

## **03 | PUBLIC NOTICE DOCUMENTATION**

### **INCLUSIVE OF:**

- Sign Posting Agreement**
- ONC Notice Inquiry Response**
- Completed Notification Form & Proof of Additional Information Provided**
- Proof of Emailed Notice to Neighborhood Associations**

## REQUIREMENTS FOR PRE-SUBMITTAL AND AT SUBMITTAL

Table 6-1-1: Summary of Development Review Procedures																
DHO = Development Hearing Officer EPC = Environmental Planning Commission LC = Landmarks Commission																
ZHE = Zoning Hearing Examiner LUHO = Land Use Hearing Officer																
X = Required [ ] = Public Hearing < > = Quasi-judicial Hearing																
R = Review/Recommend D = Review and Decide AR = Appeal Review / Recommend AD = Appeal Review and Decide																
Subsection	Mtgs		Public Notice				Review and Decision-making Bodies						Specific Procedures			
	6-4(B)	6-4(C)	6-4(K)(2)	6-4(K)(3)	6-4(K)(4)	6-4(K)(5)	6-4(K)(6)	6-2(B)	6-2(D)	6-2(E)	6-2(H)	6-2(J)		6-2(I)	6-2(A)	
Application Type	Neighborhood	Pre-application	Email	Mailed	Posted Sign	Published	Web Posting	City Staff <sup>[1]</sup>	DHO	EPC	LC	ZHE	LUHO	City Council <sup>[2]</sup>		
Site Plan – Administrative <sup>[4]</sup>	X <sup>[5]</sup>		X		X		X	D						<AR>	<AD>	6-5(G)

[5] Required for applications that meet thresholds established in Subsection 14-16-6-4(B)(1)(b)

### NOT APPLICABLE

6-4(B)(1)(b) The application is a Site Plan – Administrative proposing a new building or multiple new buildings that include a total of any of the following:

1. More than 100 multi-family residential dwelling units.
2. More than 50,000 square feet of non-residential development.

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from \_\_\_\_\_ To \_\_\_\_\_

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Ashley Grant  
(Applicant or Agent)

1/30/2024  
(Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

**PROJECT NUMBER:** \_\_\_\_\_

**Taylor Bissert**

**From:** Office of Neighborhood Coordination <onc@cabq.gov>  
**Sent:** Wednesday, January 31, 2024 2:35 PM  
**To:** Taylor Bissert  
**Subject:** 7600 Central Ave SW\_ Public Notice Inquiry Sheet Submission  
**Attachments:** IDOZoneAtlasPage\_K-10-Z.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

You don't often get email from [onc@cabq.gov](mailto:onc@cabq.gov). [Learn why this is important](#)

**PLEASE NOTE:**  
The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone
Los Volcanes NA		Ted	Trujillo	<a href="mailto:nedcarla@live.com">nedcarla@live.com</a>	6601 Honeylocust Avenue NW	Albuquerque	NM	87121	5058508375
Los Volcanes NA		Doug	Cooper	<a href="mailto:douglascooper@hotmail.com">douglascooper@hotmail.com</a>	6800 Silkwood Avenue NW	Albuquerque	NM	87121	5054171560
South West Alliance of Neighborhoods (SWAN Coalition)	<a href="mailto:jgallegoswccd@gmail.com">jgallegoswccd@gmail.com</a>	Jerry	Gallegos	<a href="mailto:jgallegoswccd@gmail.com">jgallegoswccd@gmail.com</a>	5921 Central Avenue NW	Albuquerque	NM	87105	5053855809
South West Alliance of Neighborhoods (SWAN Coalition)	<a href="mailto:jgallegoswccd@gmail.com">jgallegoswccd@gmail.com</a>	Geraldine	Ulibarri	<a href="mailto:gerulibbarri1@gmail.com">gerulibbarri1@gmail.com</a>	9009 Starboard NW	Albuquerque	NM	87121	5059076851

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: [https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official\\_public\\_notice\\_form-2019.pdf](https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf).
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:  
<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

*Suzie*



**Suzie Flores**  
Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque  
(505) 768-3334 Office  
E-mail: [suzannaflores@cabq.gov](mailto:suzannaflores@cabq.gov)  
Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)

**From:** [webmaster@cabq.gov](mailto:webmaster@cabq.gov) <[webmaster@cabq.gov](mailto:webmaster@cabq.gov)>  
**Sent:** Wednesday, January 31, 2024 1:10 PM  
**To:** Office of Neighborhood Coordination <[taylor@shopworksarc.com](mailto:taylor@shopworksarc.com)>  
**Cc:** Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>  
**Subject:** Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Public Notice Inquiry For:  
Administrative Decision  
If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:  
Contact Name  
Taylor Bissert  
Telephone Number  
3036816023  
Email Address  
[taylor@shopworksarc.com](mailto:taylor@shopworksarc.com)  
Company Name  
Shopworks Architecture  
Company Address  
City  
State  
ZIP  
Legal description of the subject site for this project:  
ATRISCO GRANT W1/2 TR52  
UPC : 101005722814830517  
Physical address of subject site:  
7600 Central Ave SW.  
Subject site cross streets:  
Central Ave  
Other subject site identifiers:  
This site is located on the following zone atlas page:  
K-10-Z  
Captcha  
x

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice\*: 02/01/2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA) \*: Los Volcanes NA

Name of NA Representative\*: Ted Trujillo / Doug Cooper

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: nedcarla@live.com / douglascooper@hotmail.com

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7600 Central Ave SW  
Location Description ATRISCO GRANT W1/2 TR52
2. Property Owner\* Meyer Paul & Meyer Donald J Trustees Meyer LVT
3. Agent/Applicant\* [if applicable] Shopworks Architecture
4. Application(s) Type\* per IDO [Table 6-1-1](#)
  - Historic Certificate of Appropriateness – Minor
  - Sign Permit
  - Alternative Signage Plan
  - Wall/Fence Permit
  - Site Plan – Administrative<sup>2</sup>

Summary of project/request\*:

A 48 unit affordable housing apartment building with courtyard, community garden and amenity space

5. This application will be decided by staff. Please contact [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860 to speak with staff.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Usually submitted and reviewed as part of building permit application, which can be searched by address here: <https://posse.cabq.gov/posse/pub/lms/Login.aspx>

[Note: Items with an asterisk (\*) are required.]

- 6. Where more information about the project can be found<sup>\*3</sup>:  
Taylor Bissert, taylor@shopworksarc.com
- 

**Information Required for Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)<sup>\*4</sup> K-10-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project<sup>\*</sup>:

- Deviation(s)
- Variance(s)<sup>5</sup>
- Waiver(s)<sup>6</sup>

Explanation<sup>\*</sup>:

N/A

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- 4. Pre-submittal Neighborhood Meeting: Not Required

- 5. **For Site Plan – Administrative Applications only<sup>\*</sup>**, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas. <sup>\*</sup>
- b. Access and circulation for vehicles and pedestrians. <sup>\*</sup>
- c. Maximum height of any proposed structures, with building elevations. <sup>\*</sup>
- d. **For residential development<sup>\*</sup>**: Maximum number of proposed dwelling units.

N/A e. **For non-residential development<sup>\*</sup>**:

- Total gross floor area of proposed project.
- Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>7</sup>:

- 1. Area of Property [typically in acres] 2.11 acres
- 2. IDO Zone District MX-M and R-T
- 3. Overlay Zone(s) [if applicable] N/A
- 4. Center or Corridor Area [if applicable] Area of change, adjacent to Areas of consistency  
Additionally, located in a Major Transit Corridor  
and Activity Center

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

<sup>5</sup> Separate notice is required for Variances.

<sup>6</sup> Separate notice is required for Waivers.

<sup>7</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

Current Land Use(s) [vacant, if none] Vacant

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**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]

South West Alliance of Neighborhoods (SWAN Coalition)

Jerry Gallegos, jgallegoswccd@gmail.com

Geraldine Ulibarri, gerulibbarri1@gmail.com

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## Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice\*: 02/01/2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA) \*: South West Alliance of Neighborhoods (SWAN Coalition)

Name of NA Representative\*: Jerry Gallegos / Geraldine Ulibarri

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: jgallegoswccd@gmail.com / gerulibbarri1@gmail.com

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7600 Central Ave SW  
Location Description ATRISCO GRANT W1/2 TR52
2. Property Owner\* Meyer Paul & Meyer Donald J Trustees Meyer LVT
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- 6. Where more information about the project can be found<sup>\*3</sup>:  
Taylor Bissert, taylor@shopworksarc.com
- 

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- 1. Zone Atlas Page(s)<sup>\*4</sup> K-10-Z
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- Deviation(s)
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- Waiver(s)<sup>6</sup>

Explanation<sup>\*</sup>:

N/A

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- 4. Pre-submittal Neighborhood Meeting: Not Required

- 5. **For Site Plan – Administrative Applications only<sup>\*</sup>**, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas. <sup>\*</sup>
- b. Access and circulation for vehicles and pedestrians. <sup>\*</sup>
- c. Maximum height of any proposed structures, with building elevations. <sup>\*</sup>
- d. **For residential development<sup>\*</sup>**: Maximum number of proposed dwelling units.

N/A e. **For non-residential development<sup>\*</sup>**:

- Total gross floor area of proposed project.
- Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>7</sup>:

- 1. Area of Property [typically in acres] 2.11 acres
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- 3. Overlay Zone(s) [if applicable] N/A
- 4. Center or Corridor Area [if applicable] Area of change, adjacent to Areas of consistency  
Additionally, located in a Major Transit Corridor  
and Activity Center

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

<sup>5</sup> Separate notice is required for Variances.

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Current Land Use(s) [vacant, if none] Vacant

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**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]

Los Volcanes NA

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Ted Trujillo, nedcarla@live.com

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Doug Cooper, douglascooper@hotmail.com

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**ATTACHMENT SENT WITH  
EMAILED NOTICE**

**INCLUSIVE OF:**

- **Cover Sheet w/ Project Information**
  - **Site Plan**
  - **Building Elevations**



# ROUTE 66 FLATS

7600 CENTRAL AVE SW  
ALBUQUERQUE, NM 87121

LOT : 51 / BLOCK : 0000  
SUBDIVISION : TOWN OF ATRISCO GRANT UNIT 6

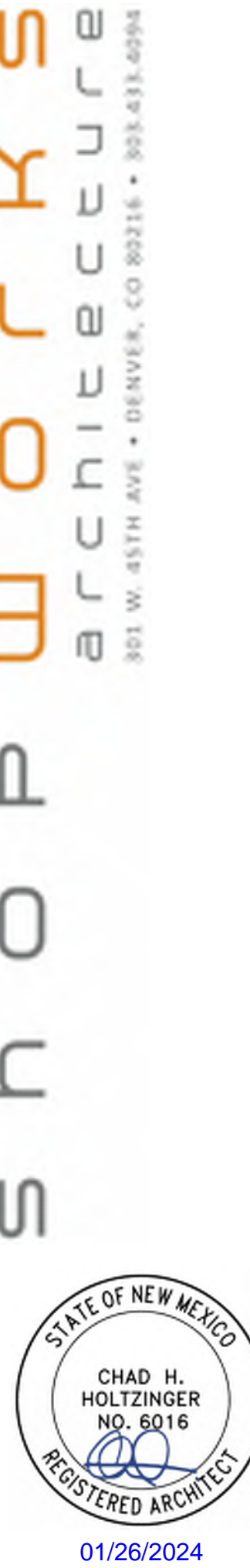
UPC : 101005722814830517  
LEGAL DESCRIPTION : ATRISCO GRANT W1/2 TR52 W2.39 AC

DRB PROJECT NUMBER:  
2023-008589

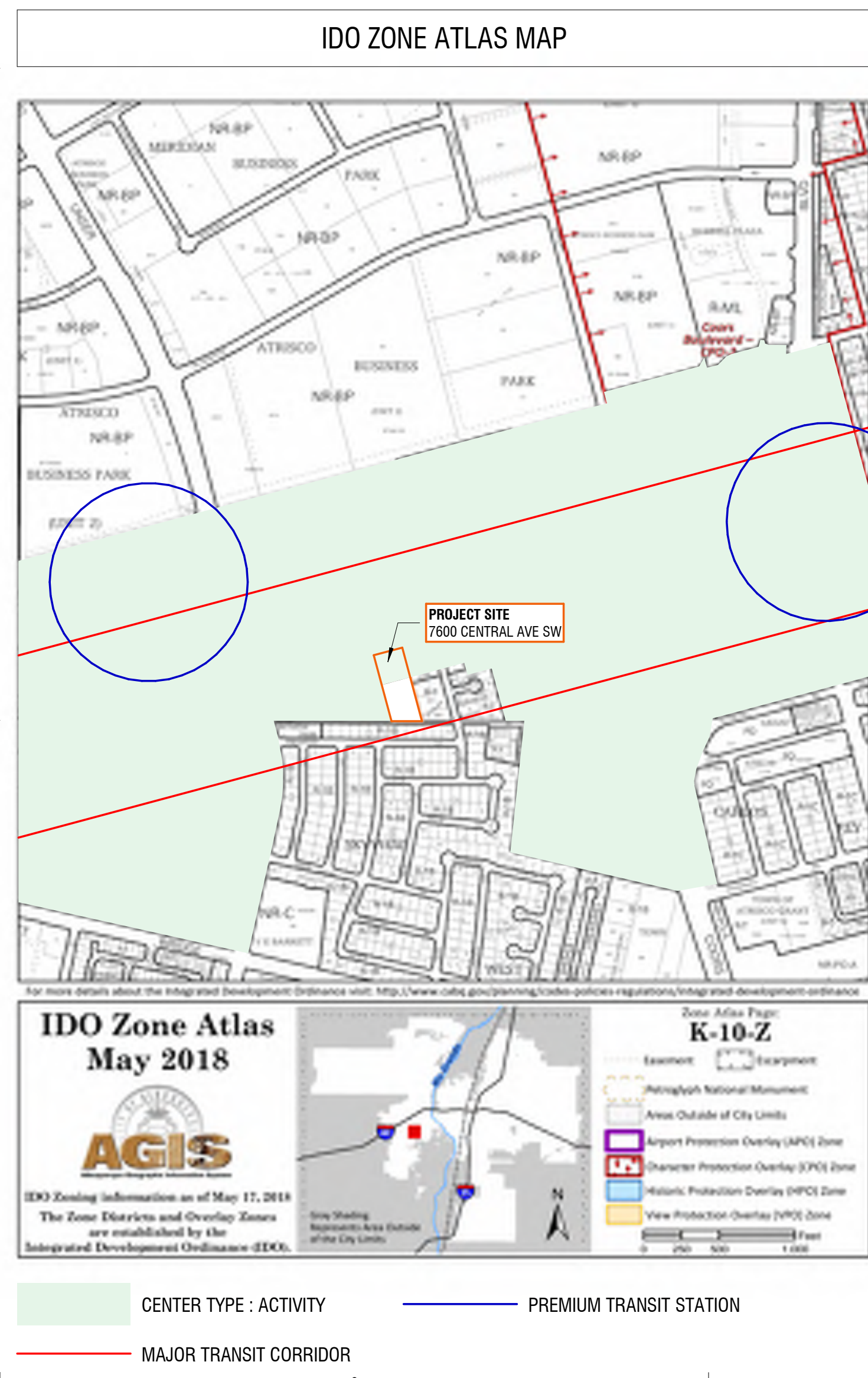


ADMINISTRATIVE SITE PLAN APPROVALS	
TCL (K10-0065) - APPROVED	01/19/2024
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
AVAILABILITY STATEMENT - SIGNED	08/14/2023
ABC/WJA	DATE
HYDROTRANS # : K100065 - APPROVED	12/06/2023
HYDROLOGY	DATE
REF # : FP 23-014855 - APPROVED	08/23/2023
FIRE MARSHAL'S OFFICE	DATE
APPROVED	01/03/2024
SOLID WASTE DEPARTMENT	DATE

GENERAL NOTES	
1.	FENCES, WALLS, SIGNS, AND ACCESSORY STRUCTURES ARE SUBJECT TO SEPARATE REVIEWS AND PERMITS.
2.	ANGLES SHOWN ARE EITHER 90 DEGREES OR A SUPPLEMENT OF THE ANGLE INDICATED.
3.	PRIVATE ROADWAYS WILL BE POSTED WITH "FIRE LANE" SIGNS AS REQUIRED BY THE DENVER FIRE DEPARTMENT.
4.	PARKING SPACES FOR PERSONS WITH DISABILITIES WILL BE CLEARLY DELINEATED WITH UPRIGHT SIGNS.
5.	APPROVAL FOR THIS PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH ADA REQUIREMENTS.
6.	SITE(S) SHALL BE LANDSCAPED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY (CO) DURING THE GROWING SEASON OF APRIL 1ST TO OCTOBER 31ST. AT ALL OTHER TIMES THE INDIVIDUAL SITE SHALL BE LANDSCAPED WITHIN 45 (FORTY-FIVE) DAYS OF THE START OF THE FOLLOWING GROWING SEASON.
7.	AN ACCESS EASEMENT FOR EMERGENCY SERVICES IS HEREBY GRANTED ON AND ACROSS ALL AREAS FOR POLICE, FIRE, MEDICAL, AND OTHER EMERGENCY VEHICLES AND FOR THE PROVISION OF EMERGENCY SERVICES.
8.	ALL LANDSCAPED AREAS SHALL BE IRRIGATED WITH UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. TREES, SHRUBS, AND DECORATIVE GRASS WILL BE IRRIGATED BY A SEPARATE ZONE FROM SOCGRASS. THIS INCLUDES TREES PLANTED IN SOCGRASS AREAS. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUTOFF INSTALLED.
9.	PRIVATE ROADWAYS ARE NON-DEDICATED STREETS AND WILL NOT BE MAINTAINED BY THE CITY AND COUNTY OF DENVER.
10.	RESPONSIBILITY FOR THE MAINTENANCE OF THE COMMONLY OWNED LAND AND STORM WATER DETENTION FACILITY CONSTRUCTED AS PART OF THIS DEVELOPMENT WILL BE THAT OF THE HOME OWNERS ASSOCIATION / PROPERTY OWNER(S) OF PARCEL(S).



HIGH DESERT HOUSING



PROGRAM MATRIX								
PERCENT of TTL	Bed / Bath	Name	Av. RLA	QTY	TTL	Balcony	TTL	NOTES
97.7%	1.7/1	Unit 1-3	300	44	22,000	0	0	Type A units
8.2%	1.7/1	Unit 1-3	320	3	1,960	0	0	Property Manager Unit
2.7%	2.7/1	Unit 2-3	175	1	975	0	0	
<b>Apartment BSEF</b>			<b>46,335</b>	<b>48</b>	<b>24,935</b>	<b>0</b>	<b>0</b>	<b>Floorplate Efficiency</b>
<b>Core / Circulation</b>			<b>7,849</b>					<b>6'-2" minimum MEP</b>
<b>Leasing / Lobby / Amenity</b>			<b>3,000</b>					<b>includes all space on Level 1</b>
<b>Maintenance</b>			<b>600</b>					<b>include Bedding &amp; Street</b>
<b>GCA</b>			<b>13,916</b>					<b>Parking &amp; Balconies not included</b>
<b>GPA</b>			<b>0</b>					
<b>GRA</b>			<b>13,884</b>					

Zone District	Mx-M and R-T	On-Site Parking			
		Units	Cars	Provided	Carls
Parking		47	56	56	56
Zoning Requirement	1.2/1 unit: 1 bed/room 1.6/1 unit: 2 bed/room	47	56	56	56
Amenity	3.7/1000sf: 3.000+ 3x3	33	66	66	66
Total required		33	66	66	66
<i>(over allowed reductions)</i>					
EV Stalls (10%)		4 stalls	4	4	4
<i>(2 car reduction per station)</i>					
Proximity to Transit	(30% reduction)	39	20	40	40
<i>reductions round up</i>					
Motorcycle parking	1 per 25 cars	2	2	2	2
Bicycle parking	10%	7	24	24	24
Loading Space / TA					
Open space					
1 bedroom / 2250SF	205	47	13,575	285	13,500
2 bedroom / 2850SF	285	1	13,500	285	13,500

DEVELOPMENT STATISTICS	
SITE AREA:	2.38 ACRES (103,679 SF)
BUILDING FOOTPRINT:	14,068 SF
PARKING / DRIVE LANES:	26,940 SF
DETENTION / WG:	10,080 SF
OPEN SPACE PROVIDED:	52,591 SF
OPEN SPACE REQUIRED:	10,880 SF
1-BEDROOM / 225 SF	10,575 SF
2-BEDROOM / 285 SF	285 SF

BUILDING & CODE INFORMATION	
OCCUPANCY	R-2, A-3, B
CONSTRUCTION TYPE	V-A
SPRINKLER SYSTEM	NFPA 13R
NUMBER OF STORIES	3
GROSS BUILDING AREA	35,884 SF
ZONING / MULTIFAMILY CENTER TYPE	MX-M (IDO : 4-3(B)(8) & R-T (IDO : 4-3(D)(1))
CITY DEVELOPMENT AREA	ACTIVITY (IDO : 14-16-7-1)
MAJOR TRANSIT CORRIDOR	AREA OF CHANGE (IDO : 14-16-7-1)
CITY COUNCIL	YES (IDO : 14-16-7-1)
MRA W/ ADOPTED PLAN OVERLAY ZONE	DISTRICT 3 WEST CENTRAL
PRIMARY ST	CENTRAL AVE SW / RTE 66
DWELLING UNITS TOTAL	(47) 1 BEDROOM, (1) 2 BEDROOM 48
SURFACE PARKING TOTALS	40 SPACES 2 MOTORCYCLE SPACES 24 BICYCLE SPACES
JURISDICTION	ALBUQUERQUE
BUILDING CODES	2021 NEW MEXICO RESIDENTIAL BLDG CODE 2021 NEW MEXICO MECH CODE 2021 NEW MEXICO PLUMB CODE 2020 NEW MEXICO ELEC CODE
LOCAL AMENDMENTS	2022 UNIFORM ADMINISTRATIVE CODE OF THE CITY OF ALBUQUERQUE
ENERGY REQUIREMENTS:	2018 INTERNATIONAL ENERGY CONSERVATION CODE Bernalillo County, Climate Zone 4B MFA DESIGN STANDARDS FOR FUNDING HERS certification of 55 or less

STATISTICAL INFORMATION		
ZONE DISTRICT	MX-M & R-T	
GENERAL ZONE LOT INFORMATION	SQ. FT.	ACRES
ZONE LOT SIZE (GROSS PROJECT AREA)	103,679 GSF	2.38 ACRES
AREA TO BE DEEDED FOR ADDITIONAL RIGHT OF WAY	N/A	N/A
NET PROJECT AREA (AFTER DEEDING OF ANY NEEDED PUBLIC RIGHT OF WAY)	N/A	N/A
PRIMARY AND SIDE STREET DESIGNATIONS	PRIMARY ST = CENTRAL AVE. SW	
PROPOSED USES	AFFORDABLE HOUSING	
NUMBER OF DWELLING UNITS (RESIDENTIAL ONLY)	48 UNITS	
GROSS FLOOR AREA FOR EACH USE (FOR NON RESIDENTIAL AND MIXED USE PROJECTS)	35,884 GSF	
COMMUNITY GARDEN	6,000 SF	
BUILDING FORM USED	GENERAL	
DESIGN ELEMENTS	REQUIRED	PROVIDED
BUILDING HEIGHT, FEET (MAX)	48'	38'-4"
USABLE OPEN SPACE (MIN) - 1BR : 225 SF/UNIT, 2BR : 285 SF/UNIT	225 / UNIT = 10,575 SF 285 / UNIT = 285 SF	YES YES
SETBACKS	REQUIRED	PROVIDED
PRIMARY STREET (MIN/MAX)	5'	44'-0"
SIDE STREET (MIN/MAX)	5'	N/E : 17'-3" N/W : 60'-5"
REAR (MIN/MAX)	15'	299'-5"
PARKING		
STANDARD SPACES (1 BEDROOM)	1.2 / UNIT = 56	56
STANDARD SPACES (2 BEDROOM)	1.6 / UNIT = 1	1
STANDARD SPACES (AMENITY)	3 / 1000 SF = 10	9
TRANSIT CORRIDOR REDUCTION (30% RED.)	20	20
EV SPACES (10% MAX)	10% OF 67 = 6.7	6
EV STALL REDUCTION (10% RED. - 2 CAR REDUCTION PER STALL)	6 STALLS	-12
ACCESSIBLE (2% = 36 X 02)	1	2
TOTAL	41	43
BICYCLE (3 SPACES OR 10% OF REQUIRED PARKING, GREATER)	10% OF 67 = 6.7	24 PER MFA
MOTORCYCLE (1 PER 25 CARS)	67 / 25 = 2.68	4
GROUND STORY ACTIVATION (TRANSPARENCY)	REQUIRED	PROVIDED
TOTAL TRANSPARENCY PRIMARY STREET (%) - ACTIVITY CENTER	30%	30%
TOTAL TRANSPARENCY SIDE STREET (%)	N/A	N/A

APPLICABLE IDO STANDARDS	
ALLOWABLE USES	TABLE 4-2-1 RESIDENTIAL USE - DWELLING, MULTI-FAMILY (MX-M) TABLE 4-2-1 COMMERCIAL USE - COMMUNITY GARDEN (R-T)
USE SPECIFIC STANDARDS	IDO SECTION 4-3(B)(8) / IDO SECTION 4-3(D)(1)(A)
DIMENSIONAL STANDARDS - TABLES & EXCEPTIONS	IDO SECTION 5-10(D)(1) MIXED-USE ZONE DISTRICT, TABLES 5-12 (MX-M) IDO SECTION 5-1(C)(1) RESIDENTIAL ZONE DISTRICT, TABLE 5-11 (R-T STANDARDS)
SITE DESIGN & SENSITIVE LANDS	N/A
SUBDIVISION OF LAND	N/A
PARKING AND LOADING	IDO SECTION 5-5(C)(1) OFF-STREET PARKING CALCULATIONS TABLE 5-5-1 MINIMUM OFF-STREET PARKING REQUIREMENTS IDO SECTION 5-5(C)(5)(c) REDUCTION FOR PROXIMITY TO TRANSIT IDO SECTION 5-5(C)(5)(b) ELECTRIC VEHICLE CHARGING CREDIT IDO SECTION 5-5(F)(2)(b) DESIGN, ACCESS & CIRCULATION
WALLS AND FENCES	N/A
OUTDOOR AND SITE LIGHTING	IDO SECTION 5-8(D)(1) GENERAL DESIGN AND ILLUMINATION
NEIGHBORHOOD EDGES	N/A
SOLAR ACCESS	IDO SECTION 5-10(C) BUILDING HEIGHTS TABLE 5-10-1 SOLAR RIGHTS MAXIMUM BUILDING HEIGHTS
BUILDING DESIGN	IDO SECTION 5-11(D) MULTI-FAMILY RESIDENTIAL DEVELOPMENT FOR MULTI-FAMILY OUTSIDE OF UC-AS-PT AREAS IDO SECTION 5-11(E)(2)(b) FACADE DESIGN FOR ACTIVITY CENTERS
SIGNS	IDO SECTION 5-12(F)(2) SIGNS IN MIXED-USED AND NON-RESIDENTIAL ZONE DISTRICTS TABLE 5-12-2 ON-PREMISES SIGNS IN MIXED-USE AND NON-RESIDENTIAL ZONE DISTRICTS IDO SECTION 5-12(F)(4)(a) NEON SIGNS ALONG CENTRAL AVE
OPERATION & MAINTENANCE	IDO SECTION 5-13(B)(2) BUILDING AND STRUCTURES



ROUTE 66 FLATS  
7600 CENTRAL AVE SW  
ALBUQUERQUE, NEW MEXICO

REV:

DRAWN: Author  
REVIEWED: Approver  
DATE: 1/25/2024  
PROJECT #: 21018  
FILE: SITE PLAN SUBMITTAL  
SHEET TITLE: COVER SHEET

SCALE: 1/2" = 1'-0"

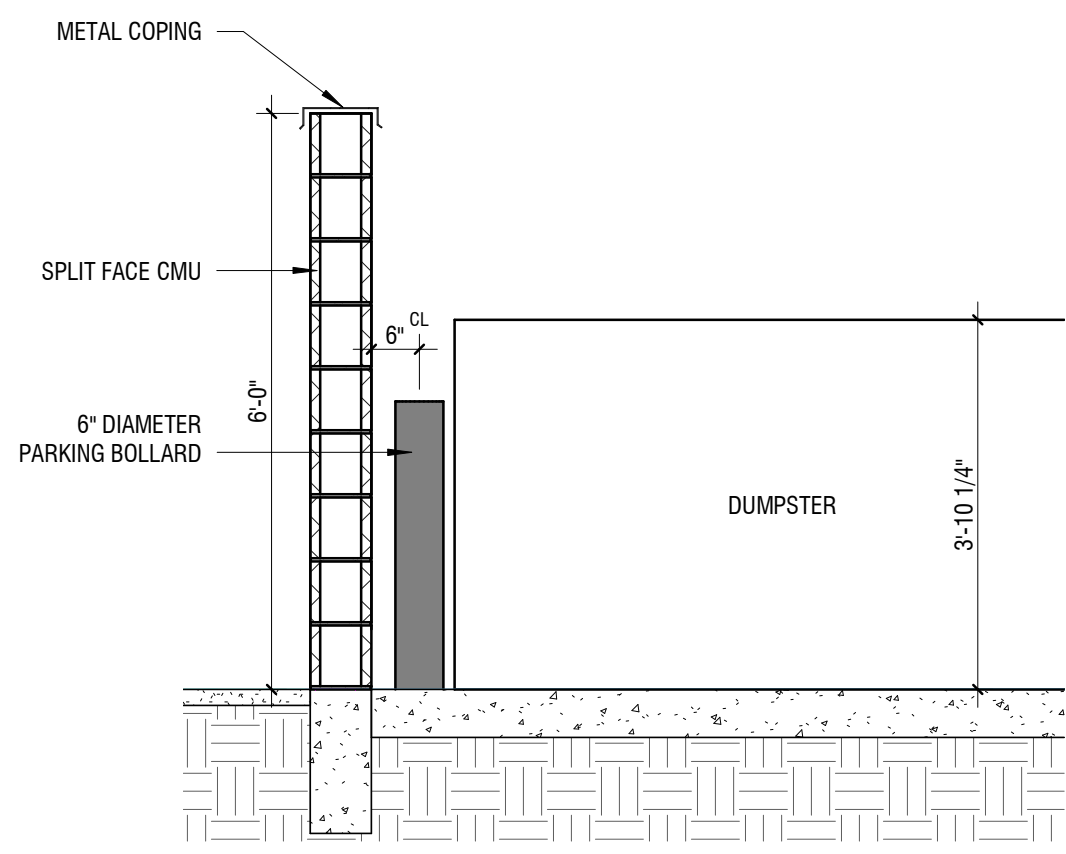
NO. SDP-0.0



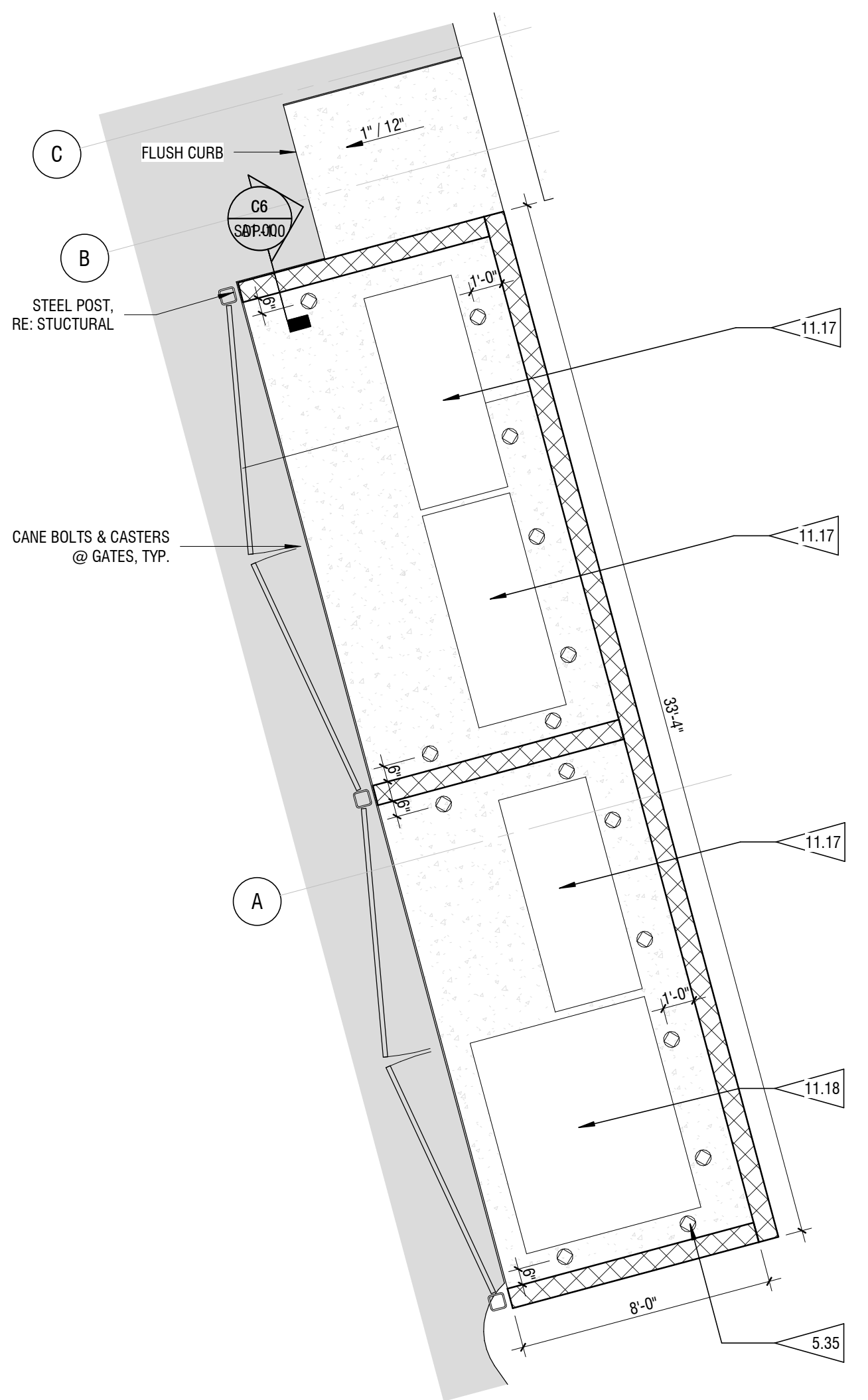
**SOLID WASTE CALCS:**  
 48 UNITS x 0.55 = 26 CUBIC YARDS  
 PROVIDED : 3 X 2 CUBIC YARD = 6 CUBIC YARDS, SERVICED 4X PER WEEK

**RECYCLING CALCS:**  
 48 UNITS X 0.12 = 6 CUBIC YARDS

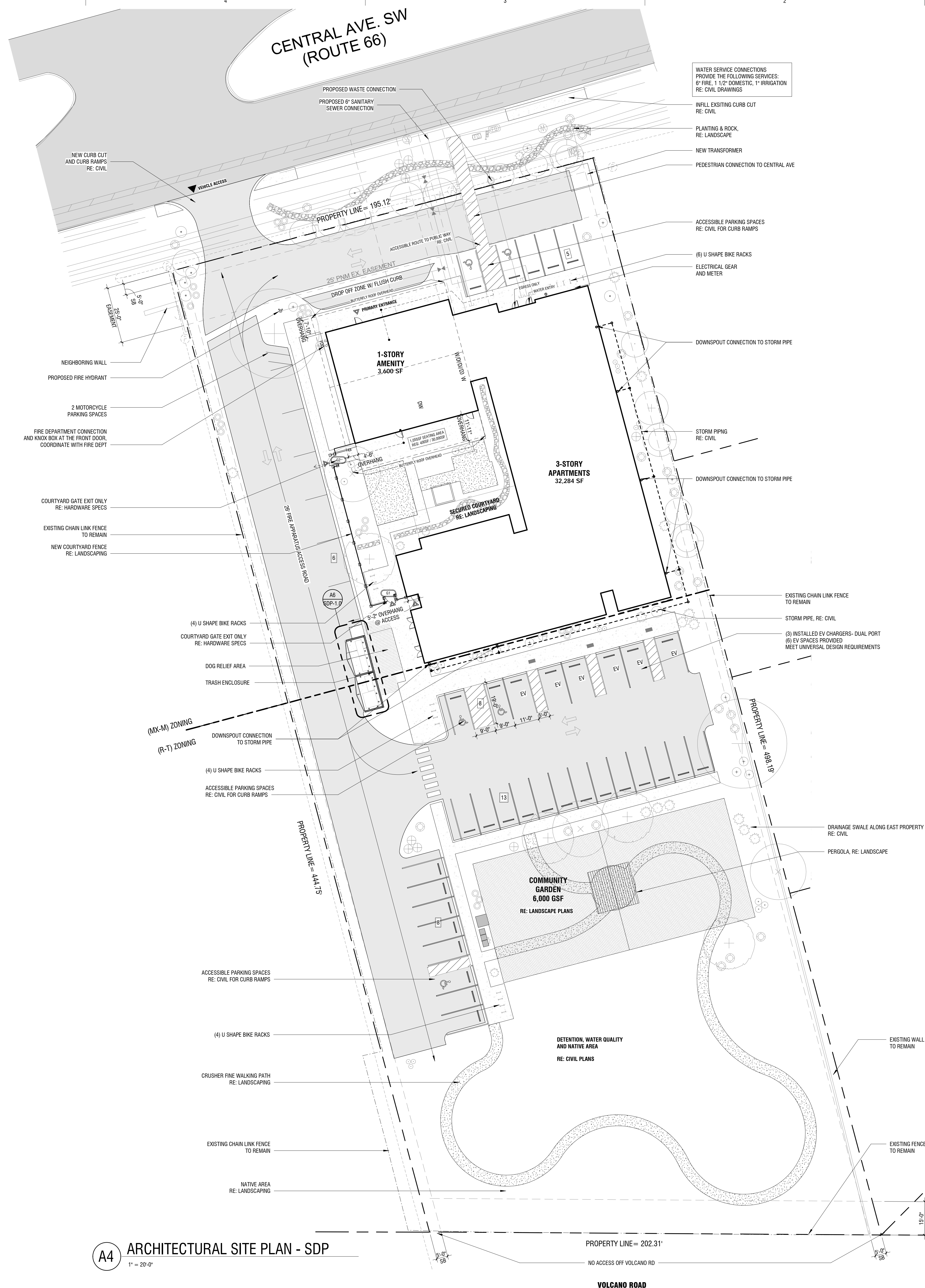
- NOTES:**
- RECYCLING CONTAINERS LOCATED ADJACENT TO THE REFUSE ENCLOSURE
  - NO DEVELOPMENT GATES
  - DUMPSTERS LOCATED AT SAME LEVEL AS DRIVE
  - NO TRASH COMPACTOR
  - NO TRASH CHUTES
  - NO OVERHEAD CLEARANCE RESTRICTIONS (MIN 14'-2" AT ACCESS, MIN 30' AT SERVICE)
  - PROJECT WILL NOT ALTER EXISTING TRASH SERVICE FOR THE SURROUNDING BUSINESSES DURING CONSTRUCTION
  - ACCESS TO REFUSE ALONG FIRE LANE, AMPLE TURN AROUND SPACE
  - TRASH ENCLOSURES SIZED PER CITY REQUIREMENTS



**C6 TRASH ENCLOSURE WALL SECTION**  
 1/2" = 1'-0"



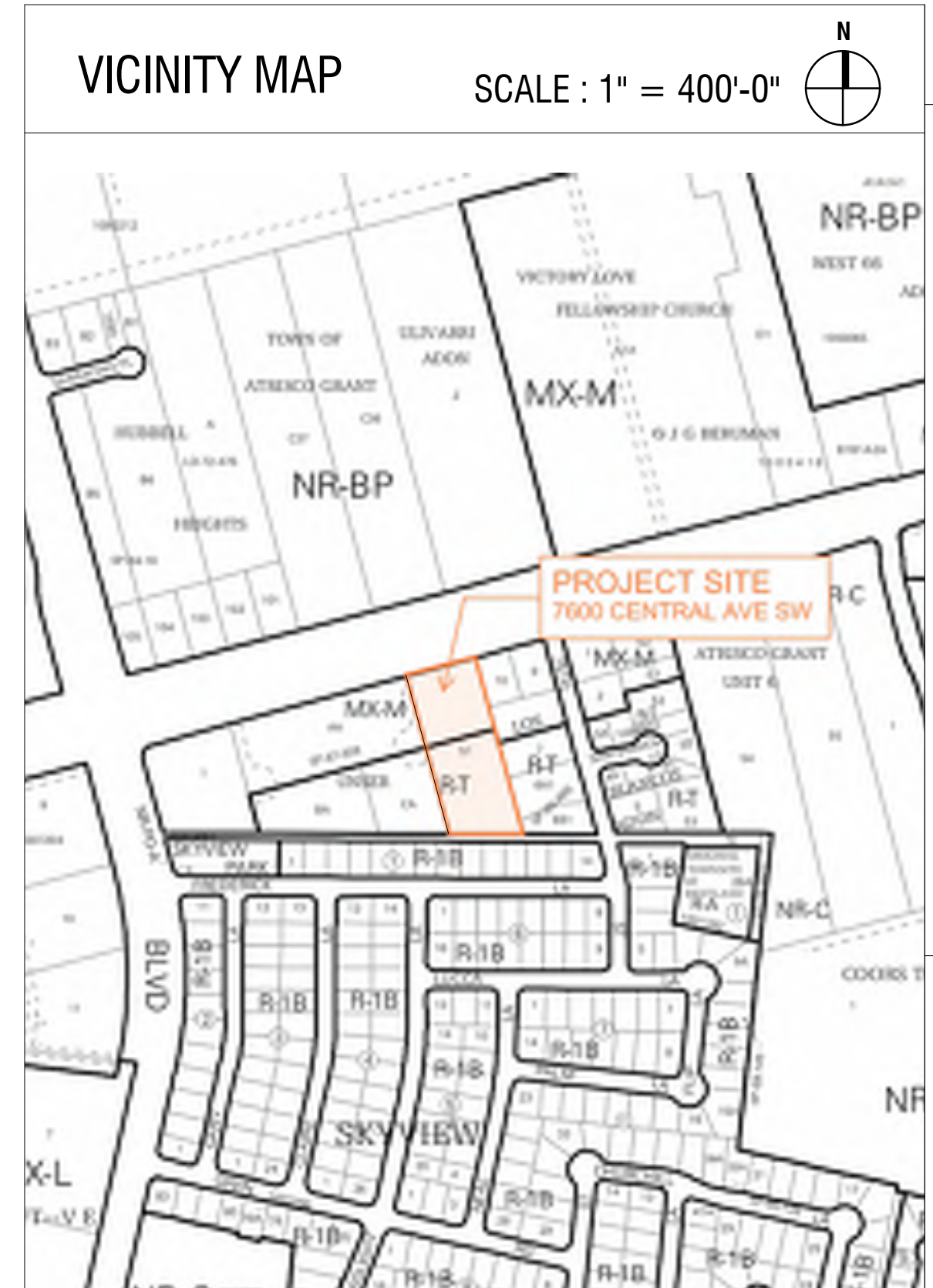
**A6 TRASH ENCLOSURE ENLARGED PLAN**  
 1/4" = 1'-0"



**A4 ARCHITECTURAL SITE PLAN - SDP**  
 1" = 20'-0"

STATISTICAL INFORMATION		
ZONE DISTRICT	MX-M & R-T	
GENERAL ZONE LOT INFORMATION	SQ. FT.	ACRES
ZONE LOT SIZE (GROSS PROJECT AREA)	103,679 GSF	2.38 ACRES
PRIMARY AND SIDE STREET DESIGNATIONS	PRIMARY ST = CENTRAL AVE. SW	
DESIGN ELEMENTS	REQUIRED	PROVIDED
BUILDING HEIGHT, FEET (MAX)	48'	38'-4"
USABLE OPEN SPACE (MIN) - 1BR : 225 SF/UNIT, 2BR : 285 SF/UNIT	225 / UNIT = 10,575 SF	YES
SETBACKS	REQUIRED	PROVIDED
PRIMARY STREET (MIN/MAX)	5'	44'-0"
SIDE STREET (MIN/MAX)	5'	N/E : 17'-3" N/W : 60'-5"
REAR (MIN/MAX)	15'	289'-5"
PARKING		
STANDARD SPACES (1 BEDROOM)	1.2 / UNIT = 56	56
STANDARD SPACES (2 BEDROOM)	1.6 / UNIT = 1	1
STANDARD SPACES (AMENITY)	3 / 1000 SF = 10	9
TRANSIT CORRIDOR REDUCTION (30% RED.)	20	20
EV SPACES (10% MAX)	10% OF 67 = 6.7	6
EV STALL REDUCTION (10% REQ. - 2 CAR REDUCTION PER STALL)	6 STALLS	-12
ACCESSIBLE (2% = 36 X .02)	1	2

SITE PLAN LEGEND	
VEHICLE ACCESS	VEHICULAR BOLLARD
RESIDENT ACCESS	PARKING WHEEL STOP
VEHICLE DIRECTIONAL ARROW	FIRE HYDRANT
PARKING STALL DESIGNATION	FIRE DEPARTMENT CONNECTION
ACCESSIBLE ROUTE	GAS METER
PLANTING AND SOFT-SCAPING, RE: LANDSCAPE	CONCRETE SIDEWALK, RE: CIVIL & LANDSCAPE
PAINTED STRIPING	R.O.W. DEDICATION







REV:

DRAWN: Author  
REVIEWED: Approver  
DATE: 1/25/2024  
PROJECT #: 21018  
FILE: SITE PLAN SUBMITTAL  
SHEET TITLE: BUILDING ELEVATIONS

SCALE: As Indicated

### ELEVATIONS MATERIAL LEGEND

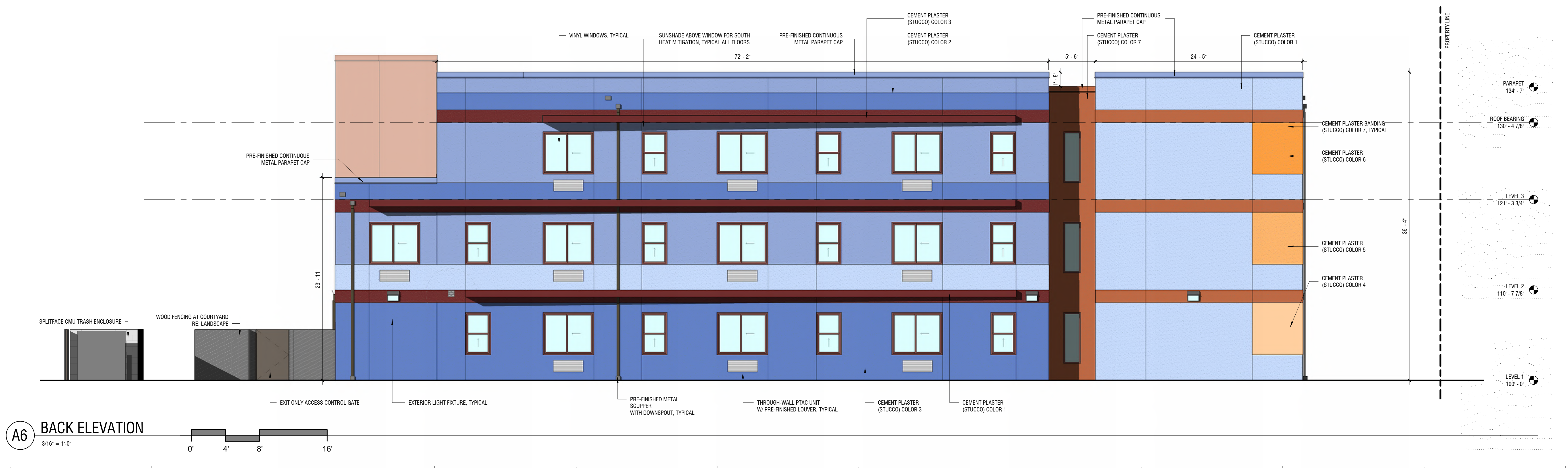
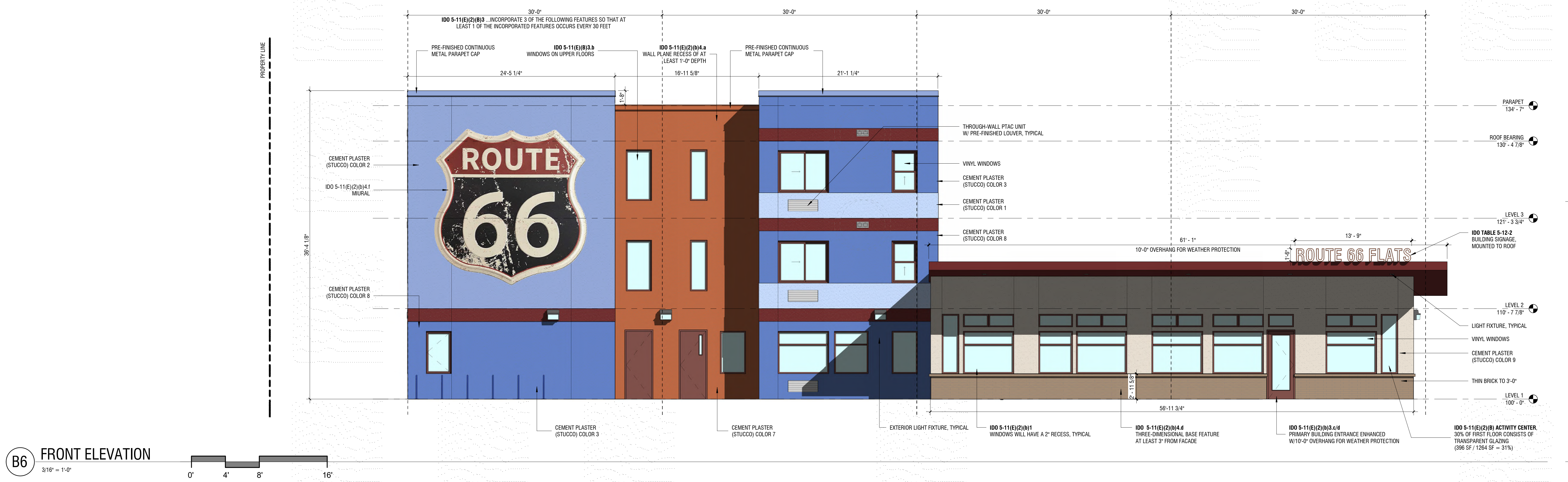
	STUCCO: COLOR 1, TBD		STUCCO: COLOR 7, TBD		THIN BRICK COLOR, TBD
	STUCCO: COLOR 2, TBD		STUCCO: COLOR 8, TBD		PAINTED CEMENT BOARD: COLOR 1, TBD
	STUCCO: COLOR 3, TBD		STUCCO: COLOR 9, TBD		PAINTED CEMENT BOARD: COLOR 2, TBD
	STUCCO: COLOR 4, TBD		DECORATIVE METAL MESH / STEEL SECURITY FENCE, RE: LANDSCAPE		
	STUCCO: COLOR 5, TBD				
	STUCCO: COLOR 6, TBD				
	STUCCO: COLOR 8, TBD				

### GENERAL ELEVATION NOTES

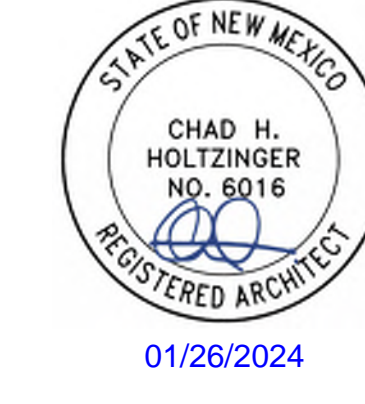
- ALL WINDOWS TO BE VINYL WITH A 2" RECESS HORIZONTAL CONTROL JOINT AT STUCCO COLOR BANDING, TYPICAL.

### GROUND STORY ACTIVATION

PRIMARY STREET - CENTRAL AVE.	REQUIRED	PROVIDED
BUILDING LENGTH = 118.60' FIRST FLOOR SURFACE SQFT = 1284 SF IDD 5-11(E)(2)(b) FOR ACTIVITY CENTER 30% TRANSPARENCY REQUIRED	30%	24%
IDD 5-11(E)(2)(b)3 3 FEATURES ALONG 30% OF FACADE LENGTH EVERY 30'	3	YES
IDD 5-11(E)(2)(b)4 2 FEATURES ALONG FACE IF > 50' LENGTH	2	YES







HIGH DESERT HOUSING



ROUTE 66 FLATS  
7600 CENTRAL AVE SW  
ALBUQUERQUE, NEW MEXICO

REV:  
DRAWN: Author  
REVIEWED: Approver  
DATE: 1/25/2024  
PROJECT #: 21018  
FILE: BUILDING ELEVATIONS

### ELEVATIONS MATERIAL LEGEND

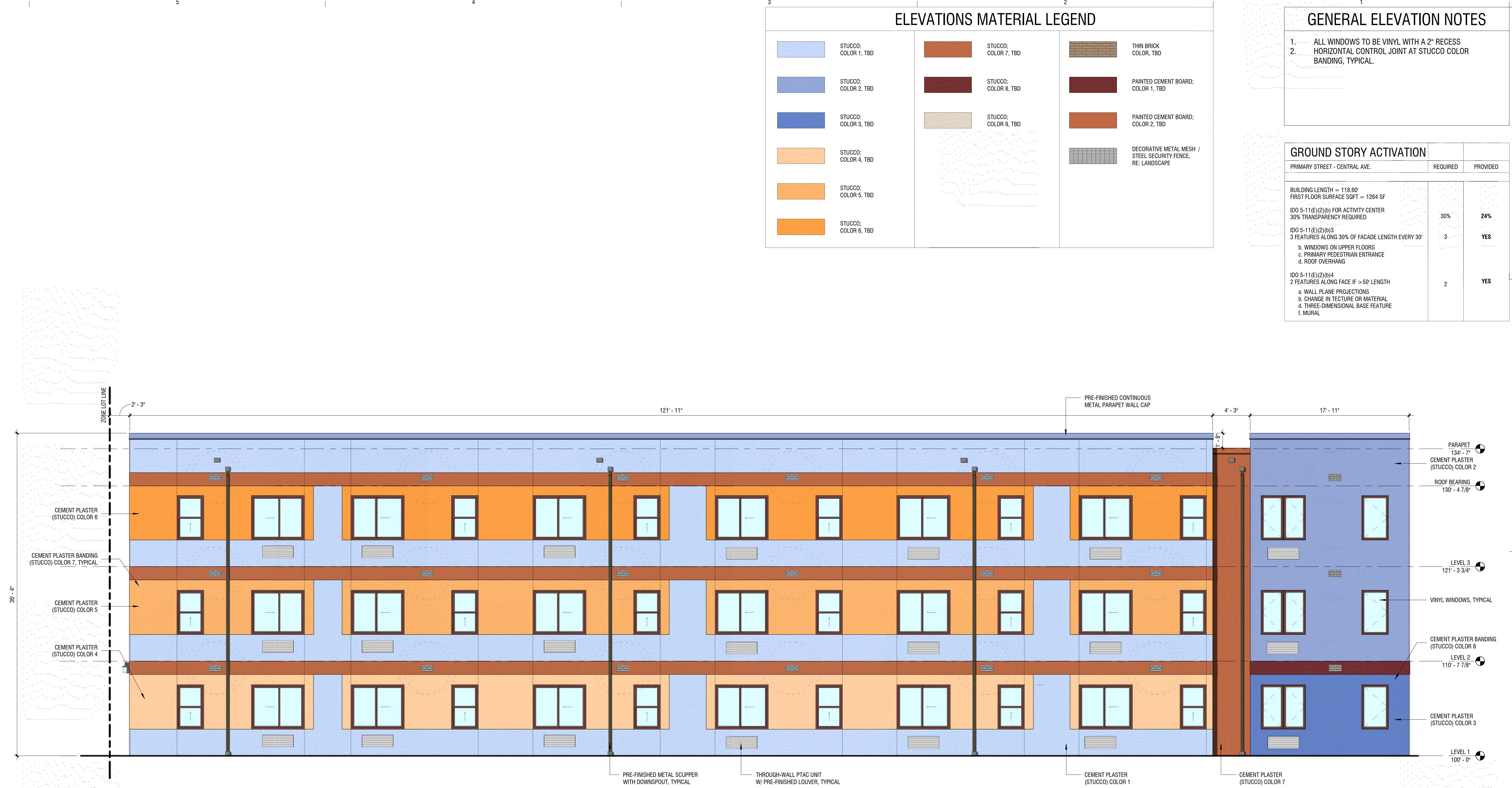
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	STUCCO: COLOR 2, TBD		STUCCO: COLOR 8, TBD		PAINTED CEMENT BOARD: COLOR 1, TBD
	STUCCO: COLOR 3, TBD		STUCCO: COLOR 9, TBD		PAINTED CEMENT BOARD: COLOR 2, TBD
	STUCCO: COLOR 4, TBD		DECORATIVE METAL MESH / STEEL SECURITY FENCE, RE-LANDSCAPE		
	STUCCO: COLOR 5, TBD				
	STUCCO: COLOR 6, TBD				

### GENERAL ELEVATION NOTES

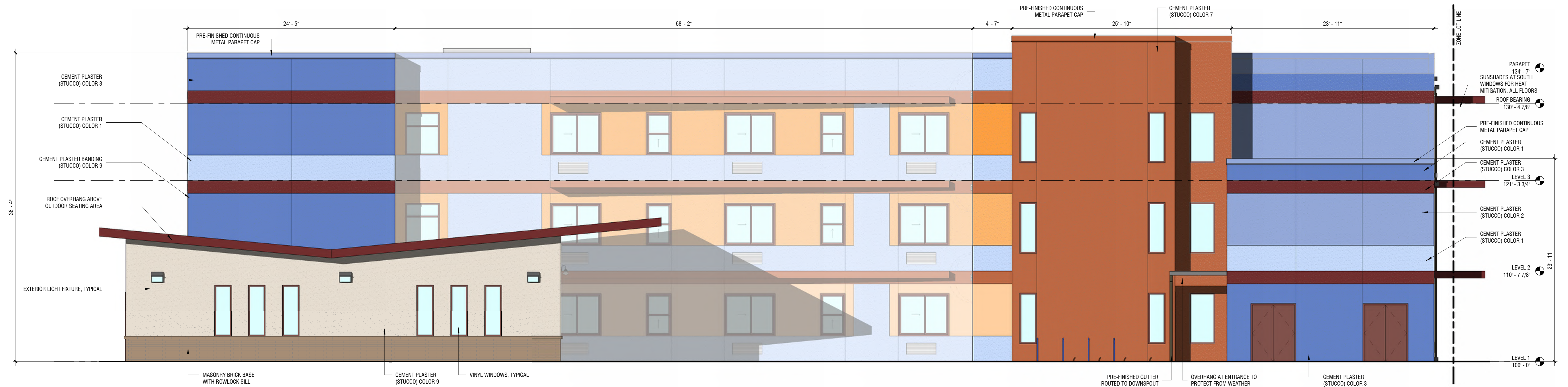
- ALL WINDOWS TO BE VINYL WITH A 2" RECESS HORIZONTAL CONTROL JOINT AT STUCCO COLOR BANDING, TYPICAL.

### GROUND STORY ACTIVATION

PRIMARY STREET - CENTRAL AVE.	REQUIRED	PROVIDED
BUILDING LENGTH = 118.60' FIRST FLOOR SURFACE SQFT = 1284 SF IDD 5-11(E)(2)(b) FOR ACTIVITY CENTER 30% TRANSPARENCY REQUIRED	30%	24%
IDD 5-11(E)(2)(b)3 3 FEATURES ALONG 30% OF FACADE LENGTH EVERY 30'	3	YES
IDD 5-11(E)(2)(b)4 2 FEATURES ALONG FACE IF > 50' LENGTH	2	YES



2 SIDE ELEVATION  
3/16" = 1'-0"



1 SIDE ELEVATION  
3/16" = 1'-0"





### ELEVATIONS MATERIAL LEGEND

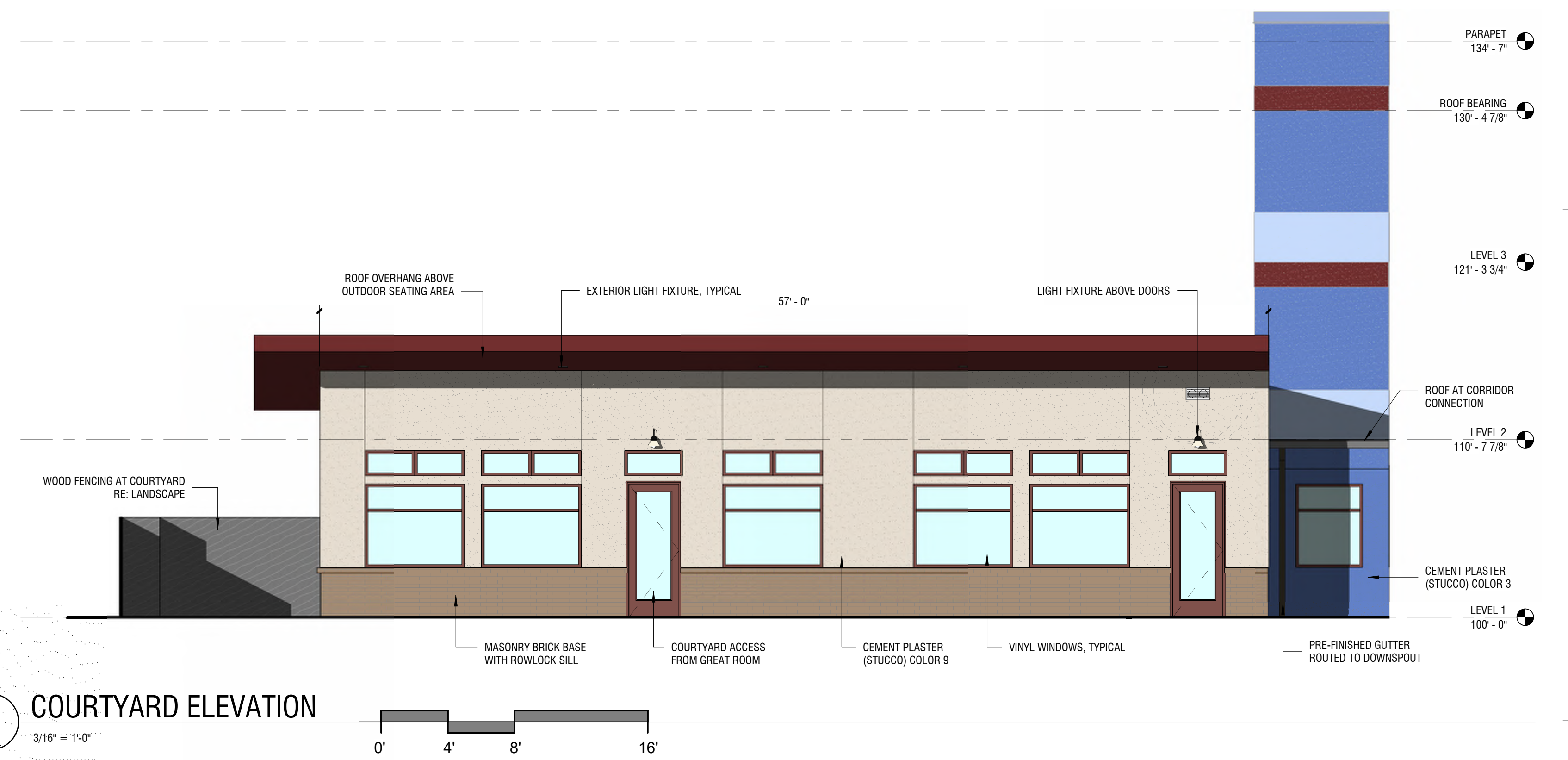
	STUCCO: COLOR 1, TBD		STUCCO: COLOR 7, TBD		THIN BRICK, COLOR, TBD
	STUCCO: COLOR 2, TBD		STUCCO: COLOR 8, TBD		PAINTED CEMENT BOARD: COLOR 1, TBD
	STUCCO: COLOR 3, TBD		STUCCO: COLOR 9, TBD		PAINTED CEMENT BOARD: COLOR 2, TBD
	STUCCO: COLOR 4, TBD				DECORATIVE METAL MESH / STEEL SECURITY FENCE, RE: LANDSCAPE
	STUCCO: COLOR 5, TBD				
	STUCCO: COLOR 6, TBD				

### GENERAL ELEVATION NOTES

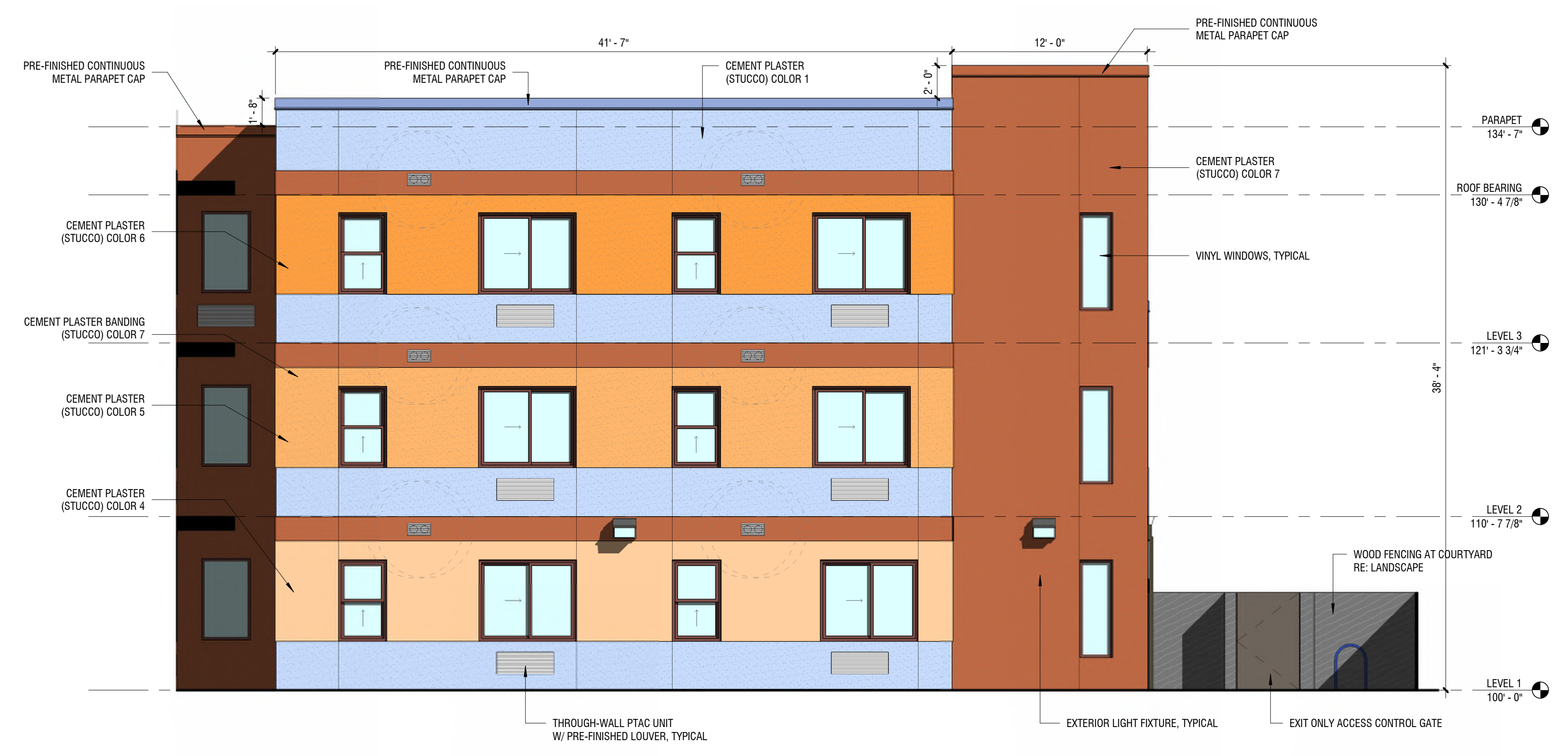
- ALL WINDOWS TO BE VINYL WITH A 2" RECESS HORIZONTAL CONTROL JOINT AT STUCCO COLOR BANDING, TYPICAL.

### GROUND STORY ACTIVATION

PRIMARY STREET - CENTRAL AVE.	REQUIRED	PROVIDED
BUILDING LENGTH = 118.60' FIRST FLOOR SURFACE SOFT = 1284 SF IDD 5-11(E)(2)(b) FOR ACTIVITY CENTER 30% TRANSPARENCY REQUIRED	30%	24%
IDD 5-11(E)(2)(b)3 3 FEATURES ALONG 30% OF FACADE LENGTH EVERY 30'	3	YES
IDD 5-11(E)(2)(b)4 2 FEATURES ALONG FACE IF > 50' LENGTH	2	YES



3 COURTYARD ELEVATION  
 3/16" = 1'-0"



2 COURTYARD ELEVATION  
 3/16" = 1'-0"



1 COURTYARD ELEVATION  
 3/16" = 1'-0"



## Taylor Bissert

---

**From:** Taylor Bissert  
**Sent:** Thursday, February 1, 2024 8:29 AM  
**To:** nedcarla@live.com; douglascooper@hotmail.com  
**Cc:** Ed Parcell; Alisha Hammett  
**Subject:** Site Plan - Administrative Submittal Route 66 Flats [Filed 01 Feb 2024 08:29]  
**Attachments:** Emailed-Notice-Administrative-Los Volcanes NA.pdf

**Categories:** Filed by Mail Manager

Dear Neighborhood Association Representatives,

Shopworks Architecture, an agent of High Desert Housing, is seeking an administrative Site Plan approval for multi-family housing located along Central Ave SW. The property is 2.11 acres, situated within the land between 75<sup>th</sup> St. SW and Unser Blvd SW. The new building will host 48 affordable housing units with a courtyard, community garden and amenity space.

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K)(2), the project team is notifying you of this application submittal. Attached are the site plan and elevations for the proposed development. If you have any questions or concerns, please feel free to contact Shopworks Architecture.

Have a good day!

**TAYLOR BISSERT**

shopworks architecture

301 W. 45<sup>th</sup> Ave. Denver, CO 80216

O: 303.433.4094

D: 720.689.1440

M: 303.681.6023

Pronouns: She/Her/Hers. Please tell me yours. ([What's this?](#))

## Taylor Bissert

---

**From:** Taylor Bissert  
**Sent:** Thursday, February 1, 2024 8:28 AM  
**To:** jgallegoswccd@gmail.com; gerulibbarri1@gmail.com  
**Cc:** Ed Parcell; Alisha Hammett  
**Subject:** Site Plan - Administrative Submittal Route 66 Flats  
**Attachments:** Emailed-Notice-Administrative-SWAN Coalition.pdf

Dear Neighborhood Association Representatives,

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Have a good day!

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O: 303.433.4094  
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