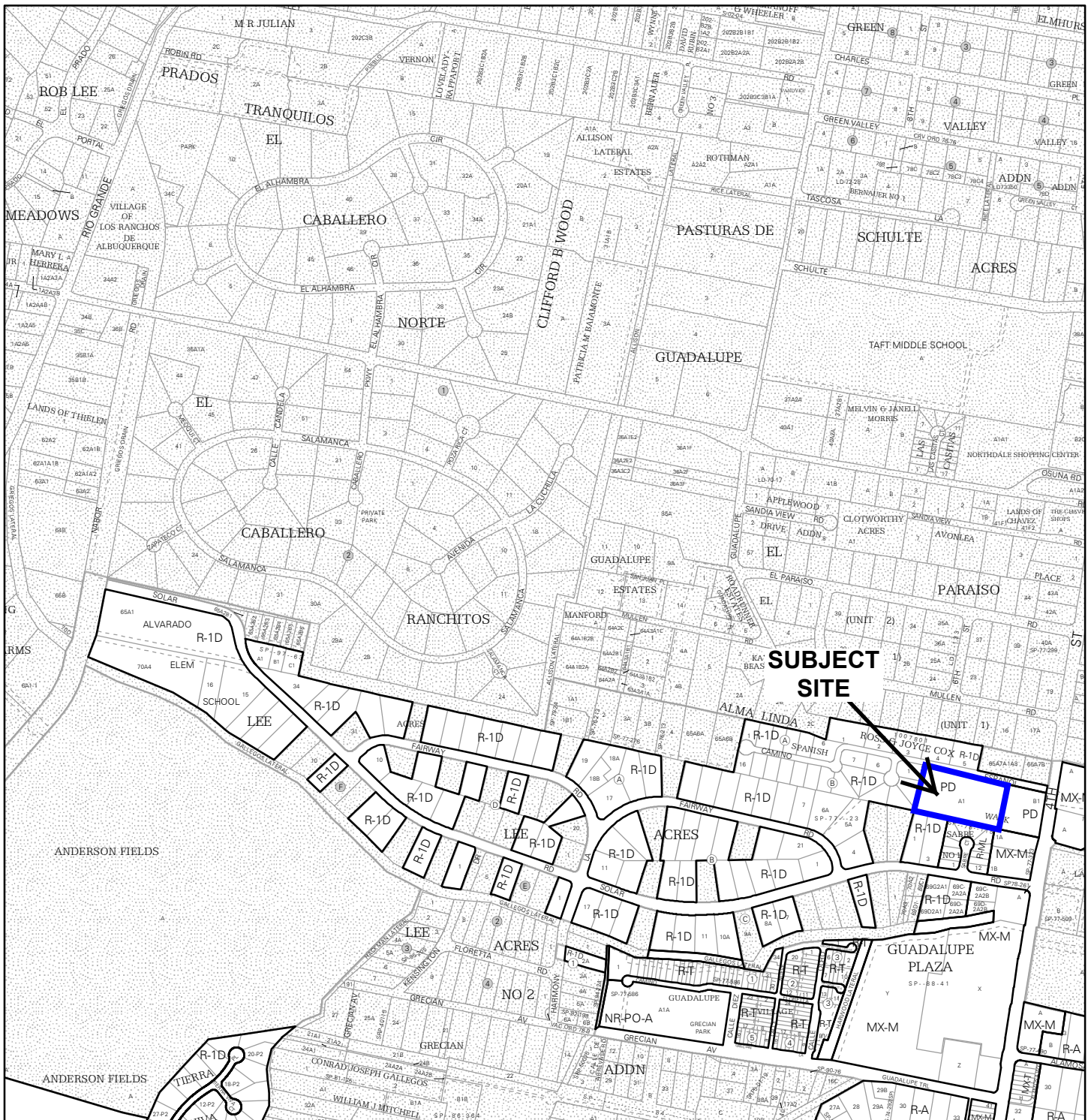
___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

___ Proof of emailed notice to affected Neighborhood Association representatives

_ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC


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- 1) DFT Application form completed, signed, and dated
- 2) Form P2 with all the submittal items checked/marked
- 3) Zone Atlas map with the entire site clearly outlined and labeled
- 4) Site Plan and related drawings
- 5) Infrastructure List, if require **Informational copy provided - will accompany the Plat**
- 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- 7) Letter of authorization from the property owner if application is submitted by an agent
- 8) Solid Waste Department signature on Site Plan
- 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- 10) Approved Grading and Drainage Plan
- 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)

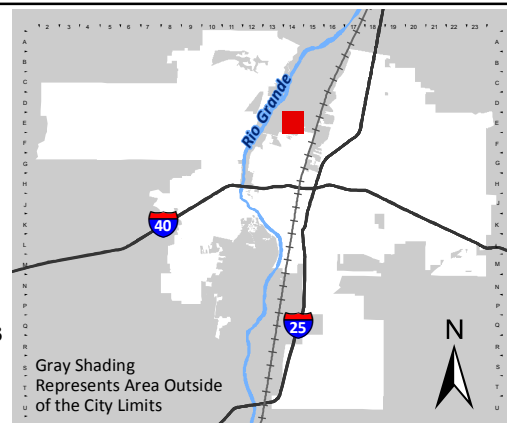


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).











Rio Grande

40 25

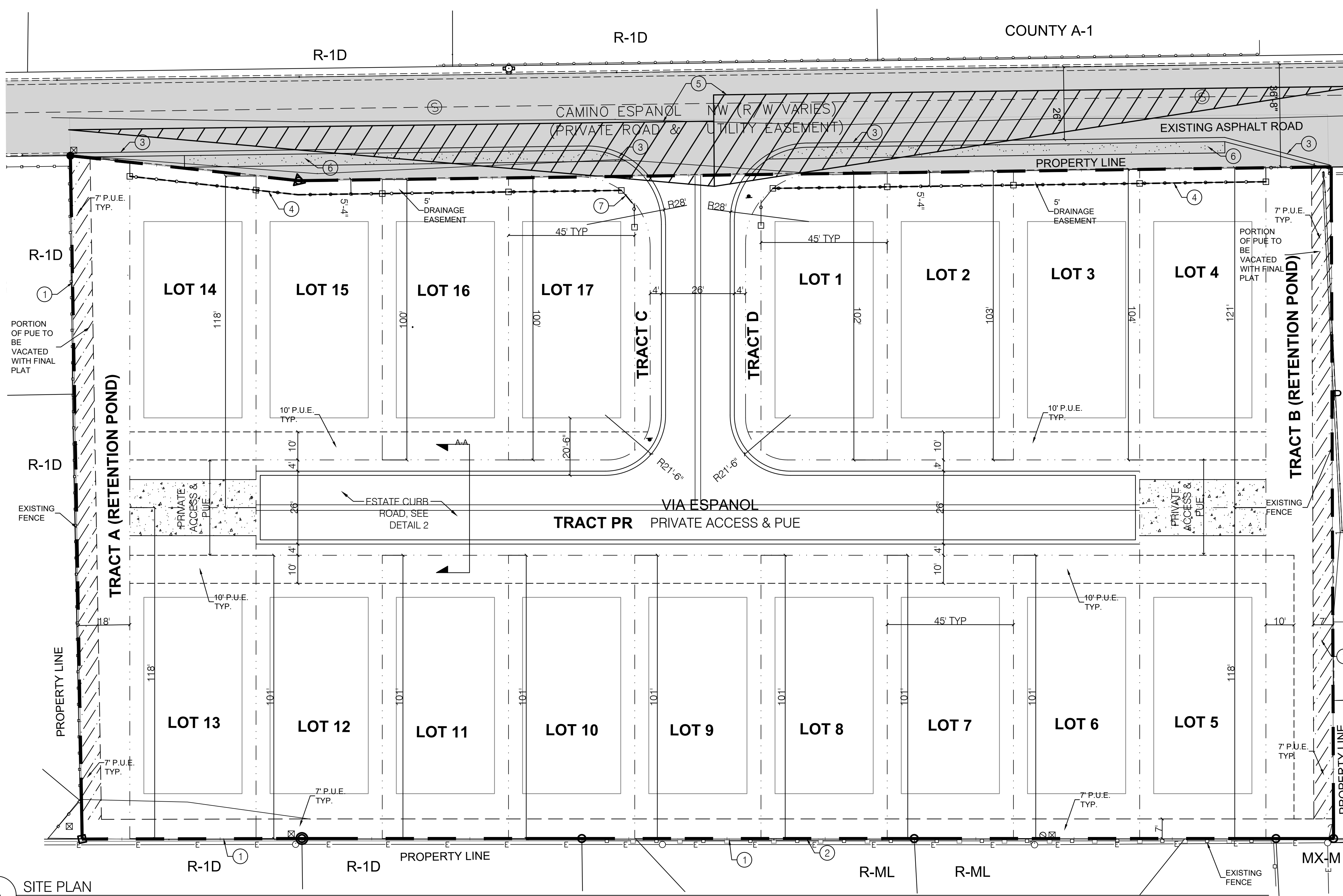
N

Gray Shading
Represents Area Outside
of the City Limits

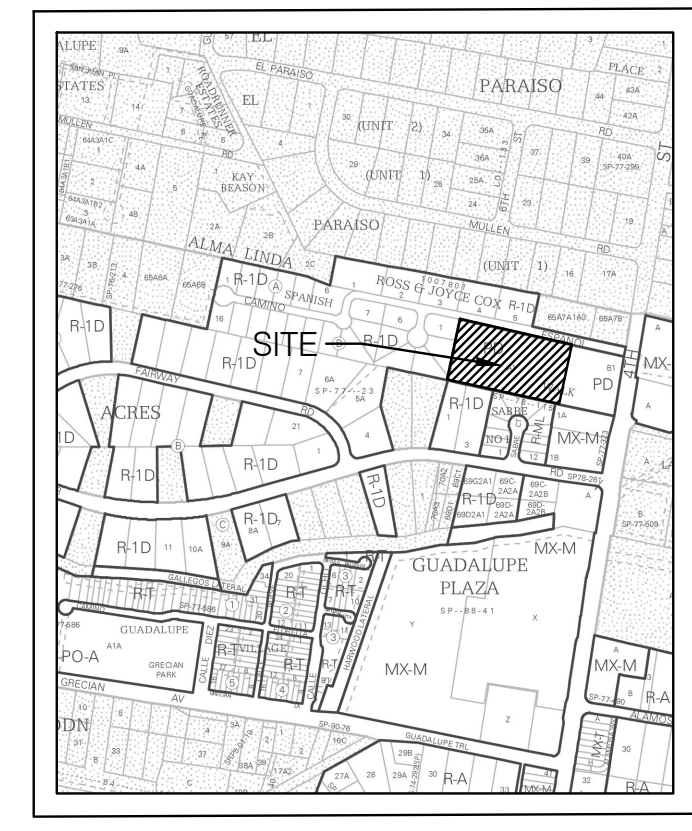
Zone Atlas Page:
E-14-Z

-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



SITE VICINITY



ZONE ATLAS PAGE E-14-Z

DEVELOPMENT DATA
LEGAL DESCRIPTION: Tract A-1, Spanish Walk Subdivision, Containing 2.42 Acres
ZONING: PD
LAND USE: Dwelling, Single Family Detached Homes
PEDESTRIAN AND VEHICULAR ACCESS:

- Access is provided from Camino Espanol NW - a private access easement. The project is constructing new crusher fine paths on Camino Espanol, (see detail 3).
- 4th Street, approximately 200 feet to the east, is designated as a Minor Arterial.
- 4th Street is shown as a proposed bike route.
- Bus service is provided along 4th Street by Route 10 and the nearest bus stops are less than 1/4 mile.
- There are existing sidewalks on the west side of 4th Street north of Camino Espanol and no sidewalks south. There are continuous sidewalks on the east side of 4th Street.

LOT SIZE: The minimum lot size in 4,500 square feet with a minimum lot width of 45 feet.
SETBACKS:
 Front Yard Minimum: 20 feet to Garage; 15' to House
 Side Yard Minimum: 5 feet, 10 foot corner
 Rear Yard Minimum: 15 feet
MAXIMUM BUILDING HEIGHT ALLOWED: Single-story, 19 feet.
Building design: single-family shall comply with the building design requirements of IDO section 14-16-5-11(c) low-density residential development.
PARKING REQUIREMENTS: Each dwelling units will provide 4 off-street parking spaces - 2 garage spaces and 2 driveway spaces.

Req: 34
 Prov: 68

GENERAL NOTES:

- Perimeter coyote fence, private roadway, retention areas, landscaping and signs will be owned and maintained by the Homeowner's Association.
- Landscaping, signage, walls, fences, trees, and shrubbery between 3 feet and 8 feet tall (as measured from the gutter pan) are not allowed within the clear sight triangle.

PROJECT NUMBER: XX-XX-XXXXX
 Application Number: XX-XXX-XXXX

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated Month, Date, Year and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

- Traffic Engineering, Transportation Division
- ABCWUA
- Parks and Recreation Department
- Hydrology
- Code Enforcement
- Environmental Health Department (conditional)
- Solid Waste Management
- Planning Department

DATE: 3/28/2023

CONSENSUS
 Planning / Landscape Architecture
 302 Eighth Street NW
 Albuquerque, NM 87102
 (505) 764-9801 Fax 842-5495
 e-mail: cp@consensusplanning.com

ISAACSON & ARFMAN, Inc.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph: 505-265-8828 www.aacivil.com

**SPANISH WALK
 ALBUQUERQUE, NM**

PREPARED FOR:
 LAS VENTANAS NM, INC.
 8330-A WASHINGTON PLACE NE
 ALBUQUERQUE, NM 87113

SUBMITTAL: MARCH 28, 2023

REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT NO: 1538-04
 CAD DWG FILE:
 DESIGNED BY: I&A DATE: 3/28/23
 DRAWN BY: AN DATE: 3/28/23
 CHECKED BY: AN JS DATE: 3/28/23
 SHEET TITLE

**SITE PLAN
 EPC**

DRAWING SHEET
A100

A SITE PLAN

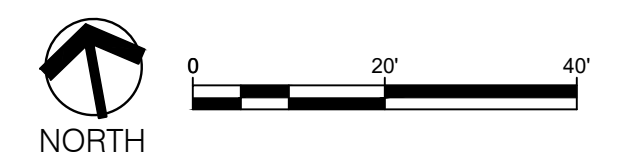
Table of Applicable Standards for Requested PD Development	
Overlay Zones	N/A
Allowable Uses	Table 4-2-1 Dwelling, single-family detached
Use-specific Standards	IDO section 4-3(B)(1)(a) Dwelling, single-family Detached
Dimensional Standards, Tables, and Exceptions	IDO section 5-1(C)(1) Residential Zone District Table, Table 5-1-1 Residential Zone District Dimensional Standards (R-1A standards)
Site Design and Sensitive Lands	IDO sections 5-2(C)(2)(b), 5-2(C)(4) Site Design to Avoid Sensitive Lands
Access and Connectivity	IDO sections 5-3(C) General Access and Circulation, 5-3(D) Pedestrian Circulation, 5-3(E) Subdivision Access and Circulation
Subdivision of Land	IDO section 5-4(C) Compliance with Zoning Requirements
Parking and Loading	IDO section 5-5(C)(1) Off-street Parking Calculations, Table 5-5-1 Minimum Off-street Parking Requirements (Dwelling, single-family detached) and 5-5(F)(2)(a) Design Access and Circulation

Landscaping, Buffering, and Screening	
Walls and Fences	IDO Table 5-7-1 Maximum Wall Height
Outdoor and Site Lighting	N/A
Neighborhood Edges	N/A
Solar Access	IDO section 5-10(C) Building Height, Table 5-10-1 Solar Rights Maximum Building Heights
Building Design	IDO section 5-11(C) Low-density Residential Development
Signs	IDO section 5-12(E) Standards Applicable to All Signs
Operation and Maintenance	IDO section 5-13(B)(2) Building and Structures

- (X) KEYED NOTE:**
- EXISTING FENCE
 - PROPERTY LINE
 - NEW ESTATE CURB, SEE DETAIL 2
 - COYOTE FENCE, SEE DETAIL 4 & 5
 - CLEAR SITE TRIANGLES
 - STABILIZED CRUSHER FINE PATH, SEE DETAIL 3
 - SIGN, SEE DETAIL 1

NOTE:

- This property is encumbered by a Flood Hazard Area - Zone AH with a water surface elevation of 4981.0. Camino Espanol is flat with no curb and gutter and currently drains onto the adjacent properties where the water ponds. The adjacent residential developments to the west and south which are in the same flood zone contain the storm water on their properties--there are existing walls along the west and south property lines that prevent storm water from coming onto the Spanish Walk property.
- To address the Flood Hazard Area (Zone AH), a Letter of Map Revision Based on Fill (LOMR-F) will be prepared and submitted to FEMA for the lots located within the flood hazard area. The site will be graded, in accordance with the approved grading and drainage plan, to raise the building pads a minimum of one foot above the Zone AH water surface elevation. The storm water from the site and half of Camino Espanol will be directed to two retention ponds (on the east and west sides of the subdivision) that are sized to retain the storm water volume from the 100-year, 10-day storm. The LOMR-F will remove the flood plain from the lots that are currently in the flood hazard area.
- This is a representation of the approved lot layout, but slight changes could occur at the DHO with the associated plat.
- Any existing and/or new PNM easements and facilities shall be reflected on any resulting future Site Plan or Plat.
- Perimeter and interior landscape design shall abide by any easement restrictions and not impact PNM facilities.



SCALE: 1"=20'-0"

GENERAL LANDSCAPE NOTES

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS AND SHRUBS/ GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. TRACTS A-D, COYOTE FENCE, AND STREETSCAPE LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE HOA.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

SHREDDED BARK MULCH AT TREES
SHREDDED BARK MULCH WILL BE PROVIDED BENEATH THE ENTIRE TREE CANOPY FOR ALL NEW TREES IN LANDSCAPE AREAS. PROVIDE 3" DIAMETER CIRCLE.

PLANT LEGEND

SYMBOL	SCIENTIFIC NAME COMMON NAME	WATER USE	SIZE	MATURE SIZE
TREES INSTALL PER DETAIL 6, LS/501				
	CHILOPSIS LINEARIS 'BUBBA' BUBBA DESERT WILLOW (L+)		25-GAL. MS	10' HT. X 15' SPR.
	ULMUS PARVIFOLIA LACEBARK ELM (M)		2.5" B&B	15' HT. X 20' SPR.
	VITEX AGNUS-CASTUS CHASTE TREE (MULTI STEM) (M)		24" BOX	15' HT. X 20' SPR.
SHRUBS INSTALL PER DETAIL 7, LS/501				
	CYTISUS SCOPARIUS 'LENA'S BROOM' LENA'S BROOM (M)		5-GAL	4' HT. X 4' SPR.
	ERICAMERIA NAUSEOSA CHAMISA (L)		5-GAL	3' HT. X 5' SPR.
	ERICAMERIA LARCIFOLIA 'AGUIRRE' TURPENTINE BUSH (L)		5-GAL	3' HT. X 3' SPR.
	FALLUGIA PARADOXA APACHE PLUME (L)		5-GAL	5' HT. X 5' SPR.
	HESPERALOE PARVIFOLIA RED YUCCA (M)		5-GAL	3' HT. X 3' SPR.
	PINUS MUGO MUGO PINE (H)		5-GAL	4' HT. X 4' SPR.
	POTENTILLA FRUTICOSA JACKMAN'S SHRUBBY CINQUEFOIL (M+)		5-GAL	3' HT. X 3' SPR.
	RHUS TRILOBATA 'AUTUMN AMBER' CREEPING THREE LEAF SUMAC (L+)		5-GAL	1.5' HT. X 6' SPR.
	SALVIA GREGGII 'FURMAN'S RED' FURMAN'S RED CHERRY SAGE (L+)		3-GAL	30" HT. X 3' SPR.
ORNAMENTAL GRASSES				
	BOUTELLOUA GRACILIS 'BLONDE AMBITON' BLUE GRAMMA (L)		5-GAL	3' HT. X 3' SPR.
	CALAMAGROTIS A 'KARL FOERSTER' FEATHER REED GRASS (L+)		5-GAL	3' HT. X 4' SPR.

MULCHES AND BOULDERS

- LANDSCAPE BOULDER SHALL BE MOSS ROCK, SIZE: 3'X3' MIN. INSTALL PER DETAIL 8/LS501.
- 'VENETIAN' BROWN CRUSHER FINES (3" DEPTH OVER FILTER FABRIC DEWITT PRO-5 WEED CONTROL, OR EQUAL)
- 1" 'BUIDOLOGY' BROWN CRUSHED GRAVEL MULCH (3" DEPTH OVER FILTER FABRIC DEWITT PRO-5 WEED CONTROL, OR EQUAL)
- 2-4" COYOTE MIST COBBLE (8" DEPTH OVER FILTER FABRIC DEWITT PRO-5 WEED CONTROL, OR EQUAL)

LANDSCAPE CALCULATIONS

COVERAGE
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75% OF THE TOTAL LANDSCAPE AREA. EACH LOT HAS 565 SF LS, A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

PROVIDED LIVE VEGETATIVE COVERAGE 422 SF (75%) / 422(75%)
PROVIDED GROUND-LEVEL COVERAGE 100 SF (25%) / 108 (26%)

TURF GRASS AREAS
NO TURF GRASS USED ON THIS SITE.

STREET TREES

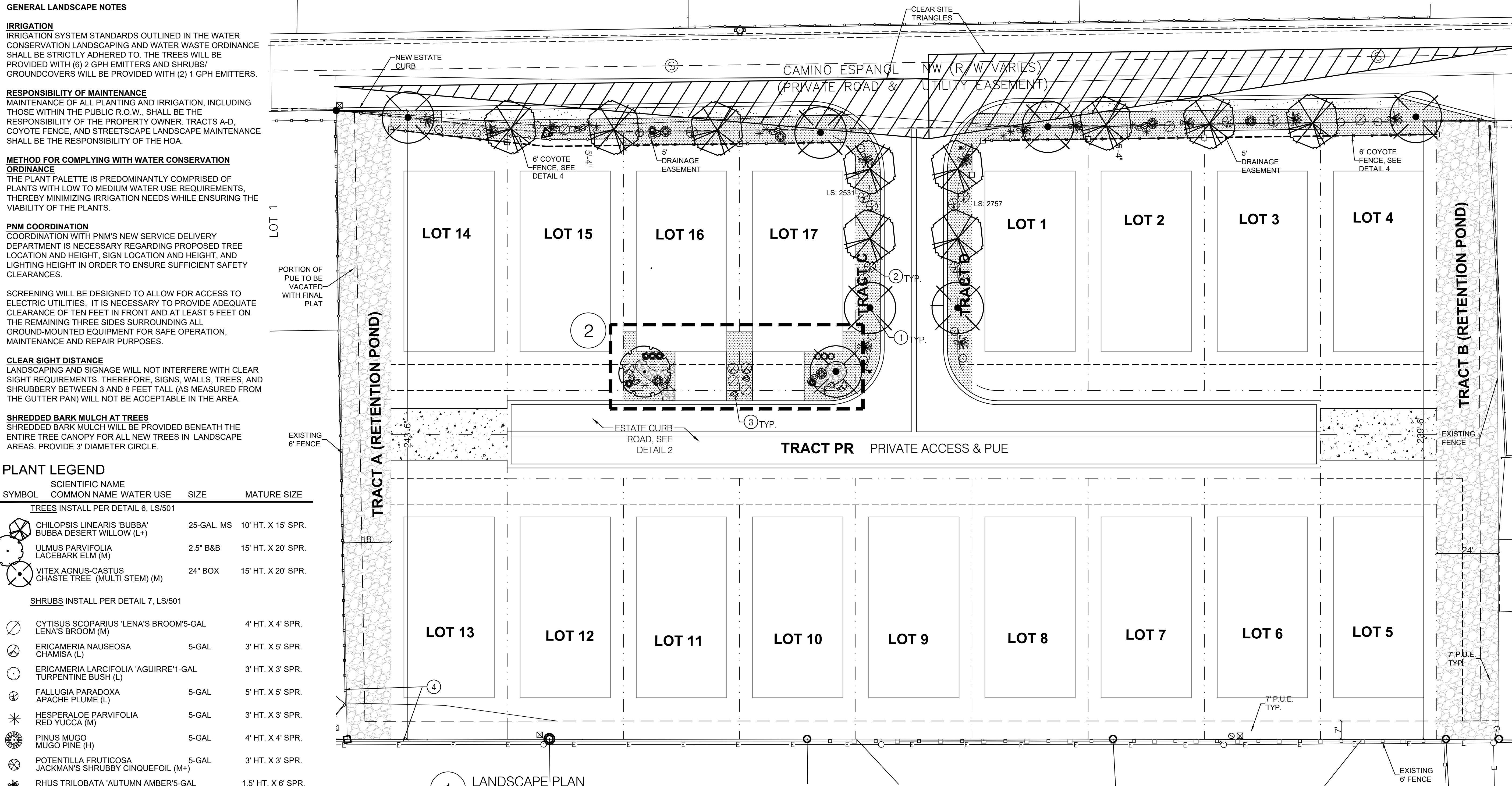
NO STREET TREE REQUIREMENT ALONG CAMINO ESPANOL BUT TREES HAVE BEEN PROVIDED PER NEIGHBORS REQUEST.

STREET TREE ARE BASED UPON AN AVERAGE SPACING OF 40' O.C.
CAMINO ESPANOL NW: STREET FRONTAGE- 422' PROVIDED STREET TREES = 12

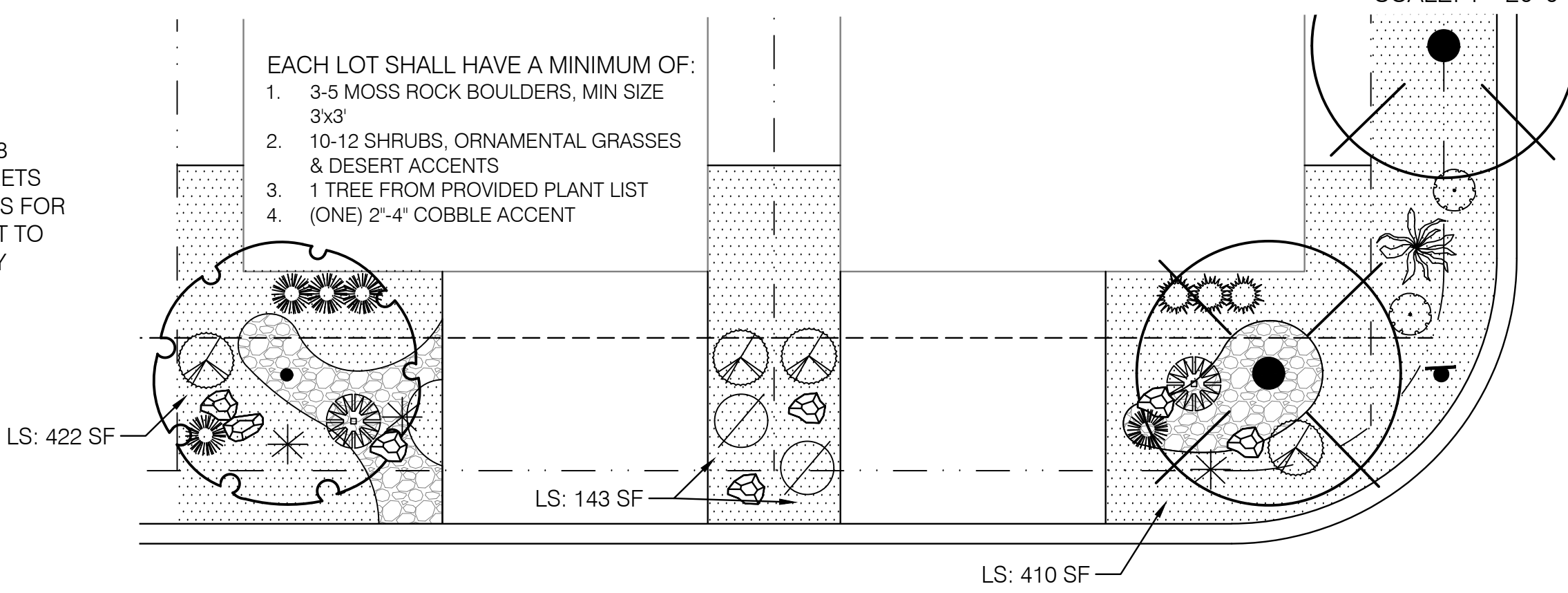
- (X) KEYED NOTE:
- TREE, SEE DETAIL 6
 - SHRUB, SEE DETAIL 7
 - BOULDER, SEE DETAIL 8
 - EXISTING 6 FT WALL MEETS BUFFER REQUIREMENTS FOR AREA OF CHANGE NEXT TO AREA OF CONSISTENCY

EACH LOT SHALL HAVE A MINIMUM OF:

- 3-5 MOSS ROCK BOULDERS, MIN SIZE 3x3
- 10-12 SHRUBS, ORNAMENTAL GRASSES & DESERT ACCENTS
- 1 TREE FROM PROVIDED PLANT LIST
- (ONE) 2'-4" COBBLE ACCENT



1 LANDSCAPE PLAN



2 TYPICAL LOT LANDSCAPE PLAN A & B



CONSENSUS
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

CONSULTANTS



ISAACSON & ARFMAN, Inc.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph: 505-265-8828 www.aacivil.com

**SPANISH WALK
ALBUQUERQUE, NM**

PREPARED FOR:
LAS VENTANAS NM, INC.
8330-A WASHINGTON PLACE NE
ALBUQUERQUE, NM 87113

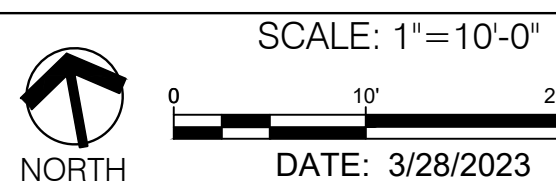
SUBMITTAL: MARCH 28, 2023

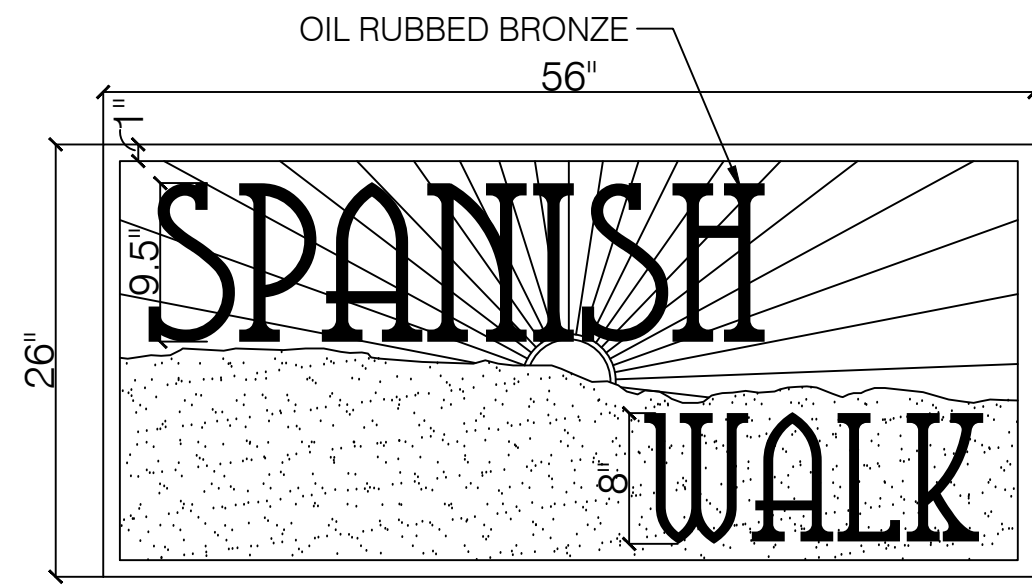
REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT NO: 1538-04
CAD DWG FILE:
DESIGNED BY: I&A DATE: 3/28/23
DRAWN BY: AN DATE: 3/28/23
CHECKED BY: AN JS DATE: 3/28/23
SHEET TITLE

**LANDSCAPE PLAN
EPC**

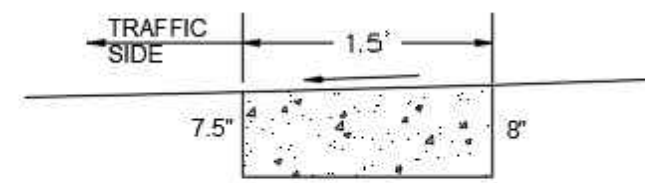
DRAWING SHEET
LS100





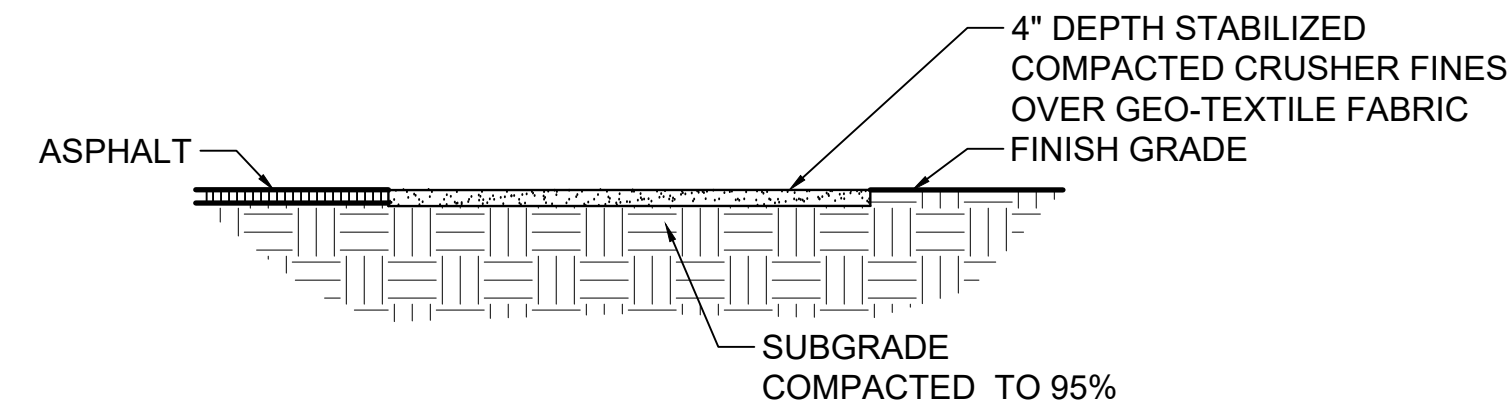
NOTE:
SIGN TO BE MOUNTED ON CMU WALL. MAXIMUM SIGN
FACE 102 SF.

1 SIGN SCALE: N.T.S.



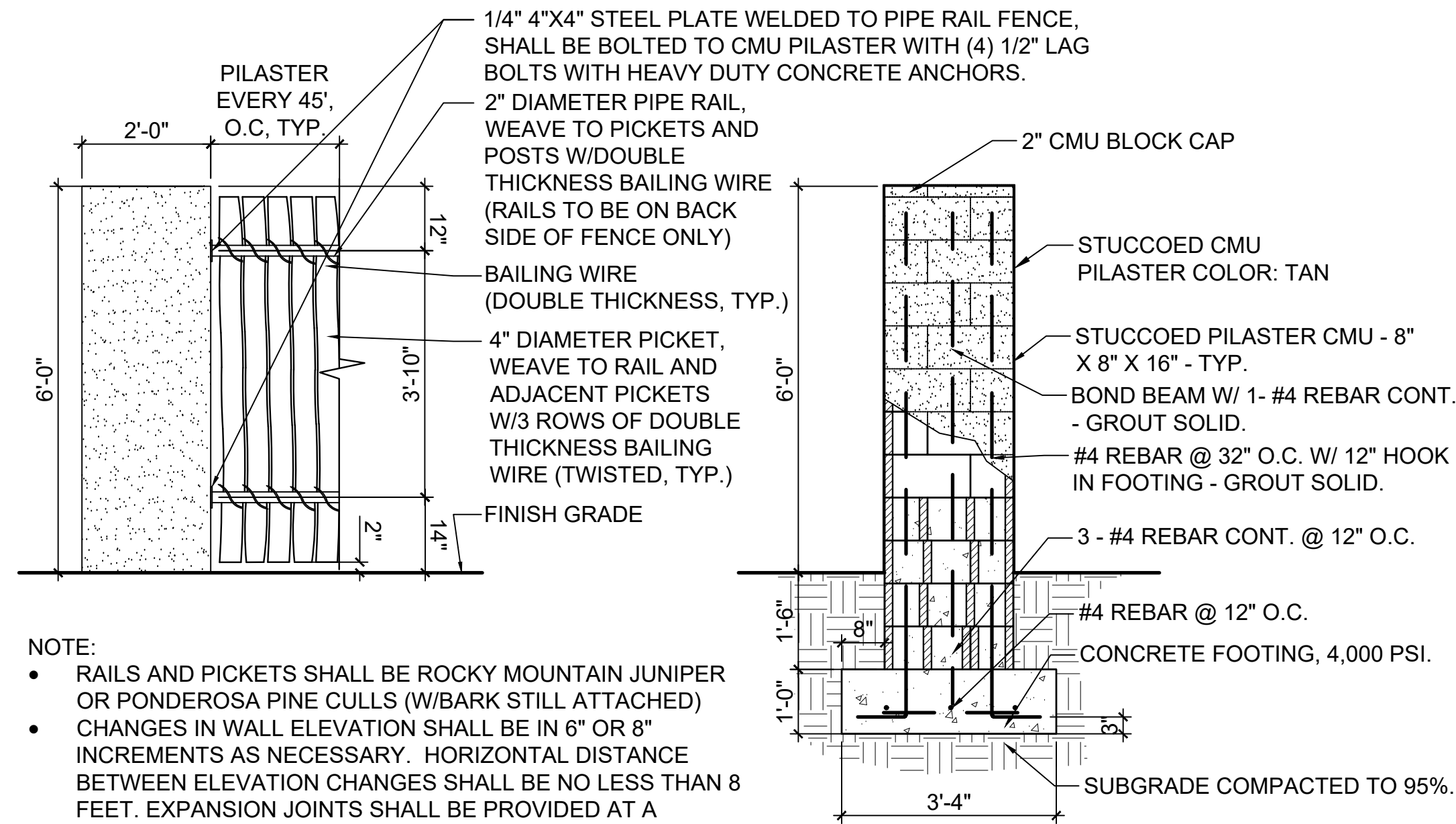
ESTATE CURB
NTS MODIFIED COA STD DWG 2415B
ESTATE CURB WITH MODIFIED
DIMENSIONS SEE COA STD DWG 2415B
FOR CONSTRUCTION NOTES.

2 ESTATE CURB SCALE: N.T.S.



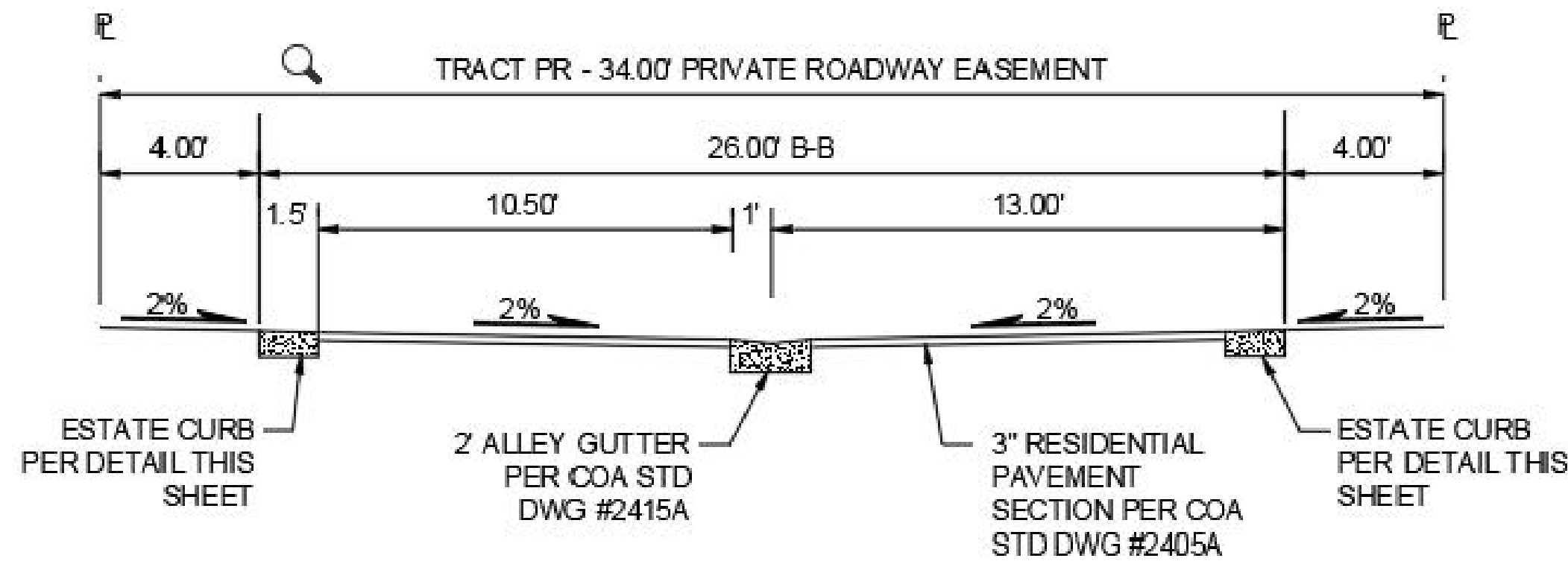
NOTE: TRAIL SHALL BE FLUSHED WITH TOP
OF CONCRETE WHERE SITUATION OCCURS

3 CRUSHER FINE PATH SCALE: N.T.S.

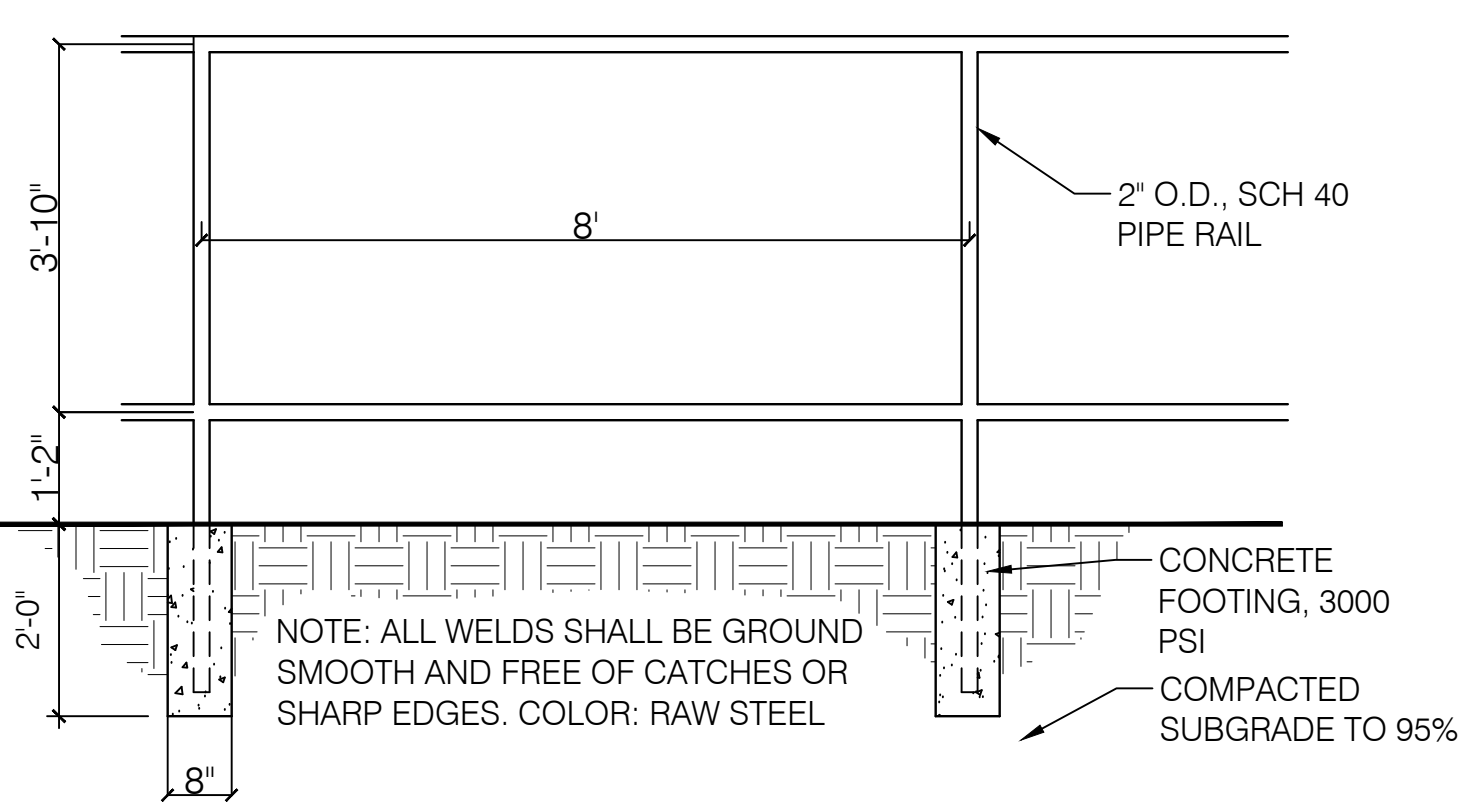


NOTE:
• RAILS AND PICKETS SHALL BE ROCKY MOUNTAIN JUNIPER
OR PONDEROSA PINE CULLS (W/BARK STILL ATTACHED)
• CHANGES IN WALL ELEVATION SHALL BE IN 6" OR 8"
INCREMENTS AS NECESSARY. HORIZONTAL DISTANCE
BETWEEN ELEVATION CHANGES SHALL BE NO LESS THAN 8
FEET. EXPANSION JOINTS SHALL BE PROVIDED AT A
MAXIMUM DISTANCE OF 32' O.C.

4 COYOTE FENCE SCALE: 1/2"=1'-0"



SECTION A-A

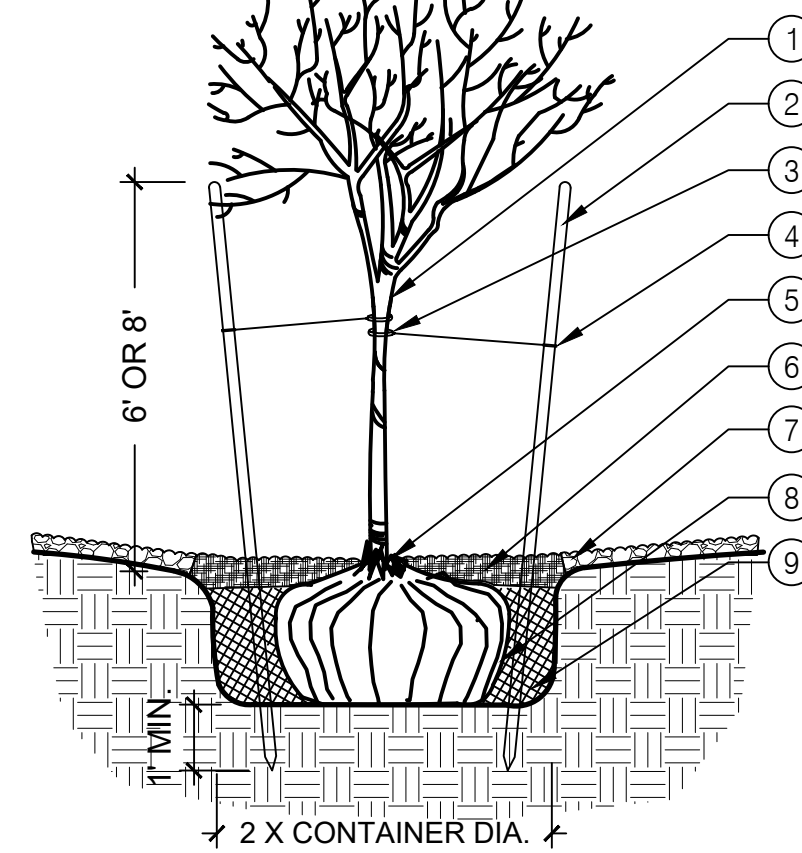


NOTE: ALL WELDS SHALL BE GROUND
SMOOTH AND FREE OF CATCHES OR
SHARP EDGES. COLOR: RAW STEEL

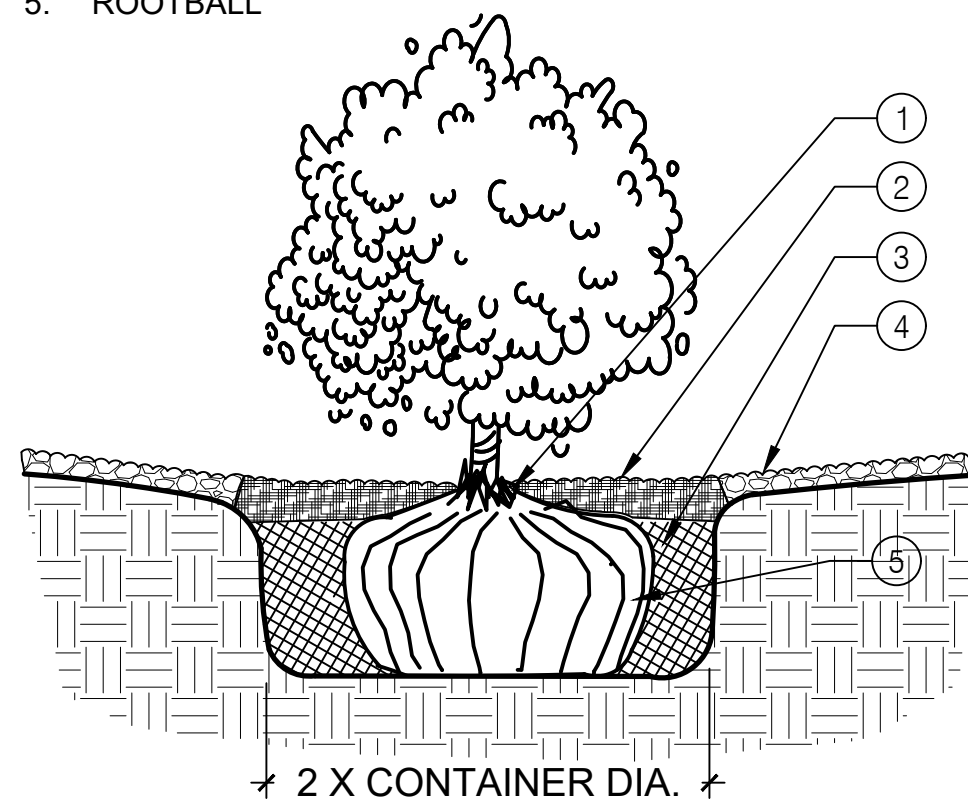
5 PIPE FRAME FENCE FOR COYOTE FENCE SCALE: 1/2"=1'-0"

1. STRESS POINT OF TREE
2. 8' OR 10' LODGEPOLE STAKES DRIVEN AT ANGLE (8' FOR MULTI OR CANOPY, 10' FOR TALL COLUMNAR)
3. 5/8" BLACK POLY TUBING, 12"-15" LONG MIN., NOTCH BACKSIDE OF POLY TUBING
4. #10 PLASTIC COATED GUYWIRE - (WRAP TWICE AROUND STAKE)
5. PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE
6. WATER RETENTION BASIN - 3" DEPTH SHREDDED BARK MULCH. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES
7. 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN
8. ROOTBALL WITH REMOVE ROPE AND BURLAP AFTER PLANTING
9. SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS

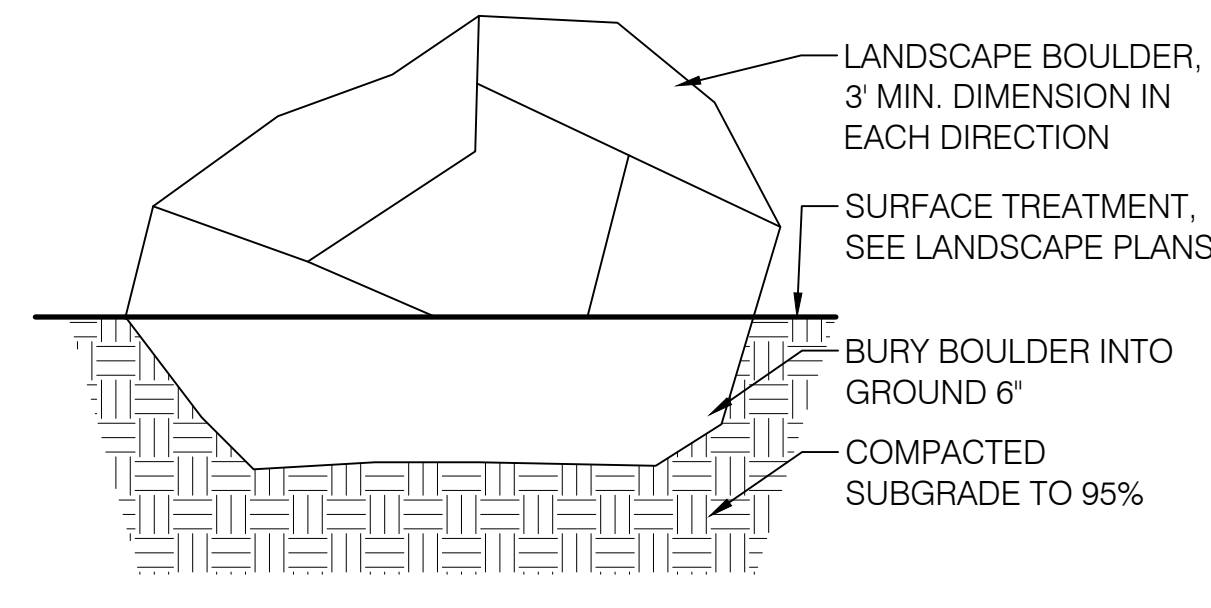
1. PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE
2. WATER RETENTION BASIN - 3" LAYER OF SHREDDED BARK MULCH. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
3. SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS
4. 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN
5. ROOTBALL



6 TREE PLANTING SCALE: N.T.S.



7 SHRUB PLANTING SCALE: N.T.S.



8 LANDSCAPE BOULDER SCALE: N.T.S.

CONSENSUS
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**SPANISH WALK
ALBUQUERQUE, NM**

PREPARED FOR:
LAS VENTANAS NM, INC.
8330-A WASHINGTON PLACE NE
ALBUQUERQUE, NM 87113

SUBMITTAL: MARCH 28, 2023

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO: 1538-04
CAD DWG FILE:
DESIGNED BY: I&A DATE: 3/28/23
DRAWN BY: AN DATE: 3/28/23
CHECKED BY: AN JS DATE: 3/28/23

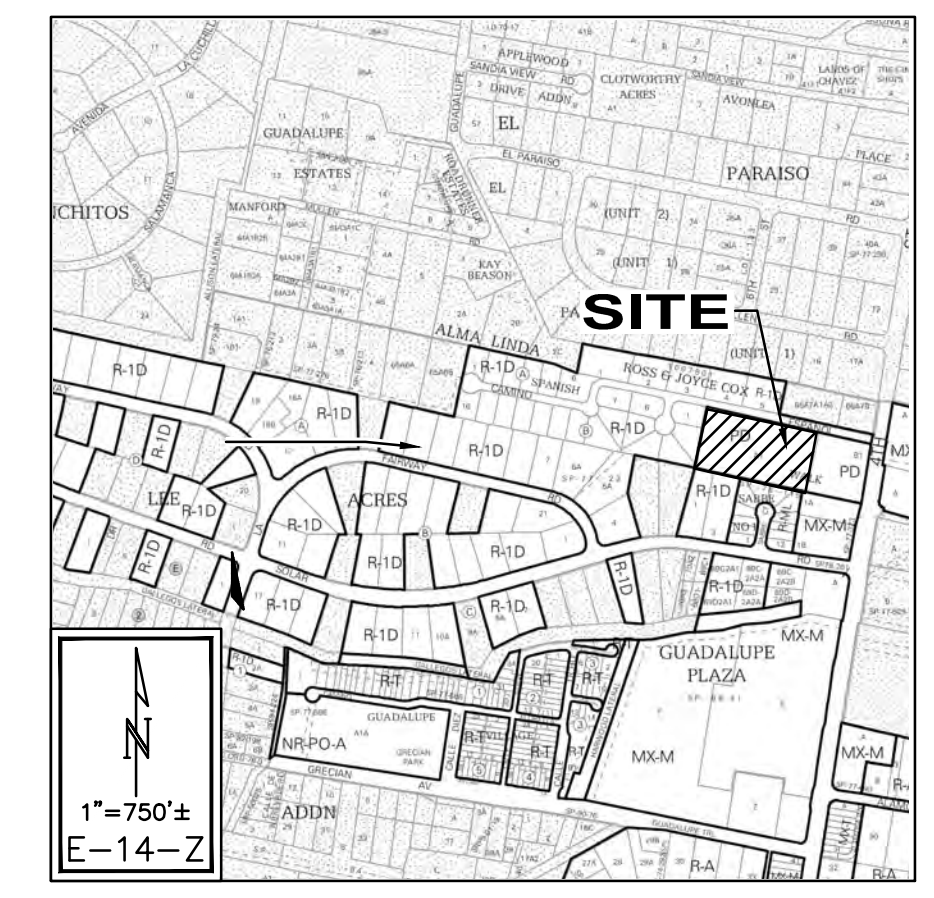
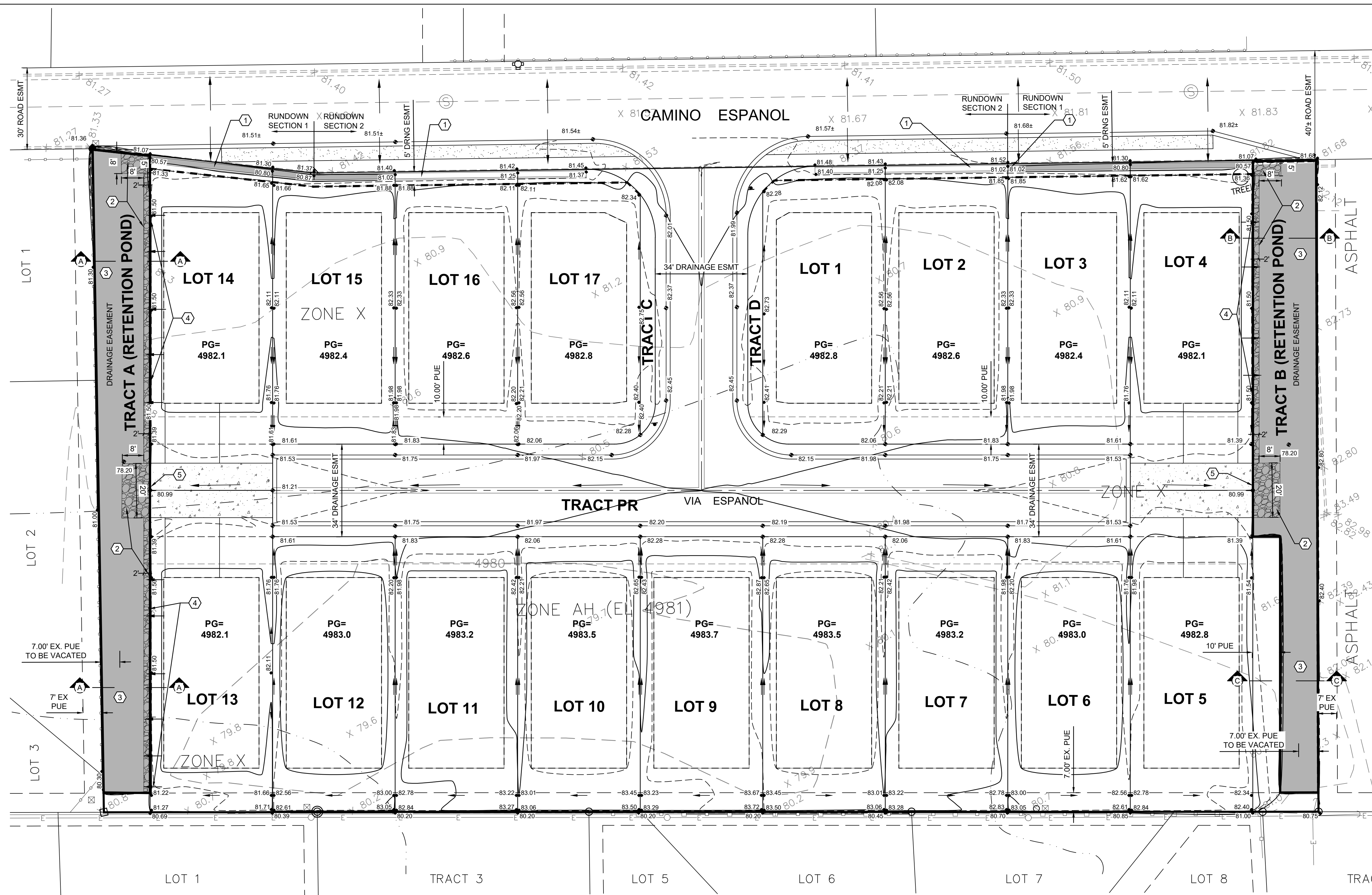
SHEET TITLE

**SITE PLAN
DETAILS
EPC**

DRAWING SHEET

A500

DATE: 3/28/2023



Isaacson & Arfman, Inc.
Civil Engineering Consultants
128 Monroe Street NE
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PROJECT INFORMATION

PROPERTY: THE SITE IS A VACANT PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP K-10. THE SITE IS BOUND TO THE EAST BY A COMMERCIAL PROPERTY, TO THE NORTH BY CAMINO ESPANOL, TO THE WEST BY DEVELOPED RESIDENTIAL PROPERTIES AND TO THE SOUTH BY DEVELOPED RESIDENTIAL PROPERTIES AND UNDEVELOPED PROPERTIES. THIS PROPERTY AND THE SURROUNDING PROPERTIES ARE FLAT AND CONTAIN STORM DRAINAGE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE 17 DETACHED RESIDENTIAL LOTS, A PRIVATE ROADWAY AND TWO RETENTION PONDING AREAS.

LEGAL: TRACT A-1, SPANISH WALK, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

BENCHMARK: VERTICAL DATUM IS BASED UPON AGRS ALUMINUM CAP STAMPED "12-E14 1985", ELEVATION = 4978.632 FEET (NAVD 1988).

OFF-SITE FLOW: OFF-SITE FLOW FROM HALFS OF CAMINO ESPANOL ENTERS THE PROPERTY. THERE ARE NO OFF-SITE FLOWS FROM THE ADJACENT PROPERTIES TO THE WEST, EAST OR SOUTH THAT ENTER THE PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP 35001C0119G, EFFECTIVE SEPTEMBER 26, 2008, THE SITE IS LOCATED WITHIN ZONE "AH" (ELEVATION 4981) AND ZONE X (AREAS PROTECTED BY LEVEES). A LOMR-F SHALL BE SUBMITTED TO REMOVE THE FLOODPLAIN ON THE LOTS.

DRAINAGE PLAN CONCEPT: THE SITE WILL BE DEVELOPED TO POND THE 100-YEAR, 10-DAY STORM IN TWO RETENTION PONDS LOCATED ALONG THE WEST AND EAST PROPERTY LINE. THE OFFSITE FLOW FROM CAMINO ESPANOL ALONG WITH FLOWS FROM HALF OF THE LOTS WILL DRAIN TO THE PONDS VIA BACKYARD RUNDOWNS LOCATED ON THE LOTS ADJACENT TO THE STREET. THE REMAINING ONSITE BASIN WILL DRAIN TOWARD THE PRIVATE STREET THAT HAS AN INVERTED GROY WITH AN ALLEY GUTTER IN THE CENTER. LAND TREATMENT PERCENTAGES WERE CALCULATED AT 34% 'B', 10% 'C' AND 56% 'D'; THE OFFSITE HALF-STREET WAS CALCULATED AT 18% 'B' AND 82% 'D'.

IN THE FULLY DEVELOPED CONDITION, THE PROPERTY AND THE OFF-SITE HALF-STREET WILL DISCHARGE 9.3 CFS TO THE PONDS. THE REQUIRED 100-YEAR, 10-DAY VOLUME TO BE STORED IN THE RETENTION PONDS IS 23,675 CF; THE PROVIDED VOLUME IN THE TWO PONDS IS 24,436 CF.

THE PONDS SHALL BE CONSTRUCTED AS VERTICAL DETENTION BASINS WITH A BOTTOM ELEV= 4978.2; WSEL=4981.0. THE WALLS SHALL BE WATER PROOFED TO ELEV= 4981.5. THE DEVELOPER SHALL OBTAIN APPROVAL (NOTARIZED LETTERS) FROM ALL ADJACENT PROPERTY OWNERS STATING THAT IT IS ACCEPTABLE TO CONSTRUCT SHARED PERIMETER WALLS ON THE PROPERTY LINES.



March 14, 2023
Conceptual
Not for Construction
Engineer

SPANISH WALK SUBDIVISION
410 CAMINO ESPANOL

STORMWATER QUALITY

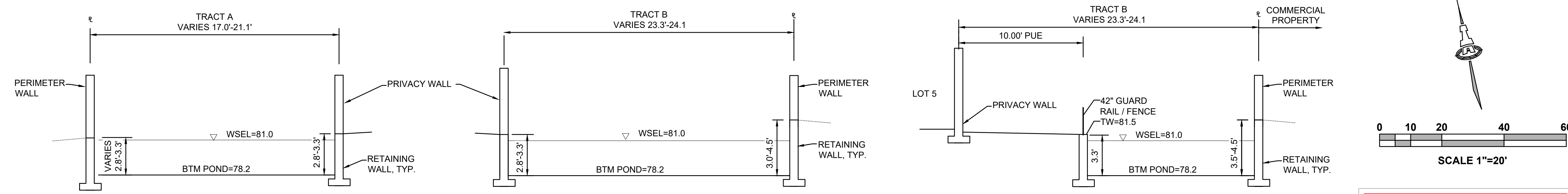
BECAUSE THE 100-YR, 10-DAY STORM IS PONDED ON THE PROPERTY, THE STORM WATER QUALITY VOLUME IS PROVIDED IN THE PONDS.

KEYED NOTES

- BY PUBLIC WORK ORDER: RUNDOWN PER DETAIL ON SHEET CG-501.
- BY PUBLIC WORK ORDER: INSTALL 6" AVG. DIA., 1" THICK FRACTURED FACE ROCK OVER NON-WOVEN GEOTEXTILE FABRIC.
- BY PUBLIC WORK ORDER: RETENTION BASINS PER SECTIONS THIS SHEET. RETAINING WALLS SHALL BE DESIGNED BY A STRUCTURAL ENGINEER. WALLS SHALL BE WATER PROOFED TO ELEVATION 81.5.
- TURN EVERY OTHER BLOCK IN SIDEYARD WALL TO PROVIDE DRAINAGE OPENINGS.
- GATE FOR MAINTENANCE ACCESS.

LEGEND

- 80 PROPOSED 1.0' CONTOUR
- 81.5 PROPOSED 0.5' CONTOUR
- 82.56 PROPOSED SPOT ELEVATION
- SURFACE FLOW DIRECTION
- PG = 4982.2 PAD ELEVATION



City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 03/22/23
BY: *Renee C. Branstetter*
HydroTrans # E14D002A
THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED BY THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

ISSUE: CONCEPTUAL	PROJECT NUMBER: IA 2539
FILE:	JTS/ANW
DRAWN BY:	ANW
CHECKED BY:	ANW
DATE:	12-12-2022

No	Date	Description

SHEET TITLE

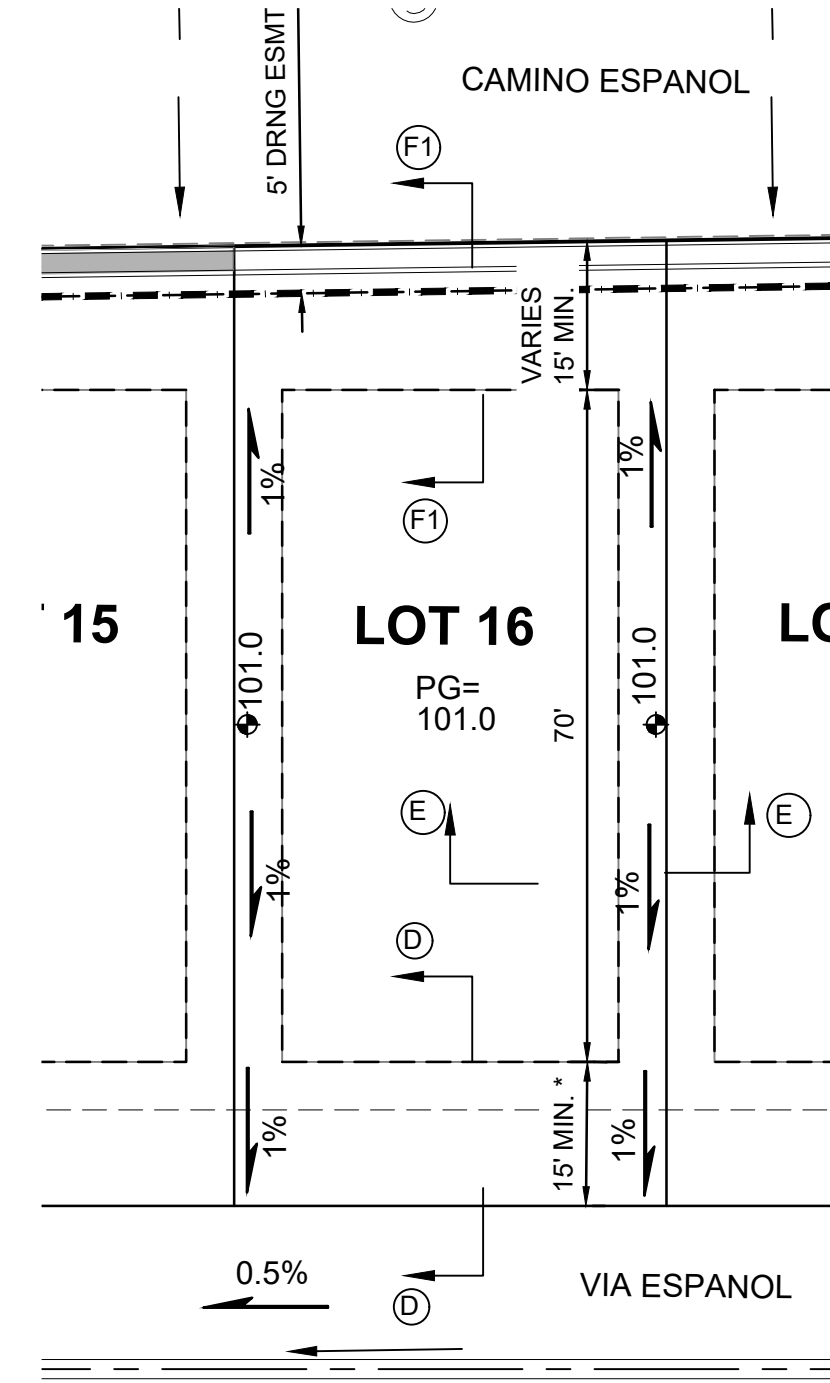
GRADING & DRAINAGE PLAN

SHEET NUMBER

CG-101

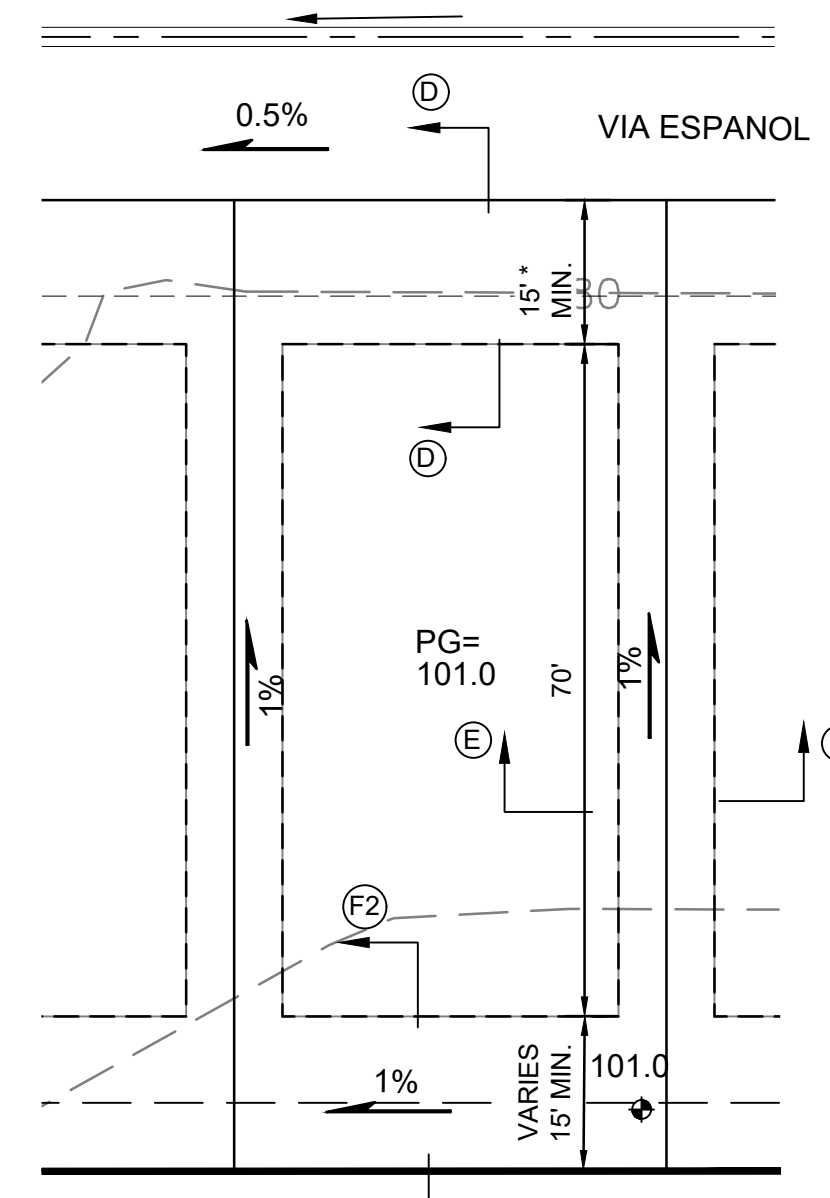
GRADING GENERAL NOTES

- A. GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- B. ALL SITE PREPARATION, GRADING OPERATIONS, FOUNDATION CONSTRUCTION, AND PAVEMENT INSTALLATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT WHICH WILL BE PROVIDED BY THE OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE NOTED IN THE PLANS, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, CURRENT EDITION.
- C. PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- D. IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
- E. THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AN NDPES PERMIT FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES MEET THE EPA THRESHOLD. (SWPPP, NPDES PERMIT BY OTHERS.). CONTRACTOR SHALL COORDINATE WITH OWNER TO DETERMINE WHO WILL PREPARE SWPPP AND INSPECT REQUIRED ELEMENTS.
- F. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. PAVING AND ROADWAY GRADES SHALL BE ±0.1' FROM PLAN ELEVATIONS.
- G. WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH.
- H. PAD ELEVATIONS SHALL BE WITHIN 0.1'±.
- I. POND DESIGN PARAMETERS AND STORMWATER CONTROL MEASURES SHOWN ON THIS PLAN (TOP OF POND, BOTTOM OF POND, SIZE OF ORIFICE, AREA OF POND, ETC.) TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES. SEE DETAIL SHEET FOR ADDITIONAL INFORMATION.
- J. POST-CONSTRUCTION MAINTENANCE FOR PRIVATE STORMWATER FACILITIES WILL BE THE RESPONSIBILITY OF THE FACILITIES OWNER. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.
- K. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS FIVE WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF NECESSARY DRY UTILITY ADJUSTMENTS.
- L. FOR ENGINEER'S CERTIFICATION OF SUBSTANTIAL COMPLIANCE (FOR CERTIFICATE OF OCCUPANCY) CONTRACTOR SHALL PROVIDE AN AUTOCAD FORMAT AS-BUILT SURVEY PREPARED BY A LICENSED SURVEYOR WHICH INCLUDES:
 - L.A. AS-BUILT SPOT ELEVATIONS AT EACH DESIGN SPOT ELEVATION SHOWN ON THE APPROVED PLAN;
 - L.B. AS-BUILT ELEVATIONS AT EACH CORNER OF THE PAD AND AT THE CENTER OF THE PAD;
 - L.C. TOP AND BOTTOM ELEVATIONS AS REQUIRED TO DEFINE THE PERIMETER OF PONDS (TO BE USED BY ENGINEER TO CALCULATE AS-BUILT VOLUME PROVIDED);
 - L.D. ALL CONSTRUCTION, INCLUDING DRAIN INLETS, PIPES AND PONDS SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN IN ORDER TO RECEIVE ENGINEER'S CERTIFICATION.
- M. UPON WRITTEN REQUEST, THE ELECTRONIC FILE OF THE GRADING AND DRAINAGE WILL BE PROVIDED TO THE CONTRACTOR FOR VERTICAL CONTROL.
- N. SITE CONSTRUCTION LAYOUT / STAKING SHALL BE COORDINATED WITH THE OWNER.



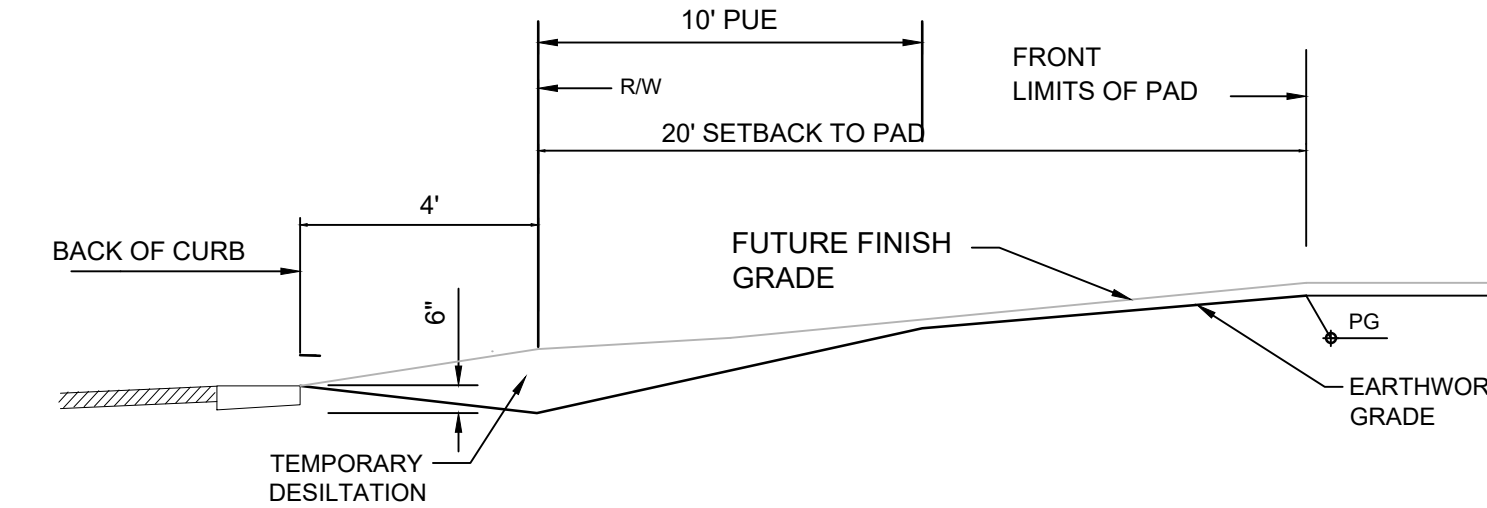
* 15' SETBACK TO HOUSE; 20' SETBACK TO GARAGE

TYPICAL LOT DETAIL
LOTS 1-4 & 14-17 NTS

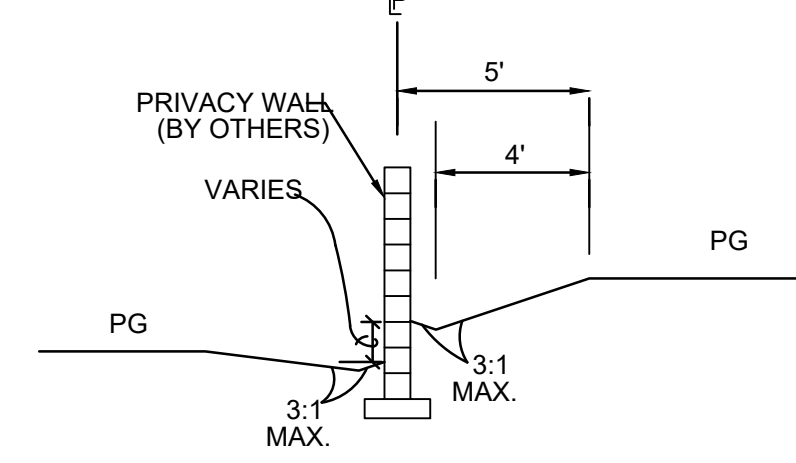


* 15' SETBACK TO HOUSE; 20' SETBACK TO GARAGE

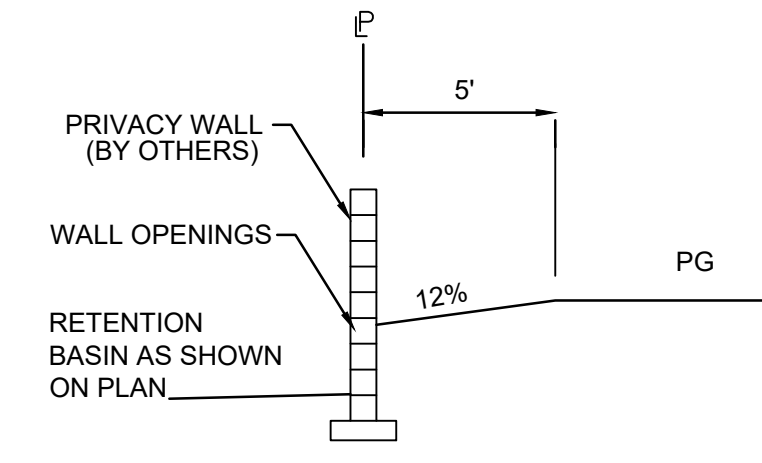
TYPICAL LOT DETAIL
LOTS 5-13 NTS



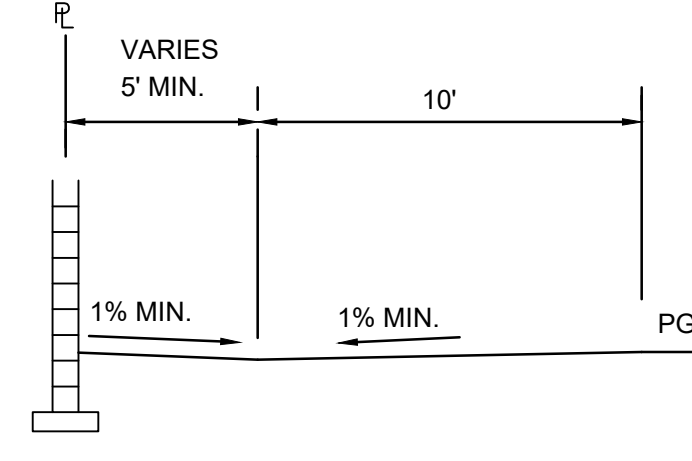
SECTION D-D
FRONT YARD GRADING
SCALE: 1"=5'-0"
FRONT YARD GRADES AT COMMON LOT LINES SHALL BE AT FINISH GRADE TO SET WATER METERS AND DRY UTILITY EQUIPMENT.



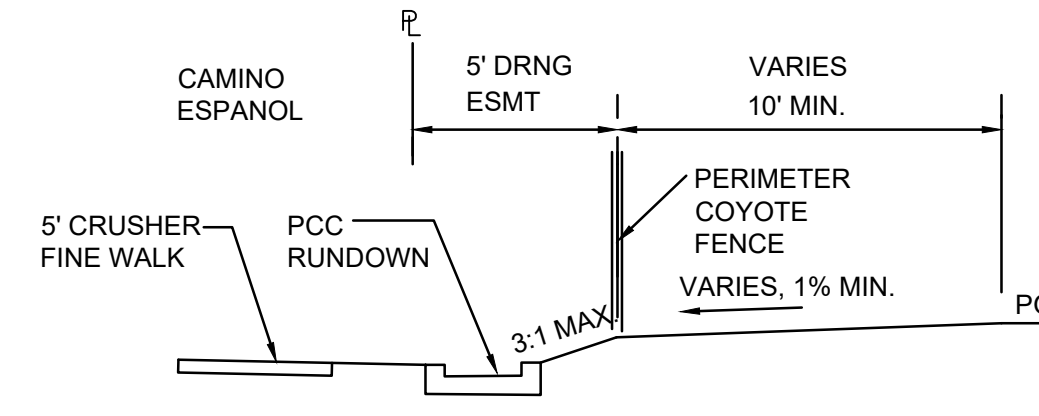
SECTION E1-E1
TYPICAL SIDEYARD GRADING
SCALE: 1"=5' LOTS 1-3, 14-17



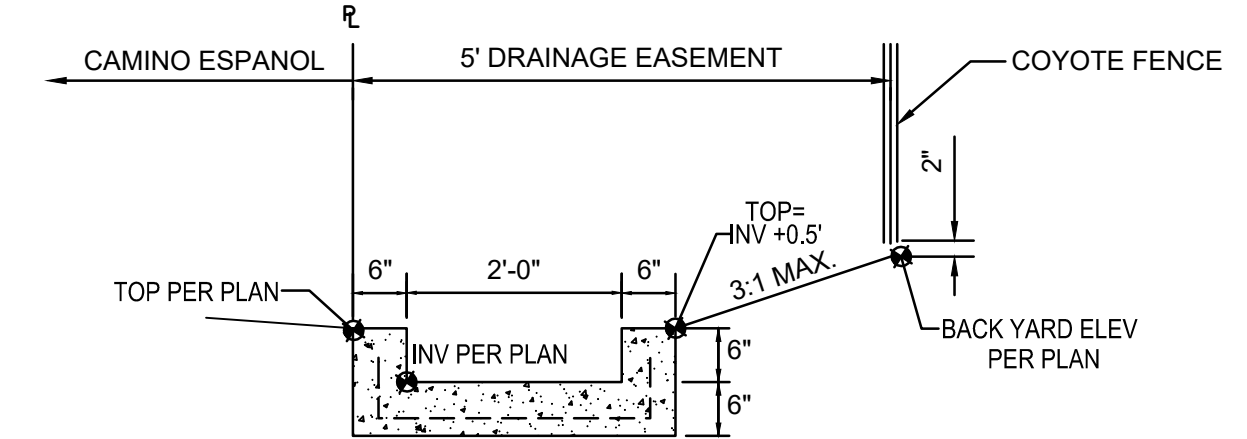
SECTION E2-E2
TYPICAL SIDEYARD GRADING
SCALE: 1"=5' LOTS 4, 13 & 14



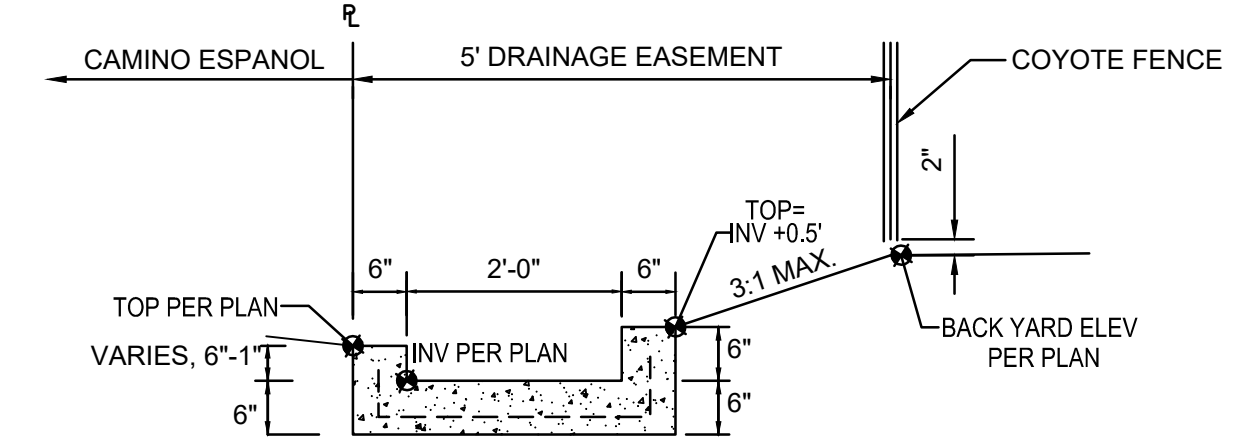
SECTION F1-F1
TYPICAL BACKYARD GRADING
SCALE: 1"=5'



SECTION F2-F2
TYPICAL BACKYARD GRADING
SCALE: 1"=5'



RUNDOWN - SECTION 1
RUNDOWN SHALL BE CONSTRUCTED WITH PUBLIC WORK ORDER
SCALE: N.T.S.



RUNDOWN - SECTION 2
RUNDOWN SHALL BE CONSTRUCTED WITH PUBLIC WORK ORDER
SCALE: N.T.S.



City of Albuquerque
Planning Department
Development Review Services
PRELIMINARY APPROVED
DATE: 03/22/23
BY: *Reyes C. Bonilla*
HydroTrans # E14D002A
THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

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March 14, 2023
Conceptual
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Engineer

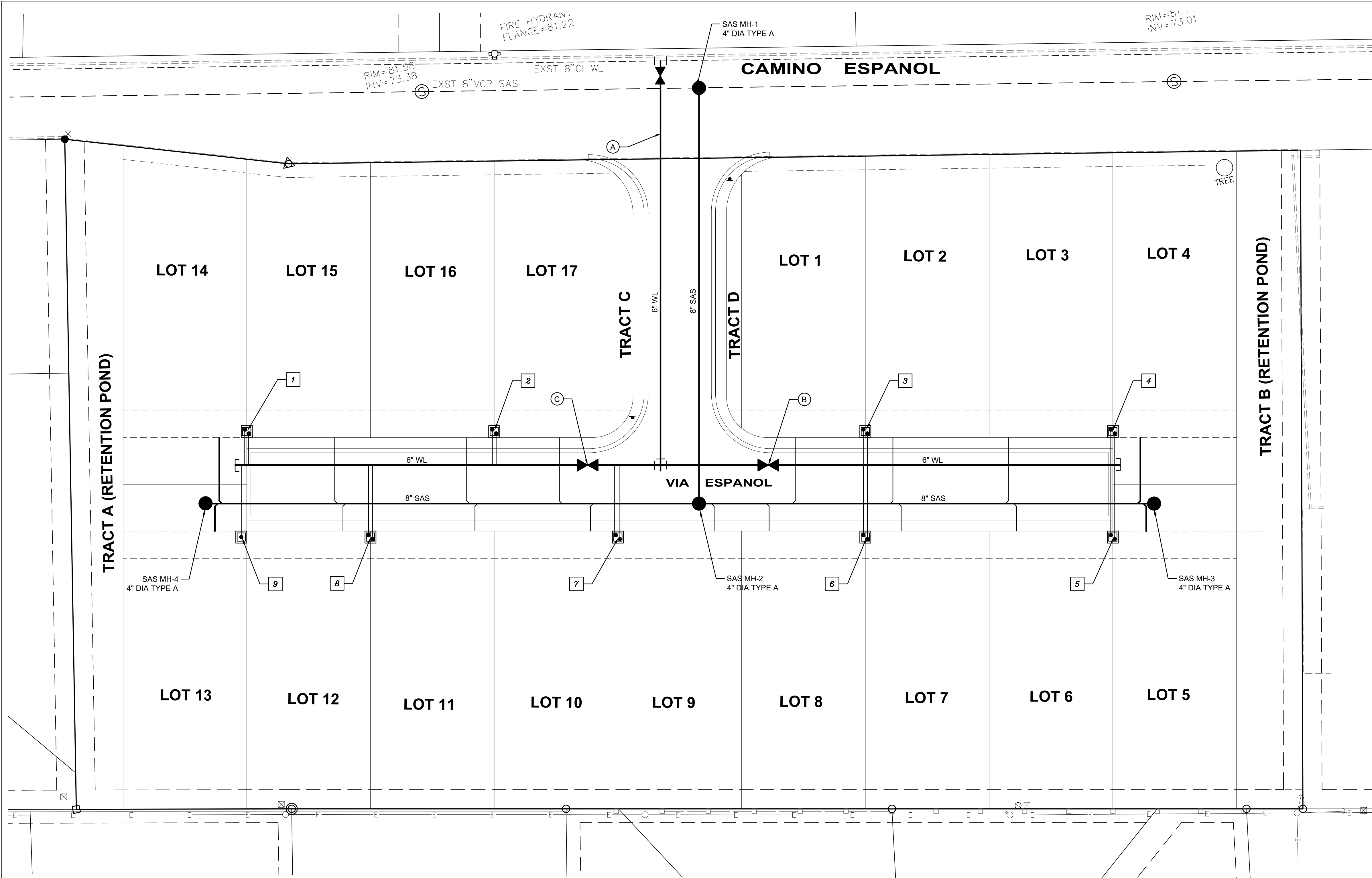
SPANISH WALK SUBDIVISION
410 CAMINO ESPANOL

ISSUE: CONCEPTUAL
PROJECT NUMBER: IA 2539
FILE: JTS/ANW
DRAWN BY: ANW
CHECKED BY: ANW
DATE: 12-12-2022

No	Date	Description

SHEET TITLE
CONCEPTUAL GRADING & DRAINAGE PLAN

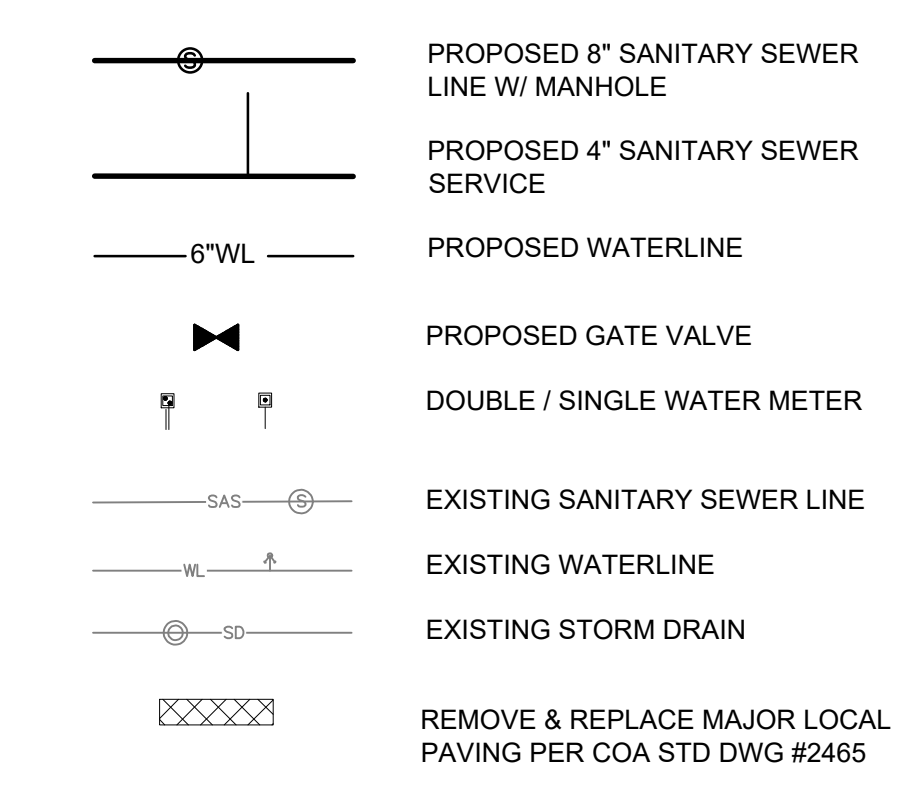
SHEET NUMBER
CG-501



GENERAL UTILITY NOTES

- A. ALL WATER AND SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ABCWUA SPECIFICATIONS.
- B. SEE SHEET 2 FOR EASEMENT NOTES.
- C. SEE THIS SHEET FOR WATER SHUT-OFF PLAN.
- D. ALL FITTINGS AND VALVES SHALL HAVE JOINT RESTRAINTS. SEE THIS SHEET FOR TABLES.
- E. ALL CROSSINGS OF WATER AND SEWER LINES SHALL HAVE 18" MIN CLEARANCE. IF 18" CLEARANCE IS NOT POSSIBLE, INSTALL LEAN FILL BETWEEN PIPES.
- F. DRY UTILITY LOCATIONS AND DESIGN ARE NOT A PART OF THIS PLAN. CONTRACTOR SHALL COORDINATE WITH THE LOCAL DRY UTILITY COMPANIES.
- G. SURVEYOR SHALL VERIFY ALL TP ELEVATIONS, RIM AND INVERT ELEVATIONS ON MANHOLES.
- H. WATER AUTHORITY SPECIFICATIONS AND NOTES CAN BE FOUND ONLINE: <https://www.abcwua.org/info-for-builders-construction-information-for-builders/>
- I. ALL SANITARY SEWER LINES SHALL BE AS-BUILT WITH LENGTHS, INVERT ELEVATIONS AND SLOPES.
- J. WATER SERVICES ON PUBLIC SIDE FROM MAIN TO METER AND ON PRIVATE SIDE FROM METER SHALL BE EITHER COPPER OR MUNICIPEX PER ABCWUA APPROVED PRODUCTS LIST. IF MUNICIPEX PIPE IS USED, STIFFENERS SHALL BE USED AT THE COMPRESSION COUPLINGS.
- K. ALL WATER FITTINGS TO BE DUCTILE IRON PER ABCWUA SPECIFICATIONS.

LEGEND



WATER METERS AS-BUILT COORDINATES

NOS.	X	Y
1		
2		
3		
4		
5		
6		
7		
8		
9 *		

* INDICATES SINGLE METERS ALL OTHER ARE DOUBLE

VALVES & FIRE HYDRANTS AS-BUILT COORDINATES

NOS.	X	Y	Z
A			
B			
C			

RESTRAINED JOINT LENGTHS, L_{IT} FOR HORIZONTAL BENDS, VALVES, AND DEAD ENDS, (FT.)

SIZE	HORZ. BENDS				VALVES & DEAD ENDS
	90°	45°	22 1/2°	11 1/4°	
12	37	15	8	4	102
10	31	13	7	4	87
8	27	11	6	3	72
6	20	9	4	2	55
4	15	6	3	2	39

RESTRAINED JOINT LENGTHS, L_{IT} FOR REDUCERS, (FT.) MINIMUM UNOBSTRUCTED, STRAIGHT-RUN LENGTH: RESTRAIN EITHER LARGE PIPE, OR SMALL PIPE.

SIZE	LARGE SIDE	SIZE	LARGE SIDE
12x10	30	10x6	53
12x8	54	10x4	71
12x6	74	8x6	31
12x4	89	8x4	52
10x8	29	6x4	29

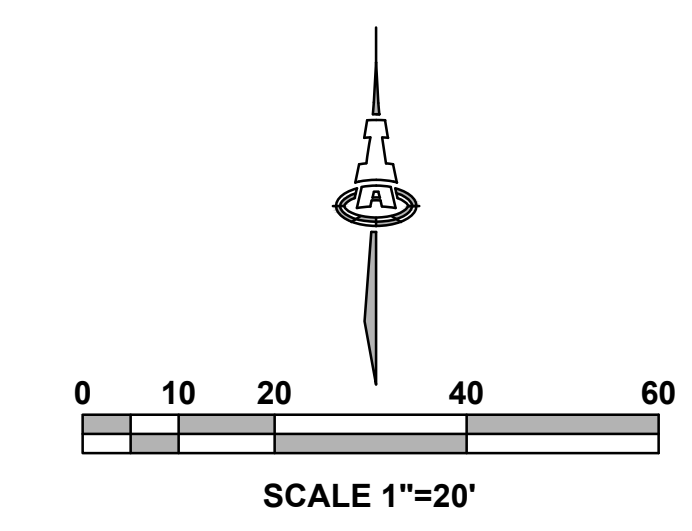
THESE TABLES ARE BASED UPON THE FOLLOWING CRITERIA:

DEPTH OF BURY: 3.0 FT. MINIMUM
 FACTOR OF SAFETY: 1.50
 MATERIAL: PVC
 SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.
 TEST PRESSURE: 150 PSI
 TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM, BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWUA.

- NOTES:**
- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
 - THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ON THIS SHEET.
 - THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

RESTRAINED JOINT LENGTHS FOR WATERLINE FITTINGS



NOT FOR CONSTRUCTION

Engineer

SPANISH WALK SUBDIVISION
410 CAMINO ESPANOL

ISSUE: CONCEPTUAL	PROJECT NUMBER: IA 2539
FILE: JTS/ANW	DRAWN BY: ANW
CHECKED BY: ANW	DATE: 10-2022

SHEET TITLE

CONCEPTUAL UTILITY PLAN

SHEET NUMBER

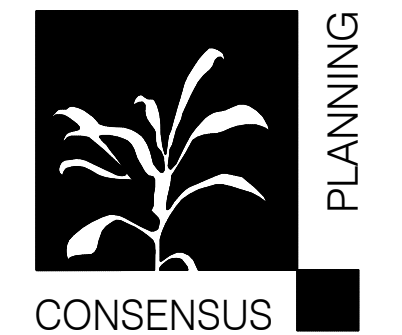
CU-101

Isaacson & Arfman, Inc.
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Albany, Oregon, 97108
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EXTERIOR FINISH SCHEDULE				
	MANUFACTURER	TYPE	MODEL/STYLE NUMBER	COLOR
STUCCO	DRIVT	SYNTHETIC	N/A	EARTH TONES TO COMPLY W/SPANISH TRAIL HOA GUIDELINES
PAINT	PPG	EXTERIOR	N/A	MATCH STUCCO
ROOF_(PITCHED)	METAL CENTER	NON-REFLECTIVE CORRUGATED METAL	N/A	SILVER OR RUST
ROOF FLAT	CARLISLE	NON-REFLECTIVE TPO	N/A	TAN
GARAGE DOOR	CHI	FLUSH PANEL W/ 1H LONG FROSTED GLASS PANEL	STYLE # 2157	MATCH STUCCO
FRONT DOOR	PELLA	METAL CLAD	LIFESTYLE	BLACK
WINDOW FRAME	PELLA	METAL CLAD	LIFESTYLE	BLACK
SLIDING GLASS DOORS	PELLA	METAL CLAD	LIFESTYLE	BLACK



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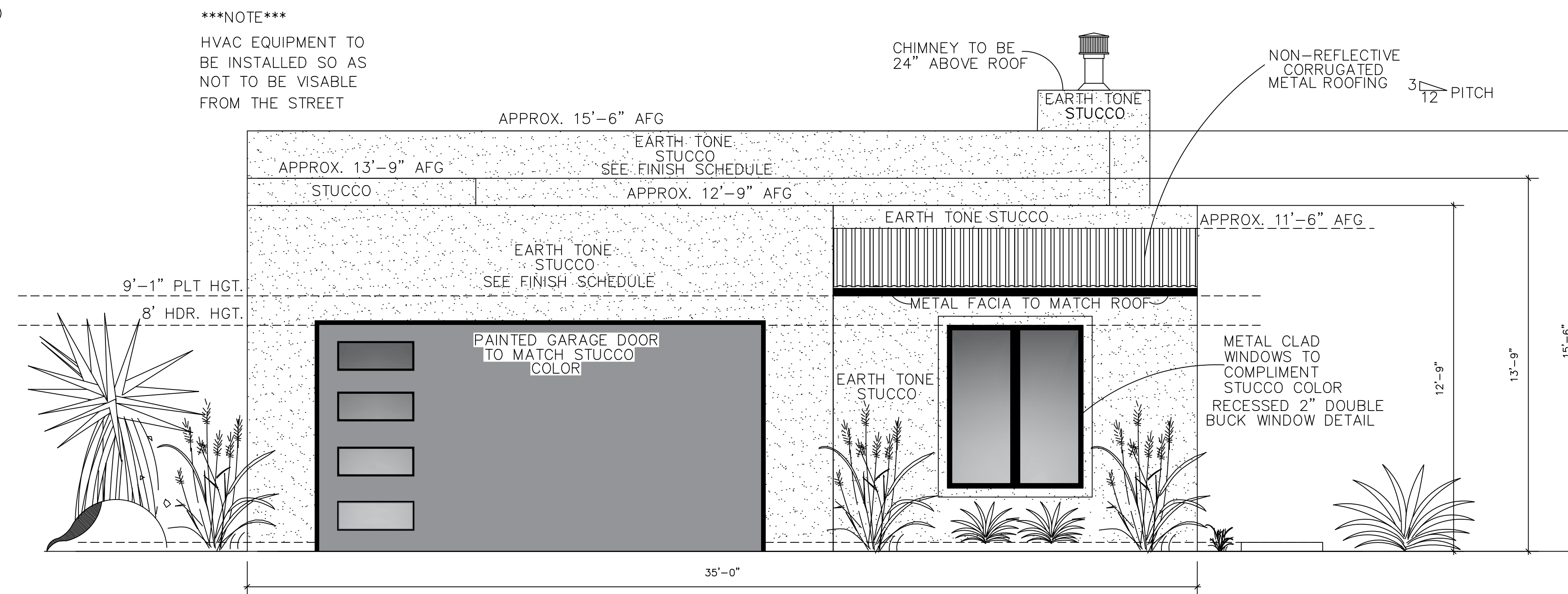
DESCRIPTION

NOT FOR CONSTRUCTION

CAMINO ESPANOL

Building Design Standards pursuant to IDO Section 14-16-5-11 (C) Low Density Residential District are as follows:

- All windows shall be recessed not less than 2" and shall comply with IDO Section 5-11 (c) (2) WINDOWS:
- Any accessory structure shall comply with IDO Section 5-11 (c) (4) ACCESSORY BUILDINGS



FRONT ELEVATION
 SCALE = 1/4" = 1'-0"

SAVE AS ONLY!!!
 ALBUQUERQUE, NM

08/02/2022

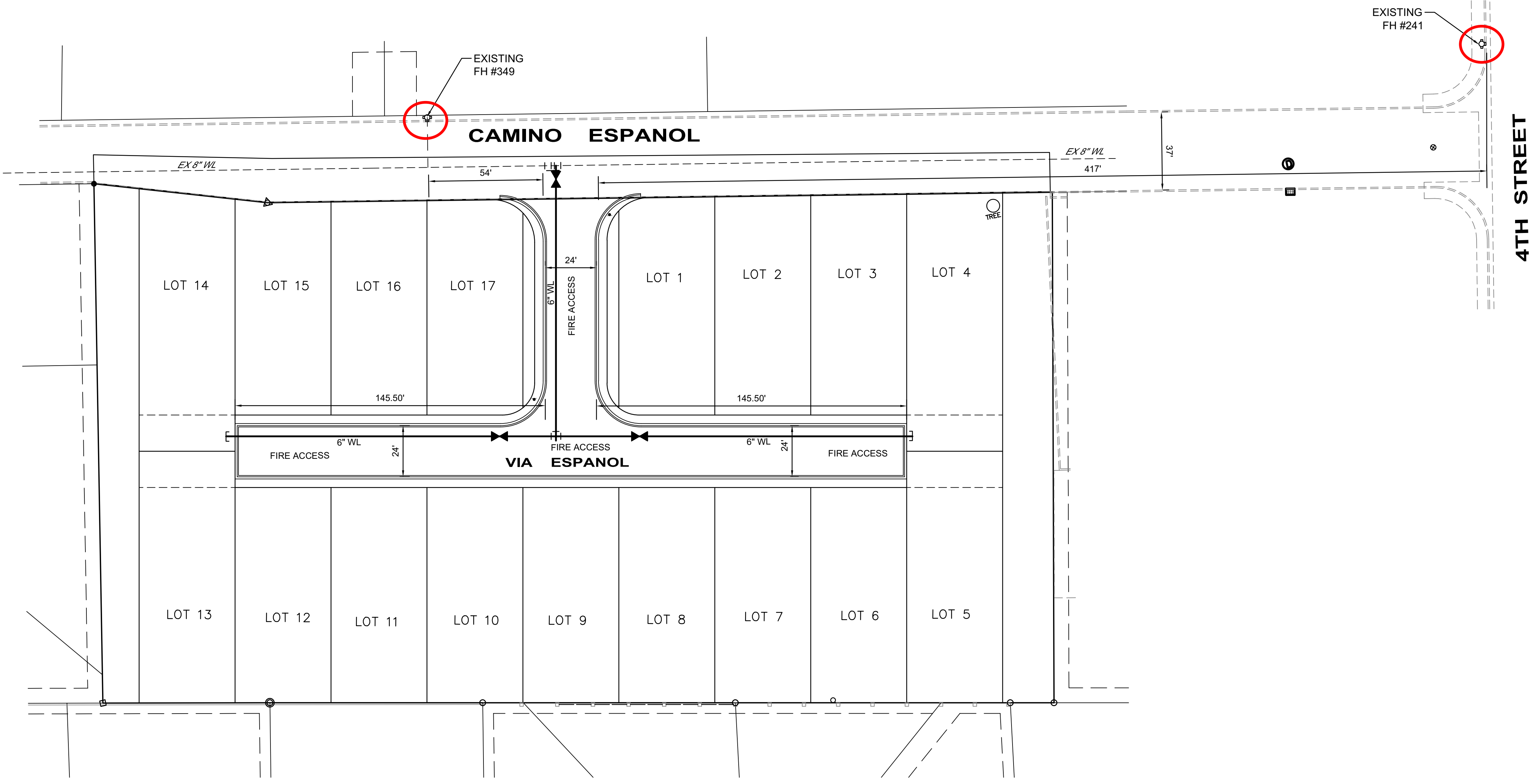
SUBMITTAL: X

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO: X
 CAD DWG FILE:
 DESIGNED BY: X DATE: X
 DRAWN BY: X DATE: X
 CHECKED BY: X DATE: X

SHEET TITLE



**ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION**
PERMIT
PERMIT NUMBER: FP-22-011584
APPROVED DATE: 09/15/22
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 1000GPM 1 FH

SPANISH WALK SUBDIVISION

17 LOT SINGLE FAMILY RESIDENCE SUBDIVISION

CAMINO ESPANOL N.W.,
ALBUQUERQUE, NM

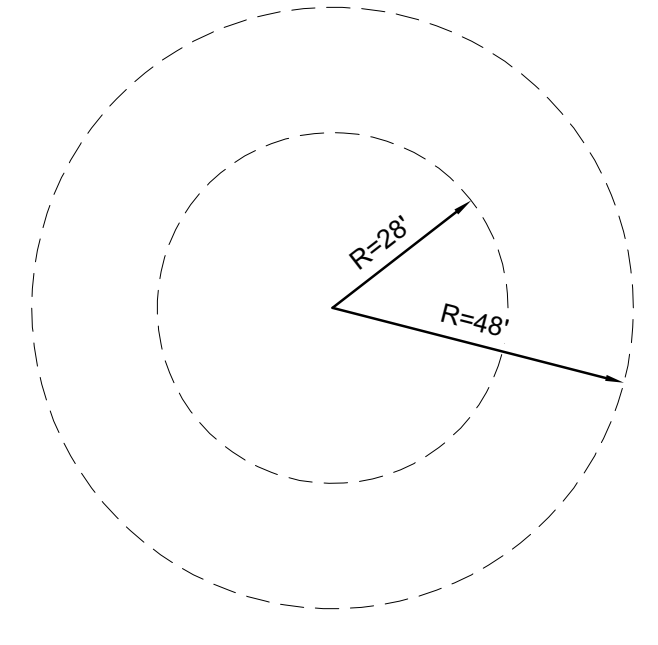
2 EXISTING FIRE HYDRANTS NEAR SITE

ALL ACCESS ROADS AND FIRE LANES HAVE GRADES LESS THAN 10% AND A LOAD CAPACITY OF 75,000 POUNDS.

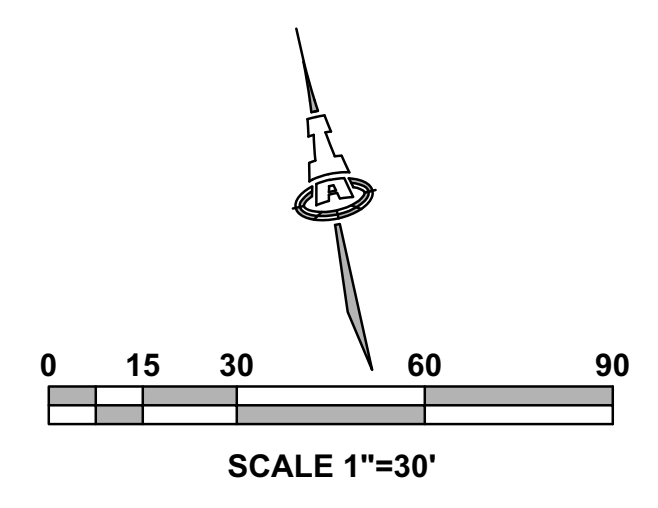
ALL ACCESS ROADS AND FIRE PATHS WILL ACCOMMODATE A 28' MINIMUM TRUCK TURNING RADIUS

FIRE APPARATUS ROADS SHALL HAVE AN UNOBSTRUCTED HEIGHT NOT LESS THAN 13'-6".

THERE ARE NO OVERHEAD OBSTRUCTIONS ON SITE TO PROHIBIT LADDER TRUCK OPERATIONS



FIRE APPARATUS TURNING RADIUS
1"=30'



Isaacson & Artman, Inc.
Civil Engineering Consultants
128 Monroe Street NE
Albuquerque, NM 87108
505-266-8628 | www.isaivil.com



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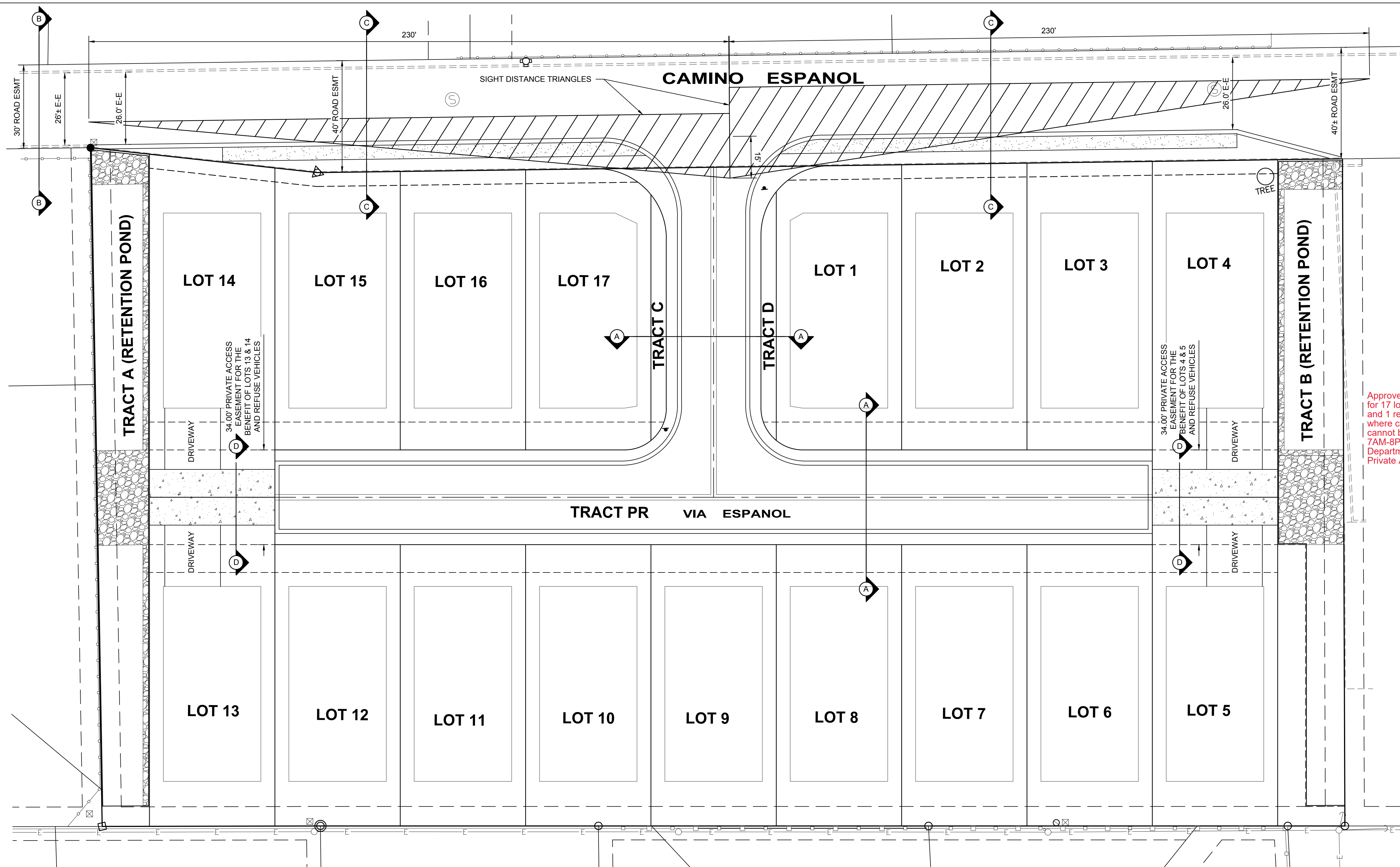
Engineer

**SPANISH WALK SUBDIVISION
CAMINO ESPANOL**

ISSUE:	PROJECT NUMBER:	FILE:	DRAWN BY:	CHECKED BY:	DATE:
	IA 2539		DEC	ANW	09-2022

SHEET TITLE
**FIRE
HYDRANT
LOCATION
& ACCESS
PLAN**

SHEET NUMBER
FIRE 1



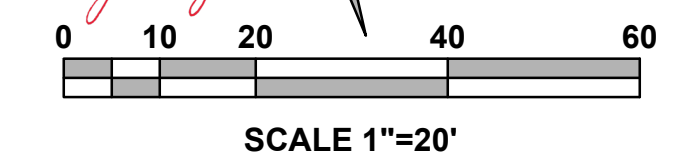
SIGHT DISTANCE TRIANGLES
 PER DPM TABLE 7.4.65
 SPEED LIMIT=20 MPH
 INTERSECTION SIGHT DISTANCE
 FOR LEFT TURN=230'

SIGHT DISTANCE NOTE:
 LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

NOTES FOR SOLID WASTE DEPT.:

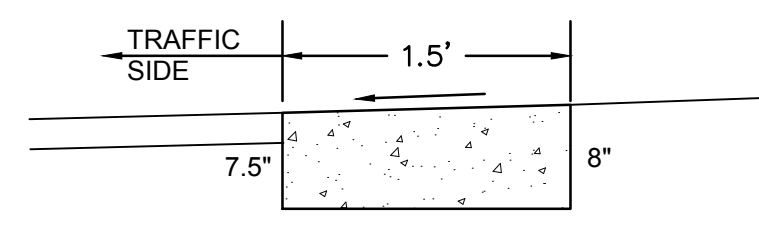
- CONCRETE DRIVE ADJACENT TO LOTS 4, 5, 13 & 14 SHALL BE DESIGNED FOR REFUSE VEHICLES WITH 6" THICK 4,000 PSI ¾" AGGREGATE CONCRETE W/ 6X6-10/10 WWM.
- THE CONCRETE DRIVE WILL BE DESIGNATED WITH AN EASEMENT FOR REFUSE VEHICLES.
- DRIVEWAY LOCATIONS FOR LOTS 4, 5, 13 & 14 SHALL BE AS DESIGNATED ON THIS PLAN. REMAINING DRIVEWAY LOCATIONS SHALL BE DETERMINED ONCE DRY UTILITY DESIGN IS COMPLETE.
- THERE WILL BE MAX. ONE 20' DRIVE PER LOT.
- LOTS ARE 45' WIDE; 25' ALONG CURB WILL BE AVAILABLE FOR REFUSE BINS ON EACH LOT.

Approved for access by the Solid Waste Department for 17 lots. Each lot has been approved for 1 trash and 1 recycle cart per lot. Nothing can overhang where carts are placed on service day, or vehicles cannot be parked at the curb on service day from 7AM-8PM or approval will be void. The Solid Waste Department will need to inspect the concrete for Private Access Easement. Herman Gallegos 03-01-23
Herman Gallegos



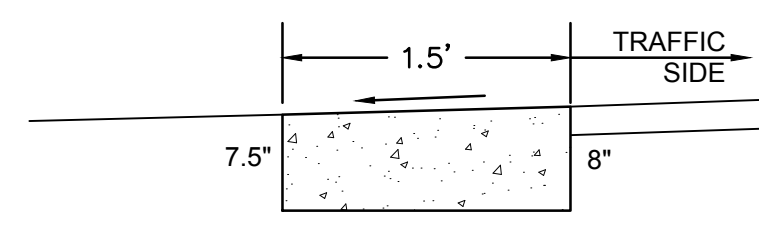
LEGEND

- EXISTING STREET IMPROVEMENTS
- ==== PROPOSED ESTATE CURB
- ▲ LOT NO. SIGN



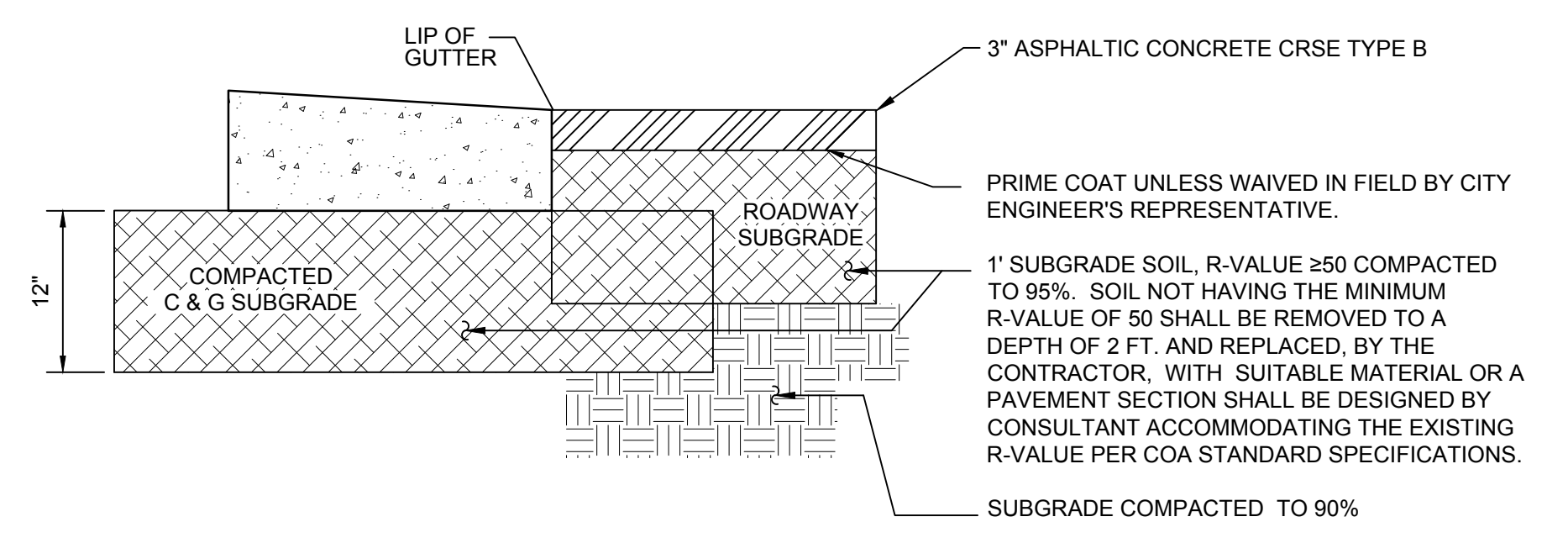
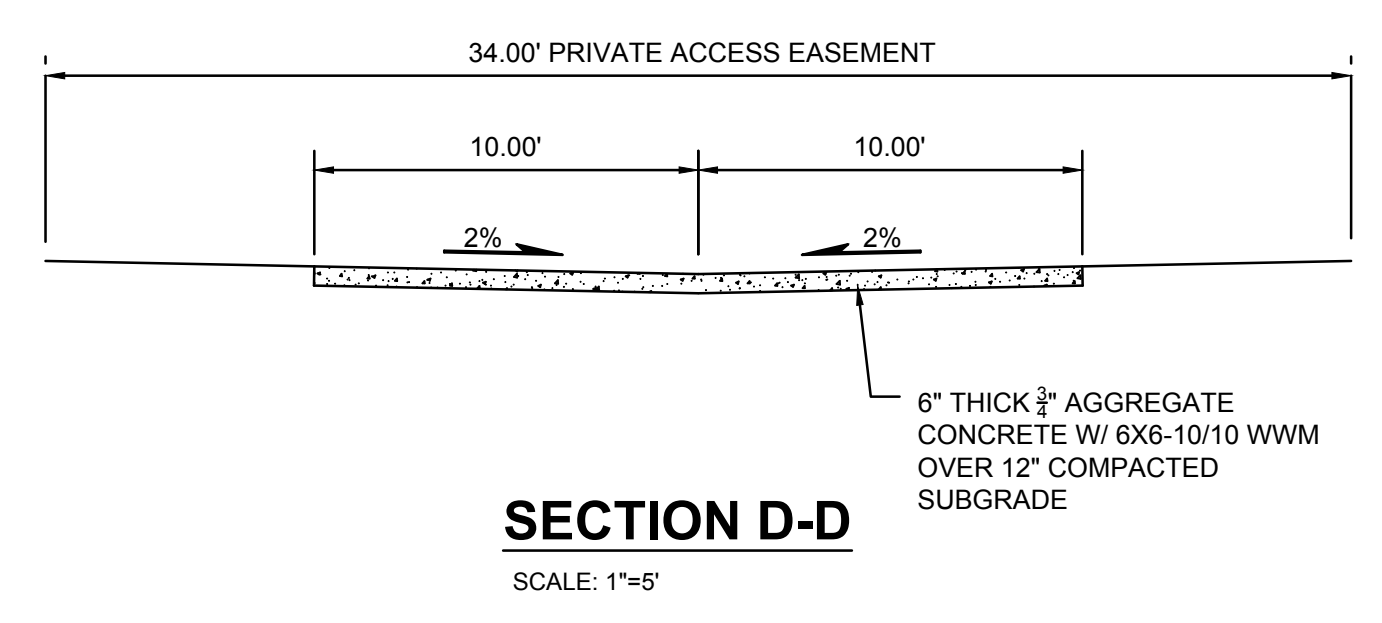
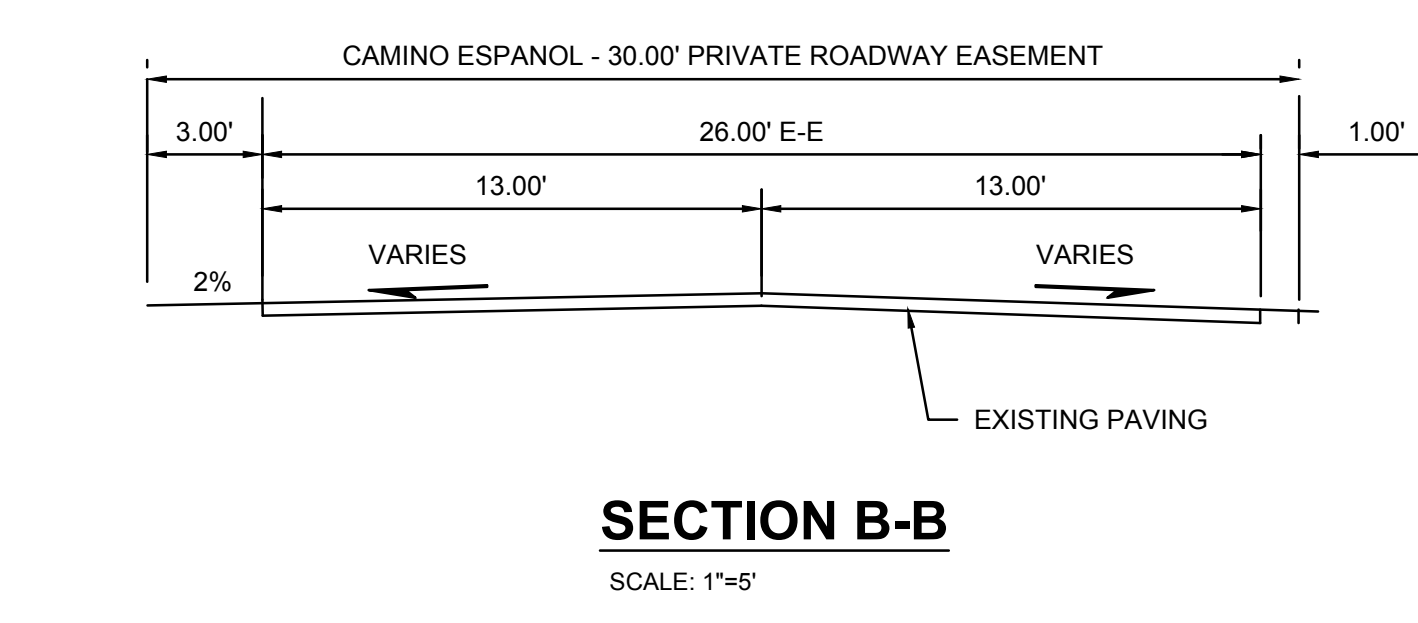
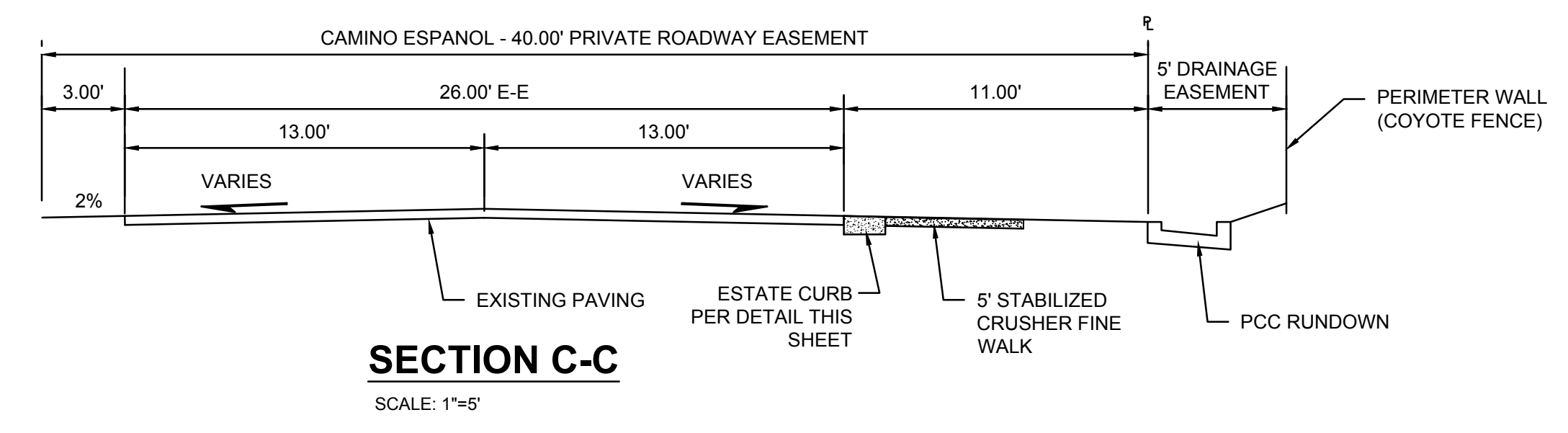
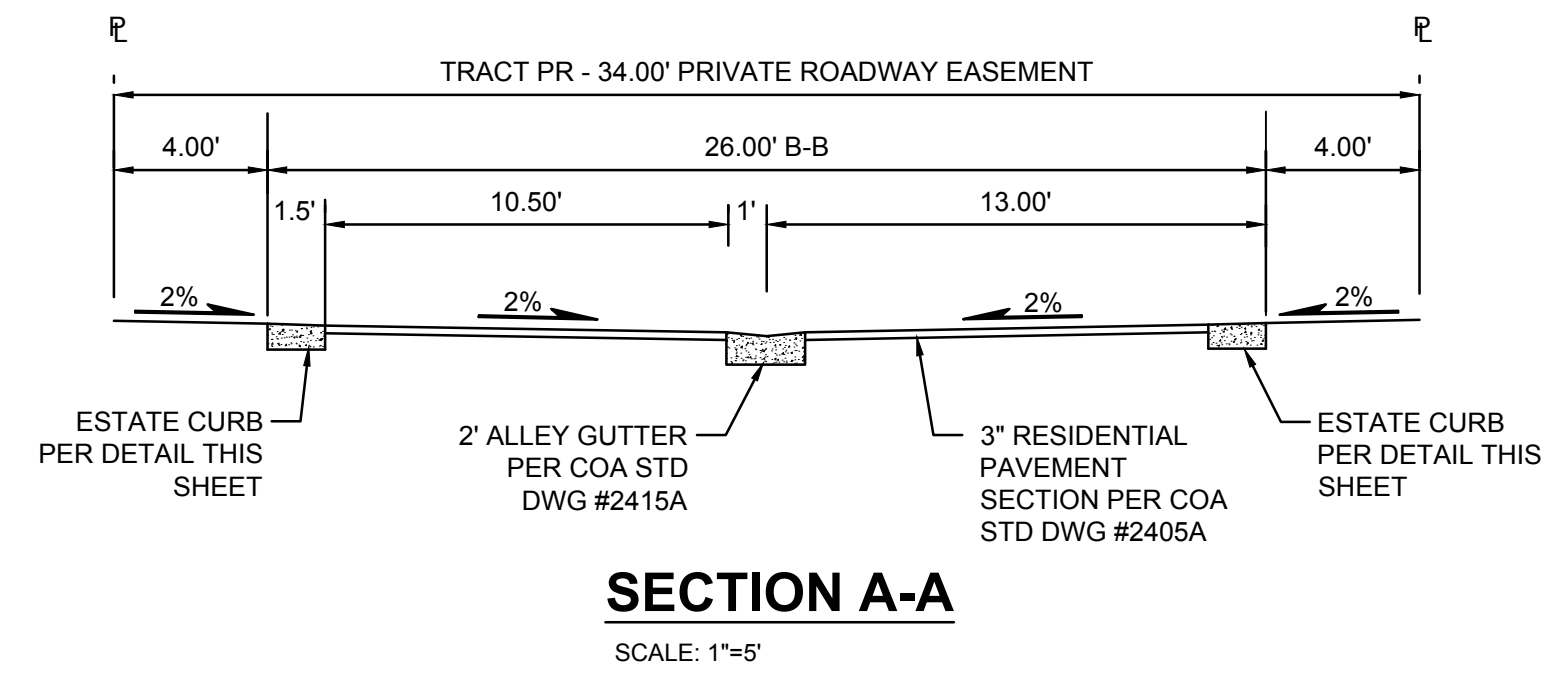
ONSITE ESTATE CURB

NTS
 MODIFIED COA STD DWG 2415B
 ESTATE CURB WITH MODIFIED DIMENSIONS SEE COA STD DWG 2415B FOR CONSTRUCTION NOTES.



CAMINO ESPANOL ESTATE CURB

NTS
 MODIFIED COA STD DWG 2415B
 ESTATE CURB WITH MODIFIED DIMENSIONS SEE COA STD DWG 2415B FOR CONSTRUCTION NOTES.



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NOT FOR CONSTRUCTION
 Engineer

SPANISH WALK SUBDIVISION
 410 CAMINO ESPANOL

ISSUE: CONCEPTUAL
PROJECT NUMBER: IA 2539
FILE: JTS/ANW
DRAWN BY: ANW
CHECKED BY: ANW
DATE: 12-12-2022

No	Date	Description

SHEET TITLE
**REFUSE/
 SOLID
 WASTE**

SHEET NUMBER
CP-101

October 18, 2022

Chair

Klarissa J. Peña
City of Albuquerque
Councilor, District 3

Vice Chair

Debbie O'Malley
County of Bernalillo
Commissioner, District 1

Tammy Fiebelkorn
City of Albuquerque
Councilor, District 7

Trudy E. Jones
City of Albuquerque
Councilor, District 8

Timothy M. Keller
City of Albuquerque
Mayor

Charlene Pyskoty
County of Bernalillo
Commissioner, District 5

Steven Michael Quezada
County of Bernalillo
Commissioner, District 2

Ex-Officio Member
Gilbert Benavides
Village of Los Ranchos
Board Trustee

Executive Director
Mark S. Sanchez

Website
www.abcwua.org

ASA Nilsson-Weber
Isaacson & Arfman
128 Monroe St NE
Albuquerque, NM 87108

RE: Water and Sanitary Sewer Availability Statement #220915

Project Name: SPANISH WALK SUBDIVISION

Project Address: NA

Legal Description: TRACT A-1, SPANISH WALK SUBD.

UPC: 101406247413140740

Zone Atlas Map: E-14

Dear Ms. Nilsson-Weber:

Project Description: The subject site is located on the south side of Camino Espanol and west of 4th street, within the City of Albuquerque. The proposed development consists of approximately 2.42 acres and the property is currently zoned PD for planned development. The property lies within the Pressure Zone 1E in the Montgomery Trunk.

The request for availability indicates plans to develop a 17-lot residential subdivision.

Existing Conditions: Water infrastructure in the area consists of the following:

- 8-inch Cast Iron distribution main (project # 09-004-74) along Camino Espanol.

Sanitary sewer infrastructure in the area consists of the following:

- 8-inch Vitrified Clay sanitary sewer collector line (project # 01-078-73) along Camino Espanol.

Water Service: New metered water service to the property can be provided via routine connection to the existing eight-inch distribution main along Camino Espanol. The engineer is responsible for determining pressure losses and sizing of the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and collar removed.

Non-Potable Water Service: Currently, there is no non-potable infrastructure available to serve the subject property.

Sanitary Sewer Service: New sanitary sewer service can be provided via routine connection to the existing eight-inch collector along Camino Espanol. No property shall share a private sewer service with any other property. The engineer is responsible for

sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

Fire protection: A standard fire hydrant flow of 1000 GPM gallons-per-minute has been applied to the existing infrastructure. As modeled using InfoWater™ computer software, the fire flow can be met. The analysis was performed by simulating the required fire flow at the existing hydrant.

All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

Cross Connection Prevention: Approved dual check valves shall be inserted on all water services within pressure zones 0W, 1W and 1E.

Any residential premises having existing private wells and who desire to connect to the public water system shall have two options as follows:

1. Customers shall permanently abandon the use of private wells by plugging the wells as accepted by the Water Authority prior to connecting to the public water system; or
2. Customers who choose to maintain their private wells shall completely sever the private well from the premises' potable plumbing system and shall install a reduced pressure principle backflow prevention assembly approved by the Water Authority at the terminal end of the water service from the public water system (e.g., service connection).

Contact Cross Connection at (505) 289-3454, for James Baca, or (505) 289-5465, for Gilbert Paris, for more information.

Easements and Property: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service. A Warranty Deed shall be required when a property will be transferred to the Water Authority for the installation of Water Authority owned facilities such as pump stations, reservoirs, wells, lift stations, or any other facility.

No side yard easements are allowed for public Water Authority infrastructure. Rather a separate tract shall be created (owned by a Home Owner's Association) with an easement granted to the Water Authority for the public waterline and/or public sanitary sewer line.

Pro Rata: Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction: Design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated through the Water Authority Connection Permit process. However, if the work will be

done within the City of Albuquerque public right-of-way, coordination with the City of Albuquerque Design Review and Construction Section must take place if this mechanism will be acceptable. Construction must be performed by a licensed and bonded public utility contractor.

Utility Expansion Charge (UEC): In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter.

Water Use: All new development shall be required to meet the standard water usage of 180 gallons per household per day which is equivalent to 75 gallons per capita per day. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

Sincerely,

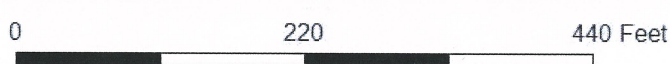


Mark S. Sanchez
Executive Director







Enclosures: Infrastructure Maps

f/ **Availability Statement #220915**

220915 - Water



Legend

-  Hydrant
-  Project Location
- Water Pipe**
- Subtype**
-  Distribution Line
-  Hydrant Leg
-  County Assessor Parcel
- Fire Flow Analysis Points**
-  Analysis Point (1)



220915 - Sanitary Sewer



0 220 440 Feet



Legend

Sewer Manhole

Project Location

Sewer Pipe

County Assessor Parcel

Subtype

COLLECTOR



Current DRC
Project Number: _____

FIGURE 12

Date Submitted: April 10, 2023

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT HEARING OFFICER (DHO) REQUIRED INFRASTRUCTURE LIST

Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DHO Project No.: _____
DHO Application No.: _____

Spanish Walk Subdivision

PROPOSED NAME OF PLAT

Tract A-1, Spanish Walk

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		26' B-B	Residential Paving Estate Curb Alley Gutter	Via Espanol	Camino Espanol	Lot 9	/	/	/
		26' B-B	Residential Paving Estate Curb Alley Gutter	Via Espanol	Lot 9	Lots 12/15	/	/	/
		26' B-B	Residential Paving Estate Curb Alley Gutter	Via Espanol	Lot 9	Lots 4/5	/	/	/
		5'	Stab. Crusher Fine Walk	Camino Espanol	45' E of NW Property Corner	38' W of NE Property Corner	/	/	/
			Private Retention Pond w/ Agreement & Covenant	Tract A			/	/	/
			Private Retention Pond w/ Agreement & Covenant	Tract B			/	/	/
		3' B-B	PCC Rundown	Backyard	Lot 1	Lot 4	/	/	/
		3' B-B	PCC Rundown	Backyard	Lot 14	Lot 17	/	/	/
							/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	8"	Sanitary Sewer	Via Espanol	Camino Espanol	Lot 9	/	/	/
<input type="text"/>	<input type="text"/>	8"	Sanitary Sewer	Via Espanol	Lot 9	Lots 12/15	/	/	/
<input type="text"/>	<input type="text"/>	8"	Sanitary Sewer	Via Espanol	Lot 9	Lots 4/5	/	/	/
<input type="text"/>	<input type="text"/>	6"	Waterline	Via Espanol	Camino Espnaol	Lot 9	/	/	/
<input type="text"/>	<input type="text"/>	6"	Waterline	Via Espanol	Lot 9	Lots 12/15	/	/	/
<input type="text"/>	<input type="text"/>	6"	Waterline	Via Espanol	Lot 9	Lots 4/5	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private		City Cnst Engineer	
							Inspector	P.E.		
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
							Approval of Creditable Items:	Approval of Creditable Items:		
							Impact Fee Administrator Signature Date	City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____

- 2 _____

- 3 _____

AGENT / OWNER	DEVELOPMENT FACILITATION TEAM APPROVALS	
---------------	---	--

Asa Nilsson-Weber
NAME (print)

Isaacson & Arfman, Inc.
FIRM

Asa Nilsson-Weber 04/10/2023
SIGNATURE - date

_____ PLANNING - date

_____ TRANSPORTATION DEVELOPMENT - date

_____ UTILITY DEVELOPMENT - date

_____ CITY ENGINEER - date

_____ PARKS & RECREATION - date

_____ AMAFCA - date

_____ CODE ENFORCEMENT - date

_____ HYDROLOGY - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

February 16, 2023

Las Ventanas NM, Inc.
8330-A, Washington Place NE
Albuquerque, NM 87113

Project # PR-2023-008085
SI-2023-00065 - Site Plan- EPC

LEGAL DESCRIPTION:

Consensus Planning Inc., agent for Las Ventanas NM, Inc., requests a Site Plan- EPC for all or a portion of Tract A-1, Spanish Walk Subdivision, located on Camino Español NW, north of Solar Rd. and west of 4th St., zoned PD, approximately 2.5 acres (E-14)
Staff Planner: Megan Jones

On February 16, 2023 the Environmental Planning Commission (EPC) voted to APPROVE Project # PR-2023-008085, SI-2023-00065 - Site Plan-EPC, based on the following Findings and subject to the following Conditions of Approval:

1. The request is for a Site Plan EPC-for a 2.5-acre site legally described as all or a portion of Tract A-1, Spanish Walk Subdivision, located on Camino Español NW, north of Solar Rd. and west of 4th St., zoned PD (the "subject site").
2. The subject site is zoned PD (Planned Development), a zoning designation received upon adoption of the IDO. The subject site was formerly zoned SU-1 for PRD (planned Residential Development).
3. The EPC is reviewing this request (SI-2023-00065) 1) due to the subject site's location in a special flood hazard area according to IDO 5-2(C), and 2) due to the PD zone designation because any new single-family development that does not show a clear pattern of single-family residential platting for low-density residential development must be reviewed by the EPC pursuant to IDO 14-16-2-6(A).
4. The applicant wishes to develop a 17-lot low-density residential subdivision, which would be pursuant to uses, site standards, and development standards of the PD (Planned-Development) zone district as determined by the EPC.
5. Once the Site Plan and requested land use and standards are approved by the EPC, the proposed site plan would go to the DFT for final sign-off and any associated platting actions would go to the DHO for review and approval.

6. The subject site is located in an Area of Change as designated by the Comprehensive Plan and is part of the Northwest Mesa Community Planning Area (CPA).
7. The subject site is within 660-feet of the 4th Street Main Street Corridor as designated by the Comprehensive Plan.
8. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
9. The request is consistent with the following Comprehensive Plan Goals and Policies regarding Community Identity from Chapter 4:
 - A. Goal 4.1 Character: Enhance, protect, and preserve distinct communities

The request would enhance, protect and preserve the surrounding community because the subject site is located in an established residential community within the 4th Street Main Street Corridor. These areas are intended to be live-work-shop communities with a decrease in density as you move away from the street to minimize impacts on nearby neighborhoods. The proposed site plan would enhance and preserve the community character by providing 17 low density single family residential lots where this type of development is generally intended.

- B. Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The proposed low-density residential subdivision would help protect the identity and cohesiveness of the surrounding residential neighborhood. The subject site is located in an established residential and pedestrian-oriented neighborhood within the 4th Street Main Street Corridor area. The proposed Site Plan includes seventeen lots that are compatible in scale with some surrounding R-1D and R-ML land uses. The surrounding Single-family residential lots vary in size so a clear pattern of development is not maintained, but the land uses are generally cohesive. Although zoned PD, the single-family development made possible by this request is pursuant to low-density residential development standards in the IDO, which would help to protect the character of building design in the area.

- C. Goal 4.2 Process: Engage communities to identify and plan for their distinct character and needs.

The applicant engaged the community through three pre-application meetings and one pre-application facilitated meeting. The applicant worked with the HOA and NA to identify the characteristics of the neighborhood that the community wished to incorporate in to the proposed development. The applicant engaged with the community in addition to the required pre-application meetings to plan for their proposed development.

- D. Policy 4.2.2- Community Engagement: Facilitate meaningful engagement opportunities and respectful interactions in order to identify and address the needs of all residents.

The applicant held one facilitated meeting with the Lee Acres Neighborhood Association on December 28, 2022 as part of the application requirements. The facilitated meeting notes, included

with the application, reflect an engagement opportunity between the applicant and the community surrounding the subject site to identify and meet the needs of the affected neighbors. The applicant has worked with the HOA and NA to mitigate potential impacts and areas of concern.

10. The request is consistent with the following Comprehensive Plan Goal and Policy regarding Complete Communities from Chapter 5: Land Use

A. Goal 5.2- Complete Communities: Foster communities where residents can live, work, learn, shop, and play together

The request would facilitate development of a 17-lot subdivision, thereby increasing housing options within an established Main Street Corridor. Main Streets are intended to develop with a mix of uses in the corridor where residents can live, work and shop.

B. Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

Sub policy c: Maintain the characteristics of distinct communities through zoning and design standards that are consistent with long-established residential development patterns.

Sub policy d: Encourage development that broadens housing options to meet a range of income and lifestyles.

Sub policy f: Encourage higher density housing as an appropriate use in the following situations:

i. Within designated Centers and Corridors

The request would generally contribute to a healthy and sustainable distinct community because it would facilitate new residential development in a designated Main Street Corridor which is intended to develop with a mix of uses with access to the pedestrian-oriented Corridor. The subject site is conveniently accessible to Main Street Corridor businesses through Camino Español NW and has access to transit and bike routes along the 4th street Corridor.

The applicant has met with the affected Neighborhood Association to establish design characteristics and needs of the surrounding community so that the development remains mostly consistent with surrounding residential development patterns. The Site Plan proposes low-density residential building design standards pursuant to the IDO on 4,500 SF lots, which is a higher density housing option than the surrounding R-1D zone districts. Although more residential development will be made possible by this request for a range of lifestyles in the existing community, it is unknown at this time if the single-family homes will be available to a range of income levels.

11. The request is consistent with the following Comprehensive Plan Goal and Policy regarding Development Patterns from Chapter 5: Land Use

A. Goal 5.3 – Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would generally promote efficient use of the land. The proposed Site Plan would promote development patterns that are similar to the surrounding neighborhood that is connected to existing infrastructure and public facilities.

- B. Policy 5.3.1: Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The subject site is located in an Area of Change and within 660' of a Main Street Corridor, which are highlighted infill development locations within the Comprehensive Plan. The proposed development would be served by existing infrastructure and public facilities. The subdivision made possible by the request would promote efficient development patterns and use of land that is similar to the surrounding area in intensity and scale.

12. The request is consistent with the following Comprehensive Plan Goals and Policies regarding City Development Areas from Chapter 5: Land Use

- A. Goal 5.6 – City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is located in an Area of Change and within 660' of the 4th Street Main Street Corridor, where growth is expected and desired. The request would encourage enable and direct low-density residential growth to an area that is intended to be developed with high density housing options, but the requested development standards create higher density lots than the established character of the area (Lee Acres).

- B. Policy 5.6.2 – Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

Sub policy c: Foster a range of housing options at various densities according to each Center or Corridor type.

The subject site is located in an Area of Change within the 4th Street Main Street Corridor, where growth and more intense development is to be directed. The request would facilitate single-family residential development at a higher density than the surrounding R-1D and R-ML zone districts and provides more housing options in a designated Corridor.

- C. Policy 5.6.4 Appropriate Transitions: Provide transitions in Areas of Change for development abutting Areas of Consistency through adequate setbacks, buffering, and limits on building height and massing.

The subject site is located in an Area of Change that abuts an Area of Consistency to the south and west of the subject site and north of Camino Español NW. The applicant has proposed 5' side yard and 15' backyard setbacks that would create a buffer between the subject site and the adjacent properties. Although the proposed setbacks do not satisfy buffer requirements for areas of change next to areas of consistency, development standards in the PD zone district are negotiated on a case by case basis. Staff recommends a 6' wall or vegetative fence to buffer the site along those edges

pursuant to IDO 14-16-5-6(E). The applicant met with the affected HOA and NA where they came to an agreement on a single-story 19' maximum building height.

13. The request is consistent with the following Comprehensive Plan Goal and Policy from Chapter 9: Housing

- A. Goal 9.1 Supply: Ensure a sufficient supply and range of high-quality housing types that meet current and future needs at a variety of price levels to ensure more balanced housing options.

The request would facilitate development of a 17-lot residential subdivision. The proposed Site Plan is following low-density residential building design standards as well as other applicable IDO standards, which are determined on a case by case basis for the PD zone district. The applicant has stated that they are following all applicable provisions of the IDO and DPM, which would help to ensure development of high-quality housing. Additionally, the applicant has met with the surrounding NA to ensure that design characteristics and needs are met to remain consistent with the surrounding area. The request would provide a sufficient supply of housing types within a Main Street corridor although does not guarantee a variety of price levels.

- B. Policy 9.2.1 Compatibility: Encourage housing development that enhances neighborhood character, maintains compatibility with surrounding land uses, and responds to its development context – i.e. urban, suburban, or rural – with appropriate densities, site design, and relationship to the street.

The request would facilitate development of a new low-density, single-family residential neighborhood in an established residential community. The request would reinforce and strengthen the surrounding neighborhood characteristics and maintain appropriate densities and site design by following IDO development standards for the low-density residential land use and other standards which are to be negotiated under the PD zone district.

14. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(J)(3) as follows:

- A. 14-16-6-6(J)(3)(a) As demonstrated by the policy analysis of the site plan, the request is consistent with applicable Comprehensive Goals and Policies.
- B. 14-16-6-6(J)(3)(b) The subject site is zoned PD, although no previous Site Plans, development agreements or regulations are in place for the Site. Site Plans requested in the PD zone district are required to be heard by the EPC and land uses and development standard are determined on a case-by-case basis.
- C. 14-16-6-6(J)(3)(c) The subject site is located in the PD zone District in which development standards are negotiated at the EPC on a case-by-case basis. The proposed site plan consists of a 17-lot single family, detached residential subdivision which would comply with all applicable provisions of the IDO and as determined though the EPC process.

Low-density residential building, site design, and other applicable standards are reflected on the proposed Site Plan. This request is following standards as outlined in IDO section 2-6(A)(5) which states development in the PD zone shall be subject to provisions in Part 14-16-5 for the type of use or structure that is being proposed, which is low-density Single Family, detached residential.

The Site plan is required to follow all DPM and any other adopted City regulations.

- D. 14-16-6-6(J)(3)(d) The City's existing infrastructure has adequate capacity for the proposed development made possible by this request.
 - E. 14-16-6-6(J)(3)(e) The applicant has demonstrated that the request would not negatively impact the surrounding area based on their responses to applicable Comp Plan Goals and Policies. The applicant has stated that they have taken steps to mitigate any adverse impacts on the surrounding community by taking their input into consideration when designing the Site Plan.
 - F. 14-16-6-6(J)(3)(f) The subject property is not within a Master Development Plan.
 - G. 14-16-6-6(J)(3)(g) The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required.
- 15. The applicant notified the Lee Acres Neighborhood Association and property owners within 100 feet of the subject site as, required.
 - 16. Two pre-submittal and one post submittal neighborhood meeting was held with the Camino Español HOA. One facilitated meeting was held with the Lee Acres NA on December 28, 2022 where neighboring property owners expressed concerns about access to Camino Español Road and wall design, heights and location.
 - 17. Staff received a letter on February 5, 2023 from a resident of Camino Español NW with concerns about traffic impacts at the entrance to Camino Español Road at 4th Street. This community member is requesting that the EPC require the Site Plan to address: the proposed wall design fit the character of the North Valley, native landscaping along Camino Español NW, dedication of Camino Español Road to the City and street improvements, and a Pedestrian Pathway along Camino Español NW within the ROW.
 - 18. The Site Plan approved by the EPC shows a general layout; however, the DHO shall subsequently consider the site plan, which could change as a result of future platting actions and/or requirements.
 - 19. Staff has crafted conditions of approval needed to improve compliance with applicable IDO standards and provide clarity for the future.

CONDITIONS:

- 1. Once the Site Plan with the requested land use, and associated site and development standards, are approved by the EPC, the proposed site plan shall go to the Development Facilitation Team (DFT) for final sign-off. The reviewer will be responsible for ensuring that the EPC Conditions have been satisfied and that other applicable City requirements have been met.
- 2. The applicant shall coordinate with the Staff Planner prior to submitting to the DFT to ensure that EPC Conditions have been met.
- 3. Any associated platting actions shall go to the DHO for review and approval after final sign-off by the DFT.

4. Site Plan:

- A. The subject site is within a Special Flood Hazard Area and shall comply with 5-4(F) Lot design and layout specifically, 5-4(F)(1) Avoidance of Sensitive Lands.
- B. Site Plan and Landscaping plan shall show the same Private access and Estate Curb/Driveway.
- C. Table of Applicable Standards for Requested PD Development shall be updated to reflect IDO section names to provide clarity and consistency for future reviews.
- D. A note shall be added to the Site Plan that states: This is a representation of the approved lot layout, but slight changes could occur at the DHO with the associated plat.
- E. Site Plan shall have Keyed Notes.
- F. The drainage easement and/or swale shall be reflected on both the Site Plan and Landscape Plan based on associated grading and drainage determination.

5. Landscape Plan:

- A. The development standards associated with the landscape plan under the PD zone district shall be clarified.
- B. Landscaping calculations shall be shown.
- C. Square footage for all planting beds shall be indicated.
- D. For Landscaped buffer areas provided, dimensions, labels, square footage of planting beds and percent of what is being provided shall be shown.
- E. Distances between street frontage trees within the subdivision shall be dimensioned.
- F. Plant legend shall be updated so that tree types are not repeated.
- G. All plants shall be selected from the Official Albuquerque Plan Palette pursuant to IDO 5-6(C)(4)(b).
- H. An Irrigation detail shall be provided.
- I. Native landscaping shall be provided along the north side of the perimeter wall along Camino Español Rd.

6. Access and Connectivity:

- A. A crusher fine pedestrian pathway shall be provided along the perimeter of the subject site on the south side of Camino Español Rd. and shall meet DPM requirements.
- B. ADA requirements shall be followed pursuant to 5-3(C)(1).

7. Walls and Fences:

- A. The perimeter wall along Camino Español NW shall match the existing design and character of other walls and fences in the neighborhood (ex. coyote fencing) to comply with the agreement made with the Camino Español HOA.
- B. The site plan shall show the modified perimeter wall along Camino Español NW.
- C. All materials and colors shall be shown on the wall/fence detail.
- D. The perimeter coyote fence shall provide articulation.

8. Signs:

- A. Signage area calculations shall be provided.
- B. Signage details shall be added to the elevations.
- C. The note regarding final sign design to be determined by owner shall be removed.
(Note: What the EPC approves is what will be required unless you go through an Administrative Amendment for the sign).

9. Elevations:

- A. Elevation sheet shall have a title block.
- B. Elevations shall include a schedule (List of colors and materials).
- C. General Notes: building design standards (pursuant to 5-11(C) Low-density residential development, etc. shall be provided.
- D. All dimensions shall be provided.

10. Condition from Solid Waste Management Department:

A site plan approved for access by the Solid Waste Department will be required

11. Condition from AMAFCA:

Approval of a CLOMR/LOMR is required prior to any grading or building approval for the site.

12. Conditions from PNM:

- A. Any existing and/or new PNM easements and facilities shall be reflected on any resulting future Site Plan or Plat.
- B. Perimeter and interior landscape design shall abide by any easement restrictions and not impact PNM facilities.

OFFICIAL NOTICE OF DECISION

Project # PR-2023-008085

February 16, 2023

Page 9 of 9

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **March 3, 2023**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the Integrated Development Ordinance (IDO), Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal an EPC Recommendation to the City Council since this is not a final decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the IDO must be complied with, even after approval of the referenced application(s).

Sincerely,

Catalina Lehner

for Alan M. Varela,
Planning Director


AV/CL/MJ

cc: Las Ventanas NM Inc., tscott@lasventanasnm.com
Consensus Planning, cp@consensusplanning.com , frank@consensusplanning.com
Jeri seaborn, jmseaborn@gmail.com
Susan Kelly, susankellyabq@gmail.com
Americo Chavez, 721 Camino Espanol NW, Albuquerque, NM 87107
John G. Vay, jdg2022@outlook.com
Lee Acres NA, Allyson Esquibel, abroyer1@msn.com
Lee Acres NA, Nissa Patterson, nissapatterson@gmail.com
Legal, dking@cabq.gov
EPC File



Memorandum

To: Megan Jones, Senior Planner, City of Albuquerque

From: Jim Strozier, Principal, Consensus Planning, Inc. 

Date: 4/12/23

Re: Conditions for 4th & Solar Final Sign off PR-2023-008085, SI-2023-00065

CONDITIONS:

1. Once the Site Plan with the requested land use, and associated site and development standards, are approved by the EPC, the proposed site plan shall go to the Development Facilitation Team (DFT) for final sign-off. The reviewer will be responsible for ensuring that the EPC Conditions have been satisfied and that other applicable City requirements have been met.

Agreed, this letter outlines how each condition has been met.

2. The applicant shall coordinate with the Staff Planner prior to submitting to the DFT to ensure that EPC Conditions have been met.

This memo and the updated plans meeting all of the following conditions have been sent to the staff planner for review.

3. Any associated platting actions shall go to the DHO for review and approval after final sign-off by the DFT.

Agreed

4. Site Plan:

- A. The subject site is within a Special Flood Hazard Area and shall comply with 5-4(F) Lot design and layout specifically, 5-4(F)(1) Avoidance of Sensitive Lands.

A note has been added to the site plan that states "This property is encumbered by a Flood Hazard Area - Zone AH with a water surface elevation of 4981.0. Camino Español is flat with no curb and gutter and currently drains onto the adjacent properties where the water ponds. The adjacent residential developments to the west and south which are in the same flood zone contain the stormwater on their properties--there are existing walls along the west and south property lines that prevent stormwater from coming onto the Spanish Walk property."

- B. Site Plan and Landscaping plan shall show the same Private access and Estate Curb/Driveway.

Both the site plan and landscape plan depict the same information regarding the private access and estate curbs.

- C. Table of Applicable Standards for Requested PD Development shall be updated to reflect IDO section names to provide clarity and consistency for future reviews.

The table on the site plan has been updated to reflect the names of each IDO section being referenced.

- D. A note shall be added to the Site Plan that states: This is a representation of the approved lot layout, but slight changes could occur at the DHO with the associated plat.

The note has been added to the site plan.

- E. Site Plan shall have Keyed Notes.

Keyed notes have been added to the site plan.

- F. The drainage easement and/or swale shall be reflected on both the Site Plan and Landscape Plan based on associated grading and drainage determination.

Both the site plan and the landscape plan reflect the 5 foot drainage easement and associated retention ponds.

5. Landscape Plan:

- A. The development standards associated with the landscape plan under the PD zone district shall be clarified.

Not Applicable. The Site Plan follows the IDO standards for single-family residential and there are no associated landscape requirements. Landscape requirements pursuant to IDO section 5-6(B)(1)(a) are only applicable to multi-family, mixed-use, non-residential development, or accessory parking structures. IDO section 5-6(C)(2)(c) line 1 and 2 are indicated on the associated landscape plan.

- B. Landscaping calculations shall be shown.

Landscaping calculations have been shown on the landscape plan and state "Landscape coverage requirements specify tree canopies and ground-level plants shall cover a minimum of 75% of the total landscape area. Each lot has 565 square feet of landscaping, a minimum of 25% shall be provided as ground-level plants (shrubs, grasses, etc.) of the required vegetative coverage." Provided live vegetative coverage 422 square feet. Provided ground-level coverage 100 square feet.

- C. Square footage for all planting beds shall be indicated.

Not applicable. There are no landscape requirements for single-family residential but each lot will have an average of 565 square feet of landscaping.

- D. For Landscaped buffer areas provided, dimensions, labels, square footage of planting beds and percent of what is being provided shall be shown.

Not applicable. IDO section 5-6(E)(5)(a) Areas of Consistency Next to Areas of Change states that in a Main Street area, the buffer requirement is equal to or greater than 6 feet of either a wall, fence or vegetative screen shall be provided. The only areas where this would be required are along the southern and western edge of the property where a 6-foot wall already exists; therefore, the construction of a new wall is not required.

- E. Distances between street frontage trees within the subdivision shall be dimensioned.

The Landscape Plan states "Street trees are based upon an average spacing of 40 feet O.C."

F. Plant legend shall be updated so that tree types are not repeated.

The plant legend has been updated and no tree types are repeated.

G. All plants shall be selected from the Official Albuquerque Plant Palette pursuant to IDO 5-6(C)(4)(b).

All plants have been selected from the Official Albuquerque Plant Palette.

H. An Irrigation detail shall be provided.

A note has been added to the landscape plan that states "Irrigation system standards outlined in the water conservation landscaping and water waste ordinance shall be strictly adhered to. The trees will be provided with (6) 2 GPH emitters and shrubs/ground cover will be provided with (2) 1 GPH emitters."

I. Native landscaping shall be provided along the north side of the perimeter wall along Camino Español Rd.

Native landscaping has been provided on the north side of the perimeter wall abutting Camino Español.

6. Access and Connectivity:

A. A crusher fine pedestrian pathway shall be provided along the perimeter of the subject site on the south side of Camino Español Rd. and shall meet DPM requirements.

A crusher fine path has been provided on the Site Plan and details have been added to the detail sheet. The DPM does not have standards for crusher fine paths; therefore, the DPM requirements are not applicable.

B. ADA requirements shall be followed pursuant to 5-3(C)(1).

The crusher fine path is ADA-compliant.

7. Walls and Fences:

A. The perimeter wall along Camino Español NW shall match the existing design and character of other walls and fences in the neighborhood (ex. coyote fencing) to comply with the agreement made with the Camino Español HOA.

The perimeter wall along Camino Espanol is a coyote fence with either rocky mountain juniper or ponderosa pine (bark still attached). The coyote fence is indicated on the Site Plan and details are provided on the detail sheet.

B. The site plan shall show the modified perimeter wall along Camino Español NW.

The Site Plan clearly shows the coyote fence.

C. All materials and colors shall be shown on the wall/fence detail.

As stated above the coyote fence will be either rocky mountain juniper or ponderosa pine (bark still attached) the colors will be wood colored.

D. The perimeter coyote fence shall provide articulation.

The plane of the fence is broken up with a bump out on each side of the entry to provide the requested articulation.

8. Signs:

A. Signage area calculations shall be provided.

Calculations for the signage are shown on the detail sheet.

B. Signage details shall be added to the elevations.

Not applicable. The signage has been indicated on the Site Plan as keyed note 7 and is listed on the detail sheet as detail 1. The size of the sign is also indicated on the detail sheet.

C. The note regarding final sign design to be determined by owner shall be removed.

(Note: What the EPC approves is what will be required unless you go through an Administrative Amendment for the sign).

This note has been removed.

9. Elevations:

A. Elevation sheet shall have a title block.

A title block has been added to the elevation sheet.

B. Elevations shall include a schedule (List of colors and materials).

A schedule (list of colors and materials) has been added to the elevation sheet.

C. General Notes: building design standards (pursuant to 5-11(C) Low-density residential development, etc. shall be provided.

Notes have been added that cover all low-density residential standards that are being followed.

D. All dimensions shall be provided.

Dimensions have been added to the elevation sheet.

10. Condition from Solid Waste Management Department:

A site plan approved for access by the Solid Waste Department will be required.

A note has been added to the plan that is signed by Herman Gallegos and states "Approved for access by the Solid Waste Department for 17 lots. Each lot has been approved for 1 trash and 1 recycle cart per lot. Nothing can overhang where carts are placed on service day, or vehicles cannot be parked at the curb on service day from 7AM-8PM or approval will be void. The Solid Waste Department will need to inspect the concrete for Private Access Easement. Herman Gallegos 03-01-23"

11. Condition from AMAFCA:

Approval of a CLOMR/LOMR is required prior to any grading or building approval for the site.

A note has been added to the G&D that states “A LOMR-F shall be submitted to remove the floodplain on the lots.”

12. Conditions from PNM:

A. Any existing and/or new PNM easements and facilities shall be reflected on any resulting future Site Plan or Plat.

A note has been added that reflects this comment.

B. Perimeter and interior landscape design shall abide by any easement restrictions and not impact PNM facilities.

A note has been added that reflects this comment.

POST EPC MEMORANDUM

TO: Development Review Facilitation Team (DFT)

Consensus Planning LLC

FROM: Megan Jones, Senior Planner

DATE: 04/28/2023

RE: PR-2023-008085 SI-2023-00065, Spanish Walk (4th & Solar) Site Plan – EPC

The agent (Consensus Planning) for the Spanish Walk (PD zone district) Site Plan-EPC, has worked with Staff to fulfill post EPC requirements to meet Conditions of Approval, 1-12, for SI-2023-00065. See EPC Notice of Decision (NOD) dated 02-16-2023

The applicant provided a letter which shall be included with the DFT submittal describing how each condition has been satisfied. Updated Site Plan drawings are attached, which depict these conditions.

1. Conditions 1-3 have been met or are agreed upon by the applicant. City Staff is responsible for reviewing that conditions have been met and that the Site Plan complies with all applicable City requirements including the DPM before a building permit is issued.
2. Condition 4, A-F have been satisfied.
3. Condition 5, A: The applicant has provided a landscape plan for the subdivision, which is not required for residential. The landscape plan is following IDO section s5-6(B)(1)(a), 5-6(C)(2)(c), 5-6(E)(5)(a), and IDO Table 5-6-5.
4. Condition 5, B is satisfied.
5. Condition 5-6, C: The applicant has stated that this conditions not applicable because there are no landscape requirements for single family residential. They are providing an average of 565 SF of landscaping per lot on average, which is noted on the site plan if the DFT determines this is necessary.
6. Condition 5, D: has been met. The applicant has provided dimensions and noted the average SF of planting beds where appropriate. The applicant has also provided a note stating that street tree distances are an average, since there is not a landscaping requirement for this residential use.

The applicant's response to 5, D is adequate, because a 6' wall or screen is required on lots in areas of consistency next to areas of change, which has been satisfied.

7. Condition 5, E-I have been satisfied.
8. Condition 6, A & B are satisfied: The applicant has provided the required ADA crusher fine path, but has noted that the DPM does not have standards for this type of pathway.

9. Condition 7, A-D conditions are satisfied. DFT staff shall ensure the fence details are provided.
10. Condition 8, A-C have been satisfied.
11. Condition 9, A-D have been satisfied.
12. Condition 10 has been met. Solid Waste has signed the Site Plan.
13. Condition 11 Approval of a CLOMR/LOMR is required prior to grading/building permit.
14. Condition 12, A & B have been satisfied.

Consensus Planning, Agent for Las Ventanas Homes, has satisfied all Conditions for NOD dated February 16, 2023 (PR-2023-008085, SI-2023-0065) Site Plan, EPC. The DFT can move forward with reviewing the Site Plan approved by the EPC. Condition 5, D shall be reviewed by the DFT.

Megan Jones

Megan Jones, Senior Planner
Current Planning, Urban Design & Development
City of Albuquerque Planning Department

November 1, 2022

City of Albuquerque
Planning Department
600 2nd St NW,
Albuquerque, NM 87102

Re: Property Owner Letter of Authorization

To Whom It May Concern:

Leppke Investments hereby authorizes Consensus Planning, Inc. to obtain information, submit and process applications and all processes associated with the approval of a Site Plan – EPC for the subject property, represent the project at meetings and public hearings, and act as our agent related to the property legally described as: Tract A-1, Spanish Walk Subdivision.


Sincerely,

Leppke Investments

Signature:

Printed Name: GARY C. LEPPKE

FORM P: PRE-APPROVALS/SIGNATURES

Legal Description & Location: TRACT A-1 SPANISH WALK
EPC# PR-2023-008085

Job Description: SPANISH WALK SUBDIVISION

Hydrology: HYDROLOGY # E14D002A

- Grading and Drainage Plan Approved NA
- AMAFCA Approved NA
- Bernalillo County Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Hydrology Department

Date

Transportation:

- Traffic Circulations Layout (TCL) Approved NA
- Traffic Impact Study (TIS) Approved NA
- Neighborhood Impact Analysis (NIA) Approved NA
- Bernalillo County Approved NA
- MRCOG Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Transportation Department

Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA): AVAIL. # 220915

- Water/Sewer Availability Statement/Serviceability Letter Approved NA
- ABCWUA Development Agreement Approved NA
- ABCWUA Service Connection Agreement Approved NA

Edwin Bergeron
ABCWUA

7/6/2023
Date

- Infrastructure Improvements Agreement (IIA*) Approved NA
- Solid Waste Department Signature on the plan Approved NA
- Fire Marshall Signature on the plan Approved NA

* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

FORM P: PRE-APPROVALS/SIGNATURES

Legal Description & Location: TRACT A-1 SPANISH WALK
EPC# PR-2023-008085

Job Description: SPANISH WALK SUBDIVISION

Hydrology: HYDROLOGY # E14D002A

- Grading and Drainage Plan X Approved NA
- AMAFCA Approved X NA
- Bernalillo County Approved X NA
- NMDOT Approved X NA
- MRGCD Approved X NA

Reggie Cho
Hydrology Department

7/6/2023
Date

Transportation:

- Traffic Circulations Layout (TCL) Approved NA
- Traffic Impact Study (TIS) Approved NA
- Neighborhood Impact Analysis (NIA) Approved NA
- Bernalillo County Approved NA
- MRCOG Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Transportation Department

Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA): AVAIL. # 220915

- Water/Sewer Availability Statement/Serviceability Letter Approved NA
- ABCWUA Development Agreement Approved NA
- ABCWUA Service Connection Agreement Approved NA

ABCWUA

Date

- Infrastructure Improvements Agreement (IIA*) Approved NA
- Solid Waste Department Signature on the plan Approved NA
- Fire Marshall Signature on the plan Approved NA

* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

FORM P: PRE-APPROVALS/SIGNATURES

Legal Description & Location: TRACT A-1 SPANISH WALK
EPC# PR-2023-008085

Job Description: SPANISH WALK SUBDIVISION

Hydrology: HYDROLOGY # E14D002A

- Grading and Drainage Plan Approved NA
- AMAFCA Approved NA
- Bernalillo County Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Hydrology Department

Date

Transportation:

- Traffic Circulations Layout (TCL) Approved NA
- Traffic Impact Study (TIS) Approved NA
- Neighborhood Impact Analysis (NIA) Approved NA
- Bernalillo County Approved NA
- MRCOG Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Ernest Armijo

Transportation Department

7/24/2023

Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA): AVAIL. # 220915

- Water/Sewer Availability Statement/Serviceability Letter Approved NA
- ABCWUA Development Agreement Approved NA
- ABCWUA Service Connection Agreement Approved NA

ABCWUA

Date

- Infrastructure Improvements Agreement (IIA*) Approved NA
- Solid Waste Department Signature on the plan Approved NA
- Fire Marshall Signature on the plan Approved NA

* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)