



# Memorandum

**To:** Development Facilitation Team

**From:** Jim Strozier, Consensus Planning, Inc.

A handwritten signature in black ink, appearing to be 'J. Strozier', is written over the 'From:' line.

**Date:** January 19, 2024

**Re:** DFT Final Sign-Off NDBP Aquatic Center PR 2023-008180

## **CONDITIONS OF APPROVAL – SI 2024–00062 – DFT Final Sign-Off**

1. The project and application numbers must be added to the Site Plan top sheet.

*Applicant Response: The project and application numbers have been added to the Site Plan top sheet.*

2. All architectural plan sheets must be final sheets that are sealed and signed by the architect licensed in the State of New Mexico.

*Applicant Response: The Site Plan drawings are final and all drawings have been sealed and signed by the architect, engineer, and landscape architect licensed in the State of New Mexico.*

3. The landscaping plan must be revised to show the plant palette and other above ground improvements in the waterline easement running diagonally through the aquatic center area are acceptable to the ABCWUA.

*Applicant Response: The landscape plan has been revised to show the plant palette and other above ground improvements in the waterline easement as required and are acceptable to the ABCWUA.*

4. The Infrastructure list must be signed by the DMD Director.

*Applicant Response: The infrastructure list has been signed by the DMD Director.*

**PLANNING DEPARTMENT  
DEVELOPMENT SERVICES DIVISION  
600 2nd Street NW, Ground Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3946**

## **OFFICIAL NOTIFICATION OF DECISION**

City of Albuquerque  
Parks & Recreation Department  
1801 4<sup>th</sup> Street NW  
Albuquerque, NM 87102

**Project# PR-2023-008180**  
**Application#**  
**SI-2024-00062 EPC SITE PLAN FINAL SIGN-OFF**

### **LEGAL DESCRIPTION:**

For all or a portion of:

**Tract A, Plat of Tract A, North Domingo Baca Park zoned NR-PO-A, located at 7511 Carmel NE west of Wyoming Blvd. and south of Corona Ave. containing approximately 5 acre(s). (C-19)**

On January 17, 2024, the Development Facilitation Team (DFT) administratively approved the above referenced application for the EPC Site Plan Final Sign-off, based on the following Findings:

1. The Environmental Planning Commission (EPC) approved this project on April 20, 2023 per two cases: (1) PR-2023-008180 / SI-2023-00628, a Master Plan Major Amendment to the North Domingo Baca Park Master Development Plan covering 40 acres, and (2) PR-2023-8180, SI-2023-00282, a Site Plan-EPC for a 5-acre parcel to be developed as an aquatic center. The City of Albuquerque would develop a 58,000 SF Aquatic Center, with an outdoor recreational pool and associated landscaping and parking.
2. The EPC found that the Site Plan met all applicable IDO Development Standards and was consistent with the North Domingo Baca Park Master Development Plan Standards. The EPC Condition of Approval #1 for PR-2023-008180 / SI-2023-00282 stated that “the proposed site plan shall go to the Development Facilitation Team for final sign-off.”

3. The applicant team met with the EPC Planner and the Planner provided a memo on 12/20/23 indicating that all conditions of approval from the EPC have been fulfilled. The memo states that “DFT staff is responsible for reviewing that the Site Plan complies with all applicable City development standards and regulations, including the DPM before a building permit is issued.”
4. A conceptual Traffic Circulation Layout (TCL) was approved by Transportation. The full TCL is required prior to receiving a Building Permit.
5. Code Enforcement identified that the parking and other requirements were per the approved and amended North Domingo Park Master Development Plan. All on-site parking is shared between all park uses for a total of 720 spaces required and 720 spaces provided. The aquatic center is providing 90 additional parking spaces, 6 motorcycle spaces, and 28 bicycle parking spaces.
6. The Hydrology Division approved Grading and Drainage Plan (C19D043E) and indicated that the necessary improvements are in place that removed the property from the flood plain. The necessary paperwork needs to be filed with AMAFCA for the Letter of Map Revision (LOMR).
7. Albuquerque Bernalillo County Water Utility Authority staff stated that their water line easements should not have trees and other improvements that would be difficult to remove when the water lines would need to be serviced. Revisions in the landscaping plan are needed in the waterline easement.
8. An Infrastructure List was approved with the Site Plan. The signature of the DMD Director on the Infrastructure list will suffice in lieu of an Infrastructure Improvements agreement. The Infrastructure list includes the replacement of a stretch of sidewalk along Carmel to accommodate the new parking area, and also includes the processing of a LOMR.
9. Pursuant to 6-6(l)(3) Review and Decision Criteria: An application for a Site Plan – EPC with a Development Facilitation Team Sign-off shall be approved if it meets all of the following criteria:
  - a. *6-6(l)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.*

The EPC determined that the features and improvements depicted on the Site Plan meet the IDO Effective Date of July 2023 requirements. DFT Staff confirmed that DPM requirements were also met.

- b. 6-6(l)(3)(d) *The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.*

The site has access to a full range of urban services including utilities, roads and emergency services. A conceptual Traffic Circulation Layout was required and approved. A new sidewalk segment along Carmel was added to the Infrastructure List. The site has an approved Grading and Drainage Plan. The paperwork to complete the LOMR is a condition of the infrastructure list.

**Conditions:**

1. The project and application numbers must be added to the Site Plan top sheet.
2. All architectural plan sheets must be final sheets that are sealed and signed by the architect licensed in the State of New Mexico.
3. The landscaping plan must be revised to show the plant palette and other above ground improvements in the waterline easement running diagonally through the aquatic center area are acceptable to the ABCWUA.
4. The Infrastructure list must be signed by the DMD Director.

**APPEAL:** If you wish to appeal this decision, you must do so within 15 days of the DFT's decision or by **FEBRUARY 1, 2024**. The date of the DFT's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(U) of the Integrated Development Ordinance (IDO). Appeals should be submitted via email to [PLNDRS@CABQ.GOV](mailto:PLNDRS@CABQ.GOV) (if files are less than 9MB in size). For files larger than 9 MB in size, please send an email to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) and request that staff send you a link via Smartfile to upload the files to. A Non-Refundable filing fee will be calculated and you will receive instructions about paying the fee online.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Applicants submitting for building permit prior to the completion of the appeal period do so at their own risk. Successful applicants are reminded that there may be other City regulations of the IDO that must be complied with, even after approval of the referenced application(s).

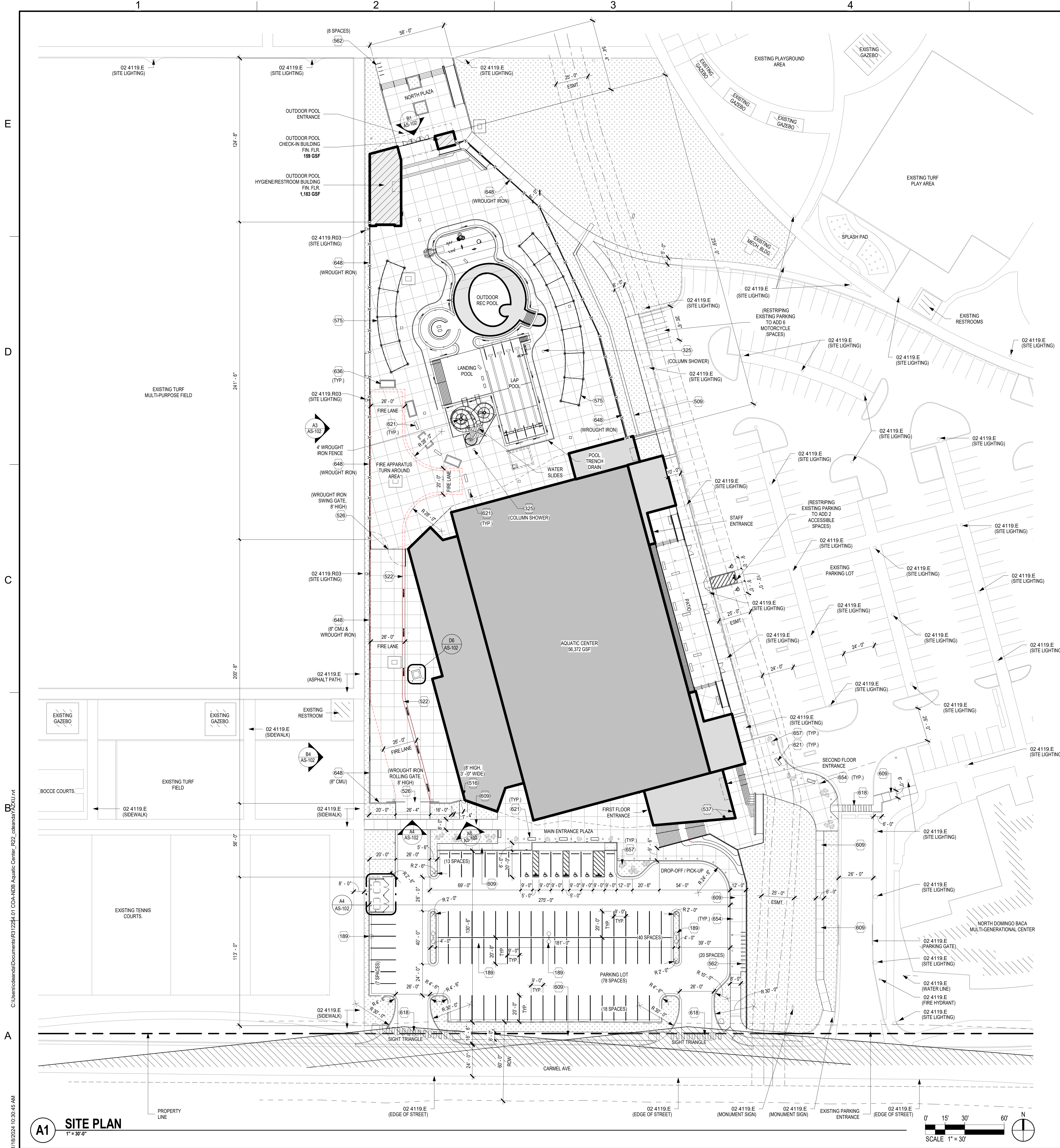
Sincerely,

A handwritten signature in black ink, appearing to read 'J. Varela', written in a cursive style.

for Alan Varela,  
Planning Director

JW

Consensus Planning, 302 Eighth Street, NW, Albuquerque, NM 87102



### DESIGN CRITERIA

**DESIGN STANDARDS:** NDB AQUATIC CENTER IS FOLLOWING IDO DESIGN STANDARDS AND CP BUILDING DESIGN STANDARDS. NONE OF THESE REQUIREMENTS ARE IN CONFLICT WITH THE NORTH DOMINGO BACA MASTER PLAN STANDARDS.

**PROJECT NAME:** NORTH DOMINGO BACA AQUATIC CENTER (NDB AQUATIC CENTER)

**PROJECT LOCATION:** 7401 CARMEL AVE NE, ALBUQUERQUE, NM 87113

**LEGAL DESCRIPTION:** TR A PLAT OF TRACT A NORTH DOMINGO BACA PARK

**PARCEL SIZE:** PROJECT SITE IS A 5 ACRE PORTION OF THE LARGER 39.6511 ACRE NORTH DOMINGO BACA PARK MASTER DEVELOPMENT PLAN AREA.

**ZONE/ATLAS:** C-19-Z

**ZONING SUMMARY:** NR-PO-4 CITY OWNED OR MANAGED PUBLIC PARKS - OPEN SPACE / RECREATION / AGRICULTURAL, COMMUNITY PARK AND RELATED FACILITIES

**BUILDING HEIGHT:** VARIES. THE DESIGN OF THE AQUATIC CENTER HAS A SPLIT LEVEL SITE WHERE THE EAST ELEVATION MAX BUILDING HEIGHT IS 28'-4" ABOVE FINISH GRADE. WEST ELEVATION MAX BUILDING HEIGHT IS 29'-2" ABOVE FINISH GRADE. NORTH ELEVATION MAX BUILDING HEIGHT 45'-10" ABOVE FIRST FLOOR FINISH GRADE.

PROPOSED BUILDING AREA	51,888 NSF	56,372 GSF
MAIN BUILDING		
GROUND FLOOR	42,505 NSF	45,900 GSF
SECOND FLOOR	9,383 NSF	10,577 GSF
NORTH BUILDING	994 NSF	1,342 GSF
HYGIENE BUILDING	853 NSF	1,183 GSF
CHECK-IN BUILDING	91 NSF	159 GSF
<b>TOTAL PROPOSED FACILITY:</b>	<b>57,714 GSF</b>	
OUTDOOR POOL DECK SF:	21,958 SF	
BUILDING SERVICE ACCESS SF:	10,292 SF	

REFERENCE KEYNOTES	DFT SIGNATURE BLOCK
02 4119.E EXISTING TO REMAIN 02 4119.R03 RELOCATED ITEM	<b>PROJECT NUMBER:</b> 705286 <b>Application Number:</b> SI-2024-00062

### SHEET KEYNOTES

189 LIGHT FIXTURE.  
225 PLUMBING FIXTURE.  
509 SWALE.  
516 WROUGHT IRON GATE. POWDER COATED BLACK.  
522 FIRE LANE CONCRETE STRIPING. PAINTED RED. NO PARKING.  
528 FIRE ACCESS GATE. 8" HIGH WROUGHT IRON SLIDING GATE. POWDER COATED BLACK.  
537 BUILDING SIGN. ALUMINUM CHARACTERS.  
SITE FURNISHING. INGROUND MOUNT BIKE RACK. MFG. 'TREETOP PRODUCTS PARK II BIKE RACKS. MODEL 'INGROUND MOUNT 2 - BIKE RACK BLACK' OR APPROVED EQUAL.  
575 SHADE STRUCTURE. POWDER COATED BLACK.  
609 CONCRETE FLATWORK. SEE CIVIL.  
618 CROSSWALK.  
621 INTEGRAL COLORED CONCRETE BENCH WITH 45 DEGREE CHAMFERED EDGE.  
636 PLANTER. SEE SHEET L-501.  
648 8'-0" HIGH, PRIVACY WALL.  
654 LIGHT BOLLARD. SEE ELECTRICAL.  
657 BOLLARD. SEE SHEET L-501.

**Is an Infrastructure List required? ( ) Yes ( ) No** If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DFT SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

### PARKING CALCULATIONS

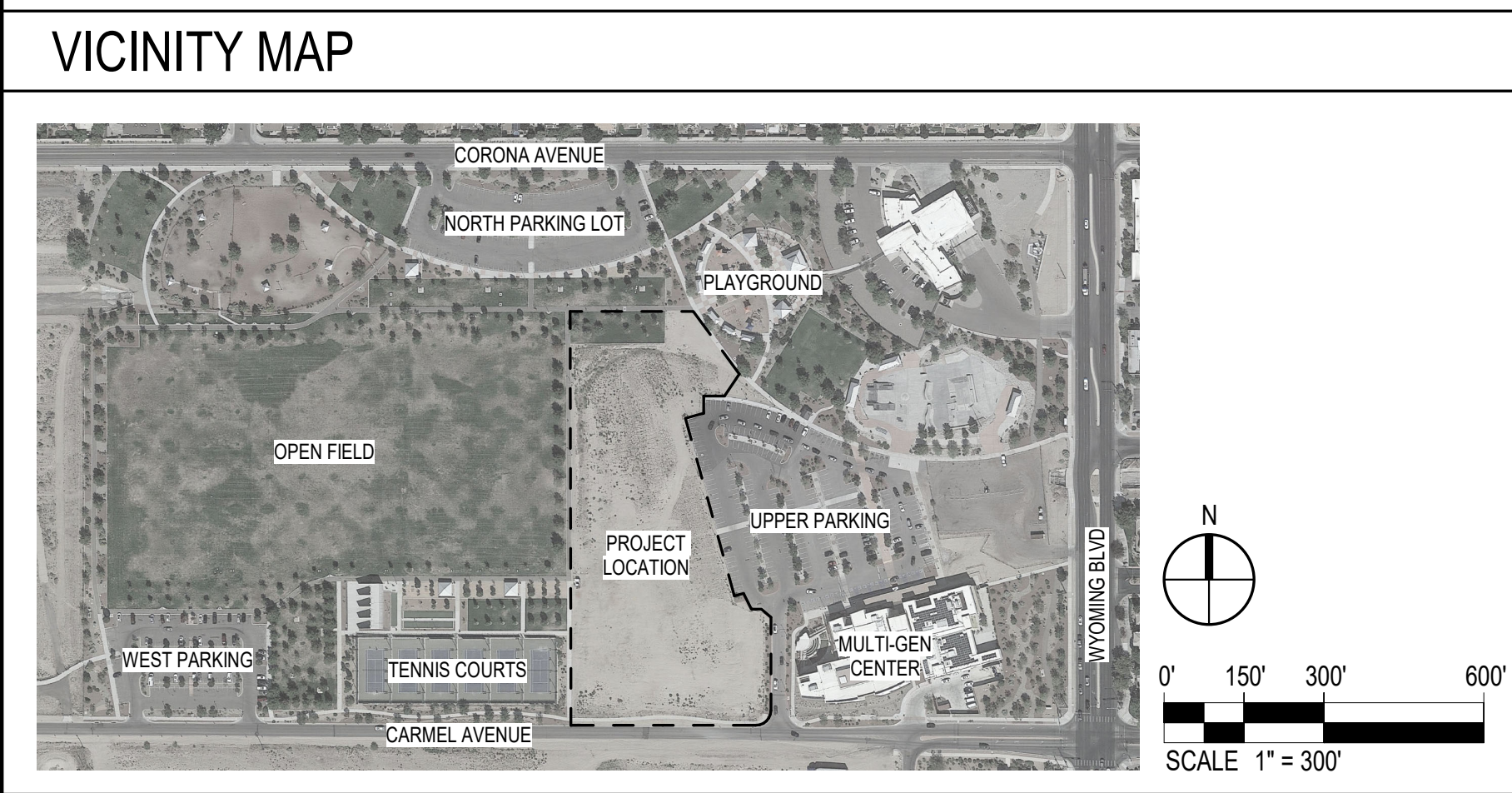
	OFF STREET PARKING TABLE
<b>AQUATIC CENTER</b>	200 SPACES REQUIRED
NDBP MASTER PLAN	
*ACTUAL PARKING REQUIREMENTS MAY VARY DUE TO POTENTIAL FOR SHARED PARKING (NDBP MASTER PLAN FIG 14) AND PARK USES THAT ARE NOT BUILT.	
IDO TABLE 5-5-2 (SWIMMING POOL)	DESIGN CAPACITY 850 SEATS = 283 REQUIRED SPACES
1 SPACE/3 PERSON DESIGN CAPACITY	8 SPACES / 2 VAN ACCESSIBLE * SECTION 2-NMBC TABLE 1106.1
REQUIRED ACCESSIBLE PARKING	(8 PROVIDED / 2 VAN ACCESSIBLE) ACCESSIBLE PARKING SPACE TABLE
TOTAL REQUIRED PARKING	283 spaces
TOTAL PROVIDED NEW PARKING	78 spaces
TOTAL REQUIRED MOTORCYCLE PARKING	5 SPACES (6 PROVIDED)
TOTAL REQUIRED BICYCLE PARKING	28 SPACES (28 PROVIDED)
<b>ENTIRE PARK</b>	720 SPACES REQUIRED
NDBP MASTER PLAN	
IDO TABLE 5-5-2 MINIMUM OFF-STREET PARKING REQUIREMENTS	633 SPACES REQUIRED
TOTAL SPACES PROVIDED (WITH NEW AQUATIC CENTER)	*706 SPACES PROVIDED

NOTE: ALL ON-SITE PARKING IS SHARED BETWEEN ALL PARK USES AS OUTLINED IN THE NORTH DOMINGO BACA PARK MASTER PLAN. PARKING LOTS/SPACES ARE NOT PROVIDED FOR THE USE AND CONVENIENCE OF SPECIFIC INDIVIDUAL PROGRAMMED USES.

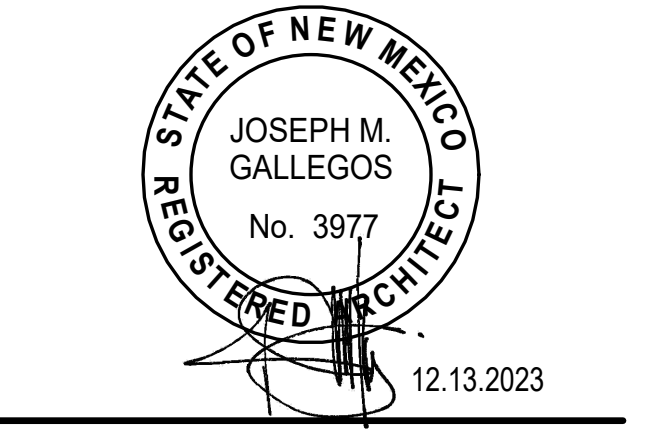
\*THE PARKING PROVIDED WAS REDUCED TO MEET SOLID WASTE AND THE ABCWUA REQUIREMENTS. ADDITIONAL ON-STREET PARKING IS PROVIDED ALONG CARMEL AVENUE TO ADDRESS THESE CHANGES.

### LEGEND

EXISTING	MAIN AQUATIC CENTER BUILDING	NEW SIDEWALK
NEW	OUTDOOR POOL BUILDING	CRUSHER FINES
PROPERTY LINE		



**HUITT ZOLLARS**  
6501 Americas Parkway NE, Suite 830  
Albuquerque, New Mexico 87110-5375  
505.883.8114  
www.huittzollars.com



## NORTH DOMINGO BACA AQUATIC CENTER PHASE 1

7401 Carmel Ave. NE  
Albuquerque, NM 87113

City of Albuquerque  
1801 4th St. NW, Albuquerque, NM, 87102  
CITY PROJECT NO.: 705286  
PROJECT NO.: R312254.01  
DRAWN BY: STAFF  
REVIEWED BY: STAFF  
APPROVED BY: STAFF

ISSUE DRAWING LOG:

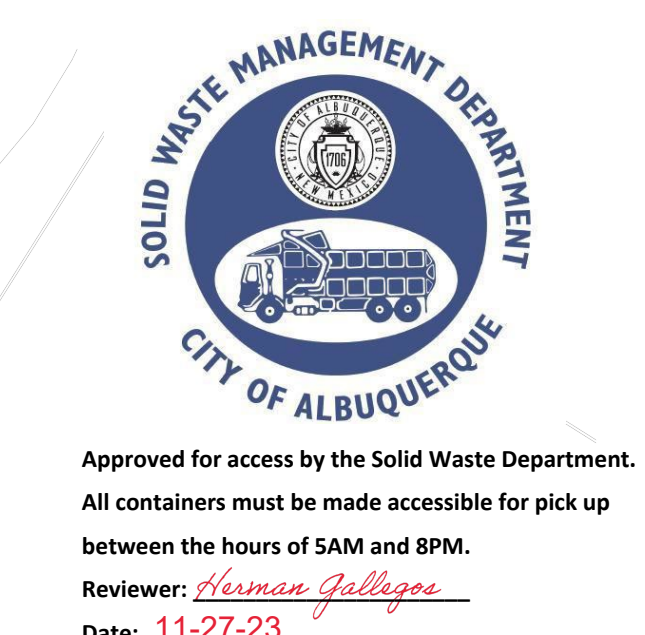
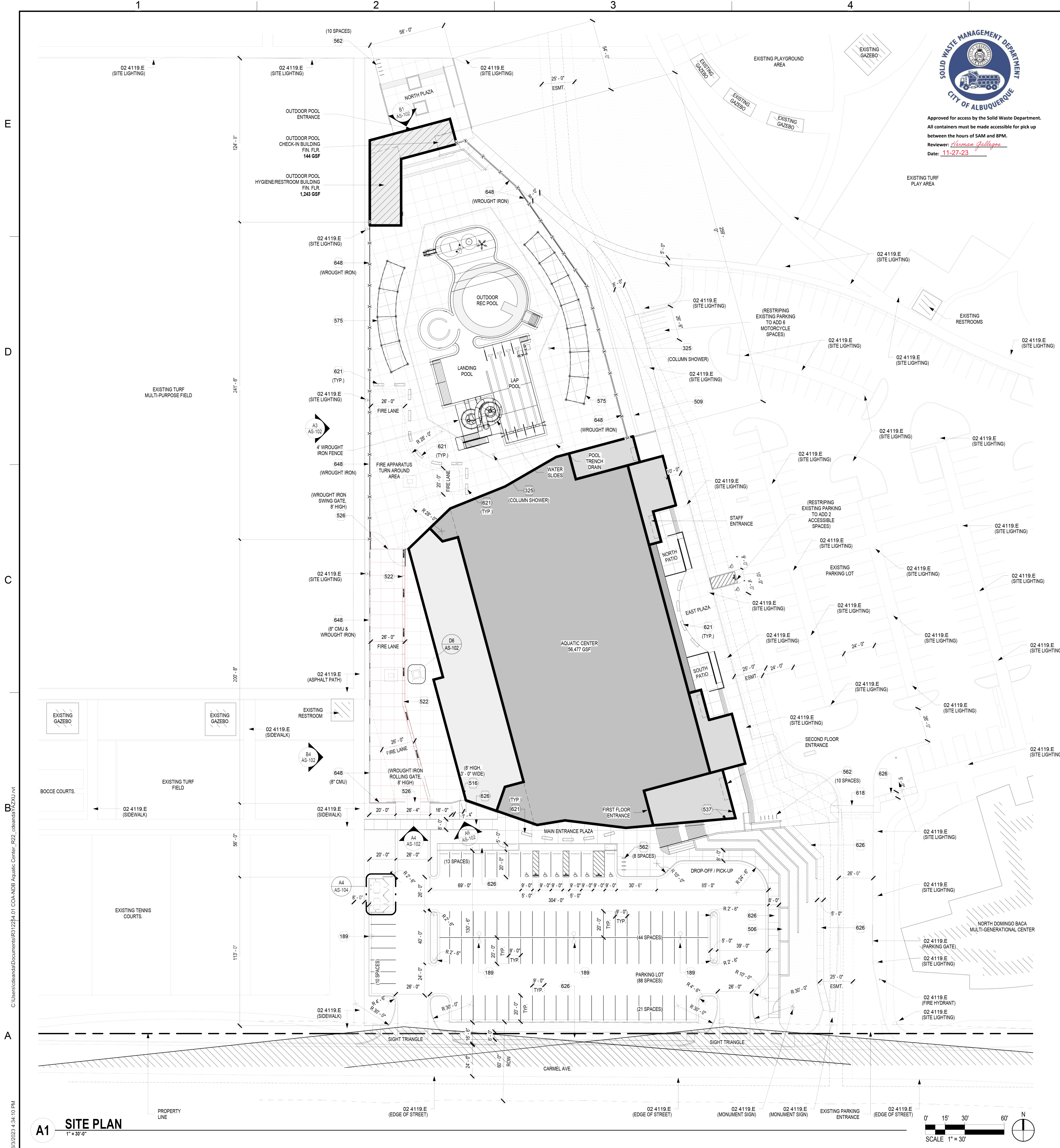
MARK	DATE	DESCRIPTION
8	01/19/2024	PHASE 1 ADDENDUM 1
7	01/17/2024	PHASE 1 PERMIT SET REV 2
6	10/13/2023	PHASE 1 PERMIT SET REV 1
5	09/18/2023	PHASE 1 100% CD'S
4	08/21/2023	PHASE 1 95% CD'S
3	07/07/2023	PHASE 0 BID DOCUMENTS
2	12/09/2022	DESIGN DEVELOPMENT
1	09/09/2022	SCHEMATIC DESIGN

## SITE PLAN - EPC

**AS-101**  
COPYRIGHT 2023 HUITT-ZOLLARS INC.

**A1 SITE PLAN**  
1" = 30'-0"

1/19/2024 10:30:45 AM C:\Users\cedenah\Documents\R312254.01\CD\NDB Aquatic Center\_R02\_cdenah\AS-101.dwg



### DESIGN CRITERIA

<b>DESIGN STANDARDS:</b>	NDB AQUATIC CENTER IS FOLLOWING IDO DESIGN STANDARDS AND CP BUILDING DESIGN STANDARDS. NONE OF THESE REQUIREMENTS ARE IN CONFLICT WITH THE NORTH DOMINGO BACA MASTER PLAN STANDARDS.	
<b>PROJECT NAME:</b>	NORTH DOMINGO BACA AQUATIC CENTER (NDB AQUATIC CENTER)	
<b>PROJECT LOCATION:</b>	7521 CARMEL AVE. NE, ALBUQUERQUE, NM 87113	
<b>LEGAL DESCRIPTION:</b>	TR A PLAT OF TRACT A NORTH DOMINGO BACA PARK	
<b>PARCEL SIZE:</b>	PROJECT SITE IS A 5 ACRE PORTION OF THE LARGER 39.6511 ACRE NORTH DOMINGO BACA PARK MASTER DEVELOPMENT PLAN AREA	
<b>ZONE/ATLAS:</b>	C-19-Z	
<b>ZONING SUMMARY:</b>	NR-PO-4 CITY OWNED OR MANAGED PUBLIC PARKS - OPEN SPACE / RECREATION / AGRICULTURAL, COMMUNITY PARK AND RELATED FACILITIES	
<b>BUILDING HEIGHT:</b>	VARIES. THE DESIGN OF THE AQUATIC CENTER HAS A SPLIT LEVEL SITE WHERE THE EAST ELEVATION MAX BUILDING HEIGHT IS 28'-4" ABOVE FINISH GRADE. WEST ELEVATION MAX BUILDING HEIGHT IS 28'-2" ABOVE FINISH GRADE. NORTH ELEVATION MAX BUILDING HEIGHT 45'-10" ABOVE FIRST FLOOR FINISH GRADE.	
<b>PROPOSED BUILDING AREA:</b>	61,778 NSF	66,477 GSF
MAIN BUILDING	42,564 NSF	45,900 GSF
SECOND FLOOR	8,924 NSF	10,577 GSF
NORTH BUILDING	994 NSF	1,387 GSF
(HYGIENE BUILDING)	853 NSF	1,243 GSF
(CHECK-IN BUILDING)	91 NSF	144 GSF
<b>TOTAL PROPOSED FACILITY:</b>	<b>67,864 GSF</b>	
<b>OUTDOOR POOL DECK SF:</b>	41,144 SF	
<b>BUILDING SERVICE ACCESS SF:</b>	10,292 SF	

### REFERENCE KEYNOTES

02 4119.E EXISTING TO REMAIN

### EPC SIGNATURE BLOCK

**PROJECT NUMBER:** 705286  
**Application Number:** \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

**Is an Infrastructure List required? ( ) Yes ( ) No** If yes, then a set of approved IDRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**EPC SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABC/WUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
<b>Herman Gallegos</b> <i>Herman Gallegos</i> Solid Waste Management	11-27-23 Date
Planning Department	Date

### SHEET KEYNOTES

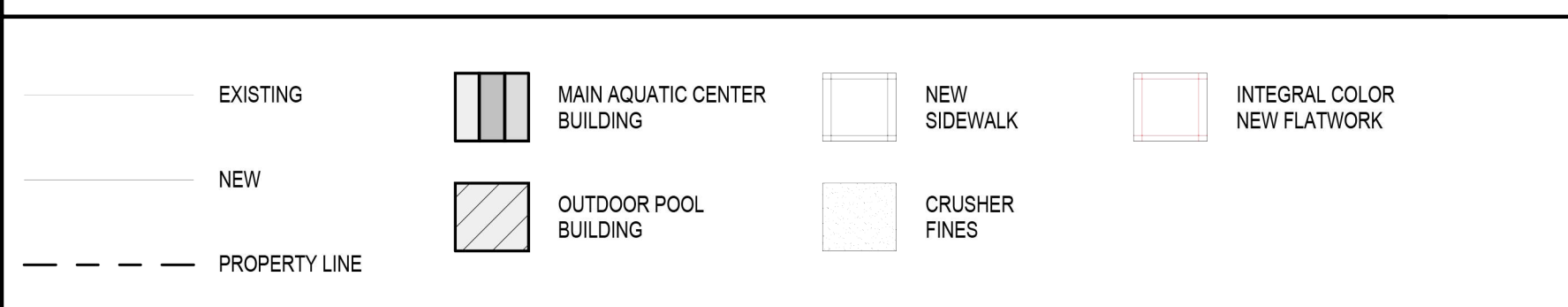
- 189 LIGHT FIXTURE.
- 225 PLUMBING FIXTURE.
- 506 TERRACED LANDSCAPING, CMU RETAINING WALLS.
- 509 SWALE.
- 516 WROUGHT IRON GATE.
- 522 FIRE LANE CONCRETE STRIPING, PAINTED RED, NO PARKING.
- 537 FIRE ACCESS GATE.
- 526 BUILDING SIGN, ALUMINUM CHARACTERS.
- 537 BIKE RACK, SURFACE MOUNTED.
- 562 SHADE STRUCTURE, PAINTED BLACK.
- 575 CROSSWALK.
- 618 INTEGRAL COLORED CONCRETE BENCH WITH 45 DEGREE CHAMFERED EDGE. CONTROL JOINTS TO BE PLACED AT 4' O.C. (COLOR BY ARCHITECT).
- 626 CONCRETE SIDEWALK.
- 648 9'-0" HIGH PRIVACY WALL.

### PARKING CALCULATIONS

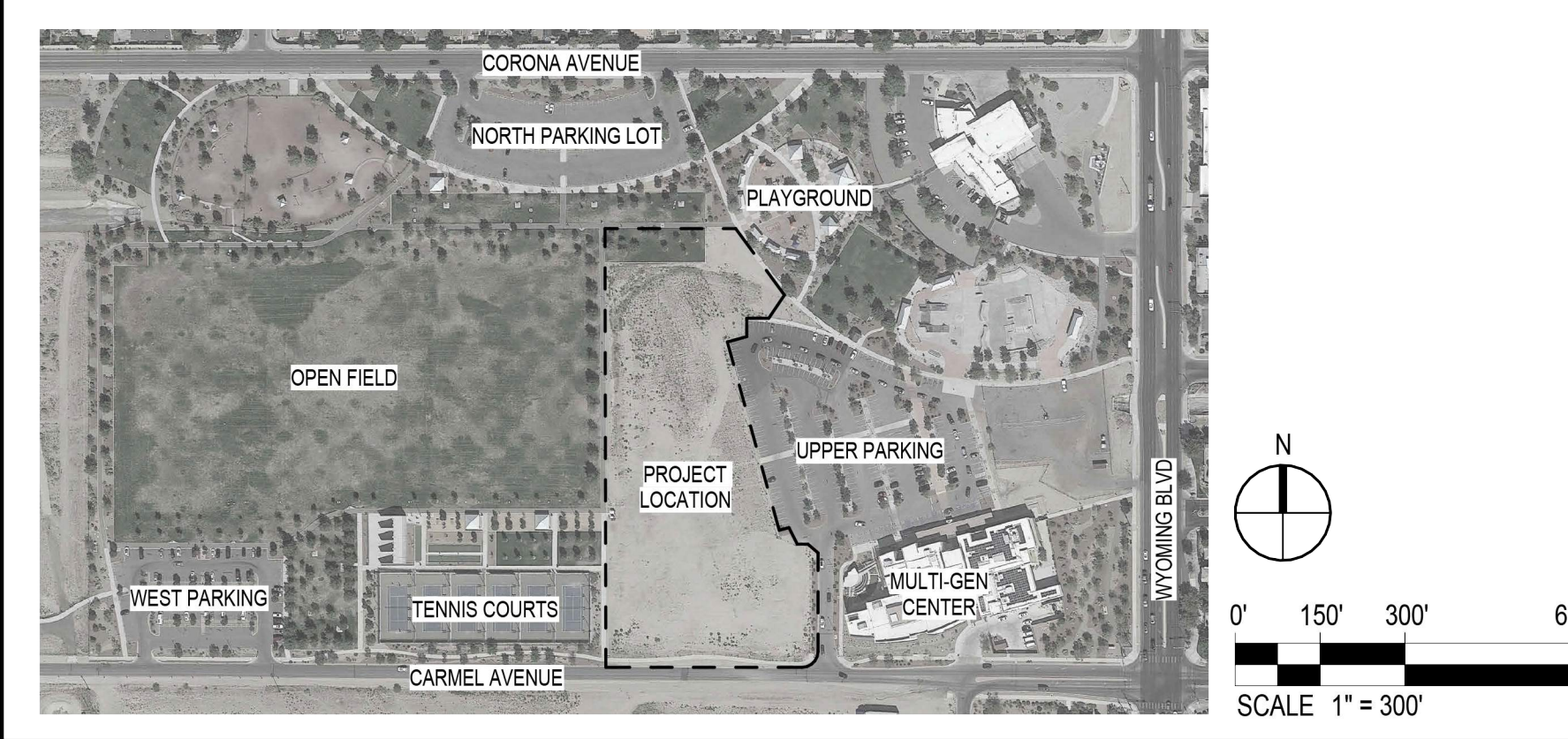
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<b>ENTIRE PARK</b>	720 SPACES REQUIRED
NDBP MASTER PLAN	720 SPACES REQUIRED
IDO TABLE 5-5-2 MINIMUM OFF-STREET PARKING REQUIREMENTS	633 SPACES REQUIRED
TOTAL SPACES PROVIDED (WITH NEW AQUATIC CENTER)	720 SPACES PROVIDED

NOTE: ALL ON-SITE PARKING IS SHARED BETWEEN ALL PARK USES AS OUTLINED IN THE NORTH DOMINGO BACA PARK MASTER PLAN. PARKING LOTS/SPACES ARE NOT PROVIDED FOR THE USE AND CONVENIENCE OF SPECIFIC INDIVIDUAL PROGRAMMED USES.

### LEGEND

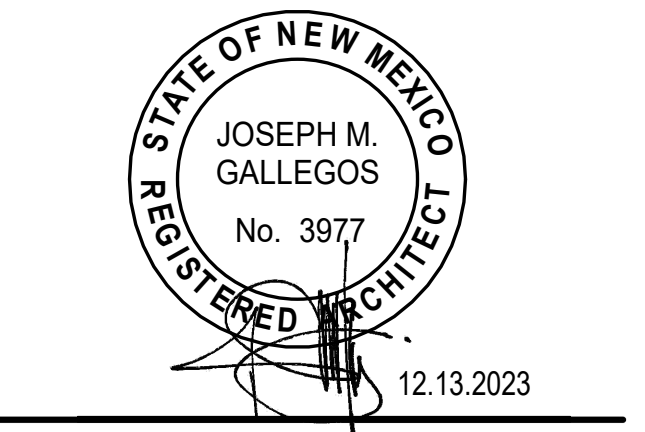


### VICINITY MAP



**HUITT-ZOLLARS**  
 6501 AMERICAS PARKWAY NE, SUITE 830  
 ALBUQUERQUE, NM 87110  
 505.853.8114  
 www.huittzollars.com

**ADVANCEDESIGN™**



## NORTH DOMINGO BACA AQUATIC CENTER

7521 Carmel Ave. NE  
 Albuquerque, NM 87113

City of Albuquerque  
 1801 4th St. NW, Albuquerque, NM, 87102  
 CITY PROJECT NO.: 705286  
 PROJECT NO.: R312254.01  
 DRAWN BY: STAFF  
 REVIEWED BY: STAFF  
 APPROVED BY: STAFF  
 ISSUE DRAWING LOG:

MARK	DATE	DESCRIPTION
2	12/09/2022	DESIGN DEVELOPMENT
1	09/09/2022	SCHEMATIC DESIGN

## SITE PLAN - EPC

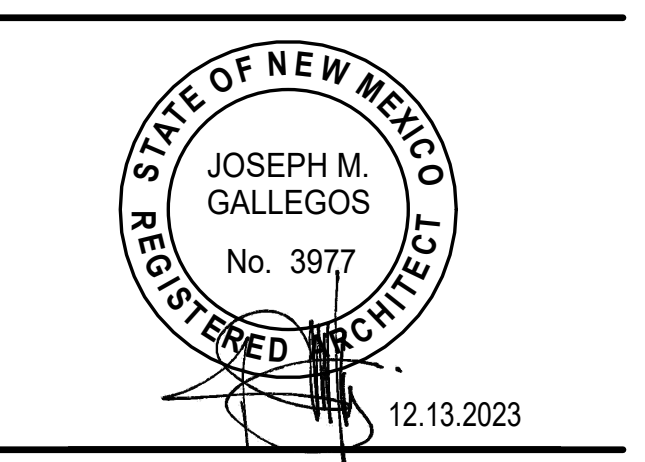
**AS-101**  
 COPYRIGHT 2022 HUITT-ZOLLARS INC.

**A1 SITE PLAN**  
 1" = 30'-0"

3/2/2023 4:34:10 PM C:\Users\ademad\Documents\18312254-01 COA-NDB Aquatic Center\_R32\demad\AS-101.rvt

**SHEET KEYNOTES**

- 183 ELECTRICAL EQUIPMENT.
- 515 LANDSCAPING.
- 516 WROUGHT IRON GATE.
- 519 2" CMU SLOPED CAP.
- 520 6" DIA. CONCRETE FILLED BOLLARD WITH SLEEVE COLORED "SAFETY YELLOW".
- 522 FIRE LANE CONCRETE STRIPING. PAINTED RED. NO PARKING.
- 526 FIRE ACCESS GATE.
- 567 CROWN CONCRETE AT TOP OF BOLLARD. GRIND PIPE EDGES SMOOTH.
- 596 6'-0" HIGH PRIVACY WALL. 8" CMU. REFLECTIVE TAPE.
- 607 3-#5 CONT.
- 608 #4 TRANSVERSE @ 48" O.C.
- 609 CONCRETE FLATWORK. SEE SHEET C-101.
- 610 GROUT ALL CELLS BELOW GRADE SOLID.
- 611 8" CMU WITH #5 VERTICAL @ 32" O.C. & #5 IN BOND BEAM @ 48" O.C. HORIZONTAL GROUT ALL REINFORCED CELLS SOLID.
- 612 #5 DIALS @ 32" O.C.
- 620 JOINT FILLER.
- 621 INTEGRAL COLORED CONCRETE BENCH WITH 45 DEGREE CHAMFERED EDGE. CONTROL JOINTS TO BE PLACED AT 4' O.C. (COLOR BY ARCHITECT).
- 622 #4 VERTICAL REBAR @ 18" O.C. W/STD. HOOKS.
- 639 #4 @ 12" O.C. HORIZONTAL.
- 648 6'-0" HIGH PRIVACY WALL.



**NORTH DOMINGO BACA AQUATIC CENTER**

7521 Carmel Ave. NE  
 Albuquerque, NM 87113

City of Albuquerque  
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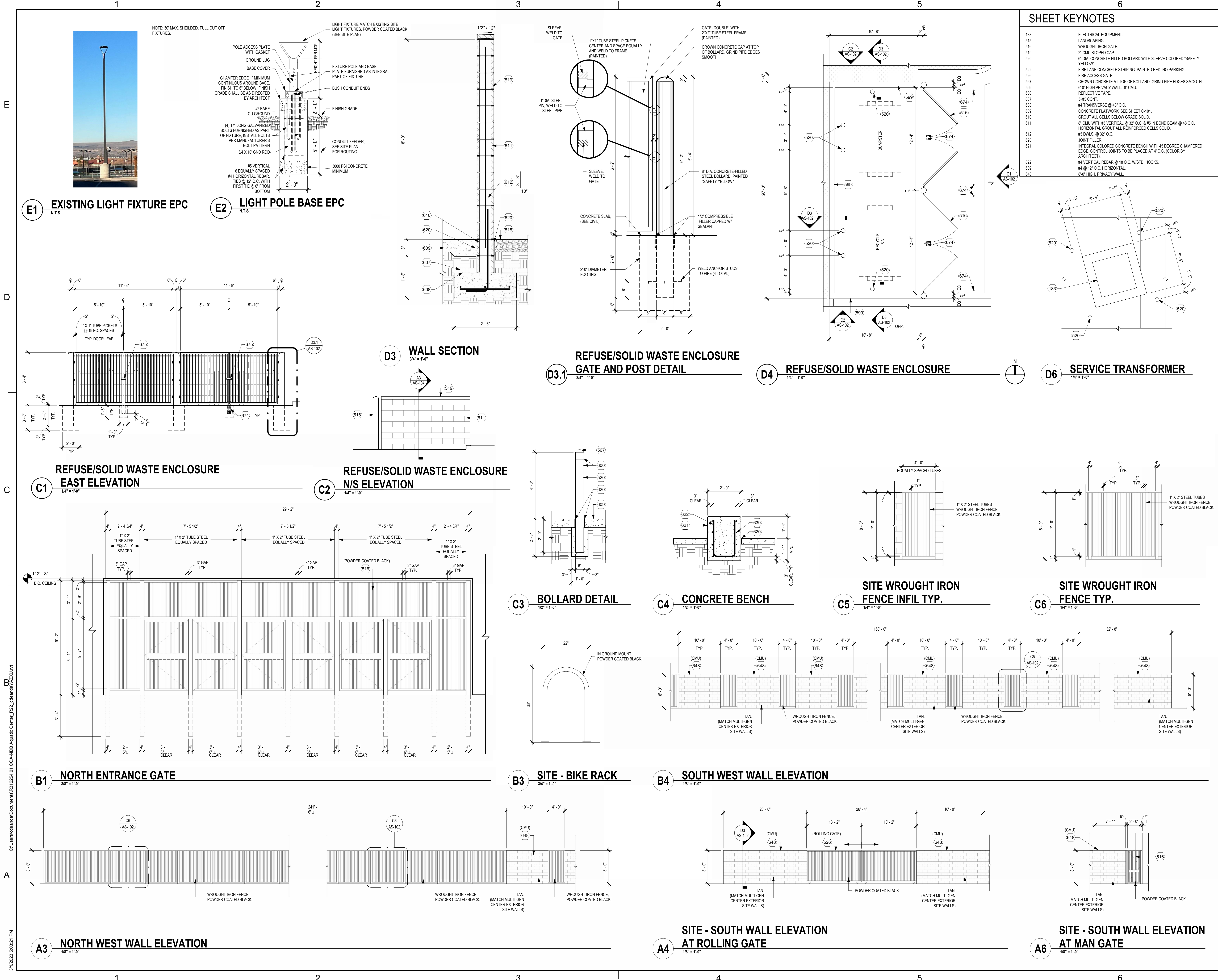
ISSUE DRAWING LOG:

MARK	DATE	DESCRIPTION
2	12/09/2022	DESIGN DEVELOPMENT
1	09/09/2022	SCHEMATIC DESIGN

**SITE PLAN DETAILS EPC**

**AS-102**

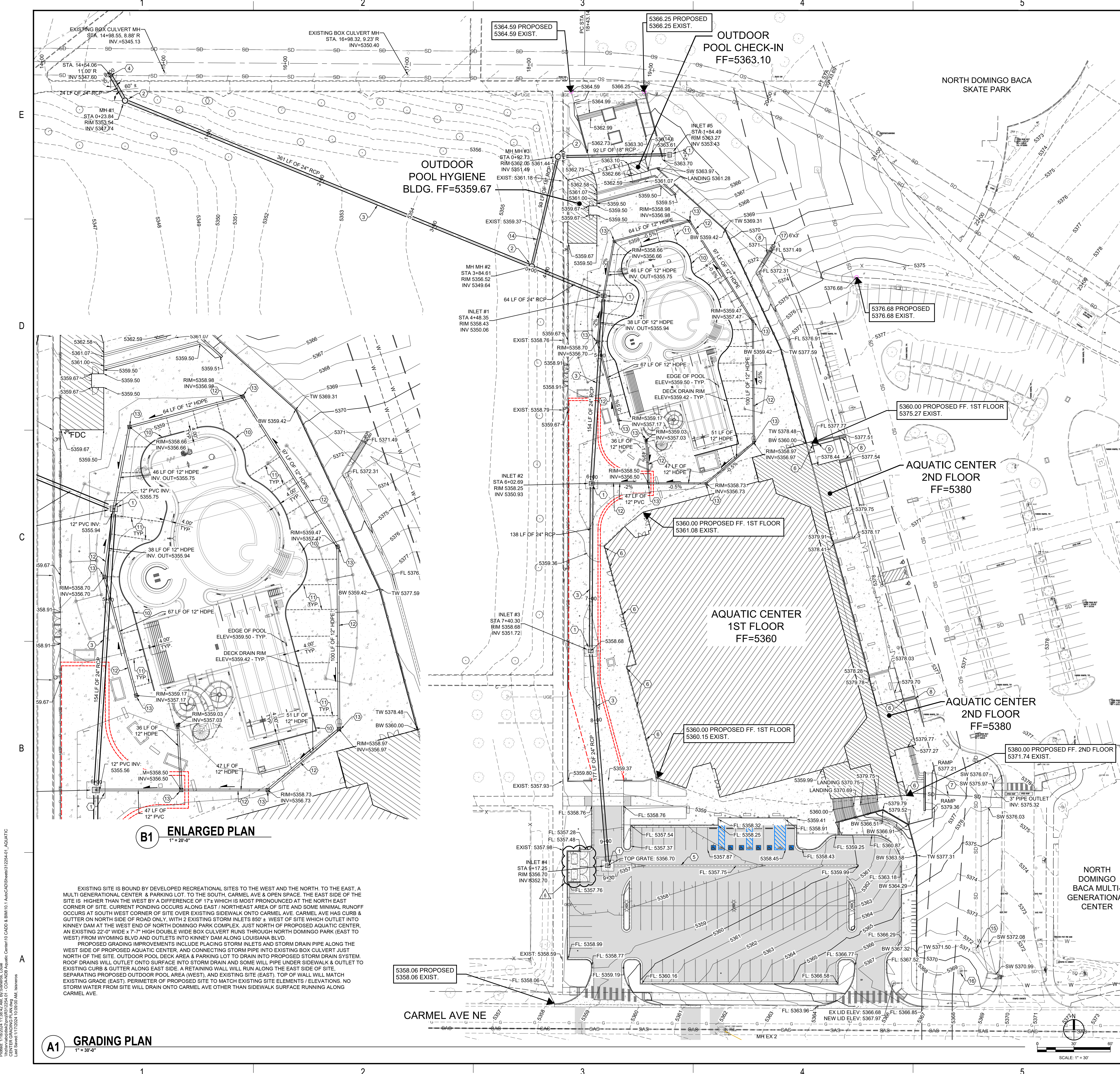
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C:\Users\ademid\Documents\1812254-01 COA-NDB Aquatic Center\_R32\_cdm\1812254.dwg  
 3/12/2023 5:03:21 PM







**B1 ENLARGED PLAN**  
1" = 20'-0"

**A1 GRADING PLAN**  
1" = 30'-0"

EXISTING SITE IS BOUND BY DEVELOPED RECREATIONAL SITES TO THE WEST AND THE NORTH, TO THE EAST, A MULTI GENERATIONAL CENTER & PARKING LOT, TO THE SOUTH, CARMEL AVE & OPEN SPACE. THE EAST SIDE OF THE SITE IS HIGHER THAN THE WEST BY A DIFFERENCE OF 17' WHICH IS MOST PRONOUNCED AT THE NORTH EAST CORNER OF SITE. CURRENT PONDING OCCURS ALONG EAST / NORTHEAST AREA OF SITE AND SOME MINIMAL RUNOFF OCCURS AT SOUTH WEST CORNER OF SITE OVER EXISTING SIDEWALK ONTO CARMEL AVE. CARMEL AVE HAS CURB & GUTTER ON NORTH SIDE OF ROAD ONLY. WITH 2 EXISTING STORM INLETS 850' E. WEST OF SITE WHICH OUTLET INTO KINNEY DAM AT THE WEST END OF NORTH DOMINGO PARK COMPLEX. JUST NORTH OF PROPOSED AQUATIC CENTER, AN EXISTING 22'-0" WIDE X 7'-7" HIGH DOUBLE WIDE BOX CULVERT RUNS THROUGH NORTH DOMINGO PARK (EAST TO WEST) FROM WYOMING BLVD AND OUTLETS INTO KINNEY DAM ALONG LOUISIANA BLVD.  
PROPOSED GRADING IMPROVEMENTS INCLUDE PLACING STORM INLETS AND STORM DRAIN PIPE ALONG THE WEST SIDE OF PROPOSED AQUATIC CENTER, AND CONNECTING STORM PIPE INTO EXISTING BOX CULVERT JUST NORTH OF THE SITE. OUTDOOR POOL DECK AREA & PARKING LOT TO DRAIN INTO PROPOSED STORM DRAIN SYSTEM. ROOF DRAINS WILL OUTLET ONTO SURFACE INTO STORM DRAIN AND SOME WILL PIPE UNDER SIDEWALK & OUTLET TO EXISTING CURB & GUTTER ALONG EAST SIDE. A RETAINING WALL WILL RUN ALONG THE EAST SIDE OF SITE SEPARATING PROPOSED OUTDOOR POOL AREA (WEST), AND EXISTING SITE (EAST). TOP OF WALL WILL MATCH EXISTING GRADE (EAST). PERIMETER OF PROPOSED SITE TO MATCH EXISTING SITE ELEMENTS / ELEVATIONS. NO STORM WATER FROM SITE WILL DRAIN ONTO CARMEL AVE OTHER THAN SIDEWALK SURFACE RUNNING ALONG CARMEL AVE.

**GENERAL SHEET NOTES**

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND OR CONCEALED UTILITIES IN ADVANCE OF ANY CONSTRUCTION.
- B. IT IS THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE HERSELF / HIMSELF WITH ALL THE EXISTING CONDITIONS THAT COULD AFFECT THE INSTALLATION OF ANY WORK SET FORTH IN THESE PLANS PRIOR TO SUBMITTING BID.
- C. SEE SHEET C-105 FOR STORM DRAIN PIPE PROFILES
- D. SEE SHEET C-106 FOR ENLARGED GRADING DETAILS

**SHEET KEYNOTES**

- 1. TYPE "D" INLET PER DETAIL A5, SHEET C-502.
- 2. 4" DIA. STORM MANHOLE TYPE "C" PER CITY OF ALBUQUERQUE STD DWG 2208. SEE DETAIL A2, SHEET C-502.
- 3. 24" RCP STORM PIPE - FOR PROFILE SEE SHEET C-105
- 4. CONNECT NEW 24" RCP STORM PIPE TO EXISTING BOX CULVERT PER DETAIL C4, SHEET C-502.
- 5. "ALLEY" GUTTER PER CITY OF ALBUQUERQUE STD DWG 2415B. SEE DETAIL C5, SHEET C-501.
- 6. 6" ROOF DRAIN OUTLET LOCATION - SEE PLUMBING
- 7. 3" ROOF DRAIN UNDER CONC. SIDEWALK, OUTLET THROUGH CURB
- 8. 24" WIDE SIDEWALK CULVERT PER CITY OF ALBUQUERQUE STD DWG 2236. SEE DETAIL A1, SHEET C-501.
- 9. CONCRETE RUNDOWN AT ROOF DRAIN OUTLET. SEE DETAIL B5, SHEET C-503.
- 10. "LAWSON AQUATICS DRAIN THE DECK SYSTEM" OR APPROVED EQUAL. RIM ELEVATION = 5359.42 TYP.
- 11. 3" PVC WITH LONG SWEEP FITTINGS PER CITY OF ALBUQUERQUE PUBLIC WORKS SPECIFICATIONS
- 12. 12" HDPE WITH LONG SWEEP FITTINGS PER CITY OF ALBUQUERQUE PUBLIC WORKS SPECIFICATIONS
- 13. 24"x24" NDS CATCH BASIN PER DETAIL C5, SHEET C-502
- 14. 18" RCP STORM PIPE - FOR PROFILE SEE SHEET C-105
- 15. ADJUST EXISTING STORM MANHOLE RIM TO NEW ELEV. 5371.43
- 16. EXISTING ENTRANCE SIGN TO REMAIN UNDISTURBED
- 17. COBBLE PAD PER DETAIL D1, SHEET C-501. SIZE SHOWN ON PLAN

**LEGEND**

- CURB & GUTTER
- CONC. SIDEWALK
- ASPHALT PAVEMENT
- BUILDING

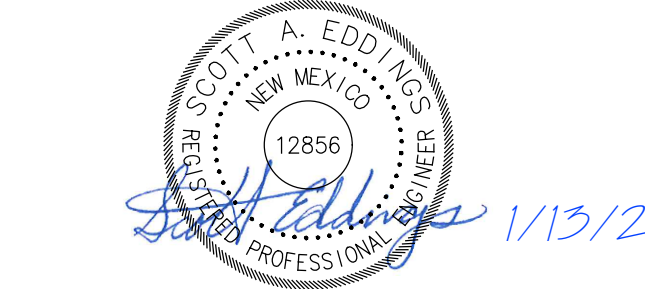
**EXISTING SITE LEGEND**

- EXISTING CURB & GUTTER
- EXISTING FENCE
- SD — EXISTING STORM DRAIN
- OHE — EXISTING OVERHEAD ELEC.
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- EXISTING GUY WIRE
- EXISTING TELE. PED
- EXISTING ELEC. BOX
- EXISTING COMM. BOX
- EXISTING BOLLARD
- EXISTING CLEANOUT
- EXISTING GAS METER
- EXISTING WATER METER
- EXISTING MANHOLE
- EXISTING STOP SIGN

NOTE: FOR SPECIFICATION INFORMATION, REFER TO CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS



6501 Americas Parkway NE, Suite 830  
Albuquerque, New Mexico 87110-5375  
505.883.8114  
www.huittzollars.com



**NORTH DOMINGO BACA AQUATIC CENTER PHASE 1**

7521 Carmel Ave. NE  
Albuquerque, NM 87113

City of Albuquerque  
1801 4th St. NW, Albuquerque, NM, 87102  
CITY PROJECT NO.: **705286**  
PROJECT NO.: R312254.01  
DRAWN BY: STAFF  
REVIEWED BY: STAFF  
APPROVED BY: STAFF  
ISSUE DRAWING LOG:

MARK	DATE	DESCRIPTION
8	01/19/2024	PHASE 1 ADDENDUM
7	01/17/2024	PHASE 1 PERMIT SET REV 2
6	01/13/2024	PHASING PERMIT SUBMITTALS
5	09/18/2023	PHASE 1 100% CD'S
4	08/21/2023	PHASE 1 95% CD'S
3	07/07/2023	PHASE 0 BID DOCUMENTS
2	12/09/2022	DESIGN DEVELOPMENT
1	09/09/2022	SCHEMATIC DESIGN

**GRADING PLAN EPC**

**C-104**

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### GENERAL SHEET NOTES

- CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS AND NOTIFY ARCHITECT IMMEDIATELY WITH ANY DISCREPANCIES
- CONTRACTOR TO PROVIDE EXTRA CARE WHEN TRENCHING OR EXCAVATING DUE TO BURIED UTILITY
- FOR SEWER SERVICE PROFILES, SEE SHEET C-107
- EXISTING UNDERGROUND UTILITIES SHOWN WERE DERIVED FROM EXISTING AS-BUILTS PLANS FOR THE FOLLOWING CITY OF ALBUQUERQUE PROJECTS: "NORTH DOMINGO BACA MULTIGENERATIONAL CENTER", "NORTH DOMINGO BACA PARK PHASE 4 CONSTRUCTION - BOX CULVERT", AND "NORTH DOMINGO BACA PARK PHASE 9 RECREATION FIELDS". IT IS THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THESE PLANS FOR EXISTING UNDERGROUND UTILITY LOCATING PURPOSES.
- CONTRACTOR TO COORDINATE AND PAY FOR: WATER AND SANITARY SEWER SERVICE CONNECTION, TAPS, METERS, GAS LINE PLACEMENT REQUIREMENTS, UEG CHARGES AND ALL DOCUMENTATION REQUIREMENTS, SCHEDULING, PIPE PLACEMENT, INSPECTIONS BY ABCWUA, & NM GAS.
- CONTRACTOR IS RESPONSIBLE TO PLAN AHEAD FOR ALL UTILITY INSTALLATIONS.

### SHEET KEYNOTES

- CONNECT NEW 3" DOMESTIC WATER TO EXISTING 8" WATER MAIN - 8x8x3 TEE W/ JOINT RESTRAINT PER C.O.A. STD DWG'S 2301 & 2320
- CONNECT NEW 6" FIRE PROTECTION LINE TO EXISTING 8" WATER MAIN - 8x8x6 TEE W/ JOINT RESTRAINT PER C.O.A. STD DWG'S 2301 & 2320
- CONNECT NEW NATURAL GAS SERVICE TO EXISTING GAS MAIN
- CONNECT NEW 4" SANITARY SEWER SERVICE TO EXISTING SANITARY SEWER MANHOLE. CITY AS-BUILTS SHOW STUB-OUT. CONTRACTOR TO VERIFY.
- 4" SINGLE CLEANOUT (100' MAX. SPACING)
- 4" DOUBLE CLEANOUT
- 4" SANITARY SEWER SERVICE. COMPACT TRENCH BACKFILL TO 95% ASTM D1557
- 3" WATER METER
- 3" WATER SERVICE LINE. COMPACT TRENCH BACKFILL TO 95% ASTM D1557
- 3" BACK FLOW PREVENTER & ENCLOSURE
- 6" C900 PVC FIRE SAFETY LINE, 3 FT MINIMUM DEPTH. COMPACT TRENCH, BACKFILL TO 95% ASTM D1557
- POST INDICATOR VALVE
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT PER CITY OF ALBUQUERQUE STD DWG 2340
- NATURAL GAS SERVICE UP TO METER BY NM GAS COMPANY.
- GAS METER - SEE PLUMBING PLANS
- 24" STORM DRAIN - SEE GRADING PLAN
- STORM STRUCTURE - SEE GRADING PLAN
- 6" SANITARY SEWER SERVICE. COMPACT TRENCH BACKFILL TO 95% ASTM D1557
- 6" SINGLE CLEANOUT (100' MAX. SPACING)
- 6" DOUBLE CLEANOUT
- 6" SANITARY SEWER SERVICE. COMPACT TRENCH BACKFILL TO 95% ASTM D1557
- CONNECT NEW SANITARY SEWER SERVICE TO EXISTING 8" SAS MAIN PER CITY OF ALBUQUERQUE STD DWG 2125
- GATE VALVE & BOX PER CITY OF ALBUQUERQUE STD DWG 2326 - GATE VALVE SIZE SHOWN ON PLAN
- 3/4" NATURAL GAS POLYPIPE TO HYGIENE BUILDING
- UNDERGROUND ELECTRIC - SEE ELECTRICAL
- PARKING LOT LIGHT/ POLE - SEE ELECTRICAL
- REMOVE & RELOCATE EXISTING LIGHT POLE - SEE ELECTRICAL
- 2" WATER SERVICE - LINE. COMPACT TRENCH BACKFILL TO 95% ASTM D1557
- CONNECT NEW 2" DOMESTIC WATER TO EXISTING 8" WATER MAIN - 8x8x2 TEE W/ JOINT RESTRAINT PER C.O.A. STD DWG'S 2301 & 2320
- 2" WATER METER

### LEGEND

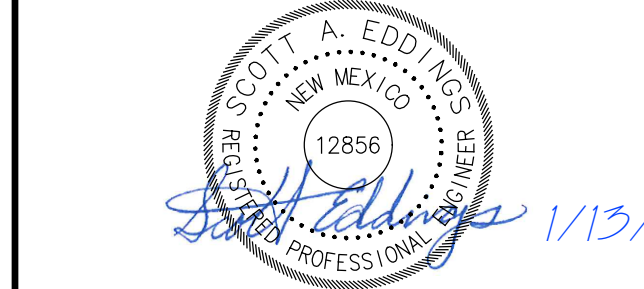
- W NEW WATER LINE
- FS FS NEW FIRE SAFETY LINE
- SAS SAS NEW SANITARY SEWER LINE
- G NEW GAS LINE
- NEW GATE VALVE
- NEW FIRE HYDRANT
- NEW CLEANOUTS (SINGLE / DOUBLE)
- PARKING LOT LIGHTS
- SITE LIGHT - REMOVE & RELOCATE

### EXISTING SITE LEGEND

- SAS EXISTING SANITARY SEWER
- W EXISTING WATER
- GD EXISTING GAS
- SD EXISTING STORM DRAIN
- UGE EXISTING UNDERGROUND ELEC.
- EXISTING LIGHT POLE
- EXISTING TELE. PED
- EXISTING ELEC. BOX
- EXISTING COMM. BOX
- EXISTING BOLLARD
- EXISTING MANHOLE
- EXISTING STOP SIGN

NOTE: FOR SPECIFICATION INFORMATION, REFER TO CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS

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 Albuquerque, New Mexico 87110-5375  
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## NORTH DOMINGO BACA AQUATIC CENTER PHASE 1

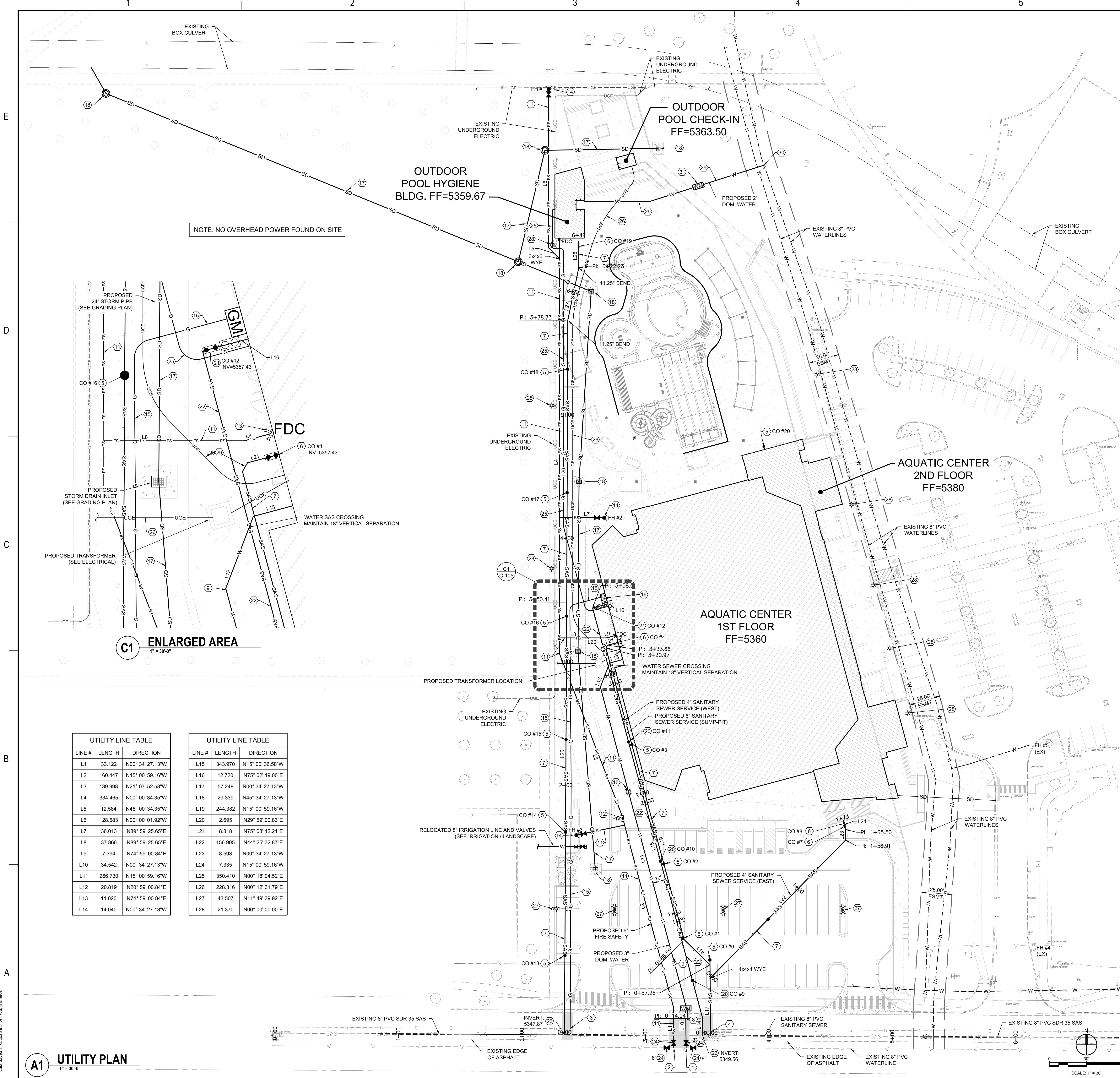
7521 Carmel Ave. NE  
 Albuquerque, NM 87113

City of Albuquerque  
 1801 4th St. NW, Albuquerque, NM, 87102  
 CITY PROJECT NO.: 705286  
 PROJECT NO.: R312254.01  
 DRAWN BY: STAFF  
 REVIEWED BY: STAFF  
 APPROVED BY: STAFF

ISSUE DRAWING LOG:		
MARK	DATE	DESCRIPTION
8	01/19/2024	PHASE 1 ADDENDUM
7	01/17/2024	PHASE 1 PERMIT SET REV 2
6	01/13/2024	BUILDING PERMIT COMMENTS
5	09/18/2023	PHASE 1 100% CD'S
4	08/21/2023	PHASE 1 95% CD'S
3	07/07/2023	PHASE 0 BID DOCUMENTS
2	12/09/2022	DESIGN DEVELOPMENT
1	09/09/2022	SCHEMATIC DESIGN

## UTILITY PLAN EPC

**C-107**  
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NOTE: NO OVERHEAD POWER FOUND ON SITE

### C1 ENLARGED AREA

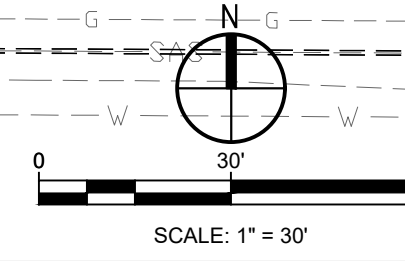
1" = 30'-0"

UTILITY LINE TABLE			UTILITY LINE TABLE		
LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION
L1	33.122	N00° 34' 27.13"W	L15	343.970	N15° 00' 36.58"W
L2	160.447	N15° 00' 59.16"W	L16	12.720	N75° 02' 19.00"E
L3	139.998	N21° 07' 52.58"W	L17	57.248	N00° 34' 27.13"W
L4	334.465	N00° 00' 34.35"W	L18	29.339	N45° 34' 27.13"W
L5	12.584	N45° 00' 34.35"W	L19	244.382	N15° 00' 59.16"W
L6	128.583	N00° 00' 01.92"W	L20	2.695	N29° 59' 00.83"E
L7	36.013	N89° 59' 25.65"E	L21	8.818	N75° 08' 12.21"E
L8	37.866	N89° 59' 25.65"E	L22	156.905	N44° 25' 32.87"E
L9	7.394	N74° 59' 00.84"E	L23	8.593	N00° 34' 27.13"W
L10	34.542	N00° 34' 27.13"W	L24	7.335	N15° 00' 59.16"W
L11	266.730	N15° 00' 59.16"W	L25	350.410	N00° 18' 04.52"E
L12	20.819	N20° 59' 00.84"E	L26	228.316	N00° 12' 31.79"E
L13	11.020	N74° 59' 00.84"E	L27	43.507	N11° 49' 39.92"E
L14	14.040	N00° 34' 27.13"W	L28	21.370	N00° 00' 00.00"E

Plotted: 1/16/2024 11:40:22 AM By: Saraena, Lohse  
 Information: R:\Projects\2024\10 - COA-NDB Aquatic Center\10 CAD & BIM\10 - Aquatic Center\10254-01\_AQUATIC  
 User: Saraena, Lohse  
 Last Saved: 1/16/2024 8:31:41 AM, 1/16/2024

### A1 UTILITY PLAN

1" = 30'-0"





1

2

3

4

5

6

GENERAL SHEET NOTES

- A. PROVIDE 3" MAXIMUM METAL TRIM AT EXPOSED METAL EDGES UNLESS NOTED OTHERWISE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- B. CHAMFER ALL EIFS EDGES AT WINDOW OPENINGS PER MANUFACTURER'S RECOMMENDATIONS.

REFERENCE KEYNOTES

07 2413.E EXTERIOR INSULATION AND FINISH SYSTEM

SHEET KEYNOTES

PROPOSED EXTERIOR FINISH LEGEND

	METAL PANEL COLOR A:	ELECTRIC BLUE, BY FIRESTONE
	METAL PANEL COLOR B (SOFFIT):	CITYSCAPE BY FIRESTONE
	EIFS:	MARBLE WHITE
	TRANSACTION WINDOW: WINDOW FRAMES	CLEAR ALUMINUM
	GATE	BLACK
	HM DOORS AND FRAMES:	MARBLE WHITE
	CERAMIC TILE	COLOR WAVE WINTER BLUES

NOTE: COLORS ARE NOT ACCURATE IN THIS DRAWING. COLOR REPRESENTS THE EXTENT OF THE MATERIAL ONLY.



**NORTH DOMINGO BACA AQUATIC CENTER**

7521 Carmel Ave. NE  
 Albuquerque, NM 87113

City of Albuquerque  
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 CITY PROJECT NO.: 705286  
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 DRAWN BY: STAFF  
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 APPROVED BY: STAFF

ISSUE DRAWING LOG:

MARK	DATE	DESCRIPTION
2	12/09/2022	DESIGN DEVELOPMENT
1	09/09/2022	SCHEMATIC DESIGN

**BUILDING ELEVATIONS EPC**

**A-202**

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E

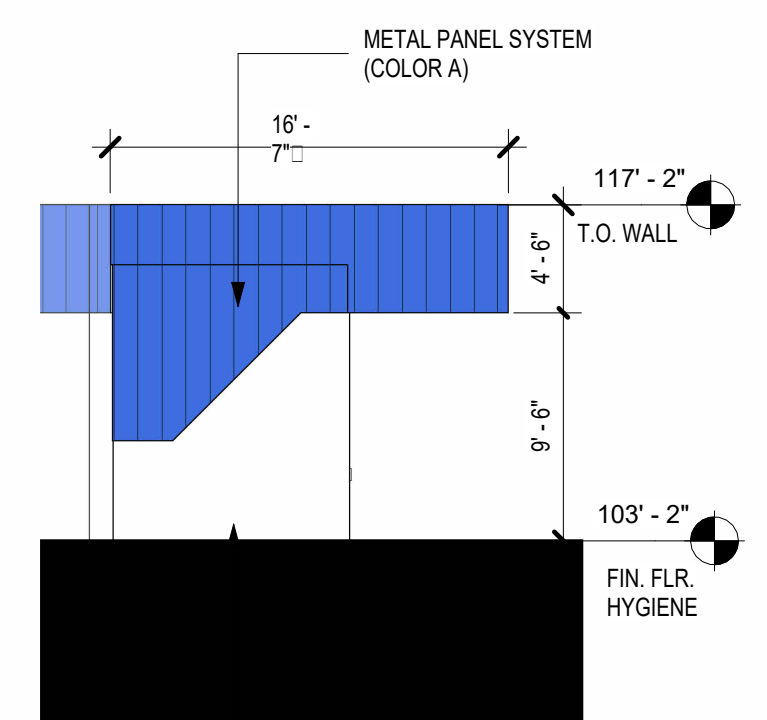
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C

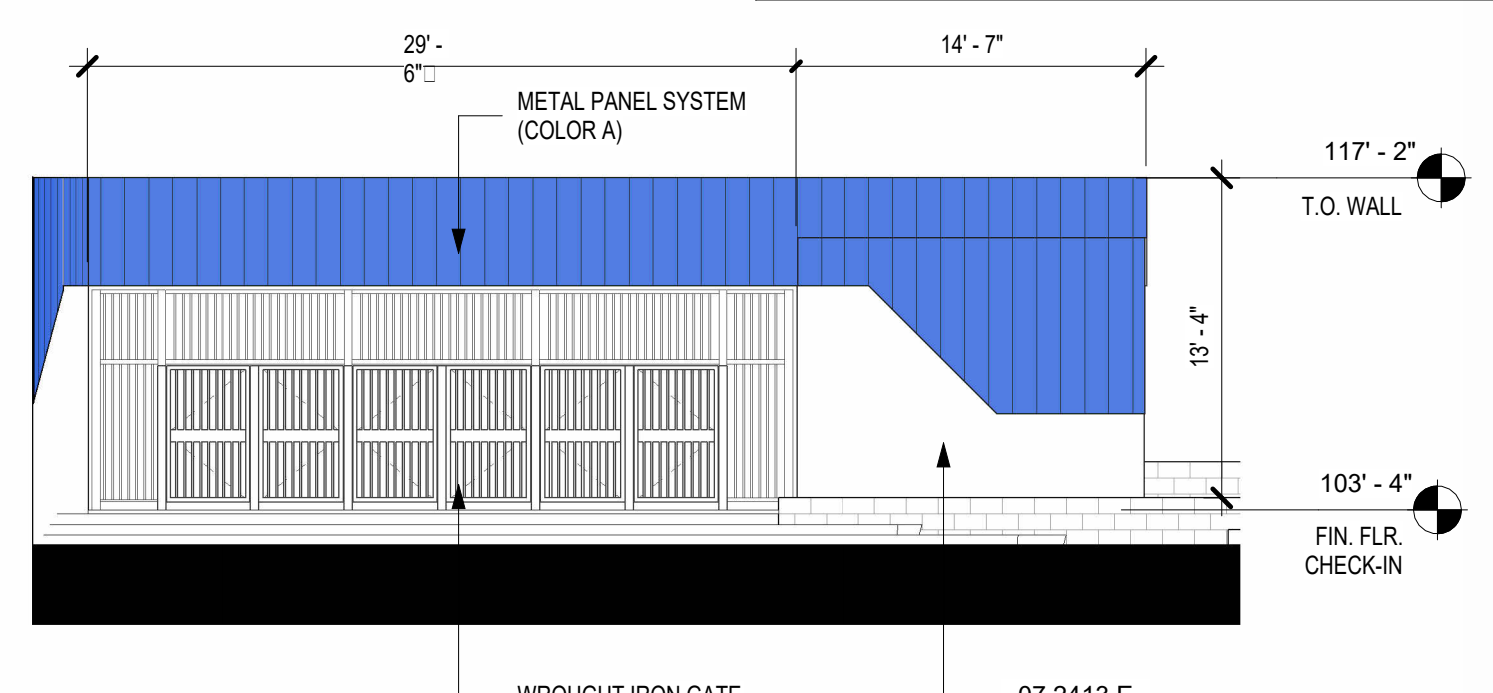
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A

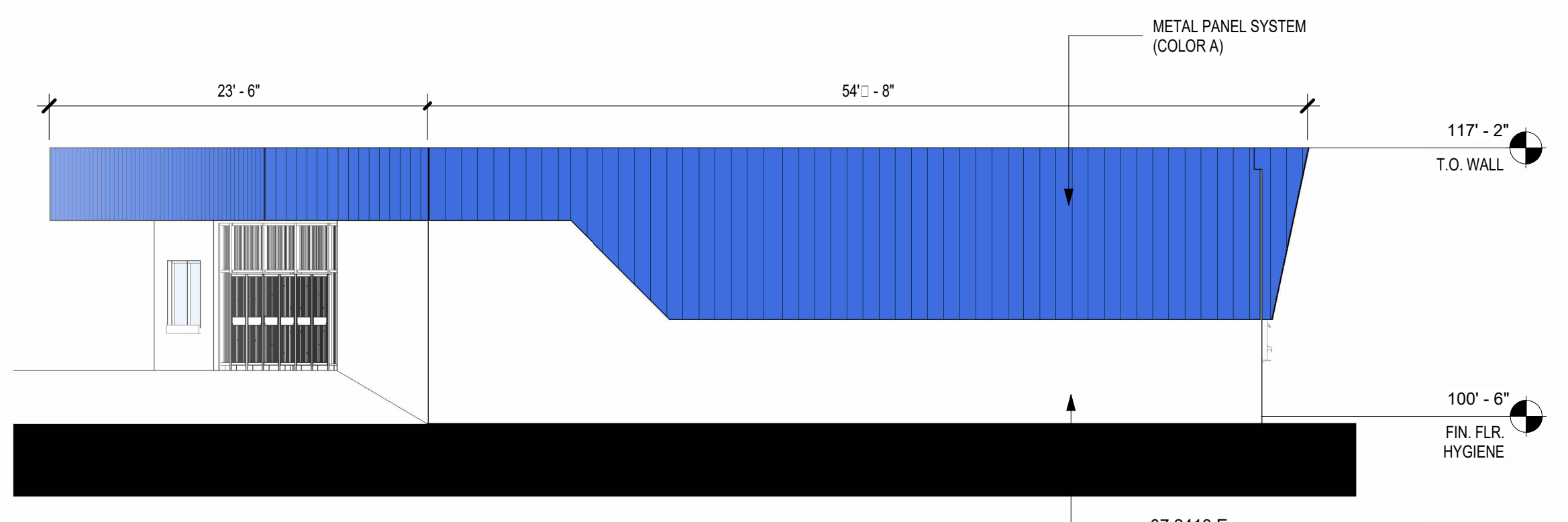
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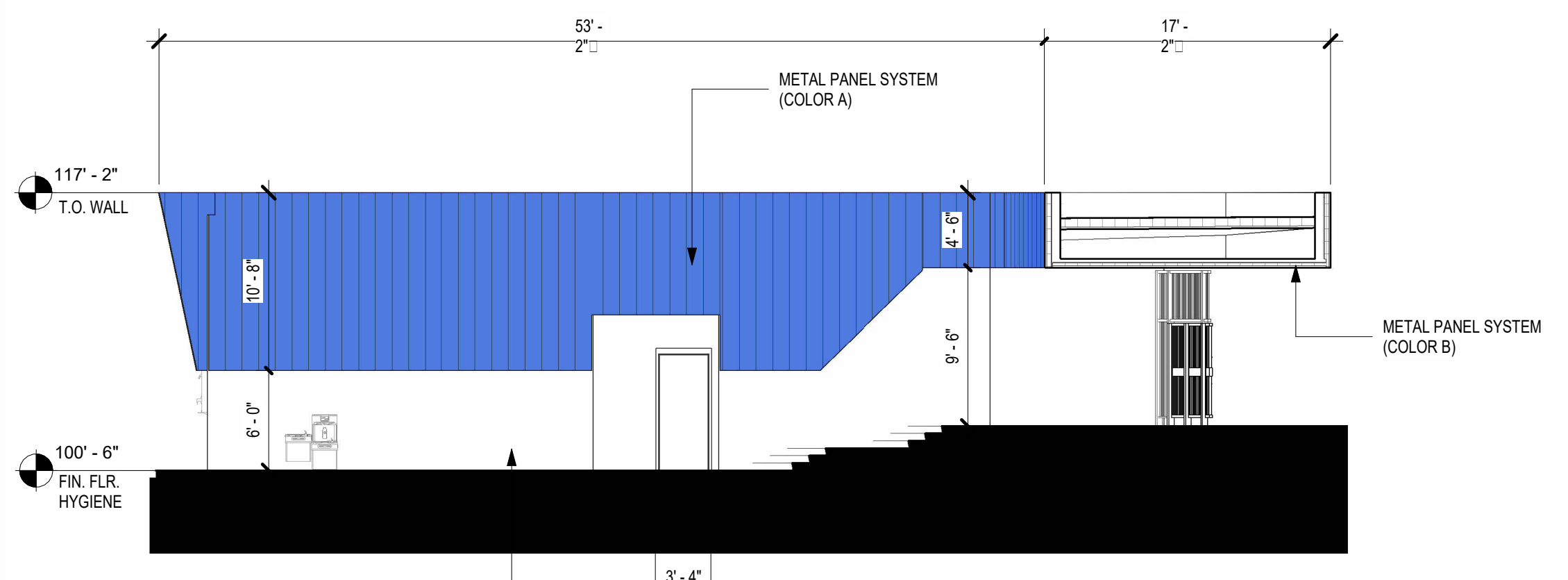
**C5 AREA C - CHECK-IN EAST ELEVATION**  
 1/8" = 1'-0" SCALE 1/8" = 1'-0"



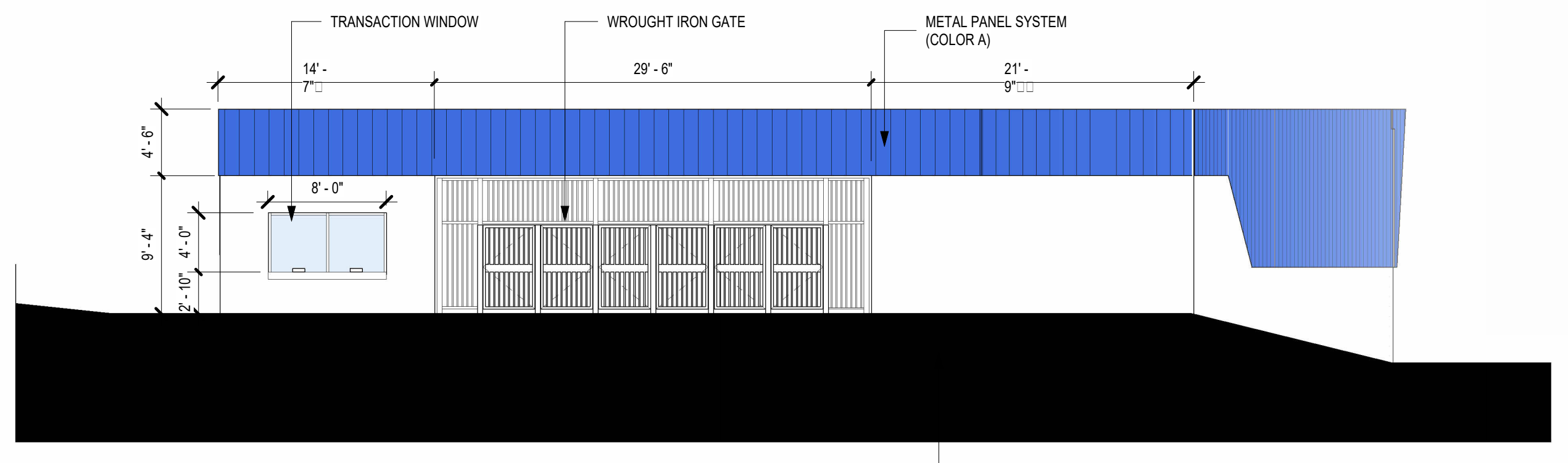
**C2 AREA C - CHECK-IN SOUTH ELEVATION**  
 1/8" = 1'-0" SCALE 1/8" = 1'-0"



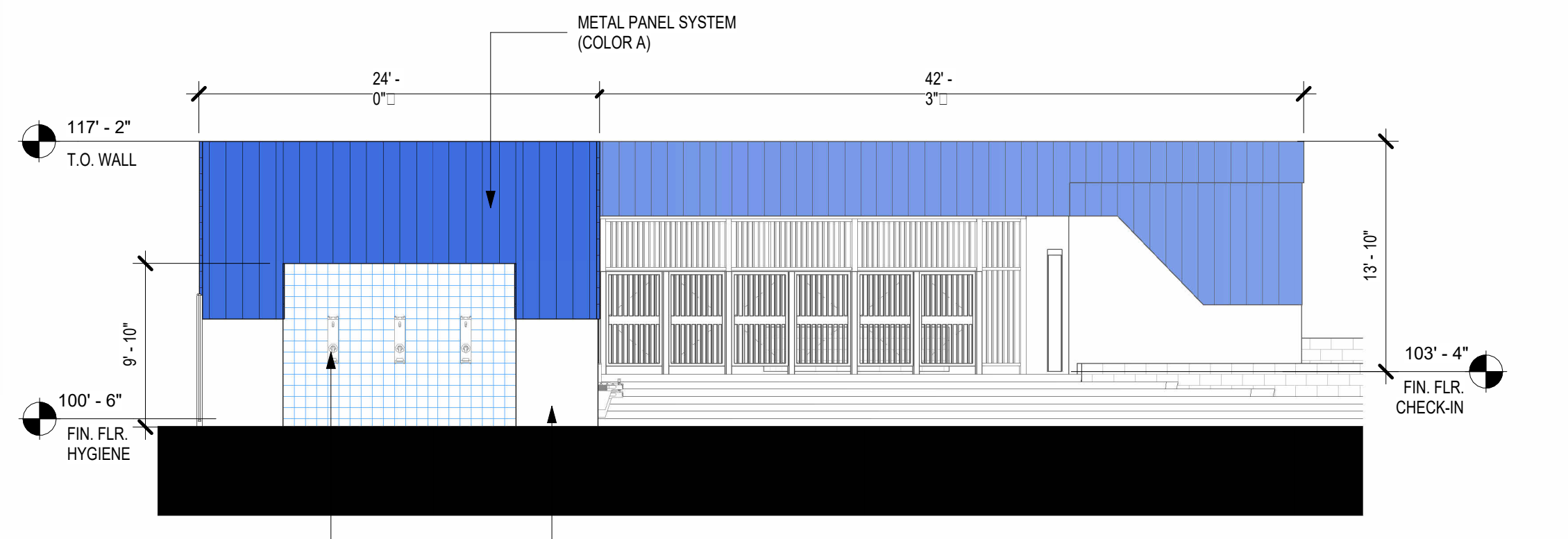
**B2 AREA C - WEST ELEVATION**  
 1/8" = 1'-0" SCALE 1/8" = 1'-0"



**B5 AREA C - EAST ELEVATION**  
 1/8" = 1'-0" SCALE 1/8" = 1'-0"



**A2 AREA C - NORTH ELEVATION**  
 1/8" = 1'-0" SCALE 1/8" = 1'-0"



**A5 AREA C - SOUTH ELEVATION**  
 1/8" = 1'-0" SCALE 1/8" = 1'-0"