

SITE PLAN - EPC MAJOR AMENDMENT

- ### Keyed Notes:
- 1. Proposed building structure.
 - 2. Existing building structure.
 - 3. Existing parking lot.
 - 4. Existing building footprint.
 - 5. Existing building structure.
 - 6. Existing building structure.
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 - 26. Existing building structure.
 - 27. Existing building structure.

PROJECT: SKAGGS ALPHA BETA

LEGAL DESCRIPTION: Academy Square, Unit No. 17 Tracts 1,2,3. Tracts 4,5-6, Unit 7, Ballinger's Lane (in Service, mapping therefrom the existing parking development).

ZONING: SD-1 Per C-1 See Academy Square Unit No. 17 Tracts 1,2,3, C-1 See Tracts 4-6, Unit 7, Lane (in Service).

TOTAL SITE AREA: 9.11 ± ACRES

SITE AREA: 2,125,000 S.F. 294,200 S.F. AC

DEVELOPING AREA: 2,125,000 S.F. 303,700 S.F. AC

LANDSCAPE AREA: 2,125,000 S.F. 303,700 S.F. AC

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DEVELOPING TYPE: COMMERCIAL

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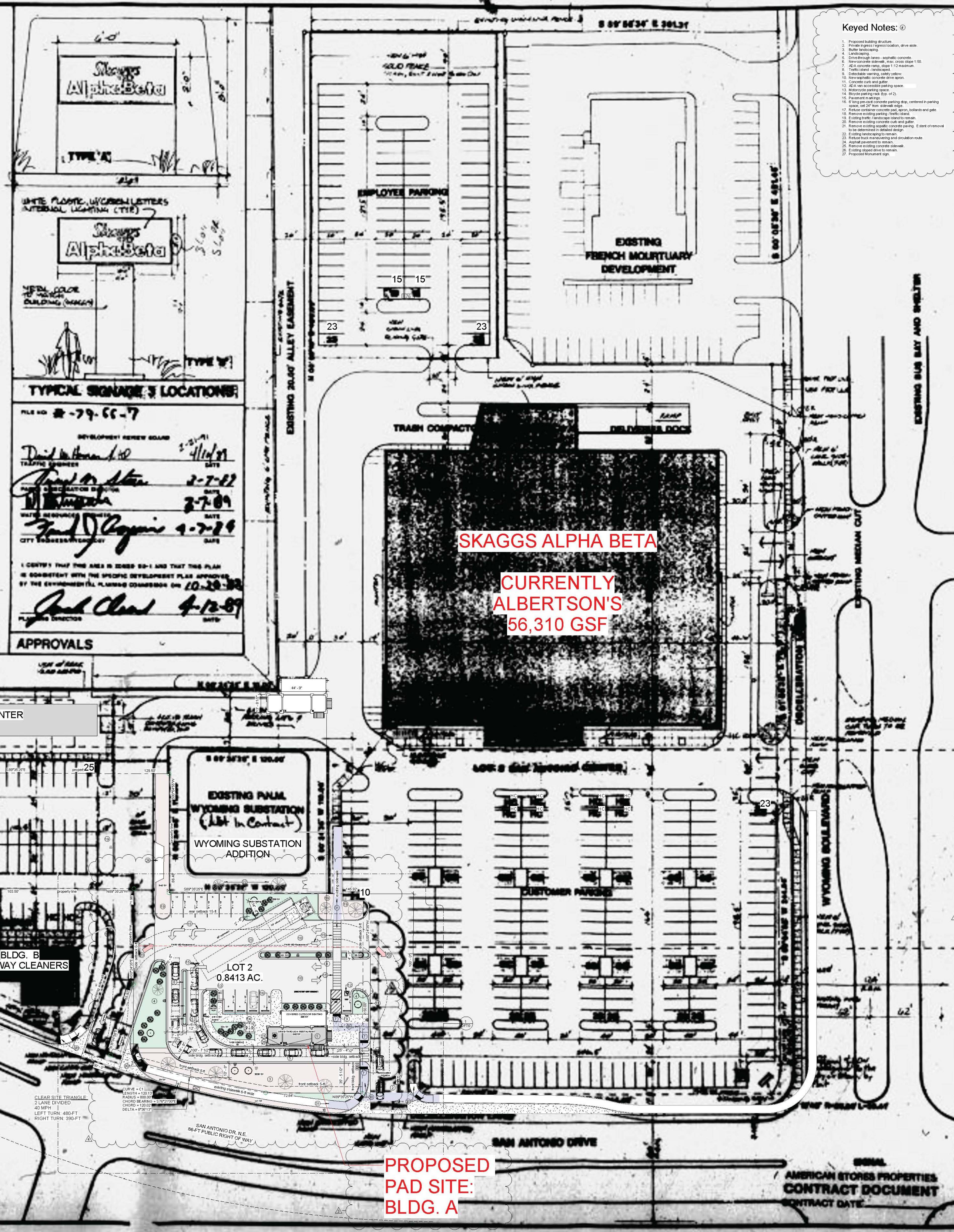
DEVELOPING TYPE: COMMERCIAL

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PARKING CALCULATIONS:

USE	IDD PARKING REQUIREMENT	GFA	CALCULATION	REQUIRED SPACES
RESTAURANT	8 spaces / 1000 sq. ft.	600	(600/1000) x 8	4.8
OUTDOOR SEATING	3 spaces / 1000 sq. ft.	385	(385/1000) x 3	1.16
TOTAL OFF-STREET PARKING REQUIRED:				5.96
TOTAL PROVIDED OFF-STREET PARKING:				23
NMRC Table 1106.1 - Number of Accessible Parking Spaces				1
Number of Van Accessible Parking Spaces (IRC 1106.5):				1
IDD Table 5-4 - Motorcycle Parking Requirements:				1
IDD Table 5-5 - Bicycle Parking Requirements:				1.25
Non-residential uses not listed in this table: 3 spaces or 10% of required off-street parking spaces, whichever is greater.				
ALBERTSON'S (FORMERLY SKAGGS ALPHA BETA) - PHASE I EXISTING				
USE	IDD PARKING REQUIREMENT	GFA	CALCULATION	REQUIRED SPACES
GROCERY	4 spaces / 1000 sq. ft.	53,200	(53200/1000) x 4	212.8
TOTAL OFF-STREET PARKING REQUIRED:				213
TOTAL PROVIDED OFF-STREET PARKING:				238
NMRC Table 1106.1 - Number of Accessible Parking Spaces				9
Number of Van Accessible Parking Spaces (IRC 1106.5):				2
IDD Table 5-4 - Motorcycle Parking Requirements:				3
IDD Table 5-5 - Bicycle Parking Requirements:				3.75
Non-residential uses not listed in this table: 3 spaces or 10% of required off-street parking spaces, whichever is greater.				
VERDES CANNABIS (FORMERLY COMET CLEANERS) EXISTING				
USE	IDD PARKING REQUIREMENT	GFA	CALCULATION	REQUIRED SPACES
GENERAL RETAIL	4 spaces / 1000 sq. ft.	2,413	(2413/1000) x 4	9.65
TOTAL OFF-STREET PARKING REQUIRED:				9.65
TOTAL PROVIDED OFF-STREET PARKING:				20
NMRC Table 1106.1 - Number of Accessible Parking Spaces				1
Number of Van Accessible Parking Spaces (IRC 1106.5):				1
IDD Table 5-4 - Motorcycle Parking Requirements:				1
IDD Table 5-5 - Bicycle Parking Requirements:				1.25
Non-residential uses not listed in this table: 3 spaces or 10% of required off-street parking spaces, whichever is greater.				
BESTWAY CLEANERS (EXISTING PAD SITE BUILDING B) - PHASE II				
USE	IDD PARKING REQUIREMENT	GFA	CALCULATION	REQUIRED SPACES
COMMERCIAL SERVICES	3 spaces / 1000 sq. ft.	3,400	(3400/1000) x 3	10.2
TOTAL OFF-STREET PARKING REQUIRED:				10.2
TOTAL PROVIDED OFF-STREET PARKING:				20
NMRC Table 1106.1 - Number of Accessible Parking Spaces				1
Number of Van Accessible Parking Spaces (IRC 1106.5):				1
IDD Table 5-4 - Motorcycle Parking Requirements:				1
IDD Table 5-5 - Bicycle Parking Requirements:				1.25
Non-residential uses not listed in this table: 3 spaces or 10% of required off-street parking spaces, whichever is greater.				
RETAIL STRIP CENTER (EXISTING) - PHASE II				
USE	IDD PARKING REQUIREMENT	GFA	CALCULATION	REQUIRED SPACES
GENERAL RETAIL	4 spaces / 1000 sq. ft.	5,400	(5400/1000) x 4	21.6
TOTAL OFF-STREET PARKING REQUIRED:				21.6
TOTAL PROVIDED OFF-STREET PARKING:				21
NMRC Table 1106.1 - Number of Accessible Parking Spaces				1
Number of Van Accessible Parking Spaces (IRC 1106.5):				1
IDD Table 5-4 - Motorcycle Parking Requirements:				1
IDD Table 5-5 - Bicycle Parking Requirements:				1.25
Non-residential uses not listed in this table: 3 spaces or 10% of required off-street parking spaces, whichever is greater.				



TYPICAL SIGNAGE LOCATIONS

FILE NO. 2-79-66-7

DEVELOPMENT REVIEW BOARD

TRAVIS MANNING

Dated: 4/16/09

FILE NO. 2-79-66-7

DATE: 2-7-09

FILE NO. 2-79-66-7

DATE: 4-7-09

FILE NO. 2-79-66-7

DATE: 4-12-09

APPROVALS

I CERTIFY THAT THIS AREA IS ZONED SD-1 AND THAT THIS PLAN IS SUBMITTED WITH THE SPECIFIC DEVELOPMENT PLAN APPROVED BY THE EXISTING FULL PLANNING COMMISSION ON 10-28-08

Paul Cleaveland 4-12-09

CUSTER • BASARICH AIA
ARCHITECTS • PLANNERS INC.

SKAGGS ALPHA BETA
STORE AREA
VERDES CANNABIS

PROJECT REVISIONS

NO.	DESCRIPTION	DATE
1	REVISED PER THE EPC COMMISSION	02/21/2023
2	SITE PLAN MODIFICATION	02/21/2023
3	DELETE BUILDING A	02/19/2023
4	DELETE BUILDING B	02/19/2023
5	DELETE BUILDING C	02/19/2023
6	DELETE BUILDING D	02/19/2023
7	DELETE BUILDING E	02/19/2023
8	DELETE BUILDING F	02/19/2023
9	DELETE BUILDING G	02/19/2023
10	DELETE BUILDING H	02/19/2023
11	DELETE BUILDING I	02/19/2023
12	DELETE BUILDING J	02/19/2023
13	DELETE BUILDING K	02/19/2023
14	DELETE BUILDING L	02/19/2023
15	DELETE BUILDING M	02/19/2023
16	DELETE BUILDING N	02/19/2023
17	DELETE BUILDING O	02/19/2023
18	DELETE BUILDING P	02/19/2023
19	DELETE BUILDING Q	02/19/2023
20	DELETE BUILDING R	02/19/2023
21	DELETE BUILDING S	02/19/2023
22	DELETE BUILDING T	02/19/2023
23	DELETE BUILDING U	02/19/2023
24	DELETE BUILDING V	02/19/2023
25	DELETE BUILDING W	02/19/2023
26	DELETE BUILDING X	02/19/2023
27	DELETE BUILDING Y	02/19/2023
28	DELETE BUILDING Z	02/19/2023

DATE: 8-21-2023

SHEET TITLE: SITE PLAN - EPC MAJOR AMENDMENT

SI-2023-000865

CONTRACT DATE: 02/19/2023

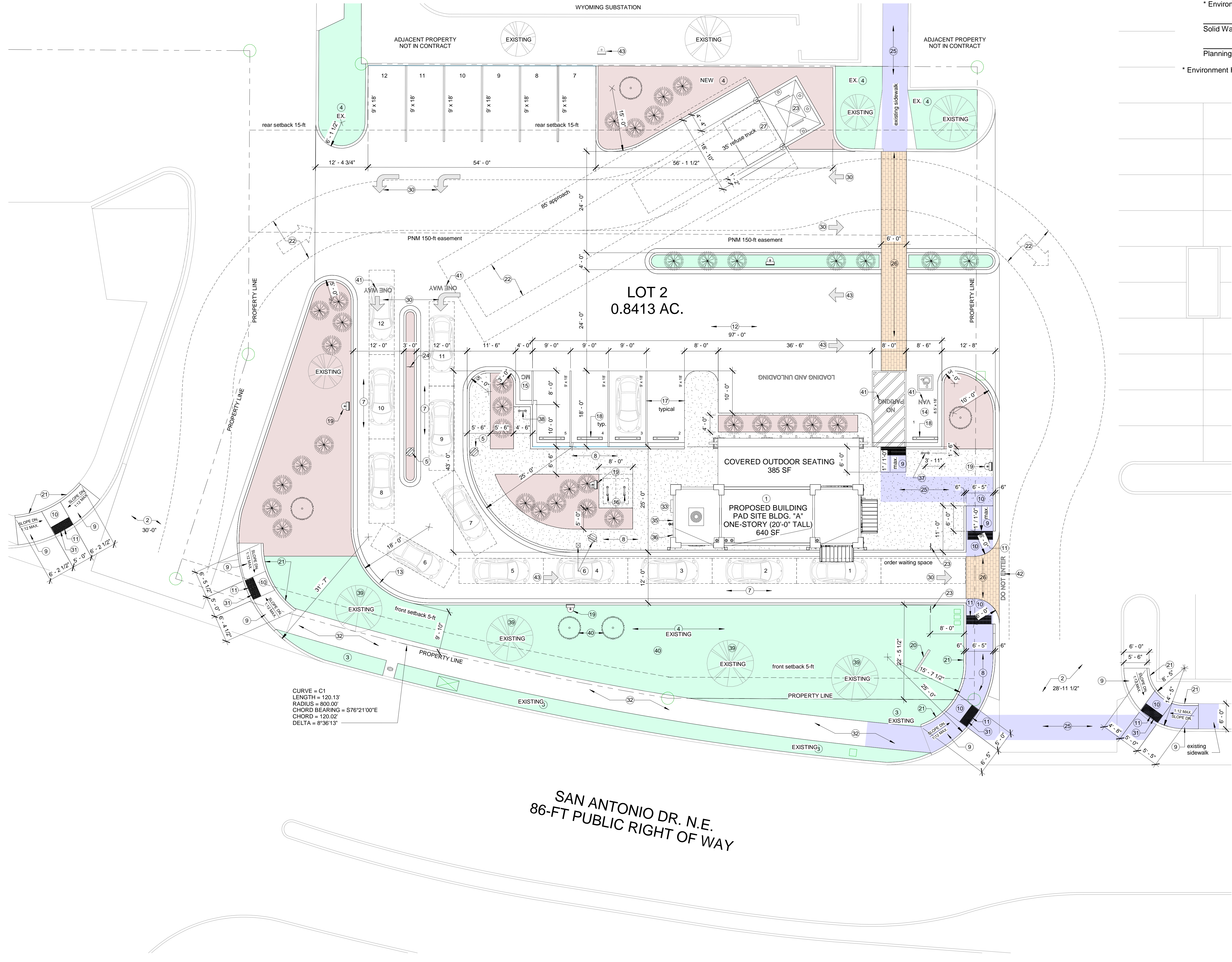
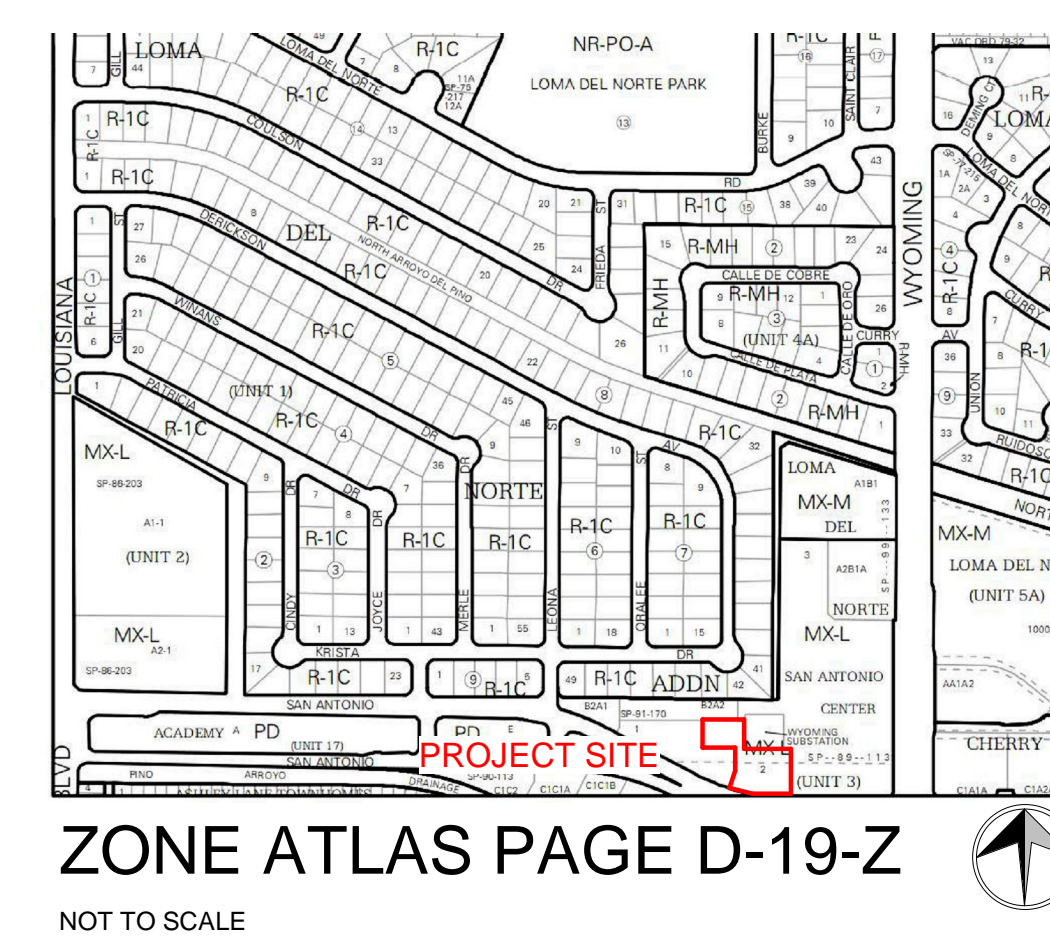
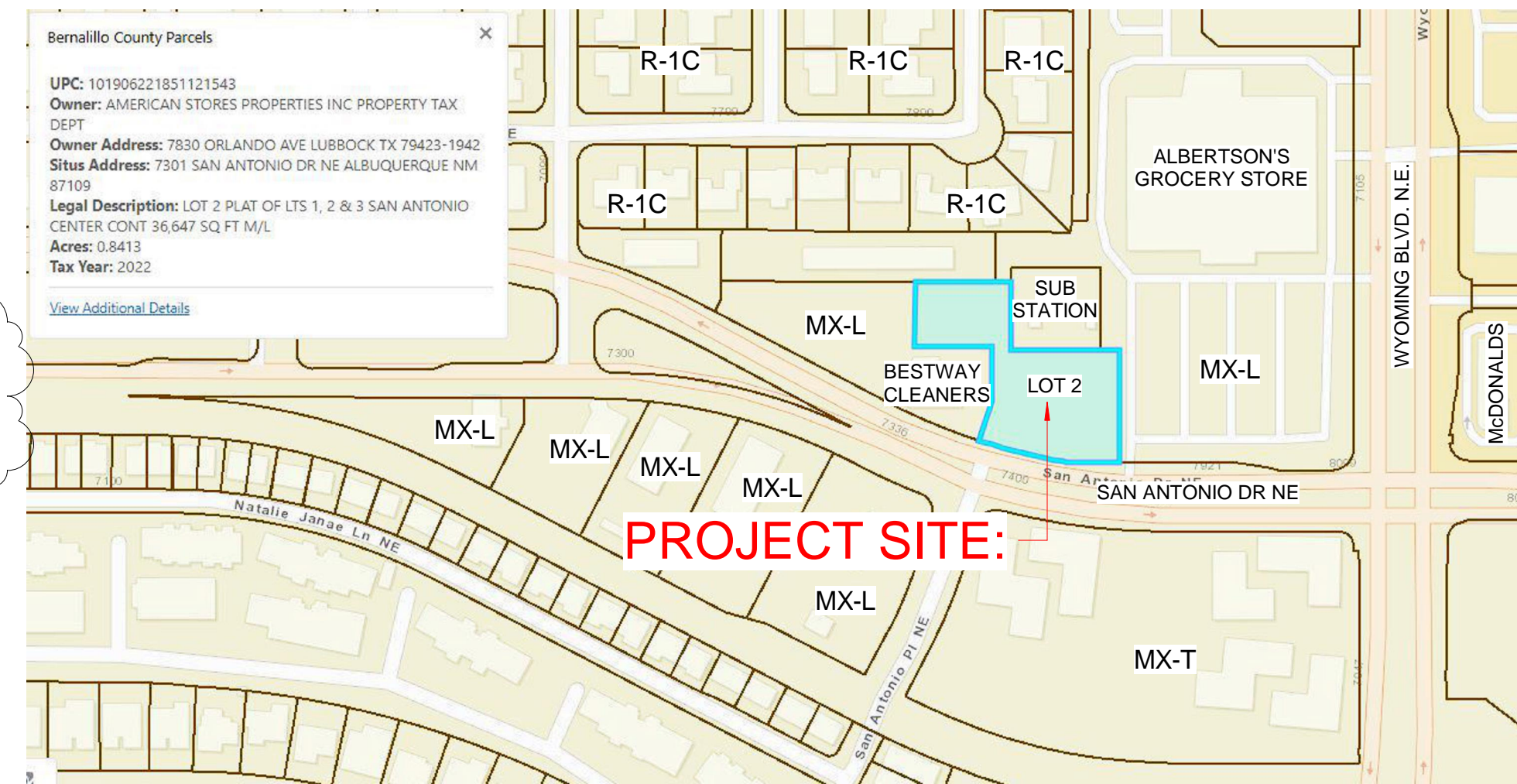
CONTRACT DATE: 02/19/2023

SHEET NO. 1 OF 4

PARKING CALCULATIONS

USE	THE HUMAN BEAN (PROPOSED PAD SITE BUILDING "A") CURRENT PHASE	IFDO PARKING REQUIREMENT	GFA	CALCULATION	REQUIRED SPACES
Restaurant		8 spaces / 1000 sq. ft.	640	(640/1000) X 8	5
Outdoor Seating		3 spaces / 1000 sq. ft.	385	(385/1000) X 3	1
		TOTAL OFF-STREET PARKING		REQUIRED:	6
		TOTAL PROVIDED OFF-STREET PARKING		PROVIDED:	12
		NMBC Table 1106.1 - Number of Accessible Parking Spaces			1
		Number of Van Accessible Parking Spaces (IBC 1106.5)			1
		IDO Table 5-5-4: Motorcycle Parking Requirements	1-25		1 space
		IDO Table 5-5-5: Bicycle Parking Requirements			3

Non-residential uses not listed in this table: 3 spaces or 10% of required off-street parking spaces, whichever is greater.



PROJECT NUMBER: _____

Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date _____
ABCWUA	Date _____
Parks and Recreation Department	Date _____
Hydrology	Date _____
Code Enforcement	Date _____
* Environmental Health Department (conditional)	Date _____
Solid Waste Management	Date _____
Planning Department	Date _____
* Environment Health, if necessary	Date _____

PROJECT ADDRESS:
7101 San Antonio Drive N.E.
Albuquerque, NM 87109
Bernalillo County, New Mexico

LEGAL DESCRIPTION:
Lot numbered Two (2) as shown on the Plat of Lots 1, 2, & 3, SAN ANTONIO CENTER, Albuquerque, New Mexico as the same is shown and designated on said plat, filed in the Office of the County Clerk of Bernalillo County, New Mexico on April 24, 1989 in Bk. C39, Pg. 16.

UPC: 1-019-062-218-511-21543

CURRENT OWNER: American Stores Properties, Inc.
OWNER ADDRESS: 7830 Orlando Ave, Lubbock, TX 79423
SITUS ADDRESS: 7301 San Antonio Dr NE, Albuquerque, NM 87109

ZONING:
Zoning Map: D-19-Z
IXO Zone District: MX-L
IXO District Definition: Mixed-use Zone District
IXO Category: Non-Residential
Proposed Permissible Uses: Restaurant
Total Site Area: 0.8413 acres / 36,644 SF

BUILDING ON LOT:
Minimum front yard setback = 5 feet
Actual Front "South" Setback depth is 35'-5 1/2"
Minimum side yard depth = 0 feet
Actual Side yard "East" depth is 25'-4"
Actual Side yard "West" depth is 107'-8 1/2"
Minimum rear yard depth = 15 feet
Actual Rear yard "North" is 100'-1 1/2"

Building Coverage Maximum = 50%
Building: 640 GSF = 0.01469 acres
Site: 36,644 GSF = 0.8413 acres
1.75% Actual Building Coverage

TRAFFIC CIRCULATION:
Quantity (2) two-way traffic ingress/egress site entrances from San Antonio Drive NE.
ARE AS FOLLOWS:

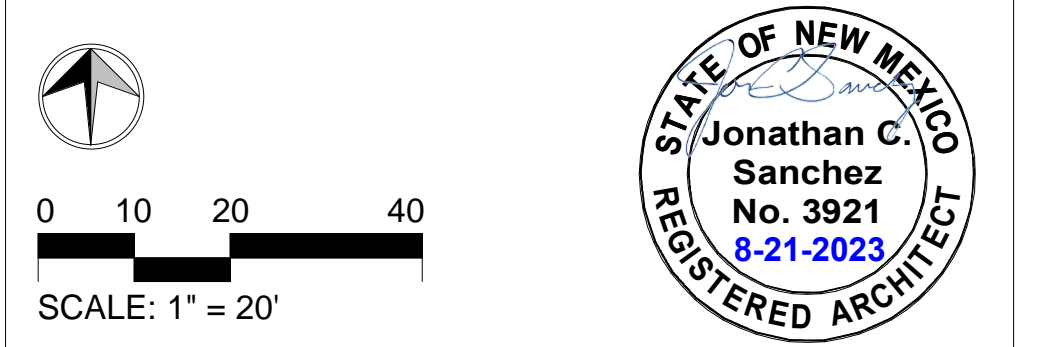
CODES AND STANDARDS
This project shall be in accordance with the following Building Codes including all local amendments:
- 2015 New Mexico Mechanical Code; including Appendices A, B, C, and D
- 2015 New Mexico Plumbing Code; including Appendices A, B, D, E, F, I, and L
- 2018 International Energy Conservation Code
- 2015 New Mexico Commercial Building Code including Appendix Chapters H, J, K, M, R, and S; but not including Appendix Chapters A, B, C, D, E, F, G, I, L, N, O, P, and Q
- 2015 International Code Council Performance Code for Buildings and Facilities, including all Appendix Chapters as published by the International Code Council
- 2015 International Building Code
- 2015 International Mechanical Code
- 2015 International Plumbing Code
- 2015 International Fire Code
- 2015 International Energy Conservation Code
- 2017 New Mexico Electrical Code
- 2012 New Mexico Electrical Safety Code
Errata sheets to the adopted portions of Codes promulgated by the International Code Council, International Association of Plumbing and Mechanical Officials and National Electrical Code
Title 14, Chapter 5 of the New Mexico Building Code has been deleted and replaced with Chapter 1, on the following pages. Sections from various other parts of the Technical Codes have been amended, added, or deleted. These changes are noted on the pages following the Administrative Chapter No. 1.

OTHER GUIDELINES, REGULATIONS & STANDARDS
Americans with Disabilities Act Accessibility Guidelines (ADAAG)

2015 INTERNATIONAL FIRE CODE
CHAPTER 5 FIRE SERVICE FEATURES
SECTION 503 FIRE APPARATUS ACCESS ROADS
503.1.1. Approved fire apparatus access roads shall be provided for every facility, building or portion of building...and shall extend to within 150 feet of all portions of the facility.
503.2.1 Dimensions. Unconstructed width of not less than 20 feet and unobstructed vertical clearance of not less than 13 feet 6 inches
503.2.4 Turning radius. The required turning radius of a fire apparatus access road shall be determined by the fire code official
SECTION 506 KEY BOXES
506.1 - 506.2. Provide approved type Key Box as required by the fire code official.
APPENDIX J - BUILDING INFORMATION SIGN
Per Figure J101.1.3
Top Wing: "V8"
Right Wing: "NS"
Bottom Wing: "B"
Left Wing: "LH"
Center Circle: "TC" or designation as defined by Albuquerque Fire Dept.

- Keyed Notes:**
- Proposed building structure.
 - Private ingress / egress location, width of drive aisle as indicated.
 - Buffer landscaping.
 - Landscaping.
 - Menu display board, see detail 9 / A1.
 - Menu display board with speaker / microphone ordering station, see detail 9 / A1.
 - Drive-through lanes - asphaltic concrete.
 - New concrete sidewalk, max. cross slope 1:50.
 - ADA concrete ramp, slope 1:12 maximum, heavy broom finish.
 - Concrete landing, 1:50 max. cross slope.
 - Detectable warning with truncated domes (2-ft x width of ramp), safety yellow.
 - New asphaltic concrete drive apron.
 - Concrete curb and gutter, see detail 2 / A1.
 - ADA van accessible parking space with universal accessibility symbol.
 - Motorcycle parking space.
 - Bicycle parking rack (typ. of 2), see detail 14 / A1.
 - Pavement markings "white", see detail 14 / A1.
 - 6" long pre-cast concrete parking stop, centered in parking space, set 24" from sidewalk edge.
 - New pole light, steel pole, 20' tall, "bronze". Final location(s) determined by lighting consultant or electrical engineer, see detail 15 / A1.
 - Monument sign (4'-4" high x 6'-0" wide), integral color "brown" CMU with text "the HUMAN BEAN" and logo, see detail 6a / DFT1.
 - Header curb, integral with ramp and / or landing, see CABQ dwg. 2415C.
 - Refuse truck maneuvering and circulation route (40-ft inside, 52-ft outside radius).
 - Traffic sign, "ONE WAY DO NOT ENTER", see detail 8 / A1.
 - Traffic sign, "DRIVE THRU ENTRY", see detail 8 / A1.
 - ADA pedestrian access to site (6-ft wide) shaded "blue".
 - Integral color textured concrete - brick paver pattern, color "Terra Cota".
 - Refuse container concrete pad with drain, apron, bollards and gate. See enlarged plan and details on A1.
 - Pipe bollard, painted traffic yellow (6" x 7'-0" high).
 - Pipe bollard, painted traffic yellow (6" x 4'-6" high).
 - Pavement markings, see detail 7 / A1.
 - New corner access ramp per CABQ dwg. 2441.
 - Existing concrete sidewalk. Replace any and all broken or cracked sidewalks, see General Note B.
 - Electrical metering equipment.
 - Flared sides, 1:10 maximum slope.
 - Building information sign per IFC 2015 Appendix J. See GO 2015 International Fire Code notes.
 - Provide "Knox-box" brand key box. <https://www.knoxbox.com/Products/Commercial-KnoxBoxes>.
 - Van accessible parking sign, see detail 12 / A1.
 - Motorcycle parking sign, see detail 12 / A1.
 - Existing "mature" tree, see Landscaping Plan.
 - New "screening" tree, see Landscaping Plan.
 - Pavement marking, 12" high lettering, text as shown, "white" fast dry waterborne traffic marking paint.
 - Pavement marking, 12" high lettering, text as shown, "red" fast dry waterborne traffic marking paint.
 - Existing pole light, 16-ft. tall, "dark bronze" to remain.

- General Notes:**
- All ADA RAMP SHALL HAVE A RUNNING SLOPE NOT TO EXCEED 1:12 ALL RAMP, SIDEWALKS AND LANDINGS SHALL HAVE A CROSS SLOPE NOT TO EXCEED 1:50.
 - ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. CONFORM TO CABO SIDEWALK DRG. 2720 AND CURB & GUTTER DWG. 2415A.
 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



No.	Description	Date
A	DFT APPLICATION	5-2-2023
B	DFT COMMENTS	6-5-2023
C	TCL SUBMISSION	6-7-2023
D	BUILDING PERMIT	6-9-2023
E	TCL RESUBMISSION	6-25-2023
F	DFT RESUBMISSION	6-28-2023
1	ISSUED FOR BLDG PERMIT	8-7-2023
G	DFT COMMENTS	8-21-2023

OWNER: KEITH GRIEGO

HUMAN BEAN - SAN ANTONIO & WYOMING

SITE PLAN - ARCHITECTURAL

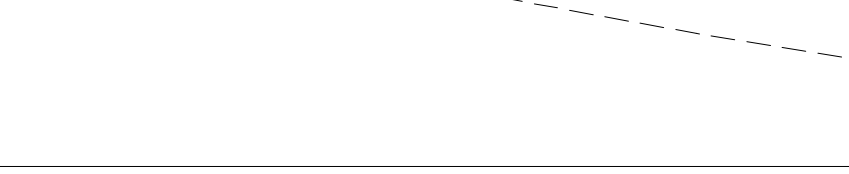
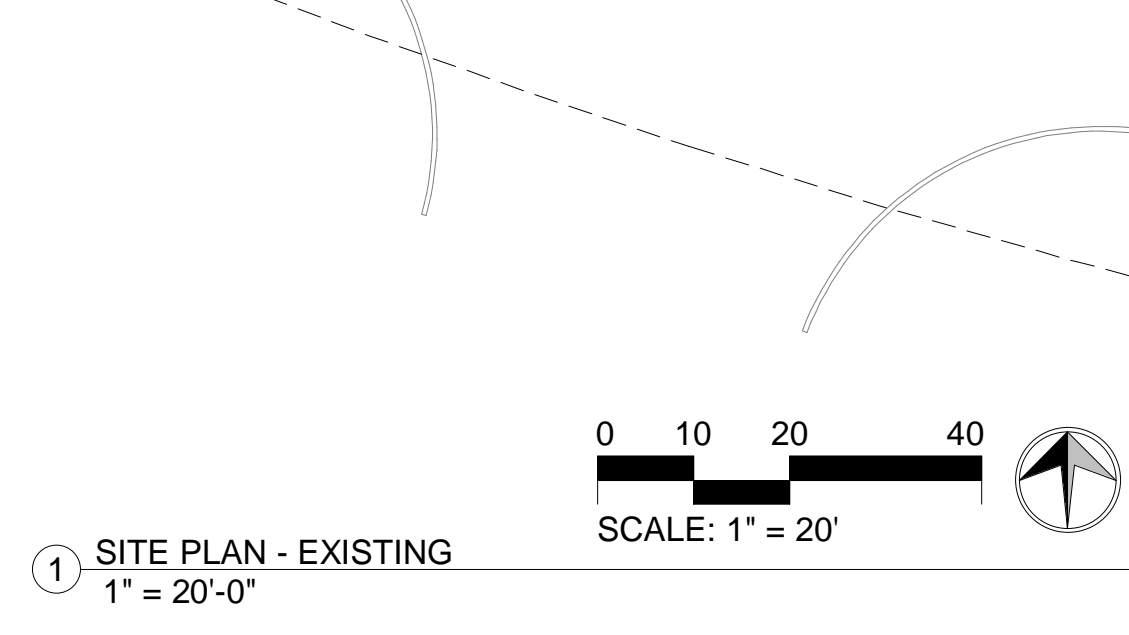
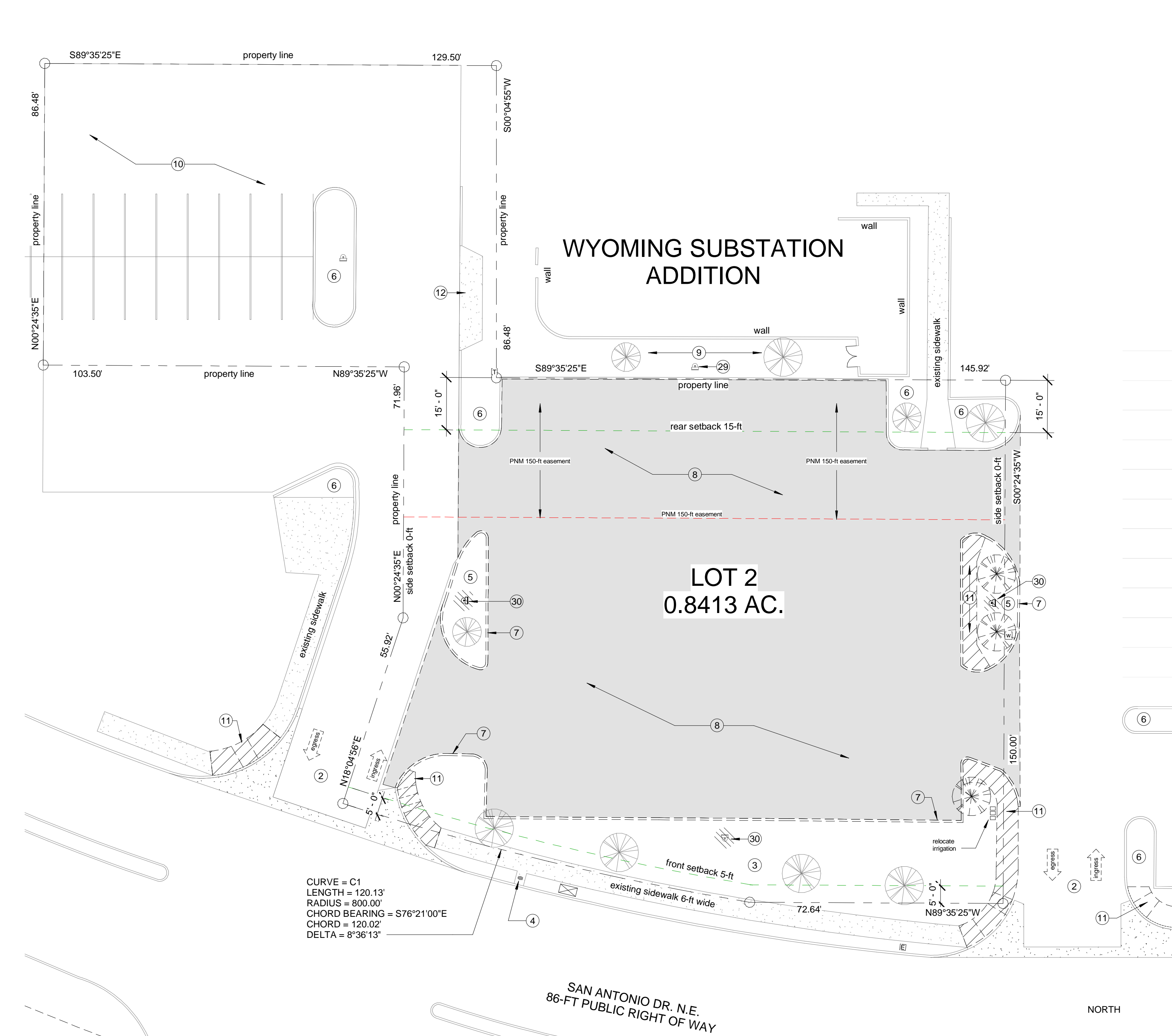
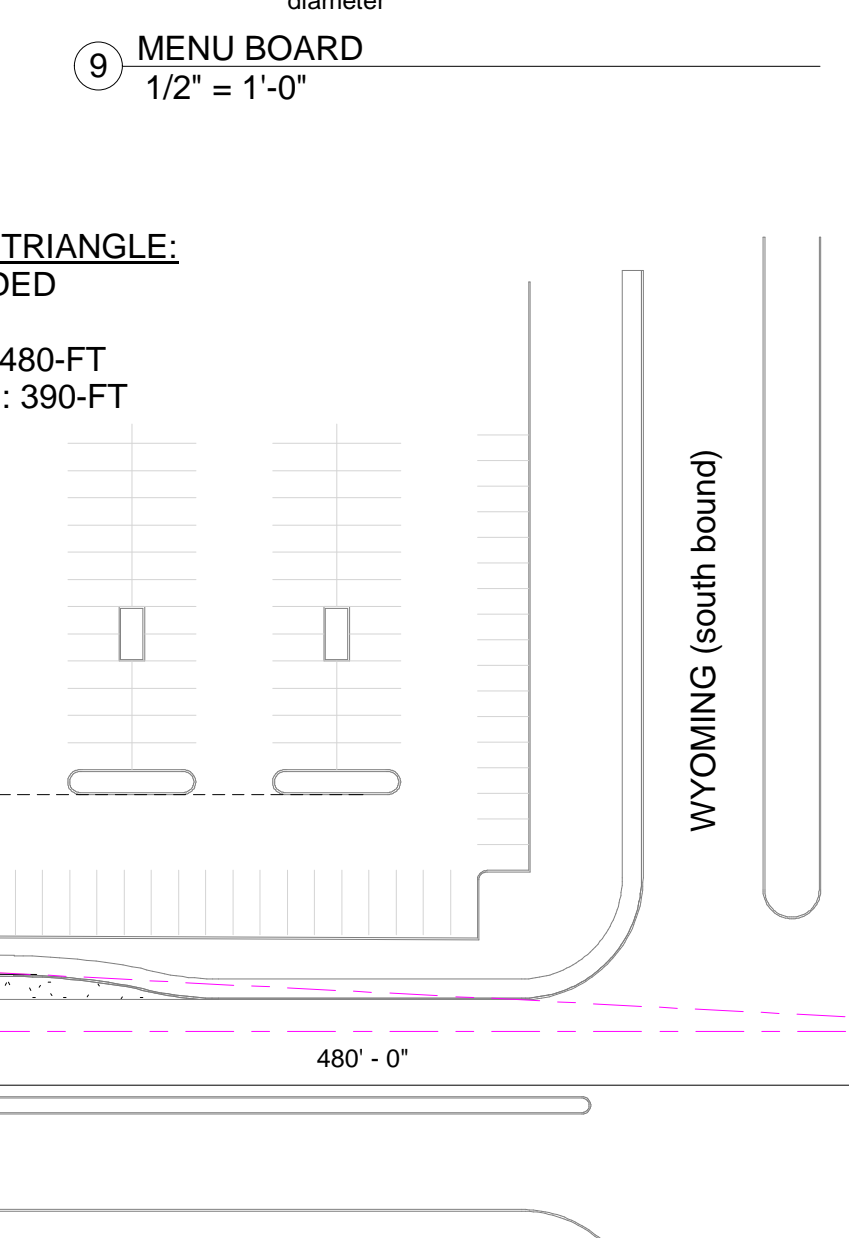
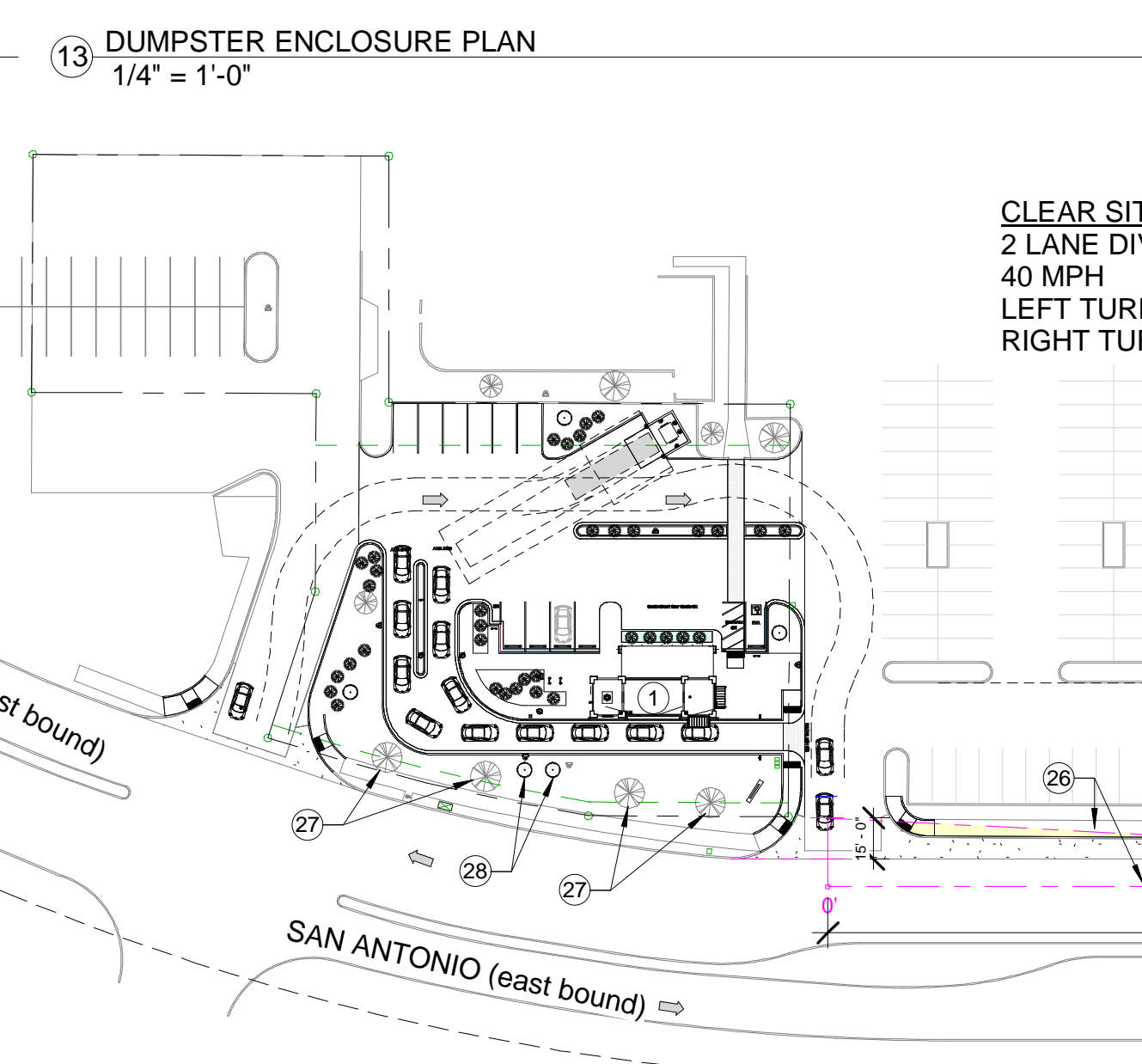
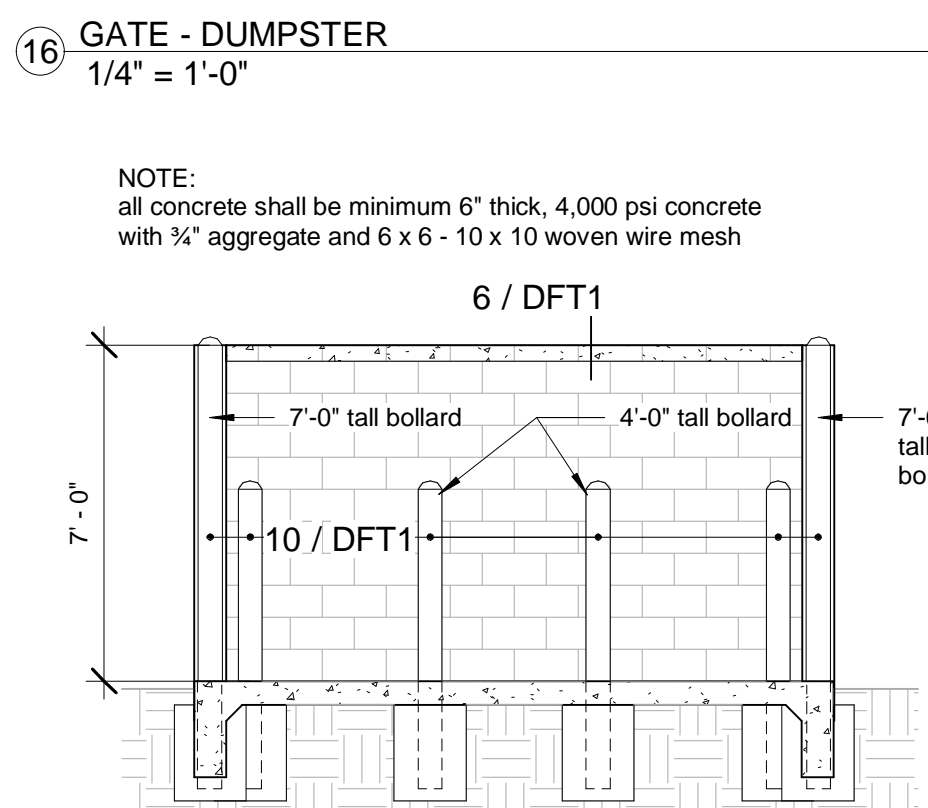
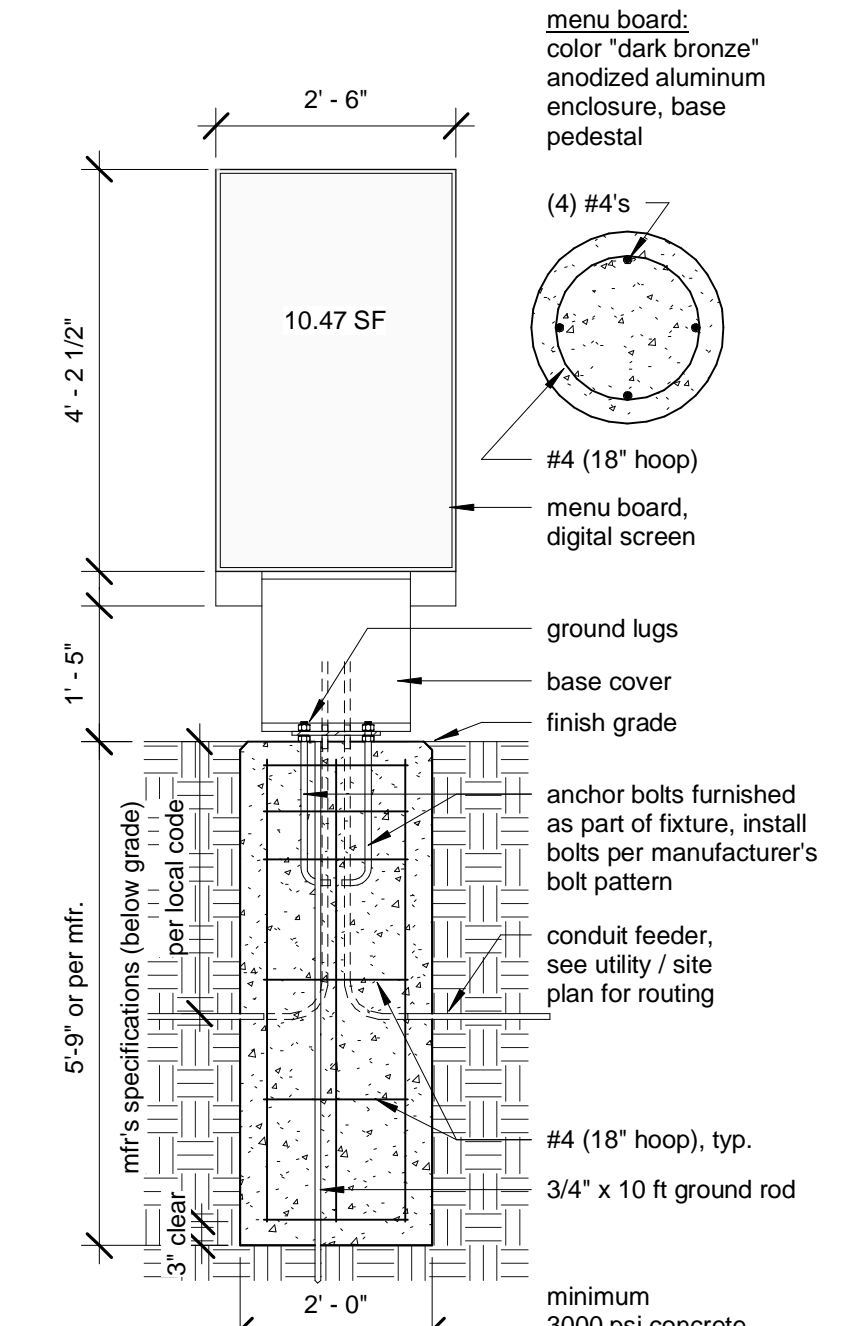
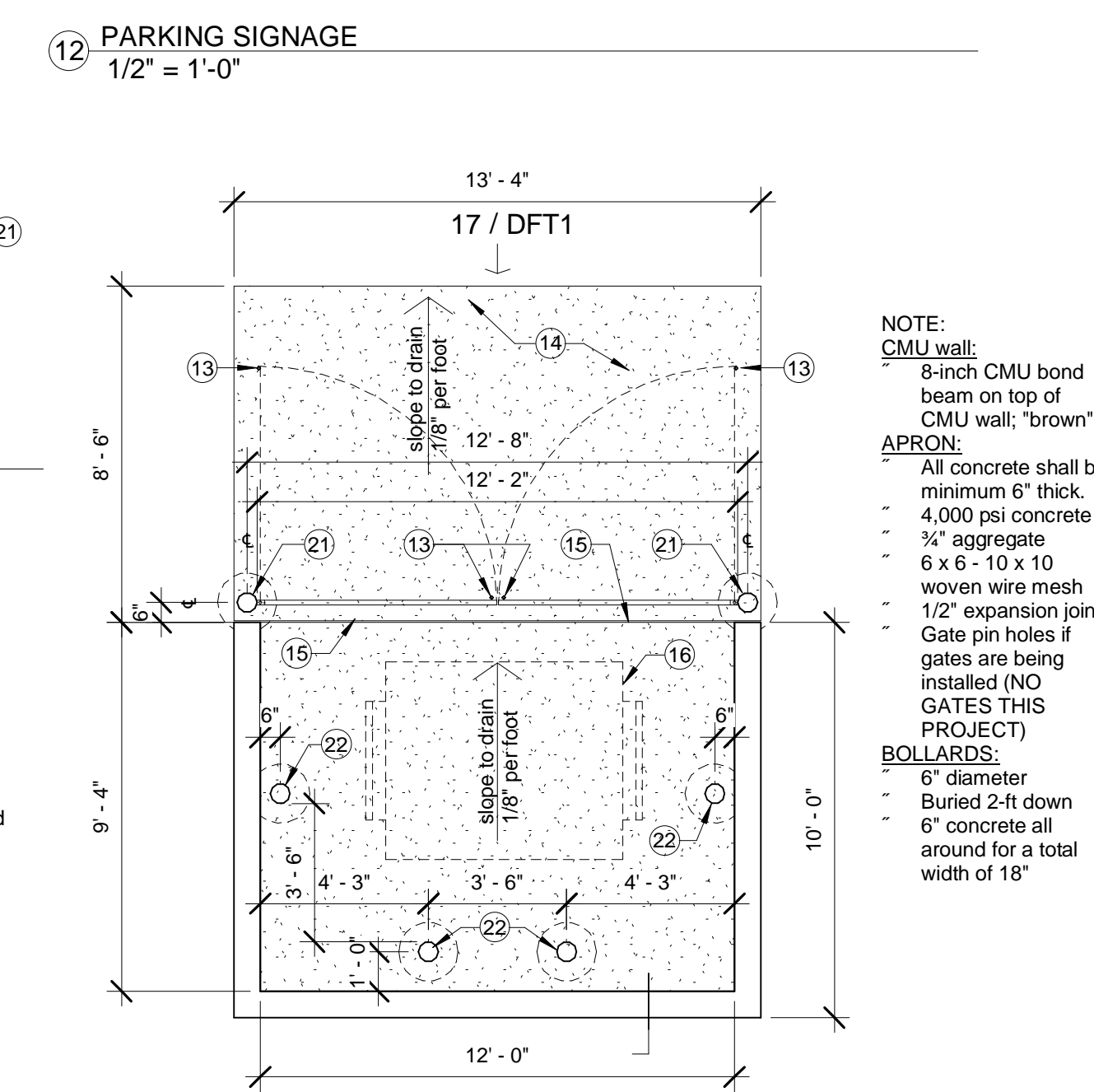
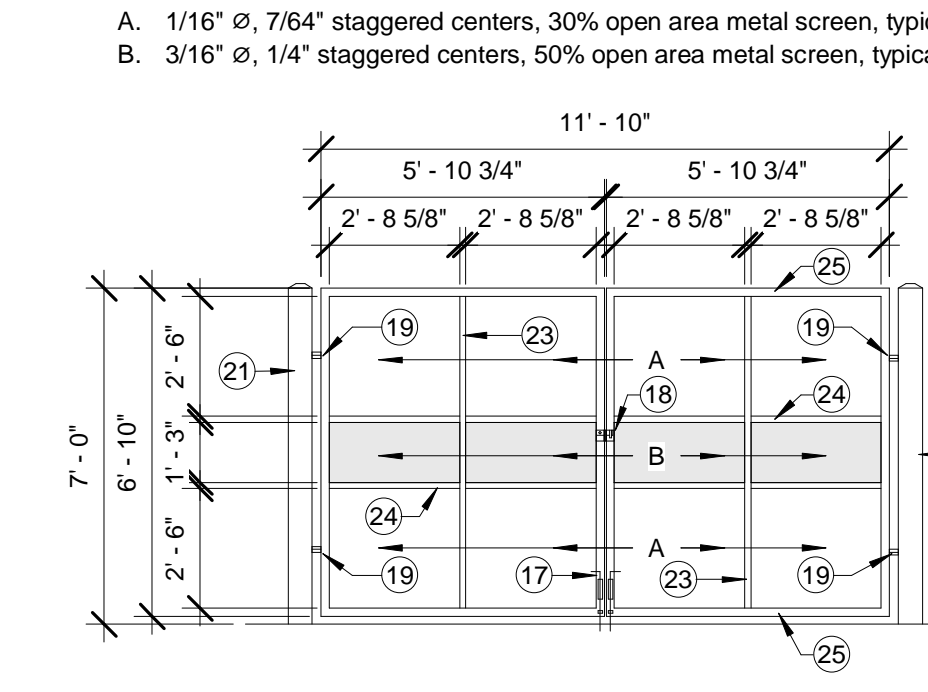
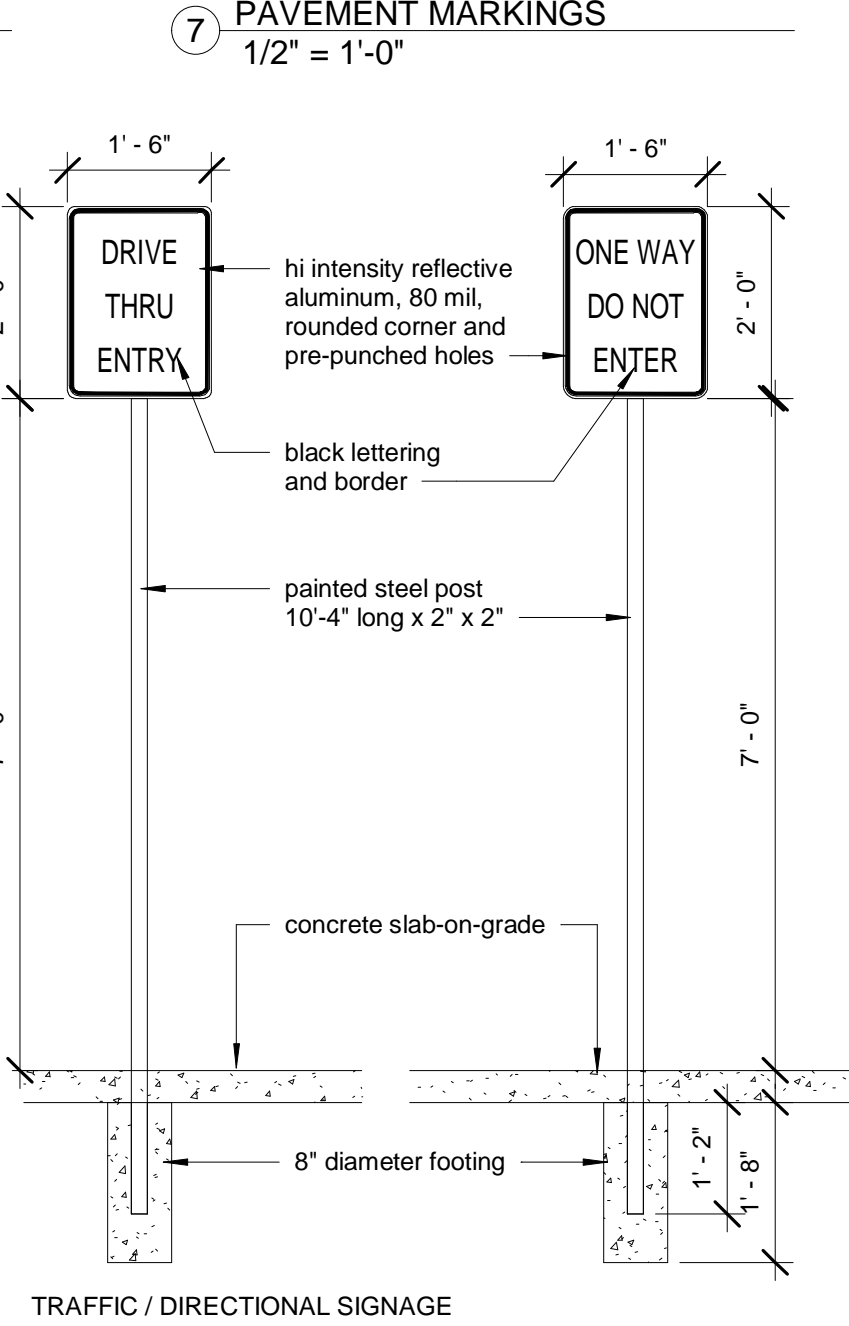
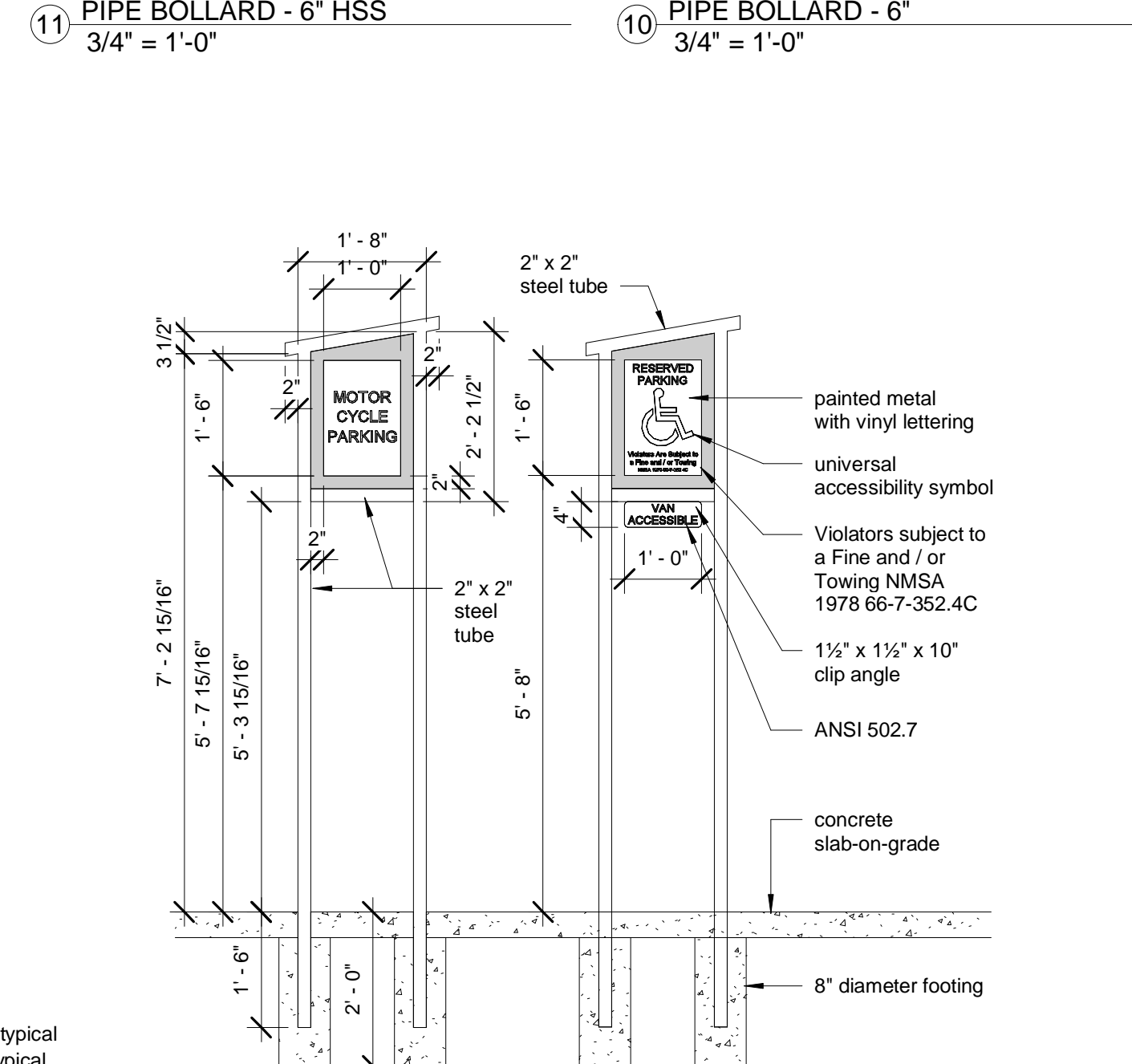
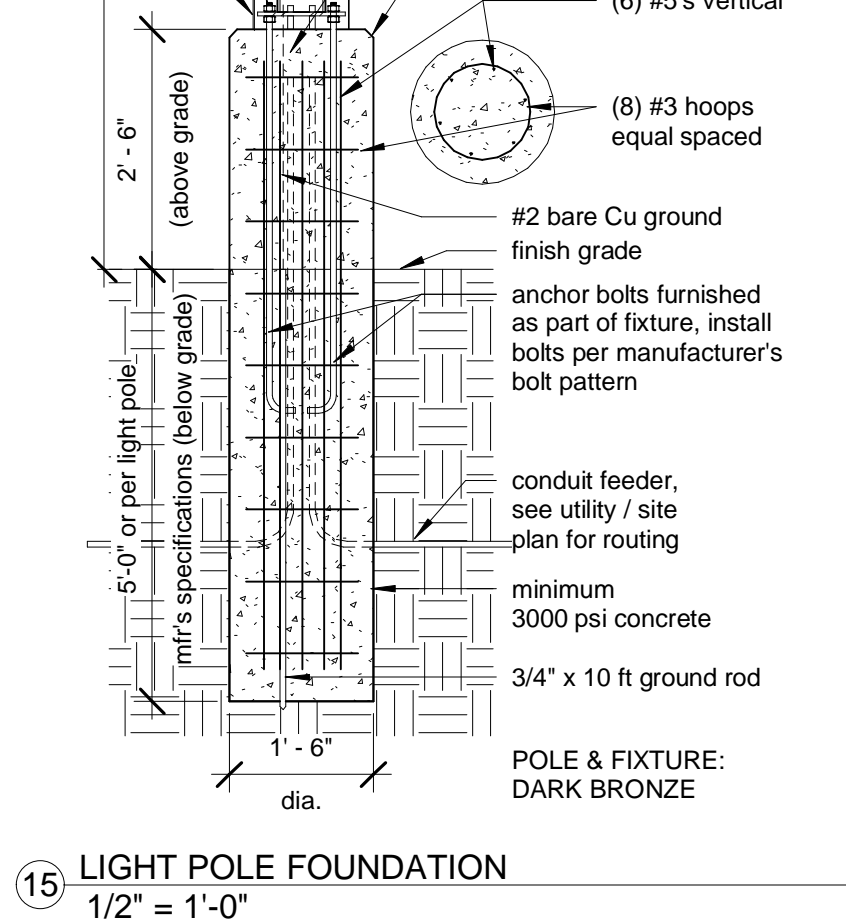
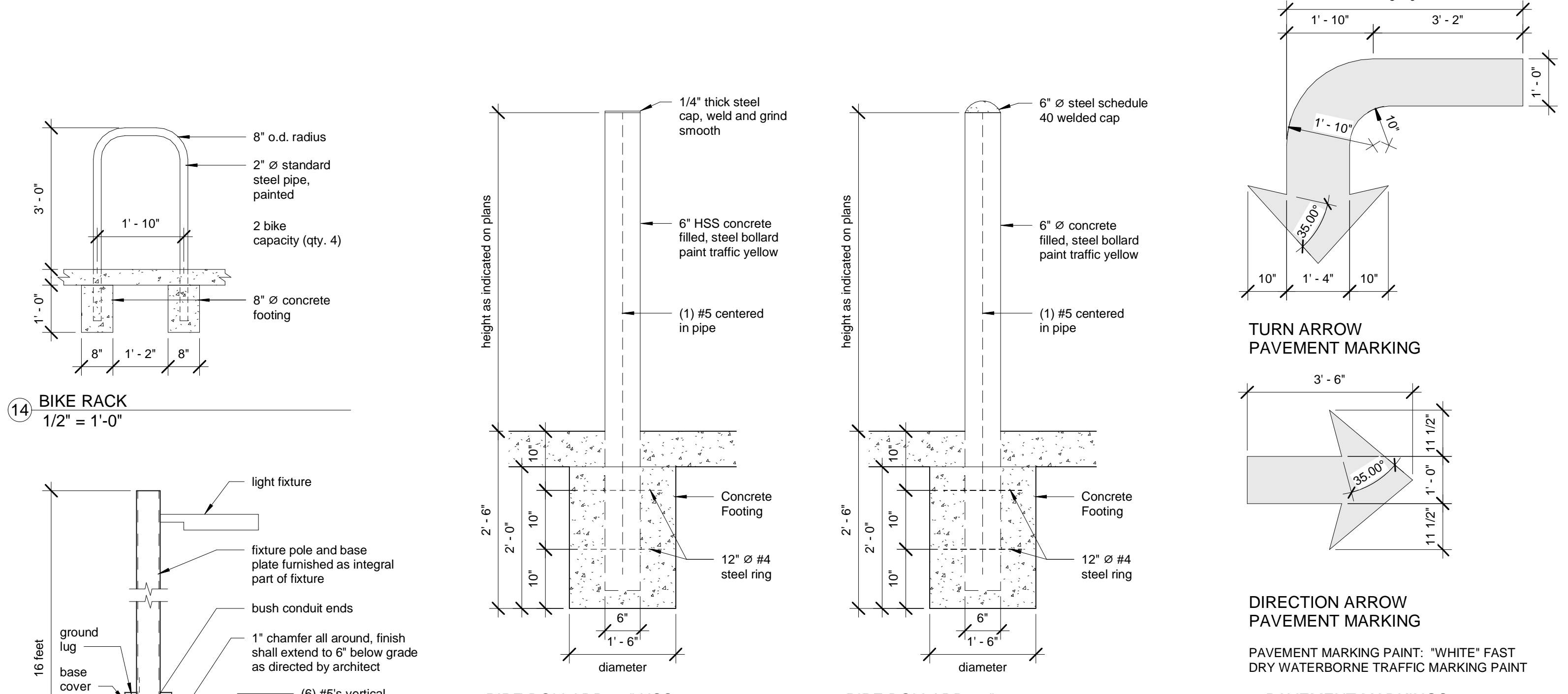
Project Number	Project Number
Date	8-21-2023
Drawn By	J. SANCHEZ
Checked By	K. GRIEGO

DFT0

Scale As indicated

FIGURE J101.1.3 EXAMPLE OF COMPLETED BUILDING INFORMATION SIGN

8/21/2023 7:43:51 AM



- Keyed Notes:**
- Proposed building structure.
 - Private ingress / egress location, drive aisle.
 - Existing buffer landscaping.
 - Existing public fire hydrant.
 - Remove existing parking / traffic island.
 - Existing traffic / landscape island to remain.
 - Remove existing concrete curb and gutter.
 - Remove existing asphalt concrete paving. Extent of removal to be determined in detailed design.
 - Existing landscaping to remain.
 - Asphalt pavement to remain.
 - Remove existing concrete sidewalk.
 - Existing sloped drive to remain.
 - Gate pin holes.
 - Concrete pad and approach apron.
 - Expansion material, 1/2\"/>

- General Notes:**
- ALL ADA RAMPS SHALL HAVE A RUNNING SLOPE NOT TO EXCEED 1:12. ALL RAMPS, SIDEWALKS AND LANDINGS SHALL HAVE A CROSS SLOPE NOT TO EXCEED 1:50. RAMPS SHALL HAVE HEAVY BROOM FINISH.
 - ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. CONFORM TO CABQ SIDEWALK DRG. 2723 AND CURB AND GUTTER DETAIL 2415A.
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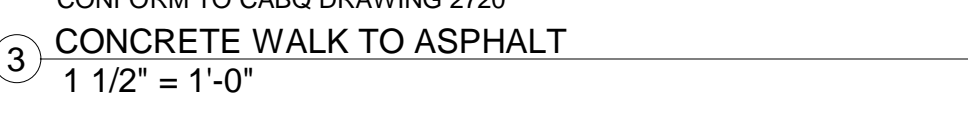
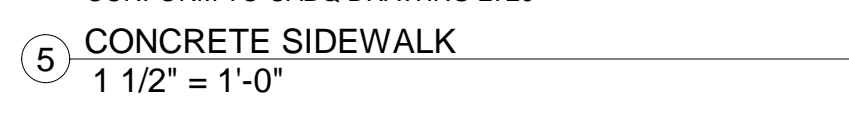
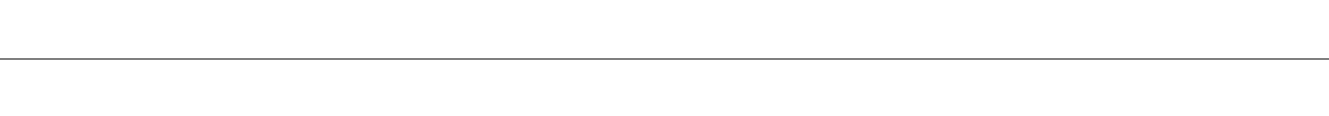
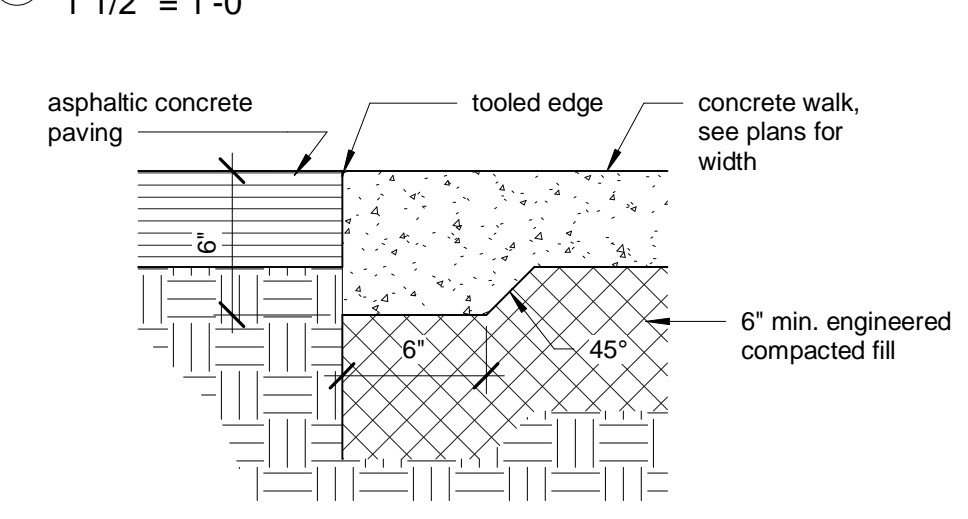
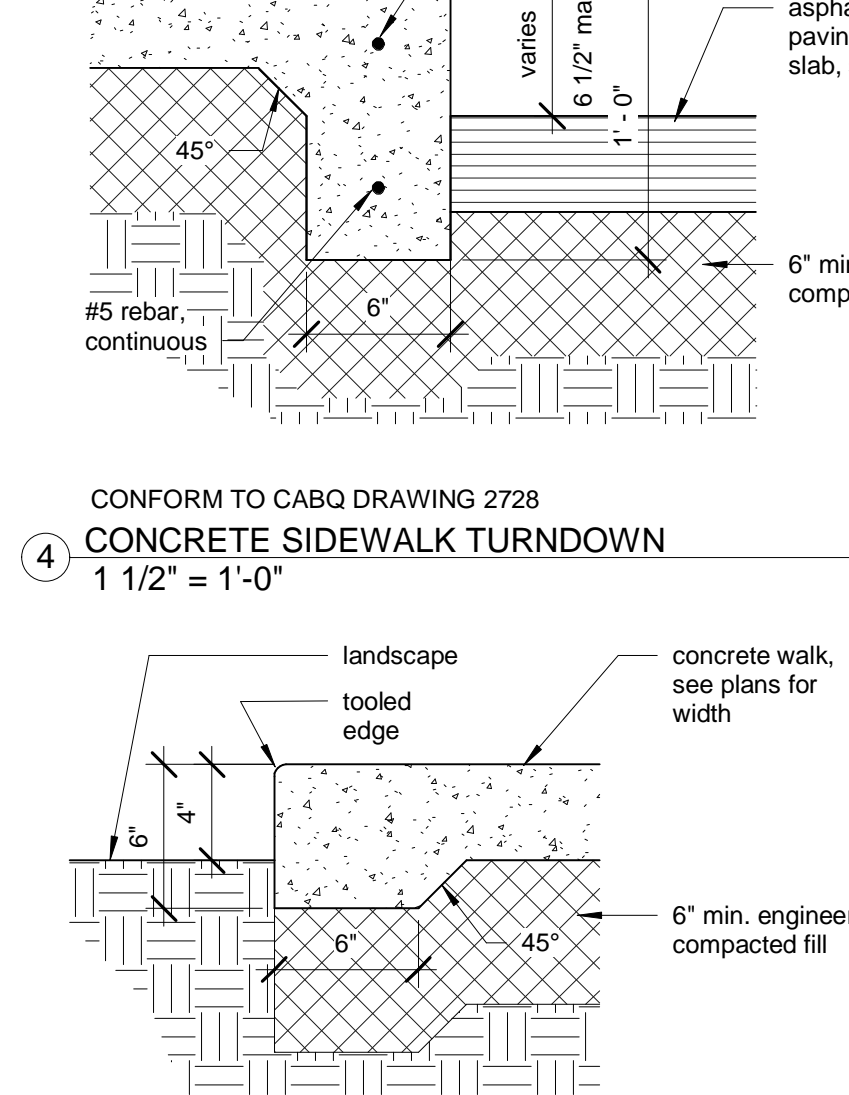
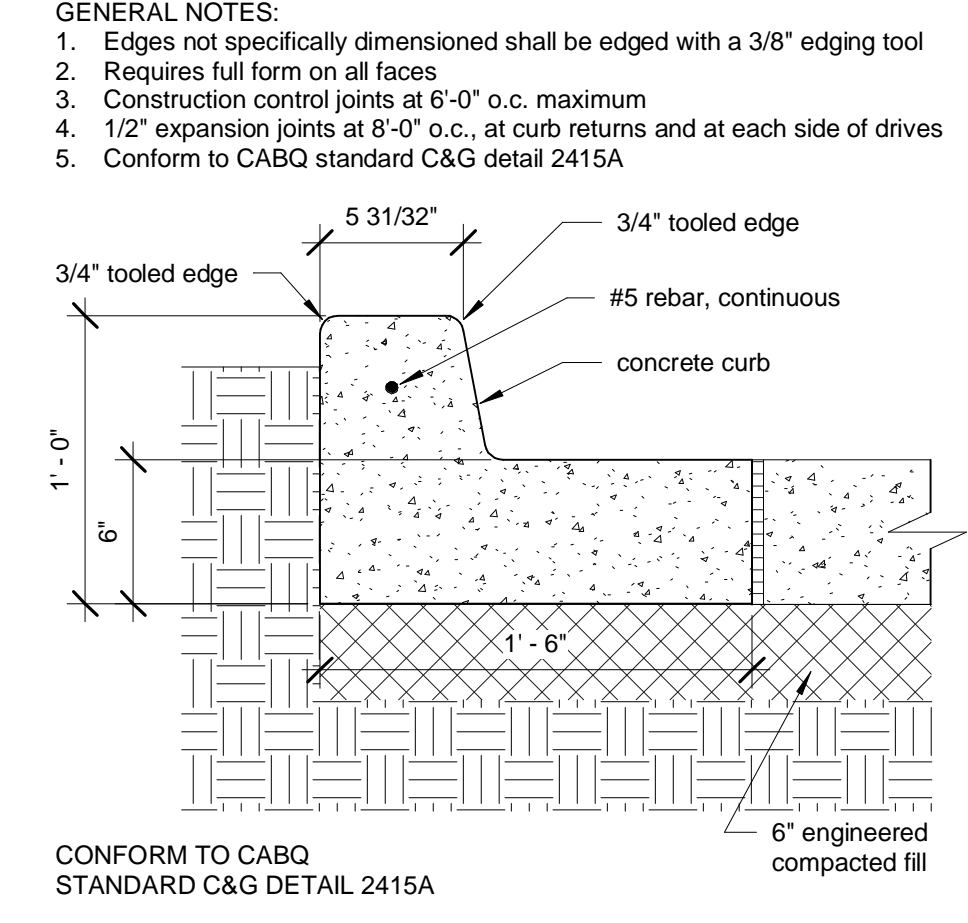
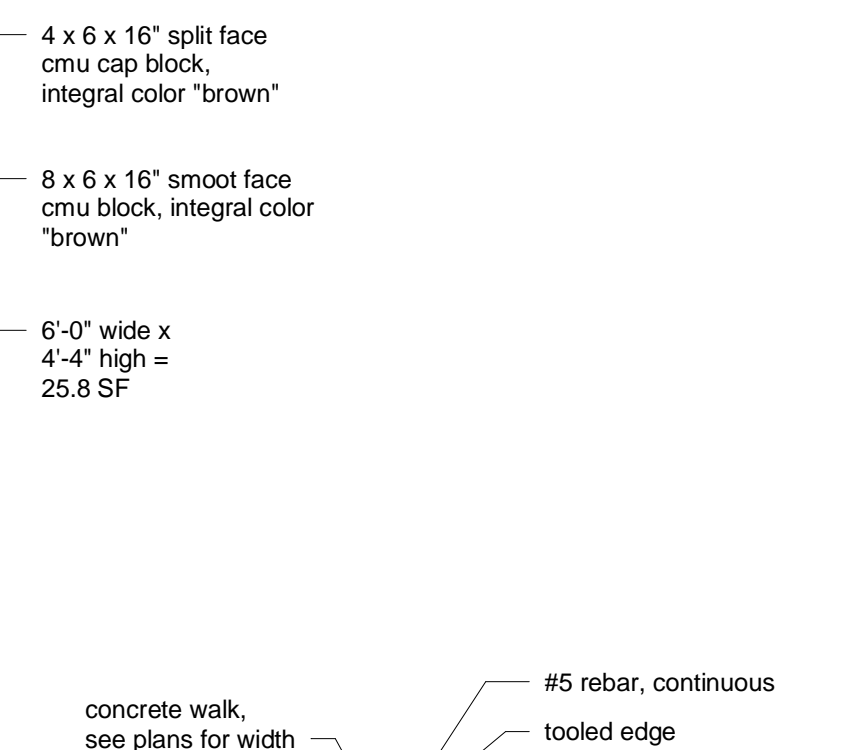
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F	DFT RESUBMISSION	6-28-2023

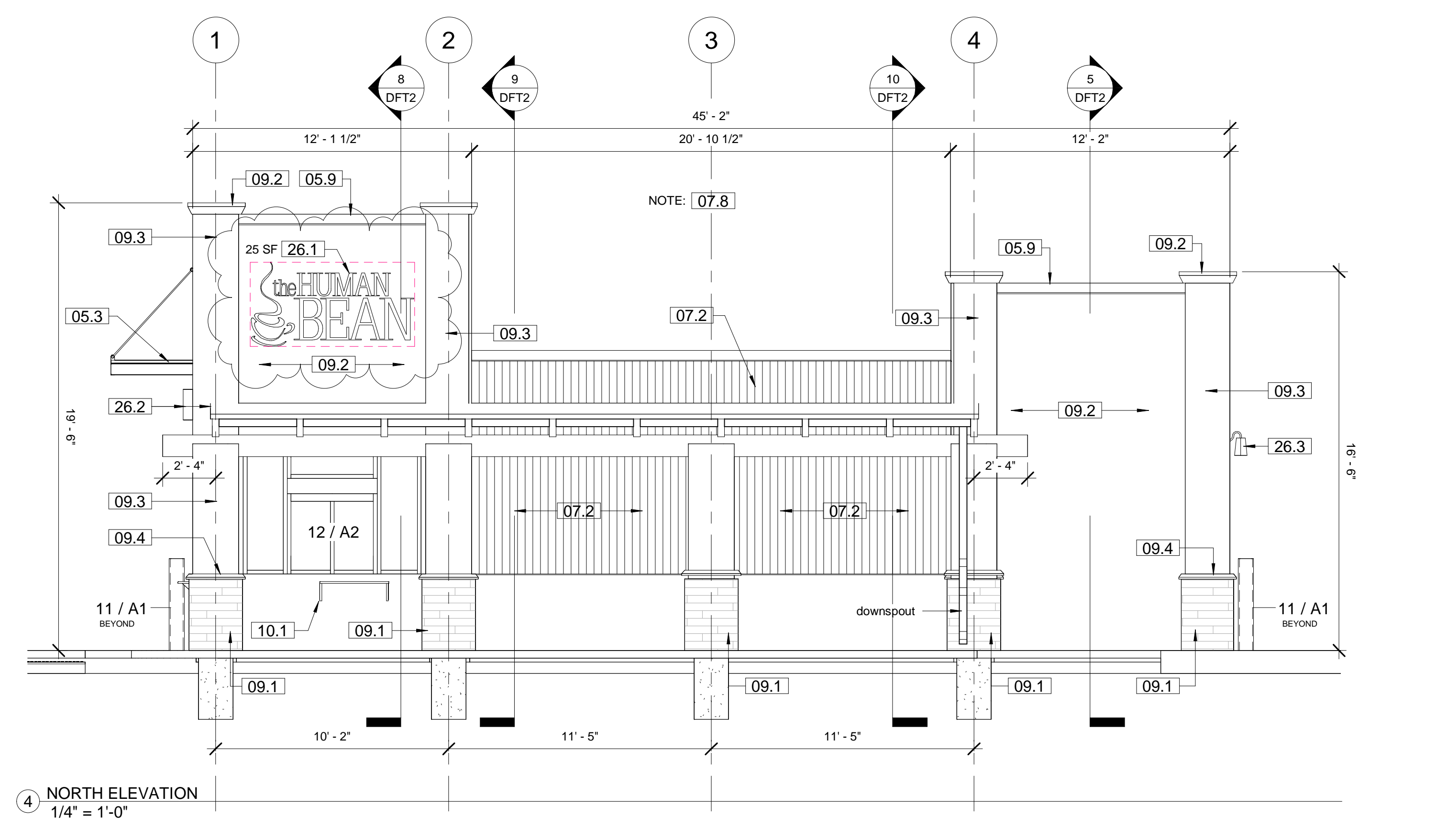
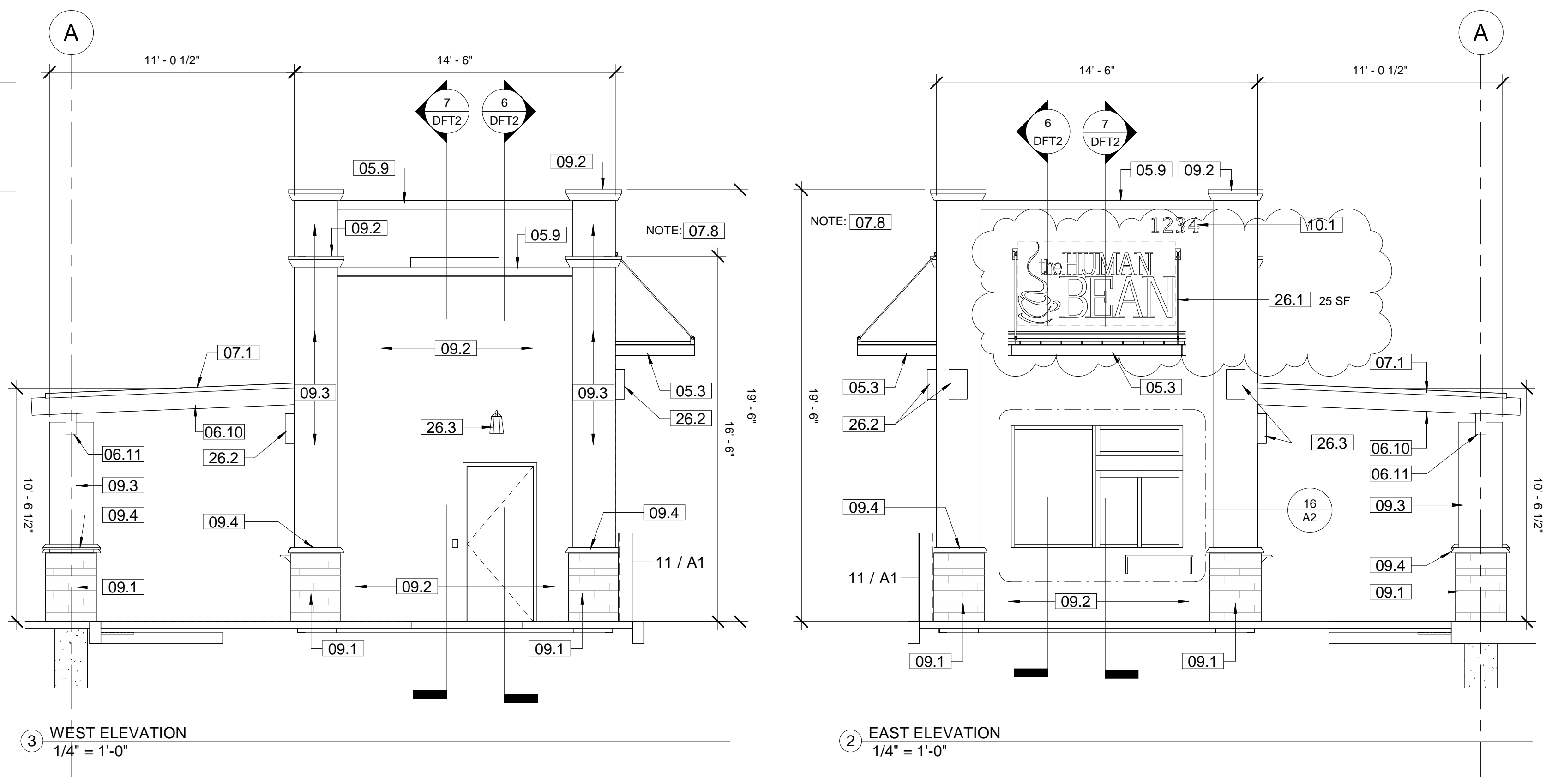
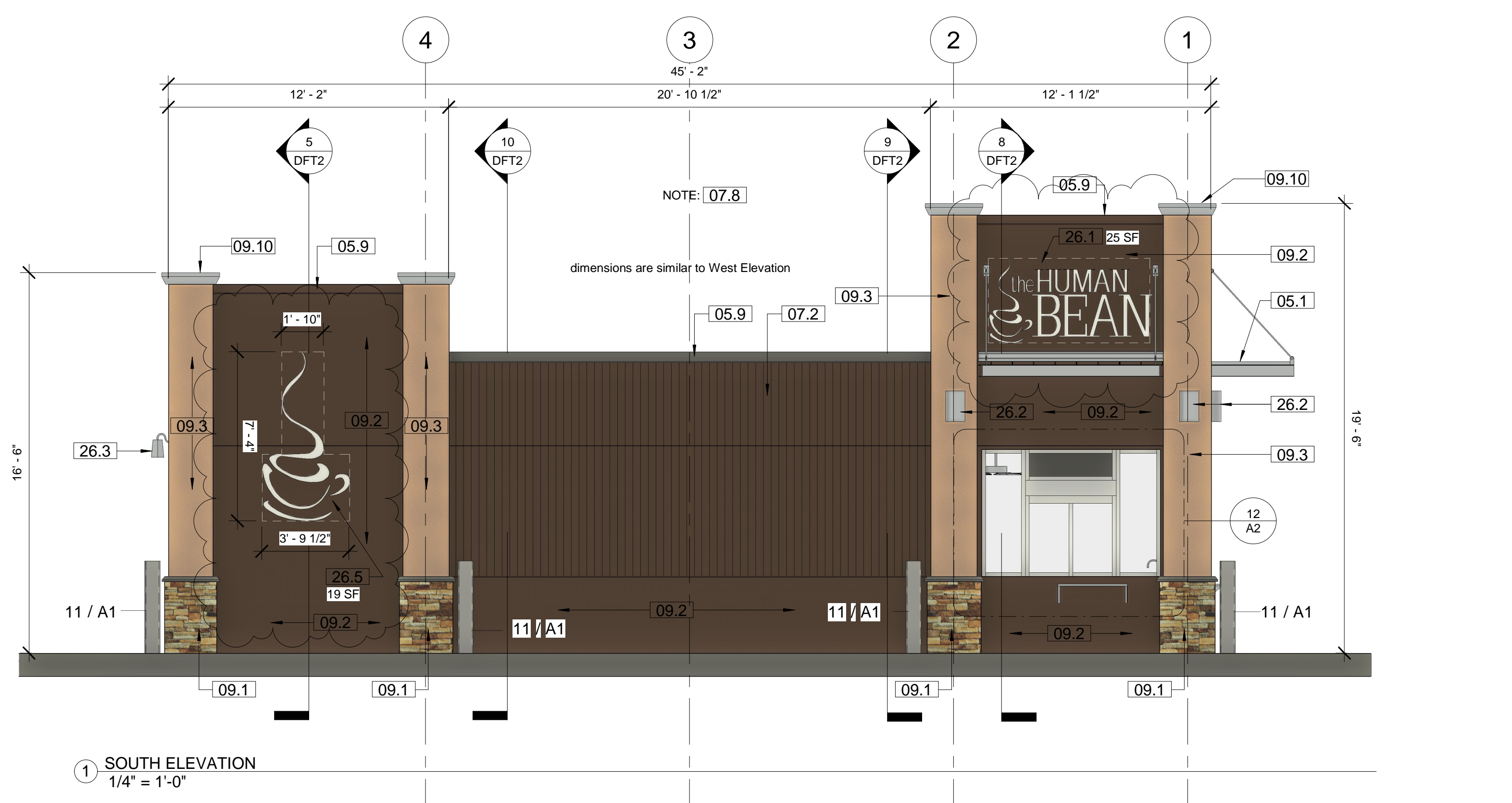
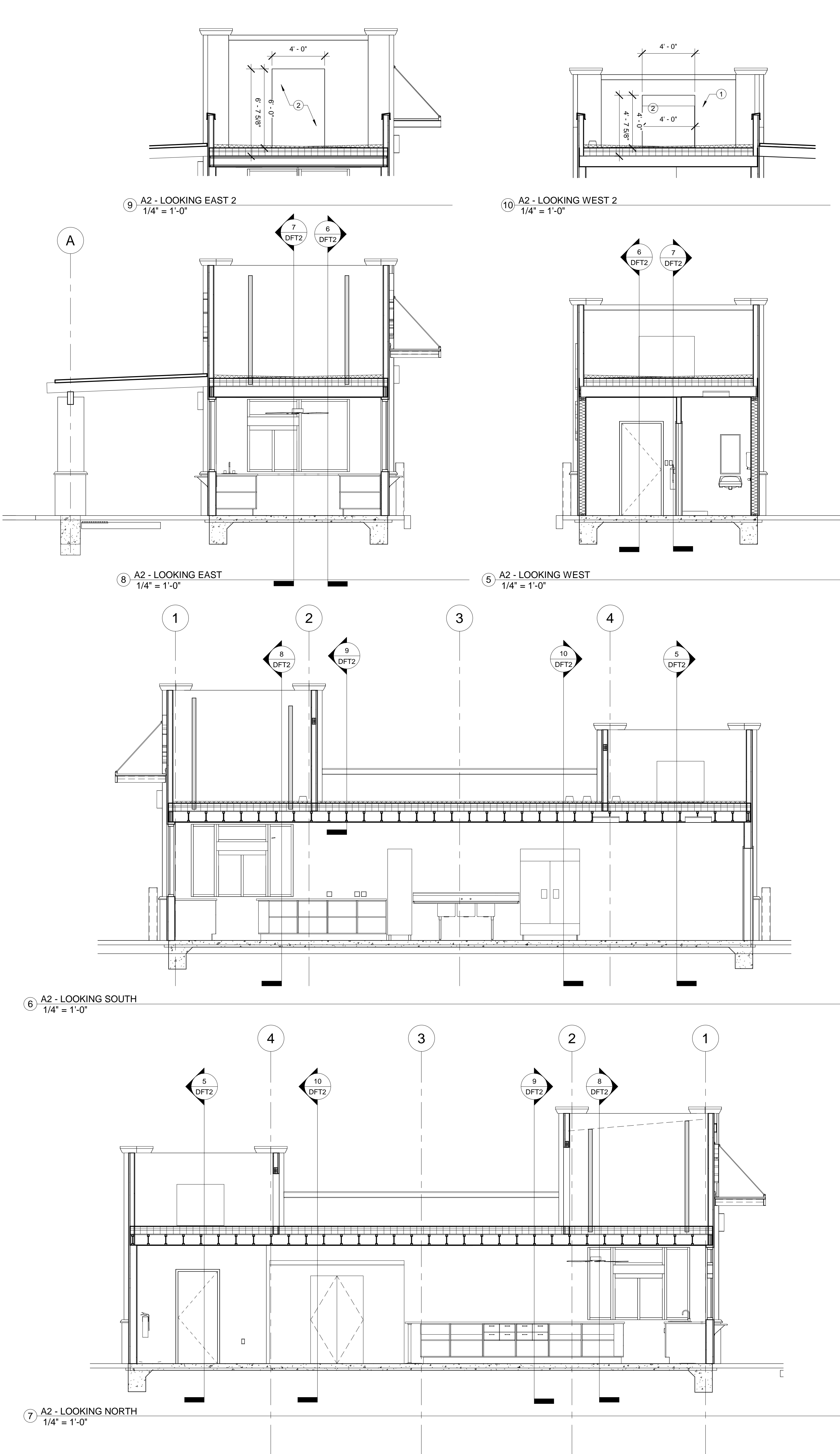
OWNER: KEITH GRIEGO

HUMAN BEAN - SAN ANTONIO & WYOMING

SITE DETAILS

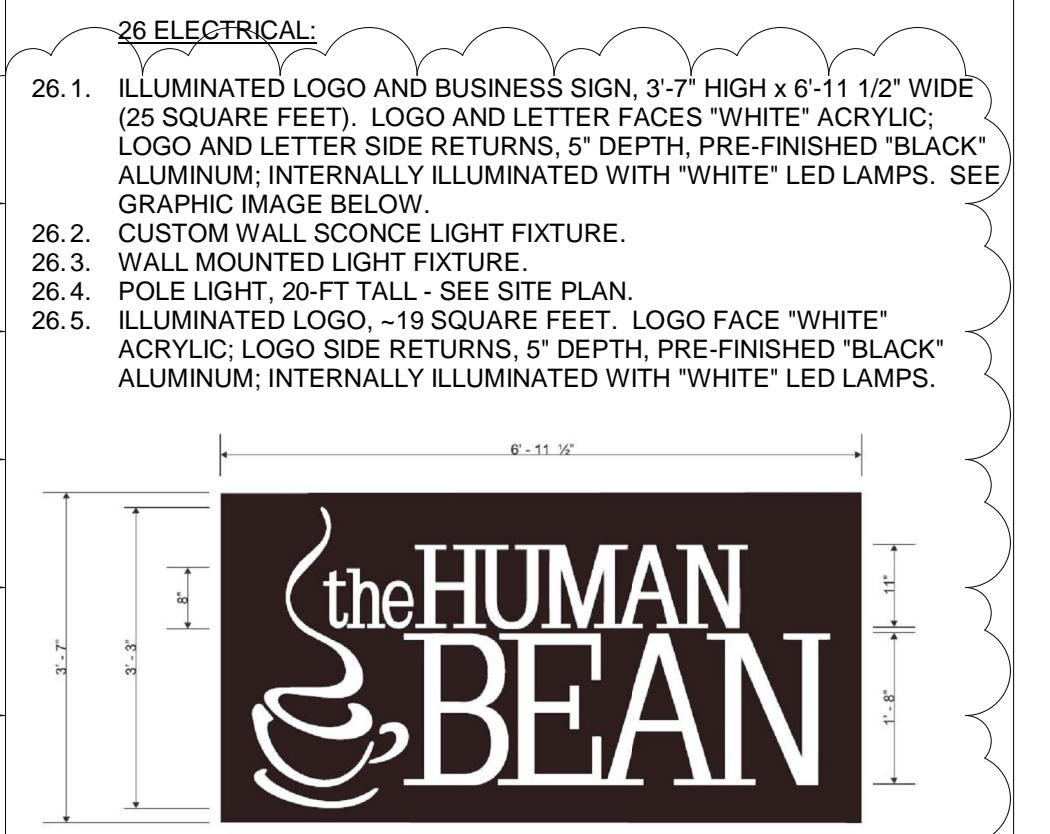
Project Number	Project Number
Date	6-28-2023
Drawn By	J. SANCHEZ
Checked By	K. GRIEGO
Scale	As indicated





Keyed Notes:

1. HVAC rooftop equipment.
 2. Opening in wall.
- 05 METALS:**
- 05.1 JOIST HANGER.
 - 05.2 METAL CORNER BEAD.
 - 05.3 CUSTOM BUILT METAL AWNING.
 - 05.4 1/2" X 12" J-HOOK ANCHOR BOLT.
 - 05.5 SLAB REINFORCEMENT, W/IF 6 X 6 W 10 X 10 PER ASTM A185.
 - 05.6 METAL FLASHING.
 - 05.7 ANGLE 2 X 2 X 1/8" - MECHANICALLY FASTENED.
 - 05.8 METAL DRIP EDGE ALL-AROUND.
 - 05.9 SNAP-ON METAL COPING COVER.
- 06 WOODS, PLASTICS AND COMPOSITES:**
- 06.1 9 1/2 ROSEBURG, 4000 RFP1, 16" O.C. TYPICAL.
 - 06.2 1 4E RIDGERIM LVL, RM JOIST.
 - 06.3 2 X 6 TREATED SILL PLATE.
 - 06.4 2 X 6 WOOD FRAMING, 16" O.C.
 - 06.5 2 X 6 DOUBLE TOP PLATE.
 - 06.6 5/8" PLYWOOD ROOF DECK.
 - 06.7 2 X 10 ROOF JOISTS.
 - 06.8 2 X 6 ROOF JACKS, 16" O.C.
 - 06.9 2 X 6 BLOCKING.
 - 06.10 2 X 10 BLOCKING (2 BAYS DEEP) AT PANEL EDGES WITH PLYWOOD INFILL ON BC'S FOR BRACING.
 - 06.11 2 X 10 WOOD BLOCKING.
 - 06.12 (2) 2 X 4 TOP PLATES.
 - 06.13 2 X 4 FRAMING, 16" O.C.
 - 06.14 SOFFIT BOARD, ALL AROUND.
 - 06.15 (2) 2 X 10 HEADER.
 - 06.16 CORNER KEY, FRY REGLET - TYPICAL AT ALL OUTSIDE CORNER.
 - 06.17 STUCCO J-MOLD, FRY REGLET.
 - 06.18 EXTERIOR SHEATHING, 5/8" THICK.
 - 06.19 SHIM, 1/4" OR AS REQUIRED.
 - 06.20 4 X 10 WOOD JOIST - 12'-6" LENGTH.
 - 06.21 6 X 12 WOOD BEAM.
 - 06.22 2" NOMINAL TONGUE AND GROOVE WOOD DECK.
- 07 THERMAL AND MOISTURE PROTECTION:**
- 07.1 STANDING SEAM METAL ROOF, DARK BRONZE.
 - 07.2 METAL PANEL, RIBBED, DARK BRONZE.
 - 07.3 RIGID INSULATION, 2" THICK.
 - 07.4 RIGID INSULATION, 3 1/2" THICK.
 - 07.5 TPO MEMBRANE, 60 MIL.
 - 07.6 TPO MEMBRANE, 60 MIL.
 - 07.7 SEALANT AND BACKER ROD.
 - 07.8 AIR & WATER BARRIER BUILDING ENVELOPE, TYVEK® COMMERCIAL WRAP - ALL EXTERIOR SURFACES OF BLDG.
 - 07.9 SYNTHETIC ROOF UNDERLAYMENT.
- 09 FINISHES:**
- 09.1 CULTURED STONE CLADDING - EL DORADO, RUSSET MOUNTAIN LEDGE PANEL OR OWNER APPROVED EQUAL.
 - 09.2 STUCCO FINISH MAIN BODY - MATCH SHERWIN WILLIAMS CUSTOM COLOR (DARK BRONZE) MC-29065.
 - 09.3 STUCCO FINISH PLASTER - MATCH SHERWIN WILLIAMS CUSTOM COLOR (DARKER BROWN) SW-7551.
 - 09.4 CULTURED STONE CAP STONE - MATCH STONE CLADDING.
 - 09.5 FIBERGLASS REINFORCED PANELS.
 - 09.6 GYPSUM WALLBOARD, 5/8" THICK.
 - 09.10 CONCRETE CAPSTONE.
- 10 SPECIALTIES:**
- 10.1 12" X 36" 18 GA. STAINLESS STEEL WALL MOUNT SHELF ROUNDED FRONT EDGE 230 LB CAPACITY - MODEL WS-1236.
 - 10.2 GRAB BAR, STAINLESS STEEL 18"
 - 10.3 GRAB BAR, STAINLESS STEEL 36"
 - 10.4 GRAB BAR, STAINLESS STEEL 42"
 - 10.5 PAPER TOWEL DISPENSER, WALL MOUNT MN: AS10210 INTRA.
 - 10.6 TOILET PAPER DISPENSER
 - 10.7 SOAP DISPENSER, MINI LTX-12 GOJO.
 - 10.8 MIRROR, 18 X 36 WITH STAINLESS STEEL FRAME.
 - 10.9 FIRE EXTINGUISHER, BRACKET MOUNTED 2A:10B:C GENERIC.
 - 10.10 PREMISE IDENTIFICATION, 12" HIGH ALUMINUM NUMBERS. ADDRESS TO BE DETERMINED.



OWNER: KEITH GRIEGO

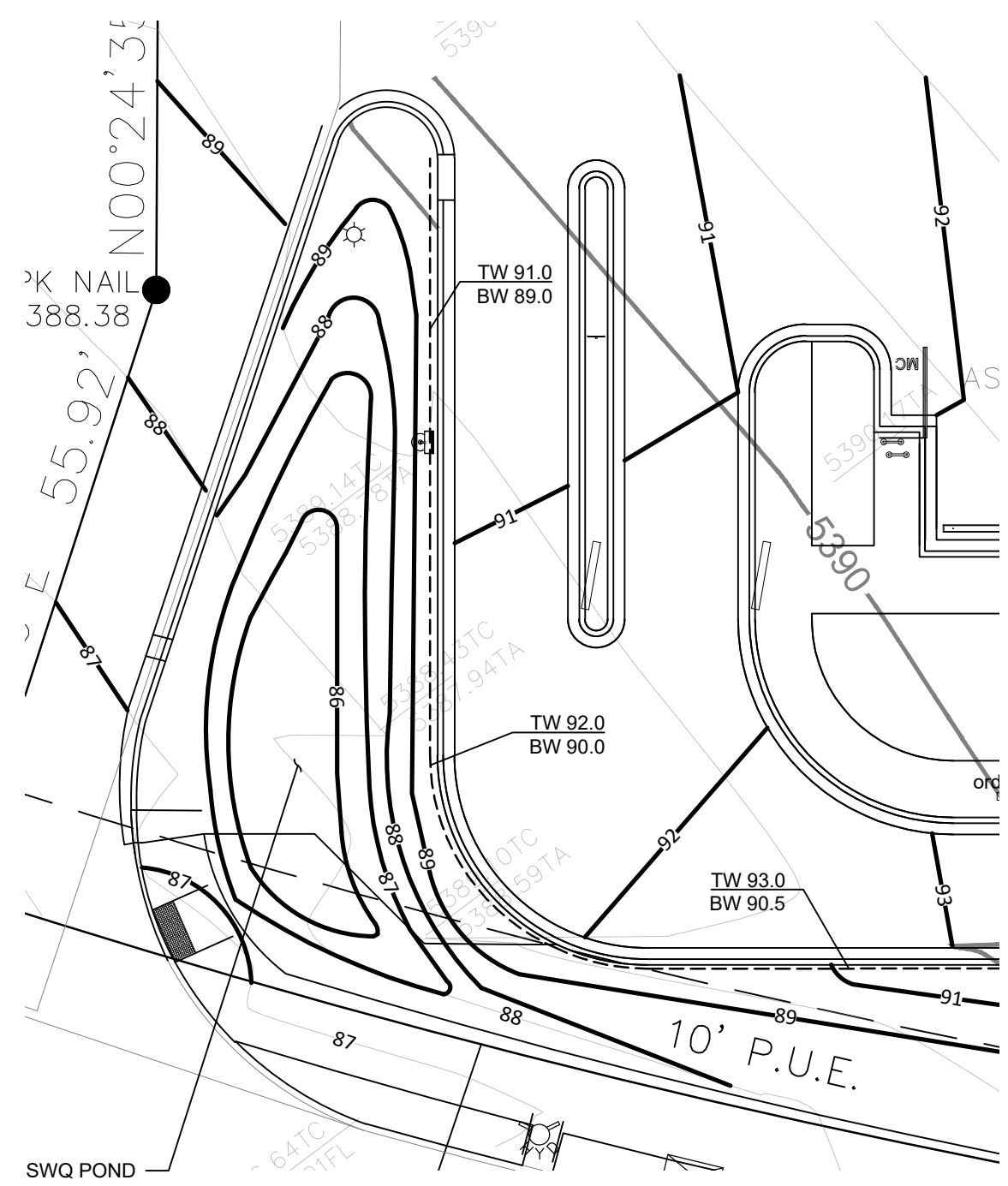
HUMAN BEAN - SAN ANTONIO & WYOMING

EXTERIOR ELEVATIONS & BUILDING SECTIONS

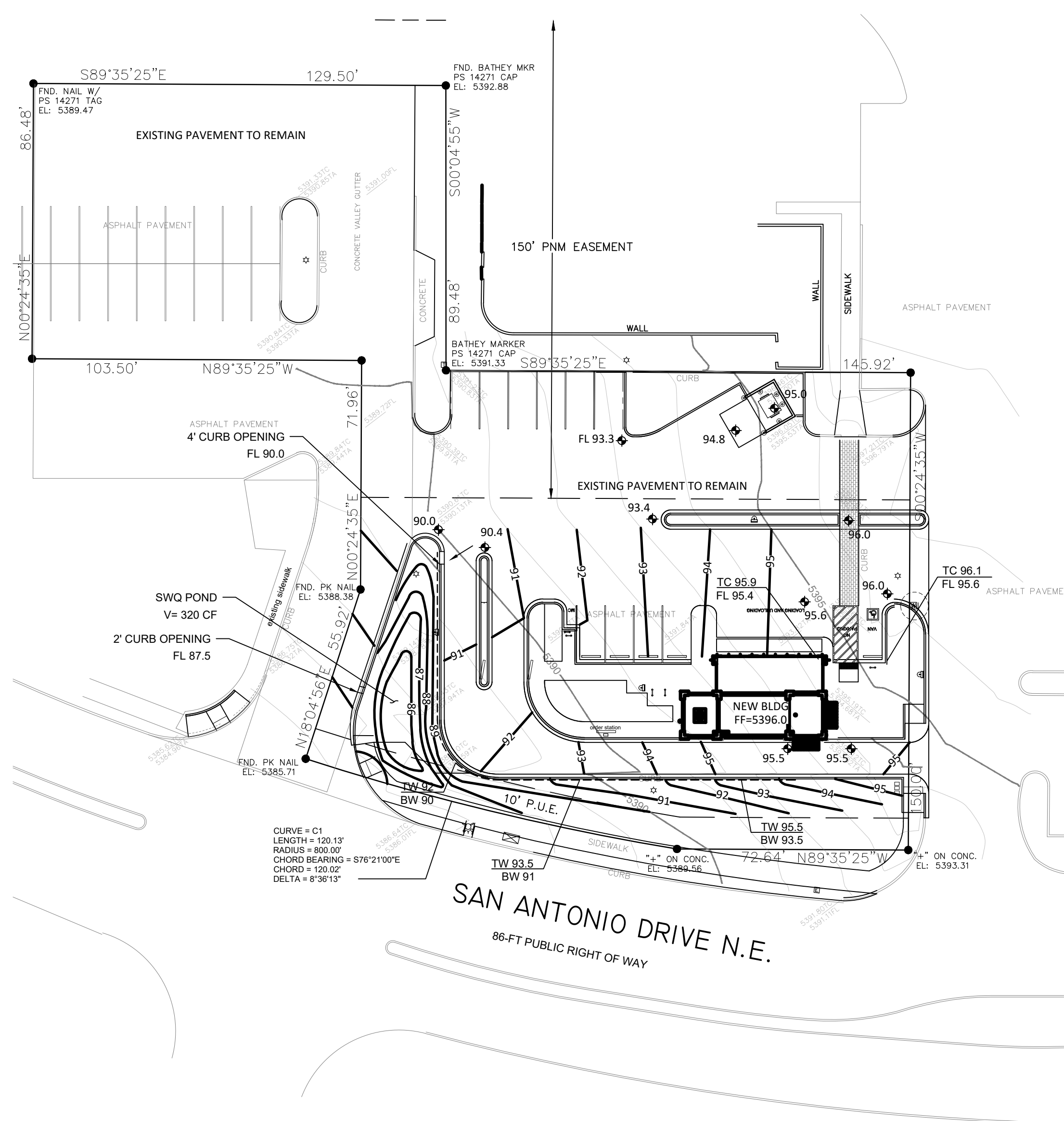
Project Number	Project Number
Date	8-21-2023
Drawn By	J. SANCHEZ
Checked By	K. GRIEGO

DFT2

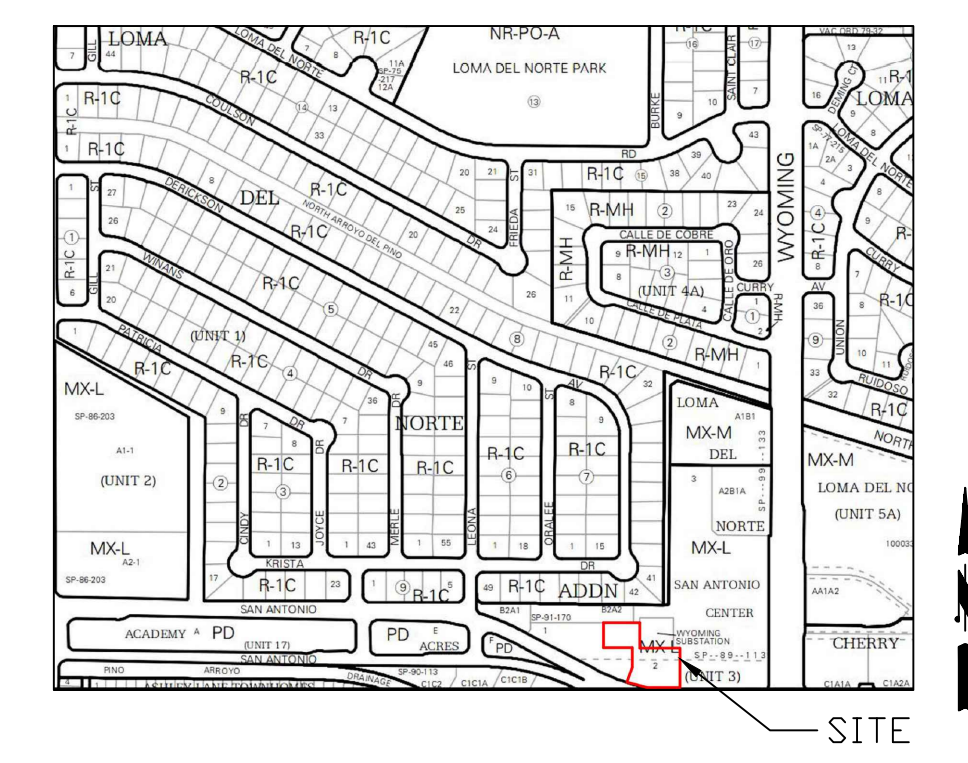
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ENLARGED RETENTION POND AREA
1" = 10'



GRADING AND DRAINAGE PLAN
1" = 20'

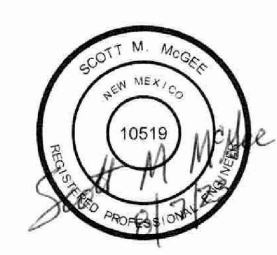


VICINITY MAP D-19-Z

- LEGEND**
- EXISTING CONSTRUCTION
 - - - NEW CONTOUR
 - FF=5396.0 PROPOSED BUILDING FINISHED FLOOR
 - 65.5 NEW SPOT ELEVATION
 - - - NEW CONSTRUCTION
 - RD ROOF DRAIN
 - TC TOP OF CURB
 - FL FLOWLINE
 - - - NEW RETAINING WALL
 - TW 94 TOP OF WALL ELEVATION
 - BW 90 BOTTOM OF WALL ELEVATION

DRAINAGE NARRATIVE

ADDRESS: 7301 San Antonio Drive NE
 LEGAL DESCRIPTION: LOT 2, SAN ANTONIO CENTER
 SITE AREA: 0.84 AC PROJECT AREA: 18,420 SF (0.42 AC)
 BENCHMARK: City of Albuquerque Station '25-E18' being a brass cap. ELEV= 5339.186 (NAVD 1988)
 SURVEYOR: Alpha Pro Surveying LLC dated February 2023
 FLOOD HAZARD: From FEMA Map 35001C0141G (9/26/2008), this site is identified as being within Zone 'X' which is determined to be outside the 0.2% annual chance floodplain.
 OFFSITE FLOW: The site does accept minor offsite flow from existing adjacent paved parking areas to the north and east. The proposed development will continue to accept this minor runoff.
 EXISTING CONDITIONS: The site is currently developed with existing paved access and parking, and landscaped areas. The site slopes down to the southwest at 6 - 7 % and discharges to San Antonio Drive NE.
 PROPOSED IMPROVEMENTS: The proposed improvements include a 640 SF building, drive through lane, concrete sidewalks, and landscaping. This building will be located where existing asphalt paving was previously.
 DRAINAGE APPROACH: The site drainage pattern will direct developed flow from the new impervious surfaces to the onsite SWQ retention pond.
 Existing land treatment: 8% C and 92% D PRECIPITATION ZONE: 3
 Q₁ = [(0.33)(3.17)+(87)(4.49)](0.42) = 1.8 CFS
 Proposed land treatment: 21% C and 79% D
 Q₂ = [(0.21)(3.17)+(0.79)(4.49)](0.42) = 1.8 CFS
 Redevelopment SWQ V = (14,100)(0.26/12) = 305 CF
 This flow will discharge to an onsite retention ponding area located at the SW corner of the site. The SWQ volume of 320 CF shall be retained in the onsite bottom and the site discharge will remain unchanged.



No.	Description	Date

OWNER: KEITH GRIEGO

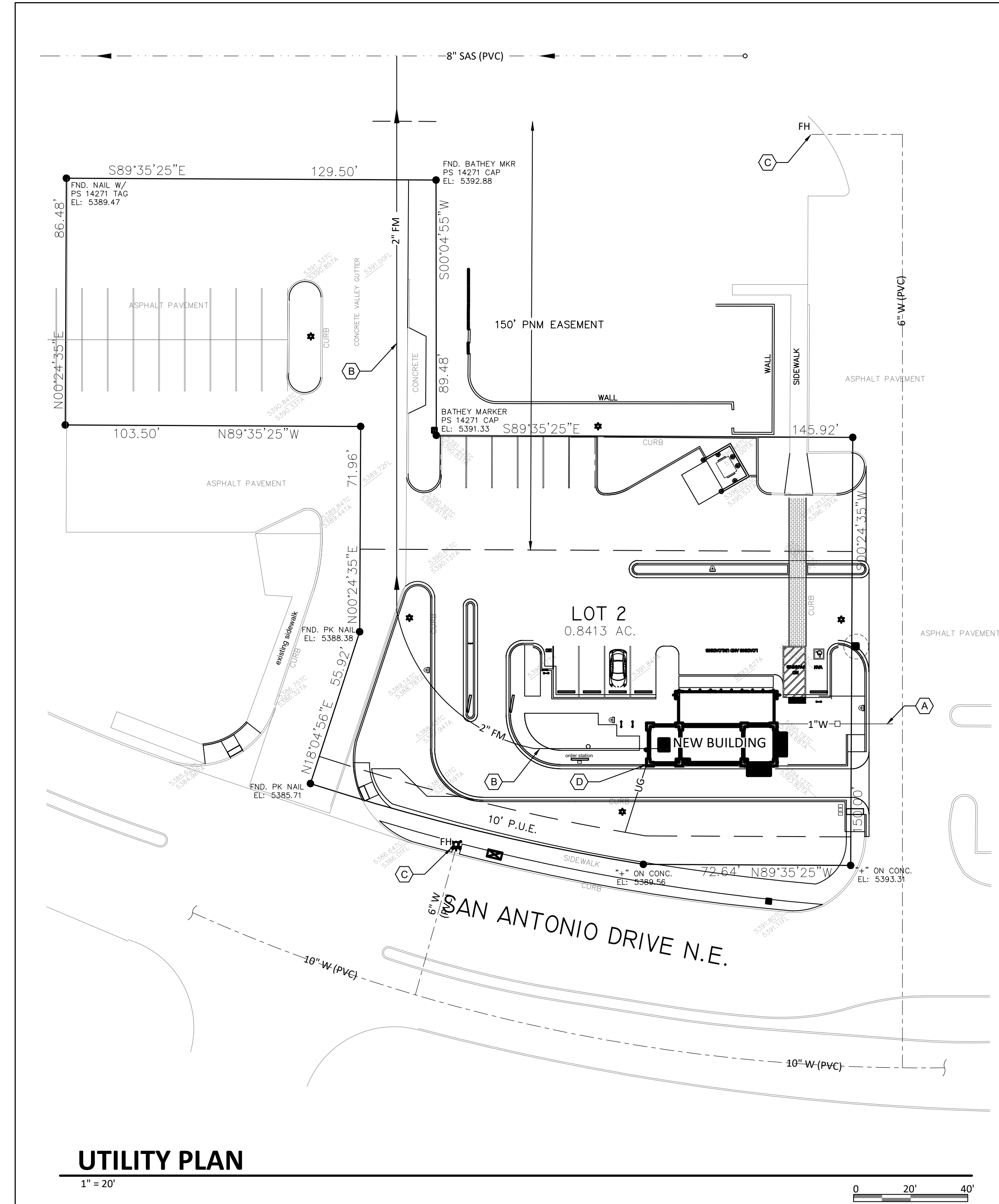
HUMAN BEAN - SAN ANTONIO & WYOMING

GRADING AND DRAINAGE

Project Number	Project Number
Date	06-29-2023
Drawn By	Author
Checked By	Checker

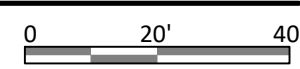
GDO

Scale 1" = 20'-0"



UTILITY PLAN

1" = 20'



GENERAL NOTES

xxx

KEYED NOTES

- A. NEW 1" WATER SERVICE FROM EXISTING 6" MAIN TO BUILDING AS SHOWN.
- B. NEW DUPLEX PUMP STATION WITH TWO ZOELLER 807 GRINDER PUMPS IN A 30"x36" BASIN WITH 108 GALLON CAPACITY. INSTALL NEW 2" PVC FORCE MAIN (MIN. 24" COVER WITH CHECK VALVE 5' FROM PUMP STATION) FROM PUMP BASIN AND CONNECT WITH 4" TAP TO EXISTING 8" PUBLIC SEWER MAIN AS SHOWN.
- C. EXISTING PUBLIC FIRE HYDRANT TO REMAIN.

LEGEND

- W--- EXISTING WATER LINE
- SAS--- EXISTING SEWER LINE
- SAS--- NEW SEWER LINE
- 2" FM--- FORCE MAIN
- W--- NEW WATER LINE
- UG--- UNDERGROUND GAS
- FH FIRE HYDRANT
- CO CLEAN OUT

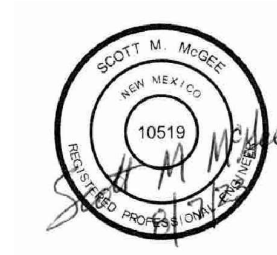
No.	Description	Date

OWNER: KEITH GRIEGO
 HUMAN BEAN COFFEE SHOP
 7301 SAN ANTONIO DR NE

UTILITY PLAN

Project Number _____ Project Number _____
 Date 06-29-2023
 Drawn By _____ Author _____
 Checked By _____ Checker _____

Scale **U1** 1" = 20'-0"



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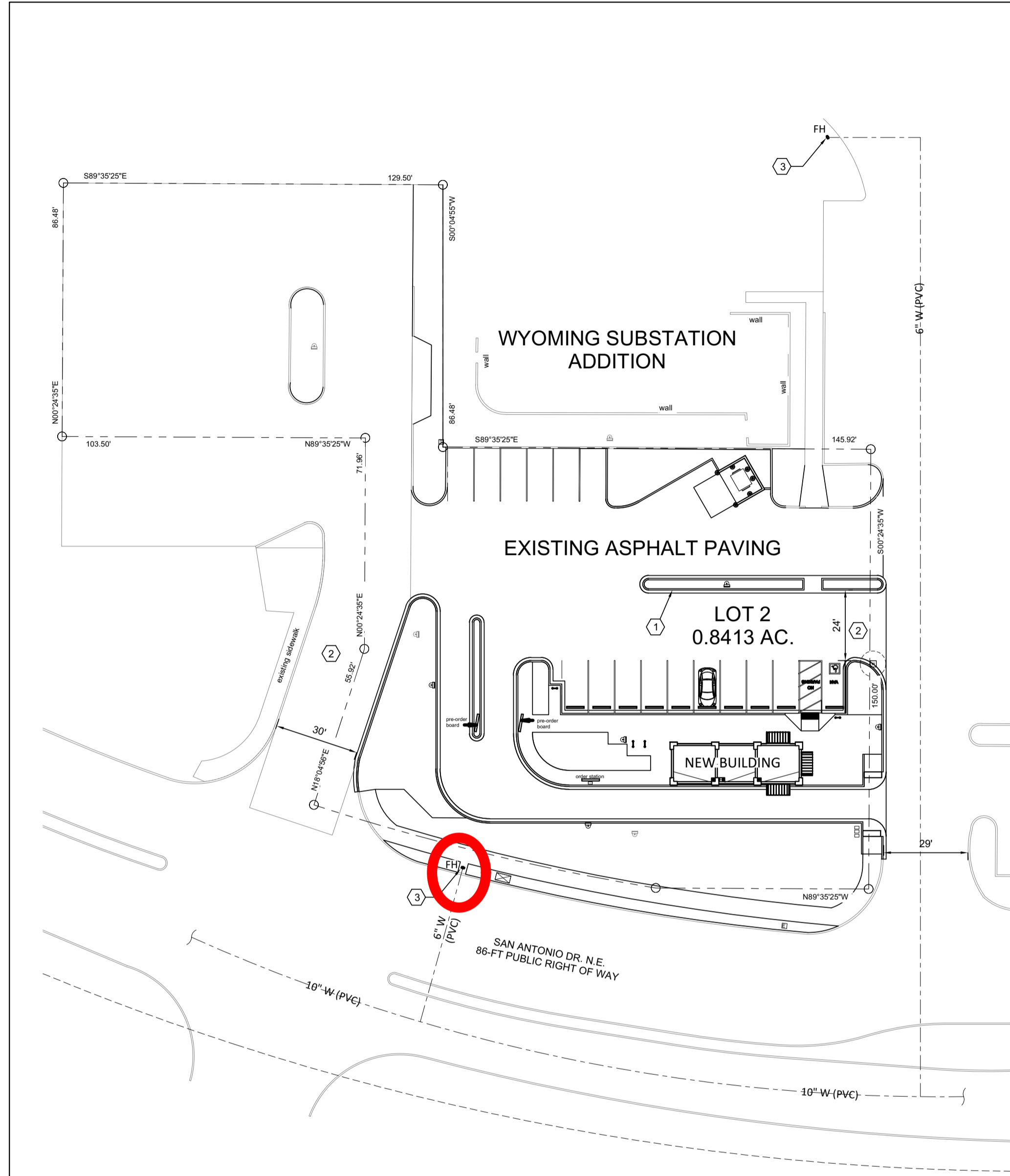


ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION

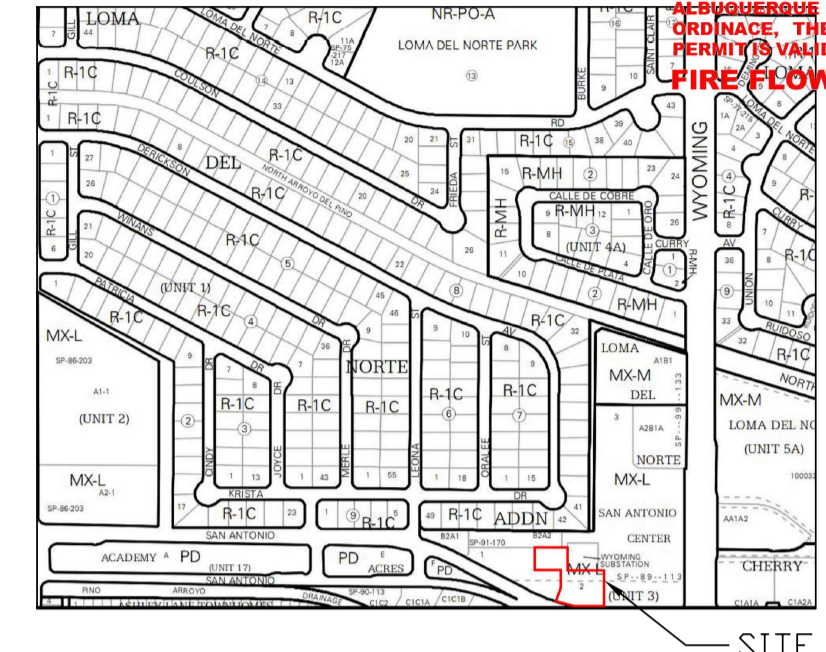
PERMIT
PERMIT NUMBER: FP-23-013736
APPROVED DATE: 03/31/23

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 1500 GPM 1 FH



SITE CIVIL - FIRE 1 PLAN
1" = 20'-0"



VICINITY MAP D-19-Z

GENERAL NOTES
THE PROPOSED BUILDING IS 630 SF TYPE V-B CONSTRUCTION. THE REQUIRED FIRE FLOW IS FF=1,500 GPM WITH NO BUILDING SPRINKLER SYSTEM

- KEYED NOTES**
- ALL DRIVE AISLE CURBS TO BE PAINTED RED AND MARKED 'NO PARKING FIRE LANE'.
 - ACCESS ROAD: 24'-WIDE DRIVE AISLE SHALL BE 4" ASPHALT PAVEMENT OVER 6" COMPACTED BASE COURSE ENGINEERED TO SUPPORT THE LOAD OF FIRE APPARATUS WEIGHING 75,000 POUNDS. DRIVE SHALL NOT EXCEED 10% GRADE.
 - EXISTING FIRE HYDRANT

LEGEND

---	-W-	EXISTING WATER LINE
FH		FIRE HYDRANT

No.	Description	Date

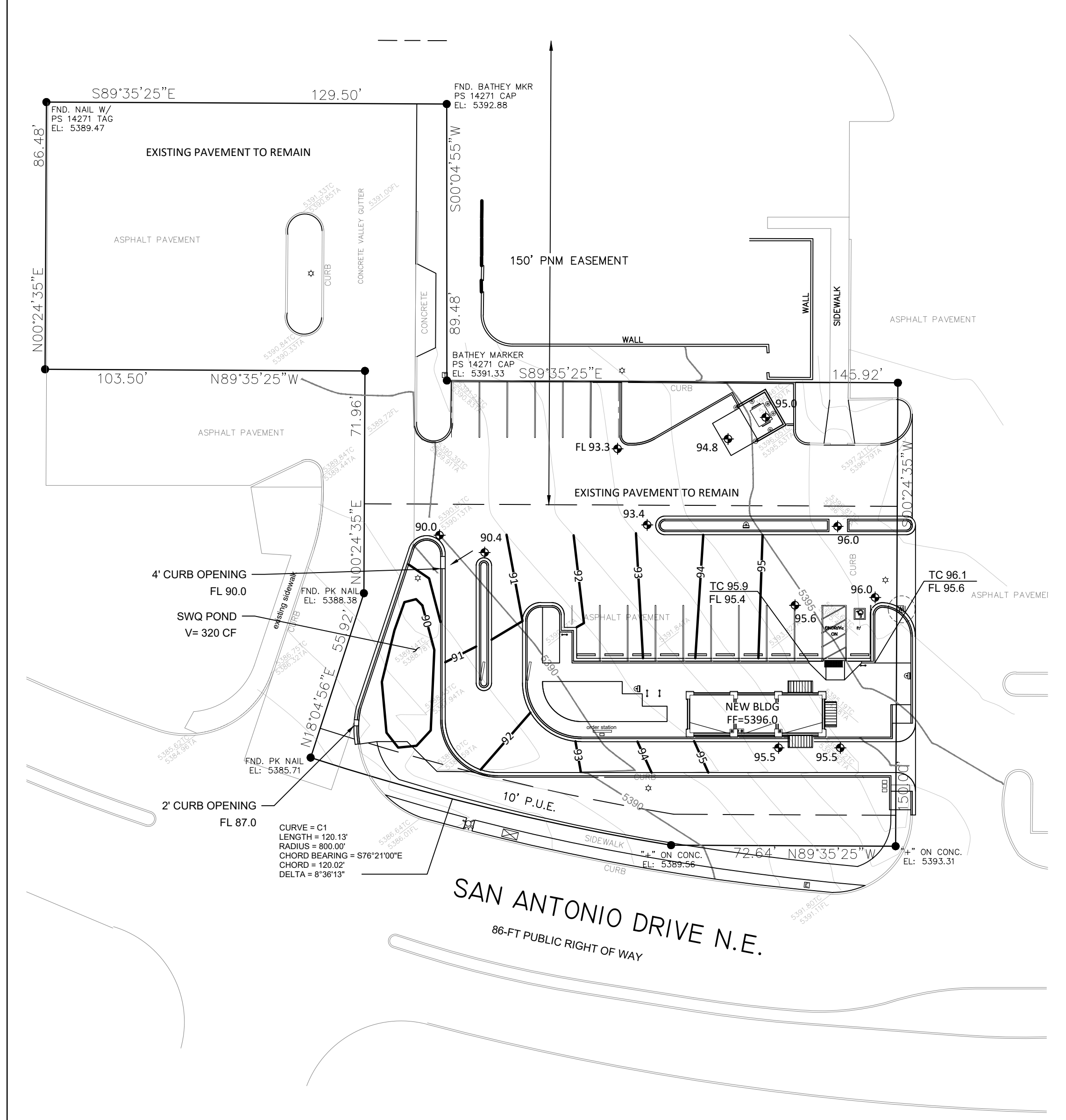
OWNER: KEITH GRIEGO
HUMAN BEAN COFFEE SHOP
7301 SAN ANTONIO DR NE

FIRE 1 PLAN

Project Number	Project Number
Date	3-14-2023
Drawn By	Author
Checked By	Checker

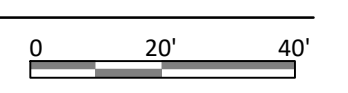
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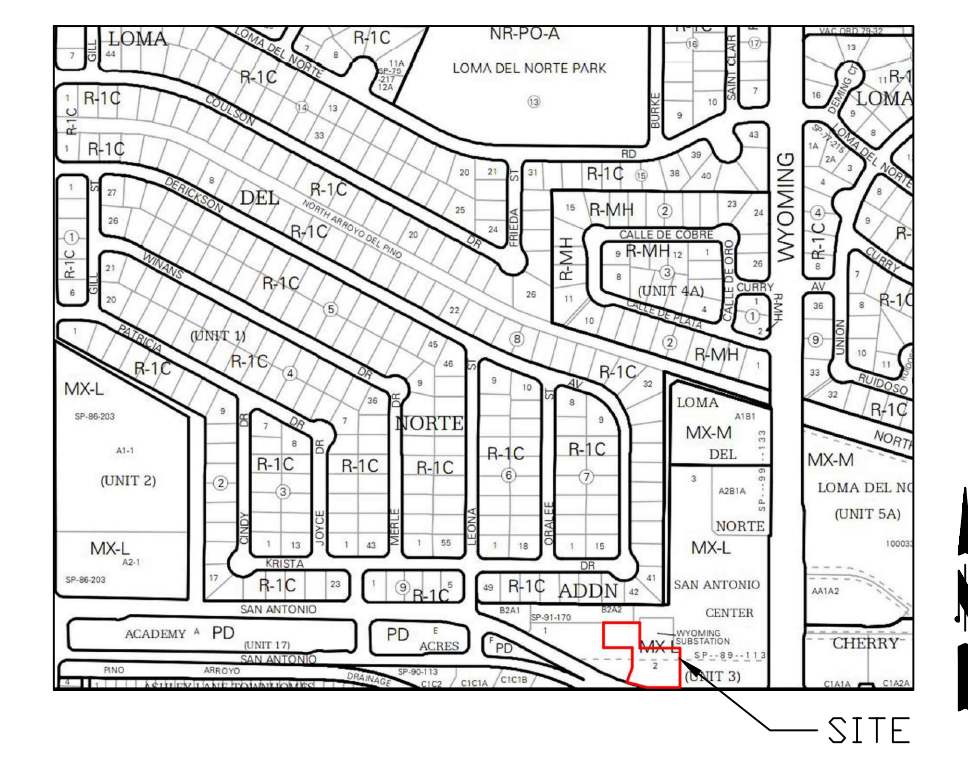


CONCEPTUAL GRADING AND DRAINAGE PLAN

1" = 20'



City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 05/23/23
 BY: *Roger C. Benvenuto*
 Hydro/Trns # E19D025B2
 THESE PLANS AND/OR REPORT ARE
 CONCEPTUAL ONLY. MORE INFORMATION MAY
 BE NEEDED IN THEM AND SUBMITTED TO
 HYDROLOGY FOR BUILDING PERMIT APPROVAL.



VICINITY MAP **D-19-Z**

LEGEND

- EXISTING CONSTRUCTION
- NEW CONTOUR
- FF=5396.0 PROPOSED BUILDING FINISHED FLOOR
- ◆ 65.5 NEW SPOT ELEVATION
- NEW CONSTRUCTION
- RD ROOF DRAIN
- TC TOP OF CURB
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ELEV= 5339.186 (NAVD 1988)

SURVEYOR: Alpha Pro Surveying LLC dated February 2023

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 Proposed land treatment: 21% C and 79% D
 $Q = [(0.21)(3.17) + (0.79)(4.49)](0.42) = 1.8 \text{ CFS}$
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No.	Description	Date

OWNER: KEITH GRIEGO

HUMAN BEAN - SAN ANTONIO & WYOMING

CONCEPTUAL GRADING AND DRAINAGE

Project Number Project Number

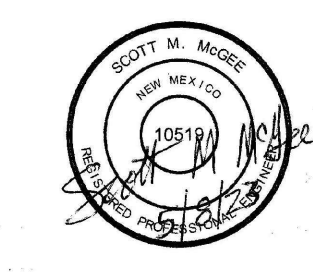
Date 3-14-2023

Drawn By Author

Checked By Checker

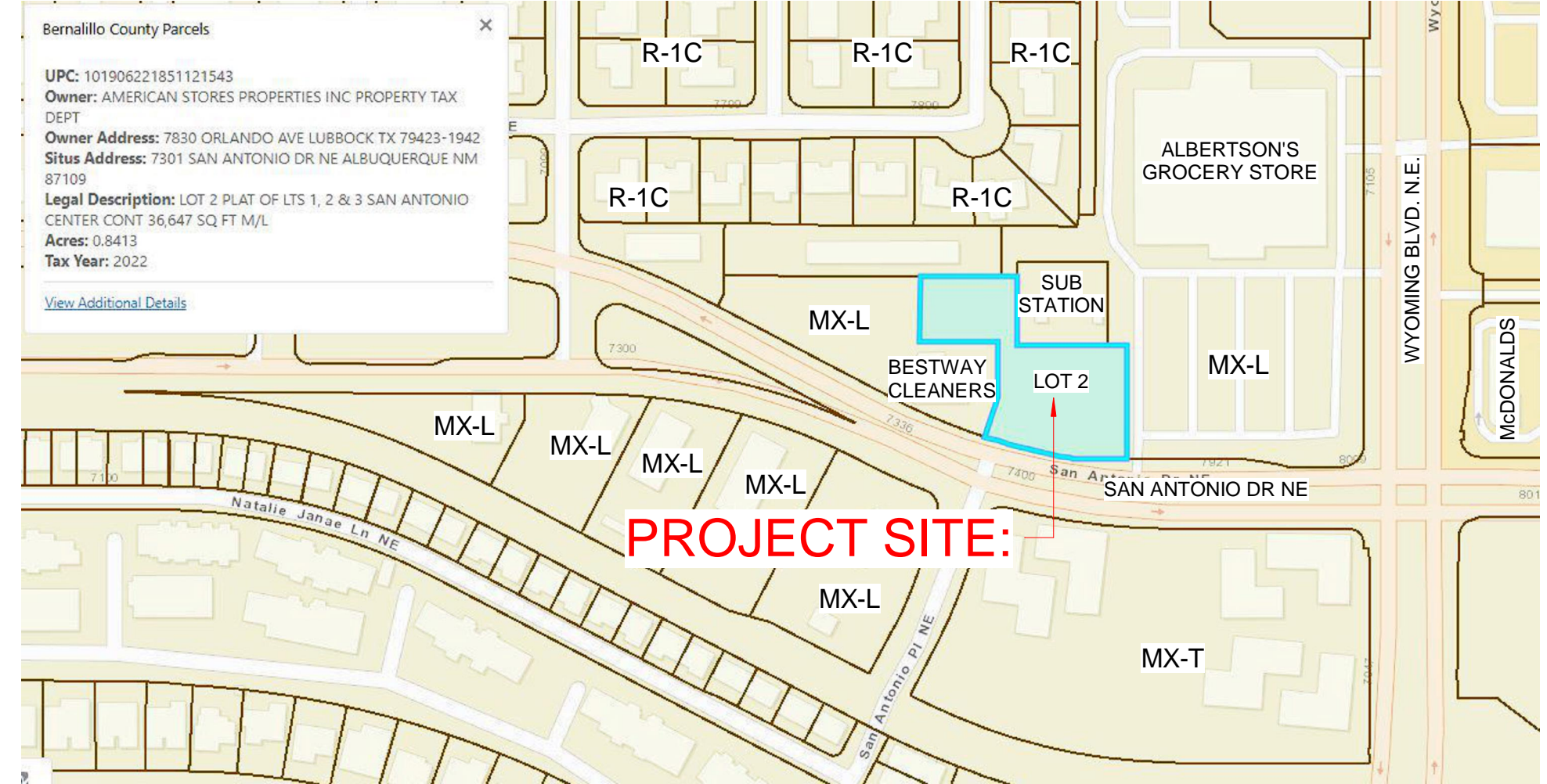
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Scale 1" = 20'-0"

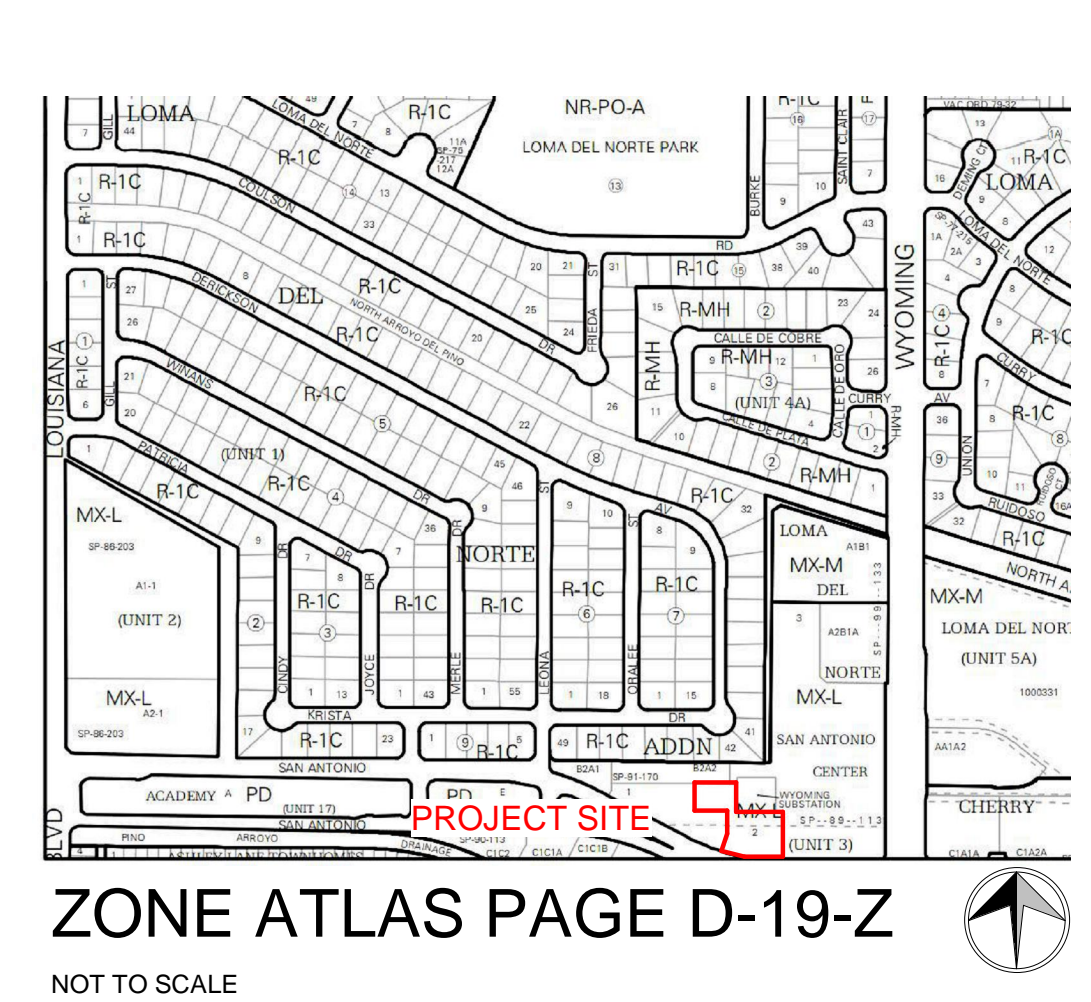


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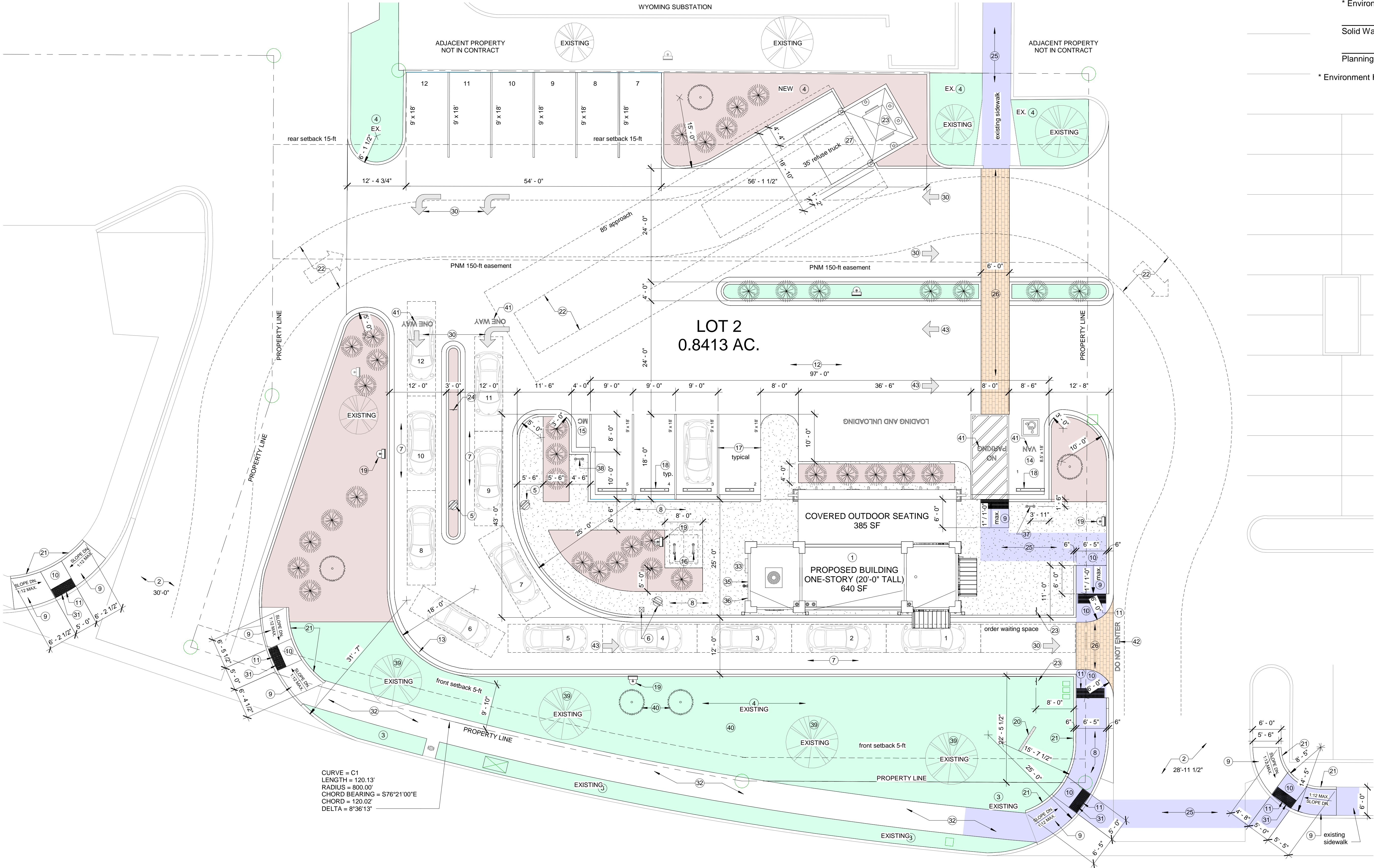
USE	IDO PARKING REQUIREMENT	GFA	REQUIRED SPACES
Restaurant	8 spaces / 1000 sq. ft.	640	5.12
Outdoor Seating	3 spaces / 1000 sq. ft.	385	1.155
TOTAL REQUIRED OFF-STREET PARKING:			7
TOTAL PROVIDED OFF-STREET PARKING:			12
NMBC Table 1106.1 - Number of Accessible Parking Spaces			1
Number of Van Accessible Parking Spaces (IBC 1106.3)			1
Number of Motorcycle Parking Requirements			1
Number of Bicycle Parking Requirements			2-25
Non-residential uses not listed in this table: 3 spaces or 10% of required off-street parking spaces, whichever			3



VICINITY MAP
1" = 200'-0"



ZONE ATLAS PAGE D-19-Z
NOT TO SCALE



CURVE = C1
LENGTH = 120.13'
RADIUS = 400.00'
CHORD BEARING = S76°21'00"E
CHORD = 120.02'
DELTA = 8°36'13"

SAN ANTONIO DR. N.E.
86-FT PUBLIC RIGHT OF WAY

TRAFFIC CIRCULATION LAYOUT APPROVED
Ernest Arriaga 6/26/2023
Signed Date

PROJECT NUMBER: _____

Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date _____
ABCWUA	Date _____
Parks and Recreation Department	Date _____
Hydrology	Date _____
Code Enforcement	Date _____
* Environmental Health Department (conditional)	Date _____
Solid Waste Management	Date _____
Planning Department	Date _____
* Environment Health, if necessary	Date _____

PROJECT ADDRESS:

7101 San Antonio Drive N.E.
Albuquerque, NM 87109
Bernalillo County, New Mexico

LEGAL DESCRIPTION:

Lot numbered Two (2) as shown on the Plat of Lots 1, 2, & 3, SAN ANTONIO CENTER, Albuquerque, New Mexico as the same is shown and designated on said plat, filed in the Office of the County Clerk of Bernalillo County, New Mexico on April 24, 1989 in BK. C39, Pg. 16.

UPC: 1-019-062-218-511-21543

CURRENT OWNER: American Stores Properties, Inc.
OWNER ADDRESS: 7830 Orlando Ave. Lubbock, TX 79423
SITUS ADDRESS: 7301 San Antonio Dr NE, Albuquerque, NM 87109

ZONING:

Zoning Map: D-19-Z
IDO Zone District: MX-L
IDO District Definition: Mixed-use Zone District
IDO Category: Non-Residential
Proposed Permissible Uses: Restaurant
Total Site Area: 0.8413 acres / 36,644 SF

BUILDING ON LOT:

Minimum front yard setback = 5 feet
Actual Front "South" Setback depth is 35'-5 1/2"
Minimum side yard depth = 0 feet
Actual Side yard "East" depth is 25'-4"
Actual Side yard "West" depth is 107'-8 1/2"
Minimum rear yard depth = 15 feet
Actual Rear yard "North" is 101'-1 1/2"
Building Coverage Maximum = 50%
Building 640 GSF = 0.01469 acres
Site: 36,644 GSF = 0.8413 acres
1.75% Actual Building Coverage

TRAFFIC CIRCULATION:

Quantity (2) two-way traffic ingress/egress site entrances from San Antonio Drive NE.

ARE AS FOLLOWS:

CODES AND STANDARDS:

This project shall be in accordance with the following Building Codes including all local amendments:

- 2015 New Mexico Mechanical Code; including Appendices A, B, C, and D
- 2015 New Mexico Plumbing Code; including Appendices A, B, D, E, F, I, and L
- 2018 International Energy Conservation Code
- 2015 New Mexico Commercial Building Code including Appendix Chapters H, J, K, M, R, and S; but not including Appendix Chapters A, B, C, D, E, F, G, I, L, N, O, P, and Q
- 2015 International Code Council Performance Code for Buildings and Facilities, including all Appendix Chapters as published by the International Code Council
- 2015 International Building Code
- 2015 International Mechanical Code
- 2015 International Plumbing Code
- 2015 International Fire Code
- 2015 International Energy Conservation Code
- 2017 New Mexico Electrical Code
- 2012 New Mexico Electrical Safety Code

Errata sheets to the adopted portions of Codes promulgated by the International Code Council, International Association of Plumbing and Mechanical Officials and National Electrical Code

ARE AS FOLLOWS:

OTHER GUIDELINES, REGULATIONS & STANDARDS
Americans with Disabilities Act Accessibility Guidelines (ADAAG)

2015 INTERNATIONAL FIRE CODE:

CHAPTER 5 FIRE SERVICE FEATURES
SECTION 503 FIRE APPARATUS ACCESS ROADS
503.1.1. Approved fire apparatus access roads shall be provided for every facility, building or portion of building...and shall extend to within 150 feet of all portions of the facility.
503.2.1. Dimensions. Unobstructed width of not less than 20 feet and unobstructed vertical clearance of not less than 13 feet 6 inches
503.2.4. Turning radius. The required turning radius of a fire apparatus access road shall be determined by the fire code official
SECTION 506 KEY BOXES
506.1 - 506.2. Provide approved type Key Box as required by the fire code official.

APPENDIX J - BUILDING INFORMATION SIGN:

See Figure J101.1.3
Top Wing: "V6"
Right Wing: "NS"
Bottom Wing: "B"
Left Wing: "LH"
Center Circle: "TC" or designation as defined by Albuquerque Fire Dept.

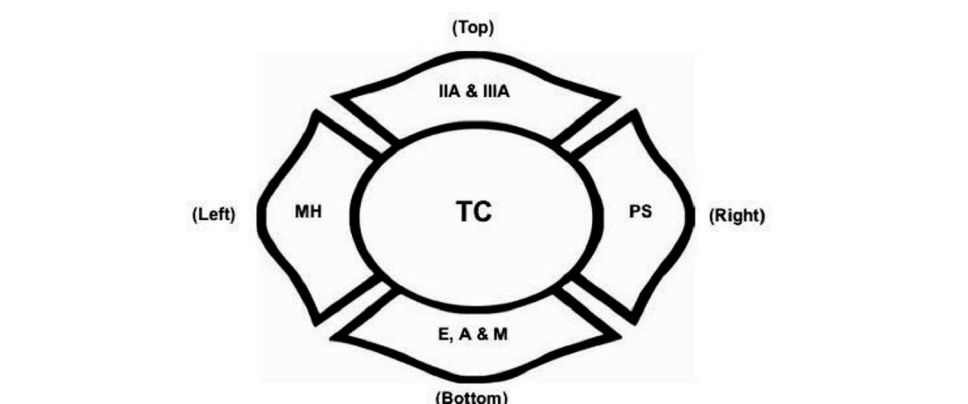


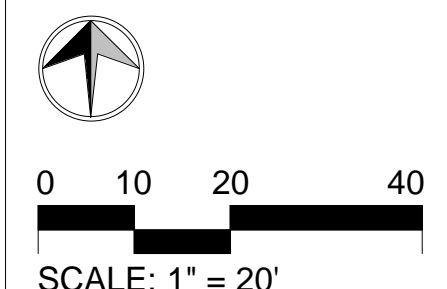
FIGURE J101.1.3 EXAMPLE OF COMPLETED BUILDING INFORMATION SIGN

Keyed Notes:

- Proposed building structure.
- Private ingress / egress location, width of drive aisle as indicated.
- Buffer landscaping.
- Landscaping.
- Menu display board, see detail 9 / TCL1.
- Menu display board with speaker / microphone ordering station.
- Drive-through lanes - asphaltic concrete.
- New concrete sidewalk, max. cross slope 1:50.
- ADA concrete ramp, slope 1:12 maximum, heavy broom finish.
- Concrete landing, 1:50 max. cross slope.
- Detectable warning with truncated domes (2-ft x width of ramp), safety yellow.
- New asphaltic concrete drive apron.
- Concrete curb and gutter, see detail 2 / TCL1.
- ADA van accessible parking space with universal accessibility symbol.
- Motorcycle parking space.
- Bicycle parking rack (typ. of 2), see detail 14 / TCL1.
- Pavement markings "white".
- 6" long pre-cast concrete parking stop, centered in parking space, set 24" from sidewalk edge.
- Pole light, 20' tall. Final location(s) determined by lighting consultant or electrical engineer, see detail 15 / TCL1.
- Monument sign (4'-4" high x 6'-0" wide), integral color "brown" CMU with text "the HUMAN BEAN" and logo, see detail 6a / TCL1.
- Header curb, integral with ramp and / or landing, see CABQ dwg. 2415C.
- Refuse truck maneuvering and circulation route (40-ft inside, 52-ft outside radius).
- Traffic sign, "ONE WAY DO NOT ENTER", see detail 8 TCL1.
- Traffic sign, "DRIVE THRU ENTRY", see detail 8 TCL1.
- ADA pedestrian access to site (6-ft wide) - shaded "blue".
- Integral color textured concrete - brick paver pattern, color "Terra Cota".
- Refuse container concrete pad with drain, apron, bollards and gate. See enlarged plan and details on TCL1.
- Pipe bollard, painted traffic yellow (6" x 7'-0" high).
- Pipe bollard, painted traffic yellow (6" x 4'-6" high).
- Pavement markings, see detail 7 / TCL1.
- New corner access ramp per CABQ dwg. 2441.
- Existing concrete sidewalk. Replace any and all broken or cracked sidewalks, see General Note B.
- Electrical metering equipment.
- Flared sides, 1:10 maximum slope.
- Building information sign per IFC 2015 Appendix J. See G0 2015 International Fire Code notes.
- Provide "Knox-box" brand key box.
<https://www.knoxbox.com/Products/Commercial-KnoxBoxes>.
- Van accessible parking sign, see detail 12 / TCL1.
- Motorcycle parking sign, see detail 12 / TCL1.
- Existing "mature" tree, see Landscaping Plan.
- New "screening" tree, see Landscaping Plan.
- Pavement marking, 12" high lettering, text as shown, "white" fast dry waterborne traffic marking paint.
- Pavement marking, 12" high lettering, text as shown, "red" fast dry waterborne traffic marking paint.

General Notes:

- ALL ADA RAMP SHALL HAVE A RUNNING SLOPE NOT TO EXCEED 1:12
- ALL RAMP, SIDEWALKS AND LANDINGS SHALL HAVE A CROSS SLOPE NOT TO EXCEED 1:50
- ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. CONFORM TO CABO SIDEWALK DRG. 2720 AND CURB & GUTTER DWG. 2415A.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



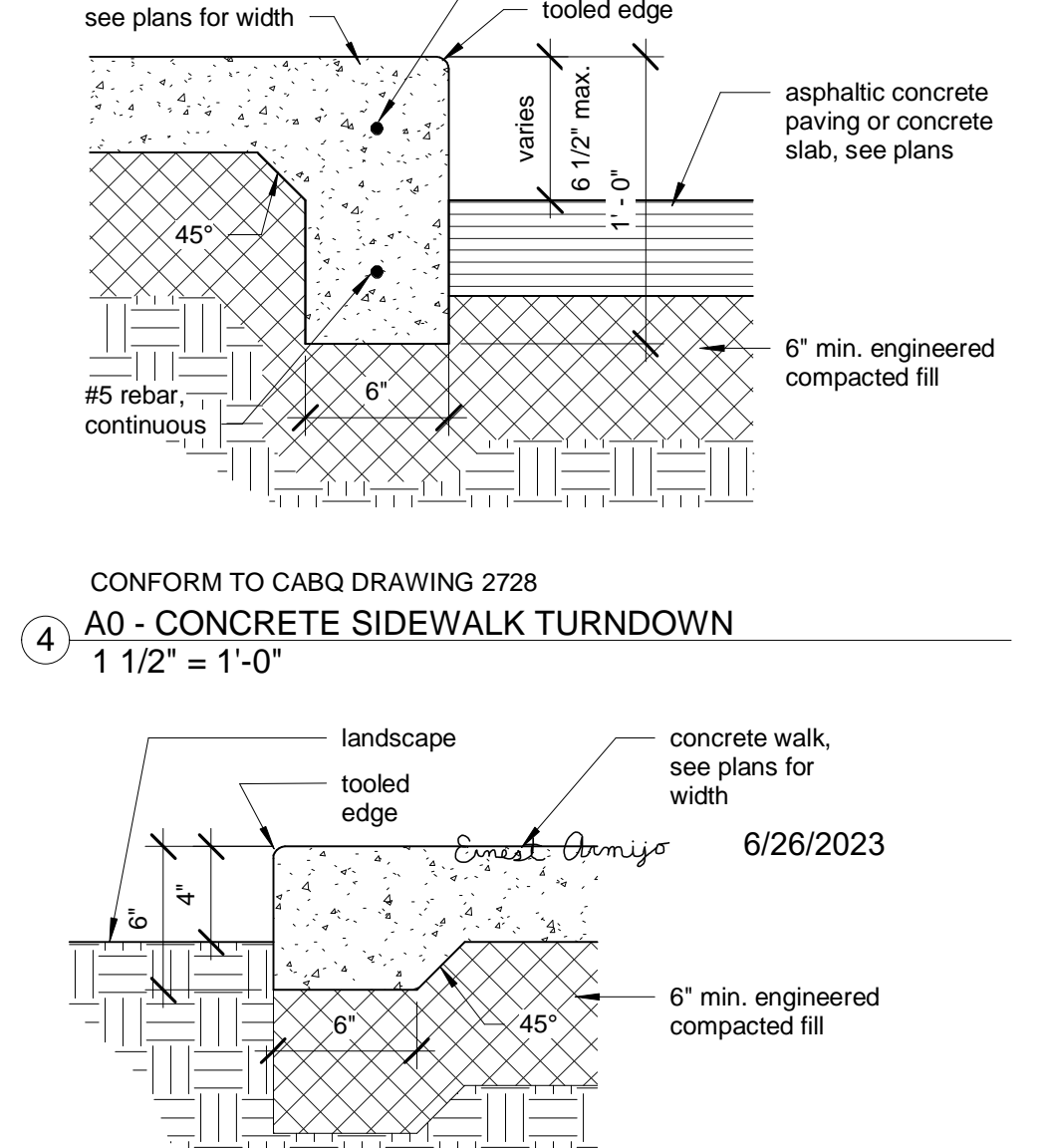
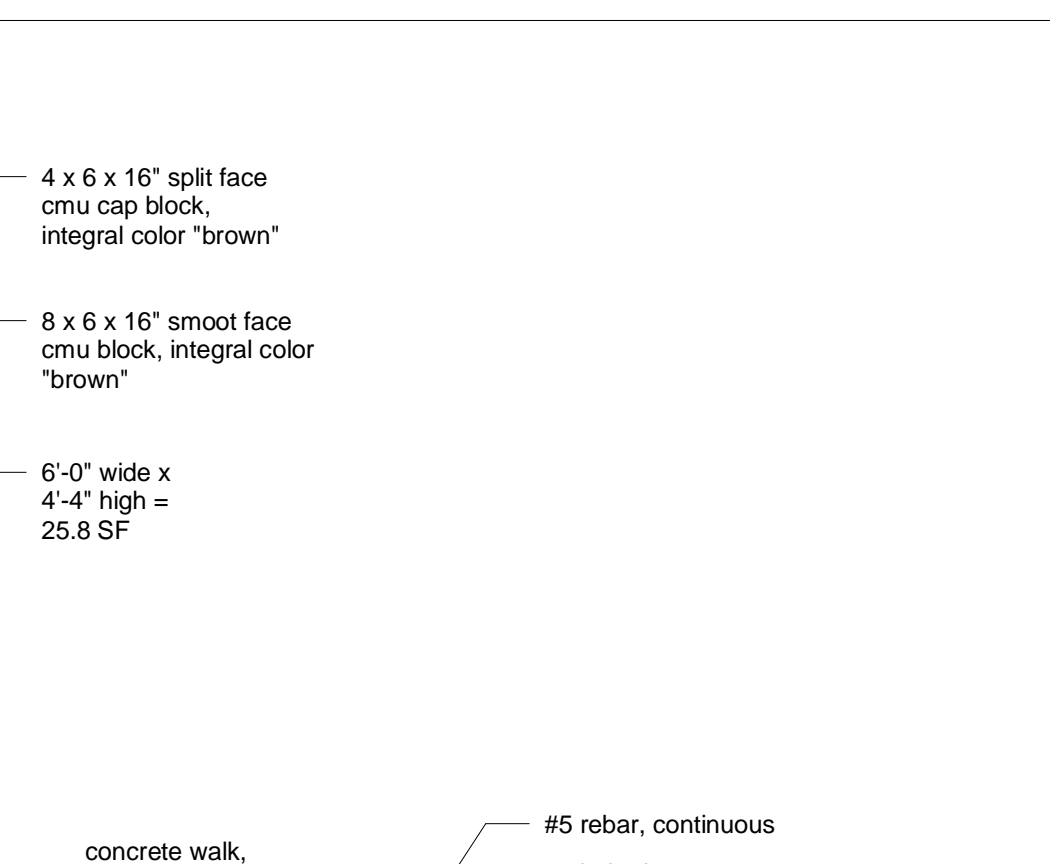
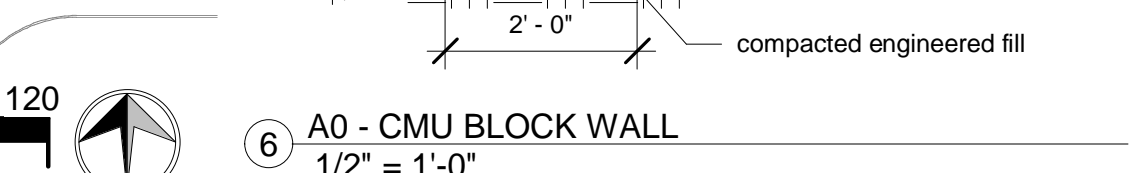
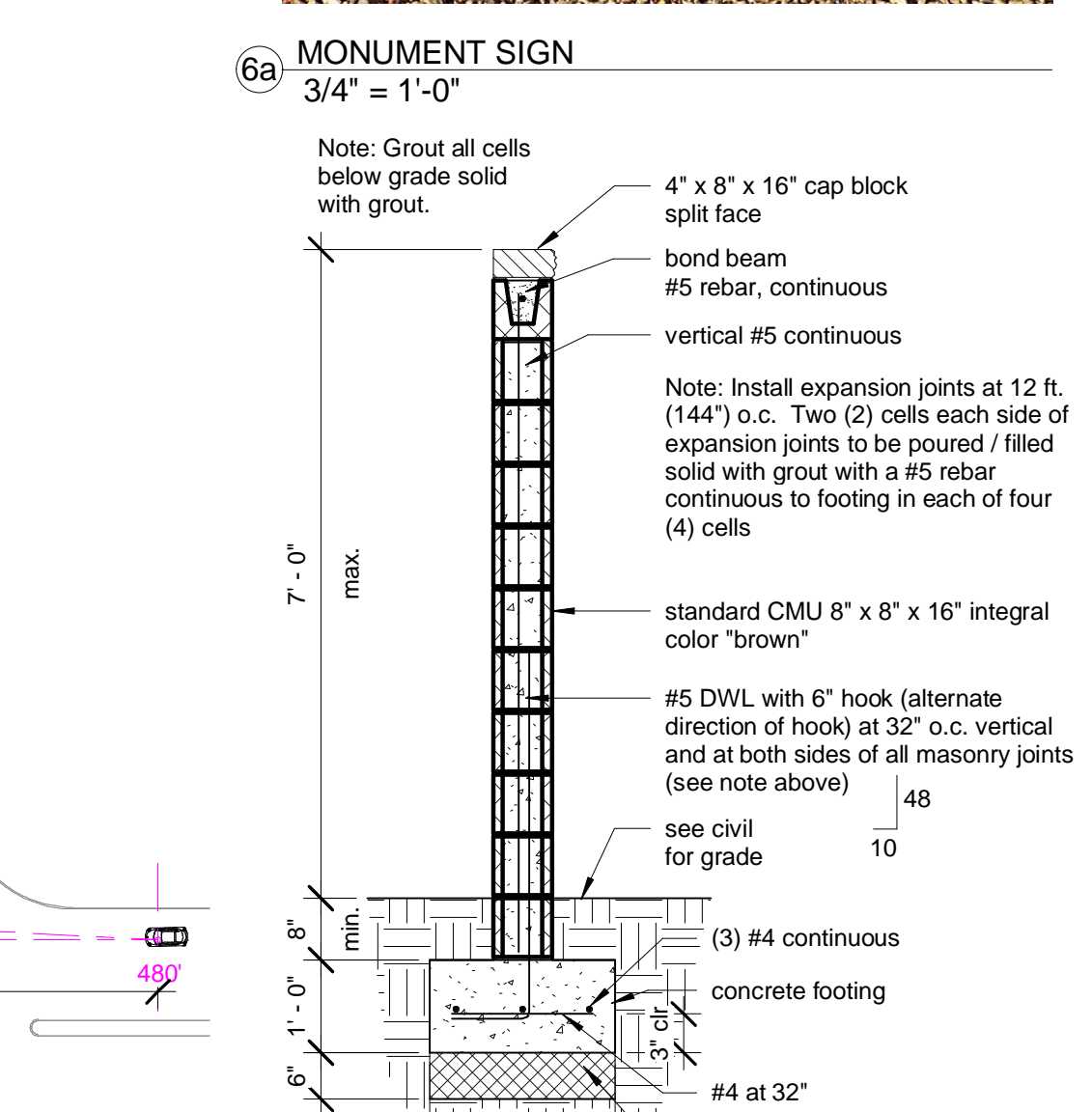
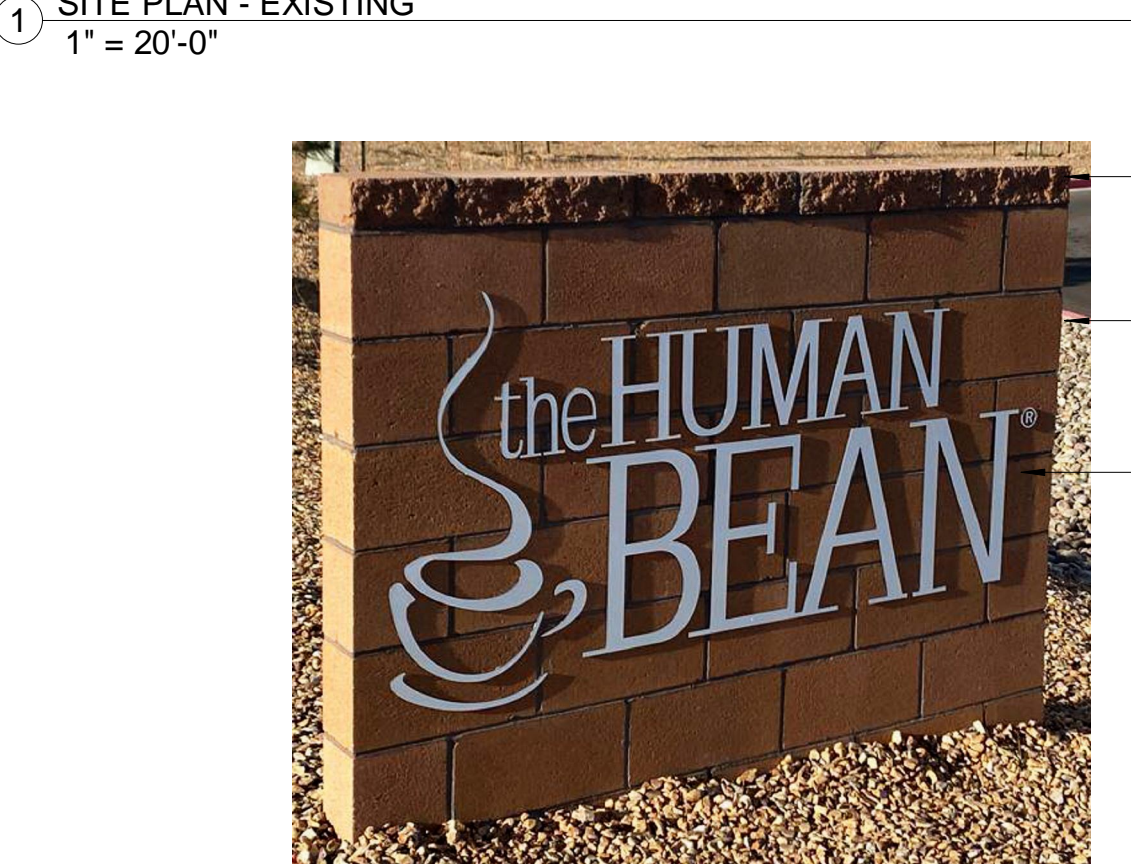
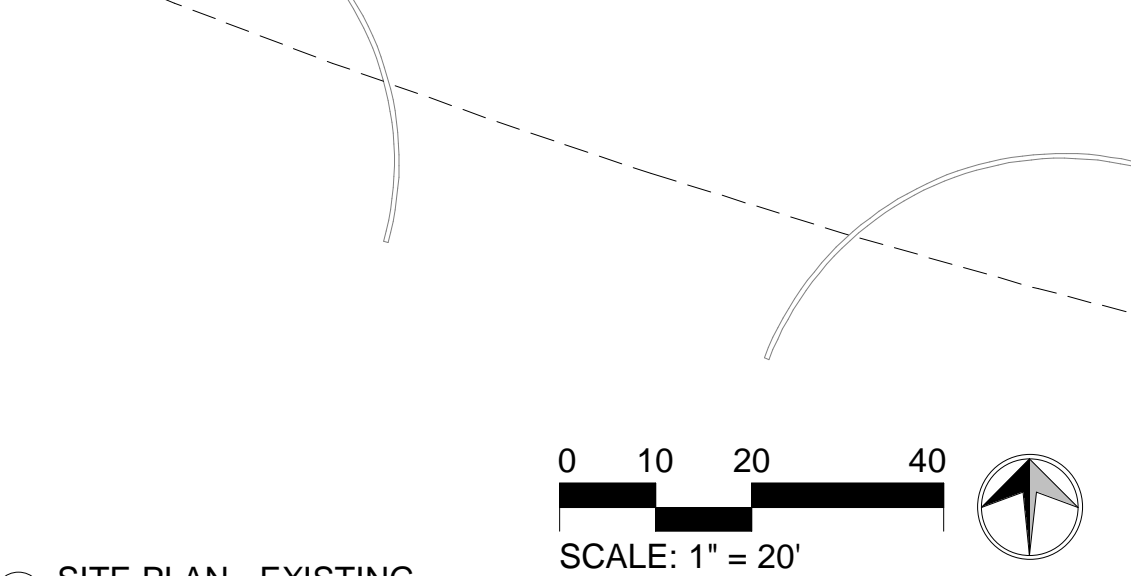
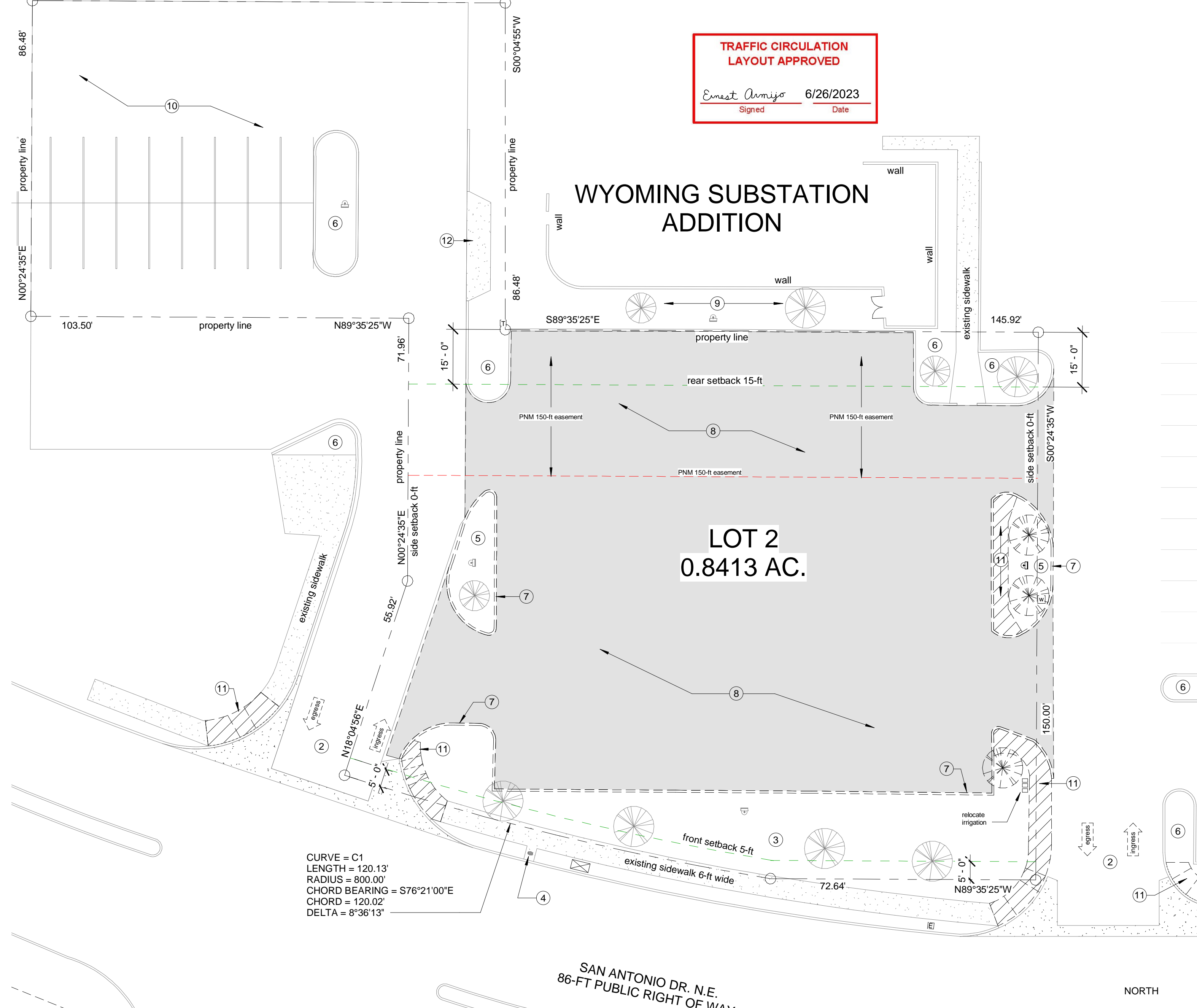
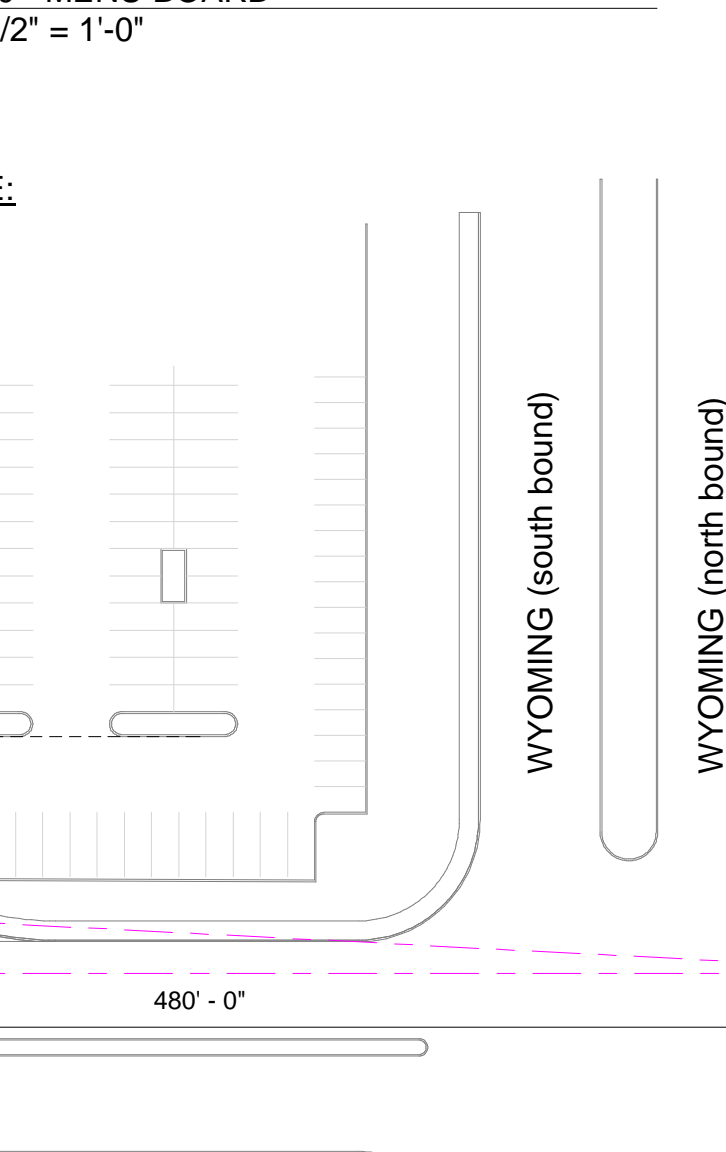
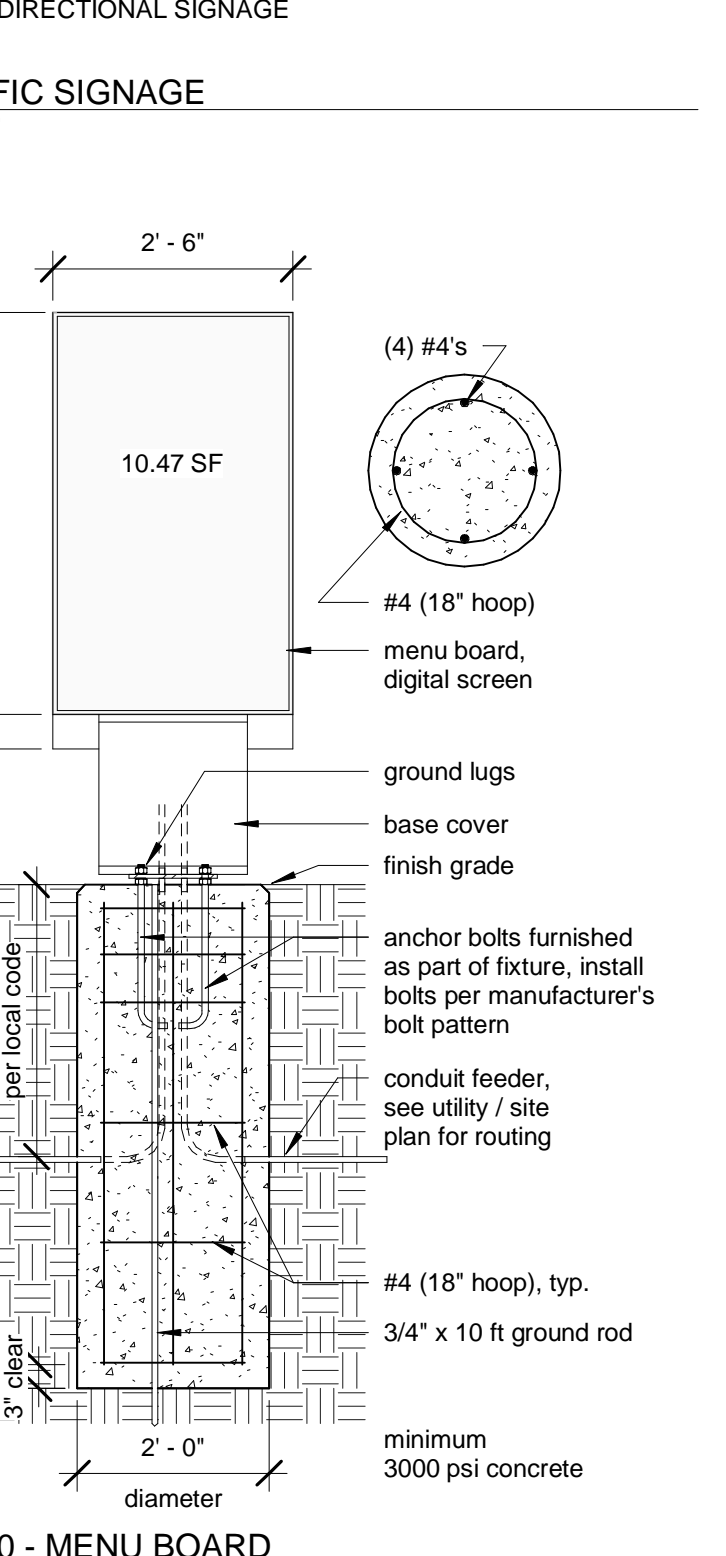
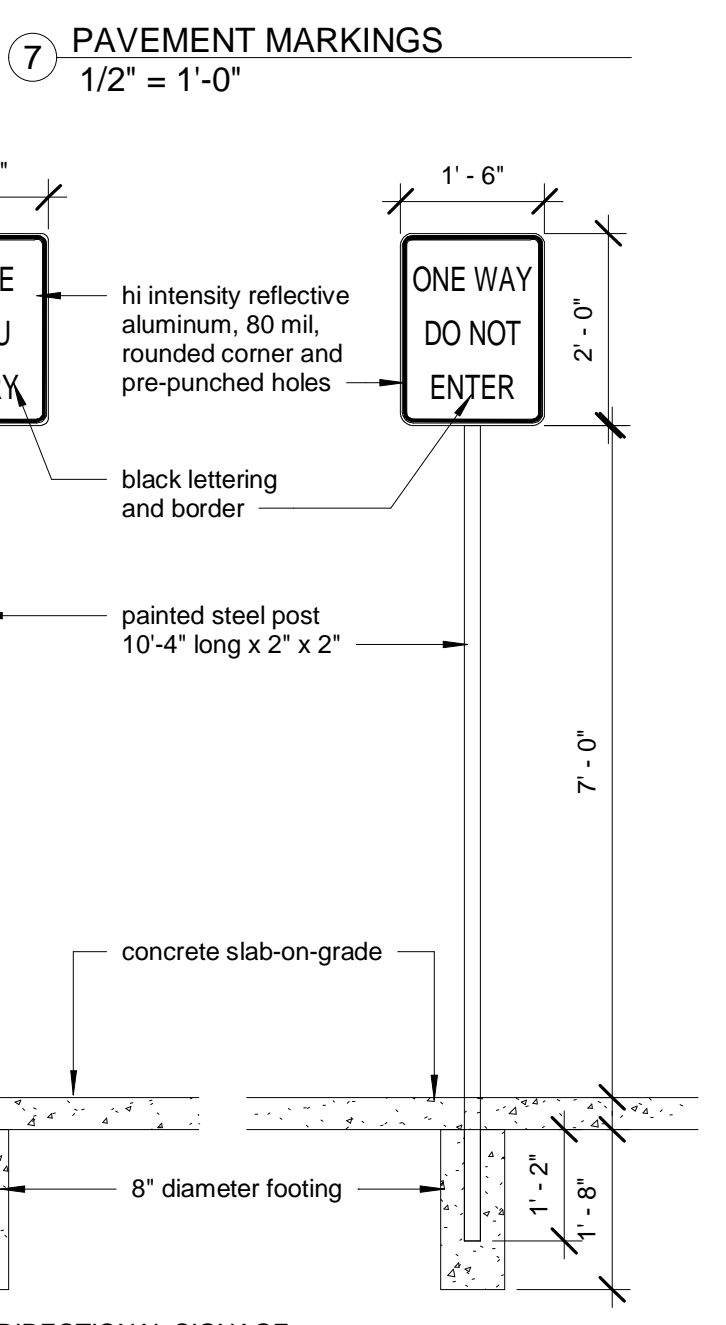
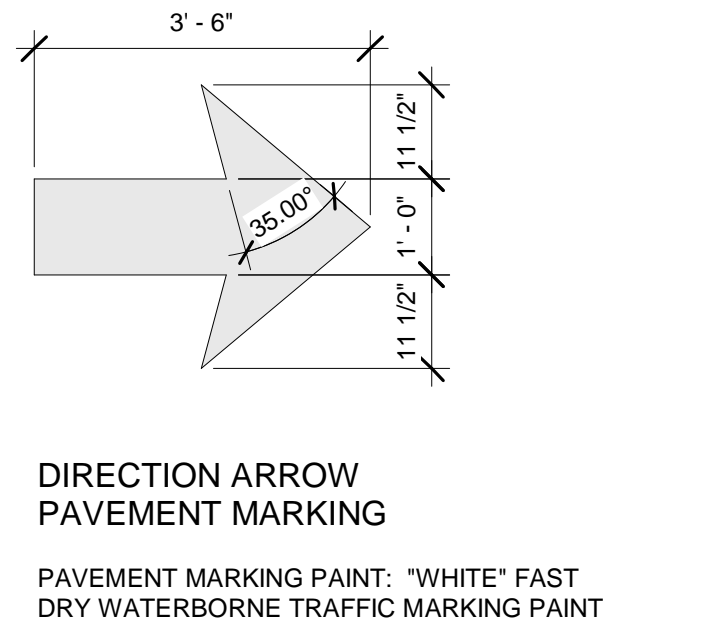
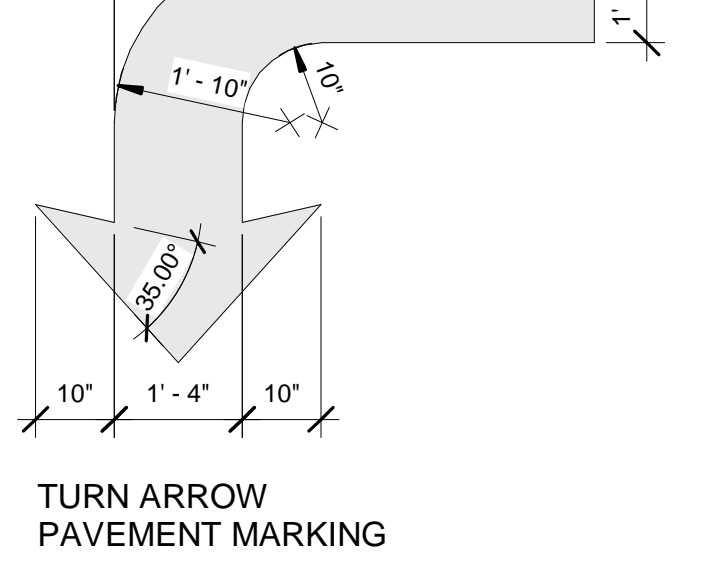
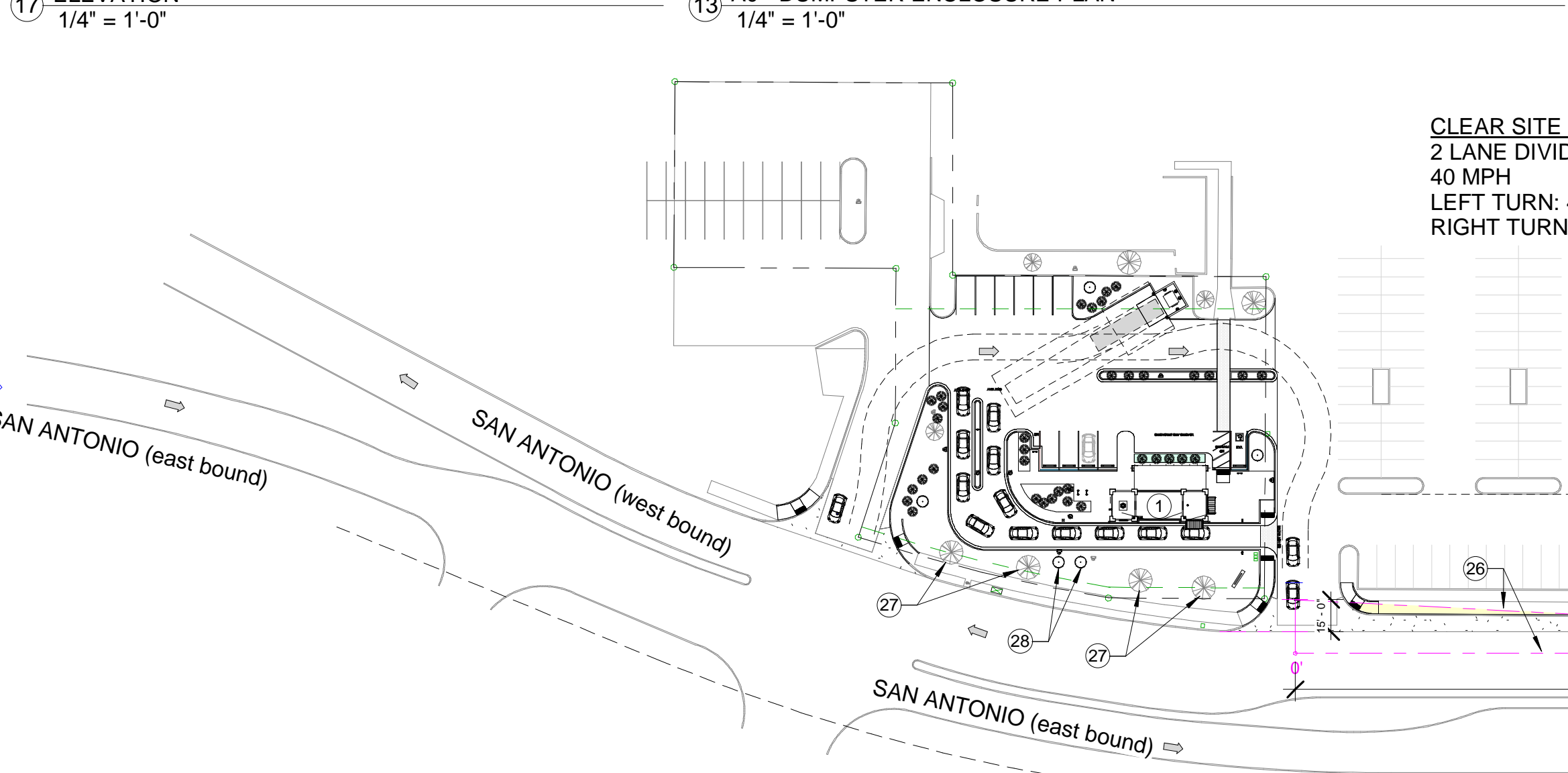
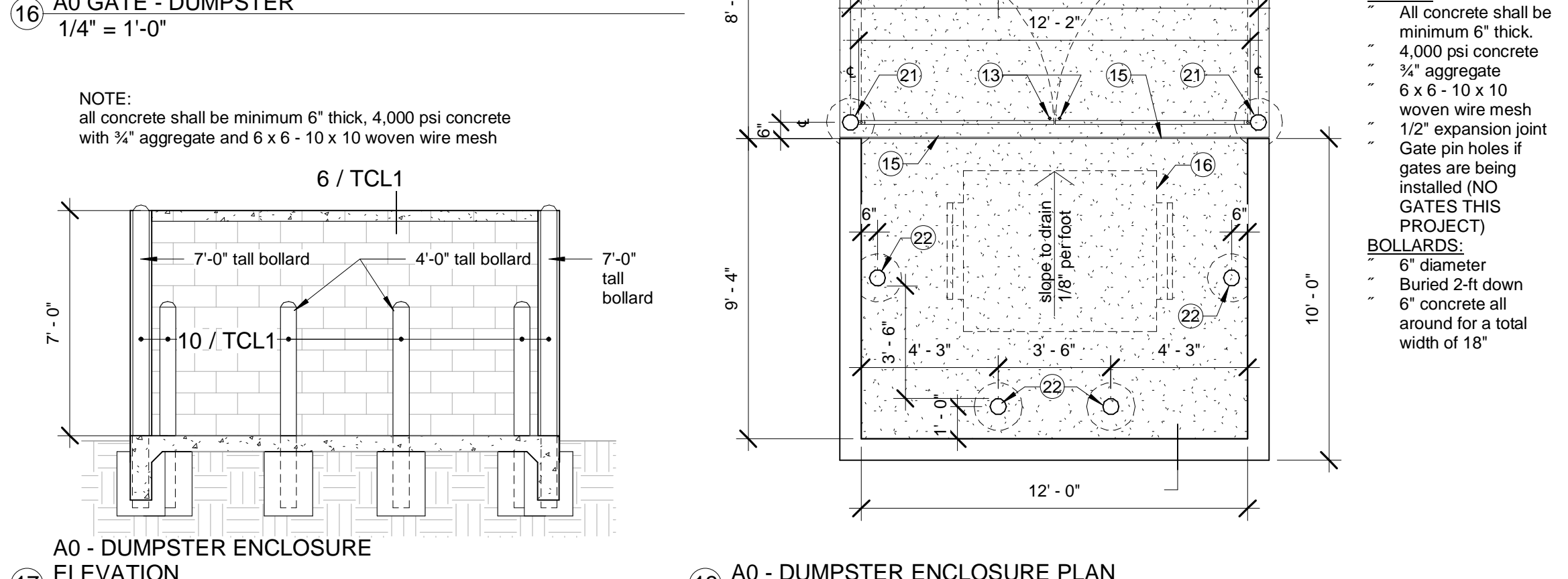
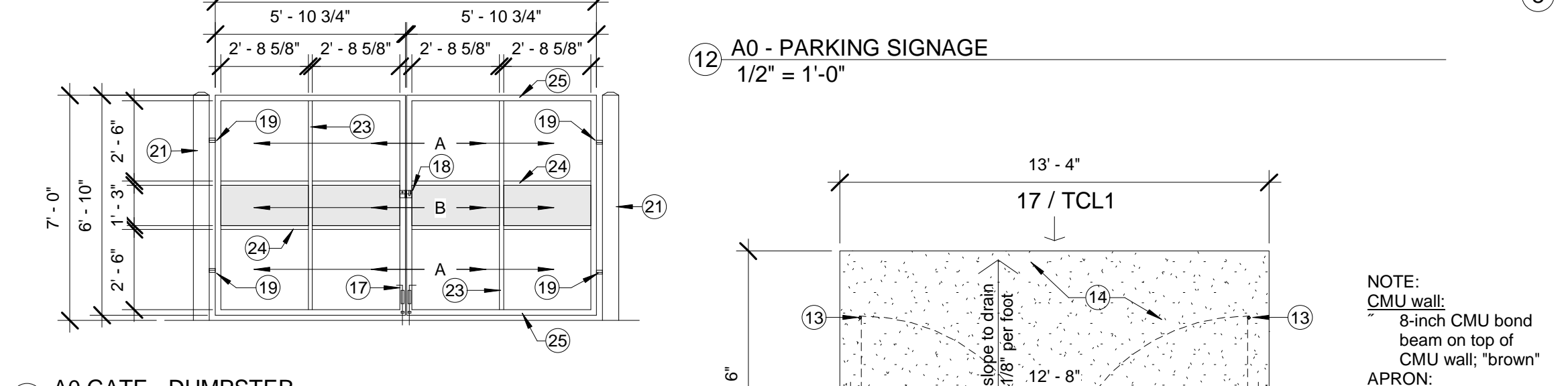
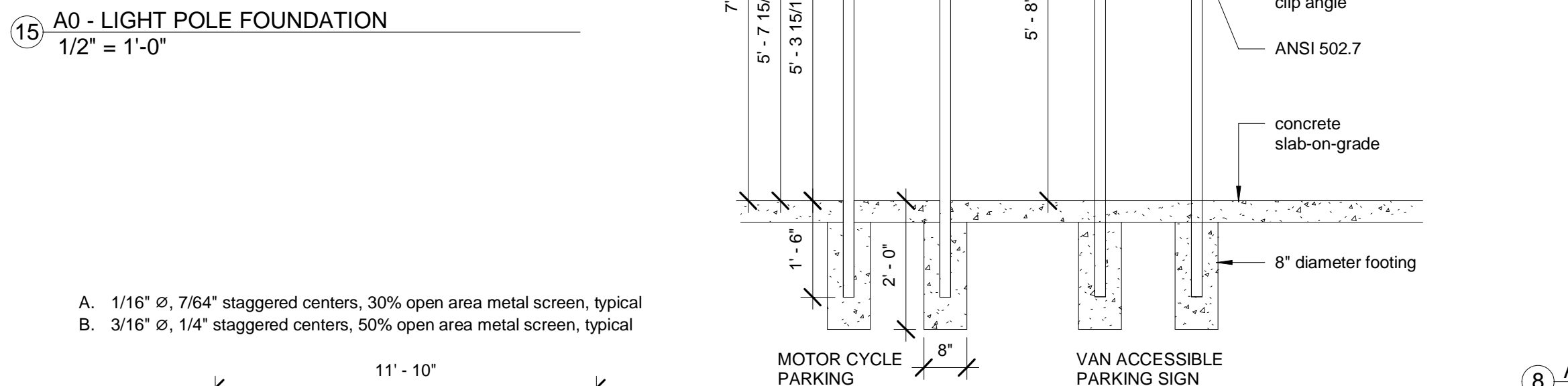
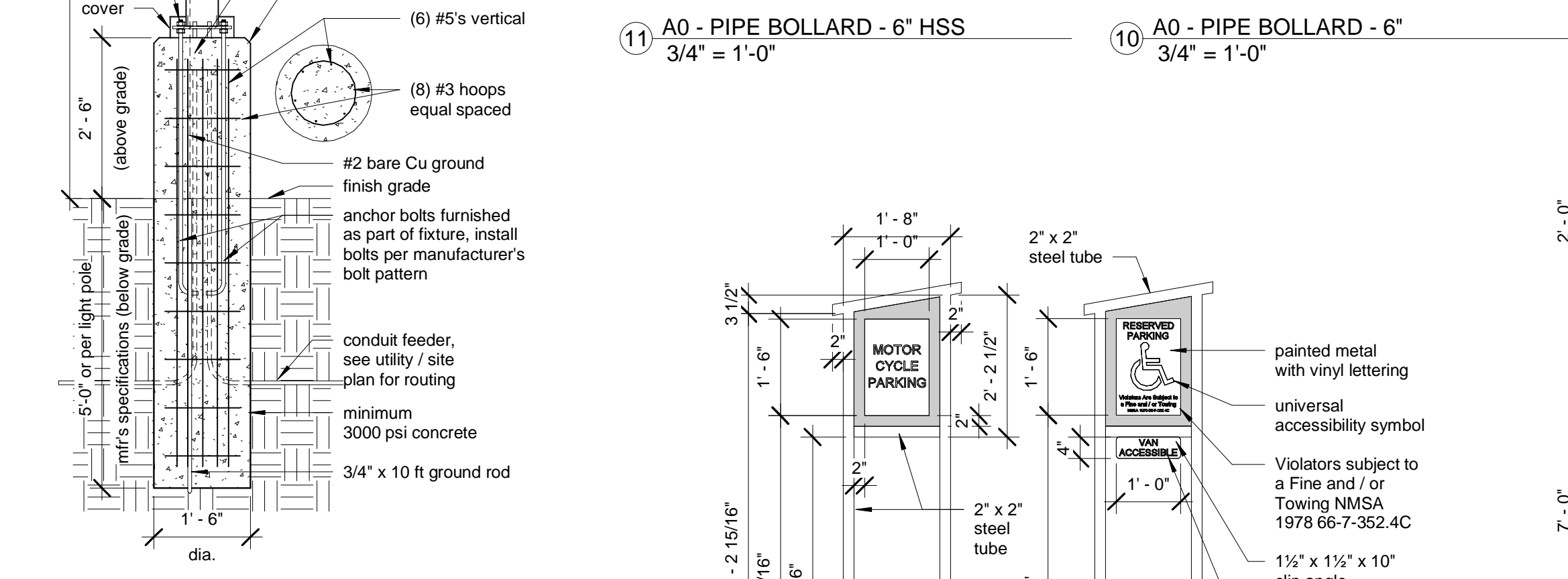
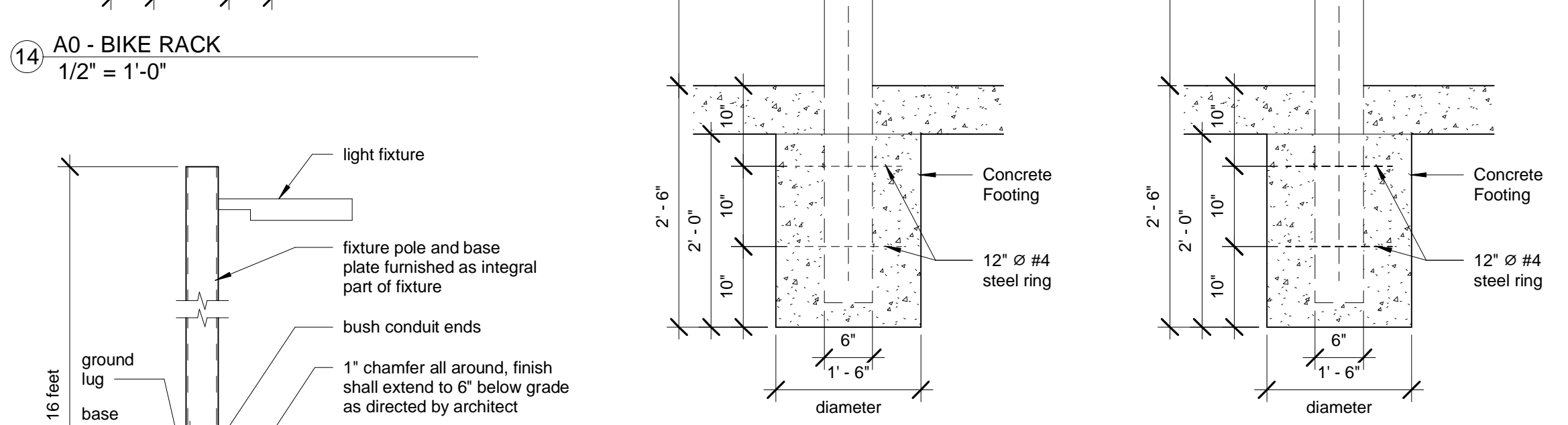
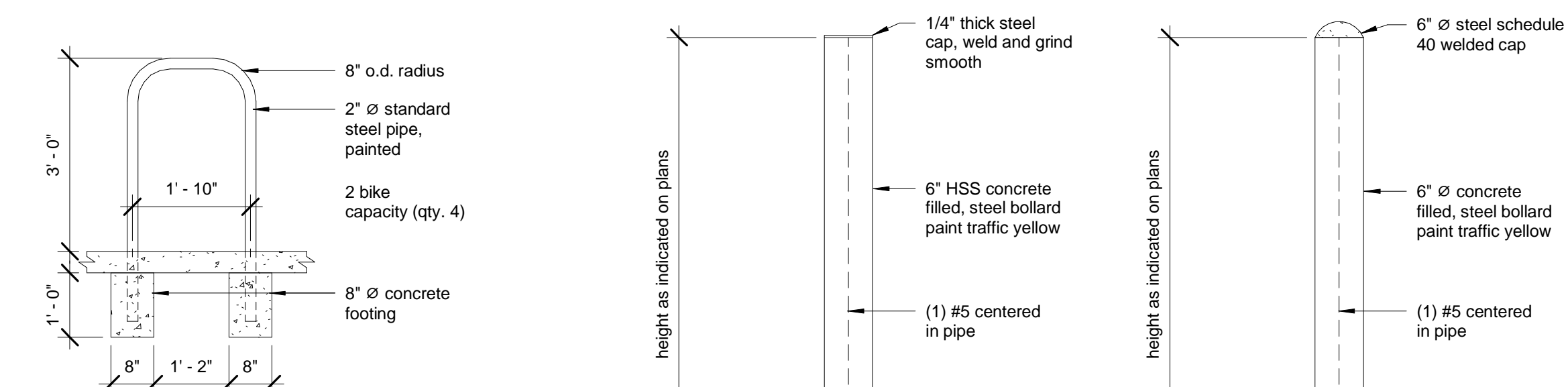
No.	Description	Date
A	DFT APPLICATION	5-2-2023
B	DFT COMMENTS	6-5-2023
C	TCL SUBMISSION	6-7-2023
D	BUILDING PERMIT	6-9-2023
E	TCL RESUBMISSION	6-25-2023

OWNER: KEITH GRIEGO
HUMAN BEAN - SAN ANTONIO & WYOMING

SITE PLAN - ARCHITECTURAL

Project Number	Project Number
Date	6-26-2023
Drawn By	J. SANCHEZ
Checked By	K. GRIEGO
Scale	As indicated

TCL0



- ### Keyed Notes: #
- Proposed building structure.
 - Private ingress / egress location, drive aisle.
 - Existing buffer landscaping.
 - Existing public fire hydrant.
 - Remove existing parking / traffic island.
 - Remove existing traffic / landscape island to remain.
 - Remove existing concrete curb and gutter.
 - Remove existing asphalt concrete paving. Extent of removal to be determined in detailed design.
 - Existing landscaping to remain.
 - Asphalt pavement to remain.
 - Remove existing concrete sidewalk.
 - Existing sloped drive to remain.
 - Gate pin holes.
 - Concrete pad and approach apron.
 - Expansion material, 1/2" thick.
 - Refuse container (dumpester), by others.
 - Cane bolt 1" diameter x 2'-6" long.
 - Heavy duty flip latch.
 - Barrel hinge with sealed ball bearings.
 - Refuse container concrete pad with drain, apron, bollards and gate. See enlarged plan and details on DFT02.
 - Pipe bollard, painted traffic yellow (6" dia x 7'-0" high).
 - Pipe bollard, painted traffic yellow (6" dia x 4'-6" high).
 - HSS 1 1/2" x 1" intermediate verticals, typical.
 - HSS 1 1/2" x 1" intermediate horizontals, typical.
 - HSS 2" x 2" x 1/8" perimeter, typical.
 - Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle. Existing "mature" trees, see Landscaping Plan.
 - Existing "mature" trees, see Landscaping Plan.
 - New "screening" trees, see Landscaping Plan.

- ### General Notes:
- ALL ADA RAMPS SHALL HAVE A RUNNING SLOPE NOT TO EXCEED 1:12. ALL RAMPS, SIDEWALKS AND LANDINGS SHALL HAVE A CROSS SLOPE NOT TO EXCEED 1:50. RAMPS SHALL HAVE HEAVY BROOM FINISH. ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. CONFORM TO CABQ SIDEWALK DRG. 2720 AND CURB AND GUTTER DWG. 2415A.
 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

No.	Description	Date
A	DFT APPLICATION	5-2-2023
B	DFT COMMENTS	6-5-2023
C	TCL SUBMISSION	6-7-2023
E	TCL RESUBMISSION	6-25-2023

OWNER: KEITH GRIEGO

HUMAN BEAN - SAN ANTONIO & WYOMING

SITE DETAILS

Project Number	Project Number
Date	6-26-2023
Drawn By	J. SANCHEZ
Checked By	K. GRIEGO

TCL1

Scale As indicated













PR-2023-008615_SI-2023-01429_Site Plan_Aproved_11-22-23_Sheet_1

Final Audit Report

2023-11-30

Created:	2023-11-27
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAudmFizdM7FCB_kX0BztzK6MSD9SMGnkJ

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