



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms P & P2)	PRE-APPLICATIONS
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	APPEAL
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Administrative Decision (Form A)

BRIEF DESCRIPTION OF REQUEST

APPLICATION INFORMATION

Applicant/Owner:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM S3: ADMINISTRATIVE APPLICATIONS – Development Facilitation Team (DFT) as of 12/25/2022**_ AMENDMENT TO INFRASTRUCTURE LIST**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- 1) DFT Application form completed, signed, and dated
- 2) Form S3 with all the submittal items checked/marked
- 3) Zone Atlas map with the entire site clearly outlined and labeled
- 4) Letter of authorization from the property owner if application is submitted by an agent
- 5) Proposed Amended Infrastructure List
- 6) Original Infrastructure List

_ TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

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- 3) Zone Atlas map with the entire site clearly outlined and labeled
- 4) Letter of authorization from the property owner if application is submitted by an agent
- 5) A scale drawing showing the location of the deferred sidewalk with appropriate dimensions

_ EXTENSION OF THE IIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

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- 2) Form S3 with all the submittal items checked/marked
- 3) Zone Atlas map with the entire site clearly outlined and labeled

- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Letter describing, explaining, and justifying the deferral or extension
- ___ 6) Drawing showing the sidewalks subject to the proposed deferral or extension

_ INFRASTRUCTURE LIST EXTENSION OR AN INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA) EXTENSION

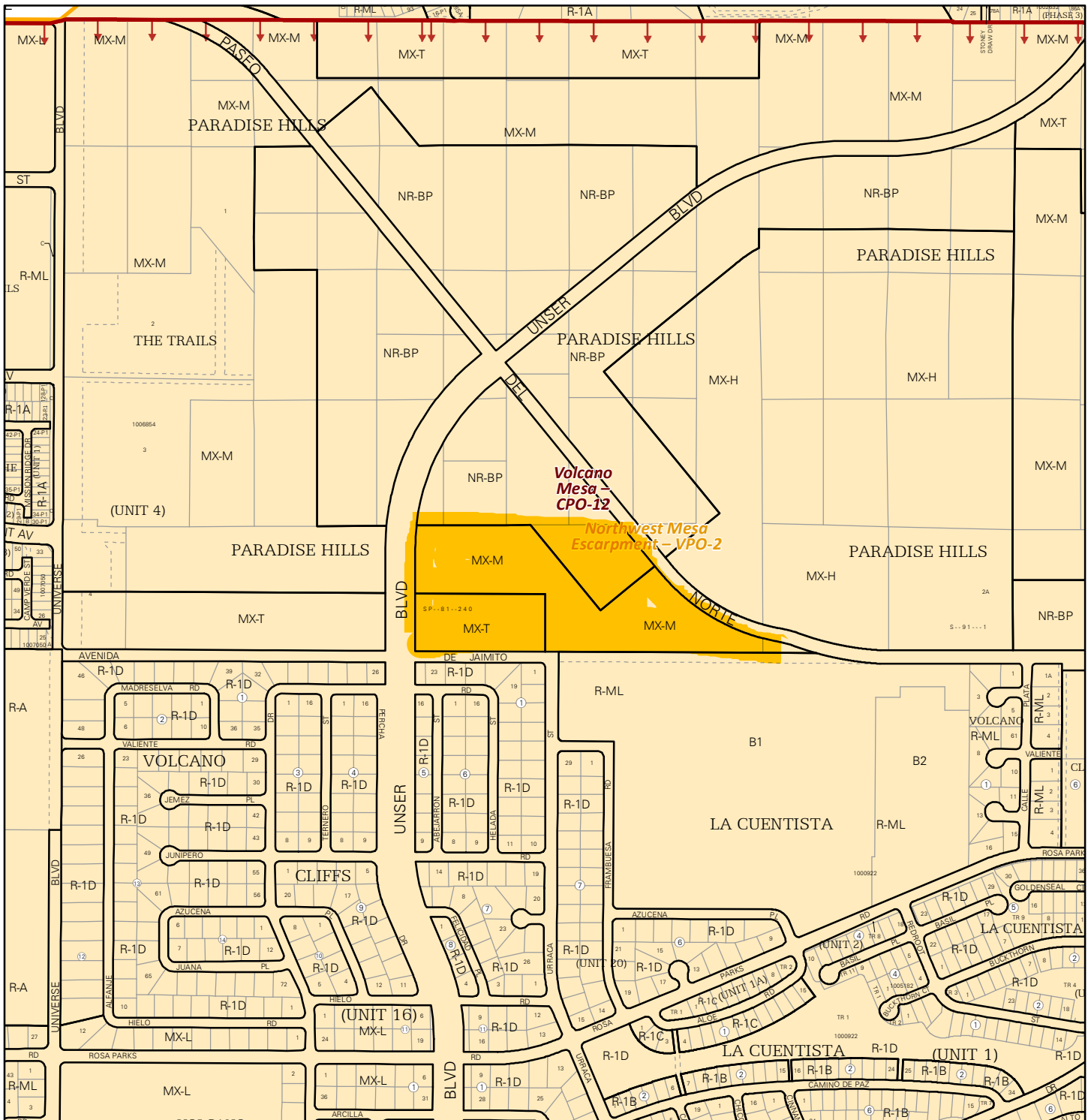
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- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Letter describing, explaining, and justifying the request per IDO Section 14-16-6-4(X)(4)
- ___ 6) Preliminary Plat or Site Plan
- ___ 7) Copy of DRB approved Infrastructure List
- ___ 8) Copy of recorded IIA

_ SKETCH PLAT OR SKETCH PLAN REVIEW AND COMMENT

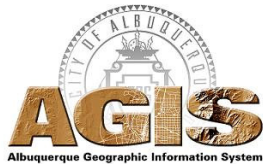
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- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Letter describing, explaining, and justifying the request
- ___ 6) Scale drawing of the proposed subdivision plat or Site Plan
- ___ 7) Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use

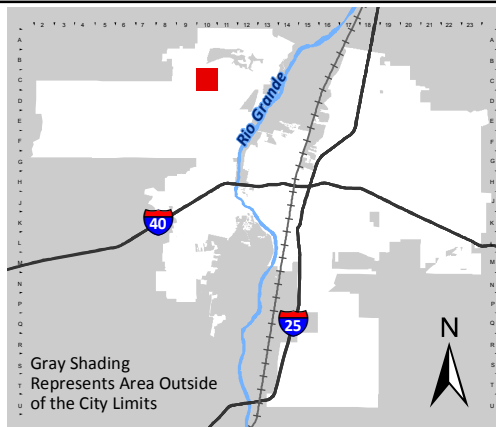


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

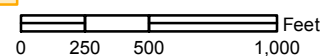


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
C-10-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



MULTIFAMILY NARRATIVE

NEC UNSER BLVD NW & AVE DE JAIMITO

INTRODUCTION

Thompson Thrift desires to develop a medium density (16 du/ac) multifamily community on approximately 18.5 acres at the northeast corner of Unser Blvd NW and Ave De Jaimito in the City of Albuquerque.



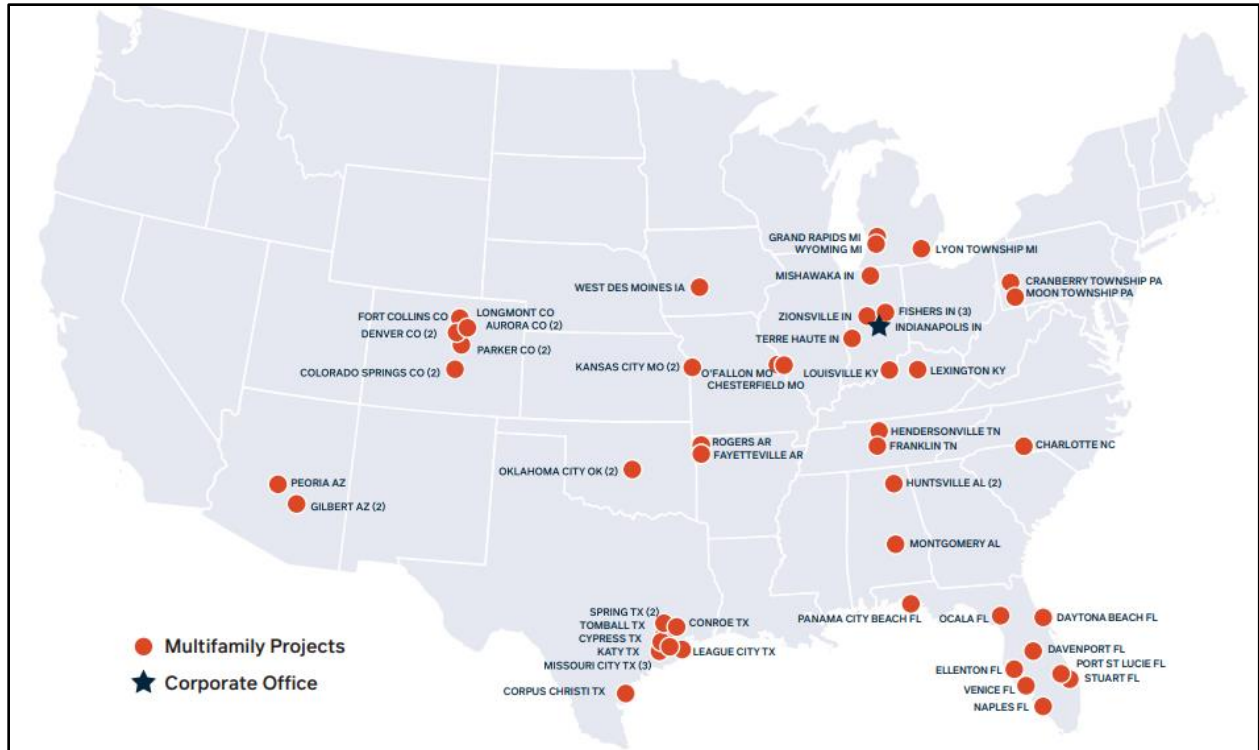
VICINITY MAP

Thompson Thrift is an integrated, full-service real estate company with a culture focused on excellence, service, and leadership. Thompson Thrift Residential is a national leader in the development, construction, and management of Class A apartment developments in affluent suburban markets in the US. Our experience has given us a platform to develop multifamily communities that epitomize our commitment to quality, value, and meticulous attention to detail. Innovative and aesthetically pleasing designs complement their respective community's surroundings. Care is taken to ensure that amenity packages and individual apartment home interiors are superior.

Here a few photos of completed communities as an example of the resort-style features and amenities:



Headquartered in Indianapolis, Thompson Thrift Residential has developed over 17,000 apartment units in 21 states:



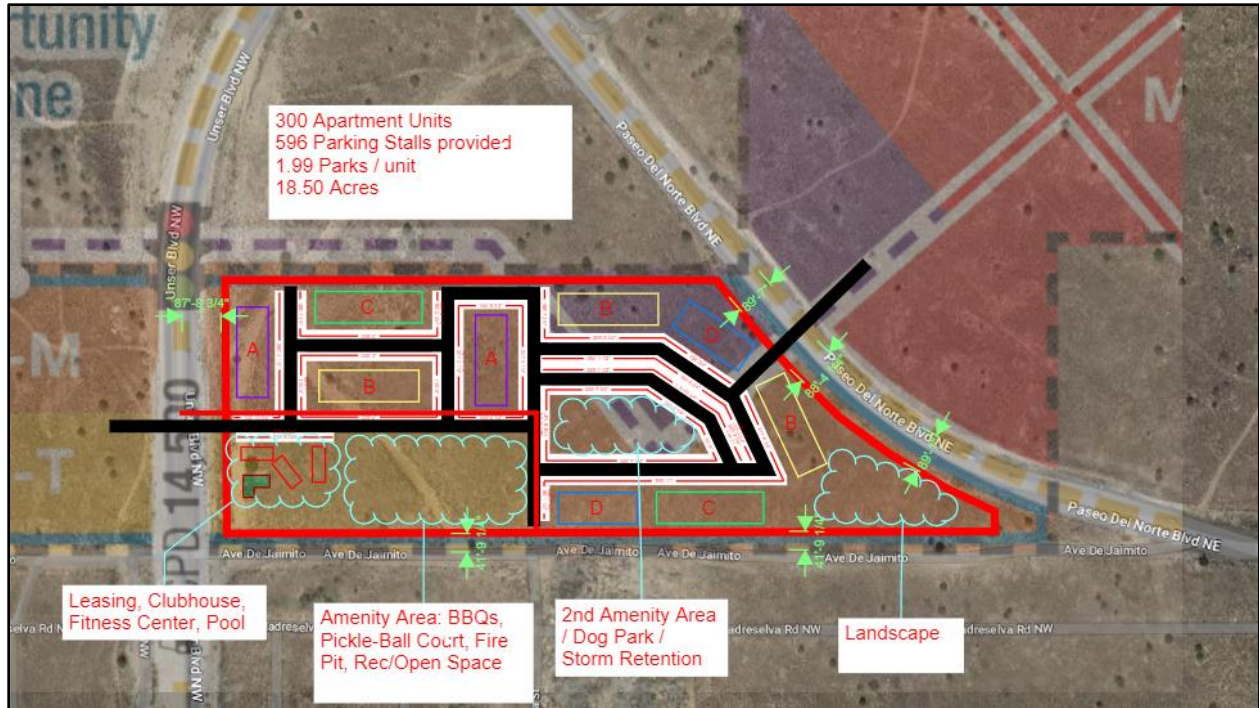
THOMPSON THRIFT LOCATIONS

PROPOSAL

Thompson Thrift is proposing to construct a 300-unit luxury multifamily community with a mix of one-, two-, and three-bedroom apartment units with ample parking, open space, and amenities. Standard amenities include a fitness center, clubhouse, pool, dog park, fire pit, and BBQ grills.

This upscale residential project will be designed to be visually attractive within the context of the neighborhood and larger community and will distinguish itself as a multifamily community that offers a high quality of life through exceptional architecture and the amount and quality of amenities. Most importantly, the community’s professional management team will be responsible for maintenance of the buildings and grounds so that residents can focus on their enjoyment of resort-style amenities without the responsibility of maintenance or upkeep. The interiors will feature open floor plans and interior finishes that demonstrate a commitment to quality.

Two points of access are proposed; one from Paseo Del Norte and one from Unser Blvd NW.



CONCEPTUAL SITE PLAN

QUESTIONS

- Is this site within an Opportunity Zone?
- How much public right-of-way dedication will be required?
 - Paseo Del Norte
 - Unser Blvd NW
 - Ave De Jaimito
- Confirm access from Paseo Del Norte and Unser Blvd.
- Are there any view corridor restrictions or other Overlay Districts?
- Will Design Review be required?
- What is the platting process?

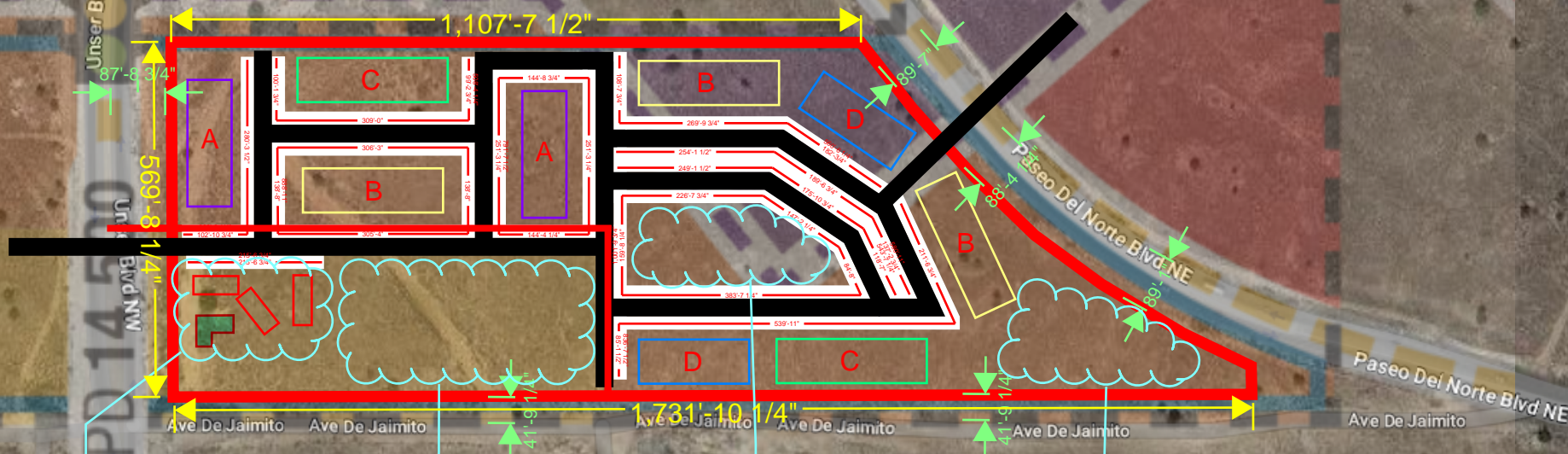
We look forward to working with the City of Albuquerque Staff to make the vision for this parcel become a reality. If you require any additional information, or have any questions, please contact Jo Ryan at 503.515.7861 or jryan@thompsonthrift.com.

Building Dimensions

A Building: 203 ft x 70 ft
B Building: 226 ft x 70 ft
C Building: 242 ft x 70 ft
D Building: 177 ft x 70 ft

Clubhouse: 81 ft x 30 ft
Fitness: 73 ft x 30 ft
Leasing: 73 ft x 30 ft

300 Units
596 Parking Stalls
516 Beds
1.16 Parks / Bed
18.50 Acres



Leasing, Clubhouse,
Fitness Center, Pool

Amenity Area: BBQs,
Pickle-Ball Court, Fire
Pit, Rec/Open Space

2nd Amenity Area
/ Dog Park /
Storm Retention

Landscape

