

AGENDA ITEM: DFT Project Number: PR-2023-008423

Application Number: SI-2023-00606 Project Name: 4821 Pan American West – Lexus

CODE ENFORCEMENT COMMENTS & APPLICANT RESPONSES

Comments from: Jeff Palmer, Code Enforcement Supervisor DATE: 4/5/23

COMMENT RESPONSES IN BLUE BY AYER DESIGN GROUP, BIRKIE AYER, JR., P.E. APRIL 13, 2023

1. Property is located in the NR-LM zone district, and must meet all Dimensional Standards as per IDO 5- 1(E), Table 5-1-3.

RESPONSE: Plan complies with Dimensional Standards as per IDO 5-1(E), Table 5-1-3.

2. If there is an existing approved Site Plan, any changes must be submitted as an Administrative Amendment to that existing plan.

RESPONSE: Based on discussion with staff during zoom meeting on 4-5-23, we understand that the DFT Site Plan Review underway will be the process to update previously approved site plan and that an Administrative Amendment will not be required.

3. Motorcycle parking requires 3 spaces for 52 required off-street, per Table 5-5-4: two provided on plan.

RESPONSE: Plan has been revised to provide 4 motorcycle parking spaces, which exceeds the required 3.

4. Bicycle spaces require 5 spaces for 52 required off-street spaces, per Table 5-5-5: three provided on plan.

RESPONSE: Plan has been revised to provide 6 bicycle spaces, which exceeds the required 5.

5. No further comments at this time.

RESPONSE: Thank you.

AGENDA ITEM: DFT Project Number: PR-2023-008423

Application Number: SI-2023-00606 Project Name: 4821 Pan American West – Lexus

HYDROLOGY SECTION ENGINEERING COMMENTS & APPLICANT RESPONSES

Comments from: Renee Brissette, P.E., Senior Engineer HEARING DATE: 4/5/23

COMMENT RESPONSES IN BLUE BY AYER DESIGN GROUP, BIRKIE AYER, JR., P.E. APRIL 13, 2023

1. Hydrology has an approved Grading & Drainage Plan (F17D078) with engineer's stamp 12/16/2022.

RESPONSE: Acknowledged, thanks.

2. Hydrology has no objection to the Site Plan for Building Permit

RESPONSE: Thank you.

AGENDA ITEM: DFT Project Number: PR-2023-008423

Application Number: SI-2023-00606 Project Name: 4821 Pan American West – Lexus

PARKS AND RECREATION DEPARTMENT COMMENTS & APPLICANT RESPONSES

Comments from: Parks and Rec

HEARING DATE: 4/5/23

COMMENT RESPONSES IN BLUE BY AYER DESIGN GROUP, BIRKIE AYER, JR., P.E. APRIL 13,2023

1. Street Trees are required every 25' on center. Please clarify whether existing trees meet this requirement on the landscape plan.

RESPONSE: We've revised the landscape plan with dimensions and slightly adjusted the layout of proposed trees to ensure we meet the 25' required spacing.

PLANNING COMMENTS & APPLICANT RESPONSES

HEARING DATE: 4/5/23

AGENDA ITEM: DFT Project Number: PR-2023-008423

Application Number: SI-2023-00606 Project Name: 4821 Pan American West – Lexus

Comments from: Planning Dept. Robert Webb/Jolene Wolfley DATE: 4/4/23

Request: Major Site Plan Amendment

COMMENT RESPONSES IN BLUE BY AYER DESIGN GROUP, BIRKIE AYER, JR., P.E. APRIL 13, 2023

1. This request is a major amendment of the site plan approval from 2000. Case history # 1000219. When a major amendment occurs, the site is subject to the requirements of IDO in place at the time the application is deemed complete.
 - a. One specific provision relates to updated site conditions for landscaping, screening and buffering:
 - b. 5-6(B)(1)(d) Renovation or redevelopment of an existing building containing multi-family, mixed-use, or non-residential development, including but not limited to reconstruction after fire, flood, or other damage, where the value of the renovation or redevelopment, indicated by building permits, is \$500,000 or more.
 - c. standards of NR-LM and the Use Specific Standards of Light Vehicle Sales.

RESPONSE: Acknowledged.

2. Specific site plan sheets are missing from the submittal: a utility plan, a landscape plan, and building elevations (color is preferred). The submittal checklist asks that the Site Plan and related drawings include a Site Plan Key of the sheets submitted.

RESPONSE: A complete set of proposed plans was submitted but not reviewed by Planning Staff including a utility plan, a landscape plan and building elevations. A key of sheets was included on the cover sheet, the first sheet of proposed plans.

3. A Signature Block for DFT staff members must be added to the Site Plan. The signature block can be obtained at the following link: [https://documents.cabq.gov/planning/development-facilitation-team/Site Plan Administrative DFT Signature Block.pdf](https://documents.cabq.gov/planning/development-facilitation-team/Site%20Plan%20Administrative%20DFT%20Signature%20Block.pdf)

RESPONSE: The correct signature block was included on both the Site Plan and the Cover sheet of the proposed plans.

4. Provide a justification letter to outline how you are meeting the IDO requirements, specifically IDO 6-5(G)(3). Include clarification that proposal is meeting the IDO standards

RESPONSE: A justification letter was included in the original submittal clarifying how the proposal meets the IDO Standards.

5. On the Site Plan sheets and elevations, clearly note areas of building additions and new landscaping with clarity about existing conditions.

RESPONSE: We have added a line on the site plan indicating the extent of the existing building such that staff can tell what constitutes the new addition. The landscape plan submitted clearly indicates existing vs. proposed plantings.

6. Sheet C02.0 should note NR-LM zoning on the subject site.

Note #3 in Site Design Data table on the Site Plan submitted indicates NR-LM zoning for the site. As requested by staff during our zoom meeting, we have added a redundant zoning label within the site boundary.

7. Is the parking area that was formerly a restaurant being added to this site plan? It appears so as the provided parking is listed as 162 spaces. If not, was it previously approved as a site plan for a parking lot and please provide that site plan?

RESPONSE: The parking area that was formerly a restaurant is not being added to this site plan, and the parking counts as submitted did not include the parking spaces on this separate parcel. Group 1 purchased these properties AFTER the redevelopment of the former restaurant parcel as a parking lot and was not involved in the permitting. However, we found a project number on an old plan provided by the former Owner, F17D102 & F17E102. This leads us to believe the parking lot was legally and properly developed through City of Albuquerque processes. We are not proposing any improvements to this parcel, although we will be adding sidewalk in front of this parcel in the NMDOT right-of-way.

8. Add the project and application numbers are added to plan sheets.

RESPONSE: Project and application numbers have been added to signature block on Cover Sheet and Site Plan.

9. All Plan sheets must be sealed and signed by the relevant design professional licensed in the State of New Mexico.

RESPONSE: All plan sheets that were originally submitted were sealed by relevant design professionals licensed in the State of New Mexico. Revised plans are also properly sealed.

10. Landscape Plans must be sealed and signed by a Landscape Architect licensed in the State of New Mexico.

RESPONSE: The submitted landscape plans were, in fact, sealed by a Landscape Architect licensed in the State of New Mexico as are the revised plans.

11. 5-6 Landscaping, Buffering, and Screening standards and requirements.
 - a. Plans will need to demonstrate compliance of landscaping requirements.
 - b. Provide calculations & detail. Please note that a minimum of 15 percent of the net lot area shall contain landscaping.
 - c. *Be aware of several sections related to new development -
 - d. 5-6-C General Landscaping, 5-6-D Required Street Trees, 5-6-F Parking Lot Landscaping, and 5-6-G Equipment/Support areas.

RESPONSE: We worked hard on our original submittal to meet these requirements and believe the plans submitted are in compliance. The landscape plan has not been revised except for a minor adjustment in the street tree spacing.

12. Check for and demonstrate compliance with section 7 of the DPM, Table 7.2.29, regarding Sidewalk width requirements and its landscape buffer.
 - a. This parcel is not in a Center nor a Special Corridor. The parcel is in an Area of Change and is surrounded by parcels also in an Area of Change.
 - b. Pan American West Fwy:
 - i. Major Collector requires 6ft Sidewalk and 5ft-6ft Landscape Buffer.
 - c. Long Range Trail Plan shows no Bikeway or Trail in this location.
 - d. *Verification per Transportation and Parks and Rec.

RESPONSE: We had shown the sidewalk with a 5 foot width, but since have revised the sidewalk to be 6 feet wide. The landscape buffer requirement is met. Transportation approved our plan, and we provided their approval in our initial submission. Parks and Rec. did not comment on bikeways or trail. Their only comment was to verify street tree spacing.

13. *Clarify existing easements noted in orange for AGIS map.

RESPONSE: The referenced easement was labeled on the existing conditions plan (survey) as a PNM Easement. We've added an additional label on the site plan to make it easier for staff to identify. This easement is not impacted by our proposed development.

14. A Signature Block for DFT staff members must be added to the Site Plan. The signature block can be obtained at the following link: [https://documents.cabq.gov/planning/development-facilitation-team/Site Plan Administrative DFT Signature Block.pdf](https://documents.cabq.gov/planning/development-facilitation-team/Site%20Plan%20Administrative%20DFT%20Signature%20Block.pdf)

RESPONSE: The requested signature block was already present on the Site Plan and remains there as well as the cover sheet as discussed during our Zoom meeting.

15. Please reference the following development standards from the IDO.
<https://www.caba.aov/planning/codes-policies-regulations/integrated-development-ordinance-l/integrated-development-ordinance> *Subject to change pending formal submittal or change in development type/use. Changes to site may require amendments to previous approvals.

RESPONSE: We are aware of no required amendments to previous approvals.

16. 4-2 Allowed Uses for NR-LM, table 4-2-1.
 - a. *Clarify Uses that will be Light Vehicle Sales compliance with Use Standards 4-3(D)(20) for Light Vehicle Sales.

RESPONSE: We comply.

- b. Please note that outdoor vehicle display is prohibited in the front 5- foot setback area. (See 20(d)).

RESPONSE: The parking stalls along the road frontage will be used for outdoor vehicle display and those stalls are outside of the front setback. There is an existing circular concrete display pad that we do not propose to remove. It is also outside of the front setback.

- c. Clarify uses that will be Light Vehicle Repair per 4-3(D)(19) and that those activities will be conducted within fully enclosed portions of buildings.

RESPONSE: The area of Light Vehicle Repair Use is listed on the site plan. The shop is the back part of the building, and the front part of the building contains the showroom and sales functions. All repair activities will be conducted within the fully enclosed portion of the building. We've added a note to the site plan to memorialize this.

- 17. 5-1 Dimension Standards for NR-LM. 5-1-G Exceptions and Encroachments. Required setbacks are shown below. Please show setbacks on plan sheet.
 - a. *Minimum 5 ft front setback.
 - b. * Side setback is 0 feet.
 - c. *Rear setback is 0 feet.

RESPONSE: These required setbacks were shown on the Site Plan submitted.

- 18. 5-3 Access & Connectivity requirements. Including, but not limited to -
 - a. 5-3(C) General Access and Circulation,
 - b. 5-3(D) Pedestrian Circulation
 - c. 5-3(E) Subdivision Access and Circulation.

RESPONSE: The Transportation submittal and approval was included in our first submission and it is our understanding that these requirements were included with that review.

- 19. 5-5 Parking & Loading requirements, Table 5-5-1

- a. Plan sheets show 162 spaces are provided exceeding the required 52 spaces. If the parking area in the southeast corner of the site is not brought into the site plan, then the subject site needs to show it has 52 spaces or that a shared parking agreement is in place and recorded for the that southeast parking lot.

Light Vehicle Sales	15,635 GFA	2 spaces/ 1000 GFA	32
Light Vehicle Repair	19,400 GFA	1 space/1000 GFA	20
Required spaces			52 spaces

RESPONSE: The former restaurant parcel is not being brought into the site plan. The 180 parking spaces listed on the site plan do not include the 102 parking stalls on that separate parcel, Tract "B". We do not know if a shared parking agreement exists. Since our client owns both parcels, we don't think one exists, but we are researching this. If a shared parking agreement is not currently in place, we will produce and record one.

- 20. 5-7 Walls/Fences, table 5-7-1. * Development requires separate permitting.

RESPONSE: Acknowledged.

21. 5-8 for Outdoor Lighting requirements.

RESPONSE: Our electrical engineer prepared a photometric plan which complies with the ordinance and was included in our initial submittal.

22. 5-11 Building and facade design requirements.

- a. *Follow any site design standards from the original site plan. (The IDO does not have design standards for NR-LM at this location.)
- b. Demonstrate how plans are meeting these standards.

RESPONSE: The original site plan did not include building or façade design requirements and the IDO does not have design standards. However, the building will be attractive and does meet the requirements of Lexus, which is a luxury car brand with a high standard.

23. 5-12 for Signage requirements and restrictions.

- a. *Follow any site designed standards from the original site plan.

RESPONSE: Group 1 Automotive utilizes a national sign vendor who will make any signage permit applications separate from our site plan, but we acknowledge that existing design standards, if any, from the original site plan remain applicable.

24. Section 6-1, table 6-1-1 for public notice requirements.

RESPONSE: We've met the public notice requirements and included evidence of same in our original submission. We were informed that there were no neighborhood associations or property owner associations within the requisite distance of our project.

25. 7-1 Definitions for development, dwelling and Uses.

RESPONSE: It seems like this was just extra copy and paste text, but we acknowledge these definitions.

AGENDA ITEM: DFT Project Number: PR-2023-008423

Application Number: SI-2023-00606 Project Name: 4821 Pan American West – Lexus

TRANSPORTATION DEVELOPMENT ENGINEERING COMMENTS & APPLICANT RESPONSES

Comments from: Ernest Armijo, P.E., Transportation Development HEARING DATE: 4/5/23

COMMENT RESPONSES IN BLUE BY AYER DESIGN GROUP, BIRKIE AYER, JR., P.E. APRIL 13, 2023

1. Transportation has an approved TCL dated 3/3/2023. No Objection.

RESPONSE: Acknowledged, thanks.

Albuquerque Bernalillo County Water Utility Authority

Development Facilitation Team (DFT) - Review Comments

Reviewer: David G. Gutierrez, P.E. | Phone: 505-289-3381 | dggutierrez@abcwua.org

DRB Project No: PR-2023-008423 Date: 04/05/2023 Agenda Item: #4 Zone Atlas Page: F-17 Legal

Description: Lot C LLD Location: 4821 Pan American Frwy NE

Application For: SI-2023-00606-SITE PLAN ADMINISTRATIVE (DFT)

1. Availability Statement 220818 has been issued and provides conditions for service.

RESPONSE: Acknowledged.

- a. Routine connection is available to the site however it appears no additional new connections are proposed.

RESPONSE: We propose to make a new water connection for the purpose of upsizing from the existing 2-inch to a proposed 3-inch meter and service line as shown on the Utility Plan.

2. No objection to the proposed site plan.

RESPONSE: Thank you.

Comment: (Provide written response explaining how comments were addressed)

Responses by Birkie Ayer, Jr., P.E., April 13, 2023



Development Facilitation Team (DFT) – Review Comments

Reviewer: David G. Gutierrez, P.E. | Phone: 505-289-3381 | dggutierrez@abcwua.org

ADG COMMENT RESPONSES IN (RED)

DRB Project No: PR-2023-008423 Date: 04/25/2023 Agenda Item: #4 Zone Atlas Page: F-17

Legal Description: Lot C LLD

Location: 4821 Pan American Frwy NE

Application For: SI-2023-00606-SITE PLAN ADMINISTRATIVE (DFT)

1. Availability Statement 220818 has been issued and provides conditions for service.
2. Utility Plan:
 - a. Please add the following notes to the utility plan
 1. Coordination with Water Authority Cross Connection Section will be required to ensure proper backflow containment is in place prior to release of meter for the site. Contact the Cross Connection Section at 505-289-3454.
NOTE ADDED TO UTILITY PLAN, SHEET C05.0.
 2. Coordination with the Water Authority Pre-Treatment Engineer is required to ensure the site complies with Water Authority Sewer Use Ordinance. Contact the Pre-Treatment Engineer at 505-289-3439.
NOTE ADDED TO UTILITY PLAN, SHEET C05.0.
 - b. Please note on the utility plan that new connection to public water and public sanitary sewer will be constructed by either a connection permit or work order as appropriate.
NOTE ADDED TO UTILITY PLAN, SHEET C05.0.

Comment: (Provide written response explaining how comments were addressed)

UTILITY DEVELOPMENT

DEVELOPMENT FACILITATIVE TEAM (DFT)

Code Enforcement Comments

Disclaimer: Comments provided are based upon information received from applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning staff.

Jeff Palmer-Code Enforcement Supervisor
Planning Department
jppalmer@cabq.gov

DATE: 4/19/2023

AGENDA ITEM NO: 7

PROJECT NUMBER:

PR-2023-008423 (Comments due – April 25th but are appreciated ASAP)
SI-2023-00606 – SITE PLAN DFT (2ND SUBMITTAL)

REQUEST: RENOVATION/ADDITION OF EXISTING LEXUS OF ALBUQUERQUE DEALERSHIP. PROJECT TO PROVIDE MORE SERVICE BAYS, ENLARGED SHOWROOM, CUSTOMER LOUNGE, RECEPTION AREAS, AND OPERATIONAL IMPROVEMENTS.

LOCATION: 4821 PAN AMERICAN WEST FWY NE

ADG COMMENT RESPONSES IN (RED)

COMMENTS:

1. Parking along Pan American must be limited to display vehicles only. No spaces within 30 ft of the front lot line can be used or counted towards vehicular parking spaces for customers, unless you install 3 ft tall wall or vegetative screen along the front lot line. You should note and/or mark on the Site Plan that the spaces within 30 ft of the lot line are for vehicle sales display only.

NOTE ADDED TO SITE PLAN, SHEET C02.0.

2. Please indicate on site plan which parking spaces are to be utilized/counted towards minimum required for uses on lot. Others may be used for display or additional parking, as needed, but we need to be sure the minimum required are reserved for off-street parking use, as per IDO 5-5(C)(1)(f).

IDO 14-16-5-5(C)(1)(f) No space used for shopping corrals or for other uses that make the space unavailable for vehicle parking may be used to satisfy minimum off-street parking requirements.

ALL REQUIRED PARKING SPACES INCLUDE “R” WITH NUMBER SHOWN.

52 REQUIRED PARKING SPACES PER CODE, AND 55 SHOWN AS REQUIRED ON SITE.

SEE REVISED SITE PLAN, SHEET C02.0.

3. Code Enforcement has no further comments – all other prior notes have been addressed. Thank you.

NOTED



DEVELOPMENT FACILITATION TEAM

Planning Comments

HEARING DATE: 4/5/23 -- **AGENDA ITEM:** DFT

Project Number: PR-2023-008423

Application Number: SI-2023-00606

Project Name: 4821 Pan American West - Lexus

Request:

Major Site Plan Amendment

**These are preliminary Planning comments. Additional reviews and/or revised comments may be needed for any modifications and/or supplemental submittals.*

COMMENTS:

Comments highlighted in yellow need to be addressed.

Comments with ~~strikeout~~ have been addressed.

ADG COMMENT RESPONSES SHOWN IN (RED)

- This request is a major amendment of the site plan approval from 2000. Case history # 1000219.
When a major amendment occurs, the site is subject to the requirements of IDO in place at the time the application is deemed complete.

One specific provision relates to updated site conditions for landscaping, screening and buffering:

5-6(B)(1)(d) Renovation or redevelopment of an existing building containing multi-family, mixed-use, or non-residential development, including but not limited to reconstruction after fire, flood, or other damage, where the value of the renovation or redevelopment, indicated by building permits, is \$500,000 or more.

- ~~▪ Specific site plan sheets are missing from the submittal: a utility plan, a landscape plan, and building elevations (color is preferred). The submittal checklist asks that the Site Plan and related drawings include a Site Plan Key of the sheets submitted.~~
- A Signature Block for DFT staff members must be added to the Site Plan. The signature block can be obtained at the following link:

**(See additional comments on next page)*

<https://documents.cabq.gov/planning/development-facilitation-team/Site Plan Administrative DFT Signature Block.pdf>

- ~~Provide a justification letter to outline how you are meeting the IDO requirements, specifically IDO 6-5(G)(3). Include clarification that proposal is meeting the IDO standards of NR-LM and the Use Specific Standards of Light Vehicle Sales.~~
- ~~On the Site Plan sheets and elevations, clearly note areas of building additions and new landscaping with clarity about existing conditions. Sheet C02.0 should note NR-LM zoning on the subject site.~~
- **Updated 4.21.23:** The applicant stated that this parking area is not part of the site plan. Please add a note "NOT A PART" on this so that is clear on the 'Site Plan Sheet' and other sheets not yet noted.

SITE PLAN UPDATED TO INCLUDE "NOT A PART" ON ADJACENT LOT, SHEET C02.0.

~~Is the parking area that was formerly a restaurant being added to this site plan? It appears so as the provided parking is listed as 162 spaces. If not, was it previously approved as a site plan for a parking lot and please provide that site plan?~~

- ~~*Add the project and application numbers are added to plan sheets.
*All Plan sheets must be sealed and signed by the relevant design professional licensed in the State of New Mexico.
*Landscape Plans must be sealed and signed by a Landscape Architect licensed in the State of New Mexico.~~

❖ **5-6 Landscaping, Buffering, and Screening standards and requirements.**

SEE REVISED LANDSCAPE PLAN FOR ADDITIONAL INFORMATION, SHEET C06.0.

***Plans will need to demonstrate compliance of landscaping requirements.**

Provide calculations & detail. Please note that a minimum of 15 percent of the net lot area shall contain landscaping.

***Be aware of several sections related to new development –**

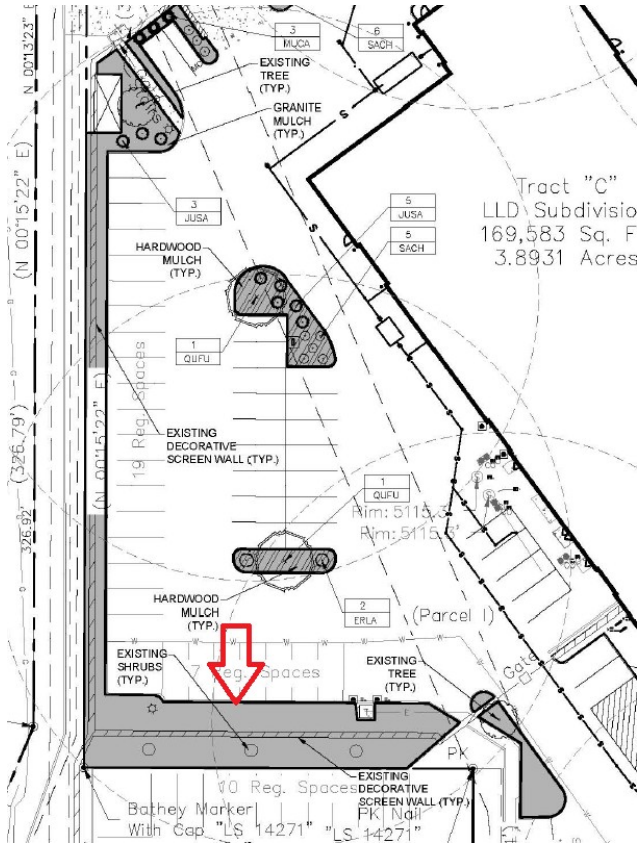
5-6-C General Landscaping, 5-6-D Required Street Trees, 5-6-F Parking Lot Landscaping, and 5-6-G Equipment/Support areas.

Updated 4.20.23

- Replace any dead and or diseased plant materials along the southwest edge of the project.
- Per 14-16-5-6 (C)(5)(e) organic mulch is required as ground cover under trees within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited. **Organic Mulch note is required on the landscaping plan. We recommend the same for the existing trees.**

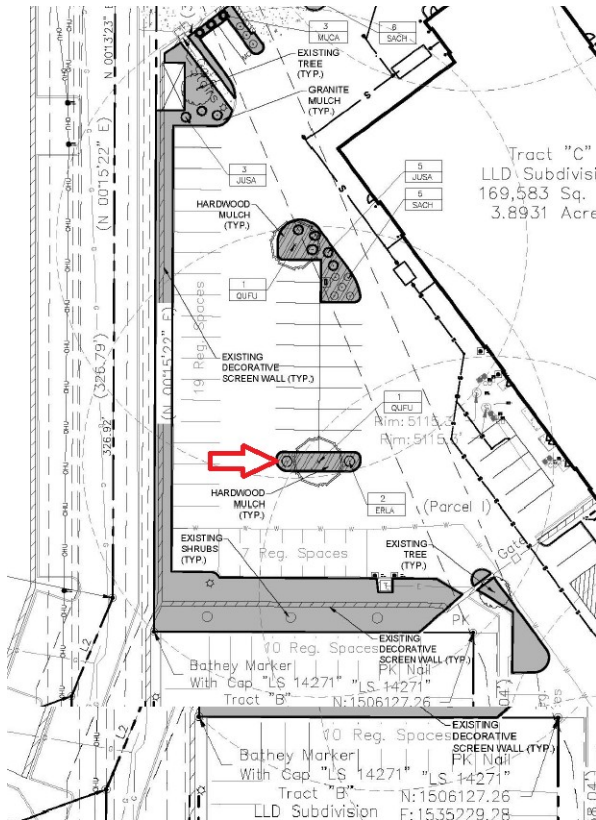
NOTE ADDED TO LANDSCAPE PLAN TO REQUIRE ORGANIC MULCH FOR ALL PROPOSED AND EXISTING TREES, SHEET C06.0.

- **It remains difficult to distinguish between existing and new vegetation. Add existing tree and shrub symbols and numbers to the plant legend. Provide a plan sheet demonstrating the existing vegetative condition.**
AN EXISTING LANDSCAPE PLAN SHEET HAS BEEN ADDED TO SET, SHEET C06.1.
- **Add the plant sizes, coverages and water use for each plant on the plant legend.** In order to comply with 5-6(A)(4) please consider adjusting any plant material if required. You can refer to 'Xeriscaping The Complete How-To Guide' for native/adapted plant palette, sizes and water use.
PLANT SIZES, COVERAGES AND WATER USE ADDED TO PLANT LEGEND, SHEET C06.0.
- **Add vegetative coverage calculations for trees and ground level plants** (14-16-5-6 (C)(2)(c))
VEGETATIVE COVERAGE CALCULATIONS FOR EXISTING AND PROPOSED PLANTS INCLUDED ON REVISED LANDSCAPE PLAN, SHEET C06.0. AND COVERAGE INFORMATION INCLUDED ON NEWLY CREATED EXISTING LANDSCAPE PLAN, SHEET C06.1.
- The required landscaping area is 19,687 sf; 29,481 sf is provided and, therefore, is compliant.
- Along the west property line, there are not enough trees for every 10 parking spaces. The masonry wall appears to limit planting of new trees. However, the masonry wall running east-west interior to the site appears to be able to accommodate trees. 14-16-5-6 (F)(2)(c). **Please identify the trees you could plant in this area.**
PLANS REVISED TO INCLUDE NEW TREES AND SHRUBS IN THIS AREA, SHEET C06.0.



- **Articulate how you comply with 14-16-5-6 (F)(2)(d): The minimum size of tree planters within off-street parking areas shall be 60 square feet per tree.** This requirement may be reduced to 36 square feet if the surface of a parking or vehicle circulation area abutting the tree planter is of a permeable material and, combined with the tree planter area, meets the 60 square foot per tree requirement.

REVISED LANDSCAPE PLAN LABELS TREE PLANTERS, ALL PLANTERS WELL OVER 60 SF., SHEET C06.0.



- If possible, please **provide an irrigation plan that complies with 5-6(C)(14)(b).** **IRRIGATION SYSTEM REQUIREMENT NOTES UPDATED TO ENSURE SYSTEM COMPLIES WITH 5-6(C)(14)(b).**

- **Updated 4.21.23:** Applicant is providing a 6 foot sidewalk along the property frontage. ~~Check for and demonstrate compliance~~ with section 7 of the DPM, Table 7.2.29, regarding Sidewalk width requirements and its landscape buffer. This parcel is not in a Center nor a Special Corridor. The parcel is in an Area of Change and is surrounded by parcels also in an Area of Change.
Pan American West Fwy:
Major Collector requires 6ft Sidewalk and 5ft-6ft Landscape Buffer.
Long Range Trail Plan shows no Bikeway or Trail in this location.
**Verification per Transportation and Parks and Rec.*

- ~~*Clarify existing easements noted in orange for AGIS map.~~



Please reference the following development standards from the IDO.

<https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1/integrated-development-ordinance>

****Subject to change pending formal submittal or change in development type/use.
Changes to site may require amendments to previous approvals.***

- ❖ **4-2 Allowed Uses for NR-LM**, table 4-2-1.
 *Clarify Uses that will be Light Vehicle Sales compliance with Use Standards 4-3(D)(20) for Light Vehicle Repair. Please note that outdoor vehicle display is prohibited in the front 5- foot setback area. (See 20(d).

Clarify uses that will be Light Vehicle Repair per 4-3(D)(19) and that those activities will be conducted within fully enclosed portions of buildings.

- ❖ **5-1 Dimension Standards for NR-LM**. 5-1-G Exceptions and Encroachments.
 *Required setbacks are shown below. Please show setbacks on plan sheet.
 *Minimum 5 ft front setback.
 * Side setback is 0 feet.
 *Rear setback is 0 feet.
- ❖ **5-3 Access & Connectivity requirements**. Including, but not limited to –
 5-3(C) General Access and Circulation, 5-3(D) Pedestrian Circulation, 5-3(E) Subdivision Access and Circulation.
- ❖ 5-5 Parking & Loading requirements, Table 5-5-1
Updated 4.21.23 Parking is compliant.
~~*Plan sheets show 162 spaces are provided exceeding the required 52 spaces. If the parking area in the southeast corner of the site is not brought into the site plan, then the subject site needs to show it has 52 spaces or that a shared parking agreement is in place and recorded for the that southeast parking lot.~~

Light Vehicle Sales	15,635 GFA	2 spaces/ 1000 GFA	32
Light Vehicle Repair	19,400 GFA	1 space/1000 GFA	20
Required spaces			52 spaces
Provided spaces			180 spaces
Bicycle spaces			5 required; 6 provided
Motorcycle spaces			3 required: 4 provided

- ❖ **5-7 Walls/Fences**, table 5-7-1. **Development requires separate permitting.*
- ❖ **5-8 for Outdoor Lighting** requirements.
- ❖ **5-11 Building and façade design requirements**. ~~*Follow any site design standards from~~

~~the original site plan.~~ (The IDO does not have design standards for NR-LM at this location.)

~~Demonstrate how plans are meeting these standards.~~

- ❖ 5-12 for Signage requirements and restrictions. *Follow any site designed standards from the original site plan.
- ❖ **Section 6-1**, table 6-1-1 for **public notice requirements**.
- ❖ **7-1 Definitions** for development, dwelling and Uses.



Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.

FROM: Robert Webb/Jolene Wolfley/Hannah Aulick
Planning Department

DATE: 4/21/23



DEVELOPMENT FACILITATION TEAM

Parks and Recreation Department

PR-2023-008423

SI-2023-00606 – SITE PLAN DFT (2ND SUBMITTAL)

LOCATION: 4821 PAN AMERICAN FWY

ADG COMMENT RESPONSES IN (RED)

Comments:

04-19-2023

Approved, previous comments were addressed.

NOTED

Lexus of Albuquerque

Updated 2023.04.20

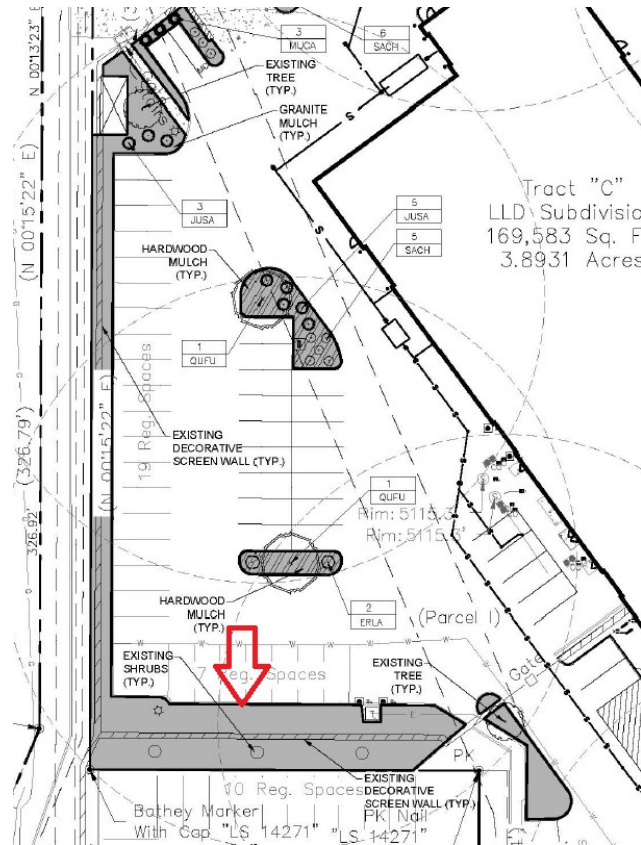
- ✓ Notes/Comments that have been addressed
- Comments that need attention
NOTES IN BLUE ARE THE RESPONSES BY THE APPLICANT
NOTES IN GREEN ARE RESPONSES BY APPLICANT ON 5-9-23

- **Replace any dead and or diseased plant materials along the southwest edge of the project. On the existing landscape plan please specify dead or diseased plant materials (both trees and shrubs) and replacements for them.**

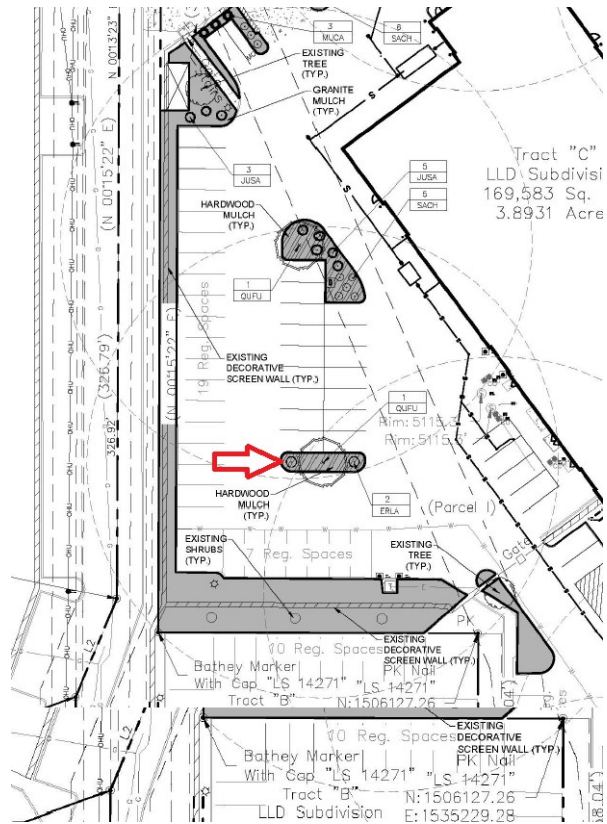
Landscape Plan and Existing Landscape plan revised to add note for contractor to remove and replace any dead or diseased plant material. One existing dead tree removed from plans, and revised landscape plan shows replacement tree is same general location.

- ✓ ~~Organic mulch is required as ground cover under trees within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas weed barrier is prohibited. (14-16-5-6 (C)(5)(e))~~
NOTE ADDED TO LANDSCAPE PLAN TO REQUIRE ORGANIC MULCH FOR ALL PROPOSED AND EXISTING TREES, SHEET C06.0.
- ✓ ~~It remains difficult to distinguish between existing and new vegetation. Add existing tree and shrub symbols and numbers to the plant legend. Provide a plan sheet demonstrating the existing vegetative condition.~~
AN EXISTING LANDSCAPE PLAN SHEET HAS BEEN ADDED TO SET, SHEET C06.1.
- ✓ ~~Add the plant sizes, coverages and water use for each plant on the plant legend. In order to comply with 5-6(A)(4) please consider adjusting any plant material if required. You can refer to Xeriscaping The Complete How To Guide for native/adapted plant palette, sizes and water use.~~
PLANT SIZES, COVERAGES AND WATER USE ADDED TO PLANT LEGEND, SHEET C06.0.
- ✓ ~~add vegetative coverage calculations for trees and ground level plants (14-16-5-6 (C)(2)(c))~~
VEGETATIVE COVERAGE CALCULATIONS FOR EXISTING AND PROPOSED PLANTS INCLUDED ON REVISED LANDSCAPE PLAN, SHEET C06.0. AND COVERAGE INFORMATION INCLUDED ON NEWLY CREATED EXISTING LANDSCAPE PLAN, SHEET C06.1.
- ✓ ~~The required landscaping area is 19,687 sf; 29481 sf is provided.~~

- ✓ ~~Along the west property line, there are not enough trees for every 10 parking spaces. The masonry wall appears to limit planting of new trees. However, the masonry wall running east-west interior to the site appears to be able to accommodate trees. 14-16-5-6 (F)(2)(c).~~
Please identify the trees you could plant in this area.
PLANS REVISED TO INCLUDE NEW TREES AND SHRUBS IN THIS AREA, SHEET C06.0.



- ✓ **Articulate how you comply with 14-16-5-6 (F)(2)(d): The minimum size of tree planters within off street parking areas shall be 60 square feet per tree.** This requirement may be reduced to 36 square feet if the surface of a parking or vehicle circulation area abutting the tree planter is of a permeable material and, combined with the tree planter area, meets the 60 square foot per tree requirement.
REVISED LANDSCAPE PLAN LABELS TREE PLANTERS, ALL PLANTERS WELL OVER 60 SF., SHEET C06.0.



✓ If possible, please provide an irrigation plan that complies with 5-6(C)(14)(b).
 IRRIGATION SYSTEM REQUIREMENT NOTES UPDATED TO ENSURE SYSTEM COMPLIES WITH 5-6(C)(14)(b).

