

LEXUS OF ALBUQUERQUE

SITE PLAN DOCUMENTATION





**Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.**

<b>MISCELLANEOUS APPLICATIONS</b>		<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input checked="" type="checkbox"/> Site Plan Administrative DFT (Forms P & P2)	<b>PRE-APPLICATIONS</b>	
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)	
<input type="checkbox"/> Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)	
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	<b>APPEAL</b>	
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Administrative Decision (Form A)	
<b>BRIEF DESCRIPTION OF REQUEST</b>		
Proposed renovation and addition of the existing Lexus of Albuquerque dealership located at 4821 Pan American Fwy. The proposed project will provide more service bays, an enlarged showroom, improved customer lounge and reception areas and other operational improvements in order to meet the high standards of the luxury brand Lexus and Group 1 Automotive.		
<b>APPLICATION INFORMATION</b>		
Applicant/Owner: Group 1 Realty, Inc. (Christine Scott)		Phone: 713-647-5700
Address: 800 Gessner, Suite 500		Email: bjohnson1@group1auto.com
City: Houston	State: TX	Zip: 77024
Professional/Agent (if any): Birkie Ayer, Jr. (Ayer Design Group, LLC)		Phone: 803-328-5858
Address: 215 Johnston St.		Email: birk@ayerdesigngroup.com
City: Rock Hill	State: SC	Zip: 29730
Proprietary Interest in Site: Owner's Civil Engineer		List <u>all</u> owners: Group 1 Realty, Inc.
<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>		
Lot or Tract No.: Tract C Plat	Block:	Unit:
Subdivision/Addition: Tracts A, B, & C LLD Subdivision	MRGCD Map No.: N/A	UPC Code: 101706102726220107
Zone Atlas Page(s): F-17-Z	Existing Zoning: NR-LM	Proposed Zoning NR-LM
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 3.8931
<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street: 4821 Pan American Fwy	Between: Montano Rd.	and: Jefferson St.
<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>		
Original approvals (Z-99-90-1, AA-03AA000406 (1000219)), BP-2022-21220, F17D078, F17E078		
I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.		
Signature: <i>Birkie Ayer</i>		Date: 3/22/23
Printed Name: Birkie Ayer, Jr.		<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

## FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022

 SITE PLAN ADMINISTRATIVE – DFT

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov). Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in bold below.

**SITE PLAN DOCUMENTATION**

- X 1) DFT Application form completed, signed, and dated
- X 2) Form P2 with all the submittal items checked/marked
- X 3) Form P with signatures from Hydrology, Transportation, and ABCWUA
- X 4) Zone Atlas map with the entire site clearly outlined and labeled
- X 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- X 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- TBD 7) Infrastructure List, if required for building of public infrastructure
- N/A 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at): Existing site is fully developed automotive dealership.  
[https://documents.cabq.gov/planning/development-review-board/Sensitive lands analysis form.pdf](https://documents.cabq.gov/planning/development-review-board/Sensitive%20lands%20analysis%20form.pdf)
- X 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic%20Responsiveness.pdf)

**SUPPORTIVE DOCUMENTATION**

- X 10) Completed Site Plan Checklist
- X 11) Letter of authorization from the property owner if application is submitted by an agent
- X 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- N/A 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- N/A 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (not required for Extension)

N/A 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

N/A 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

#### PUBLIC NOTICE DOCUMENTATION

N/A 17) Sign Posting Agreement

N/A 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

X Office of Neighborhood Coordination neighborhood meeting inquiry response

N/A Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

N/A Completed neighborhood meeting request form(s)

N/A If a meeting was requested or held, copy of sign-in sheet and meeting notes

N/A 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

N/A Office of Neighborhood Coordination notice inquiry response

N/A Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

N/A Proof of emailed notice to affected Neighborhood Association representatives

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form P2 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Site Plan and related drawings
- \_\_\_ 5) Infrastructure List, if require
- \_\_\_ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- \_\_\_ 7) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 8) Solid Waste Department signature on Site Plan
- \_\_\_ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- \_\_\_ 10) Approved Grading and Drainage Plan
- \_\_\_ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)



**FORM P: PRE-APPROVALS/SIGNATURES**

Please refer to the DRB public meeting schedule for meeting dates and deadlines. Your attendance is required.

**Legal Description & Location:** 4821 Pan American Freeway (Lexus of Albuquerque)  
Lot 3,Block 0,Tract C of Tracts A, B & C LLD Subdivision containing 3.91 ac

**Job Description:** Expansion of building from 22,800 sf to 38,336 sf

**□ Hydrology:**

- Grading and Drainage Plan        X   Approved             NA
- AMAFCA                                       Approved        X   NA
- Bernalillo County                        Approved        X   NA
- NMDOT                                        Approved        X   NA
- MRGCD                                        Approved        X   NA

*Treggie Cho*  
Hydrology Department

12/20/2022  
Date

**□ Transportation:**

- Traffic Circulations Layout (TCL)        X   Approved             NA
- Traffic Impact Study (TIS)                    Approved        X   NA
- Neighborhood Impact Analysis (NIA)          Approved        X   NA
- Bernalillo County                            Approved        X   NA
- MRCOG                                        Approved        X   NA
- NMDOT                                        Approved        X   NA
- MRGCD                                        Approved        X   NA

*Ernest Armijo*  
Transportation Department

1/5/2023  
Date

**□ Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

- Water/Sewer Availability Statement/Serviceability Letter        X   Approved             NA
- ABCWUA Development Agreement                                            Approved        X   NA
- ABCWUA Service Connection Agreement                                      Approved        X   NA

*Grant Magnanelli*  
ABCWUA

01/12/2023  
Date

- Infrastructure Improvements Agreement (IIA\*)             Approved             NA
- Solid Waste Department Signature on the plan             Approved             NA
- Fire Marshall Signature on the plan                            Approved             NA

\* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)



**SITE DESIGN DATA**

- PROPERTY IS LOCATED AT 4821 PAN AMERICAN FWY.
- UPCC: 101706102726220107
- CURRENT ZONING: NR-LM (NON-RESIDENTIAL LIGHT MANUFACTURING)
- PROPOSED USE: AUTOMOTIVE SALES AND SERVICE
- MINIMUM YARD & BUILDING SETBACKS PER ZONING ORDINANCE

FRONT/STREET	5 FT
REAR YARD	0 FT
SIDE YARD	0 FT

<b>6. PARKING DATA</b>	
USE: LIGHT VEHICLE SALES	
REQUIRED	2 SPACES PER 1,000 GFA
PROVIDED	15,635/1,000 = 15.64 X 2 = 31.27 (32 SPACES REQUIRED)
USE: LIGHT VEHICLE REPAIR	
REQUIRED	1 SPACE PER 1,000 GFA
PROVIDED	19,400/1,000 = 19.4 (20 SPACES REQUIRED)
REQUIRED	52 SPACES
PROVIDED	162 SPACES

<b>MOTORCYCLE PARKING: 1 SPACE REQUIRED, 2 SPACES PROVIDED</b>	
<b>BICYCLE PARKING: 3 SPACES PROVIDED</b>	

- MAXIMUM ALLOWABLE BUILDING HEIGHT = 65'
- SUBJECT PROPERTY IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA AS REFLECTED ON FEMA FLOOD RATE INSURANCE RATE MAP PANEL NO. 35001C0138H, DATED EFFECTIVELY 8/16/12.
- ADEQUATE LIGHTING SHALL BE PROVIDED FOR OFF-STREET PARKING.
- SITE LIGHTING DESIGN BY OTHERS. SEE ELECTRICAL SITE PLAN. SITE LIGHTING POLES TO BE MAX. HEIGHT OF 30' WITH LED FIXTURES.
- SIGNAGE WILL BE REVIEWED AND PERMITTED SEPARATELY.
- SITE IS LOCATED AT 4821 PAN AMERICAN FWY.
- PARKING AREAS TO BE LIGHT DUTY CONCRETE PAVING
- DRIVE AISLES TO BE HEAVY DUTY CONCRETE PAVING

**FIRE ONE DATA**

- CONSTRUCTION TYPE = II-B
- BUILDING SQUARE FOOTAGE = 38,336 SF
- FIRE FLOW = 1,200 GPM
- BUILDING HEIGHT = 27'-8"
- PROPOSED FIRE APPARATUS ROADS/DRIVES CONSTRUCTED TO SUPPORT IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS.
- PROPOSED PAVEMENT DESIGN OF APPARATUS ROADS TO SUBSTANTIATE WEIGHT BEARING CAPACITY AND ALL WEATHER DRIVING CAPABILITIES FOR FIRE APPARATUS ACCESS ROADS.
- BUILDING TO BE SPRINKLERED
- FIRE APPARATUS ROADS SHALL HAVE AN UNOBSTRUCTED HEIGHT NOT LESS THAN 13 FEET 6 INCHES.

**GENERAL NOTES**

- ALL PAVEMENT MARKINGS & SIGNAGE SHALL COMPLY WITH THE "NEW MEXICO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS & HIGHWAYS".
- CONTRACTOR SHALL CONTACT "NM ONE CALL" AT 811 FOR ASSISTANCE IN LOCATING ANY EXISTING UTILITIES AT LEAST 72 HRS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF EXISTING ABOVE & BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS, LINES, OR INDIVIDUAL SERVICES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS ON-SITE & NOTIFY THE ENGINEER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES IN WRITING PRIOR TO BEGINNING WORK.
- SIDEWALK CROSS-SLOPE SHALL NOT EXCEED 50:1.
- ALL DIMENSIONAL CALL OUTS ARE MEASURED FROM FACE OF CURB.
- FIELD ADJUSTMENTS SHALL BE MADE AS NECESSARY TO ENSURE A SMOOTH TRANSITION BOTH VERTICALLY & HORIZONTALLY FROM EXISTING TO PROPOSED PAVEMENT & CURB SECTIONS.
- GUTTERS & PAVING SHALL BE INSTALLED IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL LOCAL, STATE & FEDERAL CONSTRUCTION SAFETY REGULATIONS ARE FOLLOWED DURING THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
- BENCHMARK LOCATION & ELEVATION SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. BENCHMARKS USED FOR SURVEY ARE LISTED ON THE EXISTING CONDITIONS PLAN.
- BOUNDARY AND ALTA SURVEY INFORMATION TAKEN FROM SURVEY BY PRECISION SURVEYS, INC.
- WATER & SEWER FEES (AS APPLICABLE) ARE TO BE PAID AT THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY OFFICE.
- ALL DEMOLITION DEBRIS SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN IDEQ APPROVED LANDFILL.
- CONTRACTOR TO SUBMIT A TRAFFIC CONTROL PLAN TO NMDOT & ENGINEER FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
- ALL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF ALBUQUERQUE, ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION AS APPLICABLE.
- CONTRACTOR TO ADJUST ALL EXISTING UTILITIES RIMS, COVERS, GRATES, AND WATER METER BOXES TO MATCH PROPOSED GRADES.
- CONTRACTOR TO COORDINATE UTILITY RELOCATIONS WITH ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
- ALL MATERIALS & PLANS ARE TO COMPLY WITH CURRENT CITY OF ALBUQUERQUE, ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION AS APPLICABLE.
- CONTRACTOR SHALL SUPPLY AS-BUILT DRAWINGS OF STREET, DRAINAGE, WATER & SANITARY SEWER SYSTEMS AFTER INSTALLATION.
- TRANSITION PROPOSED CONCRETE CURB, PAVEMENT AND SIDEWALK INTO EXISTING CURB, PAVEMENT AND SIDEWALK AND PROVIDE A FLUSH 1/8" TROWLED JOINT WHERE PROPOSED CONCRETE MEETS EXISTING CONCRETE.
- ALL EXISTING AND PROPOSED LANDINGS, SIDEWALKS, RAMPS, ACCESSIBLE PARKING, DRIVEWAY CROSSWALKS AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A., CITY OF ALBUQUERQUE, AND NMDOT REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.
- CONTRACTOR SHALL MAINTAIN ACCESS DRIVE INTO SITE FROM PAN AMERICAN FWY THROUGHOUT DEMOLITION AND CONSTRUCTION ACTIVITIES.
- REFER TO PROJECT SPECIFICATION MANUAL FOR ADDITIONAL REQUIREMENTS AND PROJECT SPECIFICATIONS.



**ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION**

**PERMIT**

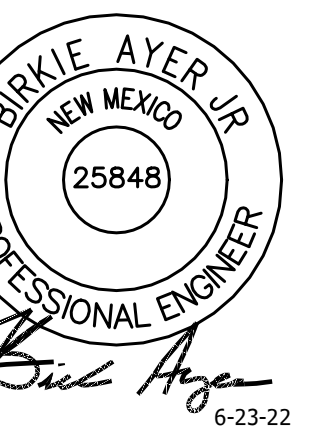
PERMIT NUMBER: P-22-010536  
APPROVED DATE: 06/23/22

**APPROVED**

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

**FIRE FLOW:** 38,336 SF, 1-B, Sprinklered, FF 2125gpm, 2 Hydrants min.

**AYER DESIGN GROUP**  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnson Street  
Rock Hill, SC 29730  
Phone: 803-526-5638



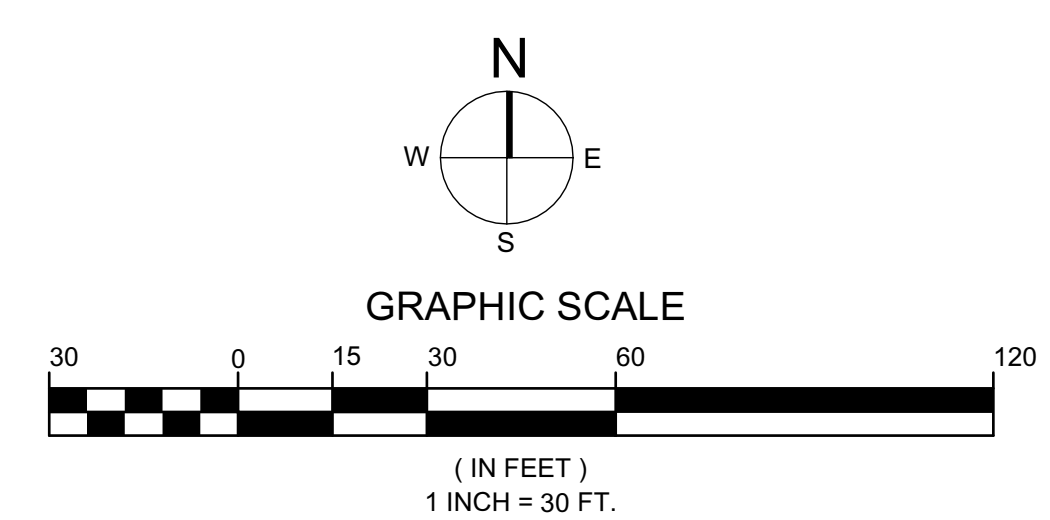
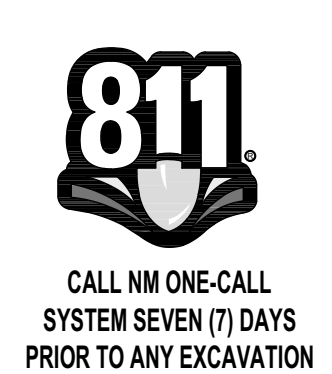
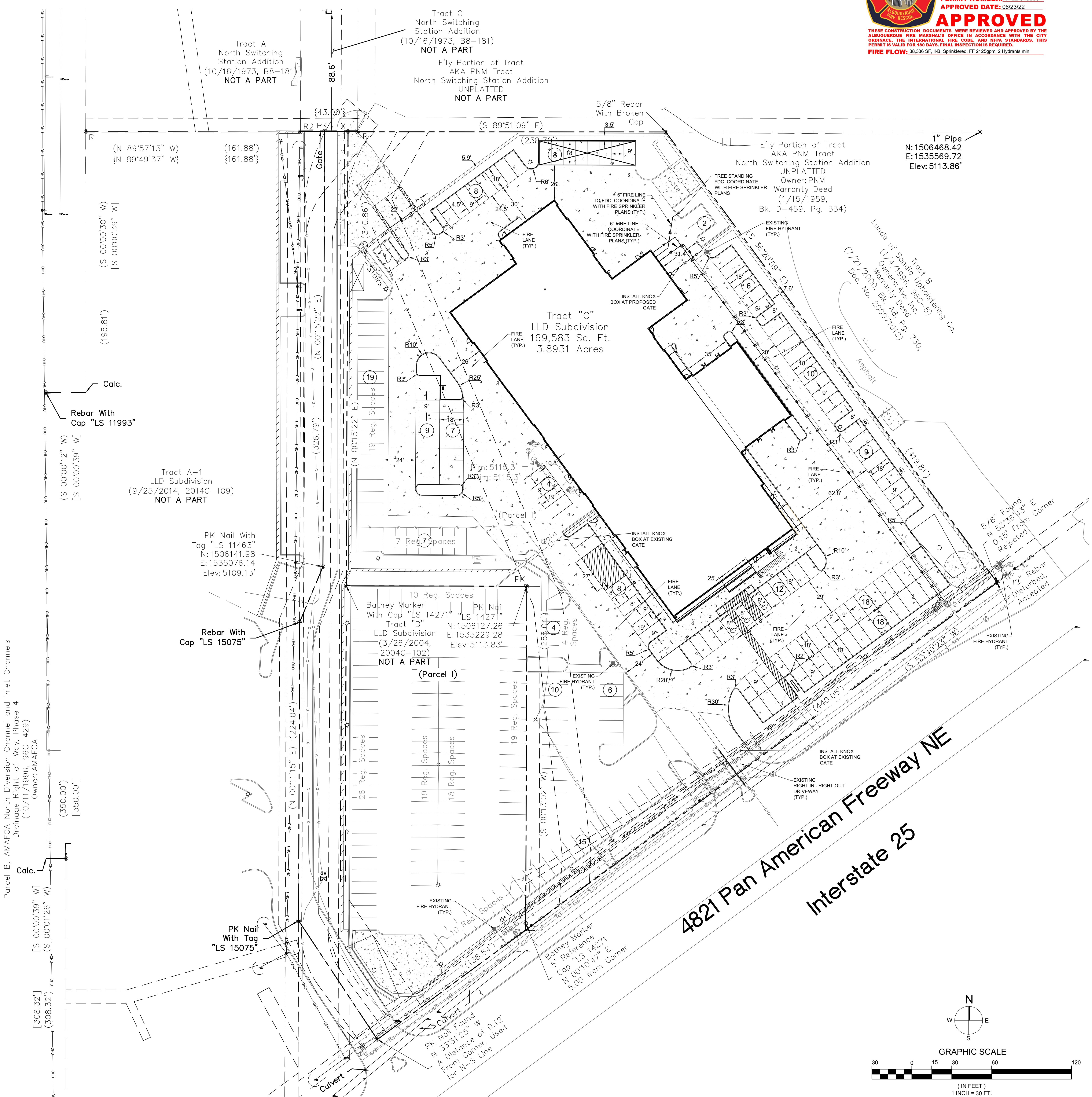
PROJECT NAME:  
**LEXUS OF  
ALBUQUERQUE**

4821 PAN AMERICAN FWY.  
ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**SITE  
PLAN**

PROJECT #	2021-12	
DRAWN BY	CC	
CHECKED BY	BA	
NO	ISSUE/REVISION	DATE
	FOR PERMIT	6/23/22

**C02.0**





**SITE DESIGN DATA**

- PROPERTY IS LOCATED AT 4821 PAN AMERICAN FWY.
  - UPC#: 10170510272620107
  - CURRENT ZONING: NR-LM (NON-RESIDENTIAL LIGHT MANUFACTURING)
  - PROPOSED USE: AUTOMOTIVE SALES AND SERVICE
  - MINIMUM YARD & BUILDING SETBACKS PER ZONING ORDINANCE
- FRONT/STREET**  
 FRONT YARD: 5 FT  
 REAR YARD: 0 FT  
 SIDE YARD: 0 FT
- PARKING DATA**  
 USE: LIGHT VEHICLE SALES  
 REQUIRED: 2 SPACES PER 1,000 GFA  
 PROVIDED: 15,635/1,000 = 15.64 X 2 = 31.27 (32 SPACES REQUIRED)
- USE: LIGHT VEHICLE REPAIR  
 REQUIRED: 1 SPACE PER 1,000 GFA  
 PROVIDED: 19,400/1,000 = 19.4 (20 SPACES REQUIRED)
- REQUIRED: 52 SPACES  
 PROVIDED: 162 SPACES
- MOTORCYCLE PARKING: 1 SPACE REQUIRED, 2 SPACES PROVIDED  
 BICYCLE PARKING: 3 SPACES REQUIRED, 3 SPACES PROVIDED
- MAXIMUM ALLOWABLE BUILDING HEIGHT = 65'
  - SUBJECT PROPERTY IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA AS REFLECTED ON FEMA FLOOD RATE INSURANCE RATE MAP NO. 35001C0138H, DATED EFFECTIVELY 8/16/12.
  - ADEQUATE LIGHTING SHALL BE PROVIDED FOR OFF-STREET PARKING.
  - SITE LIGHTING DESIGN BY OTHERS. SEE ELECTRICAL SITE PLAN. SITE LIGHTING POLES TO BE MAX. HEIGHT OF 30' WITH LED FIXTURES.
  - SIGNAGE WILL BE REVIEWED AND PERMITTED SEPARATELY.
  - SITE IS LOCATED AT 4821 PAN AMERICAN FWY.
  - INSTALL KNOX BOXES AT EXISTING AND PROPOSED GATES FOR FIRE ACCESS.
  - INSTALL ACCESS KEYPAD AT EXISTING AND PROPOSED GATES FOR REFUSE ACCESS.

**FIRE ONE DATA**

- CONSTRUCTION TYPE = I-B
- BUILDING SQUARE FOOTAGE = 38,336 SF
- FIRE FLOW = 1,200 GPM
- BUILDING HEIGHT = 27' - 8"
- PROPOSED FIRE APPARATUS ROADS/DRIVES CONSTRUCTED TO SUPPORT IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS.
- PROPOSED PAVEMENT DESIGN OF APPARATUS ROADS TO SUBSTANTIATE WEIGHT BEARING CAPACITY AND ALL WEATHER DRIVING CAPABILITIES FOR FIRE APPARATUS ACCESS ROADS.
- BUILDING TO BE SPRINKLERED
- FIRE APPARATUS ROADS SHALL HAVE AN UNOBSTRUCTED HEIGHT NOT LESS THAN 13 FEET 6 INCHES.

**GENERAL NOTES**

- ALL PAVEMENT MARKINGS & SIGNAGE SHALL COMPLY WITH THE "NEW MEXICO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS & HIGHWAYS".
- CONTRACTOR SHALL CONTACT "NM ONE CALL" AT 811 FOR ASSISTANCE IN LOCATING ANY EXISTING UTILITIES AT LEAST 72 HRS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF EXISTING ABOVE & BELOW GROUND UTILITIES AND STRUCTURES, ANY AND ALL MAINS, LINES, OR INDIVIDUAL SERVICES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS ON-SITE & NOTIFY THE ENGINEER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES IN WRITING PRIOR TO BEGINNING WORK.
- SIDEWALK CROSS-SLOPE SHALL NOT EXCEED 50:1.
- ALL DIMENSIONAL CALL OUTS ARE MEASURED FROM FACE OF CURB.
- FIELD ADJUSTMENTS SHALL BE MADE AS NECESSARY TO ENSURE A SMOOTH TRANSITION BOTH VERTICALLY & HORIZONTALLY FROM EXISTING TO PROPOSED PAVEMENT & CURB SECTIONS.
- GUTTERS & PAVING SHALL BE INSTALLED IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL LOCAL, STATE & FEDERAL CONSTRUCTION SAFETY REGULATIONS ARE FOLLOWED DURING THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
- BENCHMARK LOCATION & ELEVATION SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. BENCHMARKS USED FOR SURVEY ARE LISTED ON THE EXISTING CONDITIONS PLAN.
- BOUNDARY AND ALTA SURVEY INFORMATION TAKEN FROM SURVEY BY PRECISION SURVEYS, INC.
- WATER & SEWER FEES (AS APPLICABLE) ARE TO BE PAID AT THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY OFFICE.
- ALL DEMOLITION DEBRIS SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN IDEAL APPROVED LANDFILL.
- CONTRACTOR TO SUBMIT A TRAFFIC CONTROL PLAN TO NMDOT & ENGINEER FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
- ALL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF ALBUQUERQUE, ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION AS APPLICABLE.
- CONTRACTOR TO ADJUST ALL EXISTING UTILITIES RIMS, COVERS, GRATES, AND WATER METER BOXES TO MATCH PROPOSED GRADES.
- CONTRACTOR TO COORDINATE UTILITY RELOCATIONS WITH ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
- ALL MATERIALS & PLANS ARE TO COMPLY WITH CURRENT CITY OF ALBUQUERQUE, ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION AS APPLICABLE.
- CONTRACTOR SHALL SUPPLY AS-BUILT DRAWINGS OF STREET, DRAINAGE, WATER & SANITARY SEWER SYSTEMS AFTER INSTALLATION.
- TRANSITION PROPOSED CONCRETE CURB, PAVEMENT AND SIDEWALK INTO EXISTING CURB, PAVEMENT AND SIDEWALK, AND PROVIDE A FLUSH 1/8" TROWEL JOINT WHERE PROPOSED CONCRETE MEETS EXISTING CONCRETE.
- ALL EXISTING AND PROPOSED LANDINGS, SIDEWALKS, RAMPS, ACCESSIBLE PARKING, DRIVEWAY CROSSWALKS AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A. CITY OF ALBUQUERQUE, AND NMDOT REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.
- CONTRACTOR SHALL MAINTAIN ONE ACCESS DRIVE INTO SITE FROM JEFFERSON STREET NE THROUGHOUT DEMOLITION AND CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL MAINTAIN ACCESS DRIVE INTO SITE FROM PAN AMERICAN FWY THROUGHOUT DEMOLITION AND CONSTRUCTION ACTIVITIES.
- REFER TO PROJECT SPECIFICATION MANUAL FOR ADDITIONAL REQUIREMENTS AND PROJECT SPECIFICATIONS.

Approved for access by the Solid Waste Department for a double trash enclosure  
 Herman Gallegos 09-07-22  
 \*\*Gate code will be given for access\*\* *Herman Gallegos*

**AYER DESIGN GROUP**  
 PROFESSIONAL ENGINEERING SERVICES  
 215 Johnston Street  
 Rock Hill, SC 29730  
 Phone: 803-328-5858

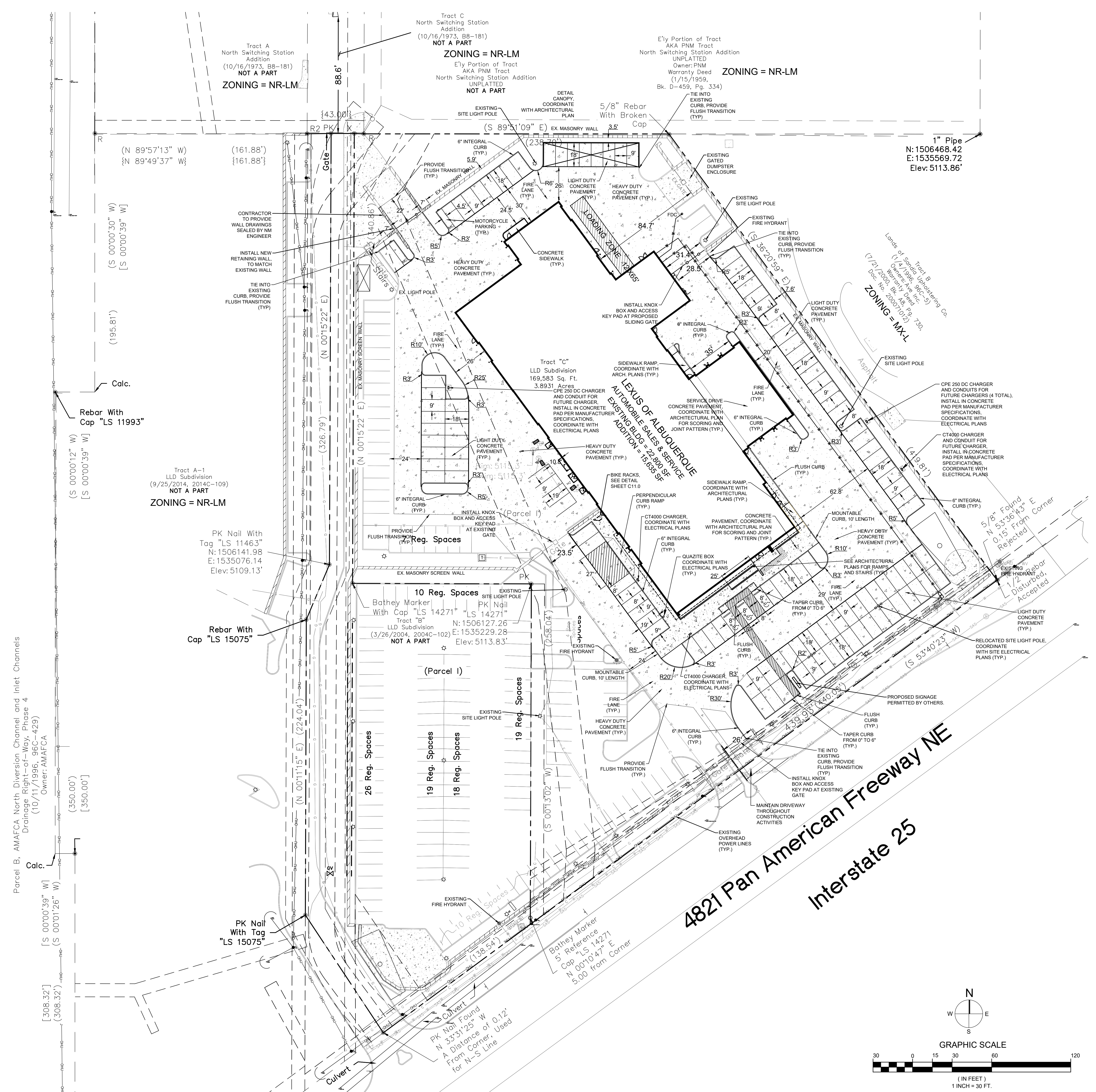
**BIRKIE AYER JR.**  
 NEW MEXICO  
 25848  
 PROFESSIONAL ENGINEER  
*Birkie Ayer*  
 9-6-22

PROJECT NAME:  
**LEXUS OF ALBUQUERQUE**  
 4821 PAN AMERICAN FWY.  
 ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**SITE PLAN**

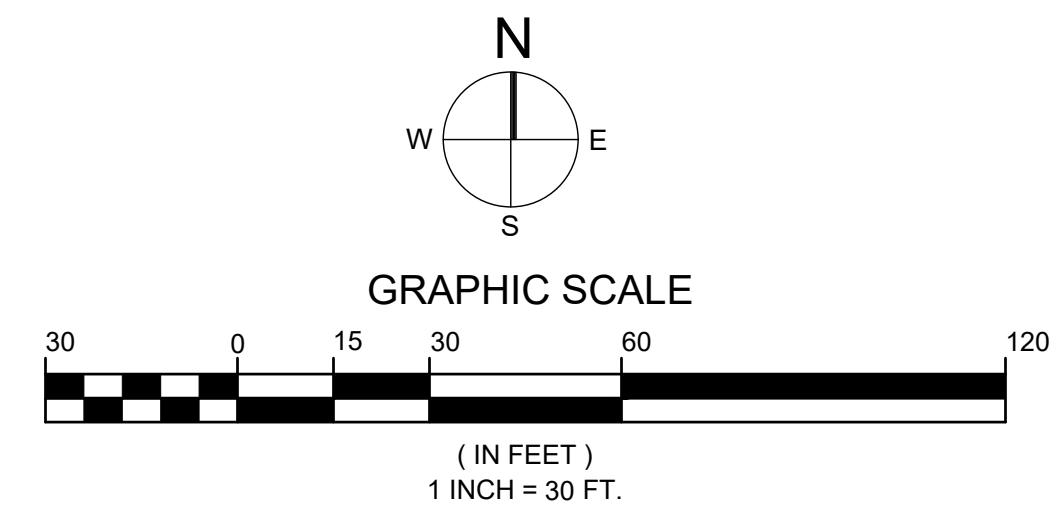
PROJECT #	2021-12	
DRAWN BY	CC	
CHECKED BY	BA	
NO	ISSUE/REVISION	DATE
	FOR PERMIT	6/23/22
#1	PERMIT REVISIONS	7/1/22

**C02.0**



**LEGEND**

	PROPERTY CORNER		RIP RAP
	CENTER LINE		FLARED END SECTION
	PROPERTY LINE		STORM DRAIN DROP INLET
	RIGHT OF WAY		STORM DRAIN JUNCTION BOX
	SEPTIC TANK		HANDICAP PARKING SPACE
	WATER METER		EXISTING WATER LINE
	CATV		PROPOSED WATER LINE
	TELEPHONE PEDESTAL		EXISTING SANITARY SEWER
	POWER POLE		PROPOSED SANITARY SEWER
	ELECTRICAL BOX		EXISTING OVERHEAD ELECTRIC
	BENCHMARK		UNDERGROUND ELECTRIC
	FIRE HYDRANT		EASEMENT LINE
	WATER VALVE		INLET PROTECTION
	BLOW OFF		STORM DRAIN
	SANITARY SEWER MANHOLE		TREE SAVE / PROTECTION
	EXISTING CONTOUR		TREE TO BE REMOVED
	PROPOSED CONTOUR		
	EXISTING SPOT ELEVATION		
	PROPOSED SPOT ELEVATION		
	TOP OF WALL ELEVATION		
	BOTTOM OF WALL ELEVATION		
	PROPOSED SWALE		





# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

December 23, 2022

Birkie Ayer, PE  
Ayer Design Group  
215 Johnston Street  
Rock Hill, South Carolina 29730

**RE: Lexus of Albuquerque  
4821 Pan American Frwy  
Grading and Drainage Plan  
Engineer's Stamp Date: 12/16/2022  
Hydrology File: F17D078**

Dear Mr. Ayer:

Based upon the information provided in your submittal received 12/20/2022, the Grading & Drainage Plan is approved for Grading Permit and Building Permit approval. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please pay the Payment-in-Lieu of \$ 24,400.00 by emailing the attached approved Waiver Application from Stormwater Quality Volume Management On-site to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov). Once this is received, a receipt will then produce and email back with instructions on how to pay online. Once paid, please email me proof of payment.

NM 87103

[www.cabq.gov](http://www.cabq.gov)

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3695 or [tchen@cabq.gov](mailto:tchen@cabq.gov).

Sincerely,

Tiequan Chen, P.E.  
Principal Engineer, Hydrology  
Planning Department, Development Review Services





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

**Project Title:** Lexus of Albuquerque **Building Permit #** \_\_\_\_\_ **Hydrology File #** F17D078  
**DRB#** \_\_\_\_\_ **EPC#** \_\_\_\_\_

**Legal Description:** Lot 3, Block 0, Tract C of Tracts **City Address OR Parcel** 4821 Pan American Fwy  
A,B,C LLD Subdivision

**Applicant/Agent:** Ayer Design Group **Contact:** Birkie Ayer, P.E.  
**Address:** 215 Johnston St., Rock Hill, SC 29730 **Phone:** 803-328-5858  
**Email:** birk@ayerdesigngroup.com

**Applicant/Owner:** Group 1 Realty, Inc. **Contact:** Christine Scott  
**Address:** 800 Gessner, Suite 500, Houston, TX 77024 **Phone:** 713-647-5700  
**Email:** cscott@group1auto.com

**TYPE OF DEVELOPMENT:**  PLAT (#of lots)  RESIDENCE  DRB SITE  ADMIN SITE: \_\_\_\_\_  
**RE-SUBMITTAL:**  YES  NO

**DEPARTMENT:**  TRANSPORTATION  HYDROLOGY/DRAINAGE  
Check all that apply:

- TYPE OF SUBMITTAL:**
- ENGINEER/ARCHITECT CERTIFICATION
  - PAD CERTIFICATION
  - CONCEPTUAL G&D PLAN
  - GRADING PLAN
  - DRAINAGE REPORT
  - DRAINAGE MASTER PLAN
  - FLOOD PLAN DEVELOPMENT PERMIT APP.
  - ELEVATION CERTIFICATE
  - CLOMR/LOMR
  - TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
  - TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
  - TRAFFIC IMPACT STUDY (TIS)
  - STREET LIGHT LAYOUT
  - OTHER (SPECIFY)
  - PRE-DESIGN MEETING?

- TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**
- BUILDING PERMIT APPROVAL
  - CERTIFICATE OF OCCUPANCY
  - CONCEPTUAL TCL DRB APPROVAL
  - PRELIMINARY PLAT APPROVAL
  - SITE PLAN FOR SUB'D APPROVAL
  - SITE PLAN FOR BLDG PERMIT APPROVAL
  - FINAL PLAT APPROVAL
  - SIA/RELEASE OF FINANCIAL GUARANTEE
  - FOUNDATION PERMIT APPROVAL
  - GRADING PERMIT APPROVAL
  - SO-19 APPROVAL
  - PAVING PERMIT APPROVAL
  - GRADING PAD CERTIFICATION
  - WORK ORDER APPROVAL
  - CLOMR/LOMR
  - FLOOD PLAN DEVELOPMENT PERMIT
  - OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 12-16-22



**GRADING NOTES**

PROPOSED PROJECT WILL REDUCE EXISTING IMPERVIOUS COVER BY APP. 1,606 SF.

CONCRETE TRUCKS SHALL NOT TYPICALLY BE WASHED OUT ON SITE. SHOULD CONCRETE TRUCK WASHOUT BE PERMITTED ON SITE, COORDINATE LOCATION AND BMPs WITH SITE INSPECTOR.

A. DO NOT DISPOSE OF CONCRETE TRUCK WASHOUT WASTE BY DUMPING INTO A SANITARY SEWER, STORM DRAIN OR ONTO SOIL OR PAVEMENT THAT CARRIES STORM WATER RUNOFF.

B. THE WASHOUT FROM CONCRETE TRUCKS SHOULD BE DISPOSED OF INTO:  
 - A DESIGNATED AREA THAT WILL LATER BE BACKFILLED (SLURRY PIT)  
 - AN AREA WHERE THE CONCRETE WASH CAN HARDEN AND THEN BE DISPOSED OF AS SOLID WASTE  
 - A LOCATION WHICH IS NOT SUBJECT TO WATER RUNOFF, AND MORE THAN 50 FEET AWAY FROM  
 - A STORM DRAIN, OPEN DITCH OR RECEIVING WATER WAY.

C. PUMP EXCESS CONCRETE IN CONCRETE PUMP BACK INTO CONCRETE MIXER TRUCK.

D. CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OFF SITE.

TEMPORARY TOILET FACILITIES SHALL BE PROVIDED FOR ALL CONSTRUCTION WORKERS AND SITE VISITORS IN ACCORDANCE WITH 2006 INTERNATIONAL PLUMBING CODE GENERAL REGULATIONS, SECTION 311. PORTABLE FACILITIES SHALL BE PLACED ON LEVEL GROUND AND AWAY FROM STORM DRAINAGE SYSTEMS (DITCHES, CATCH BASINS, ETC.) DISPOSAL AND HANDLING OF SANITARY WASTE MUST COMPLY WITH TCEQ REQUIREMENTS.

FINAL GRADES FOR GRASSED AND LANDSCAPED AREAS SHALL REQUIRE A MINIMUM OF 4'-6" OF CLEAN TOP SOIL, FREE OF DEBRIS AND CONTAMINANTS, AND PREFERABLY OF NATIVE ORIGIN.

SPOT GRADES SHOWN ARE FINISHED SURFACE ELEVATIONS, CONTRACTOR MUST MAKE ALLOWANCE FOR PAVEMENT THICKNESS.

WHEN PRECAST CONCRETE BOXES ARE USED FOR STORM STRUCTURES, THE TOP 12" SHALL BE CONSTRUCTED FROM BRICK OR BLOCK TO ALLOW ADJUSTMENTS TO FINAL GRADE.

WHEN PRECAST CONCRETE BOXES ARE USED FOR STORM STRUCTURES, NO WAFFLE WALL BOXES OR KNOCK OUT PANELS WILL BE ALLOWED.

M.E.G. = MATCH EXISTING GRADE

CONTRACTOR SHALL COMPLY WITH THE CONSTRUCTION STORM WATER GENERAL PERMIT, INCLUDING PREPARATION OF A SWPPP AND FILING NOI. CONTRACTOR TO PROVIDE A COPY OF SWPPP, THE SITE NOTICE, AND NOI TO CITY OF ALBUQUERQUE AND KEEP ON SITE UNTIL CONSTRUCTION COMPLETION.

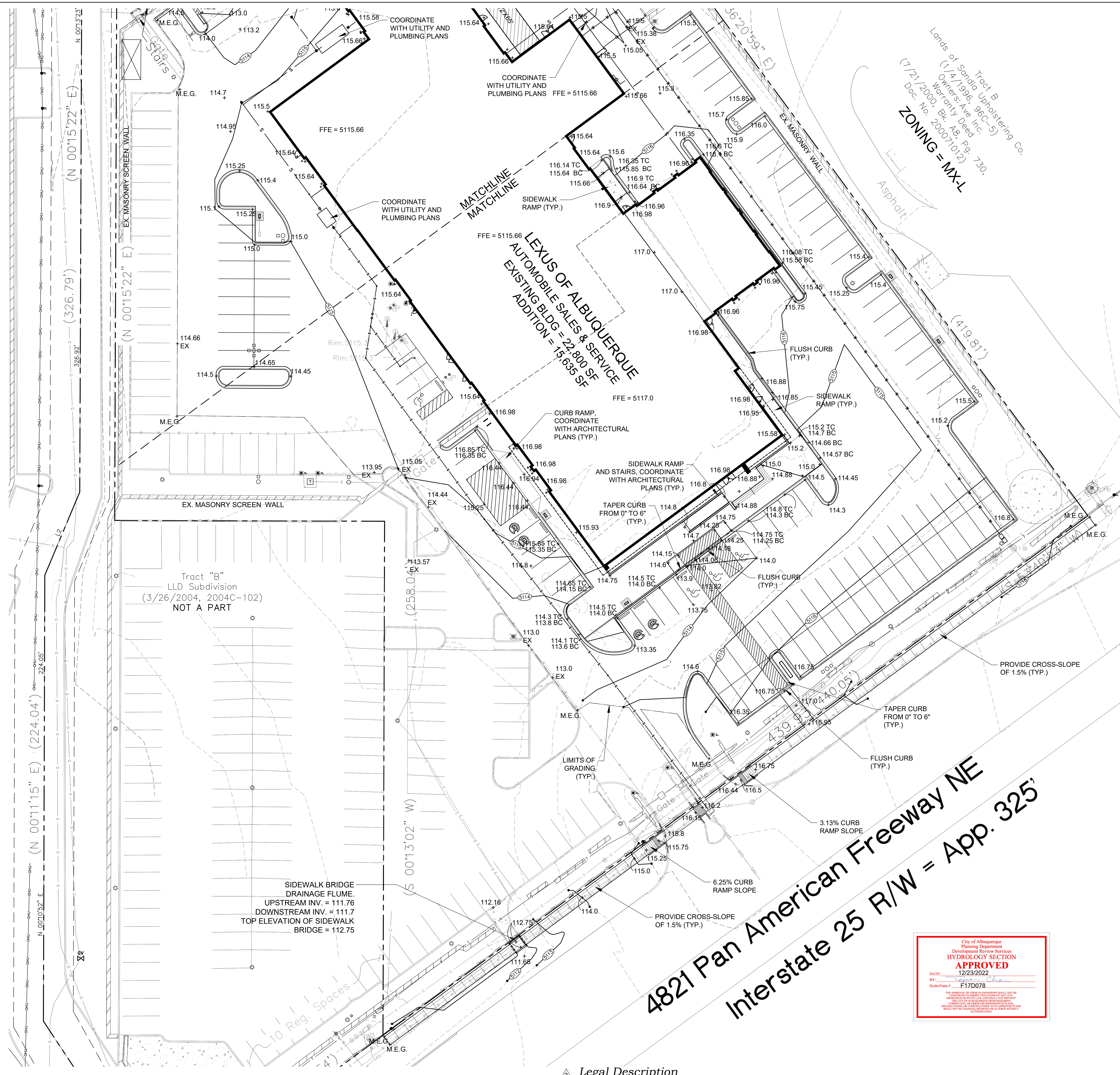
**EROSION & SEDIMENT CONTROL NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A GRADING PERMIT PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR IS RESPONSIBLE FOR FILING FOR A NOTICE OF INTENT (N.O.I.) WITH EPA PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR TO PREPARE AND PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) THAT IDENTIFIES ALL CONTROL MEASURES ON THE PROJECT.
3. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES INTO PUBLIC RIGHT-OF-WAY OR ONTO
4. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
5. SPOILS FROM THE PROJECT SHALL NOT BE DEPOSITED OR STORED IN THE STREET OR ROADWAY.
6. SPOILS SHALL BE STAGED ON THE UPSTREAM SIDE OF TRENCHES WHEN TRENCHING IS REQUIRED.
7. THE CONTRACTOR SHALL CLEAN AND REMOVE ALL FUGITIVE DUST, SOIL AND DEBRIS RESULTING FROM THIS PROJECT FROM THE STREET AT THE END OF EACH DAY.
8. CONTRACTOR SHALL LEAVE THE AREA IMMEDIATELY BEHIND THE CURB DEPRESSED TO CONTAIN NUISANCE FLOWS AND SEDIMENT.
9. CONCRETE TRUCKS SHALL BE SENT BACK TO THE PLANT FOR WASHING, THE WASHING OF CONCRETE TRUCKS SHALL NOT BE PERMITTED WITHIN THE PUBLIC RIGHT-OF-WAY.
10. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION. ALL EPA REGULATIONS WILL BE REQUIRED ON THE PROJECT.
11. UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDING ACCORDING TO CITY OF ALBUQUERQUE SPECIFICATION 1012 "MISCELLANEOUS SEEDINGS". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PERMIT WILL BE MADE.
12. PROTECT EXISTING STORM DRAIN FACILITIES FROM SEDIMENT AS REQUIRED.
13. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

**CONSTRUCTION NOTES**

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. UTILITY INFORMATION SHOWN HEREON IS BASED UPON ON-SITE SURFACE EVIDENCE. IN ADDITION, UTILITY LINE-SPOTS WERE REQUESTED VIA THE NEW MEXICO ONE CALL SERVICE (TICKET NO. 200E020450). UTILITY LINES THAT APPEAR AND DRAWINGS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
6. ALL LANDSCAPE AND PAVED AREAS ADJACENT TO THE BUILDING SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE.

LEGEND	
	PROPERTY CORNER
	CENTER LINE
	PROPERTY LINE
	RIGHT OF WAY
	SEPTIC TANK
	WATER METER
	CATV
	TELEPHONE PEDESTAL
	POWER POLE
	ELECTRICAL BOX
	BENCHMARK
	FIRE HYDRANT
	WATER VALVE
	BLOW OFF
	SANITARY SEWER MANHOLE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	PROPOSED SWALE
	RIP RAP
	FLARED END SECTION
	STORM DRAIN DROP INLET
	STORM DRAIN JUNCTION BOX
	HANDICAP PARKING SPACE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	SILT FENCE
	EASEMENT LINE
	INLET PROTECTION
	STORM DRAIN
	TREE SAVE / PROTECTION
	TREE TO BE REMOVED

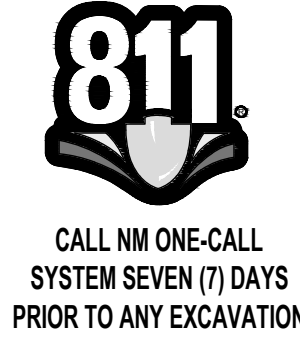
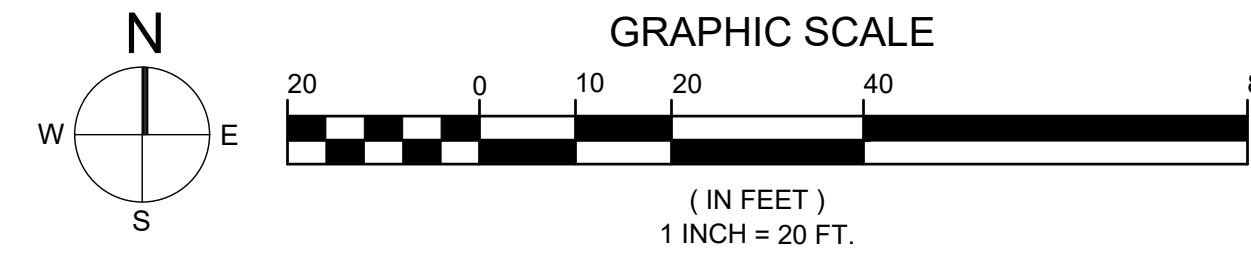


**Legal Description**

TRACTS LETTERED "C" OF THE PLAT OF TRACTS A, B AND C OF THE LLD SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 26, 2004, IN PLAT BOOK 2004C, FOLD 102.

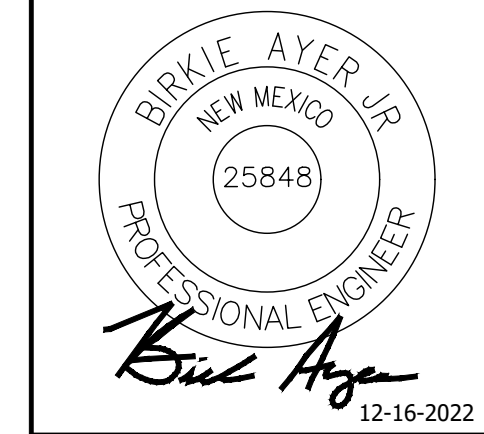
**Benchmark -NAVD 88**

ACS MONUMENT "NDC-14" HAVING AN ELEVATION OF 5107.996.



3 SUBJECT PROPERTY IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA AS REFLECTED ON FEMA FLOOD RATE INSURANCE RATE MAP PANEL NO. 35001C0138H, DATED EFFECTIVELY 8/16/12.

**AYER DESIGN GROUP**  
 PROFESSIONAL ENGINEERING SERVICES  
 215 Johnston Street  
 Rock Hill, SC 29730  
 Phone: 803-328-5858



PROJECT NAME:  
**LEXUS OF ALBUQUERQUE**  
 4821 PAN AMERICAN FWY.  
 ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**GRADING PLAN SOUTH**

NO	ISSUE/REVISION	DATE
	FOR PERMIT	6/23/22
#1	PERMIT REVISIONS	7/1/22
#2	PERMIT REVISIONS	10/31/22
#3	PERMIT REVISIONS	12/16/22

PROJECT #	2021-12
DRAWN BY	CC
CHECKED BY	BA

**C04.0**



GRADING NOTES

PROPOSED PROJECT WILL REDUCE EXISTING IMPERVIOUS COVER BY APP. 1,606 SF. CONCRETE TRUCKS SHALL NOT TYPICALLY BE WASHED OUT ON SITE. SHOULD CONCRETE TRUCK WASHOUT BE PERMITTED ON SITE, COORDINATE LOCATION AND BMPs WITH SITE INSPECTOR...

EROSION & SEDIMENT CONTROL NOTES

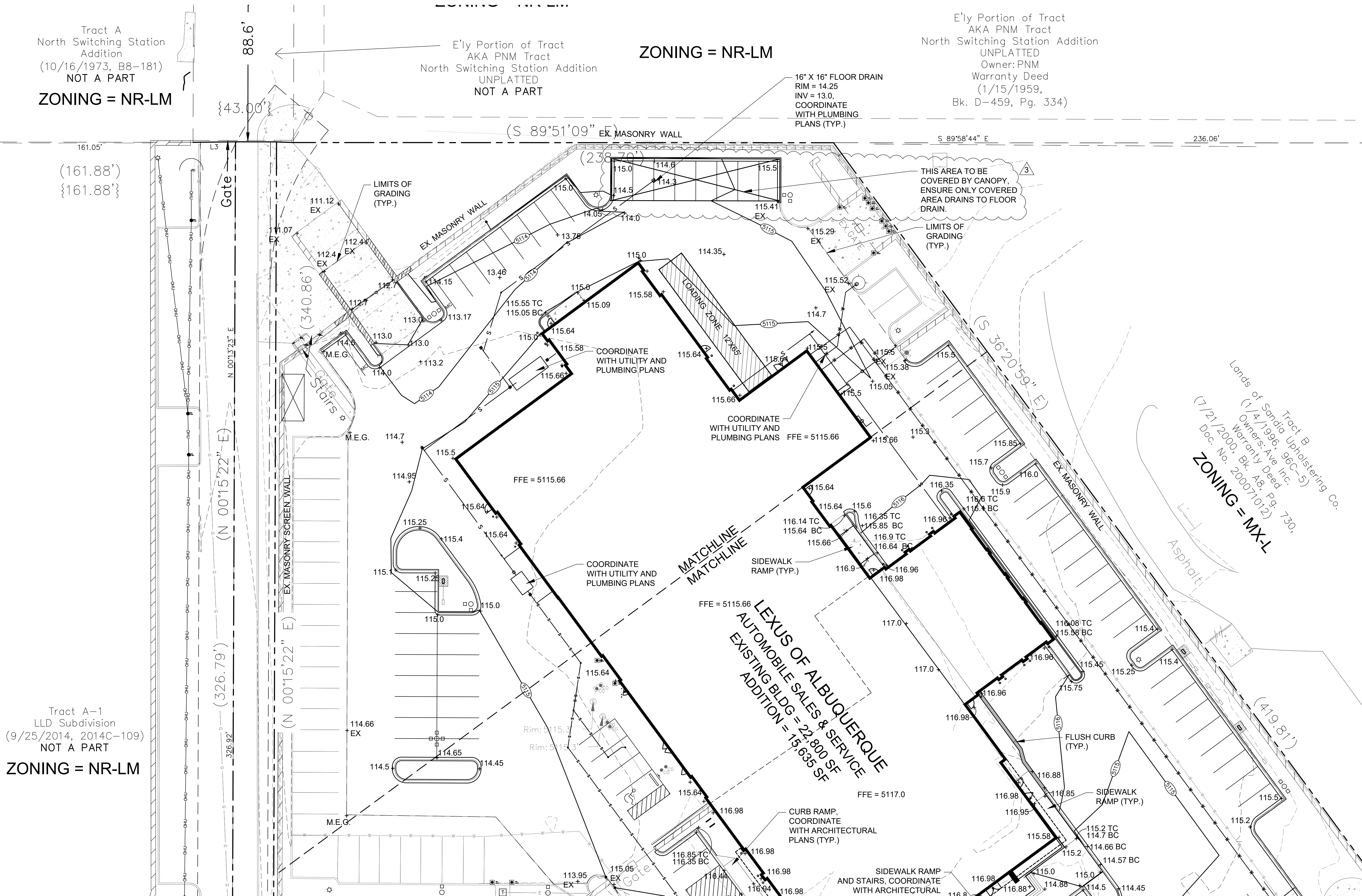
- 1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A GRADING PERMIT PRIOR TO BEGINNING WORK. 2. THE CONTRACTOR IS RESPONSIBLE FOR FILING FOR A NOTICE OF INTENT (NOI) WITH EPA PRIOR TO BEGINNING CONSTRUCTION...

CONSTRUCTION NOTES

- 1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING UTILITIES. 2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS...

LEGEND

Table with 2 columns: Symbol and Description. Includes symbols for property corner, center line, property line, right of way, etc.

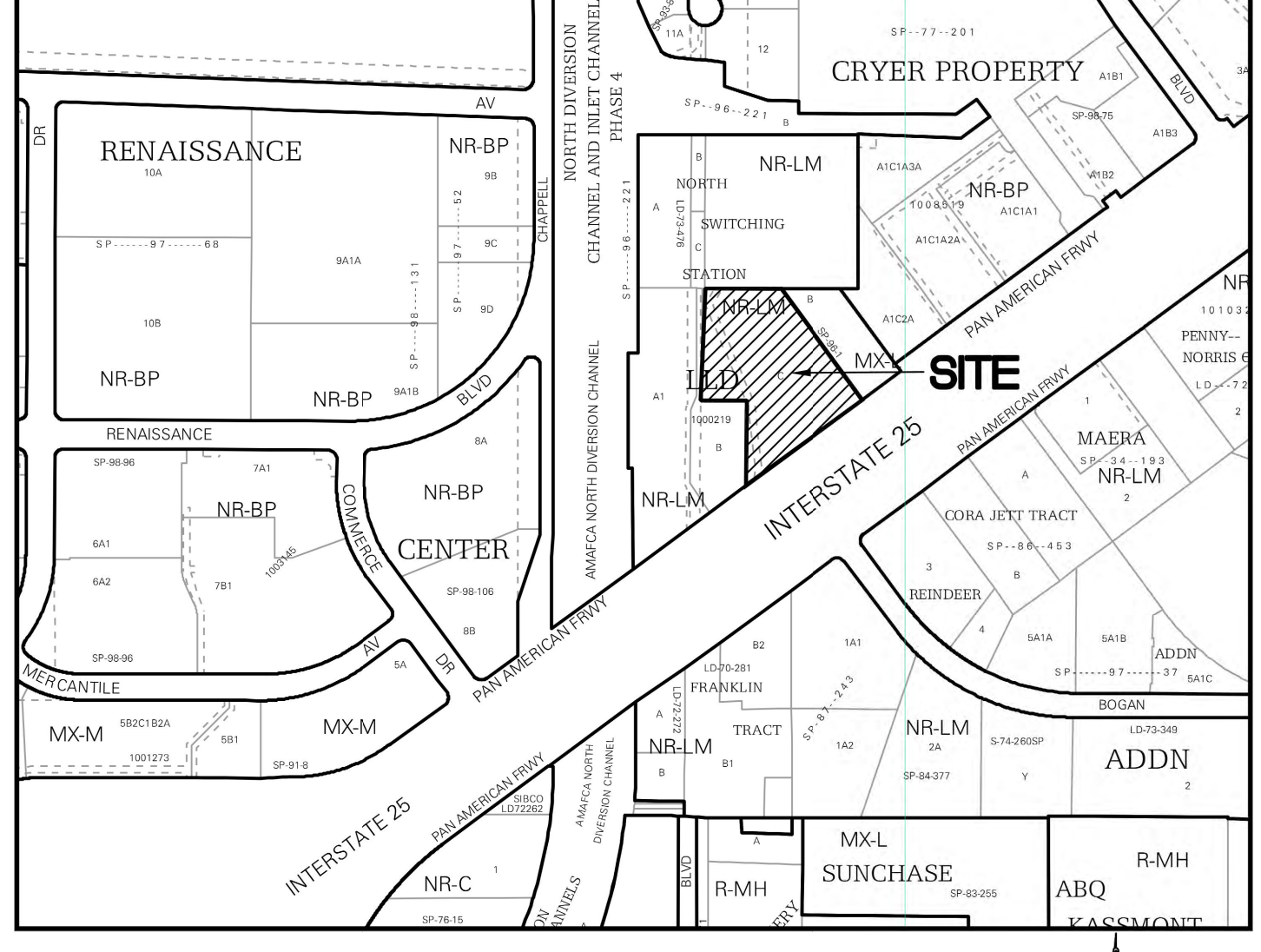


National Flood Hazard Layer FIRMette



Legend

Legend for FEMA flood hazard map, including symbols for Special Flood Hazard Areas, Other Areas of Flood Hazard, and General Structures.



SITE DESIGN DATA

- 1. PROPERTY IS LOCATED AT 4821 PAN AMERICAN FWY. 2. UPGRADE: 101706102726220107 3. CURRENT ZONING: NR-LM (NON-RESIDENTIAL LIGHT MANUFACTURING) 4. PROPOSED USE: AUTOMOTIVE SALES AND SERVICE

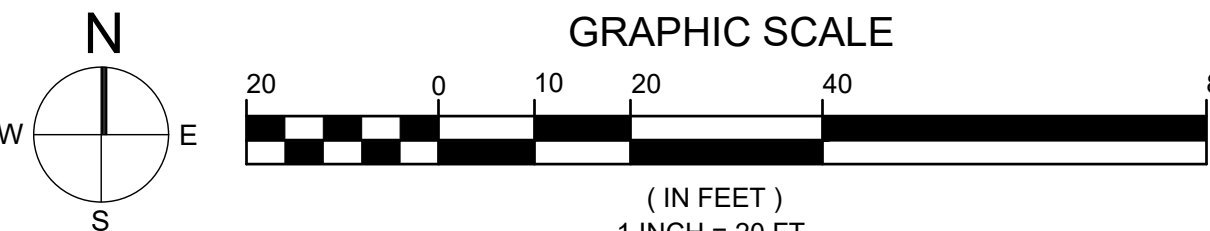


Legal Description

TRACTS LETTERED "C" OF THE PLAT OF TRACTS A, B AND C OF THE LLD SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 26, 2004, IN PLAT BOOK 2004C, FOLIO 102.

Benchmark -NAVD 88

ACS MONUMENT "NDC-14" HAVING AN ELEVATION OF 5107.996.



AYER DESIGN GROUP PROFESSIONAL ENGINEERING SERVICES 215 Johnston Street Rock Hill, SC 29730 Phone: 803-328-5858



PROJECT NAME: LEXUS OF ALBUQUERQUE 4821 PAN AMERICAN FWY. ALBUQUERQUE, NM

SHEET DESCRIPTION: GRADING PLAN NORTH

Table with columns: NO, ISSUE/REVISION, DATE. Shows revision history for permit revisions.

PROJECT # 2021-12 DRAWN BY CC CHECKED BY BA

C04.1



**DRAINAGE PLAN:**

**I. INTRODUCTION & EXECUTIVE SUMMARY**

Group 1 Automotive, Inc. plans to renovate and expand the existing Lexus of Albuquerque automotive dealership located at 4821 Pan American Freeway NE in Albuquerque, New Mexico. The project consists of renovating and expanding the existing showroom and service area. The existing site parking and circulation will be adjusted to accommodate the building expansion. The existing site does not have stormwater infrastructure and the proposed project will reduce the existing impervious cover by app. 1,606 SF.

**II. PROJECT DATA**

- A. Project location: 4821 Pan American Fwy. NE
- B. Legal Description: Lot 3, Blk 0, Tract C of Tracts A, B & C LLD Subdivision
- C. FEMA FIRM Panel: 35001C0138H, effective 8/16/2012
- D. Special Flood Hazard Area: Zone X, Area of Minimal Flood Hazard
- E. Site Area: 3.91 Acres
- F. UPCI#: 101706102726220107
- G. Precipitation Zone: Zone 2, Between Rio Grande and San Mateo

**III. Background Documents:** The following documents available on GIS were referenced in preparation of this submittal

- A: F16-D19 Rocky Mountain Stone Company Road-Parking Documents: 12-20-1999  
Shows the existing contributing drainage area to the concrete flume to the AMAFCA North Diversion Channel as 6.53 ac with Peak Discharge (Q100/6hr) = 23.04 cfs.  
Shows the existing contributing drainage area to the I-25 Frontage Road reduced from 6.3 acres to 1.34 acres with a Peak Discharge (Q100/6hr) = 5.69 cfs from the former Dickey's Barbecue Restaurant, now Lexus Inventory Lot, and the southern parking lot of Rocky Mountain Stone Company, a reduction of 15.54 cfs.
- B: F16-D19 Rocky Mountain Stone Co. Road-Parking Plans
- C: F17-D102 GP Pav Appr

**IV. Existing Conditions**

The site is currently fully developed as an automotive dealership. There are no existing storm drain structures on the site except for a concrete flume under a site wall. The site slopes generally from east to west with storm water runoff leaving the site via overland flow in two locations. Location 1 is the existing roadside ditch on Southbound Pan American Freeway, the frontage road for I-25. Discharge location 2 is at the rear (North) boundary of the facility where overland flow discharges into an access road shared by the PNM Electrical Substation and the Rocky Mountain Stone Property. Eventually all of the runoff from this site reaches the AMAFCA North Diversion Channel. Existing slopes ranges from less than 0.5% to 2.5%. Offsite flows do not impact the site.

**V. Proposed Conditions**

The site will continue to be an automotive dealership. The proposed building expansion area replaces existing pavement area with a net reduction in impervious area of 2,078 sf. The proposed site will have concrete curb & gutter, paved swales, paving, utilities and landscaping. Because the impervious area of the site will be reduced from existing conditions, peak runoff will be reduced below runoff levels prior to the expansion. No new storm drain structures are proposed. The site slopes generally from east to west with storm water runoff leaving the site via overland flow at the same locations as existing conditions. Proposed finish grades range from 0.6% to 5%. Offsite flows do not impact the site.

**VI. Sediment & Erosion Control**

Erosion control measures consisting of silt fence, diversion ditches, stone construction entrance will be utilized during construction to minimize sediment and dust from leaving the site. Final stabilization will be accomplished by paving and with a vegetative cover established by landscaping and stone mulch cover.

**VII. Calculations**

Existing and proposed conditions for the 100-year, 6-hour storm have been prepared for the project limits following the procedure set forth in the Design Process Manual for 40 Acre and smaller basins. As shown by the calculations included, the peak flow rate of runoff leaving the site is very slightly decreased due to a small increase in pervious area.

**VIII. Stormwater Quality**

Water quality volume for the 80<sup>th</sup> percentile storm was determined using the Redevelopment criteria of 0.26 inches depth over the total impervious area of the proposed development. The developer has determined that reducing parking area, providing underground detention or limiting the proposed building expansion are undesirable options and has instead elected to make a payment in lieu for the WQV.

**IX. Conclusions**

- a. The runoff generated by the proposed improvements will continue to drain via surface drainage to the same two existing discharge locations and ultimately to the AMAFCA North Diversion Channel.
- b. Total runoff is essentially the same with a calculated reduction of 0.1 cfs.
- c. Free discharge of runoff from this site at the proposed rate is appropriate and in conformance with previously approved drainage plans.
- d. Onsite measures are not feasible for addressing stormwater quality and detention. So the developer agrees to pay the cash-in-lieu fee.

**III. HYDROLOGY CALCULATIONS:**

**Drainage Area 1: EXISTING CONDITION**

Land Treatment	Area SF	Area AC	% of Total Area	Table 6-2(A)(5) CFS/AC 100-yr	Q CFS 100-YR	Table 6.2.13 Excess Precip E-100YR-6HR	Volume E*A Ac-In	Volume Ac-ft
A	0	0	0	1.71	0	0.62	0	0
B	21018	0.483	13.2%	2.36	1.14	0.80	0.39	0.03
C	0	0	0.0%	3.05	0	1.03	0	0.00
D	137895	3.166	86.8%	4.34	13.74	2.33	7.38	0.61
<b>Totals</b>	<b>158913</b>	<b>3.648</b>	<b>100.0%</b>		<b>14.88</b>		<b>7.76</b>	<b>0.65</b>

**Drainage Area 2: EXISTING CONDITION**

Land Treatment	Area SF	Area AC	% of Total Area	Table 6-2(A)(5) CFS/AC 100-yr	Q CFS 100-YR	Table 6.2.13 Excess Precip E-100YR-6HR	Volume E*A Ac-In	Volume Ac-ft
A	0	0	0	1.71	0	0.62	0	0
B	4234	0.097	2.7%	2.36	0.23	0.80	0.08	0.01
C	0	0	0.0%	3.05	0	1.03	0	0.00
D	4960	0.114	3.1%	4.34	0.49	2.33	0.27	0.02
<b>Totals</b>	<b>9194</b>	<b>0.211</b>	<b>5.8%</b>		<b>0.72</b>		<b>0.34</b>	<b>0.03</b>

**Drainage Area 1: REDEVELOPED CONDITION**

Land Treatment	Area SF	Area AC	% of Total Area	Table 6-2(A)(5) CFS/AC 100-yr	Q CFS 100-YR	Table 6.2.13 Excess Precip E-100YR-6HR	Volume E*A Ac-In	Volume Ac-ft
A	0	0	0	1.71	0	0.62	0	0
B	18790	0.431	15.2%	2.36	1.02	0.80	0.3450872	0.03
C	0	0	0.0%	3.05	0	1.03	0	0.00
D	105019	2.411	84.8%	4.34	10.46	2.33	5.6174075	0.47
<b>Totals</b>	<b>123809</b>	<b>2.842</b>	<b>100.0%</b>		<b>11.48</b>		<b>5.96</b>	<b>0.50</b>

**Drainage Area 2: REDEVELOPED CONDITION**

Land Treatment	Area SF	Area AC	% of Total Area	Table 6-2(A)(5) CFS/AC 100-yr	Q CFS 100-YR	Table 6.2.13 Excess Precip E-100YR-6HR	Volume E*A Ac-In	Volume Ac-ft
A	0	0	0	1.71	0	0.62	0	0
B	8540	0.196	6.9%	2.36	0.46	0.80	0.16	0.01
C	0	0	0.0%	3.05	0	1.03	0	0.00
D	35758	0.821	28.9%	4.34	3.56	2.33	1.91	0.16
<b>Totals</b>	<b>44298</b>	<b>1.017</b>	<b>35.8%</b>		<b>4.03</b>		<b>2.07</b>	<b>0.17</b>

**SUMMARY & COMPARISON OF EXISTING VS. RE-DEVELOPED CONDITION 100-YR, 6-HOUR**

DEVELOPED CONDITION	Q DA#1 CFS	Q DA#2 CFS	Q TOTAL CFS	V DA#1 AC-FT	V DA#2 AC-FT	TOTAL AC-FT
EXISTING	14.88	0.72	15.60	0.65	0.03	0.68
REDEVELOPED	11.48	4.03	15.51	0.50	0.17	0.67
		DECREASE	-0.09		DECREASE	-0.01

**FIRST FLUSH WATER QUALITY VOLUME, WQV**

DRAINAGE BASIN	AREA AC	AREA SF	DEPTH IN	WQV AC-IN	WQV AC-FT	WQV CF
A <sub>01</sub>	2.411	105019	0.26	0.627	0.052	2275
A <sub>02</sub>	0.821	35758	0.26	0.213	0.018	775
Total A <sub>0</sub>	3.232	140777	0.26	0.840	0.070	3050

WQV = IMPERVIOUS AREA \* 0.26 IN      WQV = (A<sub>01</sub>+A<sub>02</sub>) \* 0.26 IN



Q=23.04 CFS (F16-D19)  
Q=26.34 CFS PROPOSED

PNM ELECTRICAL SUBSTATION

ROCKY MTN. STONE CO.

LEXUS INV. LOT FORMER DICKEY'S BBQ

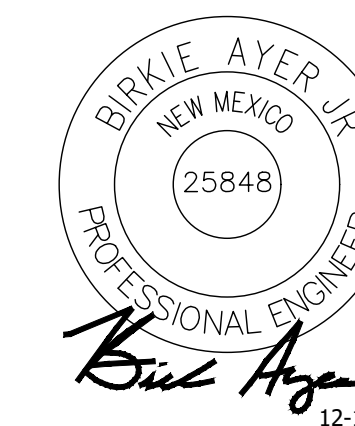
DISCHARGE POINT #1  
Q=11.48 CFS

DA #2  
1.02 AC.  
(44,298 SF)

DA #1 = 2.84 AC.  
(123,809 SF)



**AYER DESIGN GROUP**  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnston Street  
Rock Hill, SC 29730  
Phone: 803-328-5858



PROJECT NAME:  
**LEXUS OF ALBUQUERQUE**

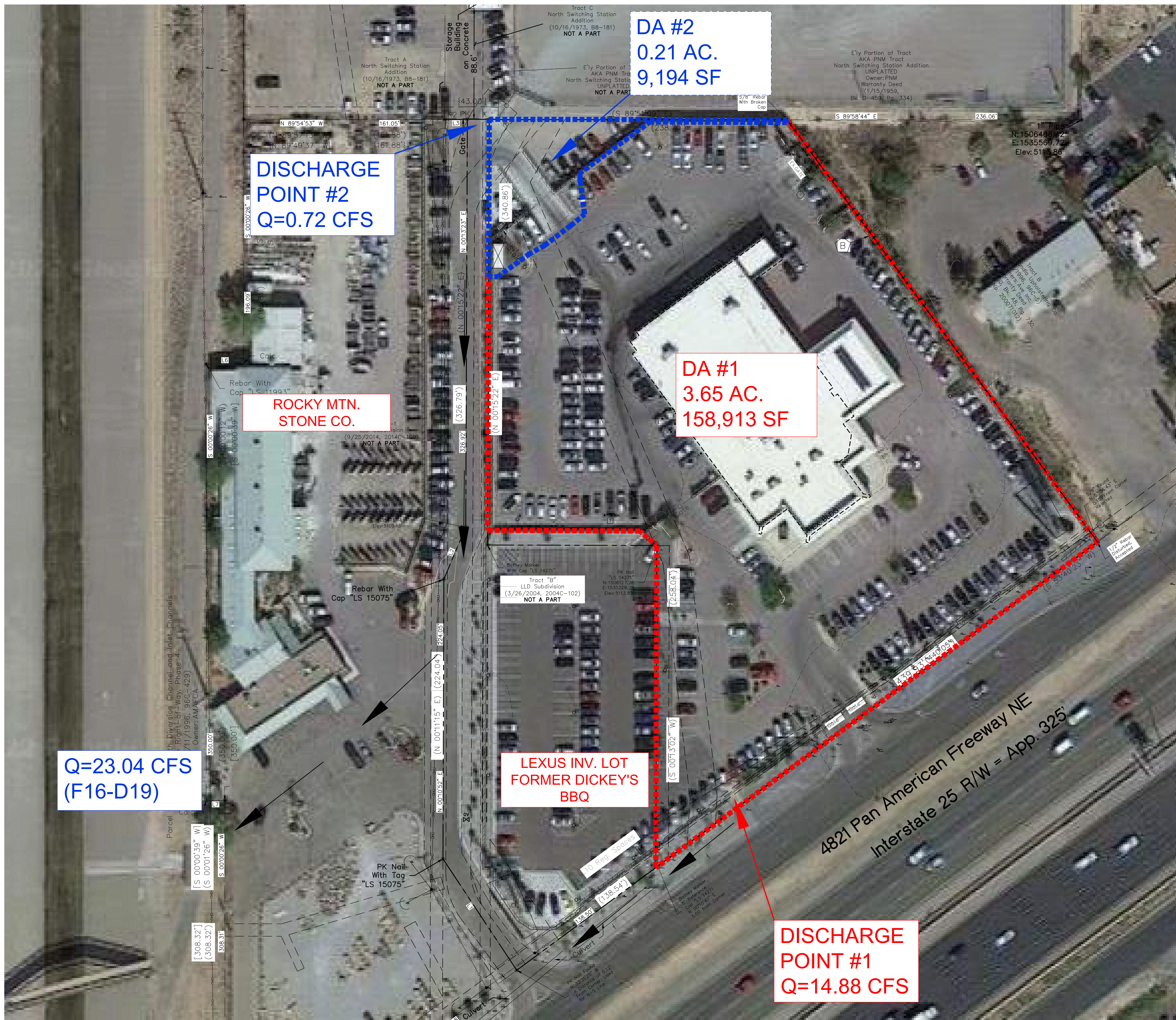
4821 PAN AMERICAN FWY.  
ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**PROPOSED CONDITION DRAINAGE AREA MAP**

NO	ISSUE/REVISION	DATE
#1	PERMIT REVISIONS	7/11/22
#2	PERMIT REVISIONS	10/31/22
#3	PERMIT REVISIONS	12/16/22

**DA-1**





**DISCHARGE POINT #2**  
**Q=0.72 CFS**

**DA #2**  
**0.21 AC.**  
**9,194 SF**

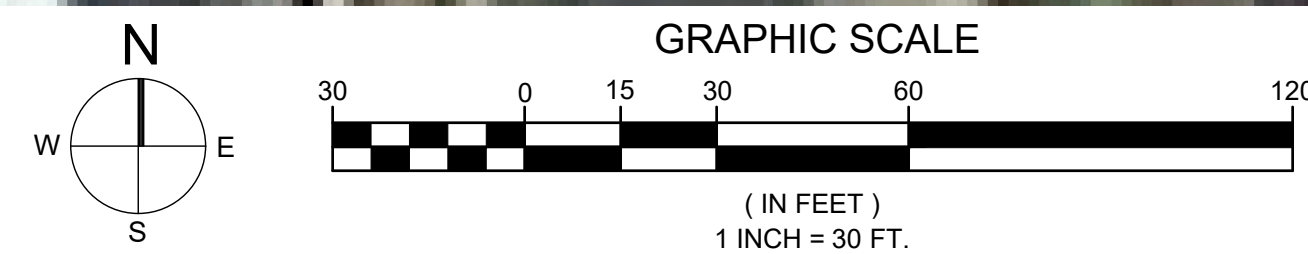
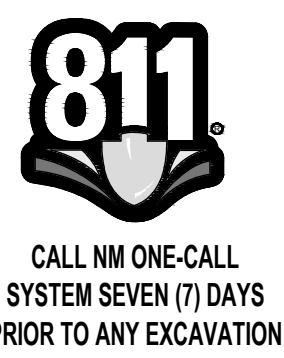
**ROCKY MTN. STONE CO.**

**DA #1**  
**3.65 AC.**  
**158,913 SF**

**Q=23.04 CFS**  
**(F16-D19)**

**LEXUS INV. LOT**  
**FORMER DICKEY'S**  
**BBQ**

**DISCHARGE POINT #1**  
**Q=14.88 CFS**



**AYER DESIGN GROUP**  
 PROFESSIONAL ENGINEERING SERVICES  
 215 Johnston Street  
 Rock Hill, SC 29730  
 Phone: 803-328-5858



PROJECT NAME:  
**LEXUS OF ALBUQUERQUE**

4821 PAN AMERICAN FWY.  
 ALBUQUERQUE, NM

SHEET DESCRIPTION:  
 EXISTING CONDITIONS  
 DRAINAGE AREA MAP

PROJECT #	2021-12	
DRAWN BY	CC	
CHECKED BY	BA	
NO	ISSUE/REVISION	DATE
	FOR PERMIT	6/23/22
#1	PERMIT REVISIONS	7/1/22
#2	PERMIT REVISIONS	10/31/22
#3	PERMIT REVISIONS	12/16/22

**DA-2**



# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

March 3, 2023

Chad Chastain  
Ayer Design Group, LLC  
215 Johnston St.  
Rock Hill, SC 29730

**Re: Lexus of Albuquerque**  
**4821 Pan American Fwy NE**  
**Traffic Circulation Layout**  
Engineer's Stamp 02-21-23 (F17-D078)

Dear Mr. Chastain,

The TCL submittal received 02-22-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



**SITE DESIGN DATA**

- 1. PROPERTY IS LOCATED AT 4821 PAN AMERICAN FWY.
2. UPCR: 1017061027262107
3. CURRENT ZONING: NR-LM (NON-RESIDENTIAL LIGHT MANUFACTURING)
4. PROPOSED USE: AUTOMOTIVE SALES AND SERVICE
5. MINIMUM YARD & BUILDING SETBACKS PER ZONING ORDINANCE
6. PARKING DATA
USE: LIGHT VEHICLE SALES
REQUIRED PROVIDED: 2 SPACES PER 1,000 GFA
15,651,000 = 15.64 X 2 = 31.27 (32 SPACES REQUIRED)
USE: LIGHT VEHICLE REPAIR
REQUIRED PROVIDED: 1 SPACE PER 1,000 GFA
19,400,1,000 = 19.4 (20 SPACES REQUIRED)
REQUIRED PROVIDED: 52 SPACES
162 SPACES
ACCESSIBLE PARKING REQUIRED = 4 SPACES
MOTORCYCLE PARKING: 1 SPACE REQUIRED, 2 SPACES PROVIDED
BICYCLE PARKING: 3 SPACES REQUIRED, 3 SPACES PROVIDED
7. MAXIMUM ALLOWABLE BUILDING HEIGHT = 65'
8. SUBJECT PROPERTY IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA AS REFLECTED ON FEMA FLOOD RATE INSURANCE RATE MAP PANEL NO. 35001C0138H, DATED EFFECTIVELY 8/16/12.
9. ADEQUATE LIGHTING SHALL BE PROVIDED FOR OFF-STREET PARKING.
10. SITE LIGHTING DESIGN BY OTHERS. SEE ELECTRICAL SITE PLAN.
SITE LIGHTING POLES TO BE MAX. HEIGHT OF 30' WITH LED FIXTURES.
11. SIGNAGE WILL BE REVIEWED AND PERMITTED SEPARATELY.
12. SITE IS LOCATED AT 4821 PAN AMERICAN FWY.
13. INSTALL KNOX BOXES AT EXISTING AND PROPOSED GATES FOR FIRE ACCESS.
14. INSTALL ACCESS KEYPAD AT EXISTING AND PROPOSED GATES FOR REFUSE ACCESS.
15. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8 FEET TALL, (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

**FIRE ONE DATA**

- 1. CONSTRUCTION TYPE = II-B
2. BUILDING SQUARE FOOTAGE = 38,336 SF
3. FIRE FLOW = 1,200 GPM
4. BUILDING HEIGHT = 27' - 8"
5. PROPOSED FIRE APPARATUS ROADS/DRIVES CONSTRUCTED TO SUPPORT IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS.
6. PROPOSED PAVEMENT DESIGN OF APPARATUS ROADS TO SUBSTANTIATE WEIGHT BEARING CAPACITY AND ALL WEATHER DRIVING CAPABILITIES FOR FIRE APPARATUS ACCESS ROADS.
7. BUILDING TO BE SPRINKLERED
8. FIRE APPARATUS ROADS SHALL HAVE AN UNOBSTRUCTED HEIGHT NOT LESS THAN 13 FEET 6 INCHES.

**GENERAL NOTES**

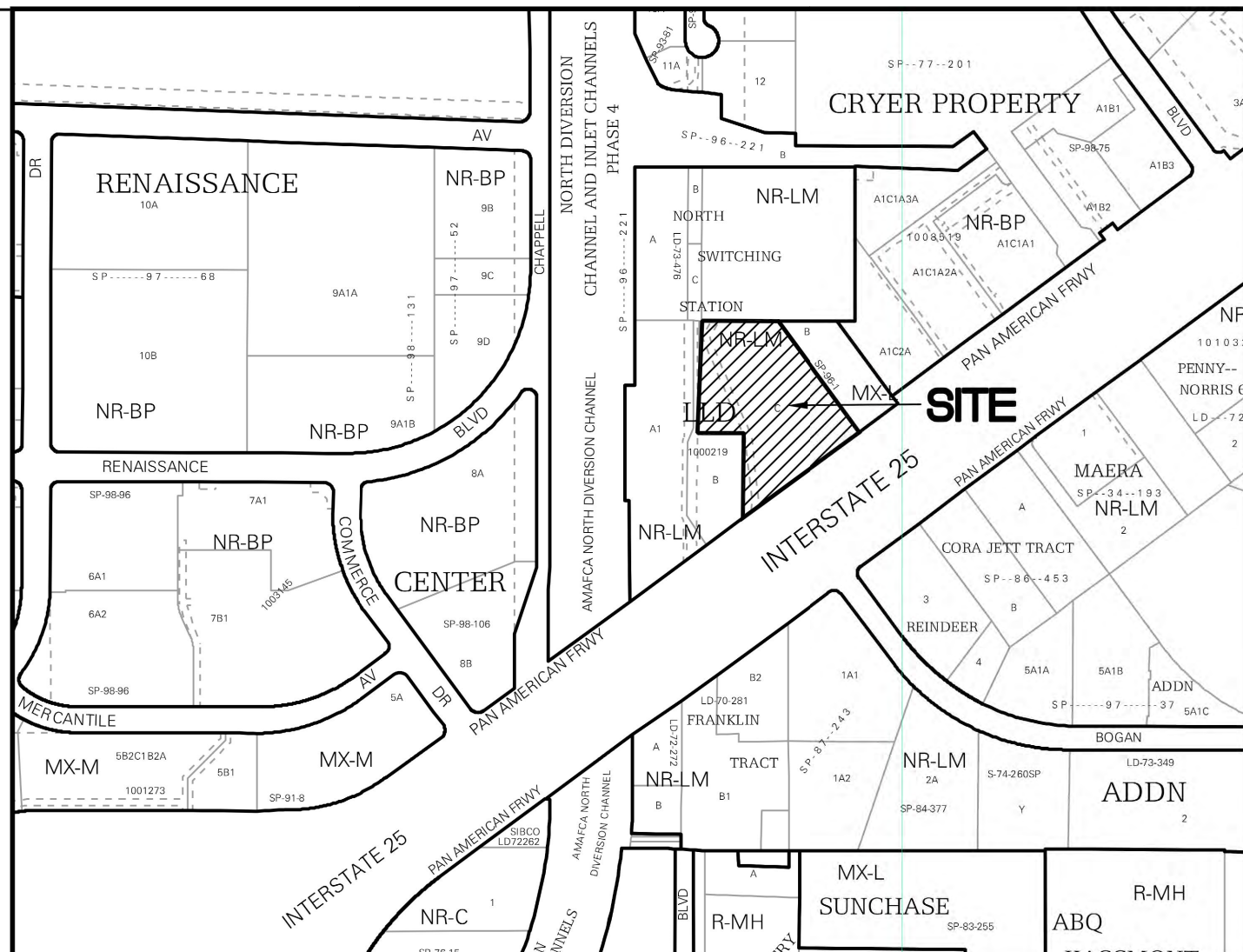
- 1. ALL PAVEMENT MARKINGS & SIGNAGE SHALL COMPLY WITH THE 'NEW MEXICO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS & HIGHWAYS'.
2. CONTRACTOR SHALL CONTACT 'NM ONE CALL' AT 811 FOR ASSISTANCE IN LOCATING ANY EXISTING UTILITIES AT LEAST 72 HRS PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF EXISTING ABOVE & BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS, LINES, OR INDIVIDUAL SERVICES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER.
4. CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS ON-SITE & NOTIFY THE ENGINEER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES IN WRITING PRIOR TO BEGINNING WORK.
5. SIDEWALK CROSS-SLOPE SHALL NOT EXCEED 5:1.
6. ALL DIMENSIONAL CALL OUTS ARE MEASURED FROM FACE OF CURB.
7. FIELD ADJUSTMENTS SHALL BE MADE AS NECESSARY TO ENSURE A SMOOTH TRANSITION BOTH VERTICALLY & HORIZONTALLY FROM EXISTING TO PROPOSED PAVEMENT & CURB SECTIONS.
8. GUTTERS & PAVING SHALL BE INSTALLED IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL LOCAL, STATE & FEDERAL CONSTRUCTION SAFETY REGULATIONS ARE FOLLOWED DURING THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
10. BENCHMARK LOCATION & ELEVATION SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. BENCHMARKS USED FOR SURVEY ARE LISTED ON THE EXISTING CONDITIONS PLAN.
11. BOUNDARY AND ALTA SURVEY INFORMATION TAKEN FROM SURVEY BY PRECISION SURVEYS, INC.
12. WATER & SEWER FEES (AS APPLICABLE) ARE TO BE PAID AT THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY OFFICE.
13. ALL DEMOLITION DEBRIS SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN TDEQ APPROVED LANDFILL.
14. CONTRACTOR TO SUBMIT A TRAFFIC CONTROL PLAN TO NMDOT & ENGINEER FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
15. ALL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF ALBUQUERQUE, ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION AS APPLICABLE.
16. CONTRACTOR TO ADJUST ALL EXISTING UTILITIES RIMS, COVERS, GRATES, AND WATER METER BOXES TO MATCH PROPOSED GRADES.
17. CONTRACTOR TO COORDINATE UTILITY RELOCATIONS WITH ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
18. ALL MATERIALS & PLANS ARE TO COMPLY WITH CURRENT CITY OF ALBUQUERQUE, ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION AS APPLICABLE.
19. CONTRACTOR SHALL SUPPLY AS BUILT DRAWINGS OF STREET, DRAINAGE, WATER & SANITARY SEWER SYSTEMS AFTER INSTALLATION.
20. TRANSITION PROPOSED CONCRETE CURB, PAVEMENT AND SIDEWALK INTO EXISTING CURB, PAVEMENT AND SIDEWALK AND PROVIDE A FLUSH 1/8" TROWLED JOINT WHERE PROPOSED CONCRETE MEETS EXISTING CONCRETE.
21. ALL EXISTING AND PROPOSED LANDINGS, SIDEWALKS, RAMPS, ACCESSIBLE PARKING, DRIVEWAY CROSSWALKS AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A. CITY OF ALBUQUERQUE, AND NMDOT REQUIREMENTS. EXISTING STRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.
22. CONTRACTOR SHALL MAINTAIN ONE ACCESS DRIVE INTO SITE FROM JEFFERSON STREET NE THROUGHOUT DEMOLITION AND CONSTRUCTION ACTIVITIES.
23. CONTRACTOR SHALL MAINTAIN ACCESS DRIVE INTO SITE FROM PAN AMERICAN FWY THROUGHOUT DEMOLITION AND CONSTRUCTION ACTIVITIES.
24. REFER TO PROJECT SPECIFICATION MANUAL FOR ADDITIONAL REQUIREMENTS AND PROJECT SPECIFICATIONS.

**EV CHARGER NOTES**

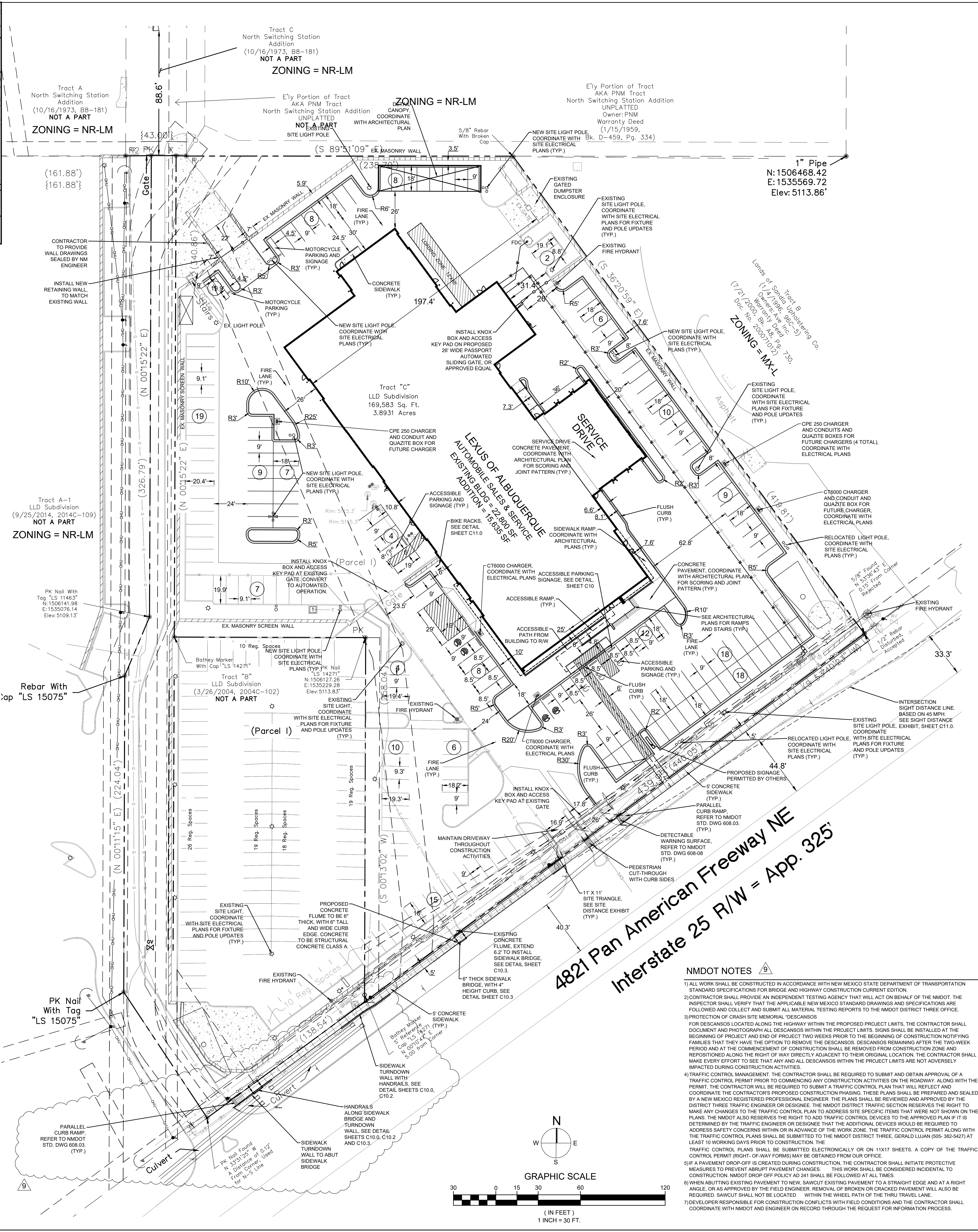
- 1. EV CHARGERS TO BE INSTALLED IN CONCRETE MOUNTING PAD PER MANUFACTURERS SPECIFICATIONS AND DETAILS.
2. COORDINATE EV CHARGER INSTALLATION WITH ARCHITECTURAL AND ELECTRICAL PLANS.
3. CONTRACTOR SHALL COORDINATE ALL UNDERGROUND CONDUIT ROUTING AND CONCRETE MOUNTING PAD LOCATIONS.
4. CONTRACTOR TO ENSURE CONCRETE MOUNTING PADS ARE INSTALLED FLUSH AND MATCH ADJACENT SIDEWALK AND/OR CURB ELEVATIONS.
5. CONTRACTOR TO INSTALL PAINTED PARKING SPACE EV CHARGER SYMBOLS PER PLAN. PROVIDE SUBMITTALS TO ENGINEER AND ARCHITECT FOR REVIEW.

**LEGEND**

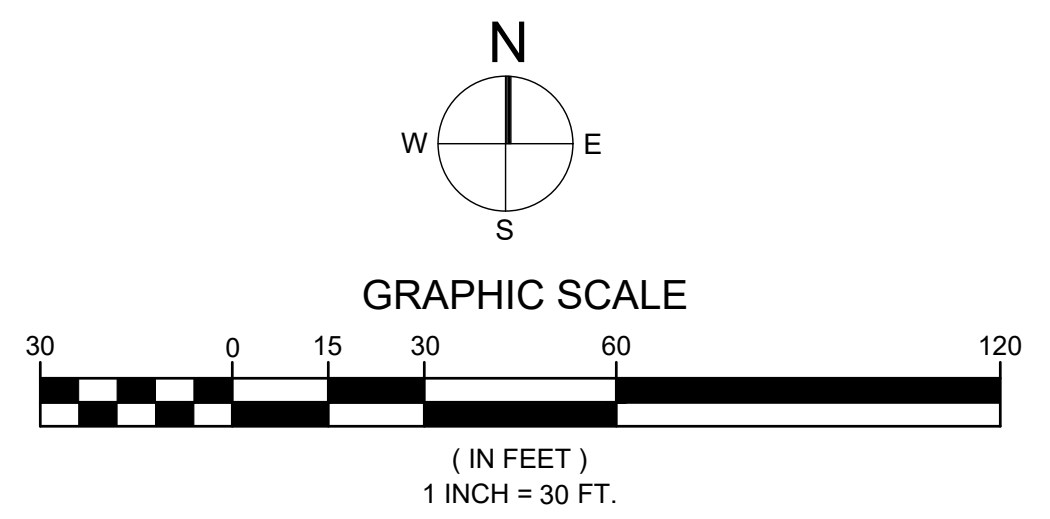
- PROPERTY CORNER
CENTER LINE
PROPERTY LINE
R/W
RIGHT OF WAY
SEPTIC TANK
WATER METER
CATV
TELEPHONE PEDESTAL
POWER POLE
ELECTRICAL BOX
BENCHMARK
FIRE HYDRANT
WATER VALVE
BLOW OFF
SANITARY SEWER MANHOLE
600' - EXISTING CONTOUR
PROPOSED CONTOUR
EXISTING SPOT ELEVATION
PROPOSED SPOT ELEVATION
TOP OF WALL ELEVATION
BOTTOM OF WALL ELEVATION
PROPOSED SWALE
RIP RAP
FLARED END SECTION
STORM DRAIN DROP INLET
STORM DRAIN JUNCTION BOX
HANDICAP PARKING SPACE
EXISTING WATER LINE
PROPOSED WATER LINE
EXISTING SANITARY SEWER
PROPOSED SANITARY SEWER
EXISTING OVERHEAD ELECTRIC
UNDERGROUND ELECTRIC
SILT FENCE
EASEMENT LINE
INLET PROTECTION
STORM DRAIN
TREE SAVE / PROTECTION
TREE TO BE REMOVED



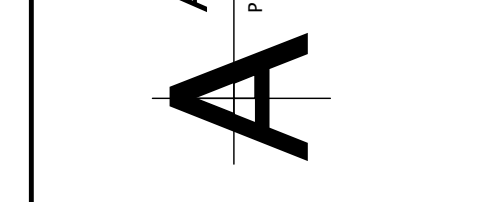
**Vicinity Map**



4821 Pan American Freeway NE
Interstate 25 R/W = App. 325'



AYER DESIGN GROUP
PROFESSIONAL ENGINEERING SERVICES
215 Johnston Street
Rock Hill, SC 29730
Phone: 803-328-5858



PROJECT NAME:
LEXUS OF ALBUQUERQUE

4821 PAN AMERICAN FWY.
ALBUQUERQUE, NM

SHEET DESCRIPTION:
SITE PLAN

Table with columns: PROJECT #, DRAWN BY, CHECKED BY, NO, ISSUE/REVISION, DATE. Includes entries for permit revisions and NMDOT revisions.

NMDOT NOTES
1) ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR BRIDGE AND HIGHWAY CONSTRUCTION CURRENT EDITION.
2) CONTRACTOR SHALL PROVIDE AN INDEPENDENT TESTING AGENCY THAT WILL ACT ON BEHALF OF THE NMDOT. THE INSPECTOR SHALL VERIFY THAT THE APPLICABLE NEW MEXICO STANDARD DRAWINGS AND SPECIFICATIONS ARE FOLLOWED AND COLLECT AND SUBMIT ALL MATERIAL TESTING REPORTS TO THE NMDOT DISTRICT THREE OFFICE.
3) PROTECTION OF CRASH SITE MEMORIAL 'DESCANSOS'
FOR DESCANSOS LOCATED ALONG THE HIGHWAY WITHIN THE PROPOSED PROJECT LIMITS, THE CONTRACTOR SHALL DOCUMENT AND PHOTOGRAPH ALL DESCANSOS WITHIN THE PROJECT LIMITS. SIGNS SHALL BE INSTALLED AT THE BEGINNING OF PROJECT AND END OF PROJECT TWO WEEKS PRIOR TO THE BEGINNING OF CONSTRUCTION NOTIFYING FAMILIES THAT THEY HAVE THE OPTION TO REMOVE THE DESCANSOS. DESCANSOS REMAINING AFTER THE TWO-WEEK PERIOD AND AT THE COMMENCEMENT OF CONSTRUCTION FROM CONSTRUCTION ZONE AND REPOSITIONED ALONG THE RIGHT OF WAY DIRECTLY ADJACENT TO THEIR ORIGINAL LOCATION. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO SEE THAT ANY AND ALL DESCANSOS WITHIN THE PROJECT LIMITS ARE NOT ADVERSELY IMPACTED DURING CONSTRUCTION ACTIVITIES.
4) TRAFFIC CONTROL MANAGEMENT. THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT AND OBTAIN APPROVAL OF A TRAFFIC CONTROL PERMIT PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES ON THE ROADWAY. ALONG WITH THE PERMIT, THE CONTRACTOR WILL BE REQUIRED TO SUBMIT A TRAFFIC CONTROL PLAN THAT WILL REFLECT AND COORDINATE THE CONTRACTOR'S PROPOSED CONSTRUCTION PHASING. THESE PLANS SHALL BE PREPARED AND SEALED BY A NEW MEXICO REGISTERED PROFESSIONAL ENGINEER. THE PLANS SHALL BE REVIEWED AND APPROVED BY THE DISTRICT THREE TRAFFIC ENGINEER OR DESIGNER. THE NMDOT DISTRICT TRAFFIC SECTION RESERVES THE RIGHT TO MAKE ANY CHANGES TO THE TRAFFIC CONTROL PLAN TO ADDRESS SITE SPECIFIC ITEMS THAT WERE NOT SHOWN ON THE PLANS. THE NMDOT ALSO RESERVES THE RIGHT TO ADD TRAFFIC CONTROL DEVICES TO THE APPROVED PLAN IF IT IS DETERMINED BY THE TRAFFIC ENGINEER OR DESIGNER THAT THE ADDITIONAL DEVICES WOULD BE REQUIRED TO ADDRESS SAFETY CONCERNS WITHIN OR IN ADVANCE OF THE WORK ZONE. THE TRAFFIC CONTROL PERMIT ALONG WITH THE TRAFFIC CONTROL PLANS SHALL BE SUBMITTED TO THE NMDOT DISTRICT THREE, GERALD LUJAN (505-382-5427) AT LEAST 10 WORKING DAYS PRIOR TO CONSTRUCTION.
TRAFFIC CONTROL PLANS SHALL BE SUBMITTED ELECTRONICALLY OR ON 11X17 SHEETS. A COPY OF THE TRAFFIC CONTROL PERMIT (RIGHT-OF-WAY FORMS) MAY BE OBTAINED FROM OUR OFFICE.
5) IF A PAVEMENT DROP-OFF IS CREATED DURING CONSTRUCTION, THE CONTRACTOR SHALL INITIATE PROTECTIVE MEASURES TO PREVENT ABRUPT PAVEMENT CHANGES. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION. NMDOT DROP-OFF POLICY AD 241 SHALL BE FOLLOWED AT ALL TIMES.
6) WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE FIELD ENGINEER, REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED. SAWCUT SHALL NOT BE LOCATED WITHIN THE WHEEL PATH OF THE THRU TRAVEL LANES.
7) DEVELOPER RESPONSIBLE FOR CONSTRUCTION CONFLICTS WITH FIELD CONDITIONS AND THE CONTRACTOR SHALL COORDINATE WITH NMDOT AND ENGINEER ON RECORD THROUGH THE REQUEST FOR INFORMATION PROCESS.

C02.0



**PART 1 GENERAL**

1.01 Scope  
The work covered by this Specification consists of furnishing all labor, tools, materials, supervision, and equipment in performing all operations in connection with constructing the site infrastructure as specified herein or shown on Drawings.

1.02 Protection of Facilities  
Existing utility lines, sidewalks, fencing, pavement or other structures shown on the Drawings, as shown to the Contractor or mentioned in the Plans and Specifications shall be kept free of damage by the Contractor's operations. It shall be the responsibility of the Contractor to verify the existence and location of all underground utilities on the site and insure that they are adequately marked to prevent damage.

**PART 2 CLEARING AND GRUBBING**

2.01 General  
All vegetation, trees, stumps, roots, rubbish, trash, and other debris shall be cleared and grubbed within the clearing limits of all areas to receive structures or utility lines before beginning grading operations. All material from clearing and grubbing operations shall be removed from the site in conformance to applicable Federal, State and Local laws and regulations.

**2.02 Stripping and Topsoiling**

Areas to be graded shall be stripped of topsoil. All topsoil shall be stripped and spread in non-critical grading areas. Topsoil shall be stockpiled for use on finished grades or other areas graded or disturbed by Contractor.

**PART 3 EROSION CONTROL**

3.01 General  
Soil erosion and sediment control shall be provided by the Contractor at his expense for all areas of the site which are disturbed by construction operations throughout the life of the project. Control measures shall be in place prior to any land disturbing activity and expanded as needed during the project. Maintenance of these facilities shall be continuous by the Contractor until the disturbed area is protected by ground cover (Final Stabilization).

**PART 4 STORM DRAINAGE SYSTEM**

4.01 General  
Each pipe shall be laid on a firm bed, true to line and grade, and in such manner as to form a close concentric joint with the adjoining pipe and to prevent sudden offsets of the flow line or disturbance of the line and grade. All pipes shall be laid with the bell end pointing up grade. Each section of storm pipe installation shall begin at the lowest point and must be laid continuously between manholes, headwalls, or to completion. Where pipe is to be laid in material of poor supporting value, the unsuitable material shall be replaced with a layer of No. 57 crushed stone.

**4.02 Products**

Reinforced concrete pipe (RCP) shall comply with the requirements of ASTM Designation, C78, Class III or Class IV as indicated on the Drawings. Joints shall be tongue-and-groove joints with Butyl rubber mastic sealant, which shall comply with Federal Specification SS-S-210. All pipes shall be circular with circular reinforcement. Precast drainage structures are not allowed without prior written approval. Waffle or knock-out boxes are never to be used.

**PART 5 PARKING LOT CONSTRUCTION**

5.01 General  
All lots shall be graded as shown on the Drawings. Sub-grade shall be sloped for effective drainage at all times. Equipment ruts shall be leveled at the end of each work day. Water-holding depressions shall not be left in grading areas overnight. All sub-grade shall be proof rolled with a fully loaded tandem, rubber-tired roller or similar approved equipment. The proof roller should make at least two (2) passes over each location. Any areas which wave, rut or deflect excessively and continue to do so after several passes of the proof roller shall be undercut to firmer soils. Graded areas shall be fine graded to spot elevations and contours shown on Drawings for sub-grade after allowances made for base and pavement thickness. Sidewalks shall be to a thickness as shown on the standard detail and constructed on an adequately graded base. Sub-grade shall be compacted to 95 % SPD. The surface of the sidewalk shall be steel trowel and light broom finished and cured with an acceptable curing compound. The light broom finish shall have the brush marks perpendicular to the sidewalk line. Tooled joints shall be provided at intervals of not less than five (5) feet and expansion joints at intervals of not less than forty-five (45) feet. The sidewalk shall have a lateral slope of one-quarter inch (1/4") per foot.

**5.02 Products**

Concrete curb and gutter, sidewalk, and driveways shall be poured with minimum compressive strength of 3000 PSI 28 days, four inch slump per ASTM C39, air content of 3%-6 %. Location, width and thickness shall be as indicated on the Drawings. Aggregate base course, binder and surface course shall be installed and compacted in accordance with NM DOT Specifications. Type and thickness shall be as indicated on the drawings.

**PART 6 GRADING AND EXCAVATION**

6.01 General  
After clearing, grubbing and stripping have been completed, excavation for buildings, parking lots, drainage ditches and all other construction, shall be performed to the lines and grades indicated by the Drawings. Site excavation shall be unclassified regardless of the nature of material encountered. When material encountered within the limits of the work is considered unsuitable by the Engineer, such material shall be excavated below the grades shown on the Drawings or as directed by the Engineer and shall be replaced with suitable material. Excavation materials which are not required for fills shall be considered as waste and shall be disposed of off-site in an approved land fill. The excavations for footings and slabs shall be carried to the exact grades as shown on the Drawings. Undercutting will not be permitted. Should the Contractor excavate below the proper grade under concrete slabs or footings, earth fill will not be permitted, and concrete shall be poured to the bottom of excavation. No extra compensation will be granted the Contractor for extra concrete used for re-fill. Embankment and fill compaction shall be accomplished by thoroughly compacting each layer with sheeps foot rollers, pneumatic rollers, and mechanical tampers in places inaccessible to rollers, or other equipment. When material has too much moisture, grading operations shall be limited to drying soil by spreading and turning for drying by the sun and aeration. When material is dry, moisture shall be added by sprinkling by approved means.

All embankments and fills shall be compacted to the following percentages of the maximum dry density and within the following moisture range, in terms of optimum moisture as determined by the Standard Proctor Density Test, ASTM, D698.

The following table shall be used unless otherwise specified.

**TABLE OF COMPACTION AND MOISTURE**

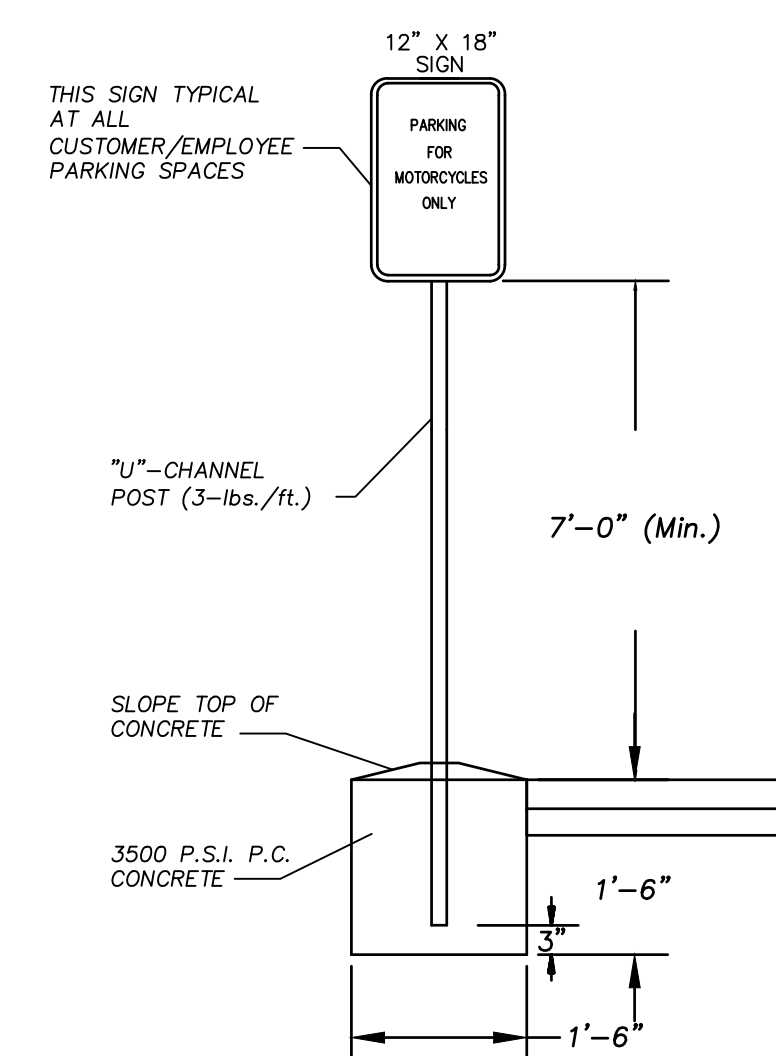
Class of Fills or Embankments	Zone	Minimum Density%	Moisture Range
Structure	Top 12-inches	98	+1 to -2
	Remainder	95	+4 to -3
Roadway	Top 30-inches	98	+1 to -2
	Remainder	95	+2 to -3
Parking Lot	Top 18-inches	98	+1 to -2
	Remainder	95	+3 to -3
Dam/Dike	All Depths	95	+4 to -3
	Common	All Depths	92

Class of fills or Embankments are defined as follows:

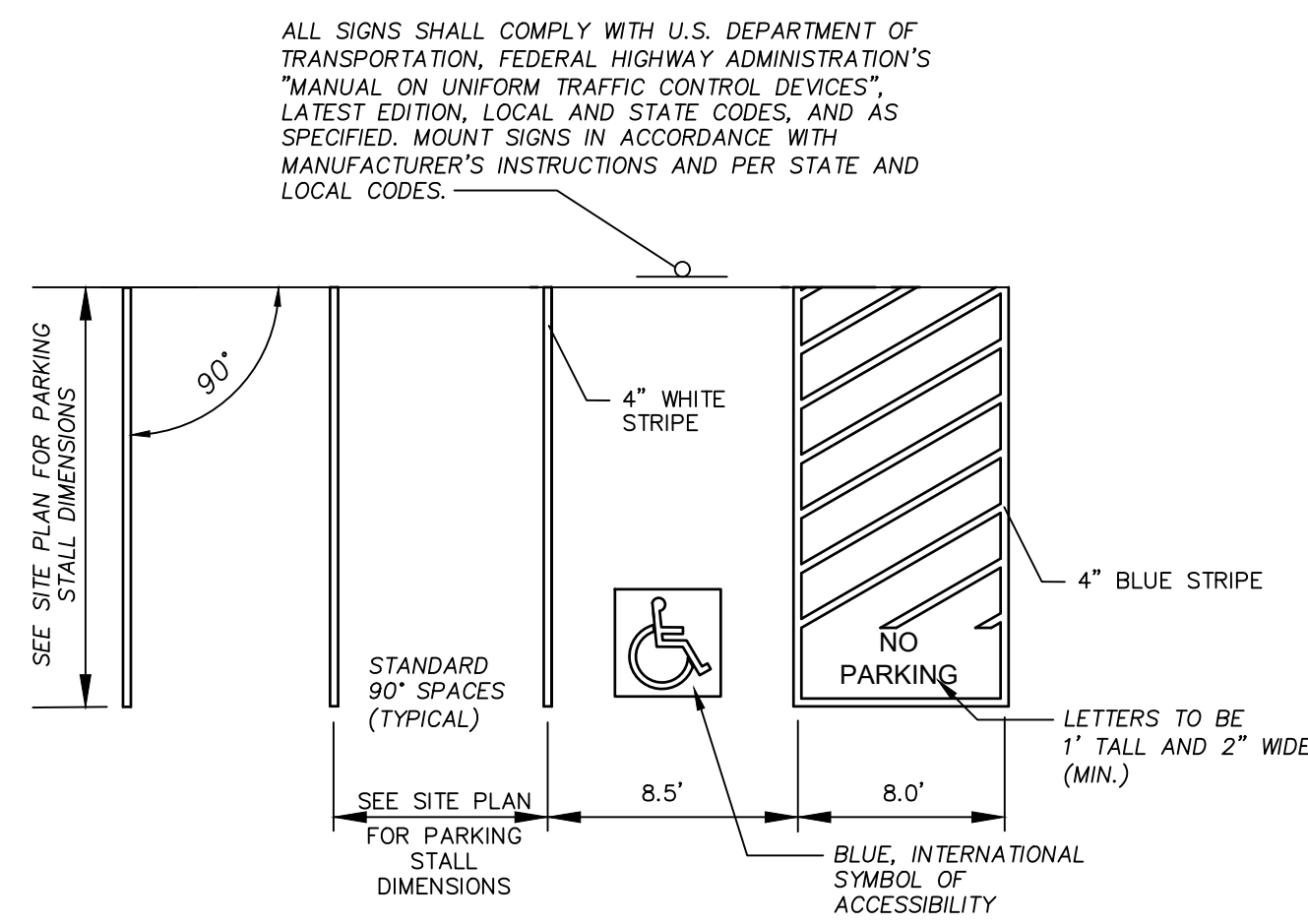
- Structure - beneath concrete slabs of buildings, pumping stations, floors, foundations, etc.
- Roadway - beneath all roads, streets, truck operations.
- Parking Lot - automobile parking lots.
- Dam/Dike - embankment for ponds, lagoons, etc.
- Common - all other embankments.

Any required borrow material shall be provided by the contractor at no additional cost to the owner. Excavated materials not suited for backfill and excavated material in excess of that needed to complete the work shall be wasted on the project site where directed by the Owner. Waste areas shall be left in a graded and sloped condition to allow natural drainage of the surrounding area.

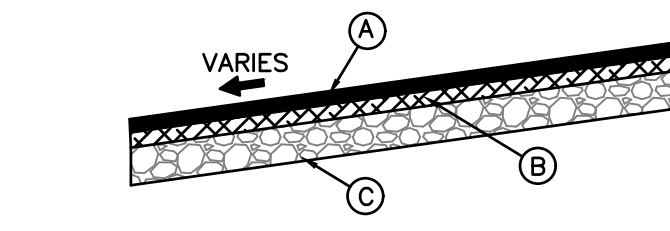
**SITE WORK SPECIFICATIONS**



**MOTORCYCLE PARKING SIGNAGE**

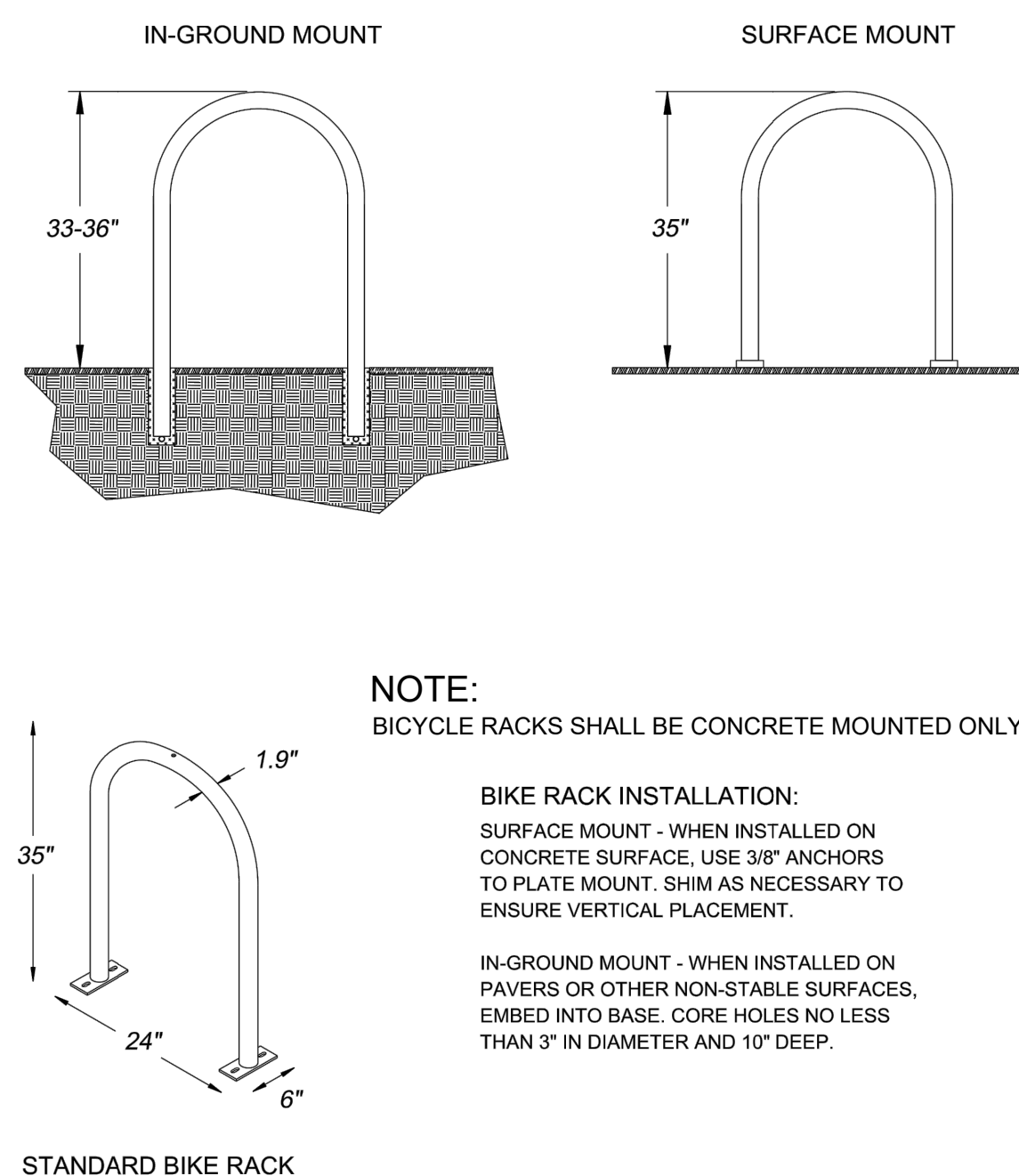


**ACCESSIBLE PAINT STRIPING**



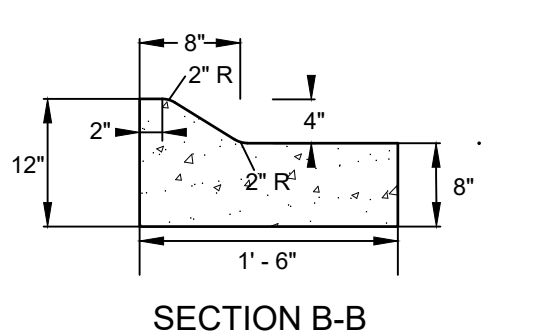
- PAVEMENT SCHEDULE BASED ON GEOTECH REPORT**
- A) 2" ASPHALTIC CONCRETE SURFACE COURSE (AC), TYPE B, PLACED AFTER ALL MANHOLE, VALVE COVERS/RINGS, AND STORMWATER RIMS/GRATES ARE SET TO GRADE
  - B) 2" ASPHALTIC CONCRETE COURSE (AC), TYPE B
  - C) 4" AGGREGATE BASE, COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.

**HEAVY DUTY ASPHALT PAVEMENT SECTION**

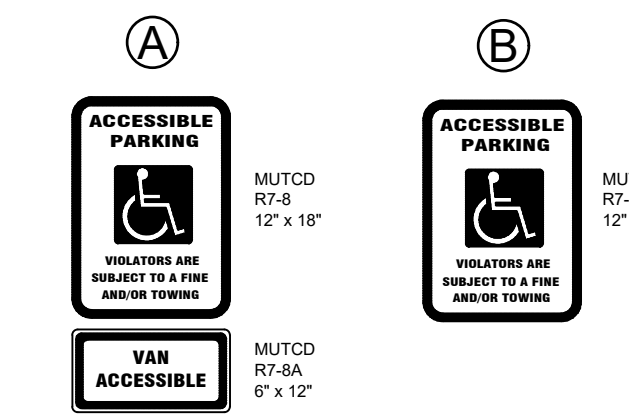
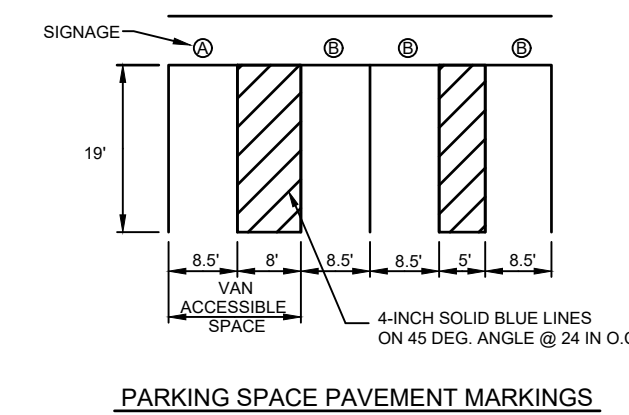


**BIKE RACK**

- GENERAL NOTES:**
- CONTRACTION JOINTS SHALL BE SPACED AT 10-FOOT INTERVALS.
  - CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS, WHERE SUCH JOINTS ARE NOT BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE OBTAINED.
  - ALL EXPANSION JOINTS SHALL BE SPACED AT 90- FOOT INTERVALS, AND ADJACENT TO ALL RIGID OBJECTS. JOINTS SHALL MATCH LOCATIONS WITH JOINTS IN ABUTTING SIDEWALK.
  - CONCRETE COMPRESSIVE STRENGTH SHALL BE 3,600 P.S.I. IN 28 DAYS. TOP 6" OF SUBGRADE BENEATH THE CURB AND GUTTER SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY.

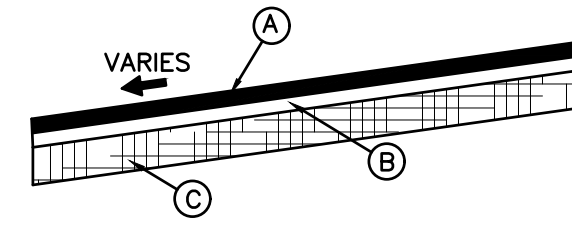


**4" MOUNTABLE CURB**



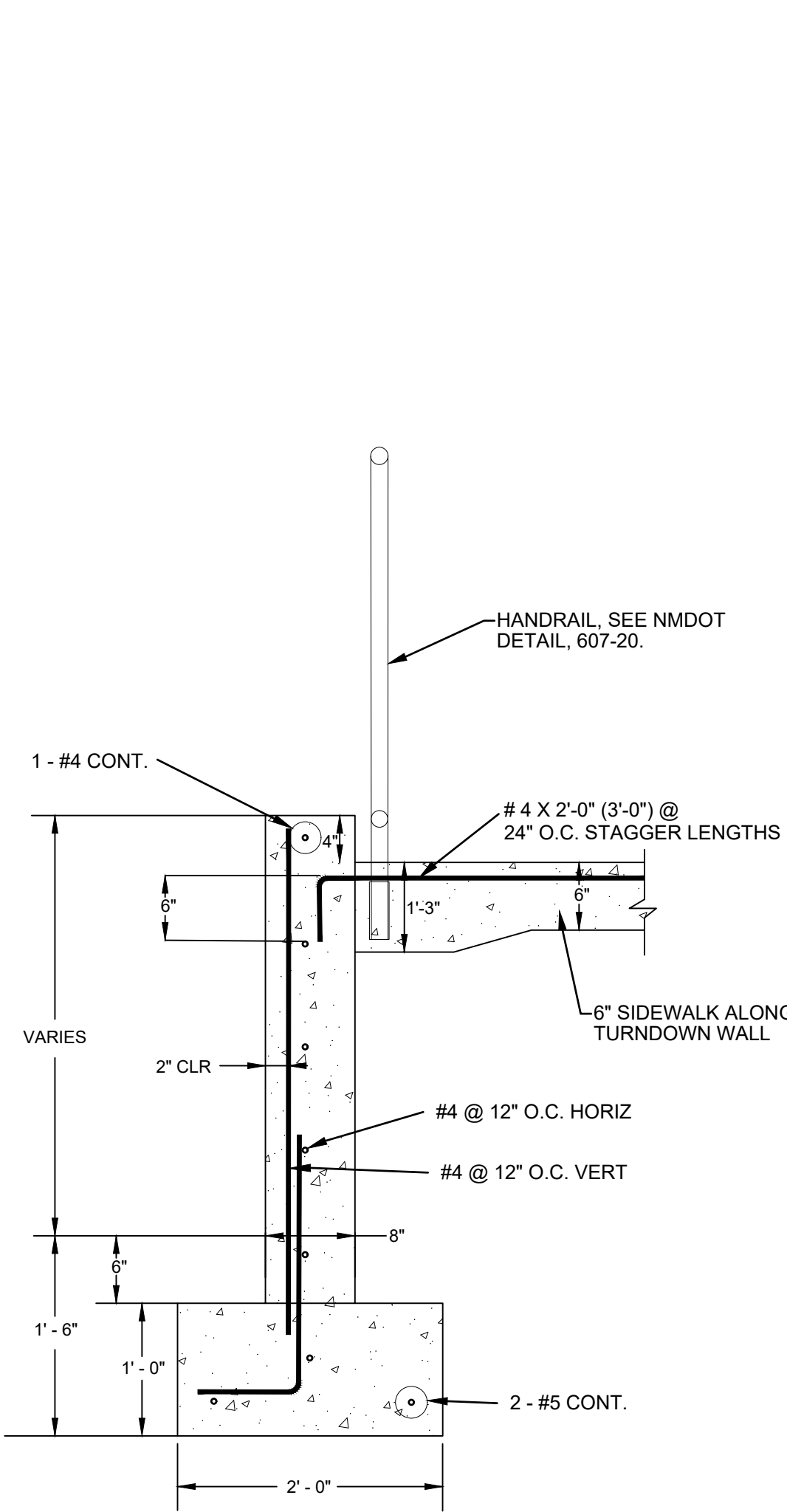
- NOTES:**
- ALL 12"x18" ACCESSIBLE SIGNS SHALL BE MOUNTED AT 7 FEET FROM GRADE TO BOTTOM EDGE OF SIGN FACE (UNICD). MOUNTING HEIGHT CAN BE REDUCED TO 5 FEET IF PLACED IN AN AREA BETWEEN SIDEWALK AND BUILDING FACE WHICH PROJECTIONS ARE NOT EXPECTED TO BE.
  - REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
  - PARKING SPACE DIMENSIONS SHOWN ARE MINIMUM. REFER TO PLAN FOR ACTUAL DIMENSIONS FOR THIS PROJECT.

**ACCESSIBLE PARKING & SIGNAGE**

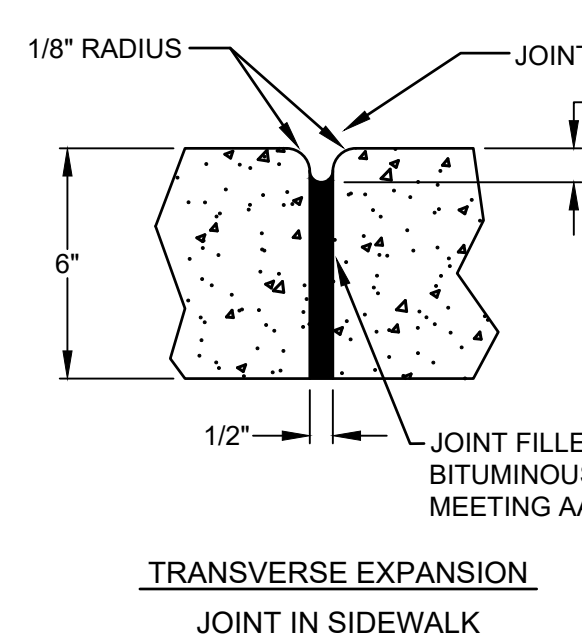
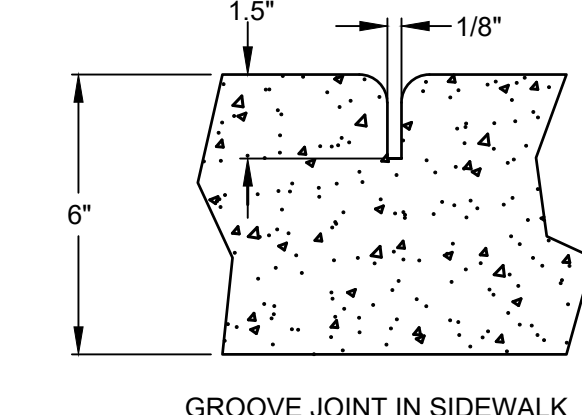


- PAVEMENT SCHEDULE BASED ON GEOTECH REPORT**
- A) 2" ASPHALTIC CONCRETE SURFACE COURSE (AC), TYPE B, PLACED AFTER ALL MANHOLE, VALVE COVERS/RINGS, AND STORMWATER RIMS/GRATES ARE SET TO GRADE
  - B) 2" ASPHALTIC CONCRETE COURSE (AC), TYPE B
  - C) COMPACTED TO MINIMUM 95% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT (+/-3%) AS DETERMINED BY ASTM D1557.

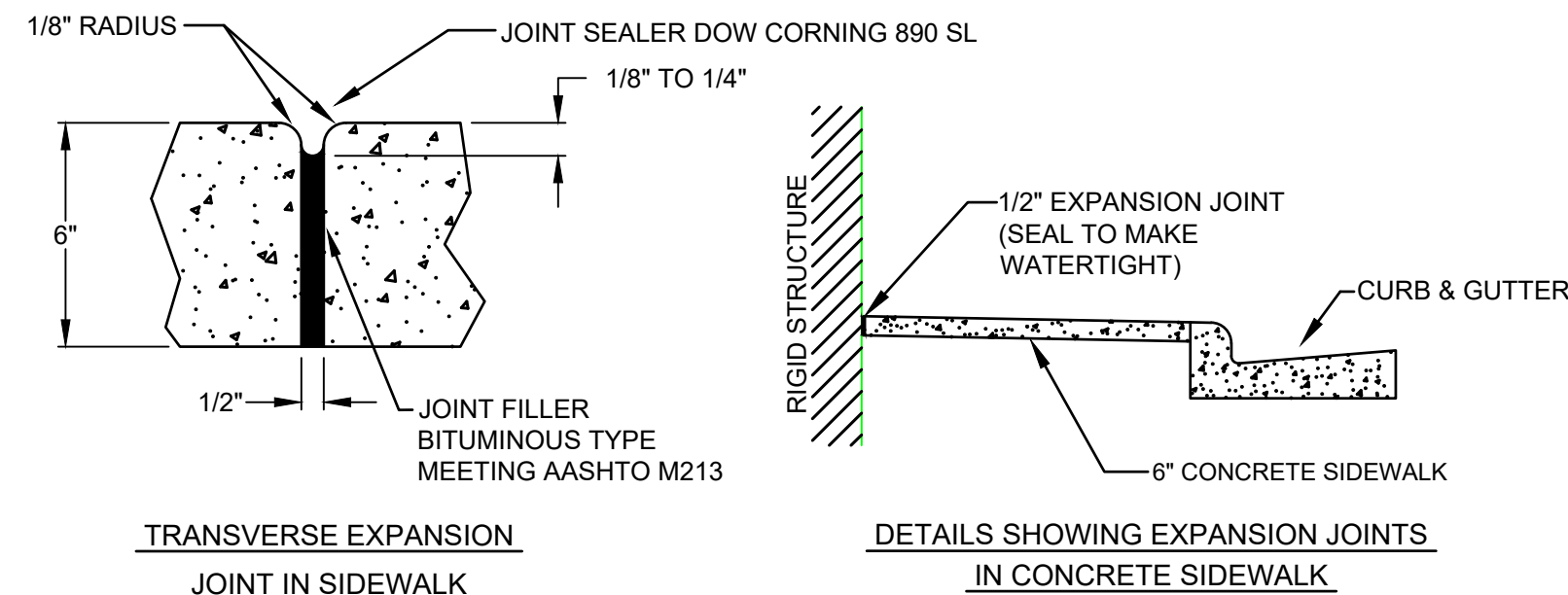
**LIGHT DUTY ASPHALT PAVEMENT SECTION**



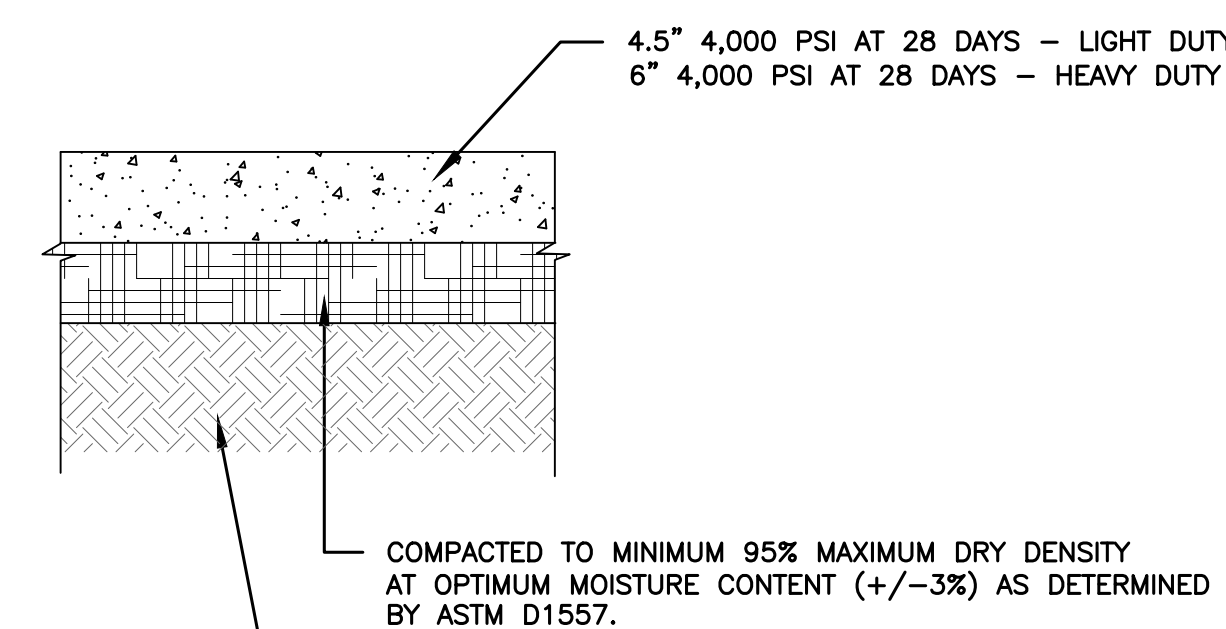
**SIDEWALK TURNDOWN WALL SECTION**



- GENERAL NOTES:**
- A GROOVE JOINT 1.5" DEEP WITH 1/8" RADI SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 30' INTERVALS NOT TO EXCEED 50' AND MATCHING EXPANSION/CONSTRUCTION JOINT IN ADJACENT CURB. A SEALED 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
  - SIDEWALK AT DRIVEWAY ENTRANCES TO BE 6" THICK.
  - SIDEWALK ALONG BUILDING TO BE 6" THICK.
  - SEE SITE PLAN FOR SIDEWALK WIDTHS.
  - SIDEWALK TO BE POURED TO END OF RADIUS AT INTERSECTING STREETS OR AS INDICATED ON THE SITE PLAN.
  - CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI. IN 28 DAYS.

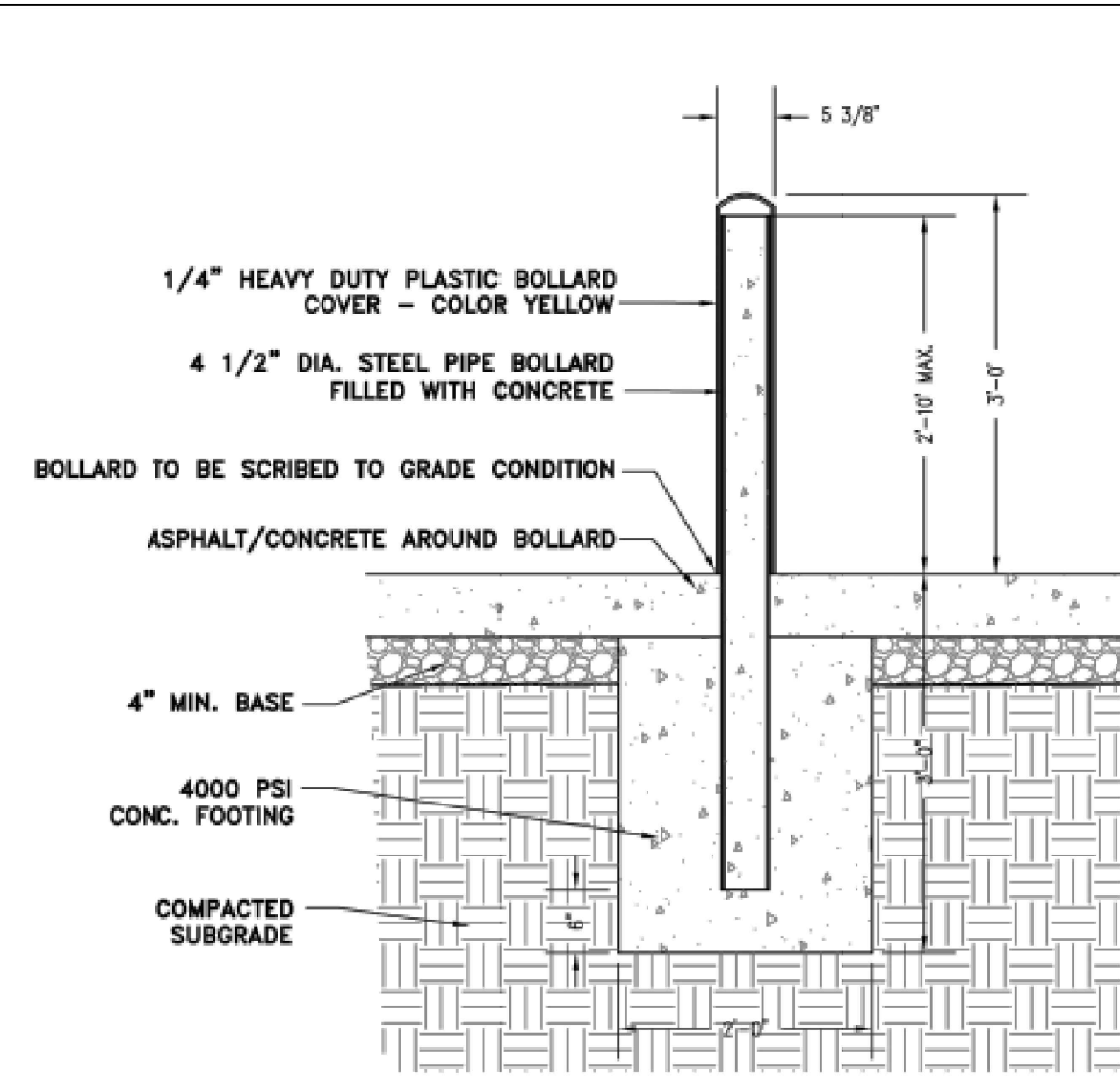


**CONCRETE SIDEWALK SECTIONS**

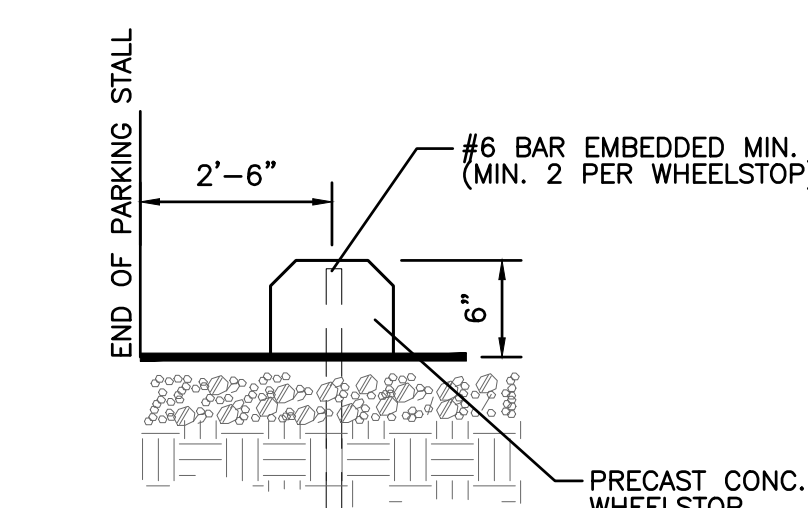


- NOTES:**
- REFER TO GEOTECHNICAL REPORT
  - CONTROL JOINTS SHALL BE SPACED AT 12' MAX. ODD SHAPES SHALL BE AVOIDED.
  - JOINTS SHALL BE CUT WITHIN 24 HOURS OF PLACEMENT OF CONCRETE.
  - CONCRETE MATERIALS AND PLACEMENT INCLUDING JOINTING SHOULD BE IN ACCORDANCE WITH RECOMMENDATIONS IN THE LATEST EDITION OF ACI-308R.

**CONCRETE PAVEMENT SECTION**



**STEEL BOLLARD DETAIL**



**CONCRETE WHEELSTOP**

**AYER DESIGN GROUP**  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnson Street  
Rock Hill, SC 29730  
Phone: 803-328-5858

**BIRKBEY AYER JR.**  
NEW MEXICO  
25848  
PROFESSIONAL ENGINEER  
*Bird Ayer*  
2-21-2023

PROJECT NAME:  
**LEXUS OF ALBUQUERQUE**

4821 PAN AMERICAN FWY.  
ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**SITE DETAILS**

NO	ISSUE/REVISION	DATE
	FOR PERMIT	6/23/22
#1	PERMIT REVISIONS	7/1/22
#2	PERMIT REVISIONS	10/31/22
#3	PERMIT REVISIONS	12/16/22
#8	CLIENT CHANGES	12/30/22
#9	NMDOT REVISIONS	2/21/23

**C10.0**





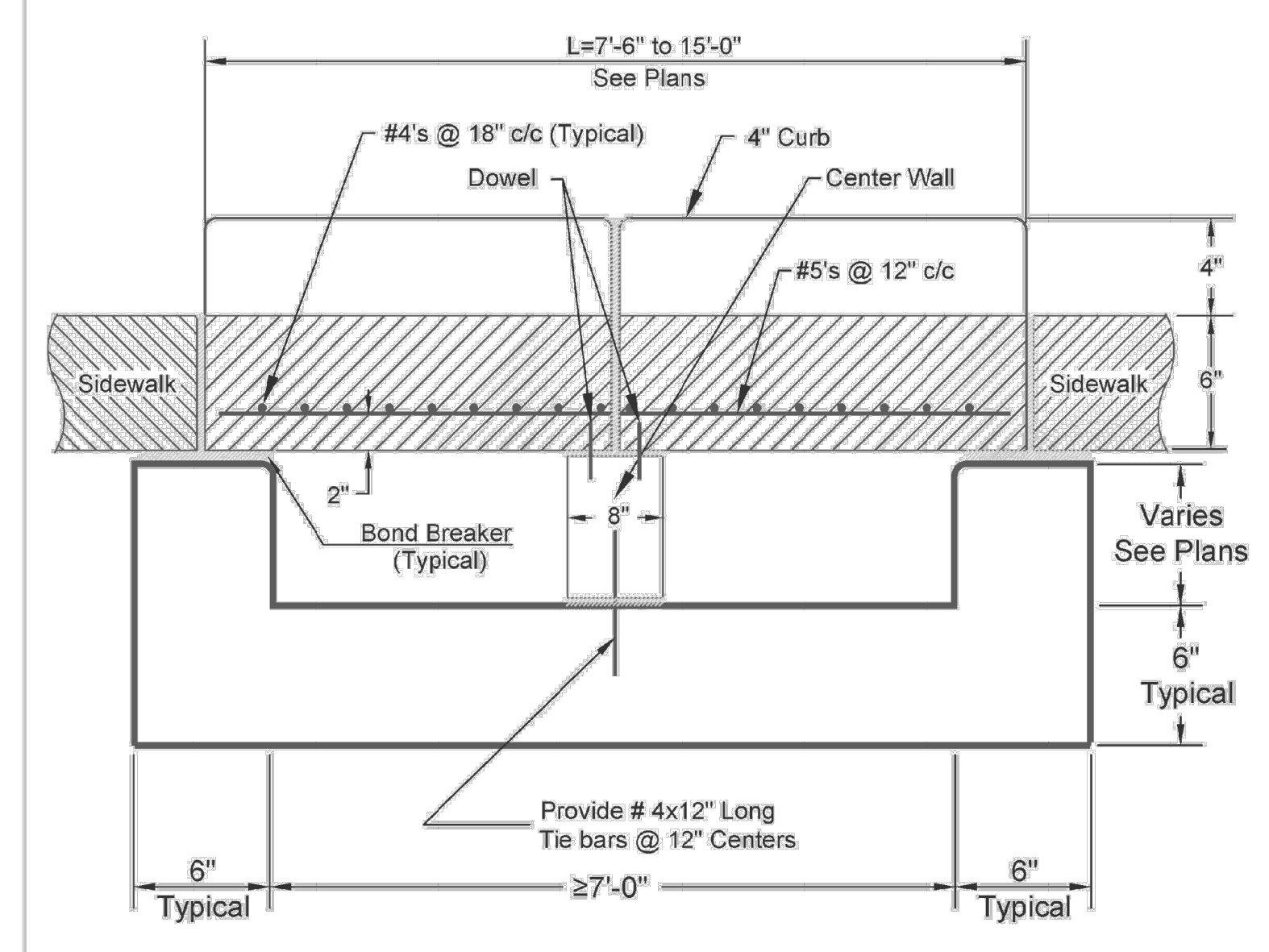
PROJECT NAME:

LEXUS OF ALBUQUERQUE

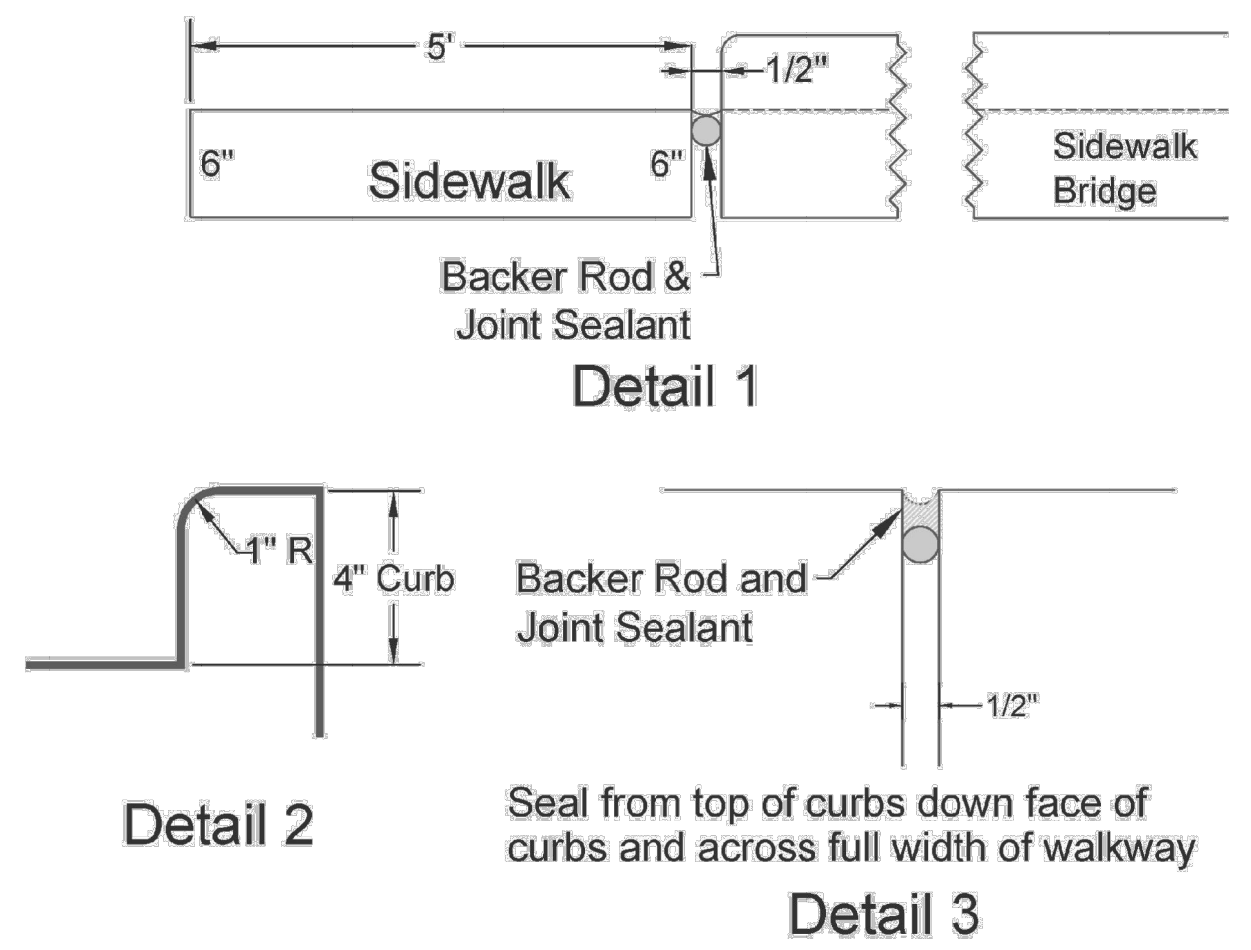
4821 PAN AMERICAN FWY. ALBUQUERQUE, NM

SHEET DESCRIPTION:  
 SITE DETAILS

PROJECT #	2021-12	
DRAWN BY	CC	
CHECKED BY	BA	
NO	ISSUE/REVISION	DATE
	FOR PERMIT	6/23/22
#1	PERMIT REVISIONS	7/1/22
#2	PERMIT REVISIONS	10/31/22
#3	PERMIT REVISIONS	12/16/22
#8	CLIENT CHANGES	12/30/22
#9	NMDOT REVISIONS	2/21/23

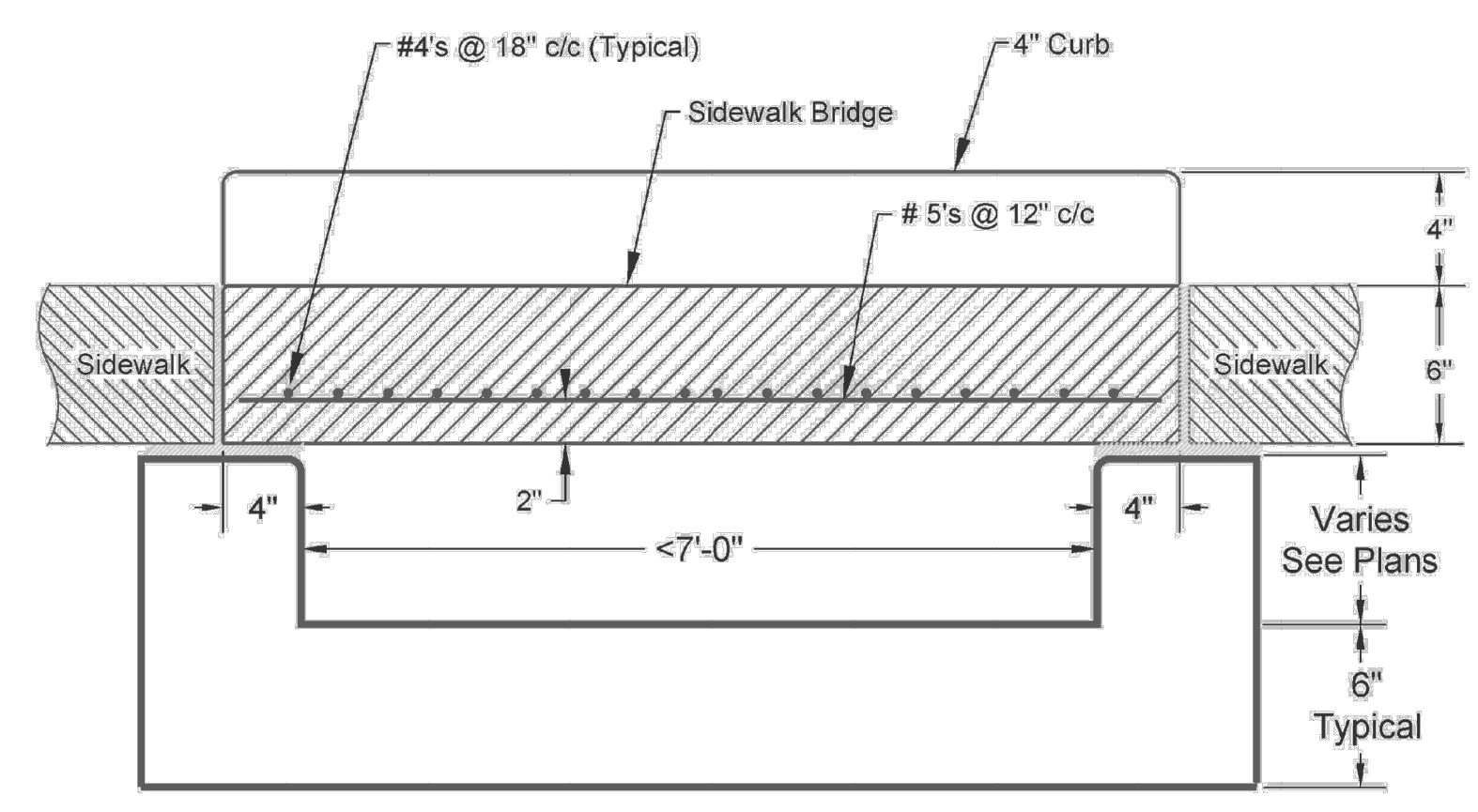


Section A-A for 7'-0" or greater span length

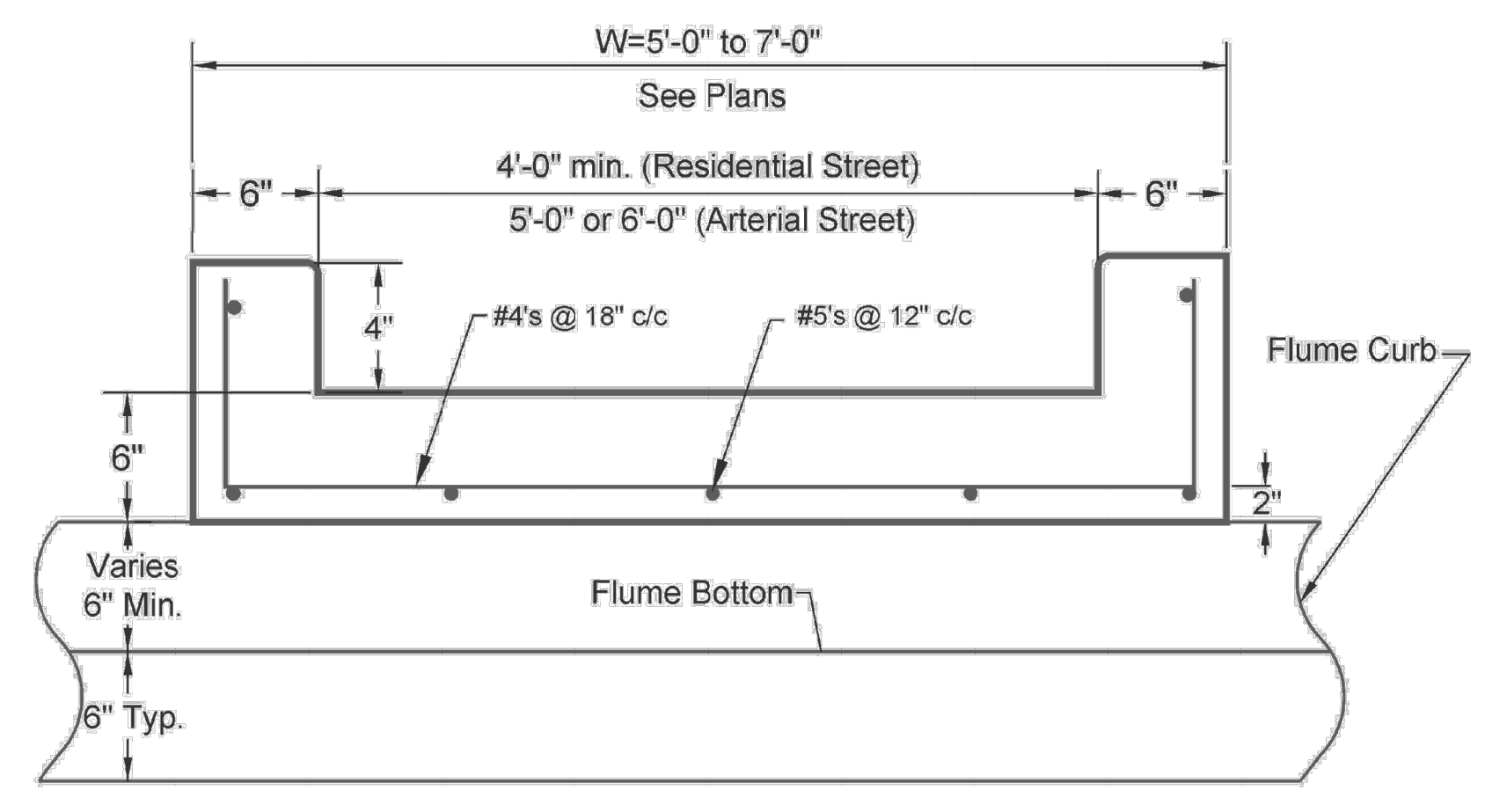


**Sidewalk Bridge Notes:**

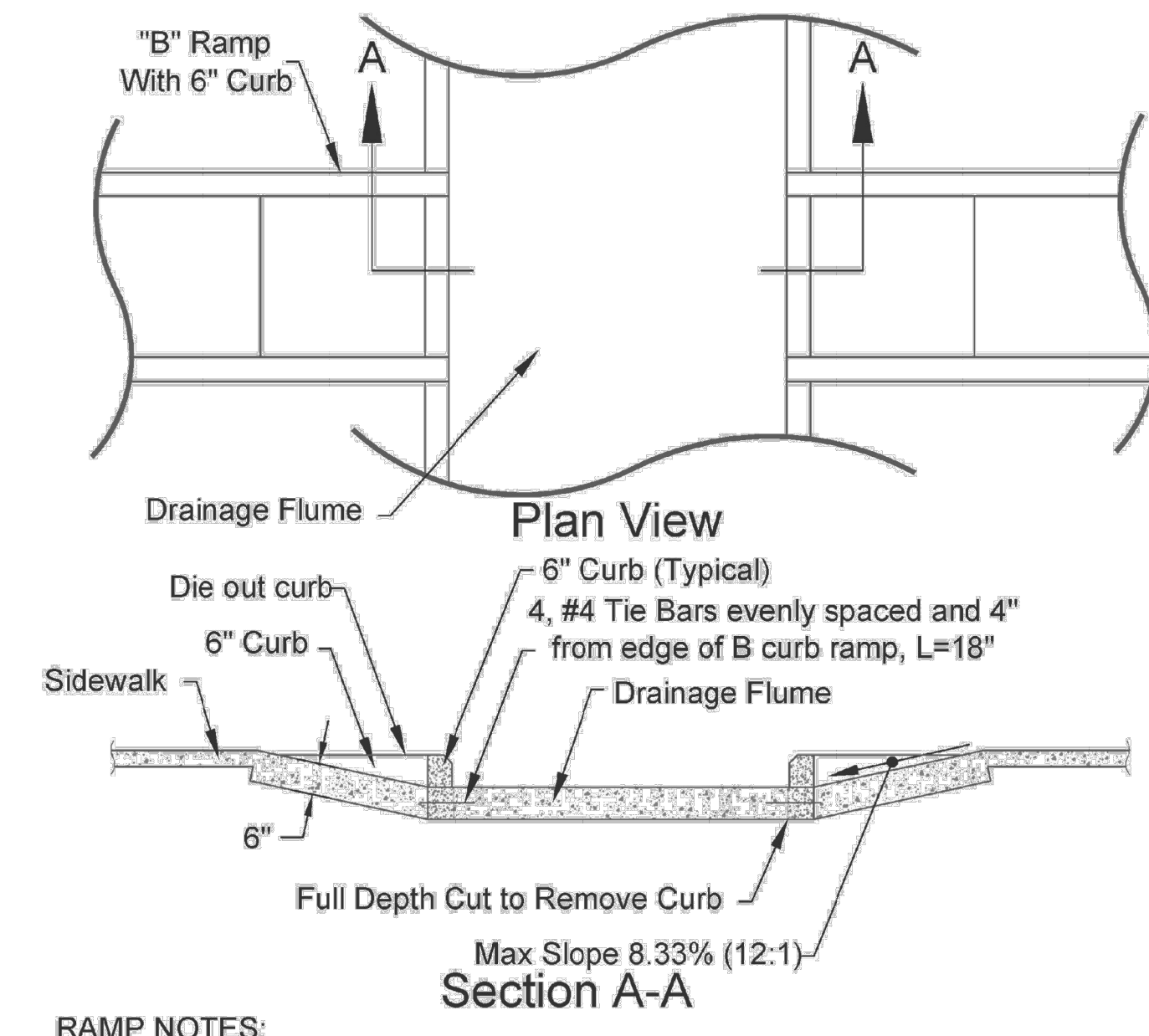
1. The width of the sidewalk bridge must be at least as wide as the adjacent sidewalk.
2. # 5 bars must extend to within 1 1/2" of the end forms.
3. Flume crossing with sidewalk bridges having a walking path greater than 5' wide require a separate design
4. Flume crossing with a dimension of 18" or greater from flume surface to the walkway surface will require pedestrian guardrail.
5. 3/4" chamfer (typical) required on all exposed edges.



Section A-A for less 7'-0" span length

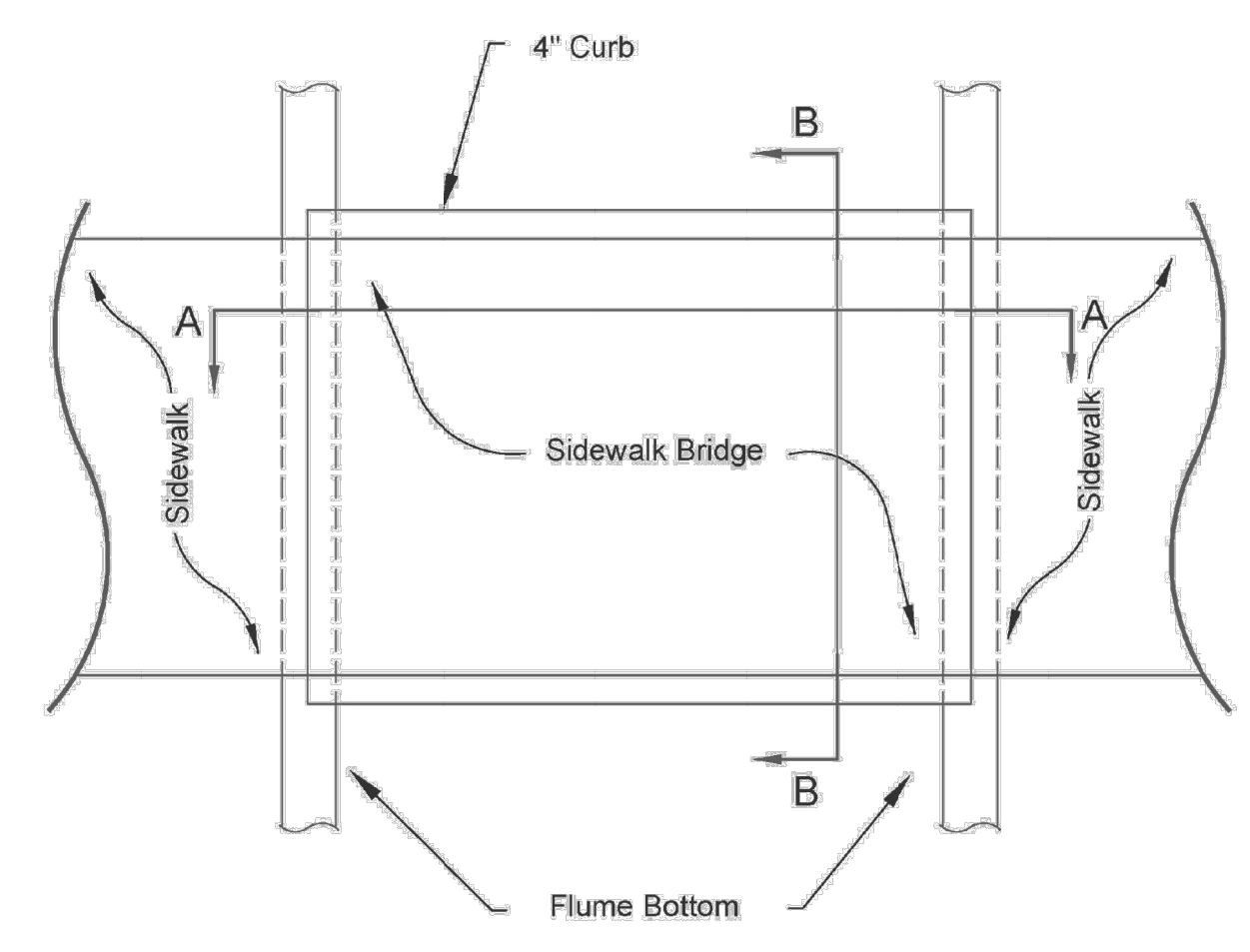


Section B-B



**RAMP NOTES:**

1. In most cases, to be constructed as shown above unless grade or other factors require the construction of a sidewalk bridge.
2. If flume grade is more than 2%, then bottom of flume must be reconstructed so the longitudinal grade is 2% or less to meet ADA requirements for sidewalk cross slope. The transition on each side of sidewalk in bottom of flume must be at least 2' wide and a maximum grade equal to 2x the longitudinal flume grade.



Sidewalk at Flume Crossing

ADA SIDEWALK AND CURB RAMP AT FLUME DETAILS

**SIDEWALK AT FLUME DETAILS**  
 State Job No. 26985(04) Sheet No. R015

OKLAHOMA COUNTY COVELL & MACARTHUR BLVD.



Alan Varela, Director

Mayor Timothy M. Keller

March 21, 2023

Birkie Ayer Jr. PE  
Ayer Design Group  
215 Johnston St.  
Rock Hill SC 29730

**Re: Lexus of Albuquerque at 8421 Pan American Freeway  
Erosion and Sediment Control Plan  
Engineer's Stamp Date 3/10/2023 (F17E078)**

Mr. Ayer,

Based upon the information provided in your submittal received 3/10/2023, the above referenced ESC Plan is approved to be included in the SWPPP and in the Building Permit Plans.

The EPA Notice of Intent (NOI) documentation has been reviewed and signed by the City and is attached, so this project is approved for Grading and Building Permit.

Please remember to include a copy of this letter, the approved ESC Plan, and the signed copy of the NOI in the Building Permit application.

The operator must ensure that the following personnel on the stormwater team understand the requirements of this permit and their specific responsibilities with respect to those requirements:

- a. Personnel who are responsible for the design, installation, Maintenance, and/or repair of stormwater controls (including pollution prevention controls);
- b. Personnel responsible for the application and storage of treatment chemicals (if applicable);
- c. Personnel who are responsible for conducting inspections as required in Part 4.1; and
- d. Personnel who are responsible for taking corrective actions as required in Part 5.

You must also post your notice of CGP coverage per Part 1.5 and install the BMP controls.

At a minimum a routine compliance self-inspection is required to review the project for compliance with the Construction General Permit once every 14 days and after any precipitation event of 1/4 inch or greater until the site construction has been completed and the site determined as stabilized by the city.

After all areas have been stabilized, you must contact the City for verification that the "Final Stabilization Criteria" of CGP 2.2.14.c has been satisfied. This step is independent of the Certificate of Occupancy (CO) process. Then satisfy the other "Conditions for Terminating CGP Coverage" per CGP 8.2 including removal of BMPs. Next, file your "Notice of Termination" (NOT) with the EPA. Please copy me with the documentation and the EPA's acceptance of the NOT.

If you have any questions, you can contact me at 924-3420 or [jhughes@cabq.gov](mailto:jhughes@cabq.gov).

Sincerely,

*James D. Hughes*

James D. Hughes, P.E.  
Principal Engineer, Planning Dept.  
Development and Review Services



Submission of this Notice of Intent (NOI) constitutes notice that the operator identified in Section III of this form requests authorization to discharge pursuant to the NPDES Construction General Permit (CGP) permit number identified in Section II of this form. Submission of this NOI also constitutes notice that the operator identified in Section III of this form meets the eligibility requirements of Part 1.1 CGP for the project identified in Section IV of this form. Permit coverage is required prior to commencement of construction activity until you are eligible to terminate coverage as detailed in Part 8 of the CGP. To obtain authorization, you must submit a complete and accurate NOI form. Discharges are not authorized if your NOI is incomplete or inaccurate or if you were never eligible for permit coverage. Refer to the instructions at the end of this form.

Permit Information

NPDES ID: NMR1005FJ

State/Territory to which your project/site is discharging: NM

Is your project/site located on federally recognized Indian Country lands? No

Are you requesting coverage under this NOI as a "Federal Operator" or a "Federal Facility" as defined in Appendix A (<https://www.epa.gov/system/files/documents/2022-01/2022-cgp-final-appendix-a-definitions.pdf>)?

No

Have stormwater discharges from your current construction site been covered previously under an NPDES permit? No

Will you use polymers, flocculants, or other treatment chemicals at your construction site? No

Has a Stormwater Pollution Prevention Plan (SWPPP) been prepared in advance of filling this NOI, as required? Yes

Are you able to demonstrate that you meet one of the criteria listed in Appendix D (<https://www.epa.gov/system/files/documents/2022-01/2022-cgp-final-appendix-d-endangered-species-protection.pdf>) with respect to protection of threatened or endangered species listed under the Endangered Species Act (ESA) and federally designated critical habitat?

Yes

Have you completed the screening process in Appendix E (<https://www.epa.gov/system/files/documents/2022-01/2022-cgp-final-appendix-e-historic-properties.pdf>) relating to the protection of historic properties?

Yes

Indicating "Yes" below, I confirm that I understand that CGP only authorized the allowable stormwater discharges in Part 1.2.1 and the allowable non-stormwater discharges listed in Part 1.2.2. Any discharges not expressly authorized in this permit cannot become authorized or shielded from liability under CWA section 402(k) by disclosure to EPA, state or local authorities after issuance of this permit via any means, including the Notice of Intent (NOI) to be covered by the permit, the Stormwater Pollution Prevention Plan (SWPPP), during an inspection, etc. If any discharges requiring NPDES permit coverage other than the allowable stormwater and non-stormwater discharges listed in Parts 1.2.1 and 1.2.2 will be discharged, they must be covered under another NPDES permit.

Yes

Operator Information

Operator Information

Operator Name: Group 1 Automotive, Inc

Operator Mailing Address:

Address Line 1: 800 Gessner, Suite 500

Address Line 2:

City: Houston

ZIP/Postal Code: 77024

State: TX

County or Similar Division: Harris

Country: US

Operator Point of Contact Information

First Name Middle Initial Last Name: Brad . Johnson

Title: Director, Construction

Phone: 713-647-5700

Ext.:

Email: bjohnson1@group1auto.com

NOI Preparer Information

This NOI is being prepared by someone other than the certifier.

First Name Middle Initial Last Name: Chandler . Chastain

Organization: Ayer Design Group

Phone: (803) 328-5858

Ext.:

Email: chad@ayerdesigngroup.com

Project/Site Information

Project/Site Name: Lexus of Albuquerque

Project/Site Address

Address Line 1: 4821 Pan American Fwy.

Address Line 2:

City: Albuquerque

ZIP/Postal Code: 87109

State: NM

County or Similar Division: Bernalillo

Latitude/Longitude: 35.138091°N, 106.603254°W

Latitude/Longitude Data Source: Map

Horizontal Reference Datum: WGS 84

Project Start Date: 03/01/2023

Project End Date: 03/01/2024

Estimated Area to be Disturbed: 3.25

Types of Construction Sites:

- Commercial

Will there be demolition of any structure built or renovated before January 1, 1980? No

Will you be discharging dewatering water from your site? No

Was the pre-development land use used for agriculture? No

Are there other operators that are covered under this permit for the same project site? No

Have earth-disturbing activities commenced on your project/site? No

Is your project/site located on federally recognized Indian Country lands? No

Is your project/site located on a property of religious or cultural significance to an Indian tribe? No

Discharge Information

Does your project/site discharge stormwater into a Municipal Separate Storm Sewer System (MS4)? No

Are there any waters of the U.S. within 50 feet of your project's earth disturbances? No

Are any of the waters of the U.S. to which you discharge designated by the state or tribal authority under its antidegradation policy as a Tier 2 (or Tier 2.5) water (water quality exceeds levels necessary to support propagation of fish, shellfish, and wildlife and recreation in and on the water) or as a Tier 3 water (Outstanding National Resource Water)? See Resources, Tools and Templates (<https://www.epa.gov/npdes/construction-general-permit-resources-tools-and-templates>)

No

### 001: 17806286 (unidentified) existing discharge location

Latitude/Longitude: 35.137248°N, 106.603305°W

Tier Designation: N/A

Is this receiving water impaired (on the CWA 303(d) list)? No

Has a TMDL been completed for this receiving waterbody? No

Stormwater Pollution Prevention Plan (SWPPP)

Will all required personnel, including those conducting inspections at your site, meet the training requirements in Part 6 of this permit? Yes

First Name Middle Initial Last Name: Birkie Ayer

Title: P.E.

Phone: 803-328-5858

Ext.:

Email: birk@ayerdesigngroup.com

Endangered Species Protection Worksheet: Criterion E

## Determine ESA Eligibility Criterion

Are your discharges and discharge-related activities already addressed in another operator's valid certification of eligibility for your "action area" under the current 2022 CGP? No

Has consultation between you, a Federal Agency, and the USFWS and/or the NMFS under section 7 of the Endangered Species Act (ESA) concluded? Yes

➤ The result of the consultation was:

Option ii. Written concurrence (e.g., letter of concurrence) from the applicable Service(s) with a determination that your site's discharges and discharge-related activities are not likely to adversely affect ESA-listed species and/or designated critical habitat. The concurrence letter must have included the effects of your site's discharges and discharge-related activities on all the ESA-listed species and/or designated critical habitat on your species list(s) acquired from USFWS and/or NMFS as part of this worksheet.

➤ The consultation does not warrant reinitiation under 50 CFR §402.16; or, if reinitiation of consultation is required (e.g., due to a new species listing, critical habitat designation, or new information), the federal action agency has reinitiated the consultation and the result of the consultation is consistent with the statements above. Include any reinitiation documentation from the Services or consulting federal agency with your NOI.

True

You are eligible under **Criterion E**.

Identify the federal action agency or agencies involved (i.e. the federal agencies seeking coverage):

USA Department of the Interior

Identify the Service(s) field or regional offices providing the consultation:

Fish and Wildlife Service

Identify any tracking numbers associated with the consultation (e.g., IPaC number, ECO number):

2023-0046318

Provide the date the consultation was completed: 2023-02-16


Attach correspondence with USFWS and/or NMFS documenting the Biological Opinion, conference opinion (IPaC or ECO tracking number) or concurrence.

Name	Uploaded Date	Size
 Species List New Mexico Ecological Services Field Office.pdf (attachment/1644241)	03/09/2023	253.19 KB
 Biological Assessment 2023-02-16 (1).pdf (attachment/1644240)	03/09/2023	522.29 KB


Historic Preservation 

Are you installing any stormwater controls as described in Appendix E (<https://www.epa.gov/system/files/documents/2022-01/2022-cgp-final-appendix-e-historic-properties.pdf>) that require subsurface earth disturbances? (Appendix E (<https://www.epa.gov/system/files/documents/2022-01/2022-cgp-final-appendix-e-historic-properties.pdf>), Step 1)

Yes

 Have prior surveys or evaluations conducted on the site already determined historic properties do not exist, or that prior disturbances have precluded the existence of historic properties? (Appendix E (<https://www.epa.gov/system/files/documents/2022-01/2022-cgp-final-appendix-e-historic-properties.pdf>), Step 2):

Yes

Certification Information 

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I have no personal knowledge that the information submitted is other than true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. Signing an electronic document on behalf of another person is subject to criminal, civil, administrative, or other lawful action.

**Certified By:** Bradley R. Johnson

**Certifier Title:** Director

**Certifier Email:** bjohnson1@group1auto.com

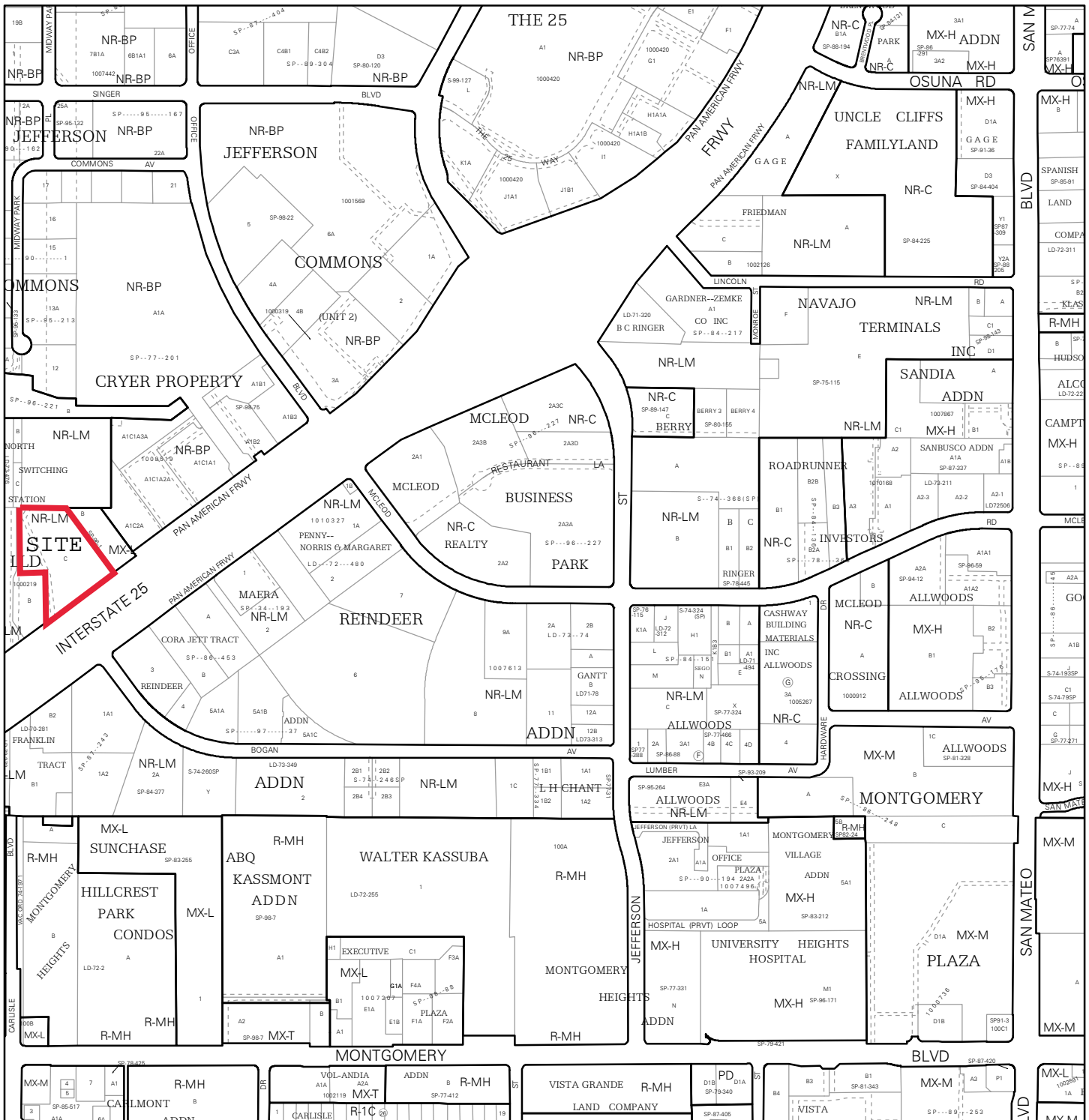
**Certified On:** 03/09/2023 3:25 PM ET

F17E078

*James D. Hughes*

3/21/2023





For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018

**IDO Zoning information as of May 17, 2018**  
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Gray Shading Represents Area Outside of the City Limits

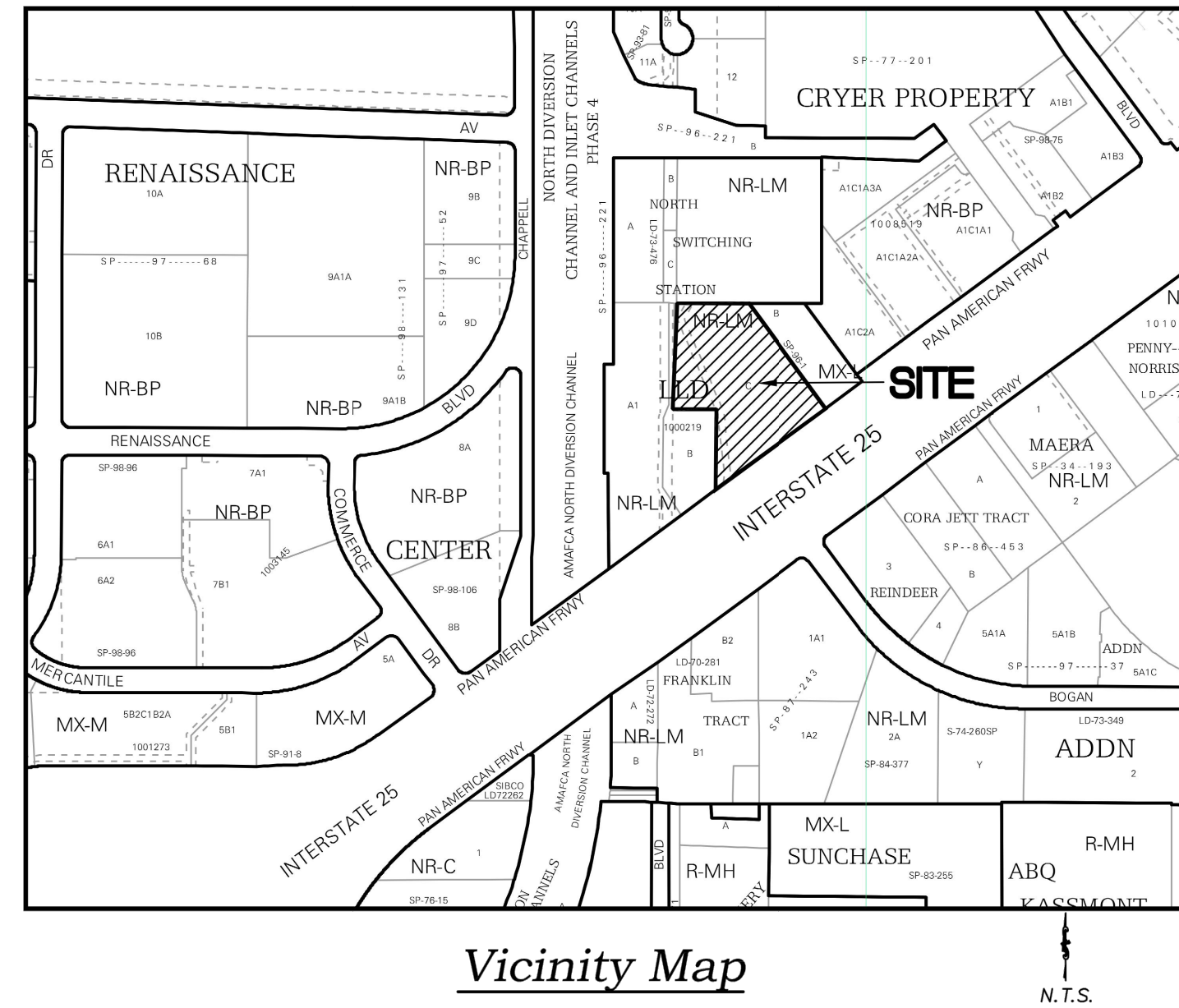
Zone Atlas Page:  
**F-17-Z**

- Easement
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Escarpment

Petroglyph National Monument

0 250 500 1,000 Feet



Vicinity Map

# SITE CONSTRUCTION DRAWINGS FOR LEXUS OF ALBUQUERQUE

4821 PAN AMERICAN FWY.  
ALBUQUERQUE, NM 87109

DEVELOPED BY

## GROUP 1 AUTOMOTIVE®

800 GESSNER, SUITE 500  
HOUSTON, TEXAS 77024  
713-647-5700

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DFT SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date _____
ABCWUA	Date _____
Parks and Recreation Department	Date _____
Hydrology	Date _____
Code Enforcement	Date _____
* Environmental Health Department (conditional)	Date _____
Solid Waste Management	Date _____
Planning Department	Date _____

\*Environmental Health, if necessary  
12/16/22

CIVIL DRAWING INDEX	
SHEET	DRAWING TITLE
C00.0	SITE COVER SHEET
C00.1	EXISTING CONDITIONS
C01.0	DEMOLITION PLAN
C02.0	SITE PLAN
C02.1	PAVING PLAN
C03.0	EROSION CONTROL PLAN
C04.0	GRADING PLAN SOUTH
C04.1	GRADING PLAN NORTH
C05.0	UTILITY PLAN
C06.0	LANDSCAPE PLAN
C07.0	LANDSCAPE DETAILS
C08.0	EROSION CONTROL DETAILS
C09.0	UTILITY DETAILS
C09.1	UTILITY DETAILS
C09.2	UTILITY DETAILS
C10.0	SITE DETAILS
C10.1	SITE DETAILS
C10.2	SITE DETAILS
C10.3	SITE DETAILS
C11.0	SIGHT DISTANCE EXHIBIT
C12.0	TEMPORARY TRAFFIC CONTROL PLAN

**AYER DESIGN GROUP**  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnson Street  
Rock Hill, SC 29730  
Phone: 803-328-5858



PROJECT NAME:  
**LEXUS OF  
ALBUQUERQUE**

4821 PAN AMERICAN FWY.  
ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**COVER  
SHEET**

PROJECT # 2021-12  
DRAWN BY CC  
CHECKED BY BA

NO	ISSUE/REVISION	DATE
	FOR PERMIT	6/23/22
#1	PERMIT REVISIONS	7/11/22
#2	PERMIT REVISIONS	10/31/22
#3	PERMIT REVISIONS	12/16/22
#8	CLIENT CHANGES	12/30/22
#9	NMDOT REVISIONS	2/21/23
#10	PERMIT REVISIONS	3/10/23

**GENERAL NOTES**

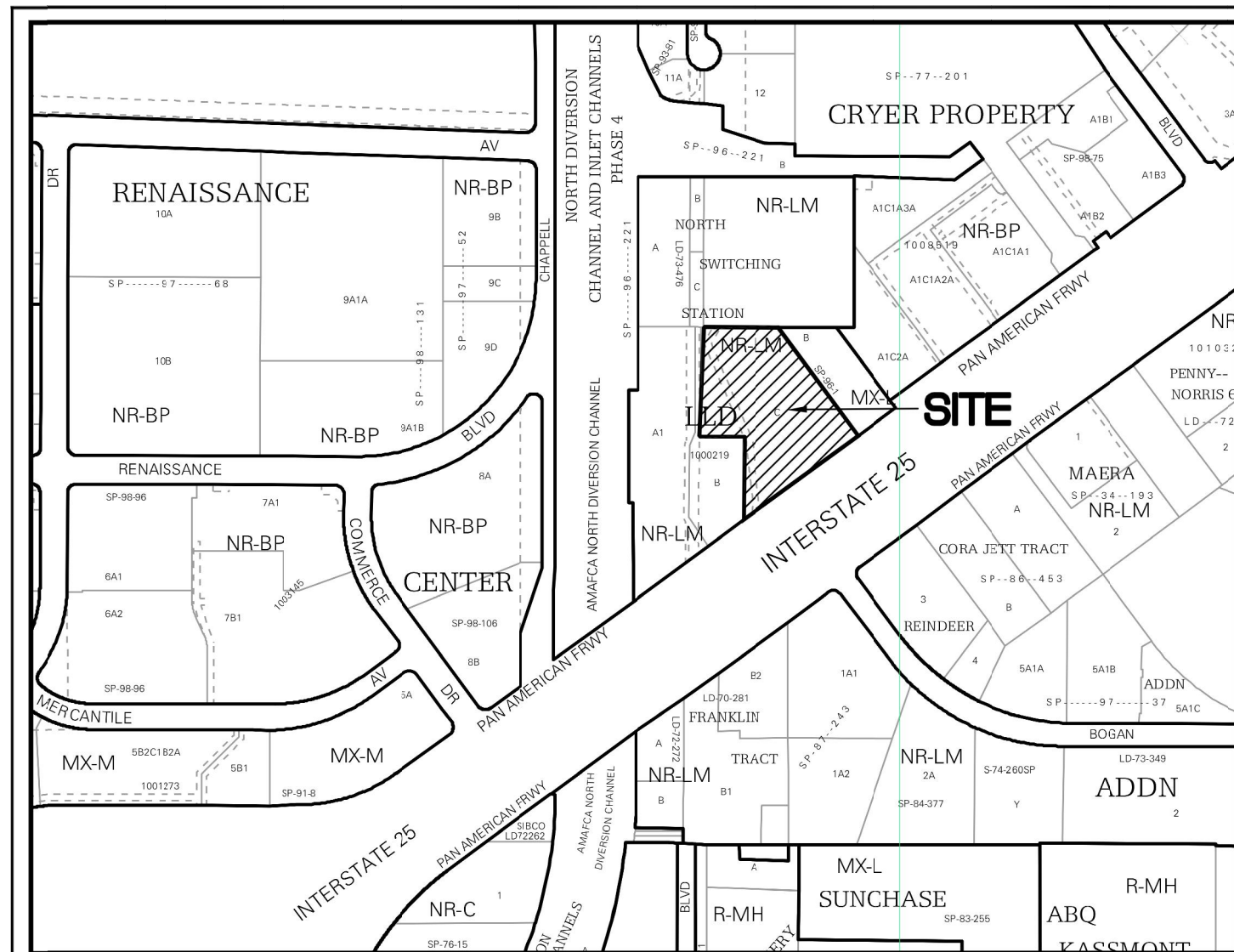
- ALL PAVEMENT MARKINGS & SIGNAGE SHALL COMPLY WITH THE "NEW MEXICO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS & HIGHWAYS".
- CONTRACTOR SHALL CONTACT "NM ONE CALL" AT 811 FOR ASSISTANCE IN LOCATING ANY EXISTING UTILITIES AT LEAST 72 HRS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF EXISTING ABOVE & BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS, LINES, OR INDIVIDUAL SERVICES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS ON-SITE & NOTIFY THE ENGINEER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES IN WRITING PRIOR TO BEGINNING WORK.
- SIDEWALK CROSS-SLOPE SHALL NOT EXCEED 50:1.
- ALL DIMENSIONAL CALL OUTS ARE MEASURED FROM FACE OF CURB.
- FIELD ADJUSTMENTS SHALL BE MADE AS NECESSARY TO ENSURE A SMOOTH TRANSITION BOTH VERTICALLY & HORIZONTALLY FROM EXISTING TO PROPOSED PAVEMENT & CURB SECTIONS.
- GUTTERS & PAVING SHALL BE INSTALLED IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL LOCAL, STATE & FEDERAL CONSTRUCTION SAFETY REGULATIONS ARE FOLLOWED DURING THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
- BENCHMARK LOCATION & ELEVATION SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. BENCHMARKS USED FOR SURVEY ARE LISTED ON THE EXISTING CONDITIONS PLAN.
- BOUNDARY AND ALTA SURVEY INFORMATION TAKEN FROM SURVEY BY PRECISION SURVEYS, INC.
- WATER & SEWER FEES (AS APPLICABLE) ARE TO BE PAID AT THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY OFFICE.
- ALL DEMOLITION DEBRIS SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN IDEQ APPROVED LANDFILL.
- CONTRACTOR TO SUBMIT A TRAFFIC CONTROL PLAN TO NMDOT & ENGINEER FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
- ALL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF ALBUQUERQUE, ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION AS APPLICABLE.
- CONTRACTOR TO ADJUST ALL EXISTING UTILITIES RIMS, COVERS, GRATES, AND WATER METER BOXES TO MATCH PROPOSED GRADES.
- CONTRACTOR TO COORDINATE UTILITY RELOCATIONS WITH ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
- ALL MATERIALS & PLANS ARE TO COMPLY WITH CURRENT CITY OF ALBUQUERQUE, ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION AS APPLICABLE.
- CONTRACTOR SHALL SUPPLY AS-BUILT DRAWINGS OF STREET, DRAINAGE, WATER & SANITARY SEWER SYSTEMS AFTER INSTALLATION.
- TRANSITION PROPOSED CONCRETE CURB, PAVEMENT AND SIDEWALK INTO EXISTING CURB, PAVEMENT AND SIDEWALK AND PROVIDE A FLUSH 1/8" TROWLED JOINT WHERE PROPOSED CONCRETE MEETS EXISTING CONCRETE.
- ALL EXISTING AND PROPOSED LANDINGS, SIDEWALKS, RAMPS, ACCESSIBLE PARKING, DRIVEWAY CROSSWALKS AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A. CITY OF ALBUQUERQUE, AND NMDOT REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.
- CONTRACTOR SHALL MAINTAIN ACCESS DRIVE INTO SITE FROM PAN AMERICAN FWY THROUGHOUT DEMOLITION AND CONSTRUCTION ACTIVITIES.
- REFER TO PROJECT SPECIFICATION MANUAL FOR ADDITIONAL REQUIREMENTS AND PROJECT SPECIFICATIONS.

LEGEND			
○	PROPERTY CORNER	▨	RIP RAP
—	CENTER LINE	▨	FLARED END SECTION
—	PROPERTY LINE	⊕	STORM DRAIN DROP INLET
R/W	RIGHT OF WAY	⊕	STORM DRAIN JUNCTION BOX
⊕	SEPTIC TANK	⊕	HANDICAP PARKING SPACE
⊕	WATER METER	—	WATER LINE
⊕	CATV	—	SANITARY SEWER
⊕	TELEPHONE PEDESTAL	—	SANITARY FORCE MAIN
⊕	ELECTRICAL BOX	—	EXISTING OVERHEAD ELECTRIC
⊕	BENCHMARK	—	UNDERGROUND ELECTRIC
⊕	FIRE HYDRANT	—	SILT FENCE
⊕	WATER VALVE	—	INLET PROTECTION
⊕	BLOW OFF	—	STORM DRAIN
⊕	SANITARY SEWER MANHOLE	—	TREE SAVE / PROTECTION
600	EXISTING CONTOUR	⊕	TREE TO BE REMOVED
600	PROPOSED CONTOUR		
4.04.7	EXISTING SPOT ELEVATION		
4.04.7	PROPOSED SPOT ELEVATION		
TW-612.0	TOP OF WALL ELEVATION		
BW-605.16	BOTTOM OF WALL ELEVATION		
—	PROPOSED SWALE		



**C00.0**





Vicinity Map

Easement Notes

- 1 EXISTING PNM EASEMENT FOR ROAD RIGHT OF WAY (4/10/2000, BK. A4, PG. 4328)
- 2 EXISTING 10' MST&T AND PNM EASEMENT (7/25/1976, BK. MISC. 622, PG. 132)
- 3 EXISTING 30' PRIVATE ACCESS CROSS LOT EASEMENT (4/2/2004, BK. A75, PG. 3899, DOC. NO. 2004044029), (4/2/2004, BK. A75, PG. 3901, DOC. NO. 2004044031) AND (4/2/2004, BK. A75, PG. 3902, DOC. NO. 2004044032)
- 4 EXISTING 30' SOUTHERN UNION GAS COMPANY EASEMENT (11/3/1955, VOL. D-332, FOL. 99)
- 5 EXISTING PNM AND MST&T EASEMENT (1/3/1974, BK. B9, PG. 24)
- 6 EXISTING 10' P.U.E. (1/4/1996, 96C-5)
- 7 EXISTING PRIVATE ACCESS EASEMENT (9/25/2014, 2014C-109) SHOWN HEREON AS [Symbol]
- 8 EXISTING 3.5' X 192' LANDSCAPE EASEMENT BENEFITING THAT PORTION OF TRACT B, LLD, LOCATED EAST OF THE EASEMENT (8/10/1999, 99C-225) AND (8/10/1999, BK. 9911, PG. 4699, DOC. NO. 19991049947) SHOWN HEREON AS [Symbol]
- 9 EXISTING 20' PNM (4/10/2000, BK. A4, PG. 4327, DOC. NO. 2000034475)
- 10 EXISTING 15' P.U.E. (1/3/1974, B9-24)
- 11 EXISTING 5' QWEST CORPORATION ENCROACHMENT AREA (1/4/2001, A1-1011)
- 12 EXISTING QWEST CORPORATION EASEMENT (1/4/2001, BK. A1, PG. 1010)
- 13 EXISTING 15' MST&T RIGHT OF WAY EASEMENT FOR ACCESS AND MAINTENANCE (6/1/1970, BK. MISC. 175, PG. 555)
- 14 EXISTING SIGN EASEMENT FOR BILLBOARD (4/2/2004, BK. A75, PG. 3899, DOC. NO. 2004044029) AND (4/2/2004, BK. A75, PG. 3901, DOC. NO. 2004044031) SHOWN HEREON AS [Symbol]
- 15 EXISTING 70' X 30' PNM EASEMENT (8/26/1994, BK. 94-24, PG. 9596-9597, DOC. NO. 94106089) SHOWN HEREON AS [Symbol]
- 16 EXISTING PNM EASEMENT (8/26/1994, BK. 94-24, PG. 9596-9597, DOC. NO. 94106089)
- 17 EXISTING 10' UNDERGROUND UTILITY PNM AND US WEST COMMUNICATIONS, INC. EASEMENT (2/1/1995, BK. 95-3, PG. 3907, DOC. NO. 95011050)
- 18 EXISTING 20' PNM AND US WEST EASEMENT (12/16/1998, BK. 9820, PG. 128, DOC. NO. 1998162004)
- 19 EXISTING 10' X 35' PNM AND US WEST EASEMENT (12/16/1998, BK. 9820, PG. 128, DOC. NO. 1998162004)
- 20 EXISTING 10' DRAINAGE EASEMENT (12/28/2015, DOC. NO. 2015111690)
- 21 EXISTING 10' PNM AND US WEST EASEMENT (2/8/1996, BK. 96-4, PG. 2640-2641) RELEASED BY QWEST CORPORATION BY QUITCLAIM DEED (1/4/2001, BK. A1, PG. 1009, DOC. NO. 2001001015)
- 22 INTENTIONALLY OMITTED
- 23 APPARENT P.U.E., ALTHOUGH SHOWN ON PLATS (8/10/1999, 99C-225) AND (3/26/2004, 2004C-102) AS EXISTING 10' P.U.E. GRANTED BY PLAT (1/4/1996, 96C-5), THIS IS INCORRECT. PLAT (1/4/1996, 96C-5) DID NOT GRANT ANY EASEMENT ACROSS WHAT IS NOW TRACT B, LLD.

THIS IS NOT A BOUNDARY SURVEY, APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA SHOWN IS FROM PREVIOUS SURVEY REFERENCED HEREON.

Legal Description

TRACTS LETTERED "C" OF THE PLAT OF TRACTS A, B AND C OF THE LLD SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 26, 2004, IN PLAT BOOK 2004C, FOLIO 102.

Benchmark -NAVD 88

ACS MONUMENT "NDC-14" HAVING AN ELEVATION OF 5107.996.

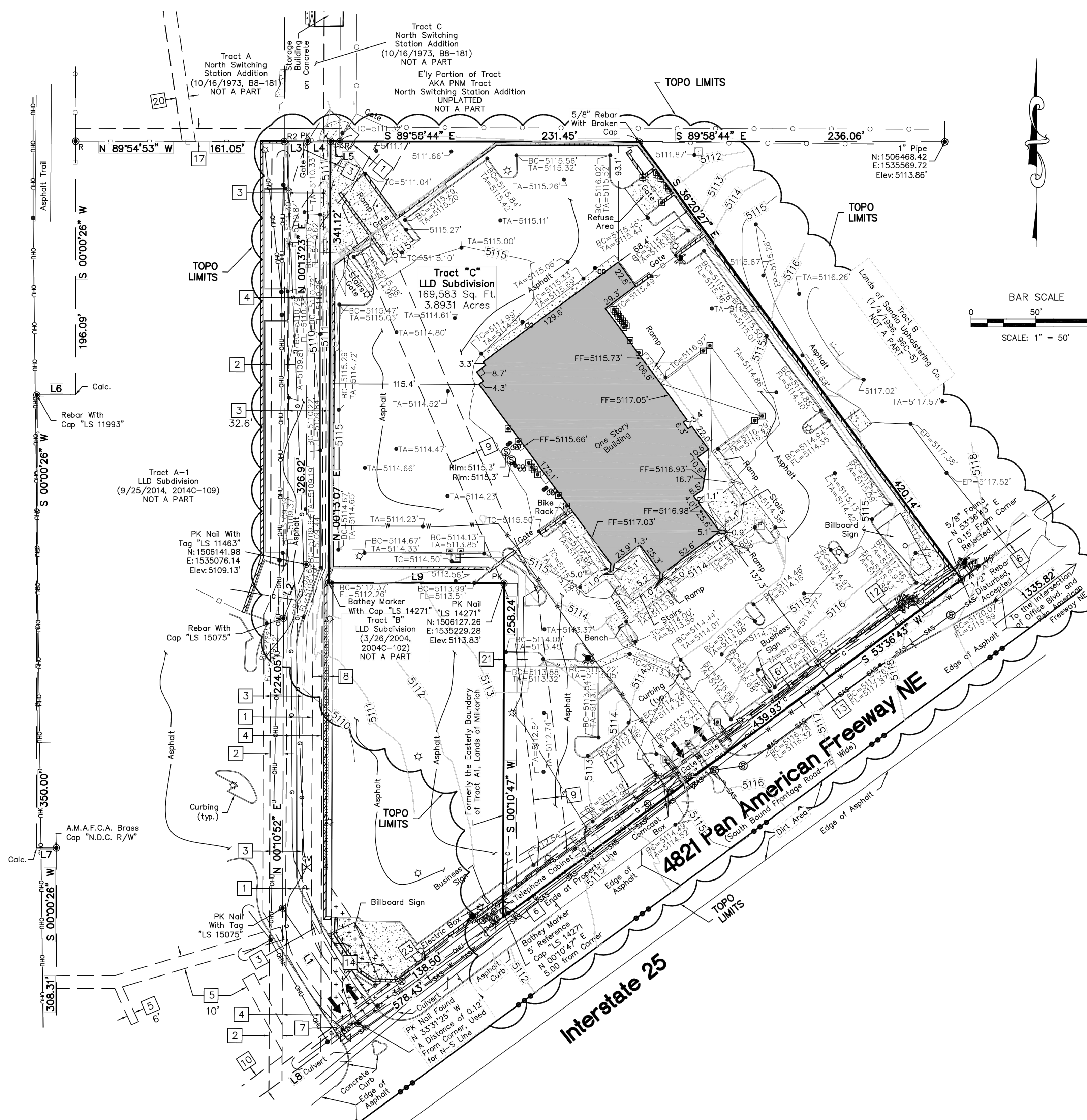
Notes

1. FIELD SURVEY PERFORMED IN OCTOBER 2019 AND TOPOGRAPHIC DATA ADDED FROM FIELD WORK CONDUCTED IN OCTOBER 2021.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).
4. ALTHOUGH THIS IS NOT A BOUNDARY SURVEY, A BOUNDARY SURVEY WAS PERFORMED ON THIS PROPERTY, SO THIS TOPOGRAPHIC SURVEY MAY REFLECT SOME CHARACTERISTICS OF A BOUNDARY SURVEY.
5. WITH REGARD TO UNDERGROUND UTILITY LOCATIONS, SOURCE INFORMATION FROM PLANS AND MARKINGS WERE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.I.V. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, WHICH MAY AFFECT THIS SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY. INVERT DATA SHOWN WITH A ± SHOULD BE CONSIDERED TAKEN FROM AS-BUILTS. (NMB11 TICKET NO. 21SE100530)
6. THE COORDINATES SHOWN HEREON REFERENCE MODIFIED NEW MEXICO STATE PLANE COORDINATES (NAD 83-GROUND-CENTRAL ZONE), USING GROUND TO GRID FACTOR OF 0.999671334 WITH AN ORIGIN OF (0,0).

Topographic Map  
for  
Tract C,  
LLD Subdivision  
City of Albuquerque  
Bernalillo County, New Mexico  
October 2021

Legend

PK	MEASURED BEARINGS AND DISTANCES	□	UTILITY PEDESTAL
PK	FOUND MONUMENT AS INDICATED	⊕	TELEPHONE MANHOLE
R	FOUND PK NAIL WITH TAG "LS 5708"	⊕	BOLLARD
R2	FOUND 1/2" REBAR	—○—	OVERHEAD UTILITY LINE
X	FOUND 1/2" REBAR WITH CAP "LS 5708"	•	UTILITY POLE
X	FOUND CHISELED "X"	—○—	ANCHOR
PK	SET BATHEY MARKER "LS 14271" UNLESS OTHERWISE NOTED	⊕	ELECTRIC METER
PK	SET PK NAIL WITH TAG "LS 14271" UNLESS OTHERWISE NOTED	⊕	TRANSFORMER
⊕	COVERED AREA	⊕	ELECTRIC CABINET
⊕	CONCRETE	⊕	A/C UNIT
⊕	ASPHALT	⊕	GAS METER
⊕	WOOD DECK	⊕	GAS VALVE
⊕	BLOCK WALL	⊕	TELEPHONE CABINET
⊕	GUARD RAIL	⊕	TELEPHONE MANHOLE
⊕	WOOD FENCE	⊕	WATER VALVE
⊕	METAL FENCE	⊕	WATER METER
⊕	CHAINLINK FENCE	⊕	FIRE HYDRANT
⊕	HANDRAIL	⊕	ROOF DRAIN
⊕	UNDERGROUND GAS UTILITY LINE	⊕	SANITARY SEWER MANHOLE
⊕	UNDERGROUND WATER UTILITY LINE	⊕	SAS CLEANOUT
⊕	UNDERGROUND SANITARY SEWER LINE	⊕	IRRIGATION BOX
⊕	UNDERGROUND ELECTRIC UTILITY LINE	⊕	STORM DRAIN MANHOLE
⊕	UNDERGROUND TELEPHONE UTILITY LINE	⊕	STORM DRAIN INLET
⊕	UNDERGROUND FIBER OPTIC UTILITY LINE	⊕	IRRIGATION VALVE
⊕	UNDERGROUND STORM DRAIN UTILITY LINE	⊕	SIGN
⊕	UNDERGROUND CABLE UTILITY LINE	⊕	CURB CUT/INDICATION OF ACCESS TO ROADWAY
⊕	NMDOT ACCESS CONTROL LINE		
5075.50	SPOT ELEVATION		
BC 5075.50	BACK OF CURB ELEVATION		
FL 5075.50	FLOW LINE ELEVATION		
EP 5075.50	EDGE OF PAVEMENT ELEVATION		
TA 5075.50	TOP OF ASPHALT ELEVATION		
TC 5075.50	TOP OF CONCRETE ELEVATION		



Line Table

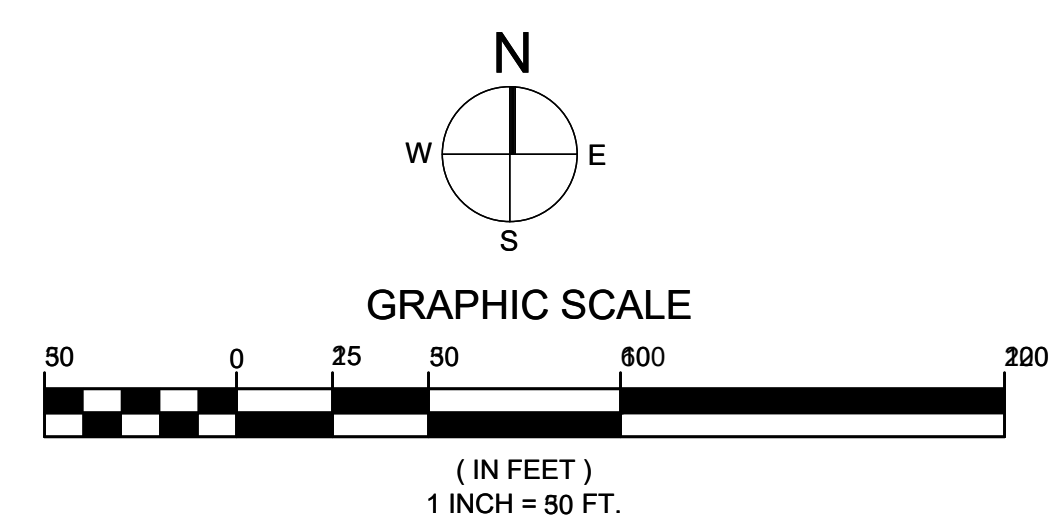
Line #	Direction	Length (ft)
L11	N 53°36'43" E	20.29'
L12	N 29°14'55" W	44.70'
L13	N 22°47'04" E	45.32'
L14	N 49°41'04" W	30.00'
L15	N 22°47'04" E	45.33'
L16	N 29°14'55" W	52.10'
L17	N 53°36'43" E	11.21'
L18	N 53°36'43" E	11.21'
L19	N 53°36'43" E	7.73'
L20	N 32°20'52" W	33.73'

Curve Table

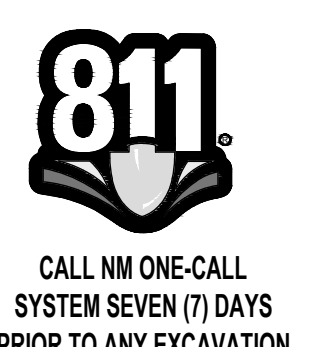
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	58.47'	115.42'	29°01'35"	57.85'	S 41°50'38" E
C2	62.37'	145.42'	24°34'32"	61.90'	S 39°49'39" E
C3	73.23'	105.40'	39°48'30"	71.77'	S 20°24'41" W
C4	94.07'	135.40'	39°48'30"	92.19'	S 20°24'41" W
C5	34.15'	145.42'	13°27'16"	34.07'	S 45°25'42" E

Surveyor's Certificate  
I, WILL PLOTNER JR., A NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE TOPOGRAPHIC MAP SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Will Plotner Jr. 10/21/2021  
N.M.R.P.S. No. 14271  
CSI-CARTESIAN SURVEYS INC.  
P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244  
wplotnerjr@gmail.com  
Sheet 1 of 1  
1916439



EXISTING CONDITIONS FROM SURVEY PROVIDED BY CSI-CARTESIAN SURVEYS INC.



AYER DESIGN GROUP  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnston Street  
Rock Hill, SC 29730  
Phone: 803-328-5858



PROJECT NAME:  
LEXUS OF ALBUQUERQUE  
4821 PAN AMERICAN FWY. ALBUQUERQUE, NM

SHEET DESCRIPTION:  
EXISTING CONDITIONS PLAN

NO	ISSUE/REVISION	DATE
#1	PERMIT REVISIONS	7/11/22
#2	PERMIT REVISIONS	10/31/22
#3	PERMIT REVISIONS	12/16/22
#8	CLIENT CHANGES	12/30/22
#9	NMDOT REVISIONS	2/21/23
#10	PERMIT REVISIONS	3/10/23

C00.1



**DEMOLITION NOTES**

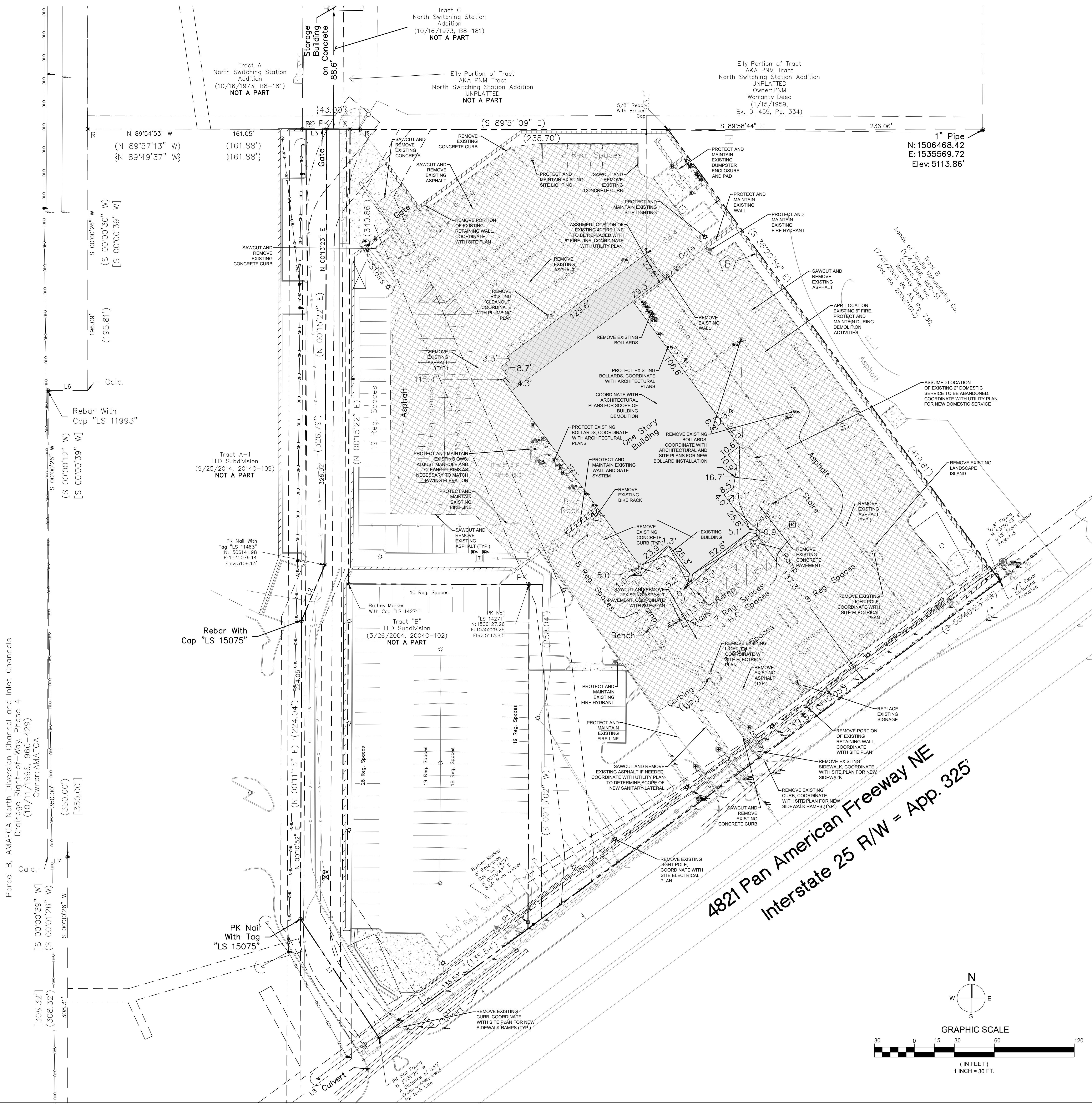
1. PLANS MUST BE APPROVED. PRECONSTRUCTION MEETING NEEDS TO BE HELD AND THE PERMIT NEEDS TO BE ISSUED PRIOR TO ANY DEMOLITION ACTIVITIES.
2. DEMOLITION IN AREAS INDICATED SHALL CONSIST OF COMPLETE REMOVAL OF EXISTING IMPROVEMENTS.
3. ALL EXISTING FEATURES NOTED FOR DEMOLITION OR REMOVAL SHALL BE LEGALLY DISPOSED OF OFF-SITE.
4. ELECTRICAL OR GAS UTILITY SERVICES TO BE REMOVED SHALL BE REMOVED AND RELOCATED (AS INDICATED) BY THE UTILITY PROVIDER. CONTRACTOR SHALL SCHEDULE AND COORDINATE THIS WORK WITH THE APPROPRIATE SERVICE PROVIDER. ALL SERVICES SHOULD BE INSTALLED PRIOR TO THE INSTALLATION OF PAVEMENT, SIDEWALKS, CURBS AND GUTTER, OR INSTALLED OTHER PERMANENT FEATURES, PARKING LOT LIGHTING PLAN TO BE COORDINATED WITH UTILITY PROVIDER DURING CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR ANY EXISTING WATER AND SEWER SERVICE RELOCATION. CONTRACTOR TO COORDINATE ANY RELOCATION WITH OWNERS REPRESENTATIVE ON-SITE.
6. ANY EXCAVATION MUST BE FILLED IN AND TAMPED AT THE CONCLUSION OF EACH WORK PERIOD, AND EQUIPMENT AND SUPPLIES RETURNED TO THE CONSTRUCTION STAGING AREA.
7. ALL MATERIALS AND CONSTRUCTION SHALL REMAIN WITHIN THE BOUNDARIES OF THE CONSTRUCTION FENCING. IF NECESSARY, CONSTRUCTION FENCING WHICH IS REMOVED TO FACILITATE ACCESS BY THE CONTRACTOR FOR CONSTRUCTION MUST BE REPLACED AT THE END OF EACH WORK PERIOD TO DIRECT PEDESTRIAN TRAFFIC AWAY FROM HAZARDOUS AREAS.
8. REMOVE EXISTING CONCRETE (WHERE REQUIRED) TO FIRST COLD JOINT OR SAW CUT TO OBTAIN A CLEAN EDGE FOR NEW CONSTRUCTION.
9. SAW CUT EXISTING CONCRETE AT LIMITS OF CONSTRUCTION TO OBTAIN A CLEAN EDGE.
10. CONTRACTOR SHALL RESTORE THE LAY DOWN AND STAGING AREA TO ORIGINAL CONDITIONS AND TO THE SATISFACTION OF THE OWNER, PRIOR TO DEMOBILIZATION AT THE CONCLUSION OF THE PROJECT.
11. DEMOLITION AND SUBSEQUENT CONSTRUCTION OF STORM DRAINAGE FACILITIES SHALL BE PERFORMED IN SUCH A MANNER THAT THE OLD PIPE AND STRUCTURES ARE REMOVED AND NEW STRUCTURES AND PIPING ARE IMMEDIATELY PUT INTO SERVICE. CONTRACTOR SHALL ENSURE THAT STORM DRAINAGE DOES NOT REMAIN OUT OF SERVICE FOR LONGER THAN 12 HOURS AT A TIME. PROVISIONS SHALL BE MADE TO MAINTAIN STORM WATER DRAINAGE DURING CONSTRUCTION.

 HATCHED AREAS REPRESENT AREA TO BE DEMOLISHED.

**GENERAL NOTES**

1. ALL PAVEMENT MARKINGS & SIGNAGE SHALL COMPLY WITH THE "NEW MEXICO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS & HIGHWAYS".
2. CONTRACTOR SHALL CONTACT "NM ONE CALL" AT 811 FOR ASSISTANCE IN LOCATING ANY EXISTING UTILITIES AT LEAST 72 HRS PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF EXISTING ABOVE & BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS, LINES, OR INDIVIDUAL SERVICES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER.
4. CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS ON-SITE & NOTIFY THE ENGINEER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES IN WRITING PRIOR TO BEGINNING WORK.
5. SIDEWALK CROSS-SLOPE SHALL NOT EXCEED 50:1.
6. ALL DIMENSIONAL CALL OUTS ARE MEASURED FROM FACE OF CURB.
7. FIELD ADJUSTMENTS SHALL BE MADE AS NECESSARY TO ENSURE A SMOOTH TRANSITION BOTH VERTICALLY & HORIZONTALLY FROM EXISTING TO PROPOSED PAVEMENT & CURB SECTIONS.
8. GUTTERS & PAVING SHALL BE INSTALLED IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL LOCAL, STATE & FEDERAL CONSTRUCTION SAFETY REGULATIONS ARE FOLLOWED DURING THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
10. BENCHMARK LOCATION & ELEVATION SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. BENCHMARKS USED FOR SURVEY ARE LISTED ON THE EXISTING CONDITIONS PLAN.
11. BOUNDARY AND ALTA SURVEY INFORMATION TAKEN FROM SURVEY BY PRECISION SURVEYS, INC.
12. WATER & SEWER FEES (AS APPLICABLE) ARE TO BE PAID AT THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY OFFICE.
13. ALL DEMOLITION DEBRIS SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN IDEAL APPROVED LANDFILL.
14. CONTRACTOR TO SUBMIT A TRAFFIC CONTROL PLAN TO NMDOT & ENGINEER FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
15. ALL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF ALBUQUERQUE, ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION AS APPLICABLE.
16. CONTRACTOR TO ADJUST ALL EXISTING UTILITIES RIMS, COVERS, GRATES, AND WATER METER BOXES TO MATCH PROPOSED GRADES.
17. CONTRACTOR TO COORDINATE UTILITY RELOCATIONS WITH ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
18. ALL MATERIALS & PLANS ARE TO COMPLY WITH CURRENT CITY OF ALBUQUERQUE, ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION AS APPLICABLE.
19. CONTRACTOR SHALL SUPPLY AS-BUILT DRAWINGS OF STREET, DRAINAGE, WATER & SANITARY SEWER SYSTEMS AFTER INSTALLATION.
20. TRANSITION PROPOSED CONCRETE CURB, PAVEMENT AND SIDEWALK INTO EXISTING CURB, PAVEMENT AND SIDEWALK AND PROVIDE A FLUSH 1/8" TROWLED JOINT WHERE PROPOSED CONCRETE MEETS EXISTING CONCRETE.
21. ALL EXISTING AND PROPOSED LANDINGS, SIDEWALKS, RAMPS, ACCESSIBLE PARKING, DRIVEWAY CROSSWALKS AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A. CITY OF ALBUQUERQUE, AND NMDOT REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.
22. CONTRACTOR SHALL MAINTAIN ACCESS DRIVE INTO SITE FROM PAN AMERICAN FWY THROUGHOUT DEMOLITION AND CONSTRUCTION ACTIVITIES.
23. REFER TO PROJECT SPECIFICATION MANUAL FOR ADDITIONAL REQUIREMENTS AND PROJECT SPECIFICATIONS.

Parcel B, AMAFCA North Diversion Channel and Inlet Channels  
Drainage Right-of-Way, Phase 4  
(10/11/1996, 96C-429)  
Owner: AMAFCA



1" Pipe  
N: 1506468.42  
E: 1535569.72  
Elev: 5113.86'

Tract B LLD Subdivision  
(1/17/2004, 04-18, 09, 230)  
Warranty Deed  
No. 20071012

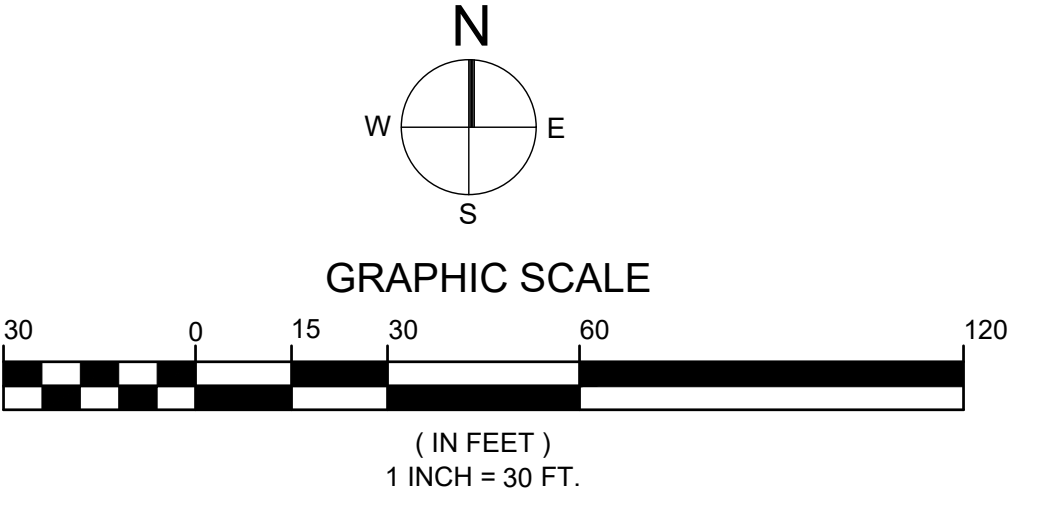
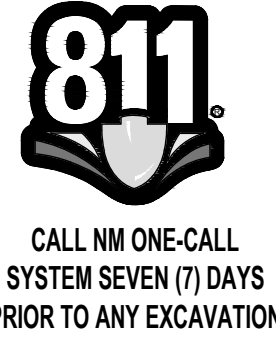
**AYER DESIGN GROUP**  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnston Street  
Rock Hill, SC 29730  
Phone: 803-328-5858

**BIRKIE AYER JR.**  
NEW MEXICO  
25848  
PROFESSIONAL ENGINEER  
*Birnie Ayer*

PROJECT NAME:  
**LEXUS OF ALBUQUERQUE**  
4821 PAN AMERICAN FWY.  
ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**DEMOLITION PLAN**

PROJECT #	2021-12	
DRAWN BY	CC	
CHECKED BY	BA	
NO	ISSUE/REVISION	DATE
	FOR PERMIT	6/23/22
#1	PERMIT REVISIONS	7/13/22
#2	PERMIT REVISIONS	10/31/22
#3	PERMIT REVISIONS	12/16/22
#8	CLIENT CHANGES	12/30/22
#9	NMDOT REVISIONS	2/21/23
#10	PERMIT REVISIONS	3/10/23



**C01.0**



**SITE DESIGN DATA**

- PROPERTY IS LOCATED AT 4821 PAN AMERICAN FWY.
  - UPCR: 10170610272620107
  - CURRENT ZONING: NR-LM (NON-RESIDENTIAL LIGHT MANUFACTURING)
  - PROPOSED USE: AUTOMOTIVE SALES AND SERVICE
  - MINIMUM YARD & BUILDING SETBACKS PER ZONING ORDINANCE
- FRONT YARD SETBACKS**
- |              |      |
|--------------|------|
| FRONT STREET | 5 FT |
| REAR YARD    | 0 FT |
| SIDE YARD    | 0 FT |
- 6. PARKING DATA**
- USE: LIGHT VEHICLE SALES
- |                   |   |
|-------------------|---|
| REQUIRED PROVIDED | 2 SPACES PER 1,000 GFA                              |
|                   | 15,851,000 = 15.84 X 2 = 31.27 (32 SPACES REQUIRED) |
- USE: LIGHT VEHICLE REPAIR
- |                   |  |
|-------------------|--|
| REQUIRED PROVIDED | 1 SPACE PER 1,000 GFA                    |
|                   | 19,400,1,000 = 19.4 (20 SPACES REQUIRED) |
| REQUIRED PROVIDED | 52 SPACES                                |
|                   | 162 SPACES                               |
- ACCESSIBLE PARKING REQUIRED = 4 SPACES  
MOTORCYCLE PARKING: 1 SPACE REQUIRED; 2 SPACES PROVIDED  
BICYCLE PARKING: 3 SPACES REQUIRED; 3 SPACES PROVIDED
- MAXIMUM ALLOWABLE BUILDING HEIGHT = 65'
  - SUBJECT PROPERTY IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA AS REFLECTED ON FEMA FLOOD RATE INSURANCE RATE MAP PANEL NO. 35001C0138H, DATED EFFECTIVELY 8/16/12.
  - ADEQUATE LIGHTING SHALL BE PROVIDED FOR OFF-STREET PARKING.
  - SITE LIGHTING DESIGN BY OTHERS. SEE ELECTRICAL SITE PLAN.
  - SITE LIGHTING POLES TO BE MAX. HEIGHT OF 30' WITH LED FIXTURES.
  - SIGNAGE WILL BE REVIEWED AND PERMITTED SEPARATELY.
  - SITE IS LOCATED AT 4821 PAN AMERICAN FWY.
  - INSTALL KNOX BOXES AT EXISTING AND PROPOSED GATES FOR FIRE ACCESS.
  - INSTALL ACCESS KEYPAD AT EXISTING AND PROPOSED GATES FOR REFUSE ACCESS.
  - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3' AND 8' FEET TALL, (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

**FIRE ONE DATA**

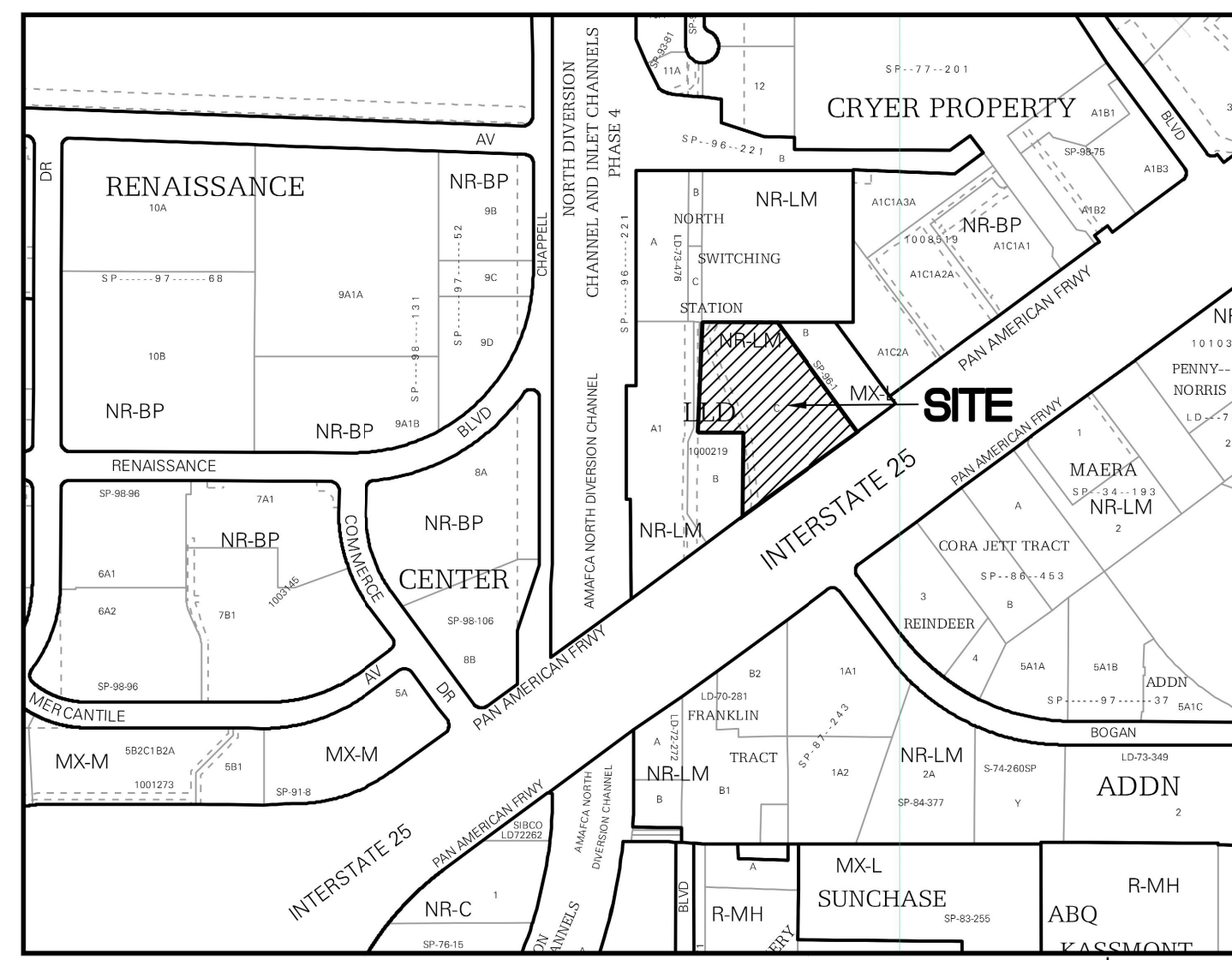
- CONSTRUCTION TYPE = II-B
- BUILDING SQUARE FOOTAGE = 38,336 SF
- FIRE FLOW = 1,200 GPM
- BUILDING HEIGHT = 27' - 8"
- PROPOSED FIRE APPARATUS ROADS/DRIVES CONSTRUCTED TO SUPPORT IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS.
- PROPOSED PAVEMENT DESIGN OF APPARATUS ROADS TO SUBSTANTIATE WEIGHT BEARING CAPACITY AND ALL WEATHER DRIVING CAPABILITIES FOR FIRE APPARATUS ACCESS ROADS.
- BUILDING TO BE SPRINKLERED
- FIRE APPARATUS ROADS SHALL HAVE AN UNOBSTRUCTED HEIGHT NOT LESS THAN 13 FEET 6 INCHES.

**GENERAL NOTES**

- ALL PAVEMENT MARKINGS & SIGNAGE SHALL COMPLY WITH THE "NEW MEXICO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS & HIGHWAYS".
- CONTRACTOR SHALL CONTACT "NM ONE CALL" AT 811 FOR ASSISTANCE IN LOCATING ANY EXISTING UTILITIES AT LEAST 72 HRS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF EXISTING ABOVE & BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS, LINES, OR INDIVIDUAL SERVICES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS ON-SITE & NOTIFY THE ENGINEER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES IN WRITING PRIOR TO BEGINNING WORK.
- SIDEWALK CROSS-SLOPE SHALL NOT EXCEED 50:1.
- ALL DIMENSIONAL CALL OUTS ARE MEASURED FROM FACE OF CURB.
- FIELD ADJUSTMENTS SHALL BE MADE AS NECESSARY TO ENSURE A SMOOTH TRANSITION BOTH VERTICALLY & HORIZONTALLY FROM EXISTING TO PROPOSED PAVEMENT & CURB SECTIONS.
- GUTTERS & PAVING SHALL BE INSTALLED IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL LOCAL, STATE & FEDERAL CONSTRUCTION SAFETY REGULATIONS ARE FOLLOWED DURING THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
- BENCHMARK LOCATION & ELEVATION SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. BENCHMARKS USED FOR SURVEY ARE LISTED ON THE EXISTING CONDITIONS PLAN.
- BOUNDARY AND ALTA SURVEY INFORMATION TAKEN FROM SURVEY BY PRECISION SURVEYS, INC.
- WATER & SEWER FEES (AS APPLICABLE) ARE TO BE PAID AT THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY OFFICE.
- ALL DEMOLITION DEBRIS SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN IDEAL APPROVED LANDFILL.
- CONTRACTOR TO SUBMIT A TRAFFIC CONTROL PLAN TO NMDOT & ENGINEER FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
- ALL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF ALBUQUERQUE, ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION AS APPLICABLE.
- CONTRACTOR TO ADJUST ALL EXISTING UTILITIES RIMS, COVERS, GRATES, AND WATER METER BOXES TO MATCH PROPOSED GRADES.
- CONTRACTOR TO COORDINATE UTILITY RELOCATIONS WITH ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
- ALL MATERIALS & PLANS ARE TO COMPLY WITH CURRENT CITY OF ALBUQUERQUE, ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION AS APPLICABLE.
- CONTRACTOR SHALL SUPPLY AS-BUILT DRAWINGS OF STREET, DRAINAGE, WATER & SANITARY SEWER SYSTEMS AFTER INSTALLATION.
- TRANSITION PROPOSED CONCRETE CURB, PAVEMENT AND SIDEWALK INTO EXISTING CURB, PAVEMENT AND SIDEWALK AND PROVIDE A FLUSH 1/8" TROWLED JOINT WHERE PROPOSED CONCRETE MEETS EXISTING CONCRETE.
- ALL EXISTING AND PROPOSED LANDINGS, SIDEWALKS, RAMPS, ACCESSIBLE PARKING, DRIVEWAY CROSSWALKS AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A. CITY OF ALBUQUERQUE, AND NMDOT REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.
- CONTRACTOR SHALL MAINTAIN ONE ACCESS DRIVE INTO SITE FROM JEFFERSON STREET NE THROUGHOUT DEMOLITION AND CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL MAINTAIN ACCESS DRIVE INTO SITE FROM PAN AMERICAN FWY THROUGHOUT DEMOLITION AND CONSTRUCTION ACTIVITIES.
- REFER TO PROJECT SPECIFICATION MANUAL FOR ADDITIONAL REQUIREMENTS AND PROJECT SPECIFICATIONS.

**EV CHARGER NOTES**

- EV CHARGERS TO BE INSTALLED IN CONCRETE MOUNTING PAD PER MANUFACTURERS SPECIFICATIONS AND DETAILS.
- COORDINATE EV CHARGER INSTALLATION WITH ARCHITECTURAL AND ELECTRICAL PLANS.
- CONTRACTOR SHALL COORDINATE ALL UNDERGROUND CONDUIT ROUTING AND CONCRETE MOUNTING PAD LOCATIONS.
- CONTRACTOR TO ENSURE CONCRETE MOUNTING PADS ARE INSTALLED FLUSH AND MATCH ADJACENT SIDEWALK AND/OR CURB ELEVATIONS.
- CONTRACTOR TO INSTALL PAINTED PARKING SPACE EV CHARGER SYMBOLS PER PLAN. PROVIDE SUBMITTALS TO ENGINEER AND ARCHITECT FOR REVIEW.



**Vicinity Map**

**PROJECT NUMBER:** \_\_\_\_\_

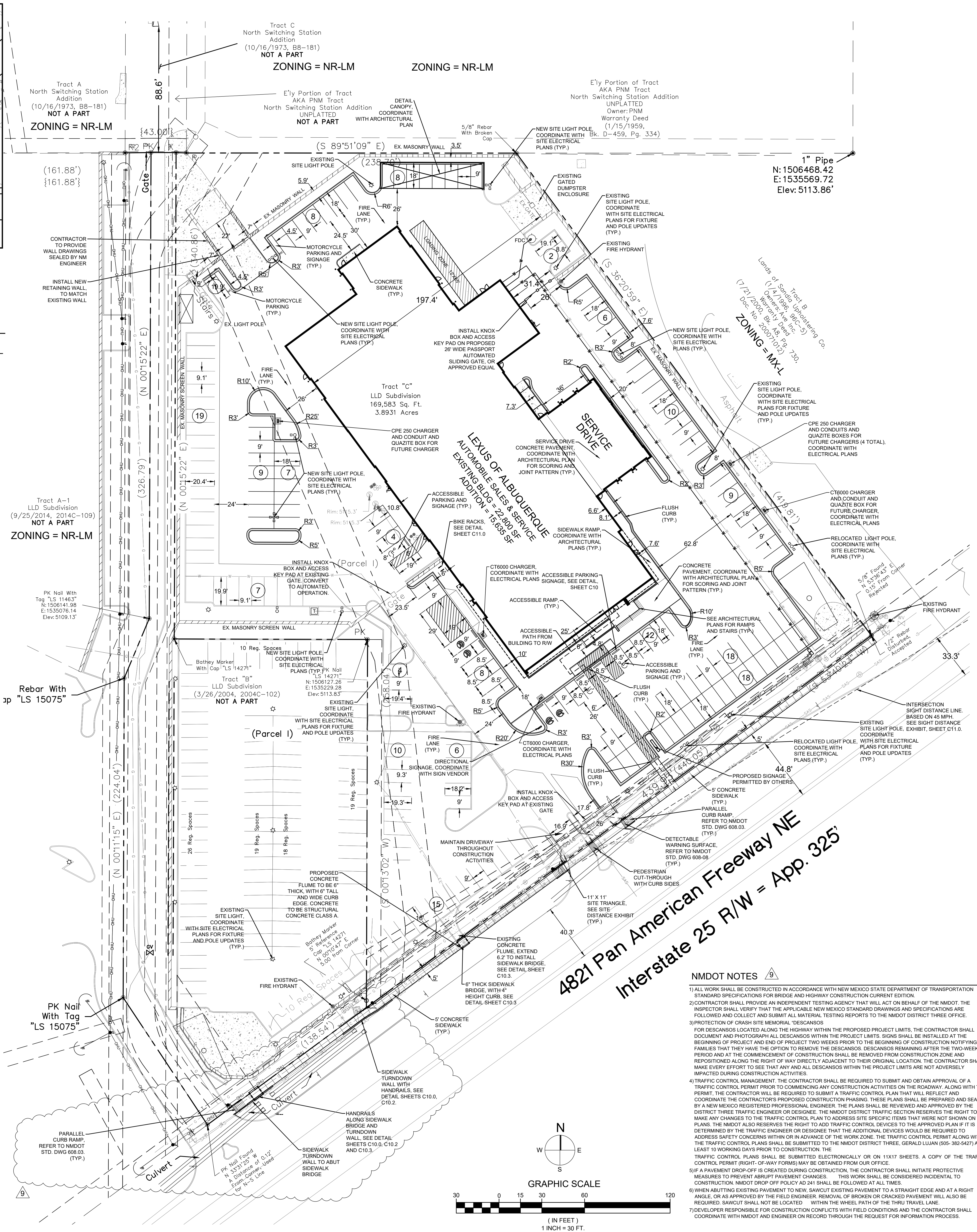
**Application Number:** \_\_\_\_\_

**Is an Infrastructure List required?** ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DFT SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

\*Environmental Health, if necessary  
12/16/22



**AYER DESIGN GROUP**  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnston Street  
Rock Hill, SC 29730  
Phone: 803-328-5858

**BIRKIE AYER JR.**  
NEW MEXICO  
25848  
PROFESSIONAL ENGINEER  
3-10-2023

PROJECT NAME:  
**LEXUS OF ALBUQUERQUE**  
4821 PAN AMERICAN FWY.  
ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**SITE PLAN**

PROJECT #	2021-12	
DRAWN BY	CC	
CHECKED BY	BA	
NO	ISSUE/REVISION	DATE
	FOR PERMIT	6/23/22
#1	PERMIT REVISIONS	7/13/22
#2	PERMIT REVISIONS	10/31/22
#3	PERMIT REVISIONS	12/16/22
#8	CLIENT CHANGES	12/30/22
#9	NMDOT REVISIONS	2/21/23
#10	PERMIT REVISIONS	3/10/23

**NMDOT NOTES**

- ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR BRIDGE AND HIGHWAY CONSTRUCTION CURRENT EDITION.
- CONTRACTOR SHALL PROVIDE AN INDEPENDENT TESTING AGENCY THAT WILL ACT ON BEHALF OF THE NMDOT. THE INSPECTOR SHALL VERIFY THAT THE APPLICABLE NEW MEXICO STANDARD DRAWINGS AND SPECIFICATIONS ARE FOLLOWED AND COLLECT AND SUBMIT ALL MATERIAL TESTING REPORTS TO THE NMDOT DISTRICT THREE OFFICE.
- PROTECTION OF CRASH SITE MEMORIAL (DESCANSOS)  
FOR DESCANSOS LOCATED ALONG THE HIGHWAY WITHIN THE PROPOSED PROJECT LIMITS, THE CONTRACTOR SHALL DOCUMENT AND PHOTOGRAPH ALL DESCANSOS WITHIN THE PROJECT LIMITS. SIGNS SHALL BE INSTALLED AT THE BEGINNING OF PROJECT AND END OF PROJECT TWO WEEKS PRIOR TO THE BEGINNING OF CONSTRUCTION NOTIFYING FAMILIES THAT THEY HAVE THE OPTION TO REMOVE THE DESCANSOS. DESCANSOS REMAINING AFTER THE TWO-WEEK PERIOD AND AT THE COMMENCEMENT OF CONSTRUCTION SHALL BE REMOVED FROM CONSTRUCTION ZONE AND REPOSITIONED ALONG THE RIGHT OF WAY DIRECTLY ADJACENT TO THEIR ORIGINAL LOCATION. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO SEE THAT ANY AND ALL DESCANSOS WITHIN THE PROJECT LIMITS ARE NOT ADVERSELY IMPACTED DURING CONSTRUCTION ACTIVITIES.
- TRAFFIC CONTROL MANAGEMENT. THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT AND OBTAIN APPROVAL OF A TRAFFIC CONTROL PERMIT PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES ON THE ROADWAY. ALONG WITH THE PERMIT, THE CONTRACTOR WILL BE REQUIRED TO SUBMIT A TRAFFIC CONTROL PLAN THAT WILL REFLECT AND COORDINATE THE CONTRACTOR'S PROPOSED CONSTRUCTION PHASING. THESE PLANS SHALL BE PREPARED AND SEALED BY A NEW MEXICO REGISTERED PROFESSIONAL ENGINEER. THE PLANS SHALL BE REVIEWED AND APPROVED BY THE DISTRICT THREE TRAFFIC ENGINEER OR DESIGNER. THE NMDOT DISTRICT TRAFFIC SECTION RESERVES THE RIGHT TO MAKE ANY CHANGES TO THE TRAFFIC CONTROL PLAN TO ADDRESS SITE SPECIFIC ITEMS THAT WERE NOT SHOWN ON THE PLANS. THE NMDOT ALSO RESERVES THE RIGHT TO ADD TRAFFIC CONTROL DEVICES TO THE APPROVED PLAN IF IT IS DETERMINED BY THE TRAFFIC ENGINEER OR DESIGNER THAT THE ADDITIONAL DEVICES WOULD BE REQUIRED TO ADDRESS SAFETY CONCERNS WITHIN OR IN ADVANCE OF THE WORK ZONE. THE TRAFFIC CONTROL PERMIT ALONG WITH THE TRAFFIC CONTROL PLANS SHALL BE SUBMITTED TO THE NMDOT DISTRICT THREE, GERALD LUJAN (505-382-5427) AT LEAST 10 WORKING DAYS PRIOR TO CONSTRUCTION. THE TRAFFIC CONTROL PLANS SHALL BE SUBMITTED ELECTRONICALLY OR ON 11X17 SHEETS. A COPY OF THE TRAFFIC CONTROL PERMIT (RIGHT-OF-WAY FORMS) MAY BE OBTAINED FROM OUR OFFICE.
- IF A PAVEMENT DROP-OFF IS CREATED DURING CONSTRUCTION, THE CONTRACTOR SHALL INITIATE PROTECTIVE MEASURES TO PREVENT ABRUPT PAVEMENT CHANGES. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION. NMDOT DROP-OFF POLICY AD 241 SHALL BE FOLLOWED AT ALL TIMES.
- WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE FIELD ENGINEER, REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED. SAWCUT SHALL NOT BE LOCATED WITHIN THE WHEEL PATH OF THE THRU TRAVEL LANE.
- DEVELOPER RESPONSIBLE FOR CONSTRUCTION CONFLICTS WITH FIELD CONDITIONS AND THE CONTRACTOR SHALL COORDINATE WITH NMDOT AND ENGINEER ON RECORD THROUGH THE REQUEST FOR INFORMATION PROCESS.

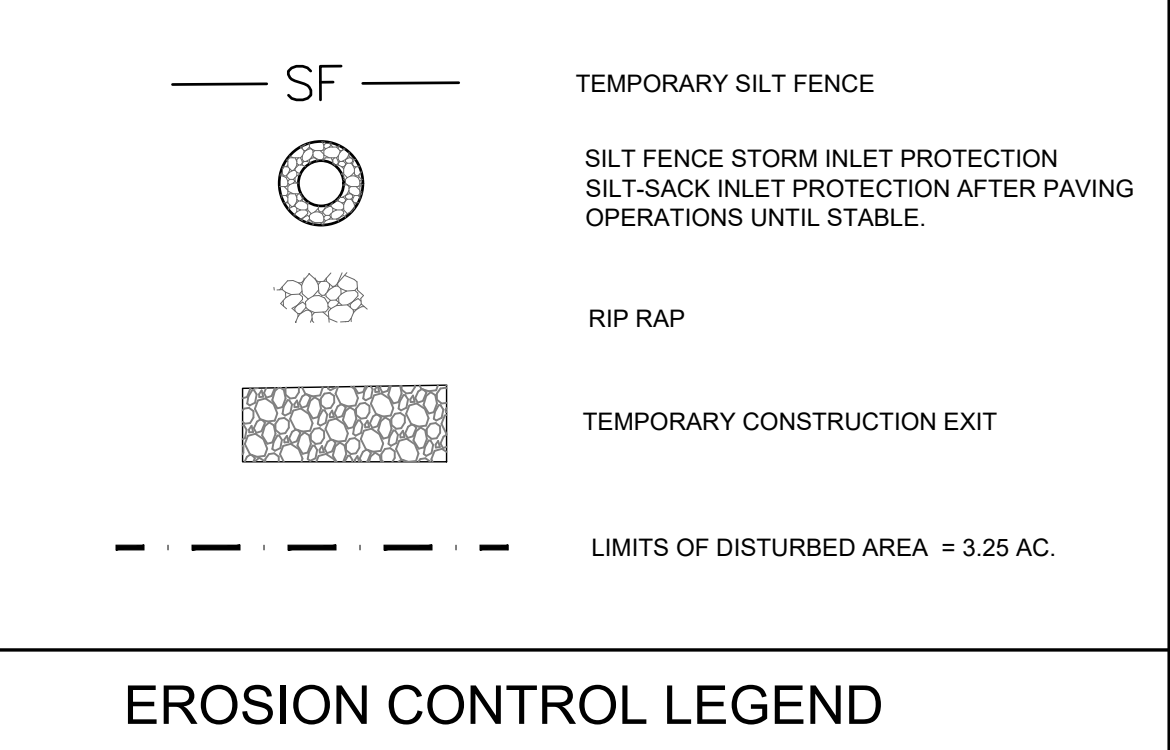
**811**  
CALL NM ONE-CALL  
SYSTEM SEVEN (7) DAYS  
PRIOR TO ANY EXCAVATION

**C02.0**









**EROSION CONTROL LEGEND**

**BEST MANAGEMENT PRACTICES**

- STRUCTURAL MEASURES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN EFFECTIVE OPERATING CONDITION.
- DOCUMENTATION OF MAINTENANCE ACTIVITIES INCLUDING FREQUENCY, LOT DESIGNATION, INSPECTION OF STRUCTURAL CONTROLS, MATERIAL STORAGE AREAS, VEHICLES ENTRANCE AND EXITS, ACTIONS TAKEN AND INSPECTORS NAME.
- CONSTRUCTION SITE NOTICE WILL BE MAINTAINED ON SITE. YOU MUST POST A SIGN OR OTHER NOTICE OF THE PERMIT COVERAGE AT A SAFE, PUBLICLY ACCESSIBLE LOCATION IN CLOSE PROXIMITY TO THE CONSTRUCTION SITE. THE NOTICE MUST BE LOCATED SO IT IS VISIBLE FROM THE PUBLIC ROAD THAT IS NEAREST TO THE ACTIVE PART OF THE CONSTRUCTION SITE, AND IT MUST USE A FONT LARGE ENOUGH TO BE READILY VIEWED FROM A PUBLIC RIGHT-OF-WAY, CGP 1.5.
- COPY OF SWPPP SHALL BE KEPT ON SITE. SWPPP MUST BE KEPT UP-TO-DATE AND THE LOCATION OF THE LIMITS OF DISTURBANCE AND THE CORRESPONDING BMPs NEEDS TO BE PLANNED AHEAD OF TIME AND SHOWN ACCURATELY ON THE SWPPP MAPS FOR EACH PHASE. THE STAGING AREA SHOULD BE INCLUDED INSIDE THE SILT FENCE DURING EACH PHASE. CGP 7.1.
- PERMITEE MUST RETAIN THE SWPPPS NOI AND INSPECTION LOG FOR A MINIMUM OF 3 YEARS FROM THE TERMINATION AND FINAL STABILIZATION OF THE PROJECT.
- WASTE MATERIALS  
ALL WASTE MATERIALS INCLUDING CONSTRUCTION DEBRIS, SHALL BE COLLECTED AND STORED IN A SECURED LOADED METAL DUMPSTER. NO CONSTRUCTION MATERIAL SHALL BE BURIED ON SITE. THE DUMPSTER SHALL BE EMPTIED AS NECESSARY OR AS REQUIRED BY ORDINANCE 9.04 (SOLID WASTE MANAGEMENT) AND THE TRASH HAULED TO A LICENSED LANDFILL.
- HAZARDOUS WASTE  
AT A MINIMUM, ANY PRODUCTS IN THE FOLLOWING CATEGORIES SHALL BE CONSIDERED HAZARDOUS: PAINT, ACIDS FOR CLEANING MASONRY SURFACES, CLEANING SOLVENTS, ASPHALT PRODUCTS, CHEMICAL ADDITIVES FOR SPILL STABILIZATION AND CURING COMPOUNDS AND ADDITIVES. IN EVENT OF SPILL WHICH MAY BE HAZARDOUS, THE CONTRACTOR SHALL TAKE IMMEDIATE ACTION AND CONTACT THE FIRED DEPARTMENT AND NMD.
- SANITARY WATER  
ALL SANITARY WASTE SHALL BE COLLECTED FROM THE CONSTRUCTION PORTABLE UNITS AS NECESSARY BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR. ALL WASTE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SPILL PREVENTION  
THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURES OF MATERIALS TO STORM WATER RUNOFF.
- GOOD HOUSEKEEPING  
A. STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB.  
B. NEATLY STORE MATERIAL ON-SITE IN A SECURED MANNER.  
C. KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER.  
D. DO NOT MIX SUBSTANCES WITH ANOTHER, UNLESS OTHERWISE RECOMMENDED BY THE MANUFACTURER.  
E. USE ENTIRE CONTENTS OF A PRODUCT BEFORE DISPOSING OF THE CONTAINER.  
F. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL.
- HAZARDOUS CONDITIONS (PRACTICES TO REDUCE RISK)  
A. KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER IF AT ALL POSSIBLE.  
B. RETAIN ORIGINAL LABELS, PRODUCT INFORMATION AND MATERIAL SAFETY DATA SHEETS (MSDS).  
C. DISPOSE OF SURPLUS PRODUCT IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- PETROLEUM PRODUCTS  
PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON-SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS.
- SPILL CONTROL PRACTICES  
A. MANUFACTURERS RECOMMENDED METHODS FOR SPILL CLEAN UP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURE.  
B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE.  
C. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.  
D. SPILL AREA SHALL BE WELL VENTILATED AND APPROPRIATE CLOTHING WILL BE WORN.  
E. ANY SPILL SHALL BE REPORTED TO THE APPROPRIATE GOVERNMENTAL AGENCY.  
F. MEASURES SHALL BE TAKEN TO PREVENT A SPILL FROM REOCCURRING.
- MAINTENANCE AND INSPECTION PROCEDURES  
ALL POLLUTION PREVENTION MEASURES SHALL BE INSPECTED AT LEAST EVERY 14 DAYS AND FOLLOWING A STORM EVENT OR 125 INCHES OR MORE BARE SOIL EXPOSURE. INSPECTION PROCEDURES SHALL BE INSPECTED FOR ADEQUACY. A RECORD OF THE RESULTS OF THE INSPECTION OF THE SITE SHALL BE KEPT ON SITE.
- REMARKS  
DISPOSAL AREAS, STOCKPILES, AND HAUL ROADS SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNT OF SEDIMENT THAT MAY ENTER RECEIVING WATERS. CONSTRUCTION STAGING

**EROSION CONTROL NOTES**

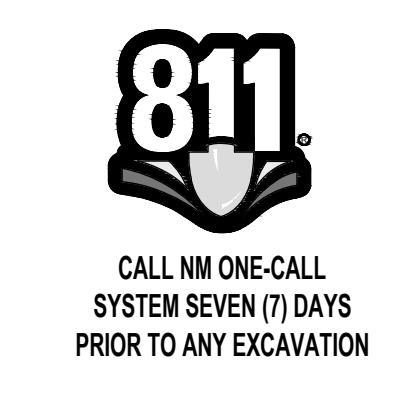
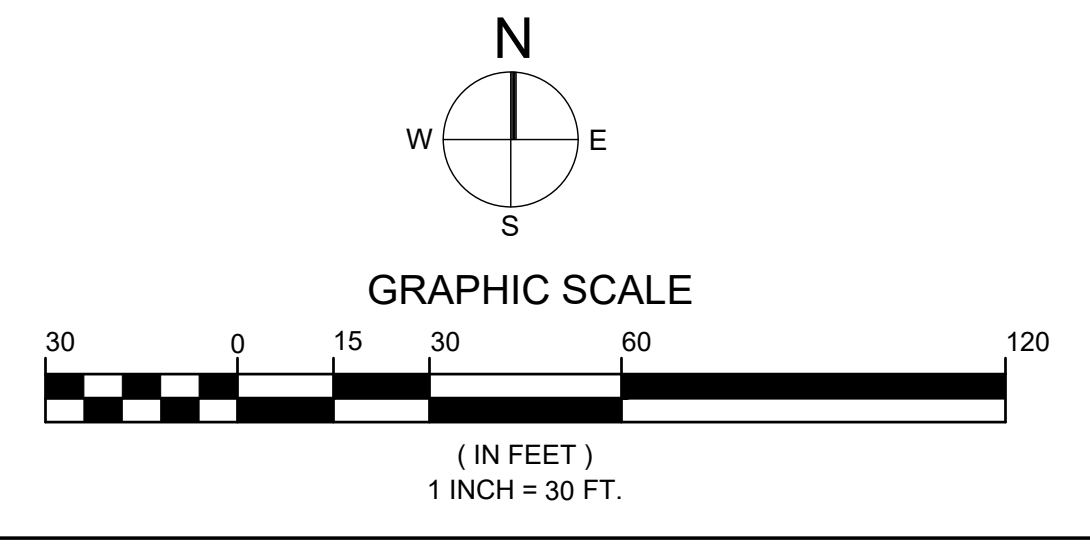
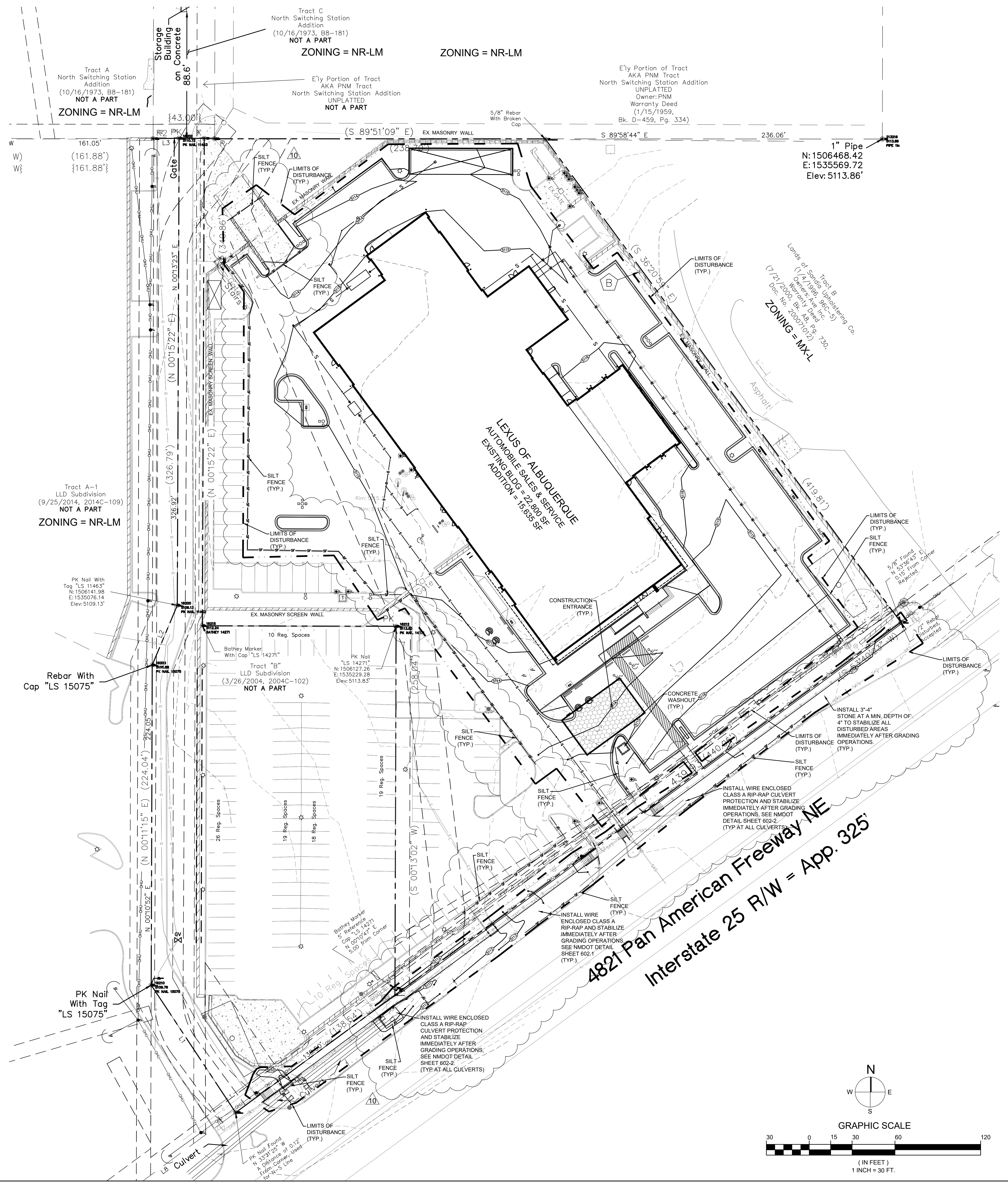
- IF NECESSARY, SLOPES WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS. IN ADDITION TO HYDROSEEDING, IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINAGE DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED DAILY UNTIL THE SLOPE IS BROUGHT TO GRADE.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW  
WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.  
WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED EVERY FOURTEEN (14) DAYS & WITHIN 24 HRS AFTER EACH RAINFALL OCCURRENCE THAT EXCEEDS ONE-QUARTER (0.25) INCH. IF SITE INSPECTIONS IDENTIFY BERMS THAT ARE DAMAGING OR OPERATING INEFFECTIVELY, MAINTENANCE MUST BE PERFORMED AS SOON AS PRACTICABLE OR AS REASONABLY POSSIBLE AND BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- WHERE SEDIMENT HAS BEEN TRACKED-OUT FROM THE SITE ON PAVED ROADS AND SIDEWALKS, REMOVE THE DEPOSITED SEDIMENT BY THE END OF THE SAME BUSINESS DAY. CGP 2.4.f.
- TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE PLACED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANNOT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
- LITTER, CONSTRUCTION DEBRIS, OILS, FUELS AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- DIRECT WASH WATER FROM CONCRETE, PAINT, AND STUCCO INTO A LEAK-PROOF CONTAINER, CGP 2.3.4.
- ALL CHEMICAL SPILLS, OIL SPILLS, OR FISH KILLS MUST BE REPORTED TO NEW MEXICO ENVIRONMENTAL DEPARTMENT AT 505-827-8929.
- TEMPORARY TOILET FACILITIES SHALL BE PROVIDED FOR ALL CONSTRUCTION WORKERS AND SITE VISITORS IN ACCORDANCE WITH 2009 INTERNATIONAL PLUMBING CODE GENERAL REGULATIONS, SECTION 311. PORTABLE FACILITIES SHALL BE PLACED ON LEVEL GROUND AND AWAY FROM STORM DRAINAGE SYSTEMS (DITCHES, CATCH BASINS, ETC.) DISPOSAL AND HANDLING OF SANITARY WASTE MUST COMPLY WITH O&G REQUIREMENTS.
- FINAL GRADES FOR GRASSED AND LANDSCAPED AREAS SHALL REQUIRE A MINIMUM OF 4"-6" OF CLEAN TOP SOIL, FREE OF DEBRIS AND CONTAMINANTS, AND PREFERABLY OF NATIVE ORIGIN.
- CONTRACTOR SHALL COMPLY WITH THE CONSTRUCTION STORM WATER GENERAL PERMIT, INCLUDING PREPARATION OF A SWPPP AND NOI. CONTRACTOR TO PROVIDE A COPY OF SWPPP, THE SITE NOTICE, AND NOI TO CITY OF ALBUQUERQUE AND KEEP ON SITE UNTIL CONSTRUCTION COMPLETION.

**CITY OF ALBUQUERQUE ESC PLAN STANDARD NOTES**

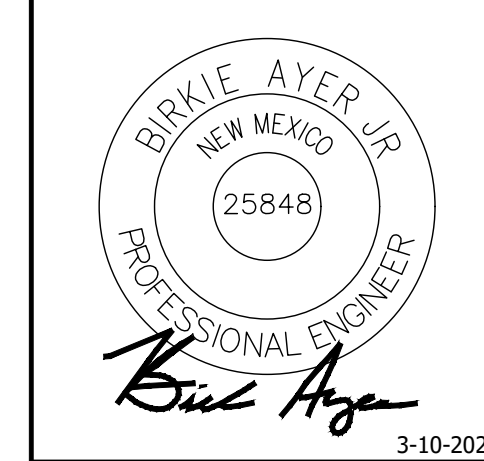
- All Erosion and Sediment Control (ESC) work on these plans, except as otherwise stated or provided hereon shall be permitted, constructed, inspected, and maintained in accordance with:
  - The City Ordinance § 14-5-2-11, the ESC Ordinance,
  - The EPA's 2022 Construction General Permit (CGP), and
  - The City of Albuquerque Construction BMP Manual.
- All BMP's must be installed prior to beginning any earth moving activities except as specified hereon in the Phasing Plan. Construction of earthen BMP's such as sediment traps, sediment basins, and diversion berms shall be completed and inspected prior to any other construction or earthwork. Self-inspection is required after installation of the BMP's and prior to beginning construction.
- Self-inspections - At a minimum a routine compliance self-inspection is required to review the project for compliance with the Construction General Permit once every 14 days and after any precipitation event of 1/4 inch or greater until the site construction has been completed and the site determined as stabilized by the city. Reports of these inspections shall be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
- Corrective action reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
- Stabilization reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request. Reports should include records of weed removal per City Ordinance (§ 9-8-1), sterilization, soil test results and recommendation, materials and manufacturer's specifications for application rates, estimated functional longevity, methods of application, inspection and maintenance. The reduced self-inspection schedule in CGP 4.4.1 applies to stabilized area and any damaged or worn stabilization must be identified in the reports along with weed problems. Corrective actions for stabilization shall be documented in a stabilization report including actual rates and dates of stabilization, and the materials and manufacturer's specifications used.
- BMP's shall be inspected and maintained until all disturbed areas are stabilized in accordance with the Final Stabilization Criteria (CGP 2.2.14.b). Generally, all disturbed areas, other than structures and impervious surfaces, must have uniform perennial vegetation that provides 70 percent or more of the cover provided by native vegetation or seed the disturbed area and provide non-vegetative mulch that provides cover for at least three years without active maintenance. Final stabilization must be approved by the City of Albuquerque prior to removal of BMP's and discontinuation of inspections.

**10. SWPPP PHASING INFORMATION**

THE LOCATION OF THE LIMITS OF DISTURBANCE AND THE CORRESPONDING BMPs NEED TO BE PLANNED AHEAD OF TIME AND SHOWN ACCURATELY ON THE SWPPP MAPS FOR EACH PHASE. THE STAGING AREAS SHOULD BE INCLUDED INSIDE THE SILT FENCE DURING EACH PHASE.



**AYER DESIGN GROUP**  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnston Street  
Rock Hill, SC 29730  
Phone: 803-328-5858



PROJECT NAME:  
**LEXUS OF ALBUQUERQUE**  
4821 PAN AMERICAN FWY.  
ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**EROSION CONTROL PLAN**

PROJECT #	2021-12
DRAWN BY	CC
CHECKED BY	BA

NO	ISSUE/REVISION	DATE
	FOR PERMIT	6/23/22
#1	PERMIT REVISIONS	7/13/22
#2	PERMIT REVISIONS	10/31/22
#3	PERMIT REVISIONS	12/16/22
#8	CLIENT CHANGES	12/30/22
#9	NMDOT REVISIONS	2/21/23
#10	PERMIT REVISIONS	3/10/23

**C03.0**



**GRADING NOTES**

- PROPOSED PROJECT WILL REDUCE EXISTING IMPERVIOUS COVER BY APP. 1,606 SF.
- CONCRETE TRUCKS SHALL NOT TYPICALLY BE WASHED OUT ON SITE. SHOULD CONCRETE TRUCK WASHOUT BE PERMITTED ON SITE, COORDINATE LOCATION AND BMPs WITH SITE INSPECTOR.
- A. DO NOT DISPOSE OF CONCRETE TRUCK WASHOUT WASTE BY DUMPING INTO A SANITARY SEWER, STORM DRAIN OR ONTO SOIL OR PAVEMENT THAT CARRIES STORM WATER RUNOFF.
- B. THE WASHOUT FROM CONCRETE TRUCKS SHOULD BE DISPOSED OF INTO:  
 - A DESIGNATED AREA THAT WILL LATER BE BACKFILLED (SLURRY PIT)  
 - AN AREA WHERE THE CONCRETE WASH CAN HARDEN AND THEN BE DISPOSED OF AS SOLID WASTE  
 - A LOCATION WHICH IS NOT SUBJECT TO WATER RUNOFF, AND MORE THAN 50 FEET AWAY FROM  
 - A STORM DRAIN, OPEN DITCH OR RECEIVING WATER WAY.
- C. PUMP EXCESS CONCRETE IN CONCRETE PUMP BACK INTO CONCRETE MIXER TRUCK.
- D. CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF OFF SITE.
- TEMPORARY TOILET FACILITIES SHALL BE PROVIDED FOR ALL CONSTRUCTION WORKERS AND SITE VISITORS IN ACCORDANCE WITH 2006 INTERNATIONAL PLUMBING CODE GENERAL REGULATIONS, SECTION 311. PORTABLE FACILITIES SHALL BE PLACED ON LEVEL GROUND AND AWAY FROM STORM DRAINAGE SYSTEMS (DITCHES, CATCH BASINS, ETC.) DISPOSAL AND HANDLING OF SANITARY WASTE MUST COMPLY WITH TCEQ REQUIREMENTS.
- FINAL GRADES FOR GRASSED AND LANDSCAPED AREAS SHALL REQUIRE A MINIMUM OF 4'-6" OF CLEAN TOP SOIL, FREE OF DEBRIS AND CONTAMINANTS, AND PREFERABLY OF NATIVE ORIGIN.
- SPOT GRADES SHOWN ARE FINISHED SURFACE ELEVATIONS. CONTRACTOR MUST MAKE ALLOWANCE FOR PAVEMENT THICKNESS.
- WHEN PRECAST CONCRETE BOXES ARE USED FOR STORM STRUCTURES, THE TOP 12" SHALL BE CONSTRUCTED FROM BRICK OR BLOCK TO ALLOW ADJUSTMENTS TO FINAL GRADE.
- WHEN PRECAST CONCRETE BOXES ARE USED FOR STORM STRUCTURES, NO WAFFLE WALL BOXES OR KNOCK OUT PANELS WILL BE ALLOWED.
- M.E.G. = MATCH EXISTING GRADE
- CONTRACTOR SHALL COMPLY WITH THE CONSTRUCTION STORM WATER GENERAL PERMIT, INCLUDING PREPARATION OF A SWPPP AND FILING NOI. CONTRACTOR TO PROVIDE A COPY OF SWPPP, THE SITE NOTICE, AND NOI TO CITY OF ALBUQUERQUE AND KEEP ON SITE UNTIL CONSTRUCTION COMPLETION.

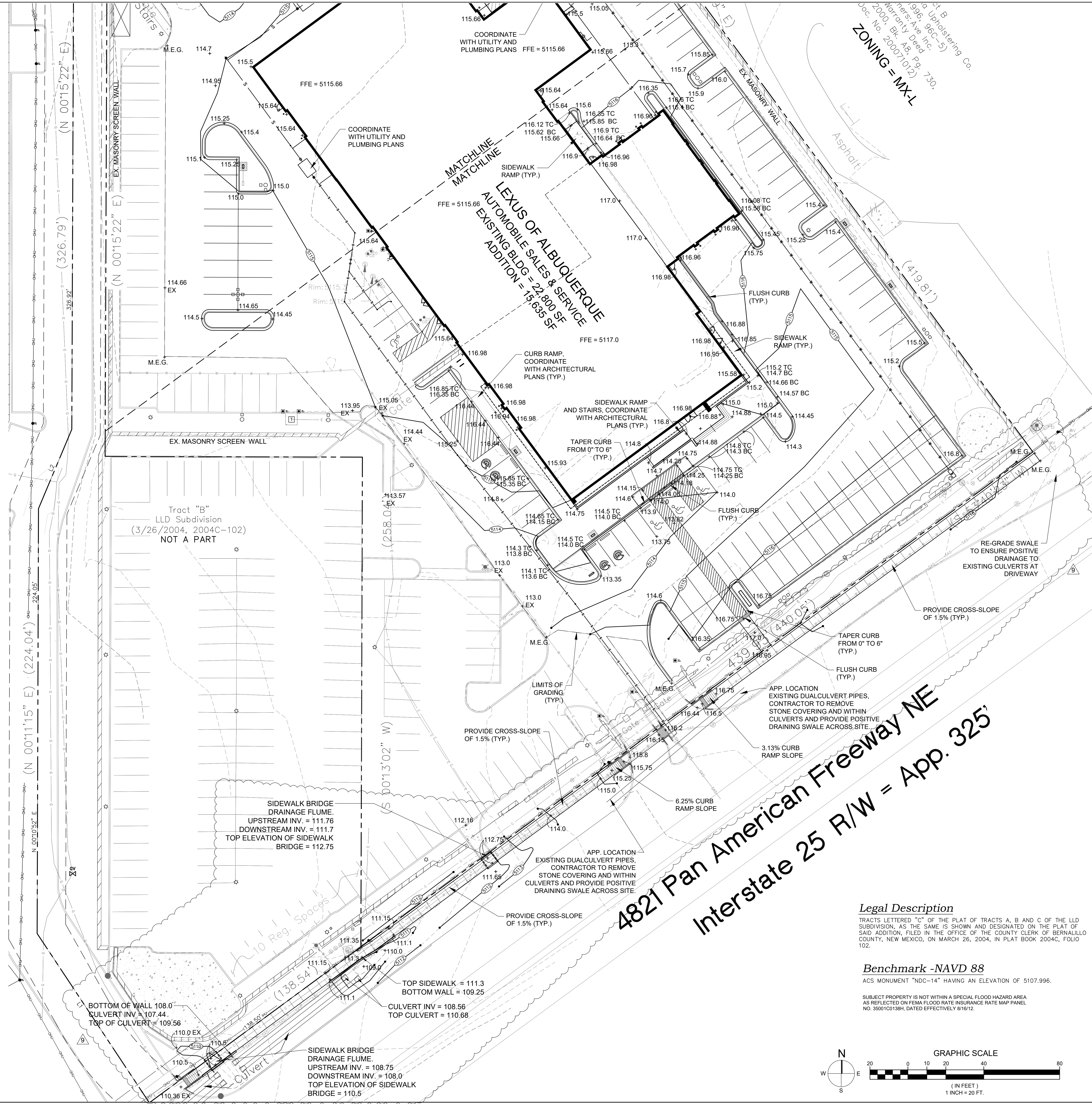
**EROSION & SEDIMENT CONTROL NOTES**

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A GRADING PERMIT PRIOR TO BEGINNING WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR FILING FOR A NOTICE OF INTENT (NOI) WITH EPA PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR TO PREPARE AND PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) THAT IDENTIFIES ALL CONTROL MEASURES ON THE PROJECT.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES INTO PUBLIC RIGHT-OF-WAY OR ONTO
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- SPOILS FROM THE PROJECT SHALL NOT BE DEPOSITED OR STORED IN THE STREET OR ROADWAY.
- SPOILS SHALL BE STAGED ON THE UPSTREAM SIDE OF TRENCHES WHEN TRENCHING IS REQUIRED.
- THE CONTRACTOR SHALL CLEAN AND REMOVE ALL FUGITIVE DUST, SOIL AND DEBRIS RESULTING FROM THIS PROJECT FROM THE STREET AT THE END OF EACH DAY.
- CONTRACTOR SHALL LEAVE THE AREA IMMEDIATELY BEHIND THE CURB DEPRESSED TO CONTAIN NUISANCE FLOWS AND SEDIMENT.
- CONCRETE TRUCKS SHALL BE SENT BACK TO THE PLANT FOR WASHING. THE WASHING OF CONCRETE TRUCKS SHALL NOT BE PERMITTED WITHIN THE PUBLIC RIGHT-OF-WAY.
- WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (NOI) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION. ALL EPA REGULATIONS WILL BE REQUIRED ON THE PROJECT.
- UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC) SHALL BE RE-SEEDING ACCORDING TO CITY OF ALBUQUERQUE SPECIFICATION 1012 "MISCELLANEOUS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PERMIT WILL BE MADE.
- PROTECT EXISTING STORM DRAIN FACILITIES FROM SEDIMENT AS REQUIRED.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

**CONSTRUCTION NOTES**

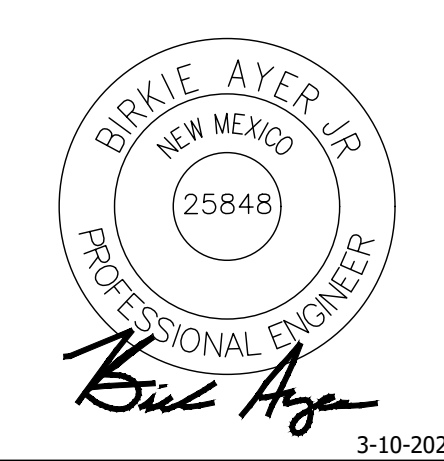
1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. UTILITY INFORMATION SHOWN HEREON IS BASED UPON ON-SITE SURFACE EVIDENCE. IN ADDITION, UTILITY LINE-SPOTS WERE REQUESTED VIA THE NEW MEXICO ONE CALL SERVICE (TICKET NO. 200E020450). UTILITY LINES THAT APPEAR ON THESE DRAWINGS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
6. ALL LANDSCAPE AND PAVED AREAS ADJACENT TO THE BUILDING SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE.

LEGEND	
	PROPERTY CORNER
	CENTER LINE
	PROPERTY LINE
	RIGHT OF WAY
	SEPTIC TANK
	WATER METER
	CATV
	TELEPHONE PEDESTAL
	POWER POLE
	ELECTRICAL BOX
	BENCHMARK
	FIRE HYDRANT
	WATER VALVE
	BLOW OFF
	SANITARY SEWER MANHOLE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	PROPOSED SWALE
	RIP RAP
	FLARED END SECTION
	STORM DRAIN DROP INLET
	STORM DRAIN JUNCTION BOX
	HANDICAP PARKING SPACE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	EASEMENT LINE
	INLET PROTECTION
	STORM DRAIN
	TREE SAVE / PROTECTION
	TREE TO BE REMOVED



St. B. Upholstering Co.  
 1936 W. 9th St. N.  
 Warrick Ave. Inc.  
 2000, Bk. 48, Pg. 730.  
 Doc. No. 20071012)  
**ZONING = MX-L**

**AYER DESIGN GROUP**  
 PROFESSIONAL ENGINEERING SERVICES  
 215 Johnson Street  
 Rock Hill, SC 29730  
 Phone: 803-328-5858



PROJECT NAME:  
**LEXUS OF ALBUQUERQUE**  
 4821 PAN AMERICAN FWY.  
 ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**GRADING PLAN SOUTH**

NO.	ISSUE/REVISION	DATE
	FOR PERMIT	6/23/22
#1	PERMIT REVISIONS	7/1/22
#2	PERMIT REVISIONS	10/31/22
#3	PERMIT REVISIONS	12/16/22
#8	CLIENT CHANGES	12/30/22
#9	NM DOT REVISIONS	2/21/23
#10	PERMIT REVISIONS	3/10/23

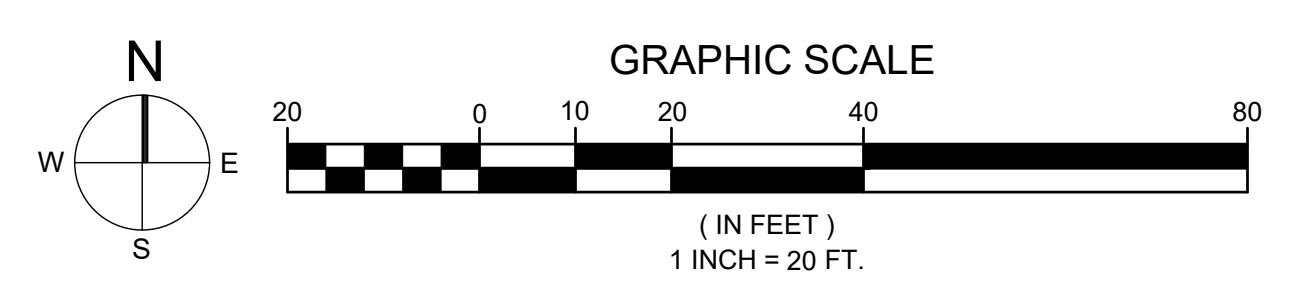
**Legal Description**

TRACTS LETTERED "C" OF THE PLAT OF TRACTS A, B AND C OF THE LLD SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 26, 2004, IN PLAT BOOK 2004C, FOLD 102.

**Benchmark -NAVD 88**

ACS MONUMENT "NDC-14" HAVING AN ELEVATION OF 5107.996.

SUBJECT PROPERTY IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA AS REFLECTED ON FEMA FLOOD RATE INSURANCE RATE MAP PANEL NO. 35501C0138H, DATED EFFECTIVELY 8/16/12.



**C04.0**



**GRADING NOTES**

- PROPOSED PROJECT WILL REDUCE EXISTING IMPERVIOUS COVER BY APP. 1,608 SF.
- CONCRETE TRUCKS SHALL NOT TYPICALLY BE WASHED OUT ON SITE. SHOULD CONCRETE TRUCK WASHOUT BE PERMITTED ON SITE, COORDINATE LOCATION AND BMPs WITH SITE INSPECTOR:
- A. DO NOT DISPOSE OF CONCRETE TRUCK WASHOUT WASTE BY DUMPING INTO A SANITARY SEWER, STORM DRAIN OR ONTO SOIL OR PAVEMENT THAT CARRIES STORM WATER RUNOFF.
  - B. THE WASHOUT FROM CONCRETE TRUCKS SHOULD BE DISPOSED OF INTO:
    - A DESIGNATED AREA THAT WILL LATER BE BACKFILLED (SLURRY PIT)
    - AN AREA WHERE THE CONCRETE WASH CAN HARDEN AND THEN BE DISPOSED OF AS SOLID WASTE
    - A LOCATION WHICH IS NOT SUBJECT TO WATER RUNOFF AND MORE THAN 50 FEET AWAY FROM A STORM DRAIN, OPEN DITCH OR RECEIVING WATER WAY.
  - C. PUMP EXCESS CONCRETE IN CONCRETE PUMP BACK INTO CONCRETE MIXER TRUCK.
  - D. CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF OFF SITE.
- TEMPORARY TOILET FACILITIES SHALL BE PROVIDED FOR ALL CONSTRUCTION WORKERS AND SITE VISITORS IN ACCORDANCE WITH 2006 INTERNATIONAL PLUMBING CODE GENERAL REGULATIONS, SECTION 311. PORTABLE FACILITIES SHALL BE PLACED ON LEVEL GROUND AND AWAY FROM STORM DRAINAGE SYSTEMS (DITCHES, CATCH BASINS, ETC.) DISPOSAL AND HANDLING OF SANITARY WASTE MUST COMPLY WITH TCEQ REQUIREMENTS.
- FINAL GRADES FOR GRASSED AND LANDSCAPED AREAS SHALL REQUIRE A MINIMUM OF 4"-6" OF CLEAN TOP SOIL, FREE OF DEBRIS AND CONTAMINANTS, AND PREFERABLY OF NATIVE ORIGIN.
- SPOT GRADES SHOWN ARE FINISHED SURFACE ELEVATIONS. CONTRACTOR MUST MAKE ALLOWANCE FOR PAVEMENT THICKNESS.
- WHEN PRECAST CONCRETE BOXES ARE USED FOR STORM STRUCTURES, THE TOP 12" SHALL BE CONSTRUCTED FROM BRICK OR BLOCK TO ALLOW ADJUSTMENTS TO FINAL GRADE.
- WHEN PRECAST CONCRETE BOXES ARE USED FOR STORM STRUCTURES, NO WAFFLE WALL BOXES OR KNOCK OUT PANELS WILL BE ALLOWED.
- M.E.G. = MATCH EXISTING GRADE
- CONTRACTOR SHALL COMPLY WITH THE CONSTRUCTION STORM WATER GENERAL PERMIT, INCLUDING PREPARATION OF A SWPPP AND FILING NOI. CONTRACTOR TO PROVIDE A COPY OF SWPPP, THE SITE NOTICE, AND NOI TO CITY OF ALBUQUERQUE AND KEEP ON SITE UNTIL CONSTRUCTION COMPLETION.

**EROSION & SEDIMENT CONTROL NOTES**

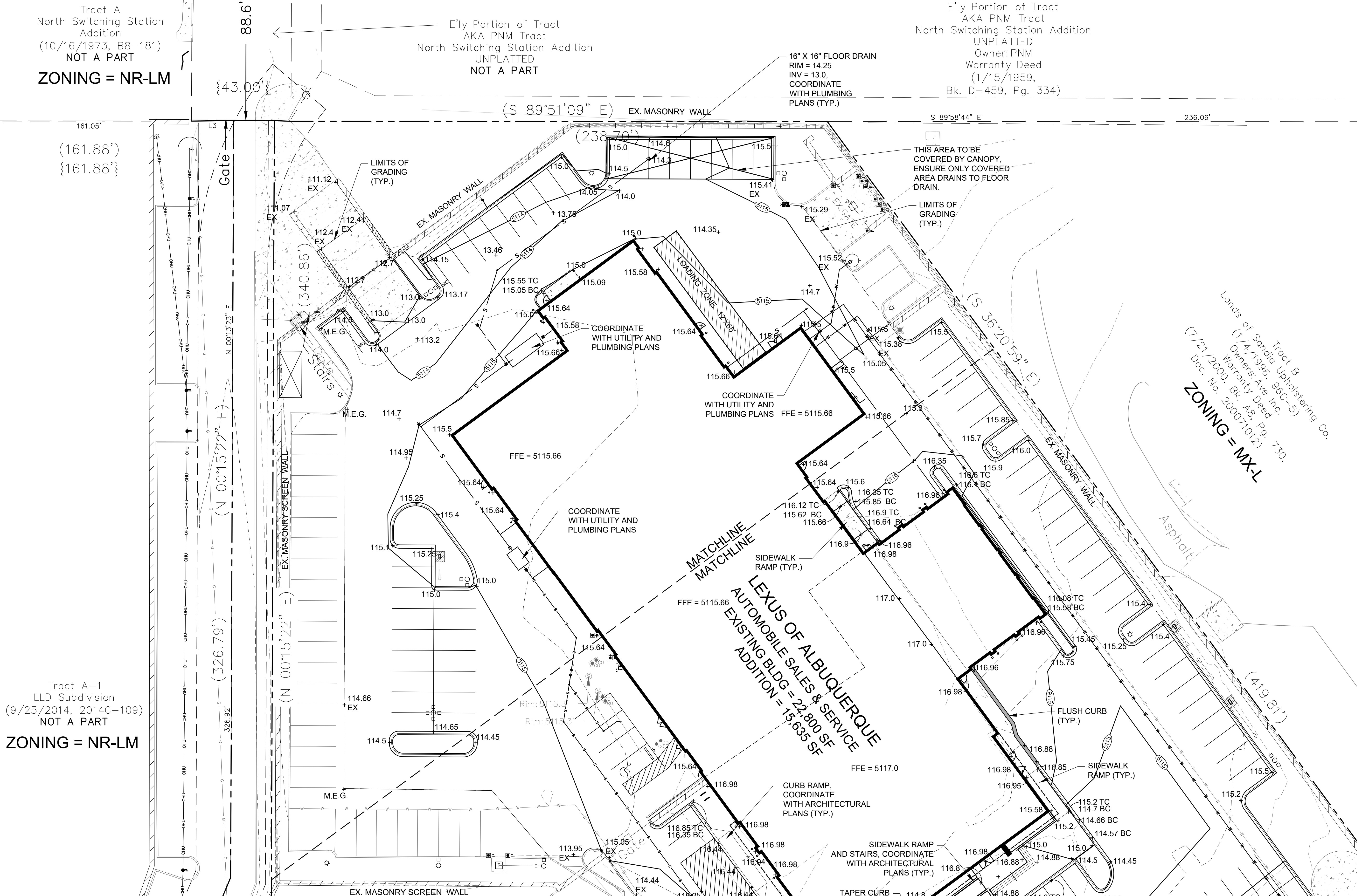
1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A GRADING PERMIT PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR IS RESPONSIBLE FOR FILING FOR A NOTICE OF INTENT (NOI) WITH EPA PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR TO PROVIDE A COPY OF SWPPP, THE SITE NOTICE, POLLUTION PREVENTION PLAN (SWPPP) THAT IDENTIFIES ALL CONTROL MEASURES ON THE PROJECT.
3. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES INTO PUBLIC RIGHT-OF-WAY OR ONTO
4. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
5. SPOILS FROM THE PROJECT SHALL NOT BE DEPOSITED OR STORED IN THE STREET OR ROADWAY.
6. SPOILS SHALL BE STAGED ON THE UPSTREAM SIDE OF TRENCHES WHEN TRENCHING IS REQUIRED.
7. THE CONTRACTOR SHALL CLEAN AND REMOVE ALL FUGITIVE DUST, SOIL AND DEBRIS RESULTING FROM THIS PROJECT FROM THE STREET AT THE END OF EACH DAY.
8. CONTRACTOR SHALL LEAVE THE AREA IMMEDIATELY BEHIND THE CURB DEPRESSED TO CONTAIN NUISANCE FLOWS AND SEDIMENT.
9. CONCRETE TRUCKS SHALL BE SENT BACK TO THE PLANT FOR WASHING, THE WASHING OF CONCRETE TRUCKS SHALL NOT BE PERMITTED WITHIN THE PUBLIC RIGHT-OF-WAY.
10. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (NOI) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION. ALL EPA REGULATIONS WILL BE REQUIRED ON THE PROJECT.
11. UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDING ACCORDING TO CITY OF ALBUQUERQUE SPECIFICATION 1012 "MISCELLANEOUS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PERMIT WILL BE MADE.
12. PROTECT EXISTING STORM DRAIN FACILITIES FROM SEDIMENT AS REQUIRED.
13. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

**CONSTRUCTION NOTES**

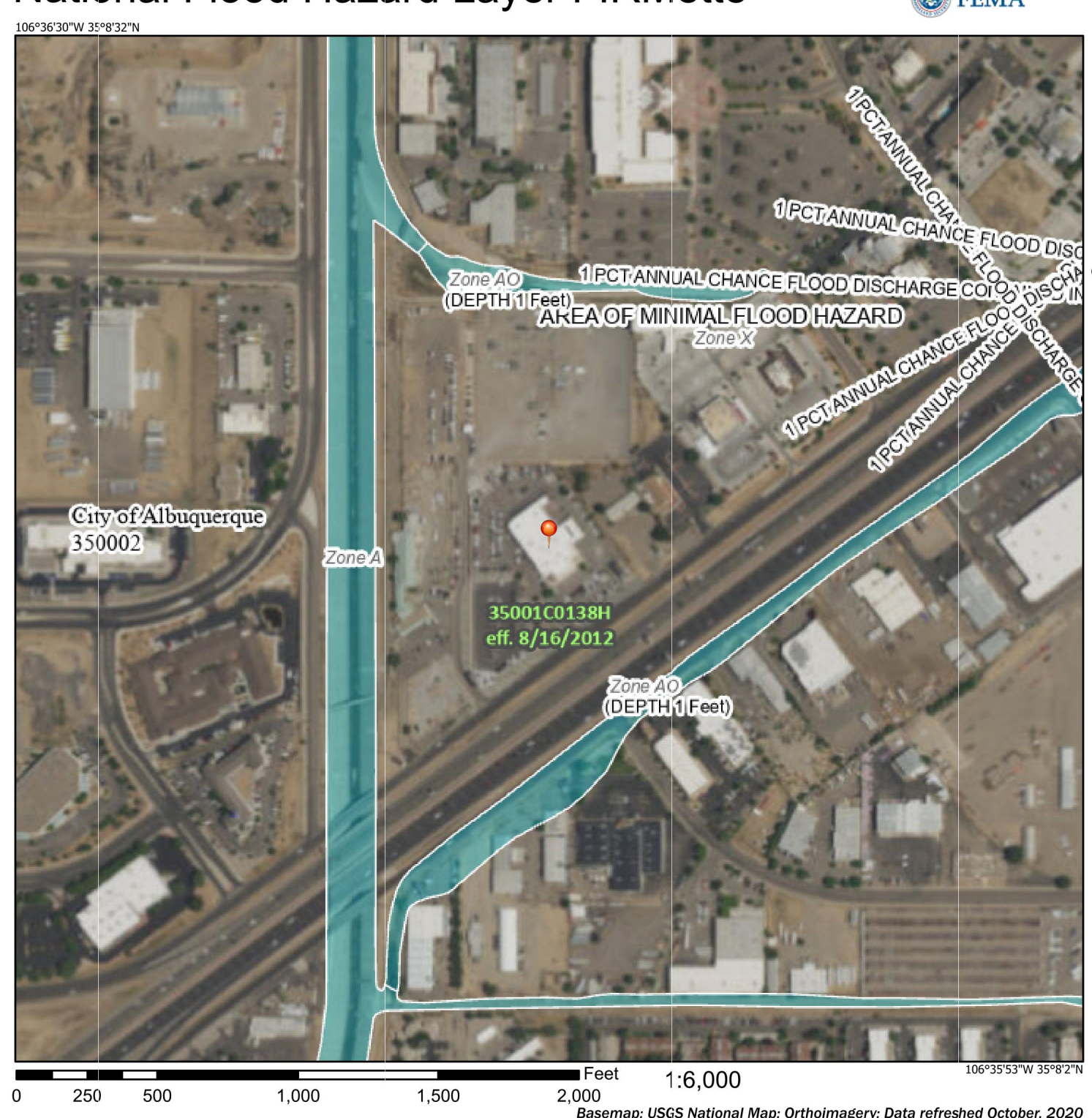
1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION ALL UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. UTILITY INFORMATION SHOWN HEREON IS BASED UPON ONSITE SURFACE EVIDENCE. IN ADDITION, UTILITY LINE-SPOTS WERE REQUESTED VIA THE NEW MEXICO ONE CALL SERVICE (TICKET NO. 2020020450). UTILITY LINES THAT APPEAR ON THESE DRAWINGS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
6. ALL LANDSCAPE AND PAVED AREAS ADJACENT TO THE BUILDING SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE.

**LEGEND**

	PROPERTY CORNER		RIP RAP
	CENTER LINE		FLARED END SECTION
	PROPERTY LINE		STORM DRAIN DROP INLET
	RIGHT OF WAY		STORM DRAIN JUNCTION BOX
	SEPTIC TANK		HANDICAP PARKING SPACE
	WATER METER		EXISTING WATER LINE
	CATV		PROPOSED WATER LINE
	TELEPHONE PEDESTAL		EXISTING SANITARY SEWER
	POWER POLE		PROPOSED SANITARY SEWER
	ELECTRICAL BOX		EXISTING OVERHEAD ELECTRIC
	BENCHMARK		UNDERGROUND ELECTRIC
	FIRE HYDRANT		SILT FENCE
	WATER VALVE		EASEMENT LINE
	BLOW OFF		INLET PROTECTION
	SANITARY SEWER MANHOLE		STORM DRAIN
	EXISTING CONTOUR		TREE SAVE / PROTECTION
	EXISTING SPOT ELEVATION		TREE TO BE REMOVED
	PROPOSED SPOT ELEVATION		
	TOP OF WALL ELEVATION		
	BOTTOM OF WALL ELEVATION		
	PROPOSED SWALE		



**National Flood Hazard Layer FIRMette**



**Legend**

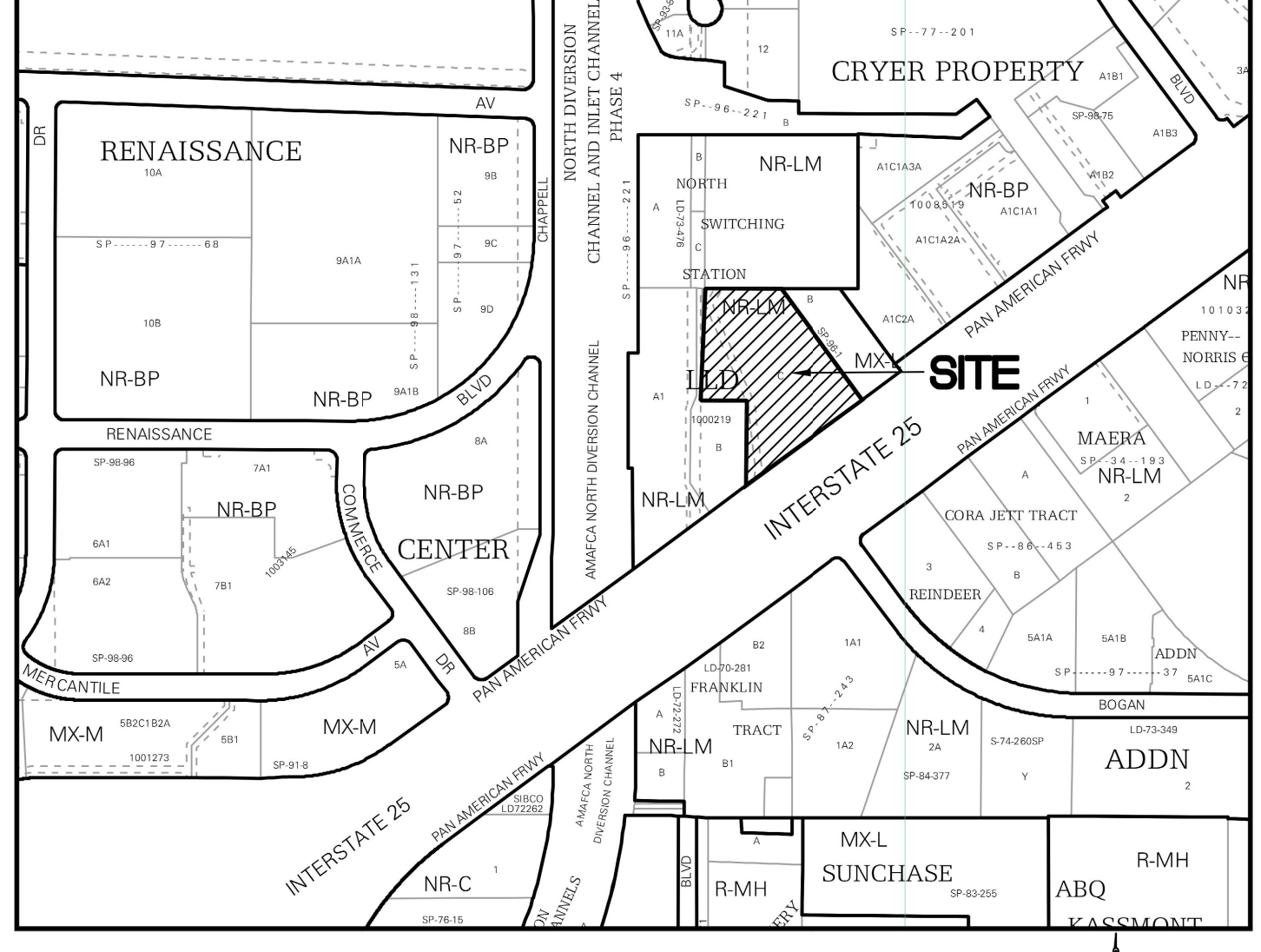
	SPECIAL FLOOD HAZARD AREAS		OTHER AREAS OF FLOOD HAZARD
	OTHER AREAS OF FLOOD HAZARD		GENERAL STRUCTURES
	OTHER FEATURES		MAP PANELS

This map complies with FEMA's standards for the use of digital flood maps if it is not as described below. The base map shown complies with FEMA's base map accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was updated on 8/16/2012 and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map is valid for the use of the following map elements: flood hazard, flood zone labels, FIRM panel numbers, and FIRM effective date. Map images for unimproved and/or undetermined areas cannot be used for regulatory purposes.

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



**SITE DESIGN DATA**

1. PROPERTY IS LOCATED AT 4821 PAN AMERICAN FWY.
2. UPOK: 101706102726220107
3. CURRENT ZONING: NR-LM (NON-RESIDENTIAL LIGHT MANUFACTURING)
4. PROPOSED USE: AUTOMOBILE SALES AND SERVICE
5. MINIMUM YARD & BUILDING SETBACKS PER ZONING ORDINANCE

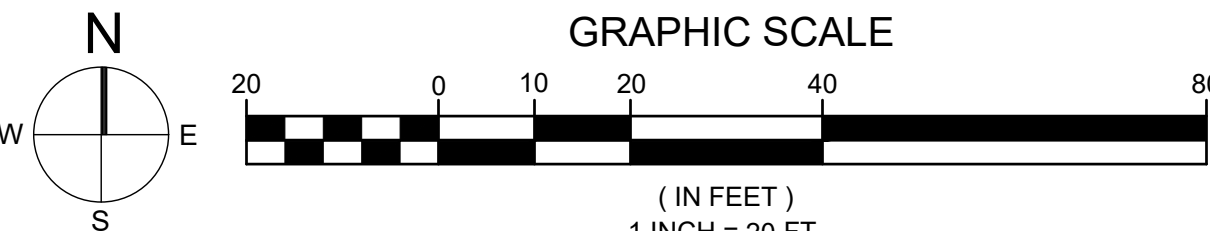
FRONT/STREET	5 FT
REAR YARD	0 FT
SIDE YARD	0 FT

**Legal Description**

TRACTS LETTERED "C" OF THE PLAT OF TRACTS A, B AND C OF THE LLD SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 26, 2004, IN PLAT BOOK 2004C, FOLIO 102.

**Benchmark -NAVD 88**

ACS MONUMENT "NDC-14" HAVING AN ELEVATION OF 5107.996.



**AYER DESIGN GROUP**  
 PROFESSIONAL ENGINEERING SERVICES  
 215 Johnson Street  
 Rock Hill, SC 29730  
 Phone: 803-328-5858



PROJECT NAME:  
**LEXUS OF ALBUQUERQUE**

4821 PAN AMERICAN FWY.  
 ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**GRADING PLAN NORTH**

PROJECT #	2021-12	
DRAWN BY	CC	
CHECKED BY	BA	
NO	ISSUE/REVISION	DATE
#1	FOR PERMIT	6/23/22
#2	PERMIT REVISIONS	7/11/22
#3	PERMIT REVISIONS	10/31/22
#4	PERMIT REVISIONS	12/16/22
#8	CLIENT CHANGES	12/30/22
#9	NMOT REVISIONS	2/21/23
#10	PERMIT REVISIONS	3/10/23

**C04.1**



**WATER NOTES**

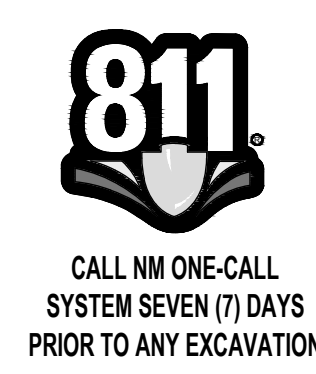
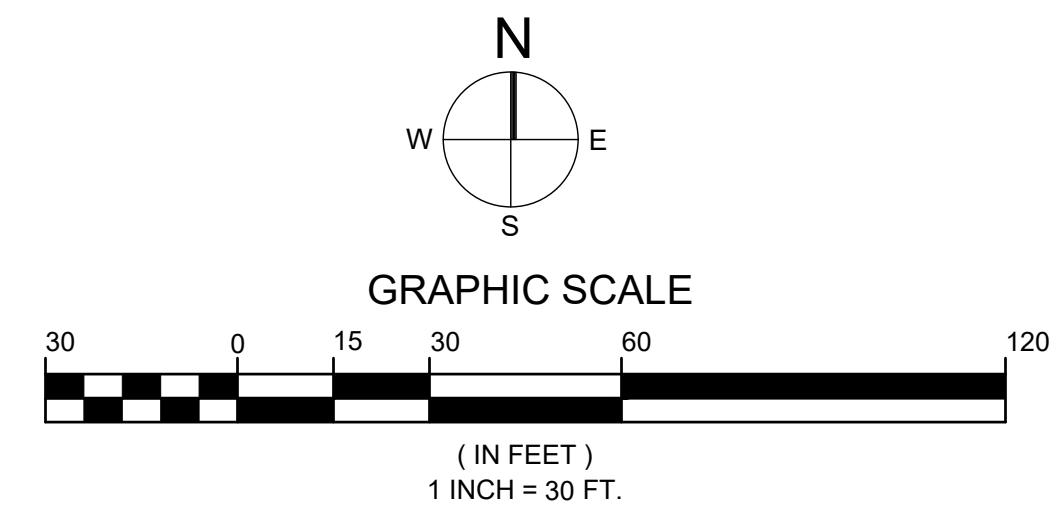
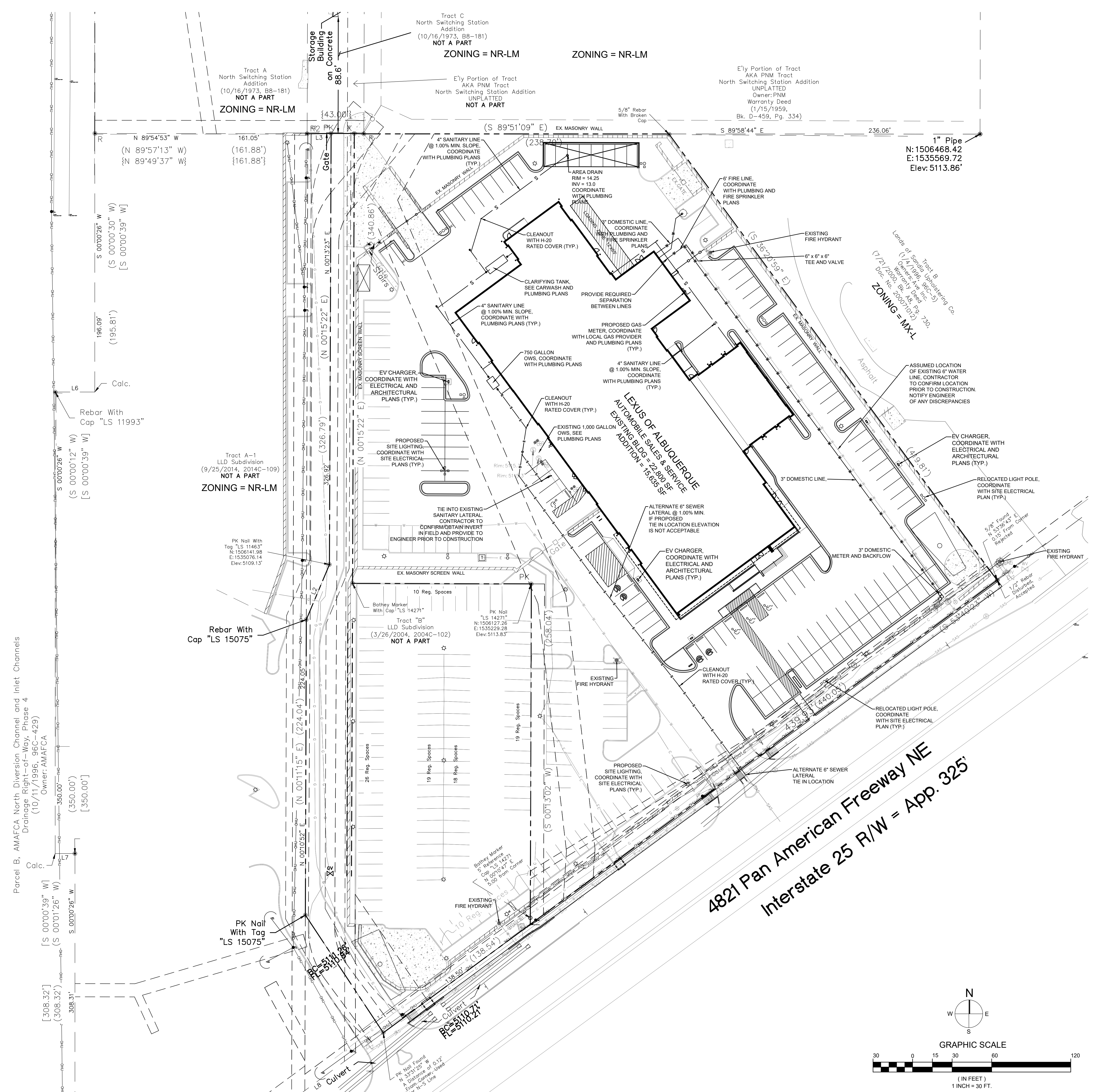
1. ALL NEW PUBLIC WATER MAIN IS TO BE 8" DIP UNLESS NOTED OTHERWISE.
2. CONTRACTOR TO FIELD VERIFY SIZE AND TYPE OF EXISTING LINES AT THE POINTS PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY IN WRITING IF DISCREPANCIES EXIST.
3. 2-INCH DOMESTIC WATER SERVICE TO BE TYPE K COPPER.
4. ALL SERVICES ARE TO BE LOCATED ON THE USER SIDE OF SIDEWALKS.
5. CONTRACTOR TO INSTALL COATED 14 GAUGE SOLID COPPER TRACER WIRE FOR ALL PVC WATERLINES. TRACER WIRE SHALL MAKE A MIN. 2' LOOP UP & OUT OF VALVE BOX TOP.
6. ALL DUCTILE IRON WATER PIPE TO HAVE MECHANICAL JOINT FITTINGS.
7. WATER FITTINGS FOR SERVICES TO HAVE A MINIMUM WORKING PRESSURE OF 150 PSI.
8. PIPE DEFLECTION AT EACH JOINT IS NOT TO EXCEED PIPE MANUFACTURER'S RECOMMENDATIONS. WHERE REQUIRED DEFLECTION EXCEEDS THE RECOMMENDATIONS, MAKE THE DEFLECTION OVER MULTIPLE PIPE JOINTS.
9. MAINTAIN 12" MINIMUM CLEARANCE BETWEEN WATER & STORM DRAIN PIPES. CENTER A 20' LENGTH OF DI WATER PIPE ON THE STORM DRAIN PIPE AT ALL CROSSINGS.
10. SEE DETAIL SHEET FOR TYPICAL SEWER LINE CROSSINGS.
11. ALL WATER WORK, PLANS & MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF ABCWA UTILITIES AND THE CITY OF ALBUQUERQUE.
12. WATER & SANITARY SEWER SEPARATION SHALL BE 10 FT. (CLEAR) IN ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS.
13. WATER FEES AS APPLICABLE ARE TO BE PAID TO ABCWA.

**SEWER NOTES**

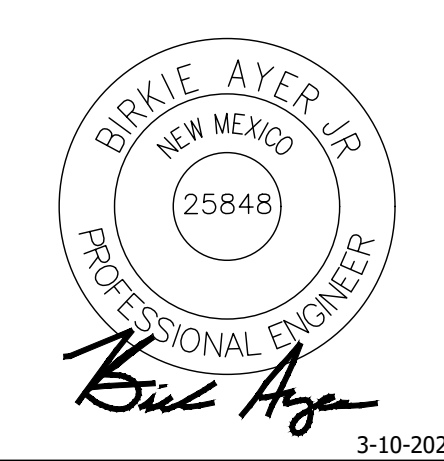
1. ALL SANITARY SEWER SERVICES ARE TO BE SCHEDULE 40 PVC.
2. STONE BEDDING IS REQUIRED FOR ALL PVC SEWER PIPE.
3. ALL SEWER SERVICES ARE TO BE LOCATED AS INDICATED ON THE PLANS AND 10' FROM WATER SERVICE UNLESS NOTED OTHERWISE.
4. PLEASE NOTE ALL CLEANOUTS HAVE NOT BEEN INDICATED ON THE PLAN. CLEANOUTS SHALL BE LOCATED PER THE INTERNATIONAL PLUMBING CODE CURRENT VERSION AND THE STANDARDS AND SPECIFICATIONS OF EL PASO WATER UTILITIES AND THE CITY OF EL PASO.
5. DRAIN OR FUTURE OUTLETS WHICH ARE AT AN ELEVATION LOWER THAN THE TOP OF THE NEAREST DOWNSTREAM SANITARY SEWER MANHOLE SHALL BE PROTECTED FROM SEWAGE BACKUP WITH THE INSTALLATION OF A BACKFLOW PREVENTION DEVICE.
6. ALL SEWER WORK, PLANS & MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF ABCWA UTILITIES AND THE CITY OF ALBUQUERQUE.
7. ALL NEW MANHOLES IN FLOOD PLAIN ARE REQUIRED TO BE SEALED AND VENTED.
8. SEWER FEES AS APPLICABLE ARE TO BE PAID TO ABCWA.
9. THE CONTRACTOR, PRIOR TO POURING THE BUILDING SLAB AND FOUNDATION, SHALL VERIFY THE ACCESSIBILITY OF THE SANITARY SEWER SERVICE AND OBTAIN CONFIRMATION FROM THE DESIGN ENGINEER REGARDING SANITARY SEWER SERVICE FUNCTIONALITY.

**GENERAL NOTES**

1. ALL PAVEMENT MARKINGS & SIGNAGE SHALL COMPLY WITH THE "NEW MEXICO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS & HIGHWAYS".
2. CONTRACTOR SHALL CONTACT "NM ONE CALL" AT 811 FOR ASSISTANCE IN LOCATING ANY EXISTING UTILITIES AT LEAST 72 HRS PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF EXISTING ABOVE & BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS, LINES, OR INDIVIDUAL SERVICES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER.
4. CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS ON-SITE & NOTIFY THE ENGINEER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES IN WRITING PRIOR TO BEGINNING WORK.
5. SIDEWALK CROSS-SLOPE SHALL NOT EXCEED 50:1.
6. ALL DIMENSIONAL CALL OUTS ARE MEASURED FROM FACE OF CURB.
7. FIELD ADJUSTMENTS SHALL BE MADE AS NECESSARY TO ENSURE A SMOOTH TRANSITION BOTH VERTICALLY & HORIZONTALLY FROM EXISTING TO PROPOSED PAVEMENT & CURB SECTIONS.
8. GUTTERS & PAVING SHALL BE INSTALLED IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL LOCAL, STATE & FEDERAL CONSTRUCTION SAFETY REGULATIONS ARE FOLLOWED DURING THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
10. BENCHMARK LOCATION & ELEVATION SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. BENCHMARKS USED FOR SURVEY ARE LISTED ON THE EXISTING CONDITIONS PLAN.
11. BOUNDARY AND ALTA SURVEY INFORMATION TAKEN FROM SURVEY BY PRECISION SURVEYS, INC.
12. WATER & SEWER FEES (AS APPLICABLE) ARE TO BE PAID AT THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY OFFICE.
13. ALL DEMOLITION DEBRIS SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN TDEQ APPROVED LANDFILL.
14. CONTRACTOR TO SUBMIT A TRAFFIC CONTROL PLAN TO NMDOT & ENGINEER FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
15. ALL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF ALBUQUERQUE, ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION AS APPLICABLE.
16. CONTRACTOR TO ADJUST ALL EXISTING UTILITIES RIMS, COVERS, GRATES, AND WATER METER BOXES TO MATCH PROPOSED GRADES.
17. CONTRACTOR TO COORDINATE UTILITY RELOCATIONS WITH ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
18. ALL MATERIALS & PLANS ARE TO COMPLY WITH CURRENT CITY OF ALBUQUERQUE, ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND THE NEW MEXICO DEPARTMENT OF TRANSPORTATION AS APPLICABLE.
19. CONTRACTOR SHALL SUPPLY AS-BUILT DRAWINGS OF STREET, DRAINAGE, WATER & SANITARY SEWER SYSTEMS AFTER INSTALLATION.
20. TRANSITION PROPOSED CONCRETE CURB, PAVEMENT AND SIDEWALK INTO EXISTING CURB, PAVEMENT AND SIDEWALK AND PROVIDE A FLUSH 1/8" TROWLED JOINT WHERE PROPOSED CONCRETE MEETS EXISTING CONCRETE.
21. ALL EXISTING AND PROPOSED LANDINGS, SIDEWALKS, RAMPS, ACCESSIBLE PARKING, DRIVEWAY CROSSWALKS AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A. CITY OF ALBUQUERQUE AND NMDOT REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.
22. CONTRACTOR SHALL MAINTAIN ONE ACCESS DRIVE INTO SITE FROM JEFFERSON STREET NE THROUGHOUT DEMOLITION AND CONSTRUCTION ACTIVITIES.
22. CONTRACTOR SHALL MAINTAIN ACCESS DRIVE INTO SITE FROM PAN AMERICAN FWY THROUGHOUT DEMOLITION AND CONSTRUCTION ACTIVITIES.
23. REFER TO PROJECT SPECIFICATION MANUAL FOR ADDITIONAL REQUIREMENTS AND PROJECT SPECIFICATIONS.



**AYER DESIGN GROUP**  
 PROFESSIONAL ENGINEERING SERVICES  
 215 Johnston Street  
 Rock Hill, SC 29730  
 Phone: 803-328-5858



PROJECT NAME:  
**LEXUS OF ALBUQUERQUE**  
 4821 PAN AMERICAN FWY.  
 ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**UTILITY PLAN**

PROJECT #	2021-12	
DRAWN BY	CC	
CHECKED BY	BA	
NO	ISSUE/REVISION	DATE
	FOR PERMIT	6/23/22
#1	PERMIT REVISIONS	7/1/22
#2	PERMIT REVISIONS	10/31/22
#3	PERMIT REVISIONS	12/16/22
#8	CLIENT CHANGES	12/30/22
#9	NMDOT REVISIONS	2/21/23
#10	PERMIT REVISIONS	3/10/23

**C05.0**







# PLANTING SPECIFICATIONS

## GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
  - A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
  - THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE NEW MEXICO DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE NEW MEXICO DEPARTMENT OF AGRICULTURE OR THE NEW MEXICO STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK**
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
  - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

## PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.**
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:**
- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60-1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCKORLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS SUCH AS J-SHAPED ROOTS.
  - ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
  - ALL TREES SHALL BE STANDARD IN FORM UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
  - CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
  - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL.
  - ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.**
- D. SEED: PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF VEED SEED AS INDICATED ON PLANS. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.**
- E. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 3/8" INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.**
- F. COMPOST: WELL-COMPOSTED, STABLE, AND VEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4" INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 PERCENT; INERT MATERIALS NOT EXCEEDING 5 PERCENT; INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS; NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.**
- G. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AVOIDANTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL TESTING AGENCY (SEE BELOW).**
- H. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.**
- I. VEED FABRIC: SOURCE, WOVEN, NEEDLE-PUNCHED FABRIC, SUCH AS DEWITT PROS LANDSCAPE FABRIC (OR APPROVED EQUAL).**
- J. TREE STAKING AND GUYING**
- STAKES: 6' LONG GREEN METAL T-POSTS.
  - GUY AND TIE WIRE: ASTM A641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.108 INCH DIAMETER.
  - STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- K. STEEL EDGING: PROFESSIONAL STEEL EDGING, 1/4 GAUGE THICK X 4 INCHES WIDE, FINELY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COLIET OR APPROVED EQUAL.**
- L. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STANNING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.**

## METHODS

- A. SOIL PREPARATION**
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN  $\pm 0.1'$  OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
  - SOIL TESTING:
    - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR), AND BORON CONTENT. EACH SAMPLE SUBMITTED MUST CONTAIN NO LESS THAN ONE QUART OF SOIL.
    - CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
    - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
    - THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOILS REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
    - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
      - TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-BRPPING:
        - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
        - AMMONIUM PHOSPHATE 16-20-0 - 15 LBS. PER 1,000 S.F.
        - AGRICULTURAL GYPSUM - 100 LBS. PER 1,000 S.F.
      - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-BRPPING:
        - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
        - 12-12-12 FERTILIZER - 10 LBS. PER CU. YD.
        - AGRICULTURAL GYPSUM - 10 LBS. PER CU. YD.
        - IRON SULPHATE - 2 LBS. PER CU. YD.
    - CONTRACTOR SHALL ENSURE THAT THE GRADE IN SOD AREAS SHALL BE 1" BELOW FINISH GRADE BEFORE INSTALLING SOIL AMENDMENTS, AND 2" BELOW FINISH GRADE IN SHRUB AREAS BEFORE INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 8" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
    - ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 8" OF SOIL.

- B. GENERAL PLANTING**
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
  - EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
  - TRENCHING NEAR EXISTING TREES:
    - CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER AT BREAST HEIGHT (4.5') ABOVE THE AVERAGE GRADE AT THE TRUNK.
    - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
    - AFTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER, WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. W/ARP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
    - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

- C. TREE PLANTING**
- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
  - FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL. TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL. INCHES ABOVE THE SURROUNDING GRADE.
  - BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND CONSISTENT WITH THE ON-SITE SOIL.
  - THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
    - 1"-2" TREES: TWO STAKES PER TREE
    - 2"-12" TREES: THREE STAKES PER TREE
    - TREES OVER 4" CALIPER: GUY AS NEEDED
    - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
  - UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE VEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).

- D. SHRUB, PERENNIAL AND GROUND COVER PLANTING**
- DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
  - INSTALL THE VEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE VEED BARRIER CLOTH IN PLACE.
  - WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.

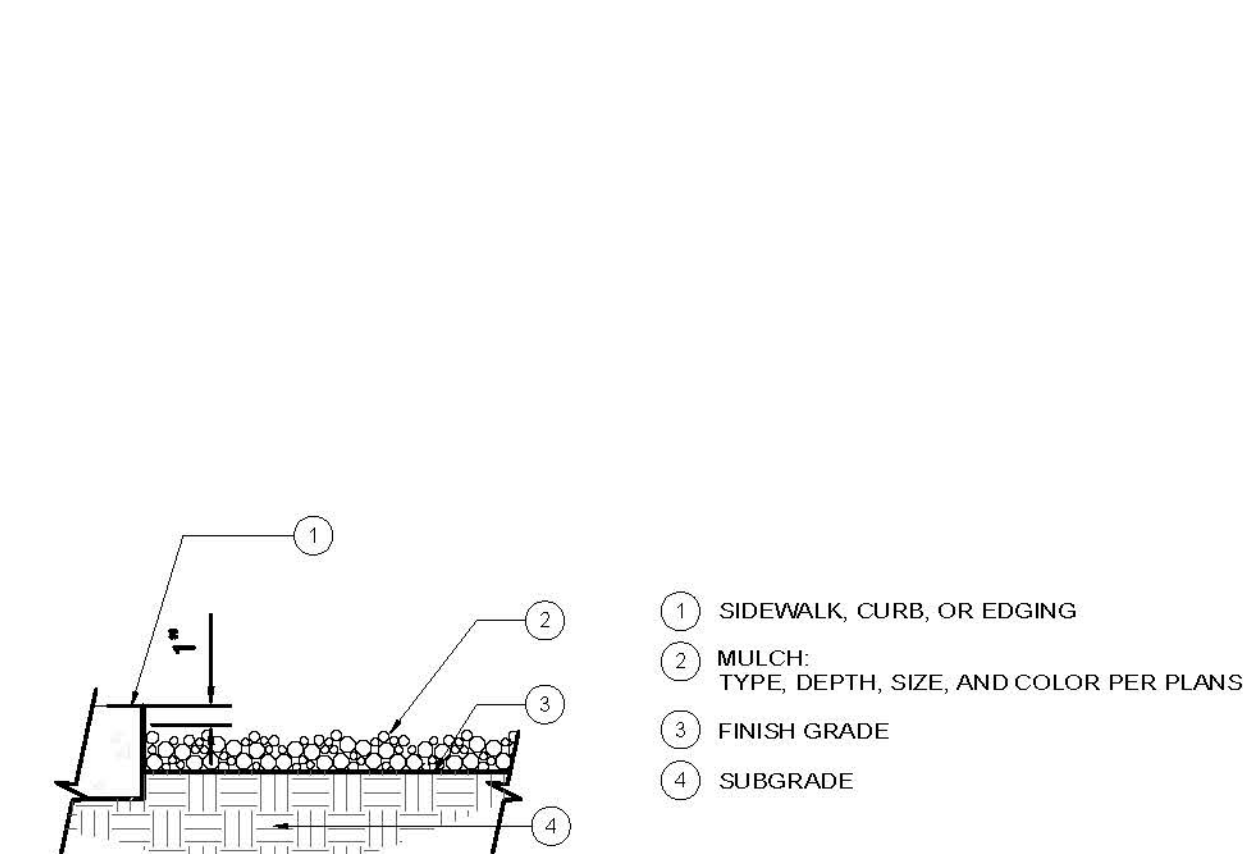
- E. HYDROMULCHING**
- TURF HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
    - WINTER MIX (OCTOBER 1 - MARCH 31):
      - 50# CELLULOSE FIBER MULCH
      - 2# UNHULLED BERBERUDA SEED
      - 2# ANNUAL RYE SEED
      - 15-15-15 WATER SOLUBLE FERTILIZER
    - SUMMER MIX (APRIL 1 - SEPTEMBER 30):
      - 50# CELLULOSE FIBER MULCH
      - 2# HULLED BERBERUDA SEED
      - 15# 15-15-15 WATER SOLUBLE FERTILIZER

- F. CLEAN UP**
- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
  - DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- G. INSPECTION AND ACCEPTANCE**
- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
  - WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
  - THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

- H. LANDSCAPE MAINTENANCE**
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWN, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
  - SHOULD SEEDING AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
  - TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
    - THE LANDSCAPE SHALL SHOW VIGILANT, HEALTHY GROWTH WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY. ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
    - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
    - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW VIGILANT, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

- I. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS**
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED/HYDROMULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
  - AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.

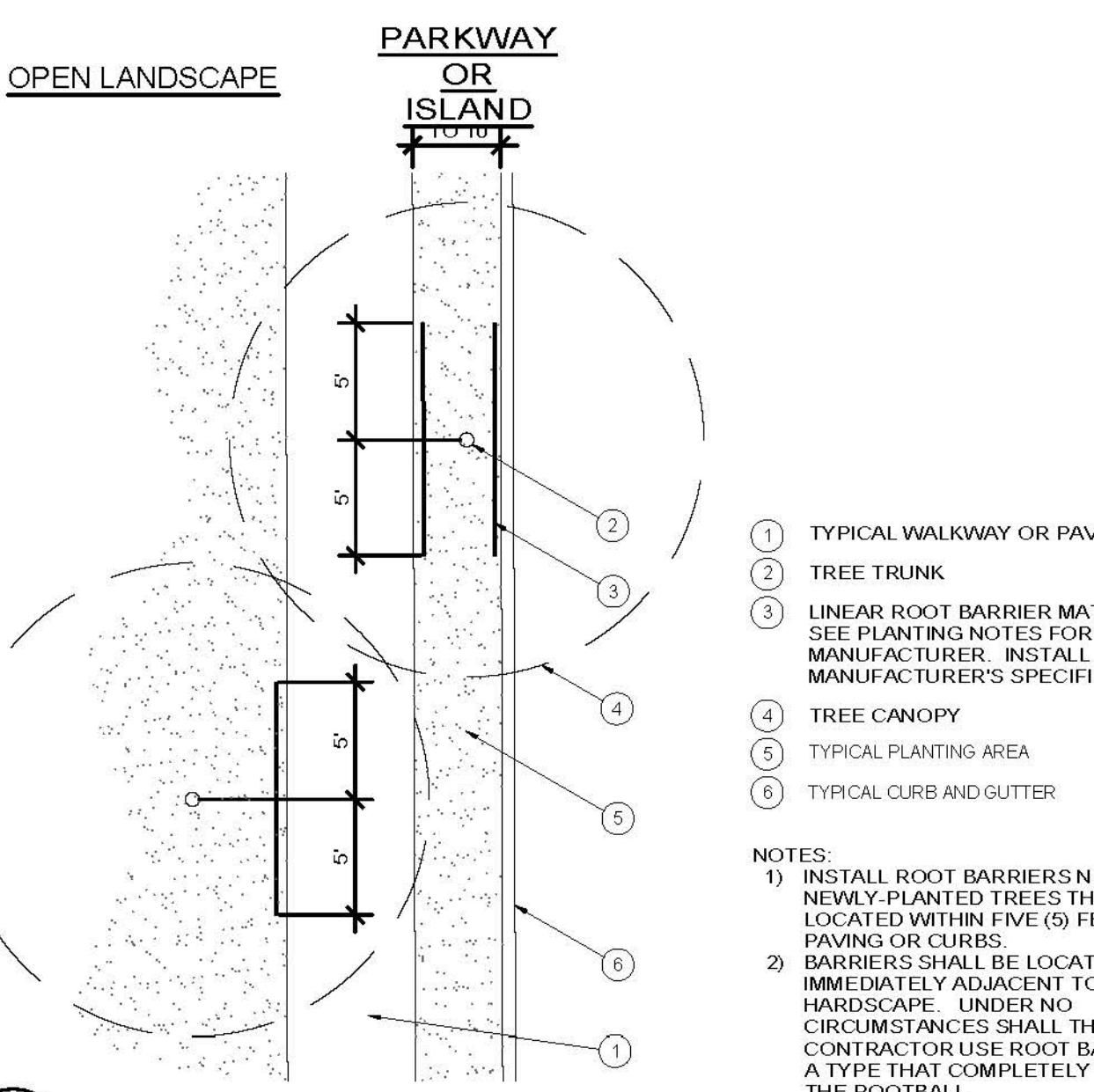
- J. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.**



- NOTE:**
- COMPACT SUBGRADE TO 80% AND APPLY A PREEMERGENT HERBICIDE TO THE SOIL BEFORE PLACING GRANITE AT REQUIRED DEPTH. RAKE SMOOTH, WET TO ENTIRE DEPTH. ROLL WITH A 150 LB ROLLER, THEN LIGHTLY SCARIFY SURFACE WITH A LEAF RAKE. KEEP TOP OF MULCH 1" BELOW ADJACENT WALKS, CURBS, OR OTHER HARD SURFACES.
  - APPLY SECOND APPLICATION OF PREEMERGENT HERBICIDE AFTER INSTALLATION OF GRANITE.

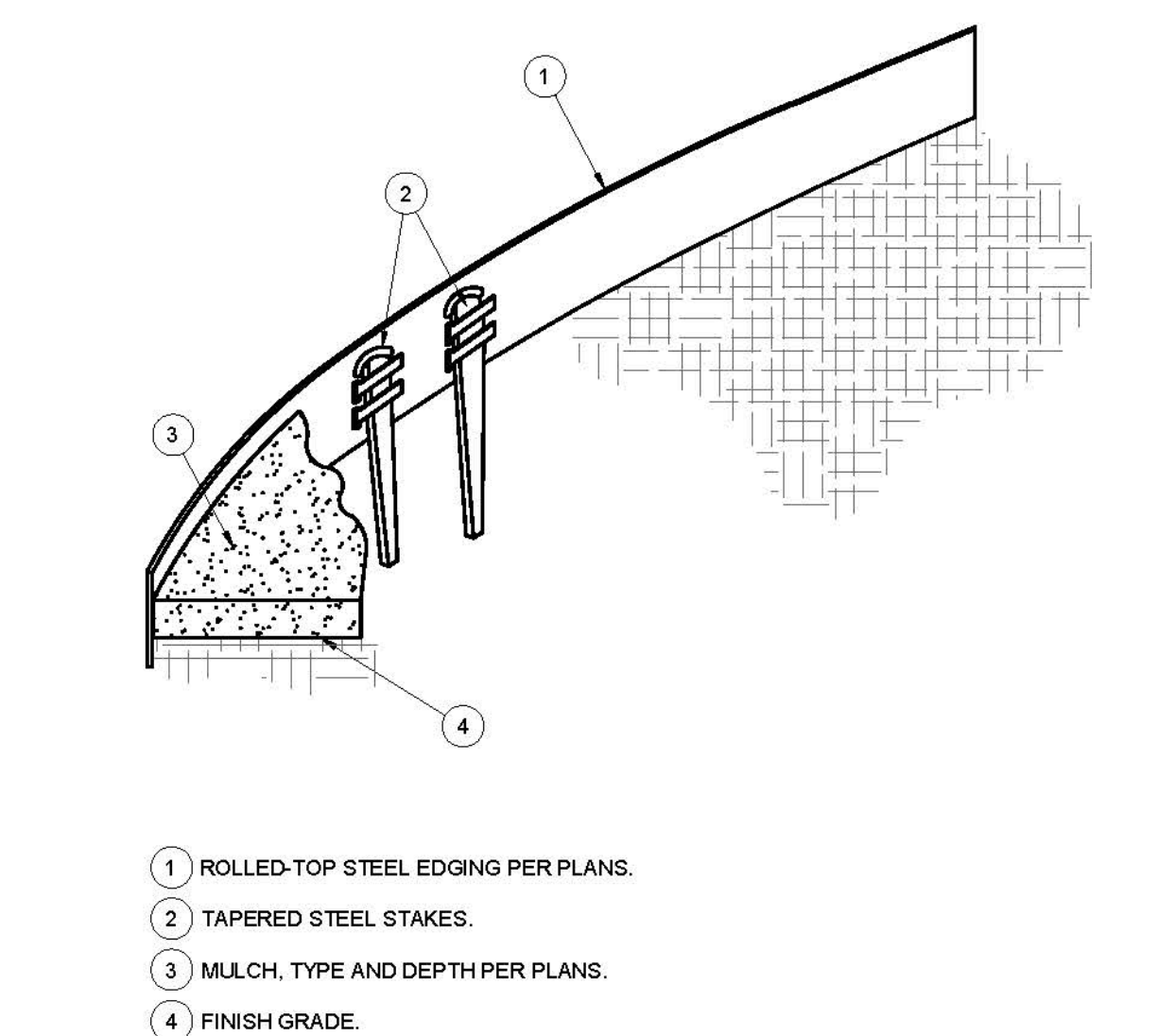
## A. MULCH INSTALLATION

SCALE: NOT TO SCALE



## B. ROOT BARRIER - PLAN VIEW

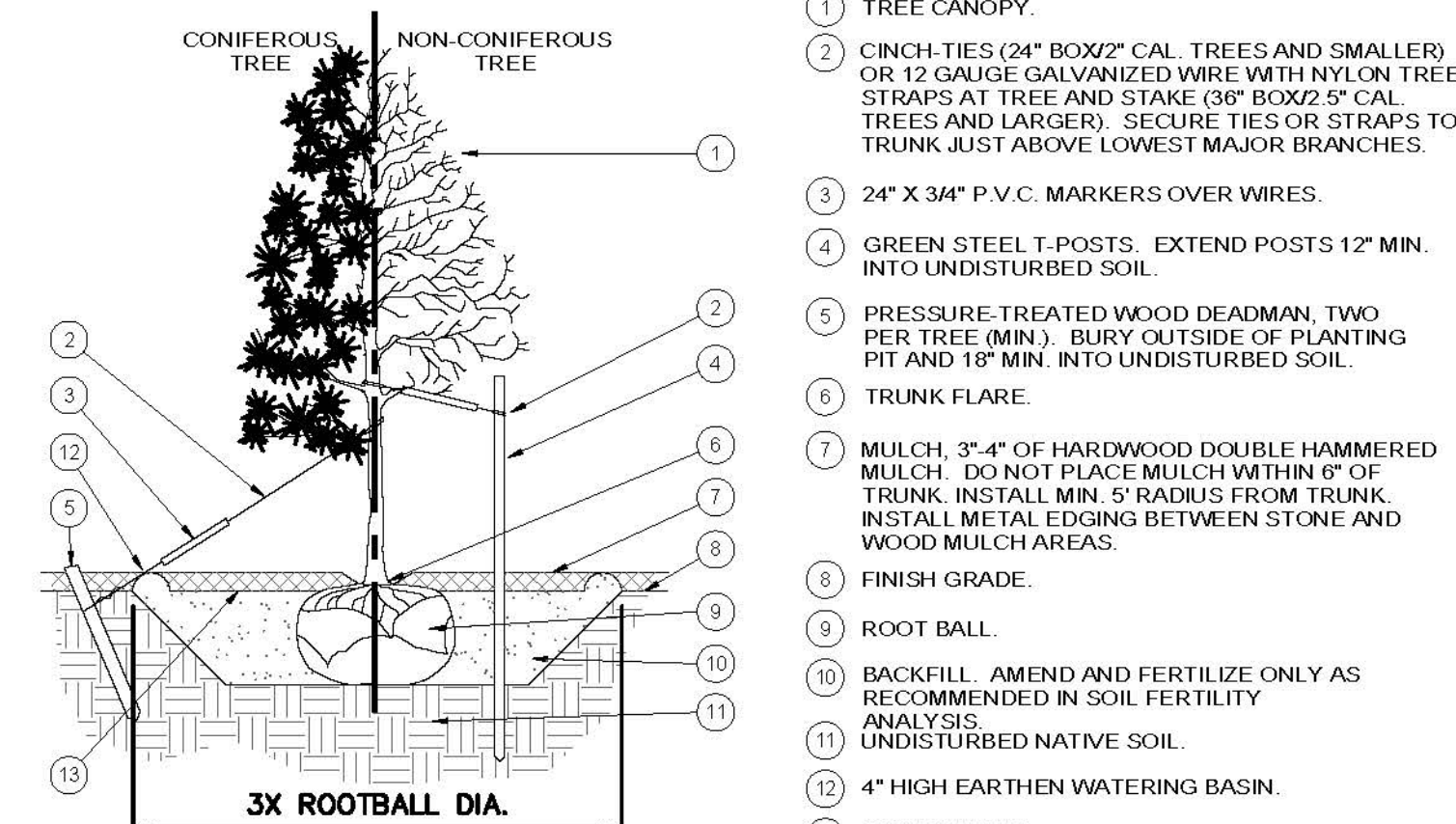
SCALE: NOT TO SCALE



- NOTES:**
- INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
  - BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
  - TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.
  - INSTALL FOR BORDER TO SEPARATE WOOD AND STONE MULCH AREAS.

## C. STEEL EDGING

SCALE: NOT TO SCALE



## D. TREE PLANTING

SCALE: NOT TO SCALE

- NOTES:**
- SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
  - REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.
  - FOR B&B TREES: CUT OFF BOTTOM 1/2 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
  - REMOVE ALL NURSERY STAKES AFTER PLANTING.
  - FOR TREES 30" DBH OR LARGER, USE THREE STAKES OR DEADMAN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
  - STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK MOVEMENT IN WIND.

## E. SHRUB AND GROUND COVER PLANTING

SCALE: NOT TO SCALE



## F. PLANTING AT PARKING AREA

SCALE: NOT TO SCALE



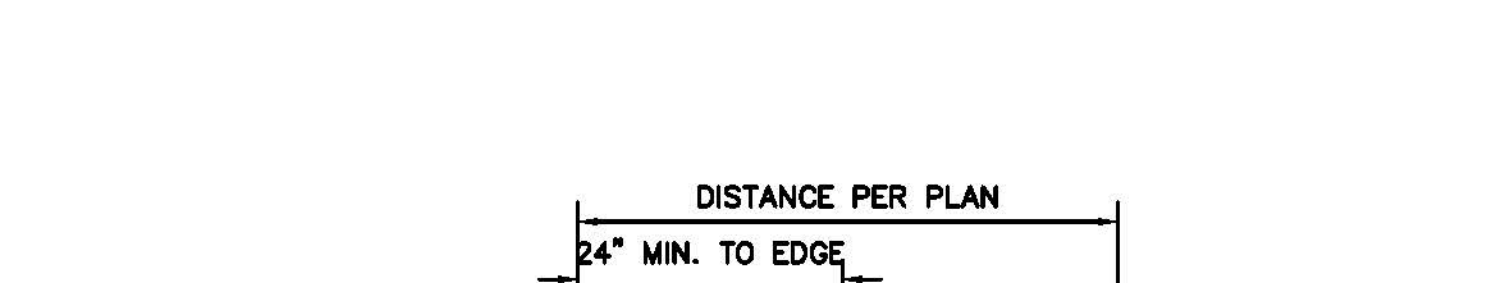
## G. DISTANCE PER PLAN

SCALE: NOT TO SCALE



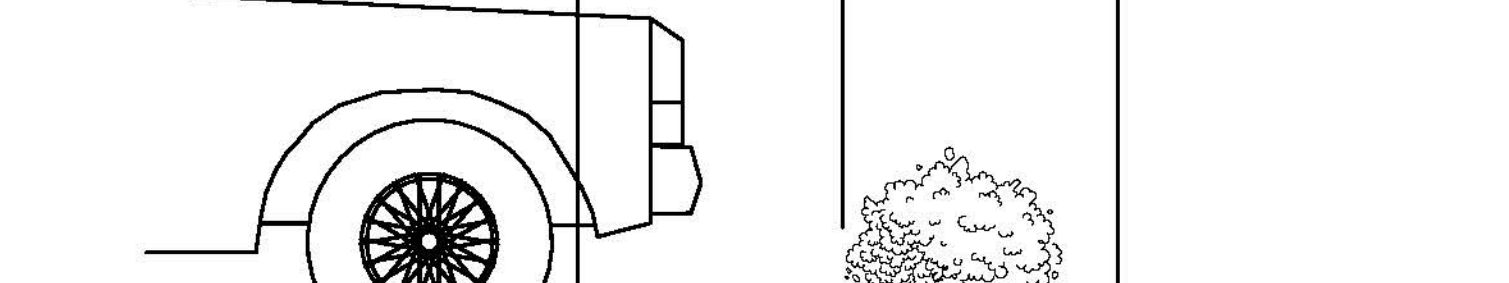
## H. DISTANCE PER PLAN

SCALE: NOT TO SCALE



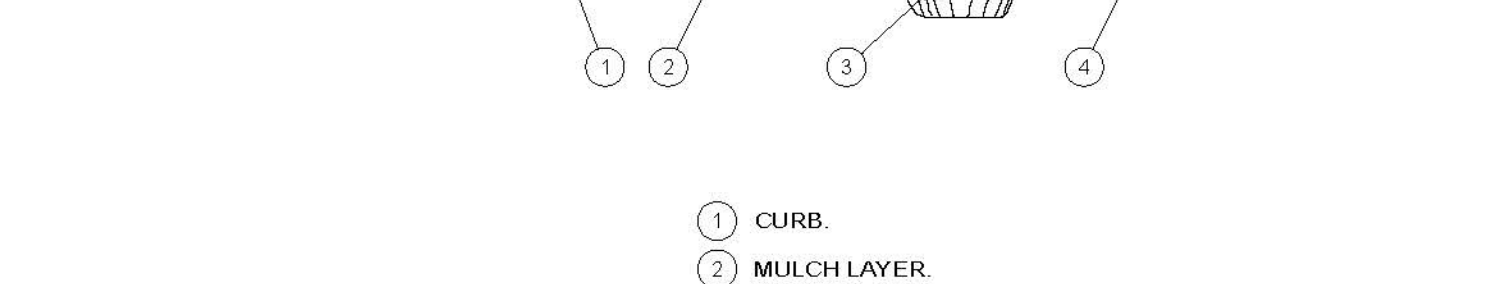
## I. DISTANCE PER PLAN

SCALE: NOT TO SCALE



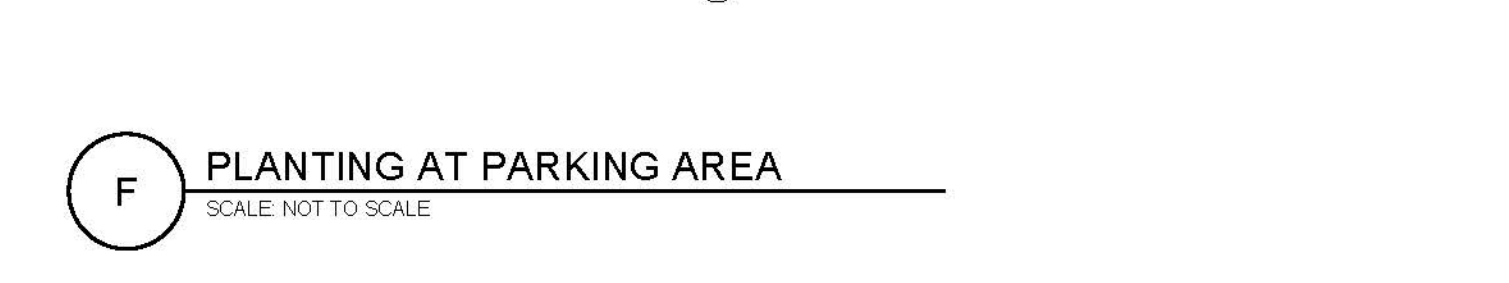
## J. DISTANCE PER PLAN

SCALE: NOT TO SCALE



## K. DISTANCE PER PLAN

SCALE: NOT TO SCALE



## L. DISTANCE PER PLAN

SCALE: NOT TO SCALE



**AYER DESIGN GROUP**  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnson Street  
Rock Hill, SC 29730  
Phone: 803-328-5858



08/03/2022

PROJECT NAME:

**LEXUS OF ALBUQUERQUE**

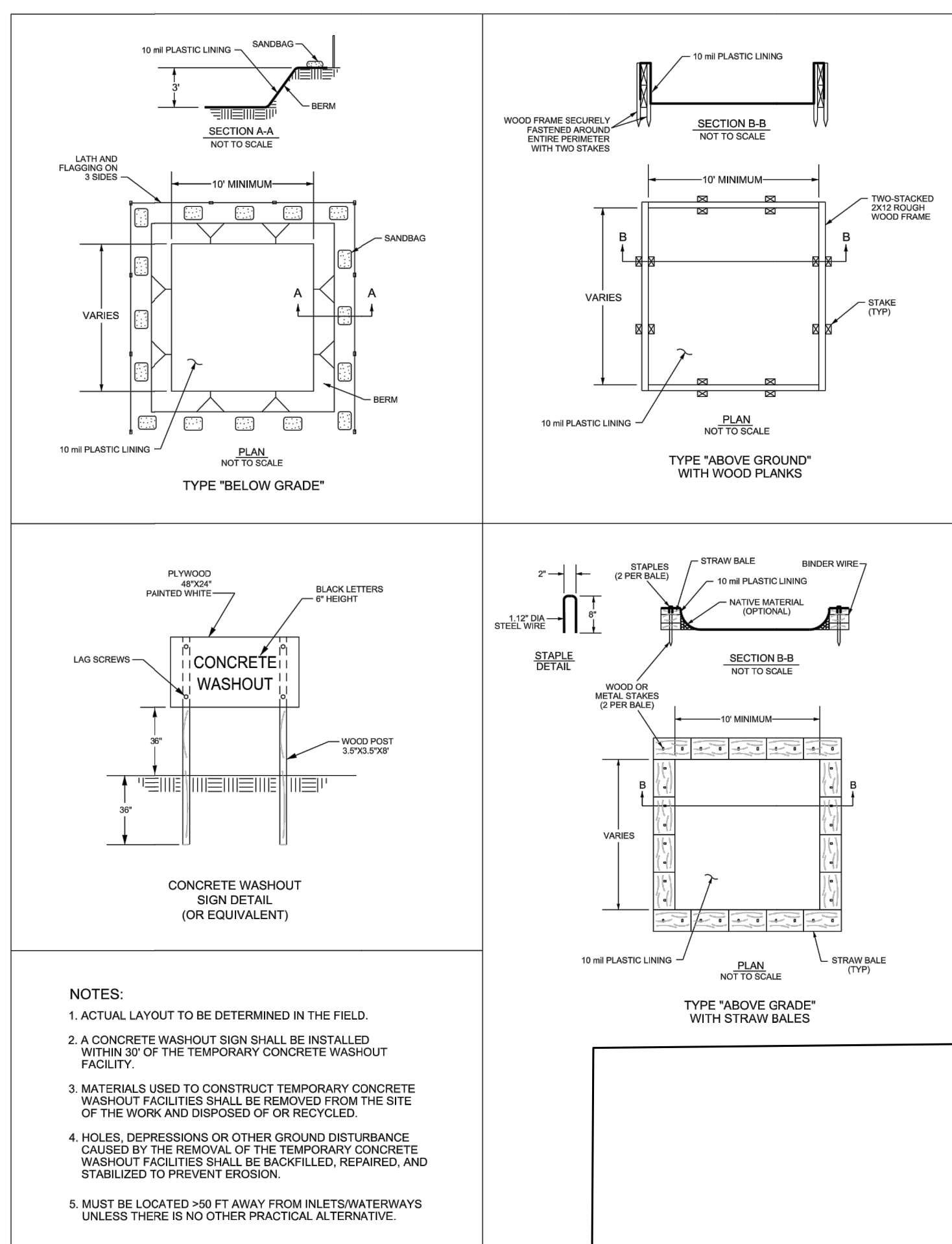
4821 PAN AMERICAN FWY.  
ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**LANDSCAPE DETAILS**

PROJECT #	2021-12	
DRAWN BY	CC	
CHECKED BY	BA	
NO	ISSUE/REVISION	DATE
#1	FOR PERMIT	6/23/22
	PERMIT REVISIONS	7/1/22

**C07.0**

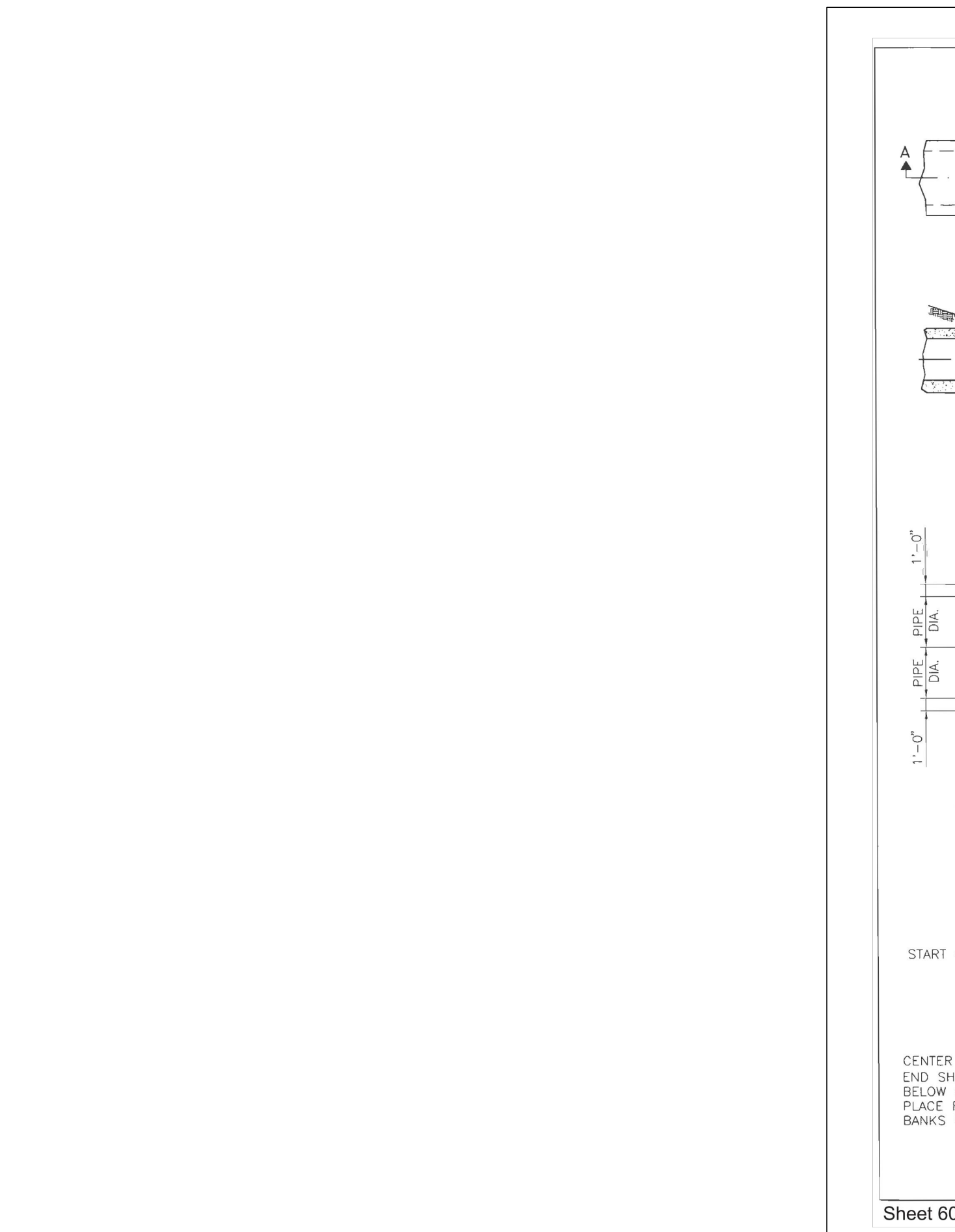




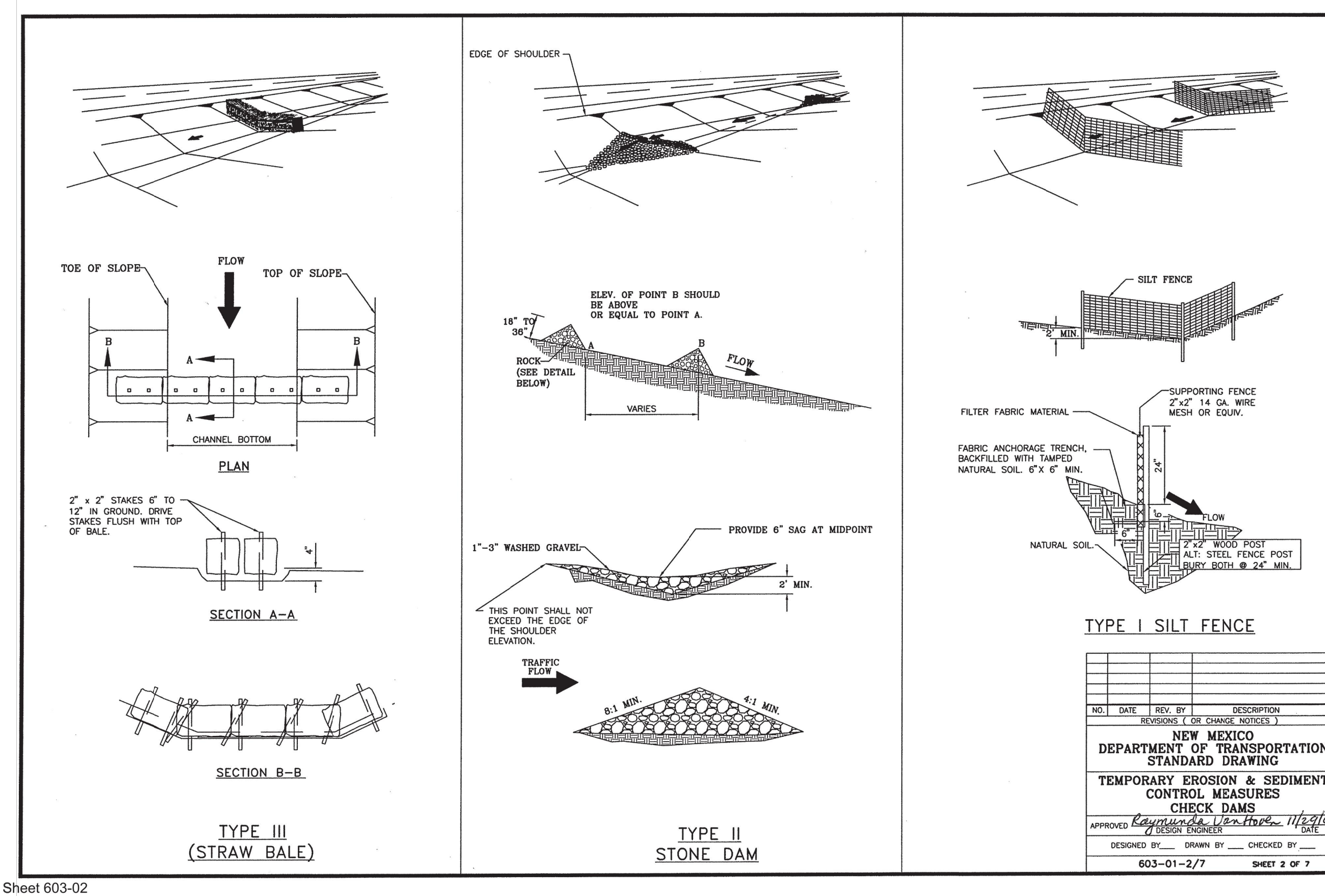
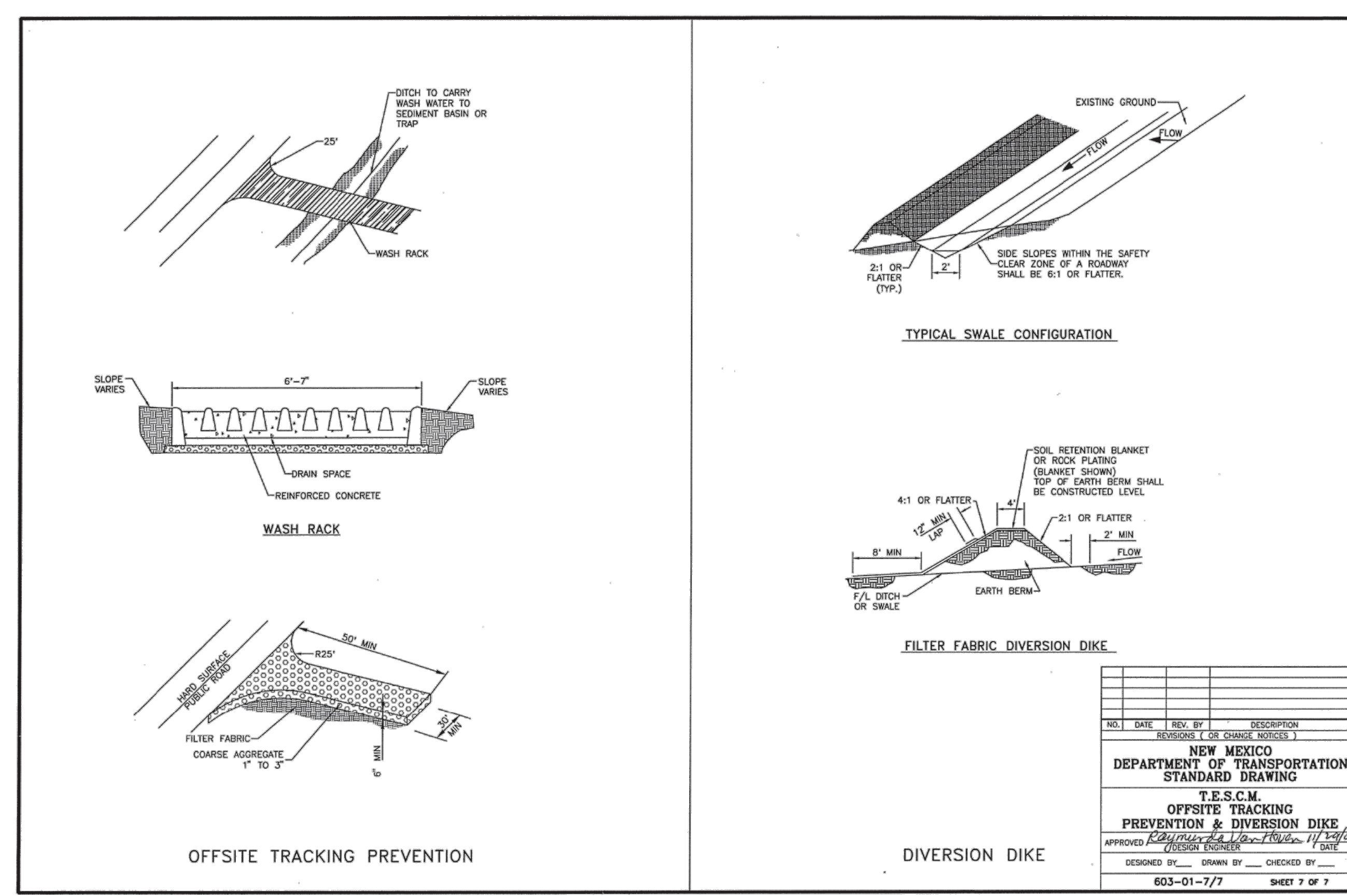
**CONCRETE WASHOUT**



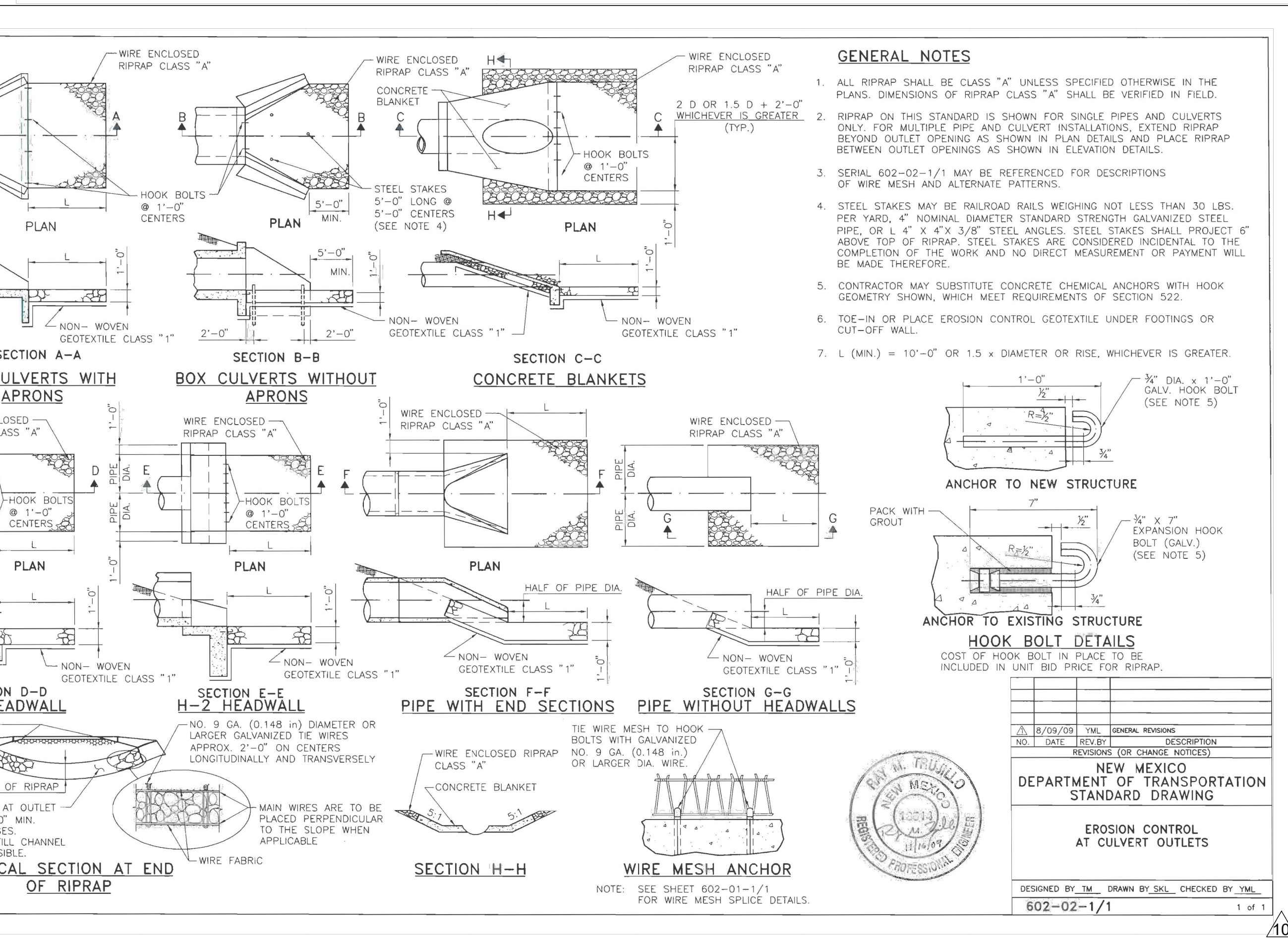
Sheet 603-07



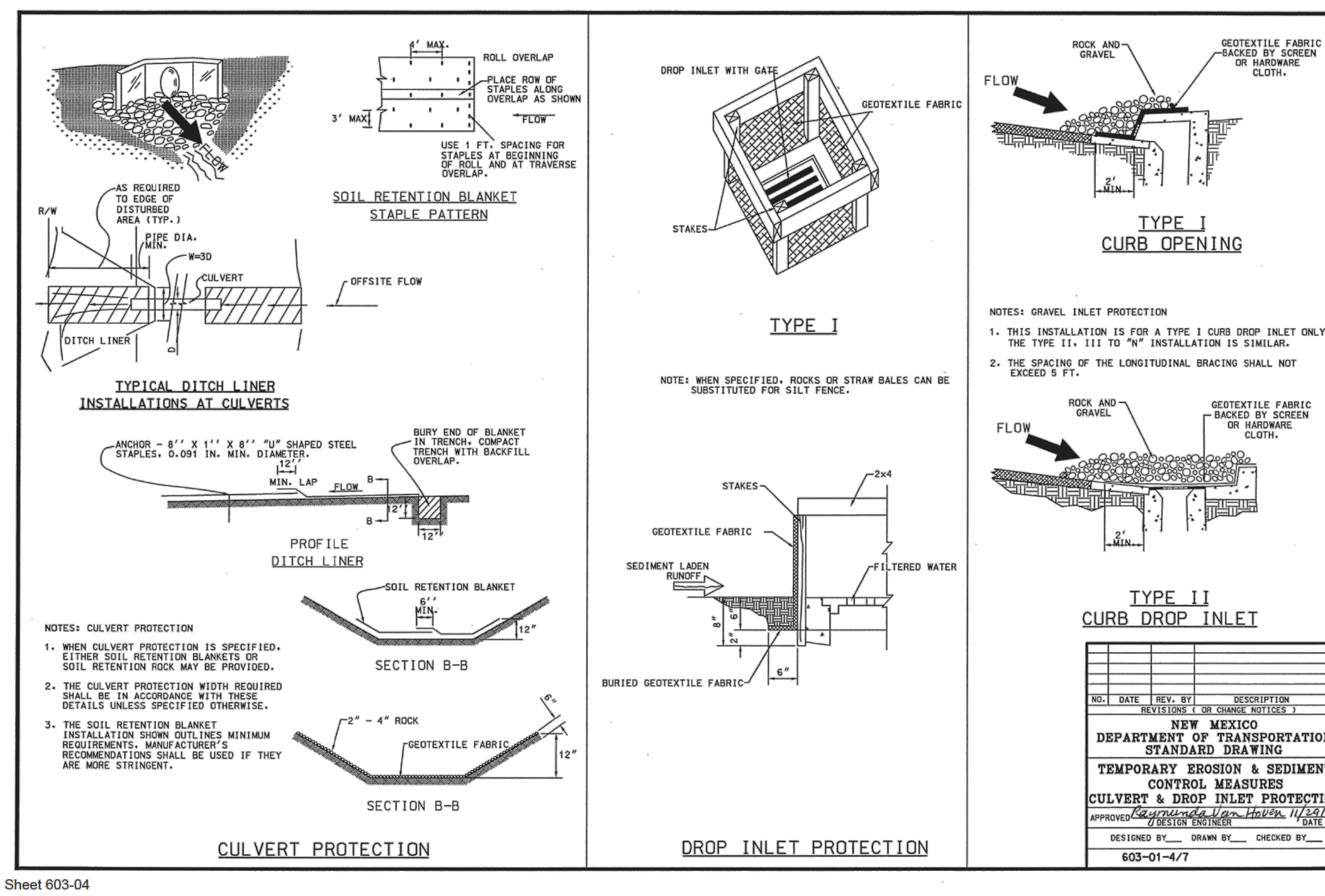
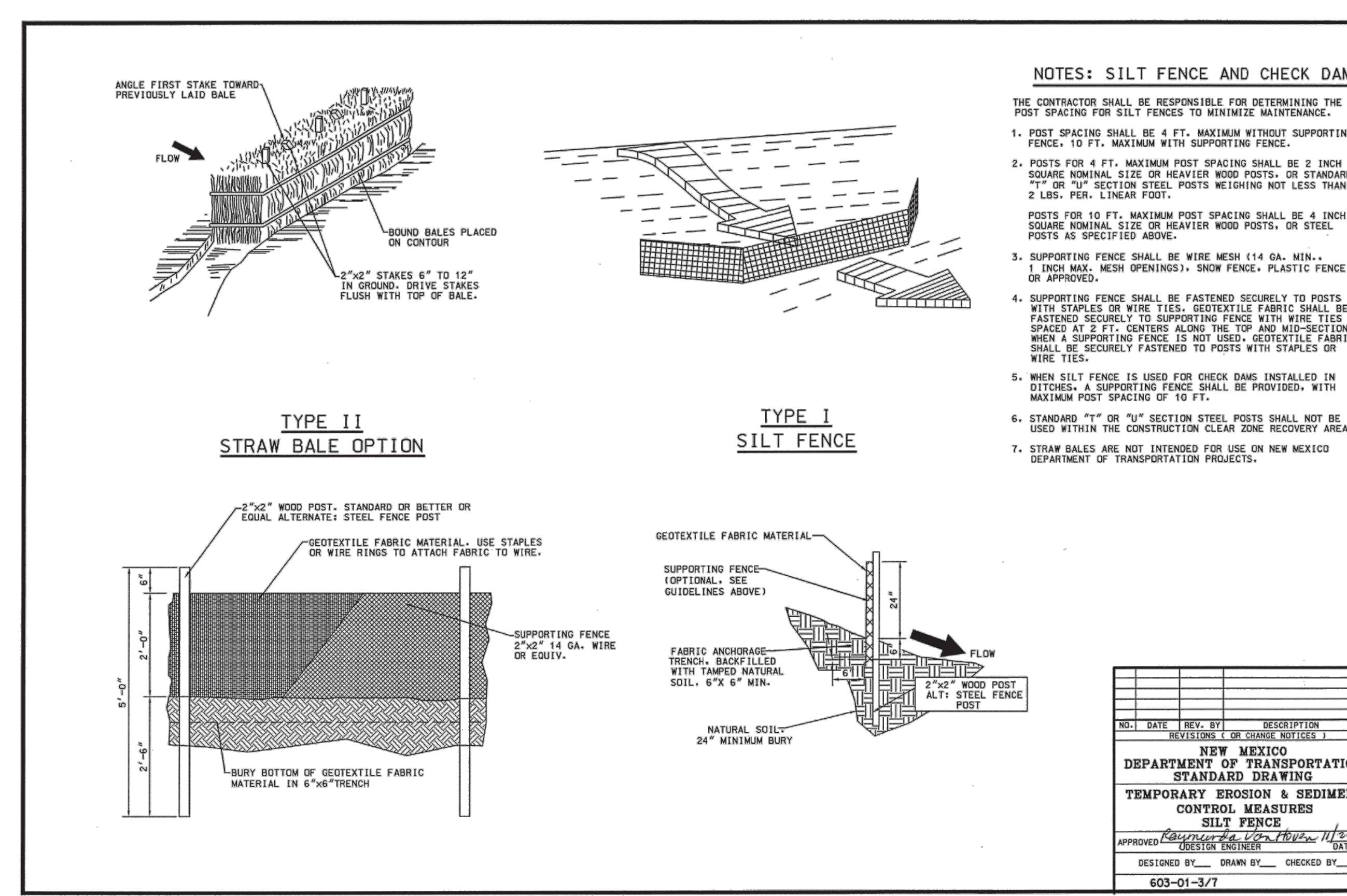
Sheet 603-07



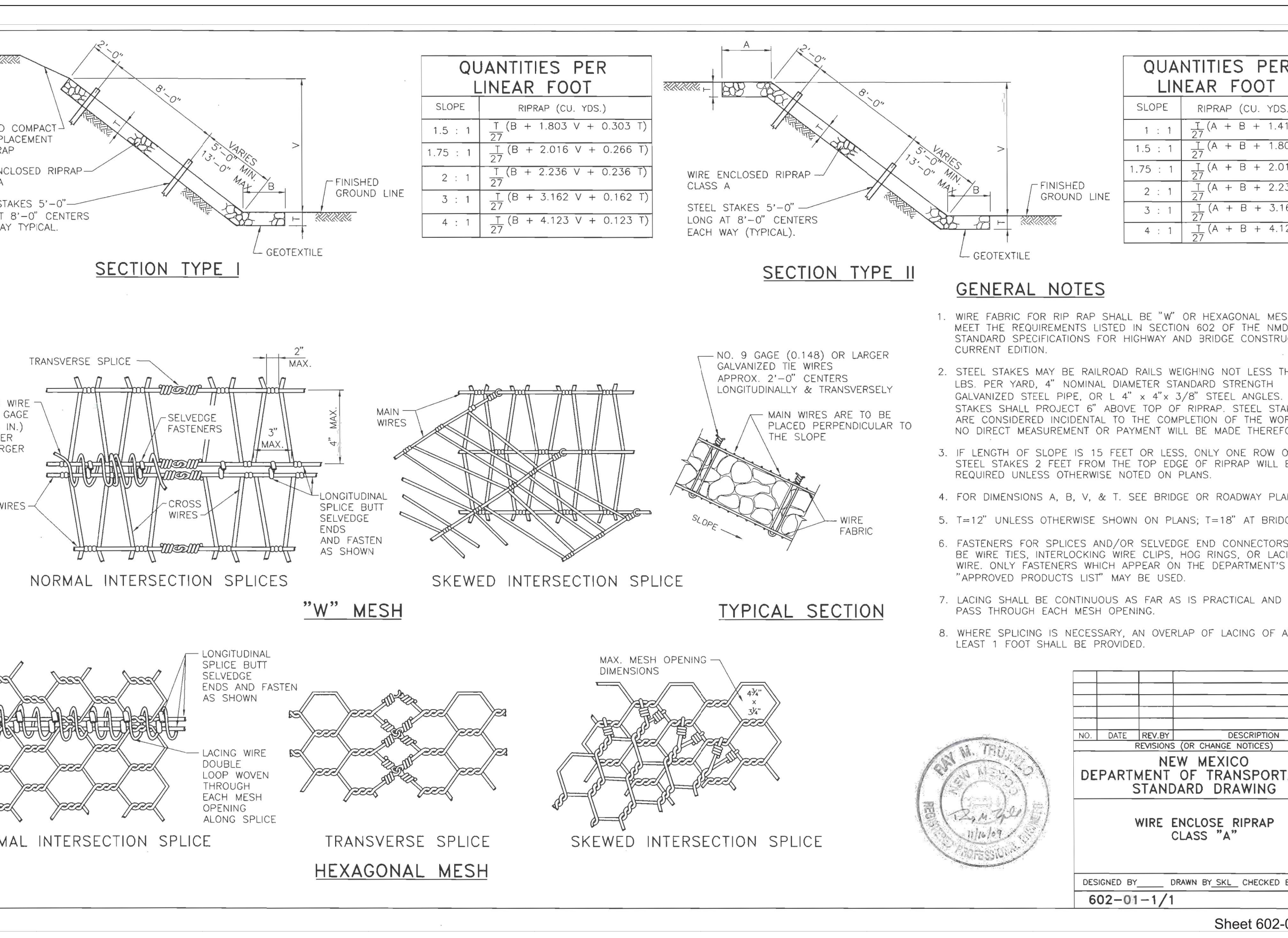
Sheet 603-04



Sheet 603-04



Sheet 603-03



Sheet 602-01

**AYER DESIGN GROUP**  
 PROFESSIONAL ENGINEERING SERVICES  
 215 Johnston Street  
 Rock Hill, SC 29730  
 Phone: 803-328-5858

**NEW MEXICO**  
 DEPARTMENT OF TRANSPORTATION  
 STANDARD DRAWING  
 TEMPORARY EROSION & SEDIMENT CONTROL MEASURES  
 SILT FENCE  
 APPROVED: 11/23/09  
 DESIGNED BY: DRAWN BY: CHECKED BY: DATE: 603-01-3/7

Sheet 603-03

**BIRKIE AYER JR.**  
 NEW MEXICO  
 25848  
 Professional Engineer  
 Bill Ayer

PROJECT NAME:  
**LEXUS OF ALBUQUERQUE**

4821 PAN AMERICAN FWY.  
 ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**EROSION CONTROL DETAILS**

PROJECT # 2021-12  
 DRAWN BY CC  
 CHECKED BY BA

NO	ISSUE/REVISION	DATE
1	FOR PERMIT	6/23/22
2	PERMIT REVISIONS	10/31/22
3	PERMIT REVISIONS	12/16/22
4	CLIENT CHANGES	12/30/22
5	NMDDT REVISIONS	2/21/23
6	PERMIT REVISIONS	3/10/23

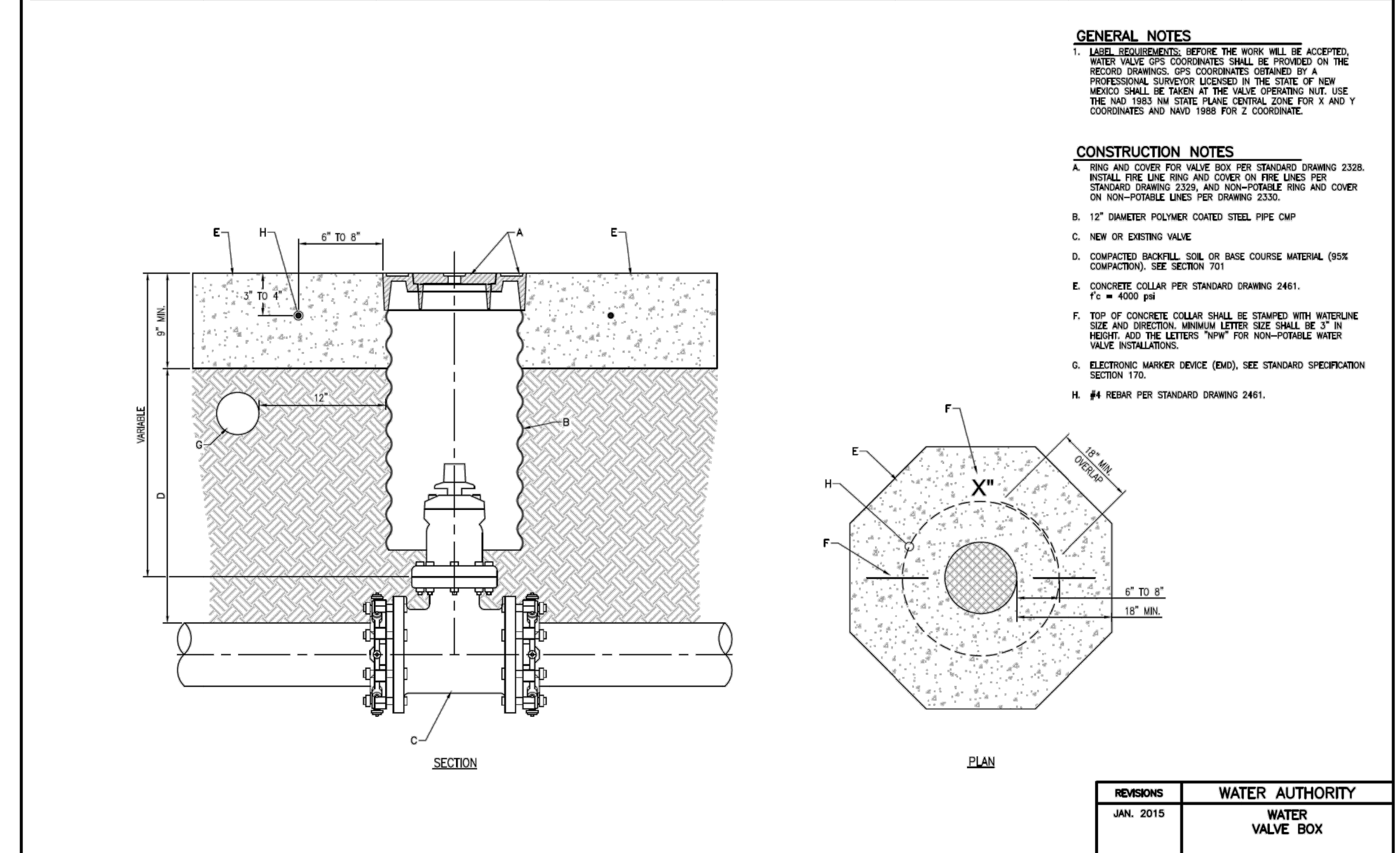
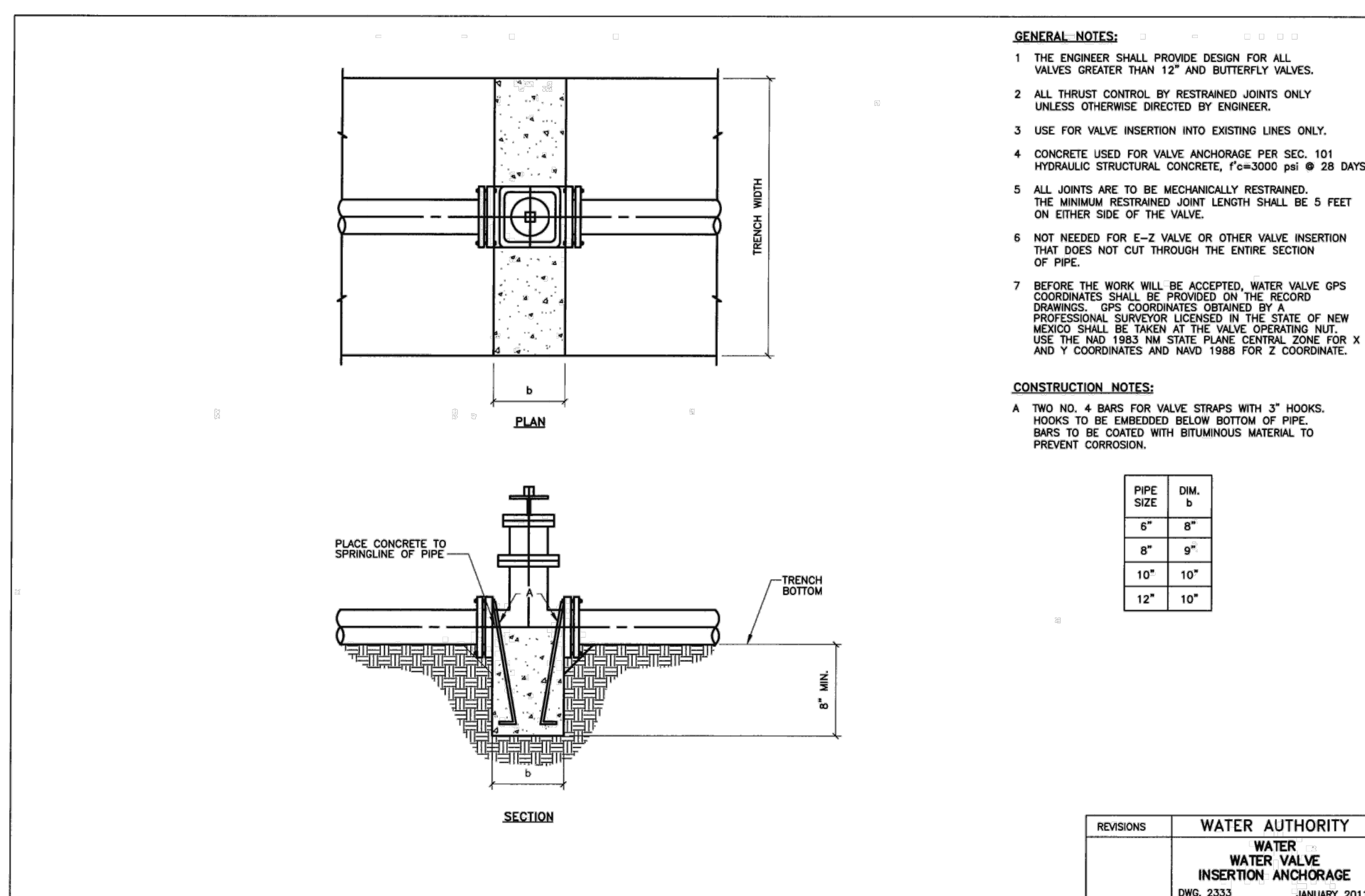
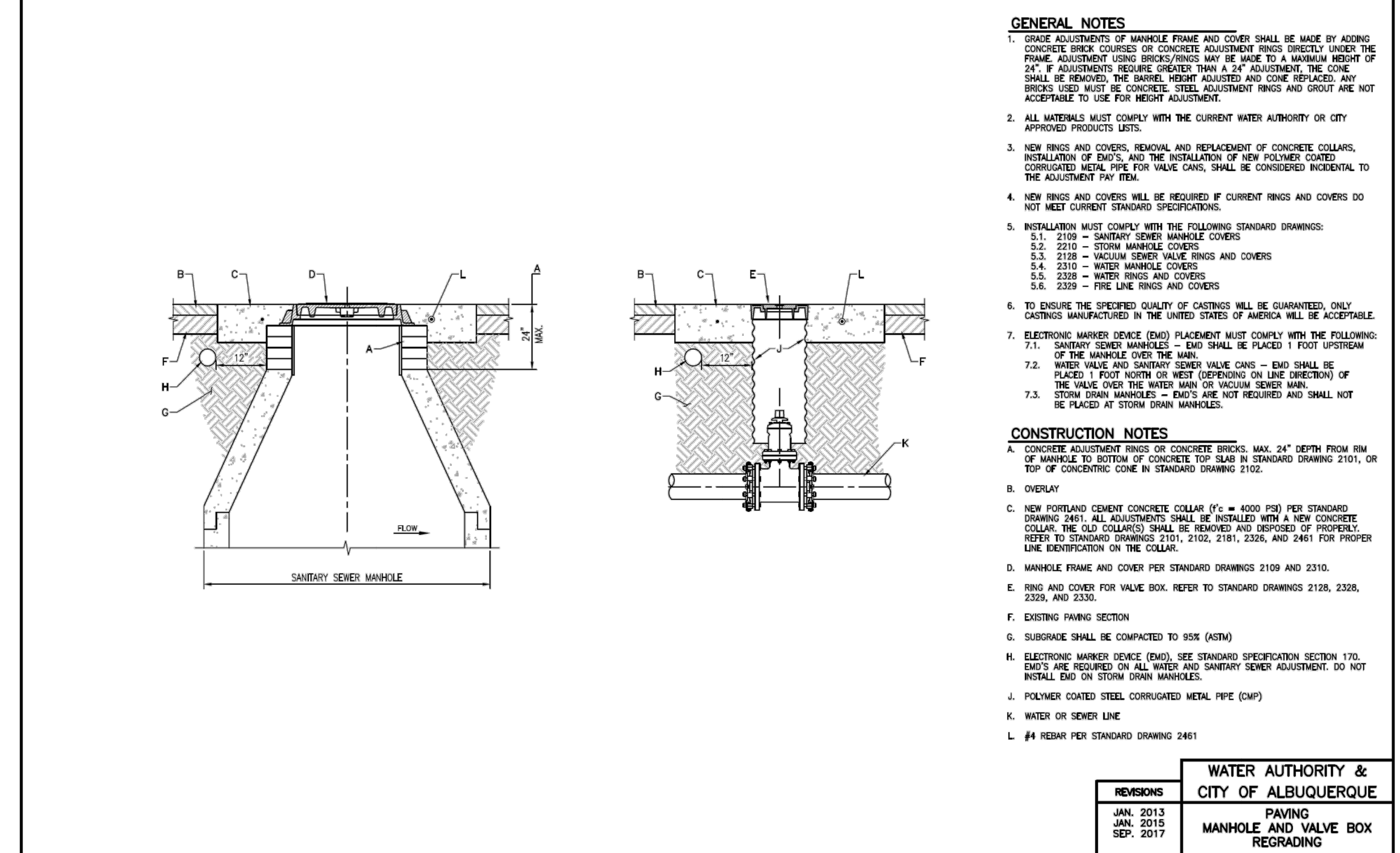
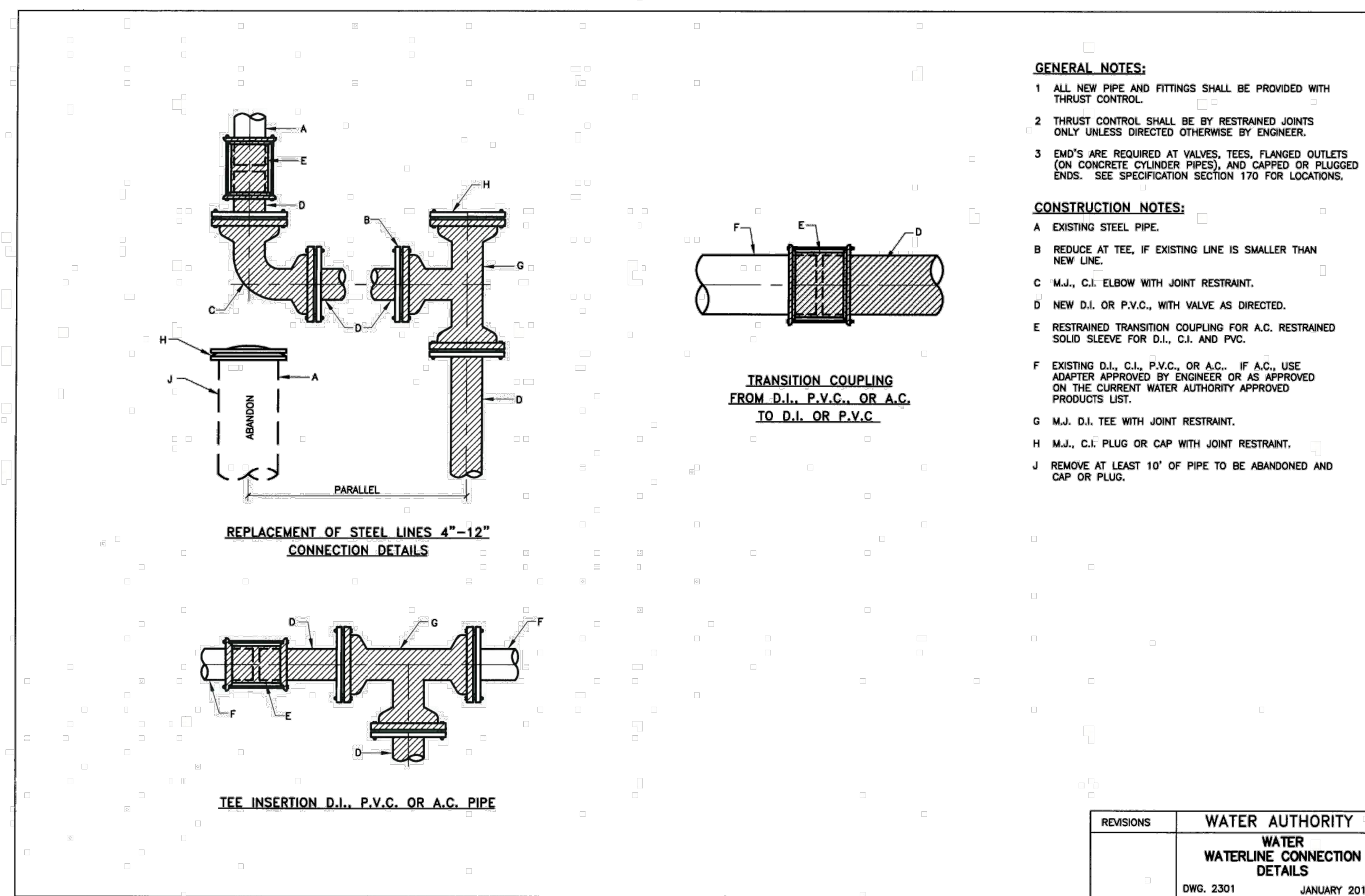
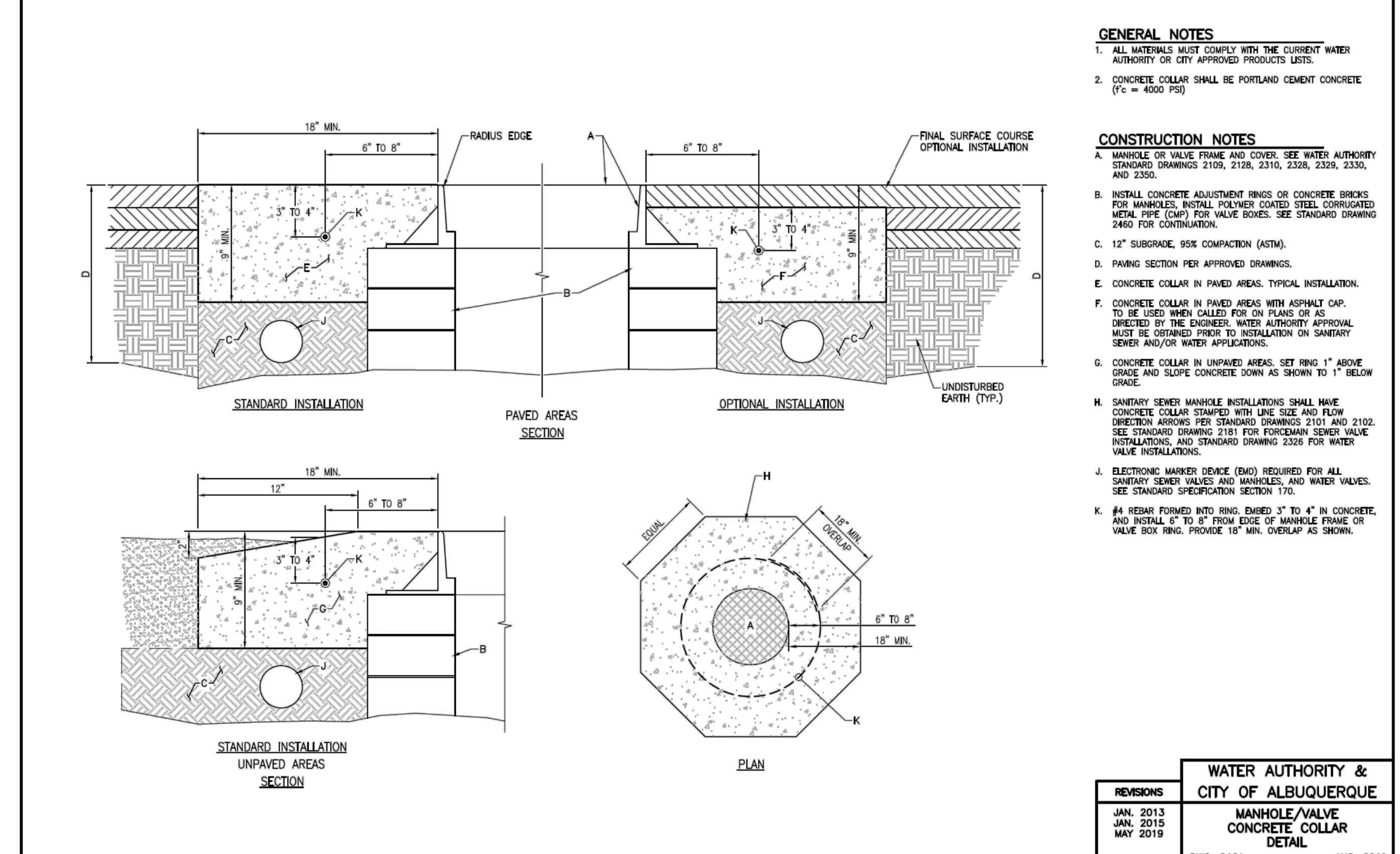
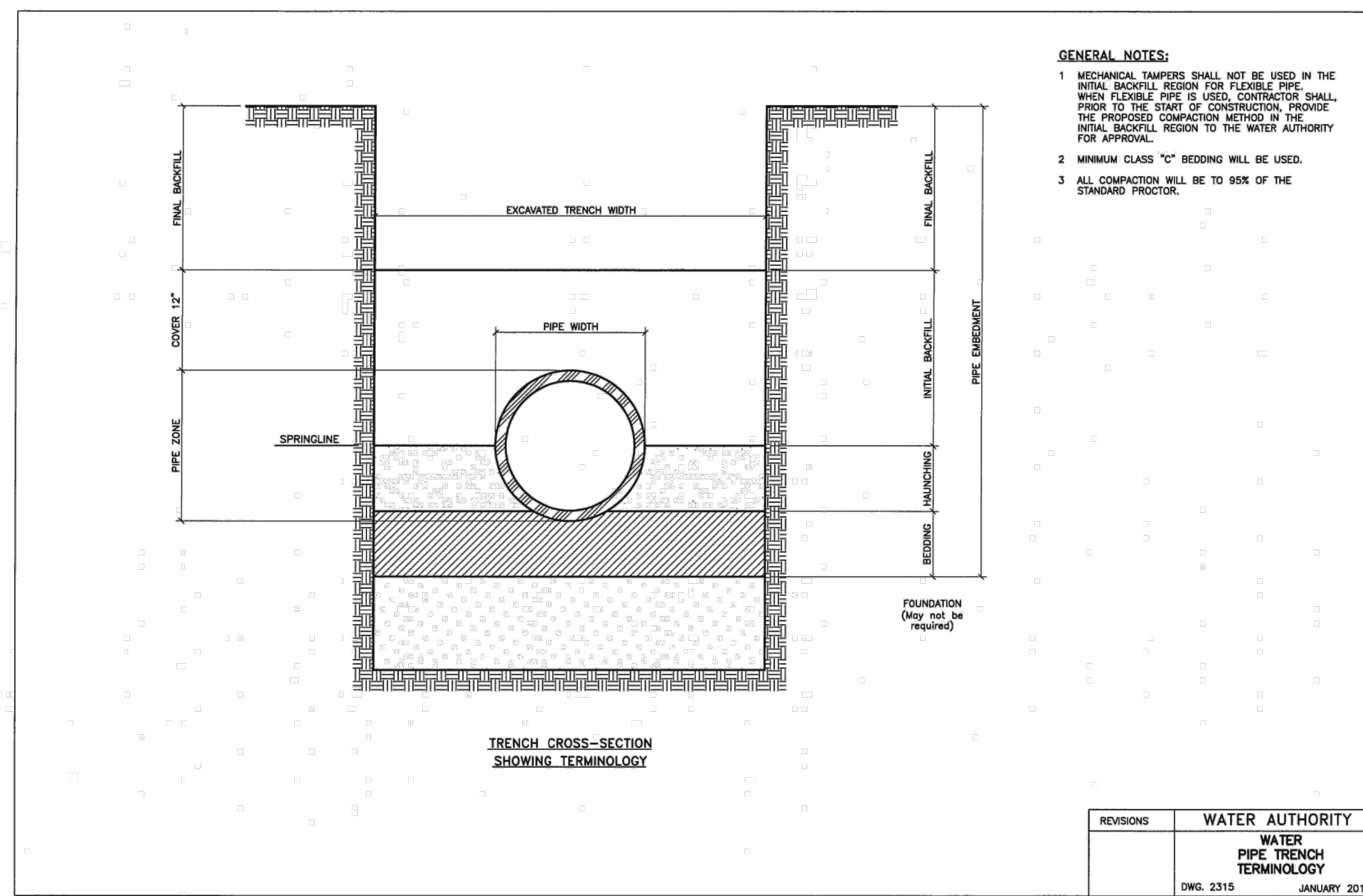
**NEW MEXICO**  
 DEPARTMENT OF TRANSPORTATION  
 STANDARD DRAWING  
 WIRE ENCLOSED RIPRAP CLASS "A"  
 APPROVED: 11/23/09  
 DESIGNED BY: DRAWN BY: CHECKED BY: DATE: 602-01-1/1

Sheet 602-01

Sheet 602-01

**C08.0**





**AYER DESIGN GROUP**  
 PROFESSIONAL ENGINEERING SERVICES  
 215 Johnston Street  
 Rock Hill, SC 29730  
 Phone: 803-328-5858

**BIRKIE AYER JR.**  
 NEW MEXICO  
 25848  
 PROFESSIONAL ENGINEER  
*Birkie Ayer*  
 3-10-2023

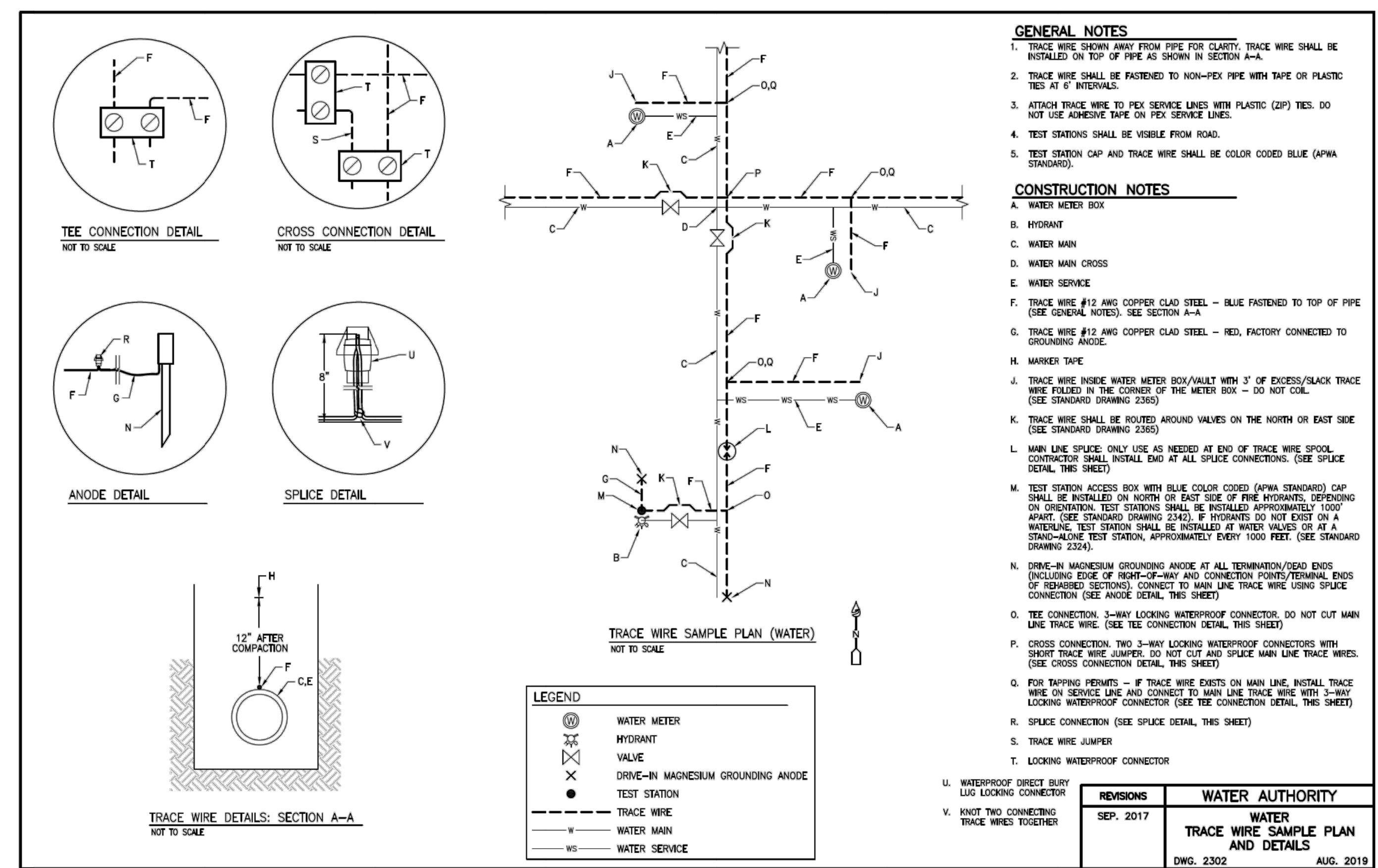
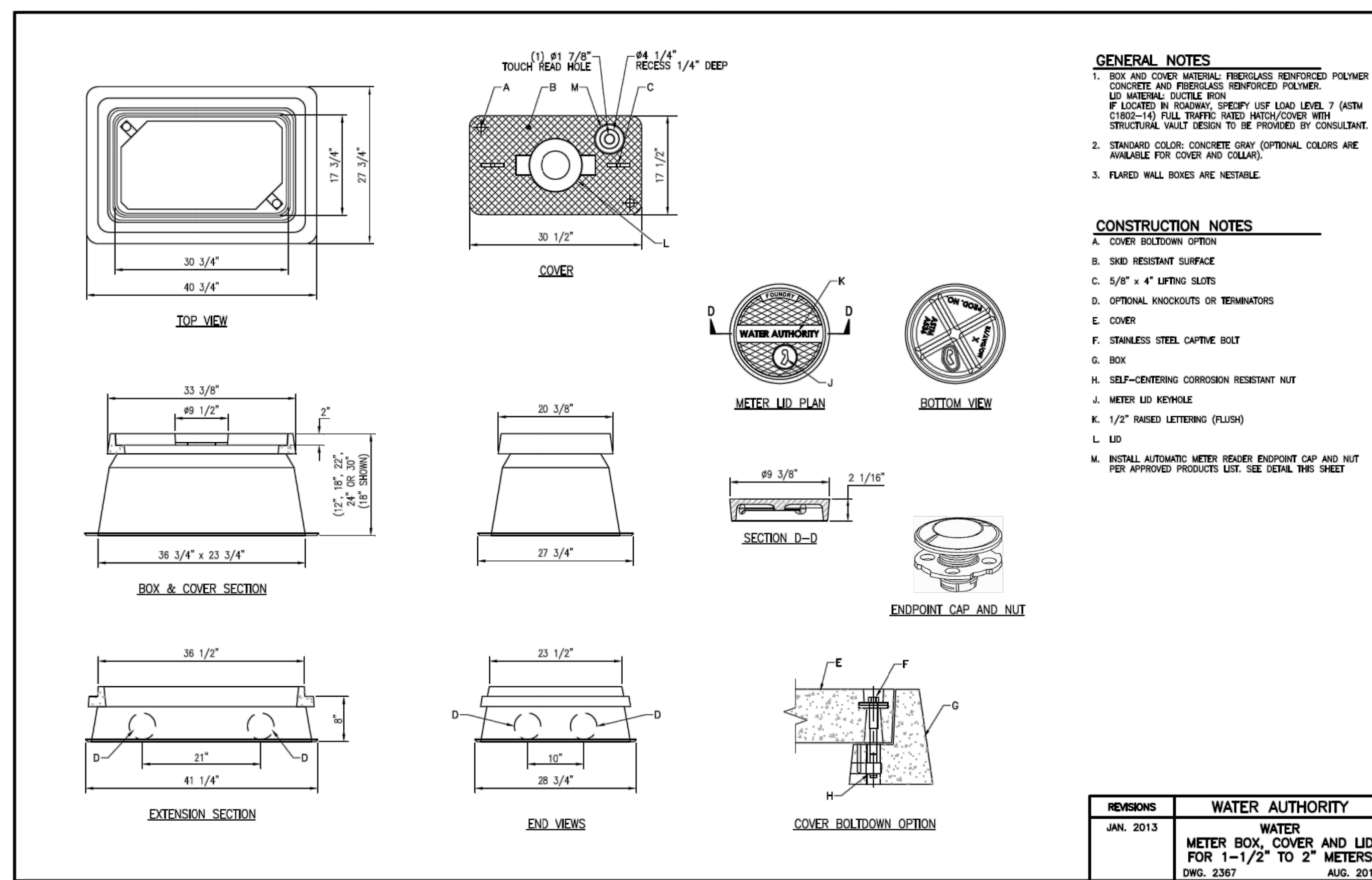
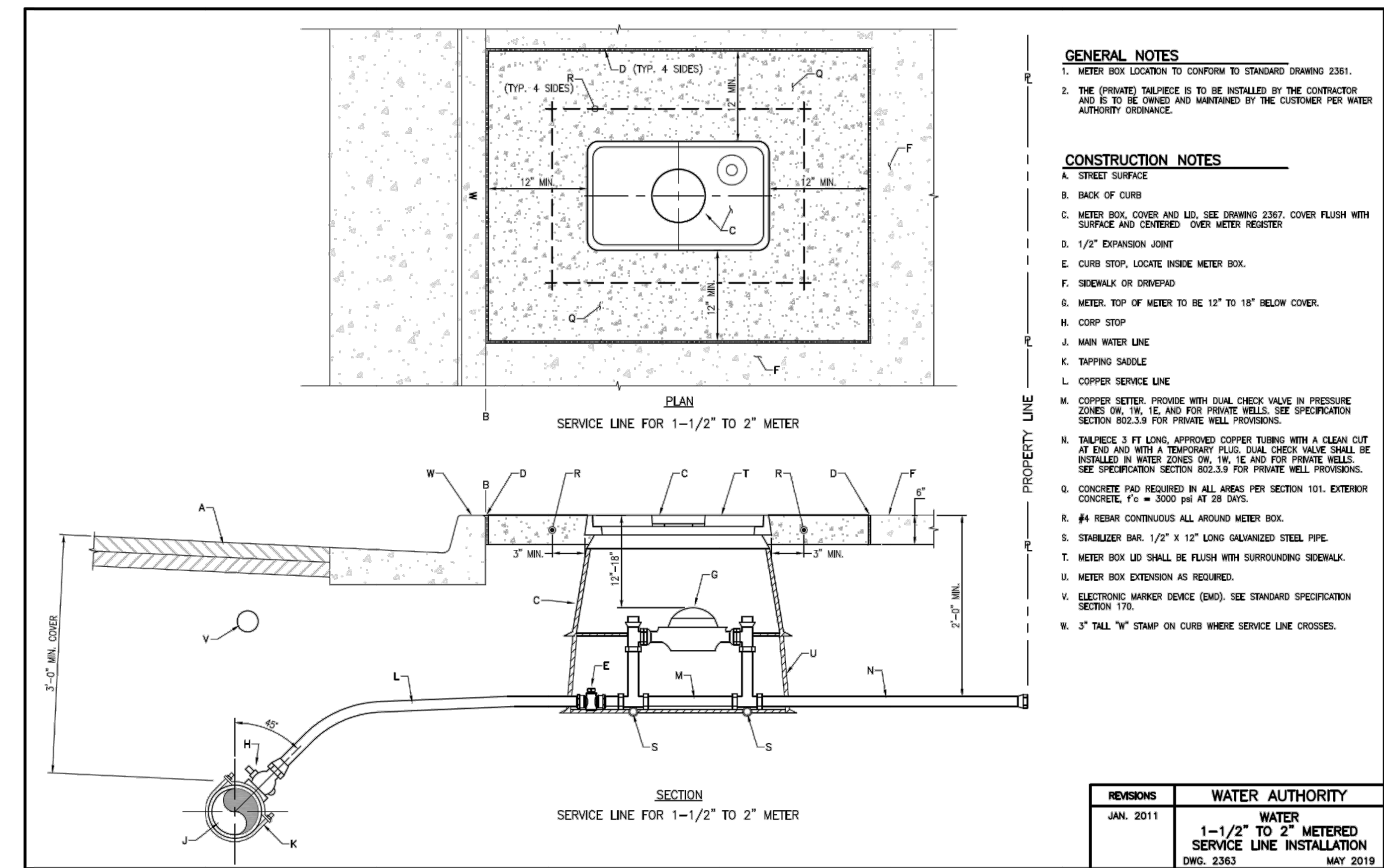
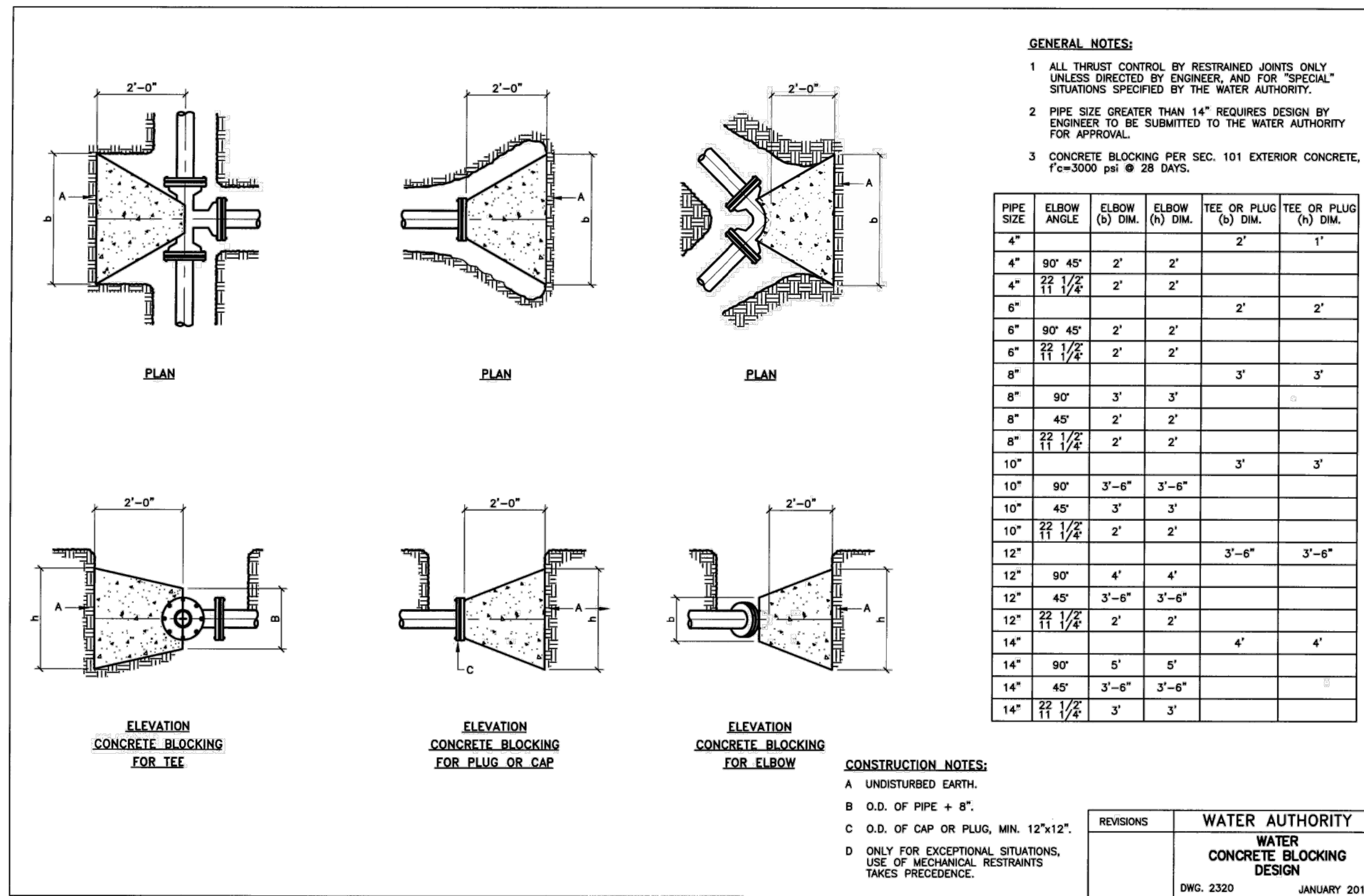
PROJECT NAME:  
**LEXUS OF ALBUQUERQUE**  
 4821 PAN AMERICAN FWY.  
 ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**UTILITY DETAILS**

PROJECT #	2021-12	
DRAWN BY	CC	
CHECKED BY	BA	
NO	ISSUE/REVISION	DATE
	FOR PERMIT	6/23/22
#1	PERMIT REVISIONS	7/1/22
#2	PERMIT REVISIONS	10/31/22
#3	PERMIT REVISIONS	12/16/22
#8	CLIENT CHANGES	12/30/22
#9	NMDOT REVISIONS	2/21/23
#10	PERMIT REVISIONS	3/10/23

**C9.0**





**AYER DESIGN GROUP**  
 PROFESSIONAL ENGINEERING SERVICES  
 215 Johnston Street  
 Rock Hill, SC 29730  
 Phone: 803-328-5858

**BIRKIE AYER JR.**  
 NEW MEXICO  
 25848  
 PROFESSIONAL ENGINEER  
*Birkie Ayer*  
 3-10-2023

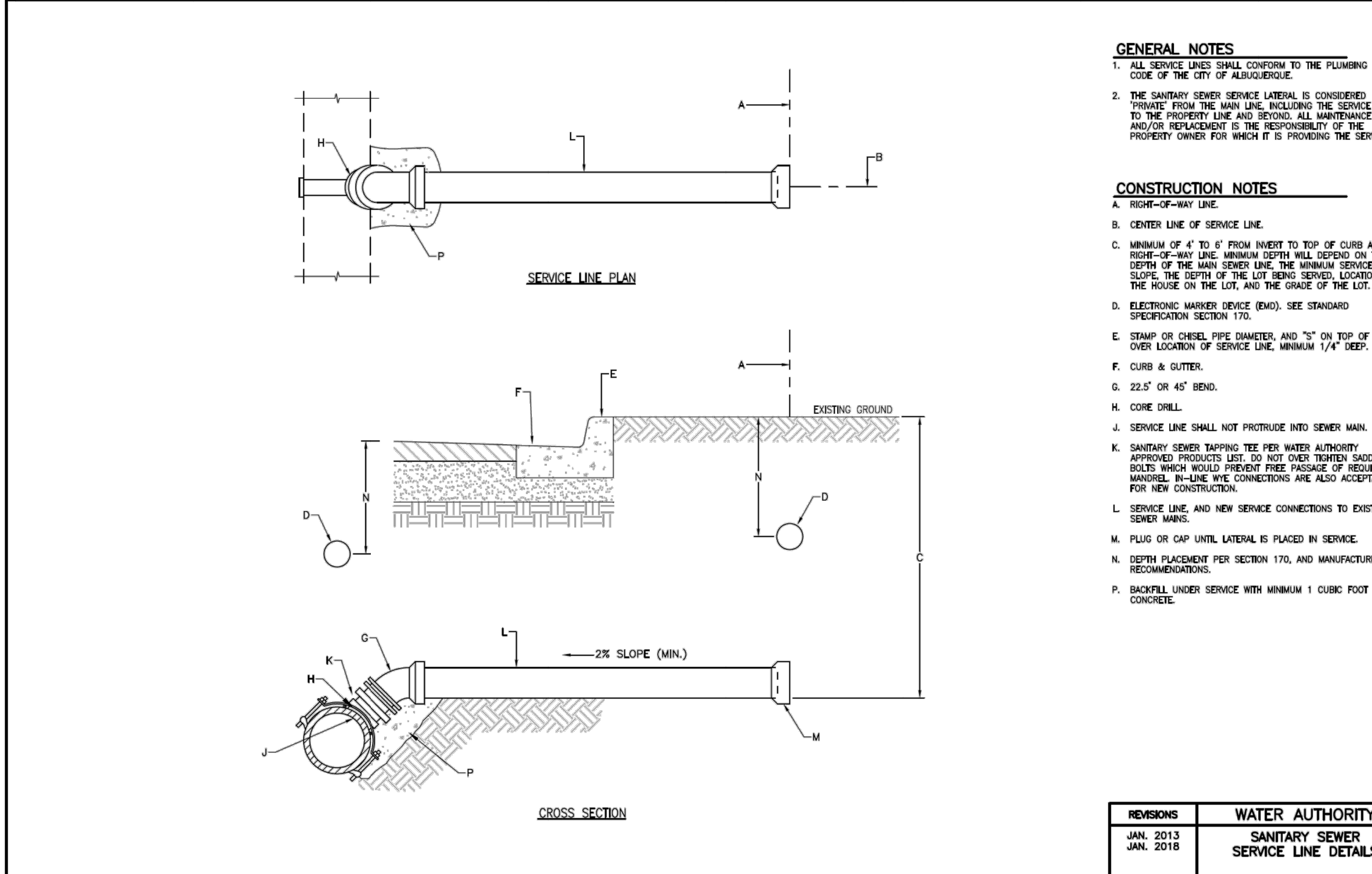
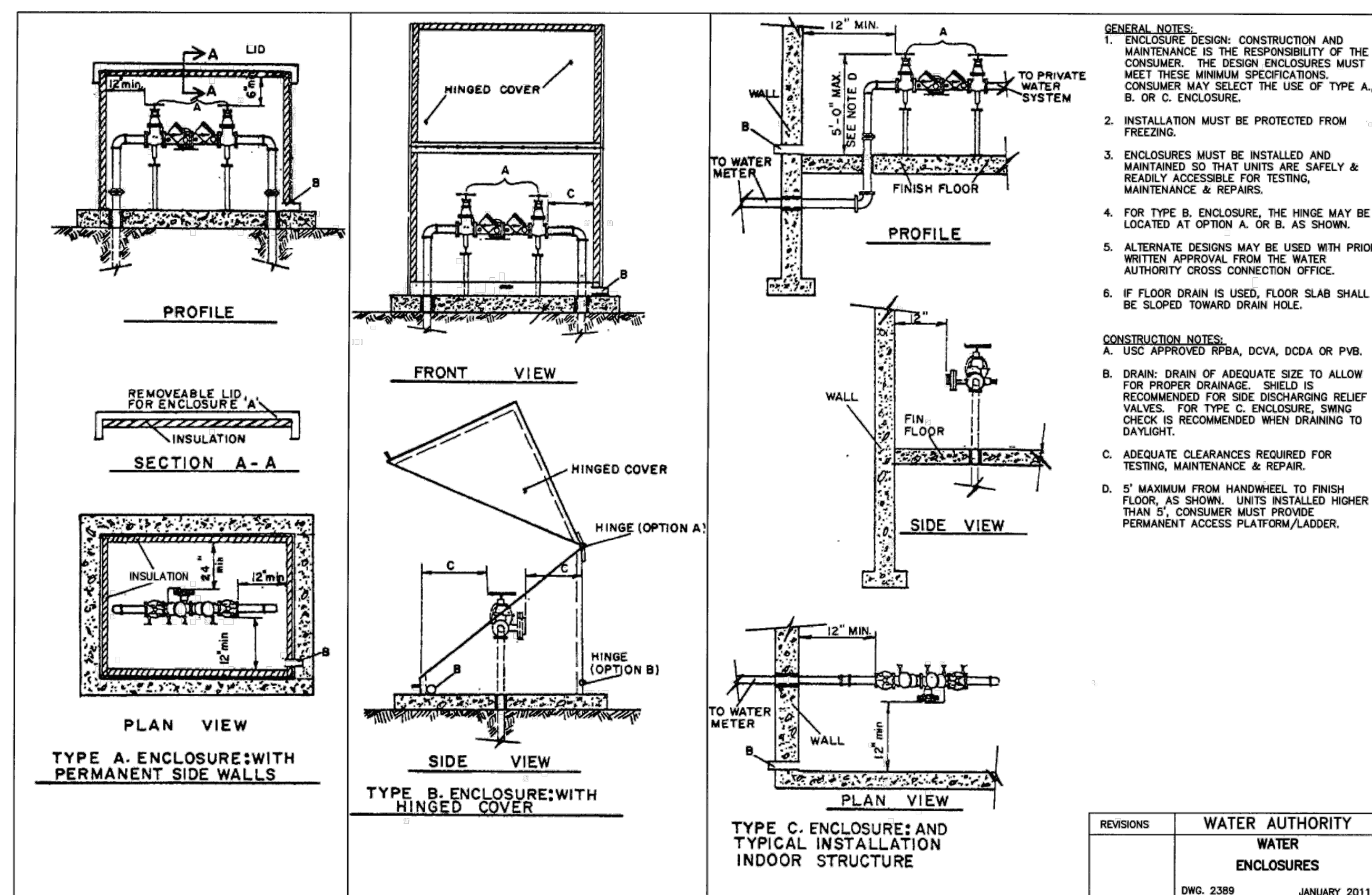
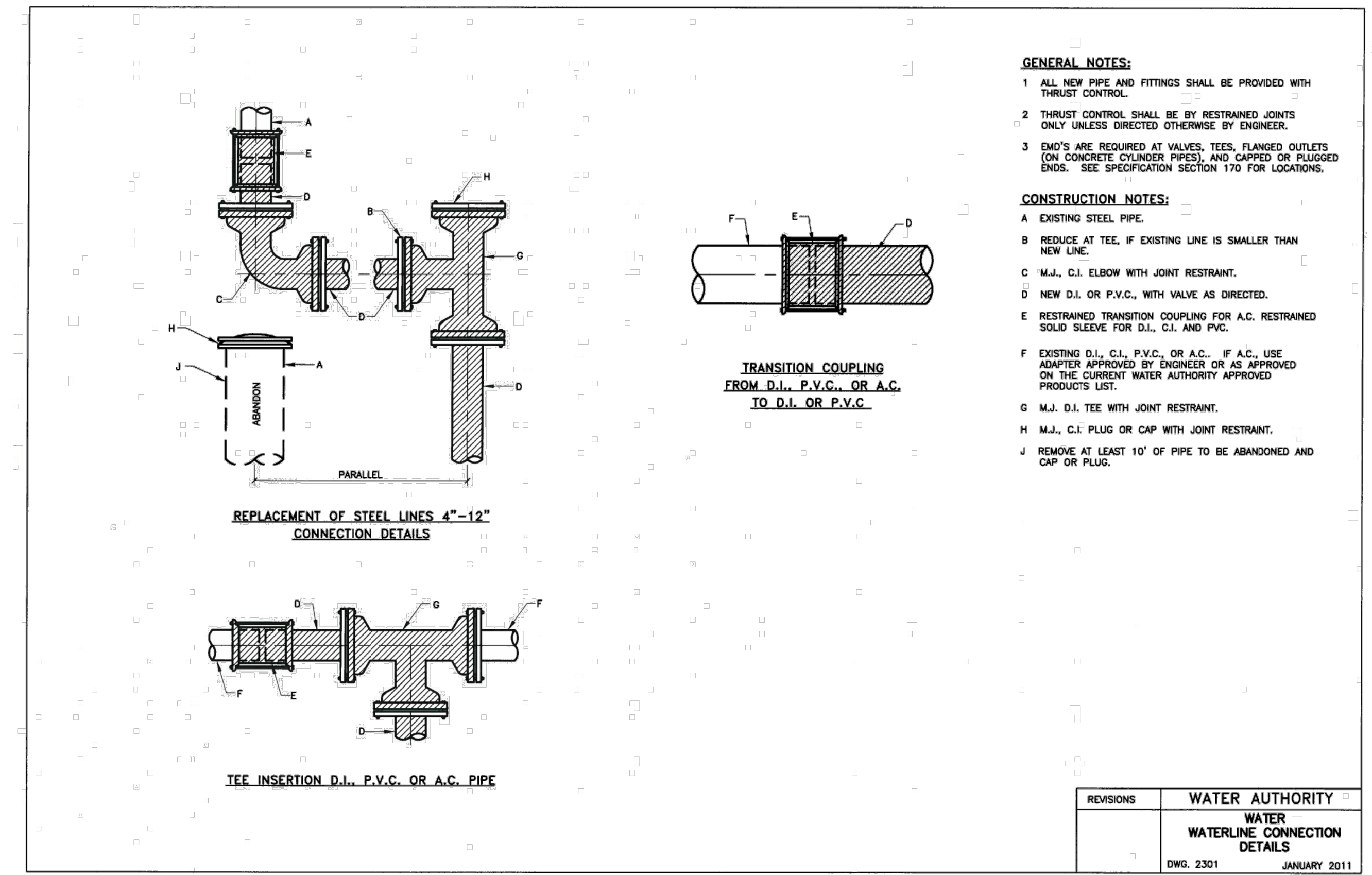
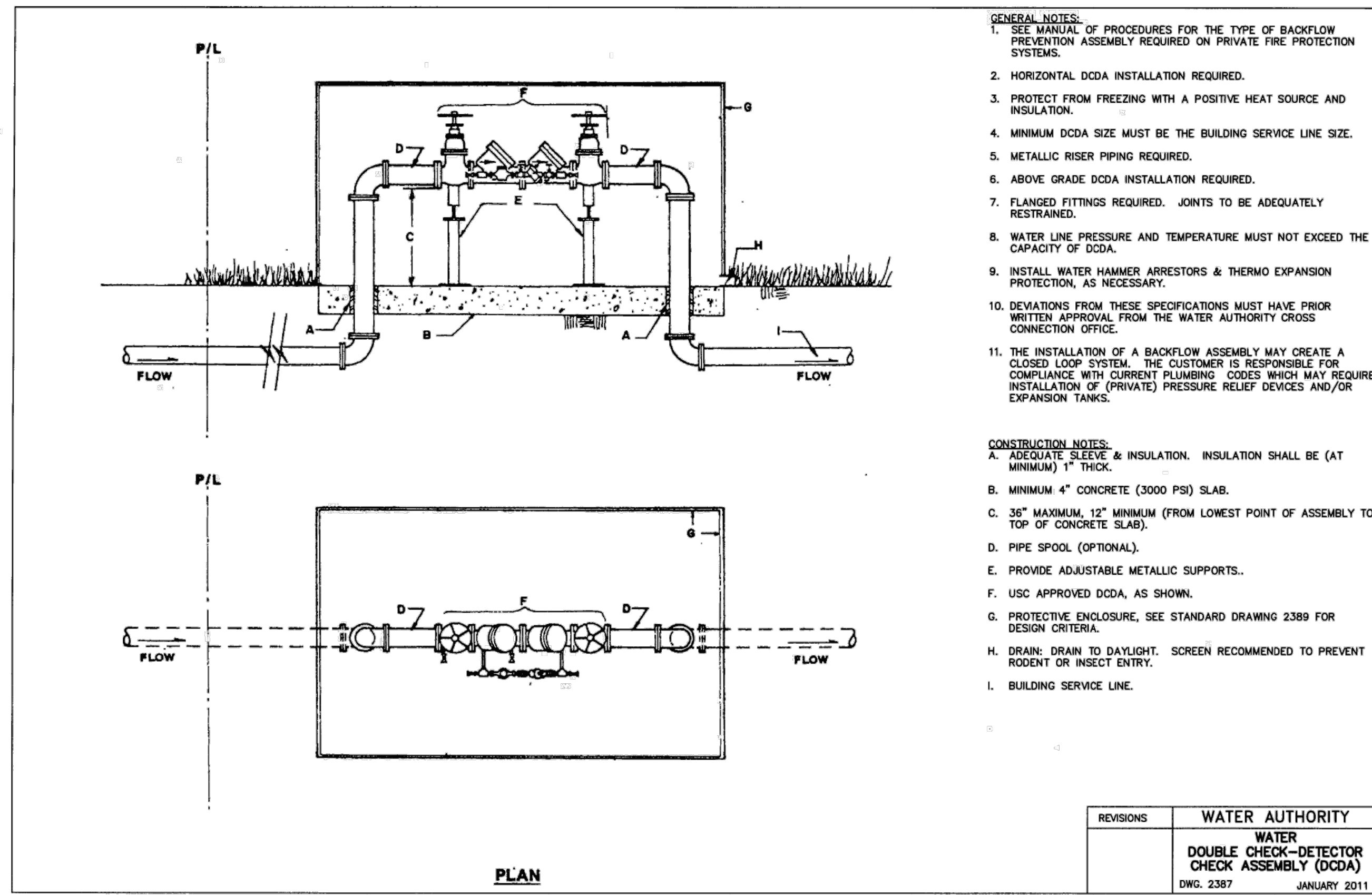
PROJECT NAME:  
**LEXUS OF ALBUQUERQUE**  
 4821 PAN AMERICAN FWY.  
 ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**UTILITY DETAILS**

PROJECT #	2021-12	
DRAWN BY	CC	
CHECKED BY	BA	
NO.	ISSUE/REVISION	DATE
	FOR PERMIT	6/23/22
#1	PERMIT REVISIONS	7/1/22
#2	PERMIT REVISIONS	10/31/22
#3	PERMIT REVISIONS	12/16/22
#8	CLIENT CHANGES	12/30/22
#9	NMDOT REVISIONS	2/21/23
#10	PERMIT REVISIONS	3/10/23

**C9.1**





**AYER DESIGN GROUP**  
 PROFESSIONAL ENGINEERING SERVICES  
 215 Johnston Street  
 Rock Hill, SC 29730  
 Phone: 803-328-5858



PROJECT NAME:

**LEXUS OF ALBUQUERQUE**

4821 PAN AMERICAN FWY.  
 ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**UTILITY DETAILS**

PROJECT #	2021-12	
DRAWN BY	CC	
CHECKED BY	BA	
NO	ISSUE/REVISION	DATE
	FOR PERMIT	6/23/22
#1	PERMIT REVISIONS	7/1/22
#2	PERMIT REVISIONS	10/31/22
#3	PERMIT REVISIONS	12/16/22
#8	CLIENT CHANGES	12/30/22
#9	NMDOT REVISIONS	2/21/23
#10	PERMIT REVISIONS	3/10/23

**C9.2**



**PART 1 GENERAL**

1.01 Scope  
The work covered by this Specification consists of furnishing all labor, tools, materials, supervision, and equipment in performing all operations in connection with constructing the site infrastructure as specified herein or shown on Drawings.

1.02 Protection of Facilities  
Existing utility lines, sidewalks, fencing, pavement or other structures shown on the Drawings, as shown to the Contractor or mentioned in the Plans and Specifications shall be kept free of damage by the Contractor's operations. It shall be the responsibility of the Contractor to verify the existence and location of all underground utilities on the site and insure that they are adequately marked to prevent damage.

**PART 2 CLEARING AND GRUBBING**

2.01 General  
All vegetation, trees, stumps, roots, rubbish, trash, and other debris shall be cleared and grubbed within the clearing limits of all areas to receive structures or utility lines before beginning grading operations. All material from clearing and grubbing operations shall be removed from the site in conformance to applicable Federal, State and Local laws and regulations.

**2.02 Stripping and Topsoiling**

Areas to be graded shall be stripped of topsoil. All topsoil shall be stripped and spread in non-critical grading areas. Topsoil shall be stockpiled for use on finished grades or other areas graded or disturbed by Contractor.

**PART 3 EROSION CONTROL**

3.01 General  
Soil erosion and sediment control shall be provided by the Contractor at his expense for all areas of the site which are disturbed by construction operations throughout the life of the project. Control measures shall be in place prior to any land disturbing activity and expanded as needed during the project. Maintenance of these facilities shall be continuous by the Contractor until the disturbed area is protected by ground cover (Final Stabilization).

**PART 4 STORM DRAINAGE SYSTEM**

4.01 General  
Each pipe shall be laid on a firm bed, true to line and grade, and in such manner as to form a close concentric joint with the adjoining pipe and to prevent sudden offsets of the flow line or disturbance of the line and grade. All pipes shall be laid with the bell end pointing up grade. Each section of storm pipe installation shall begin at the lowest point and must be laid continuously between manholes, headwalls, or to completion. Where pipe is to be laid in material of poor supporting value, the unsuitable material shall be replaced with a layer of No. 57 crushed stone.

**4.02 Products**

Reinforced concrete pipe (RCP) shall comply with the requirements of ASTM Designation, C78, Class III or Class IV as indicated on the Drawings. Joints shall be tongue-and-groove joints with Butyl rubber mastic sealant, which shall comply with Federal Specification SS-S-210. All pipes shall be circular with circular reinforcement. Precast drainage structures are not allowed without prior written approval. Waffle or knock-out boxes are never to be used.

**PART 5 PARKING LOT CONSTRUCTION**

5.01 General  
All lots shall be graded as shown on the Drawings. Sub-grade shall be sloped for effective drainage at all times. Equipment ruts shall be leveled at the end of each work day. Water-holding depressions shall not be left in grading areas overnight. All sub-grade shall be proof rolled with a fully loaded tandem, rubber-tired roller or similar approved equipment. The proof roller shall make at least two (2) passes over each location. Any areas which wave, rut or deflect excessively and continue to do so after several passes of the proof roller shall be undercut to firmer soils. Graded areas shall be fine graded to spot elevations and contours shown on Drawings for sub-grade after allowances made for base and pavement thickness. Sidewalks shall be to a thickness as shown on the standard detail and constructed on an adequately graded base. Sub-grade shall be compacted to 95 % SPD. The surface of the sidewalk shall be steel trowel and light broom finished and cured with an acceptable curing compound. The light broom finish shall have the brush marks perpendicular to the sidewalk line. Tooled joints shall be provided at intervals of not less than five (5) feet and expansion joints at intervals of not less than forty-five (45) feet. The sidewalk shall have a lateral slope of one-quarter inch (1/4") per foot.

**5.02 Products**

Concrete curb and gutter, sidewalk, and driveways shall be poured with minimum compressive strength of 3000 PSI 28 days, four inch slump per ASTM C39, air content of 3%-6 %. Location, width and thickness shall be as indicated on the Drawings. Aggregate base course, binder and surface course shall be installed and compacted in accordance with NM DOT Specifications. Type and thickness shall be as indicated on the drawings.

**PART 6 GRADING AND EXCAVATION**

6.01 General  
After clearing, grubbing and stripping have been completed, excavation for buildings, parking lots, drainage ditches and all other construction, shall be performed to the lines and grades indicated by the Drawings. Site excavation shall be unclassified regardless of the nature of material encountered. When material encountered within the limits of the work is considered unsuitable by the Engineer, such material shall be excavated below the grades shown on the Drawings or as directed by the Engineer and shall be replaced with suitable material. Excavation materials which are not required for fills shall be considered as waste and shall be disposed of off-site in an approved land fill. The excavations for footings and slabs shall be carried to the exact grades as shown on the Drawings. Undercutting will not be permitted. Should the Contractor excavate below the proper grade under concrete slabs or footings, earth fill will not be permitted, and concrete shall be poured to the bottom of excavation. No extra compensation will be granted the Contractor for extra concrete used for re-fill. Embankment and fill compaction shall be accomplished by thoroughly compacting each layer with sheeps foot rollers, pneumatic rollers, and mechanical tampers in places inaccessible to rollers, or other equipment. When material has too much moisture, grading operations shall be limited to drying soil by spreading and turning for drying by the sun and aeration. When material is dry, moisture shall be added by sprinkling by approved means.

All embankments and fills shall be compacted to the following percentages of the maximum dry density and within the following moisture range, in terms of optimum moisture as determined by the Standard Proctor Density Test, ASTM, D698.

The following table shall be used unless otherwise specified.

**TABLE OF COMPACTION AND MOISTURE**

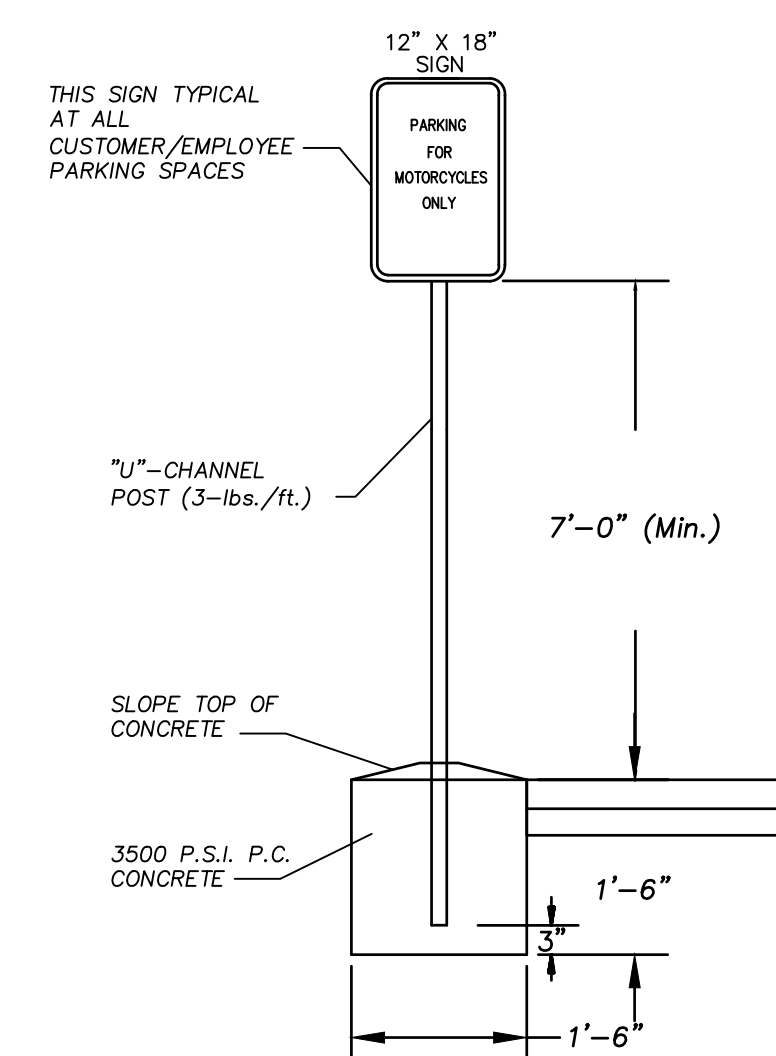
Class of Fills or Embankments	Zone	Minimum Density%	Moisture Range
Structure	Top 12-inches	98	+1 to -2
	Remainder	95	+4 to -3
Roadway	Top 30-inches	98	+1 to -2
	Remainder	95	+2 to -3
Parking Lot	Top 18-inches	98	+1 to -2
	Remainder	95	+3 to -3
Dam/Dike	All Depths	95	+4 to -3
	Common	92	+4 to -4

Class of fills or Embankments are defined as follows:

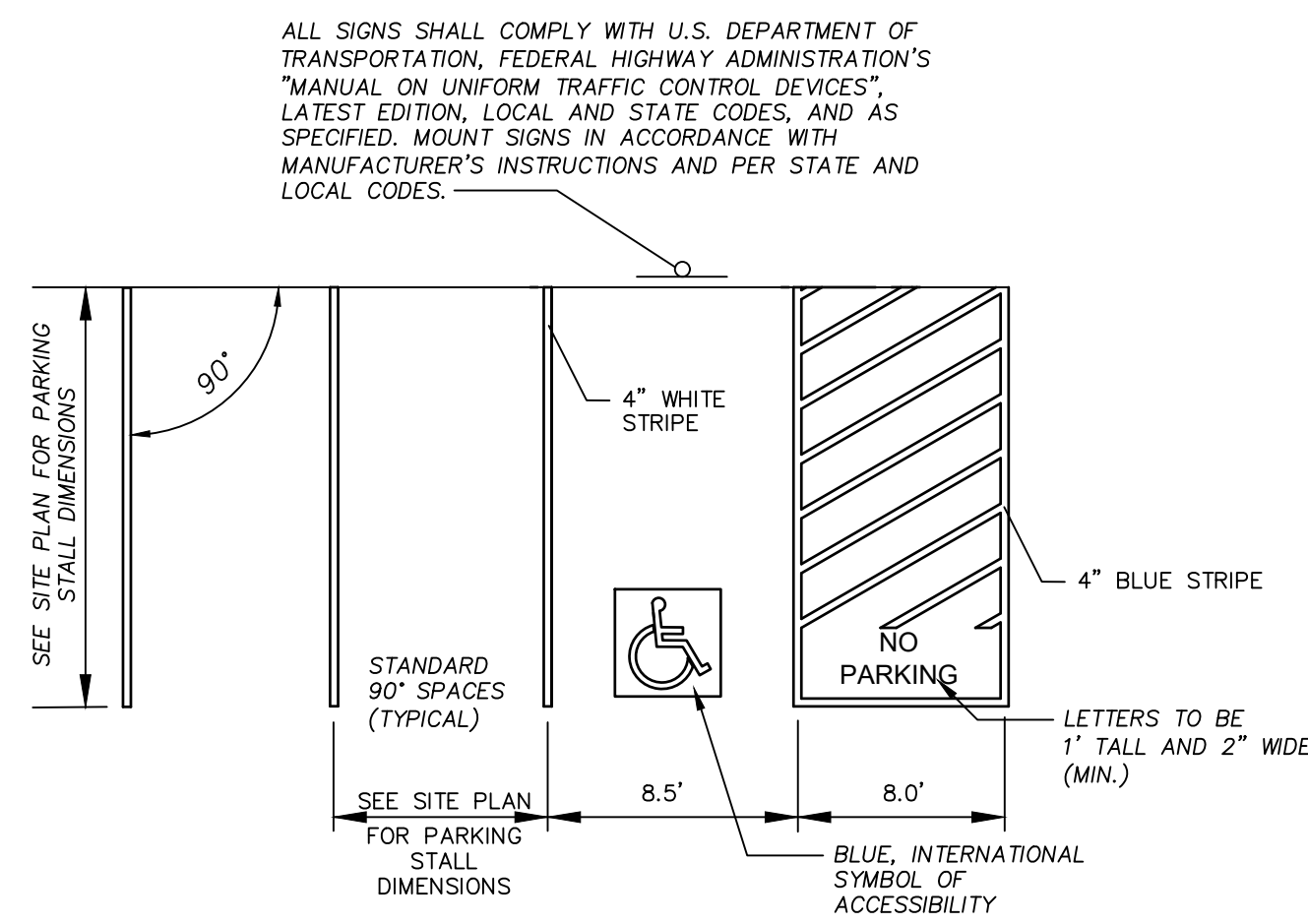
- Structure - beneath concrete slabs of buildings, pumping stations, floors, foundations, etc.
- Roadway - beneath all roads, streets, truck operations.
- Parking Lot - automobile parking lots.
- Dam/Dike - embankment for ponds, lagoons, etc.
- Common - all other embankments.

Any required borrow material shall be provided by the contractor at no additional cost to the owner. Excavated materials not suited for backfill and excavated material in excess of that needed to complete the work shall be wasted on the project site where directed by the Owner. Waste areas shall be left in a graded and sloped condition to allow natural drainage of the surrounding area.

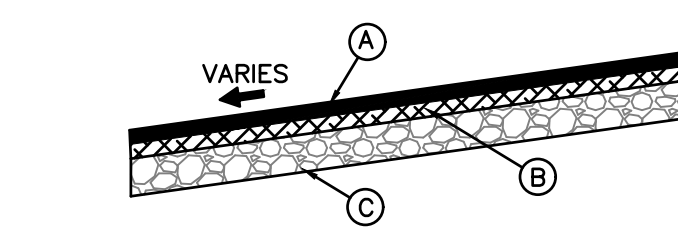
**SITE WORK SPECIFICATIONS**



**MOTORCYCLE PARKING SIGNAGE**

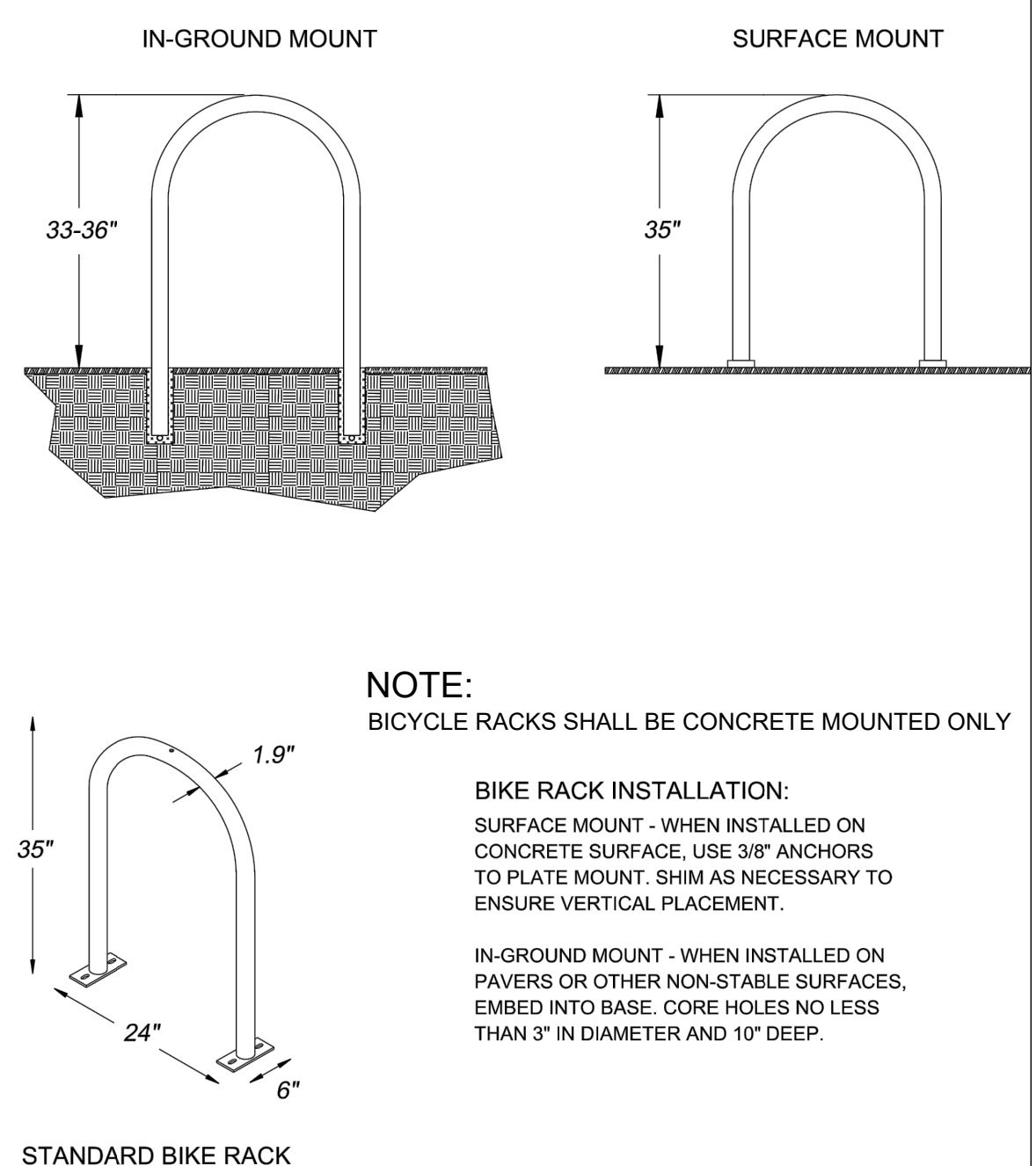


**ACCESSIBLE PAINT STRIPING**



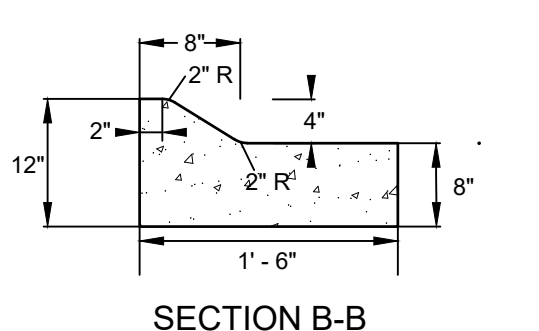
- PAVEMENT SCHEDULE BASED ON GEOTECH REPORT**
- A) 2" ASPHALTIC CONCRETE SURFACE COURSE (AC), TYPE B, PLACED AFTER ALL MANHOLE, VALVE COVERS/RINGS, AND STORMWATER RIMS/GRATES ARE SET TO GRADE
  - B) 2" ASPHALTIC CONCRETE COURSE (AC), TYPE B
  - C) 4" AGGREGATE BASE, COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.

**HEAVY DUTY ASPHALT PAVEMENT SECTION**

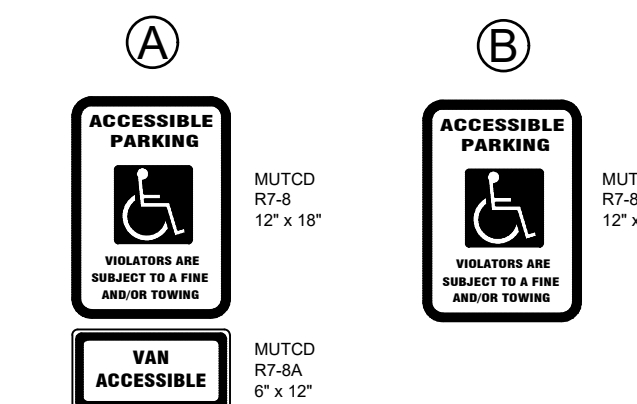
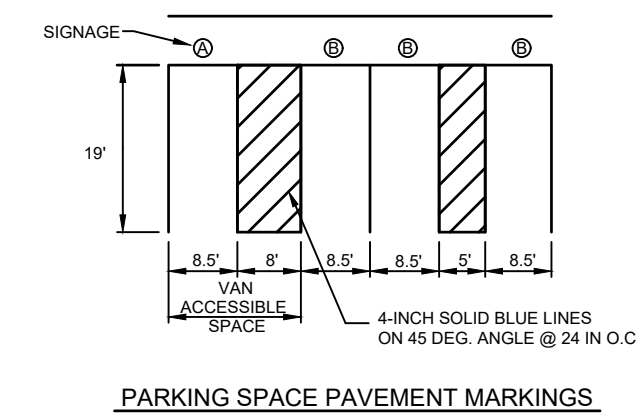


**BIKE RACK**

- GENERAL NOTES:**
- CONTRACTION JOINTS SHALL BE SPACED AT 10-FOOT INTERVALS.
  - CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS, WHERE SUCH JOINTS ARE NOT BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2\"/>

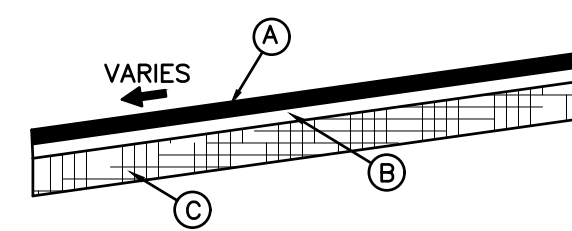


**4\"/>**



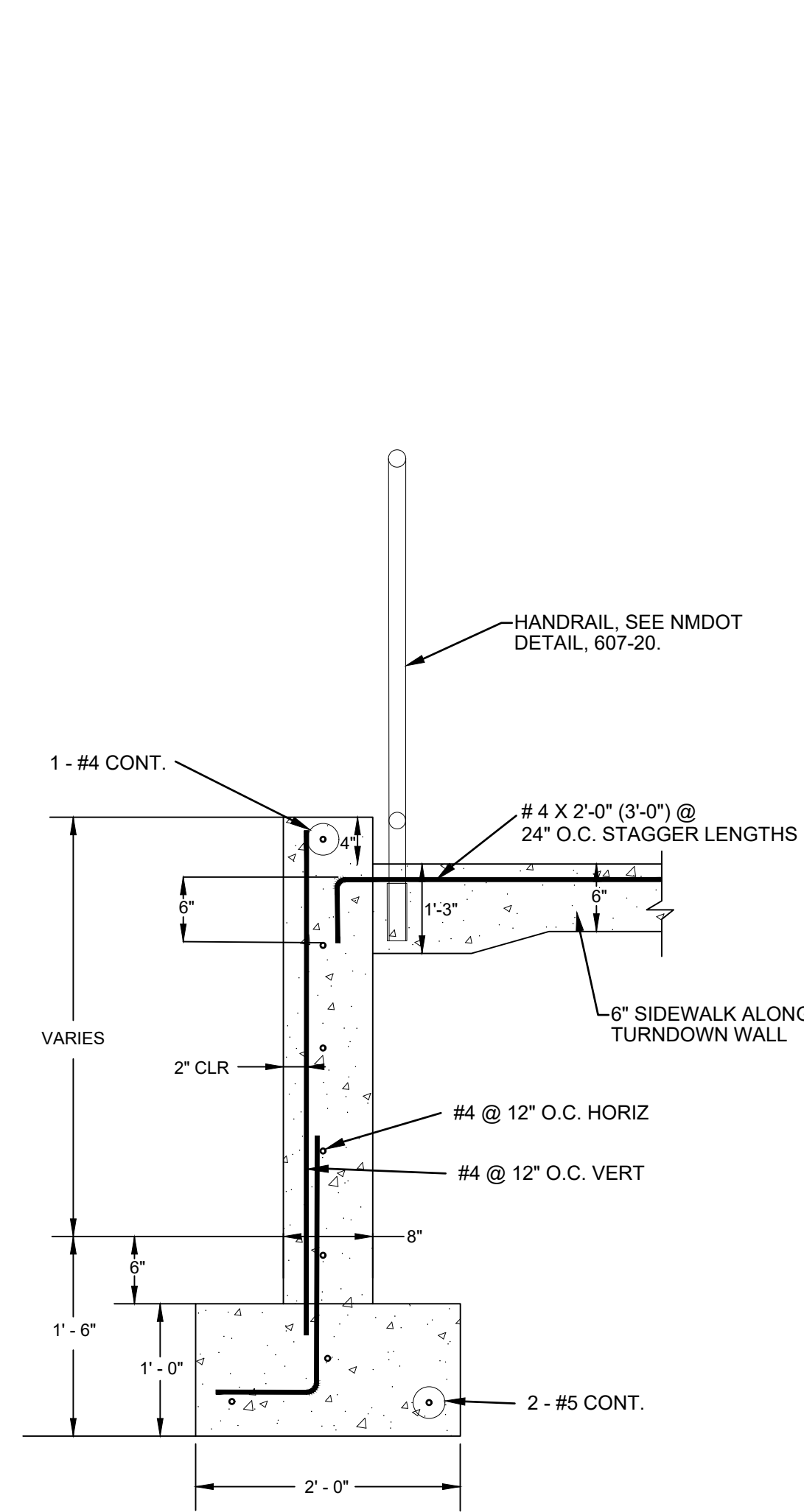
- NOTES:**
- ALL 12\"/>

**ACCESSIBLE PARKING & SIGNAGE**

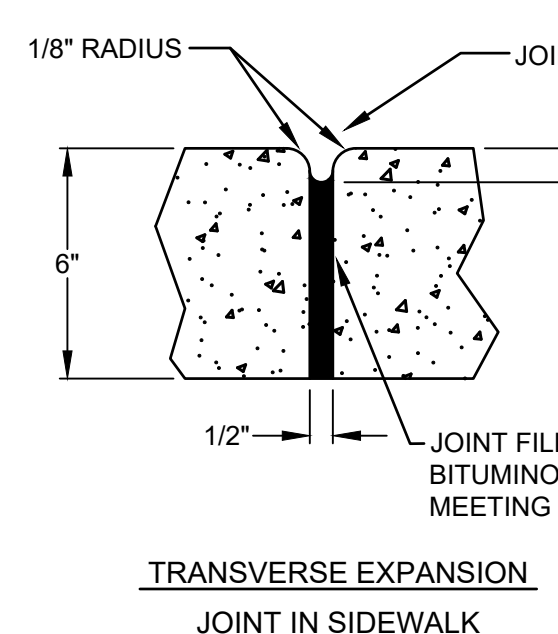
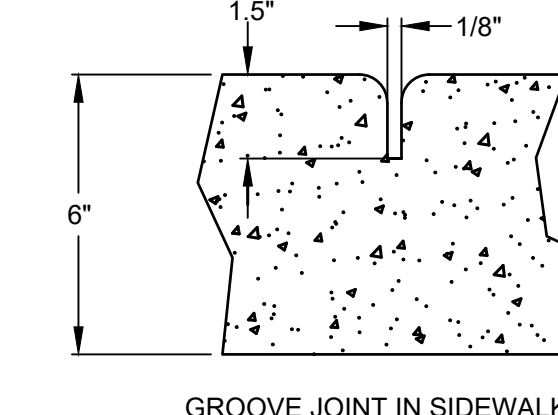


- PAVEMENT SCHEDULE BASED ON GEOTECH REPORT**
- A) 2" ASPHALTIC CONCRETE SURFACE COURSE (AC), TYPE B, PLACED AFTER ALL MANHOLE, VALVE COVERS/RINGS, AND STORMWATER RIMS/GRATES ARE SET TO GRADE
  - B) 2" ASPHALTIC CONCRETE COURSE (AC), TYPE B
  - C) COMPACTED TO MINIMUM 95% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT (+/-3%) AS DETERMINED BY ASTM D1557.

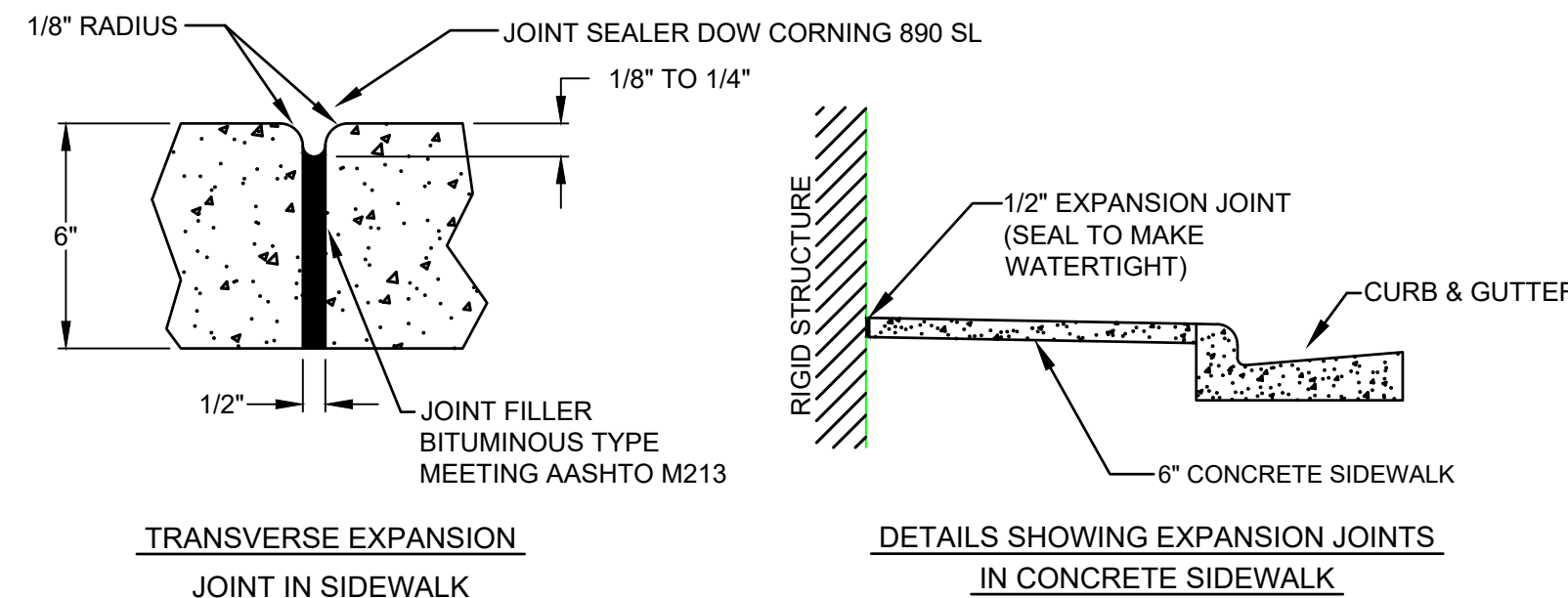
**LIGHT DUTY ASPHALT PAVEMENT SECTION**



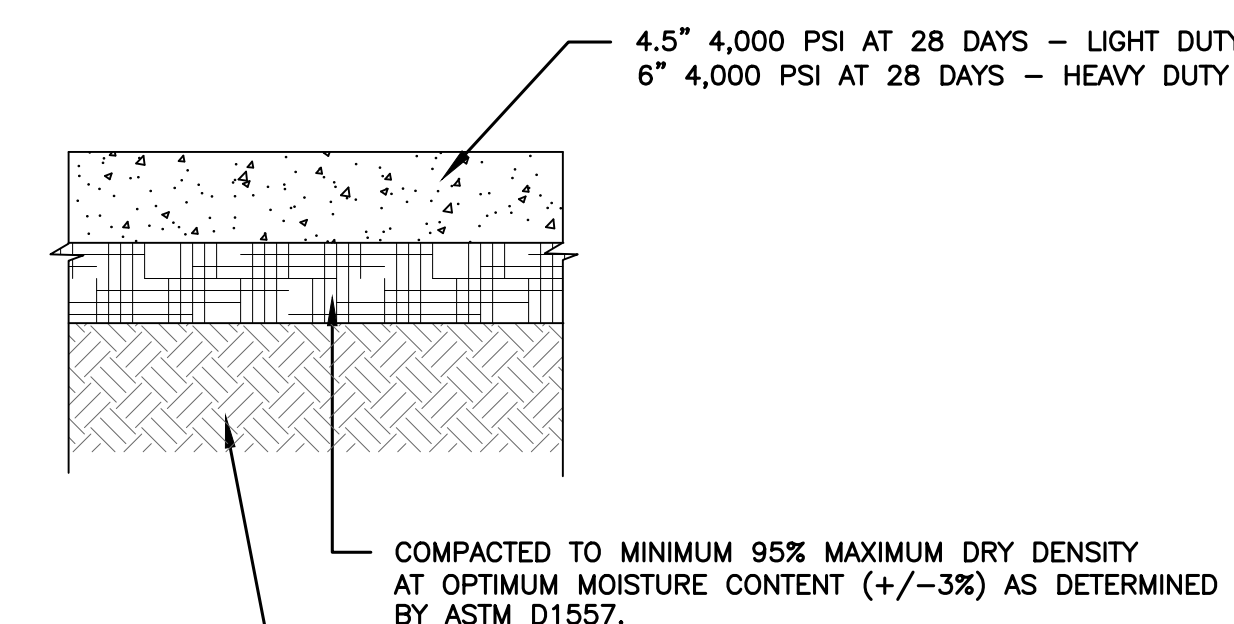
**SIDEWALK TURNDOWN WALL SECTION**



- GENERAL NOTES:**
- A GROOVE JOINT 1.5" DEEP WITH 1/8" RADI SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 30' INTERVALS NOT TO EXCEED 50' AND MATCHING EXPANSION/CONSTRUCTION JOINT IN ADJACENT CURB. A SEALED 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
  - SIDEWALK AT DRIVEWAY ENTRANCES TO BE 6" THICK.
  - SIDEWALK ALONG BUILDING TO BE 6" THICK.
  - SEE SITE PLAN FOR SIDEWALK WIDTHS.
  - SIDEWALK TO BE POURED TO END OF RADIUS AT INTERSECTING STREETS OR AS INDICATED ON THE SITE PLAN.
  - CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI. IN 28 DAYS.

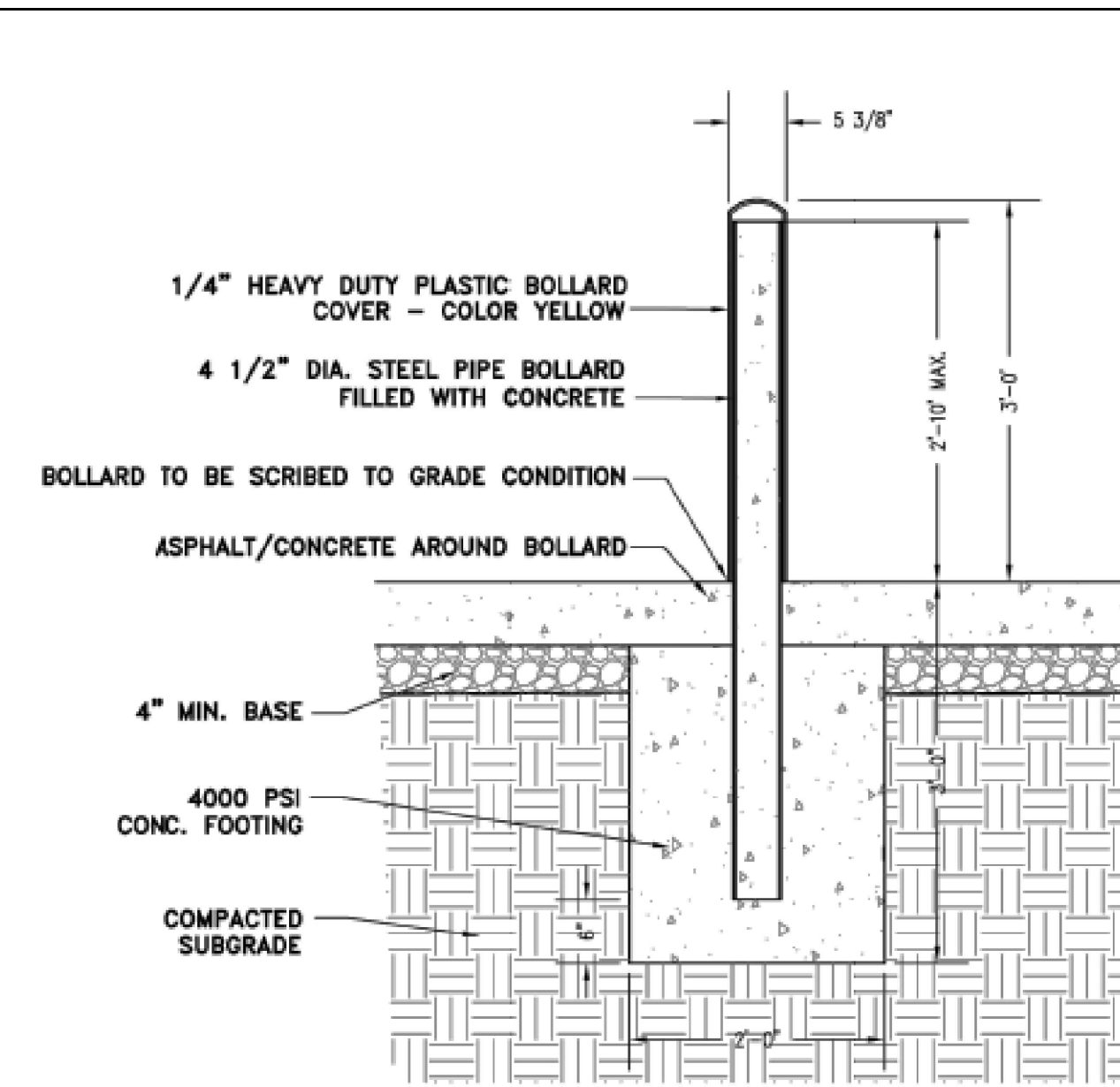


**CONCRETE SIDEWALK SECTIONS**

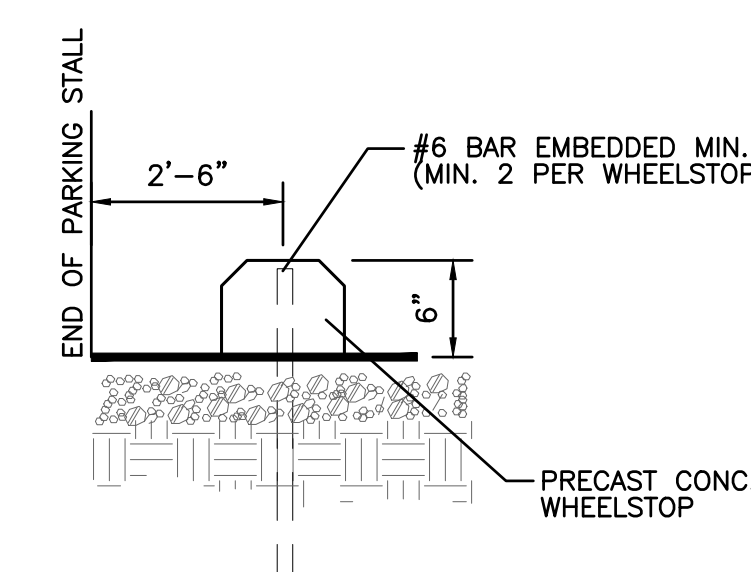


- NOTES:**
- REFER TO GEOTECHNICAL REPORT
  - CONTROL JOINTS SHALL BE SPACED AT 12' MAX. ODD SHAPES SHALL BE AVOIDED.
  - JOINTS SHALL BE CUT WITHIN 24 HOURS OF PLACEMENT OF CONCRETE.
  - CONCRETE MATERIALS AND INCLUDING JOINTING SHOULD BE IN ACCORDANCE WITH RECOMMENDATIONS IN THE LATEST EDITION OF ACI-308R.

**CONCRETE PAVEMENT SECTION**

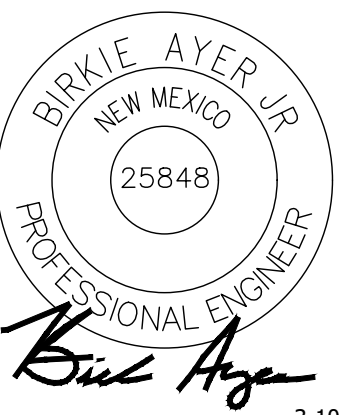


**STEEL BOLLARD DETAIL**



**CONCRETE WHEELSTOP**

**AYER DESIGN GROUP**  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnson Street  
Rock Hill, SC 29730  
Phone: 803-328-5858



PROJECT # 3-10-2023

**LEXUS OF ALBUQUERQUE**

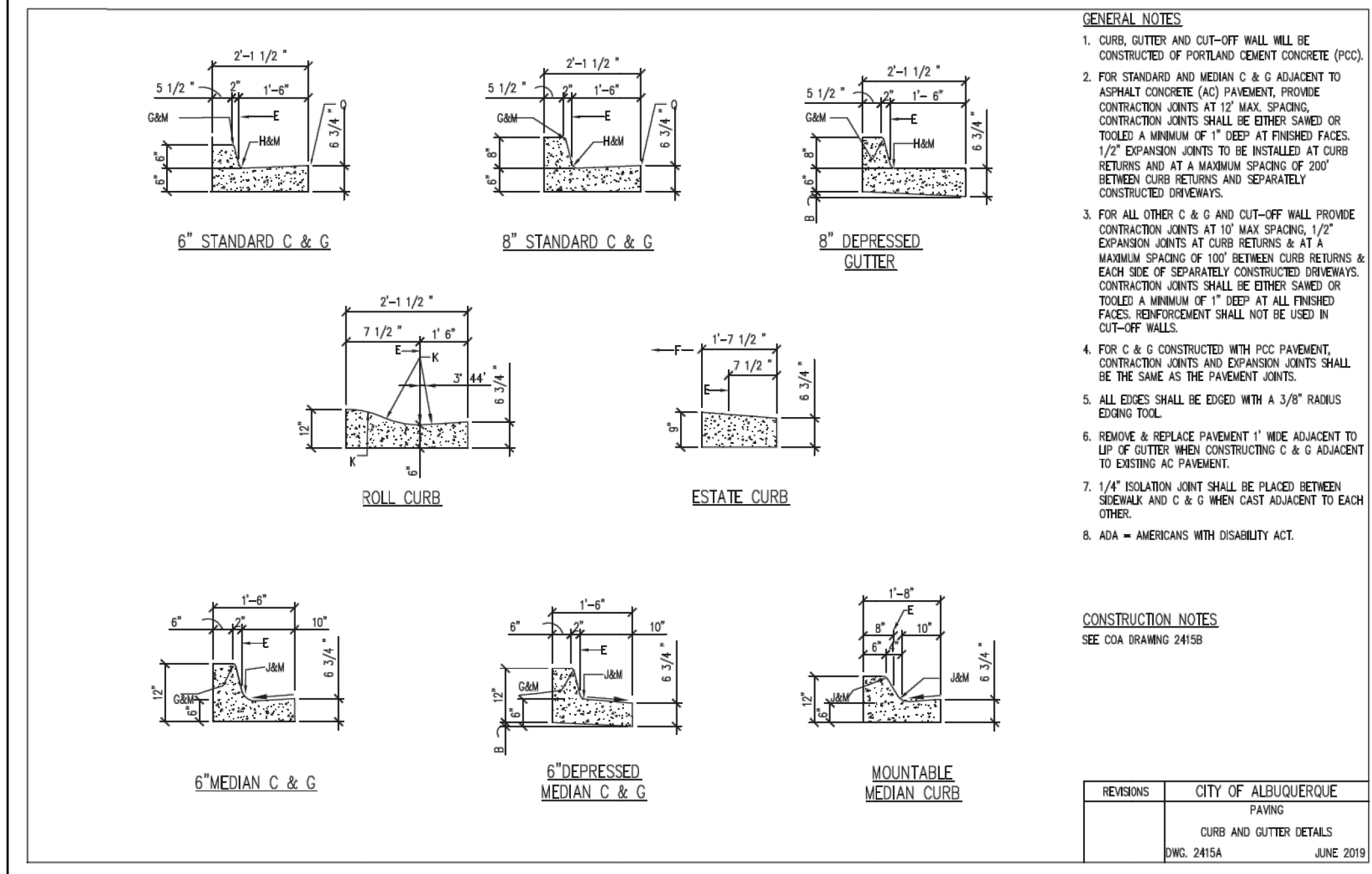
4821 PAN AMERICAN FWY.  
ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**SITE DETAILS**

PROJECT #	2021-12	
DRAWN BY	CC	
CHECKED BY	BA	
NO	ISSUE/REVISION	DATE
	FOR PERMIT	6/23/22
#1	PERMIT REVISIONS	7/1/22
#2	PERMIT REVISIONS	10/31/22
#3	PERMIT REVISIONS	12/16/22
#8	CLIENT CHANGES	12/30/22
#9	NM DOT REVISIONS	2/21/23
#10	PERMIT REVISIONS	3/10/23

**C10.0**



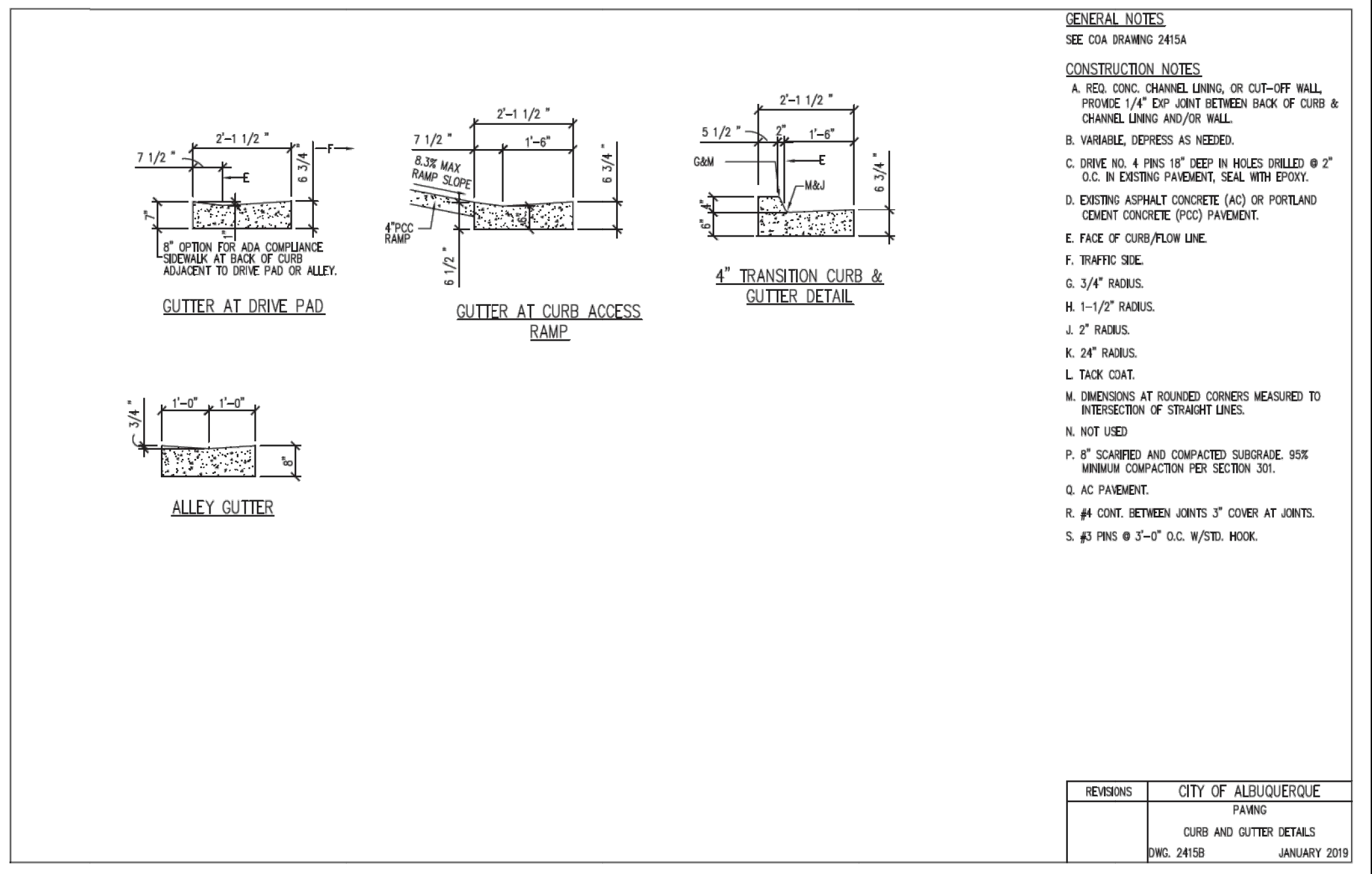


**GENERAL NOTES**

- CURB, GUTTER AND CUT-OFF WALL SHALL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC).
- FOR STANDARD AND MEDIAN C & G ADJACENT TO ASPHALT CONCRETE (AC) PAVEMENT, PROVIDE CONSTRUCTION JOINTS AT 12' MAX. SPACING. CONSTRUCTION JOINTS SHALL BE EITHER CHASED OR TOLDED A MINIMUM OF 1" DEEP AT FINISHED FACES. 1/2" EXPANSION JOINTS BE LOCATED AT CURB RETURN AND AT A MAXIMUM SPACING OF 200' BETWEEN CURB RETURNS AND SEPARATELY CONSTRUCTED DRIVEWAYS.
- FOR ALL LINED C & G AND CUT-OFF WALL PROVIDE CONSTRUCTION JOINTS AT 12' MAX SPACING. 1/2" EXPANSION JOINTS AT CURB RETURNS & AT A MAXIMUM SPACING OF 200' BETWEEN CURB RETURNS & EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONSTRUCTION JOINTS SHALL BE EITHER CHASED OR TOLDED A MINIMUM OF 1" DEEP AT FINISHED FACES. REINFORCEMENT SHALL NOT BE USED IN CUT-OFF WALLS.
- FOR C & G CONSTRUCTED WITH PCC PAVEMENT CONSTRUCTION JOINTS AND EXPANSION JOINTS SHALL BE THE SAME AS THE PAVEMENT JOINTS.
- ALL EDGES SHALL BE ROUNDED WITH A 3/8" RADIUS EXCEPT TOLLS.
- DESIGN & RELEASE PAVEMENT 1" WIDE ADJACENT TO TOP OF GUTTER WHEN CONSTRUCTING C & G ADJACENT TO EXISTING AC PAVEMENT.
- 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN STANDARD AND C & G WHEN CAST ADJACENT TO EACH OTHER.
- ADA - AMERICANS WITH DISABILITY ACT.

**CONSTRUCTION NOTES**  
SEE C&A DRAWING 2415B

REVISIONS	CITY OF ALBUQUERQUE
	CURB AND GUTTER DETAILS DWG. 2415A JUNE 2019

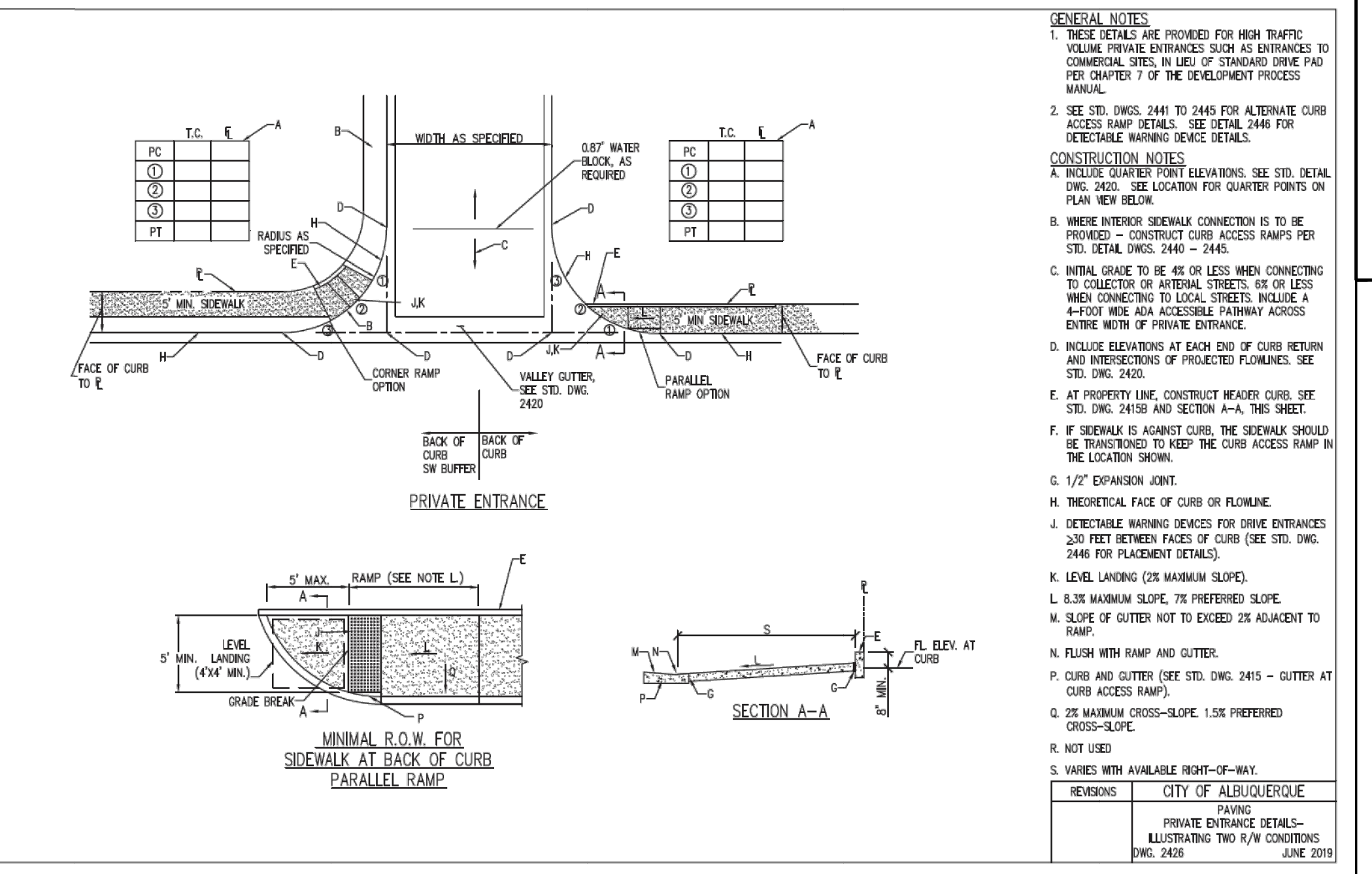


**GENERAL NOTES**

- SEE C&A DRAWING 2415A
- RED CONCRETE CHANNEL LINING OR CUT-OFF WALL PROVIDE 1/4" EXP. JOINT BETWEEN BACK OF CURB & CHANNEL LINING AND/OR WALL.
- VARIABLE DEPRESS AS INDICED.
- DRIVE NO. 4 FINIS 1/2" DEEP IN HOLES ROLLED 8" 2" DIA. IN EXISTING PAVEMENT. SEAL WITH EPOXY.
- EXISTING ASPHALT CONCRETE (AC) OR PORTLAND CEMENT CONCRETE (PCC) PAVEMENT.
- FACE OF CURB FLOW LINE.
- TRANSVERSE CURB.
- 3" RADIUS.
- 1-1/2" RADIUS.
- 2" RADIUS.
- 1/4" RADIUS.
- TACK COAT.
- MINIMUMS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
- NOT USED.
- IF SCARIFIED AND COMPACTED SUBGRADE, 20% MINIMUM COMPACTION PER SECTION 301.
- AC PAVEMENT.
- #4 CONTAINMENT BETWEEN JOINTS 3' COVER AT JOINTS.
- #3 FRS @ 5'-0" O.C. 1/2" DIA. HOOR.

**CONSTRUCTION NOTES**  
SEE C&A DRAWING 2415B

REVISIONS	CITY OF ALBUQUERQUE
	CURB AND GUTTER DETAILS DWG. 2415B JANUARY 2019

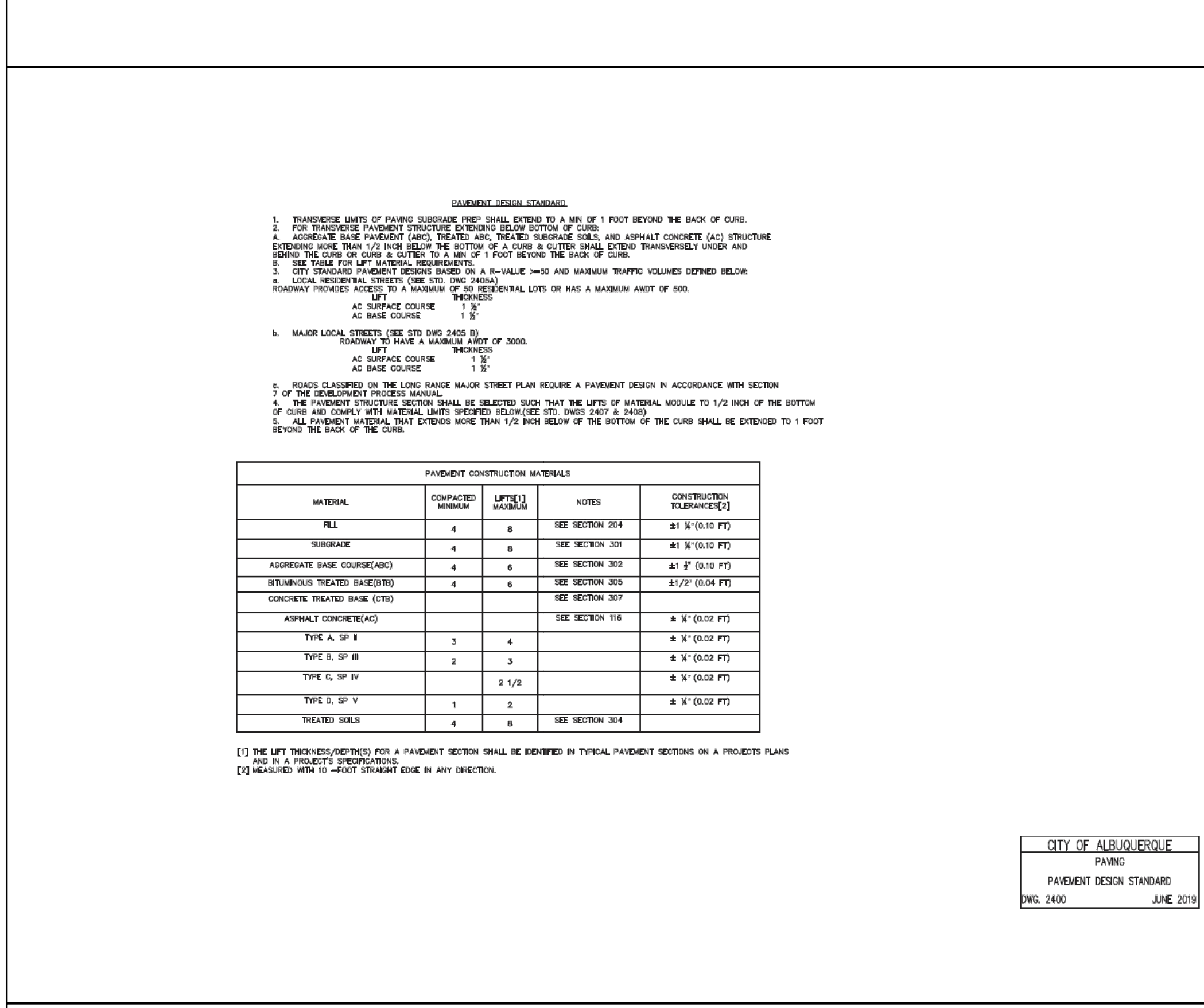


**GENERAL NOTES**

- THESE DETAILS ARE PROVIDED FOR HIGH TRAFFIC VOLUME PRIVATE ENTRANCES SUCH AS ENTRANCES TO CONCRETE UTIL. IN LIEU OF STANDARD DRIVE PAD PER CHAPTER 7 OF THE DEVELOPMENT PROCESS MANUAL.
- SEE STD. DWG. 2440 & 2445 FOR ALTERNATE CURB ACCESS RAMP DETAILS. (SEE DETAIL 2440 FOR DETECTABLE WARNING DEVICE DETAILS).
- CONSTRUCTION NOTES:  
A. INCLUDE SURFACE POINT ELEVATIONS. SEE STD. DETAIL DWG. 2440 FOR LOCATION FOR QUARTER POINTS ON PLAN AND ELEVATION.  
B. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PROVIDED - CONSTRUCTION CURB ACCESS RAMP PER STD. DETAIL DWG. 2440 - 2445.  
C. INTERIOR DRIVE PAD OR LESS THAN 10' FROM CURB TO COLLECTION TO ADJACENT STREET, 48" OR LESS MINIMUM TO LOCAL STREET, 36" OR LESS MINIMUM TO ADJACENT DRIVEWAY. 48" OR LESS MINIMUM TO ADJACENT DRIVEWAY. 48" OR LESS MINIMUM TO ADJACENT DRIVEWAY.  
D. INCLUDE BEHAVIORS AT EACH END OF CURB RETURN AND INTERSECTIONS OF PROJECTED FLOW LINES. SEE STD. DWG. 2440.  
E. AT PROPERTY LINE, CONSTRUCT HEADUP CURB. SEE STD. DWG. 2440 AND SECTION 4-4. THE STREET SIDEWALK SHALL BE CONSTRUCTED TO THE PROPERTY LINE.  
F. IF SIDEWALK IS ADJACENT TO CURB, THE SIDEWALK SHOULD BE FUNCTIONING TO KEEP THE CURB ACCESS RAMP IN THE LOCATION SHOWN.  
G. 1/2" EXPANSION JOINT.  
H. THEORETICAL FACE OF CURB OR FLOWLINE.  
I. DETECTABLE WARNING DEVICES FOR DRIVE ENTRANCES 300 FEET FROM FACES OF CURB (SEE STD. DWG. 2440 FOR FLASHTAB DETAILS).  
J. LEVEL LANDING (2% MAXIMUM SLOPE).  
K. 0.5% MAXIMUM SLOPE, 7% PREFERRED SLOPE.  
L. SLOPE OF GUTTER NOT TO EXCEED 2% ADJACENT TO RAMP.  
M. FLUSH WITH RAMP AND GUTTER.  
N. CURB AND GUTTER (SEE STD. DWG. 2415 - GUTTER AT CURB ACCESS RAMP).  
O. 2% MAXIMUM CROSS-SLOPE, 1.5% PREFERRED CROSS-SLOPE.  
P. NOT USED.  
S. VARIES WITH AVAILABLE RIGHT-OF-WAY.

**CONSTRUCTION NOTES**  
SEE C&A DRAWING 2415B

REVISIONS	CITY OF ALBUQUERQUE
	PRIVATE ENTRANCE DETAILS - ALTERNATING TWO R/W CONDITIONS DWG. 2439 JUNE 2019

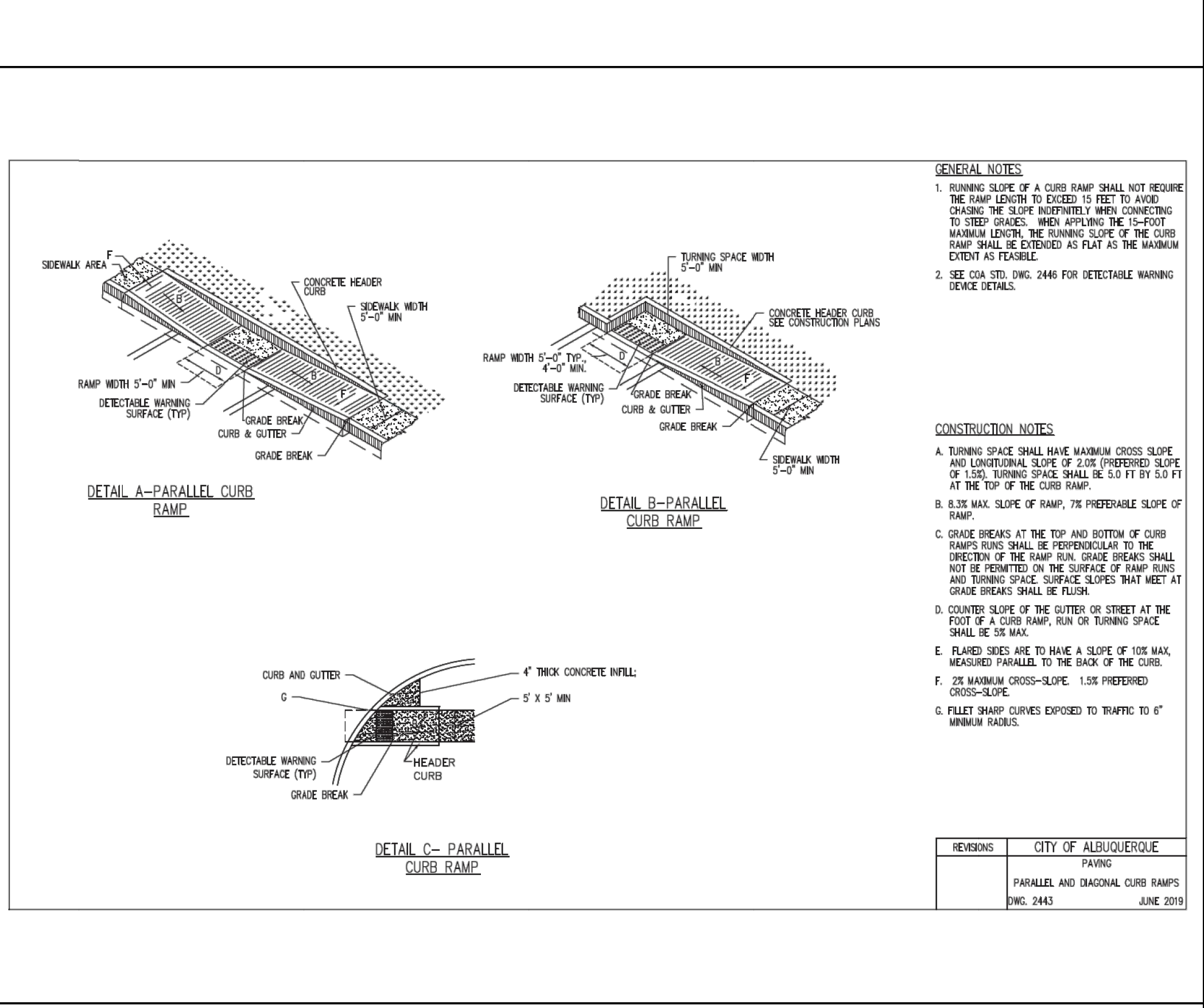


**GENERAL NOTES**

- TRANSVERSE LIMITS OF PAVING SUBGRADE SHALL EXTEND TO A MIN. OF 1' BEYOND THE BACK OF CURB. FOR TRANSVERSE SUBGRADE EXTENSION BEYOND DRIVEWAY CURB.
- ADJUSTABLE SURFACE PAVEMENT SHALL BE CONSTRUCTED WITH 1/2" EXPANSION JOINTS AT 12' MAX. SPACING. CONSTRUCTION JOINTS SHALL BE EITHER CHASED OR TOLDED A MINIMUM OF 1" DEEP AT FINISHED FACES. 1/2" EXPANSION JOINTS BE LOCATED AT CURB RETURN AND AT A MAXIMUM SPACING OF 200' BETWEEN CURB RETURNS AND SEPARATELY CONSTRUCTED DRIVEWAYS.
- SEE TABLE OF PAVEMENT MATERIALS FOR RECOMMENDED MATERIALS AND MAXIMUM PERCENT VOLUMES OF FILLERS.
- CONSTRUCTION JOINTS SHALL BE EITHER CHASED OR TOLDED A MINIMUM OF 1" DEEP AT FINISHED FACES. REINFORCEMENT SHALL NOT BE USED IN CUT-OFF WALLS.
- FOR C & G CONSTRUCTED WITH PCC PAVEMENT CONSTRUCTION JOINTS AND EXPANSION JOINTS SHALL BE THE SAME AS THE PAVEMENT JOINTS.
- ALL EDGES SHALL BE ROUNDED WITH A 3/8" RADIUS EXCEPT TOLLS.
- DESIGN & RELEASE PAVEMENT 1" WIDE ADJACENT TO TOP OF GUTTER WHEN CONSTRUCTING C & G ADJACENT TO EXISTING AC PAVEMENT.
- 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN STANDARD AND C & G WHEN CAST ADJACENT TO EACH OTHER.
- ADA - AMERICANS WITH DISABILITY ACT.

**CONSTRUCTION NOTES**  
SEE C&A DRAWING 2415B

REVISIONS	CITY OF ALBUQUERQUE
	CURB AND GUTTER DETAILS DWG. 2415A JUNE 2019



**GENERAL NOTES**

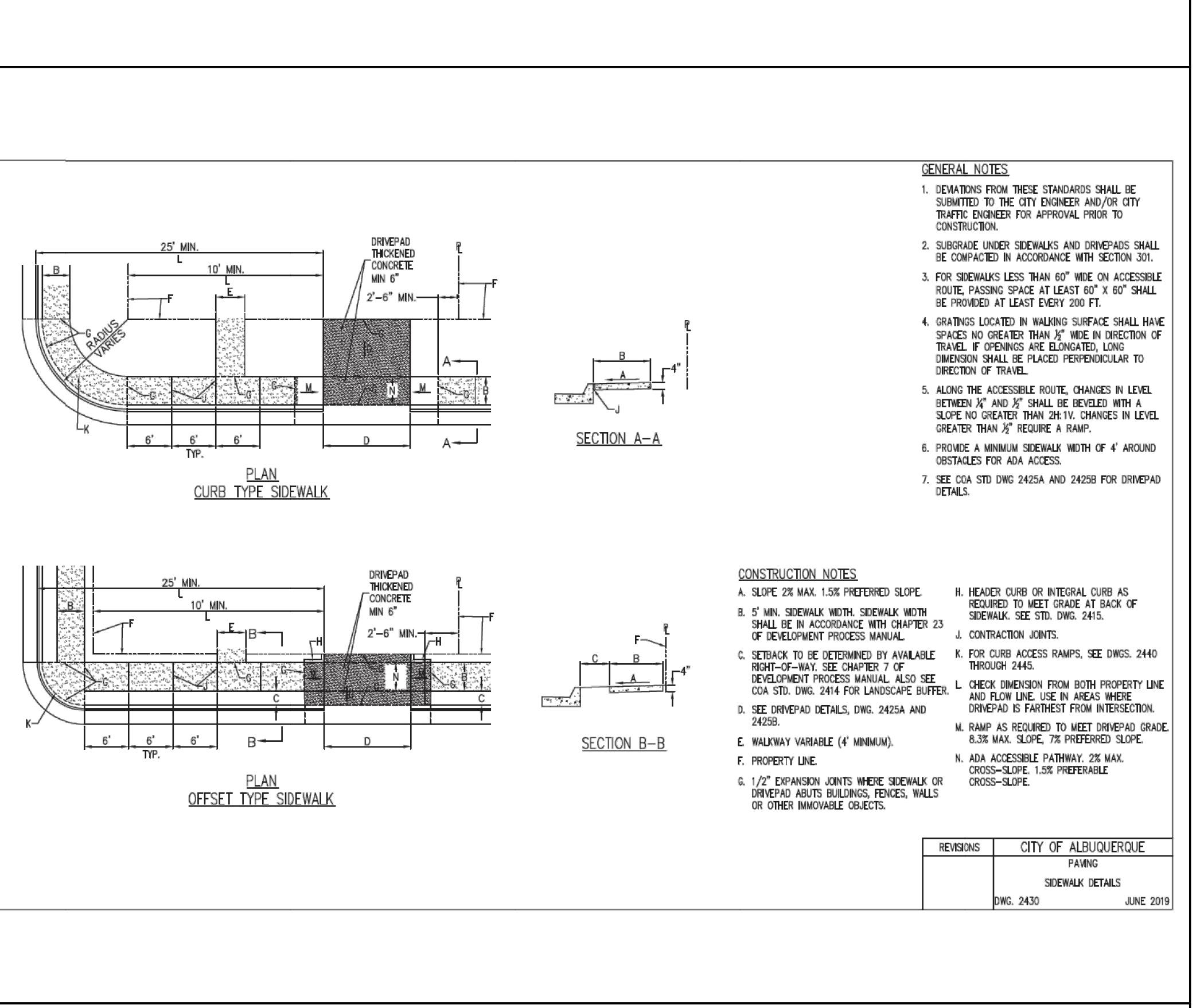
- RUNNING SLOPE OF A CURB RAMP SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 5 FEET TO AVOID CHANGING THE SLOPE INADEQUATELY WHEN CONNECTING TO STREET GRADES. WHEN APPLYING THE 5-FEET MAXIMUM LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE EXCEEDED AS LONG AS THE MAXIMUM LENGTH IS MAINTAINED.
- SEE C&A STD. DWG. 2440 FOR DETECTABLE WARNING DEVICE DETAILS.

**CONSTRUCTION NOTES**

- TURNING SPACE SHALL HAVE MAXIMUM CROSS-SLOPE AND LONGITUDINAL SLOPE OF 2.0% (PREFERRED SLOPE OF 1.0% TURNING SPACE SHALL BE 5.0 FT BY 5.0 FT) AT THE TOP OF THE CURB RAMP.
- 0.5% MAX. SLOPE OF RAMP, 7% PREFERRED SLOPE OF RAMP.
- GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMP SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PLACED ON THE SURFACE OF RAMP RUNS AND TURNING SPACE SURFACES. SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.
- COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP RUN OR TURNING SPACE SHALL BE 3% MAX.
- FLASHTAB SHALL BE TO HAVE A SLOPE OF 10% MAX. MEASURED PARALLEL TO THE BACK OF THE CURB.
- 2% MAXIMUM CROSS-SLOPE, 1.5% PREFERRED CROSS-SLOPE.
- FLASHTAB CURVES EXPOSED TO TRAFFIC TO 4" MINIMUM HEIGHT.

**CONSTRUCTION NOTES**  
SEE C&A DRAWING 2415B

REVISIONS	CITY OF ALBUQUERQUE
	PARALLEL AND DIAGONAL CURB RAMP DETAILS DWG. 2440 JUNE 2019



**GENERAL NOTES**

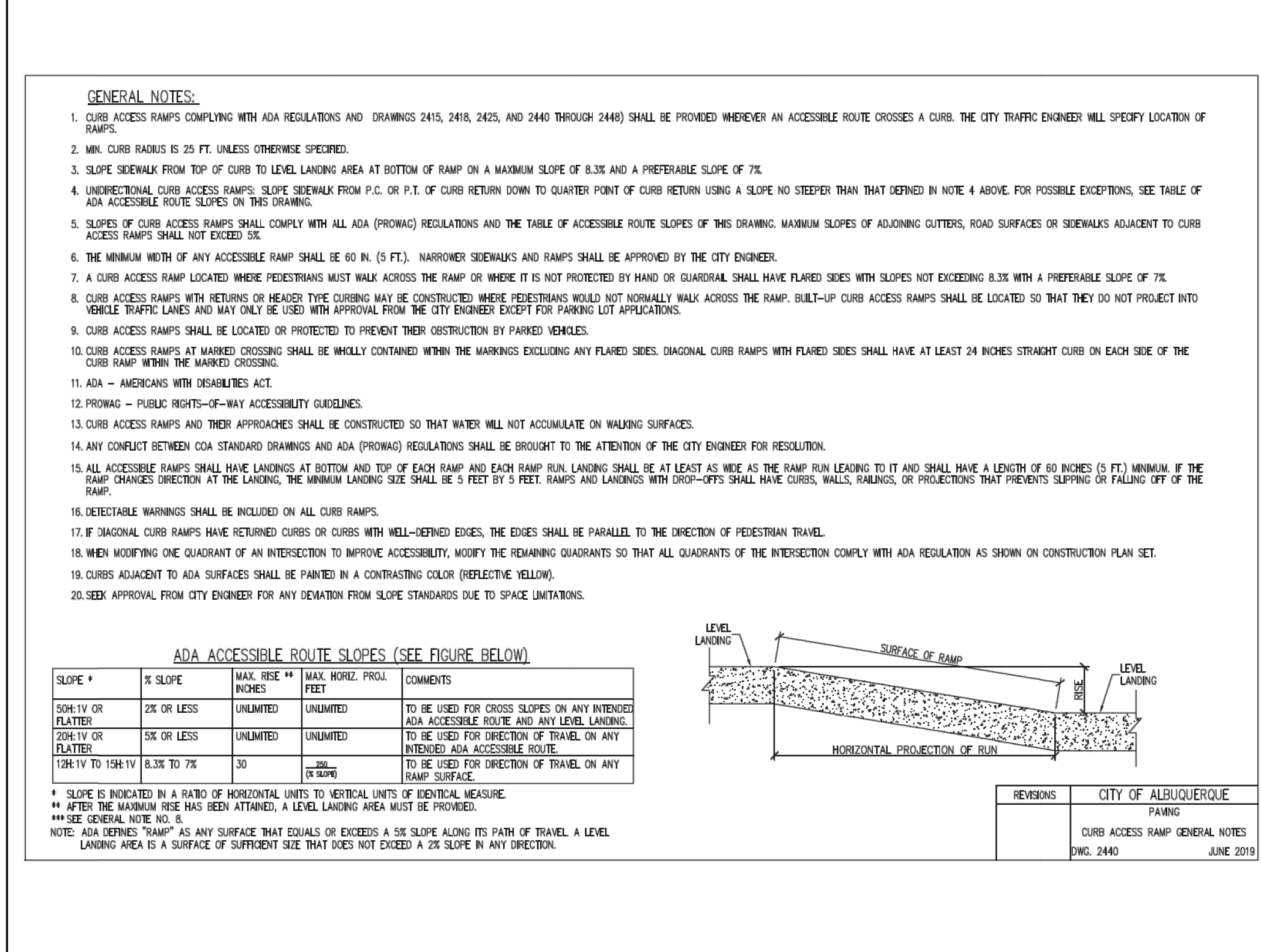
- DETAILED DRAWINGS OF THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY PLANNING DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
- SUBGRADE UNDER SIDEWALKS AND DRIVEWAYS SHALL BE COMPACTED TO 95% RELATIVE DENSITY WITH SECTION 301.
- FOR SIDEWALKS LESS THAN 10' WIDE ON ACCESSIBLE ROUTE, PAVING SPACE AT LEAST 6" X 10' SHALL BE PROVIDED AT LEAST EVERY 200 FEET.
- GRADES LOCATED IN PAVING SURFACE SHALL HAVE SLOPE NO GREATER THAN 1/4" WIDE IN DIRECTION OF TRAVEL & OTHERWISE ARE ELIMINATED. LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
- ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN 1/4" AND 3/4" SHALL BE ACCOMMODATED WITH A SLOPE NO GREATER THAN 20:1. CHANGES IN LEVEL GREATER THAN 3/4" REQUIRE A RAMP.
- PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
- SEE C&A STD. DWG. 2425A AND 2425B FOR DRIVEPAD DETAILS.

**CONSTRUCTION NOTES**

- SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
- 5" MIN. SIDEWALK WITH SIDEWALK WITH SHALL BE IN ACCORDANCE WITH CHAPTER 25 OF DEVELOPMENT PROCESS MANUAL.
- SEPARATE TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL, ALSO SEE C&A STD. DWG. 2444 FOR LANDSCAPE BUFFER.
- SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
- WALKWAY VARIABLE (4" MINIMUM).
- PROPERTY LINE.
- 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ADJACENT TO DRIVEWAY, FENCE, WALLS OR OTHER UNMOVABLE OBJECTS.

**CONSTRUCTION NOTES**  
SEE C&A DRAWING 2415B

REVISIONS	CITY OF ALBUQUERQUE
	PARALLEL AND DIAGONAL CURB RAMP DETAILS DWG. 2440 JUNE 2019



**GENERAL NOTES**

- CURB ACCESS RAMPS COMPLYING WITH ADA REGULATIONS AND DRAWINGS 2415, 2416, 2425, AND 2440 THROUGH 2445 SHALL BE PROVIDED WHEREVER AN ACCESSIBLE ROUTE CROSSES A CURB. THE CITY TRAFFIC ENGINEER WILL SPECIFY LOCATION OF RAMPS.
- MIN. CURB RADIUS IS 25 FT. UNLESS OTHERWISE SPECIFIED.
- SLOPE SIDEWALK FROM TOP OF CURB TO LEVEL LANDING AREA AT BOTTOM OF RAMP ON A MAXIMUM SLOPE OF 8.3% AND A PREFERABLE SLOPE OF 7%.
- UNIDIRECTIONAL CURB ACCESS RAMPS SHALL BE MINIMUM FROM P.C. OR P.T. OF CURB RETURN DOWN TO QUARTER POINT OF CURB RETURN USING A SLOPE NO STEEPER THAN THAT DEFINED IN NOTE 4 ABOVE. FOR POSSIBLE EXCEPTIONS, SEE TABLE OF ADA ACCESSIBLE ROUTE SLOPES ON THIS DRAWING.
- SLOPES OF CURB ACCESS RAMPS SHALL COMPLY WITH ALL ADA (PROVING) REGULATIONS AND THE TABLE OF ACCESSIBLE ROUTE SLOPES OF THIS DRAWING. MAXIMUM SLOPES OF ADJACENT CURBS, ROAD SURFACES OR SIDEWALKS ADJACENT TO CURB ACCESS RAMPS SHALL NOT EXCEED 3%.
- THE MINIMUM WIDTH OF ANY ACCESSIBLE RAMP SHALL BE 60 IN. (5 FT.). NARROWER SIDEWALKS AND RAMPS SHALL BE APPROVED BY THE CITY ENGINEER.
- A CURB ACCESS RAMP LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP OR WHERE IT IS NOT PROTECTED BY HAND OR GUARDRAIL SHALL HAVE FLARED SIDES WITH SLOPES NOT EXCEEDING 8.3% WITH A PREFERABLE SLOPE OF 7%.
- CURB ACCESS RAMPS WITH RETURN OF HEADWAY TYPE CURBS MAY BE CONSTRUCTED WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP. BUILT-UP CURB ACCESS RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICLE TRAVEL LANE AND MAY ONLY BE USED WITH APPROVAL FROM THE CITY ENGINEER EXCEPT FOR PARKING LOT APPLICATIONS.
- CURB ACCESS RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
- CURB ACCESS RAMPS AT MARKET CROSSING SHALL BE FULLY CONTAINED WITHIN THE MARKINGS EXCLUDING ANY FLARED SIDES. DIAGONAL CURB RAMPS WITH FLARED SIDES SHALL HAVE AT LEAST 24" BROAD STRAIGHT CURB ON EACH SIDE OF THE CURB RAMP WITH THE MARKED CROSSING.
- ADA - AMERICANS WITH DISABILITIES ACT.
- PROVING - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES.
- CURB ACCESS RAMPS AND THEIR APPROACHES SHALL BE CONSTRUCTED SO THAT WATER WILL NOT ACCUMULATE ON WALKING SURFACES.
- ANY CONFLICT BETWEEN C&A STANDARD DRAWINGS AND ADA (PROVING) REGULATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE CITY ENGINEER FOR RESOLUTION.
- ALL ACCESSIBLE RAMPS SHALL HAVE LANDINGS AT BOTTOM AND TOP OF EACH RAMP AND EACH RAMP RUN. LANDINGS SHALL BE AT LEAST AS WIDE AS THE RAMP RUN LEADING TO IT AND SHALL HAVE A LENGTH OF 60 INCHES (5 FEET) MINIMUM IF THE RAMP CHANGES DIRECTION AT THE LANDING. THE MINIMUM LANDING SIZE SHALL BE 5 FEET BY 5 FEET. RAMPS AND LANDINGS WITH DROP-OFFS SHALL HAVE CURBS, WALLS, FOLLIES, OR PROJECTIONS THAT PREVENTS SLIPPING OR FALLING OFF OF THE RAMP.
- DETECTABLE WARNING DEVICES SHALL BE PROVIDED ON ALL CURB RAMPS.
- IF DIAGONAL CURB RAMPS HAVE RETURNED CURBS OR CURBS WITH WELL-DEFINED EDGES, THE EDGES SHALL BE PARALLEL TO THE DIRECTION OF PEDESTRIAN TRAVEL.
- WHEN VISUALLY CHECKING THE QUANTITY OF AN INTERSECTION TO IMPROVE ACCESSIBILITY, VERIFY THE MARKING QUANTITIES SO THAT ALL QUANTITIES OF THE INTERSECTION COMPLY WITH ADA REGULATIONS AS SHOWN ON CONSTRUCTION PLAN SET.
- CURBS ADJACENT TO ADA SURFACES SHALL BE PAINTED IN A CONTRASTING COLOR (REFLECTIVE YELLOW).
- SEE APPROVAL FROM CITY ENGINEER FOR ANY DEVIATION FROM SLOPE STANDARDS DUE TO SPACE LIMITATIONS.

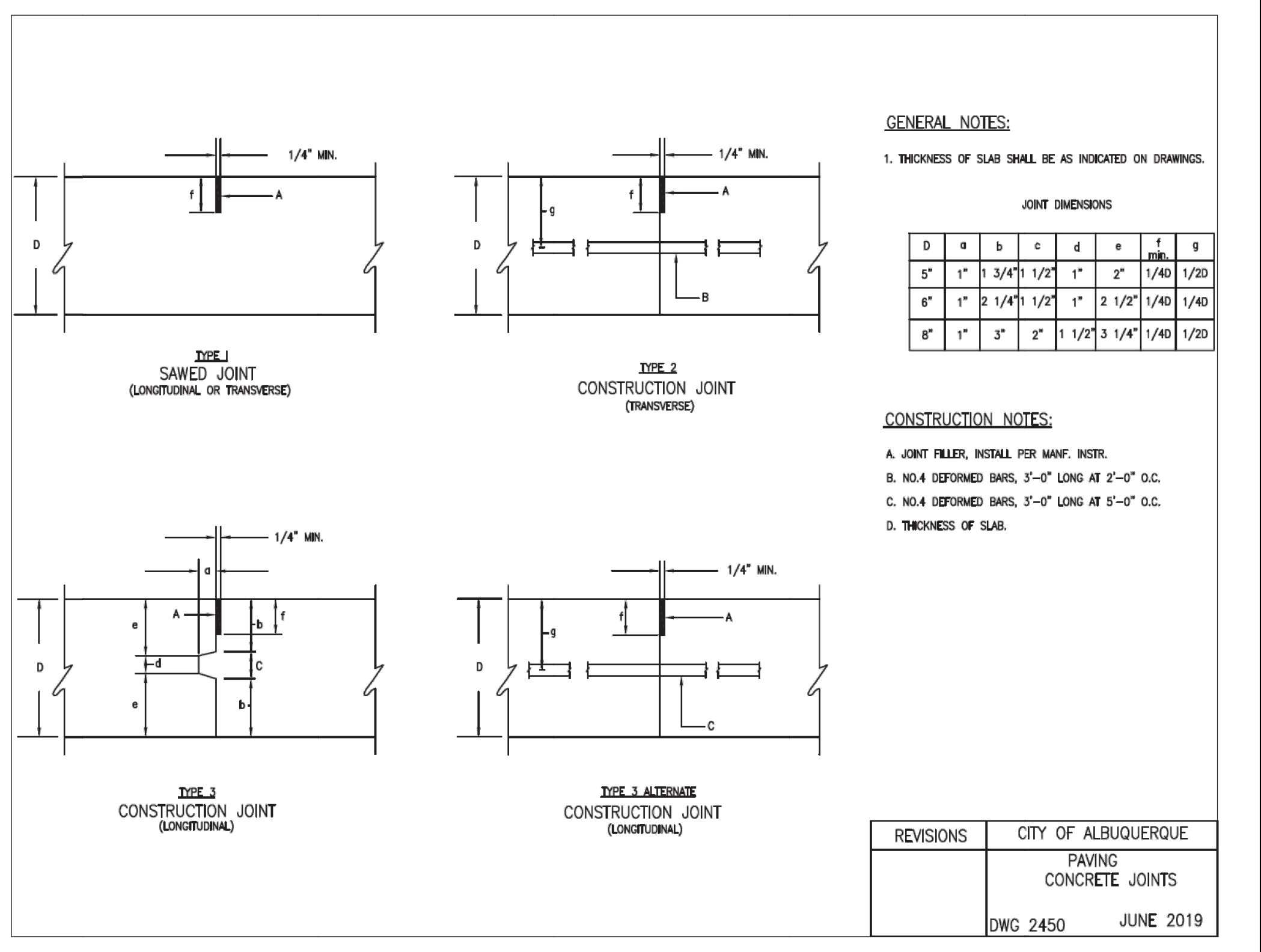
**ADA ACCESSIBLE ROUTE SLOPES (SEE FIGURE BELOW)**

SLOPE *	MAX. SIDE WALK	MAX. SIDE WALK	PROVING	COMMENTS
10% TO 14%	25 OR LESS	UNLIMITED	UNLIMITED	TO BE USED FOR CROSS SLOPES ON ANY INTERSECTING ADA ACCESSIBLE ROUTE AND ANY LEVEL LANDING.
14% TO 18%	25 OR LESS	UNLIMITED	UNLIMITED	TO BE USED FOR SIDEWALK OR TRAVEL ON ANY INTERSECTING ADA ACCESSIBLE ROUTE.
18% TO 20%	18 TO 24	30	30	TO BE USED FOR DIRECTION OF TRAVEL ON ANY RAMP SURFACE.

\* SLOPE INDICATED BY A RANGE OF NUMERICAL VALUES TO INDICATE RANGE OF PREFERRED SLOPES.  
\* AFTER THE MAXIMUM SIDE WALK HAS BEEN ATTAINED, A LEVEL LANDING AREA MUST BE PROVIDED.  
\* ADA DEFINES "RAMP" AS ANY SURFACE THAT EQUALS OR EXCEEDS A 2% SLOPE ALONG ITS PATH OF TRAVEL. A LEVEL LANDING AREA IS A SURFACE OF SUFFICIENT SIZE THAT DOES NOT EXCEED A 2% SLOPE IN ANY DIRECTION.

**CONSTRUCTION NOTES**  
SEE C&A DRAWING 2415B

REVISIONS	CITY OF ALBUQUERQUE
	CURB ACCESS RAMP GENERAL NOTES DWG. 2440 JUNE 2019



**GENERAL NOTES**

- THICKNESS OF SLAB SHALL BE AS INDICATED ON DRAWINGS.

**JOINT DIMENSIONS**

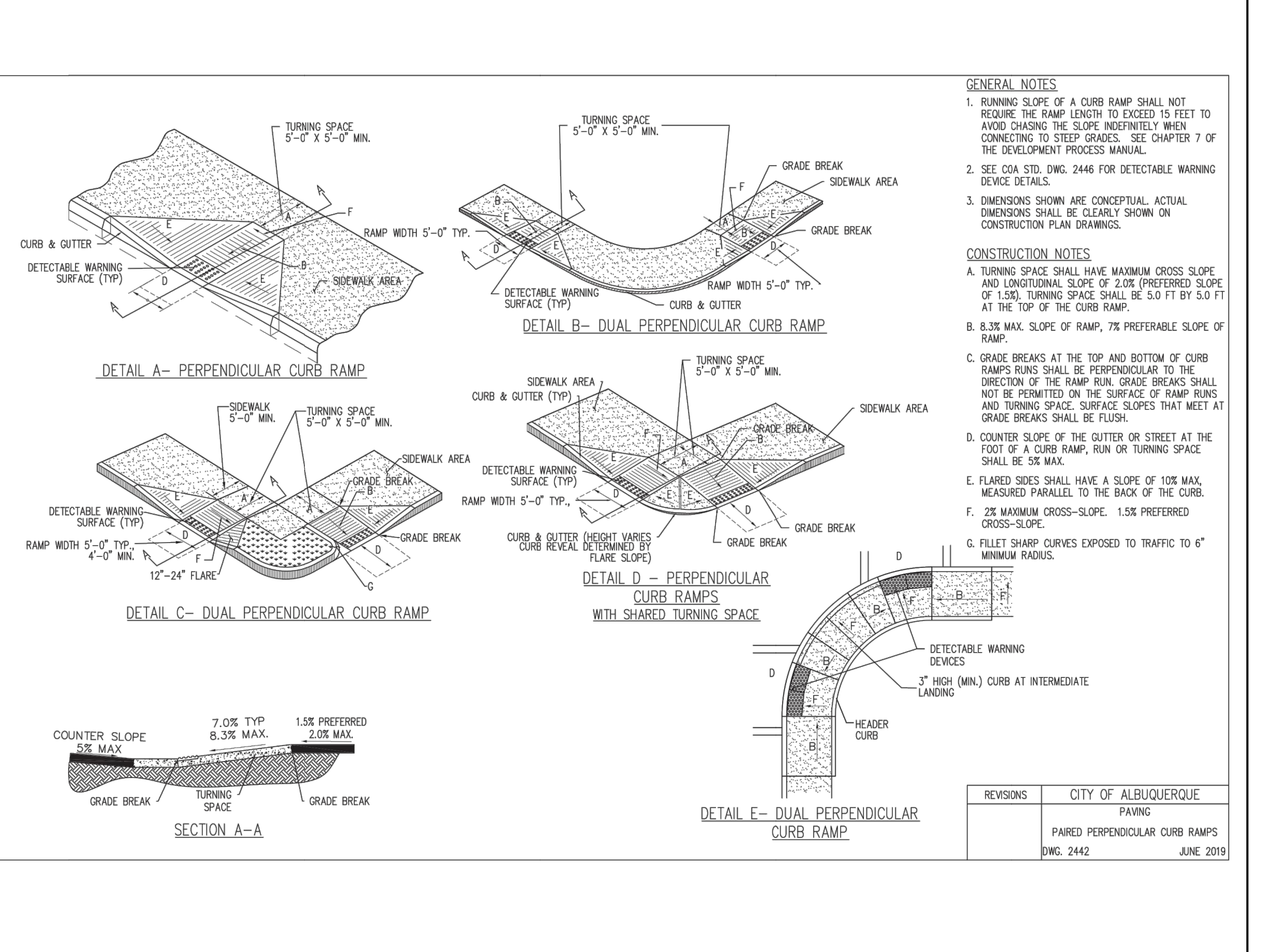
a	b	c	d	e	f	g
5"	1"	3/4"	1/2"	1"	2"	1/40
6"	1"	1/4"	1/2"	1"	2 1/2"	1/40
8"	1"	3"	2"	1 1/2"	3 1/4"	1/20

**CONSTRUCTION NOTES**

- A. JOINT FILLER, INSTALL PER MANF. INSTR.
- B. NO. 4 REINFORCED BARS, 3'-0" LONG AT 2'-0" O.C.
- C. NO. 4 REINFORCED BARS, 3'-0" LONG AT 5'-0" O.C.
- D. THICKNESS OF SLAB.

**CONSTRUCTION NOTES**  
SEE C&A DRAWING 2415B

REVISIONS	CITY OF ALBUQUERQUE
	PAVING CONCRETE JOINTS DWG. 2450 JUNE 2019



**GENERAL NOTES**

- RUNNING SLOPE OF A CURB RAMP SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 5 FEET TO AVOID CHANGING THE SLOPE INADEQUATELY WHEN CONNECTING TO STREET GRADES. WHEN APPLYING THE 5-FEET MAXIMUM LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE EXCEEDED AS LONG AS THE MAXIMUM LENGTH IS MAINTAINED.
- SEE C&A STD. DWG. 2440 FOR DETECTABLE WARNING DEVICE DETAILS.
- DIMENSIONS SHOWN ARE CONCEPTUAL. ACTUAL DIMENSIONS SHALL BE CLEARLY SHOWN ON CONSTRUCTION PLAN DRAWINGS.

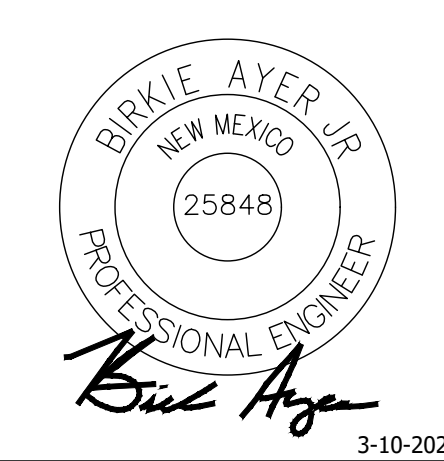
**CONSTRUCTION NOTES**

- TURNING SPACE SHALL HAVE MAXIMUM CROSS-SLOPE AND LONGITUDINAL SLOPE OF 2.0% (PREFERRED SLOPE OF 1.0% TURNING SPACE SHALL BE 5.0 FT BY 5.0 FT) AT THE TOP OF THE CURB RAMP.
- 0.5% MAX. SLOPE OF RAMP, 7% PREFERRED SLOPE OF RAMP.
- GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMP SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PLACED ON THE SURFACE OF RAMP RUNS AND TURNING SPACE SURFACES. SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.
- COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP RUN OR TURNING SPACE SHALL BE 3% MAX.
- FLASHTAB SHALL HAVE A SLOPE OF 10% MAX. MEASURED PARALLEL TO THE BACK OF THE CURB.
- 2% MAXIMUM CROSS-SLOPE, 1.5% PREFERRED CROSS-SLOPE.
- FLASHTAB CURVES EXPOSED TO TRAFFIC TO 4" MINIMUM HEIGHT.
- 1" HIGH (MIN.) CURB AT INTERMEDIATE DETECTABLE WARNING DEVICES.

**CONSTRUCTION NOTES**  
SEE C&A DRAWING 2415B

REVISIONS	CITY OF ALBUQUERQUE
	PERPENDICULAR CURB RAMPS DWG. 2442 JUNE 2019

**AYER DESIGN GROUP**  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnson Street  
Rock Hill, SC 29730  
Phone: 803-328-5858



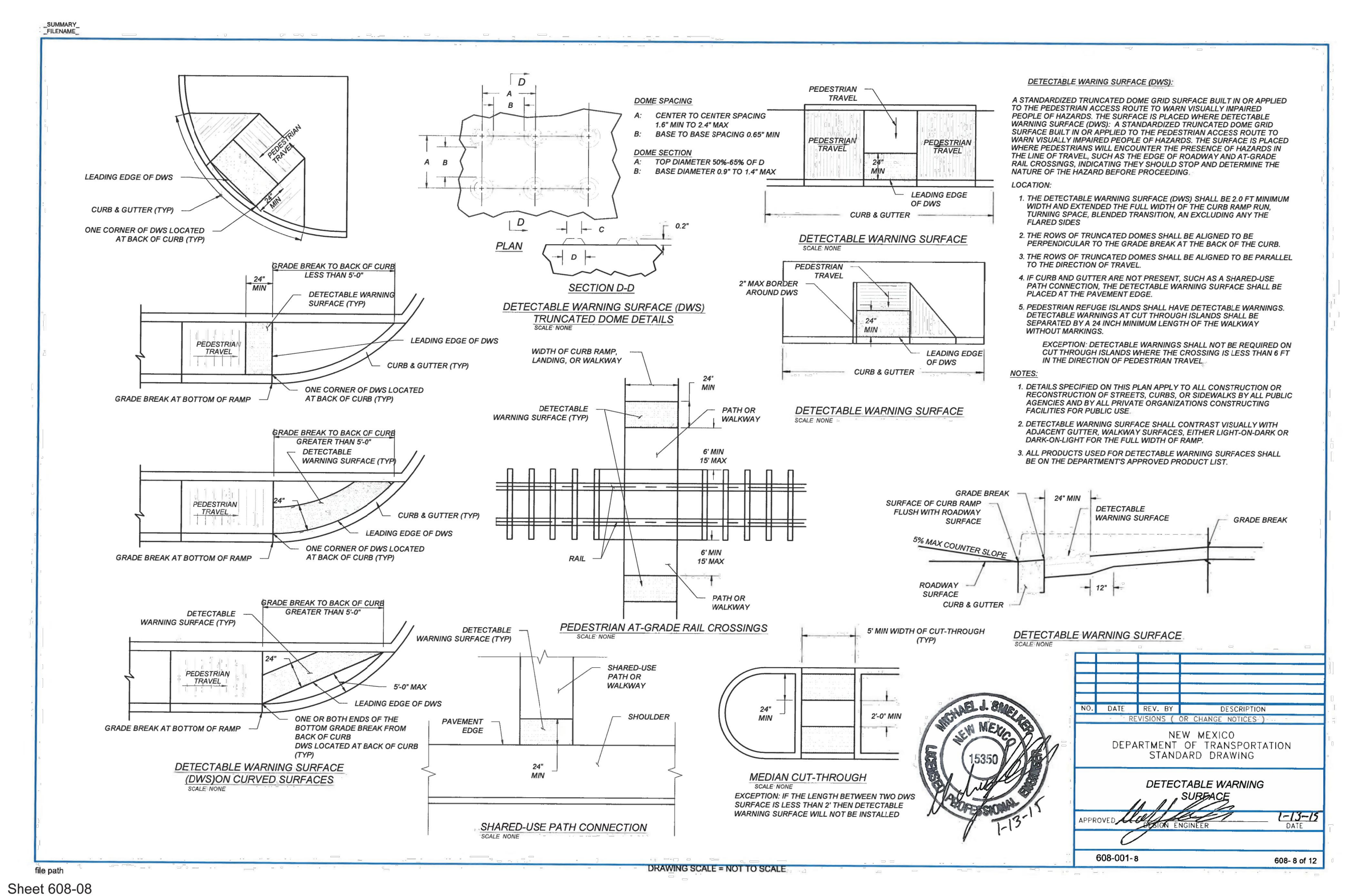
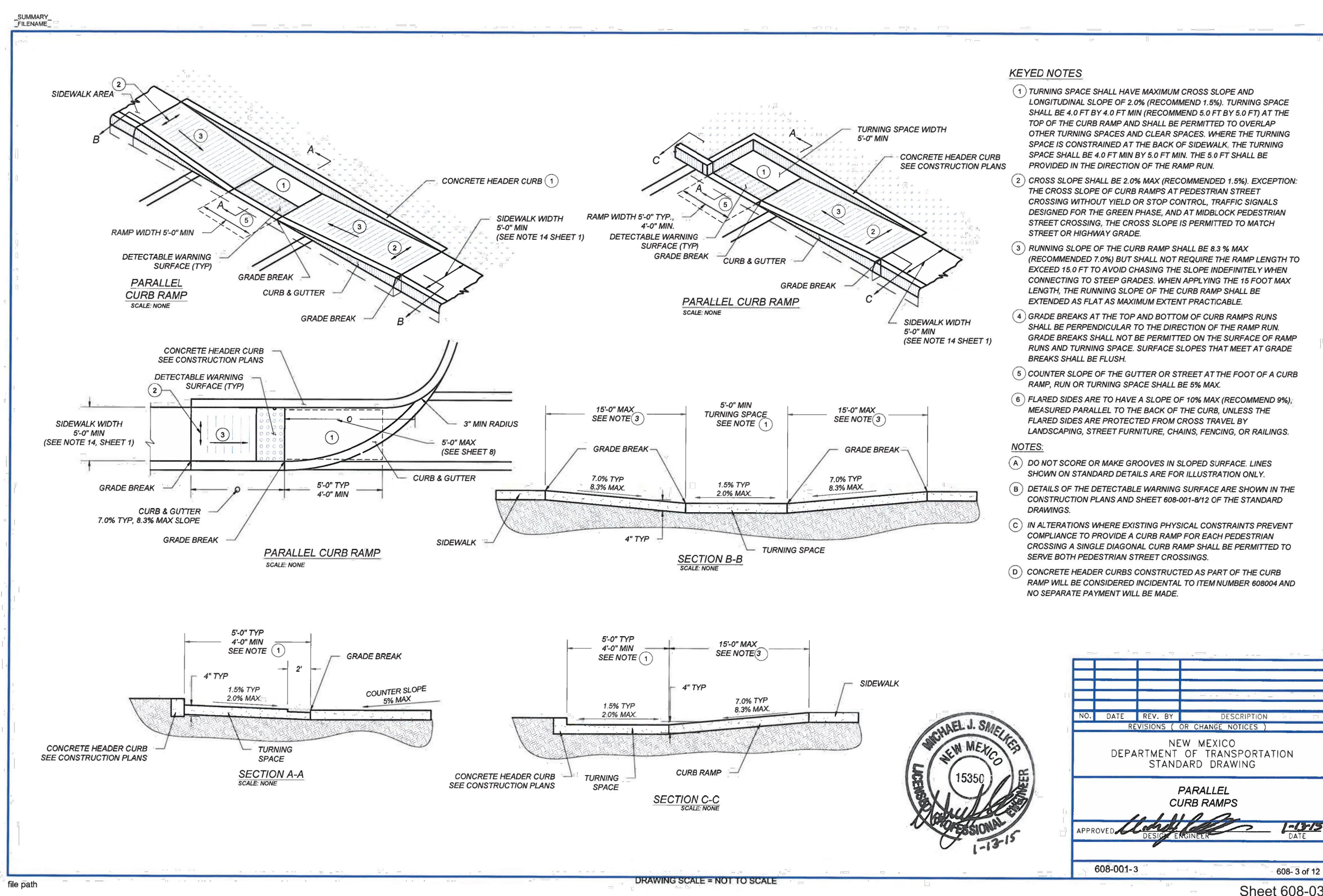
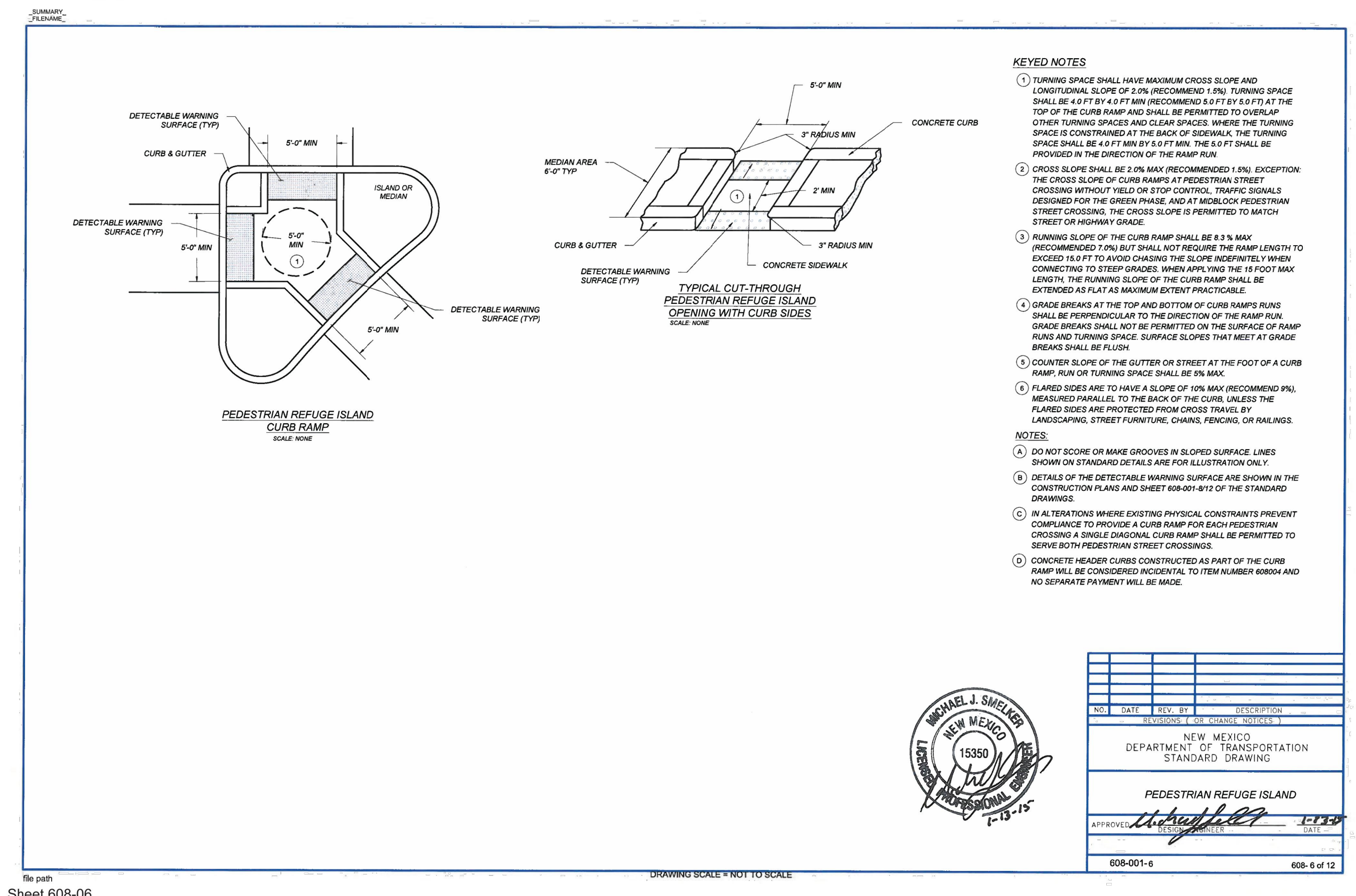
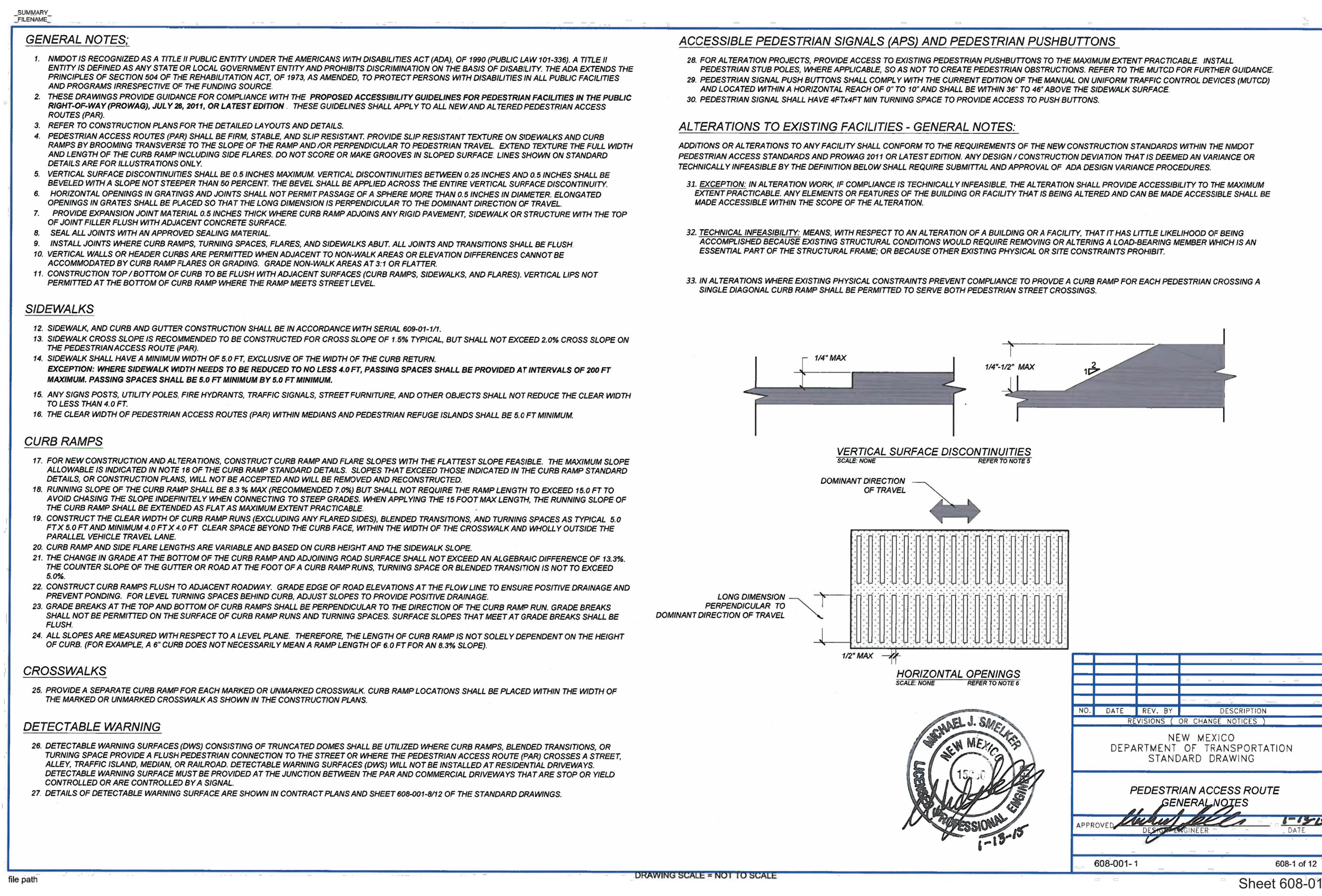
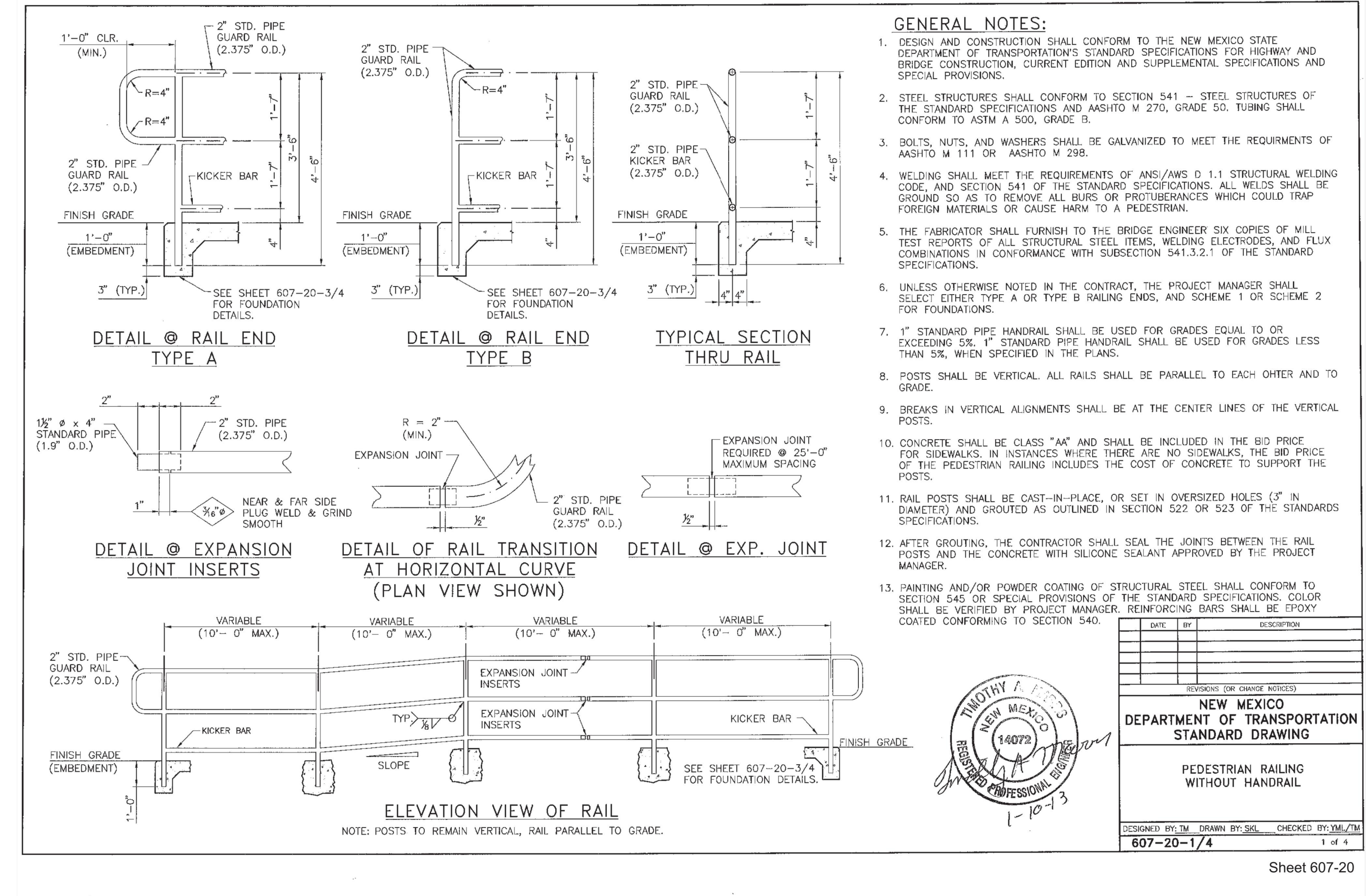
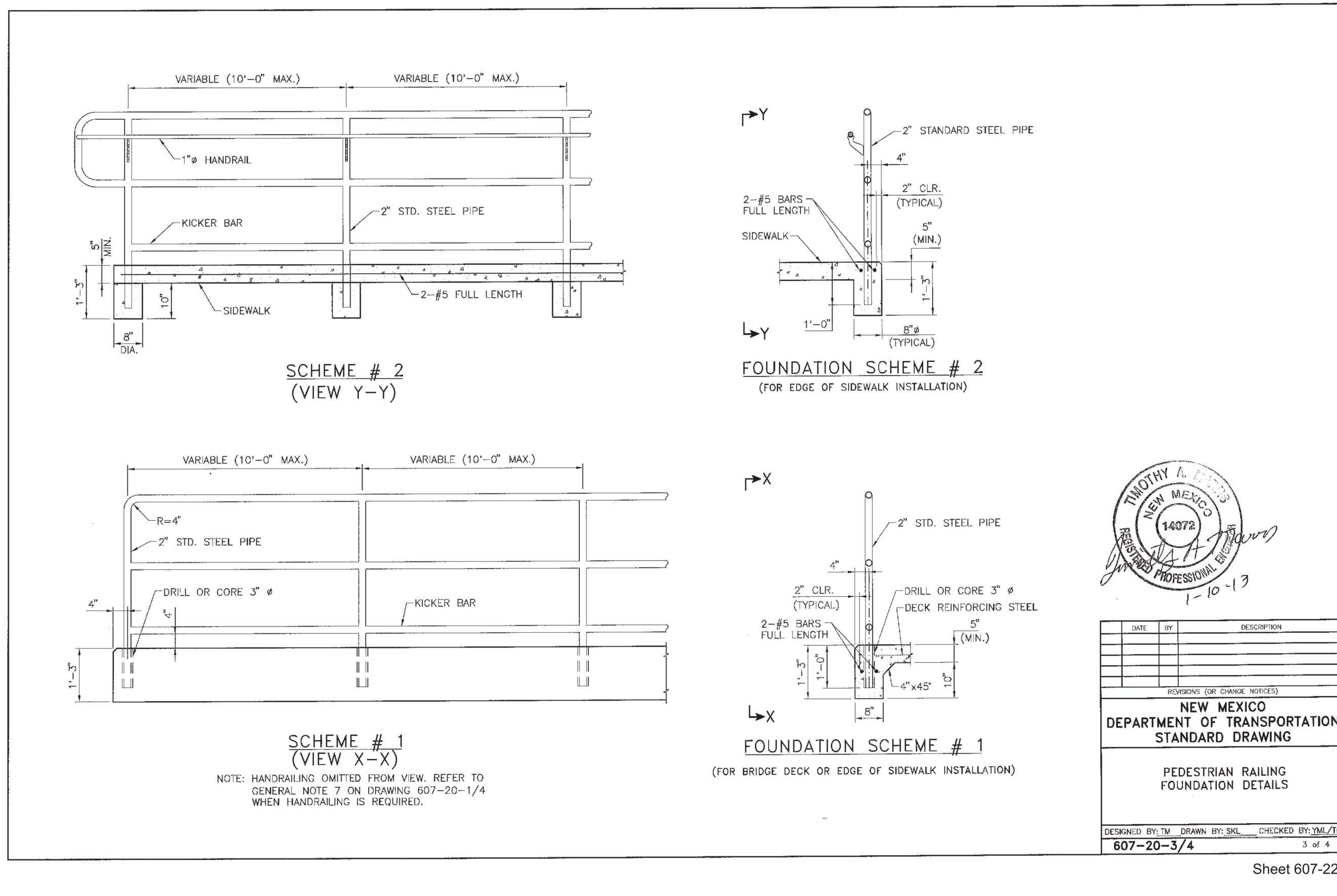
PROJECT NAME:  
**LEXUS OF ALBUQUERQUE**  
4821 PAN AMERICAN FWY.  
ALBUQUERQUE, NM

**SHEET DESCRIPTION:**  
**SITE DETAILS**

PROJECT #	2021-12	
DRAWN BY	CC	
CHECKED BY	BA	
NO.	ISSUE/REVISION	DATE
#1	FOR PERMIT	6/23/22
#2	PERMIT REVISIONS	7/11/22
#3	PERMIT REVISIONS	10/31/22
#8	CLIENT CHANGES	12/16/22
#9	NMDDOT REVISIONS	2/21/23
#10	PERMIT REVISIONS	3/16/23

**C10.1**





**AYER DESIGN GROUP**  
PROFESSIONAL ENGINEERS & SURVEYORS  
215 Johnson Street  
Rock Hill, SC 29730  
Phone: 803-328-5858

**BIRKIE AYER JR.**  
NEW MEXICO  
25848  
PROFESSIONAL ENGINEER  
Bill Ayer  
3-10-2023

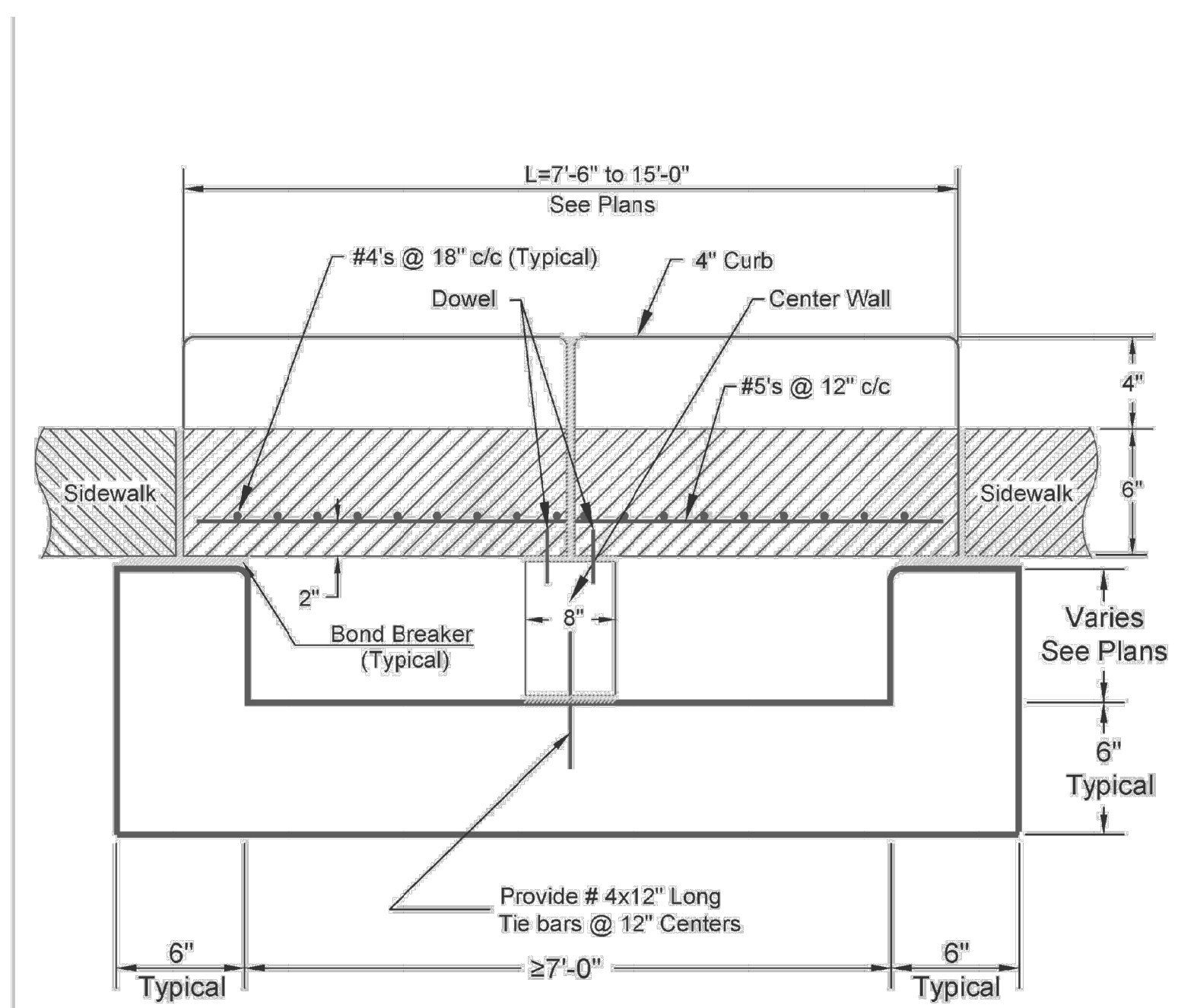
PROJECT NAME:  
**LEXUS OF ALBUQUERQUE**  
4821 PAN AMERICAN FWY.  
ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**SITE DETAILS**

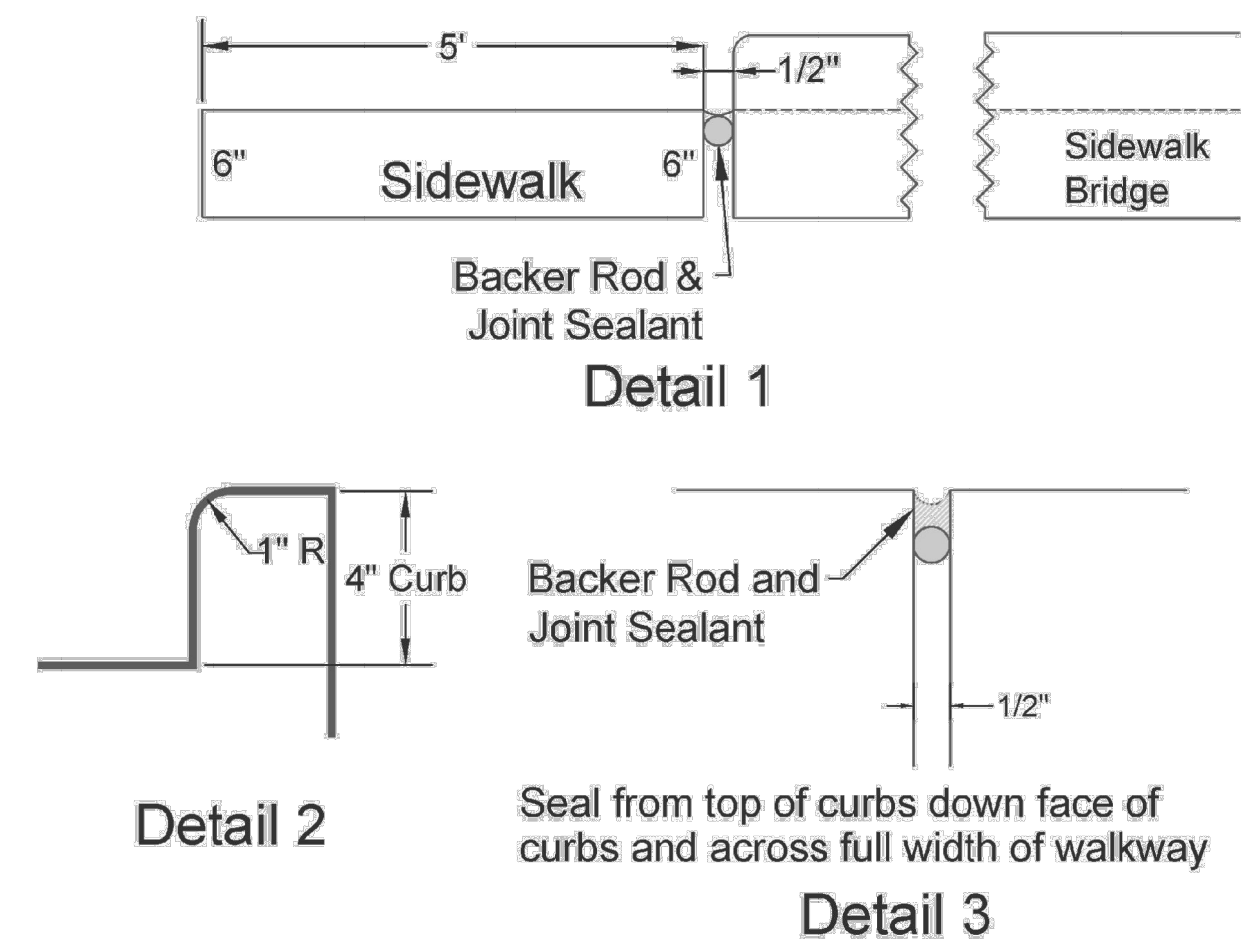
PROJECT #	2021-12	
DRAWN BY	CC	
CHECKED BY	BA	
NO	ISSUE/REVISION	DATE
#1	FOR PERMIT	6/23/22
#2	PERMIT REVISIONS	7/13/22
#3	PERMIT REVISIONS	10/31/22
#4	PERMIT REVISIONS	12/16/22
#8	CLIENT CHANGES	12/30/22
#9	MDOT REVISIONS	2/21/23
#10	PERMIT REVISIONS	3/10/23

**C10.2**



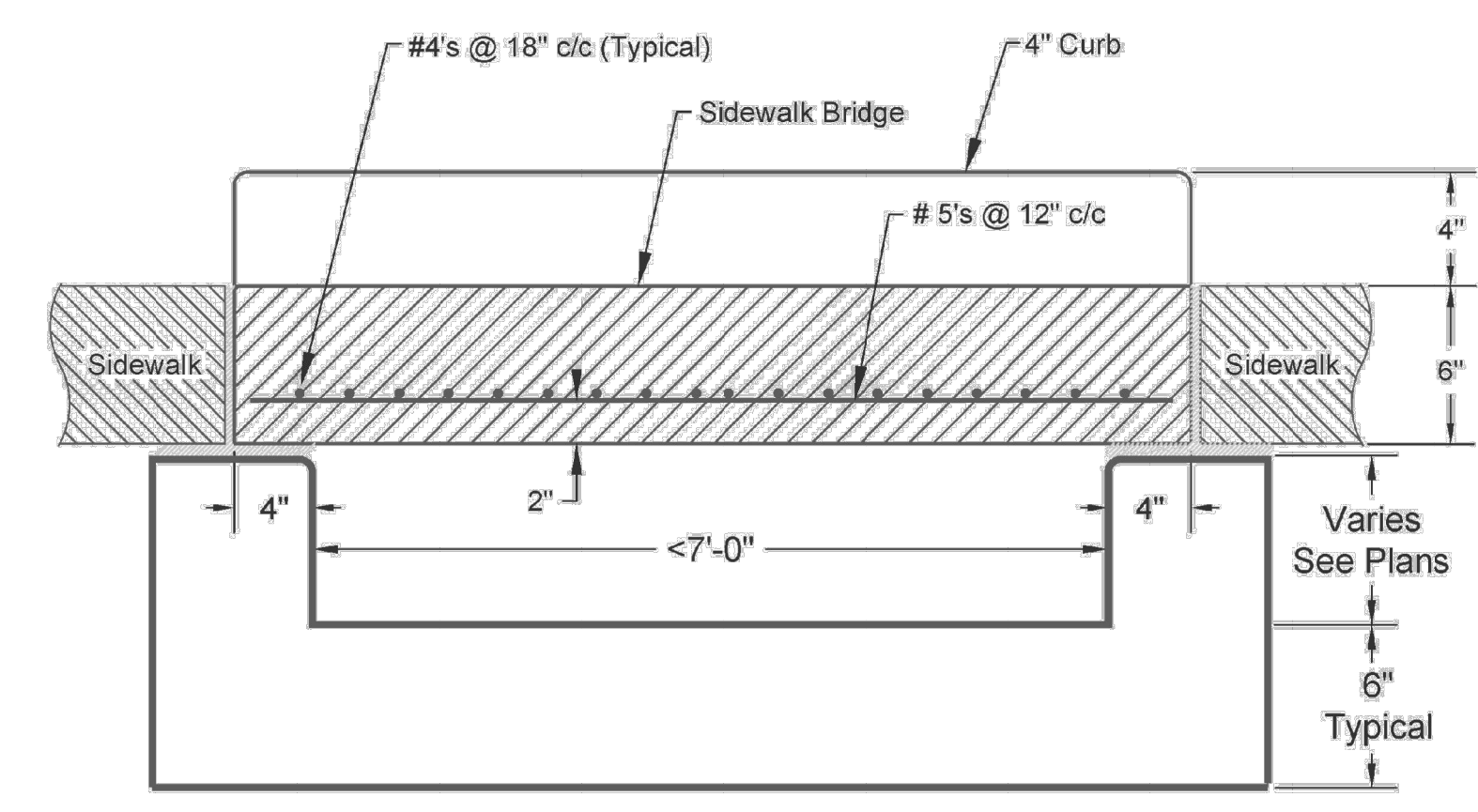


Section A-A for 7'-0" or greater span length

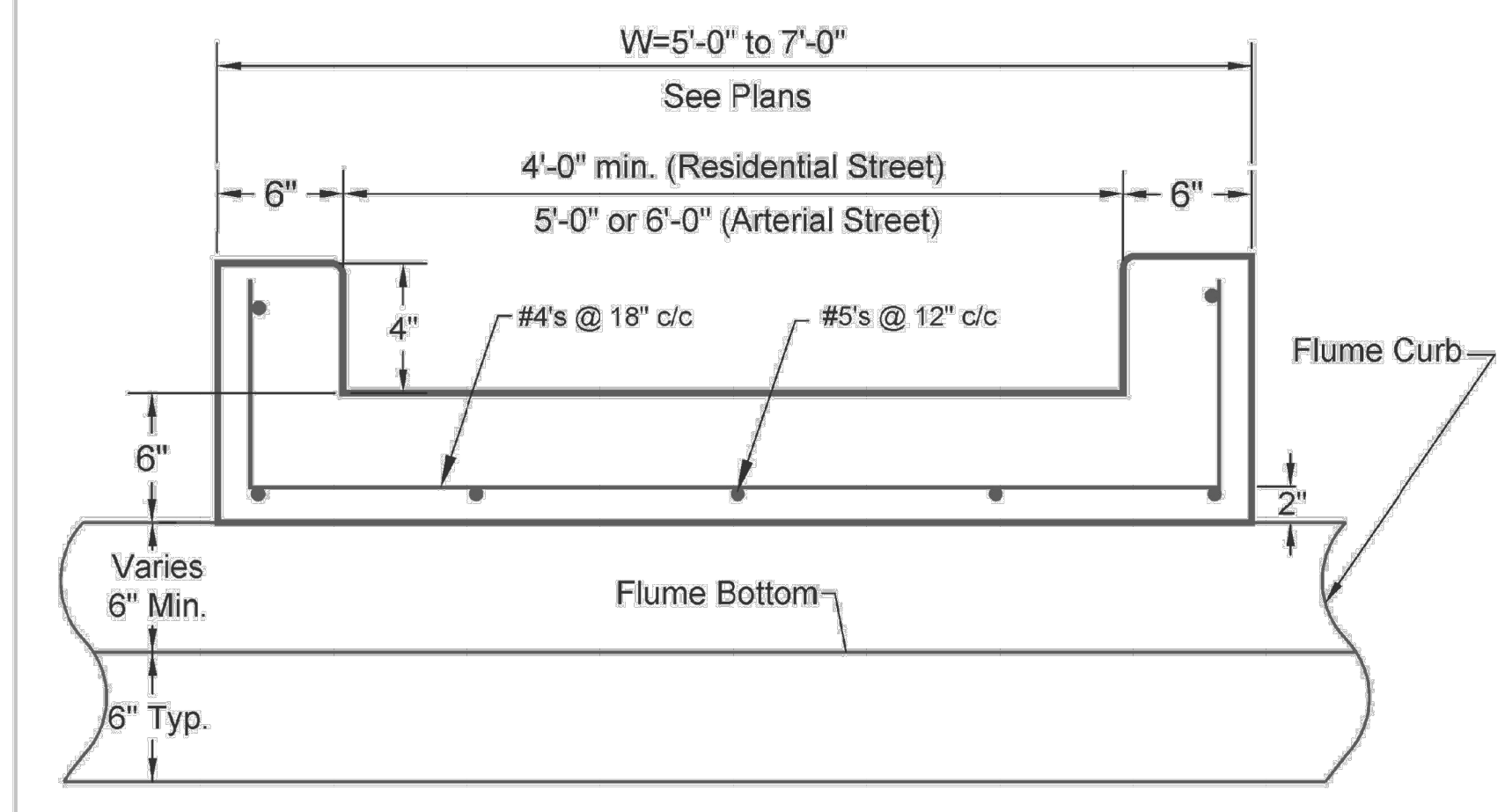


**Sidewalk Bridge Notes:**

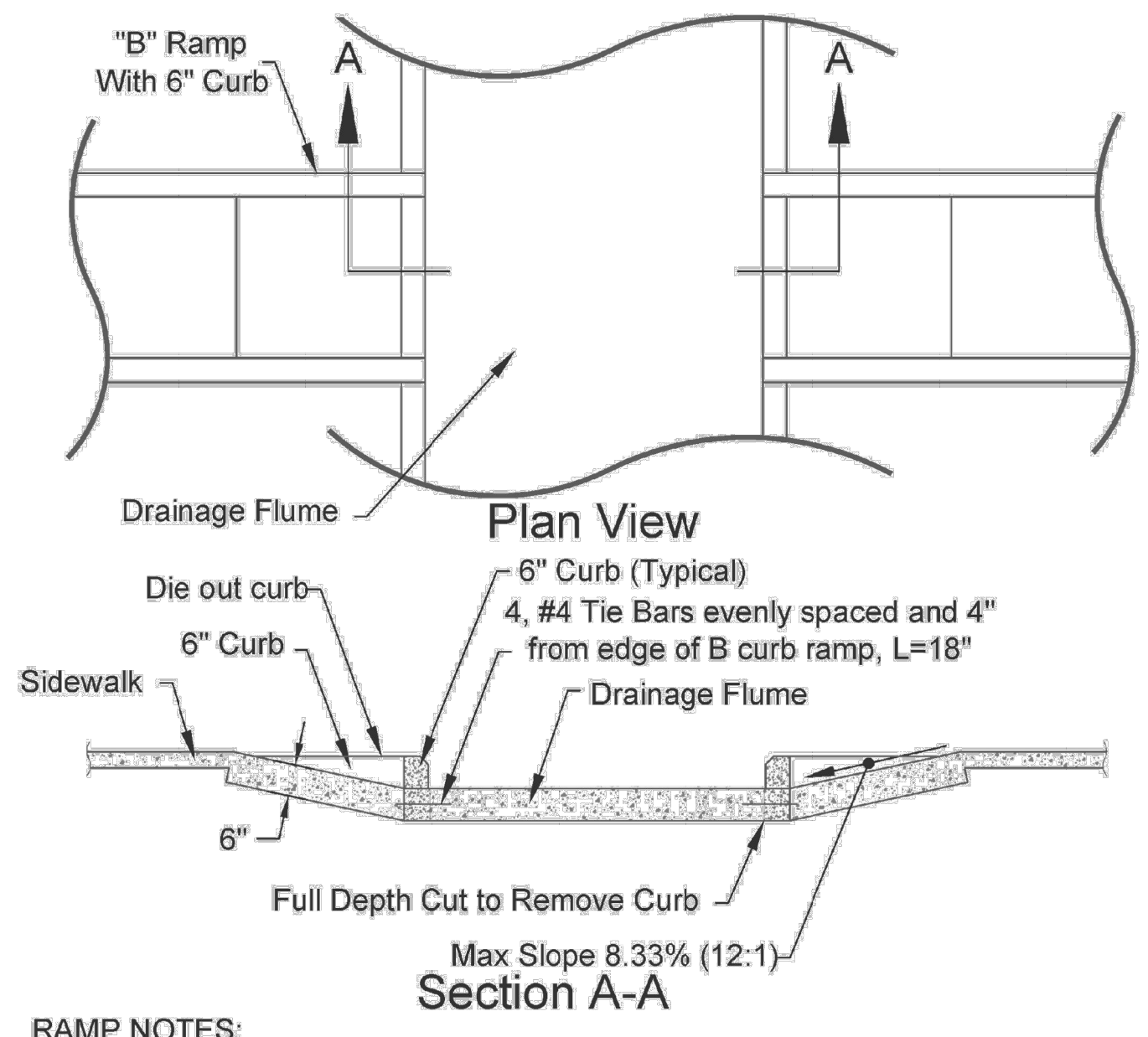
1. The width of the sidewalk bridge must be at least as wide as the adjacent sidewalk.
2. # 5 bars must extend to within 1 1/2" of the end forms.
3. Flume crossing with sidewalk bridges having a walking path greater than 5' wide require a separate design
4. Flume crossing with a dimension of 18" or greater from flume surface to the walkway surface will require pedestrian guardrail.
5. 3/4" chamfer (typical) required on all exposed edges.



Section A-A for less 7'-0" span length

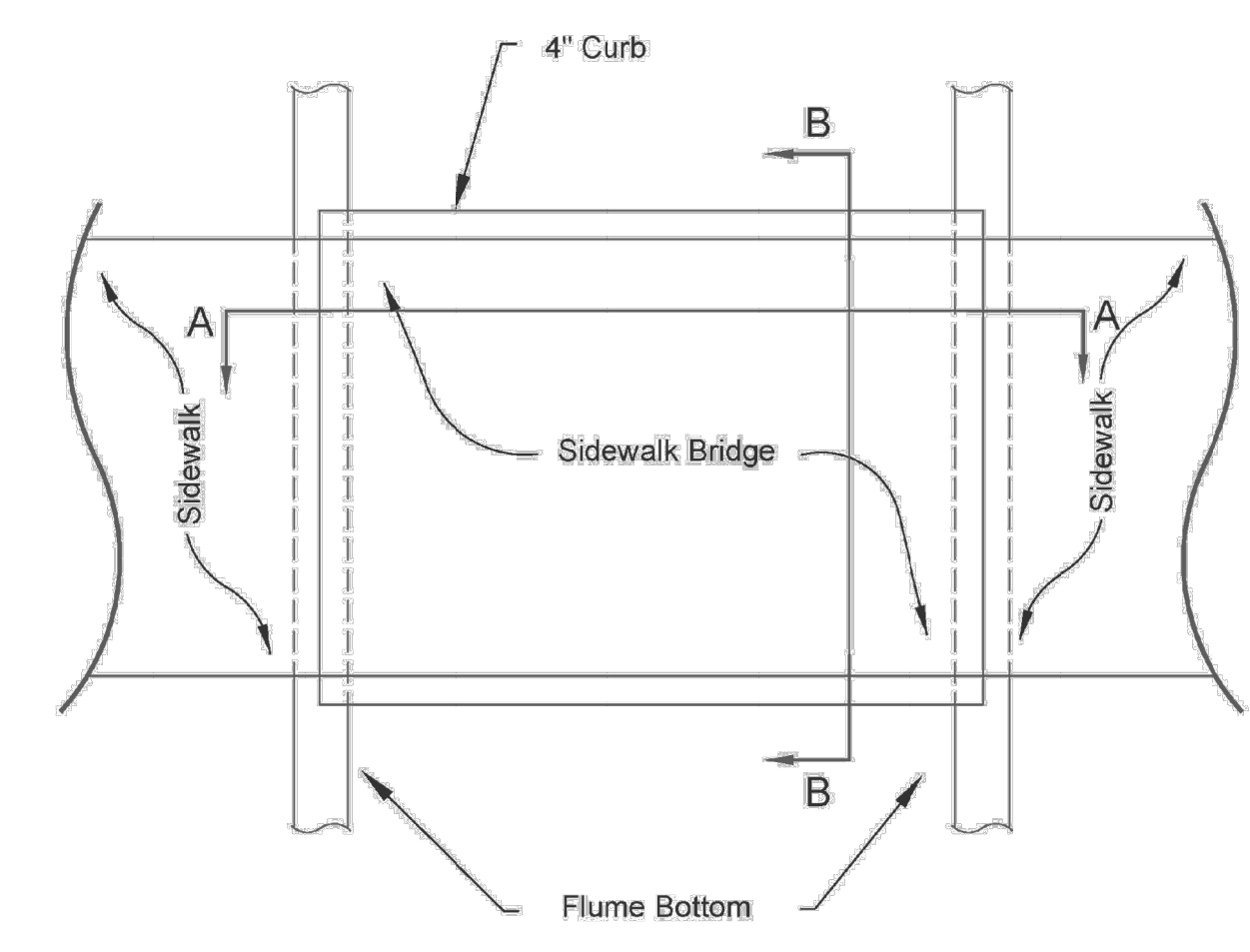


Section B-B



**RAMP NOTES:**

1. In most cases, to be constructed as shown above unless grade or other factors require the construction of a sidewalk bridge.
2. If flume grade is more than 2%, then bottom of flume must be reconstructed so the longitudinal grade is 2% or less to meet ADA requirements for sidewalk cross slope. The transition on each side of sidewalk in bottom of flume must be at least 2' wide and a maximum grade equal to 2x the longitudinal flume grade.

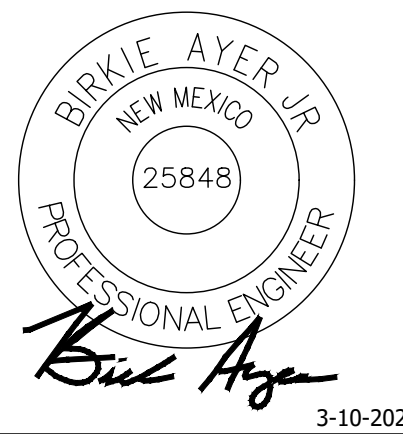


Sidewalk at Flume Crossing

ADA SIDEWALK AND CURB RAMP AT FLUME DETAILS

SIDEWALK AT FLUME DETAILS

State Job No. 26985(04) Sheet No. R015



3-10-2023

PROJECT NAME:  
**LEXUS OF ALBUQUERQUE**

4821 PAN AMERICAN FWY.  
ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**SITE DETAILS**

PROJECT #	2021-12	
DRAWN BY	CC	
CHECKED BY	BA	
NO	ISSUE/REVISION	DATE
	FOR PERMIT	6/23/22
#1	PERMIT REVISIONS	7/1/22
#2	PERMIT REVISIONS	10/31/22
#3	PERMIT REVISIONS	12/16/22
#8	CLIENT CHANGES	12/30/22
#9	NMDOT REVISIONS	2/21/23
#10	PERMIT REVISIONS	3/10/23

OKLAHOMA COUNTY COVELL & MACARTHUR BLVD.



sp "LS 11993"

Tract A-1  
LLD Subdivision  
(9/25/2014, 2014C-109)  
NOT A PART  
ZONING = NR-LM

PK Nail With  
Tag "LS 11463"  
N: 1506141.98  
E: 1535076.14  
Elev: 5109.13'

Rebar With  
Cap "LS 15075"

PK Nail  
With Tag  
"LS 15075"

10 Reg. Spaces  
Bathery Marker  
With Cap "LS 14271"  
Tract "B"  
LLD Subdivision  
(3/26/2004, 2004C-102)  
NOT A PART

PK Nail  
"LS 14271"  
N: 1506127.26  
E: 1535229.28  
Elev: 5113.83'

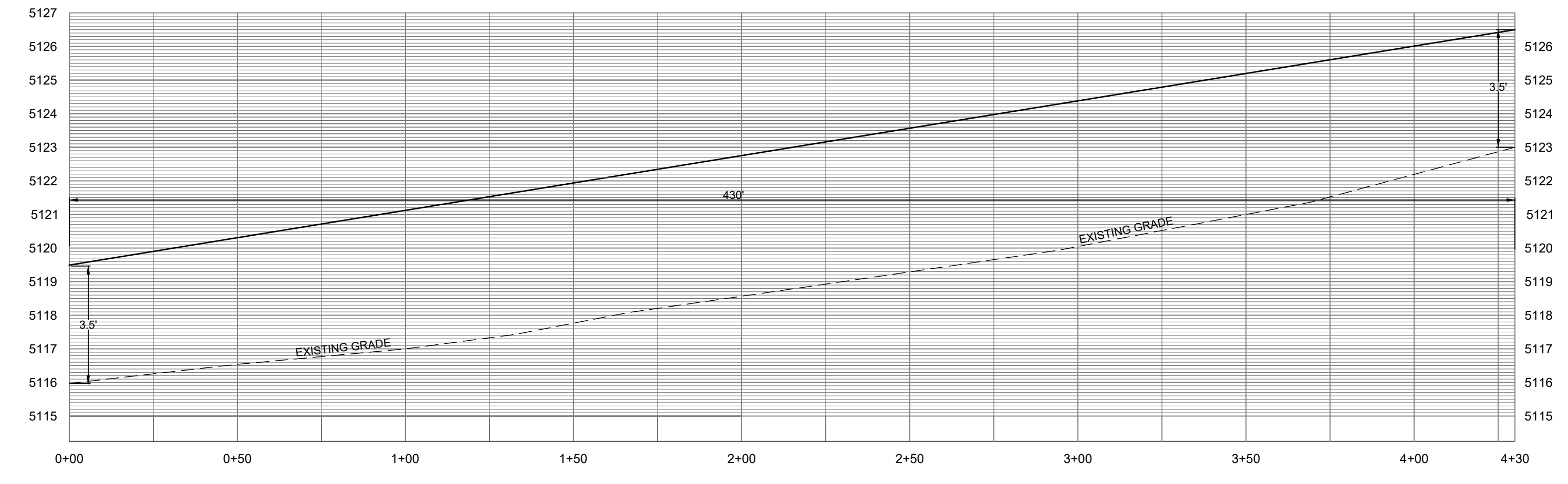
Bathery Marker  
Reference  
Cap  
N: 1506041.77  
E: 1535229.28  
5.00' from Corner

S OF ALBUQUERQUE  
MOBILE SALES & SERVICE  
EXISTING BLDG 22,800 SF  
ADDITION = 15,695 SF

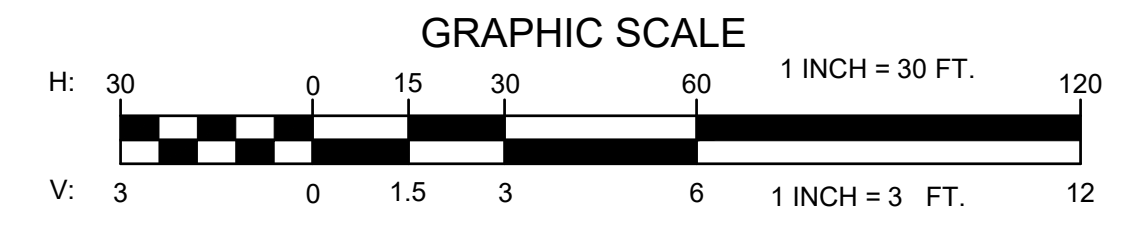
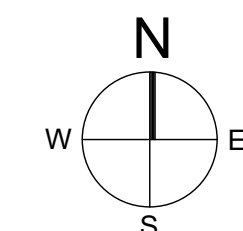
4821 Pan American Freeway NE  
Interstate 25 R/W = App. 325'

INTERSECTION  
SIGHT DISTANCE LINE  
BASED ON 45 MPH.  
SEE SIGHT DISTANCE  
EXHIBIT, SHEET C11.0.

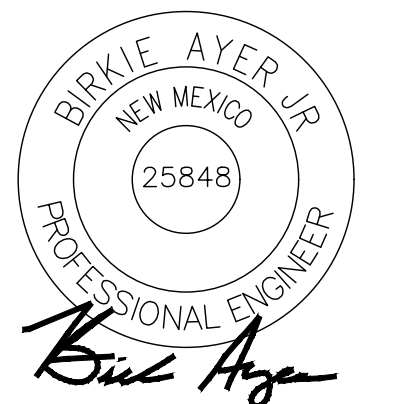
PAN AMERICAN FWY. FRONTAGE ROAD (45 MPH)  
INTERSECTION SIGHT DISTANCE



CALL NM ONE-CALL  
SYSTEM SEVEN (7) DAYS  
PRIOR TO ANY EXCAVATION



AYER DESIGN GROUP  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnston Street  
Rock Hill, SC 29730  
Phone: 803-328-5858



PROJECT NAME:  
LEXUS OF  
ALBUQUERQUE

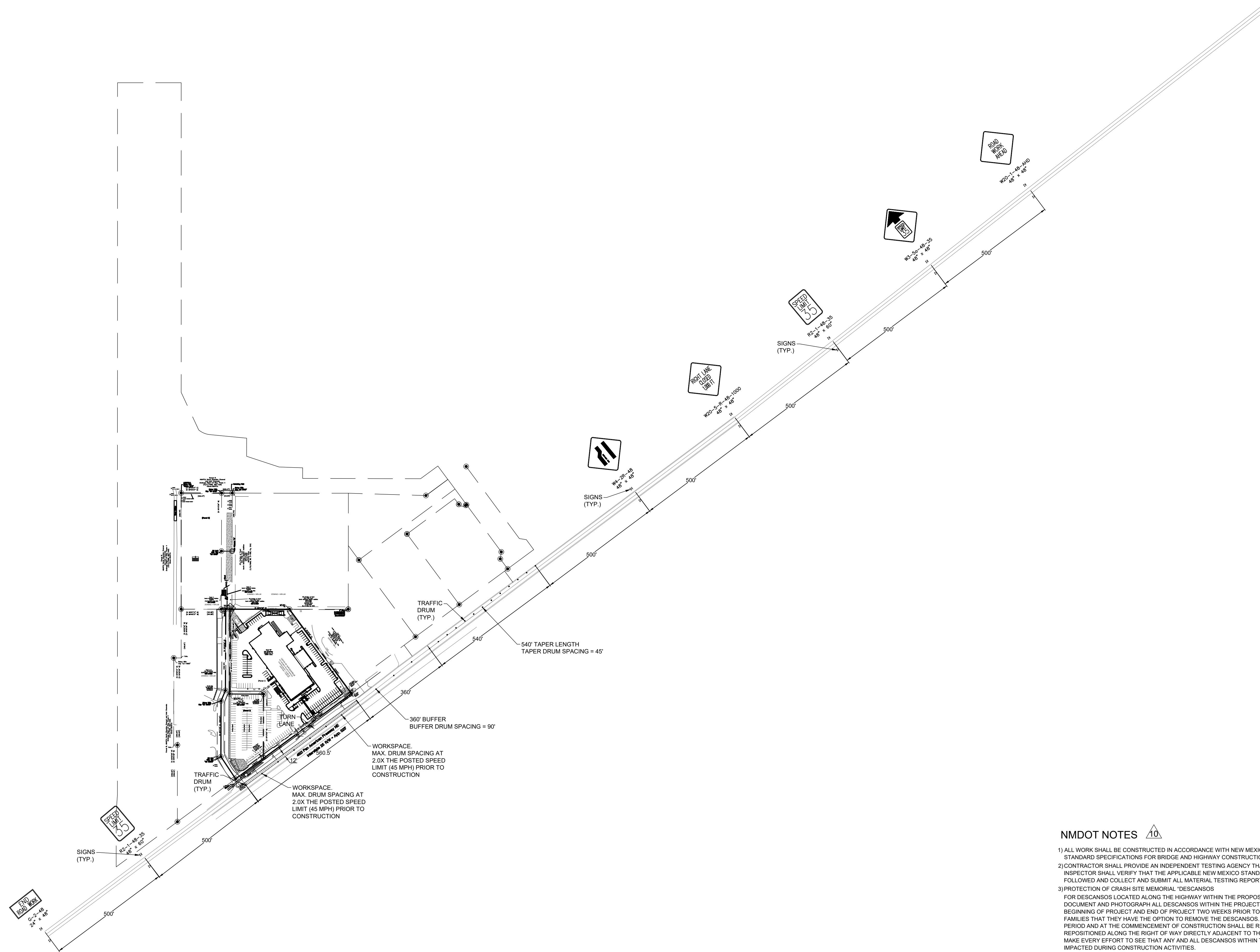
4821 PAN AMERICAN FWY.  
ALBUQUERQUE, NM

SHEET DESCRIPTION:  
SIGHT DISTANCE  
EXHIBIT

PROJECT #	2021-12	
DRAWN BY	CC	
CHECKED BY	BA	
NO	ISSUE/REVISION	DATE
	FOR PERMIT	6/23/22
#1	PERMIT REVISIONS	7/11/22
#2	PERMIT REVISIONS	10/31/22
#3	PERMIT REVISIONS	12/16/22
#8	CLIENT CHANGES	12/30/22
#9	NMDOT REVISIONS	2/21/23
#10	PERMIT REVISIONS	3/10/23

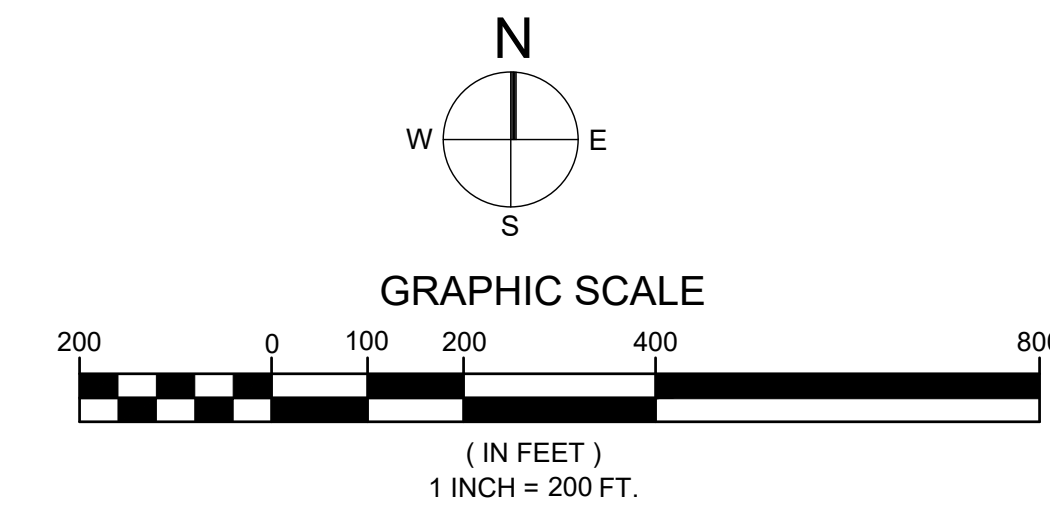
C11.0





**NMDOT NOTES**

- 1) ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR BRIDGE AND HIGHWAY CONSTRUCTION CURRENT EDITION.
- 2) CONTRACTOR SHALL PROVIDE AN INDEPENDENT TESTING AGENCY THAT WILL ACT ON BEHALF OF THE NMDOT. THE INSPECTOR SHALL VERIFY THAT THE APPLICABLE NEW MEXICO STANDARD DRAWINGS AND SPECIFICATIONS ARE FOLLOWED AND COLLECT AND SUBMIT ALL MATERIAL TESTING REPORTS TO THE NMDOT DISTRICT THREE OFFICE.
- 3) PROTECTION OF CRASH SITE MEMORIAL -DESCANSOS  
FOR DESCANSOS LOCATED ALONG THE HIGHWAY WITHIN THE PROPOSED PROJECT LIMITS, THE CONTRACTOR SHALL DOCUMENT AND PHOTOGRAPH ALL DESCANSOS WITHIN THE PROJECT LIMITS. SIGNS SHALL BE INSTALLED AT THE BEGINNING OF PROJECT AND END OF PROJECT TWO WEEKS PRIOR TO THE BEGINNING OF CONSTRUCTION NOTIFYING FAMILIES THAT THEY HAVE THE OPTION TO REMOVE THE DESCANSOS. DESCANSOS REMAINING AFTER THE TWO-WEEK PERIOD AND AT THE COMMENCEMENT OF CONSTRUCTION SHALL BE REMOVED FROM CONSTRUCTION ZONE AND REPOSITIONED ALONG THE RIGHT OF WAY DIRECTLY ADJACENT TO THEIR ORIGINAL LOCATION. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO SEE THAT ANY AND ALL DESCANSOS WITHIN THE PROJECT LIMITS ARE NOT ADVERSELY IMPACTED DURING CONSTRUCTION ACTIVITIES.
- 4) TRAFFIC CONTROL MANAGEMENT. THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT AND OBTAIN APPROVAL OF A TRAFFIC CONTROL PERMIT PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES ON THE ROADWAY. ALONG WITH THE PERMIT, THE CONTRACTOR WILL BE REQUIRED TO SUBMIT A TRAFFIC CONTROL PLAN THAT WILL REFLECT AND COORDINATE THE CONTRACTOR'S PROPOSED CONSTRUCTION PHASING. THESE PLANS SHALL BE PREPARED AND SEALED BY A NEW MEXICO REGISTERED PROFESSIONAL ENGINEER. THE PLANS SHALL BE REVIEWED AND APPROVED BY THE DISTRICT THREE TRAFFIC ENGINEER OR DESIGNEE. THE NMDOT DISTRICT TRAFFIC SECTION RESERVES THE RIGHT TO MAKE ANY CHANGES TO THE TRAFFIC CONTROL PLAN TO ADDRESS SITE SPECIFIC ITEMS THAT WERE NOT SHOWN ON THE PLANS. THE NMDOT ALSO RESERVES THE RIGHT TO ADD TRAFFIC CONTROL DEVICES TO THE APPROVED PLAN IF IT IS DETERMINED BY THE TRAFFIC ENGINEER OR DESIGNEE THAT THE ADDITIONAL DEVICES WOULD BE REQUIRED TO ADDRESS SAFETY CONCERNS WITHIN OR IN ADVANCE OF THE WORK ZONE. THE TRAFFIC CONTROL PERMIT ALONG WITH THE TRAFFIC CONTROL PLANS SHALL BE SUBMITTED TO THE NMDOT DISTRICT THREE, GERALD LUJAN (905-382-5427) AT LEAST 10 WORKING DAYS PRIOR TO CONSTRUCTION. THE TRAFFIC CONTROL PLANS SHALL BE SUBMITTED ELECTRONICALLY OR ON 11X17 SHEETS. A COPY OF THE TRAFFIC CONTROL PERMIT (RIGHT-OF-WAY FORMS) MAY BE OBTAINED FROM OUR OFFICE.
- 5) IF A PAVEMENT DROP-OFF IS CREATED DURING CONSTRUCTION, THE CONTRACTOR SHALL INITIATE PROTECTIVE MEASURES TO PREVENT ABRUPT PAVEMENT CHANGES. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION. NMDOT DROP OFF POLICY AD 241 SHALL BE FOLLOWED AT ALL TIMES.
- 6) WHEN ABRUPT EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE FIELD ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED. SAWCUT SHALL NOT BE LOCATED WITHIN THE WHEEL PATH OF THE THRU TRAVEL LANE.
- 7) DEVELOPER RESPONSIBLE FOR CONSTRUCTION CONFLICTS WITH FIELD CONDITIONS AND THE CONTRACTOR SHALL COORDINATE WITH NMDOT AND ENGINEER ON RECORD THROUGH THE REQUEST FOR INFORMATION PROCESS.



**AYER DESIGN GROUP**  
PROFESSIONAL ENGINEERING SERVICES  
215 Johnston Street  
Rock Hill, SC 29730  
Phone: 803-328-5858



PROJECT NAME:  
**LEXUS OF ALBUQUERQUE**

4821 PAN AMERICAN FWY.  
ALBUQUERQUE, NM

SHEET DESCRIPTION:  
**TEMPORARY TRAFFIC CONTROL PLAN**

PROJECT #	2021-12	
DRAWN BY	CC	
CHECKED BY	BA	
NO	ISSUE/REVISION	DATE
	FOR PERMIT	6/23/22
#1	PERMIT REVISIONS	7/1/22
#2	PERMIT REVISIONS	10/31/22
#3	PERMIT REVISIONS	12/16/22
#8	CLIENT CHANGES	12/30/22
#9	NMDOT REVISIONS	2/21/23
#10	PERMIT REVISIONS	3/10/23

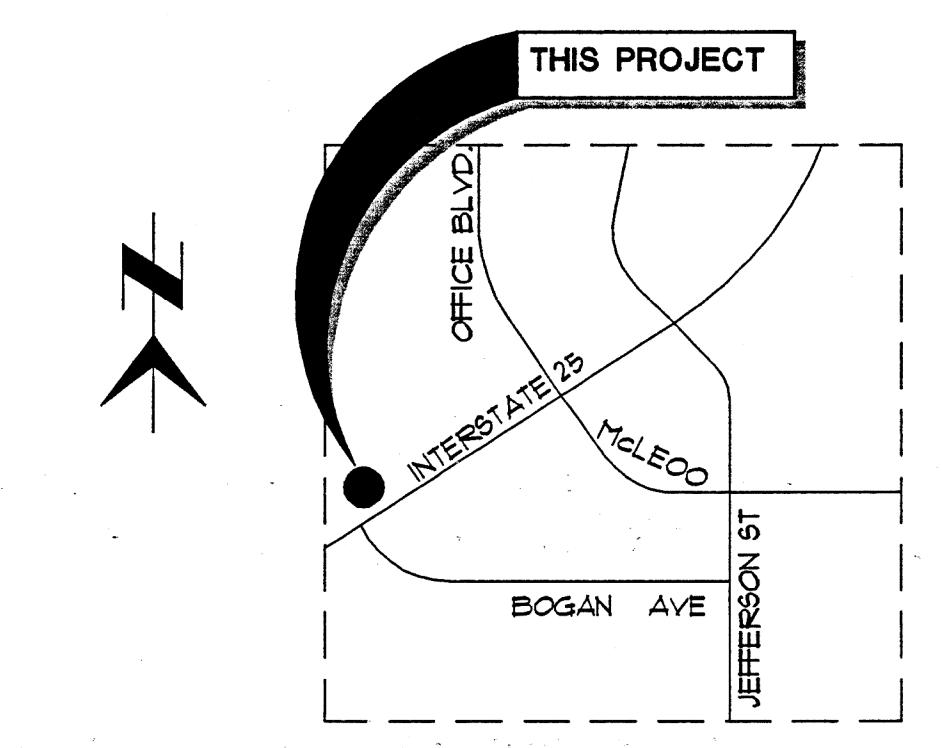
**C12.0**



TRACT A  
NORTH SWITCH STATION  
FILED: 10/14/73 IN  
VOL. 88, FOLIO 181.  
LD-73-476

LANDS OF PUBLIC SERVICE COMPANY OF NEW MEXICO

TRACT C



LOCATION MAP  
SECTION 35, T. 11 N., R. 3 E., N.M.P.M.  
BERNAILLO COUNTY, NEW MEXICO

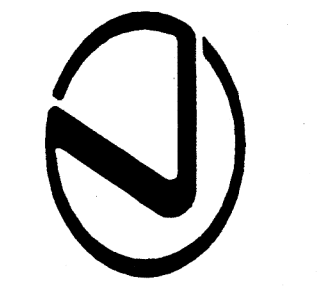
REVISIONS	BY
3-22-00 PLAN CHECK REVISIONS	D.D.
11-11-00 GENERAL REVISIONS	D.D.

a. kent traumnicht, a.i.a.  
architects  
p.o. box 3386 albuquerque, nm 87100 (505) 261-6660

adg  
architectural design group, inc.  
1051 N. Columbia Blvd., Suite # 103 • Tucson, Arizona 85711  
Office (602) 352-2227 • FAX (602) 323-3237

DIMENSIONED SITE PLAN

A NEW FACILITY FOR  
**LEXUS**  
OF ALBUQUERQUE  
INTERSTATE 25 - 4821 PAN AMERICAN FREEWAY  
ALBUQUERQUE, NEW MEXICO



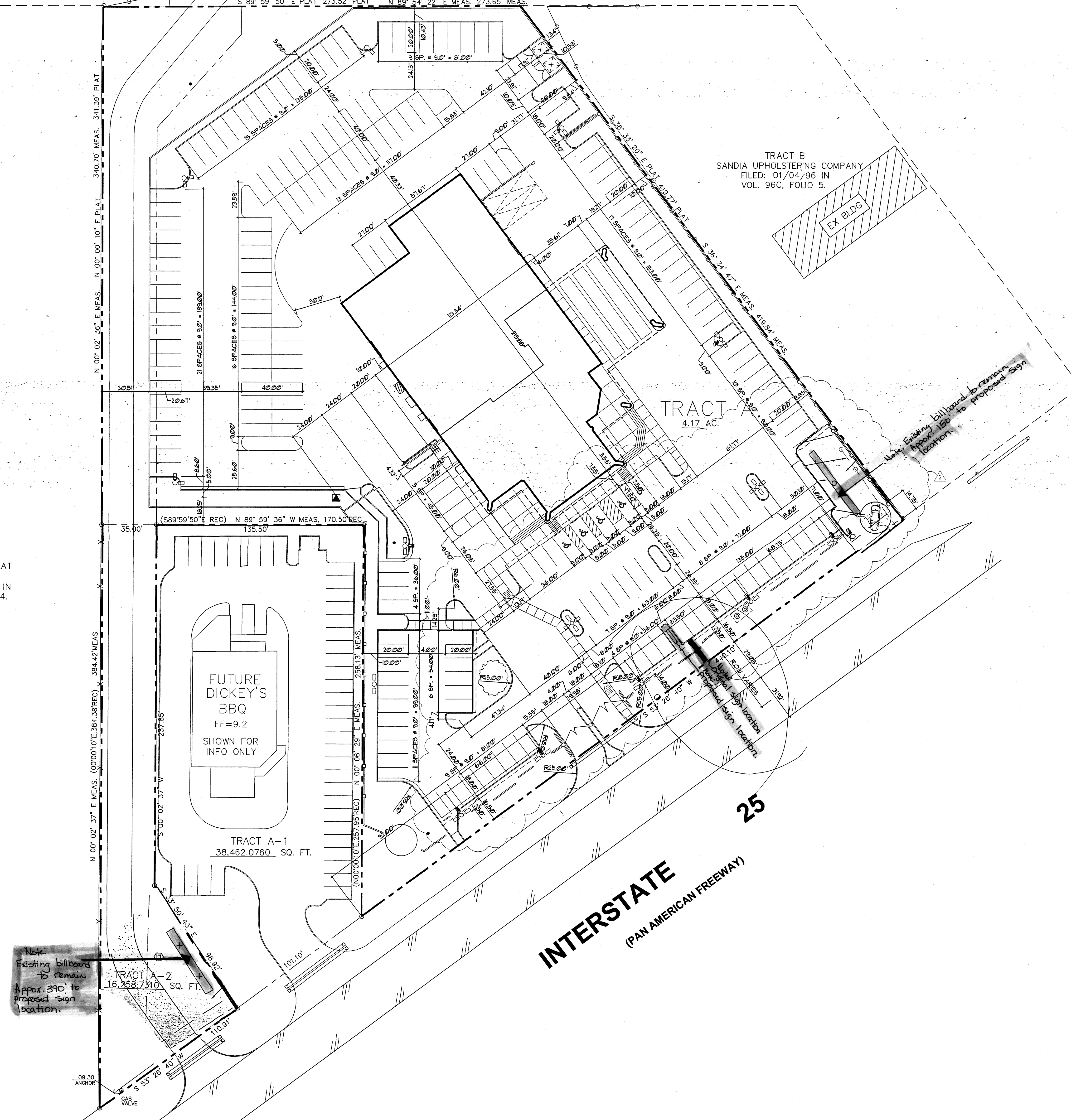
DRAWN SMD  
DATE 9-21-00  
SCALE AS NOTED  
JOB # 9975  
SHEET

**C1.2**

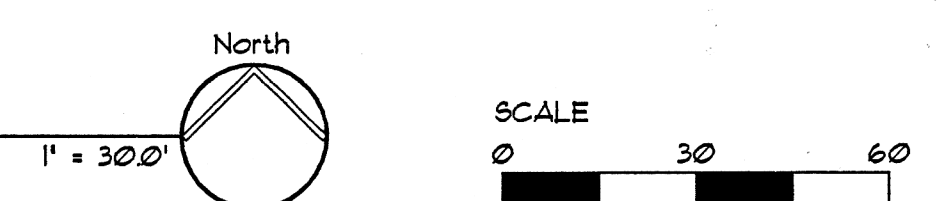
3 OF 51

LAND DIVISION PLAT  
LARDNER TRACT  
FILED: 01/03/74 IN  
VOL. B9, FOLIO 24.

Note:  
Existing billboard to remain.  
Approx. 370' to proposed sign location.



DIMENSIONED SITE PLAN





- (X) KEYED NOTES**
1. EXISTING CMU WALL.
  2. NEW GREY CMU WALL.
  3. NEW STANDING SEAM METAL ROOFING SYSTEM TO MATCH EXISTING (COLOR LIGHT GREY OR WHITE).
  4. NEW GUTTER SYSTEM TO MATCH EXISTING (WHITE).
  5. NEW OVERHEAD DOOR. MATCH EXISTING (WHITE).
  6. NEW WHITE METAL PANEL EXTERIOR CLADDING SYSTEM. MATCH EXISTING.
  7. EXISTING BUILDING BEYOND.
  8. LINE OF ROOF SLOPE BEYOND.
  9. NEW LIGHT COLORED (LIGHT GREY OR WHITE) PREFINISHED METAL COPING. MATCH EXISTING.
  10. EXISTING BUILDING.
  11. EXISTING STANDING SEAM METAL ROOFING SYSTEM.
  12. EXISTING GUTTER SYSTEM TO REMAIN.
  13. EXISTING CMU SITE WALL BEYOND.
  14. NEW GUTTER DOWNSPOUT. MATCH EXISTING (WHITE).

CONSULTANT

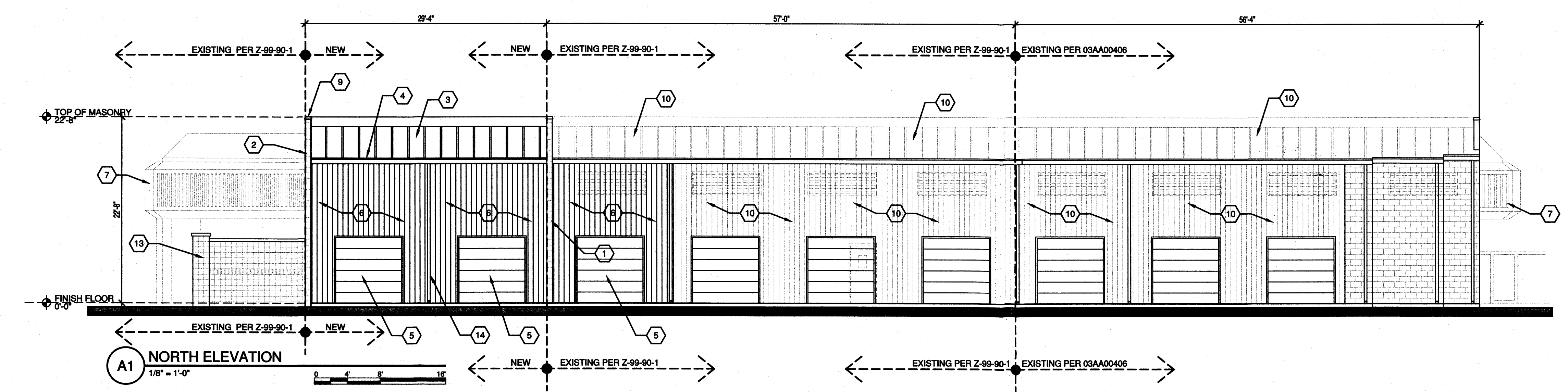
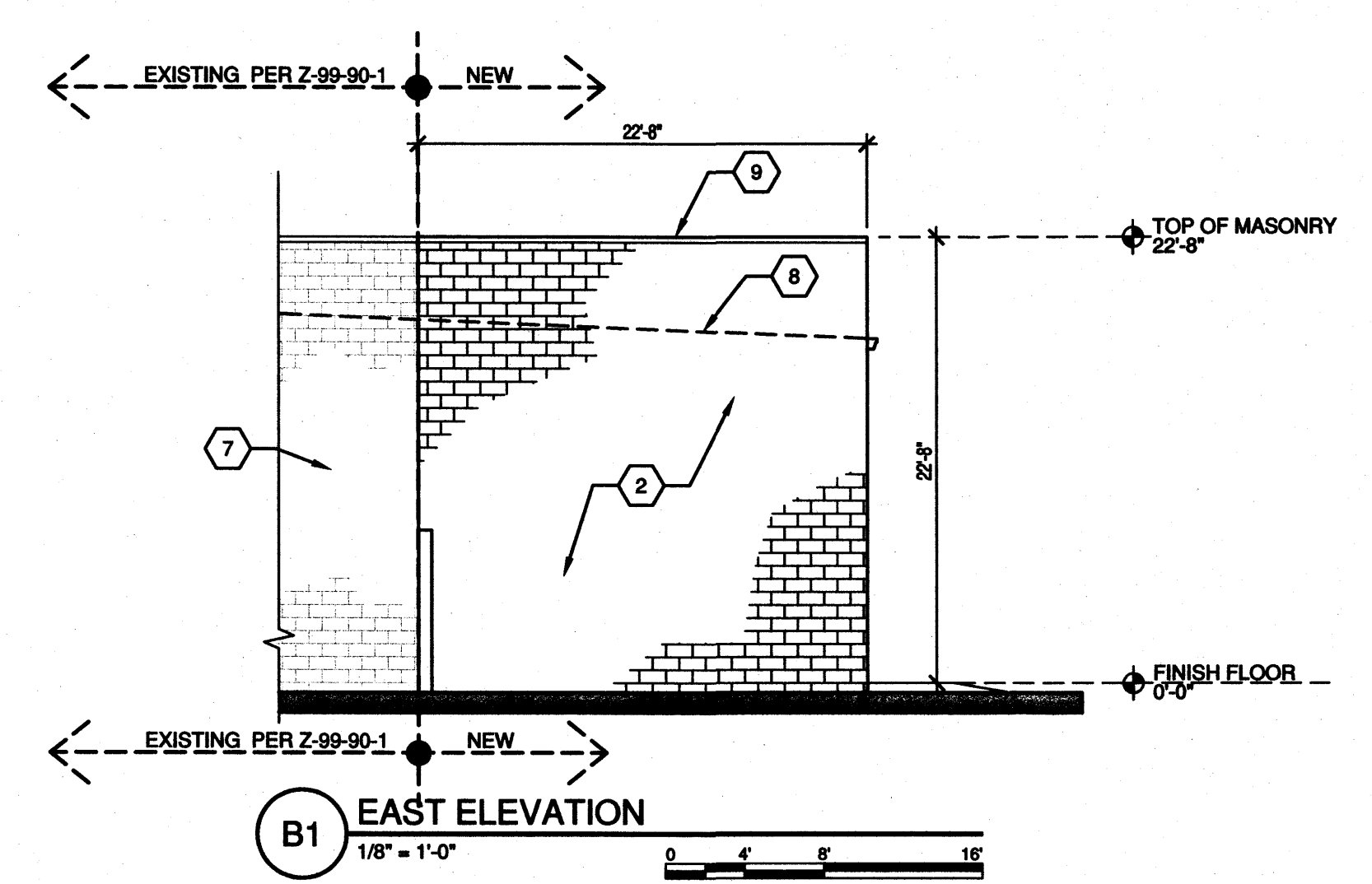
**LEXUS  
 OF ALBUQUERQUE**  
**LOBBY RENOVATION  
 AND CAR WASH BAY  
 ADDITION**  
 4821 Pan American Freeway  
 Albuquerque, NM 87109

MARK	DATE	DESCRIPTION

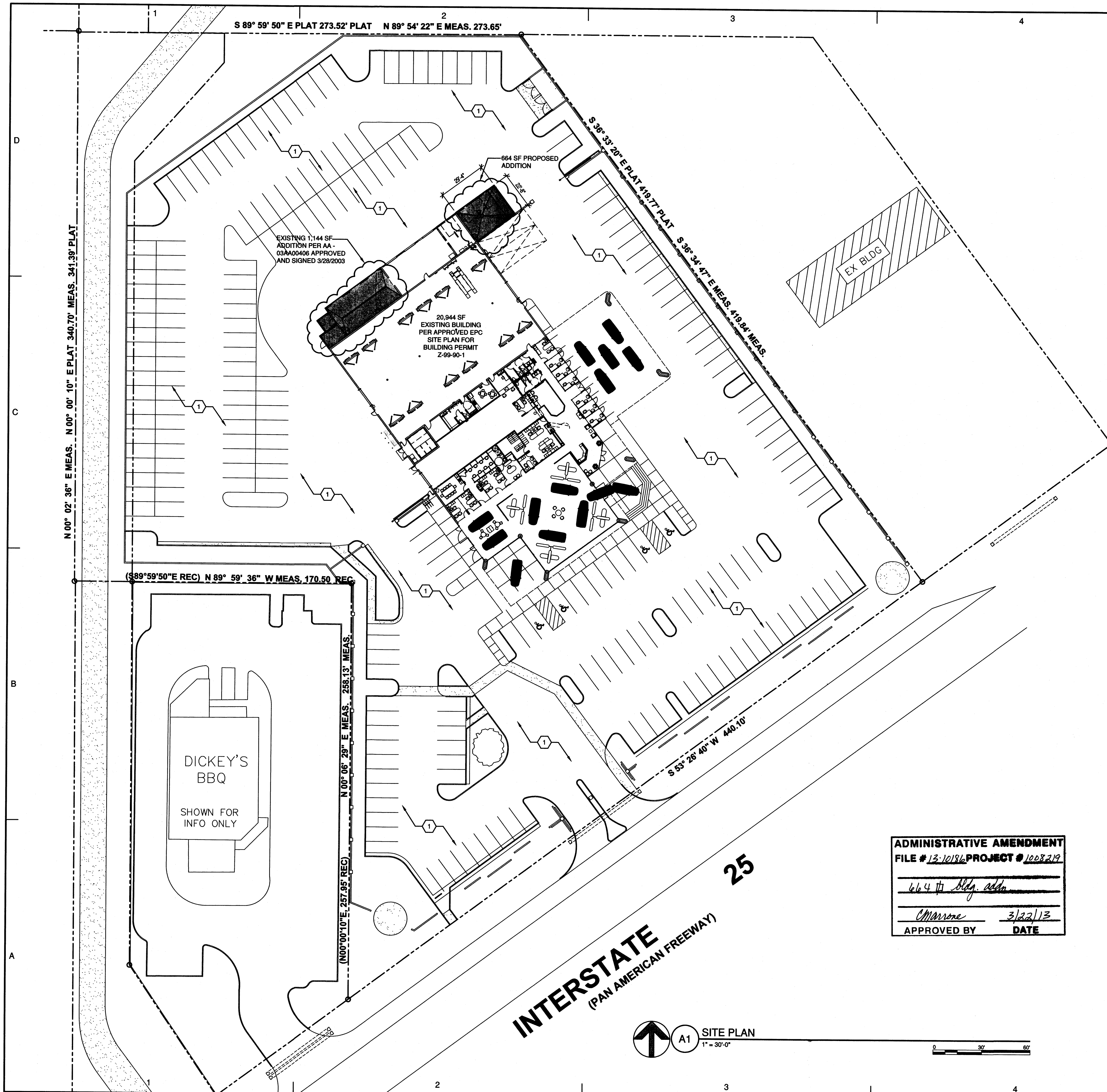
ISSUE: SITE PLAN FOR BUILDING PERMIT  
 DATE: 2/28/2013  
 PROJECT NO: --  
 CAD DWG FILE: A-201 EXTERIOR BUILDING ELEVATIONS-FORALDWG  
 DRAWN BY:  
 CHECKED BY:

SHEET TITLE  
**EXTERIOR BUILDING  
 ELEVATIONS**

**A-201**







**GENERAL NOTES**

- A. EXISTING ASPHALT TO REMAIN
- B. EXISTING DRAINAGE PATTERNS TO REMAIN
- C. EXISTING CONCRETE TO REMAIN

**KEYED NOTES**

- 1. EXISTING PARKING TO REMAIN

**SITE INFORMATION:**

**PARKING:**

RETAIL AND SERVICE USES: ONE SPACE PER 200 SQUARE FEET FOR THE FIRST 15,000 SQUARE FEET, THEN ONE SPACE PER 250 SQUARE FEET FOR THE NEXT 45,000 SQUARE FEET, THEN ONE SPACE PER 300 SQUARE FEET FOR THE AREA THAT EXCEEDS 60,000 SQUARE FEET.

TOTAL BUILDING SF WITH PROPOSED IMPROVEMENTS = 22,752 SF  
 INCREASE IN BUILDING SF RESULTS IN NEW PARKING REQUIREMENT OF 106 SPACES. THERE ARE NO PROPOSED CHANGES TO PARKING. 212 SPACES PROVIDED AS SHOWN ON THE ORIGINAL APPROVED SITE PLAN FOR BUILDING PERMIT

**BUILDING SQUARE FOOTAGE INFORMATION:**

- ORIGINAL EPC APPROVED SITE PLAN (Z-99-90-1) SF = 20,944 SF
- 3/28/2003 03AA00406 APPROVED AA SF = 1,144 SF ADDITION
- PROPOSED INCREASED SF THIS AA = 664 SF
- TOTAL INCREASE OF SQUARE FOOTAGE = 1808 SF
- TOTAL PERCENTAGE INCREASE ABOVE 20,944SF = 8.6%

**fbt architects**  
 MAIL: 6100 Indian School Rd. NE, Ste. 210 Albuquerque, NM 87110  
 PHO: 505.883.5200 FAX: 505.884.5390 WEB: www.fbtarch.com

CONSULTANT

**LEXUS OF ALBUQUERQUE  
 LOBBY RENOVATION AND CAR WASH BAY ADDITION**

4821 Pan American Freeway  
 Albuquerque, NM 87109

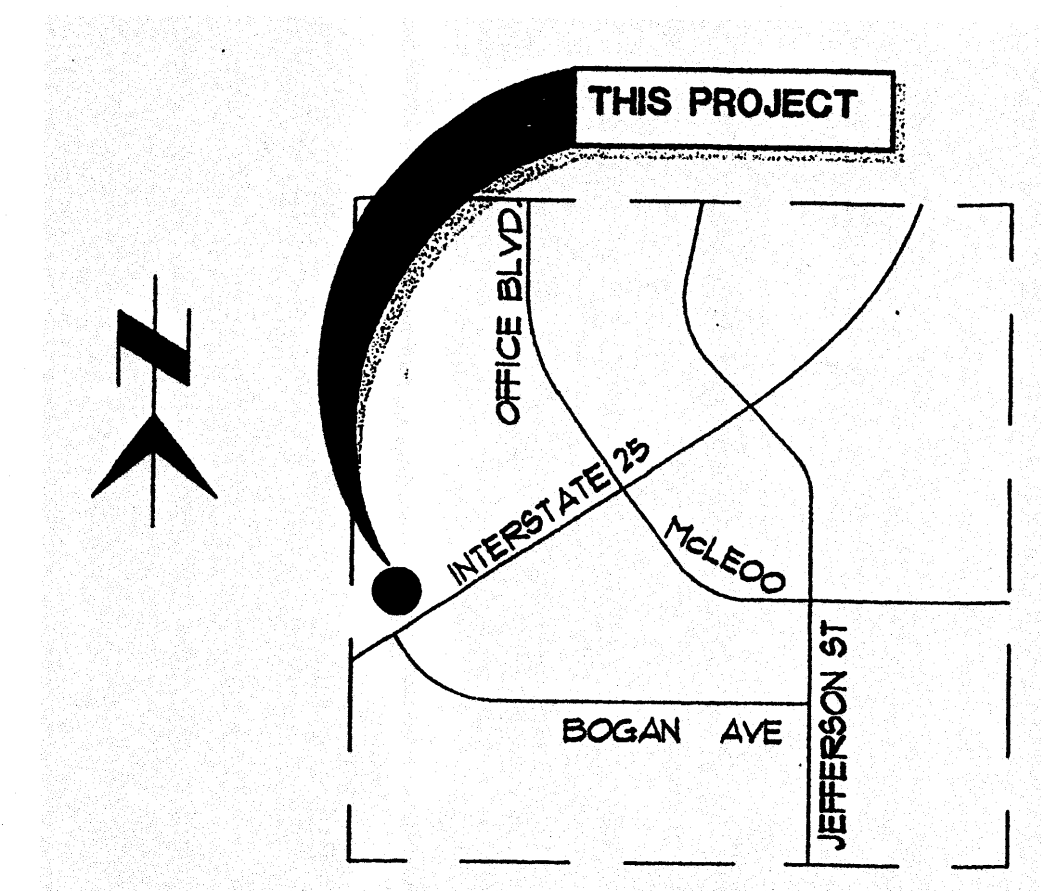
MARK	DATE	DESCRIPTION

ISSUE: SITE PLAN FOR BUILDING PERMIT  
 DATE: 2/26/2013  
 PROJECT NO: --  
 CAD DWG FILE: AS-101 SITE PLAN.DWG  
 DRAWN BY: --  
 CHECKED BY: --

SHEET TITLE  
**SITE PLAN FOR BUILDING PERMIT**

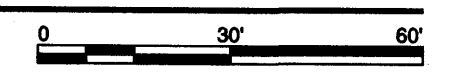
**AS-101**

**VICINITY MAP:**



**ADMINISTRATIVE AMENDMENT**  
 FILE # 13-10186 PROJECT # 1008219  
 464th Bldg. addn  
 Charone 3/22/13  
 APPROVED BY DATE

**A1 SITE PLAN**  
 1" = 30'-0"



4821 Pan American Frwy NE

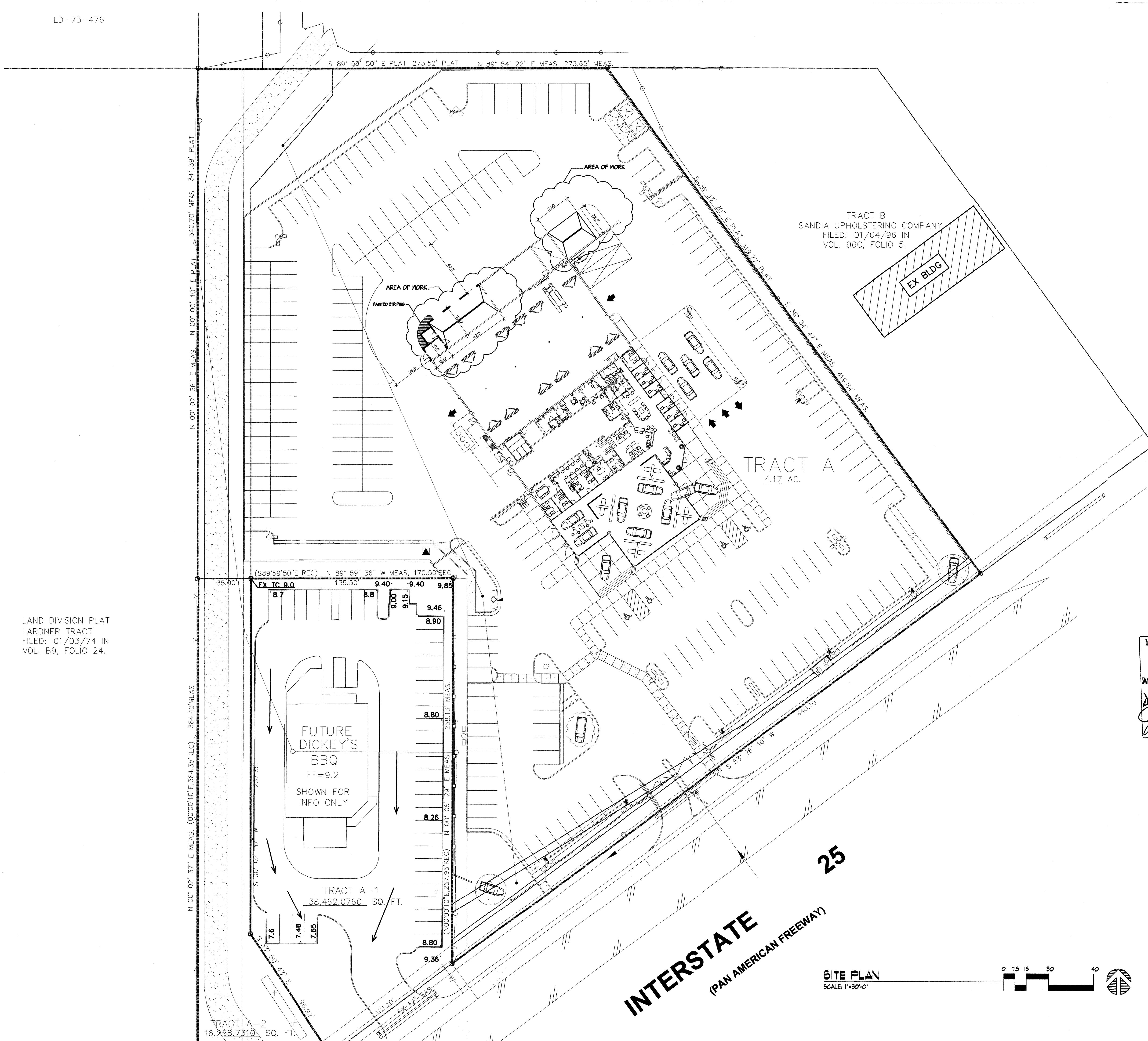


**GENERAL NOTES**

- A. EXISTING ASPHALT TO REMAIN
- B. EXISTING CONCRETE TO REMAIN

**GENERAL NOTES - CITY REQUIRED**

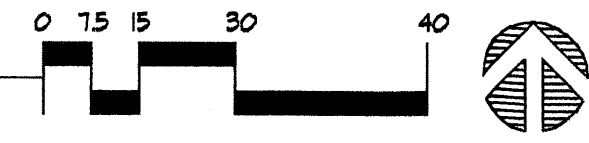
- A. THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN
- B. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- C. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
- D. ALL SIDEWALK AND CURB IN DISREPAIR WILL BE REMOVED AND REPLACED.
- E. CONSTRUCT DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DETAIL DWS. NO. 2425
- F. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- G. CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.



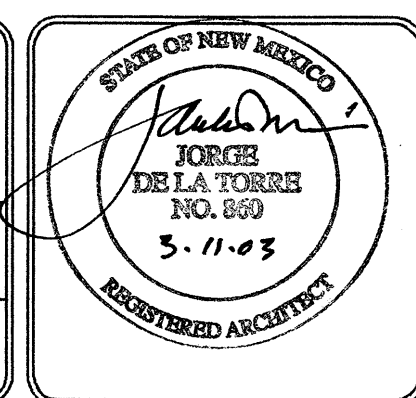
1000219 ADMINISTRATIVE  
DEVELOPMENT PLAN AMENDMENT  
03 A90  
FILE NO. AA-00406  
APPROVED *Add 1,294 sq Content*  
*Doris La Torre*  
PLANNING DIRECTOR 3/28/03  
JOB DATE

*zoning*

SITE PLAN  
SCALE: 1"=30'-0"



revisions	job title	LEXUS OF ALBUQUERQUE	
	PROJECT MANAGER	NICK PIRKL	job no 23006
	date	3/10/03	date
	sheet title	SITE PLAN	by



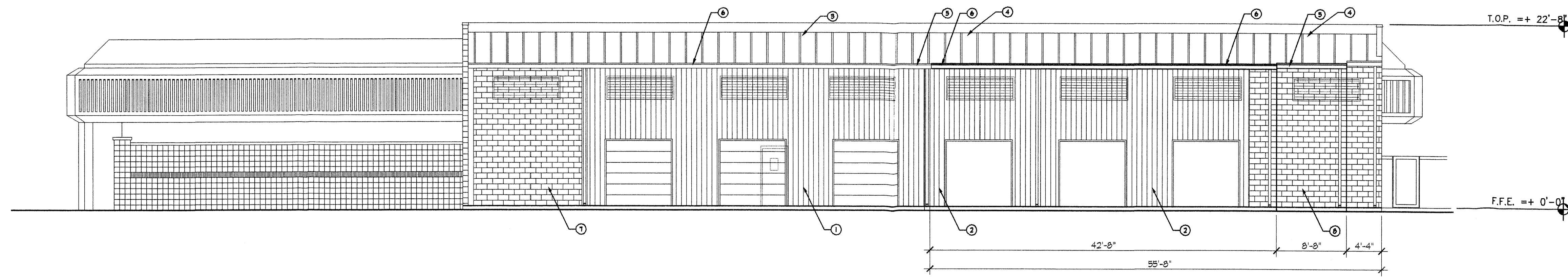
de la torre architecte, p.a. d.a  
2400 louisiana Blvd ne  
building 3 suite 110  
albuquerque nm 87110 / 505-883-7918

sheet-  
of-

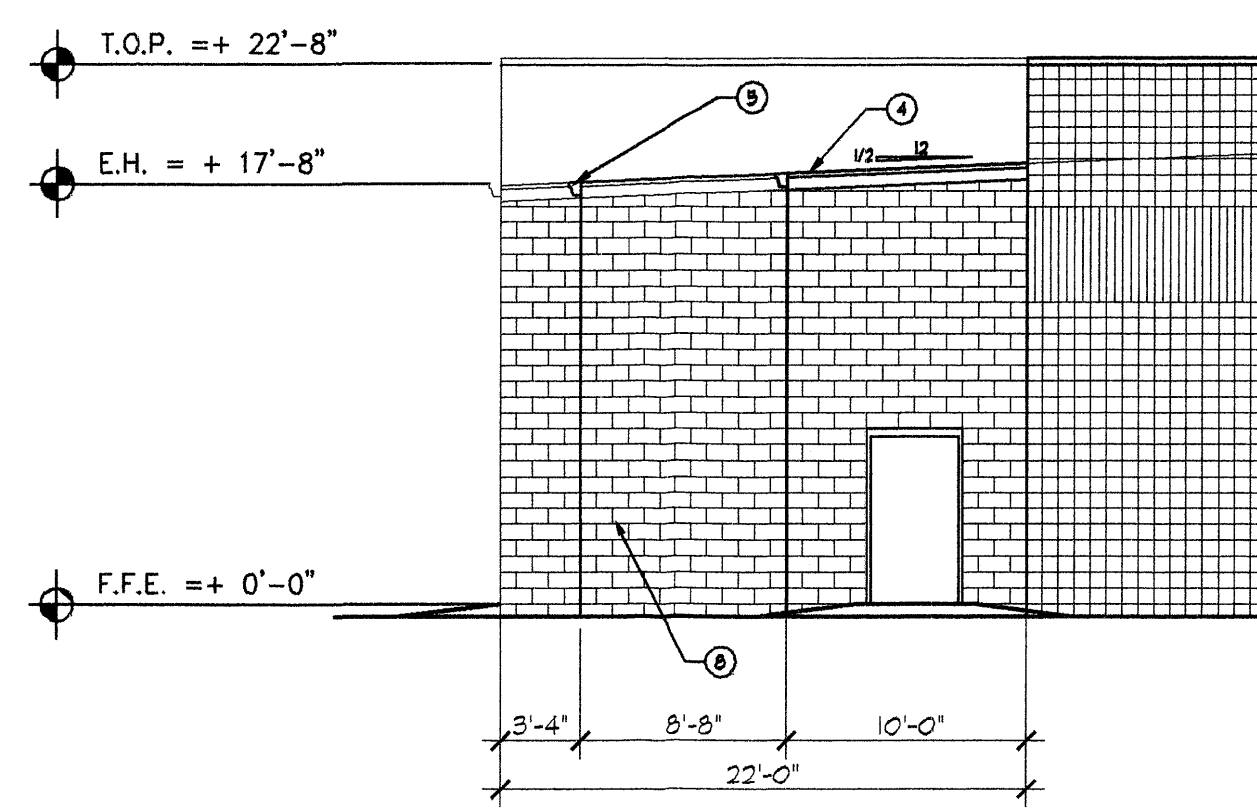


**KEYED NOTES**

1. EXISTING METAL WALL PANEL
2. NEW METAL WALL PANEL TO MATCH EXISTING
3. EXISTING METAL ROOF PANEL
4. NEW METAL ROOF PANEL TO MATCH EXISTING
5. EXISTING METAL GUTTER SYSTEM
6. NEW METAL GUTTER SYSTEM TO MATCH EXISTING
7. EXISTING 8" CMU
8. NEW 8" CMU TO MATCH EXISTING



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

revisions	job title <b>LEXUS OF ALBUQUERQUE</b> 4821 PAN AMERICAN HWY. NE ALBUQUERQUE, NM			
	PROJECT MANAGER	job no	date	
	NICK PIRKL	23006	3/10/09	
	sheet title	by		
	ELEVATIONS	NAP		

de la torre architects, p.a. d/a 2400 louisiana blvd ne building 3 - suite 110 albuquerque nm 87110 / 505-883-7918	sheet- <b>A/a</b> of-
---	-----------------------------







TRACT A  
NORTH SWITCH STATION  
FILED: 10/14/73 IN  
VOL. 88, FOLIO 181.  
LD-73-476

LANDS OF PUBLIC SERVICE COMPANY OF NEW MEXICO

**LEGAL DESCRIPTION**

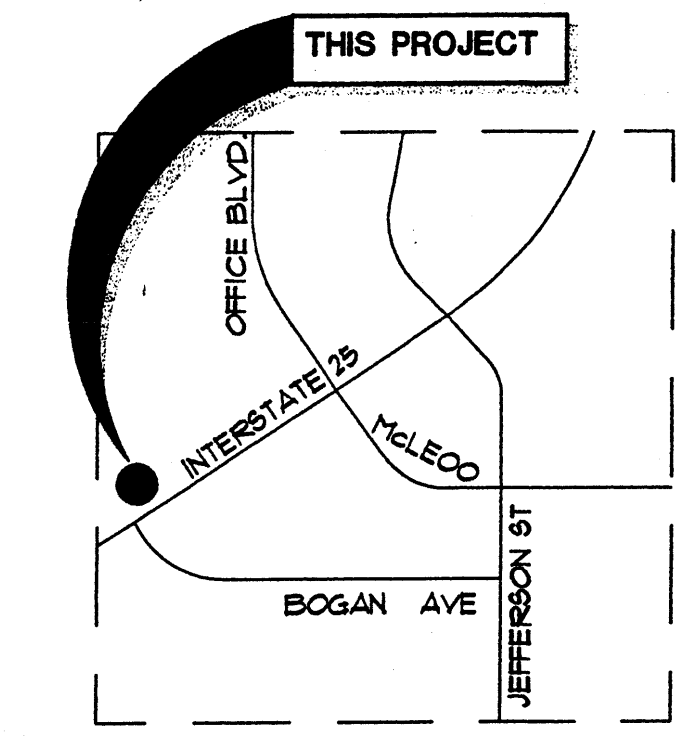
TRACT LETTERED 'A' OF THE PLAT OF LANDS OF SANDIA UPHOLSTERING COMPANY, SITUATE WITHIN PROJECT SECTION 35, TOWNSHIP 11 NORTH, RANGE 3 EAST, OF THE NMPM, ELENA GALLEGOS GRANT, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 4, 1936 IN VOLUME 96C, FOLIO 5.

**PARKING REQUIREMENTS**

RETAIL AND SERVICE USES • 1 SPACE / 200 SQUARE FEET  
20,944 SQUARE FEET / 200 • 104.72 SPACES REQUIRED  
72 SPACES PROVIDED

HANDICAP SPACES REQUIRED 101 • 150 SPACES REQUIRED • 5 SPACES  
HANDICAP SPACES PROVIDED • 3 SPACES

BICYCLE SPACES REQUIRED • 1 BIKE SPACE / 20 AUTO SPACES  
PROVIDED • 5 SPACES  
REQUIRED • 5 SPACES



**LOCATION MAP**

SECTION 35, T. 11 N., R. 3 E., NMPM,  
BERNALILLO COUNTY, NEW MEXICO

**SITE DEVELOPMENT PLAN KEYNOTES**

1. TRAFFIC CONTROL ISLAND PER CITY REQUIREMENTS.
2. PROPOSED MOUNTAIN SIGN (UNDER SEPARATE PERMIT)
3. NEW 6" HIGH STEEL ROLLING GATE W/ WIRE MESH PER DETAIL 3/C13. PROVIDE 24 HOUR FIRE DEPARTMENT ACCESS.
4. LANDSCAPING PER LANDSCAPE PLAN.
5. NEW CMU RETAINING WALL PER CIVIL PLANS. PAINT TO MATCH BUILDING. PROVIDE DECORATIVE FLUTED CAP.
6. NEW 6" CONCRETE CURB.
7. NEW 6" WIDE CONCRETE SIDEWALK WITH ROCK SALT FINISH. RAISED 1" ABOVE ASPHALT AT 5M.
8. NEW ASPHALT PER PAVING AND GRADING PLAN.
9. HANDICAP PARKING SPACE.
10. EXISTING SIGN TO BE REMOVED.
11. NEW 4" WIDE WHITE STRIPING.
12. 35'x12' LOADING ZONE 'NO-PARKING'.
13. NEW 10' HIGH CMU DUMPSTER ENCLOSURE. PAINT. SEE DETAIL 6/C13.
14. NEW 20' HIGH SITE LIGHTING PER ELECTRICAL PLANS.
15. PROPOSED FIRE HYDRANT LOCATION.
16. NEW ACCESS ROAD. SEE GRADING PLAN FOR DETAILS.
17. EXISTING BILLBOARD TO REMAIN.
18. NEW CONCRETE CURB PER STATE HIGHWAY DEPARTMENT REQUIREMENTS.
19. NEW DECORATIVE CMU SCREEN WALL PER DETAIL 4/C13.
20. EXISTING WATER LINE TO REMAIN.
21. EXISTING SEWER LINE TO REMAIN.
22. (2) 18'-0" STEEL TUBE SECURITY GATES. (PROVIDE (2) 10'-0" WIDE GATES @ 5M). SEE DETAIL 2/C13
23. NEW DECORATIVE ENTRY WALL PER DETAIL 2/C13.
24. EXISTING OVERHEAD POWER LINES TO BE RELOCATED. (BY OWNERS).
25. EXISTING POWER POLES TO BE REMOVED. (BY OWNERS).
26. EXISTING UTILITY EASEMENT TO BE RELOCATED. (BY OWNERS).
27. BICYCLE RACK PER DETAIL 14/C13.
28. RAMP SLOPE DOWN AT 1:12 MAX.
29. PAVEMENT FLUSH WITH FINISHED FLOOR AT ROLL UP DOORS.
30. EXISTING CONCRETE TO BE REMOVED.
31. CONCRETE PIPE BOULARD PER DETAIL 3/C13.
32. ELECTRICAL SERVICE ENTRANCE. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
33. NEW POWER POLE LOCATION. (BY OWNERS).
34. RELOCATED OVERHEAD POWER LINES. (BY OWNERS).
35. VEHICLE DISPLAY PAD WITH SCORED CONCRETE PER DETAIL 1/C13.
36. ROCK PILE VEHICLE DISPLAY. INDIGENOUS TO AREA 10' HIGH, RUGGED WITH TOP FOR SILV. DISPLAY.
37. EXISTING FENCE TO BE REMOVED.
38. PERMANENT TABLE AND BENCH (CONCRETE).
39. NEW DECELERATION LANE. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
40. NEW DRAINAGE PIPE CULVERTS. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
41. NEW ELECTRICAL TRANSFORMER LOCATION. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
42. NEW CONCRETE CURB AND GUTTER. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
43. NEW CONCRETE CHANNEL. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
44. EXISTING PAVEMENT TO REMAIN.
45. TRIM, TACK AND JOIN NEW ASPHALT TO EXISTING ASPHALT PER STATE HIGHWAY DEPARTMENT.
46. FENCE AND GATE BY OTHERS.

REVISIONS

NO.	DATE	BY
1	3-27-00	D.R.
2	PLAN CHECK	
3	REVISIONS	

KENT TRAUERNICHT ARCHITECTURE  
a. kent trauernicht, a.i.a.  
p.o. box 3306 albuquerque, nm 87190 (505) 261-9690

ARCHITECTURAL DESIGN GROUP, INC.  
1011 N. Central Ave., Suite # 101, Albuquerque, NM 87102  
Phone: (505) 263-2227 Fax: (505) 263-2227

**ARCHITECTURAL SITE PLAN**

A NEW FACILITY FOR  
**LEXUS OF ALBUQUERQUE**  
INTERSTATE 25 - 4821 PAN AMERICAN FREEWAY  
ALBUQUERQUE, NEW MEXICO

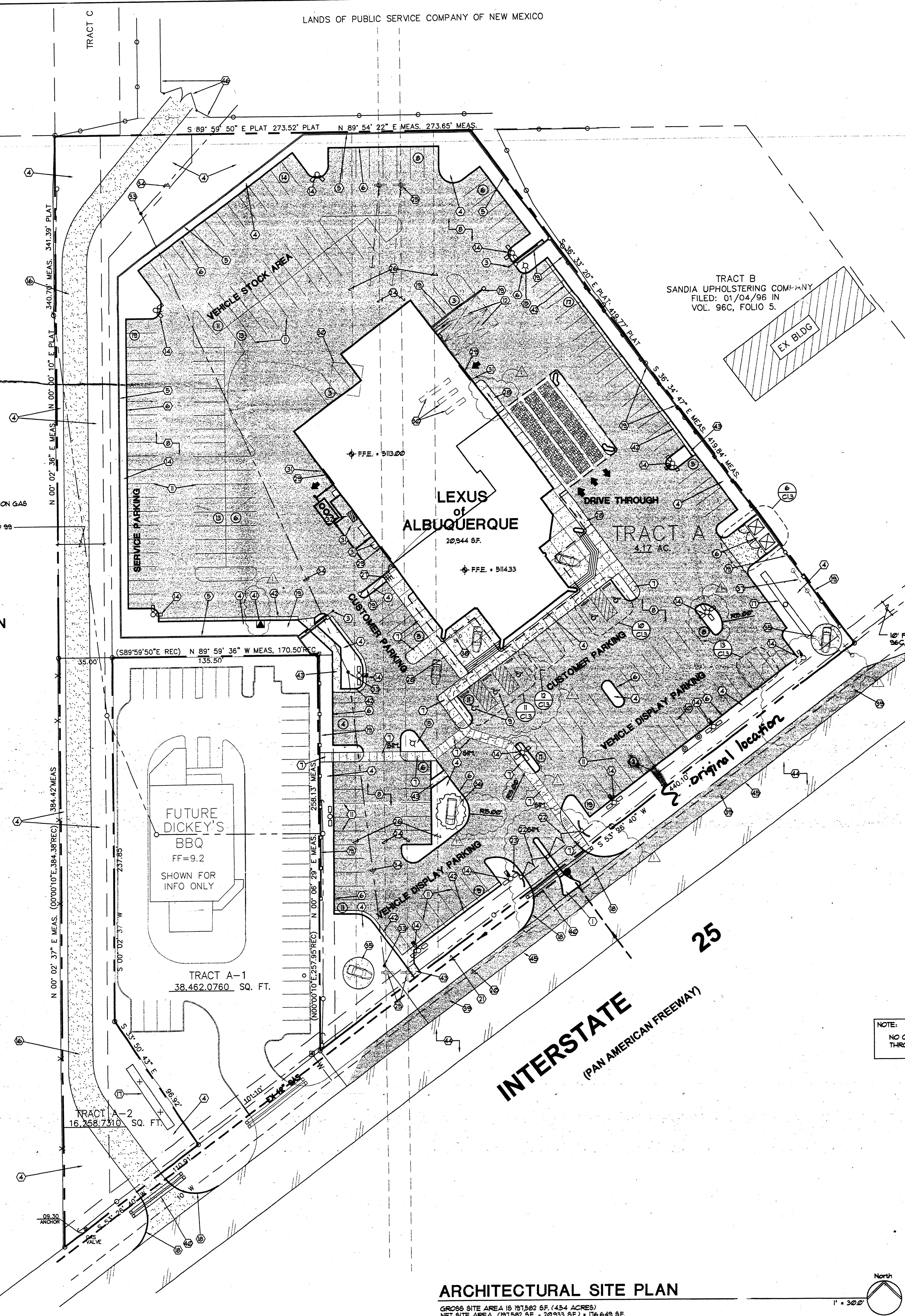


DRAWN 61MD  
DATE 3-9-00  
SCALE AS NOTED  
JOB # 9975  
SHEET  
**C1.1**  
2 OF 51

COPY FOR ZONING FILE

EXISTING  
ROCKY MOUNTAIN  
STONE

LAND DIVISION PLAT  
LARDNER TRACT  
FILED: 01/03/74 IN  
VOL. 89, FOLIO 24.



**ARCHITECTURAL SITE PLAN**

GROSS SITE AREA 16 191,582 SF. (4.54 ACRES)  
NET SITE AREA (191,582 SF. - 20,933 SF.) = 170,649 SF.

NOTE:  
NO C  
THRU

NO FENCING SHALL BE USED  
IN THIS PROJECT.

Project # 1001016  
ADMINISTRATIVE  
DEVELOPMENT PLAN AMENDMENT  
FILE NO. AA-2134-00000-00072  
1 Free-standing sign  
23' in height  
Planning Director DATE  
See Attached Letter.

in by the designer of record, required by the Transportation Section, needs to state that this site was  
sd in accordance with the Traffic Circulation Layout (TCL) before C.O. is released.

Copy for Zoning  
4821 Pan American Freeway  
NE 3/5/00

4821 PAN AMERICAN FREEWAY NE

CASE NUMBER: 2-99-90

ON (DATE) OCTOBER 21 1999  
THE PLANS COMPLY WITH THE FINDINGS AND CONDITIONS SET FORTH IN  
THE OFFICIAL NOTIFICATION OF DECISION.

SITE DEVELOPMENT PLAN

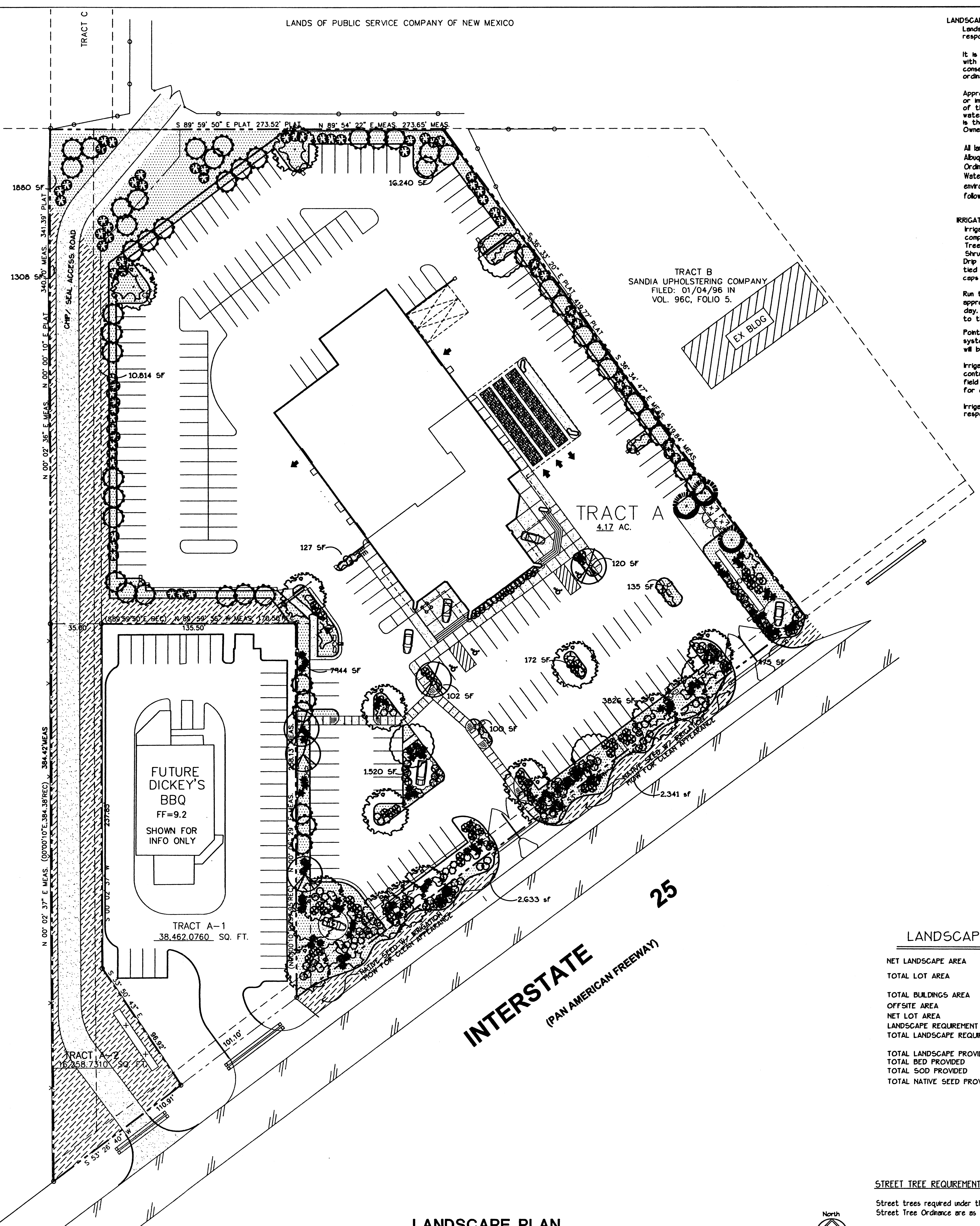
Richard D. Dault	4-19-00
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
Howard A. Strong	5-4-00
DESIGN AND DEVELOPMENT, CIP	DATE
Roger A. Drea	4-26-00
PUBLIC WORKS, UTILITIES DEVELOPMENT DIVISION	DATE
Paul J. Jorgensen	3-25-00
CITY ENGINEER, ENGINEERING DIVISION/AMARCA	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.	
Paul J. Jorgensen	5-4-00
CITY PLANNER/ALBUQUERQUE PLANNING DEPARTMENT	DATE

PLN2 (10/106)



TRACT A  
NORTH SWITCH STATION  
FILED: 10/14/73 IN  
VOL. B8, FOLIO 181.  
LD-73-476

LANDS OF PUBLIC SERVICE COMPANY OF NEW MEXICO



LAND DIVISION PLAT  
LARDNER TRACT  
FILED: 01/03/74 IN  
VOL. B9, FOLIO 24.

**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque water conservation Landscaping and water waste ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation Landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with trees to receive (3) 1.0 GPH Drip Emitters, Shrubs to receive (2) 1.0 GPH Drip Emitters, Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

**GENERAL IRRIGATION NOTES:**

The irrigation system shall be a complete underground system designed by the landscape contractor. The irrigation system shall follow these guidelines.

- 1) Contractor shall examine the site and familiarize himself with all conditions pertinent to this project.
- 2) It will be the contractor's responsibility to determine the location of all underground utilities and to avoid damage to these utilities.
- 3) At the point of connection, the system shall include a master control valve, backflow assembly, and hot box enclosure.
- 4) All trees to receive (3) 1.0 GPH drip emitters, shrubs to receive (2) 1.0 GPH drip emitters. All drip is to be tied to a 1/2" poly pipe with flush caps at each end.
- 5) All lateral and distribution lines to be class 200 PVC at a minimum depth of 12 inches below finish grade.
- 6) All pressure lines to be schedule 40 PVC at a minimum depth of 24 inches below finish grade.
- 7) All pop-up type irrigation heads installed in lawn or native seed areas shall be installed so that the top of the head is 1 inch above finish grade and 1' from adjacent sidewalks, curbs, or asphalt.
- 8) All irrigation pipe under pavement to be placed in a sleeve two sizes larger than the pipe being sleeved.
- 9) The controller shall be at a minimum a 3 program, multi-function controller, with a built in lockable cover. Controller zone capacity shall include open zones to accommodate future necessity.
- 10) All control wire is to be sold copper UL approved installed as per local code. Runs less than 500 ft shall be #14 gauge. Runs greater than 500 ft shall be #12 gauge. Provide a 24-inch loop at each wire splice or point on connection. Snake wire in trenches.

**PLANT LEGEND**

- ARIZONA ASH OD 4  
Fraxinus velutina  
2' Cal
- RAYWOOD ASH OD 15  
Fraxinus oxycarpa raywood  
2' Cal
- PURPLE LEAF PLUM OD 4  
Prunus spp.  
1 1/2'
- AUSTRIAN PINE OD 3  
Pinus nigra  
6-8'
- DESERT WILLOW OD 44  
Chilopsis linearis  
15 gal
- PALM YUCCA OD 4
- NEHAN HAWTHORN OD 44  
Elaeagnus nitida  
5 gal
- SILVERBERRY OD 36  
Diopis pygmaea  
5 gal
- ROSEMARY OD 15  
Rosmarinus officinalis  
5 GAL
- MAIDEN GRASS OD 48  
Miscanthus sinensis  
5 gal
- AUTUMN SAGE OD 30  
Salvia greggii  
5 gal
- CHAMA OD 66  
Chrysothamnus nauseosus  
1 gal
- WILDFLOWER 52  
1 gal
- TAN LINER OD 59  
LINERUS SABINA  
5 gal
- OVERSIZED GRAVEL  
+ Boulders
- 3/4" Crushed Grey Gravel W/ FF
- GRAPED STRAW/ NATIVE SEED
- COMMERCIAL GRADE STEEL EDGE

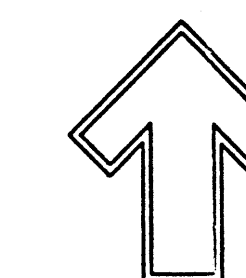
**LANDSCAPE CALCULATIONS**

NET LANDSCAPE AREA	181,451	square feet
TOTAL LOT AREA	19,423	square feet
TOTAL BUILDINGS AREA	6,200	square feet
OFFSITE AREA	155,828	square feet
NET LOT AREA	15	square feet
LANDSCAPE REQUIREMENT	15	square feet
TOTAL LANDSCAPE REQUIREMENT	23,374	square feet
TOTAL LANDSCAPE PROVIDED	48,219	square feet
TOTAL BED PROVIDED	30,648	square feet
TOTAL SOD PROVIDED	0	square feet
TOTAL NATIVE SEED PROVIDED	17,571	square feet

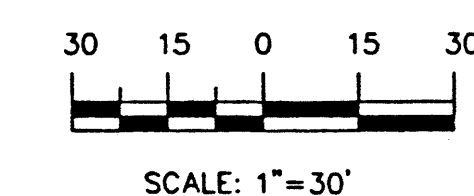
**STREET TREE REQUIREMENTS**

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

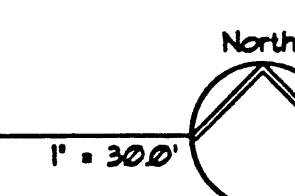
Name of Street	PAN AMERICAN FREEWAY
Required #	Provided #14



**GRAPHIC SCALE**

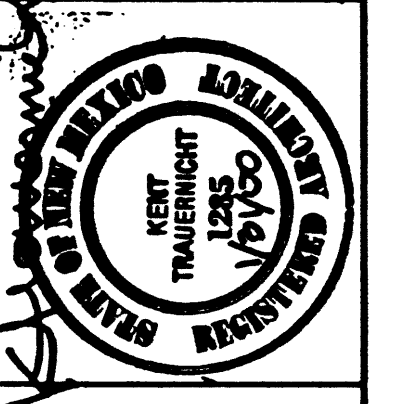


**LANDSCAPE PLAN**



REVISIONS	BY

a. kent traumicht, a.i.a.  
p.o. box 3886 albuquerque, nm 87119 (505) 281-9690



1681 N. Columbia Blvd., Suite # 105 - Tucson, Arizona 85711  
Office (520) 225-2277 - Fax (520) 225-2287  
a.d.g. architectural design group, llc

**LANDSCAPING PLAN**

A NEW FACILITY FOR  
**LEXUS**  
OF ALBUQUERQUE  
INTERSTATE 25 - 4851 PAN AMERICAN FREEWAY  
ALBUQUERQUE, NEW MEXICO



DRAWN 8/10  
DATE 02-31-99  
SCALE AS NOTED  
JOB # 9975  
SHEET  
**C2.1**  
5 OF 51

*The Hilltop*

THE HILLTOP expressly reserves the common law copyright and other property rights in these plans. These plans are not to be reproduced, changed or copied in any manner whatsoever nor are they to be assigned to any third party without obtaining the express written permission and consent of THE HILLTOP.

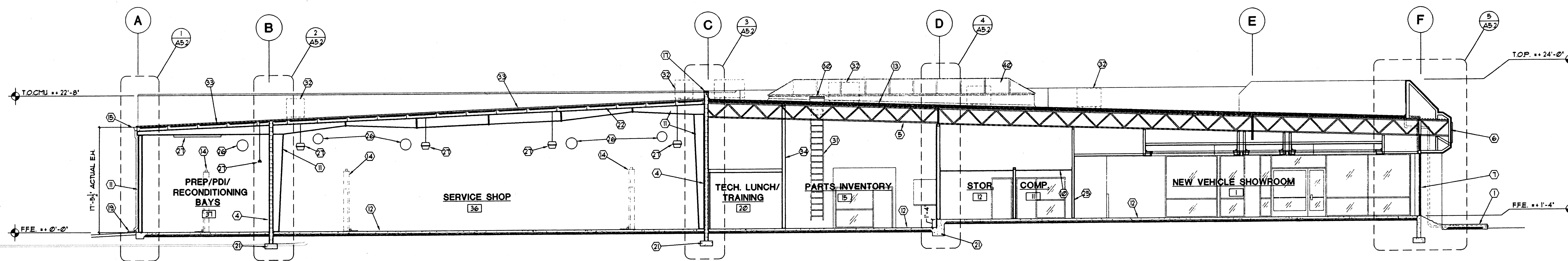






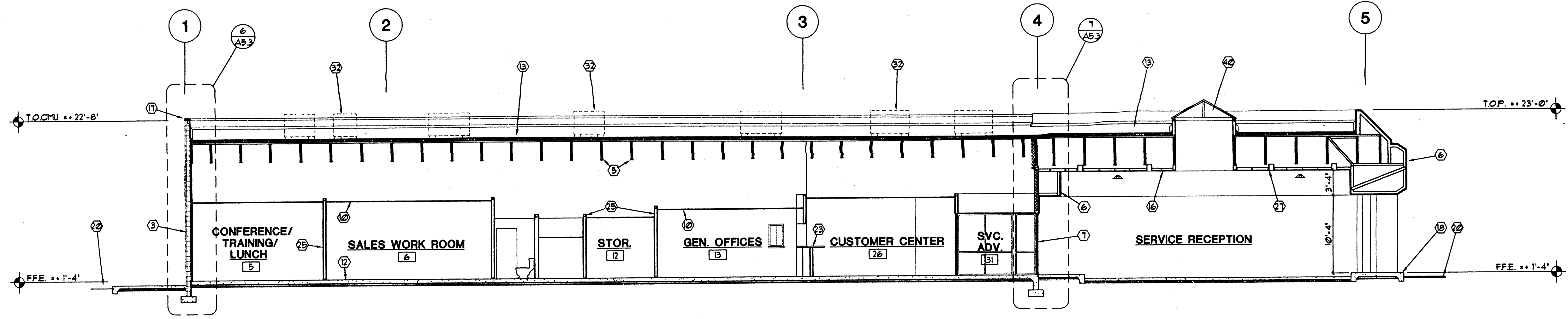






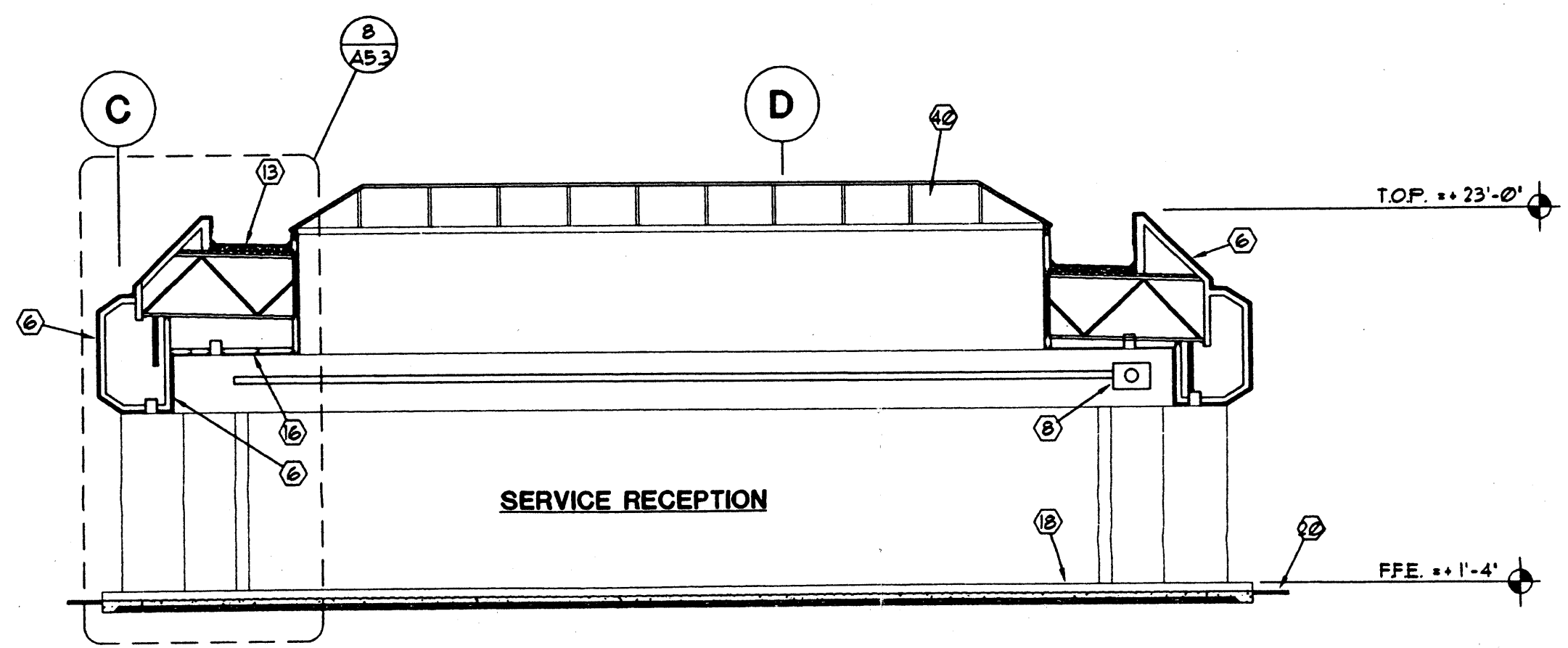
**BUILDING SECTION 'A'**

1/8"=1'-0"



**BUILDING SECTION 'B'**

1/8"=1'-0"



**BUILDING SECTION 'C'**

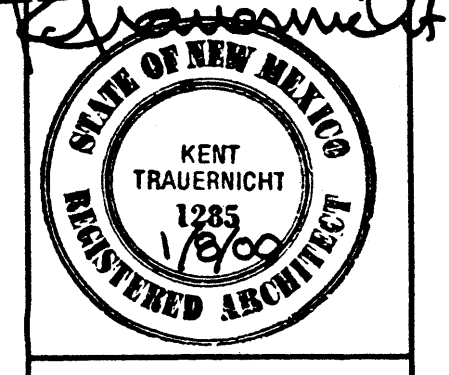
1/8"=1'-0"

**SECTION KEYNOTES**

1. 4" CONCRETE WITH SALT FINISH & SCORE JOINTS AS SHOWN. SLOPE TO DRAIN. (RAISED CONCRETE ISLAND AT SIMILAR).
2. DOORS PER DOOR SCHEDULE.
3. 8" CENTER SCORED SPLIT FACED (ONE SIDE ONLY).
4. 8" STANDARD CMU.
5. STEEL FRAMING STRUCTURE PER STRUCTURAL PLANS.
6. INTEGRAL COLOR EIFS, STUCCO SYSTEM PER SPECIFICATIONS.
7. ALUMINUM STOREFRONT SYSTEM W/ INSULATED GLAZING. SEE STOREFRONT ELEVATIONS FOR ADDITIONAL INFO.
8. RADIANT HEATER PER MECHANICAL PLANS.
9. 1" THICK INSULATED SPANDREL PANEL.
10. LAY-IN CEILING SYSTEM.
11. METAL BUILDING RIGID FRAME.
12. CONCRETE SLAB. SEE FLOOR PLAN AND FOUNDATION PLAN FOR ADDITIONAL INFO.
13. COMPOSITE ROOF SYSTEM WITH MODIFIED 3-PLY BUILT UP ROOF ON R-30 INSULATION BOARD.
14. DASHED INDICATES EQUIPMENT. SEE EQUIPMENT PLAN FOR ADDITIONAL INFO.
15. METAL BUILDING GUTTER SYSTEM.
16. 3/4" EXTERIOR GRADE SOFFIT BOARD ON 3/4" METAL FRAMING CHANNELS @ 24" O.C.
17. 24 GAGE SHEET METAL PARAPET CAP.
18. 5" CONCRETE WITH SALT FINISH & SCORE JOINTS AS SHOWN. SLOPE TO DRAIN. (RAISED CONCRETE ISLAND AT SIMILAR).
19. CONCRETE SPLASH BLOCK.
20. FINISHED GRADE.
21. CONCRETE FOOTING PER STRUCTURAL PLANS.
22. 6" R-19 WHITE VINYL FACED INSULATION.
23. PLASTIC LAMINATED COUNTER TOP. SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
24. SHEET METAL STUCCO STOP.
25. 3/4" GUB ON 3/4" METAL STUDS @ 16" O.C. (6" METAL STUDS @ 5M).
26. MECHANICAL DUCT WORK PER MECHANICAL PLANS.
27. LIGHT FIXTURE PER ELECTRICAL PLANS.
28. R-19 BATT INSULATION.
29. CAST IRON RAINWATER LEADER LINES.
30. ROOF HATCH.
31. ROOF ACCESS LADDER PER DETAIL 15/A12.
32. ROOF TOP MECHANICAL UNITS. REFER TO MECH PLANS FOR ADDITIONAL INFORMATION.
33. 24 GA. STANDING SEAM METAL ROOF PANELS.
34. ONE-HOUR FIRE WALL. PROVIDE 3/4" GUB EA. SIDE OF 6" 26 GA. METAL STUDS @ 16" O.C. UP TO UNDERSIDE OF ROOF DECKING.
35. 6" METAL STUDS @ 16" O.C.
36. 3/4" GUB ON 1/2" DUC @ 24" O.C. WITH 1/2" BATT INSULATION.
37. 8" FLUTED CMU BLOCK.
38. LANDSCAPE AREA. SEE LANDSCAPE PLAN.
39. RADIANT HEATER. SEE MECHANICAL PLANS.
40. PREFABRICATED SKYLIGHT UNIT.
41. 5" INTEGRAL COLOR 'BOYANITE' CONCRETE PAVING.
42. PLYWOOD SHEARWALL. SEE STRUCTURAL PLANS.

REVISIONS	BY

**adg architects**  
a. kent trauernicht, a.i.a.  
p.o. box 3366 albuquerque, nm 87110 (505) 261-9560



**adg architectural design group, inc.**  
105 N. Columbia Blvd., Suite # 103 • Tucson, Arizona 85711  
Phone (520) 325-2227 • Fax (520) 325-3307

**BUILDING SECTIONS**


A NEW FACILITY FOR  
**LEXUS**  
OF ALBUQUERQUE  
INTERSTATE 45 - 4651 PAV. AMERICAN FREEWAY  
ALBUQUERQUE, NEW MEXICO




DRAWN	SPD.
DATE	12-31-99
SCALE	AS NOTED
JOB #	9975
SHEET	

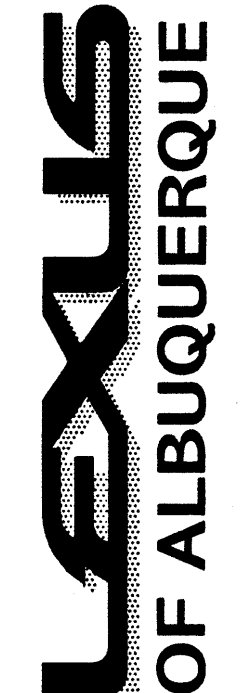
**A5.1**

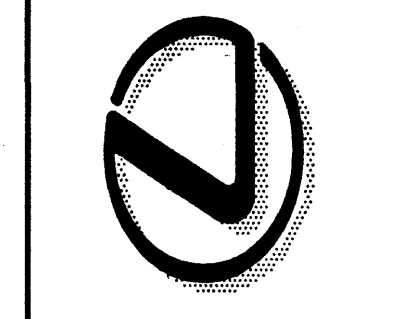



  
 a. kent trauernicht, a.i.a.
   
 p.o. box 3366 albuquerque, nm 87190 (505) 281-9560


  
 ARCHITECTURAL DESIGN GROUP, LLC
   
 1001 N. Columbus Blvd., Suite # 100 • Tucson, Arizona 85711
   
 Office (520) 325-2227 • FAX (520) 325-3337

**BUILDING SECTIONS**

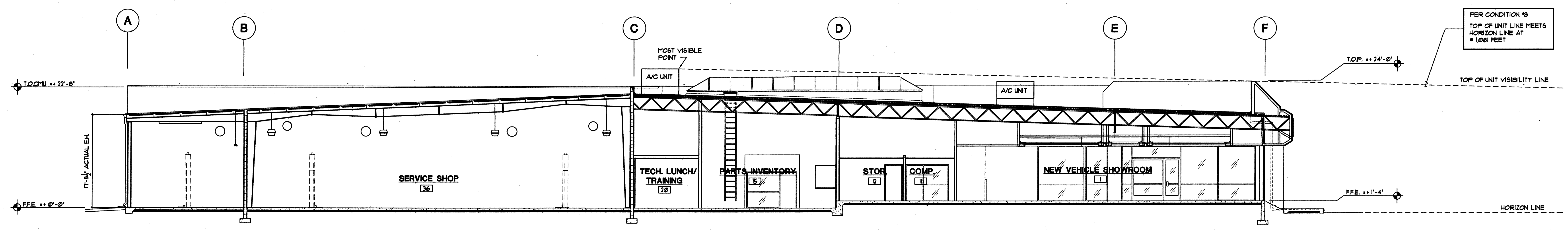
A NEW FACILITY FOR
   

  
 INTERSTATE 25 - 4821 PAN AMERICAN FREEWAY
   
 ALBUQUERQUE, NEW MEXICO



DRAWN 6MD.
   
 DATE 3-8-00
   
 SCALE AS NOTED
   
 JOB # 9975

SHEET **A5.1**
  
**DRB**

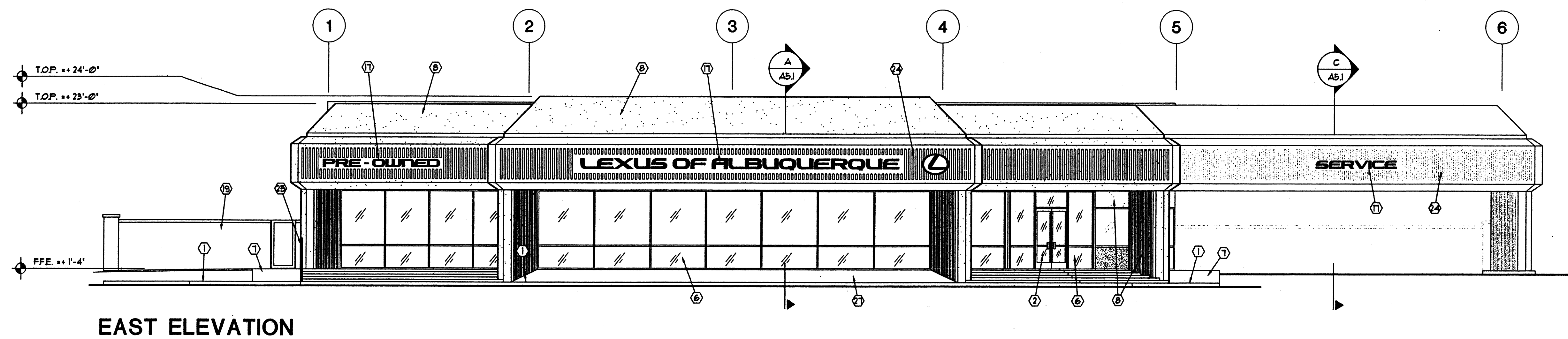
x OF 51



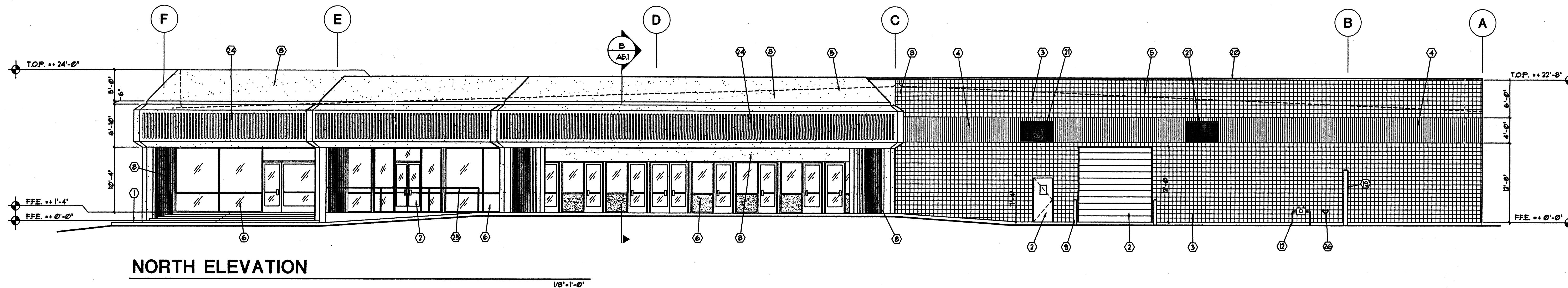
**BUILDING SECTION 'A'**

1/8"=1'-0"

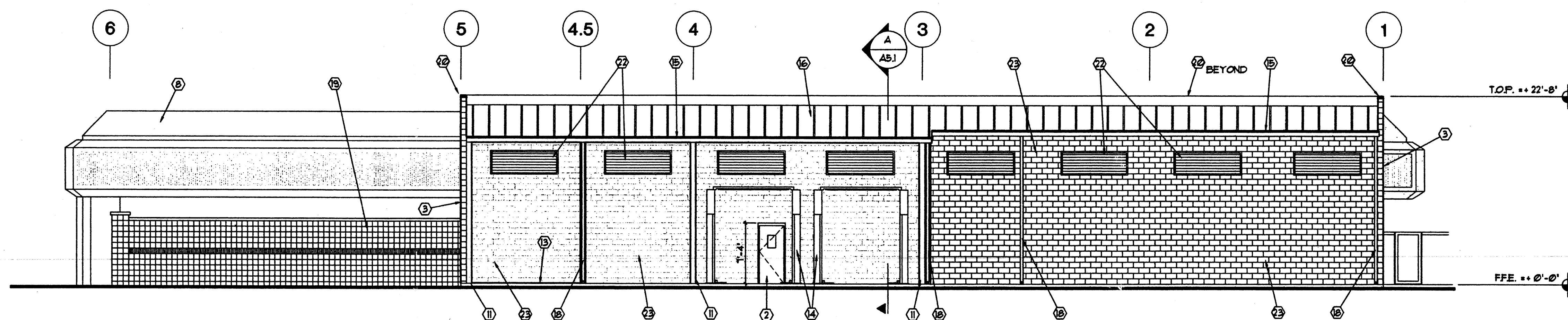




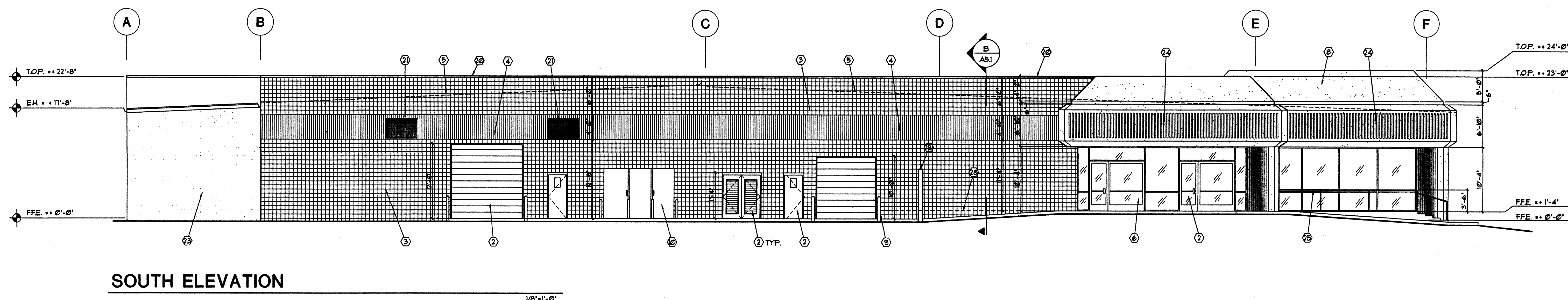
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

ELEVATION KEYNOTES

1. CONCRETE WITH SALT FINISH & SCORE JOINTS AS SHOWN. SLOPE TO DRAIN.
2. DOORS PER DOOR SCHEDULE.
3. 8' CENTER SCORED SPLIT FACED CHU (ONE SIDE ONLY).
4. 8' SPLIT FACED FLUTED CHU ACCENT BAND.
5. DASHED LINES INDICATE ROOF BEYOND. REFER TO ROOF PLAN FOR ADDITIONAL INFORMATION.
6. ALUMINUM STOREFRONT SYSTEM W/ INSULATED GLAZING. SEE STOREFRONT ELEVATIONS FOR ADDITIONAL INFO.
7. CONCRETE RAMP AT 1/2 MAXIMUM SLOPE. PROVIDE SCORE JOINTS AS INDICATED.
8. ONE COAT STUCCO SYSTEM PER SPECIFICATIONS. PAINT.
9. 5" DIAMETER CONCRETE FILLED PIPE BOLLARD UP TO 48" ABOVE FINISH FLOOR OR GRADE. PAINT TRAFFIC YELLOW.
10. ELECTRICAL EQUIPMENT. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFO.
11. METAL BUILDING RIGID FRAME.
12. GAS METER LOCATION. SEE PLUMBING PLANS FOR ADDITIONAL INFORMATION.
13. 6" WIDE x 1 1/2" TALL CONCRETE CURB WITH CHAMFERED CORNERS.
14. DASHED INDICATES EQUIPMENT. SEE EQUIPMENT PLAN FOR ADDITIONAL INFO.
15. METAL BUILDING GUTTER SYSTEM.
16. 24 GA. STANDING SEAM METAL ROOF PANEL SYSTEM.
17. SIGNS UNDER SEPARATE PERMIT. ELIMINATE FLUTED STUCCO (VERIFY SIZE WITH SIGN MANUFACTURER).
18. METAL BUILDING DOWNSPOUT.
19. 8'-0" HIGH CHU SCREEN WALL WITH 8' SPLITFACE CENTER SCORED CHU. PAINT. SEE SITE PLAN.
20. 24 GAGE SHEET METAL PARAPET CAP. PAINT.
21. METAL LOUVER WITH BIRD SCREEN PER MECHANICAL PLANS. PAINT.
22. RELIEF AIR LOUVERS PER MECHANICAL PLAN. PAINT.
23. 8" STANDARD CHU UP TO UNDERSIDE OF METAL DECKING.
24. FLUTED STUCCO SYSTEM.
25. 1/2" STEEL PIPE RAILING. GRIND ALL WELDS SMOOTH AND PAINT.
26. FIRE SPRINKLER HOSE CONNECTION. REFER TO PLUMBING PLANS FOR ADDITIONAL INFORMATION.
27. LANDSCAPED AREA. SEE LANDSCAPE PLAN.
28. DASHED LINE INDICATES FINISHED FLOOR BEYOND.

REVISIONS	BY

a. kent trauernicht, a.i.a.

p.o. box 3396 albuquerque, nm 87100 (505) 281-6986

1051 N. Columbus Blvd., Suite # 103 • Tucson, Arizona 85711  
Office (602) 933-2227 • FAX (602) 933-2837

**ADG**  
architectural design group, inc.

**BUILDING ELEVATIONS**

A NEW FACILITY FOR  
**LEXUS**  
OF ALBUQUERQUE  
INTERSTATE 25 - 4821 PAN AMERICAN FREEWAY  
ALBUQUERQUE, NEW MEXICO

DRAWN 6/MD.  
DATE 12-31-99  
SCALE AS NOTED  
JOB # 9915  
SHEET  
**A2.1**  
5 OF 6

E:\data\99\9975\ad-1-21.rvt.dwg

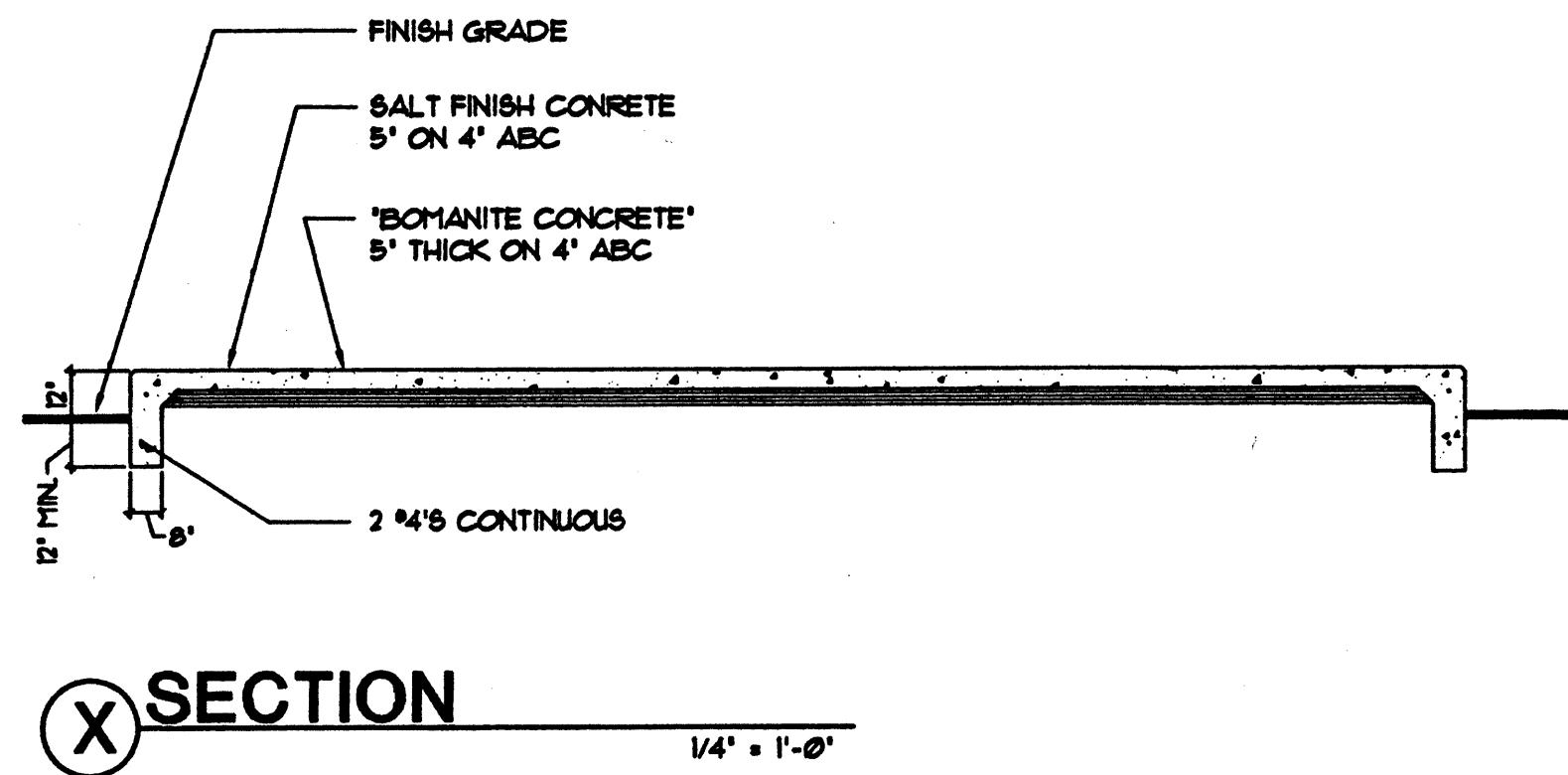
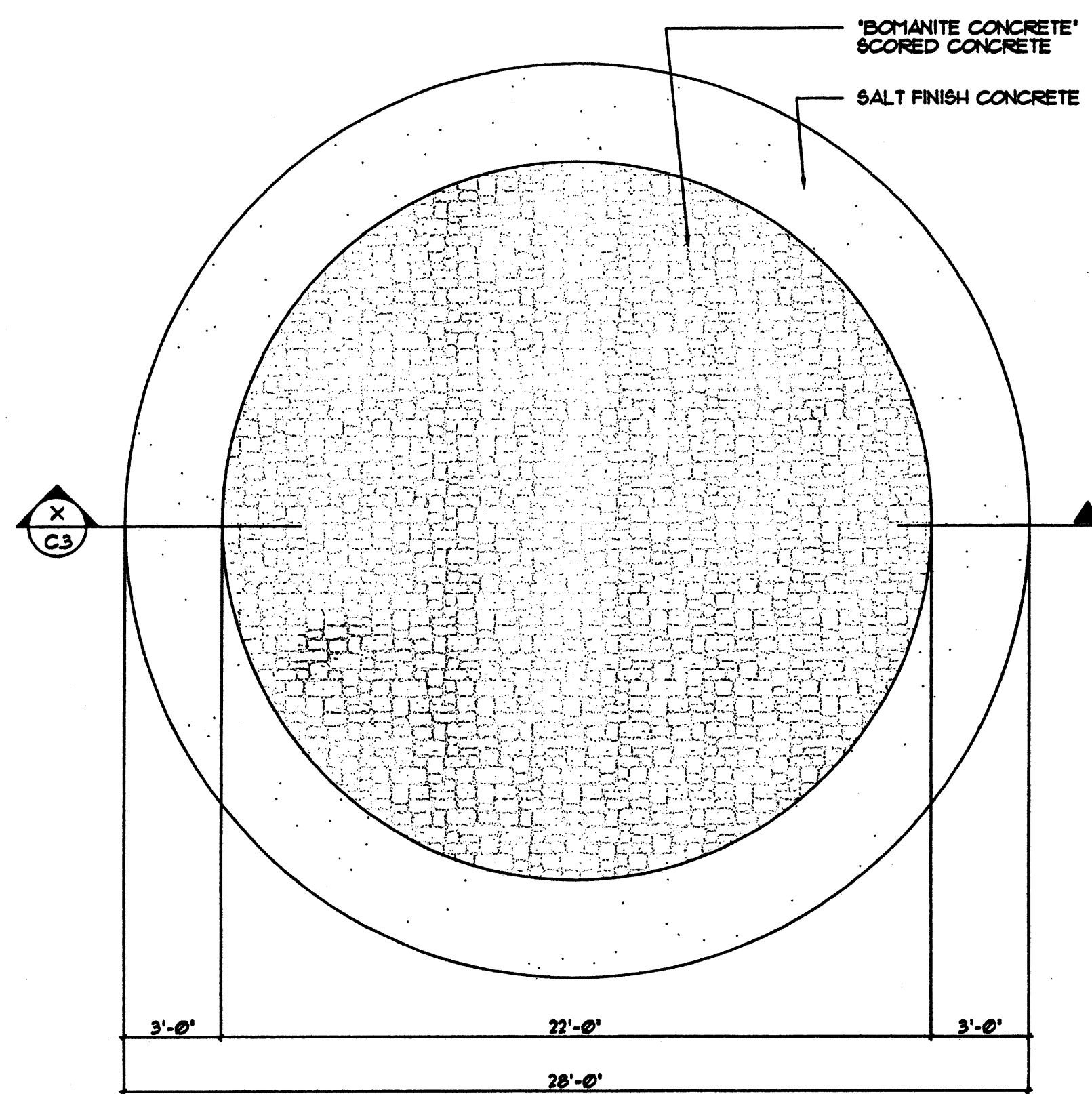
DO NOT SCALE DRAWINGS

THIS IS A PART OF THE PROJECT DRAWINGS OF ALEXUS OF ALBUQUERQUE. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF A. KENT TRAUERNICHT, A.I.A.



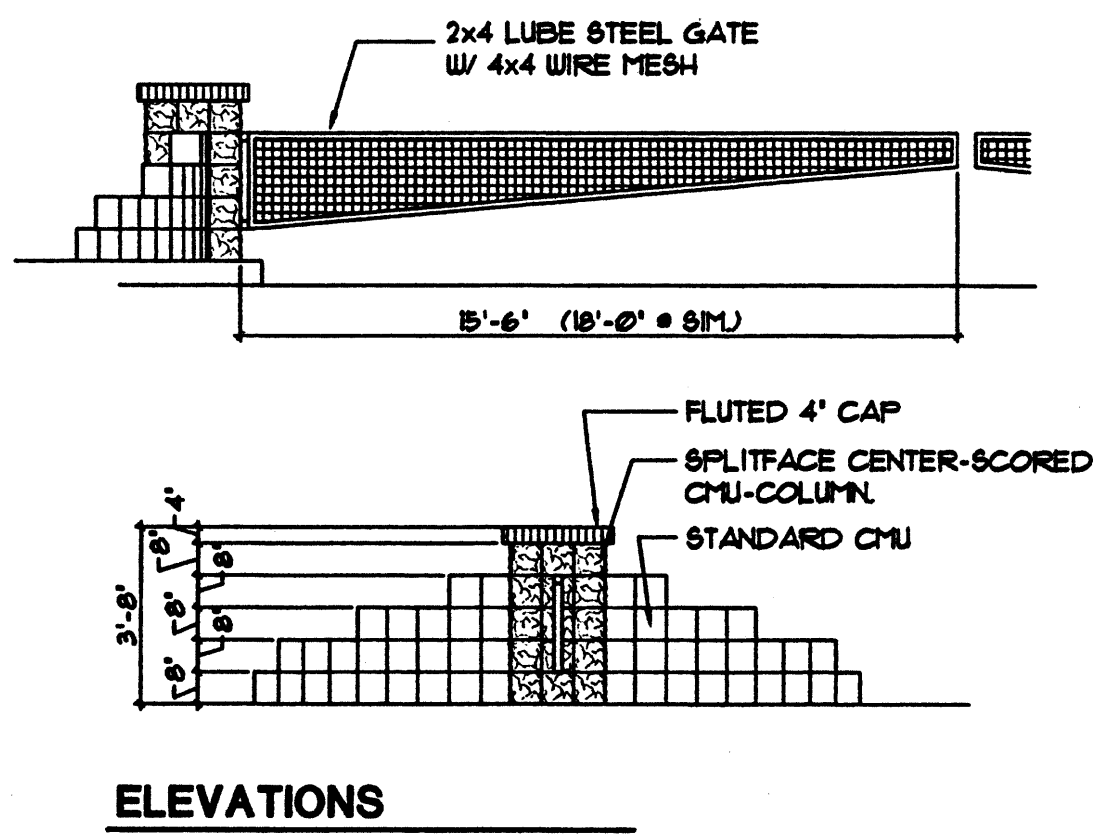
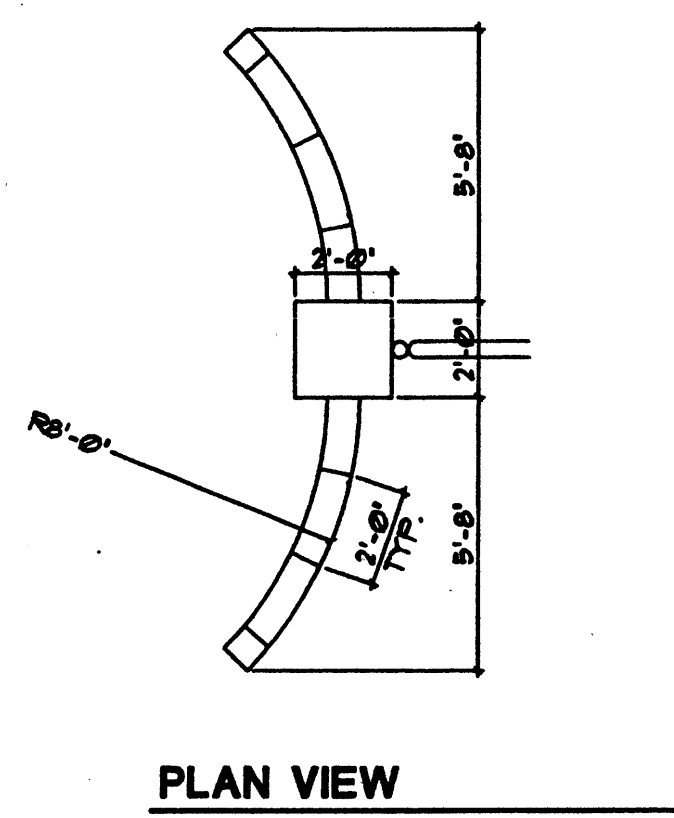






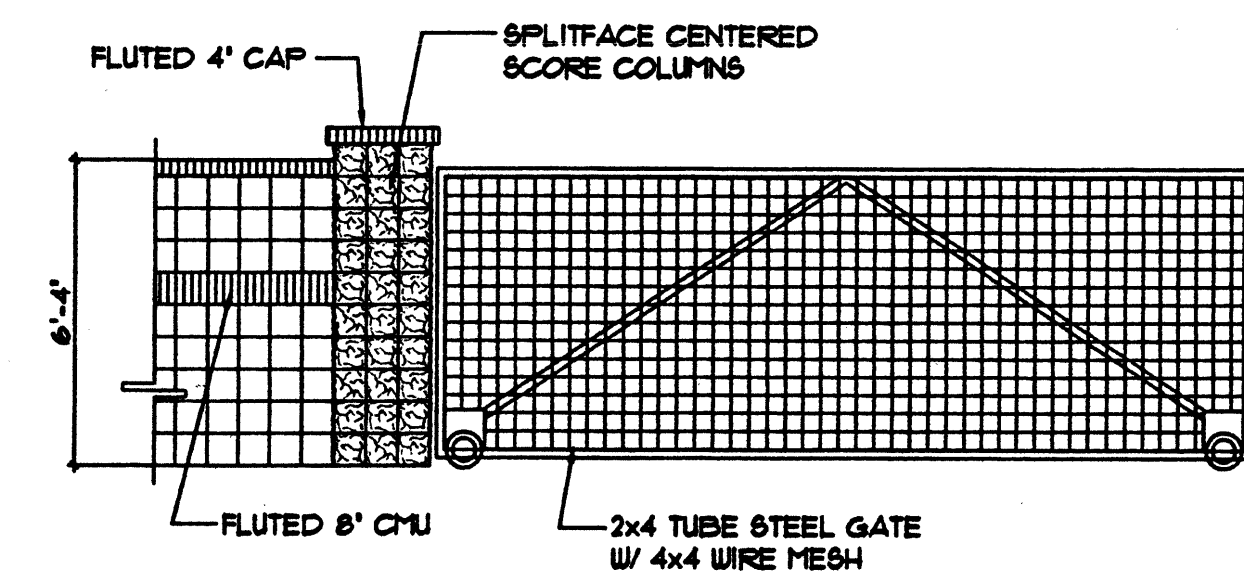
1 FEATURE VEHICLE DISPLAY PAD

1/4" = 1'-0"



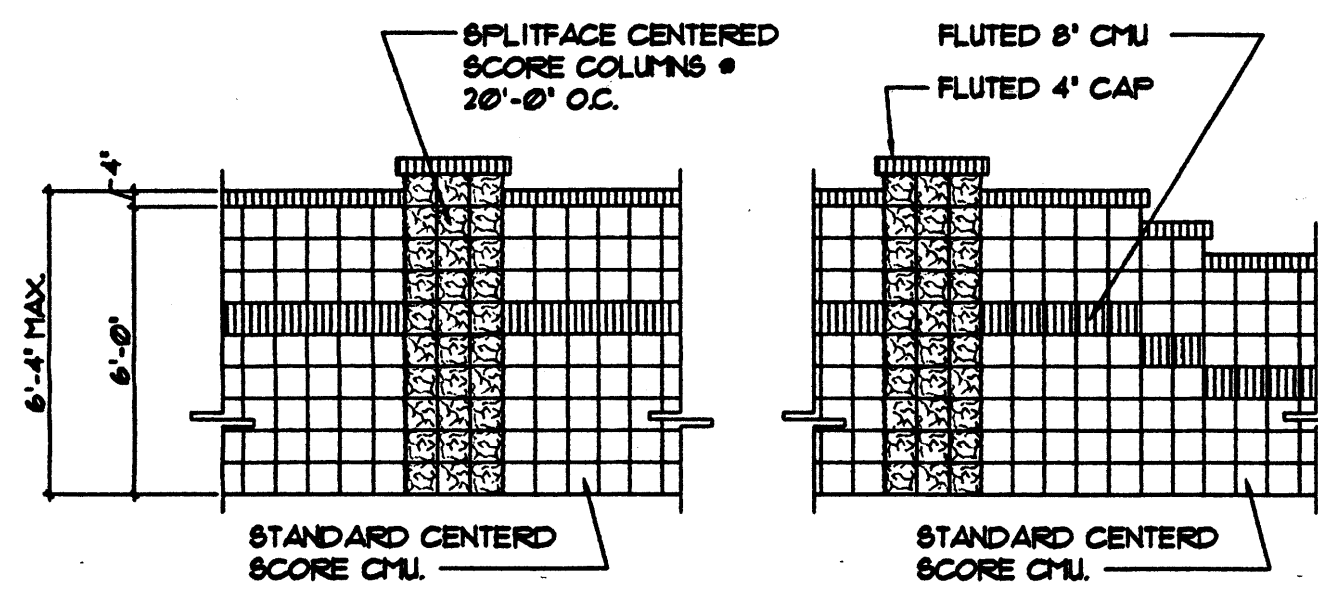
2 ENTRY WITH SWINGING GATES

NTS



3 SITE WALL WITH ROLLING GATE

NTS

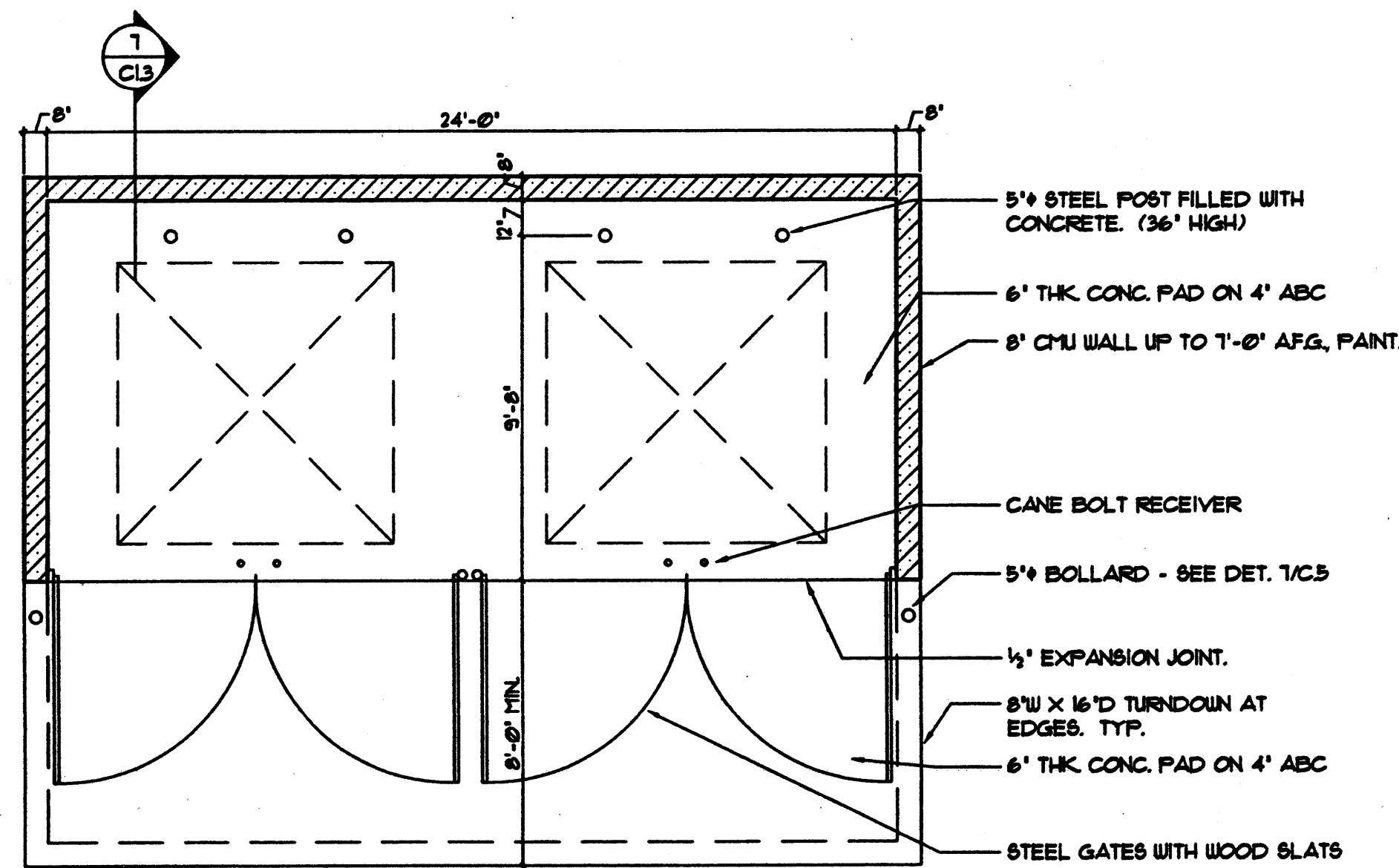


4 DECORATIVE SITE WALL

NTS

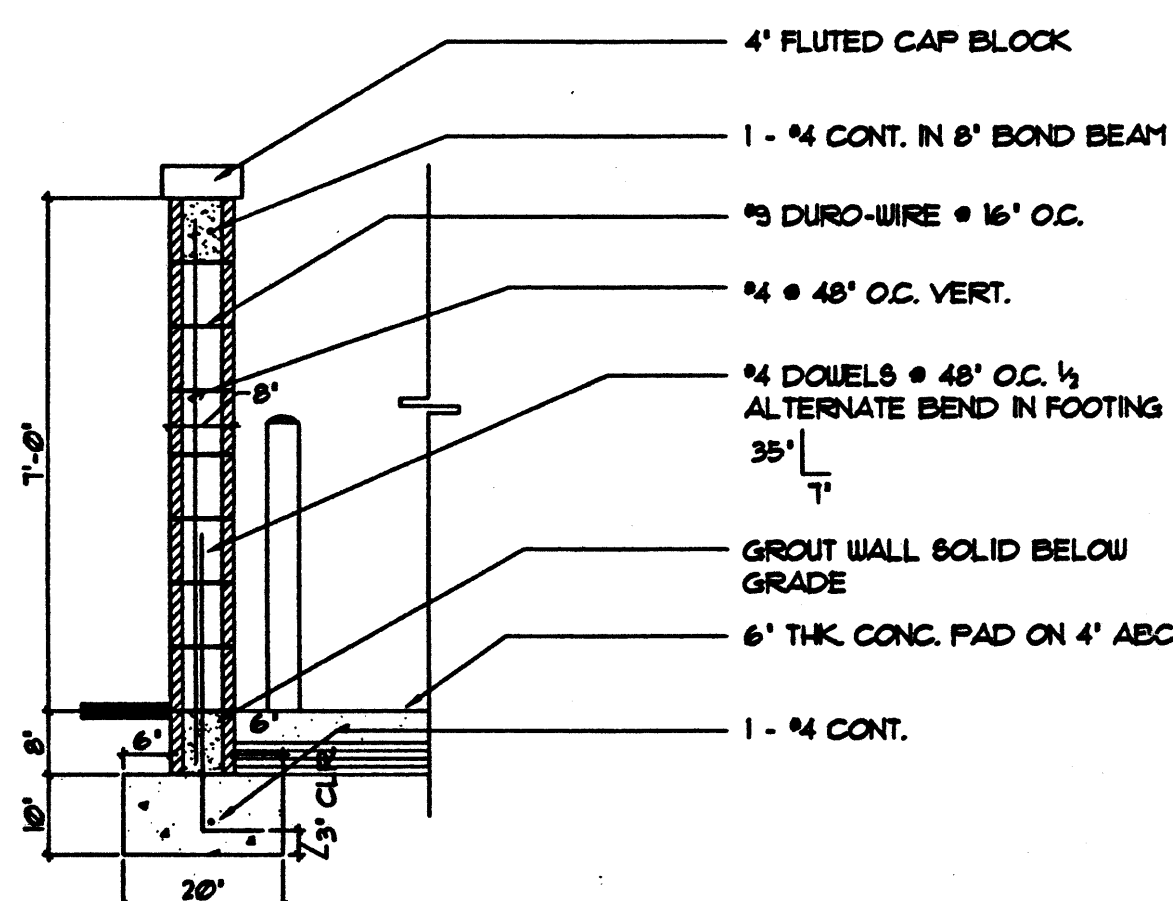
5 NOT USED

NTS



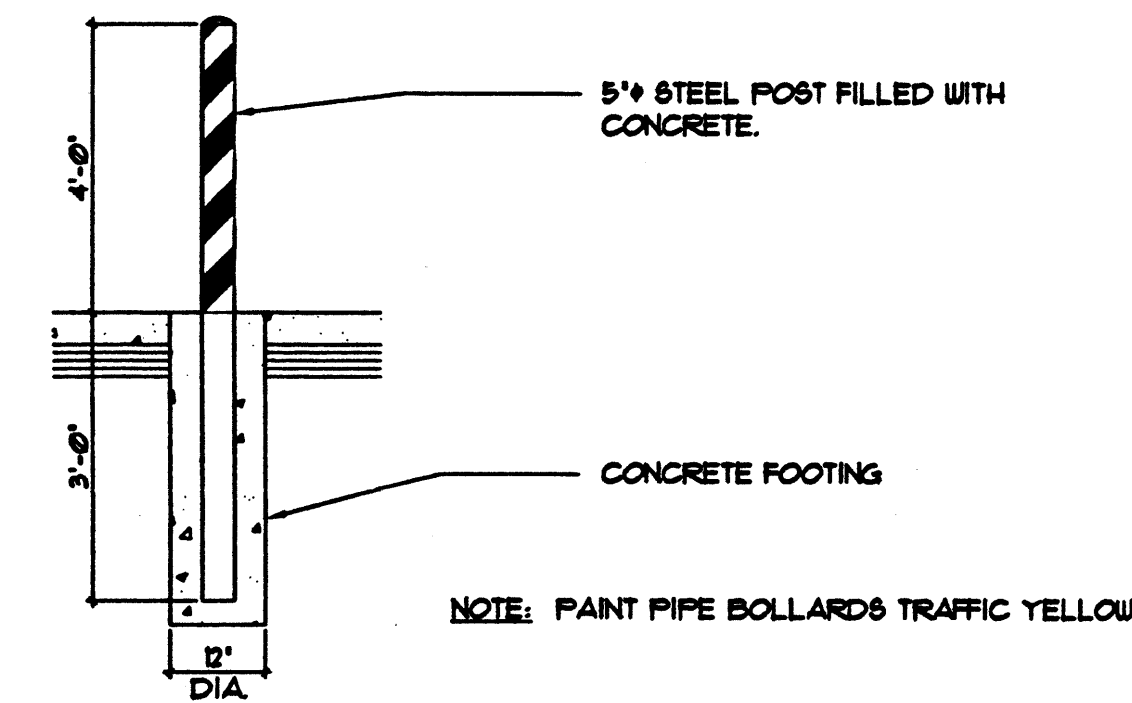
6 REFUSE PLAN

1/4" = 1'-0"



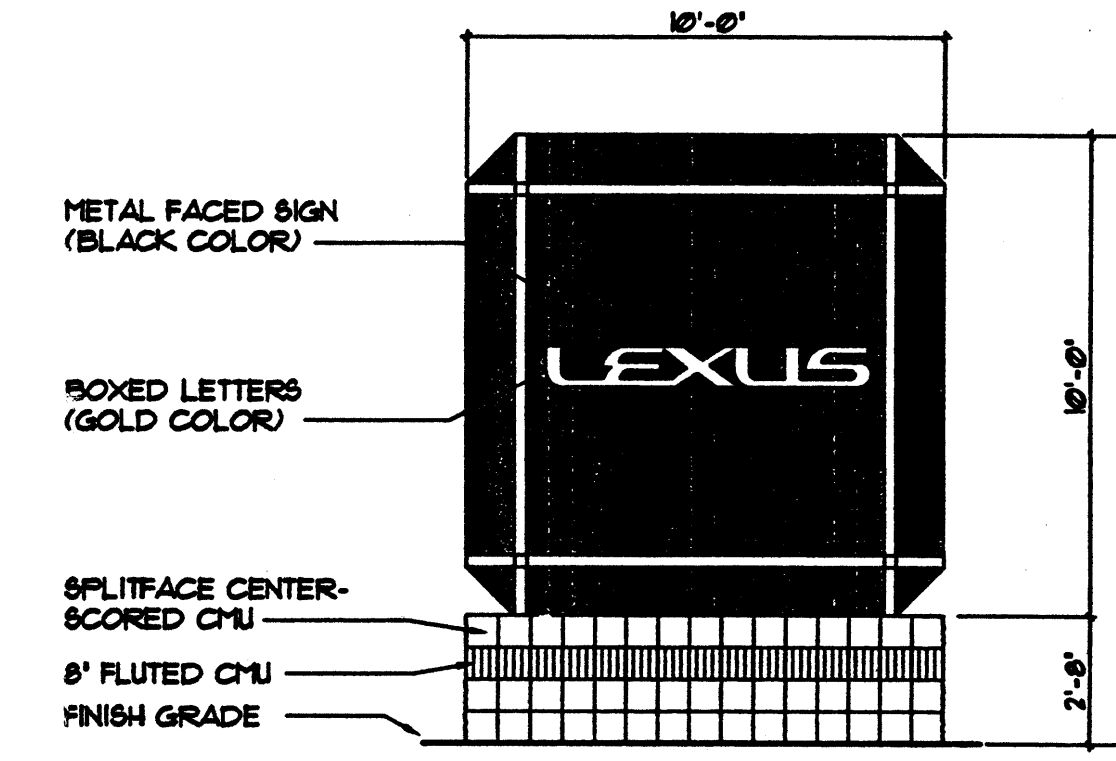
7 REFUSE ENCLOSURE

SCALE: AS NOTED



8 BOLLARD DETAIL

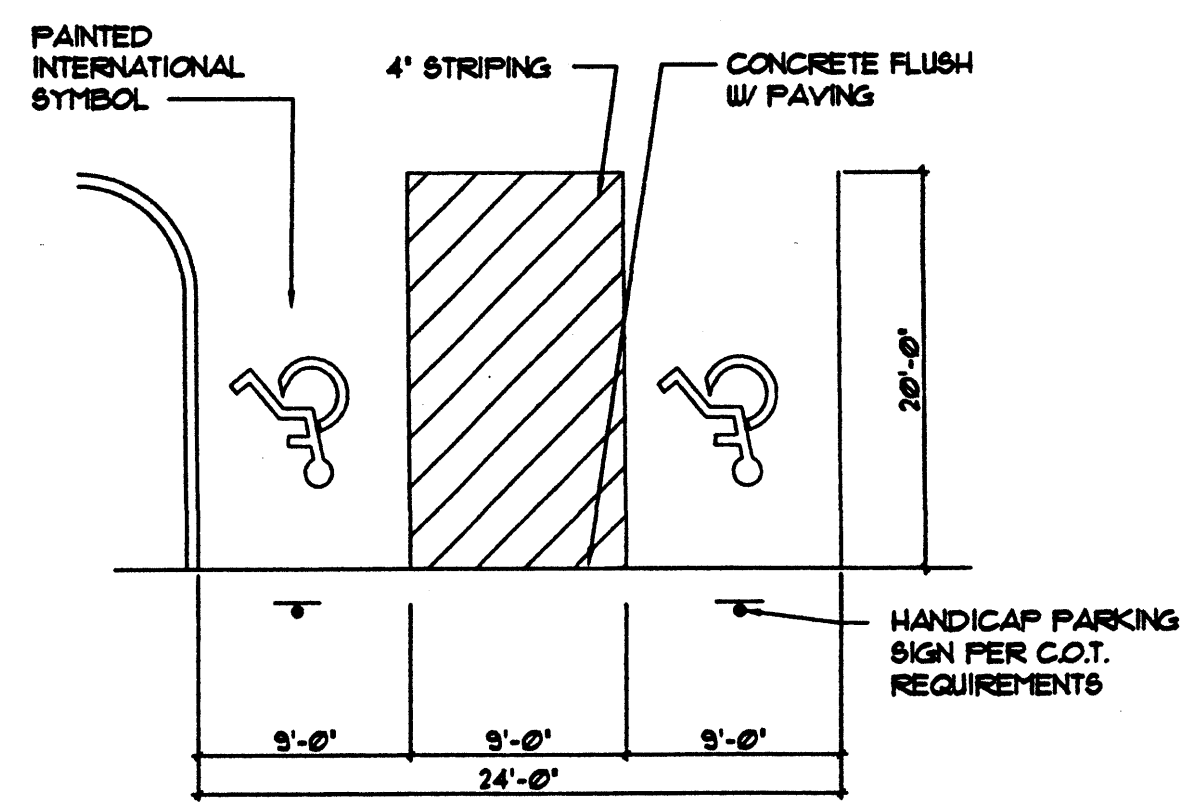
3/4" = 1'-0"



9 MONUMENT SIGN

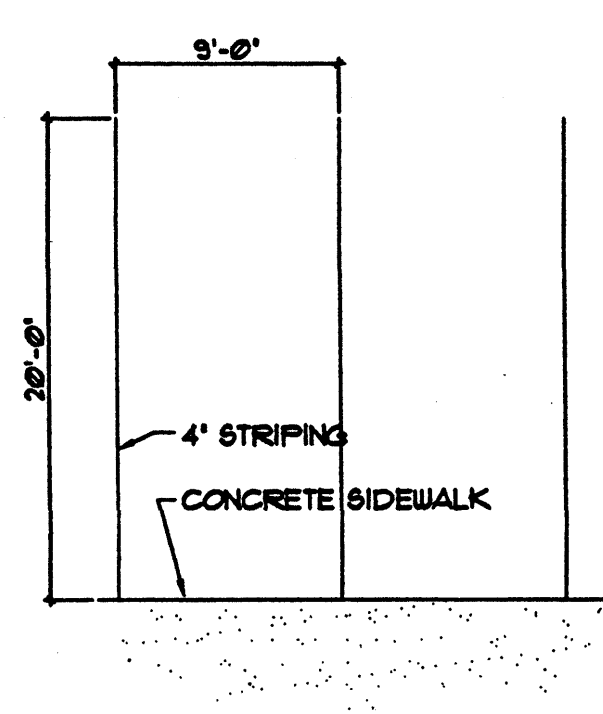
SIGN SHOWN FOR REFERENCE ONLY (N.L.C.)

NTS



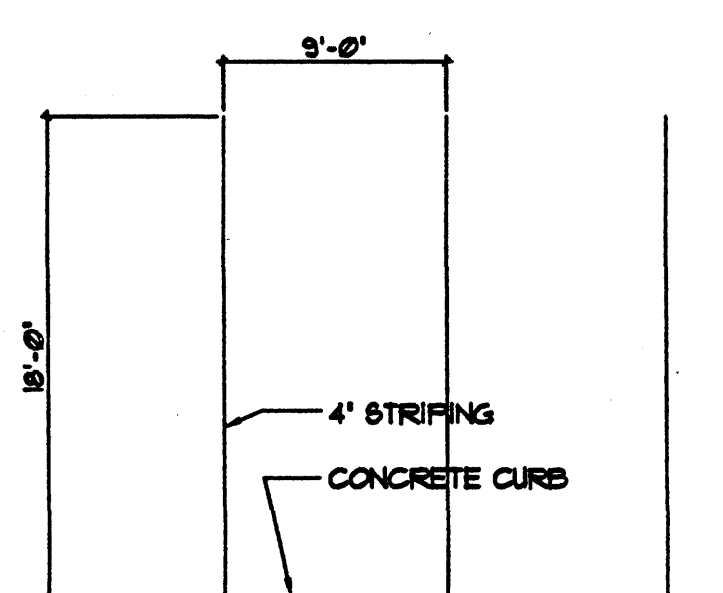
10 ACCESSIBLE PARKING

NTS



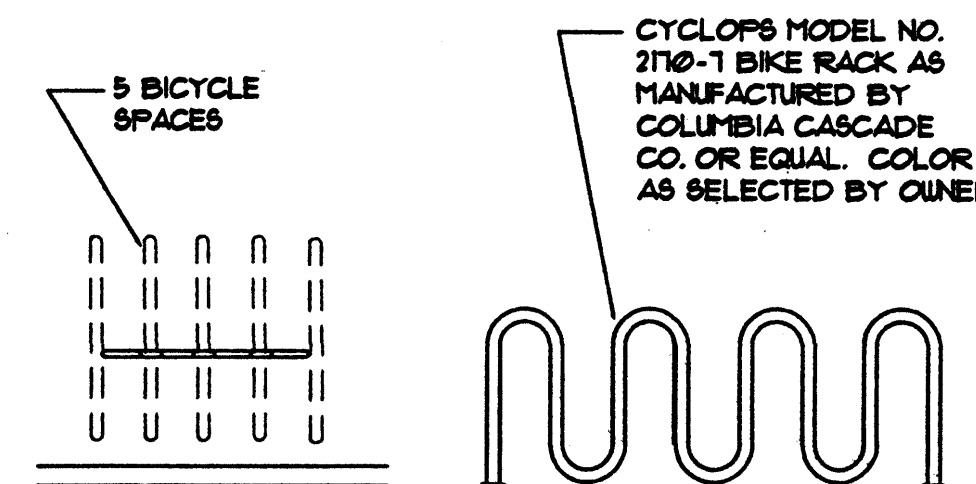
11 STANDARD PARKING

NTS



12 STANDARD PARKING

NTS



13 BICYCLE PARKING DETAIL

NTS

REVISIONS	BY

a. kent traumnicht, a.i.a.  
p.o. box 3386 albuquerque, nm 87190 (505) 261-0560

**TRAUMNIGHT**  
ARCHITECTS  
1001 N. COLUMBIA BLVD., SUITE # 103 • TRUCO, ALBUQUE, NM 87111  
OFFICE (505) 265-2227 • FAX (505) 265-2337

**adg**  
architectural design group, inc.  
1001 N. COLUMBIA BLVD., SUITE # 103 • TRUCO, ALBUQUE, NM 87111  
OFFICE (505) 265-2227 • FAX (505) 265-2337

SITE DETAILS

A NEW FACILITY FOR

**LEXUS**  
OF ALBUQUERQUE

INTERSTATE 25 - 4865 PAN AMERICAN FREEWAY  
ALBUQUERQUE, NEW MEXICO



DRAWN 8/10  
DATE 12-31-99  
SCALE AS NOTED  
JOB # 9915  
SHEET

C1.3

4 OF 51





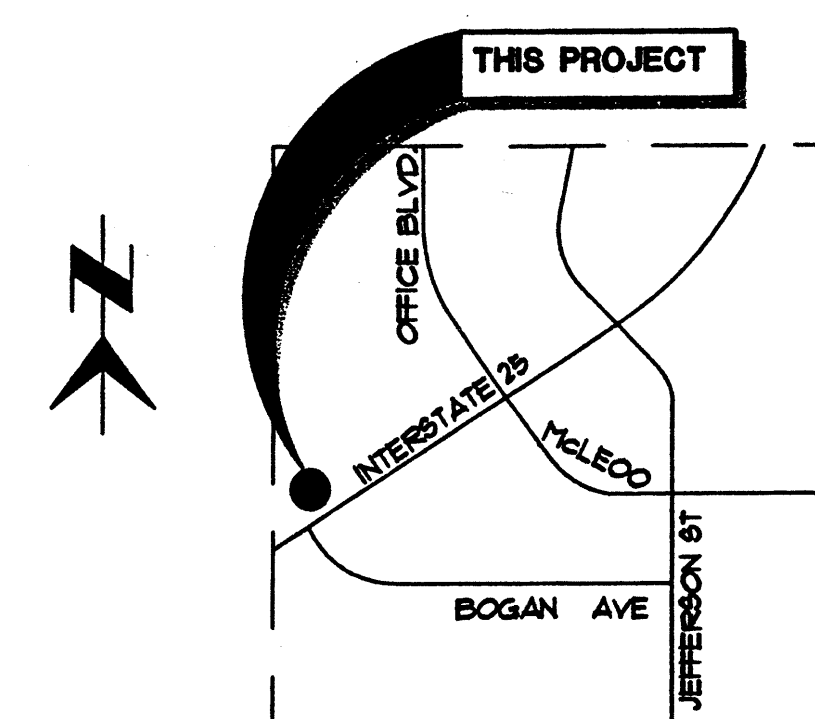


TRACT A  
NORTH SWITCH STATION  
FILED: 10/14/73 IN  
VOL. 88, FOLIO 181.  
LD-73-476

LANDS OF PUBLIC SERVICE COMPANY OF NEW MEXICO

**LEGAL DESCRIPTION**

TRACT LETTERED 'A' OF THE PLAT OF LANDS OF SANDIA UPHOLSTERING COMPANY, SITUATE WITHIN PROJECT SECTION 35, TOWNSHIP 11 NORTH, RANGE 3 EAST, OF THE NMPM, ELENA GALLEGOS GRANT, BERNILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNILLO COUNTY, NEW MEXICO, ON JANUARY 4, 1936 IN VOLUME 96C, FOLIO 5.



**LOCATION MAP**

SECTION 35, T. 11 N., R. 3 E., N. 11 P.M., BERNILLO COUNTY, NEW MEXICO

**SITE DEVELOPMENT PLAN KEYNOTES**

1. TRAFFIC CONTROL ISLAND PER CITY REQUIREMENTS.
2. PROPOSED MONUMENT SIGN (UNDER SEPARATE PERMIT).
3. NEW 6" HIGH STEEL ROLLING GATE W/ WIRE MESH PER DETAIL 3/C13.
4. LANDSCAPING PER LANDSCAPE PLAN.
5. NEW CHU RETAINING WALL PER CIVIL PLANS. PAINT TO MATCH BUILDING. PROVIDE DECORATIVE FLUTED CAP.
6. NEW 6" EXTRUDED CONCRETE CURB.
7. NEW 6" WIDE CONCRETE SIDEWALK WITH ROCK SALT FINISH. RAISED 1" ABOVE ASPHALT AT 6".
8. NEW ASPHALT PER PAVING AND GRADING PLAN.
9. HANDICAP PARKING SPACE.
10. EXISTING SIGN TO BE REMOVED.
11. NEW 4" WIDE WHITE STRIPING.
12. 35'x10' LOADING ZONE 'NO-PARKING'.
13. NEW 12" HIGH CHU DUMPSTER ENCLOSURE. PAINT. SEE DETAIL 6/C13.
14. NEW 200' HIGH SITE LIGHTING PER ELECTRICAL PLANS.
15. PROPOSED FIRE HYDRANT LOCATION.
16. NEW ACCESS ROAD. SEE GRADING PLAN FOR DETAILS.
17. EXISTING BILLBOARD TO REMAIN.
18. NEW CONCRETE CURB PER STATE HIGHWAY DEPARTMENT REQUIREMENTS.
19. NEW DECORATIVE CHU SCREEN WALL PER DETAIL 4/C13.
20. EXISTING WATER LINE TO REMAIN.
21. EXISTING SEWER LINE TO REMAIN.
22. (2) 5'-6" STEEL TUBE SECURITY GATES. (PROVIDE (2) 16'-0" WIDE GATES @ 6".) SEE DETAIL 2/C13.
23. NEW DECORATIVE ENTRY WALL PER DETAIL 2/C13.
24. EXISTING OVERHEAD POWER LINES TO BE RELOCATED. (BY OWNERS).
25. EXISTING POWER POLES TO BE REMOVED. (BY OWNERS).
26. EXISTING UTILITY EASEMENT TO BE RELOCATED. (BY OWNERS).
27. BICYCLE RACK LOCATION.
28. RAMP SLOPE DOWN AT 1/2 MAX.
29. PAVEMENT FLUSH WITH FINISHED FLOOR AT ROLL UP DOORS.
30. EXISTING CONCRETE TO BE REMOVED.
31. CONCRETE PIPE BOLLARD PER DETAIL 8/C13.
32. ELECTRICAL SERVICE ENTRANCE. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
33. NEW POWER POLE LOCATION. (BY OWNERS).
34. RELOCATED OVERHEAD POWER LINES. (BY OWNERS).
35. VEHICLE DISPLAY PAD WITH SCORED CONCRETE PER DETAIL 1/C13.
36. ROCK PILE VEHICLE DISPLAY.
37. EXISTING FENCE TO BE REMOVED.
38. PERMANENT TABLE AND BENCH (CONCRETE).
39. NEW DECELERATION LANE. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
40. NEW DRAINAGE PIPE CULVERTS. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
41. NEW ELECTRICAL TRANSFORMER LOCATION. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
42. NEW CONCRETE CURB AND GUTTER. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
43. NEW CONCRETE CHANNEL. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
44. EXISTING PAVEMENT TO REMAIN.
45. TRIM TACK AND JOIN NEW ASPHALT TO EXISTING ASPHALT PER STATE HIGHWAY DEPARTMENT.
46. FENCE AND GATE BY OTHERS.

**PARKING REQUIREMENTS**

RETAIL AND SERVICE USES • 1 SPACE / 200 SQUARE FEET  
20,944 SQUARE FEET / 200  
104.72 SPACES REQUIRED  
72 SPACES PROVIDED

HANDICAP SPACES REQUIRED 51 - 100 SPACES REQUIRED  
HANDICAP SPACES PROVIDED • 4 SPACES

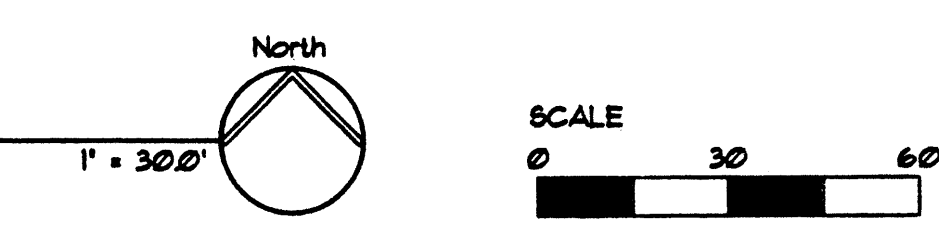
BICYCLE SPACES REQUIRED • 1 BIKE SPACE / 20 AUTO SPACES  
REQUIRED • 5 SPACES  
PROVIDED • 5 SPACES

NOTE:  
NO CHAINLINK FENCING SHALL BE USED THROUGHOUT THIS PROJECT.

**INTERSTATE 25**  
(PAN AMERICAN FREEWAY)

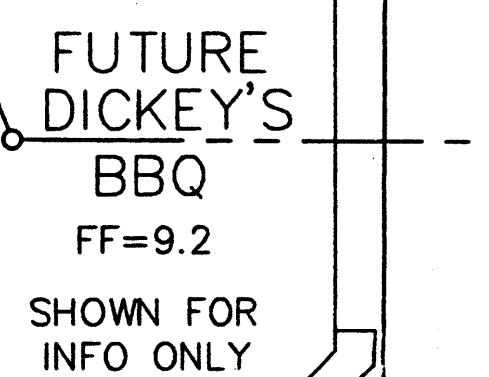
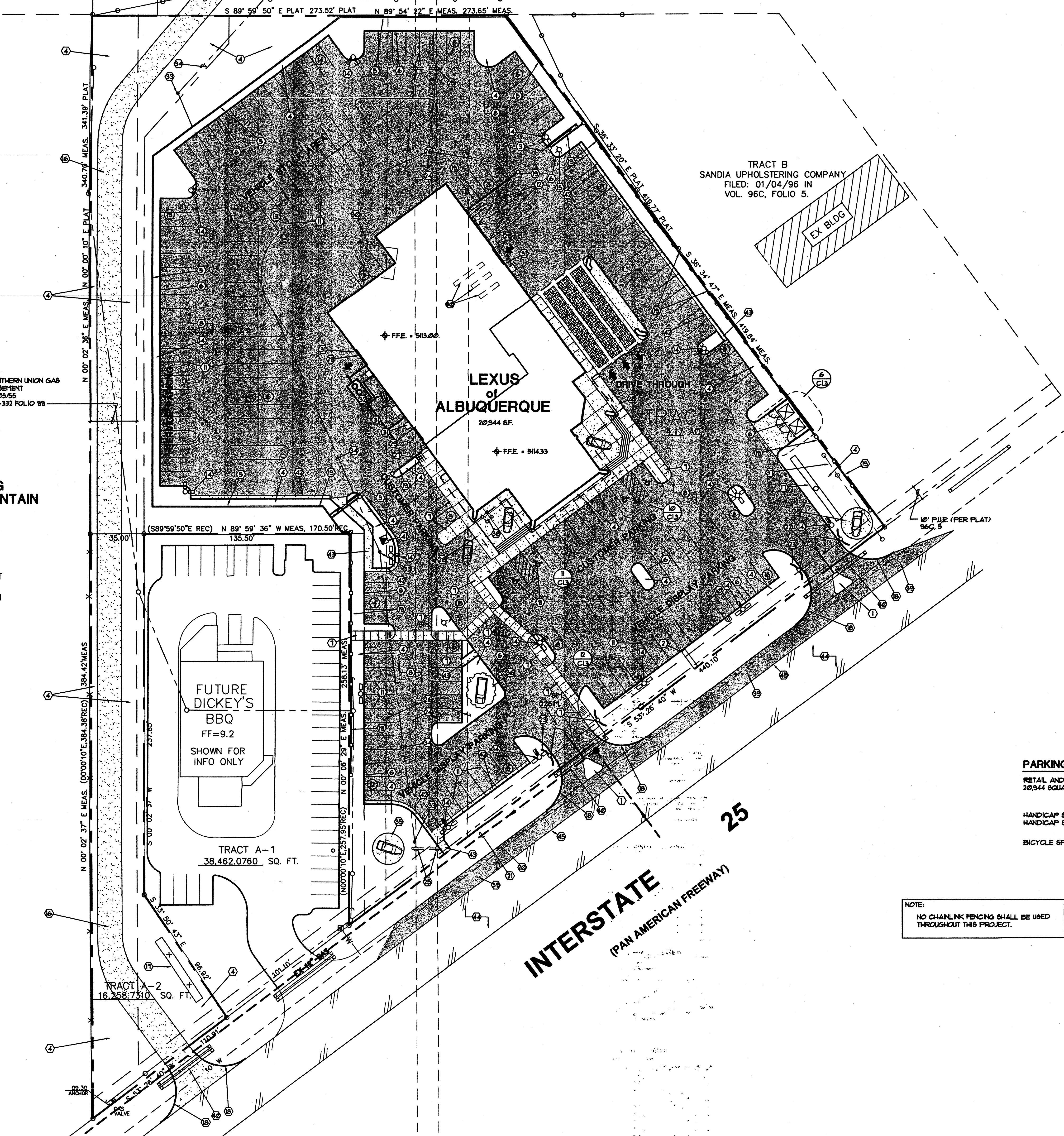
**ARCHITECTURAL SITE PLAN**

GROSS SITE AREA IS 191,592 SF. (4.34 ACRES)  
NET SITE AREA (191,592 SF. - 20,933 SF.) = 170,659 SF.



EXISTING  
ROCKY MOUNTAIN  
STONE

LAND DIVISION PLAT  
LARDNER TRACT  
FILED: 01/03/74 IN  
VOL. B9, FOLIO 24.



TRACT A-1  
38,462,0760 SQ. FT.

TRACT A-2  
16,258,7510 SQ. FT.

TRACT B  
SANDIA UPHOLSTERING COMPANY  
FILED: 01/04/96 IN  
VOL. 96C, FOLIO 5.

30' SOUTHERN UNION GAS  
CO. EASEMENT  
FILE 1/03/55  
VOL. D-332 FOLIO 99

REVISIONS	BY

a. kent traumnicht, a.i.a.

1001 N. Coates Blvd., Suite # 103 • Tucson, Arizona 85711  
Office (520) 325-2227 • Fax (520) 325-3327

**ARCHITECTURAL SITE PLAN**

A NEW FACILITY FOR  
**LEXUS OF ALBUQUERQUE**  
INTERSTATE 25 - 4851 PAN AMERICAN FREEWAY  
ALBUQUERQUE, NEW MEXICO

Project # 1000219 / Application # 00450 00000 00164

**CASE NUMBER: Z-99-90-1**

THESE PLANS ARE CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON (DATE):  
THE PLAN COMPLY WITH THE FINDINGS AND CONDITIONS SET FORTH IN THE OFFICIAL NOTIFICATION OF DECISION.

**SITE DEVELOPMENT PLAN**

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>Edward J. Stang</i>	2-9-00
DESIGN AND DEVELOPMENT, OF	DATE
PUBLIC WORKS, UTILITIES DEVELOPMENT DIVISION	DATE
<i>Paul J. Logan</i>	4-25-00
CITY ENGINEER, ENGINEERING DIVISION/AMFCA	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL	DATE
CITY PLANNER, ALBUQUERQUE PLANNING DEPARTMENT	DATE

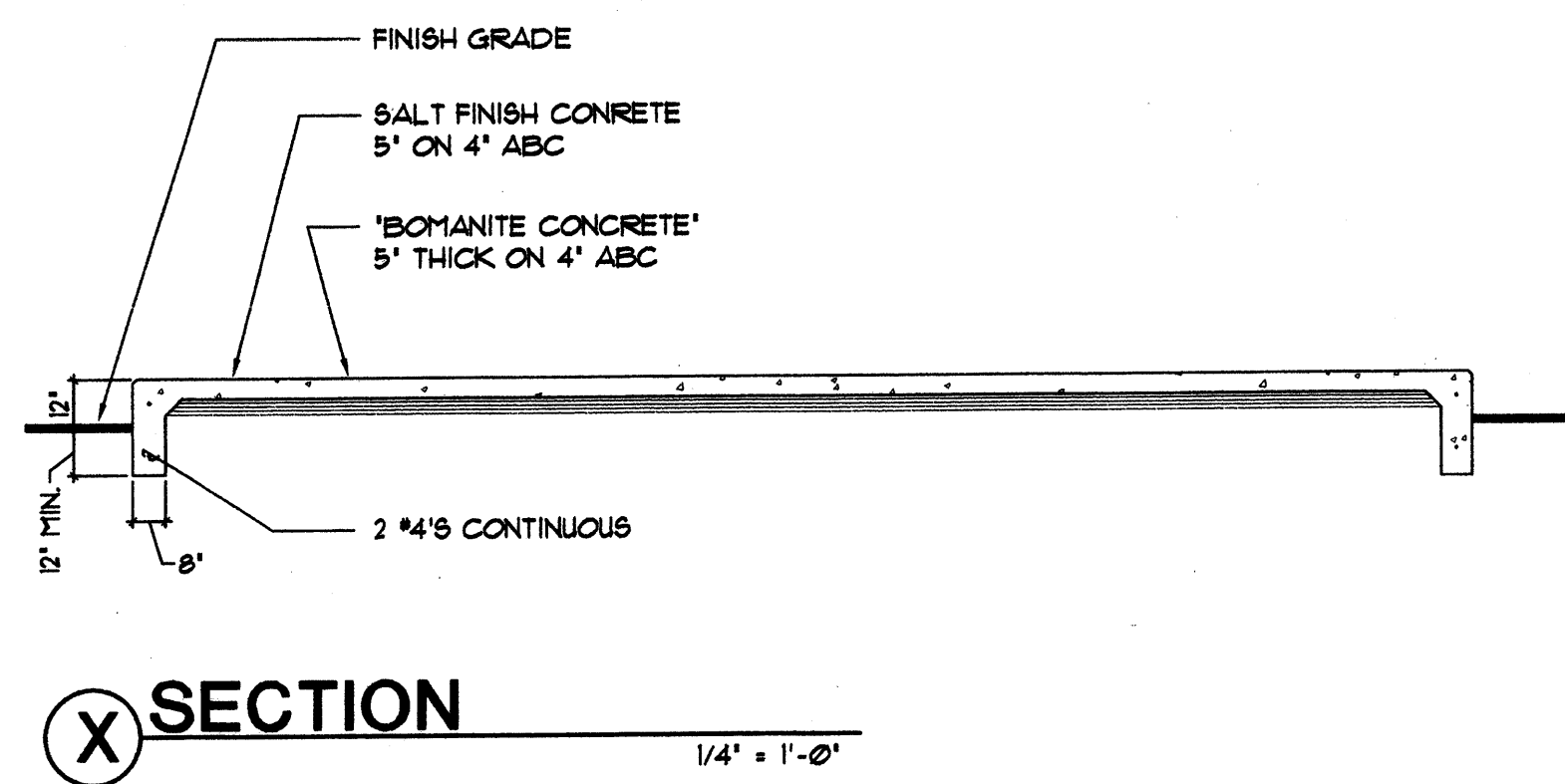
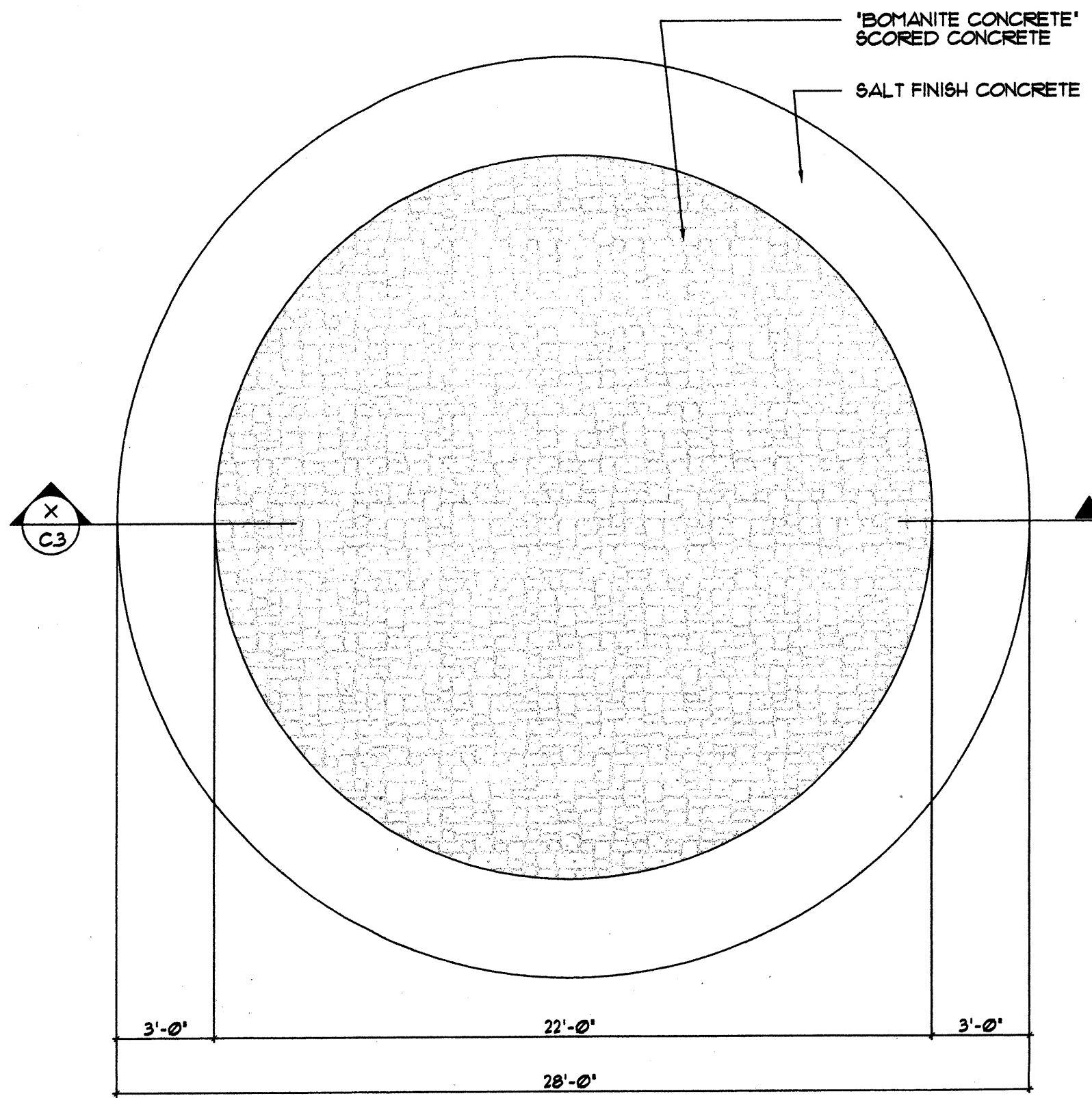
PLN2 (10/106)

2 OF 51

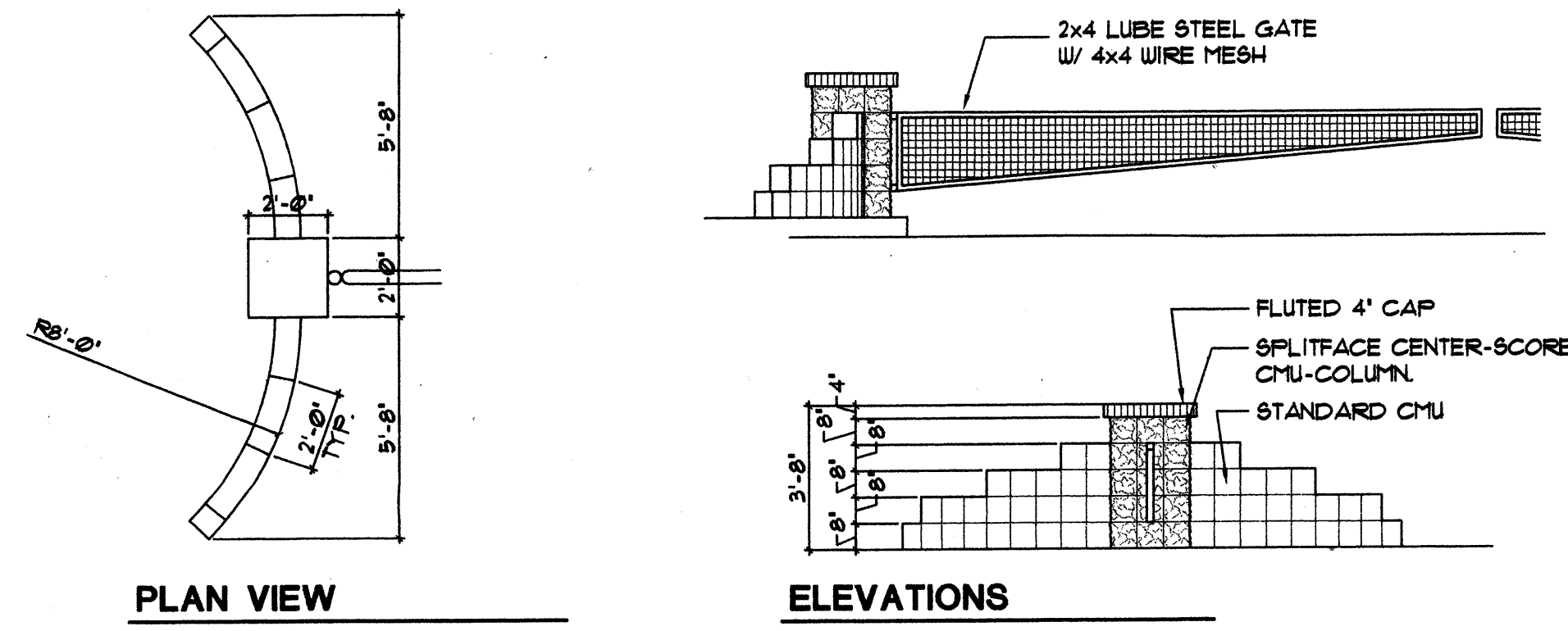
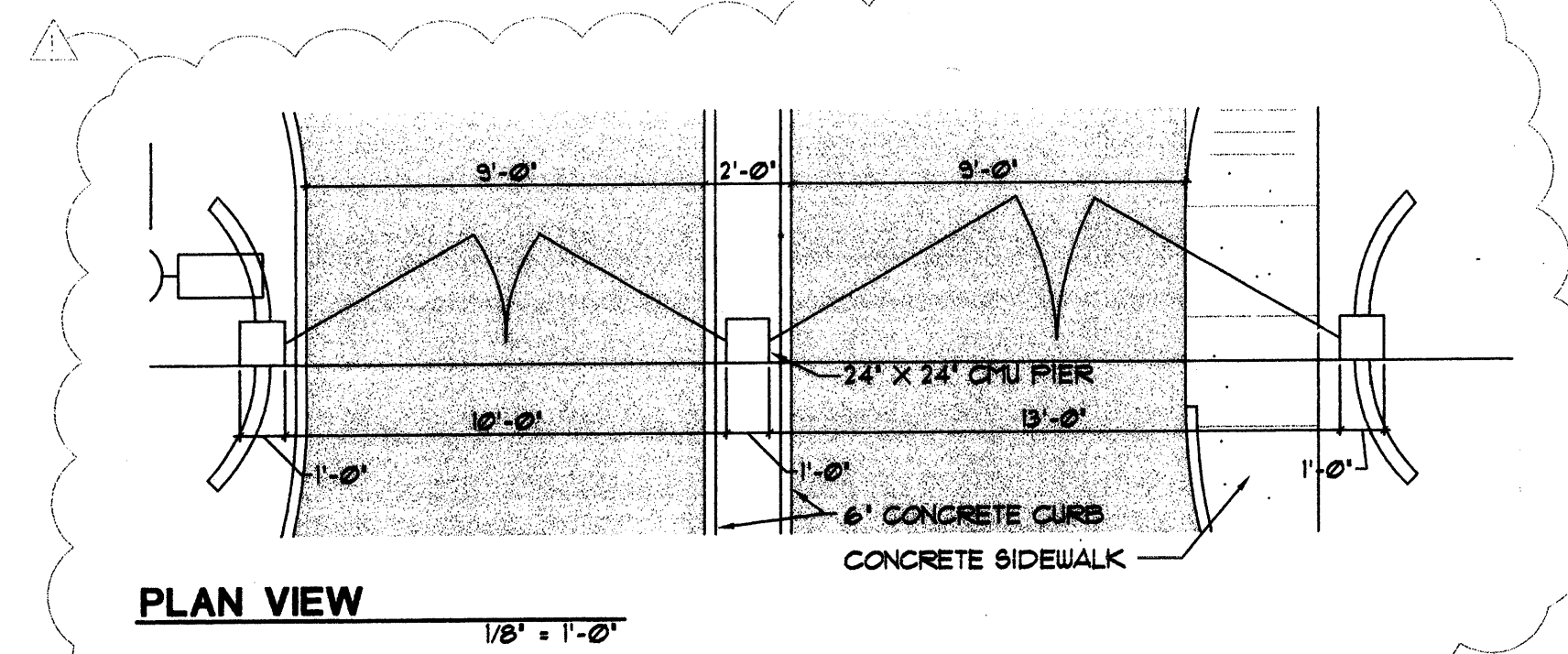
E:\Chas\99097\Doc1-1\shplan.dwg, 01/27/2000 02:46:39 PM, CAD HP 1080C.pcd, 130

DO NOT SCALE DRAWINGS

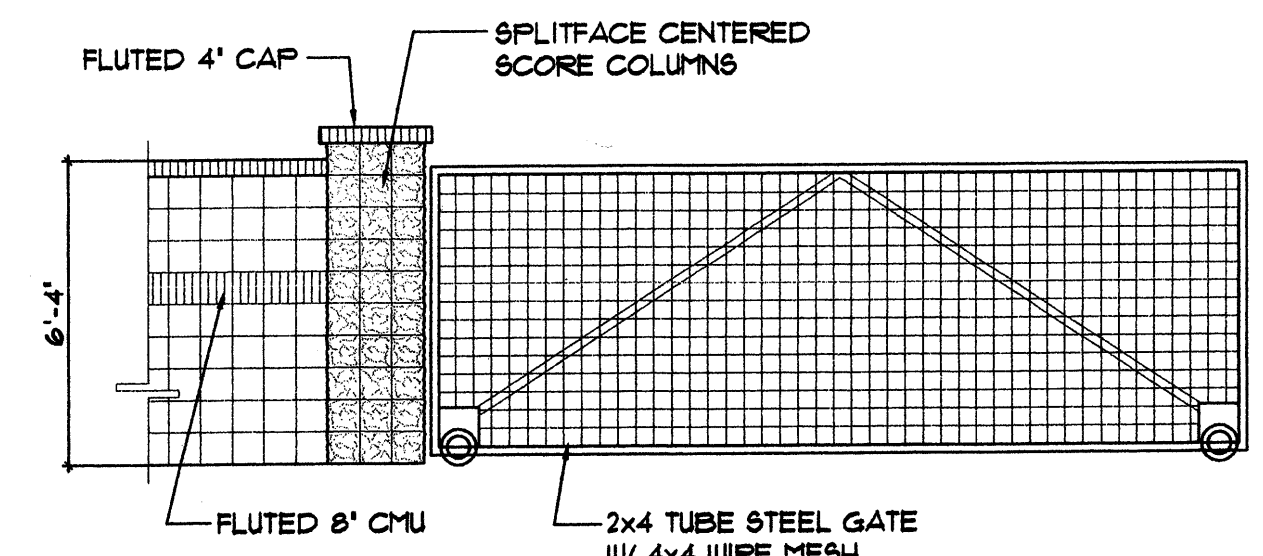




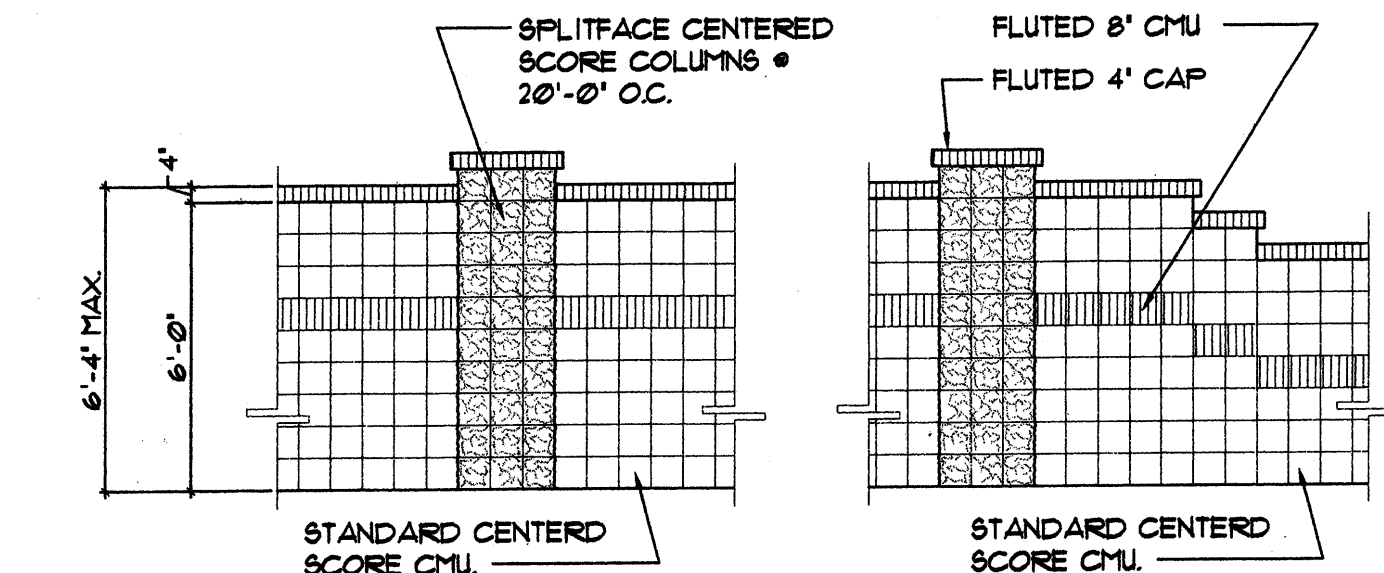
1 FEATURE VEHICLE DISPLAY PAD  
1/4" = 1'-0"



2 ENTRY WITH SWINGING GATES  
SUBMIT SHOP DRAWING FOR APPROVAL NTS

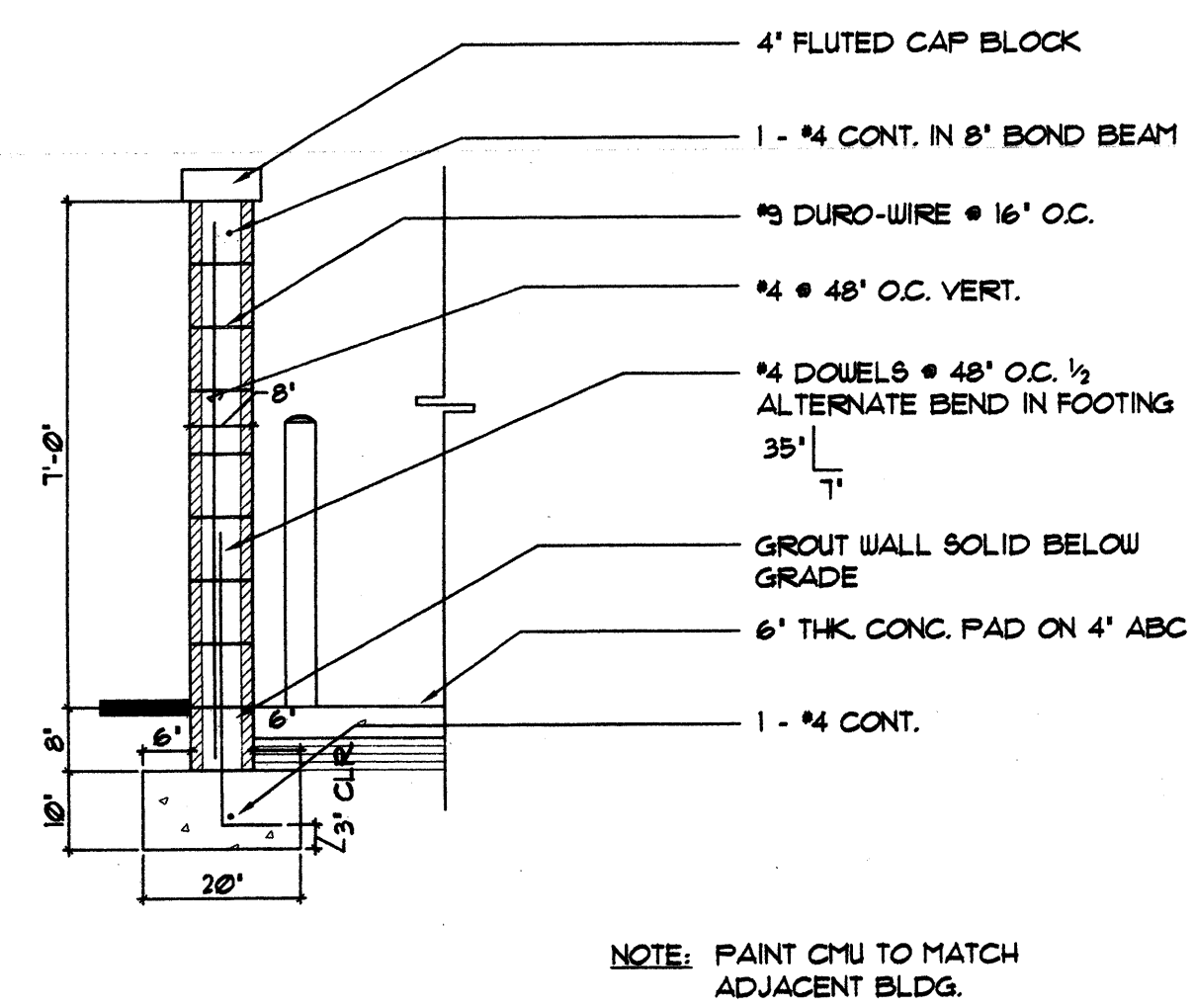
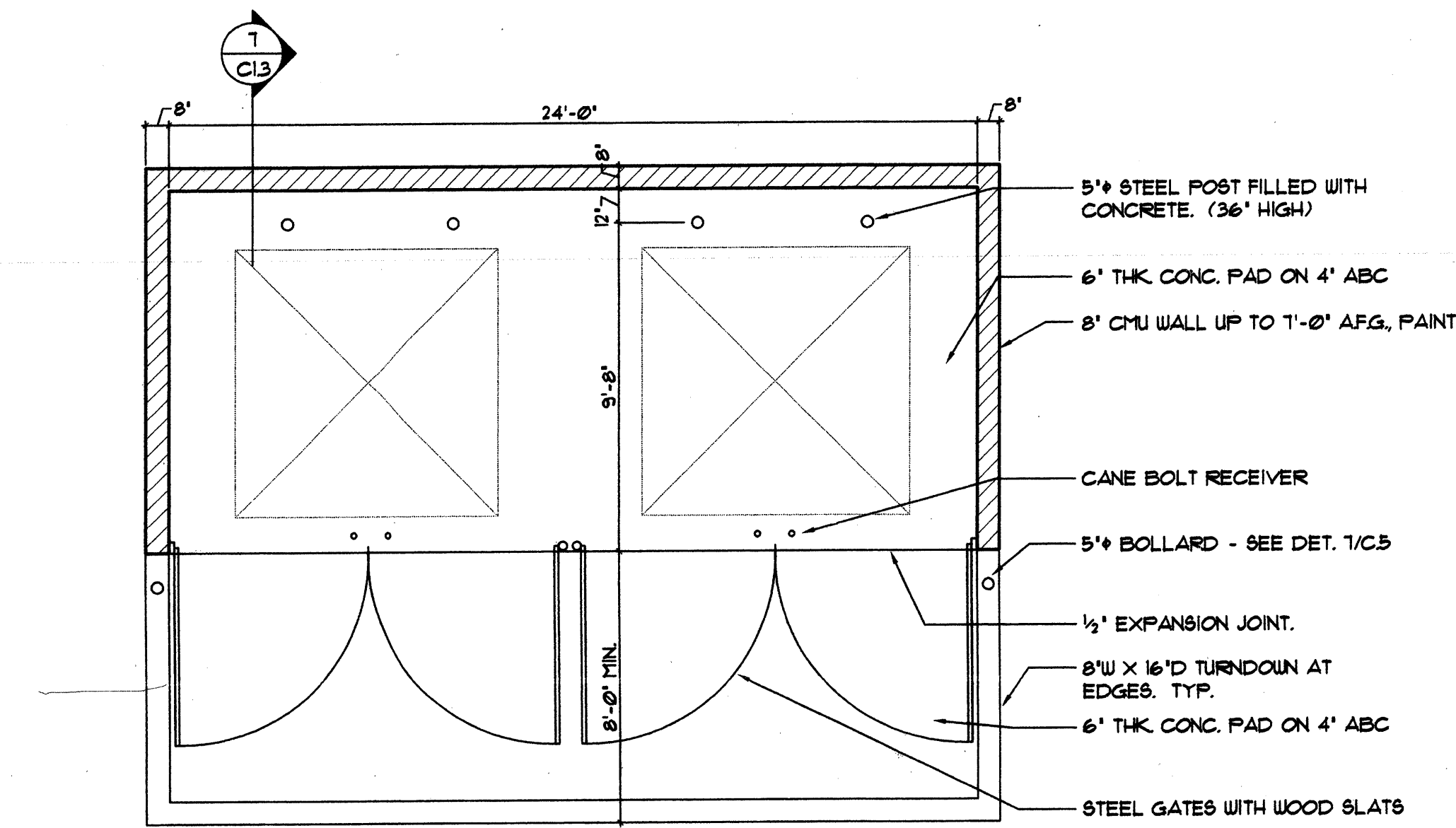


3 SITE WALL WITH ROLLING GATE  
SUBMIT SHOP DRAWING FOR APPROVAL NTS

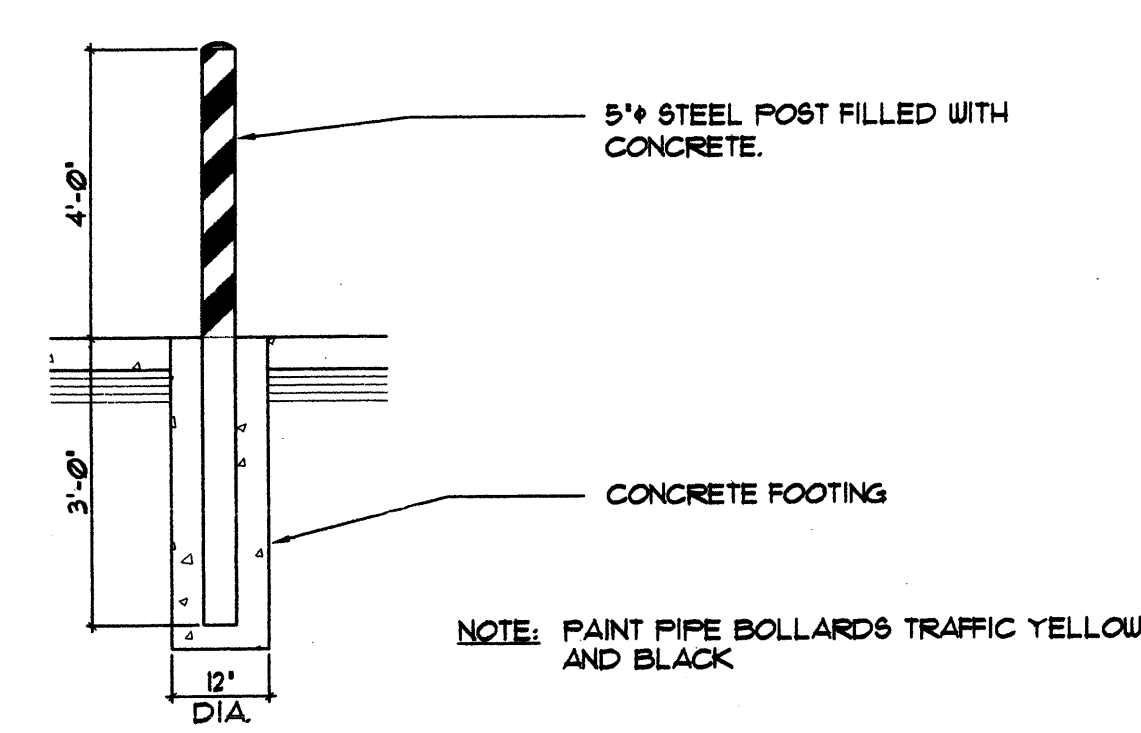


4 DECORATIVE SITE WALL  
NTS

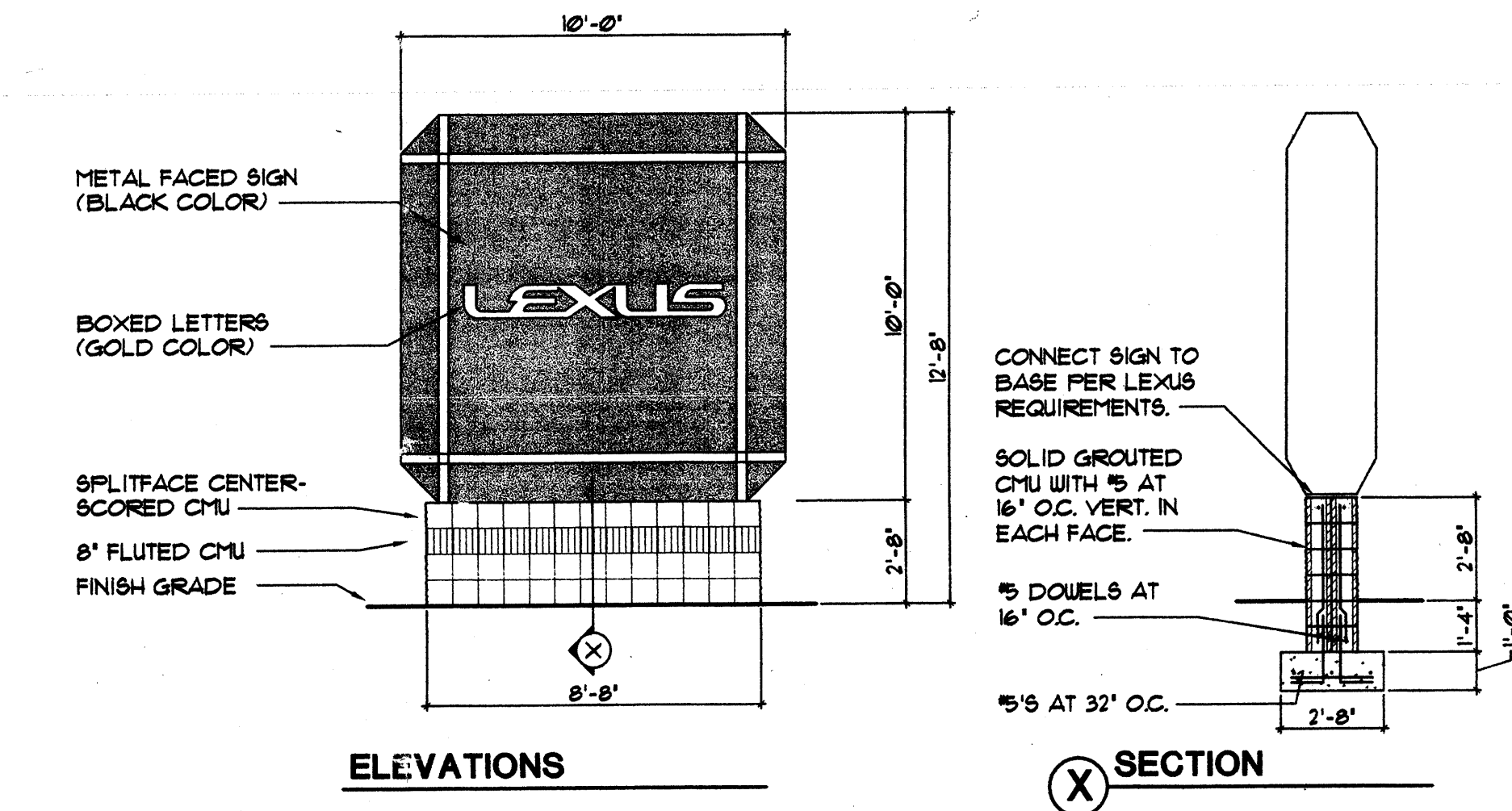
5 NOT USED  
NTS



7 REFUSE ENCLOSURE  
SCALE: AS NOTED

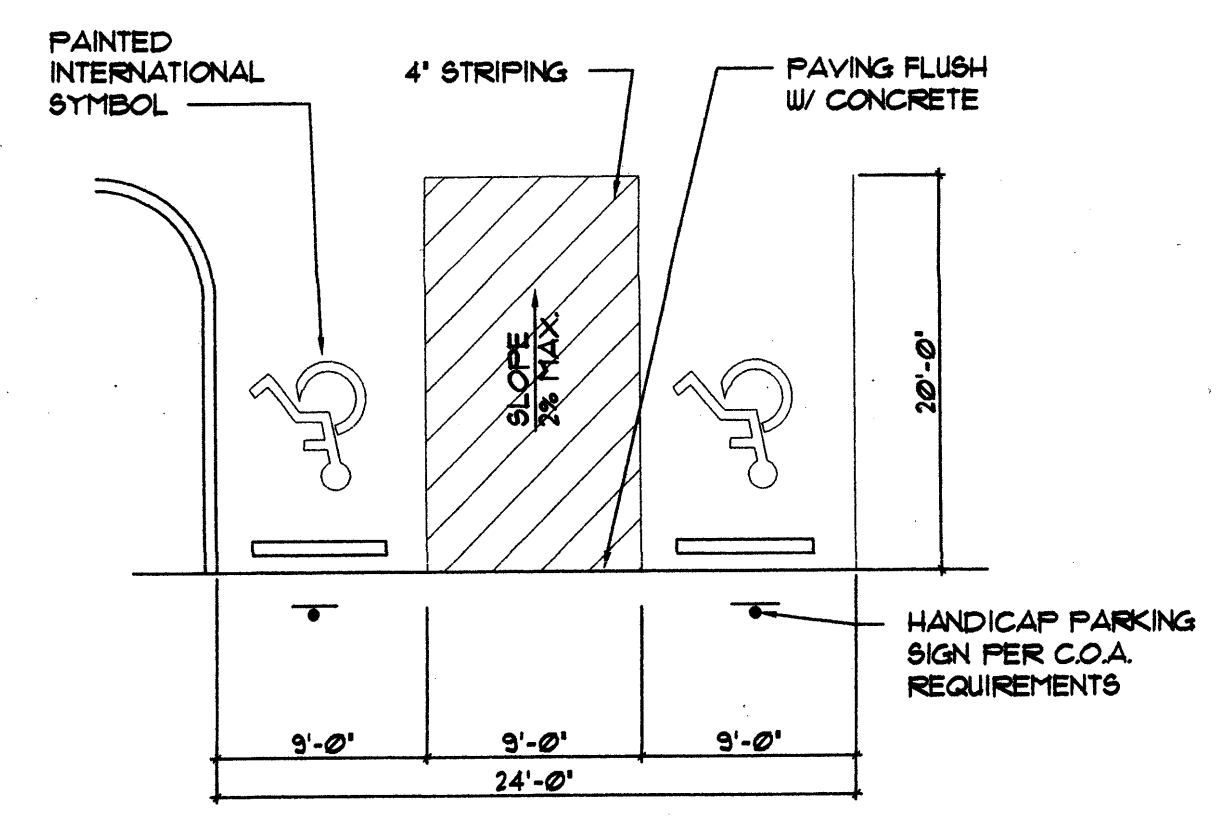


8 BOLLARD DETAIL  
3/4" = 1'-0"

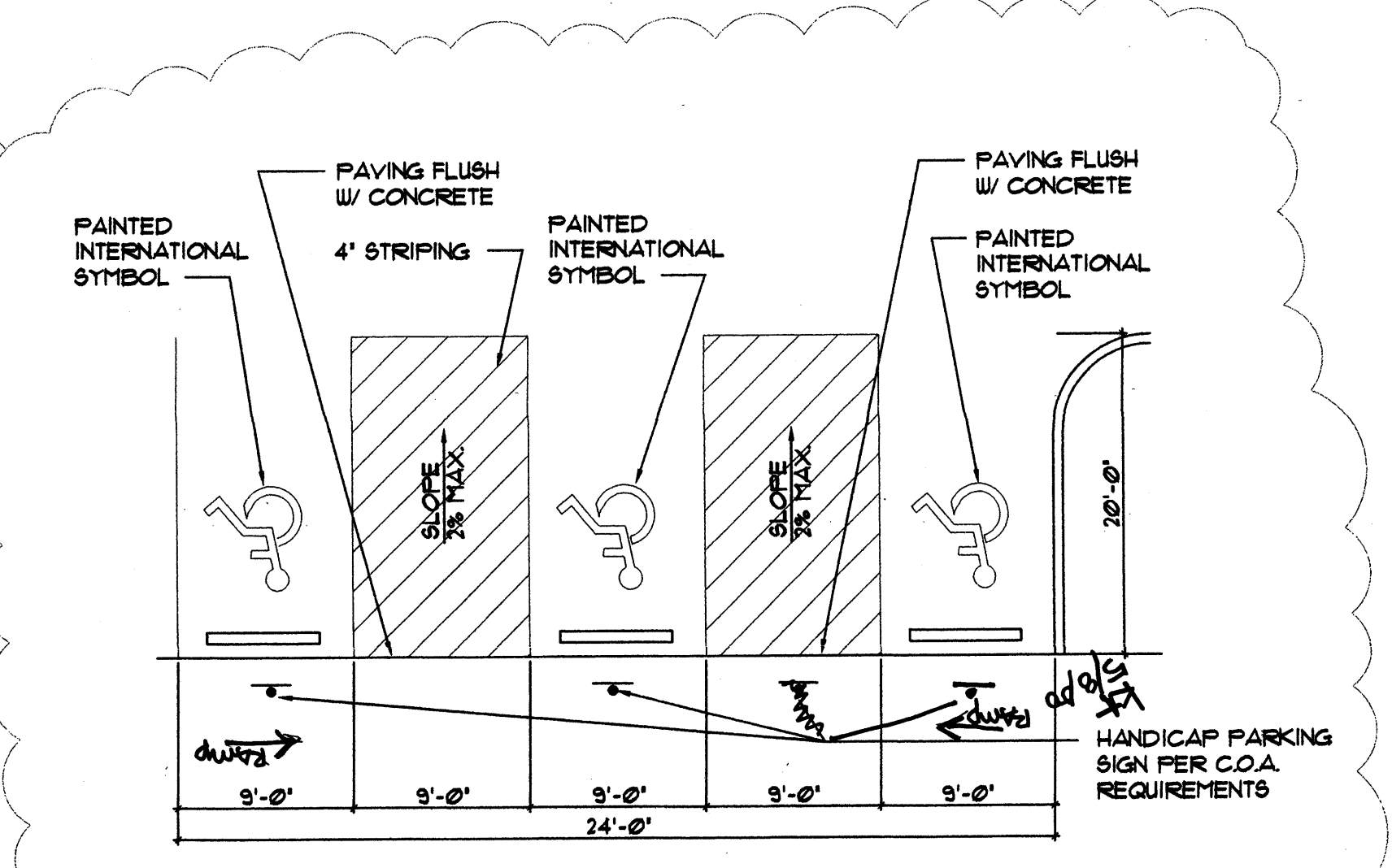


9 MONUMENT SIGN  
SIGN IS PROVIDED AND INSTALLED BY OTHERS NTS

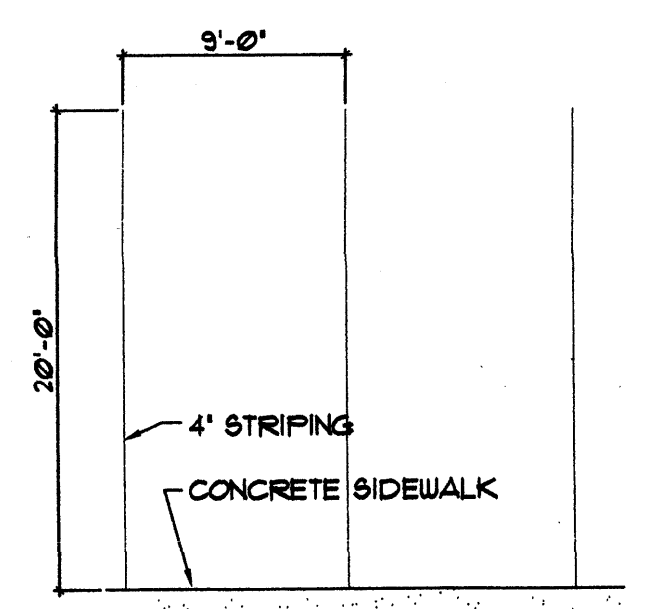
6 REFUSE PLAN  
1/4" = 1'-0"



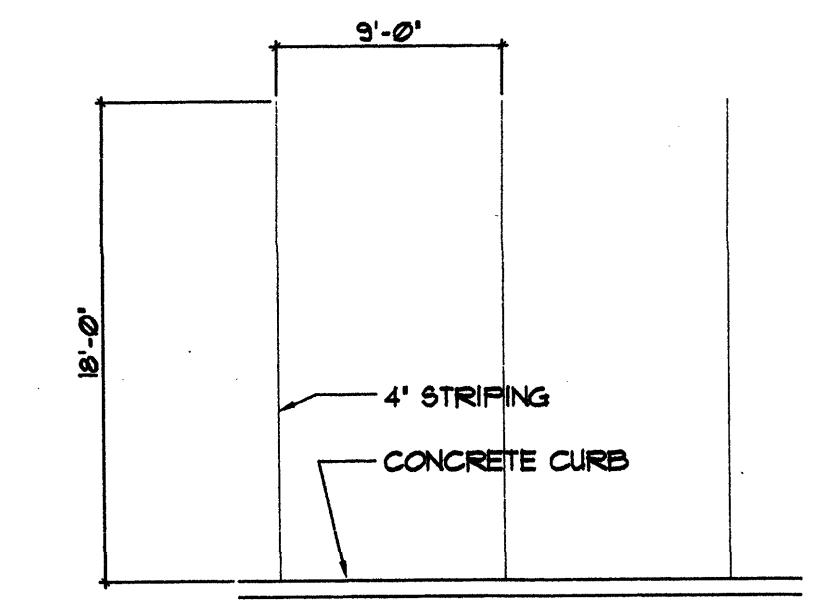
10 ACCESSIBLE PARKING  
MAINTAIN 2% MAX. CROSS SLOPE NTS



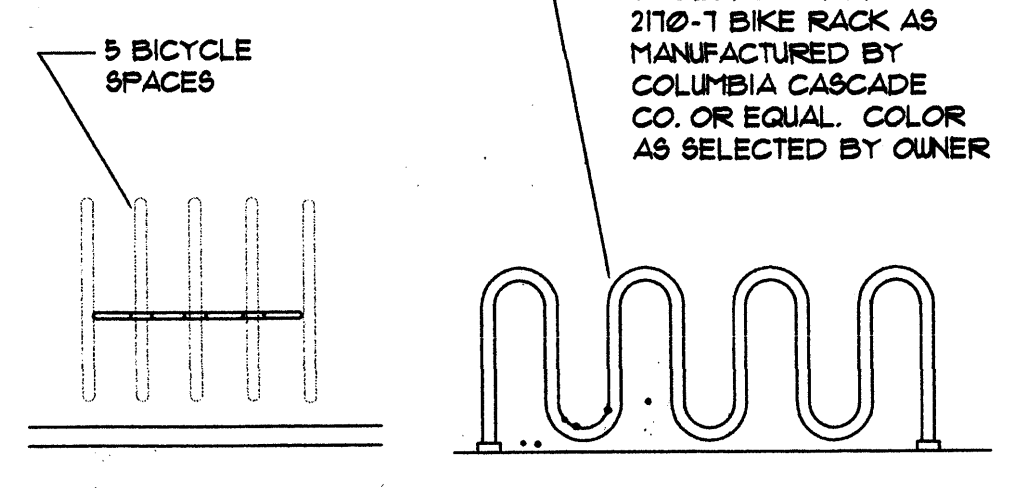
11 ACCESSIBLE PARKING  
MAINTAIN 2% MAX. CROSS SLOPE NTS



12 STANDARD PARKING  
NTS



13 STANDARD PARKING  
NTS



14 BICYCLE PARKING DETAIL  
NTS

REVISIONS	BY
3-22-00	D.R.
PLAN CHECK	
REVISIONS	

Kent Trauernicht, a.i.a.  
a. kent trauernicht, a.i.a.  
p.o. box 3366 albuquerque, nm 87190 (505) 281-9560



adg ARCHITECTURAL DESIGN GROUP, INC.  
105 N. Delaware Blvd., Suite # 102 • Tucson, Arizona 85711  
Cindy (520) 785-2527 • Fax (520) 785-2527

SITE DETAILS

A NEW FACILITY FOR  
**LEXUS**  
OF ALBUQUERQUE  
INTERSTATE 25 - 4851 PAN AMERICAN FREEWAY  
ALBUQUERQUE, NEW MEXICO



DRAWN 8/MD.  
DATE 3-8-00  
SCALE AS NOTED  
JOB # 9975  
SHEET

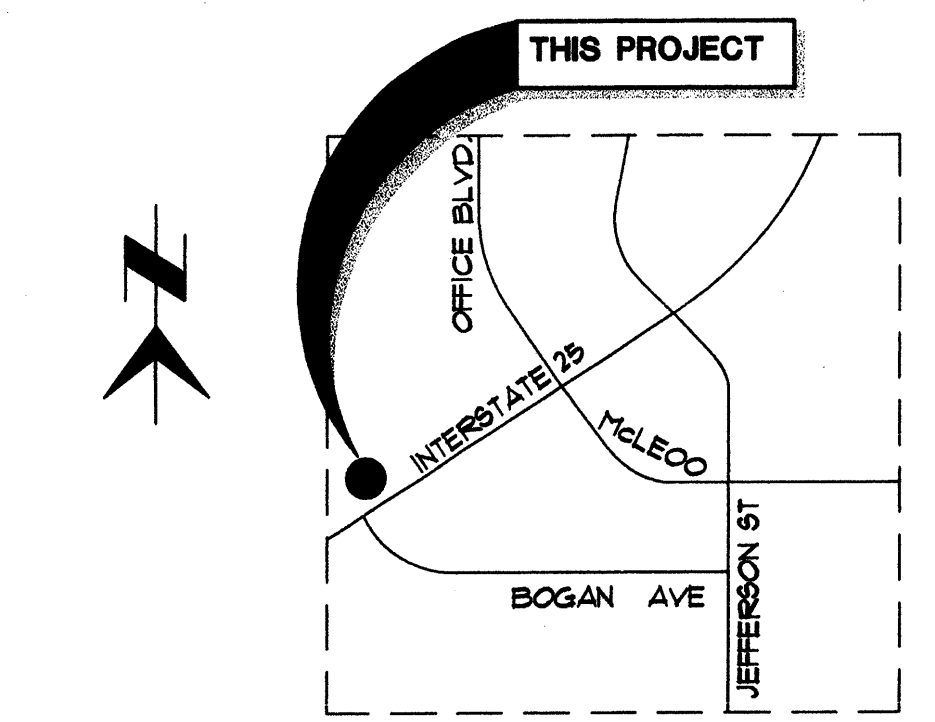
C1.3



TRACT A  
NORTH SWITCH STATION  
FILED: 10/14/73 IN  
VOL. B8, FOLIO 181.  
LD-73-476

LANDS OF PUBLIC SERVICE COMPANY OF NEW MEXICO

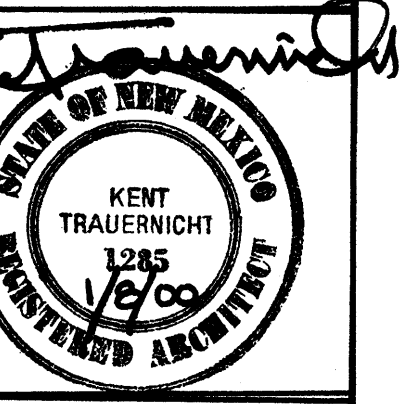
TRACT C



LOCATION MAP  
SECTION 35, T. 11 N., R. 3 E., NMPM.  
BERNALILLO COUNTY, NEW MEXICO

REVISIONS	BY
3-27-00 PLAN CHECK REVISIONS	D.P.

a. kent trauernicht, a.i.a.  
architects  
p.o. box 3366 albuquerque, nm 87190 (505) 261-6660



adg  
architectural design group, inc.  
1051 N. Columbia Blvd., Suite 105 • Tucson, Arizona 85711  
Office (520) 325-2227 • FAX (520) 325-3337

DIMENSIONED SITE PLAN

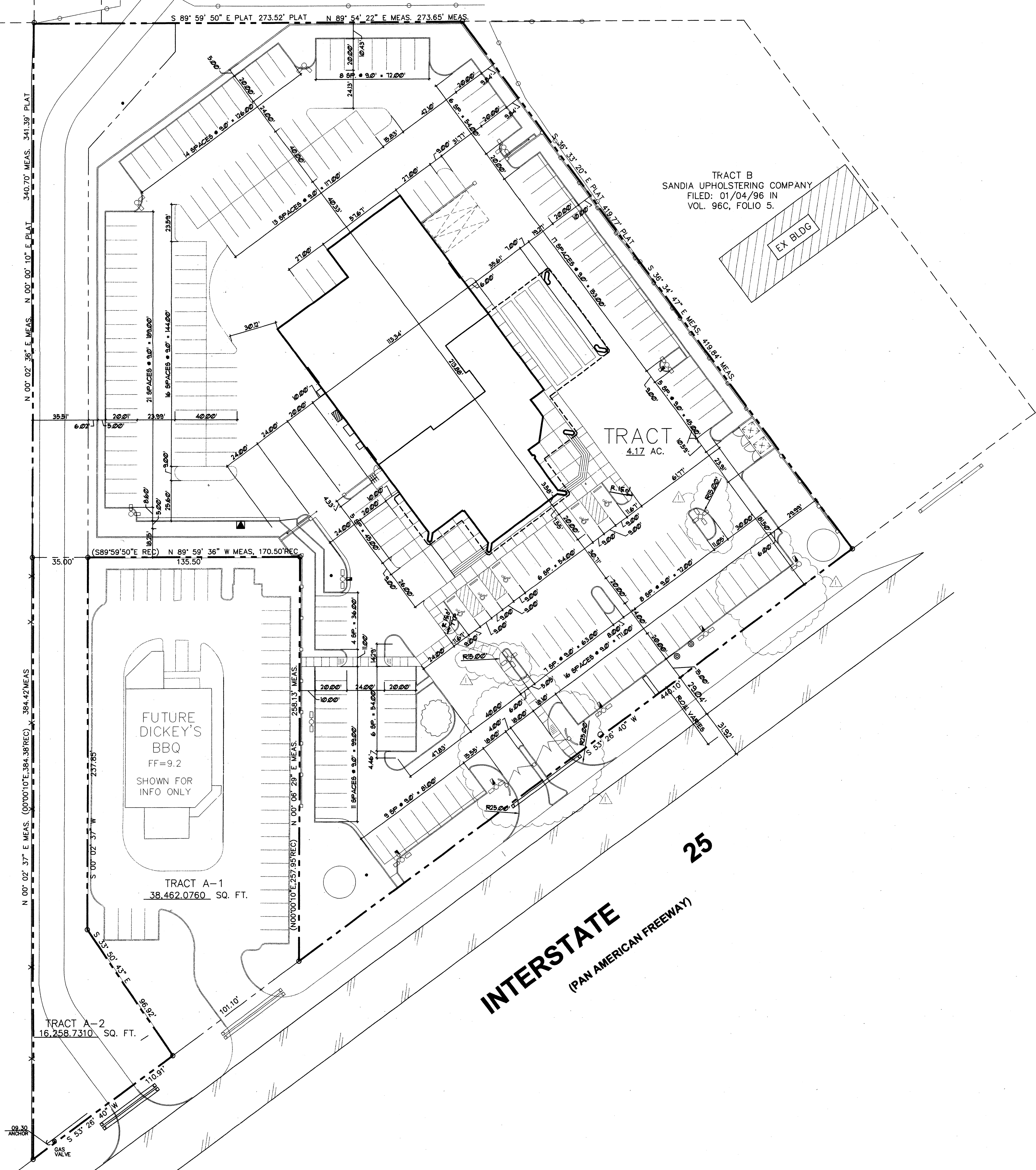
A NEW FACILITY FOR  
**LEXUS**  
OF ALBUQUERQUE  
INTERSTATE 25 - 4827 PAN AMERICAN FREEWAY -  
ALBUQUERQUE, NEW MEXICO



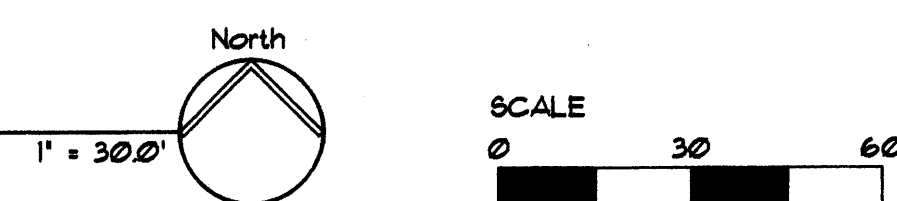
DRAWN 84MD  
DATE 3-8-00  
SCALE AS NOTED  
JOB # 9975  
SHEET

**C1.2**  
3 OF 81

LAND DIVISION PLAT  
LARDNER TRACT  
FILED: 01/03/74 IN  
VOL. B9, FOLIO 24.



DIMENSIONED SITE PLAN



E:\Drawings\9975\1-2-alle-dim.dwg, 04/12/2000 10:04:45 AM, 1058C.rvt, 130

DO NOT SCALE DRAWINGS



# Albuquerque Site & Building Design Considerations

This form should be submitted with all commercial and multifamily site plans, except if the development is industrial or the multifamily is less than 25 units. ***The project architect and landscape architect must complete the evaluation and sign the end of this form (fillable in Adobe Acrobat Reader).***

The City of Albuquerque design philosophy promotes building performance: buildings that are sustainable and that promote the health and well-being of its citizens. This design philosophy will result in architecture that is unique to Albuquerque and fosters a sense of place and identity.

The most important aspect of a building is the building's ability to function well in response to its surroundings and the unique environmental constraints and opportunities of its specific location. They include bio-climate (winter and summer), solar access and impact, and views of Albuquerque's prominent geographic features. Albuquerque has compelling environmental forces--the daily and seasonal position of the sun, and a very unique force, the dramatic views to the Sandia mountains and other physical features. These are not subjective forces but rather tangible and timeless forces. They are physical properties that can be measured and documented. When architects and landscape architects acknowledge and respond to these forces, the resulting design is unique to Albuquerque in its aesthetic expression and its function.

## Design Considerations for Compliance with IDO Section 5-2 (D)

*In Albuquerque, building and site design must consider summer and winter climate zones in combination due to our high desert location. Albuquerque also has dramatic views of the Sandia mountains and other physical features that can be captured in windows, patios, and balconies. Identify by checking the box that you have achieved, achieved in part, or evaluated only the following design principles in your site and building layout and building design.*

### Section A.

#### **General Site Arrangement and Building Orientation:**

1. The building design should account for sun and shadow in a sun and shade analysis. The design should allow for heat loss during the summer months and heat gain during the winter months. Specific submittal requirements for the sun and shade analysis are in *Section B*.  
Achieved       Achieved in Part       Evaluated Only
2. The building shapes should account for strong solar radiation effects on the east and west sides of the building and may encourage consideration of a slender elongation. Building wings extending on the east-west axis are preferable.  
Achieved       Achieved in Part       Evaluated Only
3. Buildings oriented slightly east of south are preferable to secure balanced heat distribution.  
Achieved       Achieved in Part       Evaluated Only



4. Design should allow for winter sun penetration and may inform depths of interiors so as not be excessive.  
 Achieved       Achieved in Part       Evaluated Only
5. Design should allow for natural ventilation as much as possible.  
 Achieved       Achieved in Part       Evaluated Only

**Building Entries and Windows:**

6. Building windows to the south and southeastern sides are preferable. South facing windows are easy to shade from the summer sun with simple horizontal overhangs, projections, or plantings.  
 Achieved       Achieved in Part       Evaluated Only
7. North facing entries should be carefully considered because they receive no direct sunlight during much of the winter and increase the need for snow and ice removal.  
 Achieved       Achieved in Part       Evaluated Only
8. North facing windows are encouraged as they require little to no shading.  
 Achieved       Achieved in Part       Evaluated Only
9. Any west facing building entries and windows should mitigate solar effects.  
 Achieved       Achieved in Part       Evaluated Only

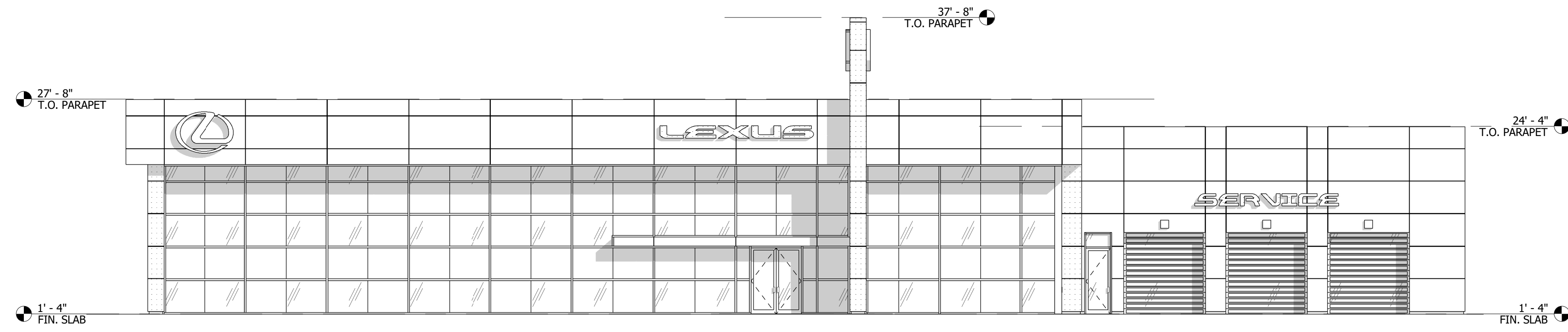
**Outdoor Elements (Integration):**

10. Site plan design should spatially connect outdoor and indoor areas.  
 Achieved       Achieved in Part       Evaluated Only
11. Buildings arranged around landscape vegetated areas are preferred to use evaporative cooling effects and heat radiation losses at night.  
 Achieved       Achieved in Part       Evaluated Only
12. Buildings should be shaded by trees on all sun-exposed sides, especially the east and west exposures.  
 Achieved       Achieved in Part       Evaluated Only
13. Trees placement should be in combinations of two-thirds deciduous to one-third evergreen. Trees selection should have three or more tree types to avoid loss of species due to disease.  
 Achieved       Achieved in Part       Evaluated Only
14. Preservation or restoration of vegetation that is indigenous to Albuquerque is preferred.  
 Achieved       Achieved in Part       Evaluated Only

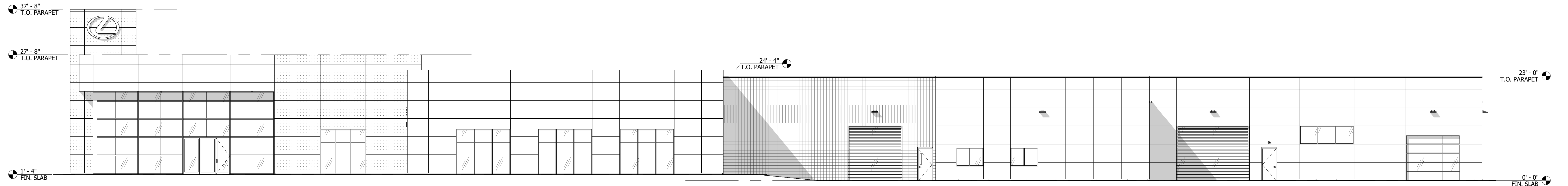




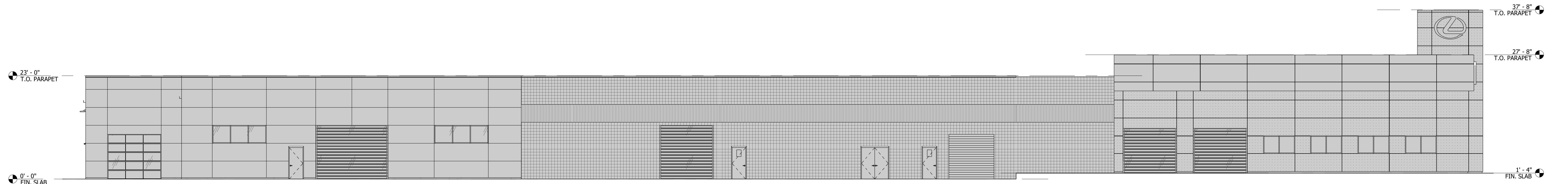




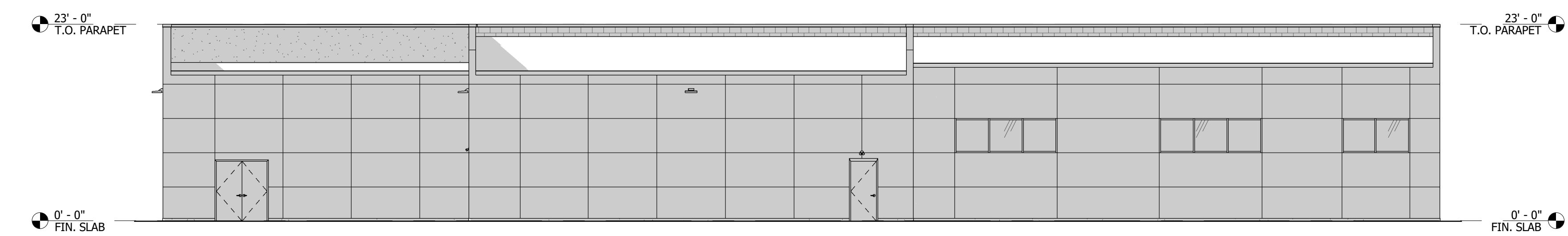
① EAST ELEVATION 28% SHADED  
1" = 10'-0"



② NORTH ELEVATION 10% SHADED  
1" = 10'-0"

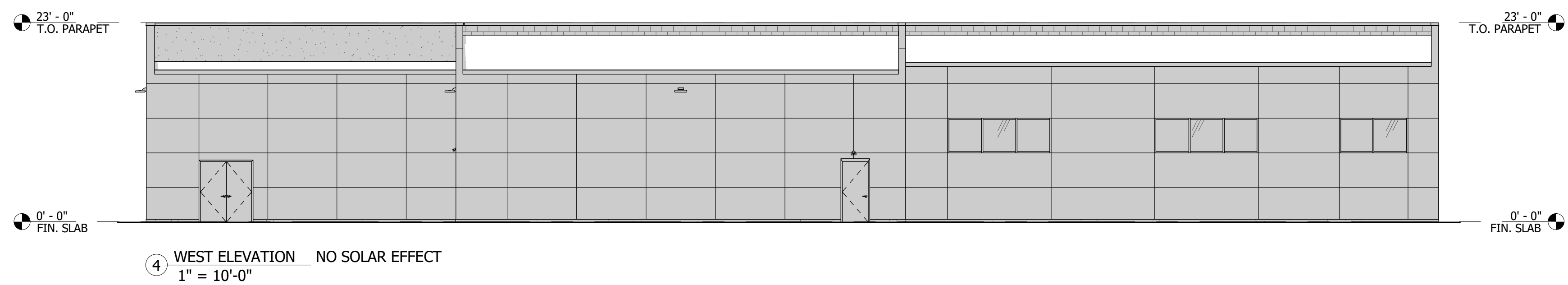
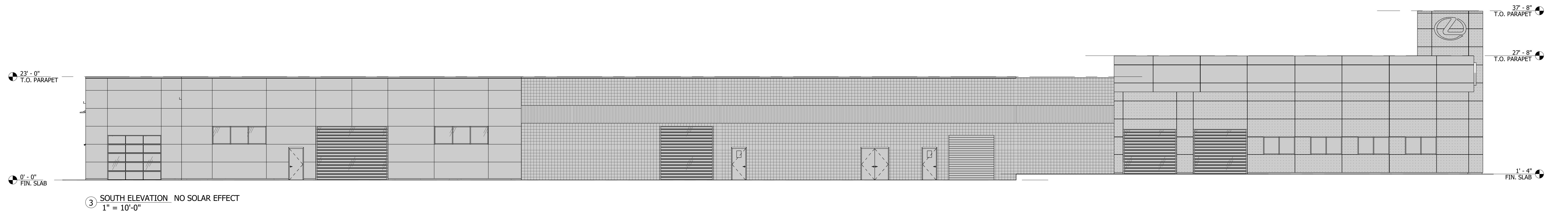
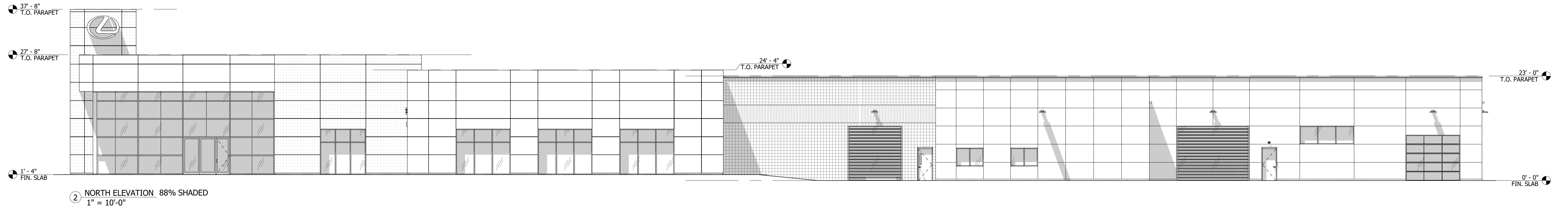


③ SOUTH ELEVATION NO SOLAR EFFECT  
1" = 10'-0"

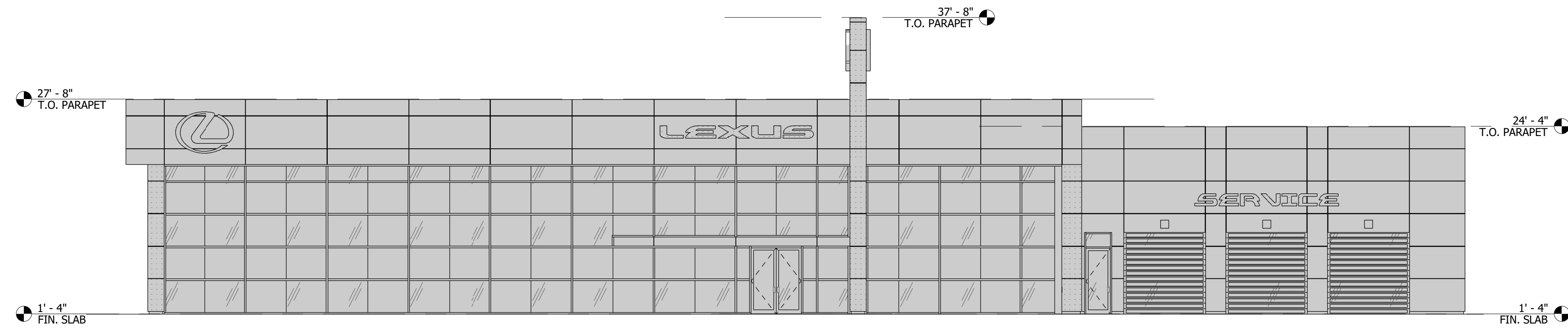


④ WEST ELEVATION NO SOLAR EFFECT  
1" = 10'-0"

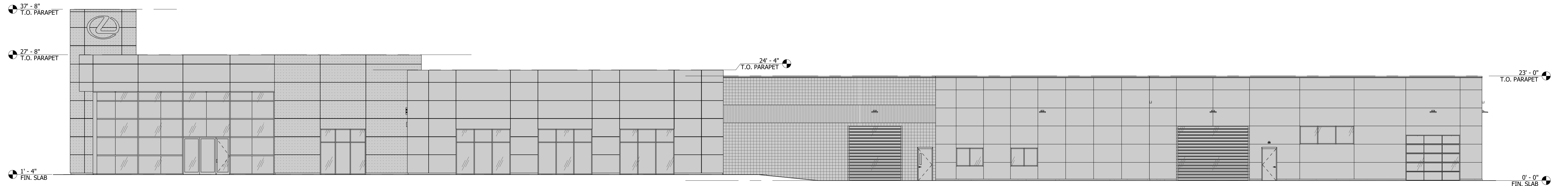




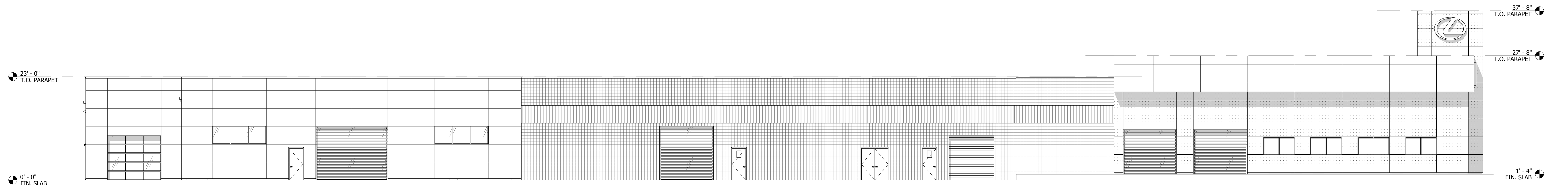




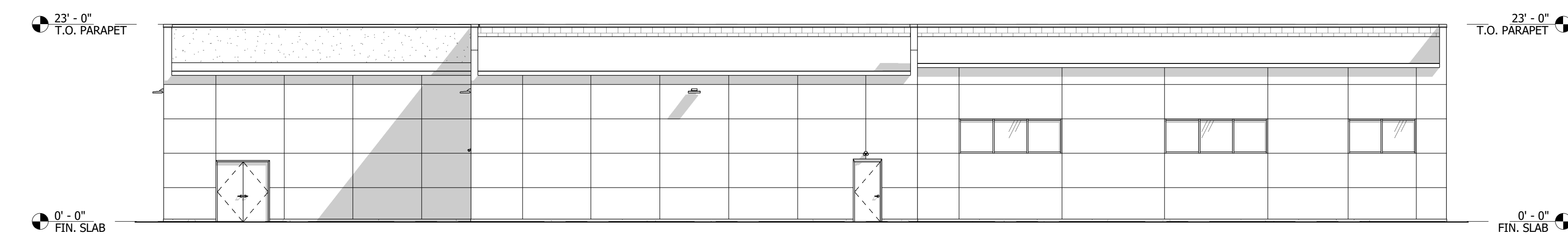
① EAST ELEVATION NO SOLAR EFFECT  
1" = 10'-0"



② NORTH ELEVATION NO SOLAR EFFECT  
1" = 10'-0"

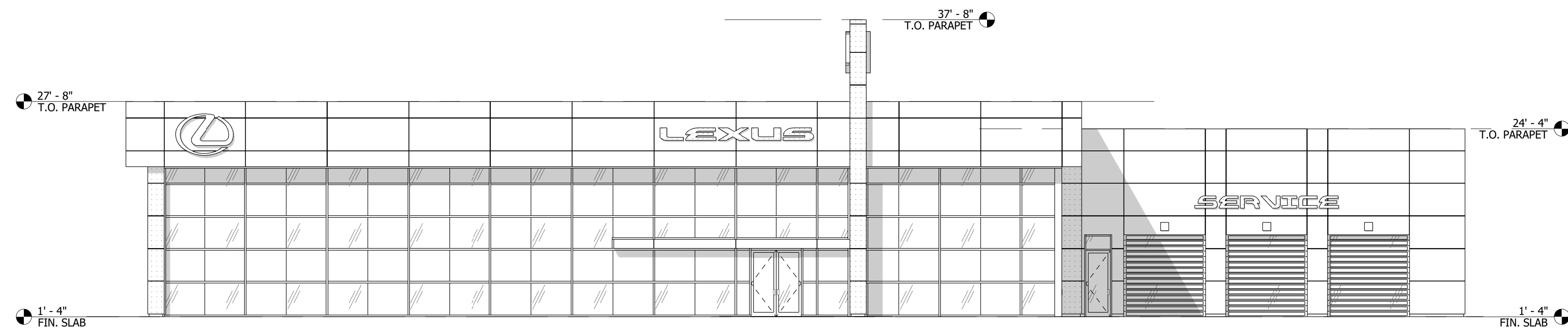


③ SOUTH ELEVATION 15% SHADED  
1" = 10'-0"

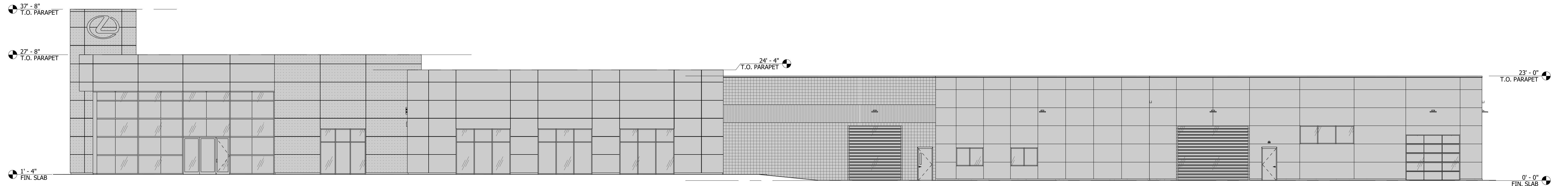


④ WEST ELEVATION 16% SHADED  
1" = 10'-0"

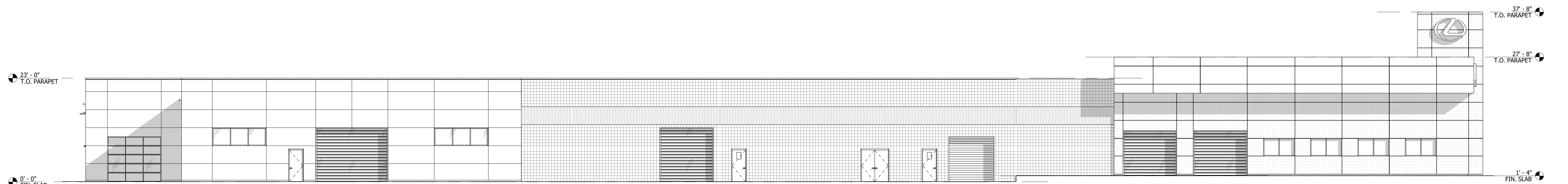




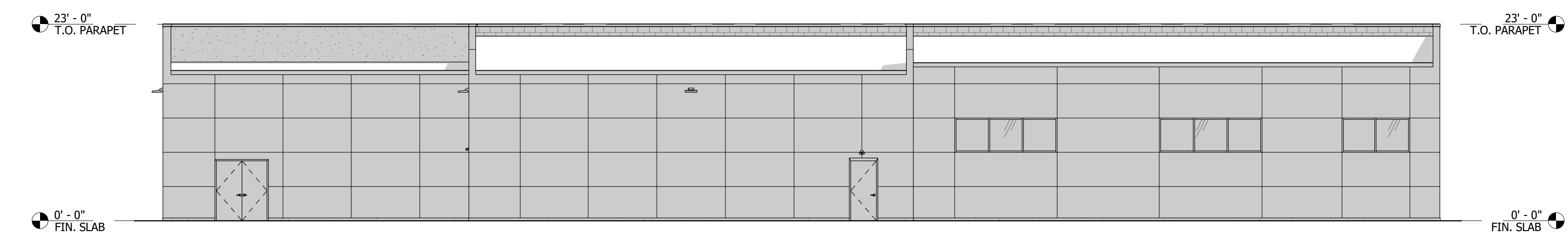
① EAST ELEVATION 18% SHADED  
1" = 10'-0"



② NORTH ELEVATION NO SOLAR EFFECT  
1" = 10'-0"



③ SOUTH ELEVATION 41% SHADED  
1" = 10'-0"



④ WEST ELEVATION NO SOLAR EFFECT  
1" = 10'-0"



LEXUS OF ALBUQUERQUE

SUPPORTIVE DOCUMENTATION

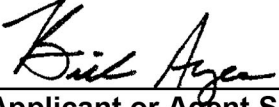


# SITE PLAN CHECKLIST

Project #: \_\_\_\_\_ Application #: \_\_\_\_\_

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.**

 3/22/23  
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

**The electronic format must be organized in the above manner.**

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

**NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.**

**NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.**

## SHEET #1 - SITE PLAN

### A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100'



# SITE PLAN CHECKLIST

- X 3. Bar scale
- X 4. North arrow
- X 5. Legend
- X 6. Scaled vicinity map
- X 7. Property lines (clearly identify)
- X 8. Existing and proposed easements (identify each)
- X 9. Phases of development, if applicable

## B. Proposed Development

### 1. Structural

- X A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- X B. Square footage of each structure
- X C. Proposed use of each structure
- X D. Signs (freestanding) and other improvements
- X E. Walls, fences, and screening: indicate height, length, color and materials
- X F. Dimensions of all principal site elements or typical dimensions
- X G. Loading facilities
- X H. Site lighting (indicate height & fixture type)
- X I. Indicate structures within 20 feet of site
- N/A. Elevation drawing of refuse container and enclosure, if applicable.
- X K. Existing zoning/land use of all abutting properties

### 2. Parking, Loading and Internal Circulation

- X A. Parking layout with spaces numbered per aisle and totaled.
  - X 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
  - X 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
  - N/A 3. On street parking spaces
- X B. Bicycle parking & facilities
  - X 1. Bicycle racks – location and detail
  - N/A. Other bicycle facilities, if applicable
- X C. Vehicular Circulation (Refer to DPM and IDO)
  - X 1. Ingress and egress locations, including width and curve radii dimensions
  - X 2. Drive aisle locations, including width and curve radii dimensions
  - X 3. End aisle locations, including width and curve radii dimensions
  - X 4. Location & orientation of refuse enclosure, with dimensions
  - X 5. Loading, service area, and refuse service locations and dimensions
- X D. Pedestrian Circulation
  - X 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)



## SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
  
- E. Off-Street Loading
  - 1. Location and dimensions of all off-street loading areas
  
- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
  - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
  - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
  - 3. Striping and Sign details for one-way drive through facilities

### 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 3. Location of traffic signs and signals related to the functioning of the proposal
  - 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
  - 6. Location of street lights
  - 7. Show and dimension clear sight triangle at each site access point
  - 8. Show location of all existing driveways fronting and near the subject site.
  
- B. Identify Alternate transportation facilities within site or adjacent to site
  - 1. Bikeways and bike-related facilities
  - 2. Pedestrian trails and linkages
  - 3. Transit facilities, including routes, bus bays and shelters existing or required

### 4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use



## SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

### SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

#### A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

#### B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.



# SITE PLAN CHECKLIST

## SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

## SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

### A. General Information (See Building Plans)

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
  - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

### B. Building Mounted Signage (See Building Plans)

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO



**LETTER OF AUTHORIZATION**

To: City of Albuquerque & Environmental Planning Commission

Date: July 28, 2022

Project #: 2022-183

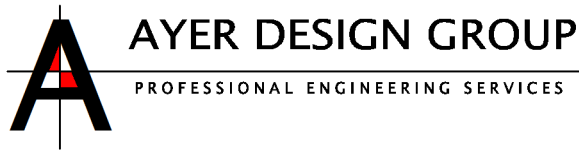
I, Christine Scott, an officer of Group 1 Realty, Inc., hereby authorize Birkie Ayer, Jr. of Ayer Design Group, LLC to act on my behalf in all matters relating to this application for the Environmental Planning Commission submittal and site permitting for my property located at 4821 Pan American Freeway NE, Albuquerque, NM 87109 and known as Lexus of Albuquerque.

Property Owner(s) (Applicant) Printed Name: Group 1 Realty, Inc

Property Owner(s) (Applicant) Signature:  July 28, 2022  
Christine Scott, Assistant Secretary Date

Mailing Address: 800 Gessner, Suite 500, Houston, TX 77024





August 3, 2022

Environmental Planning Commission  
City of Albuquerque  
600 Second NW  
Albuquerque, NM 87102

**Reference: EPC Site Plan Amendment (Major)  
Lexus of Albuquerque  
4821 Pan American Freeway  
PRT# 22-183, Amending Z-99-90-1**

Ladies and Gentlemen:

Please accept this letter request and attached EPC Site Plan Application to allow a renovation and expansion of the existing Lexus of Albuquerque automotive dealership at 4821 Pan American Freeway.

**BACKGROUND:**

Group 1 Automotive, Inc. is an international, Fortune 300 automotive retailer based in Houston, Texas and operates Lexus of Albuquerque. An affiliated business, Group 1 Realty, Inc. acquired the property at 4821 Pan American Freeway in 2019. The property is the subject of case number Z-99-90-1, an EPC Site Plan for the original construction of the dealership, which was later administratively amended in 2003 for two small building additions to the rear of the service shop under File No. AA-03AA000406, 1000219.

Group 1 proposes to renovate and construct a large addition to the existing building consisting of approximately 15,536 sf. The addition will provide more service bays, an enlarged showroom, improved customer lounge and reception areas and other operational improvements in order to meet the high standards of the luxury brand Lexus and Group 1. City of Albuquerque planning staff have determined that this is a major site plan amendment.

**CRITERIA FOR EPC SITE PLAN APPROVAL 14-16-6(J)(3):**

- a) The Site Plan is consistent with the ABC Comp Plan, as amended.

**The project is consistent with the comprehensive plan and is also consistent with other commercial uses in the surrounding area.**

- b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.

**The property is zoned NR-LM (Non-Residential Light Manufacturing and is not subject to any special use or planned development zoning. It does have an existing EPC Site Plan approval, which we are amending with this application. The proposed plan is consistent with the previously approved EPC Site Plan.**

- c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

**The proposed plan complies or will comply with all applicable provisions of the IDO, the DPM and other adopted City regulations and prior approvals.**

- d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed



development, and any burdens on those systems have been mitigated to the maximum extent practicable.

**The proposed expansion will not burden existing infrastructure. The surrounding street system has adequate capacity. The projected number of peak trips falls below thresholds for a traffic impact analysis, and a deceleration/turn lane already exists for our existing driveway. The existing building already has a fire sprinkler system, and the water supply is sufficient for our expansion. Because we are replacing pavement area with building area, the expansion does not increase storm runoff from the site from existing levels. No sidewalk network exists on the interstate frontage road, and we are awaiting NMDOT decision on whether sidewalk will be required for their right-of-way.**

- e) The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

**Group 1 does not operate public address (PA) systems on its dealerships. Operating hours are 7 am to 6 pm, Monday through Friday, 8am to 5pm Saturday and the dealership is closed on Sundays. Vehicle repairs are conducted exclusively indoors. The dealership does not produce odors or smoke or loud noises. Traffic in and out is standard for a commercial area. Landscaping and cut-off style lighting will enhance the beauty and safety of the project.**

- f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

**The project is not within an approved Master Development Plan and adheres to the requirements of zoning classification NR-LM.**

- g) If a cumulative impact analysis is required in the Railroad and Spur Small Area pursuant to Subsections 14-16-5-2(F) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

**The project is not located within the Railroad and Spur Small Area.**

Thank you for your assistance with this project. If you have comments or questions or need any additional information, please contact me.

Respectfully Submitted,



Birk Ayer, P.E.





**Birkie Ayer**

---

**From:** Carmona, Dalaina L. <dlcarmona@cabq.gov>  
**Sent:** Thursday, July 21, 2022 3:26 PM  
**To:** 'birk@ayerdesigngroup.com'  
**Subject:** 4821 Pan American Freeway Neighborhood Meeting Inquiry Sheet Submission  
**Attachments:** IDOZoneAtlasPage\_F-17-Z.pdf

**PLEASE NOTE:**

The City Council recently voted to update the Neighborhood Association Recognition Ordinance (NARO) and the Office of Neighborhood Coordination (ONC) is working to ensure all neighborhood associations and neighborhood coalitions are in compliance with the updated ordinance. There will likely be many updates and changes to association and coalition contact information over the next several months. With that in mind, please check with the ONC every two (2) weeks to ensure that the contact information you have for associations and coalitions is up to date.

Dear Applicant:

Please note that there are **NO** neighborhood associations to notify.

Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to attach a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

Thank you.



*Dalaina L. Carmona*

Senior Administrative Assistant  
Office of Neighborhood Coordination  
Council Services Department  
1 Civic Plaza NW, Suite 9087, 9<sup>th</sup> Floor  
Albuquerque, NM 87102  
505-768-3334



[dlcarmona@cabq.gov](mailto:dlcarmona@cabq.gov) or [ONC@cabq.gov](mailto:ONC@cabq.gov)

Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

**From:** webmaster=cabq.gov@mailgun.org <webmaster=cabq.gov@mailgun.org> **On Behalf Of** webmaster@cabq.gov

**Sent:** Thursday, July 21, 2022 12:15 PM

**To:** Office of Neighborhood Coordination <birk@ayerdesigngroup.com>

**Cc:** Office of Neighborhood Coordination <onc@cabq.gov>

**Subject:** Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Birkie Ayer

Telephone Number

8035177710

Email Address

[birk@ayerdesigngroup.com](mailto:birk@ayerdesigngroup.com)

Company Name

Ayer Design Group

Company Address

215 Johnston St

City

Rock Hill

State

SC

ZIP

29730

Legal description of the subject site for this project:

Tr C of Plat of Tracts A, B & C LLD Subdivision Cont 3.8914 AC

Physical address of subject site:

4821 Pan American Freeway

Subject site cross streets:

Office Blvd. , Chappell Drive, Pan American FWY

Other subject site identifiers:

Lexus of ABQ

This site is located on the following zone atlas page:

F17

Captcha

x