

SITE PLAN ADMINISTRATIVE - DFT SUBMITTAL ROUTE 66 FLATS

01 | SITE PLAN DOCUMENTATION

INCLUSIVE OF:

- **DFT Application Form**
 - **Form P2**
 - **Form P**
 - **Zone Atlas Map**
- **Site Plan & Related Drawings**

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022**_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Form P with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- ___ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- ___ 7) Infrastructure List, if required for building of public infrastructure
- ___ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- ___ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- ___ 10) Completed Site Plan Checklist
- ___ 11) Letter of authorization from the property owner if application is submitted by an agent
- ___ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- ___ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- ___ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

___ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

___ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

___ 17) Sign Posting Agreement

___ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

___ Office of Neighborhood Coordination neighborhood meeting inquiry response

___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

___ Completed neighborhood meeting request form(s)

___ If a meeting was requested or held, copy of sign-in sheet and meeting notes

___ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

___ Proof of emailed notice to affected Neighborhood Association representatives

_ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

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- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Site Plan and related drawings
- ___ 5) Infrastructure List, if require
- ___ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- ___ 7) Letter of authorization from the property owner if application is submitted by an agent
- ___ 8) Solid Waste Department signature on Site Plan
- ___ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- ___ 10) Approved Grading and Drainage Plan
- ___ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

Legal Description & Location: TRACT 52, ATRISCO GRANT, UPC: 101005722814830517

Request Description: ROUTE 66 FLATS - SITE PLAN ADMINISTRATIVE APPLICATION

Hydrology:

- Sensitive Lands Analysis (5-2(C)) Approved NA
- Grading and Drainage Plan X Approved NA
- AMAFCA Approved X NA
- Bernalillo County Approved X NA
- NMDOT Approved X NA
- MRGCD Approved X NA

Renée C. Brissette
Hydrology Department

01/26/24
Date

Transportation:

- Traffic Circulations Layout (TCL) X Approved NA
- Traffic Impact Study (TIS) Approved X NA
- Neighborhood Impact Analysis (NIA) Approved X NA
- Bernalillo County Approved X NA
- MRCOG Approved X NA
- NMDOT Approved X NA
- MRGCD Approved X NA

Ernest Armijo
Transportation Department

1/26/2024
Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

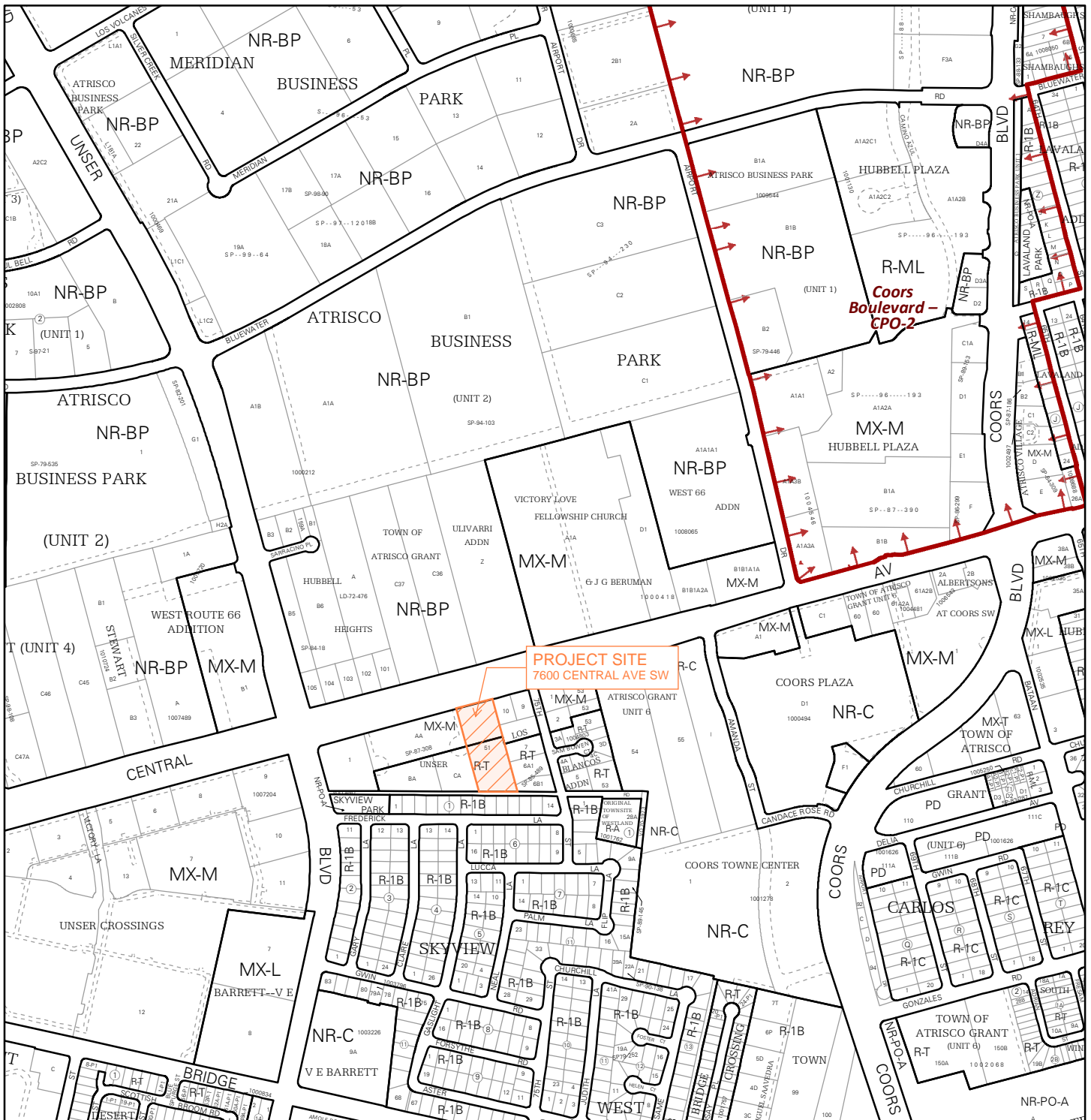
- Request for Availability submitted? X Yes No NA
- Availability Statement/Serviceability Letter Number 230629
- Note: Commitment for service is required prior to application approval.

[Signature]
ABCWUA

1/29/2024
Date


- Infrastructure Improvements Agreement (IIA*) Approved NA
- Solid Waste Department Signature on the Plan X Approved NA
- Fire Marshall Signature on the Plan X Approved NA

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

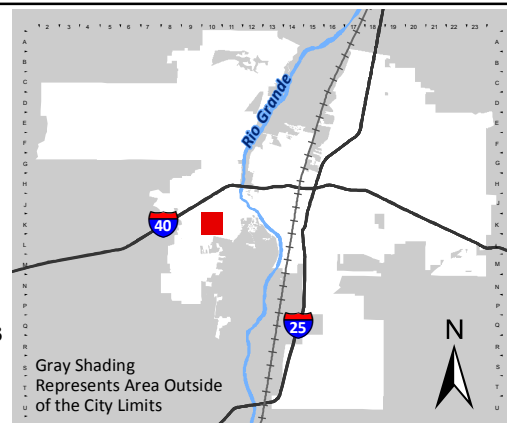


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>









IDO Zone Atlas May 2018




IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
K-10-Z

-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits



Feet
0 250 500 1,000

SITE PLAN & RELATED DRAWINGS

INCLUSIVE OF:

SDP-0.0 : Cover Sheet
SDP-1.0 : Architectural Site Plan
LS100 : Landscape Notes
LS101 : Overall Landscape Site Plan
LS102 : Landscape Site Plan
LS501 : Landscape Details
LS502 : Landscape Details
LP101 : Landscape Planting Plan
LP102 : Landscape Planting Plan
LP501 : Landscape Details
IR100 : Irrigation Notes
IR101 : Irrigation Plan
IR501 : Irrigation Details
PH-01 : Photometric Site Plan
PH-02 : Site Lighting Details
C101/C102 : Approved TCL Plans
C200 : Approved Hydrology
SDP-5.0/5.1/5.2 : Building Elevations
Fire 1 : Approval
A1.00 - Architectural Site Plan w/ Solid Waste Approval
Water Utility Authority Availability Statement

ROUTE 66 FLATS

7600 CENTRAL AVE SW
ALBUQUERQUE, NM 87121

LOT : 51 / BLOCK : 0000
SUBDIVISION : TOWN OF ATRISCO GRANT UNIT 6

UPC : 101005722814830517
LEGAL DESCRIPTION : ATRISCO GRANT W1/2 TR52 W2.39 AC

DRB PROJECT NUMBER:
2023-008589



ADMINISTRATIVE SITE PLAN APPROVALS

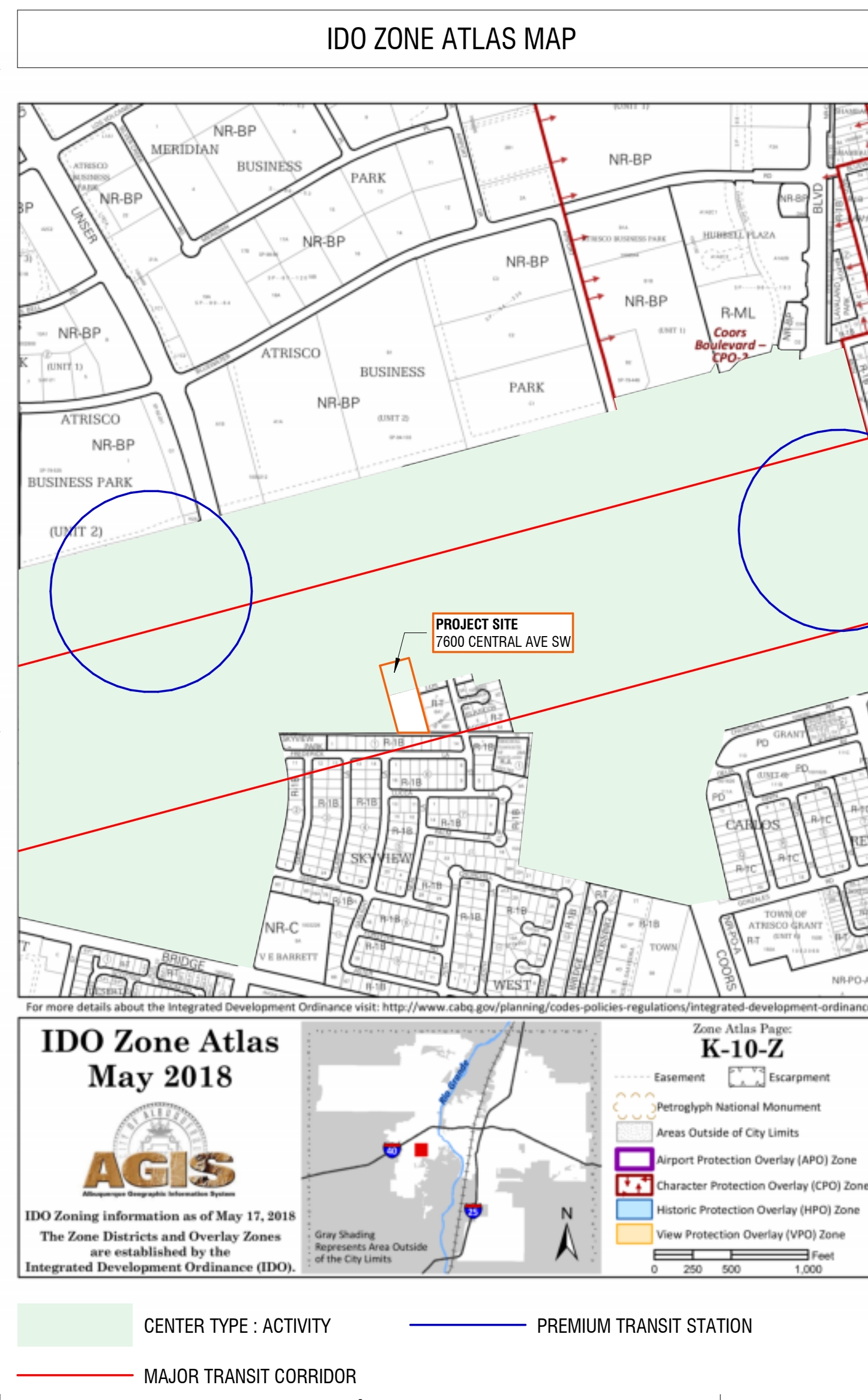
TCL (K10-0065) - APPROVED	01/19/2024
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
AVAILABILITY STATEMENT - SIGNED	08/14/2023
ABCWJA	DATE
HYDROTRANS # : K100065 - APPROVED	12/06/2023
HYDROLOGY	DATE
REF # : FP 23-014855 - APPROVED	08/23/2023
FIRE MARSHAL'S OFFICE	DATE
APPROVED	01/03/2024
SOLID WASTE DEPARTMENT	DATE

GENERAL NOTES

- FENCES, WALLS, SIGNS, AND ACCESSORY STRUCTURES ARE SUBJECT TO SEPARATE REVIEWS AND PERMITS.
- ANGLES SHOWN ARE EITHER 90 DEGREES OR A SUPPLEMENT OF THE ANGLE INDICATED.
- PRIVATE ROADWAYS WILL BE POSTED WITH "FIRE LANE" SIGNS AS REQUIRED BY THE DENVER FIRE DEPARTMENT.
- PARKING SPACES FOR PERSONS WITH DISABILITIES WILL BE CLEARLY DELINEATED WITH UPRIGHT SIGNS.
- APPROVAL FOR THIS PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH ADA REQUIREMENTS.
- SITE(S) SHALL BE LANDSCAPED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY (CO) DURING THE GROWING SEASON OF APRIL 1ST TO OCTOBER 31ST. AT ALL OTHER TIMES THE INDIVIDUAL SITE SHALL BE LANDSCAPED WITHIN 45 (FORTY-FIVE) DAYS OF THE START OF THE FOLLOWING GROWING SEASON.
- AN ACCESS EASEMENT FOR EMERGENCY SERVICES IS HEREBY GRANTED ON AND ACROSS ALL AREAS FOR POLICE, FIRE, MEDICAL, AND OTHER EMERGENCY VEHICLES AND FOR THE PROVISION OF EMERGENCY SERVICES.
- ALL LANDSCAPED AREAS SHALL BE IRRIGATED WITH UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. TREES, SHRUBS, AND DECORATIVE GRASS WILL BE IRRIGATED BY A SEPARATE ZONE FROM SOCGRASS. THIS INCLUDES TREES PLANTED IN SOCGRASS AREAS. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUTOFF INSTALLED.
- PRIVATE ROADWAYS ARE NON-DEDICATED STREETS AND WILL NOT BE MAINTAINED BY THE CITY AND COUNTY OF DENVER.
- RESPONSIBILITY FOR THE MAINTENANCE OF THE COMMONLY OWNED LAND AND STORM WATER DETENTION FACILITY CONSTRUCTED AS PART OF THIS DEVELOPMENT WILL BE THAT OF THE HOME OWNERS ASSOCIATION / PROPERTY OWNER(S) OF PARCEL(S).

SNOPP
 architecture
 301 W. 45TH AVE • DENVER, CO 80216 • 303.433.4094
 CHAD H. HOLTZINGER
 NO. 8016
 REGISTERED ARCHITECT
 01/26/2024

HIGH DESERT HOUSING



PROGRAM MATRIX

PERCENT of TTL	Bed / Bath	Name	Av NLA	QTY	TTL	Balcony	TTL	NOTES
91.7%	1/1	Unit 1.0	350	44	22,000	0	0	
6.3%	1/1	Unit 1.0	320	3	1,960	0	0	Type A units
2.1%	2/1	Unit 2.0	775	1	775	0	0	Property Manager Unit
			Multi Family Average SF	506.98	48	24,335	0	Total
			Apartment RSF			7,949		Floorplate Efficiency
			Core / Circulation			3,000		5'-0" corridors, MEP
			Leasing / Lobby / Amenity			600		Includes all space on Level 1
			Maintenance					Include Bedbug & Street
			GLA			35,884		Parking & Balconies not included
			GRA			0		
			GRA			35,884		

Zone District	MX-M and R-T	On-Site Parking		
		Reduction	Req'd	Provided
Parking		Units	Cars	Cars
Zoning Requirement	1.2 / unit 1 bedroom 1.6 / unit 2 bedroom	47	56	0
Amenity	3 / 1,000sf 3,000+ 3 x 3	1	9	0
Total required			66	
<i>(max allowed reductions)</i>				
EV Stalls (10%)	-1			
<i>(2 car reduction per station)</i>				
Proximity to Transit (20% reduction)		20	-20	40
<i>reductions round up</i>				
Motorcycle parking	1 per 25 cars		2	2
Bicycle parking	10%		7	24
Loading Space / NA				
Open space				
1 bedroom - 225SF	225	47	10,575	285
2 bedroom - 285SF	285	1	10,860	

DEVELOPMENT STATISTICS

SITE AREA:	2.38 ACRES (103,679 SF)
BUILDING FOOTPRINT:	14,068 SF
PARKING / DRIVE LANES:	26,940 SF
DETENTION / WG:	10,080 SF
OPEN SPACE PROVIDED:	52,591 SF
OPEN SPACE REQUIRED:	10,860 SF
1-BEDROOM / 225 SF	10,575 SF
2-BEDROOM / 285 SF	285 SF

BUILDING & CODE INFORMATION

OCCUPANCY	R-2, A-3, B
CONSTRUCTION TYPE	V-A
SPRINKLER SYSTEM	NFPA 13R
NUMBER OF STORIES	3
GROSS BUILDING AREA	35,884 SF
ZONING / MULTIFAMILY CENTER TYPE	MX-M (IDO : 4-3(B)(8) & R-T (IDO : 4-3(D)(1))
CITY DEVELOPMENT AREA	ACTIVITY (IDO : 14-16-7-1)
MAJOR TRANSIT CORRIDOR	AREA OF CHANGE (IDO : 14-16-7-1)
CITY COUNCIL	YES (IDO : 14-16-7-1)
MRA W/ ADOPTED PLAN OVERLAY ZONE	DISTRICT 3 WEST CENTRAL
PRIMARY ST	CENTRAL AVE SW / RTE 66
DWELLING UNITS TOTAL	(47) 1 BEDROOM, (1) 2 BEDROOM 48
SURFACE PARKING TOTALS	40 SPACES 2 MOTORCYCLE SPACES 24 BICYCLE SPACES
JURISDICTION	ALBUQUERQUE
BUILDING CODES	2021 NEW MEXICO RESIDENTIAL BLDG CODE 2021 NEW MEXICO MECH CODE 2021 NEW MEXICO PLUMB CODE 2020 NEW MEXICO ELEC CODE
LOCAL AMENDMENTS	2022 UNIFORM ADMINISTRATIVE CODE OF THE CITY OF ALBUQUERQUE
ENERGY REQUIREMENTS:	2018 INTERNATIONAL ENERGY CONSERVATION CODE Bernalillo County, Climate Zone 4B MFA DESIGN STANDARDS FOR FUNDING HERS certification of 55 or less

STATISTICAL INFORMATION

ZONE DISTRICT	MX-M & R-T	SQ. FT.	ACRES
GENERAL ZONE LOT INFORMATION			
ZONE LOT SIZE (GROSS PROJECT AREA)		103,679 GSF	2.38 ACRES
AREA TO BE DEED FOR ADDITIONAL RIGHT OF WAY		N/A	N/A
NET PROJECT AREA (AFTER DEEDING OF ANY NEEDED PUBLIC RIGHT OF WAY)		N/A	N/A
PRIMARY AND SIDE STREET DESIGNATIONS	PRIMARY ST = CENTRAL AVE. SW		
PROPOSED USES	AFFORDABLE HOUSING		
NUMBER OF DWELLING UNITS (RESIDENTIAL ONLY)	48 UNITS		
GROSS FLOOR AREA FOR EACH USE (FOR NON RESIDENTIAL AND MIXED USE PROJECTS)	35,884 GSF		
COMMUNITY GARDEN	6,000 SF		
BUILDING FORM USED			
DESIGN ELEMENTS	REQUIRED	PROVIDED	
BUILDING HEIGHT, FEET (MAX)	48'	38'-4"	
USABLE OPEN SPACE (MIN) - 1BR : 225 SF/UNIT, 2BR : 285 SF/UNIT	225 / UNIT = 10,575 SF 285 / UNIT = 285 SF	YES YES	
SETBACKS	REQUIRED	PROVIDED	
PRIMARY STREET (MIN/MAX)	5'	44'-0"	
SIDE STREET (MIN/MAX)	5'	N/E : 17'-3" N/W : 60'-5"	
REAR (MIN/MAX)	15'	299'-5"	
PARKING			
STANDARD SPACES (1 BEDROOM)	1.2 / UNIT = 56	56	
STANDARD SPACES (2 BEDROOM)	1.6 / UNIT = 1	1	
STANDARD SPACES (AMENITY)	3 / 1000 SF = 10	9	
TRANSIT CORRIDOR REDUCTION (20% RED.)	20	20	
EV SPACES (10% MAX)	10% OF 67 = 6.7	6	
EV STALL REDUCTION (10% RED. - 2 CAR REDUCTION PER STALL)	6 STALLS	-12	
ACCESSIBLE (2% = 36 X 02)	1	2	
TOTAL	41	43	
BICYCLE (3 SPACES OR 10% OF REQUIRED PARKING, GREATER)	10% OF 67 = 6.7	24 PER MFA	
MOTORCYCLE (1 PER 25 CARS)	67 / 25 = 2.68	4	
GROUND STORY ACTIVATION (TRANSPARENCY)	REQUIRED	PROVIDED	
TOTAL TRANSPARENCY PRIMARY STREET (%) - ACTIVITY CENTER	30%	30%	
TOTAL TRANSPARENCY SIDE STREET (%)	N/A	N/A	

APPLICABLE IDO STANDARDS

ALLOWABLE USES	TABLE 4-2-1 RESIDENTIAL USE - DWELLING, MULTI-FAMILY (MX-M) TABLE 4-2-1 COMMERCIAL USE - COMMUNITY GARDEN (R-T)
USE SPECIFIC STANDARDS	IDO SECTION 4-3(B)(8) / IDO SECTION 4-3(D)(1)(A)
DIMENSIONAL STANDARDS - TABLES & EXCEPTIONS	IDO SECTION 5-10(D)(1) MIXED-USE ZONE DISTRICT, TABLES 5-12 (MX-M) IDO SECTION 5-1(C)(1) RESIDENTIAL ZONE DISTRICT, TABLE 5-1-1 (R-T STANDARDS)
SITE DESIGN & SENSITIVE LANDS	N/A
SUBDIVISION OF LAND	N/A
PARKING AND LOADING	IDO SECTION 5-5(C)(1) OFF-STREET PARKING CALCULATIONS TABLE 5-5-1 MINIMUM OFF-STREET PARKING REQUIREMENTS IDO SECTION 5-5(C)(5)(c) REDUCTION FOR PROXIMITY TO TRANSIT IDO SECTION 5-5(C)(6)(a) ELECTRIC VEHICLE CHARGING CREDIT IDO SECTION 5-5(F)(2)(b) DESIGN, ACCESS & CIRCULATION
WALLS AND FENCES	N/A
OUTDOOR AND SITE LIGHTING	IDO SECTION 5-8(D)(1) GENERAL DESIGN AND ILLUMINATION
NEIGHBORHOOD EDGES	N/A
SOLAR ACCESS	IDO SECTION 5-10(C) BUILDING HEIGHTS TABLE 5-10-1 SOLAR RIGHTS MAXIMUM BUILDING HEIGHTS
BUILDING DESIGN	IDO SECTION 5-11(D) MULTI-FAMILY RESIDENTIAL DEVELOPMENT FOR MULTI-FAMILY OUTSIDE OF UC-AS-PT AREAS IDO SECTION 5-11(E)(2)(b) FACADE DESIGN FOR ACTIVITY CENTERS
SIGNS	IDO SECTION 5-12(F)(2) SIGNS IN MIXED-USED AND NON-RESIDENTIAL ZONE DISTRICTS TABLE 5-12-2 ON-PREMISES SIGNS IN MIXED-USE AND NON-RESIDENTIAL ZONE DISTRICTS IDO SECTION 5-12(F)(4)(a) NEON SIGNS ALONG CENTRAL AVE
OPERATION & MAINTENANCE	IDO SECTION 5-13(B)(2) BUILDING AND STRUCTURES



ROUTE 66 FLATS
 7600 CENTRAL AVE SW
 ALBUQUERQUE, NEW MEXICO

REV:

DRAWN: Author
 REVIEWED: Approver
 DATE: 1/25/2024
 PROJECT #: 21018
 FILE: SITE PLAN SUBMITTAL
 SHEET TITLE: COVER SHEET

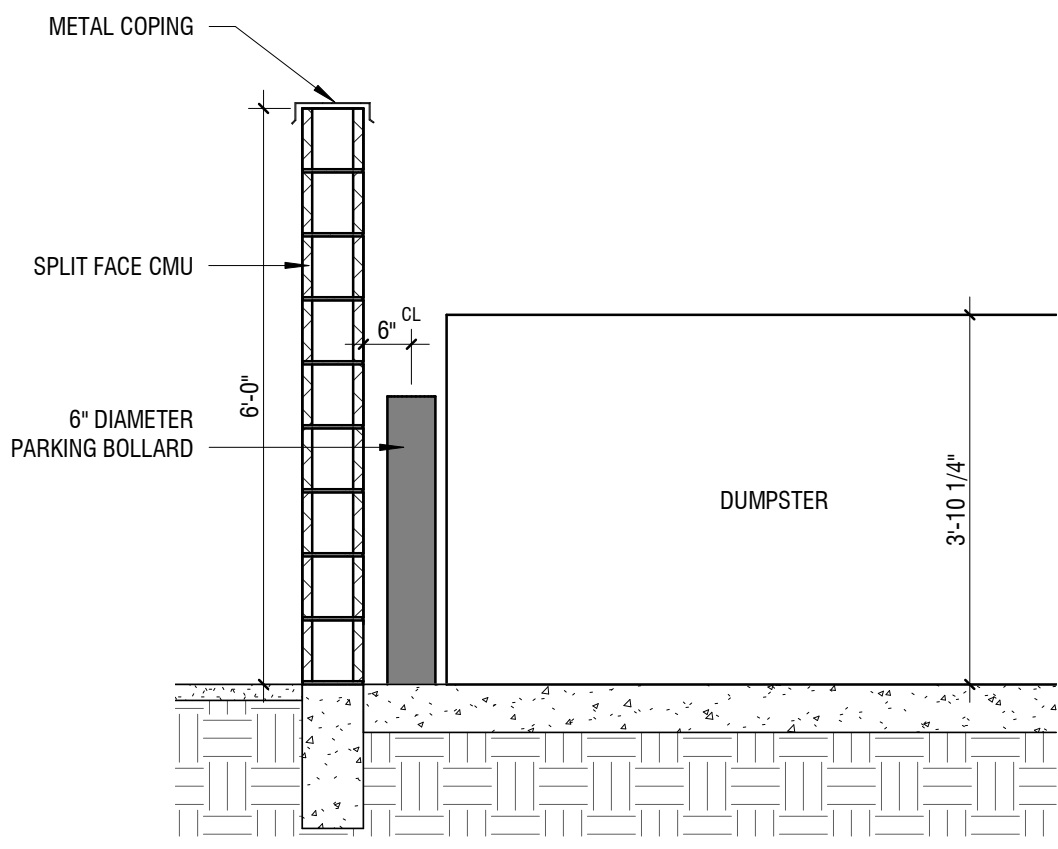
SCALE: 1/2" = 1'-0"

NO. **SDP-0.0**

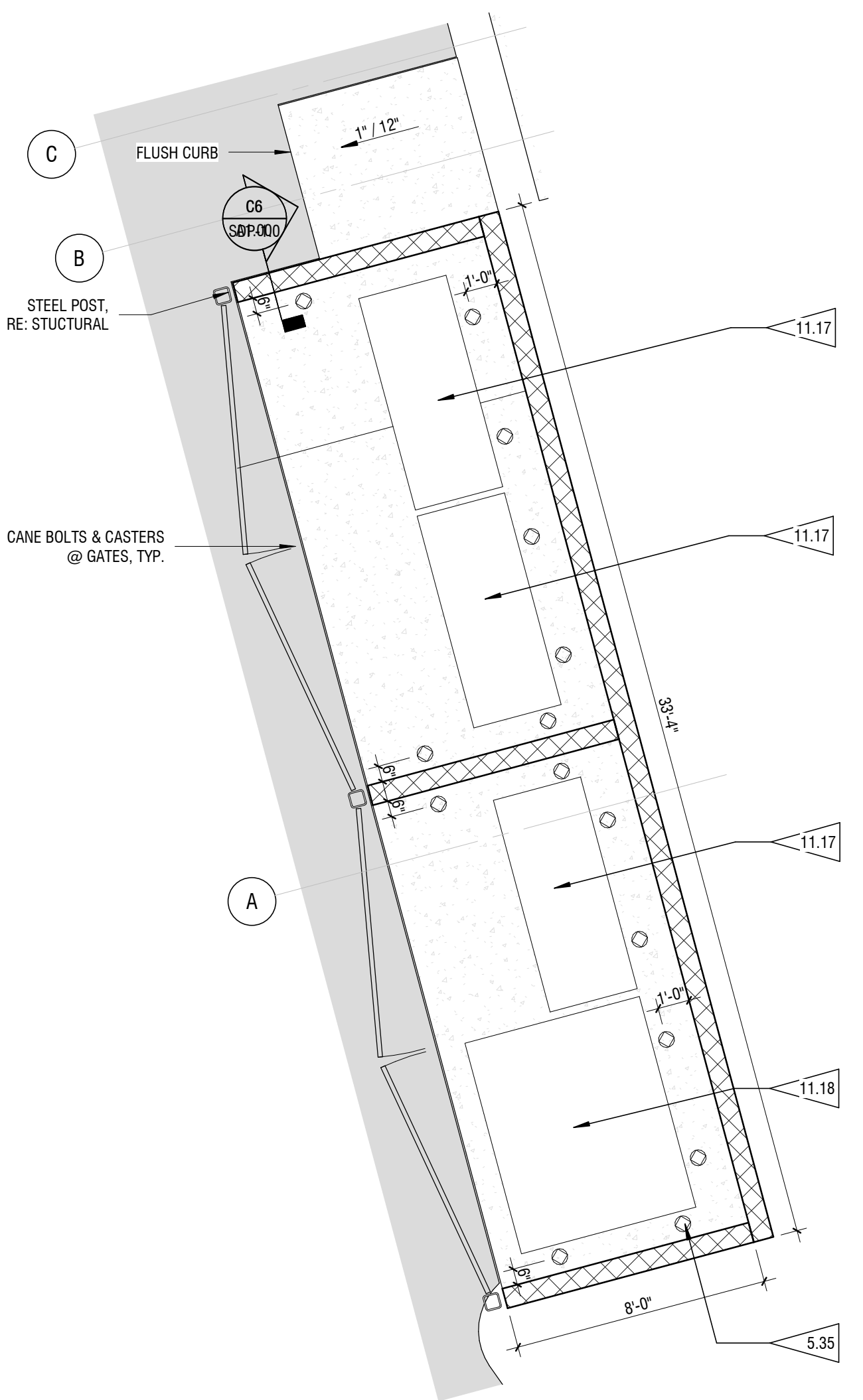
SOLID WASTE CALCS:
 48 UNITS x 0.55 = 26 CUBIC YARDS
 PROVIDED : 3 X 2 CUBIC YARD = 6 CUBIC YARDS, SERVICED 4X PER WEEK

RECYCLING CALCS:
 48 UNITS X 0.12 = 6 CUBIC YARDS

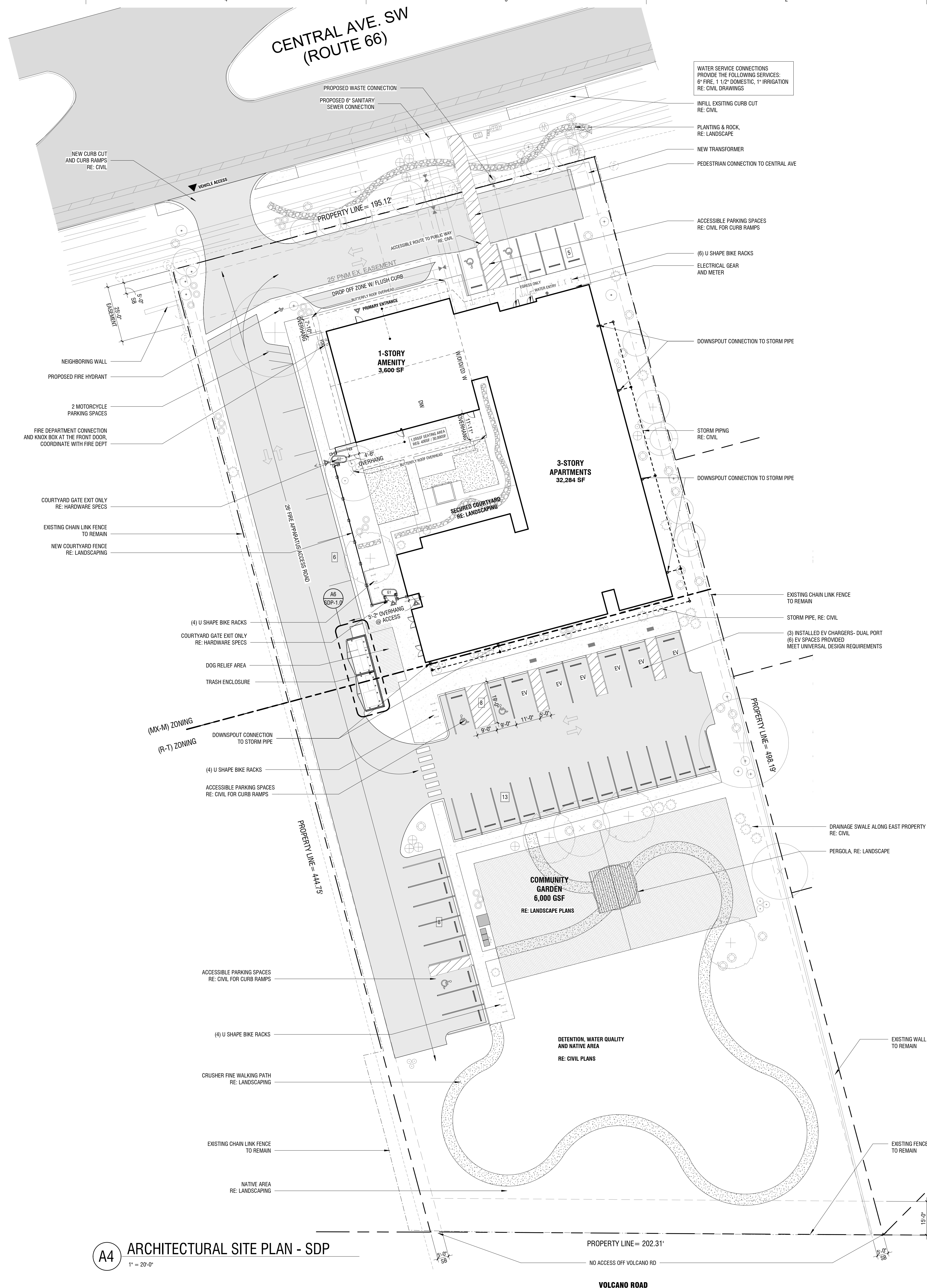
- NOTES:**
- RECYCLING CONTAINERS LOCATED ADJACENT TO THE REFUSE ENCLOSURE
 - NO DEVELOPMENT GATES
 - DUMPSTERS LOCATED AT SAME LEVEL AS DRIVE
 - NO TRASH COMPACTOR
 - NO TRASH CHUTES
 - NO OVERHEAD CLEARANCE RESTRICTIONS (MIN 14'-2" AT ACCESS, MIN 30' AT SERVICE)
 - PROJECT WILL NOT ALTER EXISTING TRASH SERVICE FOR THE SURROUNDING BUSINESSES DURING CONSTRUCTION
 - ACCESS TO REFUSE ALONG FIRE LANE, AMPLE TURN AROUND SPACE
 - TRASH ENCLOSURES SIZED PER CITY REQUIREMENTS



C6 TRASH ENCLOSURE WALL SECTION
 1/2" = 1'-0"



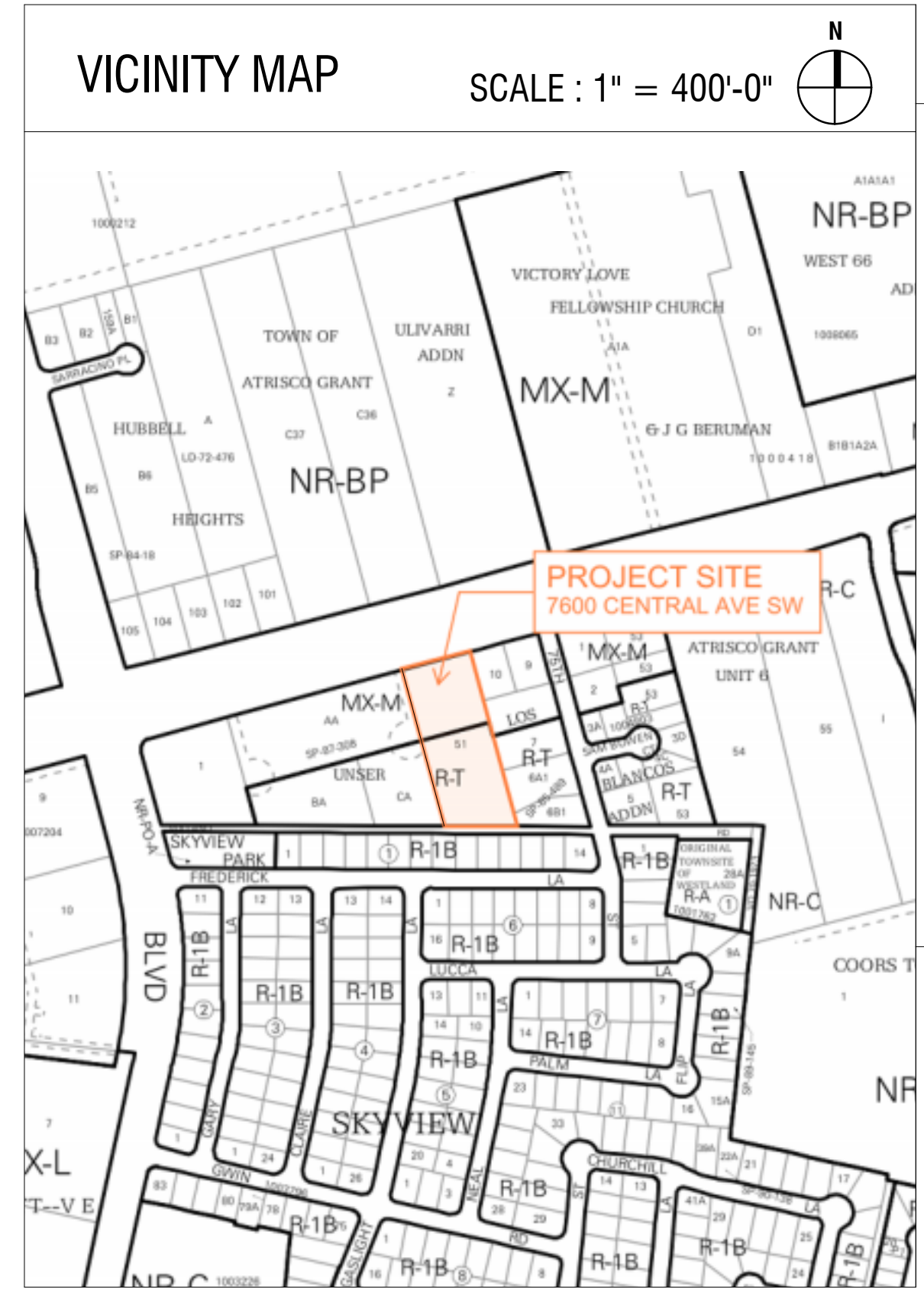
A6 TRASH ENCLOSURE ENLARGED PLAN
 1/4" = 1'-0"



A4 ARCHITECTURAL SITE PLAN - SDP
 1" = 20'-0"

STATISTICAL INFORMATION		
ZONE DISTRICT	MX-M & R-T	
GENERAL ZONE LOT INFORMATION	SQ. FT.	ACRES
ZONE LOT SIZE (GROSS PROJECT AREA)	103,679 GSF	2.38 ACRES
PRIMARY AND SIDE STREET DESIGNATIONS	PRIMARY ST = CENTRAL AVE. SW	
DESIGN ELEMENTS	REQUIRED	PROVIDED
BUILDING HEIGHT, FEET (MAX)	48'	38'-4"
USABLE OPEN SPACE (MIN) - 1BR : 225 SF/UNIT, 2BR : 285 SF/UNIT	225 / UNIT = 10,575 SF	YES
	285 / UNIT = 285 SF	YES
SETBACKS	REQUIRED	PROVIDED
PRIMARY STREET (MIN/MAX)	5'	44'-0"
SIDE STREET (MIN/MAX)	5'	N/E : 17'-3"
		N/W : 60'-5"
REAR (MIN/MAX)	15'	289'-5"
PARKING		
STANDARD SPACES (1 BEDROOM)	1.2 / UNIT = 56	56
STANDARD SPACES (2 BEDROOM)	1.6 / UNIT = 1	1
STANDARD SPACES (AMENITY)	3 / 1000 SF = 10	9
TRANSIT CORRIDOR REDUCTION (30% RED.)	20	20
EV SPACES (10% MAX)	10% OF 67 = 6.7	6
EV STALL REDUCTION (10% REQ. - 2 CAR REDUCTION PER STALL)	6 STALLS	-12
ACCESSIBLE (2% = 36 X .02)	1	2

SITE PLAN LEGEND	
VEHICLE ACCESS	VEHICULAR BOLLARD
RESIDENT ACCESS	PARKING WHEEL STOP
VEHICLE DIRECTIONAL ARROW	FIRE HYDRANT
PARKING STALL DESIGNATION	FIRE DEPARTMENT CONNECTION
ACCESSIBLE ROUTE	GAS METER
PLANTING AND SOFT-SCAPING, RE: LANDSCAPE	CONCRETE SIDEWALK, RE: CIVIL & LANDSCAPE
PAINTED STRIPING	R.O.W. DEDICATION



GENERAL NOTES

1. A KICK-OFF MEETING WITH THE LANDSCAPE ARCHITECT IS REQUIRED PRIOR TO BEGINNING ANY SITE OR LANDSCAPE WORK.
2. OBTAIN NECESSARY PERMITS FROM ALL JURISDICTIONS AS REQUIRED TO CONSTRUCT THE WORK OF THIS PROJECT. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH PLANS APPROVED BY CITY OF ALBUQUERQUE.
3. REFER TO SURVEY DRAWINGS AND OTHER AVAILABLE DOCUMENTS FOR PROPERTY LIMITS, EXISTING CONDITIONS, AND HORIZONTAL AND VERTICAL CONTROL.
4. PROVIDE AND MAINTAIN UTILITY LOCATES DURING ALL PHASES OF WORK. DO NOT DAMAGE UTILITY LINES/STRUCTURES. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BEFORE STARTING ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES, WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACT.
5. RESTORATION OF UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE AT THE CONTRACTOR'S EXPENSE.
6. THOROUGHLY REVIEW AND DOCUMENT THE SITE CONDITIONS PRIOR TO CONSTRUCTION.
7. THOROUGHLY REVIEW DRAWINGS, AND TECHNICAL SPECIFICATIONS AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
8. CONSTRUCTION INSTALLATION, MATERIALS, TESTING, AND INSPECTION SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES.
9. TAKE NECESSARY STEPS TO PROTECT AND MAINTAIN ALL FINISHED WORK FOR THE DURATION OF THE CONTRACT UNTIL FINAL ACCEPTANCE.
10. CONTRACTOR SHALL PROVIDE ALL MOCK-UPS, SUBMITTALS AND SHOP DRAWINGS FOR APPROVAL PER SPECIFICATIONS PRIOR TO CONSTRUCTION.
11. THE WORK OF THIS CONTRACT WILL NOT BE CONSIDERED COMPLETE UNTIL ALL AREAS HAVE BEEN CLEANED OF ALL DIRT AND DEBRIS AND ALL DAMAGED ITEMS ARE REPAIRED.
12. UNLESS OTHERWISE NOTED, EXISTING TREES WITHIN THE LIMIT OF WORK TO BE PROTECTED. VEHICLES, EQUIPMENT AND MATERIALS SHOULD NOT INTERFERE WITH THE LIMITS OF THE PROTECTED TREES AND REMAIN OUTSIDE OF THE DRIPLINE OR TREE PROTECTION LIMITS.
13. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ALL MATERIALS WITHIN DEDICATED RIGHT-OF-WAYS AND ALL MATERIALS AND WORKMANSHIP SHALL MEET THE ROADWAY DESIGN AND CONSTRUCTION STANDARDS OF THE APPROPRIATE GOVERNING AGENCY.
15. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR, AT NO ADDITIONAL COST TO THE OWNER, FOR DAMAGE OF PROPERTY OUTSIDE OF THE LIMIT OF WORK INDICATED ON THE DRAWINGS, AND FOR ANY DAMAGE CAUSED TO SITE ELEMENTS THAT ARE TO BE PROTECTED OR REINSTALLED.

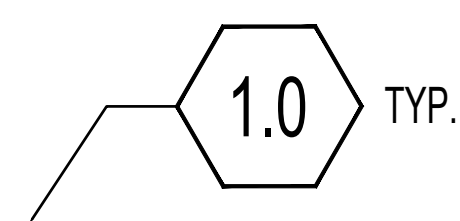
LAYOUT NOTES

1. CONTRACTOR TO IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND PROJECT MANAGER OF ANY DISCREPANCIES BETWEEN THE SITE SURVEY AND ACTUAL SITE CONDITIONS.
2. ADDITIONAL LAYOUT INFORMATION MAY BE PROVIDED TO THE CONTRACTOR PRIOR TO CONSTRUCTION AS NEEDED. ELECTRONIC FILES MAY BE OBTAINED BY THE CONTRACTOR FOR LAYOUT PURPOSES.
3. FINAL LOCATION OF ALL SITE FURNISHINGS, TREES & LANDSCAPE BOULDERS TO BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO FINAL INSTALLATION.
4. WRITTEN DIMENSIONS SHALL PREVAIL. DO NOT SCALE DIRECTLY FROM DRAWINGS.
5. ALL PAVED SURFACES SHALL HAVE SMOOTH, CONTINUOUS LINES OR CURVES AS INDICATED ON PLANS AND SHALL CONFORM TO GRADES INDICATED ON THE GRADING PLANS. ALL LINES OF PAVING TO BE PARALLEL UNLESS OTHERWISE NOTED.
6. ALL ANGLES TO MATCH THOSE NOTED ON DRAWING.
7. ADJUSTMENTS: IF THE CONTRACTOR BELIEVES IT IS NECESSARY TO MAKE AN ADJUSTMENT IN THE LAYOUT OF PROPOSED IMPROVEMENTS, SUCH ADJUSTMENT SHALL BE PROPOSED TO THE OWNER'S REPRESENTATIVE. NO ADJUSTMENTS WILL BE PERMITTED UNTIL IT HAS FIRST BEEN APPROVED BY THE OWNER'S REPRESENTATIVE.
8. REFER TO CIVIL PLANS FOR ADDITIONAL SITE LAYOUT INFORMATION.

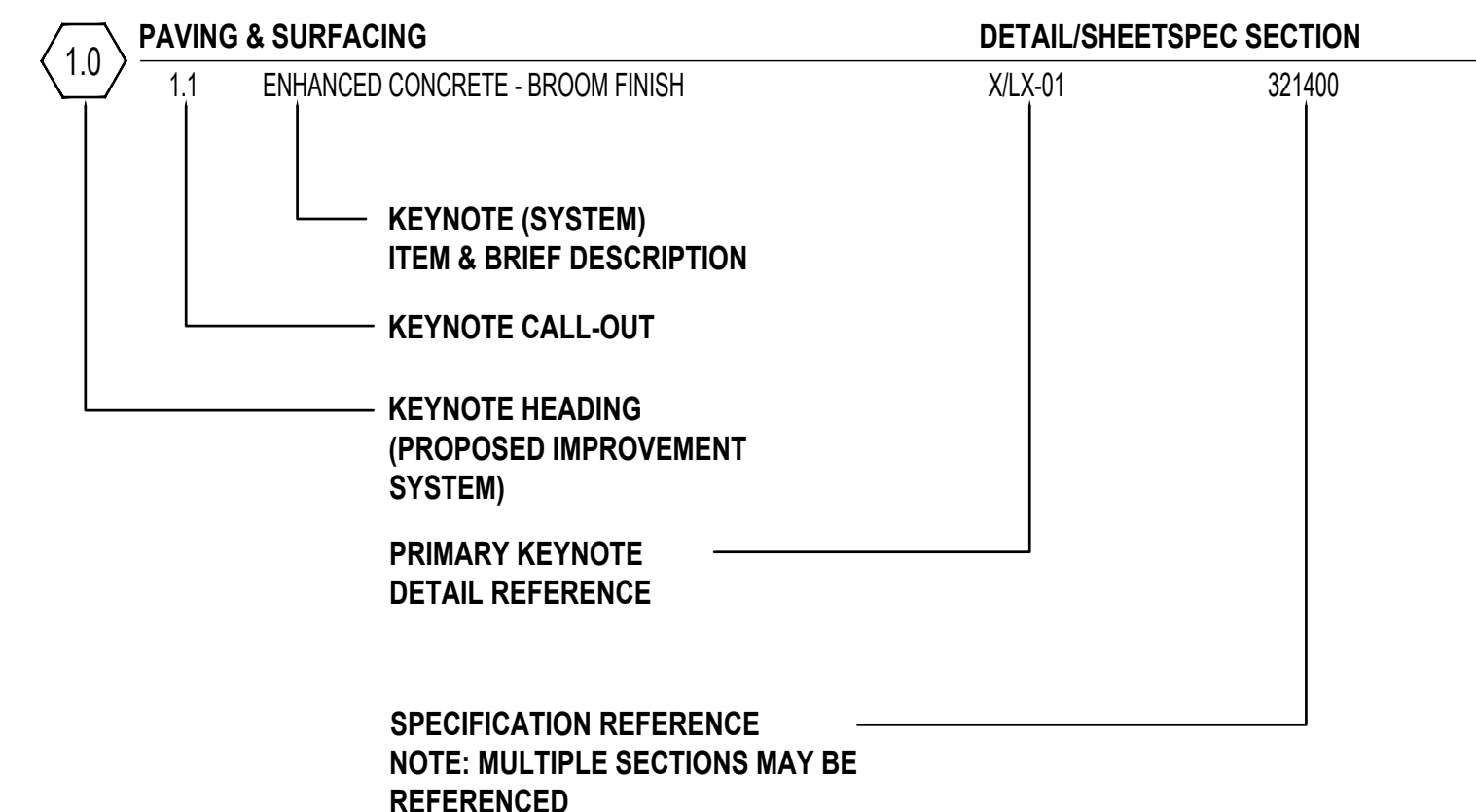
PLANTING PLAN NOTES

1. ALL PLANT MATERIAL SHALL MEET OR EXCEED CURRENT AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
2. STAKE ALL TREES BASED ON THESE DRAWINGS. LOCATIONS OF PLANT MATERIALS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE IN THE FIELD PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLAN. ANY DISCREPANCIES BETWEEN THE PLAN AND FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK.
3. NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICTS BETWEEN UTILITIES AND PLANTINGS TO COORDINATE FIELD ADJUSTMENTS.
4. TREES SHALL BE A MINIMUM OF 10' FROM ALL UTILITIES, UNLESS NOTED OTHERWISE.
5. IF THERE IS A DISCREPANCY BETWEEN THE PLANT COUNTS ON THE CALLOUTS AND/OR SCHEDULES ON THE PLANS AND THE ACTUAL NUMBER OF PLANTS DEPICTED ON THE PLANS, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING THE ACTUAL NUMBER OF PLANTS DEPICTED ON THE DRAWINGS.
6. THE CONTRACTOR IS RESPONSIBLE FOR WEED CONTROL FOR ALL LANDSCAPE AREAS UNTIL FINAL PROJECT ACCEPTANCE.
7. FINE GRADING MUST BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO SEEDING, SODDING, AND PLANTING.
8. POND STABILIZATION TO FOLLOW SECTION 1013

SAMPLE KEYNOTE DRAWING CALL-OUT:



SITE DETAIL KEYNOTES:

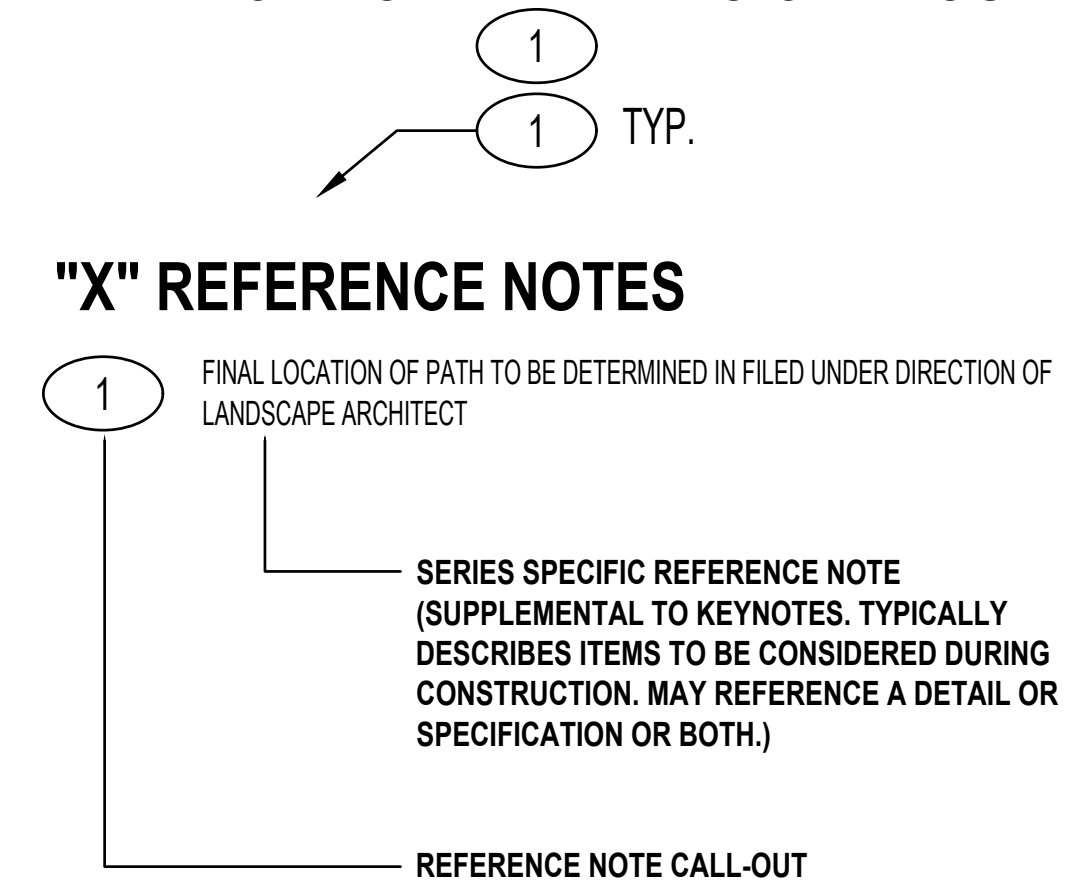


THE FOLLOWING LIST OF KEYNOTE HEADINGS (PROPOSED IMPROVEMENT SYSTEMS) HAVE BEEN INCORPORATED WITHIN THIS DRAWING SET:

- 0.0 EXISTING CONDITIONS
- 1.0 PAVING & SURFACING
- 2.0 STEPS & RAMPS
- 3.0 WALL, CURBS & EDGERS
- 4.0 RAILINGS, BARRIERS & FENCING
- 5.0 SITE FURNISHINGS & SIGNS
- 6.0 DRAINAGE
- 7.0 SITE LIGHTING & ELECTRICAL
- 8.0 PLANTING & LANDSCAPE
- 9.0 MISCELLANEOUS

NOTE: IF A KEYNOTE HEADING IS NOT INCORPORATED IN THE PROJECT, A "NOT USED AT THIS TIME" REFERENCE HAS BEEN PROVIDED.

SAMPLE REFERENCE NOTE DRAWING CALL-OUT:



"X" REFERENCE NOTES

NOTE: "X" REFERS TO DRAWING SERIES (i.e. SITE DEMOLITION REFERENCE NOTES). THERE SHOULD BE SPECIFIC REFERENCE NOTES FOR EACH DRAWING SERIES. HOWEVER, SOME NOTES MAY APPEAR ON MULTIPLE SERIES.

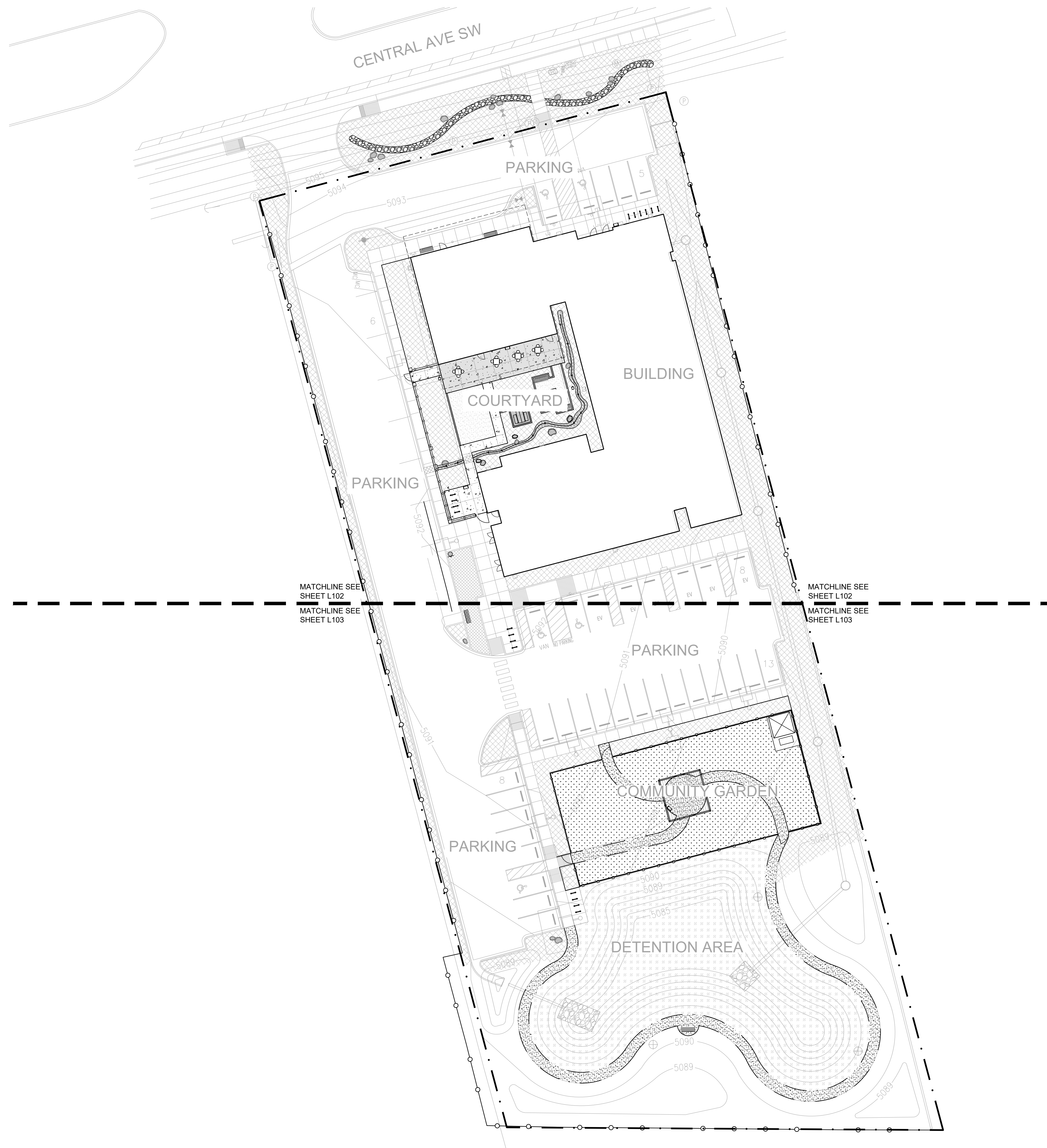
REV:

DRAWN: Author
 REVIEWED: Approver
 DATE: 1/15/2024
 PROJECT #: 21018
 SHEET TITLE:

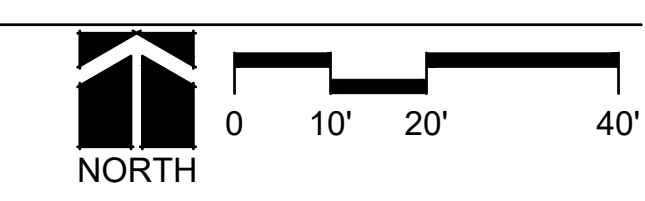
LANDSCAPE NOTES

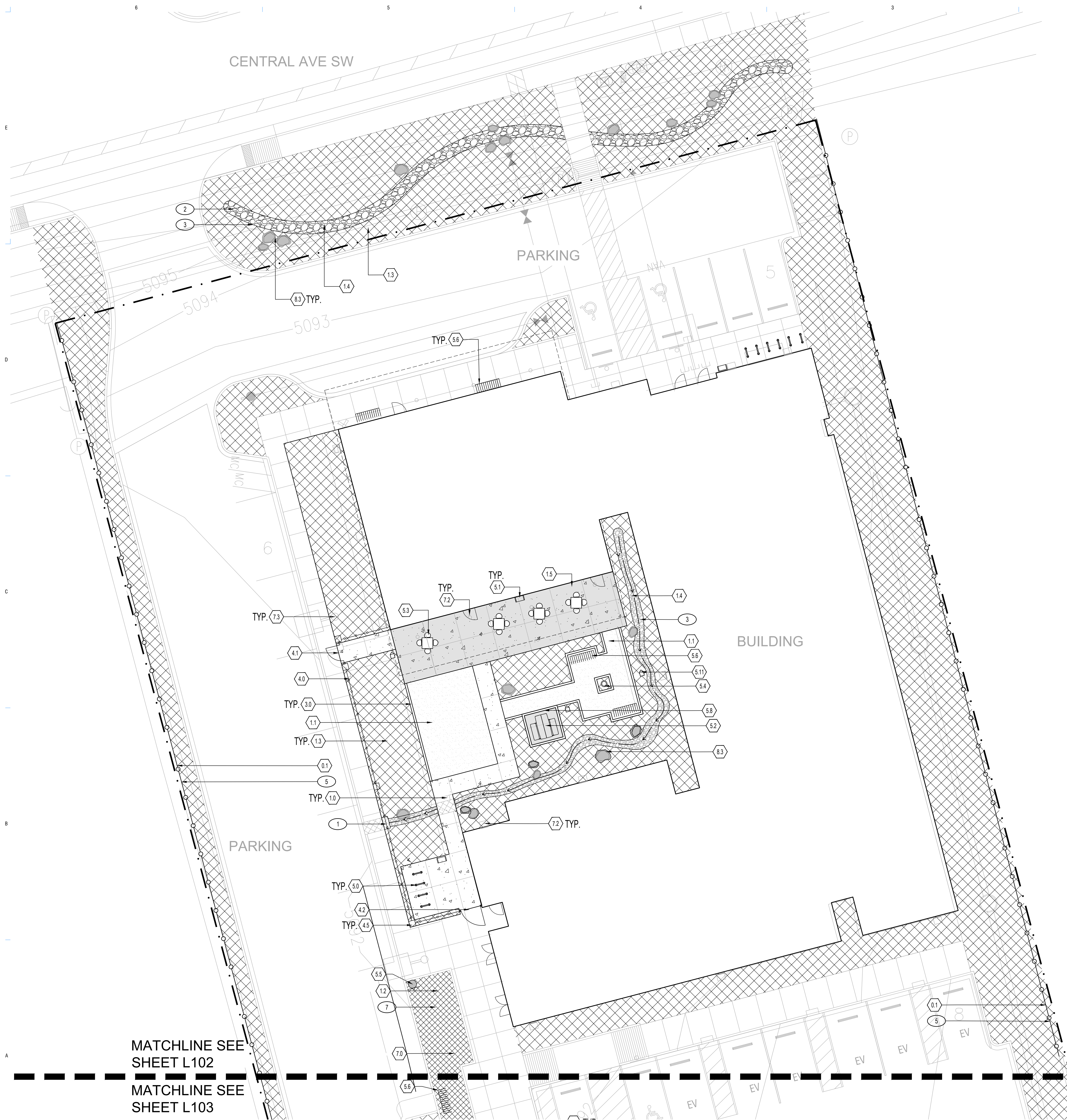
SCALE:

NO. **LS100**



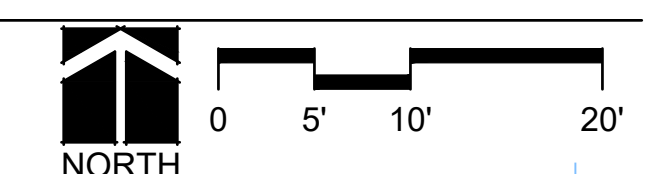
A OVERALL LANDSCAPE SITE PLAN & SHEET LAYOUT
SCALE: 1" = 20'





MATCHLINE SEE SHEET L102
 MATCHLINE SEE SHEET L103

A LANDSCAPE SITE PLAN
 SCALE: 1" = 10'



LEGEND

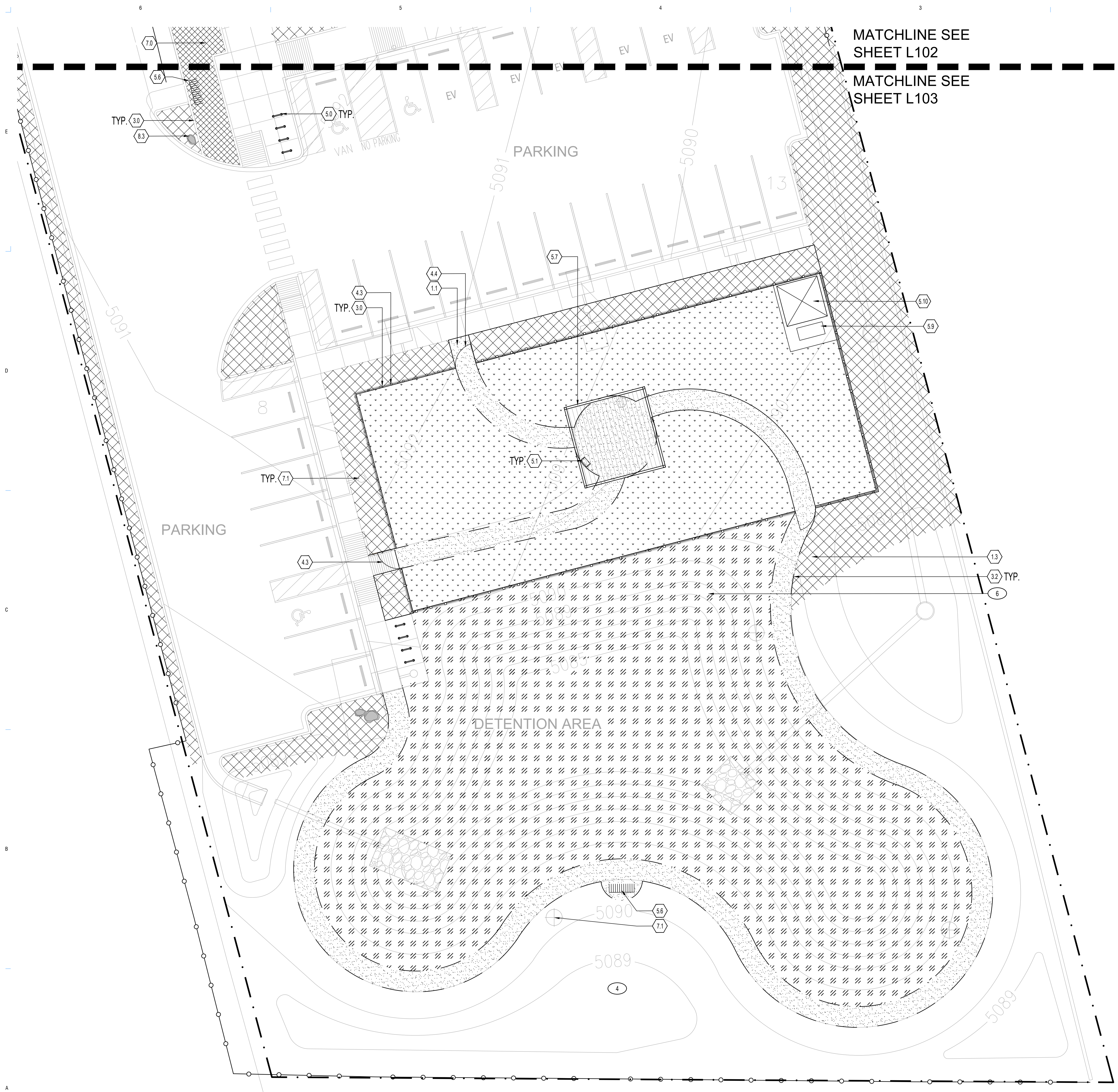
CONCRETE PAVING		PROPERTY LINE	
ENHANCED PAVING		COURTYARD FENCING	
CRUSHER FINES PAVING		GARDEN FENCING	
SQUEEGEE MULCH		STEEL EDGER	
DOG RUN GRAVEL		CONCRETE EDGER	
COBBLE MULCH		BUILDING OVERHANG	
COBBLE MULCH SWALE		FLOWLINE	
SMALL SCALE FARM LAND		SITE FURNISHINGS	
NATIVE SEED		GARDEN FEATURE	
		LANDSCAPE BOULDER	
		BIKE RACKS	
		TRASH/RECYCLING RECEPTACLES	
		PET WASTE STATION	
		BENCH	

SITE DETAIL KEYNOTES: SITE PLAN

0.0 EXISTING CONDITIONS		
0.1 EXISTING FENCE		
1.0 PAVING & SURFACING		DETAIL/SHEETSPEC SECTION
1.0 STANDARD CONCRETE - BROOM FINISH		RE: CIVIL
1.1 CRUSHER FINES		ALS501
1.2 DOG RUN GRAVEL		
1.3 SQUEEGEE MULCH		
1.4 COBBLE MULCH		
1.5 ENHANCED CONCRETE		
2.0 STEPS & RAMPS		DETAIL
2.X NOT USED		
3.0 WALLS, CURBS & EDGERS		DETAIL
3.0 FLUSH CONCRETE HEADER		BLS501
3.1 STEEL EDGER		HLS502
4.0 RAILINGS, BARRIERS & FENCING		DETAIL
4.0 COURTYARD FENCING		CILS501
4.1 NORTHERN COURTYARD GATE		DLS501
4.2 SOUTHERN COURTYARD GATE		EILS501
4.3 GARDEN FENCE		CILS502
4.4 GARDEN GATE		DLS502
4.5 COURTYARD FENCE COLUMN		CILS501
5.0 SITE FURNISHINGS & SIGNS		DETAIL
5.0 BIKE RACK		JLS501
5.1 LITTER & RECYCLING RECEPTACLE		
5.2 SITE FURNISHINGS		
5.3 SITE FURNISHINGS		
5.4 COURTYARD GARDEN FEATURE		
5.5 DOG WASTE STATION		
5.6 BENCH		
5.7 SHADE STRUCTURE-COMMUNITY GARDEN		BLS502
5.8 SHADE STRUCTURE-WORK BOOTH		FALS501
5.9 COMPOST BIN		
5.10 SHED		
6.0 DRAINAGE		DETAIL
6.1 COBBLE SWALE		GLS501
7.0 SITE LIGHTING & ELECTRICAL		DETAIL
7.0 TRANSFORMER		RE: ELECTRICAL
7.1 PEDESTRIAN POLE LIGHT		RE: ELECTRICAL
7.2 SCIENCE		RE: ELECTRICAL
7.3 STREET LIGHT		RE: ELECTRICAL
8.0 PLANTING & LANDSCAPE		
8.0 DECIDUOUS TREE IN PLANTING AREA		ALPS01
8.1 SHRUB PLANTING		BILPS01
8.2 PERENNIAL / GRASS / GROUNDCOVER		CILPS01
8.3 LANDSCAPE BOULDER		EILS502
9.0 MISCELLANEOUS		DETAIL
9.X NOT USED		

REFERENCE NOTES:

- 1 CHAISE DRAIN TO EXTEND UNDER FENCE
- 2 COBBLE MULCH IS PURELY DECORATIVE AND NOT INTENDED TO ACT AS A SWALE
- 3 DO NOT USE EDGER BETWEEN SQUEEGEE MULCH AND COBBLE
- 4 CLEAR AND GRUB ENTIRE SITE RE: DEMO PLAN
- 5 EXISTING FENCE TO REMAIN
- 6 1"-4" AGGREGATE TO BE INSTALLED ON DETENTION POND SLOPES, RE: SPECIFICATIONS 329220
- 7 DO NOT INSTALL LANDSCAPE FABRIC UNDER DOG RUN GRAVEL



LEGEND

CONCRETE PAVING		PROPERTY LINE	
ENHANCED PAVING		COURTYARD FENCING	
CRUSHER FINES PAVING		GARDEN FENCING	
SQUEEGEE MULCH		STEEL EDGER	
DOG RUN GRAVEL		CONCRETE EDGER	
COBBLE MULCH		BUILDING OVERHANG	
COBBLE MULCH SWALE		FLOWLINE	
SMALL SCALE FARM LAND		SITE FURNISHINGS	
NATIVE SEED		GARDEN FEATURE	
		LANDSCAPE BOULDER	
		BIKE RACKS	
		TRASH/RECYCLING RECEPTACLES	
		PET WASTE STATION	
		BENCH	

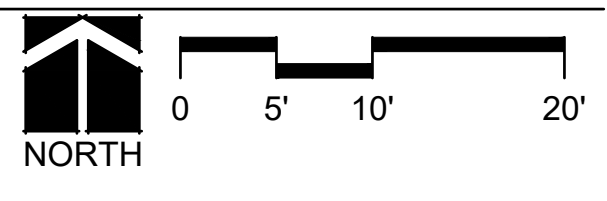
SITE DETAIL KEYNOTES: SITE PLAN

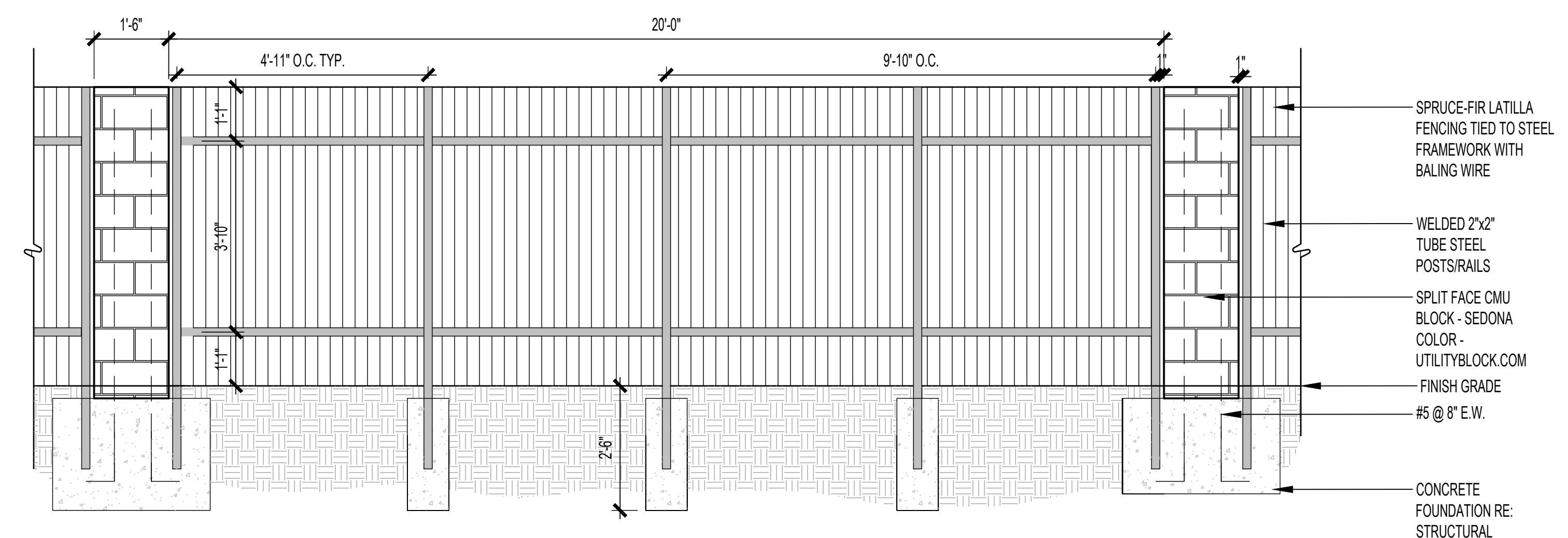
0.0 EXISTING CONDITIONS		
0.1 EXISTING FENCE		
1.0 PAVING & SURFACING		DETAIL/SHEETSPEC SECTION
1.0 STANDARD CONCRETE - BROOM FINISH		RE: CIVIL
1.1 CRUSHER FINES		ALS501
1.2 DOG RUN GRAVEL		
1.3 SQUEEGEE MULCH		
1.4 COBBLE MULCH		
1.5 ENHANCED CONCRETE		
2.0 STEPS & RAMPS		DETAIL
2.X NOT USED		
3.0 WALLS, CURBS & EDGERS		DETAIL
3.0 FLUSH CONCRETE HEADER		BLS501
3.1 STEEL EDGER		HLS502
4.0 RAILINGS, BARRIERS & FENCING		DETAIL
4.0 COURTYARD FENCING		CLS501
4.1 NORTHERN COURTYARD GATE		DLS501
4.2 SOUTHERN COURTYARD GATE		ELS501
4.3 GARDEN FENCE		CLS502
4.4 GARDEN GATE		DLS502
4.5 COURTYARD FENCE COLUMN		CLS501
5.0 SITE FURNISHINGS & SIGNS		DETAIL
5.0 BIKE RACK		JLS501
5.1 LITTER & RECYCLING RECEPTACLE		
5.2 SITE FURNISHINGS		
5.3 SITE FURNISHINGS		
5.4 COURTYARD GARDEN FEATURE		
5.5 DOG WASTE STATION		
5.6 BENCH		
5.7 SHADE STRUCTURE-COMMUNITY GARDEN		BLS502
5.8 SHADE STRUCTURE-WORK BOOTH		FALS501
5.9 COMPOST BIN		
5.10 SHED		
6.0 DRAINAGE		DETAIL
6.1 COBBLE SWALE		GLS501
7.0 SITE LIGHTING & ELECTRICAL		DETAIL
7.0 TRANSFORMER		RE: ELECTRICAL
7.1 PEDESTRIAN POLE LIGHT		RE: ELECTRICAL
7.2 SCOOCE		RE: ELECTRICAL
7.3 STREET LIGHT		RE: ELECTRICAL
8.0 PLANTING & LANDSCAPE		
8.0 DECIDUOUS TREE IN PLANTING AREA		ALPS01
8.1 SHRUB PLANTING		BILPS01
8.2 PERENNIAL / GRASS / GROUND COVER		CILPS01
8.3 LANDSCAPE BOULDER		EILS502
9.0 MISCELLANEOUS		DETAIL
9.X NOT USED		

REFERENCE NOTES:

- 1 CHAISE DRAIN TO EXTEND UNDER FENCE
- 2 COBBLE MULCH IS PURELY DECORATIVE AND NOT INTENDED TO ACT AS A SWALE
- 3 DO NOT USE EDGER BETWEEN SQUEEGEE MULCH AND COBBLE
- 4 CLEAR AND GRUB ENTIRE SITE RE: DEMO PLAN
- 5 EXISTING FENCE TO REMAIN
- 6 1"-4" AGGREGATE TO BE INSTALLED ON DETENTION POND SLOPES, RE: SPECIFICATIONS 329220
- 7 DO NOT INSTALL LANDSCAPE FABRIC UNDER DOG RUN GRAVEL

A LANDSCAPE SITE PLAN
SCALE: 1" = 10'

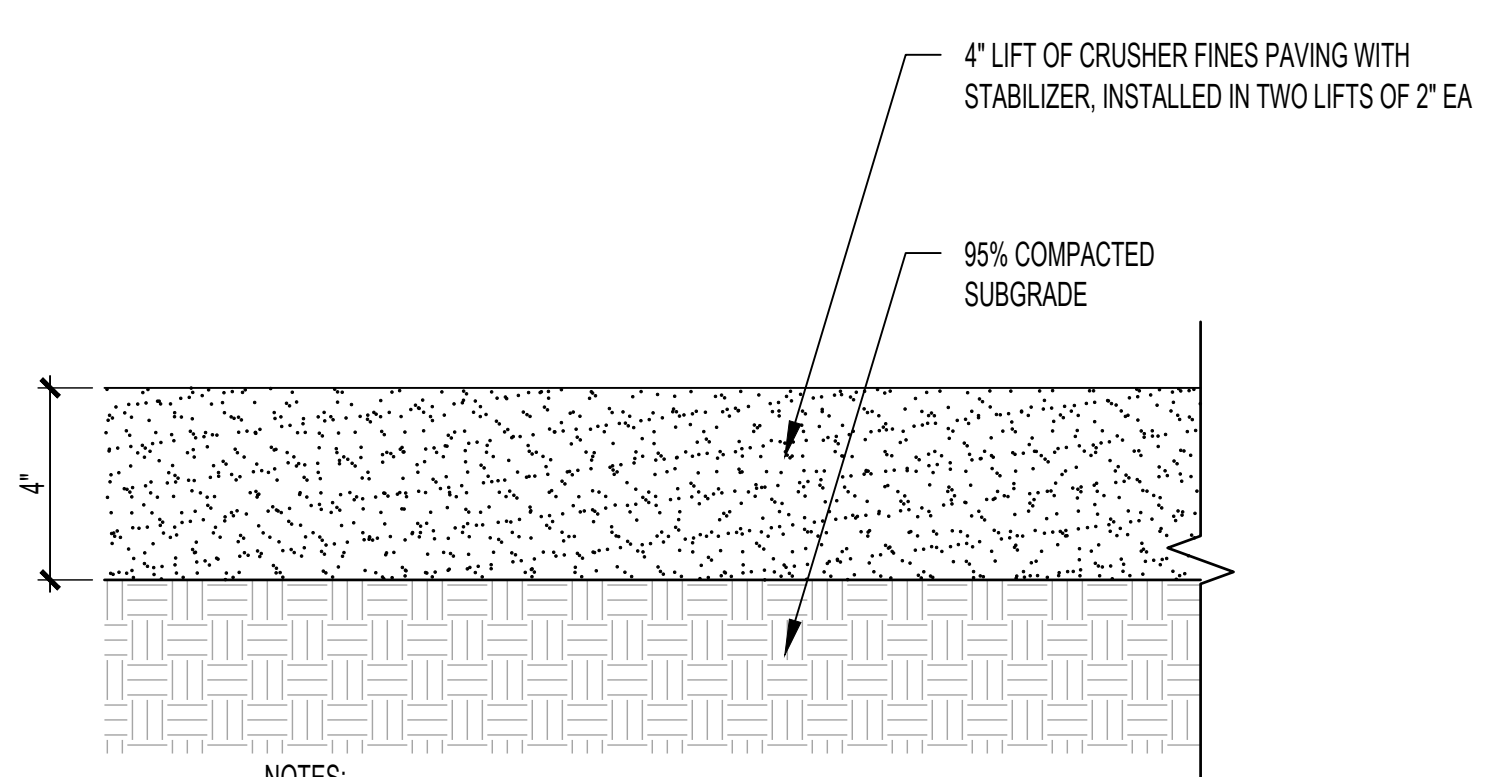




- NOTES:
1. ALL STEEL TO BE PAINTED CRIMSON COLOR TO MATCH ROOF. RE: ARCHITECTURE FOR COLOR
 2. ALL SPLIT FACE CMU TO BE SEDONA COLOR BY UTILITY BLOCK COMPANY OR APPROVED EQUAL
 3. TOP OF LATILLA FENCING TO BE SAWN FLUSH WITH CMU COLUMNS
 4. CONCRETE FOUNDATION TO BE 30" OR TO ALBUQUERQUE FROST DEPTH
 5. SHOP DRAWINGS TO BE SUBMITTED AND APPROVED PRIOR TO CONSTRUCTION
 6. STEEL FRAME OF FENCE TO BE ON PARKING LOT SIDE OF THE FENCE

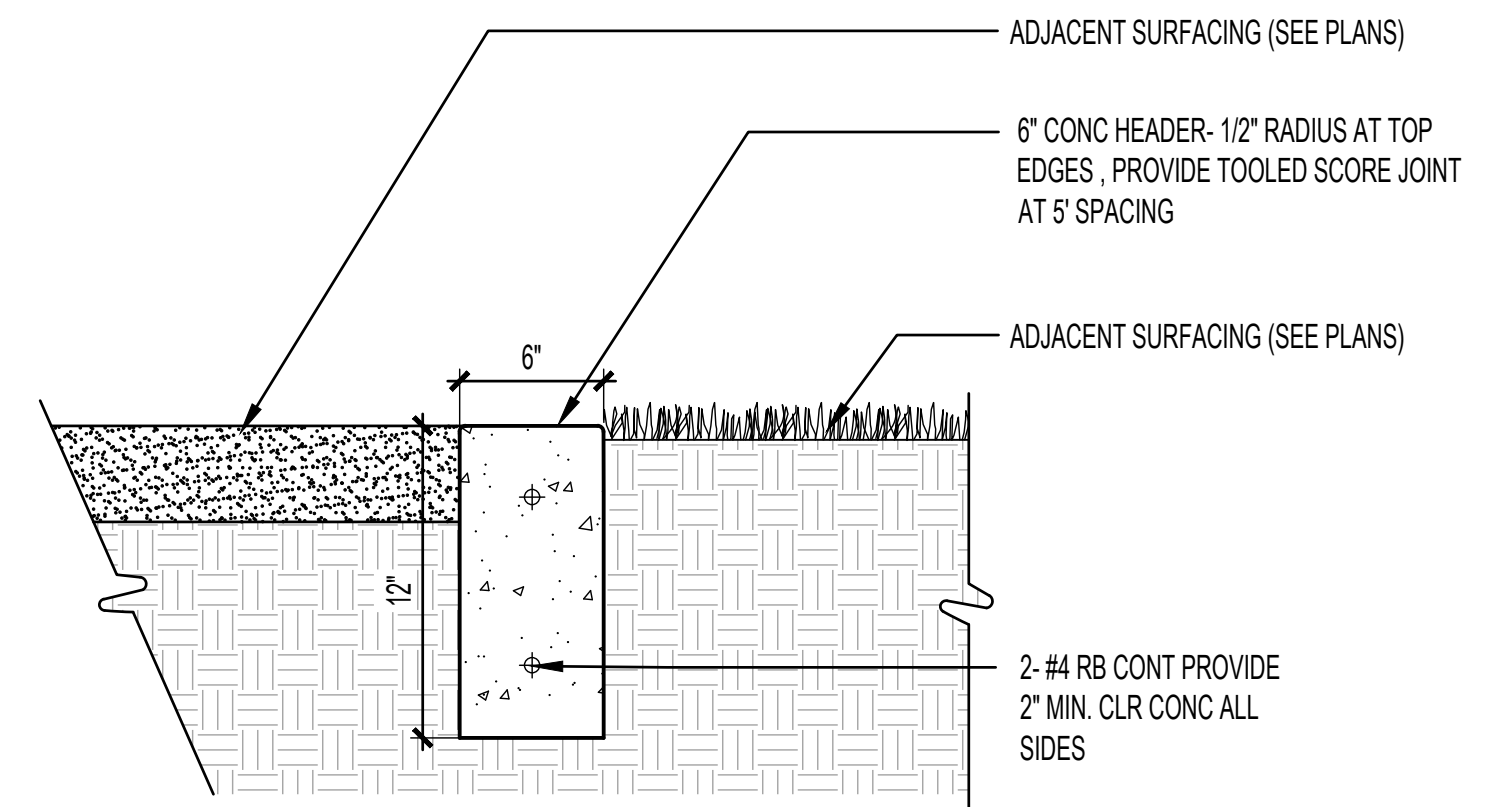
IMAGE PROVIDED FOR DESIGN INTENT ONLY

C 6' COYOTE FENCE WITH STUCCO COLUMNS
SCALE: 1/2" = 1'-0"



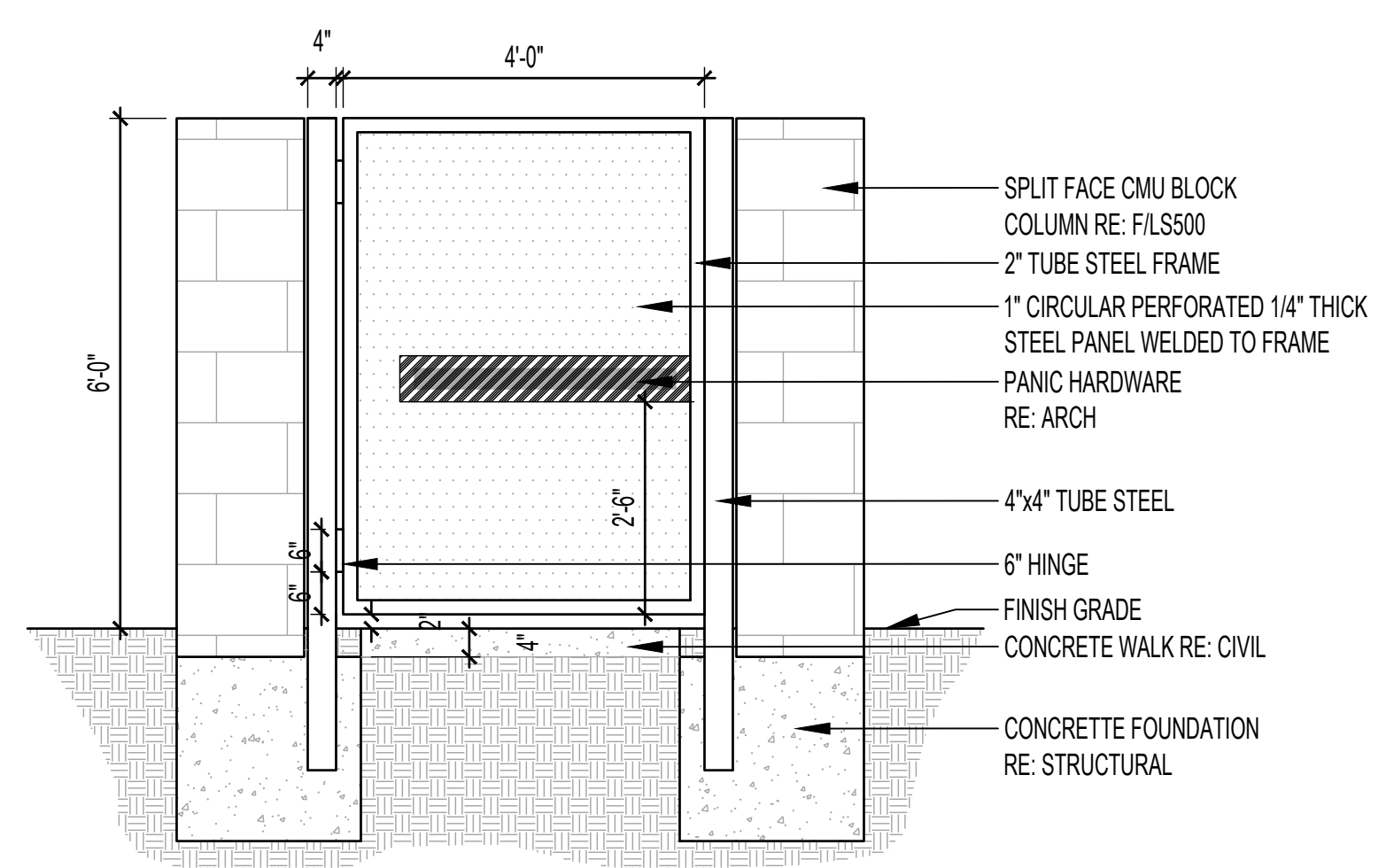
- NOTES:
1. 3/4" MINUS PUEBLO ROSE COLOR AGGREGATE CRUSHER FINES. RE: SPECIFICATION
 2. DO NOT USE STABILIZER IN CRUSHER FINES THAT ARE DIRECTLY UNDER THE DRIP LINE OF ANY EXISTING OR PROPOSED TREE.

A CRUSHER FINES
SCALE: 3/4" = 1'-0"



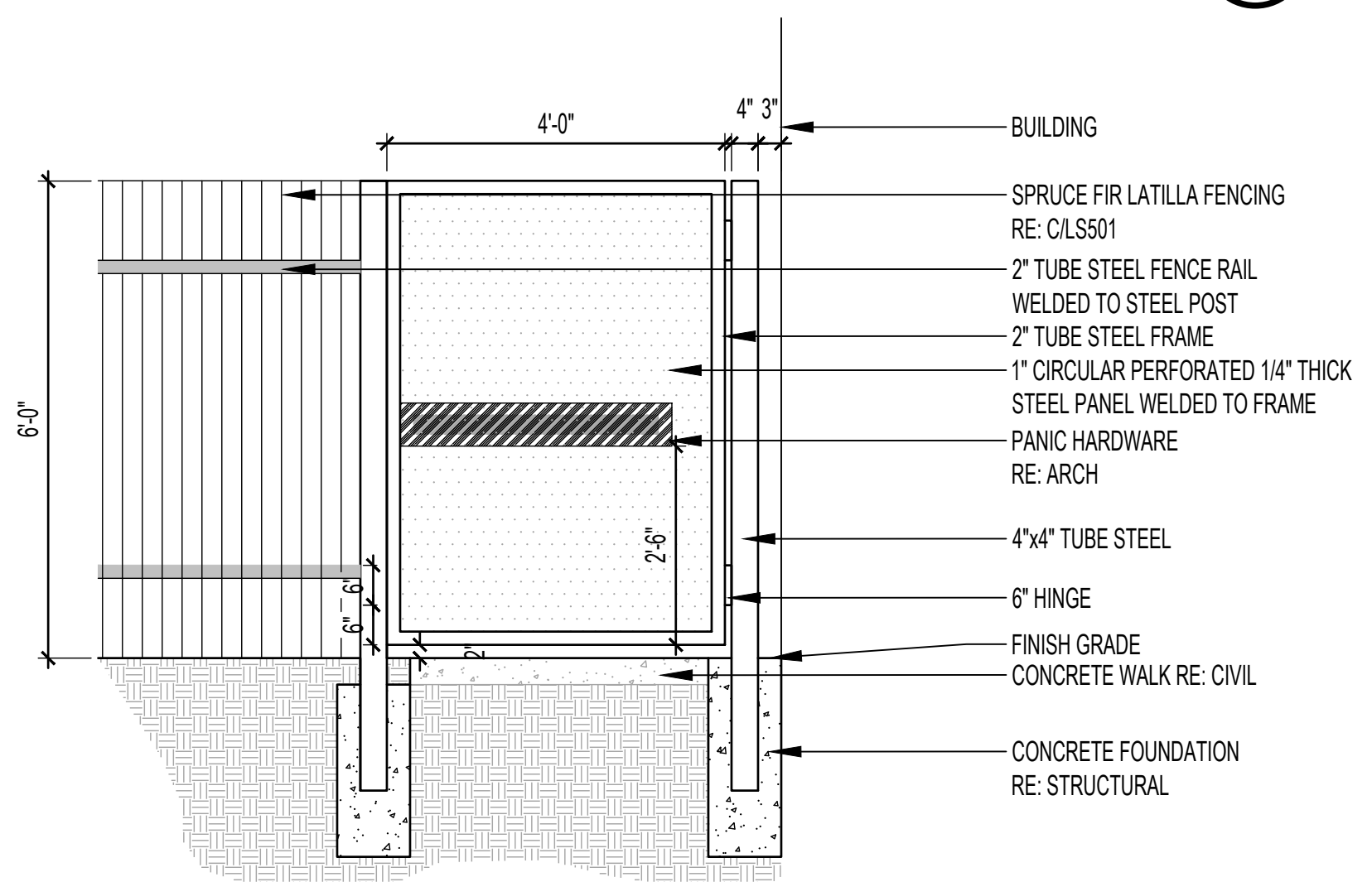
NOTE: FINISH GRADE ADJACENT TO CONCRETE HEADER SHALL BE FLUSH WITH SURFACE OF HEADER TO ALLOW DRAINAGE TO FLOW ACROSS HEADER

B FLUSH CONCRETE HEADER
SCALE: 1/2" = 1'-0"



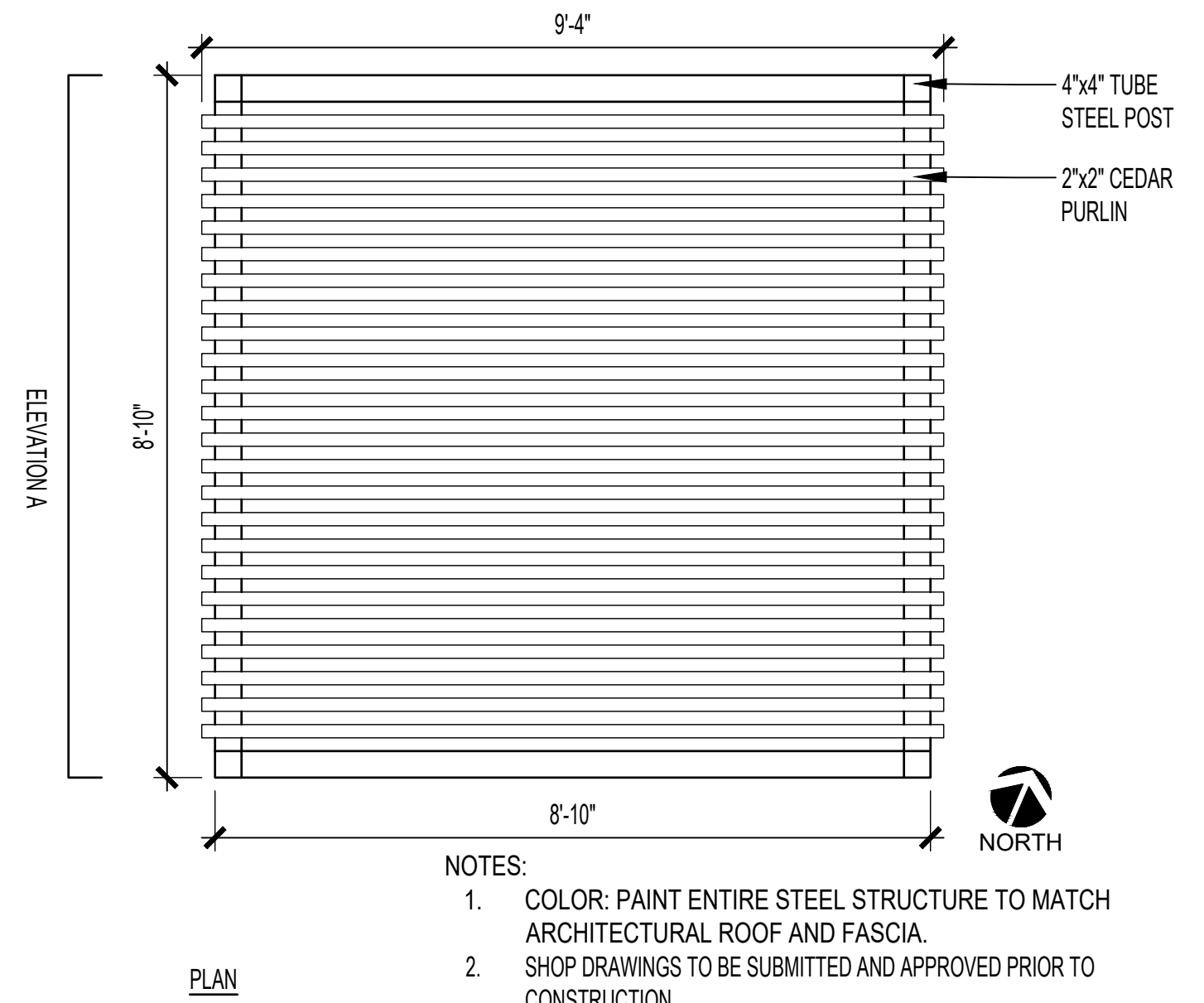
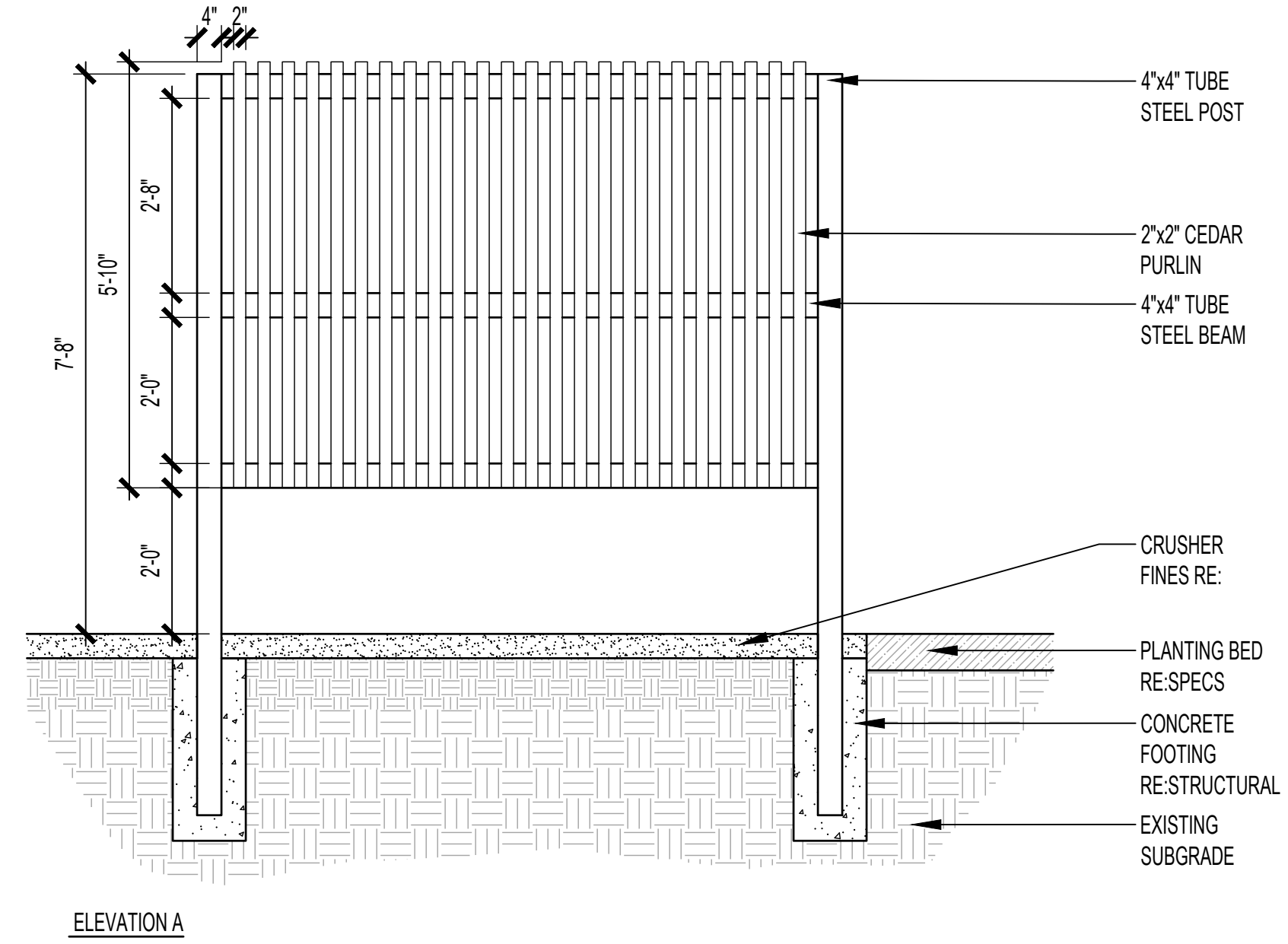
- NOTES:
1. ALL STEEL TO BE PAINTED THE CRIMSON COLOR TO MATCH ARCHITECTURAL ROOF. PAINT COLOR TO BE APPROVED BY LANDSCAPE ARCHITECTURE
 2. ALL SPLIT FACE CMU TO BE SEDONA COLOR SOURCED FROM UTILITY BLOCK COMPANY OR APPROVED EQUAL
 3. DRAWING FOR DESIGN INTENT ONLY - SHOP DRAWINGS TO BE PROVIDED PRIOR TO FABRICATION

D NORTHERN COURTYARD GATE
SCALE: 1/2" = 1'-0"



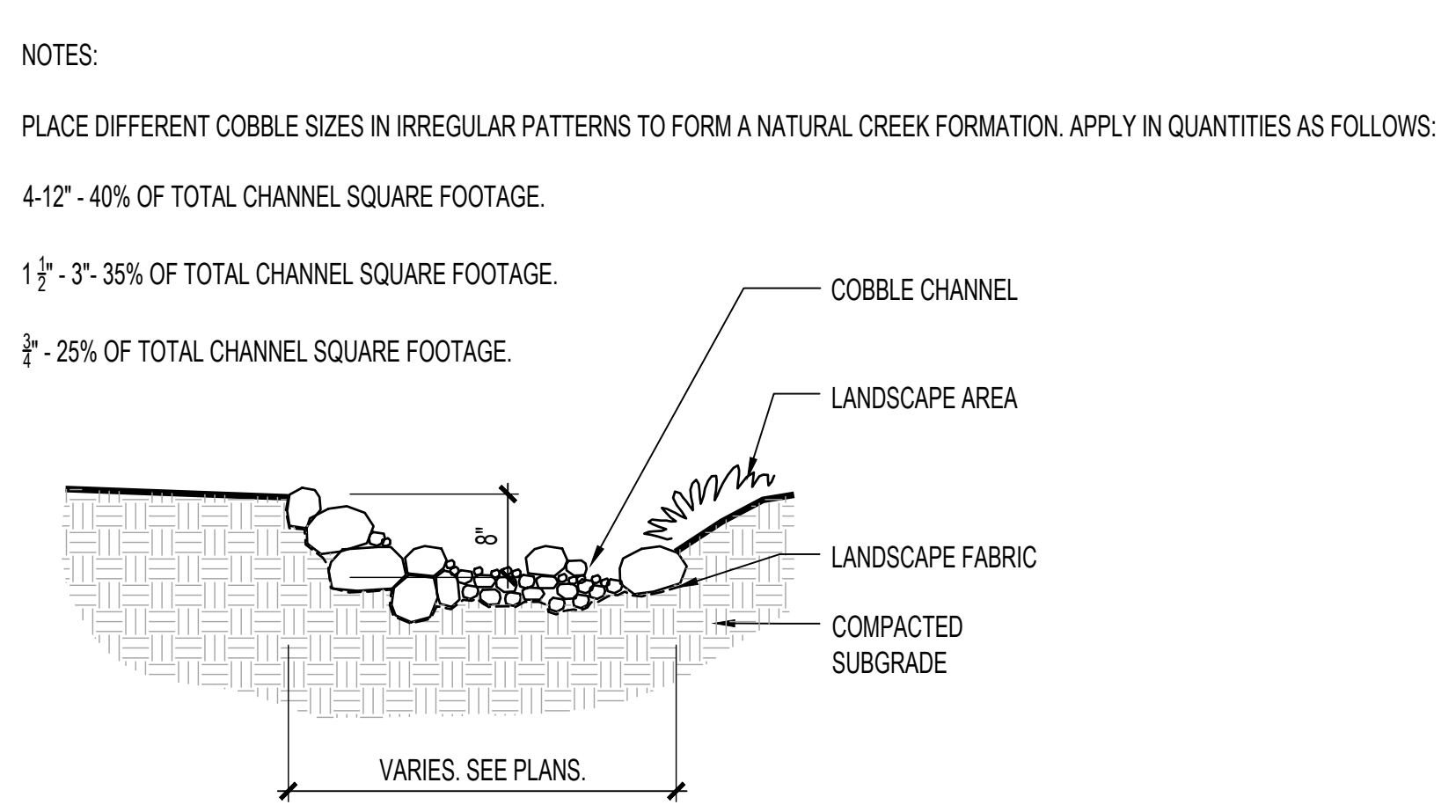
- NOTES:
1. ALL STEEL TO BE PAINTED THE CRIMSON COLOR TO MATCH ARCHITECTURAL ROOF. PAINT COLOR TO BE APPROVED BY LANDSCAPE ARCHITECTURE
 2. ALL SPLIT FACE CMU TO BE SEDONA COLOR BY UTILITY BLOCK COMPANY OR APPROVED EQUAL
 3. DRAWING FOR DESIGN INTENT ONLY - SHOP DRAWINGS TO BE PROVIDED PRIOR TO FABRICATION

E SOUTHERN COURTYARD GATE
SCALE: 1/2" = 1'-0"



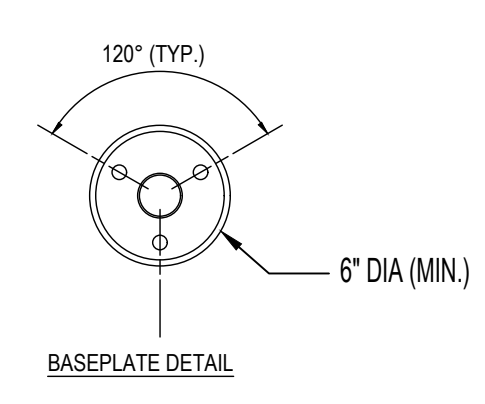
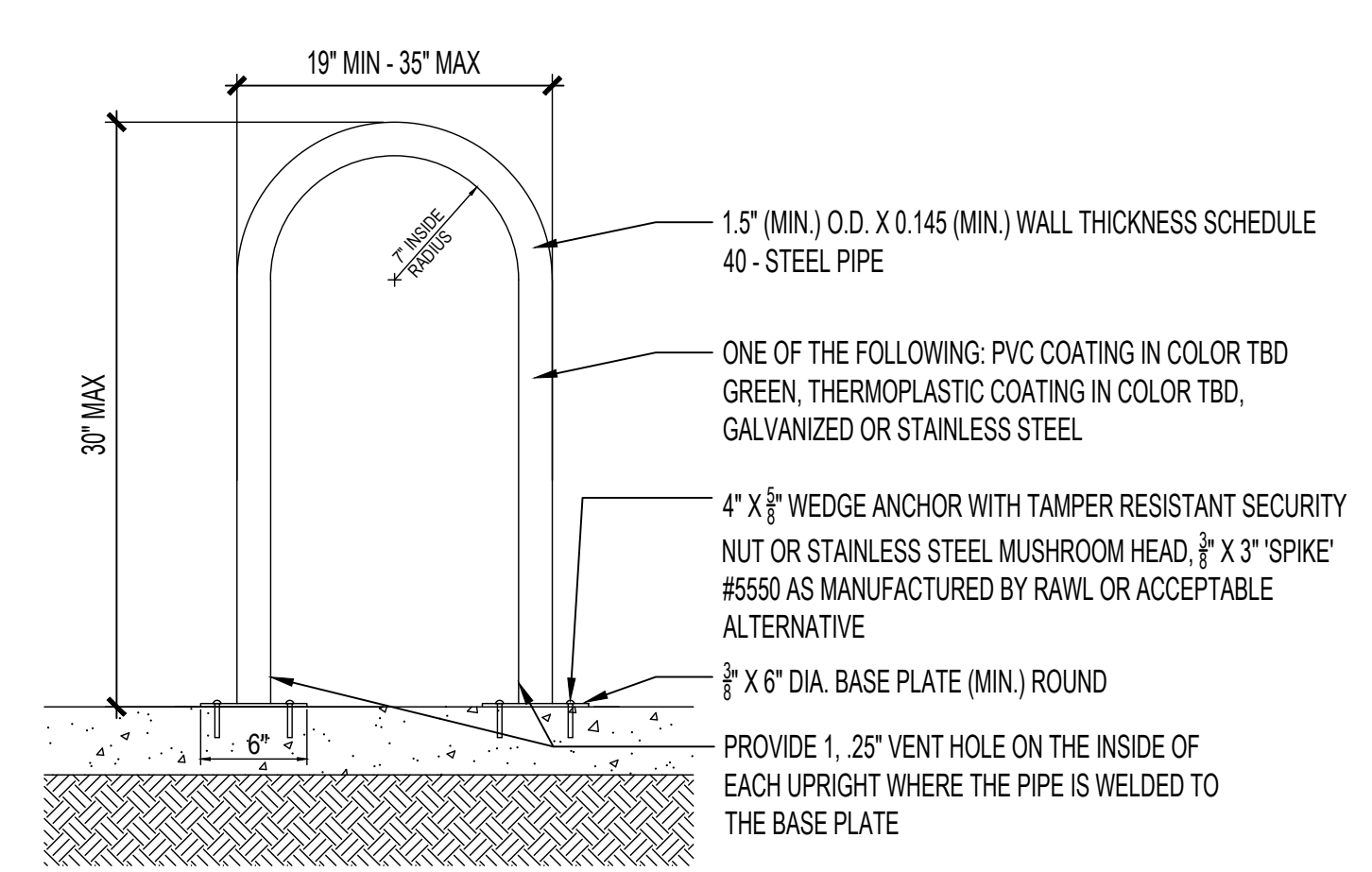
- NOTES:
1. COLOR: PAINT ENTIRE STEEL STRUCTURE TO MATCH ARCHITECTURAL ROOF AND FASCIA.
 2. SHOP DRAWINGS TO BE SUBMITTED AND APPROVED PRIOR TO CONSTRUCTION
 3. FINAL STRUCTURAL FOOTING ENGINEERING TO BE INCLUDED WITH SHADE STRUCTURE SHOP DRAWINGS.
 4. ALL WOOD TO BE CEDAR FINISHED WITH SEMI-TRANSPARENT STAIN

F SHADE STRUCTURE A
SCALE: 1/2" = 1'-0"



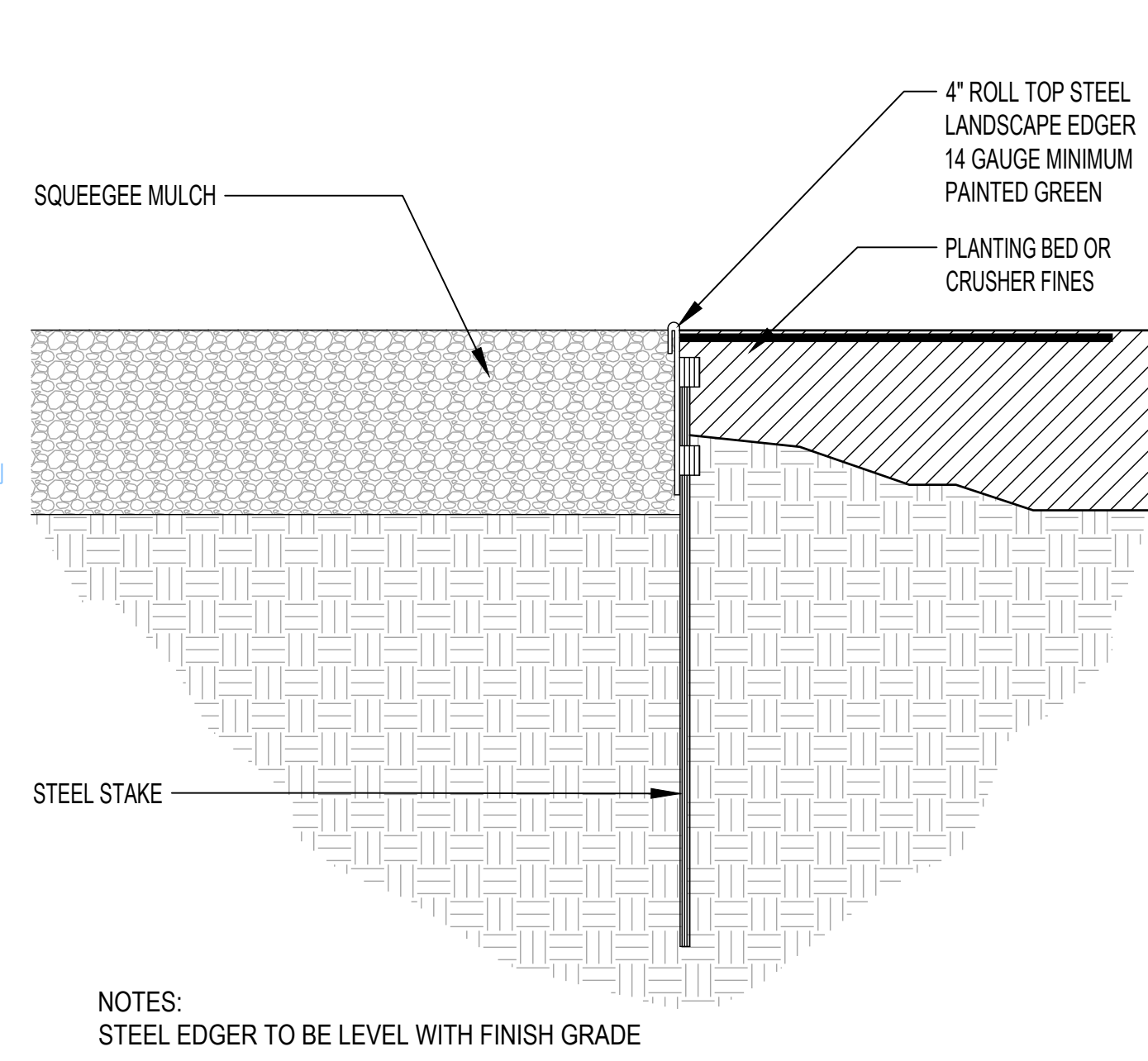
- NOTES:
1. DO NOT USE EDGER TO DELINEATE BETWEEN COBBLE AND SQUEEGEE MULCH
 2. SEE SPEC 329330 FOR COBBLE TYPE

G DRY STREAM BED SECTION
SCALE: 3/4" = 1'-0"



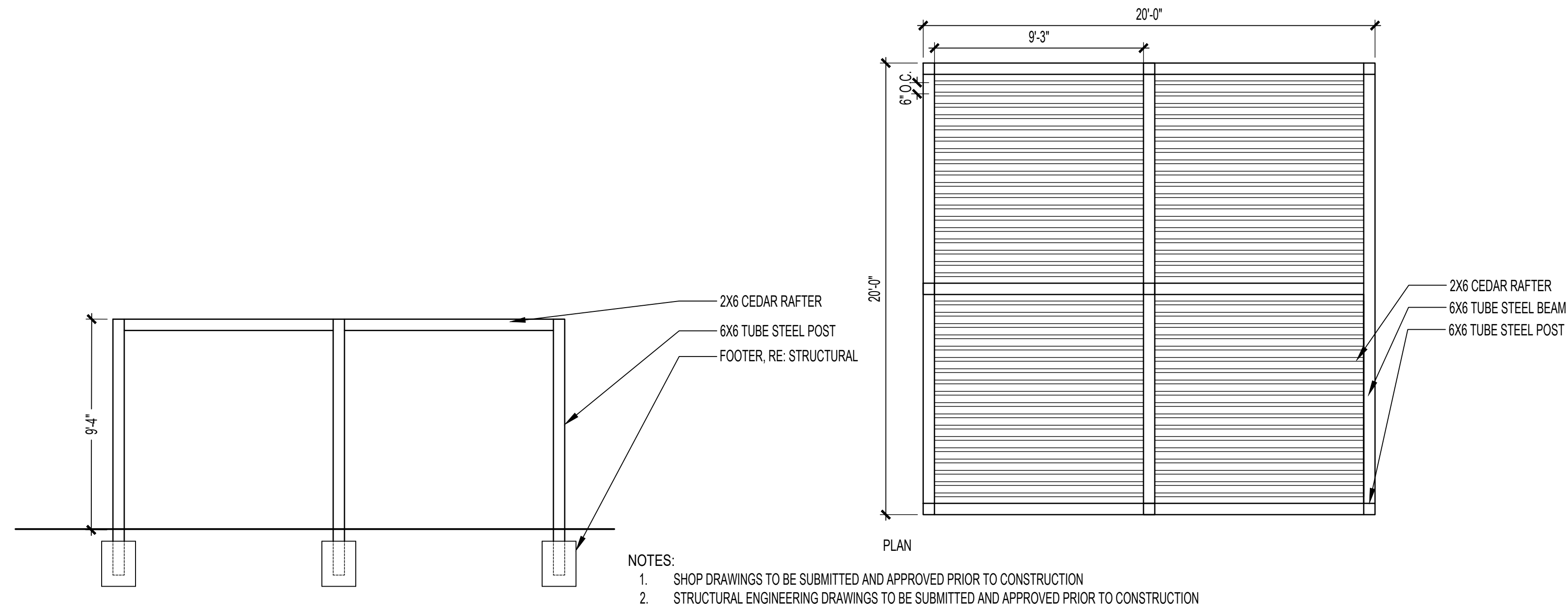
- NOTES:
1. RACKS SHALL NOT BE WELDED IN SECTIONS.
 2. BASE PLATE SHALL BE WELDED TO STEEL PIPE
 3. RACK DIMENSIONS MAY VARY BY MANUFACTURER
- MOUNTING (CONCRETE):
1. BASE PLATE SHALL BE MOUNTED TO CONCRETE VIA EXPANSION ANCHOR
 2. 4" X 3/4" WEDGE ANCHOR WITH TAMPER-RESISTANT SECURITY NUT, OR STAINLESS STEEL MUSHROOM HEAD 3/8" X 3" SPIKE #5550 AS MANUFACTURED BY RAWL OR APPROVED EQUAL
 3. RACK SHALL BE SET FIRM AND ALIGNED WITH A TOLERANCE PLUS OR MINUS 1/4" FROM PLUMB
 4. STEEL SHIMS SHALL BE INSTALLED PRIOR TO ANCHORING IN PLACE WHEN NEEDED

H U STYLE BIKE RACK
SCALE: NTS



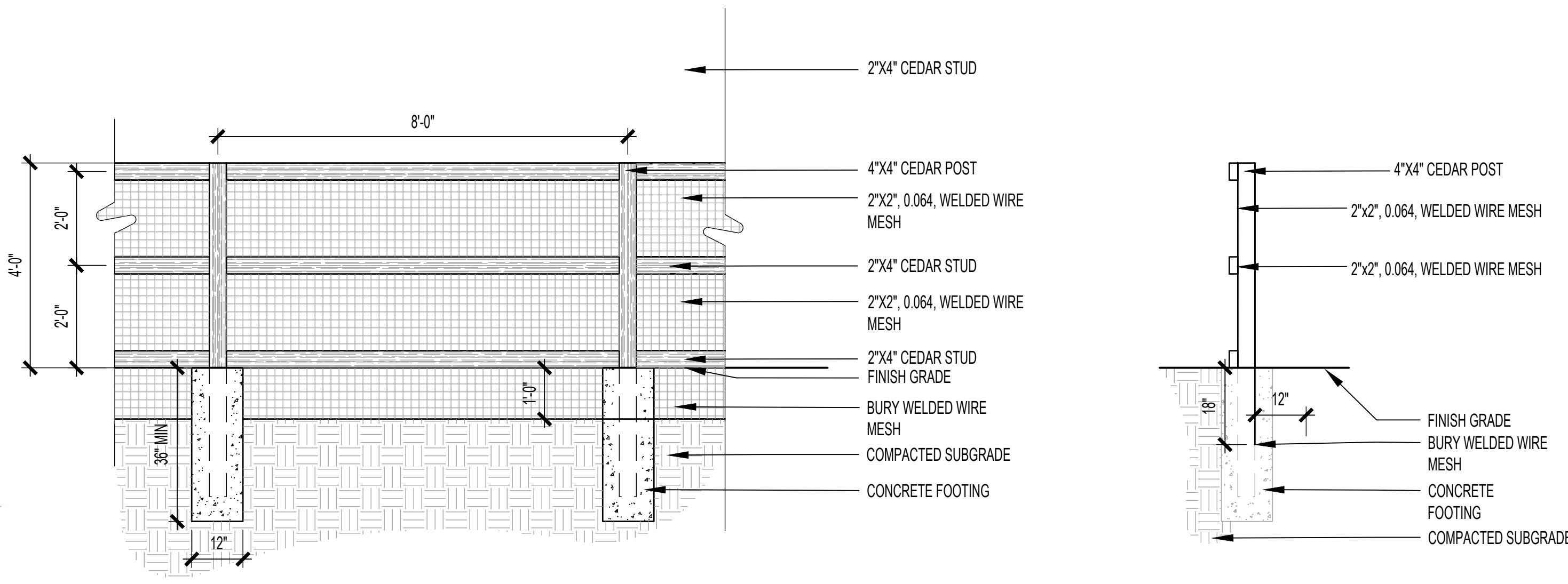
NOTES:
STEEL EDGER TO BE LEVEL WITH FINISH GRADE

A STEEL EDGER
SCALE: 3/4"=1'-0"



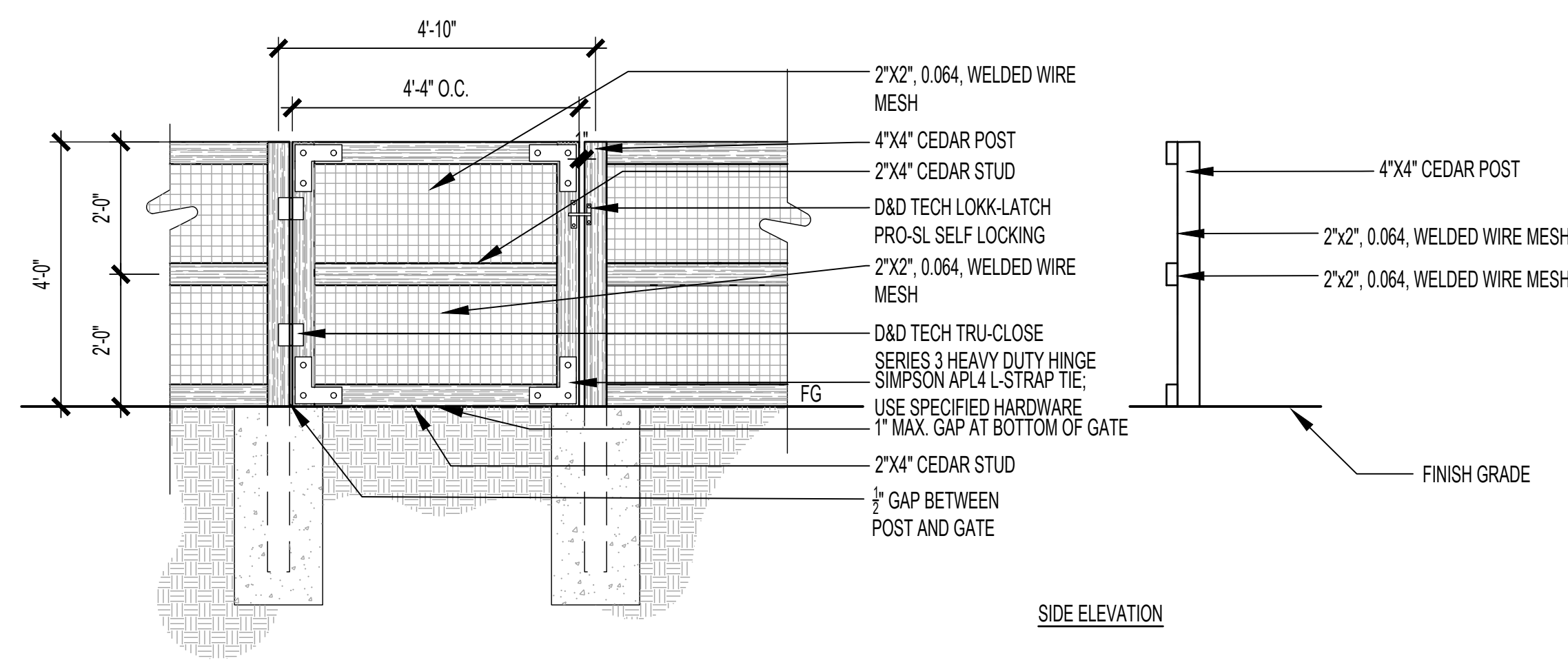
NOTES:
1. SHOP DRAWINGS TO BE SUBMITTED AND APPROVED PRIOR TO CONSTRUCTION
2. STRUCTURAL ENGINEERING DRAWINGS TO BE SUBMITTED AND APPROVED PRIOR TO CONSTRUCTION
3. ALL STEEL TO BE PAINTED TO MATCH ARCHITECTURAL ROOF AND FASCIA
4. ALL WOOD TO BE CEDAR FINISHED WITH SEMI-TRANSPARENT STAIN
5. ALL FASTENERS TO BE CORROSION RESISTANT AND PAINTED TO MATCH ROOF AND FASCIA, SUBMIT PAINT COLOR FOR APPROVAL FROM LANDSCAPE ARCHITECT

B GARDEN TRELLIS
SCALE: 1/4"=1'-0"



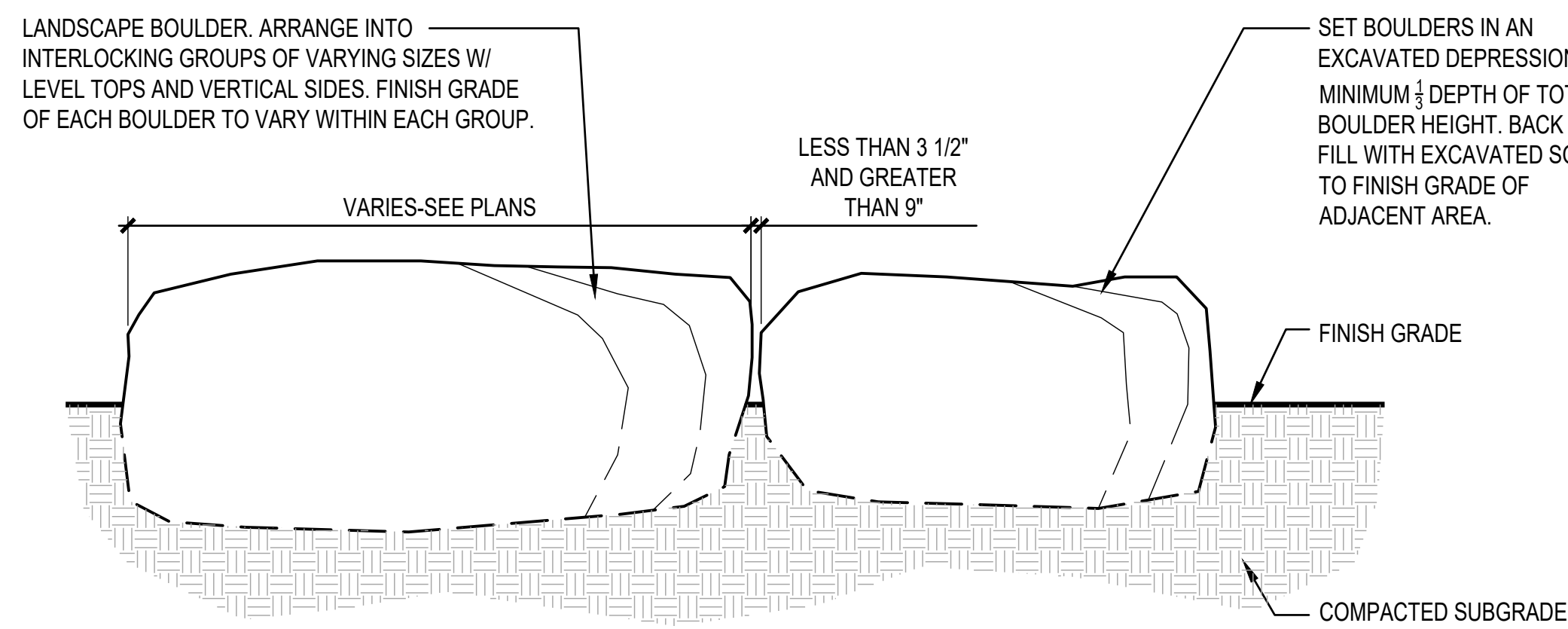
NOTE: ALL FENCING MATERIAL TO BE STAINED ROUGH CUT CEDAR.
STAPLE MESH TO FRAME AND RAILS @ EVERY POINT OF CONNECTION

C GARDEN FENCING
SCALE: 1/2"=1'-0"



NOTE: ALL FENCING MATERIAL TO BE STAINED ROUGH CUT CEDAR.
STAPLE MESH TO FRAME AND RAILS @ EVERY POINT OF CONNECTION

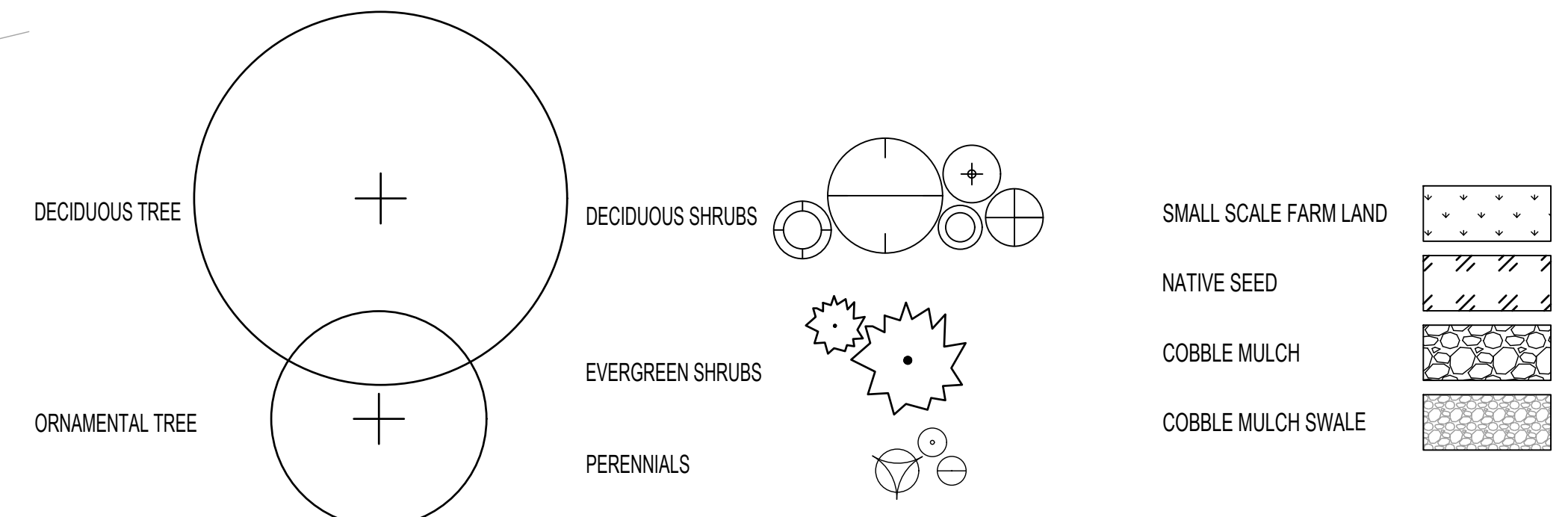
D GARDEN GATE
SCALE: 1/2"=1'-0"



NOTES:
1. CONTRACTOR TO STAKE LOCATIONS W/ WOODEN STAKE (W/ SIZE NOTED). STAKED LOCATIONS SHALL BE APPROVED PRIOR TO INSTALLATION BY LANDSCAPE ARCHITECT OR OWNER.
2. GROUT ALL VOIDS IN BOULDERS GREATER THAN 4\"/>

E LANDSCAPE BOULDER
SCALE: 3/4"=1'-0"

LEGEND



ROUTE 66 FLATS - 7600 CENTRAL AVE. SW, ALBUQUERQUE, NEW MEXICO 87121

PLANT TYPE: DECIDUOUS TREES						
Abbr.	No.	Genus	Species	Common Name	Min. Size	Spacing
BTM	4	Acer	grandidentatum	Bigtooth Maple	2" Cal	Per Plan
CAH	5	Celtis	laevigata	Canyon Hackberry	2" Cal	Per Plan
EMO	4	Quercus	emoryi	Emory Oak	2" Cal	Per Plan
GIN	2	Ginkgo	biloba	Ginkgo	2" Cal	Per Plan
GRT	4	Koeleruteria	paniculata	Goldenrain Tree	2" Cal	Per Plan
HWT	2	Acer	latauricum 'Garami'	Hot Wings Maple	6" B&B	Per Plan
NMP	6	Forestiera	neomexicana	New Mexico Olive	6" B&B	Per Plan
RBU	5	Cercis	canadensis var texensis 'Oklahoma'	Oklahoma Redbud	6" B&B	Per Plan
PLANT TYPE: EVERGREEN SHRUBS						
BST	15	Juniperus	horizontalis 'Blue Star'	Blue Star Juniper	5 Gal	Per Plan
YBB	11	Yucca	rostrata	Blue Beaked Yucca	5 Gal	Per Plan
YRE	6	Hesperaloe	parviflora	Red Yucca	5 Gal	Per Plan
YST	16	Yucca	elata	Sagebrush Yucca	5 Gal	Per Plan
PLANT TYPE: DECIDUOUS SHRUBS						
APL	9	Fallugia	paradoxa	Apache Plume	5 Gal	Per Plan
ACR	10	Rosa	x foetida 'Bicolor'	Austrian Copper Rose	5 Gal	Per Plan
CLI	24	Fendlera	rupicola	Cliff Fendlerbush	5 Gal	Per Plan
MOR	21	Ephedra	equisetina	Mormon Tea	5 Gal	Per Plan
OCO	2	Fouquieria	splendens	Ocotillo	5 Gal	Per Plan
RAB	13	Chrysothamnus	nauseosus	Rabbitbrush	5 Gal	Per Plan
TLS	23	Rhus	trilobata	Three Leaf Sumac	5 Gal	Per Plan
TWS	10	Artemisia	tridentata	Tall Western Sage	5 Gal	Per Plan
PLANT TYPE: PERENNIALS						
BCF	32	Berlandiera	Lyrata	Chocolate Flower	1 Gal	Per Plan
BFD	23	Melampodium	leucanthum	Black Foot Daisy	1 Gal	Per Plan
DEM	6	Delosperma	'Kalaidas'	Mesa Verde Ice Plant	1 Gal	Per Plan
MIR	13	Mirabilis	multiflora	Desert Four O'Clock	1 Gal	Per Plan
OPU	22	Opuntia	basilaris	Beavertail Cactus	1 Gal	Per Plan
RGD	12	Rudbeckia	fulgida 'goldsturm'	Black Eyed Susan	1 Gal	Per Plan
SAS	18	Salvia	greggi	Autumn Sage	1 Gal	Per Plan
SFK	3	Eriogonum	umbellatum KANNAH CREEK	Sulphur Flower	1 Gal	Per Plan
SMJ	12	Salvia	pachyphylla	Mojave Sage	1 Gal	Per Plan

LANDSCAPE REQUIREMENTS			
REQUIREMENT	CALCULATION	REQUIRED	PROPOSED
15% OF NET LOT AREA SHALL BE LANDSCAPED 5-6(C)(2)(a)	15 X (62000SF-14120SF) =	11,682 SF	13,810 SF
75% OF LANDSCAPED AREA TO BE COVERED WITH VEGETATION 5-6(C)(2)(c)	11682 X .75 =	8,761 SF	12,802 SF
25% OF VEGETATION TO BE GROUND COVERS, SHRUBS, ORNAMENTAL GRASSES 5-6(C)(2)(c)	8,761 X .3 =	2,628 SF	3,225 SF
LANDSCAPE ROW-1 TREE PER 20 LF 5-6(C)(10)(d)	195LF / 20FT	10 TREES	9 TREES*
1 TREE PER GROUND FLOOR UNIT, 1 TREE PER 2 2ND FLOOR UNITS	1 X 15 GROUND FLOOR UNITS 5 X 17 2ND FLOOR UNITS	24 TREES	24 TREES

*DUE TO OVERHEAD UTILITIES, ORNAMENTAL TREES AT A MATURE HEIGHT OF AT LEAST 12FT ARE PROPOSED IN THE ROW. DUE TO OVERHEAD UTILITIES POSTS AND UNDERGROUND UTILITY EASEMENTS, TREE QUANTITIES DO NOT MEET SPACING STANDARDS. SAGE TREE YUCCAS ARE PROPOSED WITHIN ROW TO ADD ADDITIONAL HEIGHT IN PLANT MATERIAL TO ROW.



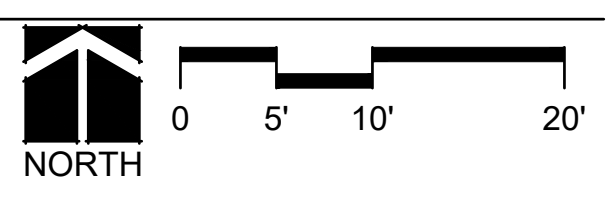
MATCHLINE SEE SHEET L102

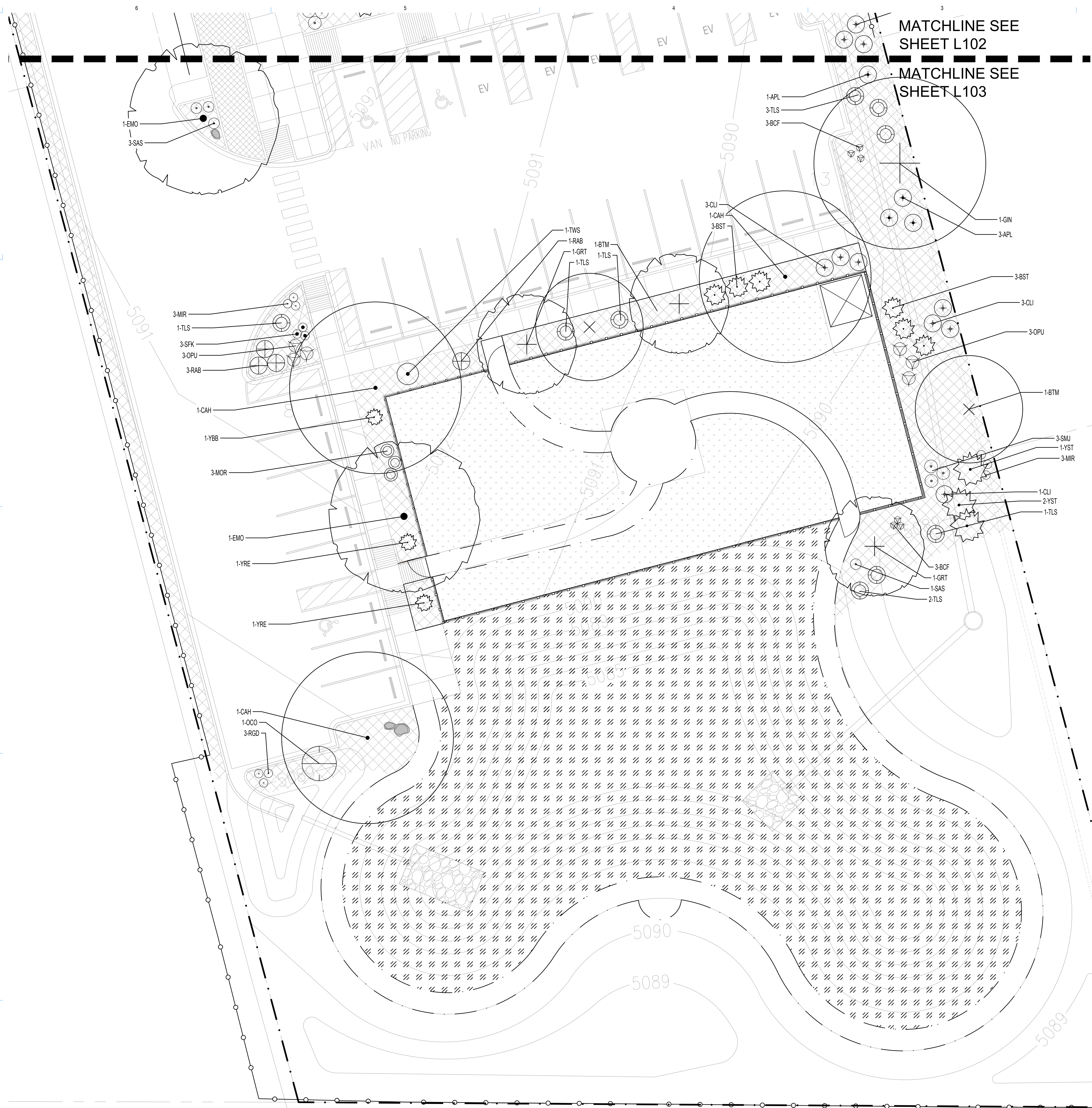
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LANDSCAPE PLANTING PLAN
SCALE: 1" = 10'

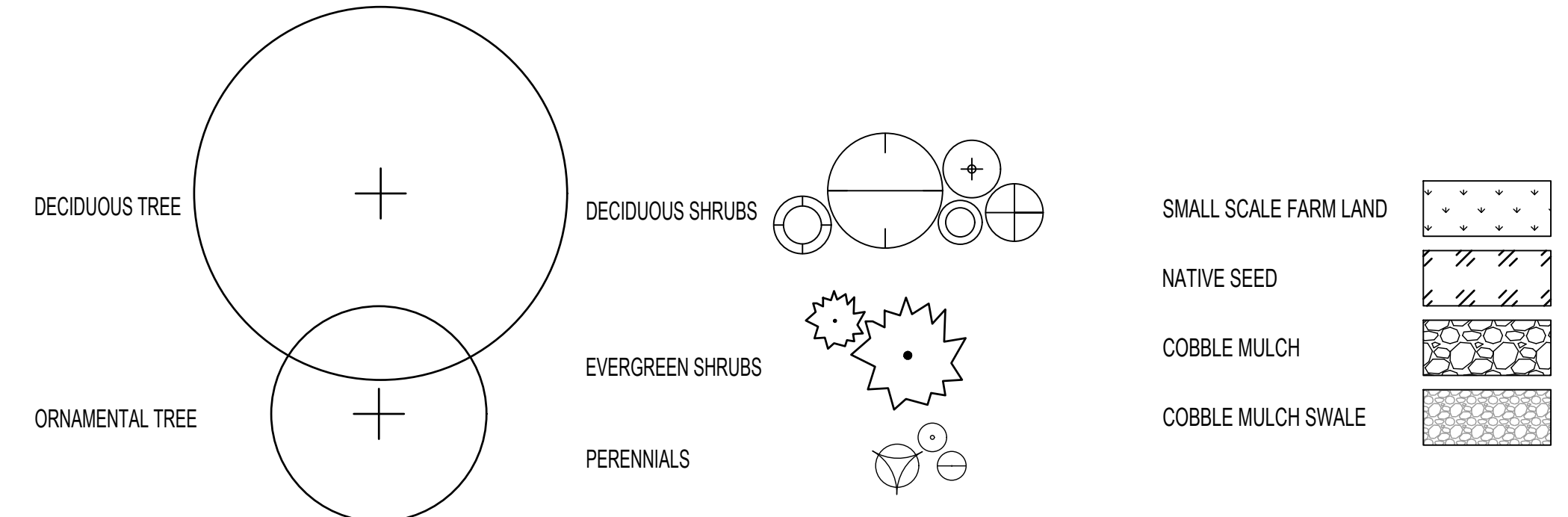
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MATCHLINE SHEET L103





LEGEND



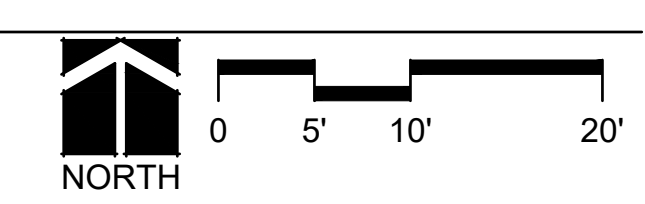
ROUTE 66 FLATS - 7600 CENTRAL AVE. SW, ALBUQUERQUE, NEW MEXICO 87121

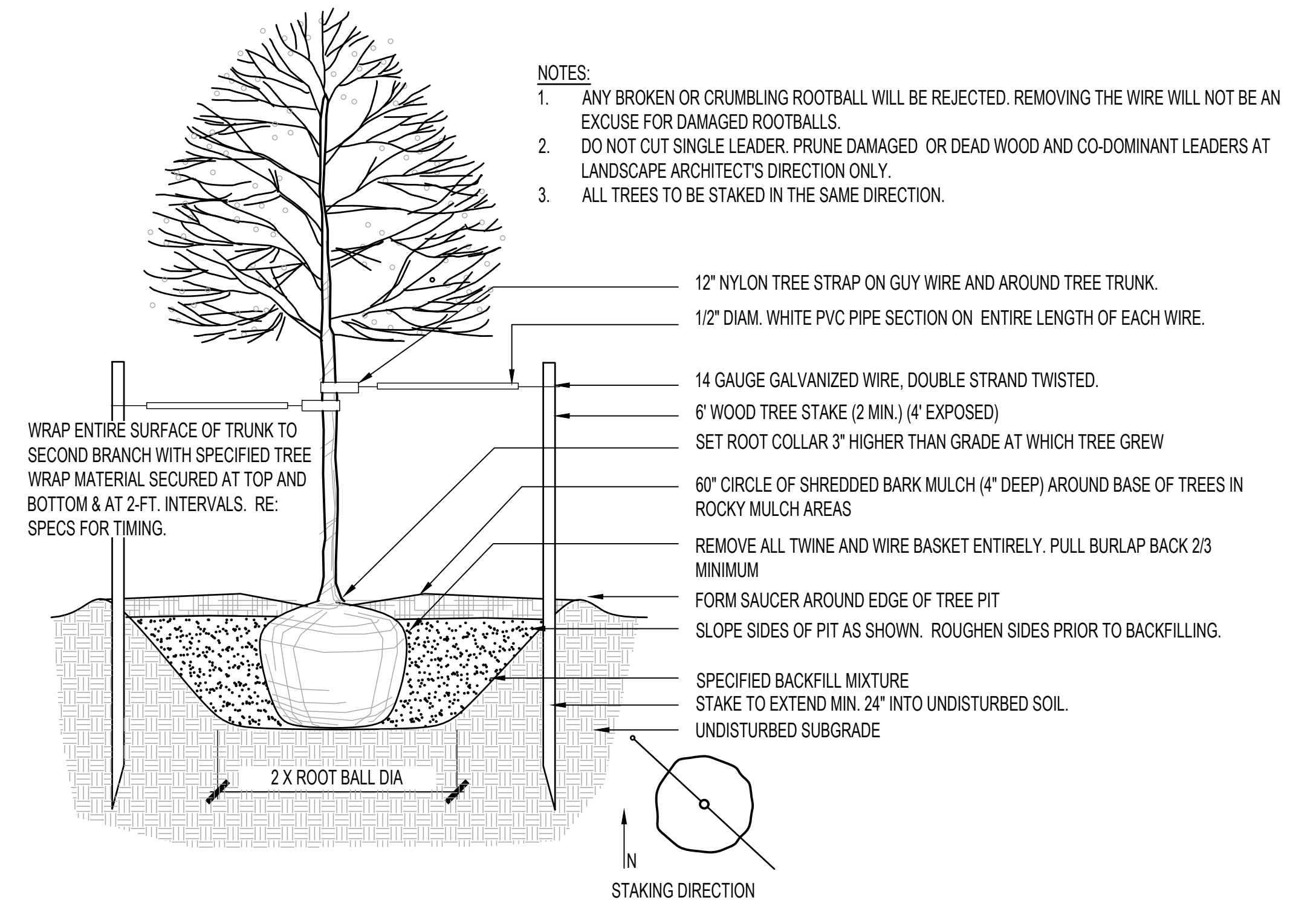
PLANT TYPE: DECIDUOUS TREES							
Abbr.	No.	Genus	Species	Common Name	Min. Size	Spacing	Height/Spread
BTM	4	Acer	grandidentatum	Bigtooth Maple	2" Cal	Per Plan	25'x25'
CAH	5	Celtis	laevigata	Canyon Hackberry	2" Cal	Per Plan	40'x40'
EMO	4	Quercus	emoryi	Emory Oak	2" Cal	Per Plan	35'x35'
GIN	2	Ginkgo	biloba	Ginkgo	2" Cal	Per Plan	40'x40'
GRT	4	Koeleruteria	paniculata	Goldenrain Tree	2" Cal	Per Plan	25'x25'
HWT	2	Acer	tataricum 'Garann'	Hot Wings Maple	6" B&B	Per Plan	20'x20'
NMP	6	Forsytheria	neomexicana	New Mexico Olive	6" B&B	Per Plan	15'x15'
RBU	5	Cercis	canadensis var 'texensis' 'Oklahoma'	Oklahoma Redbud	6" B&B	Per Plan	15'x12'
PLANT TYPE: EVERGREEN SHRUBS							
BST	15	Juniperus	horizontalis 'Blue Star'	Blue Star Juniper	5 Gal	Per Plan	3'x5'
YBB	11	Yucca	rostrata	Blue Beaked Yucca	5 Gal	Per Plan	6'x4'
YRE	6	Hesperaloe	parviflora	Red Yucca	5 Gal	Per Plan	3'x4'
YST	16	Yucca	elata	Soaptree Yucca	5 Gal	Per Plan	6'x8'
PLANT TYPE: DECIDUOUS SHRUBS							
APL	9	Fallugia	paradoxa	Apache Plume	5 Gal	Per Plan	4'x4'
ACR	10	Rosa	x foetida 'Bicolor'	Austrian Copper Rose	5 Gal	Per Plan	4'x4'
CLI	24	Fandlira	rupicola	Cliff Fenderbush	5 Gal	Per Plan	4'x4'
MOR	21	Ephedra	equisetina	Mormon Tea	5 Gal	Per Plan	3'x3'
OCO	2	Fouquieria	splendens	Ocotillo	5 Gal	Per Plan	6'x6'
RAB	13	Chrysothamnus	nauseosus	Rabbitbrush	5 Gal	Per Plan	4'x4'
TLS	23	Rhus	trilobata	Three Leaf Sumac	5 Gal	Per Plan	4'x4'
TWS	10	Artemisia	tridentata	Tall Western Sage	5 Gal	Per Plan	5'x5'
PLANT TYPE: PERENNIALS							
BCF	32	Berlandiera	Lyrata	Chocolate Flower	1 Gal	Per Plan	18" x 18"
BFD	23	Melampodium	leucanthum	Black Foot Daisy	1 Gal	Per Plan	12" x 24"
DEM	6	Delosperma	'Kalaidas'	Mesa Verde Ice Plant	1 Gal	Per Plan	12" x 36"
MIR	13	Mirabilis	multiflora	Desert Four O'Clock	1 Gal	Per Plan	24" x 24"
OPU	22	Opuntia	basilaris	Beavertail Cactus	1 Gal	Per Plan	12" x 36"
RGD	12	Rudbeckia	fulgida 'goldsturm'	Black Eyed Susan	1 Gal	Per Plan	24" x 24"
SAS	18	Salvia	greggii	Autumn Sage	1 Gal	Per Plan	30" x 30"
SFK	3	Eriogonum	umbellatum KANNAH CREEK	Sulphur Flower	1 Gal	Per Plan	18" x 24"
SMU	12	Salvia	pachyphylla	Mojave Sage	1 Gal	Per Plan	36" x 36"

REQUIREMENT	CALCULATION	REQUIRED	PROPOSED
15% OF NET LOT AREA SHALL BE LANDSCAPED 5-6(C)(2)(a)	.15 X (92000SF-14120SF) =	11,682 SF	13,810 SF
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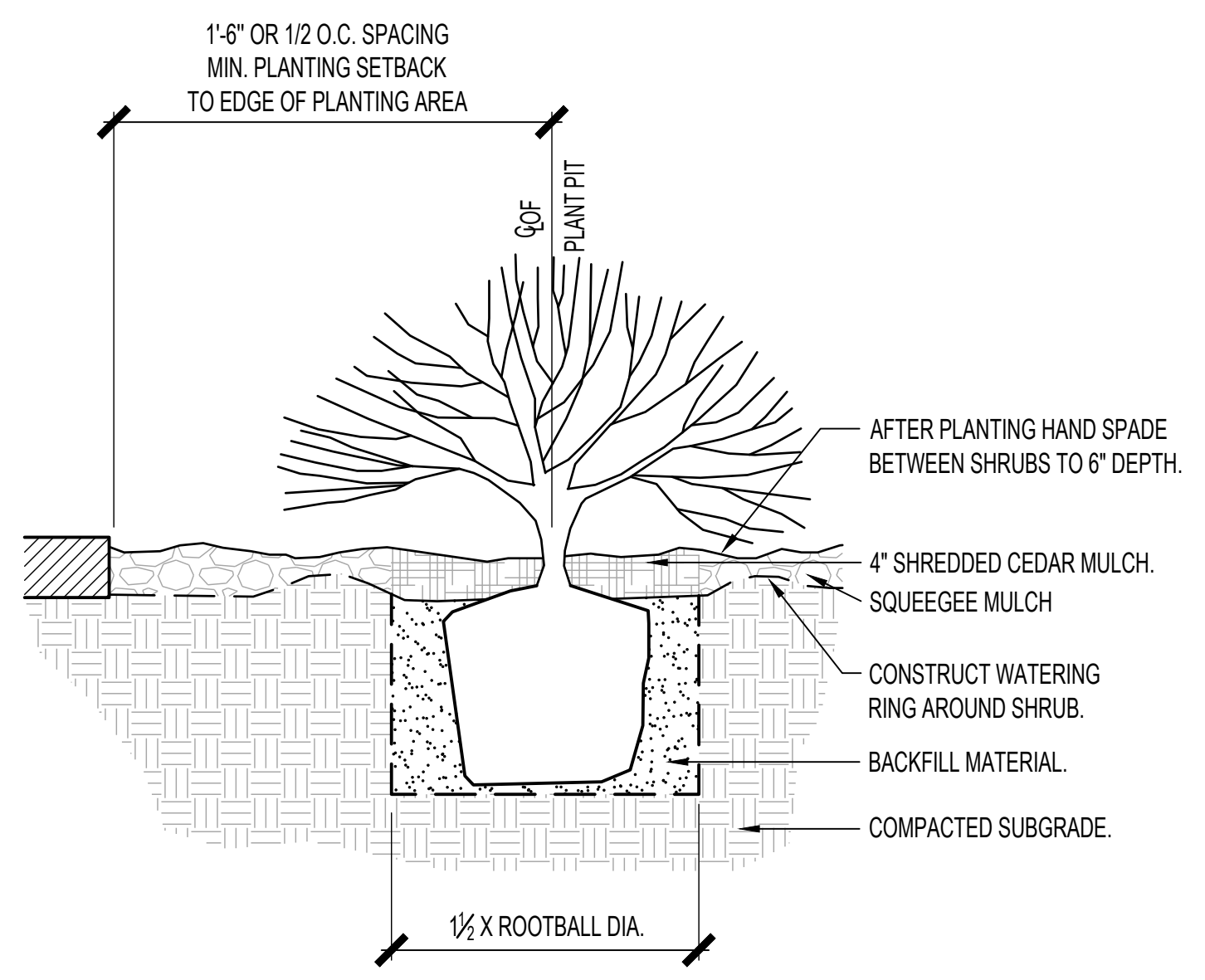
A LANDSCAPE PLANTING PLAN
SCALE: 1" = 10'



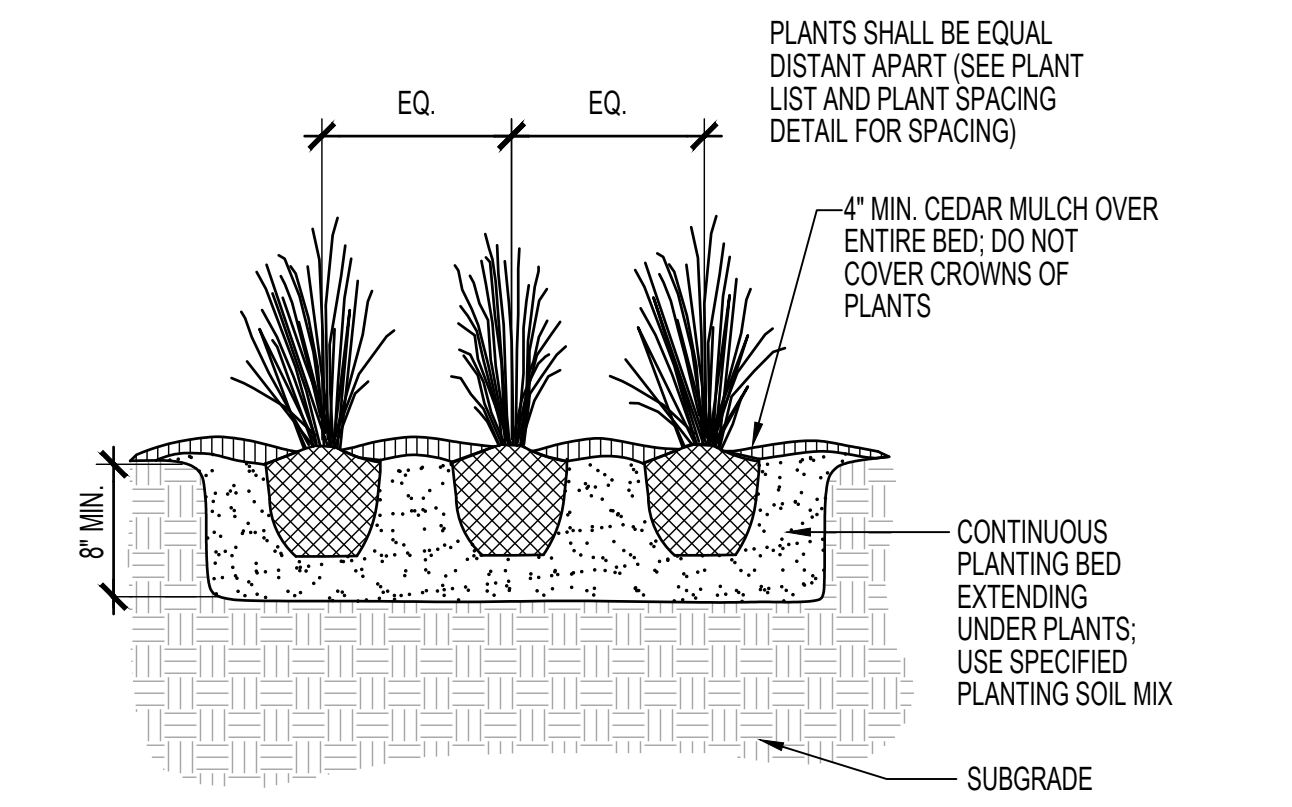


A DECIDUOUS TREE PLANTING
SCALE: NTS

- NOTES:**
1. ANY BROKEN OR CRUMBLING ROOTBALL WILL BE REJECTED. REMOVING THE WIRE WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.
 2. DO NOT CUT SINGLE LEADER, PRUNE DAMAGED OR DEAD WOOD AND CO-DOMINANT LEADERS AT LANDSCAPE ARCHITECT'S DIRECTION ONLY.
 3. ALL TREES TO BE STAKED IN THE SAME DIRECTION.



B SHRUB PLANTING
SCALE: NTS



C ORNAMENTAL GRASS/PERENNIAL PLANTING
SCALE: NTS

GENERAL IRRIGATION NOTES

- THE IRRIGATION CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE SPECIFICATIONS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE FOR UNINTERRUPTED LANDSCAPE WATERING/IRRIGATION THROUGHOUT THE CONSTRUCTION PERIOD UNTIL SITE IS TRANSFERRED TO THE OWNER AND PER WRITTEN SPECIFICATIONS.
- IF DISCREPANCIES EXIST BETWEEN THE DRAWINGS AND THE ACTUAL CONDITIONS IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE LANDSCAPE ARCHITECT.
- INSTALL POP-UP TYPE SPRINKLER HEADS IN LAWN AREAS SO THAT TOP OF SPRINKLER HEAD IS 1.5" AWAY FROM ADJACENT SIDEWALK OR CURB.
- SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE OF AREA TO BE IRRIGATED UNLESS OTHERWISE INDICATED ON DRAWINGS.
- WHEN VERTICAL OBSTRUCTIONS (FIRE HYDRANTS, TREES, LIGHTS, ETC.) INTERFERE WITH SPRAY PATTERN OF SPRINKLER HEADS SO AS TO PREVENT PROPER COVERAGE, ADJUST SPRINKLER SYSTEM BY INSTALLING A QUARTER CIRCLE, HALF CIRCLE, OR ADJUSTABLE CIRCLE SPRINKLER HEAD ON EACH SIDE OF OBSTRUCTION SO AS TO PROVIDE PROPER COVERAGE. PERFORM ADJUSTMENTS AT NO COST TO OWNERS AUTHORIZED REPRESENTATIVE.
- SPRINKLER SYSTEM DESIGN IS BASED ON MINIMUM OPERATING PRESSURE AND MAXIMUM FLOW DEMAND SHOWN ON IRRIGATION DRAWINGS AT THE PROPOSED POINT OF CONNECTION. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT DIFFERENCES BETWEEN WATER PRESSURE INDICATED ON DRAWINGS AND ACTUAL PRESSURE READING AT IRRIGATION POINT-OF-CONNECTION TO OWNERS AUTHORIZED REPRESENTATIVE. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REVISIONS.
- THIS DESIGN IS DIAGRAMMATIC. PIPING, VALVES, ETC. MAY BE SHOWN WITHIN PAVED AREAS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID CONFLICTS BETWEEN SPRINKLER SYSTEM, PLANTING, AND ARCHITECTURAL FEATURES. VALVE BOXES SHALL BE LOCATED TO BE AS INCONSPICUOUS AS POSSIBLE, WHILE STILL FULFILLING THE DESIGN INTENT. NO VALVE BOXES SHALL BE PLACED WITHIN PLAY FIELD AREAS.
- FLUSH AND ADJUST SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND BUILDINGS. THIS INCLUDES SELECTING THE BEST DEGREE OF ARC TO FIT SITE CONDITIONS AND TO THROTTLE FLOW CONTROL AT EACH VALVE TO OBTAIN OPTIMUM PRESSURE FOR EACH SYSTEM.
- DO NOT WILLFULLY INSTALL SPRINKLER SYSTEM AS INDICATED ON DRAWINGS WHEN IT IS OBVIOUS IN FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES IN AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED DURING DESIGN. BRING SUCH OBSTRUCTIONS OR DIFFERENCES TO THE ATTENTION OF OWNERS AUTHORIZED REPRESENTATIVE. IN EVENT THIS NOTIFICATION IS NOT PERFORMED, CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REVISIONS.
- INSTALL PIPE MATERIALS AND EQUIPMENT AS SHOWN IN DETAILS. USE TEFLON TAPE ON PVC MALE PIPE THREADS ON SPRINKLER SWING JOINT AND VALVE ASSEMBLIES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, ETC. COORDINATE WORK WITH GENERAL CONTRACTOR AND OTHER SUB-CONTRACTORS FOR LOCATION AND INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, PAVING, STRUCTURES, ETC.
- IN ADDITION TO SLEEVES SHOWN ON THE DRAWINGS, CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF PIPE SLEEVING AND SEPARATE CONTROL WIRE SLEEVES OF SUFFICIENT SIZE UNDER PAVED AREAS.
- THE FOLLOWING SHOULD BE NOTED REGARDING PIPE SIZING: IF A SECTION OF UN-SIZED LATERAL IS LOCATED BETWEEN TWO IDENTICALLY SIZED SECTIONS THE UN-SIZED SECTION SHALL BE OF THE SAME SIZE. IN NO CASE SHALL A SECTION OF PIPE BE SMALLER THAN ANY DOWNSTREAM SECTION LOCATED ON THE SAME LATERAL RUN.

PLANTING IRRIGATION NOTES

- PROVIDE PIPE AND SPACING PER SCHEDULE TO ALL PLANT MATERIAL SERVED BY DRIP LINE IRRIGATION SYSTEM.
- DRIPPERLINE IS INTENDED TO IRRIGATE PLANT MATERIAL BY PLANT TYPE IN ORDER TO APPLY APPROPRIATE AMOUNTS OF WATER AS NEEDED FOR PROPER PLANT GROWTH AND PLANT CARE. EXCEPTIONS TO PLANT MATERIAL SYSTEM SEPARATIONS ARE NOTED WITH VALVE CALLOUTS ON PLAN. ADJUSTMENTS MAY BE NECESSARY AS PLANT MATERIAL ESTABLISHES.
- IRRIGATION AREAS ARE SHOWN DIAGRAMMATIC FOR CLARITY. INSTALL ALL PIPING IN LANDSCAPE PLANTING AREAS.
- INSTALL SUPPLY LATERAL WITHIN PVC SLEEVE WHEN ROUTING THROUGH PAVED SURFACES OR THROUGH PLANTER'S WALLS.
- PROVIDE ONE (1) FLUSH-VALVE ASSEMBLY AT EACH END OF DRIP SYSTEM OR AS SHOWN ON DETAILS. LOCATE FLUSH-VALVE ASSEMBLY BOXES ADJACENT TO PLANTING BORDERS OR PAVING EDGES FOR MAINTENANCE CONVENIENCE.
- EACH EMITTER SHALL HAVE THE ABILITY TO INDEPENDENTLY REGULATE DISCHARGE RATES, WITH AN INLET PRESSURE RANGE OF 14.5 - 58 POUNDS PER SQUARE INCH (PSI), AT A CONSTANT FLOW AND WITH A MANUFACTURER'S COEFFICIENT OF VARIABILITY (CV) OF 0.03 OR LESS.

LANDSCAPE IRRIGATION NARRATIVE

- PLANT MATERIAL WILL BE GROUPED INTO LATERAL ZONES BASED ON SIMILAR WATER REQUIREMENTS TO REDUCE OVERALL WATER CONSUMPTION WHILE ALLOWING PLANTS TO SUSTAIN HEALTHY, VIGOROUS GROWTH.
- TURF AREAS WILL BE IRRIGATED USING 6" POP-UP ROTATOR TYPE SPRINKLER HEADS.
- ALL AREAS LOCATED OFF-SITE DISTURBED THROUGH PROJECT INFRASTRUCTURE CONSTRUCTION ARE TO BE RE-SEEDED. ALL RE-SEEDED AREAS TO BE IRRIGATED BY WATER TRUCK OR OTHER MEANS OF SUPPLEMENTAL WATERING UNTIL FINAL ESTABLISHMENT.

EQUIPMENT SCHEDULE

SYMBOL	DESCRIPTION
-----	SLEEVING: CLASS 200 PVC PROVIDE SEPARATE 2" MIN. SLEEVE FOR WIRING
—————	MAINLINE PIPE: CLASS 200 BE PVC - 1.5"
- - - - -	DRIPPER LINE SUPPLY LATERAL PIPE: CLASS 200 BE PVC (1-INCH UNLESS OTHERWISE INDICATED)
⊥	UNCONNECTED PIPE CROSSING
BF	BACKFLOW DEVICE RE-PLUMBING
D	DRAIN VALVE
H	FROST FREE GARDEN HYDRANT
IS	ISOLATION GATE VALVE ASSEMBLY
Q	QUICK COUPLING VALVE ASSEMBLY
RC	REMOTE CONTROL VALVE ASSEMBLY FOR SPRINKLER LATERALS (RAIN BIRD PESB-R - SIZED AS INDICATED)
RD	REMOTE CONTROL VALVE ASSEMBLY FOR DRIPPER LINE LATERALS (RAIN BIRD XCZ-100-PBR-LC) DRIP SUPPLY LATERAL
IR	PLANT IRRIGATION RING: SIZED PER PLANT NETAFIM TECHLINE CV - TLHCVXR-RW11-12
A	IRRIGATION CONTROLLER: RAIN BIRD ESP-LXME2 PRO WITH IQ COMM CARD
A 12 1.5 55	INDICATES CONTROLLER AND CONTROLLER STATION NUMBER INDICATES LATERAL DISCHARGE IN GPM OR DRIP INDICATES REMOTE CONTROL VALVE SIZE IN INCHES
WS	WEATHER SENSOR: RAIN BIRD WR-2 RAIN FREEZE

PIPE SCHEDULE

MAXIMUM FLOW RATE - PVC PLASTIC PIPE	
PIPE SIZE	MAXIMUM FLOW (GPM)
1"	16

EQUIPMENT SCHEDULE

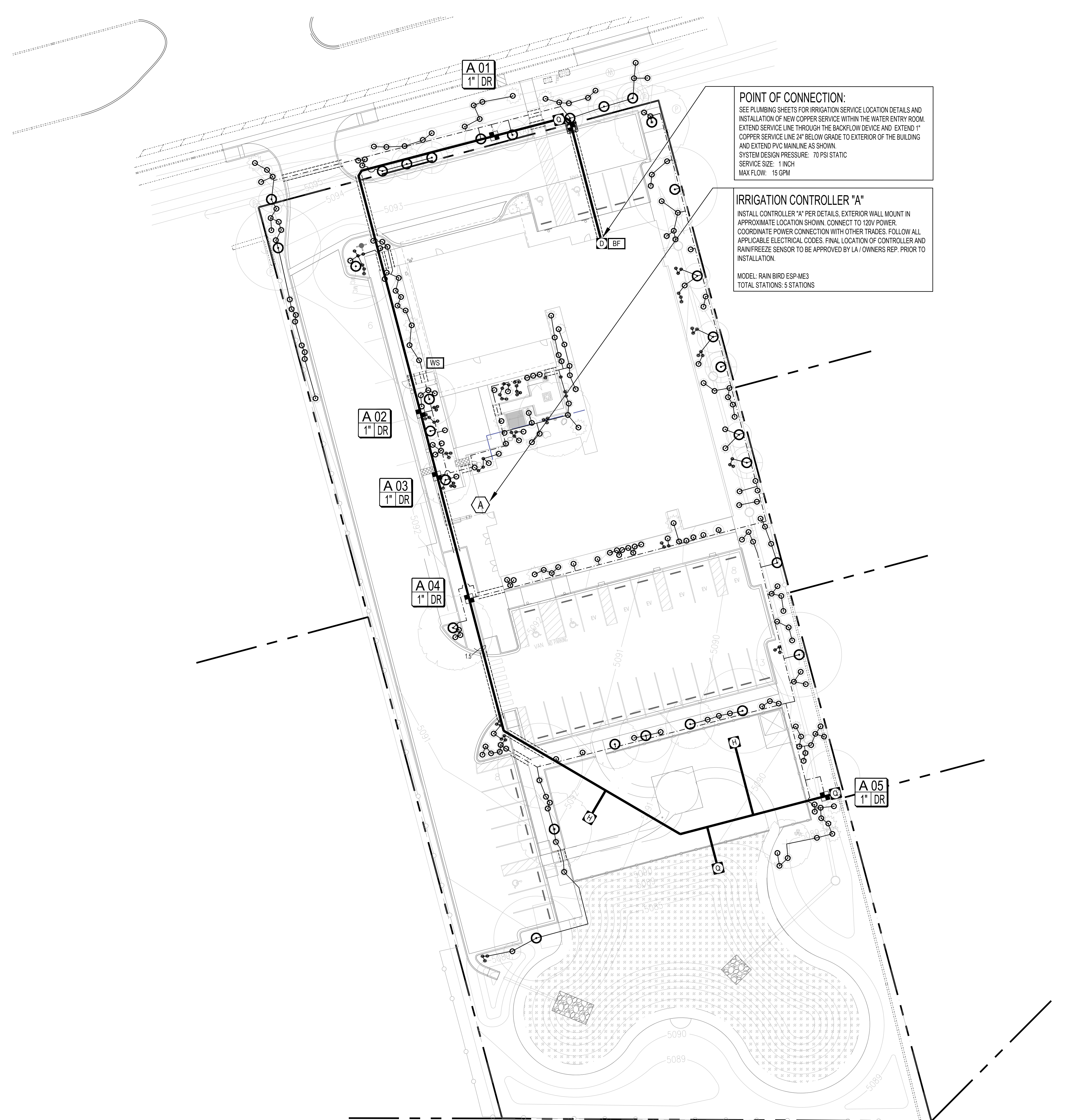
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PIPE SCHEDULE

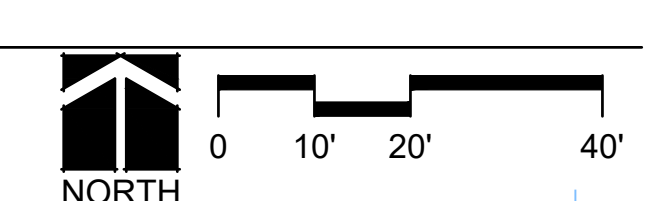
MAXIMUM FLOW RATE - PVC PLASTIC PIPE	
PIPE SIZE	MAXIMUM FLOW (GPM)
1"	16

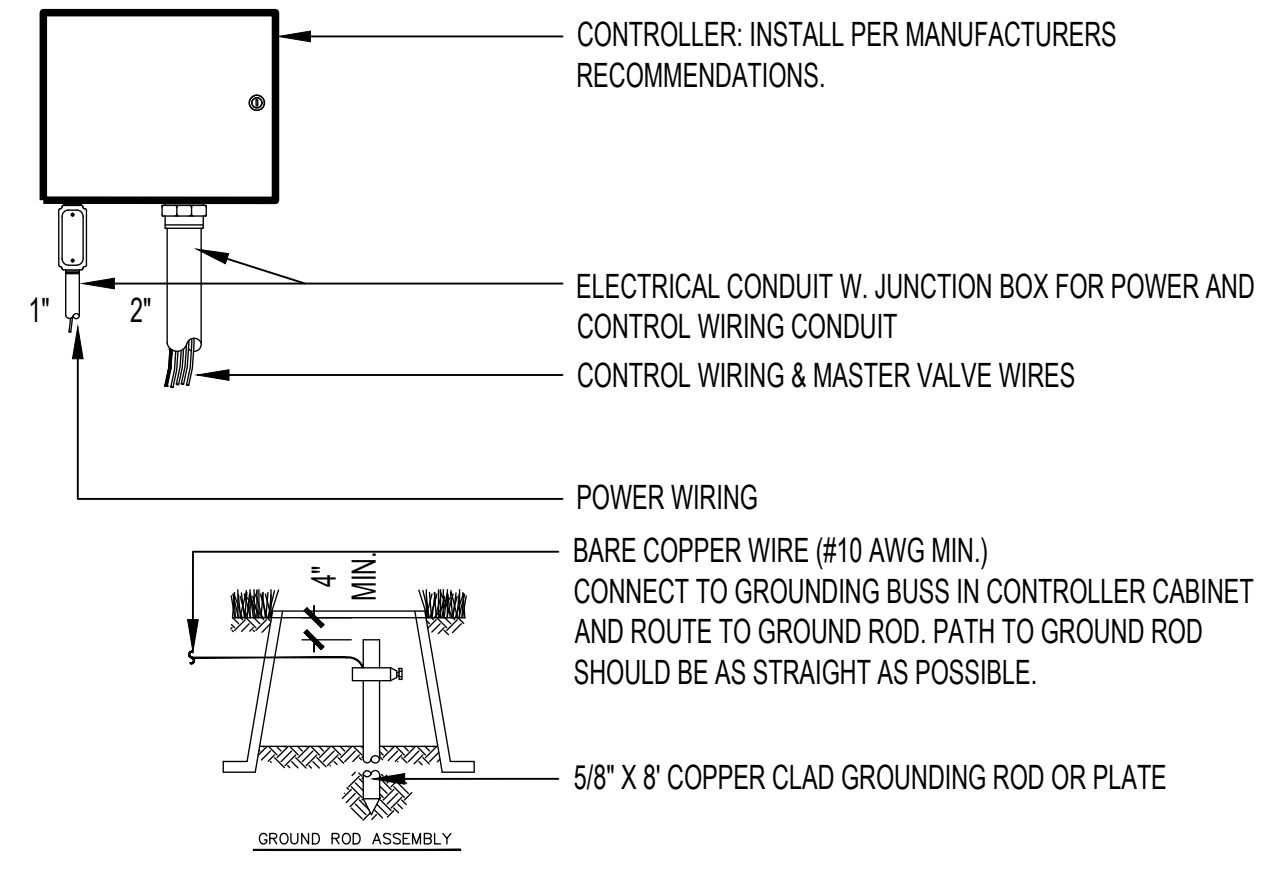
POINT OF CONNECTION:
SEE PLUMBING SHEETS FOR IRRIGATION SERVICE LOCATION DETAILS AND INSTALLATION OF NEW COPPER SERVICE WITHIN THE WATER ENTRY ROOM. EXTEND SERVICE LINE THROUGH THE BACKFLOW DEVICE AND EXTEND 1" COPPER SERVICE LINE 24" BELOW GRADE TO EXTERIOR OF THE BUILDING AND EXTEND PVC MAINLINE AS SHOWN.
SYSTEM DESIGN PRESSURE: 70 PSI STATIC
SERVICE SIZE: 1 INCH
MAX FLOW: 15 GPM

IRRIGATION CONTROLLER "A"
INSTALL CONTROLLER "A" PER DETAILS, EXTERIOR WALL MOUNT IN APPROXIMATE LOCATION SHOWN. CONNECT TO 120V POWER. COORDINATE POWER CONNECTION WITH OTHER TRADES. FOLLOW ALL APPLICABLE ELECTRICAL CODES. FINAL LOCATION OF CONTROLLER AND RAIN/FREEZE SENSOR TO BE APPROVED BY LA / OWNERS REP. PRIOR TO INSTALLATION.
MODEL: RAIN BIRD ESP-ME3
TOTAL STATIONS: 5 STATIONS

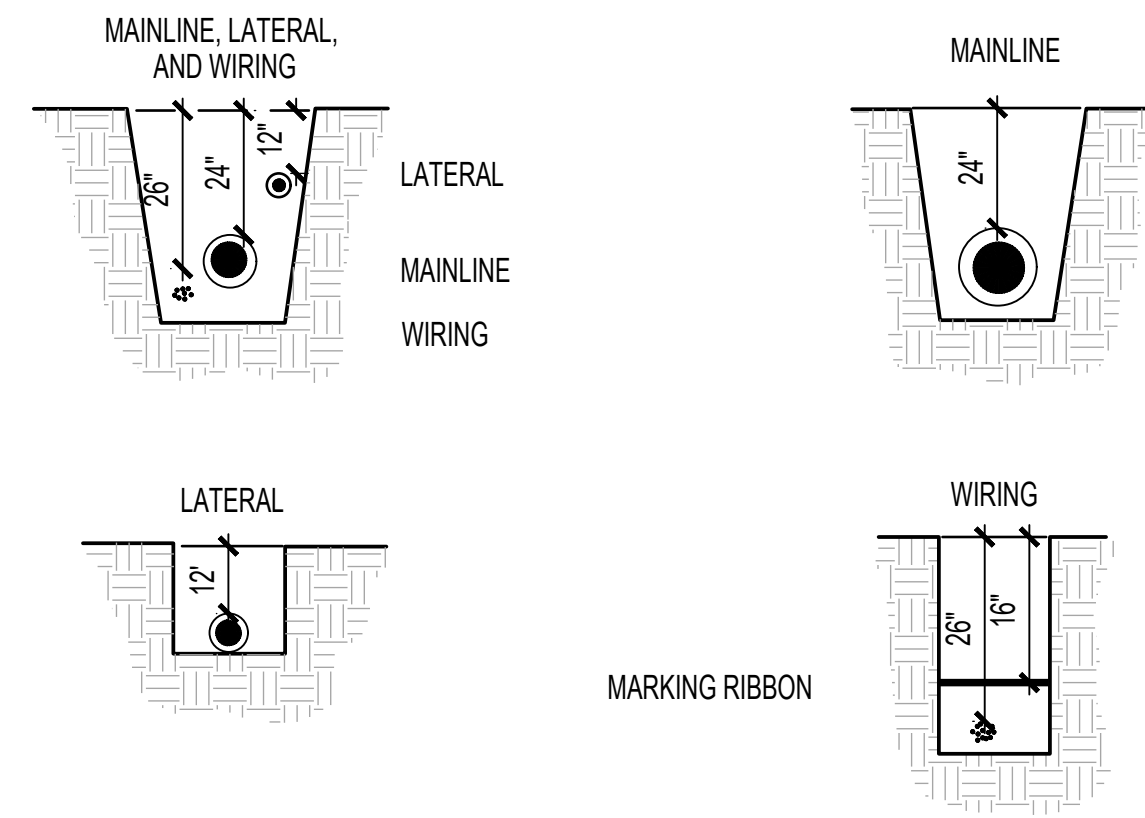


A IRRIGATION PLAN
SCALE: 1" = 20'



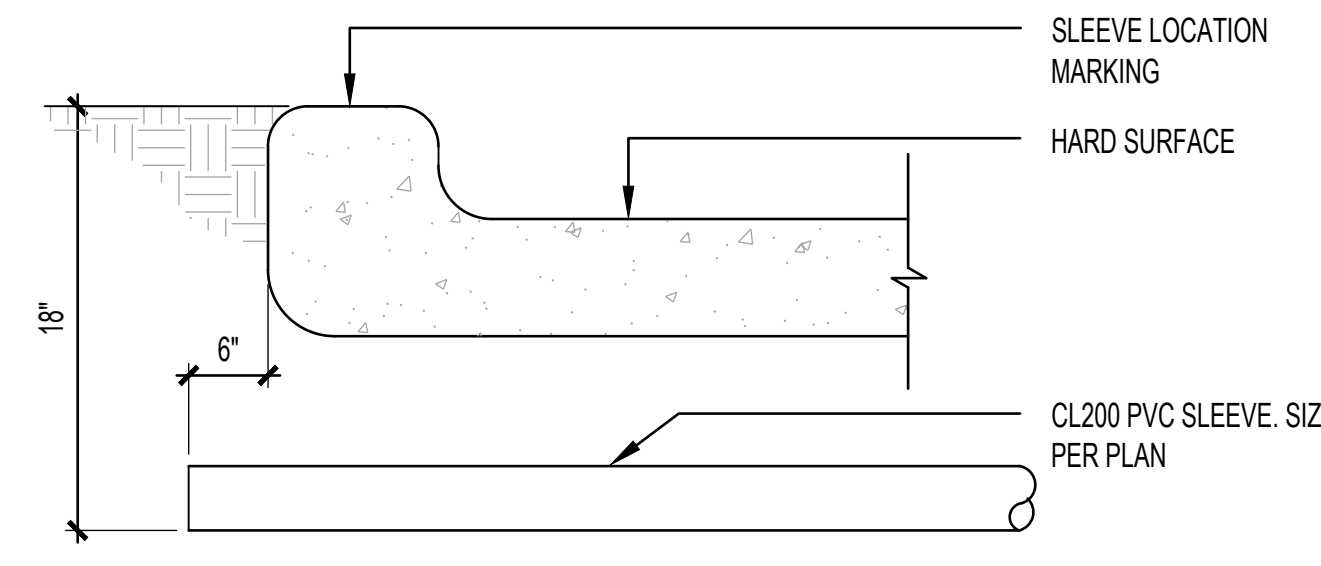


A WALLMOUNT CONTROLLER INSTALLATION
SCALE: NTS



- NOTES:
1. TAPE AND BUNDLE WIRING AT 10-FOOT INTERVALS.
 2. ALL MAINLINE PIPING TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION SPECIFICATIONS.
 3. ROUTE TRENCH MINIMUM 6 FEET FROM ANY TREE PLANTING AND OUTSIDE THE DRIP LINE OF EXISTING TREES.
 4. TIE A 20-INCH LOOP IN ALL WIRING AT CHANGES OF DIRECTIONS GREATER THAN 30 DEGREES. UNTIE AFTER ALL CONNECTIONS HAVE BEEN MADE.
 5. BACK FILL MATERIAL TO BE FREE OF ALL DEBRIS AND ROCKS LARGER THAN 3/4" IN DIAMETER.

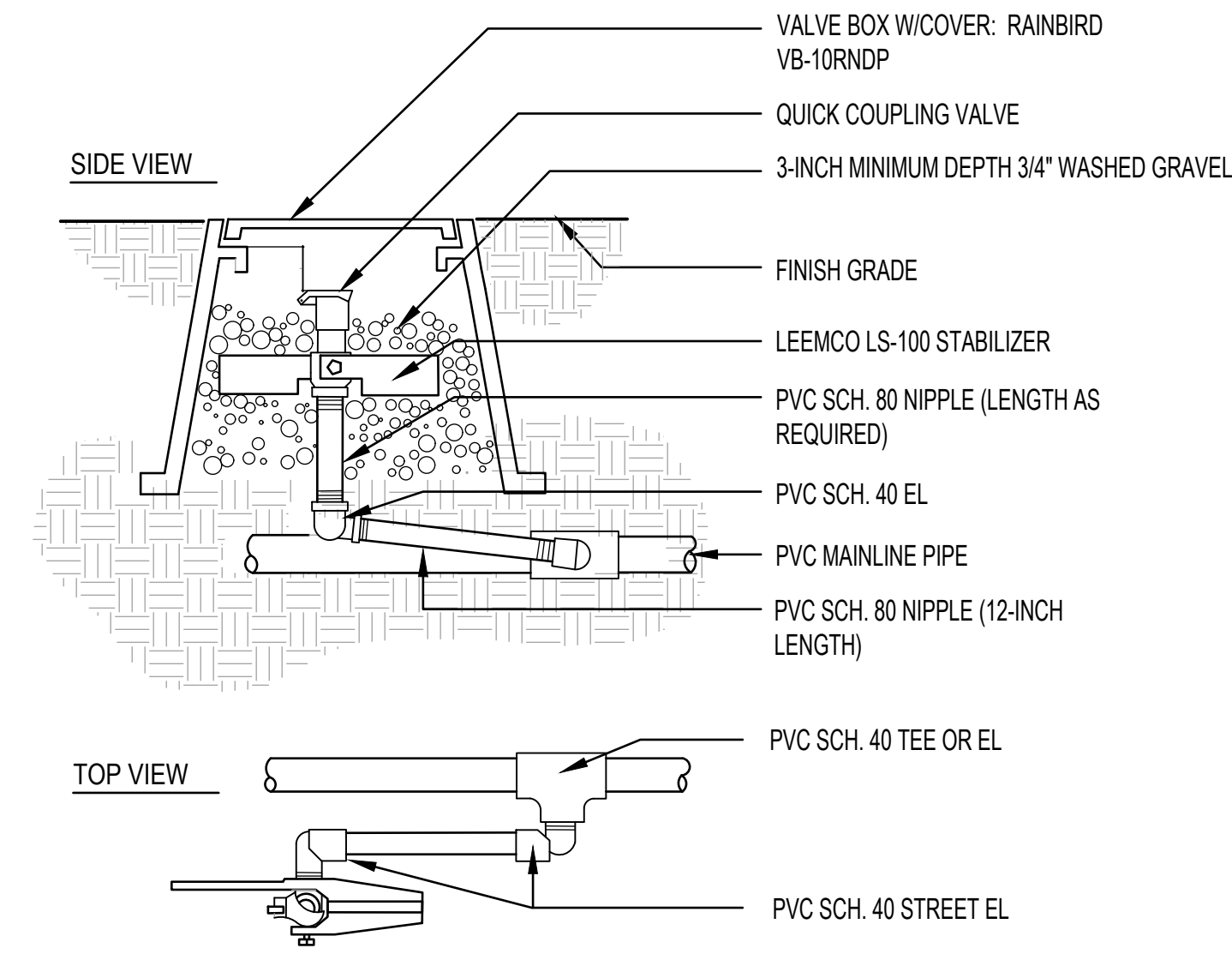
B TRENCHING AND PIPE/WIRE INSTALLATION
SCALE: NTS



PIPE SIZE OR WIRE	QUANTITY REQUIRED SLEEVE
3/4"-1 1/4" PIPE	1 - 2"
1 1/2 - 2" PIPE	1 - 4"
2 1/2 - 3" PIPE	1 - 6"
4" PIPE	1 - 8"
6" PIPE	1 - 12"
8" PIPE	1 - 14"
12" PIPE	1 - 18"
1-25 CONTROL WIRES	1 - 2"
26-75 CONTROL WIRES	1 - 3"

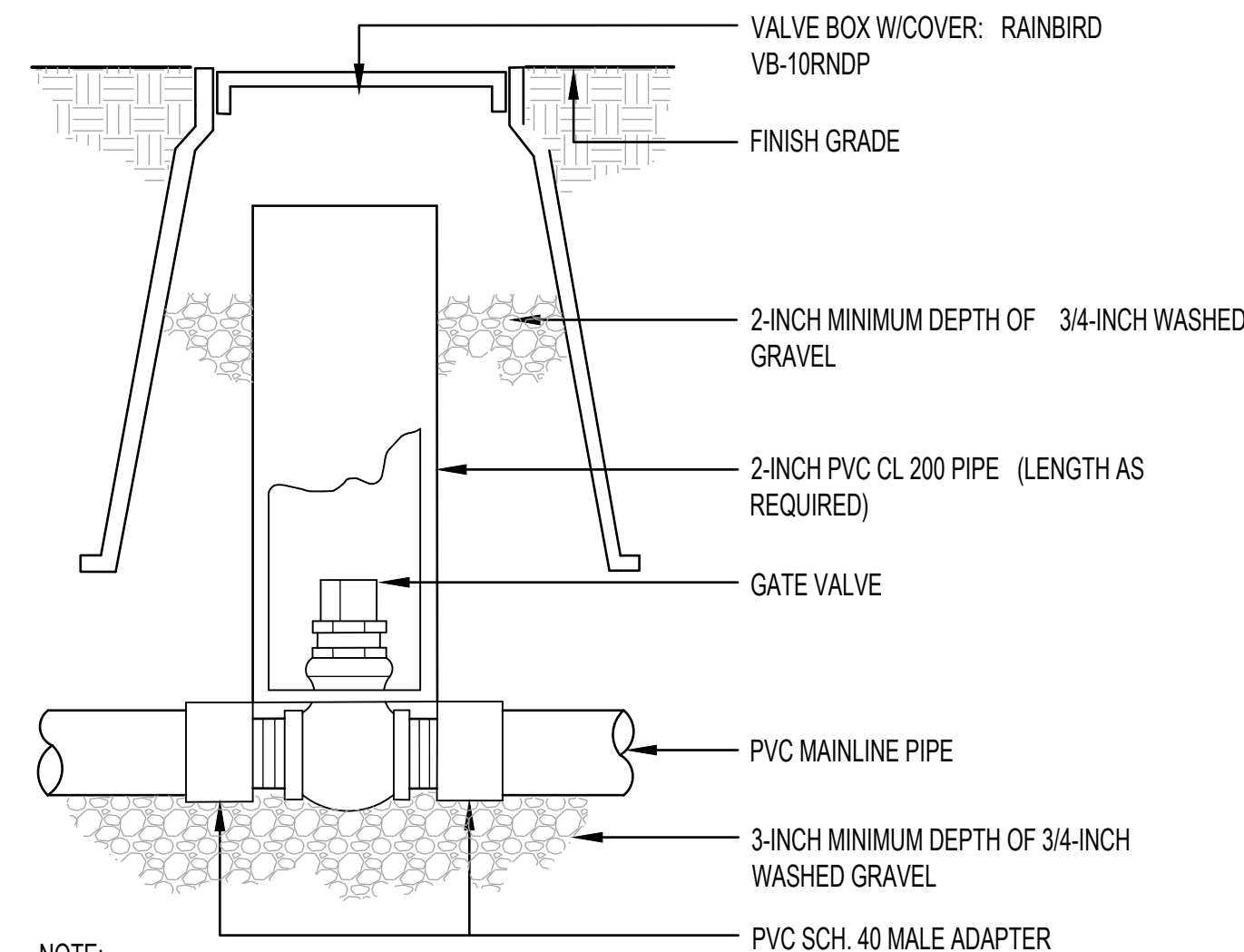
NOTE: EACH LENGTH OF SLEEVED PIPE SHOWN SHALL BE ROUTED THROUGH A SEPARATE SLEEVE

C SLEEVING
SCALE: 1"-1'0"



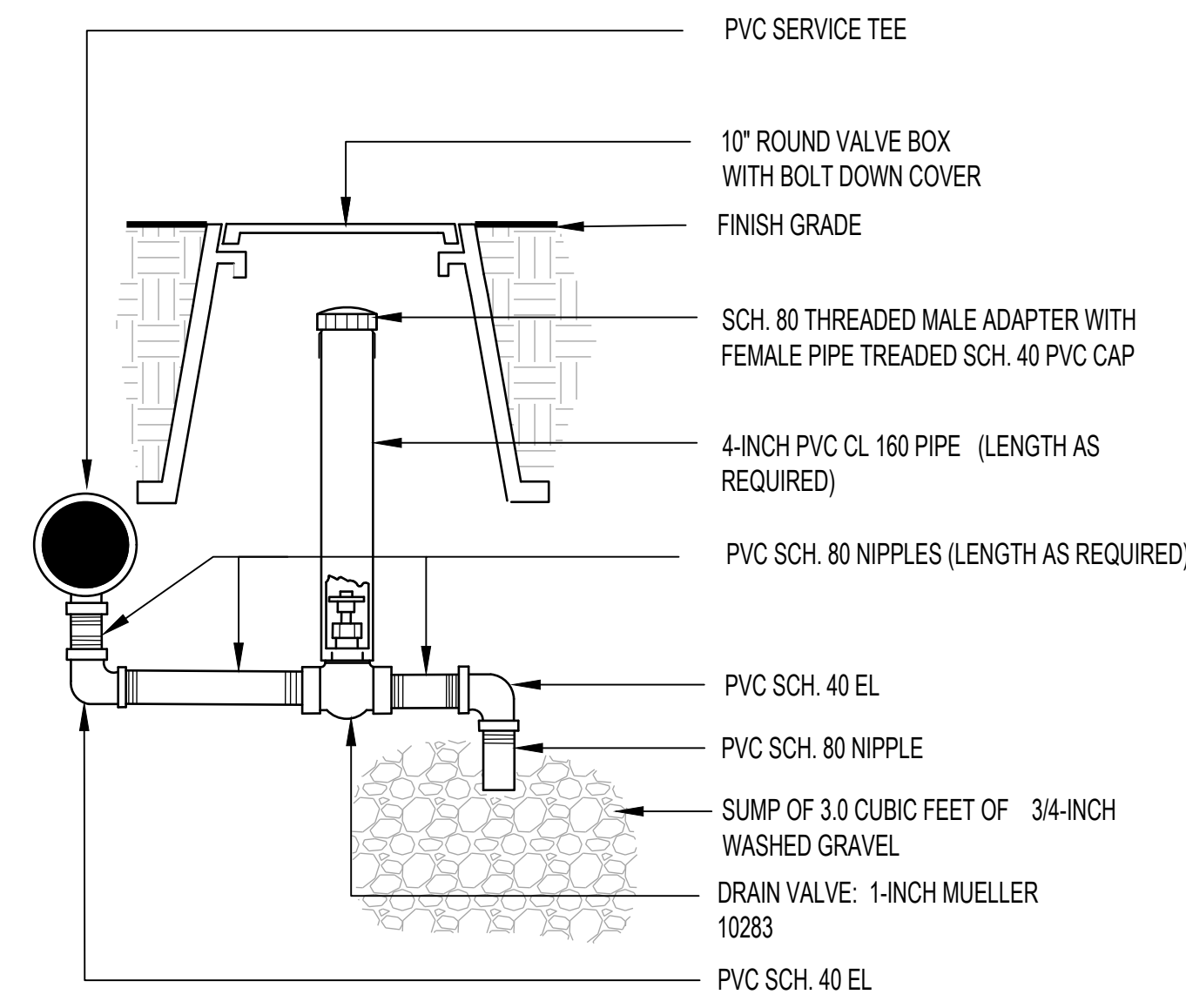
NOTE:
1. BRAND "QC" INTO LID OF EACH VALVE BOX W/3-INCH HIGH LETTERS.

D QUICK COUPLING VALVE ASSEMBLY
SCALE: 1"-1'0"

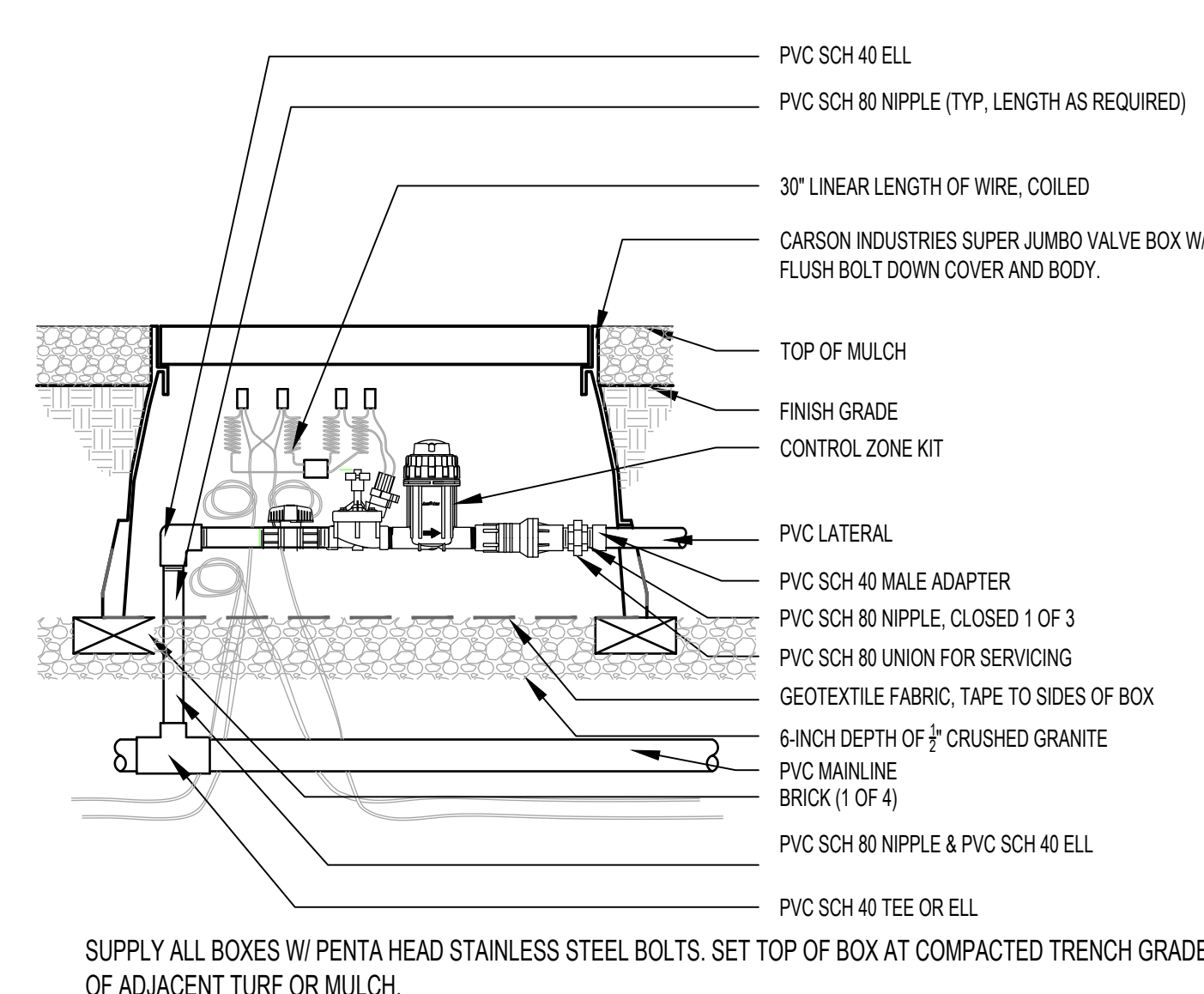


- NOTE:
1. LOCATE GATE VALVE AT LEAST 12" FROM, AND ALIGN WITH ADJACENT WALLS OR EDGES OF PAVED AREAS.
 2. BRAND "GV" INTO LID OF EACH VALVE BOX W/3-INCH HIGH LETTERS.

E ISOLATION GATE VALVE ASSEMBLY
SCALE: 1"-1'0"

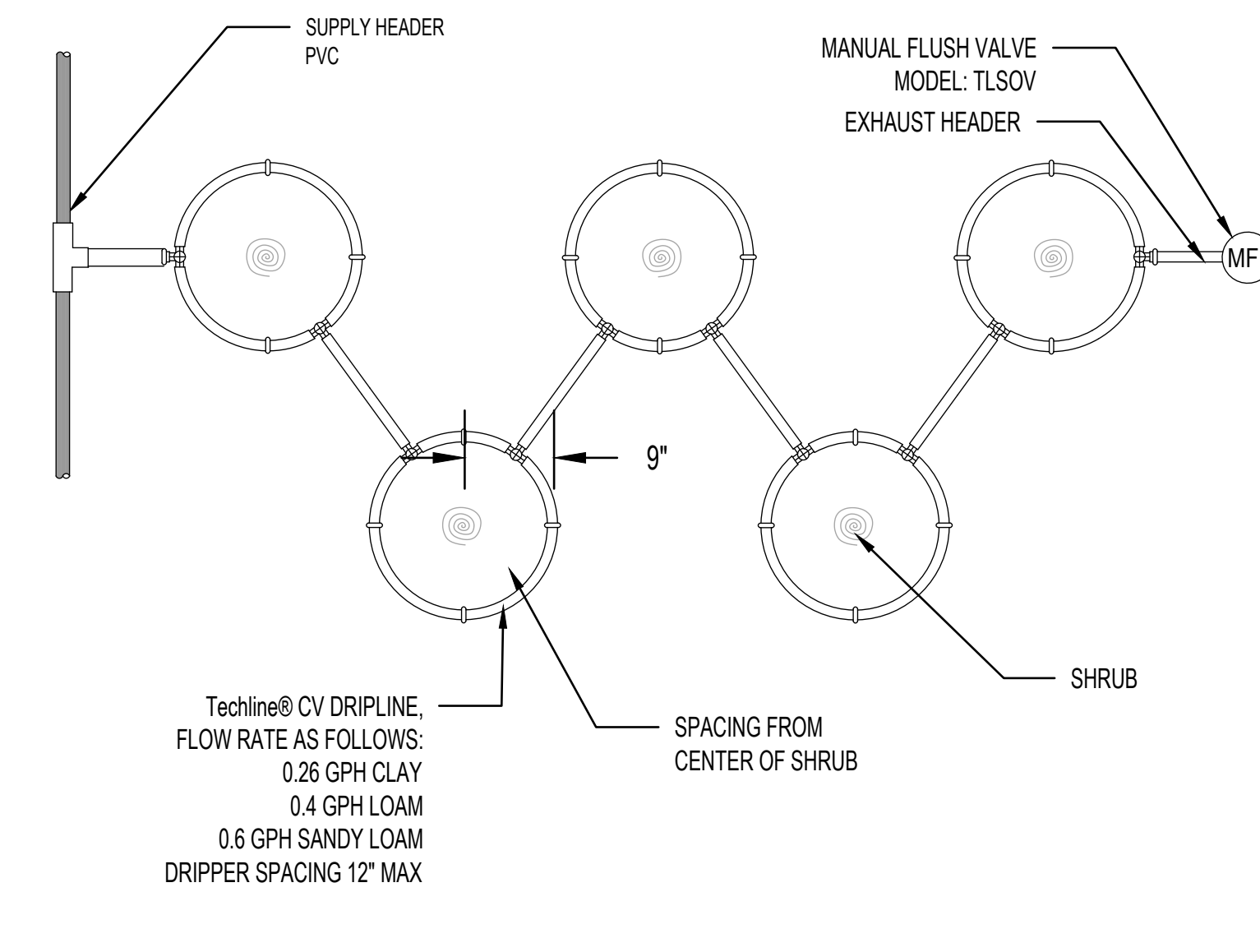


F MANUAL DRAIN VALVE ASSEMBLY
SCALE: NTS

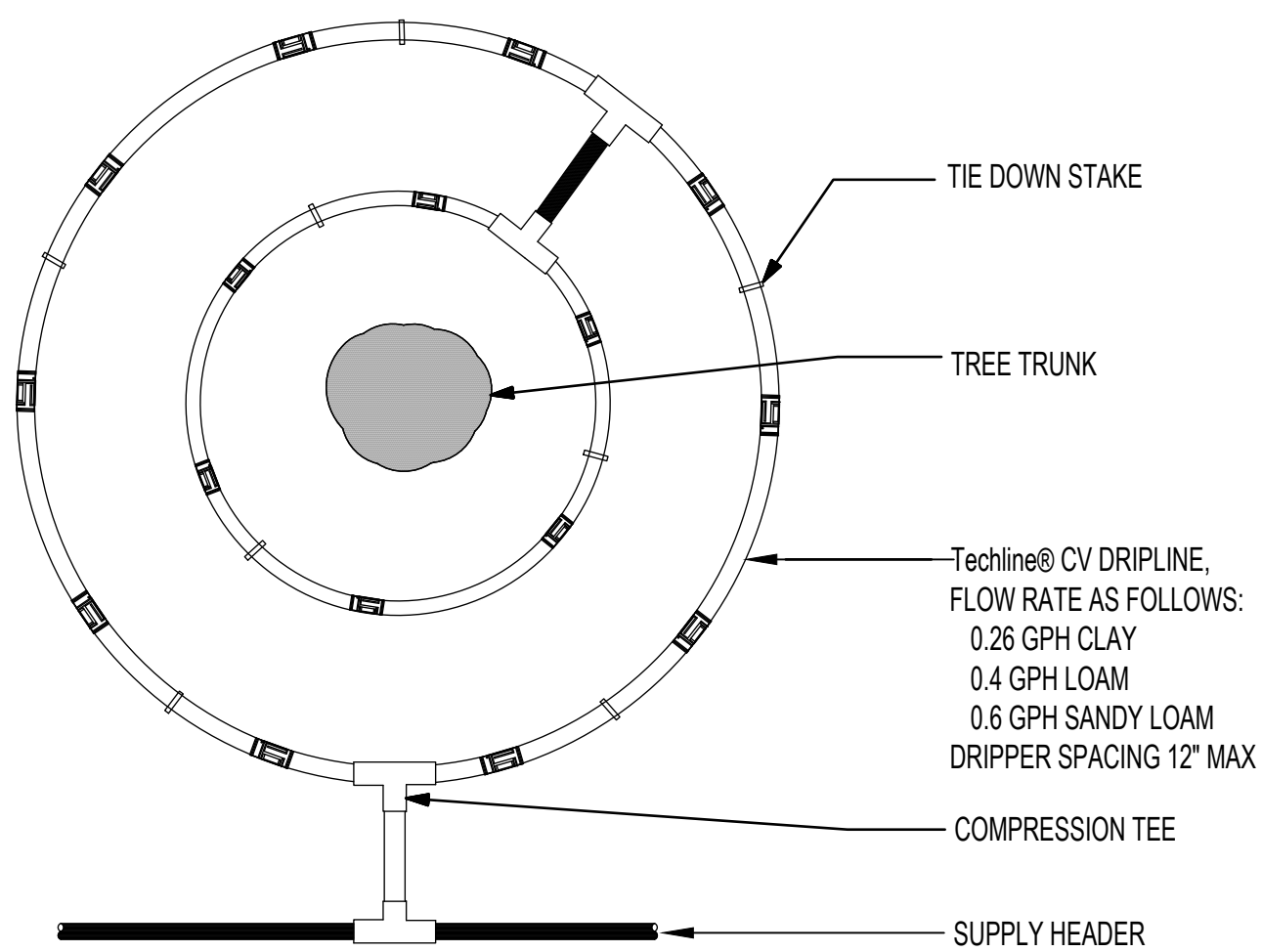


SUPPLY ALL BOXES W/ PENTA HEAD STAINLESS STEEL BOLTS. SET TOP OF BOX AT COMPACTED TRENCH GRADE OF ADJACENT TURF OR MULCH.

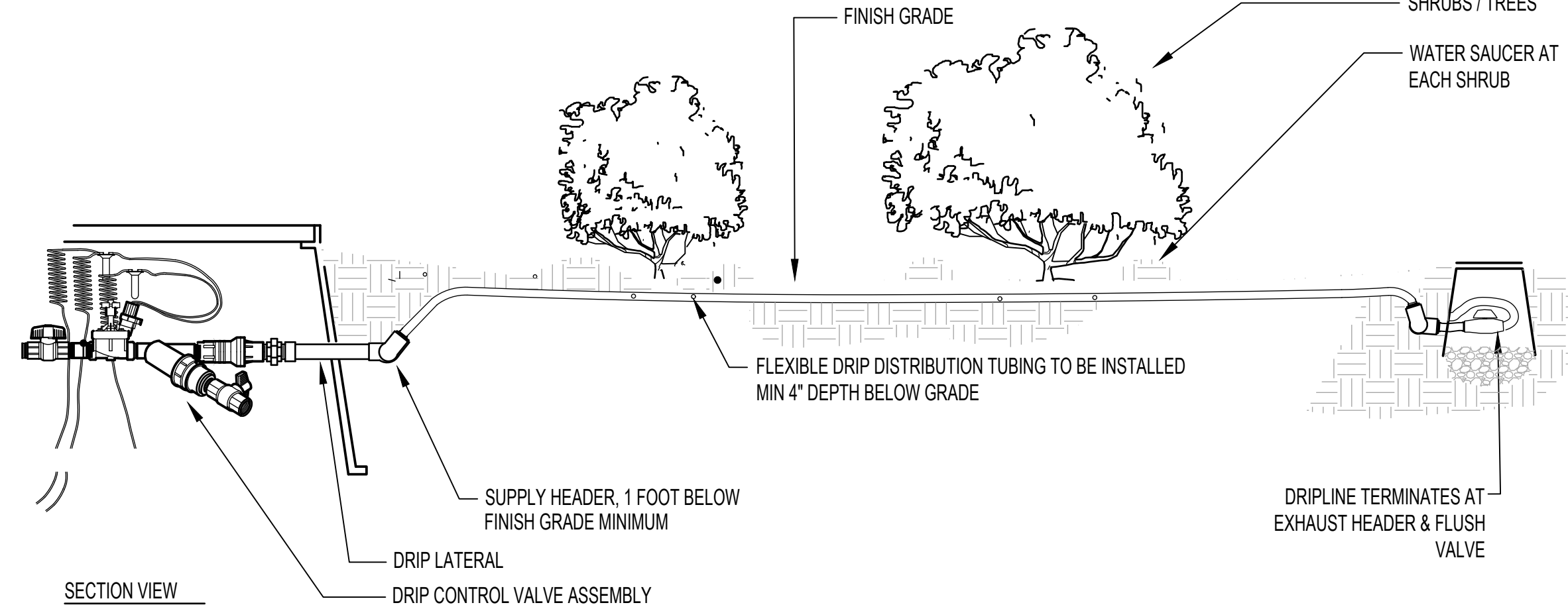
G DRIP ZONE CONTROL KIT
SCALE: NTS



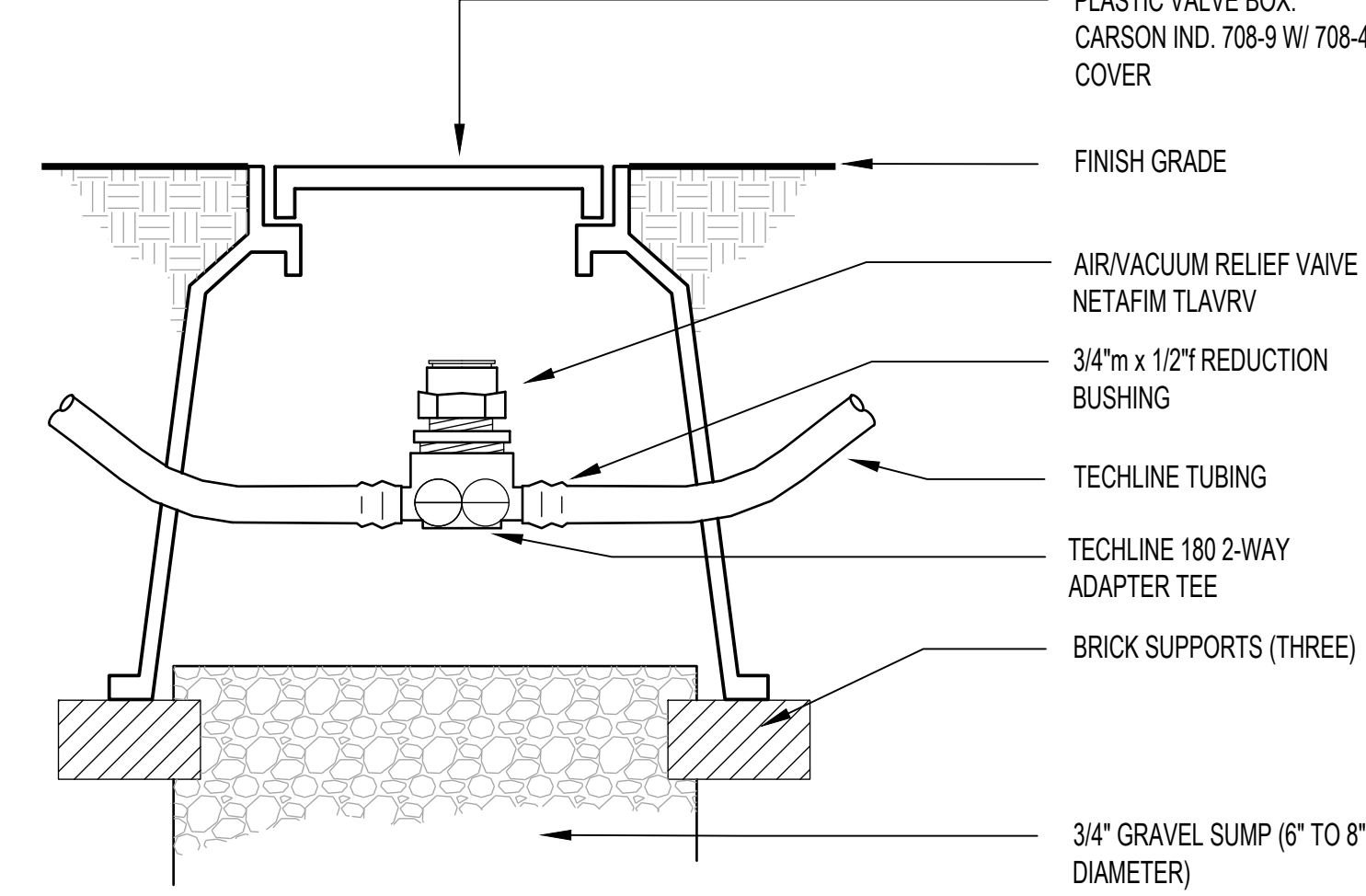
H DRIPPERLINE @ SHRUBS IN GRAVEL MULCH
SCALE: NTS



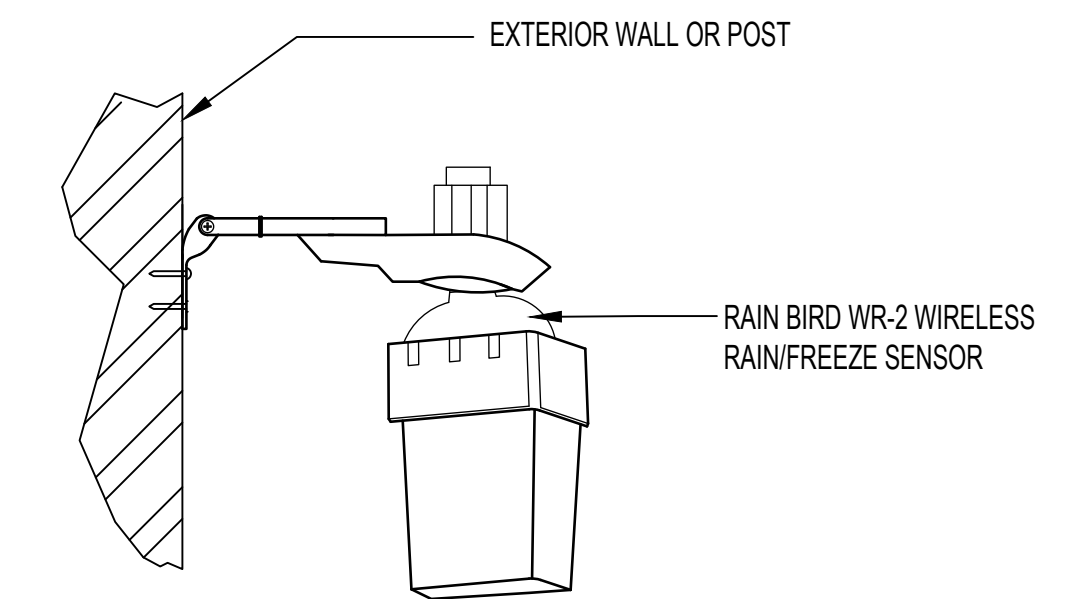
I DRIPPERLINE @ TREE IN GRAVEL MULCH
SCALE: NTS



J DRIPLINE INSTALLATION @ GRAVEL PLANTING AREAS
SCALE: NTS

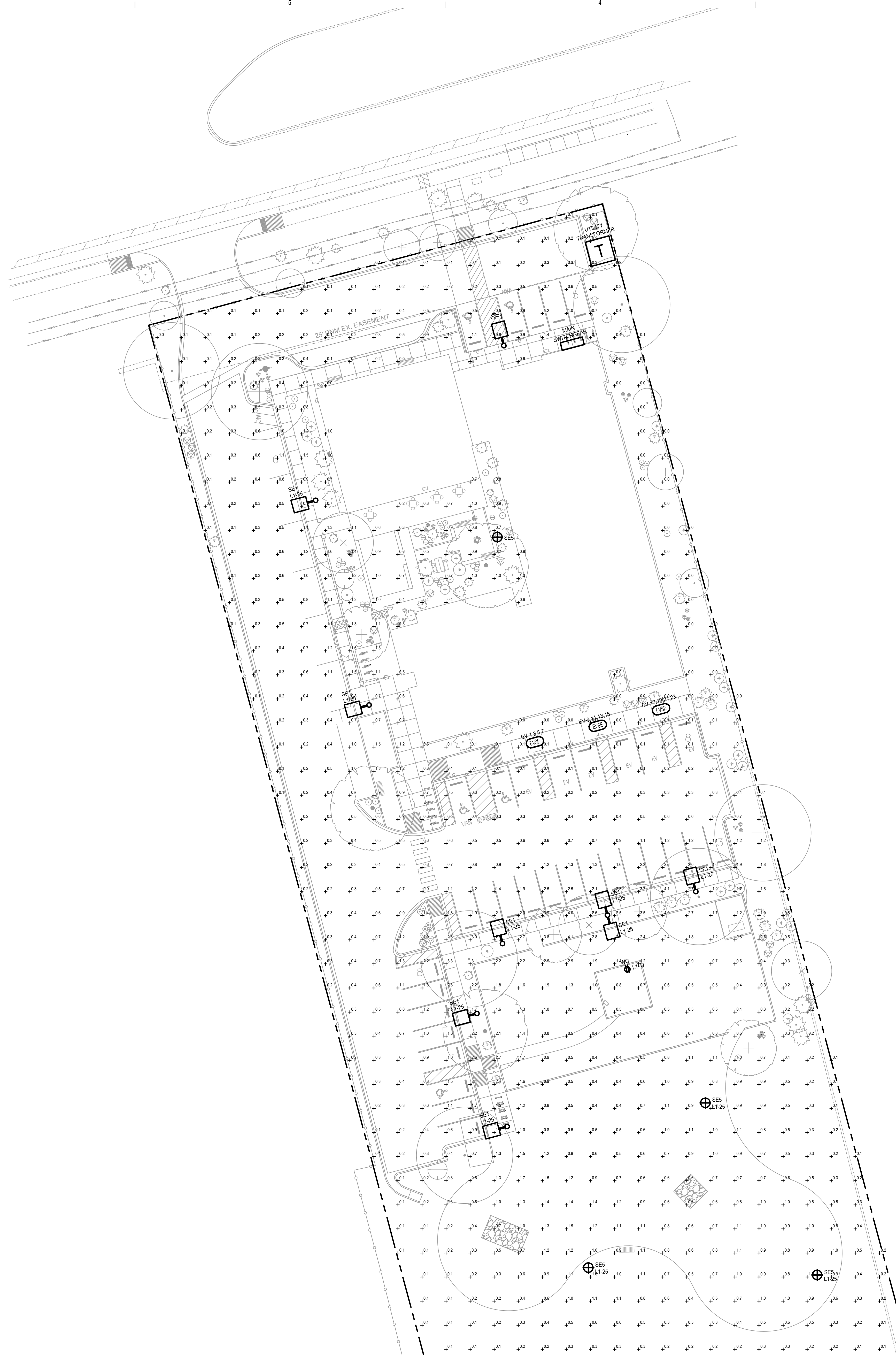


K TECHLINE AIR/VACUUM RELIEF VALVE
SCALE: NTS



- NOTE:
1. FINAL LOCATION TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 2. INSTALL IN A LOCATION WHERE RAINFALL WILL NOT BE OBSTRUCTED.

L RAIN SENSOR
SCALE: NTS



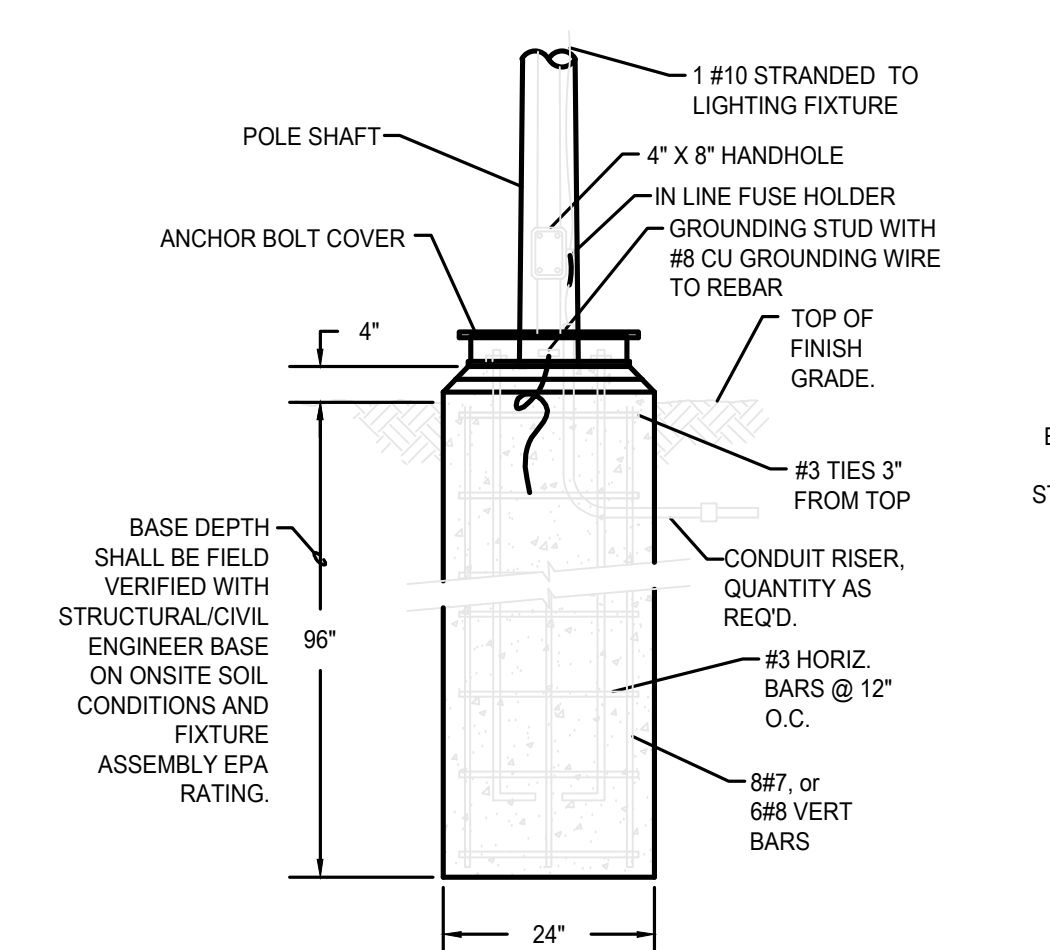
1 SITE PLAN - SDP
1" = 20'-0"

- GENERAL NOTES**
1. ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE PUBLIC ROW, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL I.E.S. LIGHTING STANDARDS FOR DISABILITY GLARE.
 2. ALL PROVIDED EXTERIOR FIXTURES SHALL BE FULL CUT-OFF TYPE FIXTURES TO COMPLY WITH SEC. 10.7.4.2.A.1.
 3. EXTERIOR LIGHT FIXTURES SHALL BE DIMMED AS REQUIRED TO COMPLY WITH BUILDING DEPARTMENT 8 FOOT CANDLE MAX AND 2 FOOT CANDLE AT THE ZONE LOT LINE REQUIREMENTS.

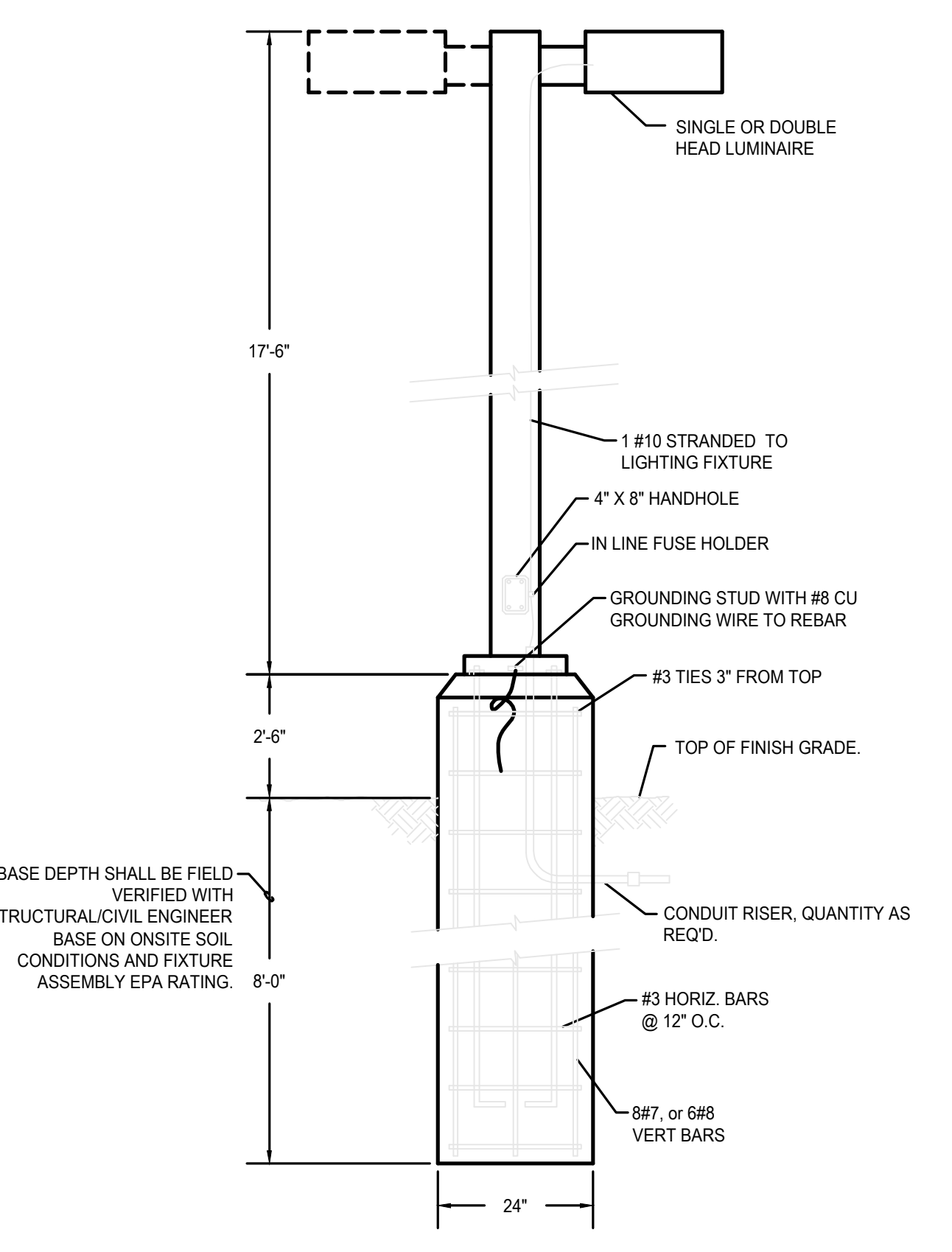
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.7 fc	4.1 fc	0.0 fc	N/A	N/A

SITE LUMINAIRE SCHEDULE								
KEY	DESCRIPTION	MFR. & CAT. NO.	LAMP/ COLOR TEMP.	VOLTS	MOUNTING INFORMATION	LUMENS	MAX WATTS	B.U.G. RATING
SE1	ARCHITECTURAL AREA LIGHT	INVUE LUKESCAPE LXS-VA3-830-LIASC-A-BK	LED 3000K	120	20'-0" AFG	8500	114	B3-U0-G3
SE5	PEDESTRIAN LIGHT	INVUE LUKESCAPE LXS-VA2-830-LI-SYM-S-BK	LED 3000K	120	15'-0" AFG	4500	55	B3-U0-G2

MOUNTING ABBREVIATIONS
 AFF - ABOVE FINISHED FLOOR
 AFG - ABOVE FINISHED GRADE



3 FIXTURE TYPE SE5
PEDESTRIAN POLE BASE DETAIL
NO SCALE



2 FIXTURE TYPE SE1
PARKING POLE BASE DETAIL
NO SCALE



DESCRIPTION

The LuxeScape Collection presents a contemporary, architectural dayform providing superior uniformity and efficient illumination. Designed to enhance urban spaces with beautiful visual appearances and integral control solutions, LuxeScape integrates into any environment while providing high visibility by utilizing industry-leading WaveStream™ LED optics.

SPECIFICATION FEATURES

Construction Housing assembly is IP66 rated and cast from low copper content corrosion resistant aluminum, maintaining strength and precision to sustain long term dayform appearance. 3G rated construction avoids damages from installation generated vibration. Corrosion-resistant color matching hardware are minimized to enhance appearance.

Optics Designed for complex site or pedestrian applications, WaveStream™ LED optical waveguide technology produces both symmetric NEMA Type V and asymmetric NEMA II, III, IV distributions. The waveguide is manufactured from precision injection molded acrylic delivering visual comfort and optically controlled illumination for improved glare control.

Mounting Inset's aluminum round decorative pole (ARP) offering provides a seamless transition and complements the contemporary design architecture with its unique sleek taper and base design. The tenon mount pole comes standard with an access door feature integrated into the base.

Electrical LED drivers are uniquely positioned and mounted for

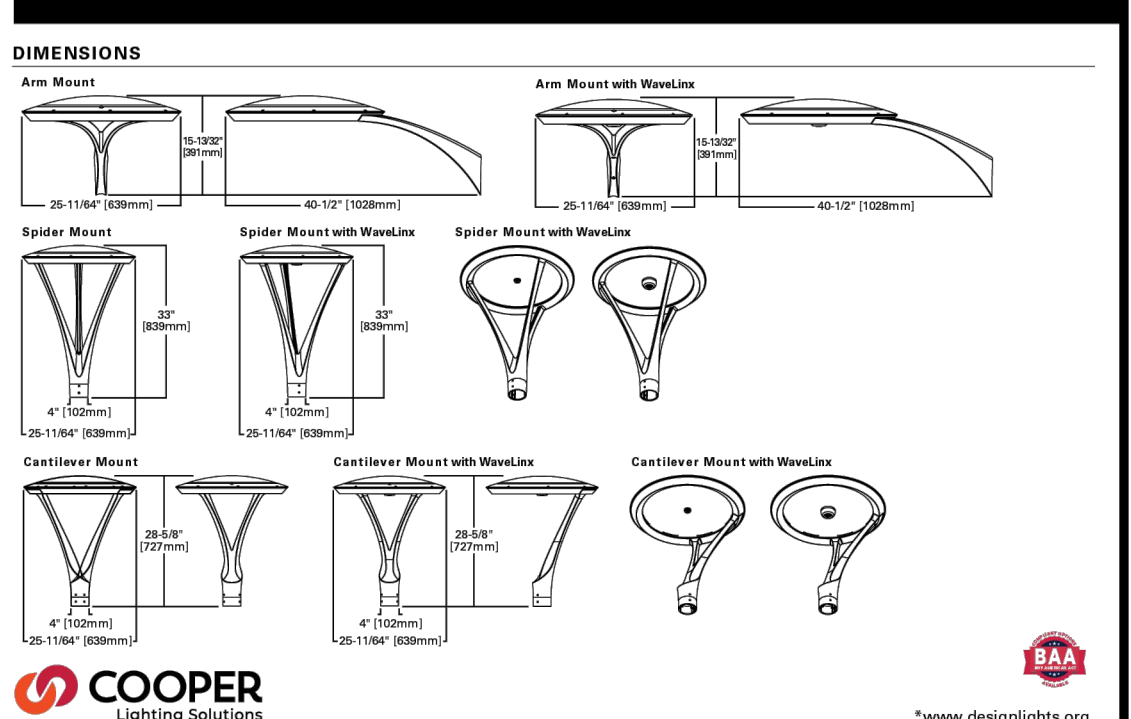


Table with columns: Catalog #, Type, Project, Date, Prepared by

Invue



LXS LUXESCAPE COLLECTION DECORATIVE POLINE

CERTIFICATION DATA

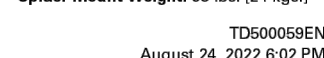
UL94V-0 Label FCC Class A EC 60528 PNE Housing ANSI C136.31 3G Vibration ASTM A262.6 Low Copper Alloy ASTM B117 Salt Spray Tested RoHS ISO 9001 DesignLights Consortium® Qualified Dark Sky Approved (3000K CCT and warmer only)

ENERGY DATA

Electrical LED Driver 3.0-3.5 Power Factor >95% Total Harmonic Distortion 120-277V 50/60Hz, 347V 60Hz, 480V 60Hz 40°C Ambient Temperature Rating Air flow as 40°C/104°F minimum temperature See NEMA LM-79/0-19 Temperature table

SHIPPING DATA

Approximate Pole Weight: 13 lbs. (5.9 kg) Arm Mount Weight: 13 lbs. (5.9 kg) Spigot Mount Weight: 13 lbs. (5.9 kg)



FIXTURE TYPE SE1

1 N.T.S.

DESCRIPTION

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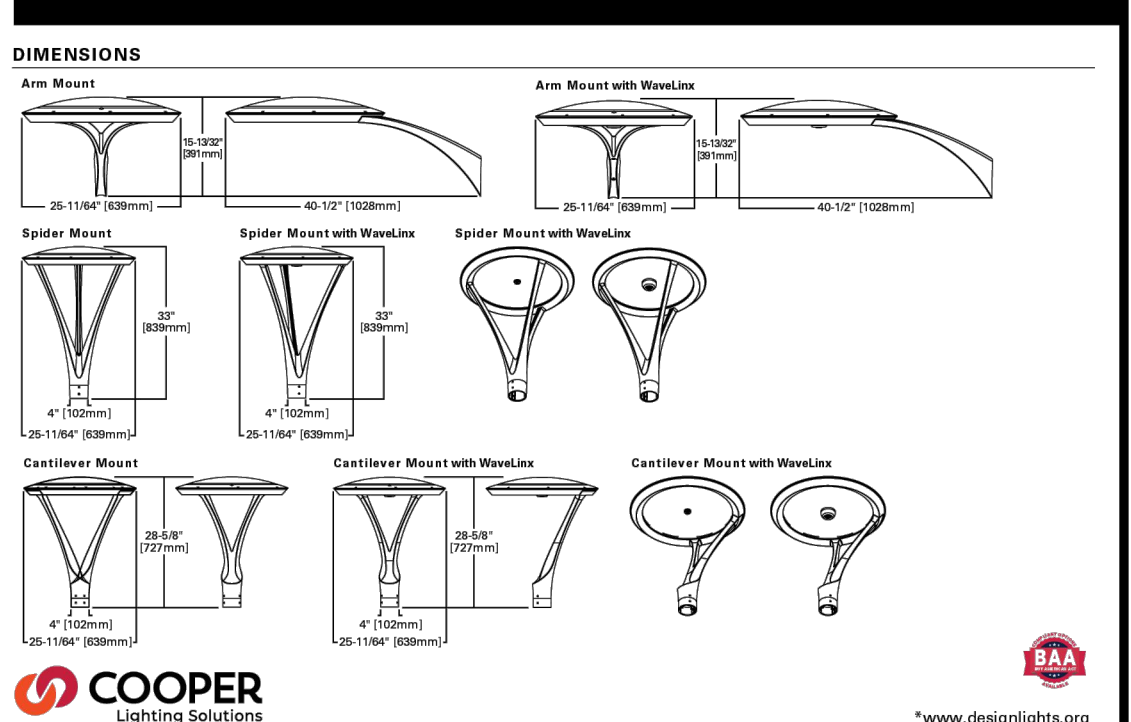


Table with columns: Catalog #, Type, Project, Date, Prepared by

Invue



LXS LUXESCAPE COLLECTION DECORATIVE POLINE

CERTIFICATION DATA

UL94V-0 Label FCC Class A EC 60528 PNE Housing ANSI C136.31 3G Vibration ASTM A262.6 Low Copper Alloy ASTM B117 Salt Spray Tested RoHS ISO 9001 DesignLights Consortium® Qualified Dark Sky Approved (3000K CCT and warmer only)

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SHIPPING DATA

Approximate Pole Weight: 13 lbs. (5.9 kg) Arm Mount Weight: 13 lbs. (5.9 kg) Spigot Mount Weight: 13 lbs. (5.9 kg)



FIXTURE TYPE SE5

2 N.T.S.

ORDERING INFORMATION

Sample Number: LXS-VAS-LED-D1-T2-QM-6

Table with columns: Product Family, Optics Type, Lumen Package, CR/CCT, Voltage, Distribution, Mounting, Finish

Options (Add as Suffix)

- F-Single Face * F-Double Face * X-Driver Surge only... MS-L2M-Motion Sensor for ON/OFF Operation... MS-L4M-Motion Sensor for ON/OFF Operation...

NOTES

Customer is responsible for engineering analysis to verify pole and fixture compatibility for all applications. Refer to our white paper (97913922) for additional support information. DesignLights Consortium®... 1. Customer is responsible for engineering analysis to verify pole and fixture compatibility for all applications.

ARP ORDERING INFORMATION (ALUMINUM DECORATIVE POLE)

Table with columns: Product Family, Shaft Size, Wall Thickness, Pole Top Diameter, Mounting Height, Base Type, Finish, Mounting Type, Number and Location of Arms, Options

NOTES: 1/6 shaft sizes; 2/Probes 7/ 8.0 pole top for Silver Pole Top; 3/Probes 8/ 8.0 pole top for Landscape pole top; 4/Option driver recommended on 15' and add suffix "V" in catalog number; 5/Specify custom finish. Replaces not included, please refer to...



Cooper Lighting Solutions 7700 E. Colfax, Suite 100, Denver, CO 80231 773-682-6200 www.cooperlighting.com

TSD000026N August 24, 2022 6:02 PM

ORDERING INFORMATION

Sample Number: LXS-VAS-LED-D1-T2-QM-6

Table with columns: Product Family, Optics Type, Lumen Package, CR/CCT, Voltage, Distribution, Mounting, Finish

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Cooper Lighting Solutions 7700 E. Colfax, Suite 100, Denver, CO 80231 773-682-6200 www.cooperlighting.com

TSD000026N August 24, 2022 6:02 PM

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 19, 2024

Jeffrey T. Wooten, P.E.
Wooten Engineering
P.O. Box 15814
Rio Rancho, NM 87174

Re: Route 66 Lofts
7600 Central Ave. SW
Traffic Circulation Layout
Engineer's Stamp 01-10-24 (K10-D065)

Dear Mr. Wooten,

The TCL submittal received 01-18-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Albuquerque

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

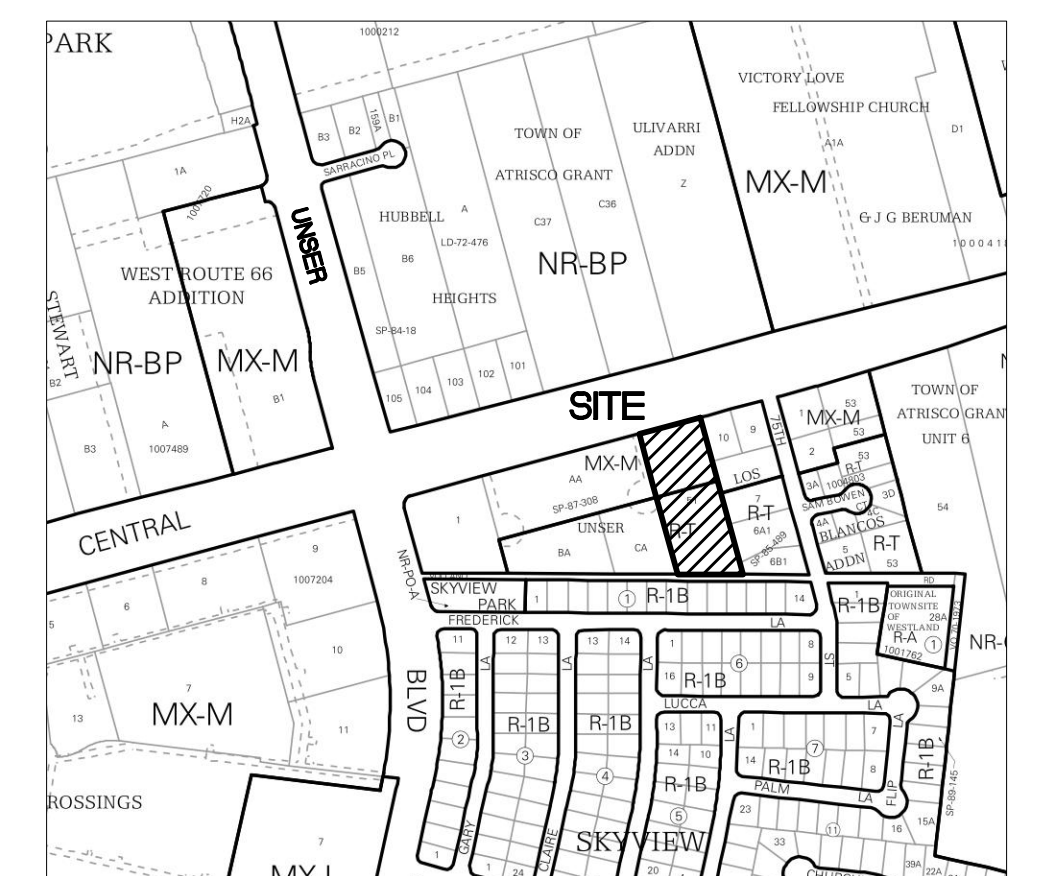
Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

CENTRAL AVE SW
(U.S. HIGHWAY 66)
(200' R/W)

CAUTION!!!!
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

PARKING CALCULATIONS		
BUILDING AREA:	AREA (SQUARE FEET)	
DWELLING, MULTI-FAMILY	+/- 36,680 SF	
PARKING REQUIREMENTS:	REQUIRED	PROVIDED
1.2 / UNIT 1 BEDROOM: 47 UNITS	56 spaces	
1.6 / UNIT 2 BEDROOM: 1 UNIT	1 spaces	
AMENITY 3 / 1,000 SF: 3,070 SF	9 spaces	
TOTAL	66 spaces	
PARKING REDUCTIONS		
EV STALLS (1 CAR REDUCTIONS PER STALL)	-6 spaces	
TRANSIT CORRIDOR (30% REDUCTIONS)	-20 spaces	
GRAND TOTAL	40 spaces	40 spaces
	REQUIRED	PROVIDED
HANDICAP PARKING	2 spaces	5 spaces
MOTORCYCLE PARKING	2 spaces	2 spaces
BICYCLE PARKING	6 spaces	36 spaces

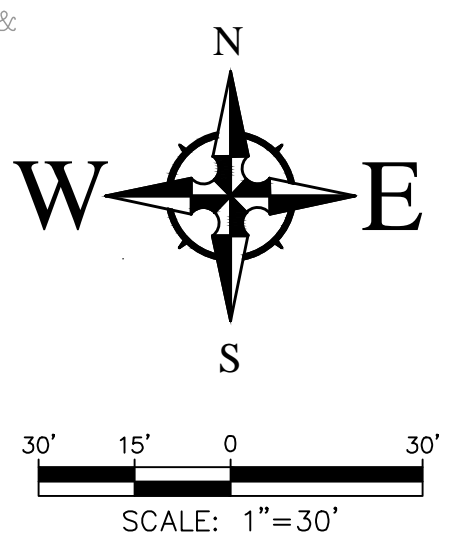
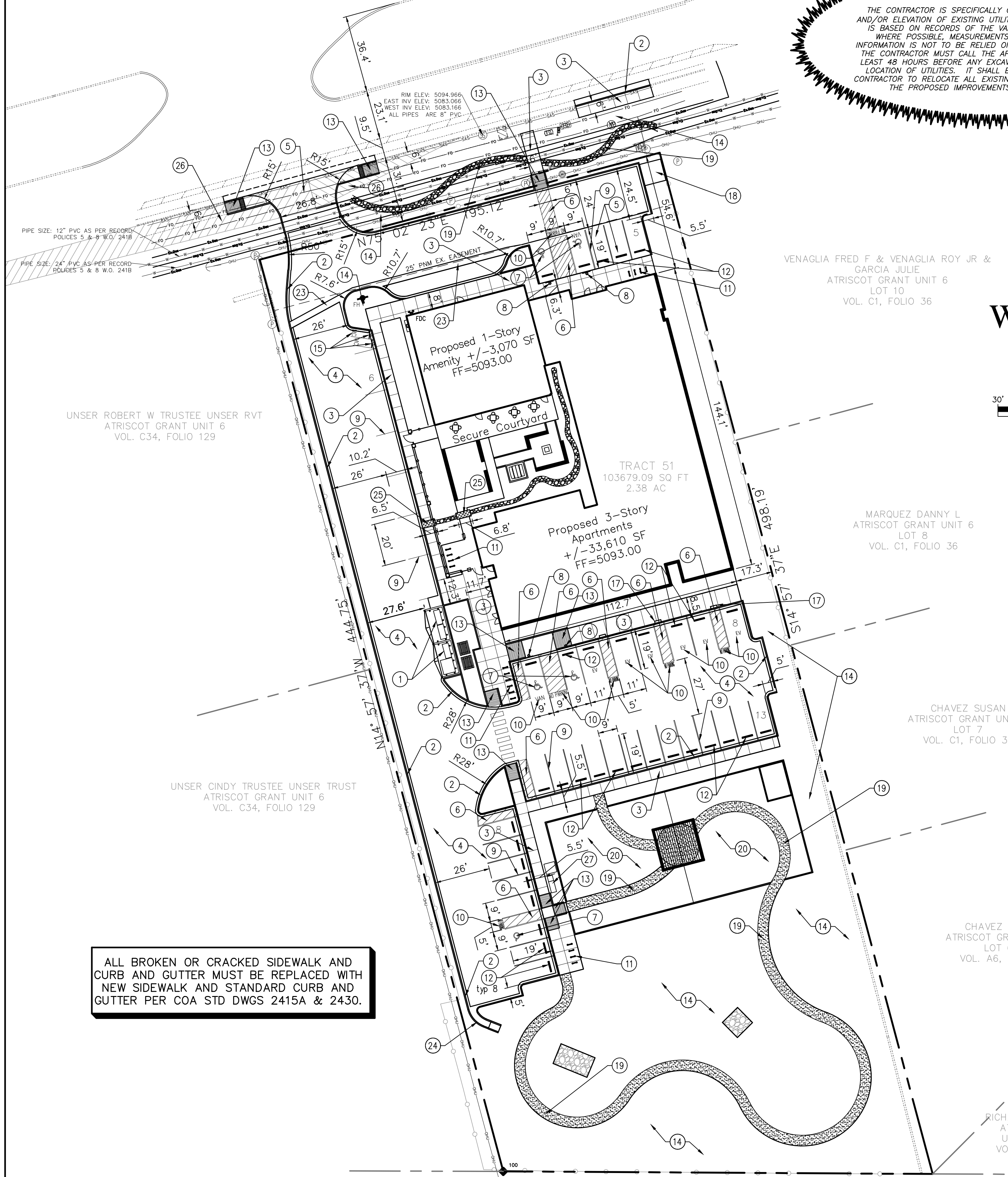


VICINITY MAP - Zone Atlas K-10-Z
LEGAL DESCRIPTION:
The West One-Half of Tract 52, Unit No. 6 of Plat of Town of Atrisco Grant, Bernalillo County, NM.

NO.	DATE	REMARKS	BY
		DESIGN	
		REVISIONS	

DESIGNED BY: JW
DRAWN BY: RC
CHECKED BY: JW

DATE: Nov 1, 2023
DATE: Nov 1, 2023
JOB NO.: 2023021
DATE: Nov 1, 2023



TRAFFIC CIRCULATION LAYOUT APPROVED
Ernest Armijo 1/19/2024
Signed Date

KEYED NOTES

- PROPOSED TRASH ENCLOSURE TO COMPLY WITH MINIMUM COA SOLID WASTE STANDARDS. CONTRACTOR SHALL COORDINATE WITH THE SOLID WASTE DEPARTMENT FOR THE REQUIRED INSPECTIONS DURING CONSTRUCTION. REF. ARCHITECTURAL DETAILS.
- INSTALL MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415B. GUTTER PAN SHALL BE SLOPED TO MATCH THE ADJACENT PAVEMENT.
- INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430. SIDEWALK CROSS SLOPE SHALL BE 2% MAX AND SLOPE AWAY FROM CURB.
- INSTALL ASPHALT PAVEMENT PER GEOTECHNICAL REPORT. RECOMMENDATIONS & DETAIL ON SHEET C102.
- INSTALL CONCRETE PAVEMENT PER GEOTECHNICAL REPORT. RECOMMENDATIONS & DETAIL ON SHEET C102.
- INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES OR DRIVEWAY, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). MIN. TWO COATS.
- PAINTED INTERNATIONAL WHEELCHAIR SYMBOL (BLUE) PER ADA STANDARDS. MIN. TWO COATS. INDICATE VAN ONLY SPACE AS SHOWN ON PLAN.
- INSTALL H/C SIGNAGE PER DETAIL, SHEET C102. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING." REF DETAIL ON SHEET C102.
- INSTALL 4" WIDE PAINT STRIPES (WHITE) FOR ALL PARKING SPACES. MIN. TWO COATS.
- PAINT WORDS 'NO PARKING', 'VAN' & 'EV' WITH LETTERS AT LEAST ONE FOOT HIGH AND 2 INCHES WIDE. MIN. TWO COATS.
- INSTALL BIKE RACK(S) PER DETAIL, SHEET C-102.
- INSTALL PRE-CAST WHEEL STOP PER DETAIL, SHEET C-102.
- INSTALL PARALLEL CURB RAMP PER COA STD DWGS 2440-2446. TRUNCATED DOMES SHALL BE INSTALLED PER COA STD DWG 2446.
- LANDSCAPE AREA. REF. LANDSCAPE PLANS.
- MOTORCYCLE PARKING; 2 SPACES. ADD PAINT LABEL (2 COATS) AND SIGNAGE PER COA CODE. SIGN DETAIL ON SHEET C102.
- INSTALL STAMPED CONCRETE CROSSWALK PER DETAIL, SHEET C102.
- INSTALL ELECTRIC VEHICLE CHARGING STATIONS. REF. ARCHITECTURAL PLANS FOR DETAILS.
- INSTALL TRANSFORMER. REF. MEP PLANS FOR DETAILS.
- NATURE TRAIL. REF. LANDSCAPE PLANS FOR DETAILS.
- COMMUNITY GARDEN AREA. REF. LANDSCAPE PLANS FOR DETAILS.
- BIKE STORAGE RACK. REF. ARCHITECTURAL PLANS FOR DETAILS.
- NOT USED.
- INSTALL 3' WIDE VALLEY GUTTER. DETAIL ON SHEET C102.
- INSTALL 3' WIDE CONCRETE FLUME. DETAIL ON SHEET C102.
- INSTALL 24" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.
- CLEAR SIGHT TRIANGLES (15'x590' LEFT, 15'x480' RIGHT). LANDSCAPING, FENCING, AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- GARDEN WASTE & COMPOST AREA. REF. LANDSCAPE PLANS FOR DETAILS.

ALL BROKEN OR CRACKED SIDEWALK AND CURB AND GUTTER MUST BE REPLACED WITH NEW SIDEWALK AND STANDARD CURB AND GUTTER PER COA STD DWGS 2415A & 2430.

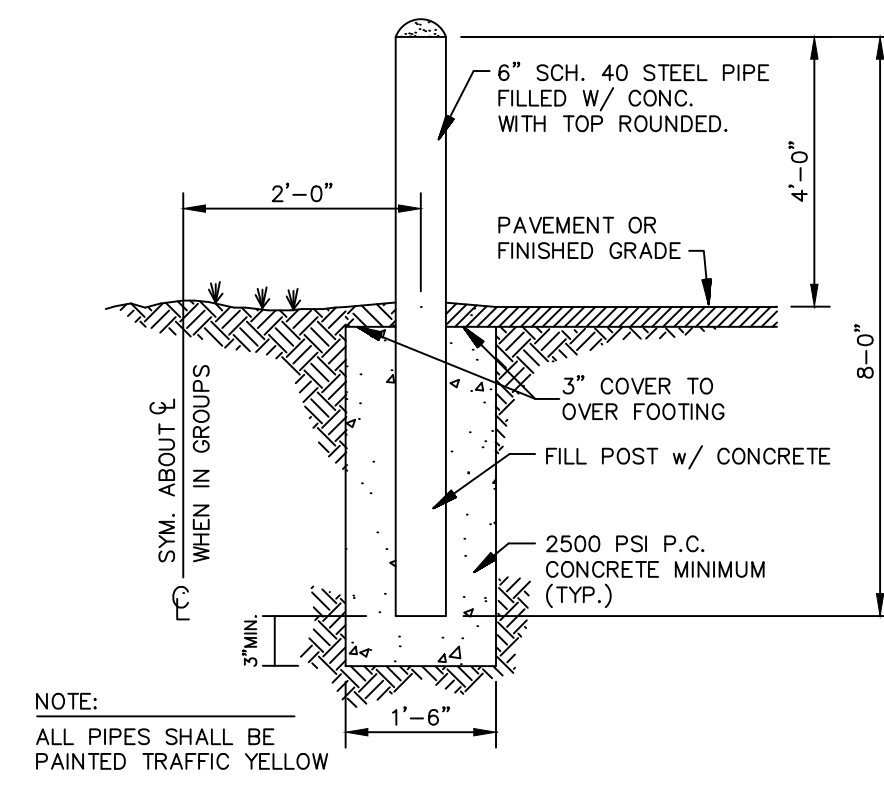


Wooten Engineering
PO Box 15814
Rio Rancho, N.M. 87174
Phone: (505) 980-3560

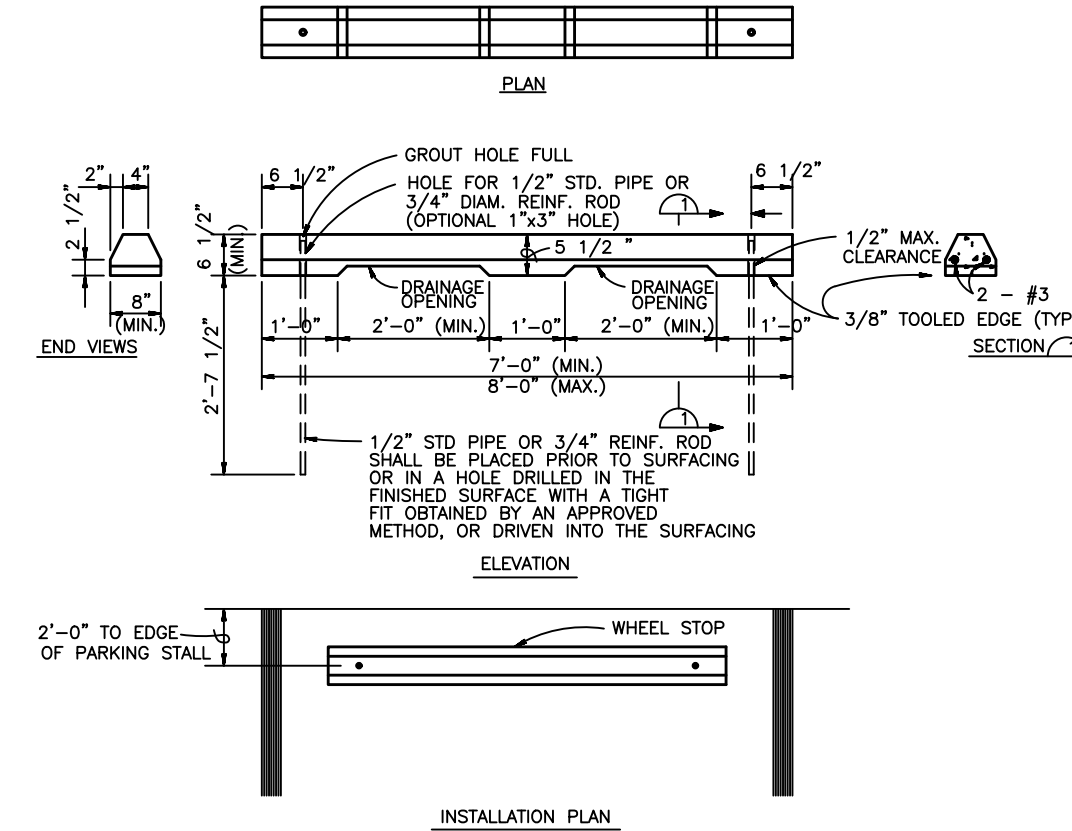
Route 66 Flats
7600 Central Ave SW
Albuquerque, NM 87121

Design Development Site Plan

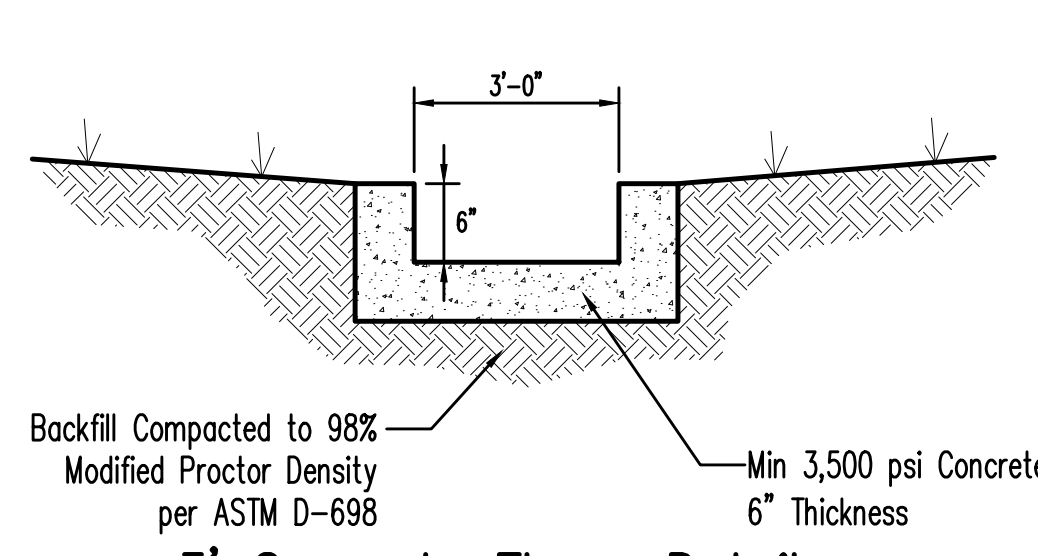
C-101



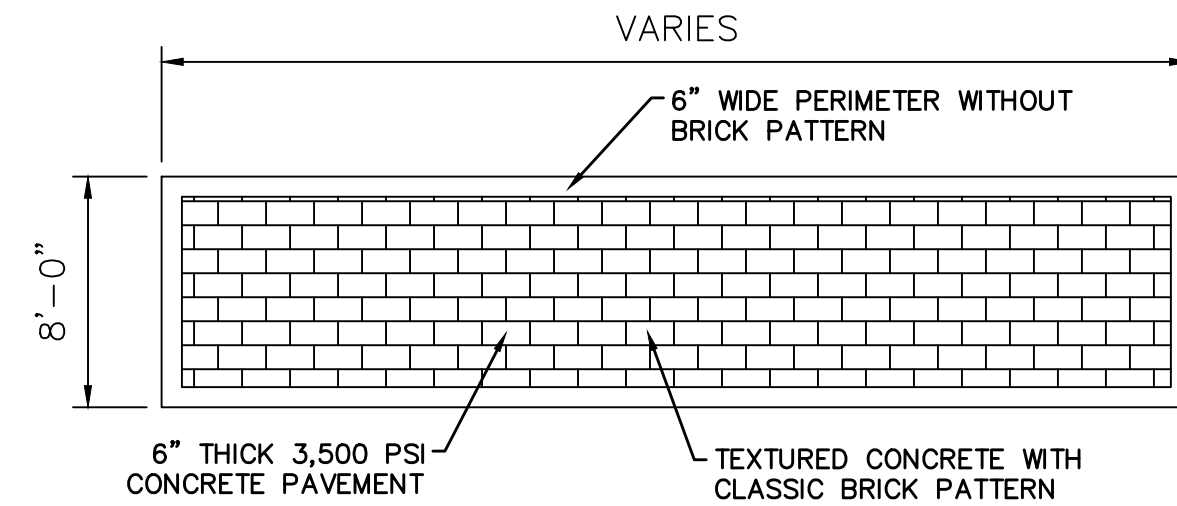
Pipe Bollard Detail
NTS



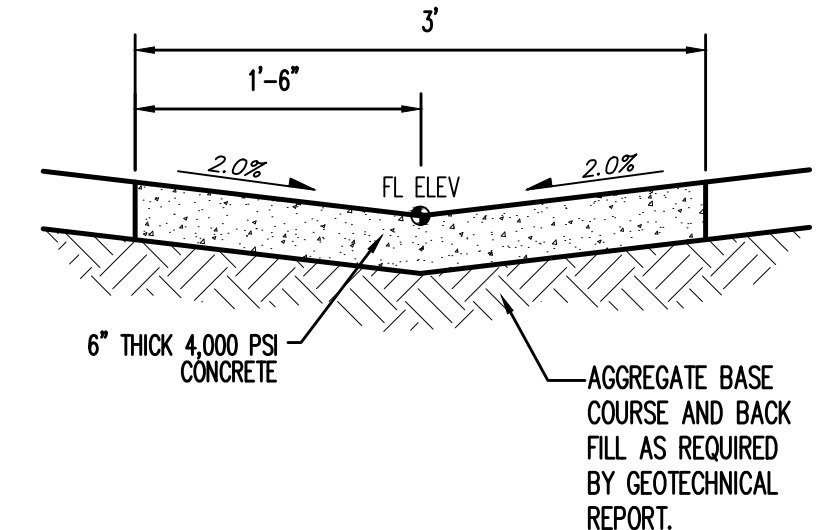
Precast Concrete Wheel Stop
NTS



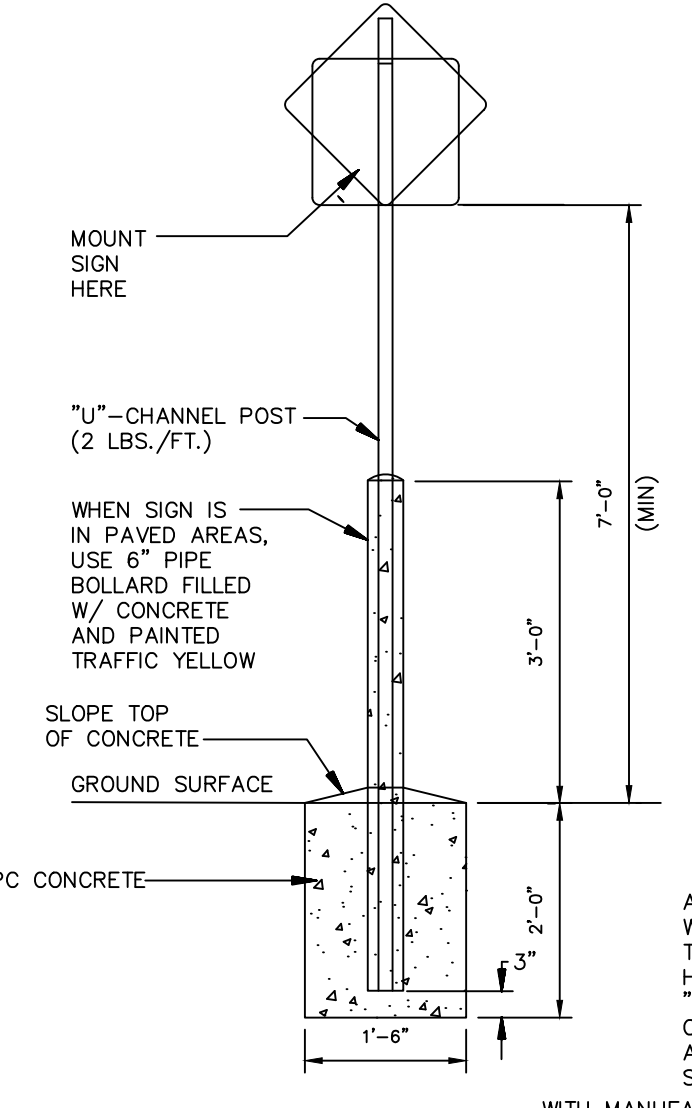
3' Concrete Flume Detail
NTS



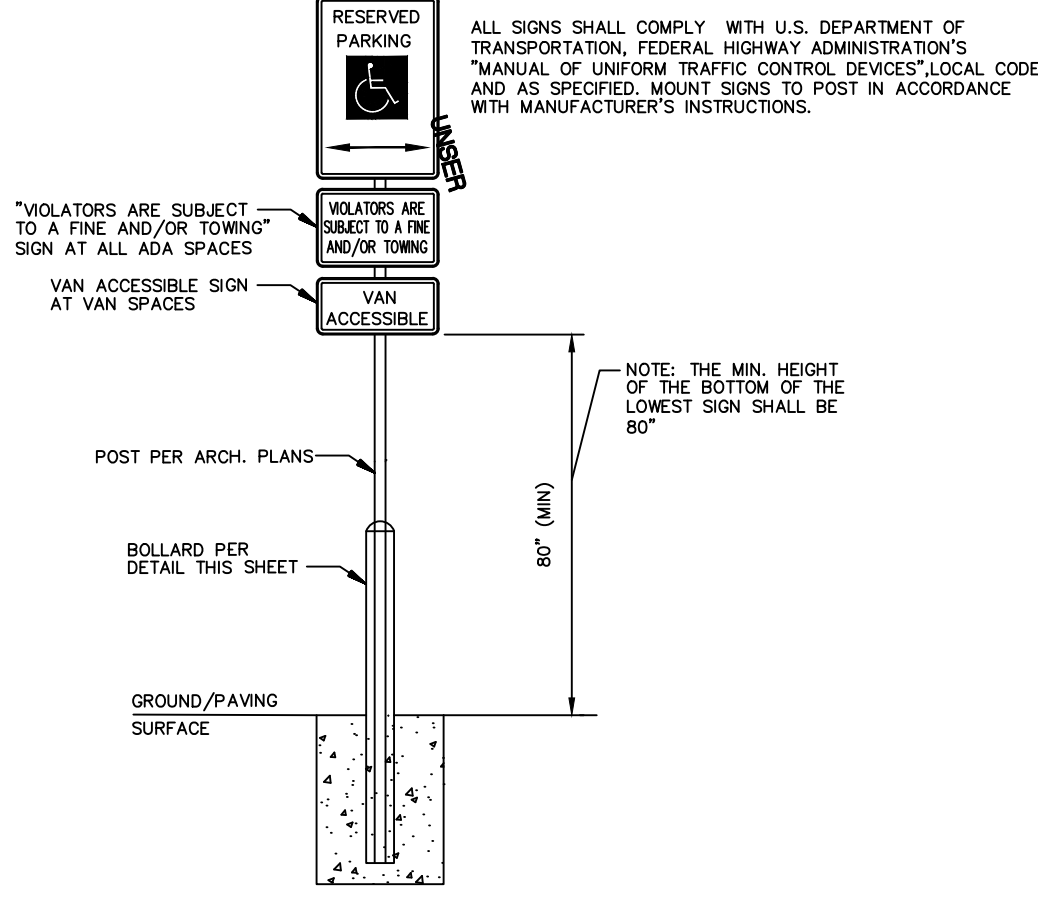
Textured Pavement Detail
NTS



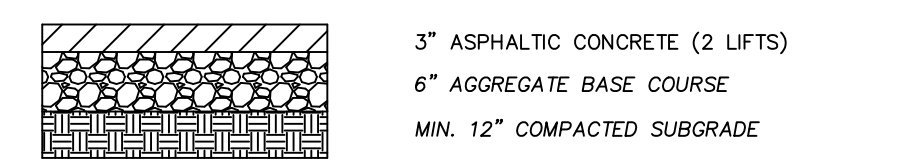
Valley Gutter Detail
NTS



Standard Sign Base
NTS

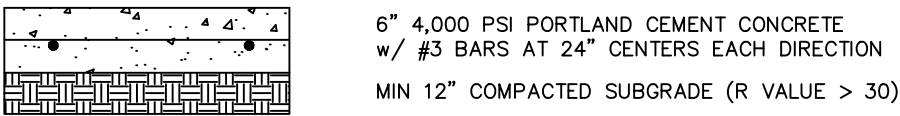


H/C Sign Detail
NTS



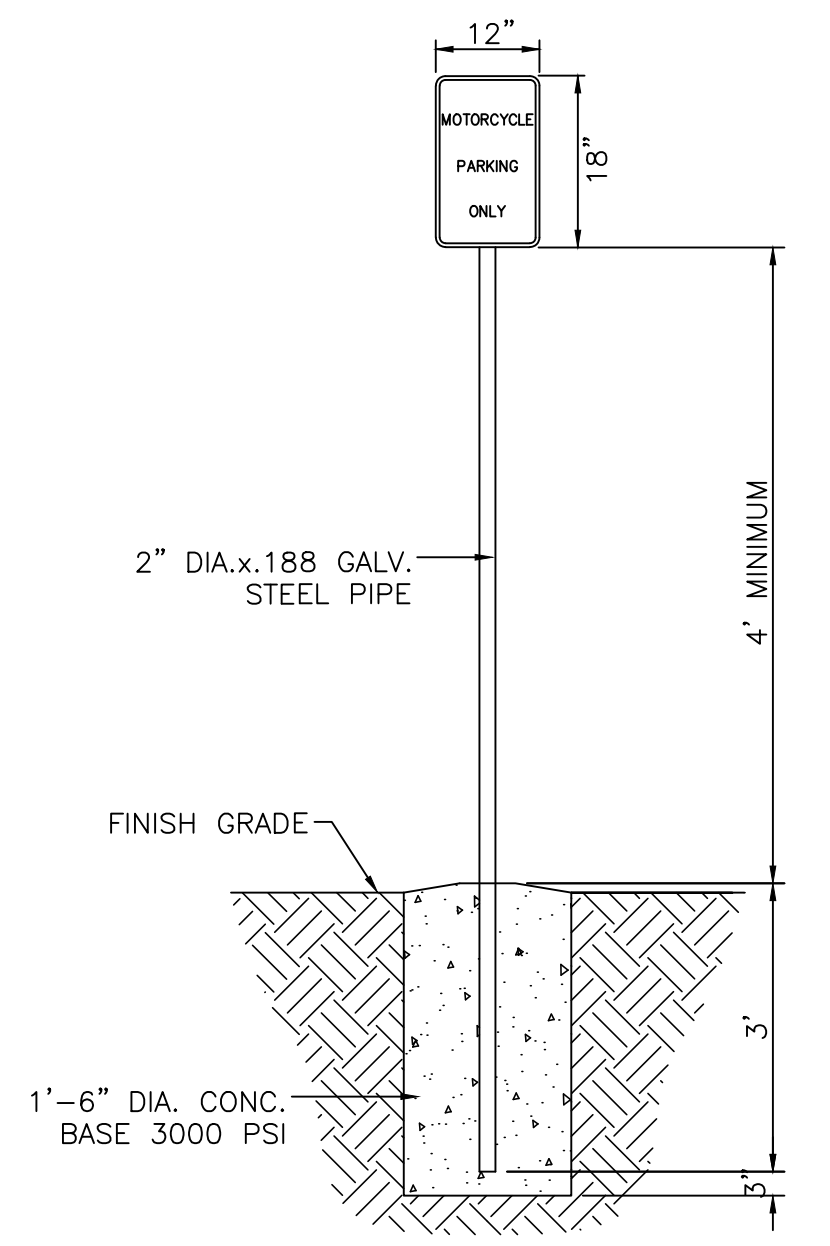
- NOTES:
1. ASPHALT PAVEMENT, BASE COURSE, AND SUBGRADE SHALL MEET THE SPECIFICATIONS OF THE NMDOT 2014 SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION.
 2. ASPHALT PAVEMENT SHALL BE SP-III PER NMDOT SPEC SECTION 423.
 3. AGGREGATE BASE COURSE SHOULD BE TYPE 1 PER NMDOT SPEC SECTION 303.
 4. SUBGRADE SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT (+/-3%) AS DETERMINED BY ASTM D-1557.
 5. ALL FILL BELOW SUBGRADE SHALL EXHIBIT A MINIMUM R-VALUE OF 45.

Asphalt Pavement Section
N.T.S.

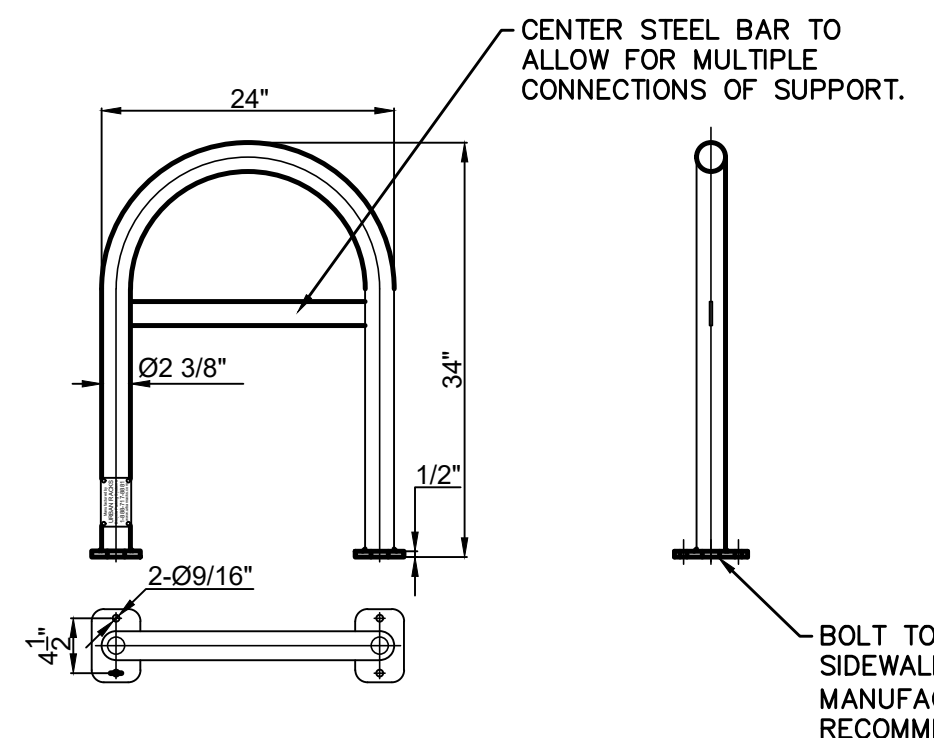


NOTE: REFERENCE ACI 330R-01 "DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS" FOR ADDITIONAL REQUIREMENTS OF CONSTRUCTION AND LOAD TRANSFER JOINT SPACING.

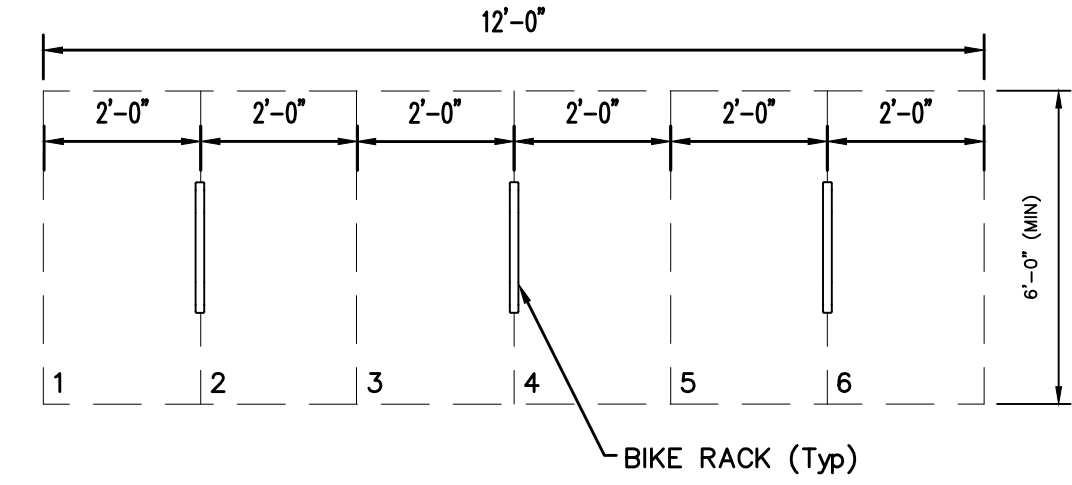
Concrete Pavement Section
N.T.S.



Motorcycle Parking Sign
NTS



- Notes:
- 1 Finish: Powder Coated - Color per Architect to Complement Building
 - 2 Installation must be completed in accordance with specifications
 - 3 For more product and company information please visit www.urbanracks.com



PLAN VIEW

Urban Rack (UB-1000-STD)
NTS

TRAFFIC CIRCULATION LAYOUT APPROVED
 Ernest Arriaga 1/19/2024
 Signed Date

NO.	DATE	REMARKS	BY
		DESIGN	
DESIGNED BY: JW		DATE: Nov 1, 2023	
DRAWN BY: RG		DATE: Nov 1, 2023	
CHECKED BY: JW		DATE: Nov 1, 2023	

1/10/2024

Wooten Engineering
 PO Box 15814
 Rio Rancho, N.M. 87174
 Phone: (505) 980-3560

W E

Route 66 Flats
 7600 Central Ave SW
 Albuquerque, NM 87121
Design Development Site Details

C-102

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 6, 2023

Jeffrey T. Wooten, P.E.
Wooten Engineering
PO Box 15814
Rio Rancho, NM 87174

**RE: Route 66 Lofts
7600 Central Ave SW
Grading and Drainage Plan
Engineer's Stamp Date: 11/17/23
Hydrology File: K10D065**

Dear Mr. Wooten:

Based upon the information provided in your submittal received 11/23/2023, the Grading & Drainage Plan is approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

PRIOR TO CERTIFICATE OF OCCUPANCY:

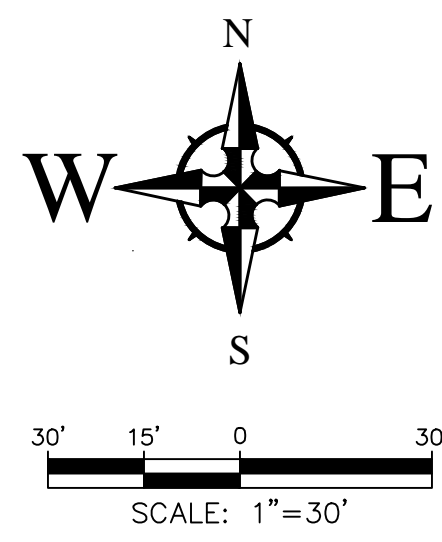
1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

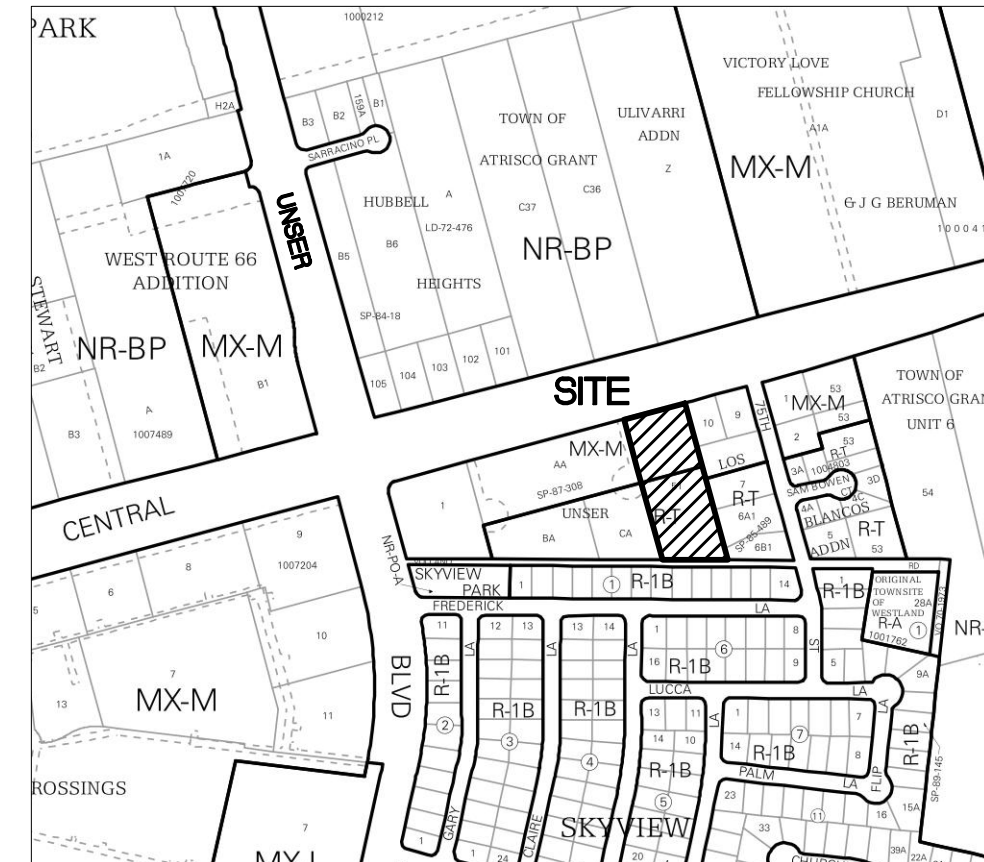


CENTRAL AVE SW
(U.S. HIGHWAY 66)
(200' R/W)

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 12/06/23
BY: *Renee Trumbull*
HydroTeam # K10D065

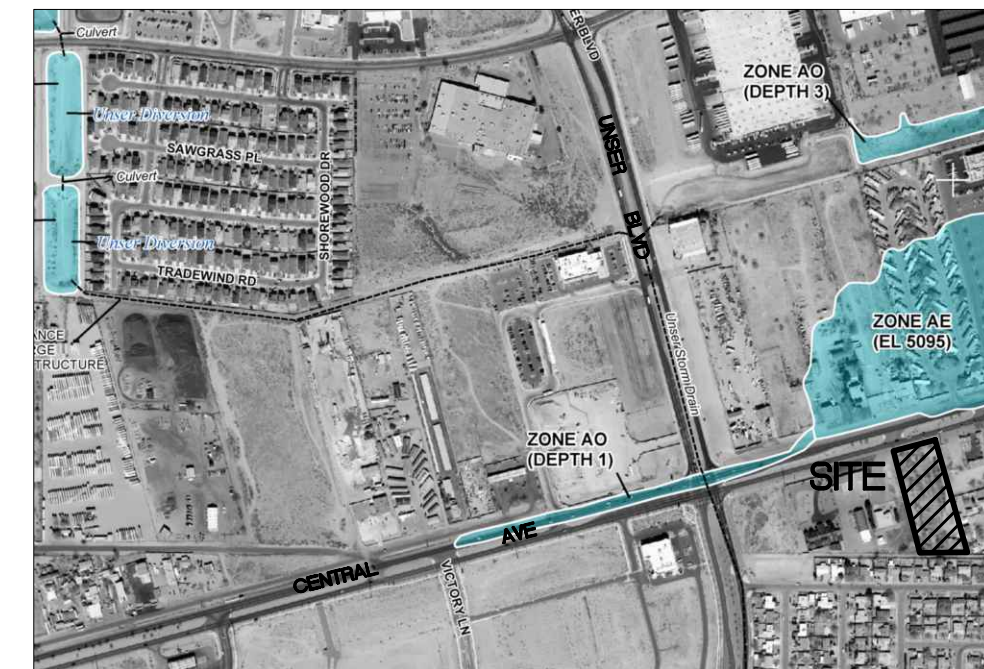
APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

- LEGEND**
- ← FLOW ARROW
 - 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
 - FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
 - TC27.8 PROPOSED TOP OF CURB ELEVATIONS
 - FGH27.8 PROPOSED GRADE AT TOP OF WALL
 - FGL27.8 PROPOSED GRADE AT BOTTOM OF WALL
 - 515 EXISTING CONTOUR
 - 515 PROPOSED CONTOUR
 - EXISTING STORM DRAIN
 - FLOW LINE
 - RIDGE LINE



VICINITY MAP - Zone Atlas K-10-Z

LEGAL DESCRIPTION:
The West One-Half of Tract 52, Unit No. 6 of Plat of Town of Atrisco Grant, Bernalillo County, NM.



FIRM MAP 35001C0328J

Per Firm Map 35001C0328J, dated November 04, 2016, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a grading and drainage plan for a new multifamily project located at 7600 Central Ave SW. The site is currently undeveloped. The property consists of approximately 2.11 acres and is legally described as the West 1/2 of Tract 52, Unit No. 6, Town of Atrisco Grant.

EXISTING HYDROLOGIC CONDITIONS

The site currently slopes from north to south into minor low areas that pond. The drainage either infiltrates into the existing sandy soils or drains to the east into the Volcano Road Right-of-Way. Volcano Rd is not paved and it is our understanding that this road will remain unpaved.

PROPOSED HYDROLOGIC CONDITIONS

The proposed site will drain into a new retention pond located on the south side of the property. Per the Calculations Table this sheet, the site generates 12,928 CF of drainage during the 100-Yr, 6-Hr Storm. 23,570 CF of volume is provided in the proposed pond, which should discharge in approximately 7 hours via percolation into the soil.**

CONCLUSION

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and meets city requirements. The proposed improvements for the site should not have any negative impacts to facilities downstream. With this submittal, we are requesting approval of both Grading Permit and Building Permit.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

IMPERVIOUS AREA CALCULATIONS

PROPOSED SITE CONDITIONS
TOTAL SITE AREA: 91,995 SF
PERVIOUS AREA: 39,379 SF (42.80%)
IMPERVIOUS AREA: 52,616 SF (57.20%)

STORMWATER QUALITY VOLUME CALCULATION

TOTAL IMPERVIOUS AREA = 52,616 SF
SWQ VOLUME REQ'D = 52,616 * 0.42' / 12 = 1,842 CF
TOTAL VOLUME PROVIDED = 23,570 CF

Pond Volume Calculations

Elevation (ft)	Area (sq. ft)	Volume (cu-ft)	Volume Sum (cu-ft)
5085.0	1920	0.0	0.0
5086.0	2934	2427.0	2427.0
5087.0	4006	3470.0	5897.0
5088.0	5136	4571.0	10468.0
5089.0	6322	5729.0	16197.0
5090.0	8424	7373.0	23570.0

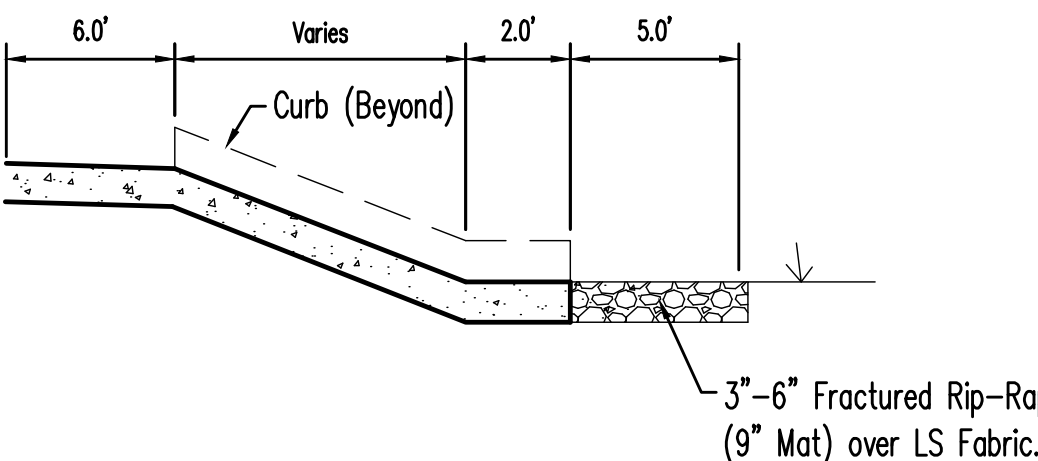
Existing Drainage Calculations													
This table is based on the COA DPM Chapter 6.2 (A), Zone: 1													
BASIN	Area (AC)	Land Treatment Percentages (%)				Weighted C	Tc (min)	I (100) (in/hr)	Q(100) (cfs)	Q(100) (cfs)	WTE (inches)	V(100)300 (CF)	V(100)300 (CF)
SITE	2.11	0.0	0.0	100.0	0.0	0.63	12.00	2.87	1.81	3.82	0.95	7276	7276
TOTAL	2.11									3.82		7276	7276

Proposed Drainage Calculations													
Ultimate Development Conditions Basin Data Table													
BASIN	Area (AC)	Land Treatment Percentages (%)				Weighted C	Tc (min)	I (100) (in/hr)	Q(100) (cfs)	Q(100) (cfs)	WTE (inches)	V(100)300 (CF)	V(100)300 (CF)
SITE	2.11	0.0	0.0	42.8	57.2	0.78	12.00	3.59	2.81	5.93	1.69	12928**	19368
TOTAL	2.11									5.93		12928	19368

****SOIL PERCOLATION DATA**

PER PERCOLATION TESTS CONDUCTED BY GEO-TEST, INC. (PATRICK WHORTON, PE), THE SOILS AT THE SOUTH POND DRAIN AT A RATE OF 9 MINUTES PER INCH. THIS EQUATES TO 6.67 INCHES PER HOUR. THE POND BOTTOM IS 1,920 SF WHICH MEANS THAT THE POND CAN DRAIN 1,067 CF/HR (25,613 CF/DAY). SINCE THE 100 YR - 6 HR STORM VOLUME FOR BASIN A IS 2,553 CF, THE POND SHOULD BE ABLE TO COMPLETELY DRAIN IN JUST OVER 7 HOURS.

CAUTION!!!!
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



Typical Flume Cross Section
NTS

NO.	DATE	REMARKS	BY
		DESIGN	JW
		REVISIONS	RC
		DESIGN	JW

DESIGNED BY: JW DATE: Nov 1, 2023
DRAWN BY: RC DATE: Nov 1, 2023
CHECKED BY: JW DATE: Nov 1, 2023

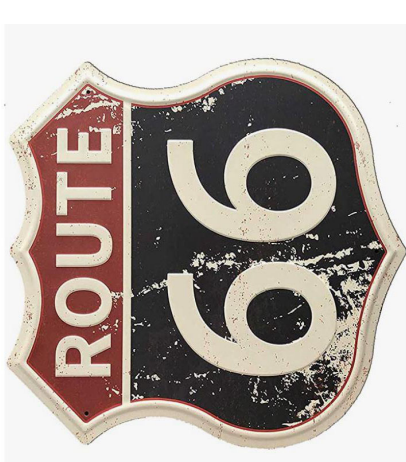


Wooten Engineering
PO Box 15814
Rio Rancho, N.M. 87174
Phone: (505) 980-3560

Route 66 Lofts
7600 Central Ave SW
Albuquerque, NM 87121

Design Development
Grading Plan

C-200



REV:

DRAWN: Author
REVIEWED: Approver
DATE: 1/25/2024
PROJECT #: 21018
FILE: SITE PLAN SUBMITTAL
SHEET TITLE: BUILDING ELEVATIONS

SCALE: As Indicated

ELEVATIONS MATERIAL LEGEND

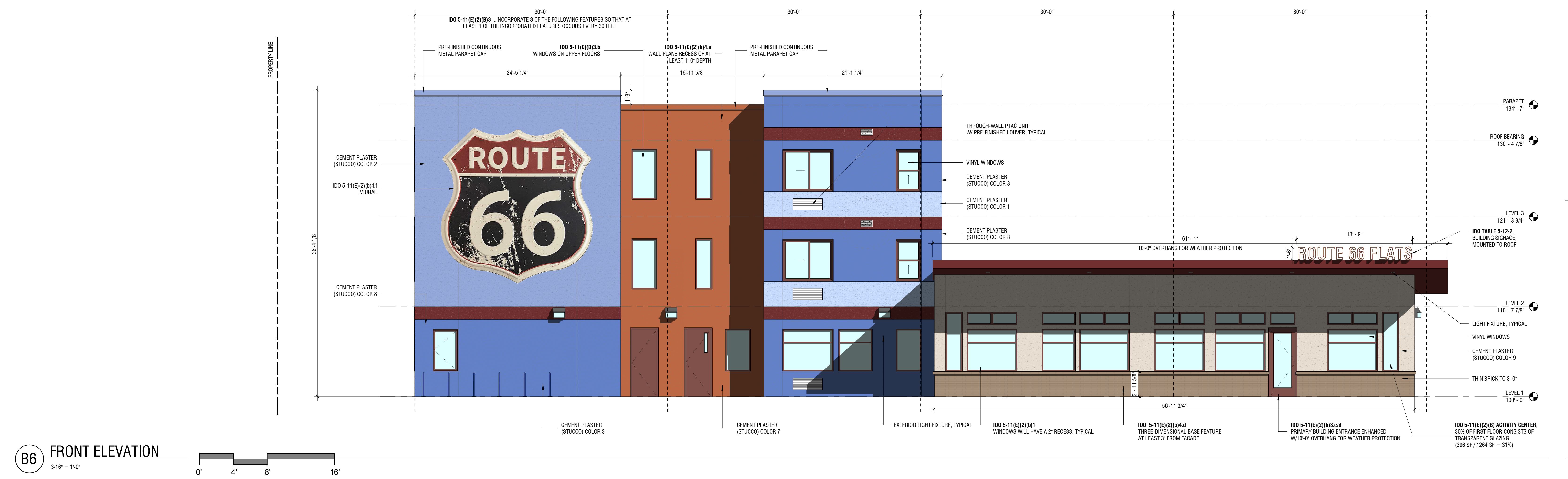
	STUCCO: COLOR 1, TBD		STUCCO: COLOR 7, TBD		THIN BRICK COLOR, TBD
	STUCCO: COLOR 2, TBD		STUCCO: COLOR 8, TBD		PAINTED CEMENT BOARD: COLOR 1, TBD
	STUCCO: COLOR 3, TBD		STUCCO: COLOR 9, TBD		PAINTED CEMENT BOARD: COLOR 2, TBD
	STUCCO: COLOR 4, TBD		DECORATIVE METAL MESH / STEEL SECURITY FENCE, RE: LANDSCAPE		
	STUCCO: COLOR 5, TBD				
	STUCCO: COLOR 6, TBD				
	STUCCO: COLOR 8, TBD				

GENERAL ELEVATION NOTES

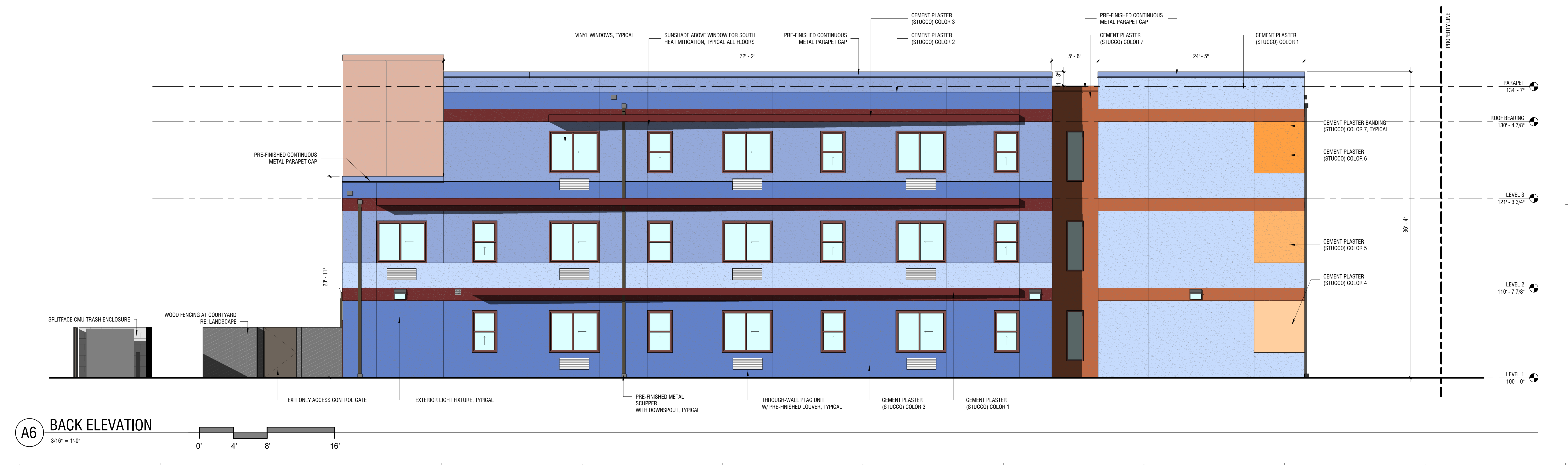
- ALL WINDOWS TO BE VINYL WITH A 2" RECESS HORIZONTAL CONTROL JOINT AT STUCCO COLOR BANDING, TYPICAL.

GROUND STORY ACTIVATION

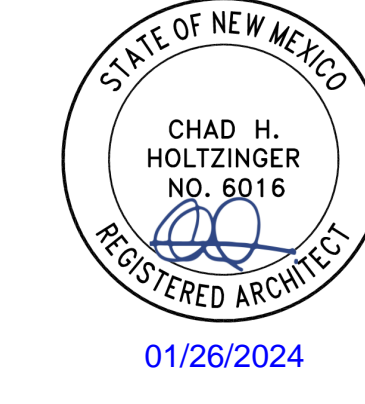
PRIMARY STREET - CENTRAL AVE.	REQUIRED	PROVIDED
BUILDING LENGTH = 118.60' FIRST FLOOR SURFACE SOFT = 1284 SF IDO 5-11(E)(2)(b) FOR ACTIVITY CENTER 30% TRANSPARENCY REQUIRED	30%	24%
IDO 5-11(E)(2)(b)3 3 FEATURES ALONG 30% OF FACADE LENGTH EVERY 30'	3	YES
IDO 5-11(E)(2)(b)4 2 FEATURES ALONG FACE IF > 50' LENGTH a. WALL PLANE PROJECTIONS b. CHANGE IN TEXTURE OR MATERIAL c. THREE-DIMENSIONAL BASE FEATURE d. MURAL	2	YES



B6 FRONT ELEVATION
3/16" = 1'-0"



A6 BACK ELEVATION
3/16" = 1'-0"



ELEVATIONS MATERIAL LEGEND

	STUCCO: COLOR 1, TBD		STUCCO: COLOR 7, TBD		THIN BRICK COLOR, TBD
	STUCCO: COLOR 2, TBD		STUCCO: COLOR 8, TBD		PAINTED CEMENT BOARD: COLOR 1, TBD
	STUCCO: COLOR 3, TBD		STUCCO: COLOR 9, TBD		PAINTED CEMENT BOARD: COLOR 2, TBD
	STUCCO: COLOR 4, TBD				DECORATIVE METAL MESH / STEEL SECURITY FENCE, RE-LANDSCAPE
	STUCCO: COLOR 5, TBD				
	STUCCO: COLOR 6, TBD				

GENERAL ELEVATION NOTES

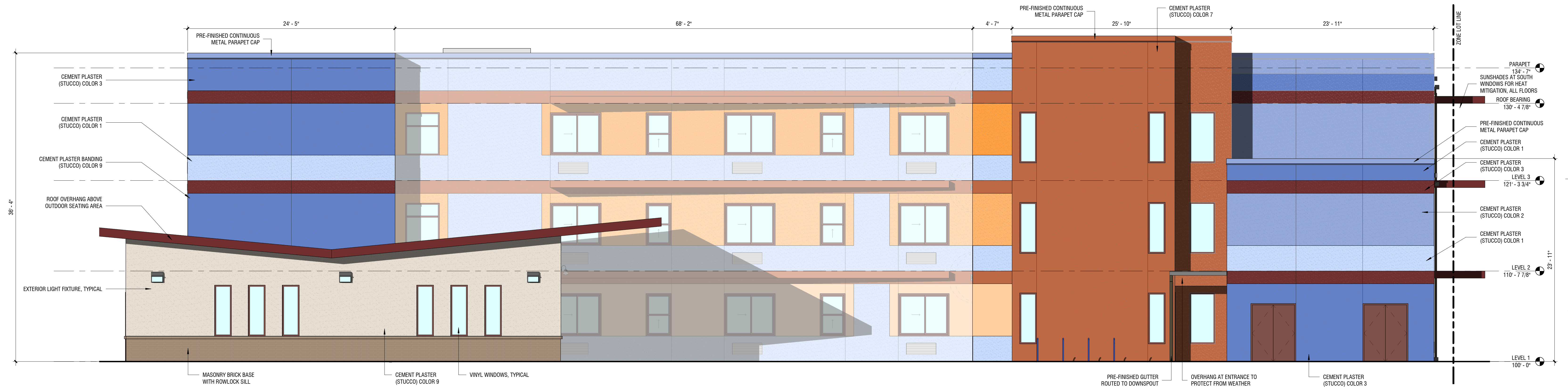
- ALL WINDOWS TO BE VINYL WITH A 2" RECESS HORIZONTAL CONTROL JOINT AT STUCCO COLOR BANDING, TYPICAL.
-

GROUND STORY ACTIVATION

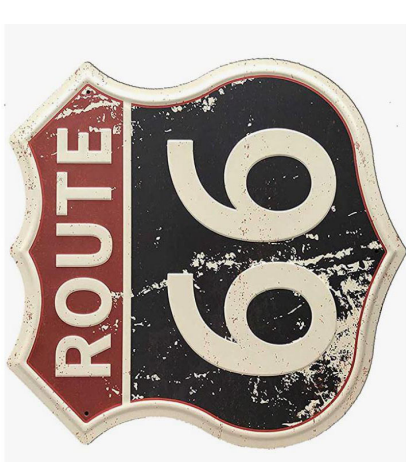
PRIMARY STREET - CENTRAL AVE.	REQUIRED	PROVIDED
BUILDING LENGTH = 118.60' FIRST FLOOR SURFACE SQFT = 1284 SF IDD 5-11(E)(2)(b) FOR ACTIVITY CENTER 30% TRANSPARENCY REQUIRED	30%	24%
IDD 5-11(E)(2)(b)3 3 FEATURES ALONG 30% OF FACADE LENGTH EVERY 30'	3	YES
IDD 5-11(E)(2)(b)4 2 FEATURES ALONG FACE IF > 50' LENGTH a. WALL PLANE PROJECTIONS b. CHANGE IN TEXTURE OR MATERIAL c. THREE-DIMENSIONAL BASE FEATURE d. MURAL	2	YES



2 SIDE ELEVATION
3/16" = 1'-0"
0' 4' 8' 16'



1 SIDE ELEVATION
3/16" = 1'-0"
0' 4' 8' 16'



GENERAL ELEVATION NOTES

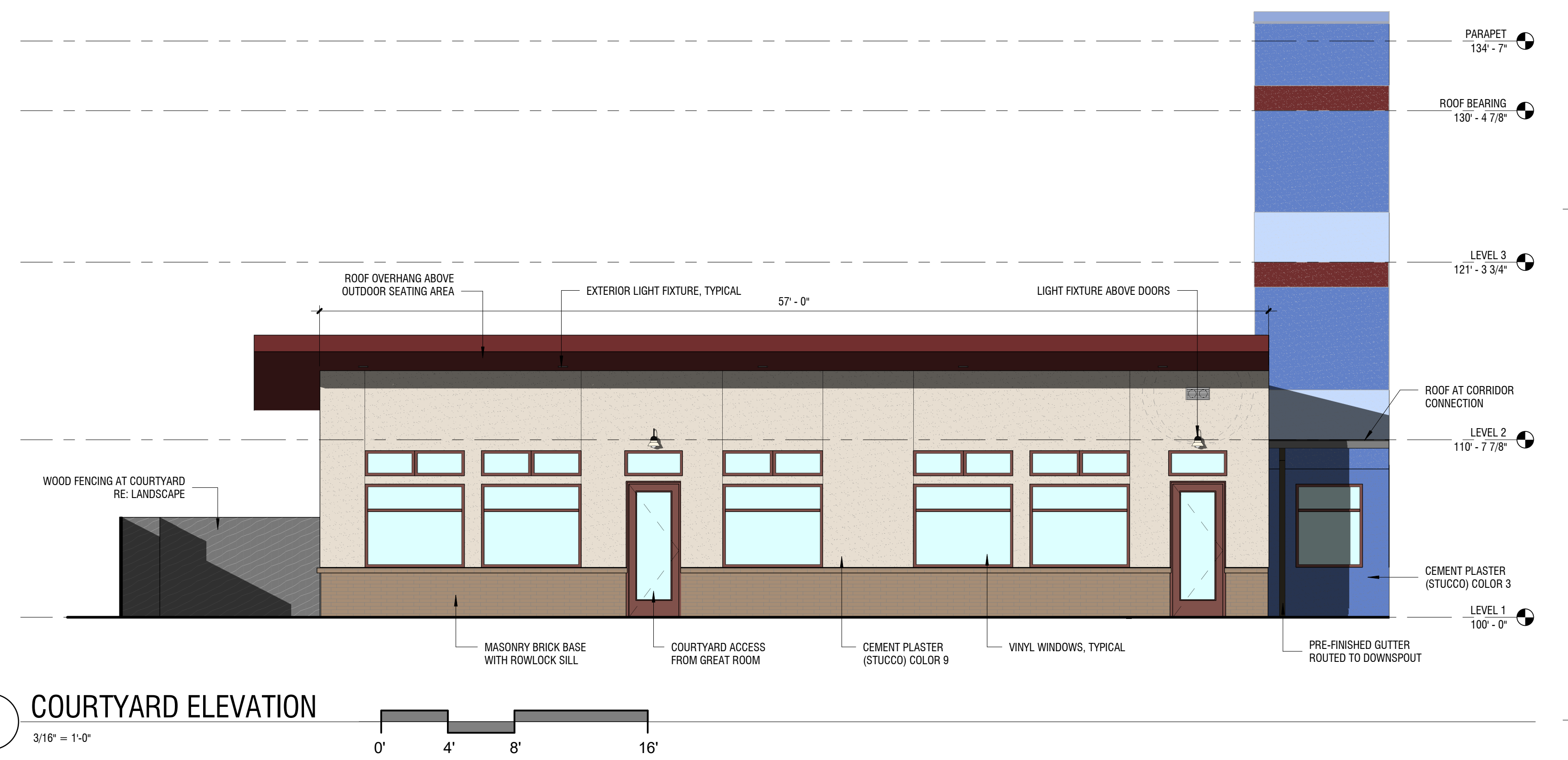
- ALL WINDOWS TO BE VINYL WITH A 2" RECESS HORIZONTAL CONTROL JOINT AT STUCCO COLOR BANDING, TYPICAL.

GROUND STORY ACTIVATION

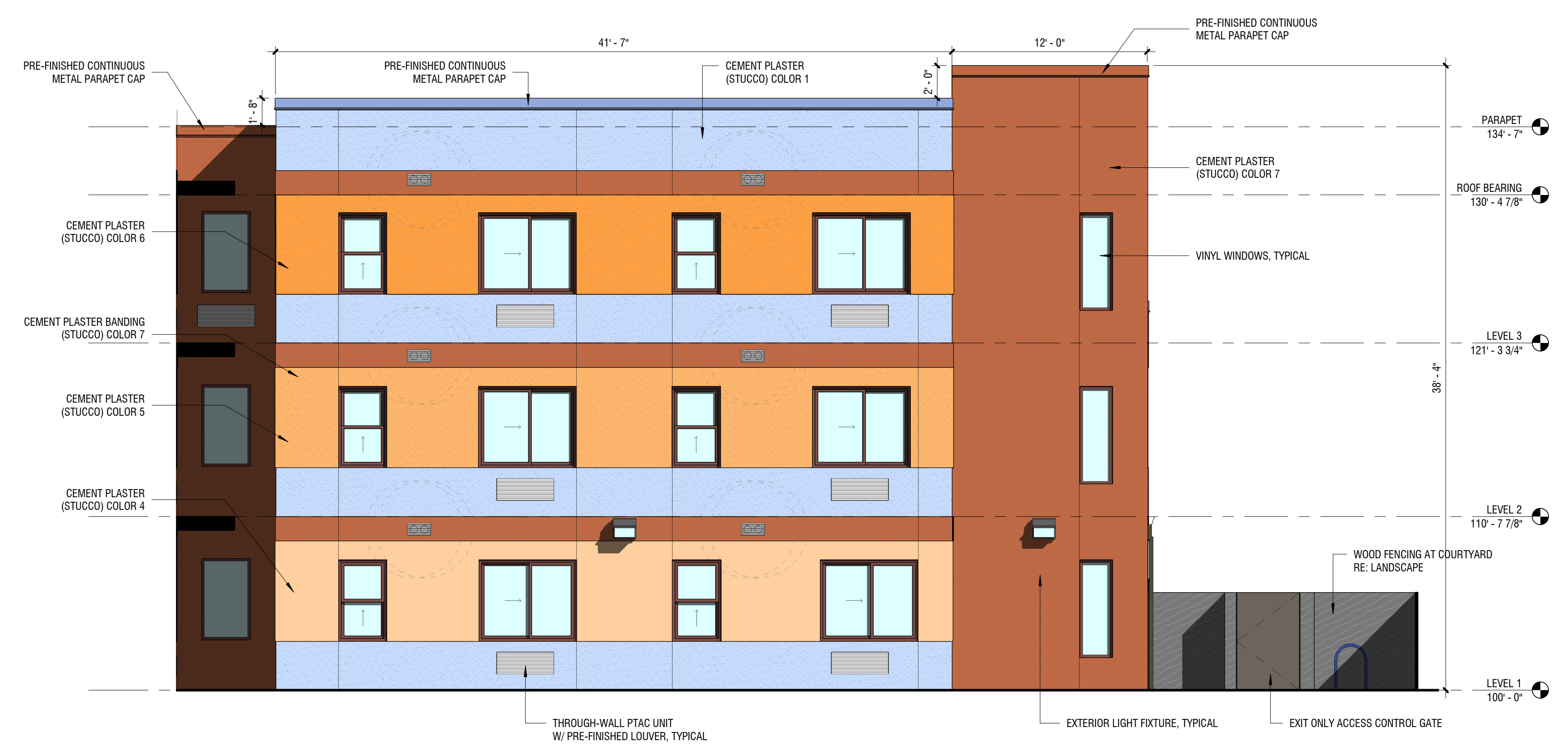
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ELEVATIONS MATERIAL LEGEND

	STUCCO: COLOR 1, TBD		STUCCO: COLOR 7, TBD		THIN BRICK, COLOR, TBD
	STUCCO: COLOR 2, TBD		STUCCO: COLOR 8, TBD		PAINTED CEMENT BOARD: COLOR 1, TBD
	STUCCO: COLOR 3, TBD		STUCCO: COLOR 9, TBD		PAINTED CEMENT BOARD: COLOR 2, TBD
	STUCCO: COLOR 4, TBD				DECORATIVE METAL MESH / STEEL SECURITY FENCE, RE: LANDSCAPE
	STUCCO: COLOR 5, TBD				
	STUCCO: COLOR 6, TBD				



3 COURTYARD ELEVATION
3/16" = 1'-0"



2 COURTYARD ELEVATION
3/16" = 1'-0"



1 COURTYARD ELEVATION
3/16" = 1'-0"



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: FP-23-014858
APPROVED DATE: 06/23/23
APPROVED
FIRE FLOW: 1750 GPM 1 PSI

FIRE 1 PLAN GENERAL NOTES

CONSTRUCTION TYPE: V-A
SF = 35,785
BUILDING HEIGHT = 35'
SPRINKLERED
NFPA 13
FD ORD, CITY ORD, IFC 2009-2015
ALL EXTERIOR WALLS RATED 1 HR FROM INSIDE ONLY



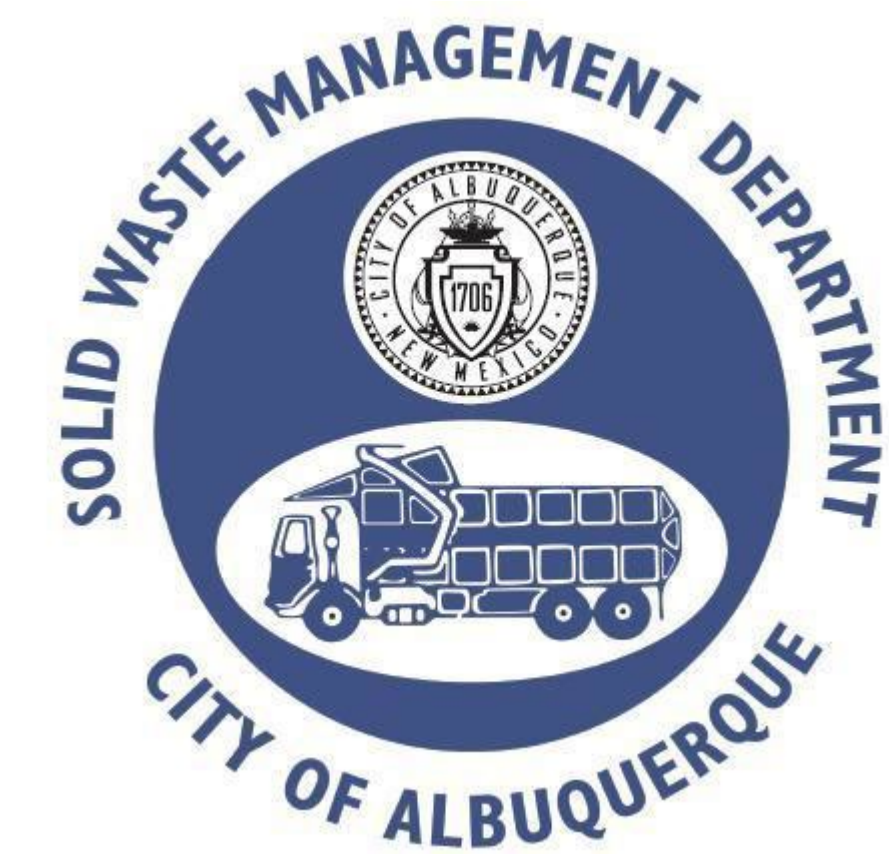
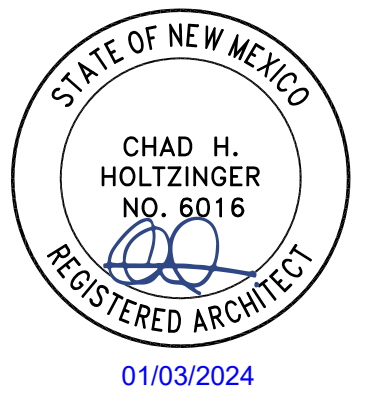
ADDRESS / BUILDING IDENTIFICATION
PER FD ORD 505.1
KNOX BOX
PROPOSED FIRE HYDRANT
NO OBSTRUCTIONS WITHIN 15' PER FD ORD 507.6
FDC AND WALL INDICATOR VALVE,
INSTALLED PER NFPA 13
NO OBSTRUCTIONS WITHIN 9' PER FD ORD 507.6
FIRE APPARATUS ACCESS ROADS >26'
= MARKED FIRE LANE ONE SIDE

FIRE APPARATUS ACCESS ROADS:
Access and Loading: An approved fire apparatus access roads shall have an asphalt, concrete, or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.
Engineering data: Engineering data shall be submitted to substantiate weight bearing capacity and all weather driving capabilities for fire apparatus access roads.
Grade: Fire apparatus access roads shall not exceed 10 percent in grade.

FLAGNOTES PER SHEET	
5.35	STEEL VEHICULAR BOLLARD, GROUT SOLID, PAINT
11.17	TRASH DUMPSTER, 210S, 82-3/16" X 34"
11.18	RECYCLING DUMPSTER, 610S, 82-1/8" X 66"

DEVELOPMENT STATISTICS

SITE AREA:	2.38 ACRES (103,679 SF)
BUILDING FOOTPRINT:	14,068 SF
PARKING/ DRIVE LANES:	26,940 SF
DETENTION / WQ:	10,080 SF
OPEN SPACE PROVIDED:	52,591 SF
OPEN SPACE REQUIRED:	10,860 SF
1-BEDROOM / 225 SF	10,575 SF
2-BEDROOM / 285 SF	285 SF

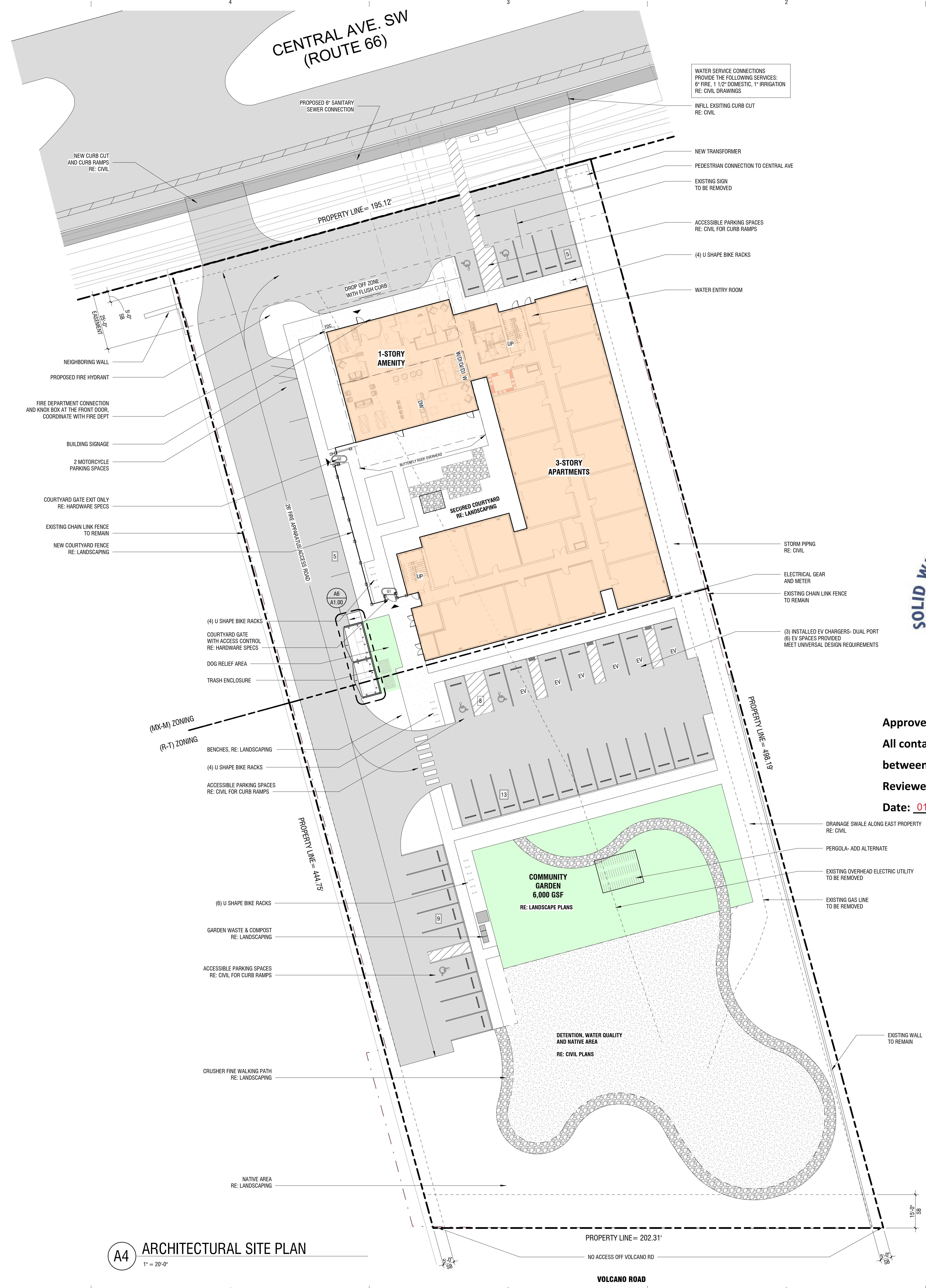


Approved for access by the Solid Waste Department.
All containers must be made accessible for pick up
between the hours of 5AM and 8PM.
Reviewer: *Herman Gallegos*
Date: 01-03-24
****Hazard Route Only****



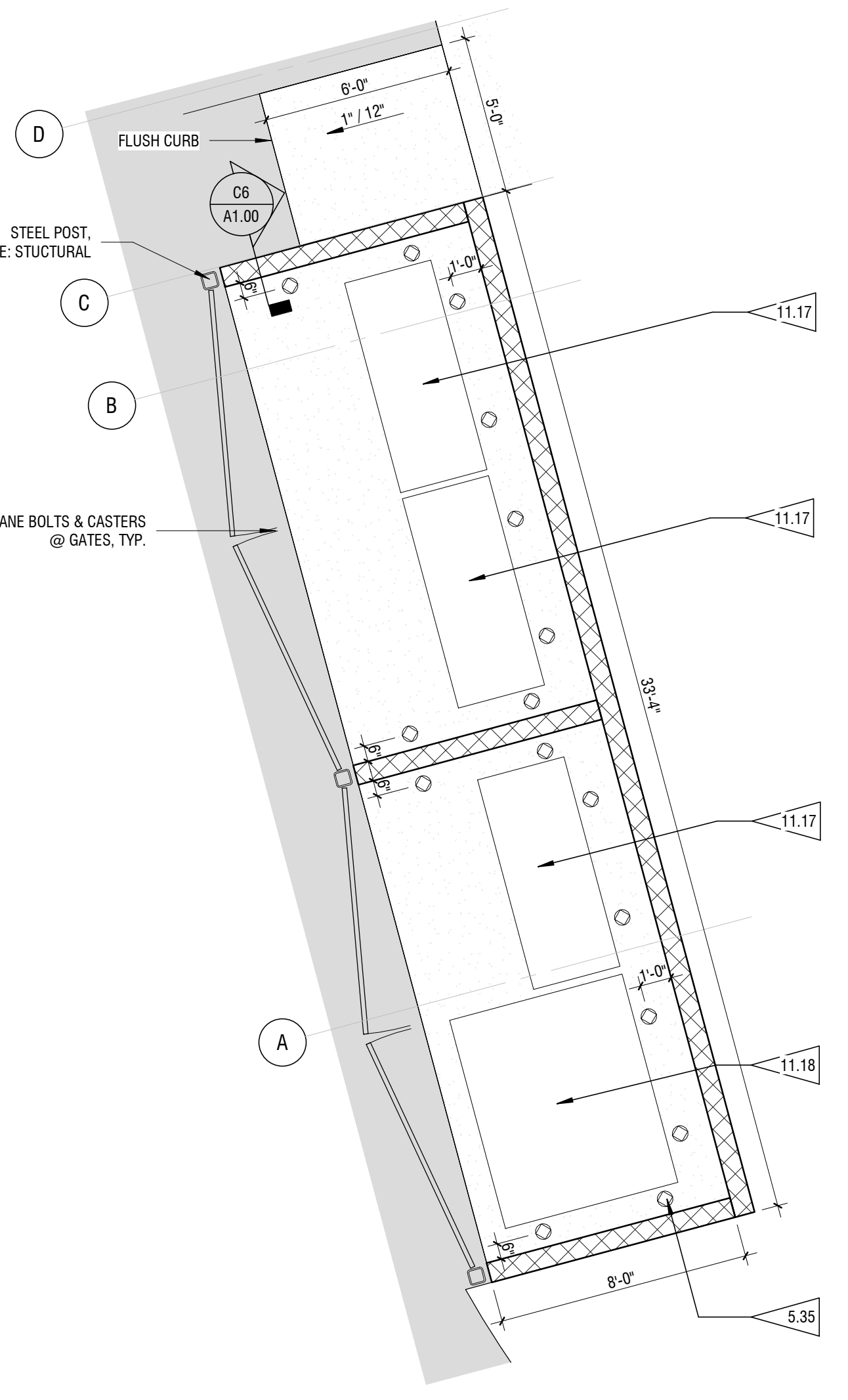
ROUTE 66 FLATS
7600 CENTRAL AVE SW
ALBUQUERQUE, NEW MEXICO

REV:
DRAWN: Author
REVIEWED: Approver
DATE: 1/25/2024
PROJECT #: 21018
FILE:
SHEET TITLE:
**ARCHITECTURAL
SITE PLAN**



A4 ARCHITECTURAL SITE PLAN
1" = 20'-0"

C6 TRASH ENCLOSURE WALL SECTION
1/2" = 1'-0"



A6 TRASH ENCLOSURE ENLARGED PLAN
1/4" = 1'-0"

August 14, 2023

Chair

Eric C. Olivas
County of Bernalillo
Commissioner, District 5

Vice Chair

Tammy Fiebelkorn
City of Albuquerque
Councilor, District 7

Barbara Baca
County of Bernalillo
Commissioner, District 1

Adriann Barboa
County of Bernalillo
Commissioner, District 3

Pat Davis
City of Albuquerque
Councilor, District 6

Trudy E. Jones
City of Albuquerque
Councilor, District 8

Timothy M. Keller
City of Albuquerque
Mayor

Ex-Officio Member
Gilbert Benavides
Village of Los Ranchos
Board Trustee

Executive Director
Mark S. Sanchez

Website
www.abcwua.org

Adam Buehler
Shopworks Architecture
301 W 45th Ave
Denver, CO 80216

RE: Water and Sanitary Sewer Availability Statement #230629

Project Name: Route 66 Flats
Project Address: 7600 Central Ave SW
Legal Description: Tract 52, Atrisco Grant
UPC: 101005722814830517
Zone Atlas Map: K-10

Dear Mr. Buehler:

Project Description: The subject site is located along Central Avenue west of 75th Street within the City of Albuquerque. The proposed development consists of approximately 2.11 acres and the property is currently zoned MX-M for the north portion of the site and R-T for the southern portion of the site. These stand for mixed-use moderate intensity and residential townhouses, respectively. The property lies within the Pressure Zone 2WR in the Atrisco Trunk. The request for availability indicates plans to develop a three story 48-unit apartment building intended to supplement the affordable housing market.

Existing Conditions:

Water infrastructure in the area consists of the following:

- 12-inch cast iron distribution line (project #09-169-55) along Central Avenue.
- 24-inch cast iron transmission line (project #09-169-55) along Central Avenue.
- 42-inch concrete cylinder transmission line (project #09-002-83) along Central Avenue.

Sanitary sewer infrastructure in the area consists of the following:

- Eight-inch vitrified clay sanitary sewer collector (project #21-063-75) along the south side of Central Avenue.

Water Service: New metered water service to the property can be provided via routine connection to the existing 12-inch distribution main along Central Avenue. Connection into the 24-inch or 42-inch transmission mains are prohibited. A water extension is not required along Volcano Road given that the tracts immediately west of the subject lot either have service or have immediate access to water service. The engineer is responsible for determining pressure losses and sizing of the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual independent water services. No property shall

share a water service with any other property. Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and collar removed.

Non-Potable Water Service: Currently, there is no non-potable infrastructure available to serve the subject property.

Sanitary Sewer Service: New sanitary sewer service can be provided via routine connection to the existing eight-inch collector along Central Avenue. No property shall share a private sewer service with any other property. A sanitary sewer extension is not required along Volcano Road given that the tracts immediately west of the subject lot either have service or have immediate access to sanitary sewer service. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development. All food service establishments must install a grease trap upstream of the domestic private sewer connection prior to discharge into the public sanitary sewer lines.

Fire Protection: From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 1,750 GPM gallons-per-minute. One fire hydrant is required. There is one existing hydrant available and one new private hydrant is proposed with this project. As modeled using InfoWater™ computer software, the fire flow can be met by applying the required fire flow to the system as shown in the information provided by the requestor. Analysis was performed by simulating the required fire flow at the proposed location of the private fire line.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service. The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

Cross Connection Prevention: Per the Cross Connection Prevention and Control Ordinance, all new non-residential premises must have a reduced pressure principal backflow prevention assembly approved by the Water Authority installed at each domestic service connection at a location accessible to the Water Authority. No tees, branches, or possible connection fittings or openings are allowed between the reduced principal backflow prevention assembly and the service connection unless protected by a backflow prevention assembly. These requirements also apply to all remodeled non-residential premises when the work area of the building undergoing repairs, alterations or rehabilitation, as defined in the International Existing Building Code, exceeds 50 percent of the aggregate area of the building regardless of the costs of repairs, alteration or rehabilitation.

All non-residential irrigation water systems connected to the public water system shall have a pressure vacuum breaker, spill-resistant pressure vacuum breaker or a reduced pressure principal backflow prevention assembly installed after the service connection. Such devices shall be approved by the Water Authority. No tees, branches, or possible connection fittings or openings are allowed between the containment backflow prevention assembly and the service connection.

All non-residential customers connected via piping to an alternative water source or an auxiliary water supply and the public water system shall install a containment reduced pressure principal backflow prevention assembly approved by the Water Authority after the potable service connection.

All new services to private fire protection systems shall be equipped with a containment reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction installed after the service connection. No tees, branches, or possible connection fittings or openings are allowed between the containment backflow prevention assembly and the service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the private fire protection system meets or exceeds ANSI/NSF Standard 60.61 throughout the entire private fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections nor connections from auxiliary water supplies.

The Water Authority recommends that all backflow (containment) devices be located above ground just outside the easement or road right-of-way. The containment backflow device can be installed within the building if there are no tees, branches, or possible connection fittings or openings between the reduced principal backflow prevention assembly and the service connection, unless protected by another reduced pressure backflow prevention assembly device. Contact Cross Connection at (505) 289-3465 for more information.

Pretreatment – Fats, Oils and Greases: The development is for commercial use and has the potential to discharge Fats, Oils, Grease and/or Solids (FOGS) to the sanitary sewer and/or falls under one of the applicable users in the SUO:

FOGS Applicability SUO Section 3-3-2 A.:

Users "...such as food service establishments, commercial food processors, automotive shops, auto wash racks, car washes, vehicle fueling stations, septic tank pumpers, grease rendering facilities, breweries/distilleries, bottling plants, commercial and industrial laundries, slaughterhouses and meat packing establishments (fish, fowl, meat, curing, hide curing), oil tank firms and transporters..."

Such Users must comply with all FOGS discharge requirements defined in SUO Section 3-3-2 and FOGS Policy including but not limited to:

1. Installation of an adequately sized Grease Interceptor (GI) approved by the appropriate code enforcement authority (City of Albuquerque, and/or Bernalillo County)
 - a. Interceptors and/or Separators are required for outdoor pools, dumpsters pads and outdoor washdown areas that have the potential to discharge grease, sand, solids, flammable liquids to the sanitary sewer. Pad shall be installed at an elevation higher than surrounding grade. It is not required for dumpster pads to have a sewer connection.
 - b. Placement of Interceptors in drive-thru or traffic lanes is not allowed.

2. All FOGS source within the facility are plumbed to the GI as required by the appropriate plumbing code.
3. Long term Best Management Practices (BMP), and GI maintenance such as pumping and manifest requirements.
4. Unobstructed access to inspections of the facility and records.

A copy of the Sewer Use and Wastewater Control Ordinance and FOGS Policy can be found on the Pretreatment page of the Water Authority Website:

<https://www.abcwua.org/sewer-system-industrial-pretreatment-overview/>

Contact the Industrial Pretreatment Engineer, Travis Peacock at (505) 289-3439 or pretreatment@abcwua.org for coordination or clarification of any of the above requirements.

Easements and Property: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service. A Warranty Deed shall be required when a property will be transferred to the Water Authority for the installation of Water Authority owned facilities such as pump stations, reservoirs, wells, lift stations, or any other facility.

Required public water and/or sanitary sewer easements shall be for the construction, installation, maintenance, repair, modification, replacement and operation of public water and sanitary service lines, equipment and facilities reasonably necessary to provide service together with free access on and over the easement, and the right to remove trees, shrubs, undergrowth and any other obstacles, modifications, or structures which interfere with use of the easement.

Pro Rata: Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction: Design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated through the Water Authority Connection Permit process. Construction must be performed by a licensed and bonded public utility contractor.

Utility Expansion Charge (UEC): In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter.

UEC's associated with multi-family are determined by the criteria set forth in the Water Authority Rate Ordinance, which is amended from time to time. These specific UEC's take into account the number of units within the multi-family development. If the multi-family development includes other amenities such as a clubhouse, fitness center or

leasing office, that will be metered separately. UEC's for these amenities will not be charged as they are included in the multi-family UEC calculation. UEC's associated with irrigation meters are not included in the multi-family calculation and shall be paid accordingly.

The Rate Ordinance does provide an opportunity for UEC discounts for low income housing developments. If the development qualifies for these discounts, the developer will be required to provide documentation as stated in the Rate Ordinance.

Furthermore, if the development includes both low income and market rate apartments, the same requirements set forth in the Rate Ordinance shall be adhered to. Contact Customer Service at (505) 842-9287 (option 3) for more information regarding UEC's.

Water Use: All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Reduction Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

Sincerely,

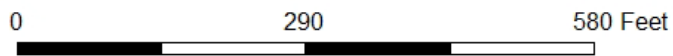
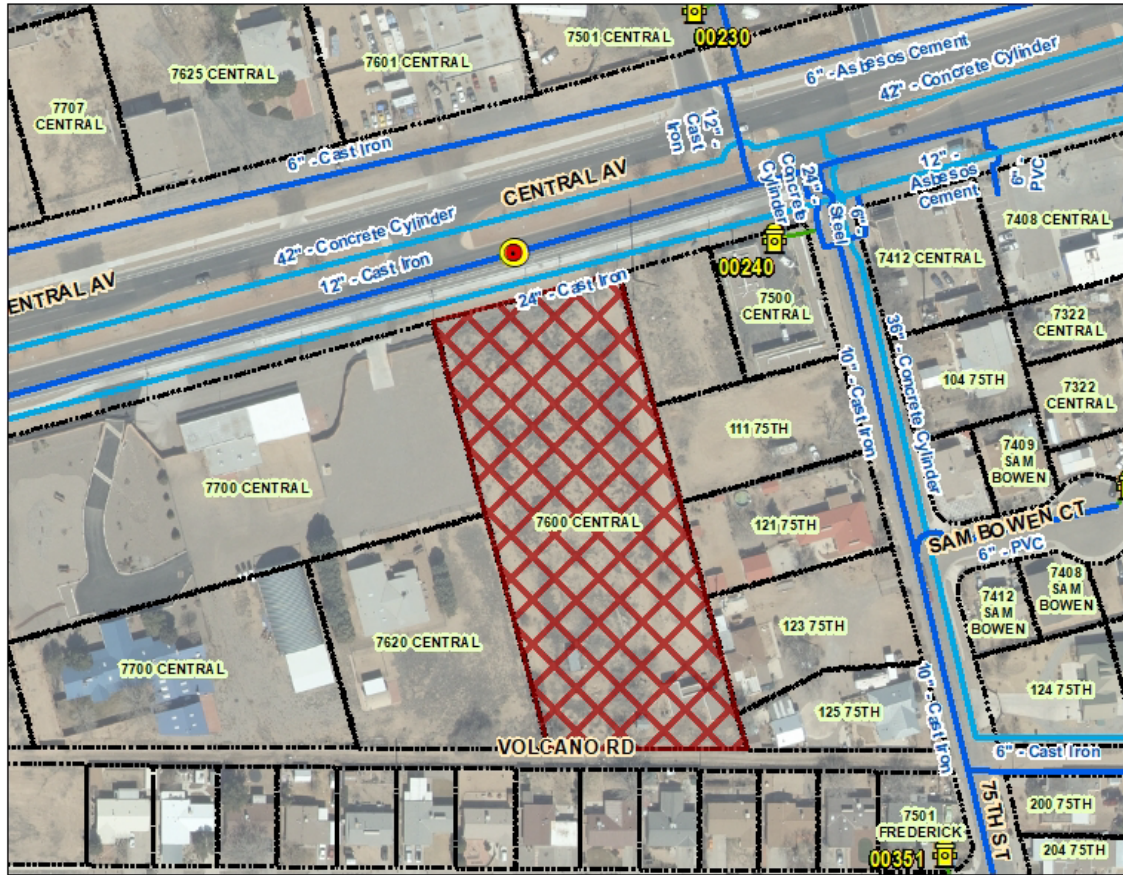


Mark S. Sanchez
Executive Director

Enclosures: Infrastructure Maps

f/ **Availability Statement #230629**

230629 - Water



Legend



Hydrant



Base Map City

Water Pipe

Subtype

Distribution Line

Hydrant Leg

In Zone Transmission



Project Location

Fire Flow Analysis Points

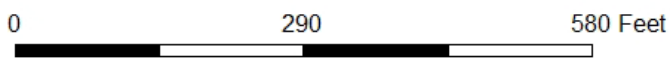
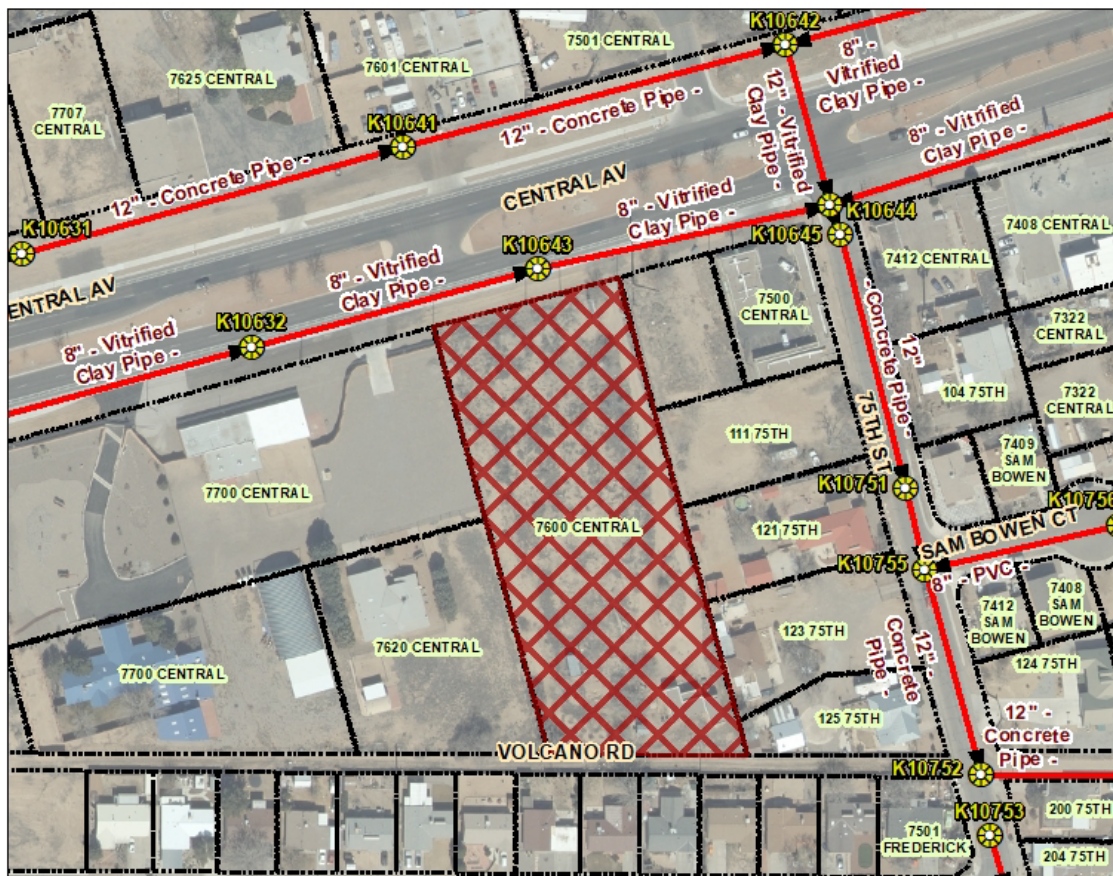


Analysis Point - Proposed Fire Line (1)



Water Utility Authority

230629 - Sanitary Sewer



Legend

Sewer Manhole

Base Map City

Sewer Pipe

Project Location

Subtype

COLLECTOR



02 | SUPPORTIVE DOCUMENTATION

INCLUSIVE OF:

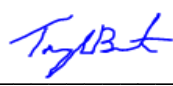
- **Site Plan Checklist**
- **Authorization Letter**
- **Justification Letter**

SITE PLAN CHECKLIST

Project #: 2023-008589 Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 01.26.2024

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

- N/A E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas

- N/A F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - N/A 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - N/A 3. Location of traffic signs and signals related to the functioning of the proposal
 - N/A 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - N/A 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.

- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - N/A 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- N/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5 Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO



January 26, 2024

City of Albuquerque
Planning Department
600 2nd St. NW
Albuquerque, NM 87102

Re: Route 66 Flats Site Plan Document Submission

To whom it may concern,

As the Owner of the property located at 7600 Central Ave. SW, in the City of Albuquerque, this letter is to authorize Shopworks Architecture, LLC as agent of BlueLine Development, Inc., to submit the enclosed Route 66 Flats Site Plan application and associated documents.

Please contact us with any questions or concerns.

Sincerely,

A handwritten signature in black ink, appearing to read "C. Pritchett", written over a light blue horizontal line.

Christian Pritchett
Director of Development

January 26, 2024

City of Albuquerque Planning
Development Review Services
Plaza del Sol Building
600 Second NW
Albuquerque, NM 87102

RE: Route 66 Flats

To Whom It May Concern,

On behalf of High Desert Housing and BlueLine Development, Shopworks Architecture is pleased to submit this Site Plan for a new 48-unit affordable housing apartment building at 7600 Central Avenue SW. This future affordable housing development was awarded Low-Income Housing Tax Credits (LIHTC) from the New Mexico Mortgage Finance Authority and is looking to have a building permit in hand by March 2024.

This request has been created by the following parties:

Developer

BlueLine Development
1004 South Avenue West
Missoula, MT 59801
Contact: Ashley Grant
ashley@bluelinedevelopment.com

Building Owner

High Desert Housing
PO Box 80009
Albuquerque, NM 87198
Contact: Kara Summers
kara@hdhnm.org

Architect

Shopworks Architecture
301 W. 45th Avenue
Denver, CO 80216
Contacts: Ed Parcell
ed@shopworksarc.com

PROJECT DESCRIPTION

The approximately 2.11-acre vacant site is well-served by transit being in the Route 66 corridor, and within a half mile of Central & Unser Transit Center. The site lies within two zone districts, the northern half is zoned MX-M and the southern half is zoned R-T. The site is organized with the building entirely within the MX-M zone district, facing Central Ave, with half of the surface parking lot, community garden and enhanced landscaping on the southern half of the site in the R-T zone district.

We are proposing an approximately 35,884 sf multifamily building comprised of a mix of 1- and 2-bedroom units and an approximately 3,000sf amenity area in a three-story configuration. We are providing 40 total parking spaces onsite, which includes 5 ADA spaces, 6 EV capable parking spaces, and 2 motorcycle spaces. We are also providing 24 bicycle parking spaces onsite.

The building is organized around a central southwestern facing community courtyard. The architectural forms and materials for Route 66 Apartments are intended to embrace the adjacent neighborhood as well as provide an engaging façade with strong horizontal and vertical articulation. This 3-story residential courtyard building incorporates base-middle-top design principles and will utilize high-quality, durable building materials that will provide a modern and pedestrian-scale design.

A single-story resident amenity area and lobby anchor the northwest corner of the building, along Route 66 welcoming future residents. Larger formal gestures including changes in roof height, wall notches, horizontal bands of color, and vertical accents with texture and material changes creates undulating depth along the building façade, breaking up the massing and creating a warm, modern southwestern style building. A variation in building fenestration, window and entry detailing creates additional visual interest.

Residents will enjoy a central fenced courtyard with a covered patio, contemplative spaces, outdoor seating and gathering areas. In addition, a large community garden will be provided south of the building, with walking paths and seating. A detention pond is provided south of the community garden and is landscaped as an amenity with a crusher fine walking path at its perimeter.

COMMUNITY OUTREACH

The design and development team reached out to the South West Alliance of Neighborhoods (SWAN Coalition), Westside Coalition of Neighborhood Associations, and South Valley Coalition of Neighborhood Associations between June 19 and July 20, 2023 via email, with the previously reviewed sketch plan, and description of the development proposal; however we did not receive any response from any group. Robert Webb with the City of Albuquerque was copied on all public outreach emails. The copy of communication is added to this submittal at the end.

CONFORMANCE WITH MAJOR SITE PLAN CRITERIA FOR APPROVAL

This site plan complies with the criteria set forth in Section 6-5(G)(3) for site plan approval through the following:

- A. The Site Plan complies with all applicable standards in this IDO, the DPM, other adopted City regulations and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

The proposed Route 66 Apartment site plan substantially complies with the dimensional standards and design requirements articulated in the IDO for the MX-M and R-T zone districts.

- B. The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage and sidewalk systems, have adequate capacity to serve the proposed development or the applicant has agreed to install required infrastructure and public improvements pursuant to Subsection 14-16-1-7(B)(2) and 14-16-5-4(N) and/ or signed in an Infrastructure Improvements Agreement (IIA) pursuant to Subsection 14-16-5-4(o) to add adequate capacity.

The subject property is in a well-served infill site, and the proposed development will not result in undue or unnecessary burden on the city's existing infrastructure. Please see enclosed site plan that accompanies this letter. The design of the building maximizes the efficiency of development and connection to its neighborhood context.

- C. If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any IDO standards applicable in the zone district the subject property is in.

The site is not within a Master Development Plan and is not subject to additional requirements above and beyond the applicable standards for the MX-M and R-T zone districts in the IDO.

- D. If the subject property is within an approved Framework Plan, the Site Plan shall meet any relevant standards in the Framework Plan in addition to any IDO standards applicable to the type of development.

The site is not within a Framework Plan and is not subject to additional requirements above and beyond the applicable standards for the MX-M and R-T zone districts in the IDO.

We look forward to working with the City of Albuquerque to making this future affordable housing development a success!

Regards,



Ed Parcell
Shopworks Architecture

REQUIREMENTS FOR PRE-SUBMITTAL AND AT SUBMITTAL

Table 6-1-1: Summary of Development Review Procedures																
DHO = Development Hearing Officer EPC = Environmental Planning Commission LC = Landmarks Commission																
ZHE = Zoning Hearing Examiner LUHO = Land Use Hearing Officer																
X = Required [] = Public Hearing < > = Quasi-judicial Hearing																
R = Review/Recommend D = Review and Decide AR = Appeal Review / Recommend AD = Appeal Review and Decide																
Subsection	Mtgs		Public Notice				Review and Decision-making Bodies						Specific Procedures			
	6-4(B)	6-4(C)	6-4(K)(2)	6-4(K)(3)	6-4(K)(4)	6-4(K)(5)	6-4(K)(6)	6-2(B)	6-2(D)	6-2(E)	6-2(H)	6-2(J)		6-2(I)	6-2(A)	
Application Type	Neighborhood	Pre-application	Email	Mailed	Posted Sign	Published	Web Posting	City Staff ⁽¹⁾	DHO	EPC	LC	ZHE	LUHO	City Council ⁽²⁾		
Site Plan – Administrative ⁽⁴⁾	X ⁽⁵⁾		X		X		X	D						<AR>	<AD>	6-5(G)

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from _____ To _____

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Ashley Grant
(Applicant or Agent)

1/30/2024
(Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: _____

PROOF OF EMAILED NOTICE TO NEIGHBORHOOD ASSOCIATIONS

NEIGHBORHOOD COALITIONS:

- **South West Alliance of Neighborhoods (SWAN)**
- **Westside Coalition of Neighborhood Associations**
- **South Valley Coalition of Neighborhood Associations**

INCLUSIVE OF:

- **Email String w/ Robert Webb describing requirements**
- **Email outreach to Neighborhood Coalitions**
- **Email String w/ Editor for AQB Westside**
- **Confirmation on 11/2/2023 of no communication**

Taylor Bissert

From: Alisha Hammett
Sent: Thursday, June 22, 2023 12:52 PM
To: Ashley Grant (ashley@bluelinedevelopment.com); John Hastings
Cc: Ed Parcell
Subject: FW: Route 66 Flats Neighborhood Meeting :: DRB Project #2023-008589

FYI below. We haven't heard back from any of the neighborhood organizations yet.

ALISHA KWON HAMMETT

shopworks architecture
301 W. 45th Ave Denver, CO 80216
M: 720.296.5187
T: 303.433.4094

From: Webb, Robert L. <rwebb@cabq.gov>
Sent: Thursday, June 22, 2023 12:35 PM
To: Alisha Hammett <alisha@shopworksarc.com>
Cc: Ed Parcell <Ed@shopworksarc.com>; Adam Buehler <adam@shopworksarc.com>; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>
Subject: RE: Route 66 Flats Neighborhood Meeting :: DRB Project #2023-008589

You'll include that documentation & information in your submittal.

Explain when notice was sent and who it was sent to and the dates.

Include a copy of the ONC email and a copy of the email you sent to those designated neighborhood associations.

That will give proof that the public notice was sent and they were given the 15 days. Which fulfills your requirement.

Thank you,

Robert



ROBERT WEBB

Senior Planner -

Development Review Services

o 505.924.3910

From: Alisha Hammett [<mailto:alisha@shopworksarc.com>]
Sent: Thursday, June 22, 2023 12:18 PM
To: Webb, Robert L. <rwebb@cabq.gov>
Cc: Ed Parcell <Ed@shopworksarc.com>; Adam Buehler <adam@shopworksarc.com>; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>
Subject: RE: Route 66 Flats Neighborhood Meeting :: DRB Project #2023-008589

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Hi Robert,

If the neighborhood associations don't respond to our emails, how do we proceed?

ALISHA KWON HAMMETT

shopworks architecture
301 W. 45th Ave Denver, CO 80216
M: 720.296.5187
T: 303.433.4094

From: Webb, Robert L. <rwebb@cabq.gov>
Sent: Wednesday, June 21, 2023 1:57 PM
To: Alisha Hammett <alisha@shopworksarc.com>
Cc: Ed Parcell <Ed@shopworksarc.com>; Adam Buehler <adam@shopworksarc.com>; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>
Subject: RE: Route 66 Flats Neighborhood Meeting :: DRB Project #2023-008589

Hello.

Thank you for reaching out. The Site Plan-Admin process does not require mailed notice. Per section 6 of the IDO, table 6-1-1.

It does require the electronic notice and if over 100 units you must offer a pre-submittal neighborhood meeting.

Thank you,

Robert



ROBERT WEBB

Senior Planner -
Development Review Services
o 505.924.3910
e rwebb@cabq.gov
cabq.gov/planning

From: Alisha Hammett [<mailto:alisha@shopworksarc.com>]
Sent: Monday, June 19, 2023 1:29 PM
To: Webb, Robert L. <rwebb@cabq.gov>
Cc: Ed Parcell <Ed@shopworksarc.com>; Adam Buehler <adam@shopworksarc.com>
Subject: Route 66 Flats Neighborhood Meeting :: DRB Project #2023-008589

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Hi Robert,

We completed our pre-application meeting for Route 66 Flats on May 17, 2023. We wanted to confirm with you that our next step is to schedule a neighborhood meeting ahead of our administrative site plan application. We are wondering if we need to send a physical mailed notice to the neighborhood organizations or if we can reach out to them via email?

Our neighborhood coalitions are South West Alliance of Neighborhoods, Westside Coalition of Neighborhood Associations and South Valley Coalition of Neighborhood Associations.

Thank you.

ALISHA KWON HAMMETT

shopworks architecture
301 W. 45th Ave Denver, CO 80216
M: 720.296.5187
T: 303.433.4094

From: Webb, Robert L. <rwebb@cabq.gov>
Sent: Thursday, April 13, 2023 11:26 AM
To: Alisha Hammett <alisha@shopworksarc.com>
Subject: FW: sketch plat - preapplication



IRONSCALES couldn't recognize this email as this is the first time you received an email from this sender
rwebb@cabq.gov

Hello.

Thank you for contacting us. We're happy to assist.

We would definitely recommend a sketch plat. That is a detailed pre-application meeting. This will help ensure you have the most current information.

Some larger scale projects require Site Plan review and approval before building permit approval. You may be able to submit concurrently, but a large portion of the building permit review would be on hold.

Our general threshold is buildings over 50,000 SqFt, Multi-Family development of 50 units or more, properties over 5 acres in size, and any project that requires major infrastructure.

Site Plan-Admin is no longer part of a public meeting. Platting actions, Site Plan-EPC, zone change-EPC, and ZHE exceptions all still go through a public meeting.

Review times can vary based on volume, staffing, and if corrections/revisions are necessary. Although a lot can depend on how fast you can submit a 100% complete file and how clear/detailed it is for review.

Subject: FW: sketch plat

Sketch plat is one of the pre-application options to obtain a pre-review and receive detailed project comments. It is one of the first steps for proposed development. It is process to help determine next steps and identify red flags. It is informational and informal.

Turnaround time is roughly within two weeks.

We will need a clear and detailed site plan. One for existing conditions and a separate one showing what changes are being proposed.

Also submit a letter that should explain existing conditions and proposed. That way there is a clear understanding of the before and after. This way you can receive the most accurate information to move forward towards a re-plat or site plan submittal.

Attached are the forms for a sketch plat/plan.

We need the following for a completed file:

-Completed application page. Include address of property and UPC-parcel #.

-Completed checklist form S3 under the sketch plat section.

-Zone atlas page with subject property marked. Can be found online from cabq.gov.

-Two site plan versions. Once showing existing conditions and the other showing proposed development.

-Explanation/Justification letter that explains the property and the proposed project. Include information regarding new development, demo, and site modifications.

Include any specific questions that you have or determinations needed.

Once we have a complete file, we can process and invoice it which will place you on an agenda for review.

You will receive comments from planning, code enforcement, hydrology, transportation.

All application files must be submitted electronically. Sketch Plat application submittal instructions are currently as follows:

- 1. Completed and signed/dated application page and checklist sheet.*
- 2. Zone Atlas map with the entire site clearly outlined and labeled.*
- 3. Letter describing, explaining, and justifying the request. (Existing conditions and proposed)*
- 4. Scale drawing of the existing and proposed subdivision plat.*
- 5. Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements, if there is any existing land use.*
- 6. Submit one complete PDF file of the application, including all plans and documents, emailed to Planning Development Review Services PLNDRS@cabq.gov.*

For files larger than 9 MB in size, please send a file transfer link to Planning Development Review Services PLNDRS@cabq.gov.

<https://www.cabq.gov/planning/boards-commissions/development-review-board/sketch-plat>

Submittals would include an application page, a checklist page, an explanation letter detailing existing conditions and proposed, drawings demonstrating existing conditions and proposed.

All submitted as one complete file by either attachment or file transfer link to plndrs@cabq.gov

<https://www.cabq.gov/planning/development-review-services/site-plan-admin-dft>

Our office or division is DRS-Development Review Services. We help with platting actions and larger scale site plans and/or site plan amendments.

This is outside of the building permit process. Here's a link to our page -

<https://www.cabq.gov/planning/development-review-services>

Below are some additional contacts to separate areas of planning.

Link to the IDO-zoning code web page:

<https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1/integrated-development-ordinance>

***For verification of building permit info - Building Safety - 505-924-3320, option #1.**

<https://www.cabq.gov/planning/building-safety-division>

Additional contacts--

Building Safety Applications Buildingsafetyapplications@cabq.gov
permitrequest@cabq.gov

Elliott, Laurie lelliott@cabq.gov

Assistant Building Safety manager -- Dean Kadell dkadell@cabq.gov

Supervisor -- Deborah L. Rowley, drowley@cabq.gov

Thank you,

Robert

Taylor Bissert

From: Alisha Hammett
Sent: Wednesday, July 5, 2023 2:52 PM
To: svcna.pres@gmail.com; jgallegoswccd@gmail.com; editor@abqwestside.com
Cc: Ed Parcell; Ashley Grant (ashley@bluelinedevelopment.com); John Hastings; Robert Webb (rwebb@cabq.gov)
Subject: Route 66 Flats- a new affordable housing development
Attachments: Route 66 Flats Sketch Plan App.pdf

Good afternoon,

We are following up on initial email from June 19, regarding a new 48-unit affordable housing development known as Route 66 Flats at 7600 Central SW. We have completed a pre-application meeting with the City (#2023-008589) and our next step is public outreach prior to submitting a site plan. We have included our sketch plan pre-application materials for your reference.

Should you like to meet with us, we are more than happy to discuss this in greater detail with your neighborhood organization.

Thank you!

ALISHA KWON HAMMETT

shopworks architecture

301 W. 45th Ave Denver, CO 80216

M: 720.296.5187

T: 303.433.4094

From: Alisha Hammett
Sent: Monday, June 19, 2023 1:41 PM
To: svcna.pres@gmail.com
Subject: Route 66 Flats

Hello,

We are looking to develop a new 48-unit affordable housing development at 7600 Central Ave SW and were reaching out to see if we could coordinate a neighborhood meeting, where we could discuss this new apartment building in more detail?

We look forward to hearing from you.

ALISHA KWON HAMMETT

shopworks architecture

301 W. 45th Ave Denver, CO 80216

M: 720.296.5187

T: 303.433.4094

Taylor Bissert

From: Alisha Hammett
Sent: Thursday, July 20, 2023 12:30 PM
To: editor@abqwestside.com
Subject: RE: Route 66 Flats- a new affordable housing development
Attachments: 23 0717 RTE 66 FLATS Concept Plan and Massing.pdf

Hi Nick,

Thank you for your phone calls and email! My apologies for the delayed response- it's been one of those weeks! I have more availability tomorrow to follow up with you via phone.

To recap our development proposal: Route 66 Flats has been awarded Low-Income Housing Tax Credits from the New Mexico Mortgage Finance Authority to develop a 3-story, 48-unit affordable housing apartment building at 7600 Central Ave SW. The building includes a residential amenity space on the first level with a large outdoor courtyard. The landscaping will include community gardens, a walking loop with seating areas and a pergola. The property will be professionally managed and maintained with a full-time onsite property manager.

The site is zoned MX-M and R-T, with the building being sited in the MX-M zone district and the landscape within the R-T zone district. We are proposing 44 parking spaces, 2 motorcycle spaces and 24 bicycle parking spaces. Unlike market rate developments where parking ratios are determined by bedroom (assuming unrelated persons cohabitating and each with their own personal vehicle) affordable housing is rented by household income, where it is unlikely that unrelated person would cohabitate- therefore significantly reducing the parking demand. Additionally, we know that for those who occupy affordable housing serving those making up to 60% of the area median income (AMI) are less likely to own a vehicle, let alone more than one vehicle.

Please see attached conceptual massing for the building, along with a conceptual site plan.

We are attempting to connect with South West Alliance of Neighborhoods, Westside Coalition of Neighborhood Associations and South Valley Coalition of Neighborhood Associations ahead of our Site Plan submittal that we are hoping to submit to the City in 6-8 weeks. Any help connecting with them would be greatly appreciated.

Again, happy to connect over phone tomorrow to discuss in more detail if that works for you.

ALISHA KWON HAMMETT

shopworks architecture
301 W. 45th Ave Denver, CO 80216
M: 720.296.5187
T: 303.433.4094

From: editor@abqwestside.com <editor@abqwestside.com>
Sent: Tuesday, July 18, 2023 2:18 PM
To: Alisha Hammett <alisha@shopworksarc.com>
Subject: Re: Route 66 Flats- a new affordable housing development

Ms. Hammet,

I received this email as editor of ABQwestside.com. I left a phone message because you were apparently out of the office.

I see the attachments that show basic information and location, but would like to ask a couple of questions and possibly get an elevation that would provide an idea of what the project would look like.

I might also be able to help connect you with neighbors who would be interested, but have to confess that my circulation mostly covers the area north of I-40.

Give me a call at your convenience at 505-433-3233 or drop me an email at nick.new.mex@comcast.net

Thanks,

Nick Harrison

On 2023-07-05 14:51, Alisha Hammett wrote:

Good afternoon,

We are following up on initial email from June 19, regarding a new 48-unit affordable housing development known as Route 66 Flats at 7600 Central SW. We have completed a pre-application meeting with the City (#2023-008589) and our next step is public outreach prior to submitting a site plan. We have included our sketch plan pre-application materials for your reference.

Should you like to meet with us, we are more than happy to discuss this in greater detail with your neighborhood organization.

Thank you!

ALISHA KWON HAMMETT

shopworks architecture

301 W. 45th Ave Denver, CO 80216

M: 720.296.5187

T: 303.433.4094

From: Alisha Hammett
Sent: Monday, June 19, 2023 1:41 PM
To: svcna.pres@gmail.com
Subject: Route 66 Flats

Hello,

We are looking to develop a new 48-unit affordable housing development at 7600 Central Ave SW and were reaching out to see if we could coordinate a neighborhood meeting, where we could discuss this new apartment building in more detail?

We look forward to hearing from you.

ALISHA KWON HAMMETT

shopworks architecture

301 W. 45th Ave Denver, CO 80216

M: 720.296.5187

T: 303.433.4094

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Taylor Bissert

From: Alisha Hammett
Sent: Thursday, November 2, 2023 1:00 PM
To: John Hastings; Ed Parcell; Taylor Bissert
Cc: Ashley Grant
Subject: RE: ABQ - Neighborhood Outreach
Attachments: RE: Route 66 Flats- a new affordable housing development; Route 66 Flats- a new affordable housing development; FW: Route 66 Flats Neighborhood Meeting :: DRB Project #2023-008589

Our public outreach included emailing all the applicable RNOs between June 19, 2023 and July 20, 2023. I've attached the emails for your records.

We did not hear back.

ALISHA KWON HAMMETT

shopworks architecture
301 W. 45th Ave Denver, CO 80216
M: 720.296.5187
T: 303.433.4094

From: John Hastings <jhastings@bluelinedevelopment.com>
Sent: Thursday, November 2, 2023 8:51 AM
To: Ed Parcell <Ed@shopworksarc.com>; Taylor Bissert <taylor@shopworksarc.com>
Cc: Alisha Hammett <alisha@shopworksarc.com>; Ashley Grant <ashley@bluelinedevelopment.com>
Subject: ABQ - Neighborhood Outreach

Shopworks – do you have documentation from the latest neighborhood outreach we had to do *after* we were awarded? I only have outreach info from when we initially applied for City funding back in 2022.

Thanks!

John Hastings
BlueLine Development, Inc.
P: 440.665.9619