

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice*: 4/5/23

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA) *: Mesa del Sol NA

Name of NA Representative*: Cathy Burns
catburns87106@gmail.com

Email Address* or Mailing Address* of NA Representative¹: 2201 Stieglitz Ave SE, Albuquerque, NM 87106

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* Mesa del Sol Innovation Park Tract A-1
Location Description SW corner of University Blvd SE and Stryker Rd SE
2. Property Owner* MDS Investments LLC
3. Agent/Applicant* [if applicable] Rebekah Longstreet, Dekker Perich Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#)
 - Historic Certificate of Appropriateness – Minor
 - Sign Permit
 - Alternative Signage Plan
 - Wall/Fence Permit
 - Site Plan – Administrative²

Summary of project/request*:

Mixed-use multi-family housing development with associated amenities and retail space.

5. This application will be decided by staff. Please contact devhelp@cabq.gov or call the Planning Department at 505-924-3860 to speak with staff.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Usually submitted and reviewed as part of building permit application, which can be searched by address here: <https://posse.cabq.gov/posse/pub/lms/Login.aspx>

[Note: Items with an asterisk (*) are required.]

6. Where more information about the project can be found^{*3}:
Contact Rebekah Longstreet at RebekahL@dpsdesign.org or by calling (505)761-9700

Information Required for Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{*4} S-16
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}:

Deviation(s) Variance(s)⁵ Waiver(s)⁶

Explanation^{*}:

None

4. Pre-submittal Neighborhood Meeting: Held on January 5, 2023
5. **For Site Plan – Administrative Applications only^{*}**, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas. ^{*}
 - b. Access and circulation for vehicles and pedestrians. ^{*}
 - c. Maximum height of any proposed structures, with building elevations. ^{*}
 - d. **For residential development^{*}**: Maximum number of proposed dwelling units.
 - e. **For non-residential development^{*}**:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁷:

1. Area of Property [typically in acres] 9.5 acres
2. IDO Zone District PC: Planned Community
3. Overlay Zone(s) [if applicable] _____
4. Center or Corridor Area [if applicable] Mesa del Sol/University Activity Center

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

⁵ Separate notice is required for Variances.

⁶ Separate notice is required for Waivers.

⁷ Available here: <https://tinurl.com/idozoningmap>

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Current Land Use(s) [vacant, if none] Vacant

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: David Mills, Mesa Del Sol NA [Other Neighborhood Associations, if any]
Mandy Warr, District 6 Coalition of Neighborhood Associations
Patricia Wilson, District 6 Coalition of Neighborhood Associations

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Neighborhood Association (NA) *: Mesa del Sol NA

Name of NA Representative*: David Mills

dmills544@gmail.com

Email Address* or Mailing Address* of NA Representative¹: 2400 Cunningham Ave, Albuquerque, NM 87106

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

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Neighborhood Association (NA) *: District 6 Coalition of Neighborhood Associations

Name of NA Representative*: Mandy Warr

mandy@theremedyspa.com.com

Email Address* or Mailing Address* of NA Representative¹: 119 Vasser Dr SE, Albuquerque, NM 87106

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Neighborhood Association (NA) *: District 6 Coalition of Neighborhood Associations

Name of NA Representative*: Patricia Willson
info@willsonstudio.com

Email Address* or Mailing Address* of NA Representative¹: 505 Dartmouth Dr SE, Albuquerque, NM 87106

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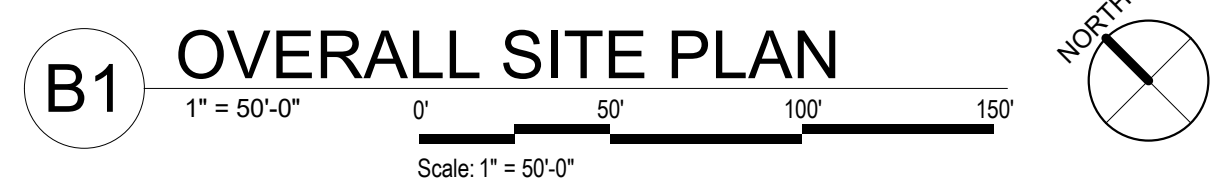
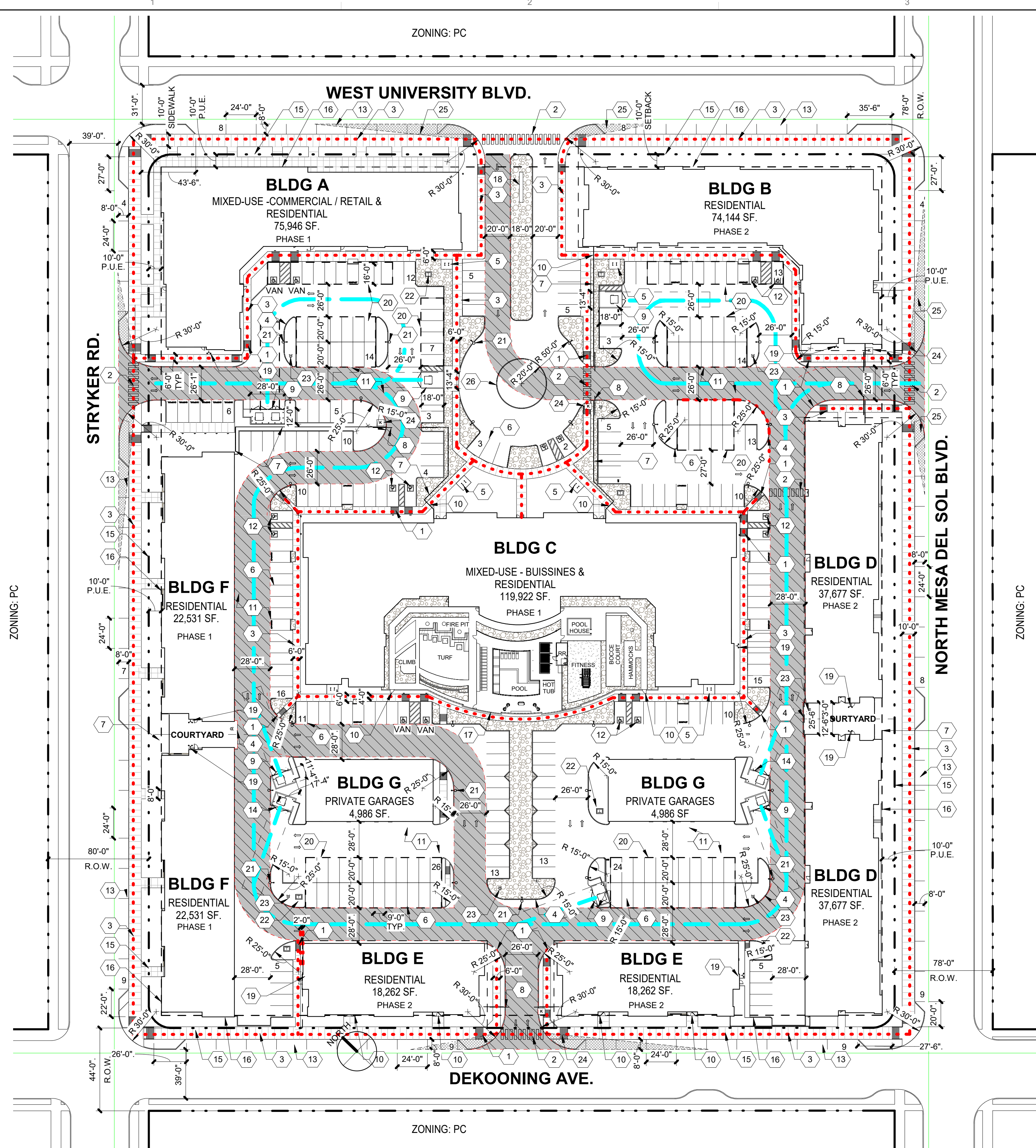
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PARKING DATA

REQUIRED PARKING: NO REQUIREMENT
BICYCLE PARKING: 1:10,000 NET SF = 32 REQUIRED

ACCESSIBILITY PARKING	12
ACCESSIBILITY PARKING STALL	12
ACCESSIBILITY VAN PARKING STALL	4
TOTAL	16
SURFACE PARKING	249
STANDARD PARKING STALLS	75
ON STREET PARKING STALLS	175
COMPACT PARKING STALLS	17
TOTAL	341
GARAGE PARKING	128
TOTAL PARKING PROVIDED:	485
MOTORCYCLE PARKING PROVIDED:	4
BICYCLE PARKING PROVIDED:	34

UNIT DATA

UNIT TYPE	BALCONY	PATIO	NET SQUARE FOOTAGE	GROSS HEATED SQUARE FOOTAGE	TOTAL	UNIT TOTALS	NSF TOTALS	GHSF TOTALS
S11	0	0	550	600	15	15	8,370	9,090
S1	0	0	600	653	42	42	25,200	27,426
S2	15	0	603	652	23	23	13,869	14,996
A1*	0	104	877	938	30	30	26,160	28,140
A1	0	100	702	788	28	28	19,656	21,280
A1	0	73	736	795	107	107	78,752	85,065
WU-A1	75	92	755	784	24	24	18,120	18,816
WU-A2	75	0	835	896	0	0	0	0
WU-A3	75	0	835	894	108	54	45,090	48,276
WU-A4	75	0	883	922	32	16	13,808	14,752
WU-A5	75	0	788	847	24	12	9,456	10,164
B1*	0	215	895	964	14	7	6,265	6,748
B1	142	0	945	1018	48	24	22,680	24,432
B2*	0	215	945	1018	2	1	945	1,018
B2	142	0	1002	1076	18	6	6,012	6,456
B3 Corner	160	0	1132	1215	21	7	7,924	8,505
WU-B2	75	92	1300	1370	36	12	15,600	17,240
TOTAL					572	406	317,907	346,404

PROJECT INFORMATION

LOCATION : ALBUQUERQUE NM
 ZONING : PC (COMMUNITY CENTER MDS)
 OCCUPANCY TYPE : APARTMENTS P-2, B (RETAIL, LEASING, & AMENITY)
 CONSTRUCTION TYPE : 3-A (PODIUM BUILDING)
 5-A (4 STORY APARTMENT BUILDINGS)
 5-B (3 STORY WALK-UPS BUILDINGS & GARAGE BUILDINGS)

SITE AREA : 9.47 ACRES (412,529 SF)
 DENSITY : 42.52 DU/A

BUILDING DATA

BUILDING	DWELLING UNIT AREA (GHSF)	CIRCULATION SPACE (GHSF)	AMENITY AREA (GHSF)	RETAIL AREA (GHSF)	TOTAL GROSS HEATED		PATIO / BALCONY AREA (GSF)	GARAGE AREA (GSF)	TOTAL GROSS AREA
					BUILDING AREA (GHSF)	BALCONY AREA (GSF)			
BUILDING A	1,698	805	-	-	13,567	18,069	1,869	-	18,117
LEVEL 2	15,030	2,702	-	-	17,732	1,145	-	-	18,877
LEVEL 3	15,030	2,702	-	-	17,732	1,145	-	-	18,877
LEVEL 4	15,028	2,690	-	-	17,678	1,145	-	-	18,823
TOTAL	48,784	8,899	-	-	13,567	21,210	4,084	-	75,684

BUILDING	DWELLING UNIT AREA (GHSF)	CIRCULATION SPACE (GHSF)	AMENITY AREA (GHSF)	RETAIL AREA (GHSF)	TOTAL GROSS HEATED		PATIO / BALCONY AREA (GSF)	GARAGE AREA (GSF)	TOTAL GROSS AREA
					BUILDING AREA (GHSF)	BALCONY AREA (GSF)			
BUILDING B	13,018	2,910	-	-	15,928	2,107	-	-	18,035
LEVEL 2	14,888	2,702	-	-	17,590	1,131	-	-	18,721
LEVEL 3	14,888	2,702	-	-	17,590	1,131	-	-	18,721
LEVEL 4	14,885	2,690	-	-	17,535	1,131	-	-	18,666
TOTAL	57,679	10,964	-	-	68,643	5,501	-	-	74,144

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					BUILDING AREA (GHSF)	BALCONY AREA (GSF)			
BUILDING C	18,618	4,032	9,500	-	30,150	3,254	-	-	33,504
LEVEL 2	17,940	3,672	7,500	-	29,112	1,340	-	-	30,452
LEVEL 3	21,773	4,985	-	-	26,758	1,340	-	-	28,098
LEVEL 4	21,773	4,795	-	-	26,528	1,340	-	-	27,868
TOTAL	78,104	17,444	17,000	-	112,548	7,374	-	-	119,922

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					BUILDING AREA (GHSF)	BALCONY AREA (GSF)			
BUILDING D	5,716	2,098	-	-	7,314	835	4,432	-	12,381
LEVEL 2	6,157	1,945	-	-	8,002	430	-	-	8,432
LEVEL 3	6,157	1,945	-	-	8,002	430	-	-	8,432
LEVEL 4	6,157	1,945	-	-	8,002	430	-	-	8,432
TOTAL	23,687	7,833	-	-	31,320	1,925	4,432	-	37,677
TOTAL ON SITE	47,374	15,266	-	-	62,640	3,850	8,864	-	75,354

BUILDING	DWELLING UNIT AREA (GHSF)	CIRCULATION SPACE (GHSF)	AMENITY AREA (GHSF)	RETAIL AREA (GHSF)	TOTAL GROSS HEATED		PATIO / BALCONY AREA (GSF)	GARAGE AREA (GSF)	TOTAL GROSS AREA
					BUILDING AREA (GHSF)	BALCONY AREA (GSF)			
BUILDING E	1,568	684	-	-	2,422	776	3,224	-	6,402
LEVEL 2	5,200	240	-	-	5,440	450	-	-	5,890
LEVEL 3	5,200	240	-	-	5,440	450	-	-	5,890
TOTAL	11,968	1,334	-	-	13,302	1,676	3,224	-	18,262
TOTAL ON SITE	23,936	2,668	-	-	26,604	3,272	6,648	-	36,524

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					BUILDING AREA (GHSF)	BALCONY AREA (GSF)			
BUILDING F	1,568	1,281	-	-	2,849	498	4,986	-	7,835
LEVEL 2	6,988	360	-	-	7,348	-	-	-	7,348
LEVEL 3	6,988	360	-	-	7,348	-	-	-	7,348
TOTAL	15,544	2,001	-	-	17,545	498	4,986	-	22,531
TOTAL ON SITE	31,888	4,002	-	-	35,090	9,972	45,062	-	48,062

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BUILDING G	-	-	-	-	-	-	4,986	4,986	9,972
TOTAL	-	-	-	-	-	-	4,986	4,986	9,972
TOTAL ON SITE	-	-	-	-	-	-	9,972	9,972	48,062

TOTAL DWELLING UNIT AREA (GHSF)	TOTAL CIRCULATION SPACE (GHSF)	TOTAL AMENITY AREA (GHSF)	TOTAL RETAIL AREA (GHSF)	TOTAL GROSS HEATED BUILDING AREA (GHSF)	TOTAL BALCONY AREA (GSF)	TOTAL GARAGE AREA (GSF)	TOTAL PROJECT GROSS AREA
48,784	8,899	-	-	13,567	37,735	24,481	426,706

PROJECT NO. _____
 APPLICATION NO. _____

IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?
 [] YES [] NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

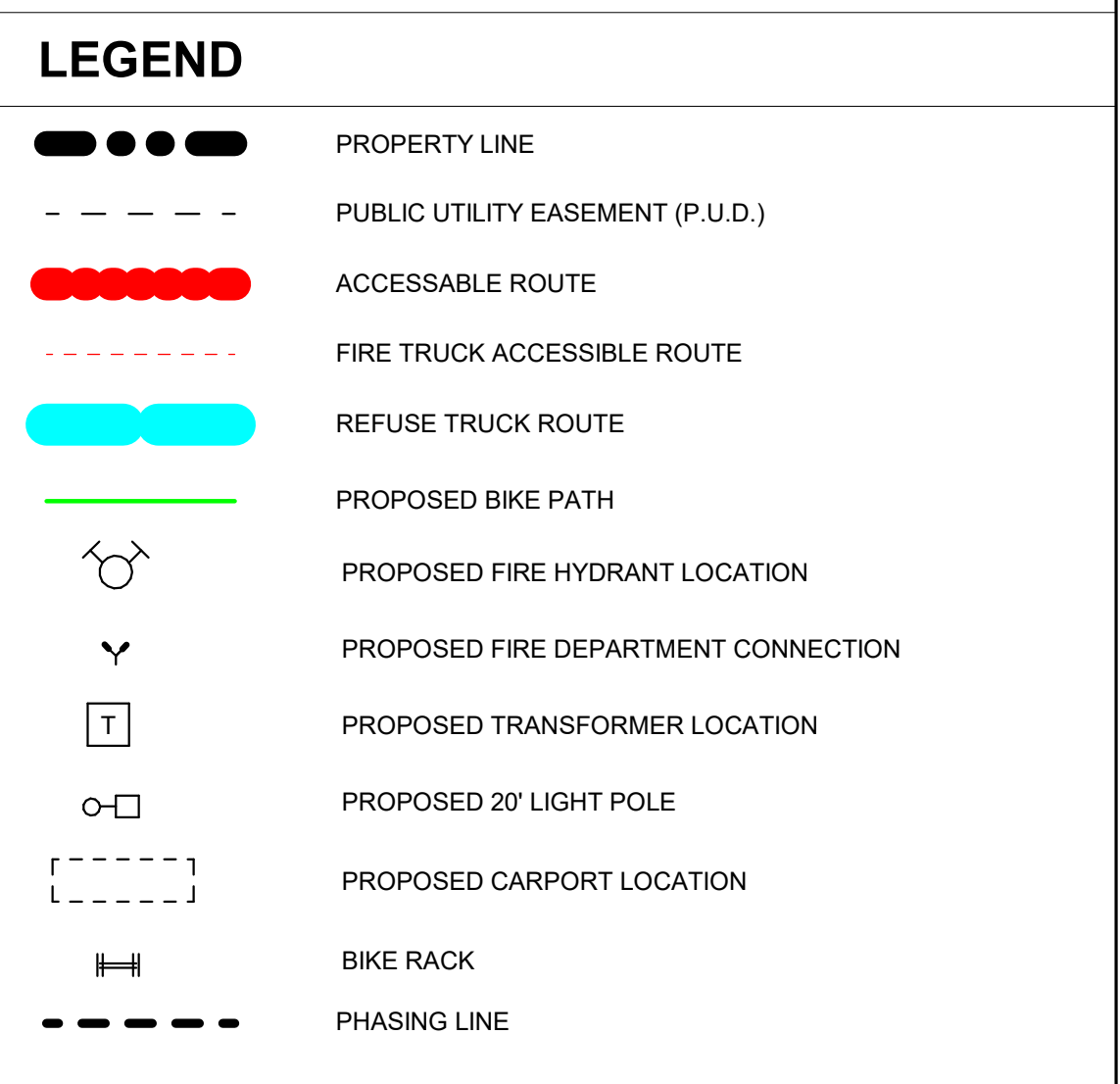
DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE:
ABCWUA	DATE:
PARKS & RECREATION DEPARTMENT	DATE:
CITY ENGINEER/HYDROLOGY	DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
SOLID WASTE MANAGEMENT	DATE:
DRB CHAIRPERSON, PLANNING DEPT.	DATE:
CODE ENFORCEMENT	DATE:

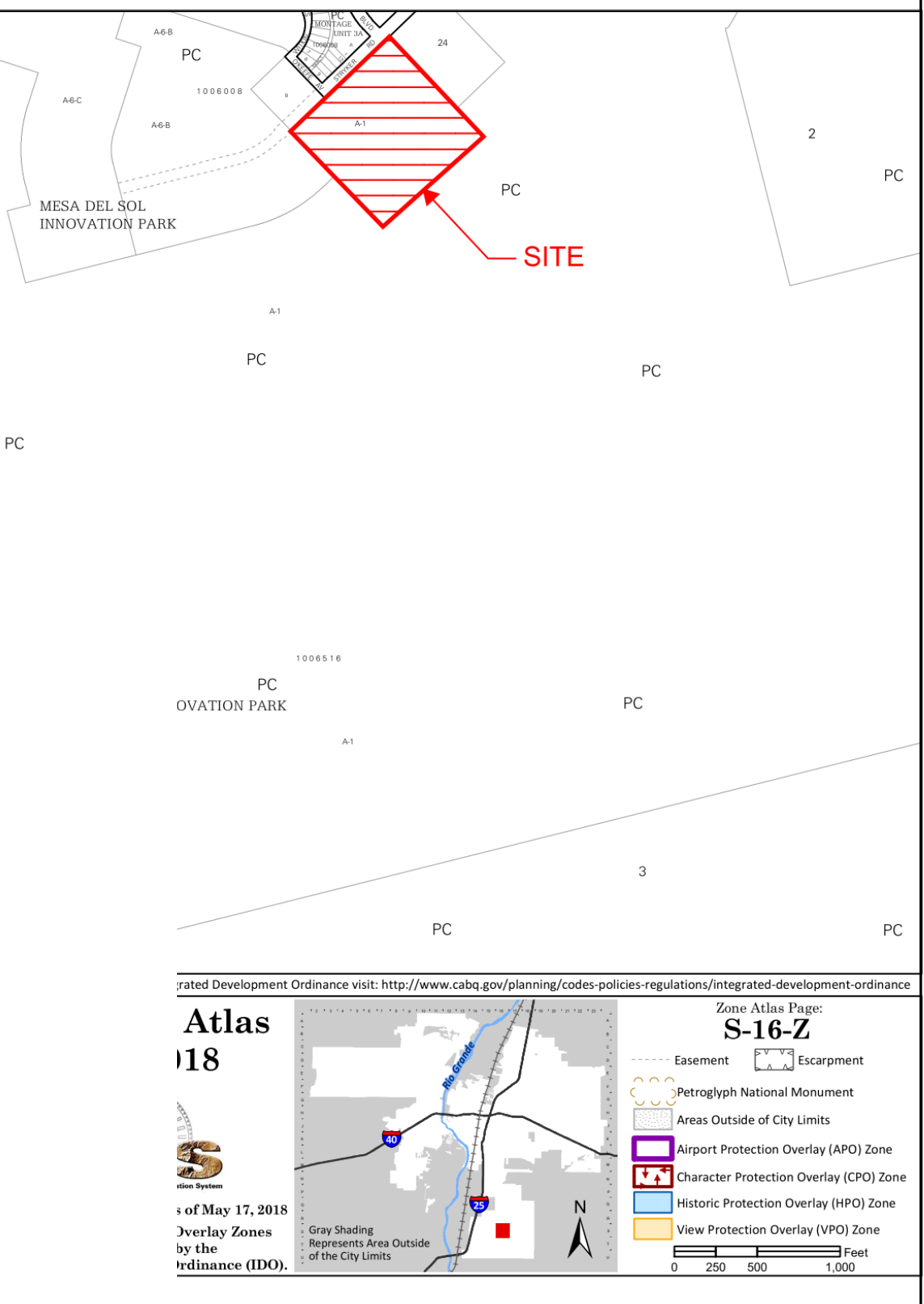
GENERAL SHEET NOTES

A. VERIFY EXISTING UTILITY LOCATIONS BEFORE EXCAVATION. COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION.
 B. UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY. COORDINATE LOCATION AND INSTALLATION. SEE CIVIL.
 C. SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 D. REFER TO CIVIL AND ELECTRICAL FOR DEMOLITION ITEMS.
 E. REFER TO CIVIL FOR PAVING PLAN AND PAVING DETAILS.
 F. SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
 G. EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION.
 H. REPAIR AREAS TO MATCH PRE-CONSTRUCTION CONDITION WHERE UTILITY WORK, GRADING AND/OR STAGING OCCURS, INCLUDING AREAS OUTSIDE OF LIMIT OF WORK BOUNDARY.
 I. PAVING WORK OUTSIDE OF PROPERTY LINE BOUNDARY TO FOLLOW SEPARATE PUBLIC WORK ORDER PER CITY OF ALBUQUERQUE.

- ### SHEET KEYNOTES
- CONCRETE ACCESSIBLE RAMP TYP.
 - PAINTED PEDESTRIAN CROSSWALK
 - CONCRETE SIDEWALK WITH CONTROL JOINTS
 - CONCRETE CURB, SEE CIVIL
 - BICYCLE STALLS
 - ASPHALT MARKINGS: PARKING STRIPING
 - WROUGHT IRON RESIDENTIAL ENCLOSURE FENCE
 - WROUGHT IRON GATE
 - DUMPSTER ENCLOSURE, RE: SDP-5.7
 - PEDESTRIAN GATE
 - ASPHALT PAVING
 - ACCESSIBLE PARKING STALL
 - PUBLIC STREET PARALLEL PARKING
 - RECYCLING ENCLOSURE, RE: SDP-5.7
 - PARKING CANOPY
 - 10' PUBLIC UTILITY EASEMENT
 - 6' HIGH PRIVACY WALL AT AMENITY
 - MONUMENT SIGN, RE: D4/SDP-1.2
 - FIRE DEPARTMENT CONNECTION (FDC)
 - PEDESTRIAN GATE
 - LIGHT POLE 20'-0"
 - TRANSFORMER BOX
 - FIRE HYDRANT - REFER TO CIVIL
 - LOCATION OF KNOX BOX
 - CLEAR SIGHT TRIANGLE (PER COA)
 - MOUNTABLE CURB



VACINITY MAP



DEKKER PERICH SABATINI
 Architecture in Progress

SEAL

PROJECT

MESA DEL SOL-TRACT A
 (Tract A) UNIVERSITY BLVD.
 SE ALBUQUERQUE, NM 87106

DRB

REVISIONS

DRAWN BY TD - CWW
 REVIEWED BY CWW - HFG
 DATE 22/12/16
 PROJECT NO: 22-0148

DRAWING NAME
SITE DEVELOPMENT PLAN

SHEET NO
SDP-1.1

GENERAL SHEET NOTES

A. PAINT WALL AND ROOF MOUNTED EQUIPMENT/ITEMS THAT ARE NOT PRE-FINISHED TO MATCH COLOR OF ADJACENT SURFACE, UNLESS NOTED OTHERWISE.

B. SEE REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.

C. MAKE CHANGES IN FINISH COLOR AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.

D. EXTERIOR BUILDING AREAS WILL BE ILLUMINATED WITH FIXTURES UTILIZING FULL CUT-OFF OPTICS SO AS TO MINIMIZE LIGHT POLLUTION, AND TO COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT.

E. MECHANICAL EQUIPMENT IS ROOF MOUNTED AND SCREENED FROM VIEW BY BUILDING PARAPETS.

SHEET KEYNOTES

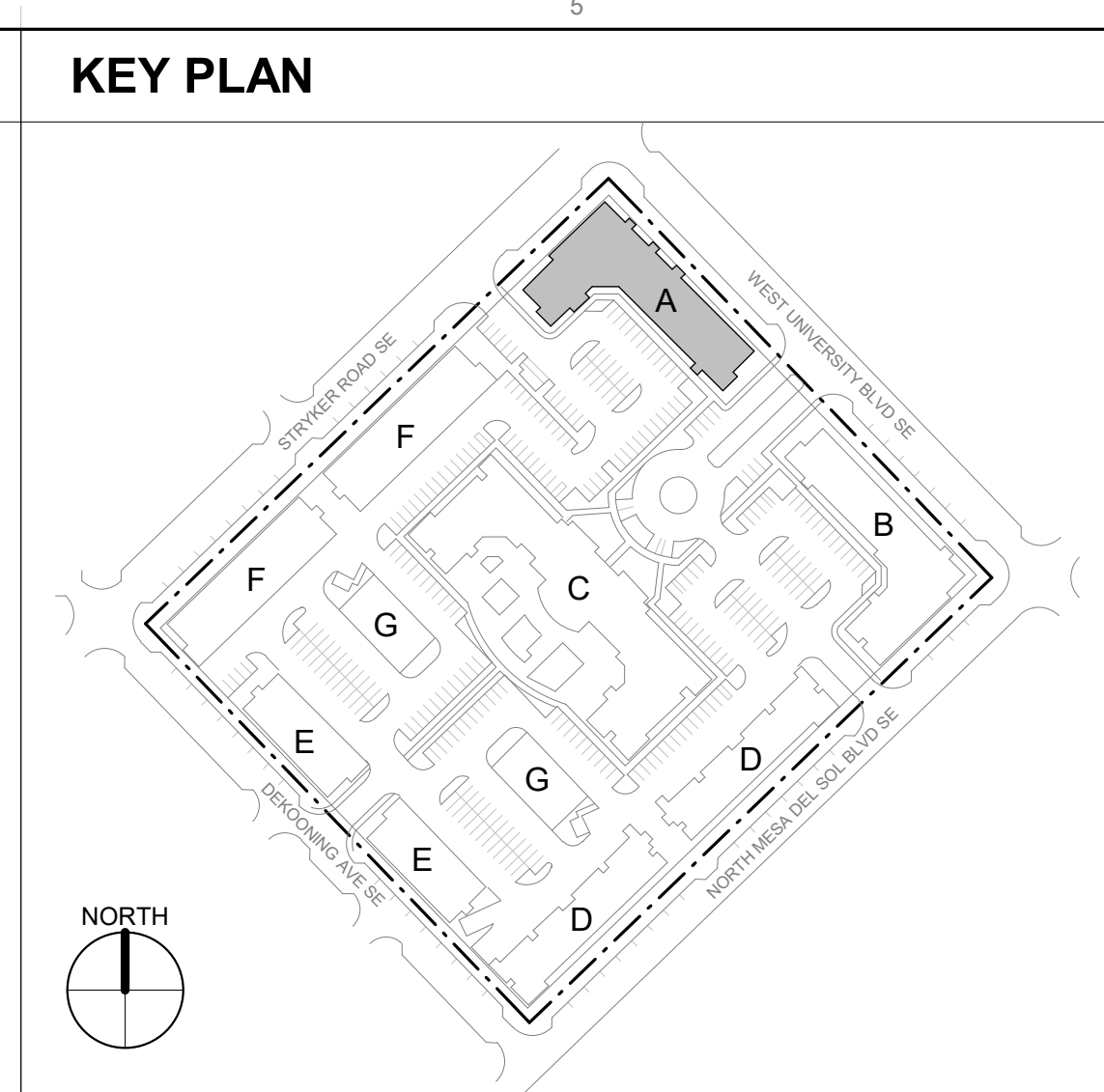
REFERENCE KEYNOTES

04 2616 ADHERED MASONRY VENEER
 05 1200-B STEEL COLUMN
 05 5000 METAL FABRICATIONS
 05 5213-A GUARDRAIL
 07 4646 FIBER CEMENT SIDING
 08 1113-A HOLLOW METAL DOOR AND FRAME
 08 3200-D VINYL SLIDING PATIO DOORS
 08 3613-B OVERHEAD SECTIONAL DOOR, STEEL
 08 4313-A ALUMINUM-FRAMED STOREFRONT SYSTEM
 08 4313-E ALUMINUM STOREFRONT DOOR
 08 5313 VINYL WINDOWS
 09 2400-A01 CEMENT PLASTER (STUCCO) COLOR 1
 09 2400-A02 CEMENT PLASTER (STUCCO) COLOR 2
 09 2400-A03 CEMENT PLASTER (STUCCO) COLOR 3
 09 2400-A04 CEMENT PLASTER (STUCCO) COLOR 4
 09 2400-A05 CEMENT PLASTER (STUCCO) COLOR 5
 09 2400-B STUCCO CONTROL JOINT
 10 1400-C BUILDING IDENTIFICATION SIGN
 10 1400-C01 EXTERIOR BUILDING SIGNAGE
 23 0000-E MECHANICAL VENT
 26 0000-A LIGHT FIXTURE

LEGEND

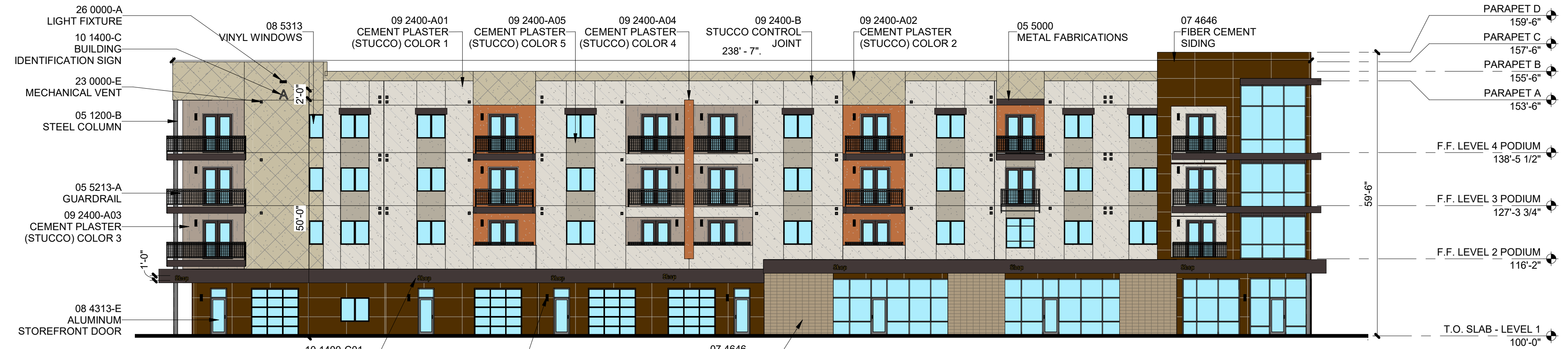
STUCCO: COLOR 1
 STUCCO: COLOR 2
 STUCCO: COLOR 3
 STUCCO: COLOR 4
 STUCCO: COLOR 5

FIBER CEMENT
 STONE/MASONRY

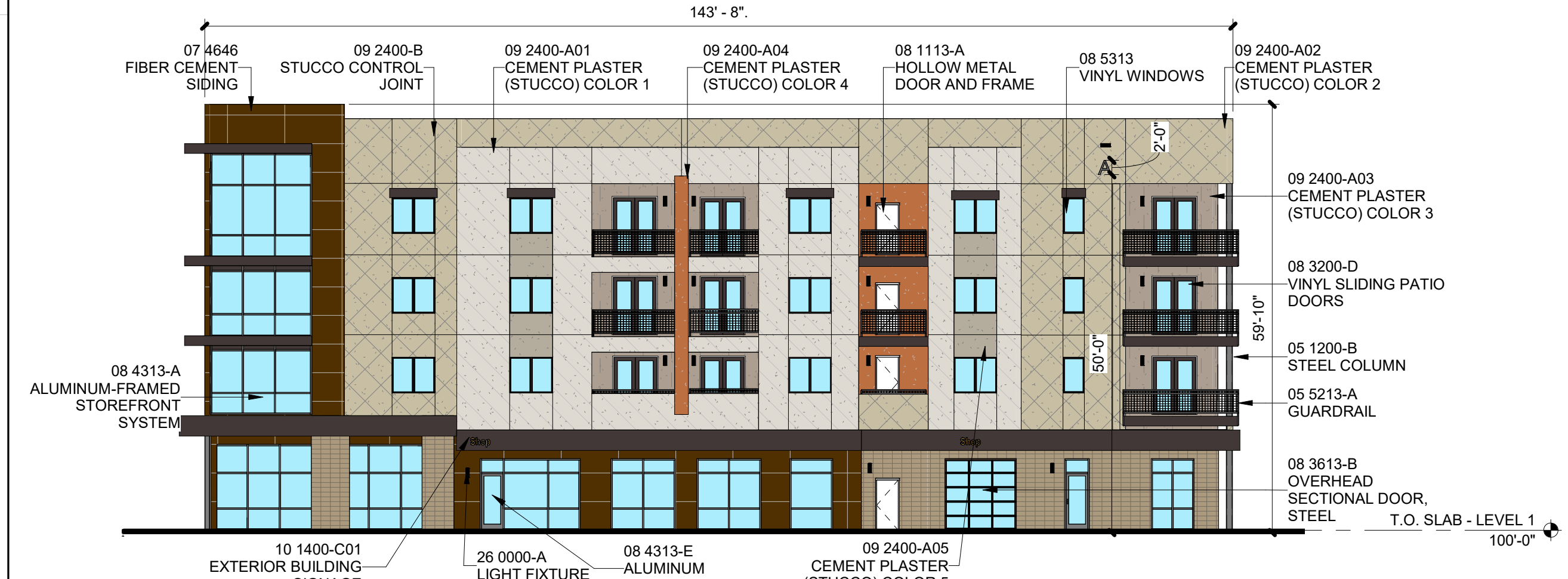


DEKKER PERICH SABATINI

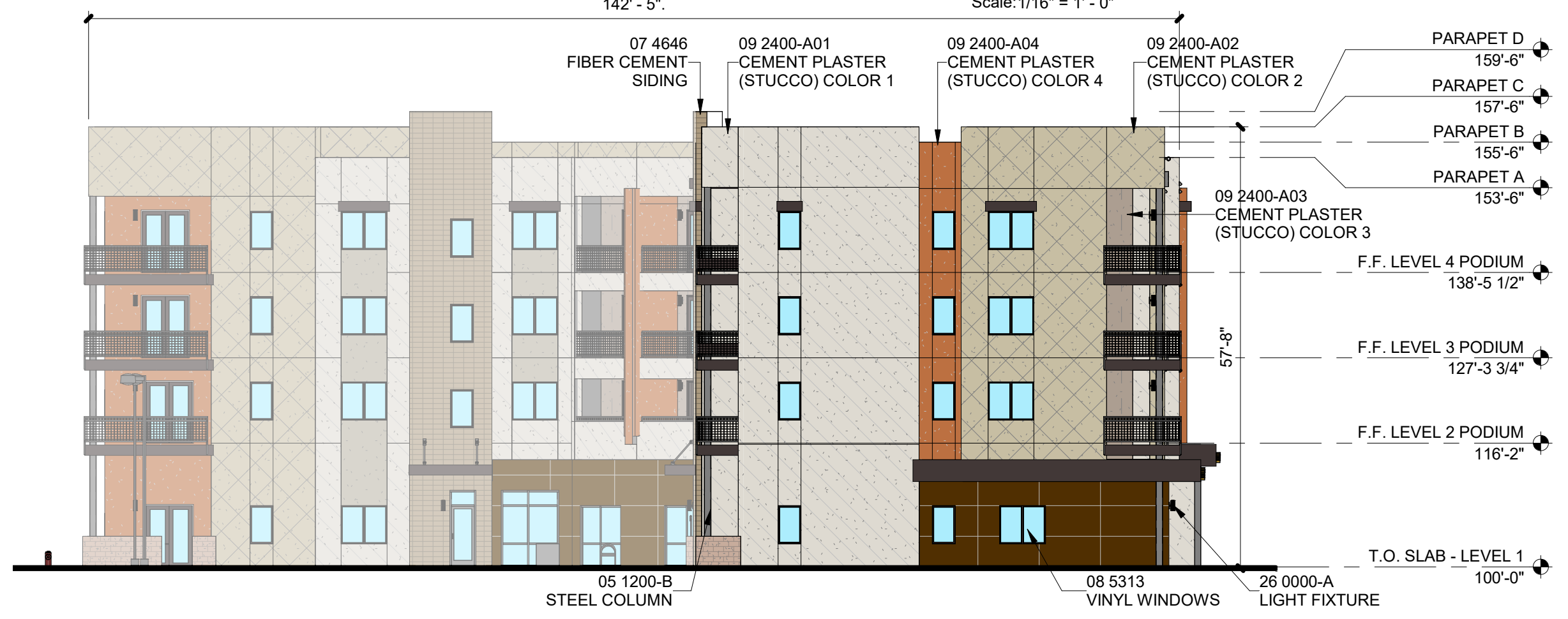
Architecture in Progress



C4 BUILDING A - FRONT ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



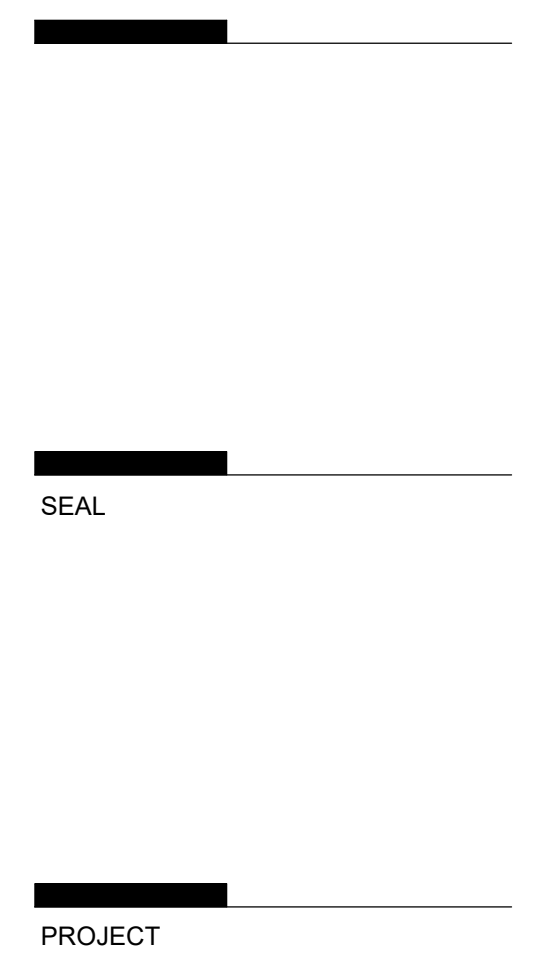
B2 BUILDING A - SIDE ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



B4 BUILDING A - SIDE ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



A4 BUILDING A - BACK ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



MESA DEL SOL-TRACT A
 (Tract A) UNIVERSITY BLVD.
 SE ALBUQUERQUE, NM 87106

DRB

REVISIONS

DRAWN BY CS - TD
 REVIEWED BY CWW - HFG
 DATE 22/12/16
 PROJECT NO: 22-0148

DRAWING NAME
BUILDING A - EXTERIOR ELEVATIONS

SHEET NO
SDP-5.1

4/5/2023 1:58:36 PM

GENERAL SHEET NOTES

- A. PAINT WALL AND ROOF MOUNTED EQUIPMENT/ITEMS THAT ARE NOT PRE-FINISHED TO MATCH COLOR OF ADJACENT SURFACE, UNLESS NOTED OTHERWISE.
- B. SEE REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.
- C. MAKE CHANGES IN FINISH COLOR AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.
- D. EXTERIOR BUILDING AREAS WILL BE ILLUMINATED WITH FIXTURES UTILIZING FULL CUT-OFF OPTICS SO AS TO MINIMIZE LIGHT POLLUTION, AND TO COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT.
- E. MECHANICAL EQUIPMENT IS ROOF MOUNTED AND SCREENED FROM VIEW BY BUILDING PARAPETS.

SHEET KEYNOTES

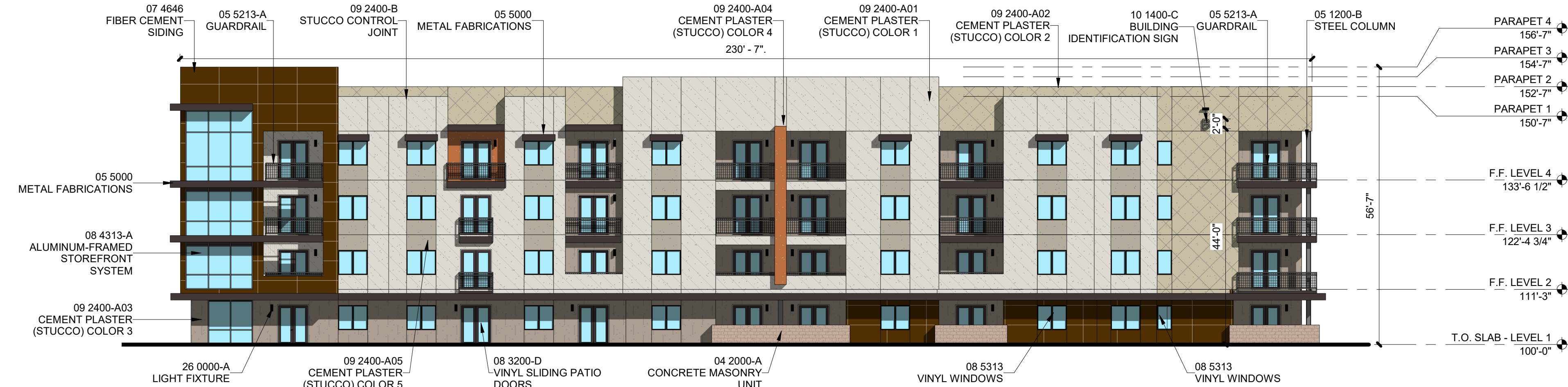
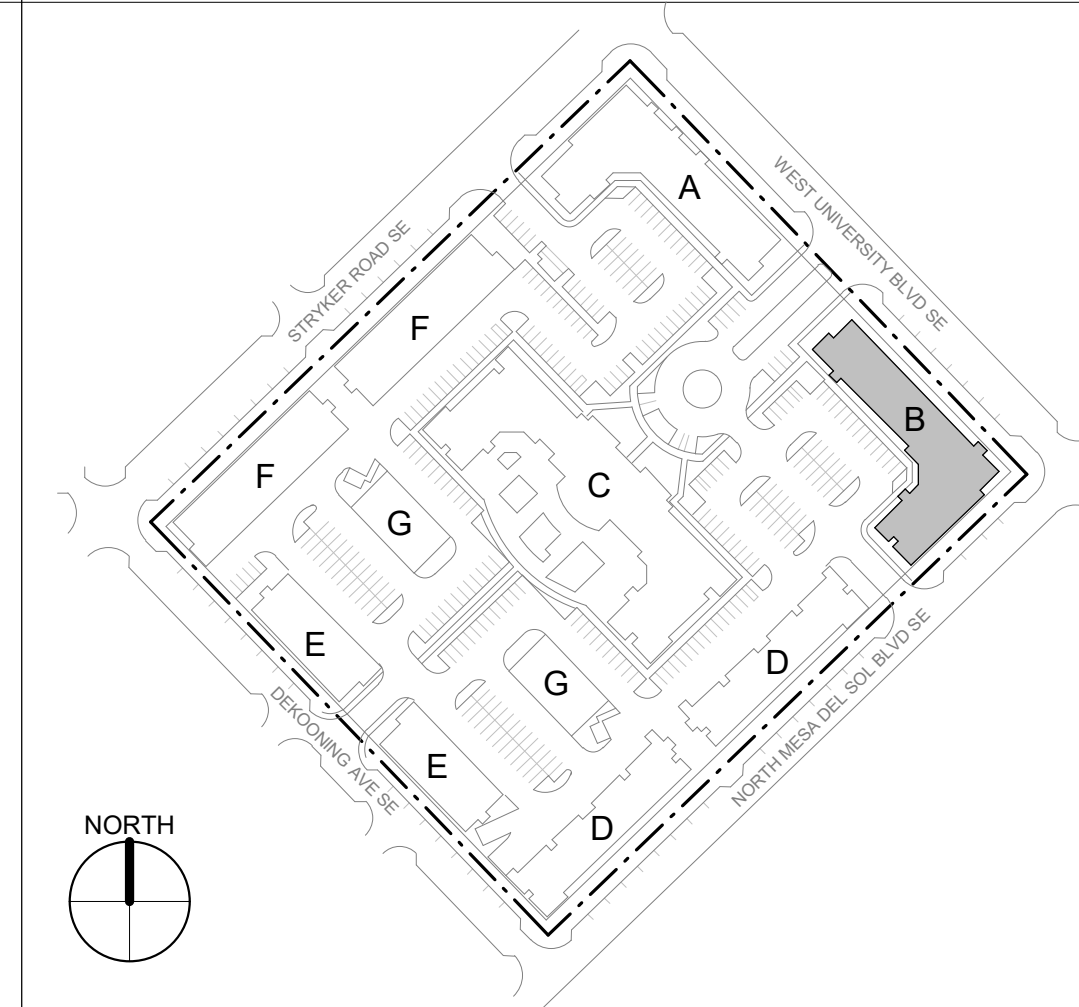
REFERENCE KEYNOTES

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- 05 5213-A GUARDRAIL
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- 08 3200-D VINYL SLIDING PATIO DOORS
- 08 4313-A ALUMINUM-FRAMED STOREFRONT SYSTEM
- 08 5313 VINYL WINDOWS
- 09 2400-A01 CEMENT PLASTER (STUCCO) COLOR 1
- 09 2400-A02 CEMENT PLASTER (STUCCO) COLOR 2
- 09 2400-A03 CEMENT PLASTER (STUCCO) COLOR 3
- 09 2400-A04 CEMENT PLASTER (STUCCO) COLOR 4
- 09 2400-A05 CEMENT PLASTER (STUCCO) COLOR 5
- 09 2400-B STUCCO CONTROL JOINT
- 10 1400-C BUILDING IDENTIFICATION SIGN
- 26 0000-A LIGHT FIXTURE

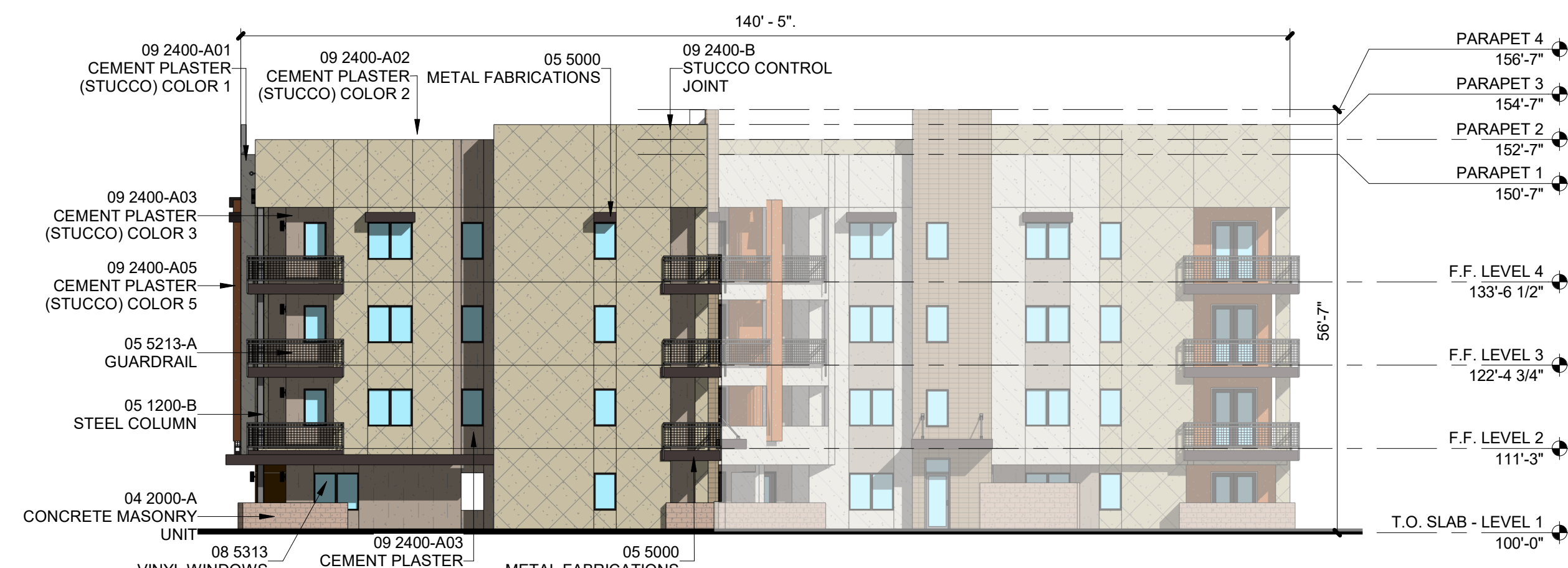
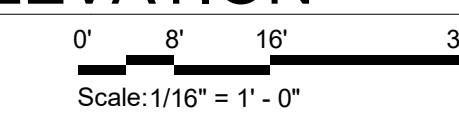
LEGEND

	STUCCO: COLOR 1		FIBER CEMENT
	STUCCO: COLOR 2		STONE/ MASONRY
	STUCCO: COLOR 3		
	STUCCO: COLOR 4		
	STUCCO: COLOR 5		

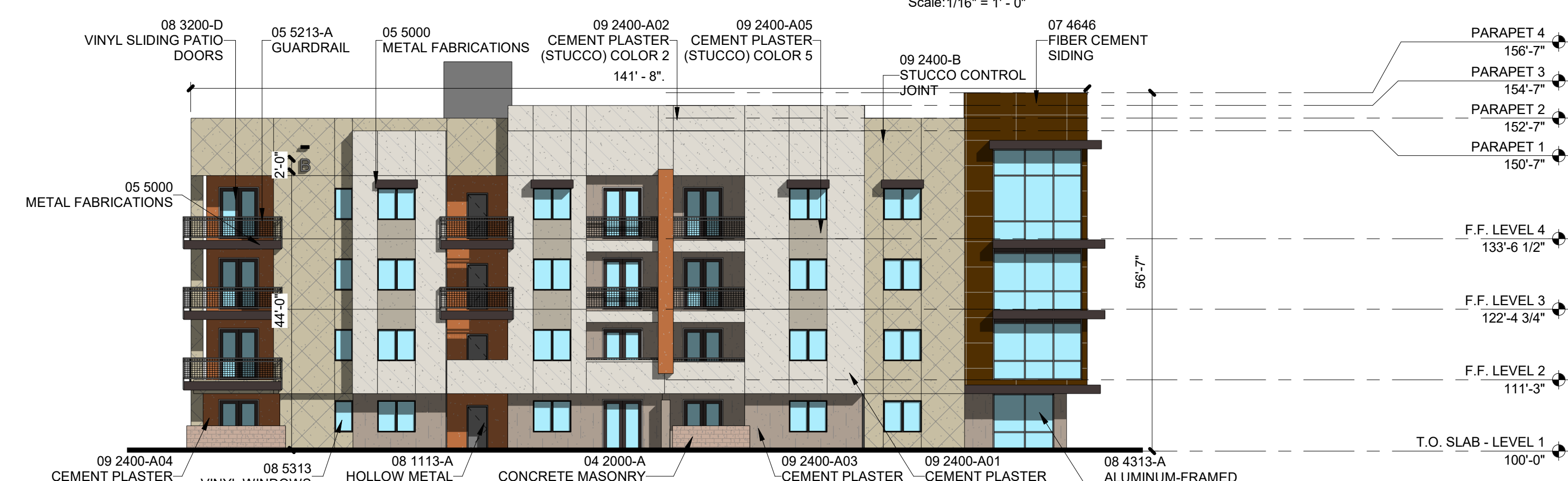
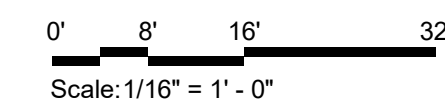
KEY PLAN



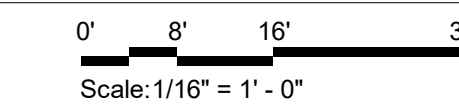
C4 BUILDING B - FRONT ELEVATION
1/16" = 1'-0"



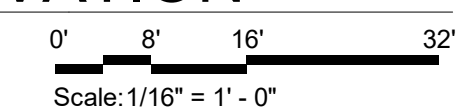
B2 BUILDING B - SIDE ELEVATION
1/16" = 1'-0"



B4 BUILDING B - SIDE ELEVATION
1/16" = 1'-0"



A4 BUILDING B - BACK ELEVATION
1/16" = 1'-0"



DEKKER PERICH SABATINI
Architecture in Progress

SEAL

PROJECT

MESA DEL SOL-TRACT A
(Tract A) UNIVERSITY BLVD.
SE ALBUQUERQUE, NM 87106

DRB

REVISIONS

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- △
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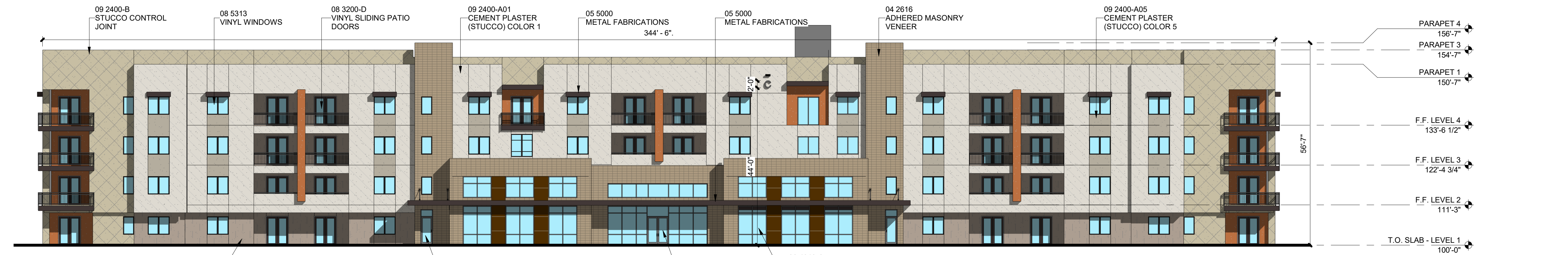
DRAWN BY CS - TD
REVIEWED BY CWW - HFG
DATE 22/12/16
PROJECT NO: 22-0148

DRAWING NAME
BUILDING B - EXTERIOR ELEVATIONS

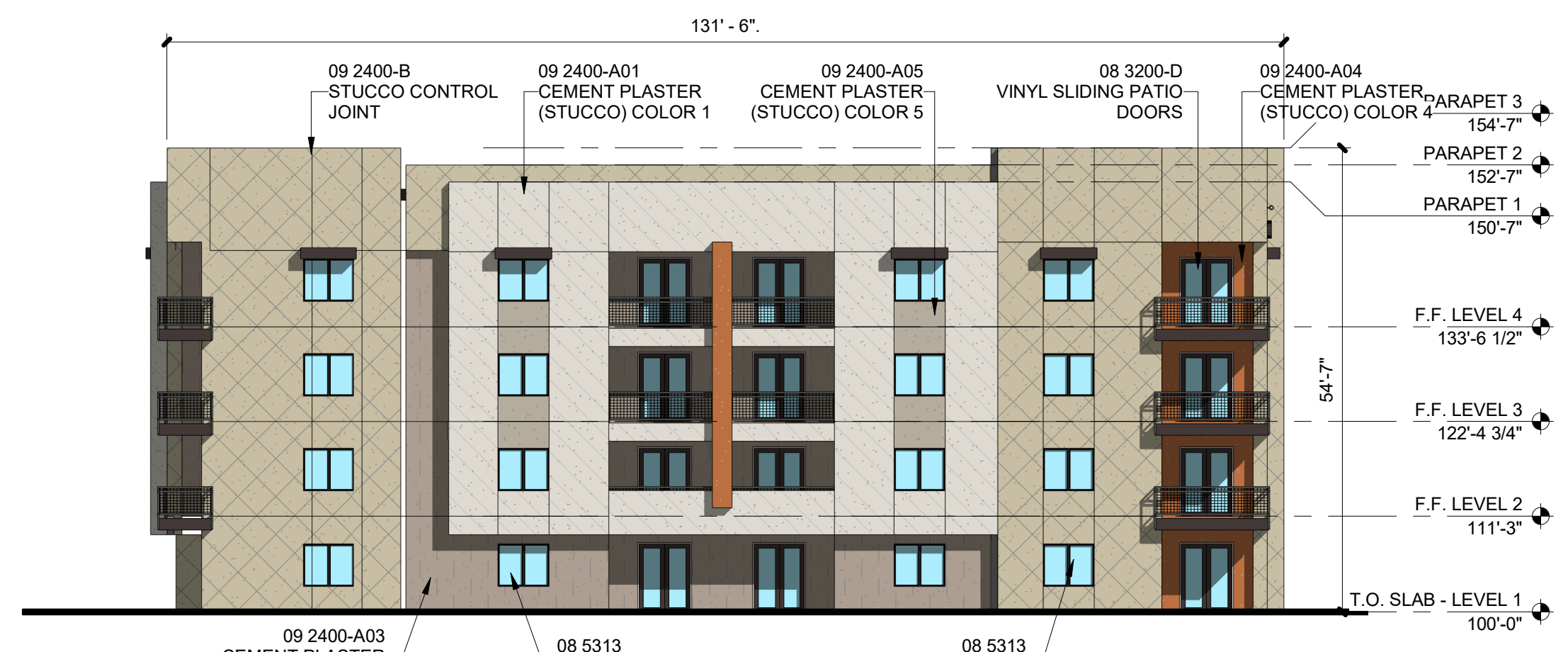
SHEET NO
SDP-5.2

<p>GENERAL SHEET NOTES</p> <p>A. PAINT WALL AND ROOF MOUNTED EQUIPMENT/ITEMS THAT ARE NOT PRE-FINISHED TO MATCH COLOR OF ADJACENT SURFACE, UNLESS NOTED OTHERWISE.</p> <p>B. SEE REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.</p> <p>C. MAKE CHANGES IN FINISH COLOR AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.</p> <p>D. EXTERIOR BUILDING AREAS WILL BE ILLUMINATED WITH FIXTURES UTILIZING FULL CUT-OFF OPTICS SO AS TO MINIMIZE LIGHT POLLUTION, AND TO COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT.</p> <p>E. MECHANICAL EQUIPMENT IS ROOF MOUNTED AND SCREENED FROM VIEW BY BUILDING PARAPETS.</p>	<p>SHEET KEYNOTES</p>	<p>REFERENCE KEYNOTES</p> <p>04 2616 ADHERED MASONRY VENEER 05 5000 METAL FABRICATIONS 05 5213-A GUARDRAIL 08 3200-D VINYL SLIDING PATIO DOORS 08 4313-A ALUMINUM-FRAMED STOREFRONT SYSTEM 08 4313-E ALUMINUM STOREFRONT DOOR 08 5313 VINYL WINDOWS 09 2400-A01 CEMENT PLASTER (STUCCO) COLOR 1 09 2400-A02 CEMENT PLASTER (STUCCO) COLOR 2 09 2400-A03 CEMENT PLASTER (STUCCO) COLOR 3 09 2400-A04 CEMENT PLASTER (STUCCO) COLOR 4 09 2400-A05 CEMENT PLASTER (STUCCO) COLOR 5 09 2400-B STUCCO CONTROL JOINT 10 1400-C BUILDING IDENTIFICATION SIGN 26 0000-A LIGHT FIXTURE</p>	<p>LEGEND</p> <p>STUCCO: COLOR 1 STUCCO: COLOR 2 STUCCO: COLOR 3 STUCCO: COLOR 4 STUCCO: COLOR 5</p> <p>FIBER CEMENT STONE/MASONRY</p>	<p>KEY PLAN</p>
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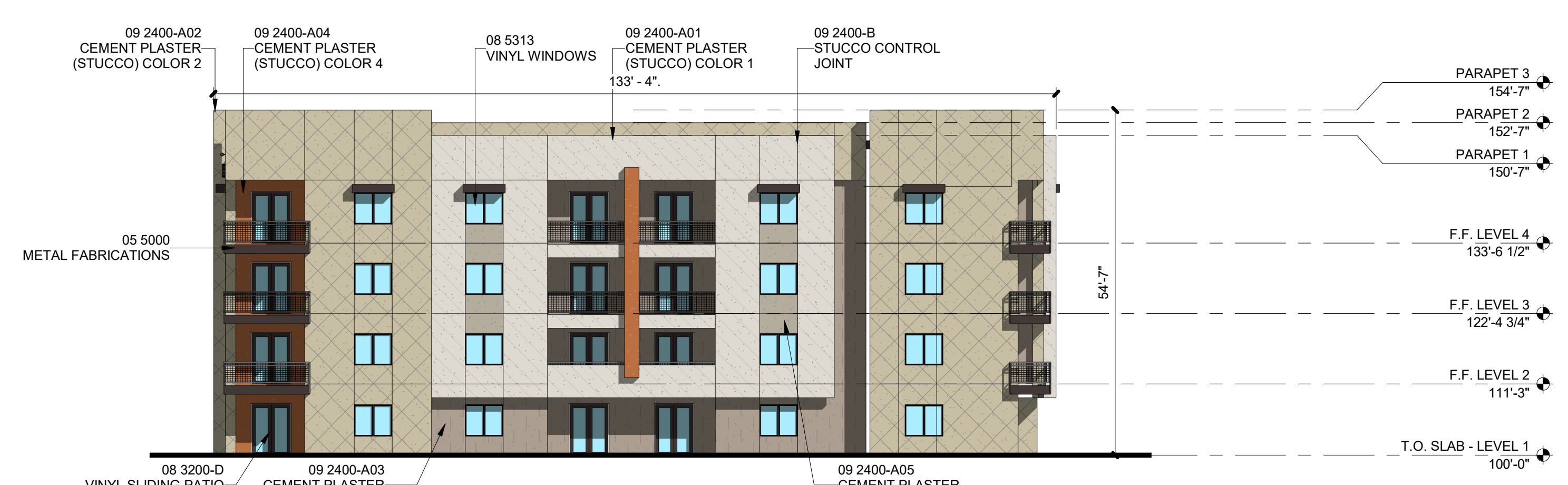
DEKKER PERICH SABATINI
Architecture in Progress



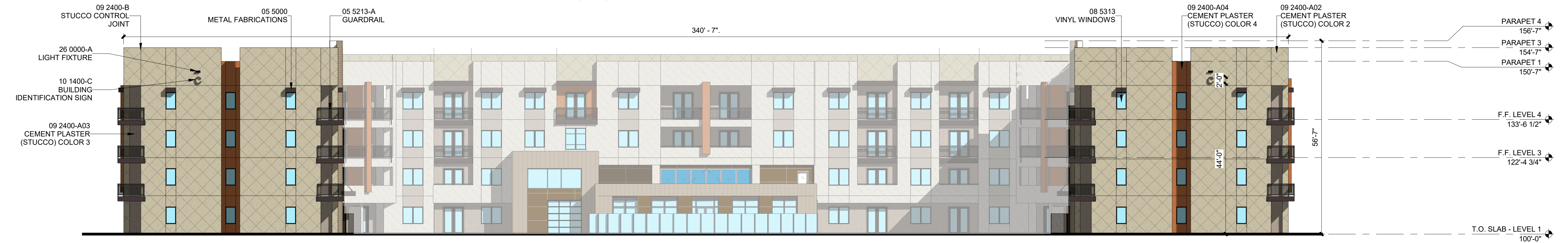
C4 BUILDING C - FRONT ELEVATION
1/16" = 1'-0"



B2 BUILDING C - SIDE ELEVATION
1/16" = 1'-0"



B4 BUILDING C - SIDE ELEVATION
1/16" = 1'-0"



A4 BUILDING C - BACK ELEVATION
1/16" = 1'-0"

SEAL
PROJECT

MESA DEL SOL-TRACT A
(Tract A) UNIVERSITY BLVD.
SE ALBUQUERQUE, NM 87106

DRB

REVISIONS

DRAWN BY CS - TD
REVIEWED BY CWW - HFG
DATE 22/12/16
PROJECT NO: 22-0148

DRAWING NAME
BUILDING C - EXTERIOR ELEVATIONS

SHEET NO
SDP-5.3

4/9/2023 2:00:27 PM

<p>GENERAL SHEET NOTES</p> <p>A. PAINT WALL AND ROOF MOUNTED EQUIPMENT/ITEMS THAT ARE NOT PRE-FINISHED TO MATCH COLOR OF ADJACENT SURFACE, UNLESS NOTED OTHERWISE.</p> <p>B. SEE REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.</p> <p>C. MAKE CHANGES IN FINISH COLOR AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.</p> <p>D. EXTERIOR BUILDING AREAS WILL BE ILLUMINATED WITH FIXTURES UTILIZING FULL CUT-OFF OPTICS SO AS TO MINIMIZE LIGHT POLLUTION, AND TO COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT.</p> <p>E. MECHANICAL EQUIPMENT IS ROOF MOUNTED AND SCREENED FROM VIEW BY BUILDING PARAPETS.</p>	<p>SHEET KEYNOTES</p>	<p>REFERENCE KEYNOTES</p> <p>04 2000-A CONCRETE MASONRY UNIT 05 5000 METAL FABRICATIONS 05 5213-A GUARDRAIL 08 1113-A HOLLOW METAL DOOR AND FRAME 08 3200-D VINYL SLIDING PATIO DOORS 08 3613-B OVERHEAD SECTIONAL DOOR, STEEL 08 4313-E ALUMINUM STOREFRONT DOOR 08 5313 VINYL WINDOWS 09 2400-A01 CEMENT PLASTER (STUCCO) COLOR 1 09 2400-A02 CEMENT PLASTER (STUCCO) COLOR 2 09 2400-A03 CEMENT PLASTER (STUCCO) COLOR 3 09 2400-A04 CEMENT PLASTER (STUCCO) COLOR 4 09 2400-B STUCCO CONTROL JOINT 10 1400-C BUILDING IDENTIFICATION SIGN 26 0000-A LIGHT FIXTURE</p>	<p>LEGEND</p> <p>STUCCO: COLOR 1 STUCCO: COLOR 2 STUCCO: COLOR 3 STUCCO: COLOR 4 STUCCO: COLOR 5</p> <p>FIBER CEMENT STONE/MASONRY</p>	<p>KEY PLAN</p>
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DEKKER PERICH SABATINI
Architecture in Progress

C4 BUILDING D - FRONT ELEVATION
1/16" = 1'-0"
Scale: 1/16" = 1'-0"

B2 BUILDING D - SIDE ELEVATION
1/16" = 1'-0"
Scale: 1/16" = 1'-0"

B4 BUILDING D - SIDE ELEVATION
1/16" = 1'-0"
Scale: 1/16" = 1'-0"

A4 BUILDING D - BACK ELEVATION
1/16" = 1'-0"
Scale: 1/16" = 1'-0"

SEAL

PROJECT

MESA DEL SOL-TRACT A
(Tract A) UNIVERSITY BLVD,
SE ALBUQUERQUE, NM 87106

DRB

REVISIONS

DRAWN BY CS - TD
REVIEWED BY CWW - HFG
DATE 22/12/16
PROJECT NO: 22-0148

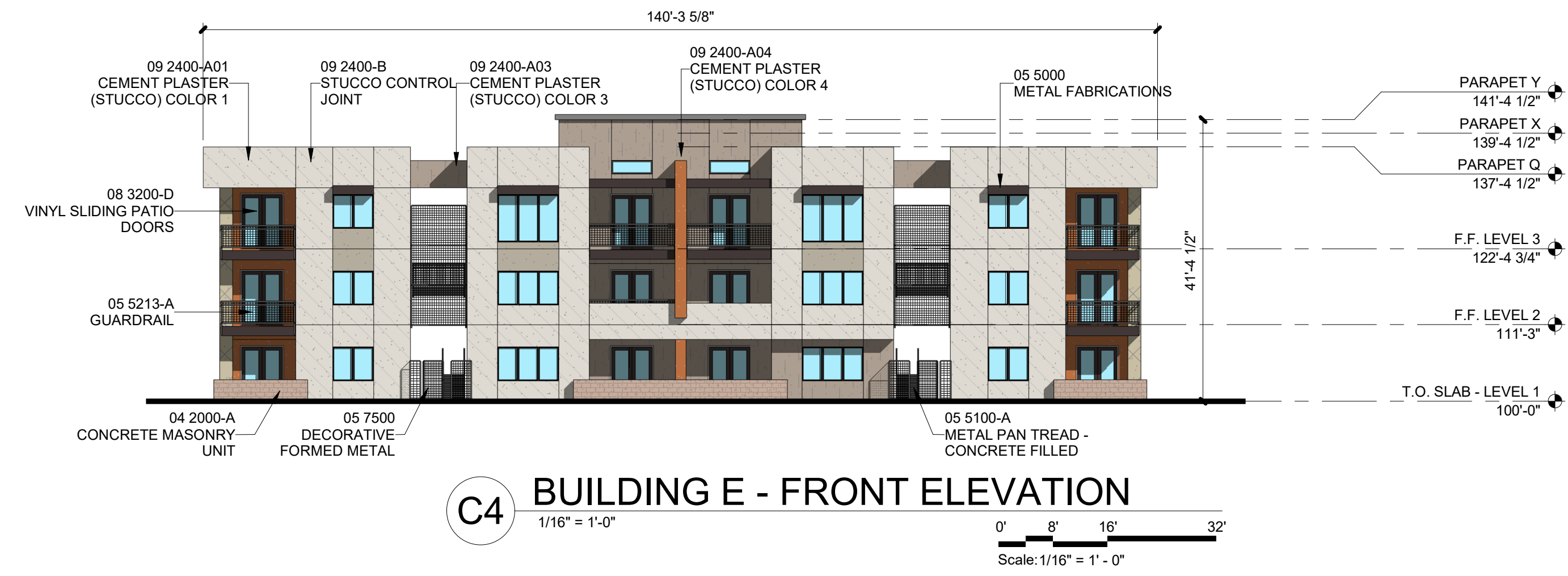
DRAWING NAME
BUILDING D - EXTERIOR ELEVATIONS

SHEET NO
SDP-5.4

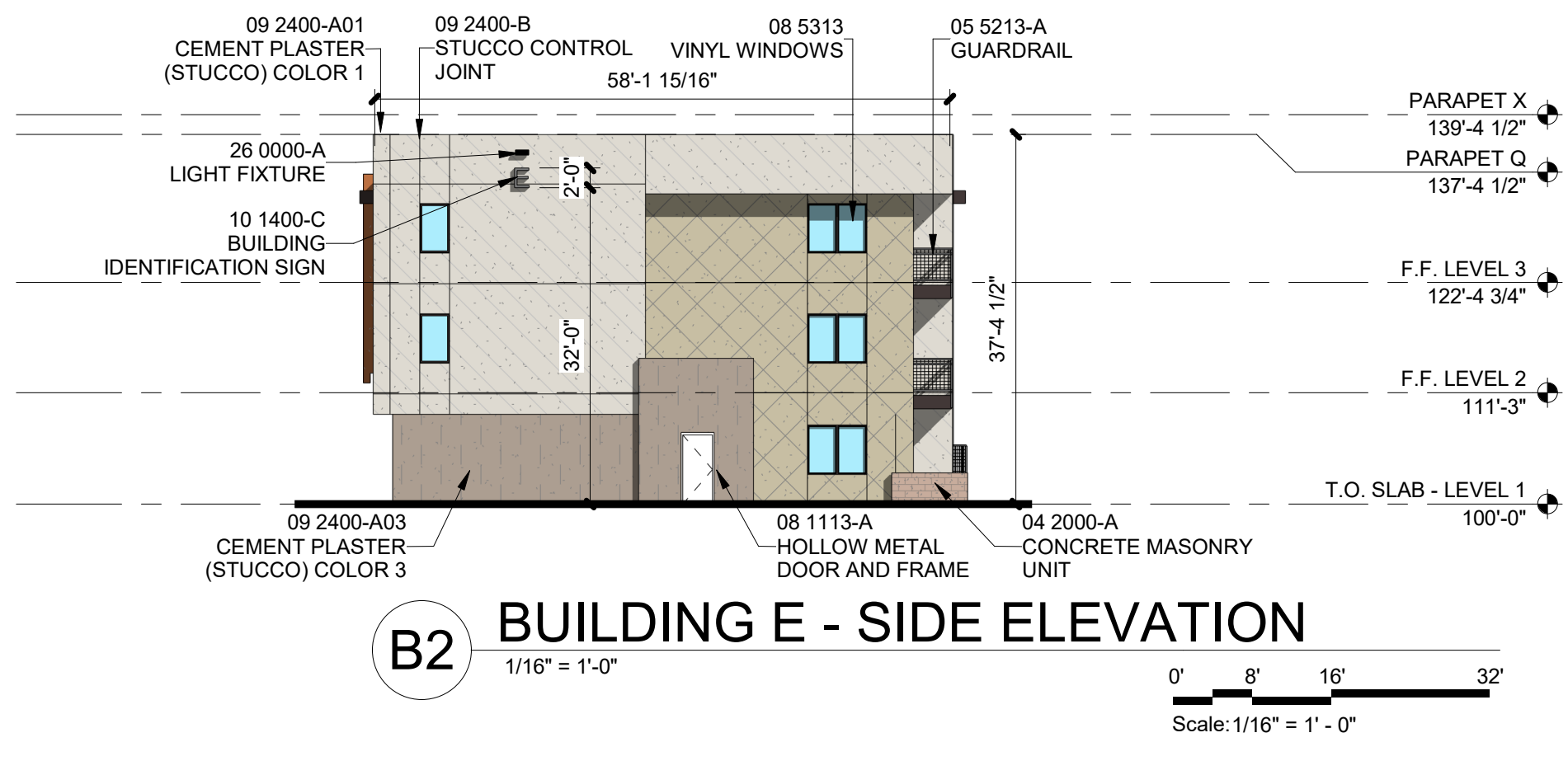
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<p>GENERAL SHEET NOTES</p> <p>A. PAINT WALL AND ROOF MOUNTED EQUIPMENT/ITEMS THAT ARE NOT PRE-FINISHED TO MATCH COLOR OF ADJACENT SURFACE, UNLESS NOTED OTHERWISE.</p> <p>B. SEE REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.</p> <p>C. MAKE CHANGES IN FINISH COLOR AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.</p> <p>D. EXTERIOR BUILDING AREAS WILL BE ILLUMINATED WITH FIXTURES UTILIZING FULL CUT-OFF OPTICS SO AS TO MINIMIZE LIGHT POLLUTION, AND TO COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT.</p> <p>E. MECHANICAL EQUIPMENT IS ROOF MOUNTED AND SCREENED FROM VIEW BY BUILDING PARAPETS.</p>	<p>SHEET KEYNOTES</p>	<p>REFERENCE KEYNOTES</p> <p>04 2000-A CONCRETE MASONRY UNIT 05 5000 METAL FABRICATIONS 05 5100-A METAL PAN TREAD - CONCRETE FILLED 05 5213-A GUARDRAIL 05 7500 DECORATIVE FORMED METAL 08 1113-A HOLLOW METAL DOOR AND FRAME 08 3200-D VINYL SLIDING PATIO DOORS 08 5313 VINYL WINDOWS 08 5313-A VINYL WINDOW 09 2400-A01 CEMENT PLASTER (STUCCO) COLOR 1 09 2400-A03 CEMENT PLASTER (STUCCO) COLOR 3 09 2400-A04 CEMENT PLASTER (STUCCO) COLOR 4 09 2400-B STUCCO CONTROL JOINT 10 1400-C BUILDING IDENTIFICATION SIGN 26 0000-A LIGHT FIXTURE</p>	<p>LEGEND</p> <p>STUCCO: COLOR 1 STUCCO: COLOR 2 STUCCO: COLOR 3 STUCCO: COLOR 4 STUCCO: COLOR 5</p> <p>FIBER CEMENT STONE/ MASONRY</p>	<p>KEY PLAN</p>
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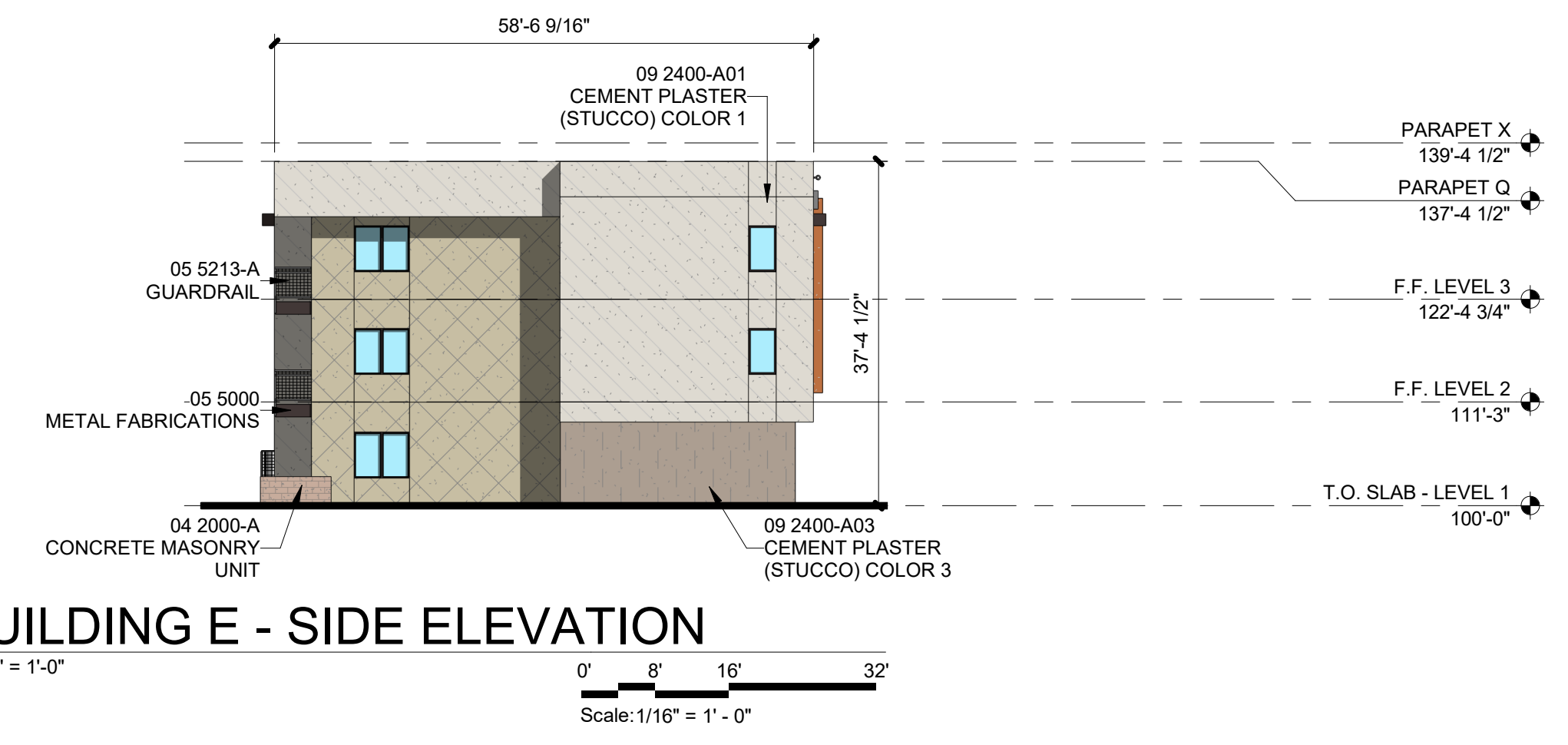
DEKKER PERICH SABATINI
Architecture in Progress



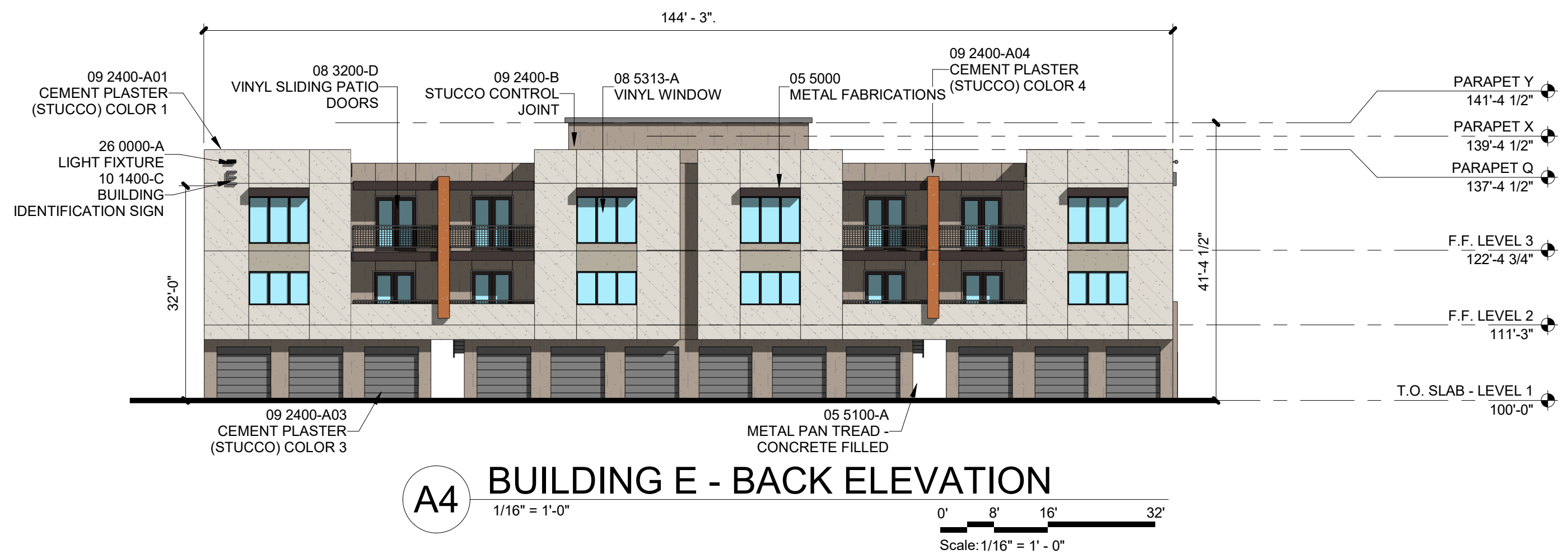
C4 BUILDING E - FRONT ELEVATION
1/16" = 1'-0"



B2 BUILDING E - SIDE ELEVATION
1/16" = 1'-0"



B4 BUILDING E - SIDE ELEVATION
1/16" = 1'-0"



A4 BUILDING E - BACK ELEVATION
1/16" = 1'-0"

SEAL
PROJECT

MESA DEL SOL-TRACT A
(Tract A) UNIVERSITY BLVD,
SE ALBUQUERQUE, NM 87106

DRB

REVISIONS

DRAWN BY CS - TD
REVIEWED BY CWW - HFG
DATE 22/12/16
PROJECT NO: 22-0148

DRAWING NAME
BUILDING E - EXTERIOR ELEVATIONS

SHEET NO
SDP-5.5

<p>GENERAL SHEET NOTES</p> <p>A. PAINT WALL AND ROOF MOUNTED EQUIPMENT/ITEMS THAT ARE NOT PRE-FINISHED TO MATCH COLOR OF ADJACENT SURFACE, UNLESS NOTED OTHERWISE.</p> <p>B. SEE REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.</p> <p>C. MAKE CHANGES IN FINISH COLOR AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.</p> <p>D. EXTERIOR BUILDING AREAS WILL BE ILLUMINATED WITH FIXTURES UTILIZING FULL CUT-OFF OPTICS SO AS TO MINIMIZE LIGHT POLLUTION, AND TO COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT.</p> <p>E. MECHANICAL EQUIPMENT IS ROOF MOUNTED AND SCREENED FROM VIEW BY BUILDING PARAPETS.</p>	<p>SHEET KEYNOTES</p>	<p>REFERENCE KEYNOTES</p> <p>04 2000-A CONCRETE MASONRY UNIT 05 5000 METAL FABRICATIONS 05 5213-A GUARDRAIL 08 3200-D VINYL SLIDING PATIO DOORS 08 3613-B OVERHEAD SECTIONAL DOOR, STEEL 08 5313 VINYL WINDOWS 08 5313-A VINYL WINDOW 09 2400-A01 CEMENT PLASTER (STUCCO) COLOR 1 09 2400-A02 CEMENT PLASTER (STUCCO) COLOR 2 09 2400-A03 CEMENT PLASTER (STUCCO) COLOR 3 09 2400-B STUCCO CONTROL JOINT 10 1400-C BUILDING IDENTIFICATION SIGN 26 0000-A LIGHT FIXTURE</p>	<p>LEGEND</p> <p>STUCCO: COLOR 1 STUCCO: COLOR 2 STUCCO: COLOR 3 STUCCO: COLOR 4 STUCCO: COLOR 5</p> <p>FIBER CEMENT STONE/MASONRY</p>	<p>KEY PLAN</p>
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DEKKER PERICH SABATINI
Architecture in Progress

C4 BUILDING F - FRONT ELEVATION
1/16" = 1'-0"
Scale: 1/16" = 1'-0"

B2 BUILDING F - SIDE ELEVATION
1/16" = 1'-0"
Scale: 1/16" = 1'-0"

B4 BUILDING F - SIDE ELEVATION
1/16" = 1'-0"
Scale: 1/16" = 1'-0"

A4 BUILDING F - BACK ELEVATION
1/16" = 1'-0"
Scale: 1/16" = 1'-0"

SEAL
PROJECT

MESA DEL SOL-TRACT A
(Tract A) UNIVERSITY BLVD,
SE ALBUQUERQUE, NM 87106

DRB

REVISIONS

DRAWN BY CS - TD
REVIEWED BY CWW - HFG
DATE 22/12/16
PROJECT NO: 22-0148

DRAWING NAME
BUILDING F - EXTERIOR ELEVATIONS

SHEET NO
SDP-5.6

4/5/2023 2:00:53 PM

GENERAL SHEET NOTES

A. PAINT WALL AND ROOF MOUNTED EQUIPMENT/ITEMS THAT ARE NOT PRE-FINISHED TO MATCH COLOR OF ADJACENT SURFACE, UNLESS NOTED OTHERWISE.

B. SEE REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.

C. MAKE CHANGES IN FINISH COLOR AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.

D. EXTERIOR BUILDING AREAS WILL BE ILLUMINATED WITH FIXTURES UTILIZING FULL CUT-OFF OPTICS SO AS TO MINIMIZE LIGHT POLLUTION, AND TO COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT.

E. MECHANICAL EQUIPMENT IS ROOF MOUNTED AND SCREENED FROM VIEW BY BUILDING PARAPETS.

SHEET KEYNOTES

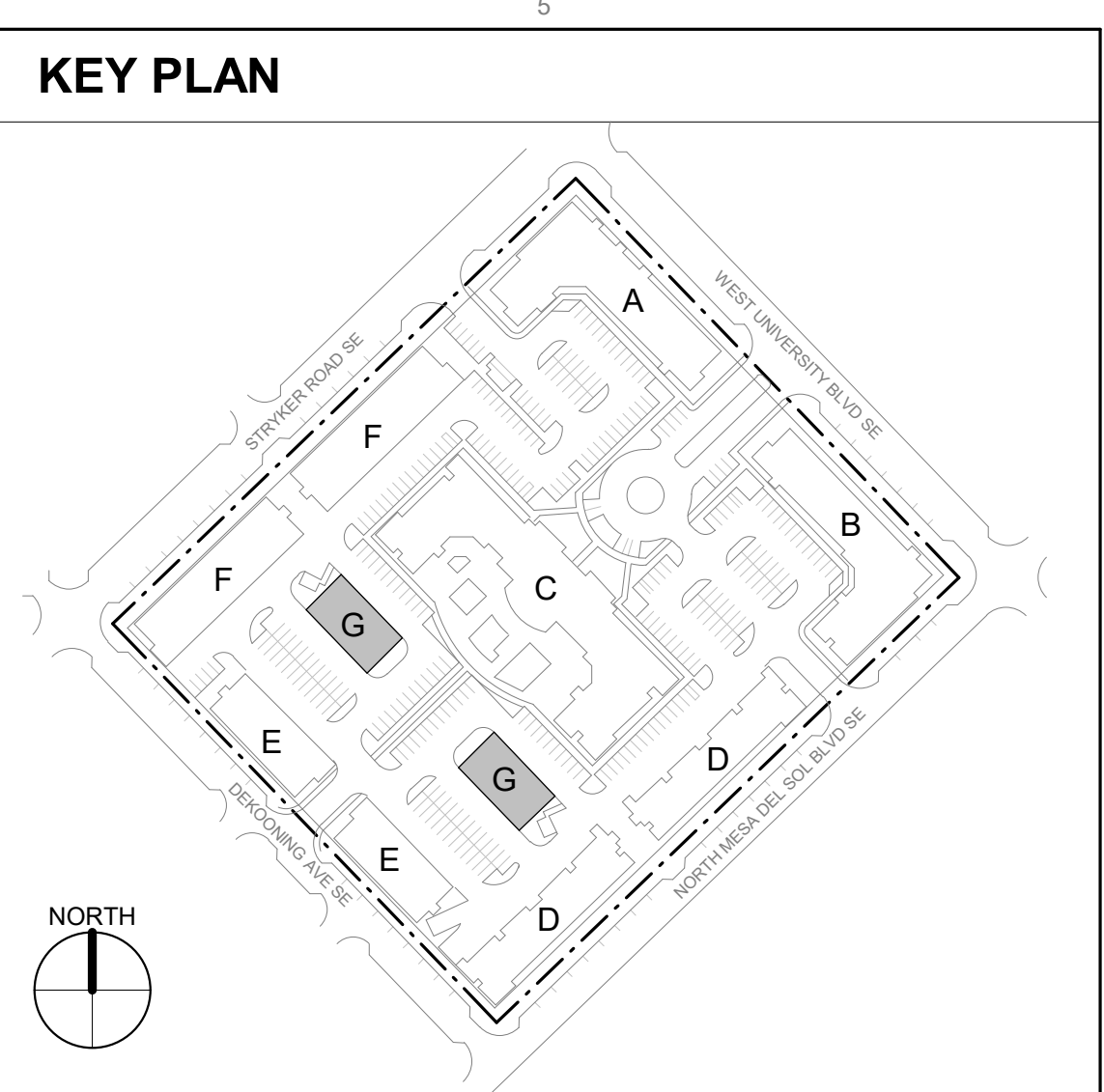
REFERENCE KEYNOTES

04 2000-A CONCRETE MASONRY UNIT
 07 4646 FIBER CEMENT SIDING
 08 3613-B OVERHEAD SECTIONAL DOOR, STEEL
 09 2400-A01 CEMENT PLASTER (STUCCO) COLOR 1
 09 2400-A03 CEMENT PLASTER (STUCCO) COLOR 3
 09 2400-B STUCCO CONTROL JOINT
 10 1400-C BUILDING IDENTIFICATION SIGN
 26 0000-A LIGHT FIXTURE
 32 0000-C02 DECORATIVE METAL GATE
 32 0000-D02 BOLLARD

LEGEND

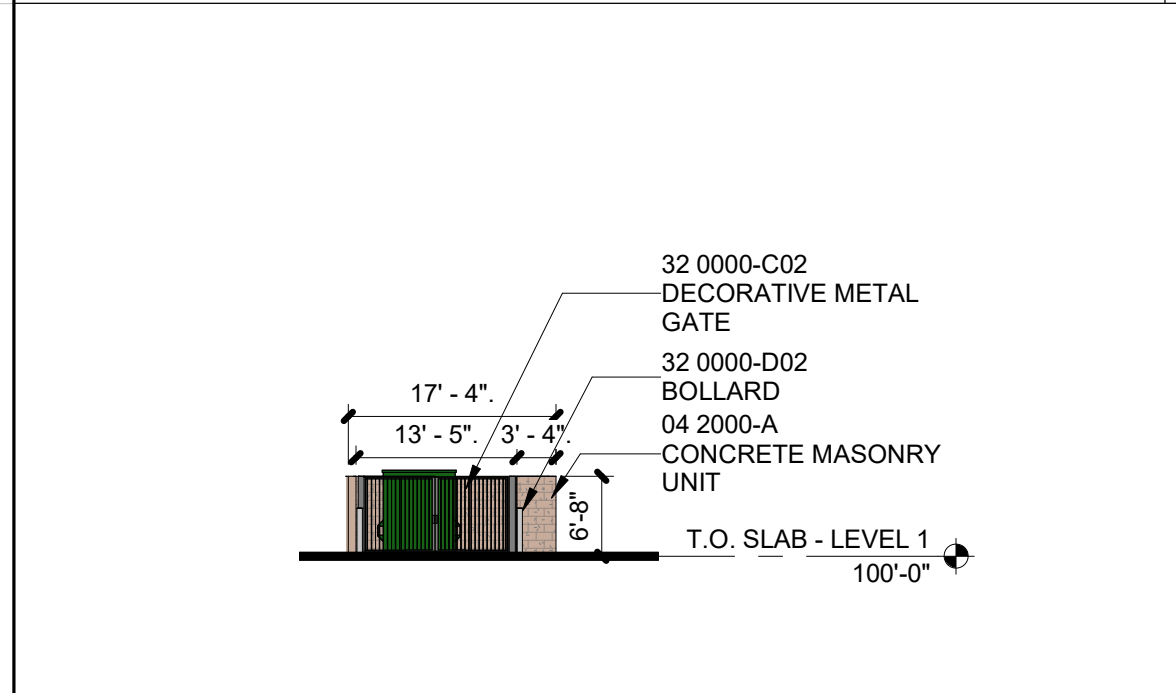
STUCCO: COLOR 1
 STUCCO: COLOR 2
 STUCCO: COLOR 3
 STUCCO: COLOR 4
 STUCCO: COLOR 5

FIBER CEMENT
 STONE/ MASONRY

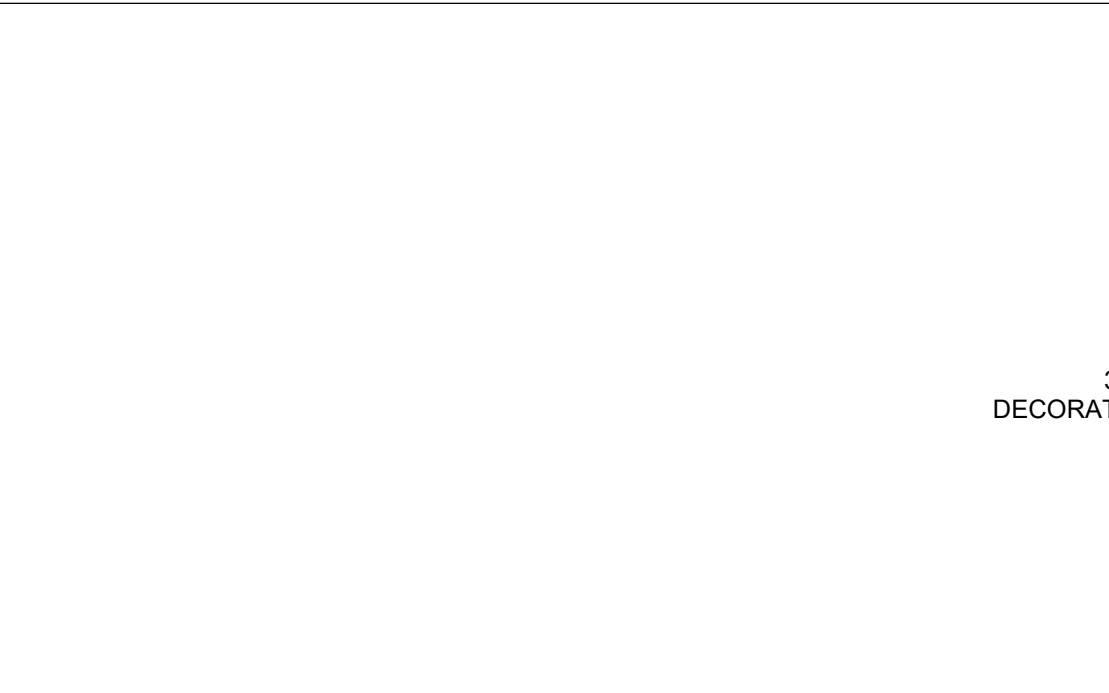


DEKKER PERICH SABATINI

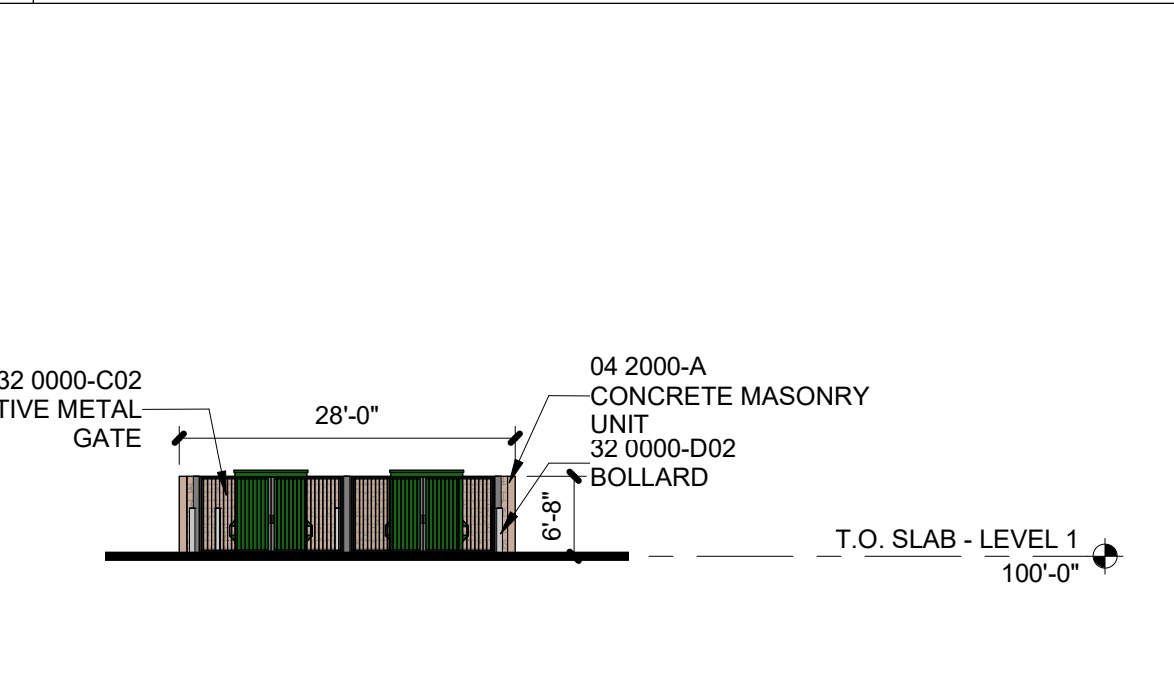
Architecture in Progress



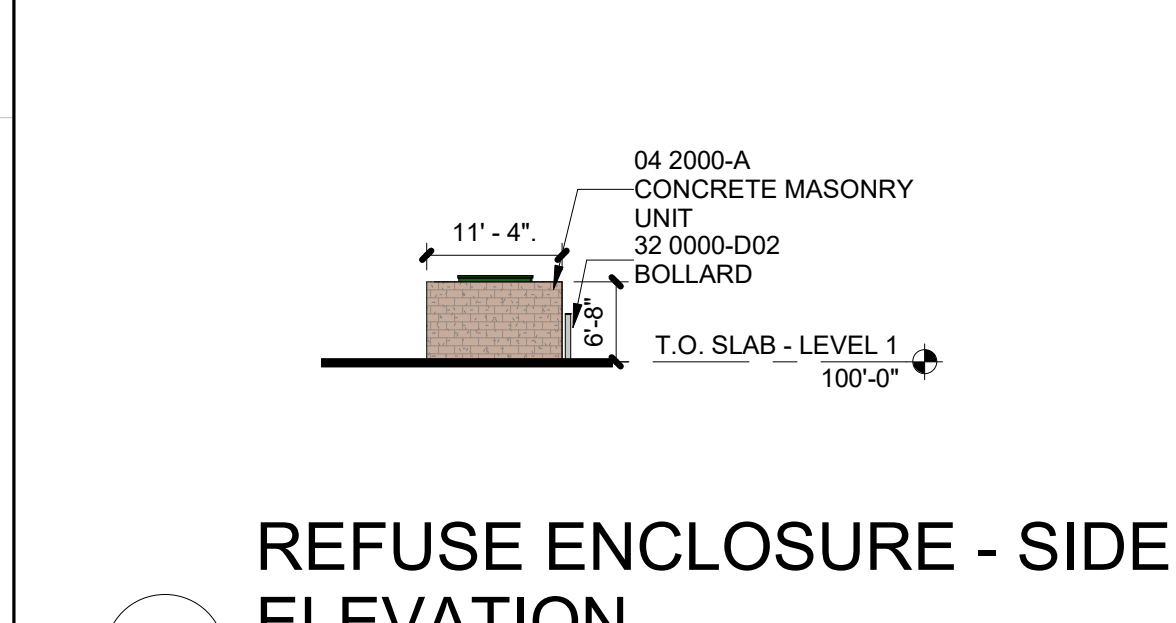
D1 REFUSE ENCLOSURE - FRONT ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



D3 REFUSE ENCLOSURE 1 - FRONT ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



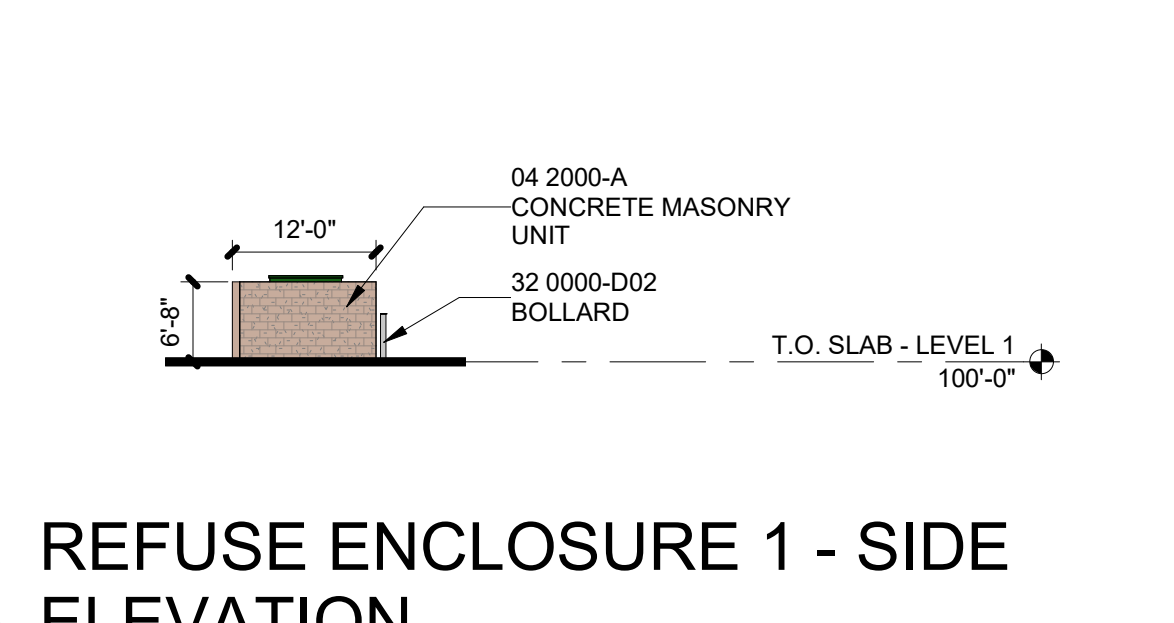
D4 BUILDING G - FRONT ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



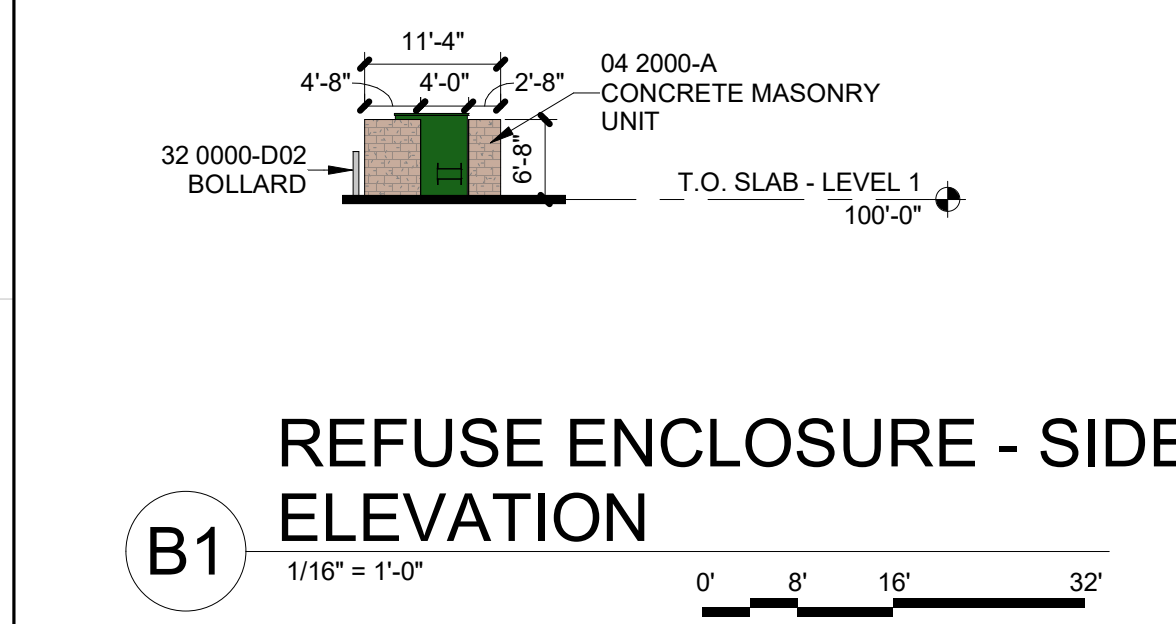
C1 REFUSE ENCLOSURE - SIDE ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



C3 REFUSE ENCLOSURE 1 - SIDE ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



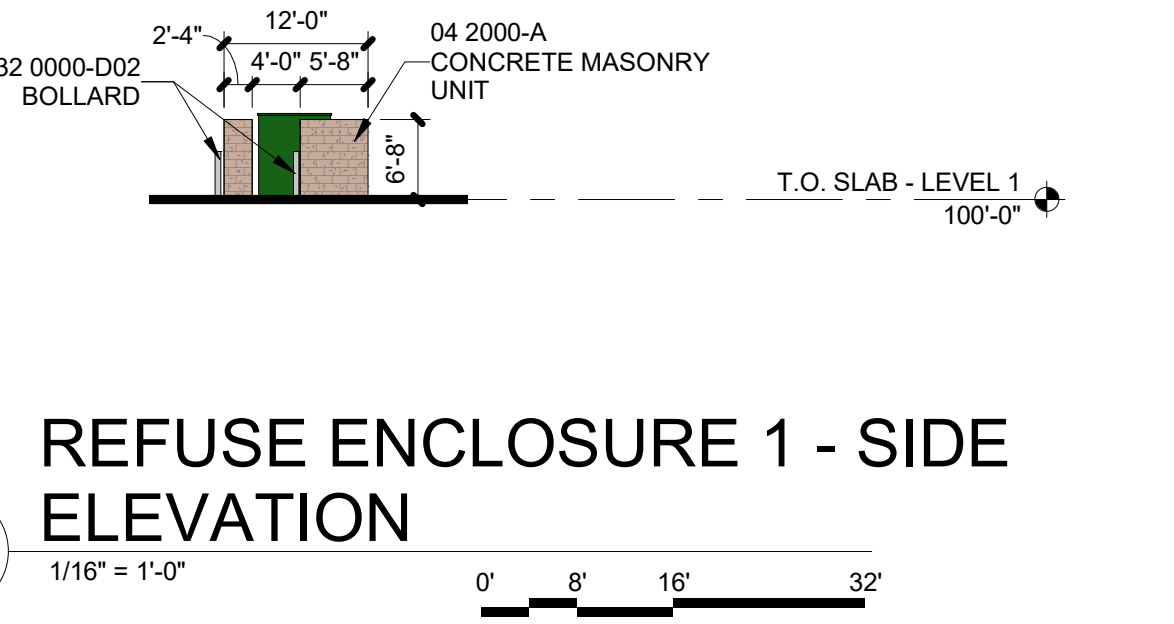
C4 BUILDING G - SIDE ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



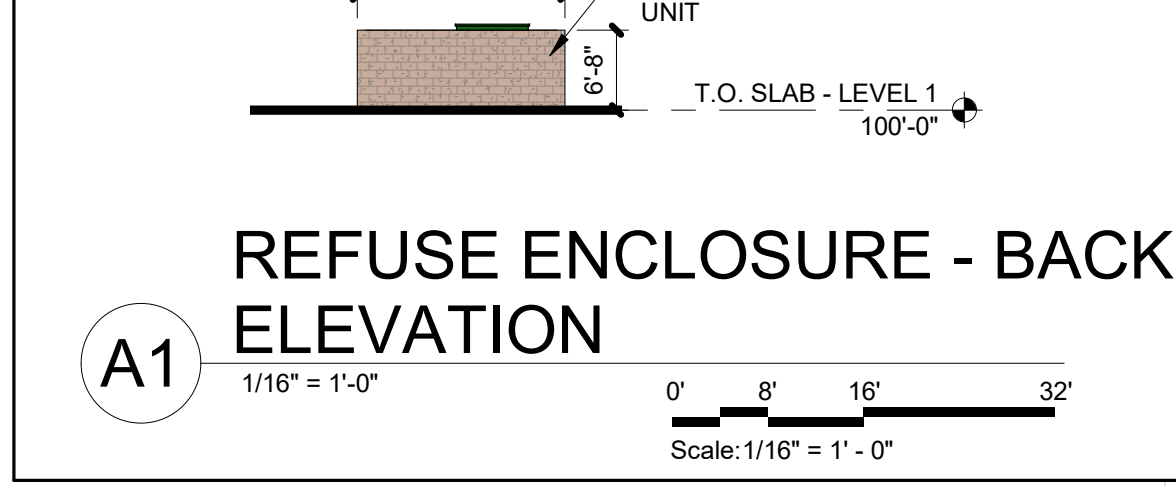
B1 REFUSE ENCLOSURE - SIDE ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



B3 REFUSE ENCLOSURE 1 - SIDE ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



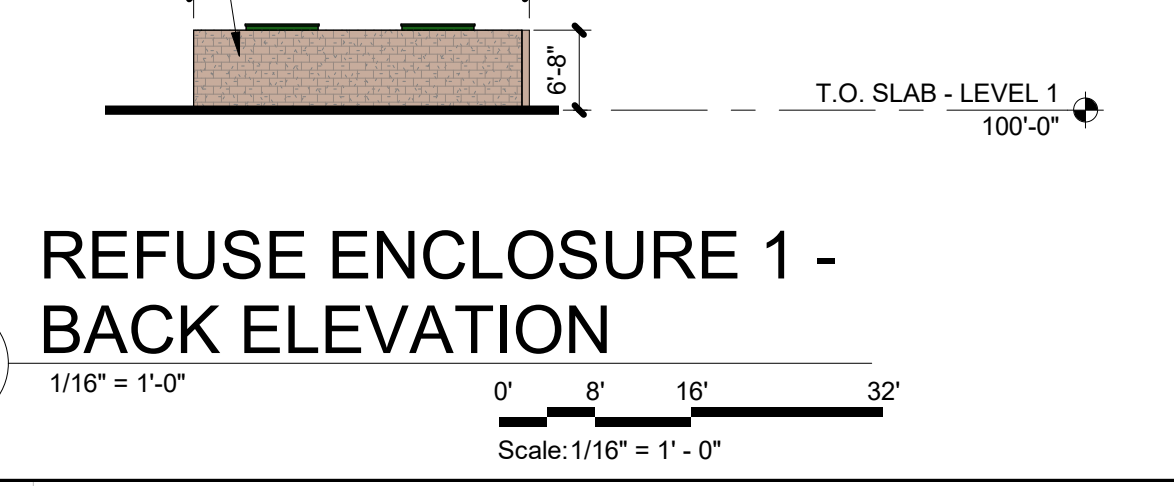
B4 BUILDING G - SIDE ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



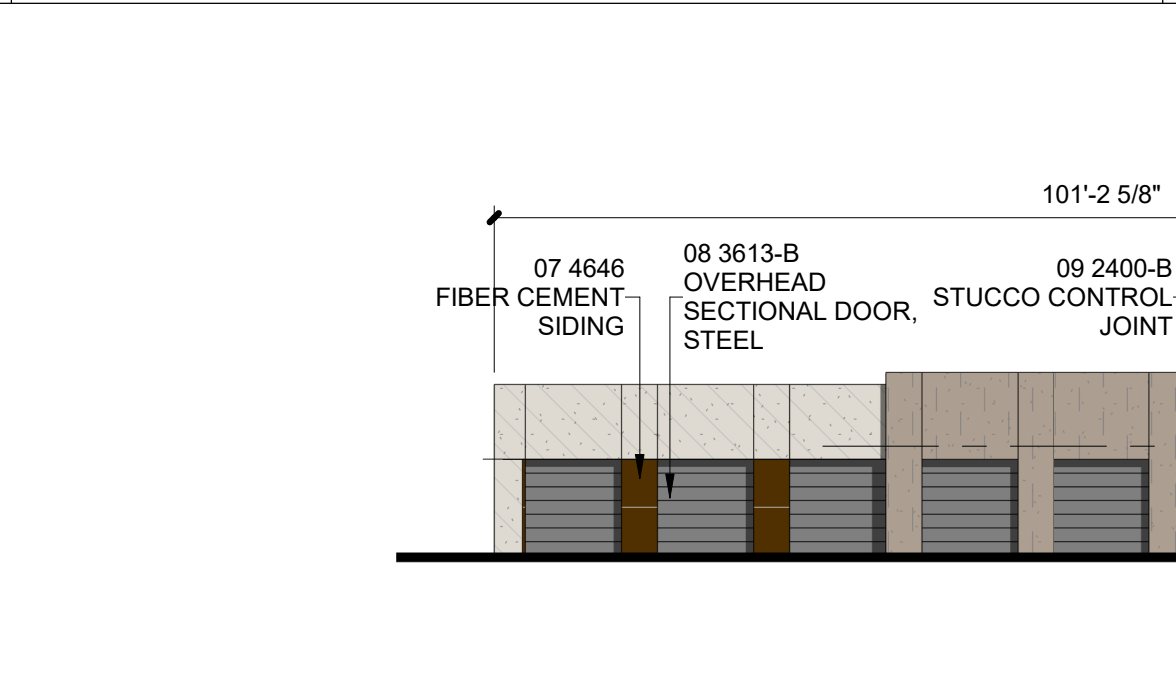
A1 REFUSE ENCLOSURE - BACK ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



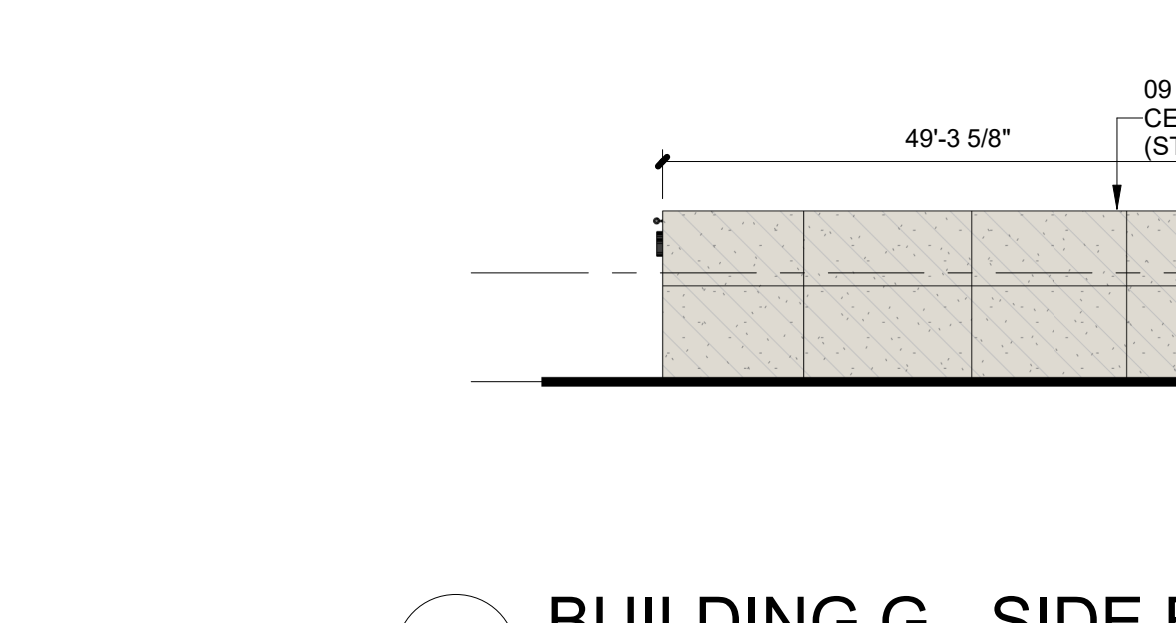
A3 REFUSE ENCLOSURE 1 - BACK ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



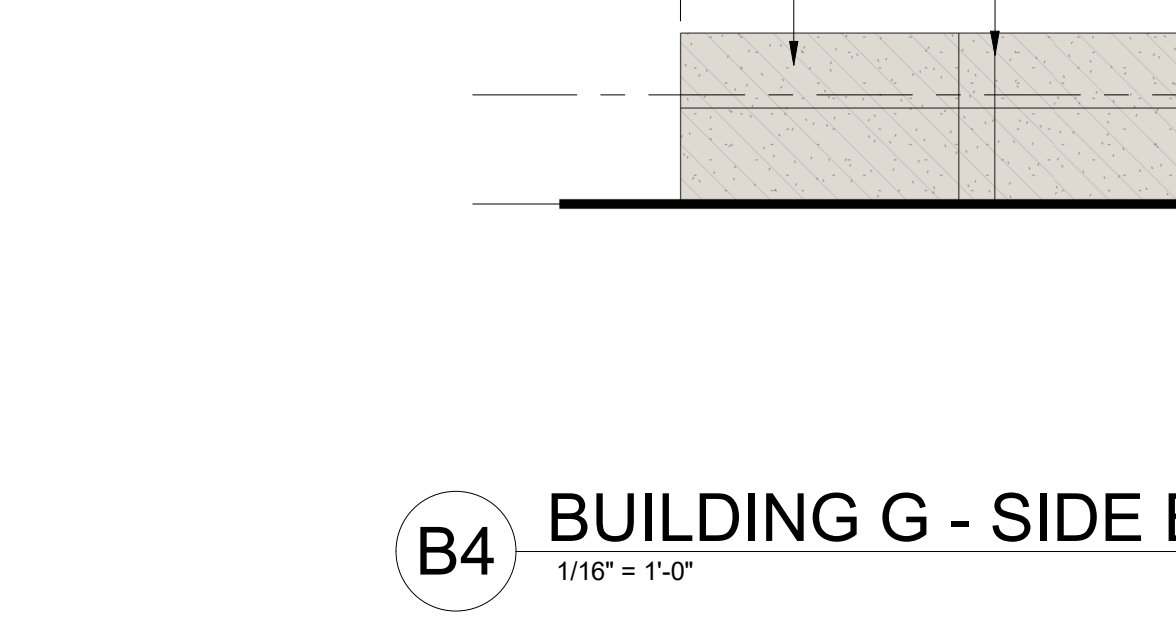
A4 BUILDING G - BACK ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



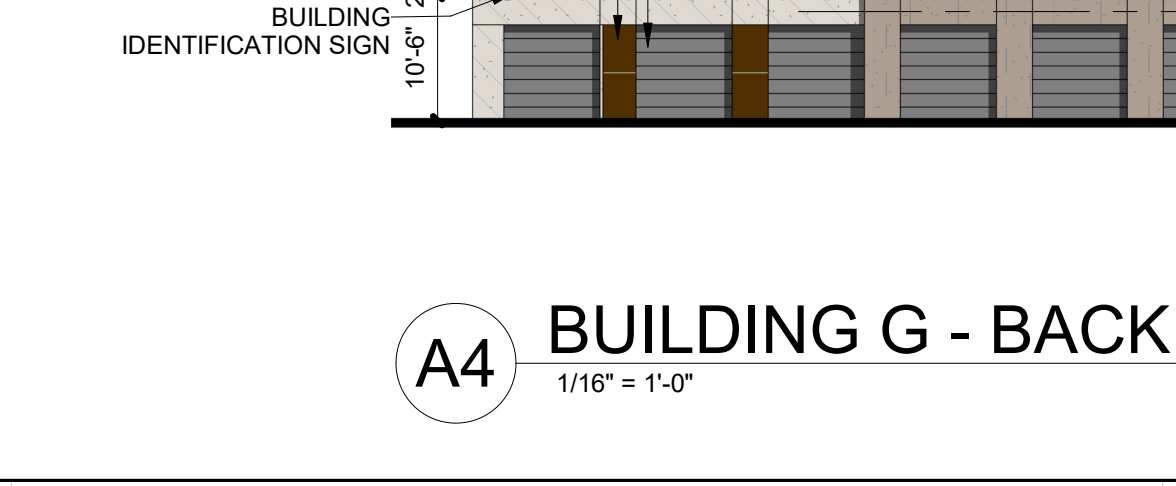
A2 BUILDING G - FRONT ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



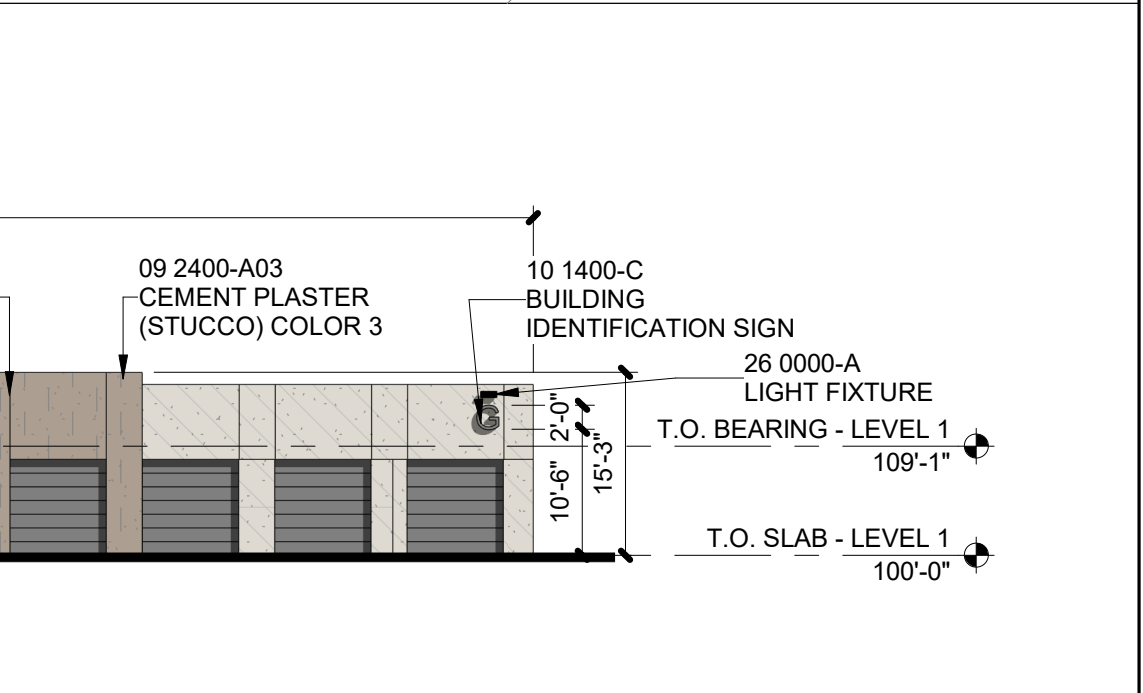
A4 BUILDING G - SIDE ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



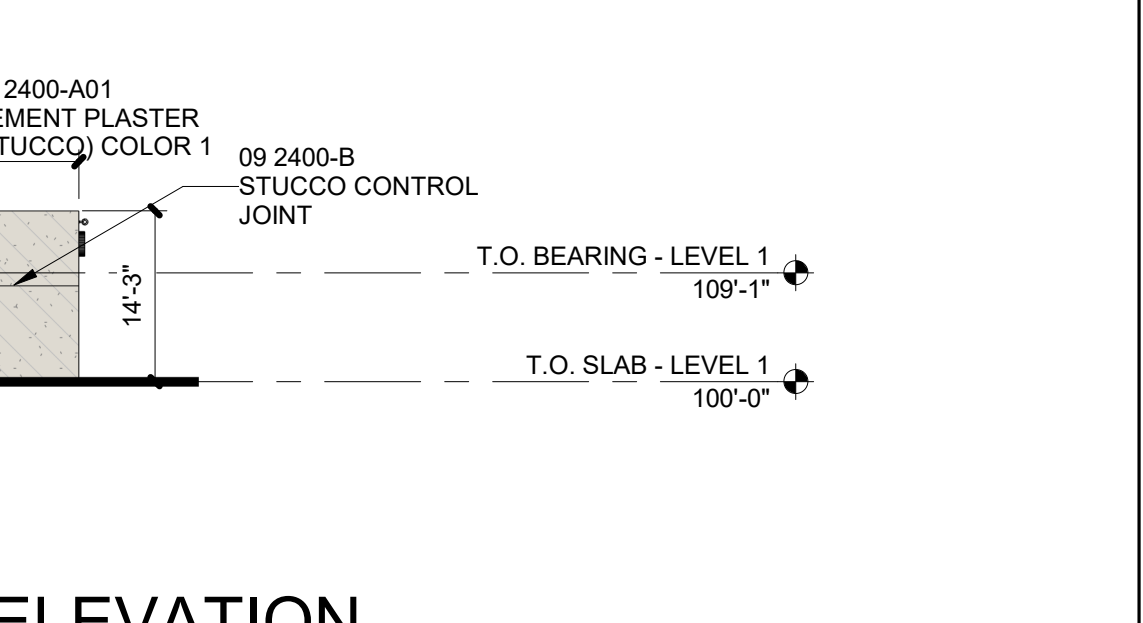
A4 BUILDING G - SIDE ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



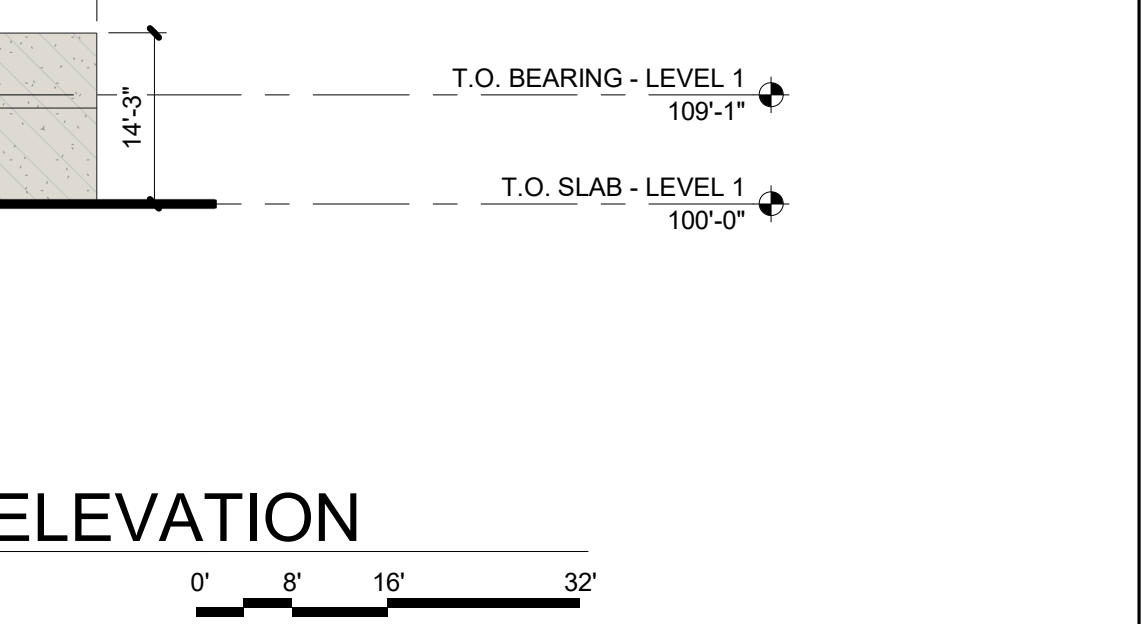
A4 BUILDING G - BACK ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



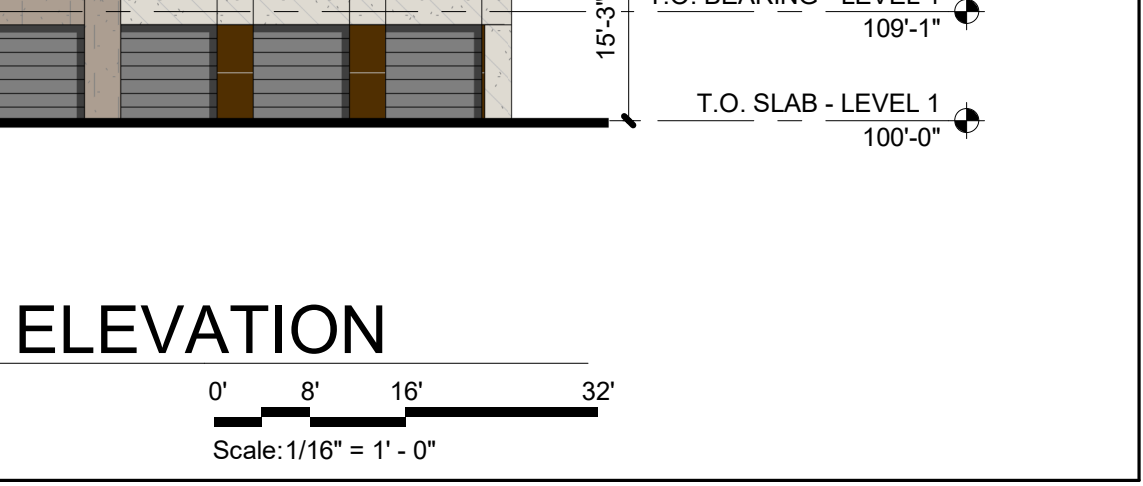
A4 BUILDING G - FRONT ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



A4 BUILDING G - SIDE ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



A4 BUILDING G - SIDE ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"



A4 BUILDING G - BACK ELEVATION
 1/16" = 1'-0"
 Scale: 1/16" = 1'-0"

SEAL

PROJECT

MESA DEL SOL-TRACT A
 (Tract A) UNIVERSITY BLVD.
 SE ALBUQUERQUE, NM 87106

DRB

REVISIONS

DRAWN BY CS - TD
 REVIEWED BY CWW - HFG
 DATE 22/12/16
 PROJECT NO: 22-0148

DRAWING NAME
BUILDING G & MISC. - EXTERIOR ELEVATIONS

SHEET NO
SDP-5.7

4/5/2023 2:00:56 PM

15 Required Content of Notice at Submittal

3. Proof of emailed notice to affected Neighborhood Association representatives

Rebekah Longstreet

From: Rebekah Longstreet
Sent: Wednesday, April 5, 2023 2:47 PM
To: catburns87106@gmail.com
Subject: Site Plan - Administrative Submittal Mesa del Sol Tract A
Attachments: Form_Burns.pdf; Site Plan.pdf

Dear Neighborhood Association Representative,

As you have been made aware in our previous notification, Dekker Perich Sabatini (DPS), as the agent for Woodbury Corporation, is requesting approval from the City of Albuquerque Development Facilitation Team (DFT) for an administrative site plan to allow a mixed-use multi-family development located at the southwest corner of University West Blvd SE and Stryker Rd SE. The subject property spans approximately 9.5 acres along Stryker Rd SE from University West Blvd SE to Dekooning Ave SE. In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K)(2), the project team is notifying you of this application submittal. On January 5, 2023, a facilitated pre-submittal neighborhood meeting was held to discuss the proposed project.

The proposed development would include 405 apartment units, commercial retail spaces, and private garages. The apartment buildings will include a mix of unit types including studios, one-bedroom, and two-bedroom units. The proposed development complies with the development standards of the mixed-use Community Center designation as described in the Mesa del Sol Level B Framework Plan.

Attached are the site plan and elevations for the proposed development. If you have any questions or concerns, please feel free to contact me at rebekahl@dpsdesign.org or at (505)761-9700.

Sincerely,



Rebekah Longstreet
Urban Planning Associate
Dekker Perich Sabatini
505.761.9700 / dpsdesign.org

We're growing! [Join our team](#) and help us build the future.

Rebekah Longstreet

From: Rebekah Longstreet
Sent: Wednesday, April 5, 2023 2:47 PM
To: David Mills
Subject: Site Plan - Administrative Submittal Mesa del Sol Tract A
Attachments: Form_Mills.pdf; Site Plan.pdf

Dear Neighborhood Association Representative,

As you have been made aware in our previous notification, Dekker Perich Sabatini (DPS), as the agent for Woodbury Corporation, is requesting approval from the City of Albuquerque Development Facilitation Team (DFT) for an administrative site plan to allow a mixed-use multi-family development located at the southwest corner of University West Blvd SE and Stryker Rd SE. The subject property spans approximately 9.5 acres along Stryker Rd SE from University West Blvd SE to Dekooning Ave SE. In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K)(2), the project team is notifying you of this application submittal. On January 5, 2023, a facilitated pre-submittal neighborhood meeting was held to discuss the proposed project.

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Attached are the site plan and elevations for the proposed development. If you have any questions or concerns, please feel free to contact me at rebekahl@dpsdesign.org or at (505)761-9700.

Sincerely,



Rebekah Longstreet
Urban Planning Associate
Dekker Perich Sabatini
505.761.9700 / dpsdesign.org

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Rebekah Longstreet
Urban Planning Associate
Dekker Perich Sabatini
505.761.9700 / dpsdesign.org

We're growing! [Join our team](#) and help us build the future.

Rebekah Longstreet

From: Rebekah Longstreet
Sent: Wednesday, April 5, 2023 2:47 PM
To: 'mandy@theremedyspa.com.com'
Subject: Site Plan - Administrative Submittal Mesa del Sol Tract A
Attachments: Form_Warr.pdf; Site Plan.pdf

Dear Neighborhood Association Representative,

As you have been made aware in our previous notification, Dekker Perich Sabatini (DPS), as the agent for Woodbury Corporation, is requesting approval from the City of Albuquerque Development Facilitation Team (DFT) for an administrative site plan to allow a mixed-use multi-family development located at the southwest corner of University West Blvd SE and Stryker Rd SE. The subject property spans approximately 9.5 acres along Stryker Rd SE from University West Blvd SE to Dekooning Ave SE. In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K)(2), the project team is notifying you of this application submittal. On January 5, 2023, a facilitated pre-submittal neighborhood meeting was held to discuss the proposed project.

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Sincerely,



Rebekah Longstreet
Urban Planning Associate
Dekker Perich Sabatini
505.761.9700 / dpsdesign.org

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Rebekah Longstreet

From: Rebekah Longstreet
Sent: Wednesday, April 5, 2023 2:49 PM
To: info@willsonstudio.com
Subject: Site Plan - Administrative Submittal Mesa del Sol Tract A
Attachments: Form_Willson.pdf; Site Plan.pdf

Dear Neighborhood Association Representative,

As you have been made aware in our previous notification, Dekker Perich Sabatini (DPS), as the agent for Woodbury Corporation, is requesting approval from the City of Albuquerque Development Facilitation Team (DFT) for an administrative site plan to allow a mixed-use multi-family development located at the southwest corner of University West Blvd SE and Stryker Rd SE. The subject property spans approximately 9.5 acres along Stryker Rd SE from University West Blvd SE to Dekooning Ave SE. In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K)(2), the project team is notifying you of this application submittal. On January 5, 2023, a facilitated pre-submittal neighborhood meeting was held to discuss the proposed project.

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Sincerely,



Rebekah Longstreet
Urban Planning Associate
Dekker Perich Sabatini
505.761.9700 / dpsdesign.org

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16 Additional Materials

1. Proof of notification sign posting

REQUEST

APPROVAL FOR USE AS A COMMUNITY DEVELOPMENT CENTER
The City of Phoenix is currently reviewing an application for approval to use the property located at 12345 N. 1st St., Phoenix, AZ 85018 as a community development center. The proposed use is for a community center that will provide a variety of services to the community, including but not limited to, job training, counseling, and social services. The City Planning Department Development Review at 303-624-3444.

Approved to be posted from 1/1/2024 to 12/31/2024.
By request from [Name], [Address], [City], [State], [Zip].
REFER TO FILE # 2024-000000



REQUEST

APPROVAL FOR ~~SITE PLAN REVIEW~~ ~~DEVELOPMENT~~ ~~PERMIT~~ ~~TERMINAL~~ ~~OR~~ ~~A~~ ~~NOSE~~
~~USE~~ ~~MULTI-PHASE~~ ~~DEVELOPMENT~~ ~~FOR~~ ~~WORLD~~ ~~CAPITAL~~ ~~LAND~~ ~~DEVELOPMENT~~ ~~REVIEW~~
~~FOR~~ ~~DEVELOPMENT~~ ~~PERMIT~~ ~~TERMINAL~~ ~~OR~~ ~~A~~ ~~NOSE~~

~~[REDACTED]~~

~~[REDACTED]~~ For information on this case or instruction on filing written comments, you may call the City Planning Department Development Review at 505-924-3946.

Required to be posted from 04/06/23 to 15 days after DPT Decision
By (applicant/agent) [REDACTED] Phone [REDACTED]

REFER TO FILE # SI-2023-00778

* It is illegal for an unauthorized person to remove or tamper with this sign (7-14-42) Revised Ordinance of Albuquerque NM 1994
Revision December 2022