



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (<i>Form S3</i>)
<input type="checkbox"/> Site Plan Administrative DFT (<i>Forms P & P2</i>)	PRE-APPLICATIONS
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (<i>Form P2</i>)	<input type="checkbox"/> Sketch Plat Review and Comment (<i>Form S3</i>)
<input type="checkbox"/> Amendment to Infrastructure List (<i>Form S3</i>)	<input type="checkbox"/> Sketch Plan Review and Comment (<i>Form S3</i>)
<input type="checkbox"/> Temporary Deferral of S/W (<i>Form S3</i>)	APPEAL
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (<i>Form S3</i>)	<input type="checkbox"/> Administrative Decision (<i>Form A</i>)

BRIEF DESCRIPTION OF REQUEST

APPLICATION INFORMATION			
Applicant/Owner:		Phone:	
Address:		Email:	
City:	State:	Zip:	
Professional/Agent (if any):		Phone:	
Address:		Email:	
City:	State:	Zip:	
Proprietary Interest in Site:		List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS		
Site Address/Street:	Between:	and:

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022**_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Form P with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- ___ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- ___ 7) Infrastructure List, if required for building of public infrastructure
- ___ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- ___ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- ___ 10) Completed Site Plan Checklist
- ___ 11) Letter of authorization from the property owner if application is submitted by an agent
- ___ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- ___ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- ___ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

___ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

___ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

___ 17) Sign Posting Agreement

___ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

___ Office of Neighborhood Coordination neighborhood meeting inquiry response

___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

___ Completed neighborhood meeting request form(s)

___ If a meeting was requested or held, copy of sign-in sheet and meeting notes

___ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

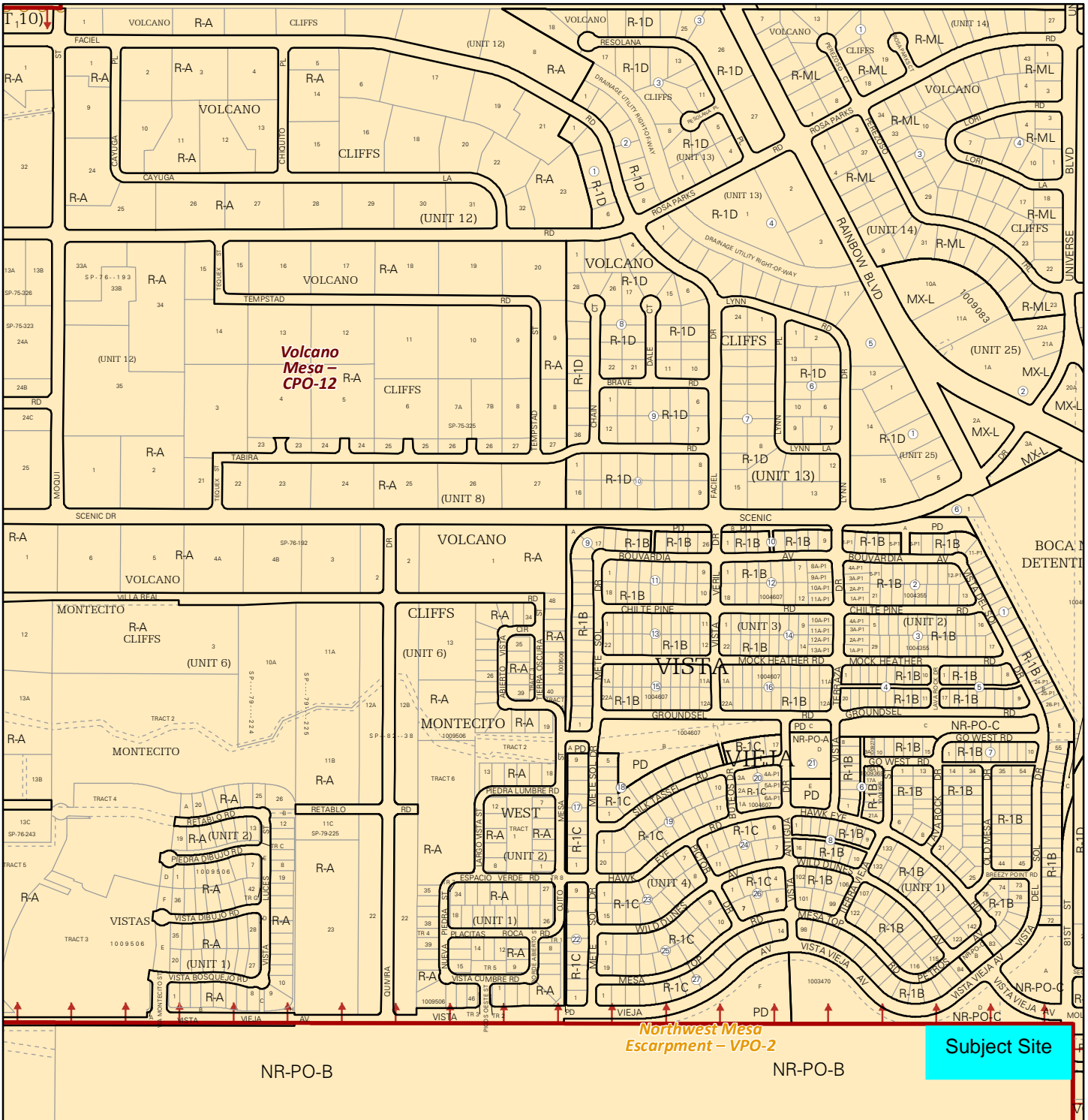
___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

___ Proof of emailed notice to affected Neighborhood Association representatives

_ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Site Plan and related drawings
- ___ 5) Infrastructure List, if require
- ___ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- ___ 7) Letter of authorization from the property owner if application is submitted by an agent
- ___ 8) Solid Waste Department signature on Site Plan
- ___ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- ___ 10) Approved Grading and Drainage Plan
- ___ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

Zone Atlas Page:
D-09-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Feet
0 250 500 1,000

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

STRUCTURE	SQUARE FOOTAGE	DESCRIPTION
NEW ARSENIC TREATMENT BUILDING	5900	HOUSES ARSENIC TREATMENT SYSTEM
NEW SODIUM HYPOCHLORITE (SHC) BUILDING AND BRINE TANK STORAGE ROOM	520	HOUSES SODIUM HYPOCHLORITE GENERATION SYSTEM AND CHEMICAL STORAGE TANKS
CARBONIC ACID INJECTION BUILDING	130	HOUSES CARBONIC ACID INJECTION SYSYEM
CHLORINE ANALYZER ROOM	150	HOUSES CHLORINE ANALYZERS
VOLCANO CLIFFS RESERVOIR NO.1	N/A	32' HIGH ENCLOSED WATER TANK
VOLCANO CLIFFS RESERVOIR NO.2	N/A	32' HIGH ENCLOSED WATER TANK

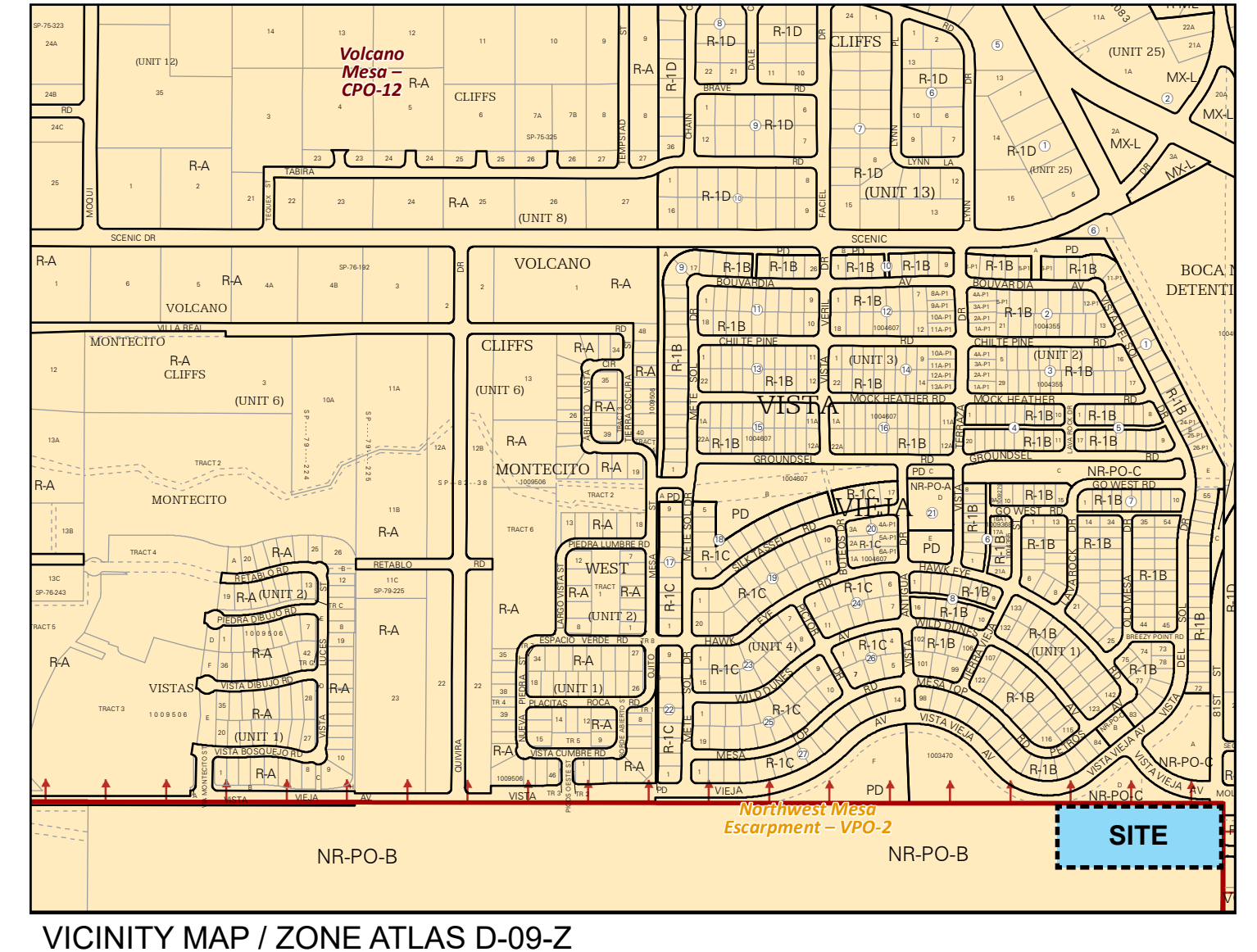
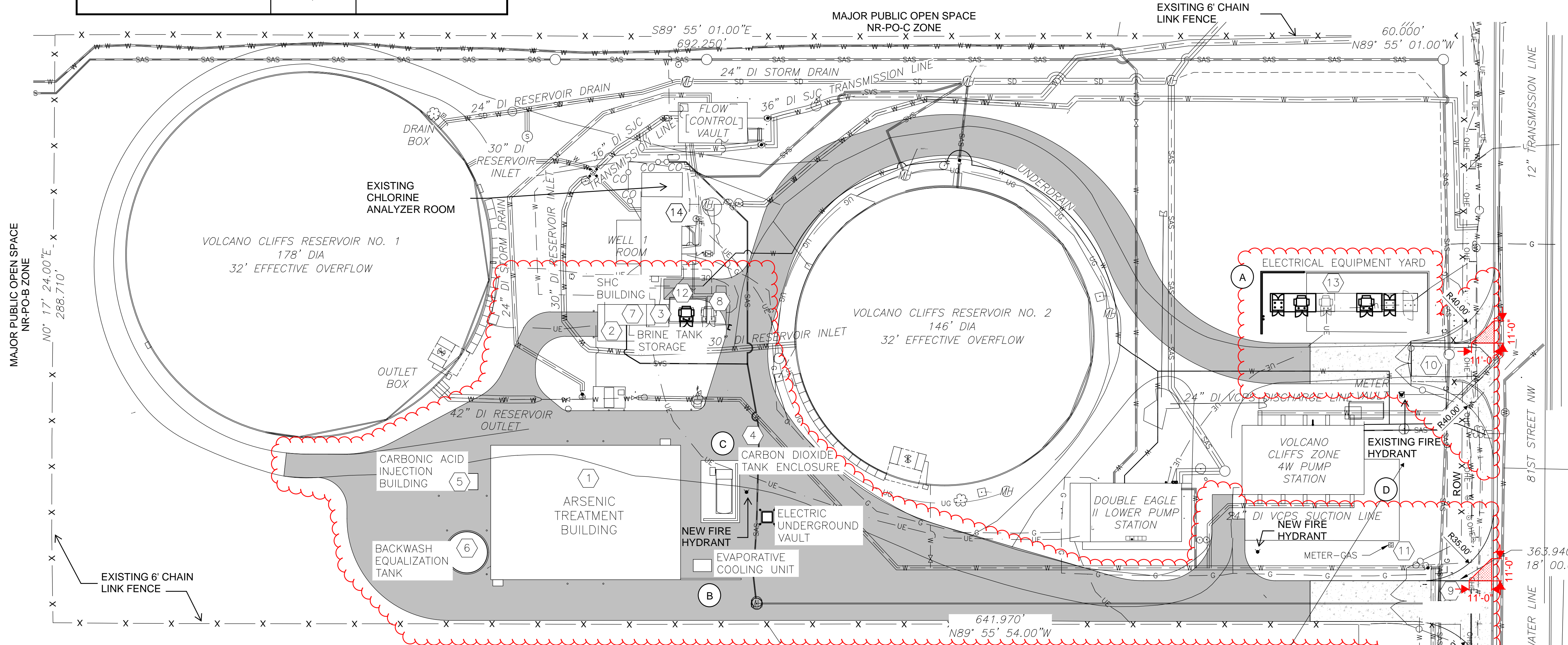
ENCLOSURE/ SCREEN WALLS	HEIGHT	LENGTH	MATERIAL	COLOR
(A) EXISTING ELECTRIC YARD EXTENSION	6'	60'	8" CMU BLOCK WALL	RED/BROWN (MATCH EXISTING COLOR)
(B) EVAPORATIVE COOLER	8'-10"	29'-8 1/2"	12" CMU BLOCK WALL	RED/BROWN (MATCH EXISTING COLOR)
(C) CO2 TANK	9'-4"	44'-8"	12" CMU BLOCK WALL	RED/BROWN (MATCH EXISTING COLOR)
(D) EXISTING SURGE TANK (SEE PHOTO)	10'	140'	8" CMU BLOCK WALL	RED/BROWN

SITE DATA:

- SITE AREA AND LEGAL DESCRIPTION: 4.67-ACRE PORTION OF SECTION 28, TOWNSHIP 11 NORTH, RANGE 2 EAST
- ZONING OVERLAY: NORTHWEST MESA ESCARPMENT VPO-2
- EXISTING/PROPOSED LAND USE: UTILITY INFRASTRUCTURE INCLUDING WATER RESERVOIR, ARSENIC TREATMENT BUILDING, PUMP STATION, AND RELATED USES

- NOTES:
- NEW ARSENIC TREATMENT BUILDING
 - NEW FRP SODIUM HYPOCHLORITE (SHC)
 - NEW BRINE TANK STORAGE ROOM WITH BRINE TANK
 - NEW CARBON DIOXIDE STORAGE TANK AND WALL ENCLOSURE
 - NEW CARBONIC ACID INJECTION BUILDING.
 - NEW BACKWASH EQUALIZATION TANK
 - EXISTING SHC GENERATION BUILDING TO BE DEMOLISHED.
 - EXISTING SHC STORAGE VAULT TO BE DEMOLISHED.
 - CONSTRUCTION OF NEW CONCRETE DRIVEWAY AND ENTRANCE WITH NEW MANUAL ENTRANCE GATE.
 - RECONSTRUCTION OF EXISTING CONCRETE DRIVEWAY, RELOCATION OF EXISTING GATE AND FENCE.
 - RELOCATION OF GAS METER AND PIPING.
 - NEW PRIMARY TRANSFORMER.
 - NEW TRANSFORMERS AND PRIMARY FUSED SWITCHES.
 - NEW CHLORINE ANALYZERS AND BOOSTER PUMPS IN THE EXISTING ROOM.

- GENERAL NOTES**
- THIS SITE PLAN IS A MAJOR AMENDMENT TO THE SITE PLAN FOR BUILDING PERMIT (PROJECT #1002197; APPLICATION 03DRB-01648).
 - THE INTEGRATED DEVELOPMENT ORDINANCE (IDO) REQUIRES DEVELOPMENT WITHIN MAJOR PUBLIC OPEN SPACE ZONED PROPERTIES TO BE REVIEWED AND APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC).
 - THIS SITE PLAN IS IN ACCORDANCE WITH THE PERMANENT EASEMENT GRANTED BY THE CITY OF ALBUQUERQUE TO THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY FOR VOLCANO CLIFFS 81 & VISTA VIEJA WELL #1 SITE FOR THE "...CONSTRUCTION, INSTALLATION, MAINTENANCE, REPAIR, MODIFICATION, REPLACEMENT, AND OPERATION OF PUBLIC WATER AND SANITARY SEWER SYSTEM FACILITIES INCLUDING UNDERGROUND PIPELINES, WELLS, PUMP STATIONS, RESERVOIRS, AND ALL IMPROVEMENTS, FACILITIES, EQUIPMENT, AND APPURTENANCES NECESSARY FOR THE OPERATION OF THE WATER AUTHORITY'S WATER AND SANITARY SEWER SYSTEM ("FACILITY") TOGETHER WITH THE RIGHT TO REMOVE TREES, BUSHES, UNDERGROWTH AND ANY OTHER OBSTACLES UPON THE PROPERTY IF THE WATER AUTHORITY DETERMINES THEY INTERFERE WITH THE APPROPRIATE USE OF THIS EASEMENT." (DOC # 2018069239 08/07/2018)
 - THE SUBJECT PROPERTY WILL REMAIN FENCED, LOCKED, AND NOT OPEN TO THE PUBLIC.
 - LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN THREE (3) AND EIGHT FEET (8) TALL (AS MEASURED FROM GUTTER PLAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE
 - THE WATER AUTHORITY MUST MEET SECURITY REQUIREMENTS WITH THE PURPOSE OF PROTECTING CRITICAL DRINKING WATER SUPPLY, TREATMENT AND DISTRIBUTION SYSTEMS, INCLUDING RESERVOIR, PUMP STATION, WELL SITE, AND PLANT FACILITIES FROM SECURITY THREATS. ENSURING SECURE FACILITIES INCLUDES HAVING INTACT SECURITY FENCES, CLEAR LINE-OF-SITE THROUGH FENCES FOR OUR WATER AUTHORITY PERSONNEL, PROPER LIGHTING, AND MINIMAL LANDSCAPING THAT DOES NOT INTERFERE WITH OUR ABILITY TO OPERATE, MAINTAIN, AND SECURE OUR EQUIPMENT AND PIPING INSIDE (AND OUTSIDE) OUR FACILITIES.



PROJECT NUMBER: PR-2023-008617
Application Number: SI-2023-00866

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated June 15, 2023 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (x) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
Not Applicable	Date
* Environmental Health Department (conditional)	Date
Not Applicable	Date
Solid Waste Management	Date
Planning Department	Date

MAJOR PUBLIC OPEN SPACE & PARKING LOT NR-PO-B ZONE



D. EXISTING SURGE TANK ENCLOSURE WALL BEHIND THE PROPERTY SIGN
 EXISTING PROPERTY SIGN 7'x8' BROWN STUCCO FINISH

SCALE: 1" = 30'

ATTENTION 0 1/2" 1" GRAPHIC SCALE THIS BAR MEASURES 1" AT FULL SCALE (ANSI D)

SUBMITTED BY: **CDM Smith**

ENGINEER'S SEAL: EGE E. RICHARDSON, NEW MEXICO, 16219, PROFESSIONAL ENGINEER, 06-30-2023

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY

TITLE: **VOLCANO CLIFFS ARSENIC TREATMENT FACILITY AND PUMP STATION UPGRADES PROJECT OVERVIEW**

WATER AUTHORITY CONSTRUCTION PROJECT NO. **2822.0** ZONE MAP NO. **D-09-Z** SHEET **1 of 8**

NOT FOR CONSTRUCTION - FOR PERMIT ONLY

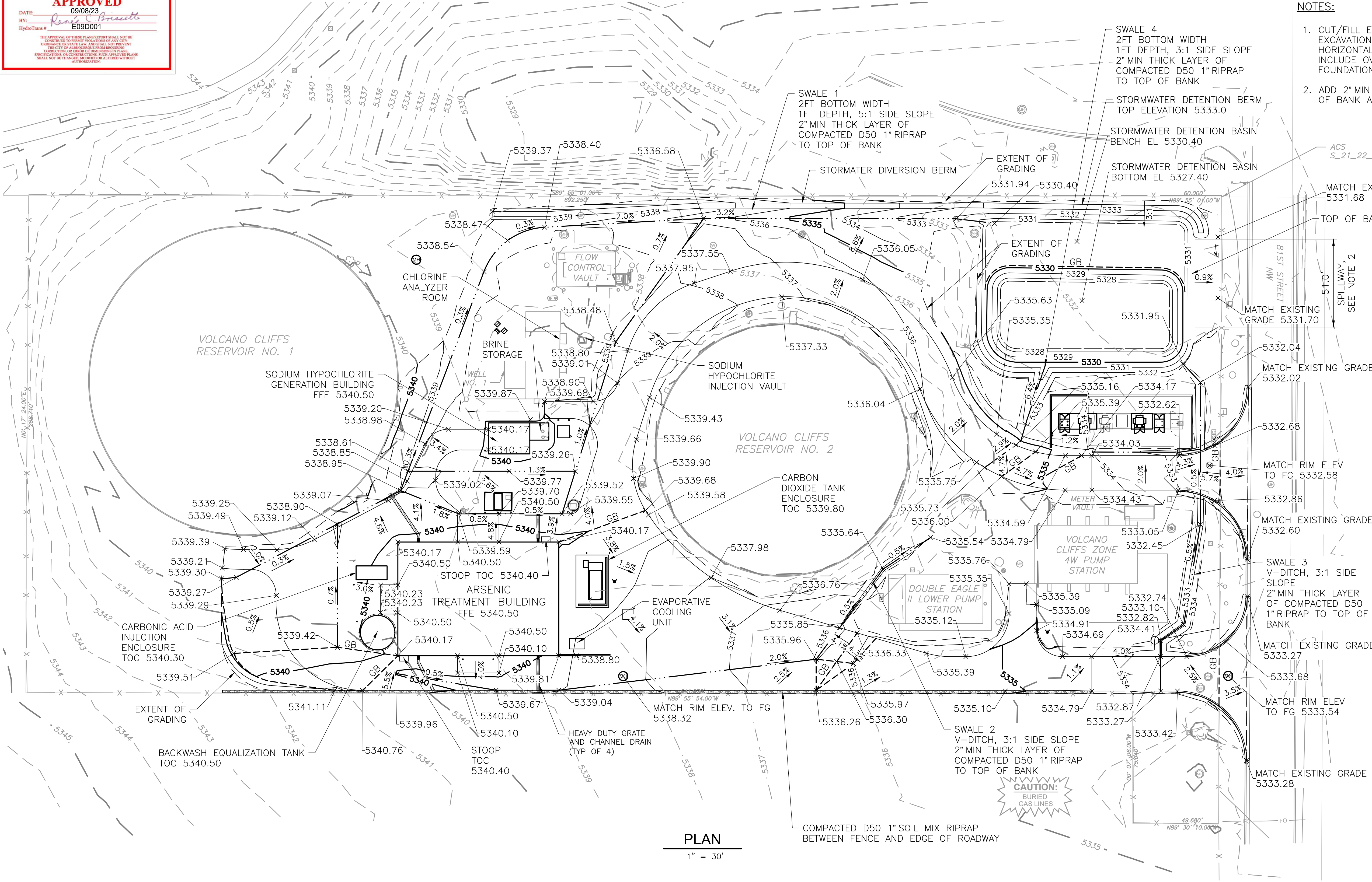
City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 09/08/23
 BY: *Renee C. Brissett*
 HydroTrans # E09D001

THE APPROVAL OF THESE PLANS DOES NOT CONSTITUTE AN ENDORSEMENT OF ANY CITY OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM ENFORCEMENT OF ANY CITY OR STATE LAW. SPECIFICATIONS OR CONDITIONS, SUCH AS APPROVED PLANS SHALL NOT BE CHANGED, REVISED OR ALTERED WITHOUT AUTHORIZATION.

CUT/FILL SUMMARY				
NAME	2D AREA	CUT	FILL	NET
CUT AND FILL VOLUME	93,788 SQ FT	2798 CU YD	642 CU YD	2156 CU YD<CUT>

NOTES:

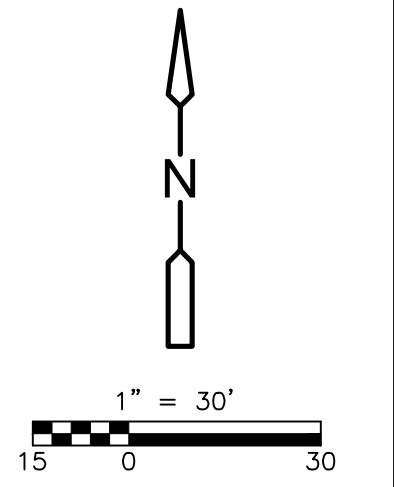
- CUT/FILL ESTIMATED VALUES DO NOT INCLUDE SOIL SWELL OR EXCAVATION VOLUMES FOR THE FOUNDATIONS BEYOND THE HORIZONTAL LIMITS OF STRUCTURES. THE VALUES DO HOWEVER INCLUDE OVER EXCAVATION OF 3 VERTICAL FEET BELOW THE FOUNDATIONS.
- ADD 2" MIN THICK LAYER OF COMPACTED D50 1" RIPRAP TO TOP OF BANK AND 2FT BEYOND SPILLWAY IN RETENTION BASIN.



STORMWATER SUMMARY:

EXISTING GRADE WITHIN THE IMPROVEMENT AREA CONSISTS OF GENTLE SLOPES BETWEEN 0% AND 10%. 80% OF THE SITE IS BELOW 5% SLOPE. THE AREA WEST AND SOUTHWEST OF THE SITE BOUNDARY SLOPES 2% AND 7% TOWARD THE SITE. THERE IS A STEEP TO MODERATE SLOPE DOWN FROM THE NORTH BOUNDARY. SOME SURFACE FLOW IS DIRECTED OFF SITE TO THE NORTH AND INTO AN EXISTING DETENTION BASIN. MOST OF THE SURFACE FLOW PASSES SOUTH OF THE EXISTING TANKS TOWARD THE EAST PROPERTY LINE AND EVENTUALLY OFF THE SOUTH BOUNDARY ABOUT 130' WEST OF 81ST ST NW. THE PROPOSED SITE LAYOUT PLACES A NEW ARSENIC TREATMENT BUILDING WHERE SURFACE FLOW CURRENTLY PASSES THROUGH THE SOUTHERN PART OF THE SITE. THE PROPOSED GRADING PLAN EXTENDS THE DRIVEWAY AREA WEST OF THE NEW STRUCTURE, WHERE MOST OF THE OFF-SITE FLOW IS COLLECTED BY A SHALLOW DRAINAGE SWALE AND DIRECTED TO THE NORTH ON THE EAST SIDE OF RESERVOIR NO. 1. THE SWALE ENDS BY DISCHARGING TO A NEW DETENTION BASIN LOCATED IN THE NORTHEAST CORNER OF THE SITE. ALL STORM DRAINAGE EMANATING ONSITE CAN BE FULLY RETAINED WITHIN THE BASIN UP TO A 100-YEAR 6 HOUR STORM EVENT. ADDITIONAL OFFSITE FLOW AND LARGER STORM EVENTS WILL BE DISCHARGED VIA A SPILLWAY TO THE EAST AND OFFSITE TO THE 81ST STREET NW ROW. SOME SURFACE WATER EAST OF RESERVOIR NO. 1 WILL BE DIRECTED TO THE NEW BASIN ON THE NE CORNER OF THE SITE. SURFACE WATER SOUTH OF THE NEW ARSENIC TREATMENT BUILDING AND SOUTH OF RESERVOIR NO. 2 WILL FLOW TO A NEW SWALE LOCATED BETWEEN RESERVOIR NO. 2 AND THE DOUBLE EAGLE LOWER PUMP STATION. FLOW THEN ENTERS AN EXISTING DEPRESSION AND STORM PIPE DISCHARGING INTO THE NEW DETENTION BASIN. RESIDUAL DRAINAGE AREA EAST OF RESERVOIR NO. 2 WILL BE CAPTURED VIA A NEW SWALE FLOWING NORTH ALONG THE PROPERTY BOUNDARY ULTIMATELY DISCHARGING TO THE NEW DETENTION BASIN. PROPOSED GRADES AROUND THE SITE ARE MOSTLY 5% OR LESS, EXCEPT FOR DRAINAGE SWALES AND CUT/FILL SLOPES, WHICH ARE STEEPER THAN 3:1.

PLAN
1" = 30'



THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 45 DAYS AFTER SUBMISSION OF AN UNDISPUTED REQUEST FOR PAYMENT.

NO.	DATE	REVISION NO. & DESCRIPTION	BY
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

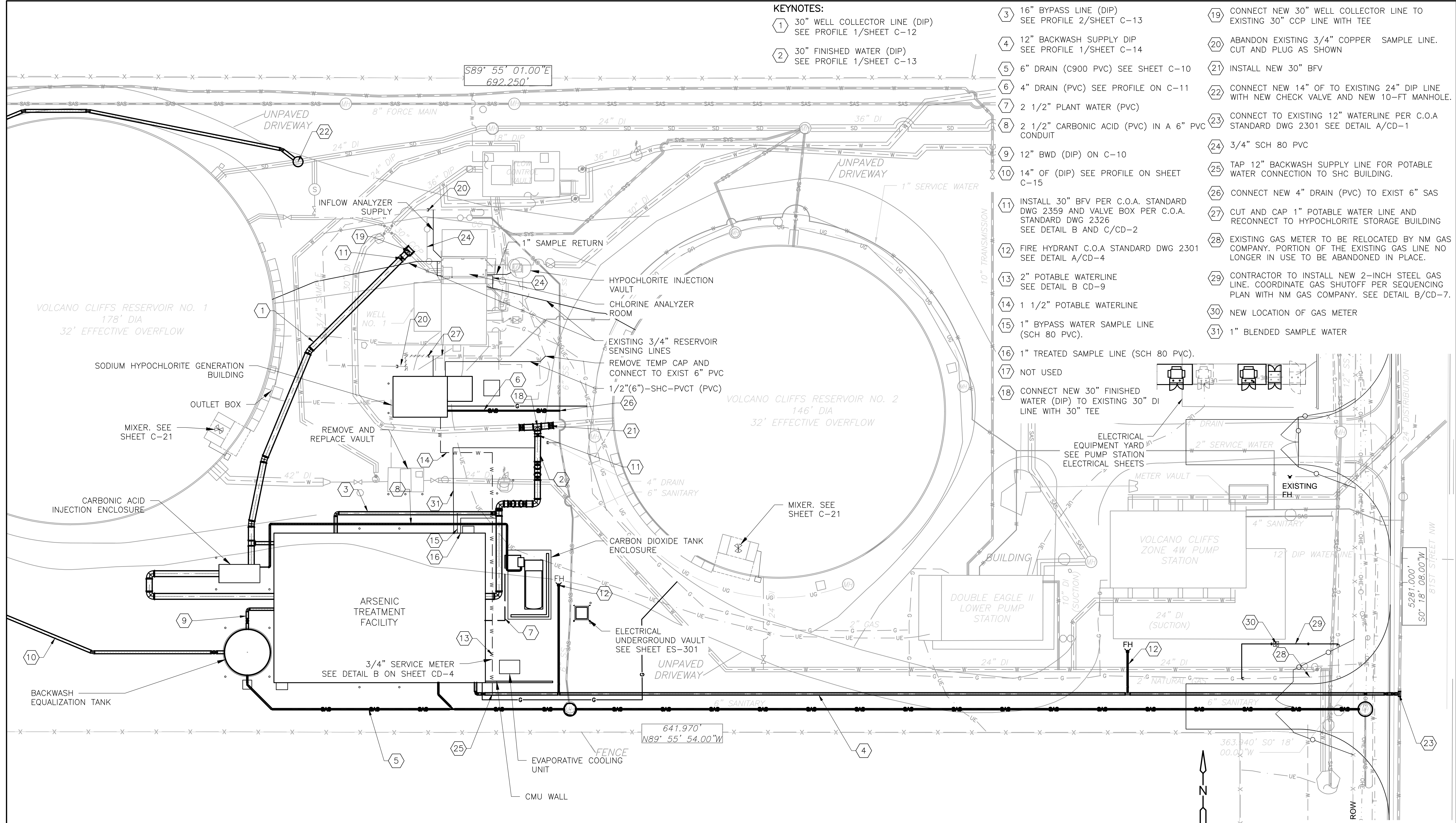
SCALE:		DESIGN TRACKING		SUBMITTED BY:		AS BUILT INFORMATION		ENGINEER'S SEAL	
1" = 30'		DESIGNED BY: M. WAINWRIGHT	DATE: 8/31/2023						
ATTENTION		DRAWN BY: M. WAINWRIGHT	DATE: 8/31/2023	CDM Smith		CONTRACTOR COMPANY NAME		CONSTRUCTION BEGIN DATE	
0 1/2" 1"		CHECKED BY: P. TAURASI	DATE: 8/31/2023			MM. YYYY			
GRAPHIC SCALE		CROSS CHK'D BY: J. YOSHIMURA	DATE: 8/31/2023			INSPECTOR'S ACCEPTANCE BY COMPANY NAME		DATE MMM. YYYY	
THIS BAR MEASURES 1" AT FULL SCALE (ANSI D)		APPROVED BY: E. RICHARDSON	DATE: 8/31/2023			INSPECTOR'S NAME			
		MAPS/RECORDS INFO.		6001 Indian School Road, N.E. Suite 310		SUBSTANTIAL COMPLETION DATE		MMM. YYYY	
				Albuquerque, New Mexico 87110		DRAWINGS CORRECTED BY		COMPANY NAME	
				Tel: (505) 243-3200		DATE		MMM. YYYY	

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY				
TITLE: VOLCANO CLIFFS ARSENIC TREATMENT FACILITY AND PUMP STATION UPGRADES GRADING PLAN				
WATER AUTHORITY CONSTRUCTION PROJECT NO.	2822.0	ZONE MAP NO.	D-09-Z	SHEET C-8

FOR PERMITTING ONLY

XREFS: [Volcano Cliffs_Boundary_CEP000ST_ABCVUA_22.04_CWP001ST_XXElec_Site_Plan - For CDM, EGE RICHARDSON_NML_STAMP] Images: []
 Last saved by: WAINWRIGHT.MD Time: 8/16/2023 4:54:06 PM
 C:\Users\WAINWRIGHT\Documents\CDM Smith Inc\33280-253877 - Volcano Cliffs Arsenic TF\Project Files\02 Civil (C)\10 CADD\CO08GRPL.dwg

XREFS: 2002-09-04_Topo_Volcano_Cliffs_Boundary_CEP0001ST_ABCWUA_22x34_CWP001ST_2308.003-M-11_XX-Elec_Site_Plan - For CDM, PLVZ000E1_Images-1
 Last saved by: SIDANALES Time: 3/15/2023 8:20:17 PM
 C:\Users\sidaanles\ACCDocs\CDM Smith Inc\33280-253877 - Volcano Cliffs Arsenic TF\Project Files\02 Civil (C)\10 CADD\C009YPL.dwg

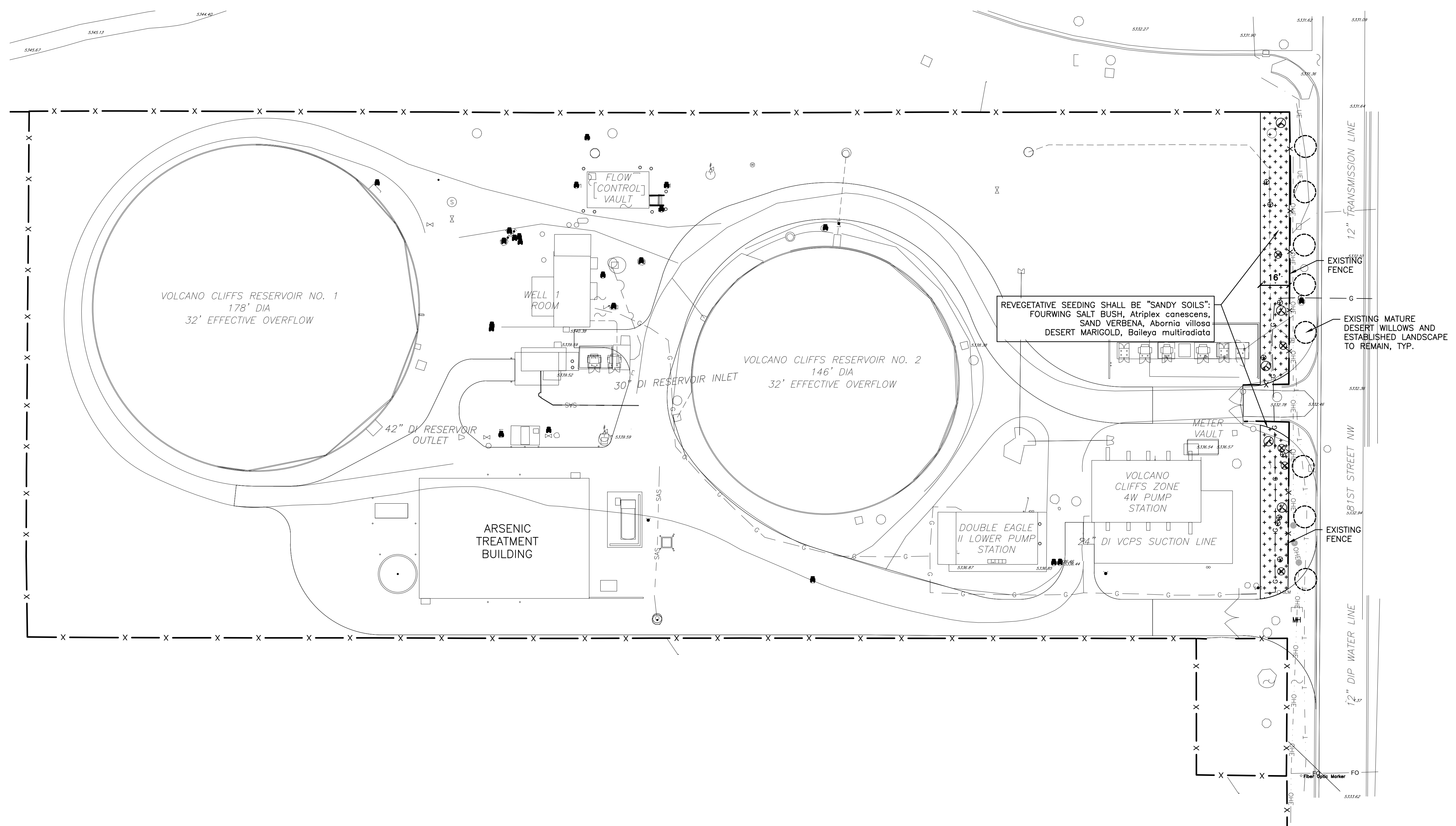


- KEYNOTES:**
- 1 30" WELL COLLECTOR LINE (DIP) SEE PROFILE 1/SHEET C-12
 - 2 30" FINISHED WATER (DIP) SEE PROFILE 1/SHEET C-13
 - 3 16" BYPASS LINE (DIP) SEE PROFILE 2/SHEET C-13
 - 4 12" BACKWASH SUPPLY DIP SEE PROFILE 1/SHEET C-14
 - 5 6" DRAIN (C900 PVC) SEE SHEET C-10
 - 6 4" DRAIN (PVC) SEE PROFILE ON C-11
 - 7 2 1/2" PLANT WATER (PVC)
 - 8 2 1/2" CARBONIC ACID (PVC) IN A 6" PVC CONDUIT
 - 9 12" BWD (DIP) ON C-10
 - 10 14" OF (DIP) SEE PROFILE ON SHEET C-15
 - 11 INSTALL 30" BVF PER C.O.A. STANDARD DWG 2359 AND VALVE BOX PER C.O.A. STANDARD DWG 2326 SEE DETAIL B AND C/CD-2
 - 12 FIRE HYDRANT C.O.A. STANDARD DWG 2301 SEE DETAIL A/CD-4
 - 13 2" POTABLE WATERLINE SEE DETAIL B CD-9
 - 14 1 1/2" POTABLE WATERLINE
 - 15 1" BYPASS WATER SAMPLE LINE (SCH 80 PVC).
 - 16 1" TREATED SAMPLE LINE (SCH 80 PVC).
 - 17 NOT USED
 - 18 CONNECT NEW 30" FINISHED WATER (DIP) TO EXISTING 30" DI LINE WITH 30" TEE
 - 19 CONNECT NEW 30" WELL COLLECTOR LINE TO EXISTING 30" CCP LINE WITH TEE
 - 20 ABANDON EXISTING 3/4" COPPER SAMPLE LINE. CUT AND PLUG AS SHOWN
 - 21 INSTALL NEW 30" BVF
 - 22 CONNECT NEW 14" OF TO EXISTING 24" DIP LINE WITH NEW CHECK VALVE AND NEW 10-FT MANHOLE.
 - 23 CONNECT TO EXISTING 12" WATERLINE PER C.O.A. STANDARD DWG 2301 SEE DETAIL A/CD-1
 - 24 3/4" SCH 80 PVC
 - 25 TAP 12" BACKWASH SUPPLY LINE FOR POTABLE WATER CONNECTION TO SHC BUILDING.
 - 26 CONNECT NEW 4" DRAIN (PVC) TO EXIST 6" SAS
 - 27 CUT AND CAP 1" POTABLE WATER LINE AND RECONNECT TO HYPOCHLORITE STORAGE BUILDING
 - 28 EXISTING GAS METER TO BE RELOCATED BY NM GAS COMPANY. PORTION OF THE EXISTING GAS LINE NO LONGER IN USE TO BE ABANDONED IN PLACE.
 - 29 CONTRACTOR TO INSTALL NEW 2-INCH STEEL GAS LINE. COORDINATE GAS SHUTOFF PER SEQUENCING PLAN WITH NM GAS COMPANY. SEE DETAIL B/CD-7.
 - 30 NEW LOCATION OF GAS METER
 - 31 1" BLENDED SAMPLE WATER

PLAN
1" = 20'

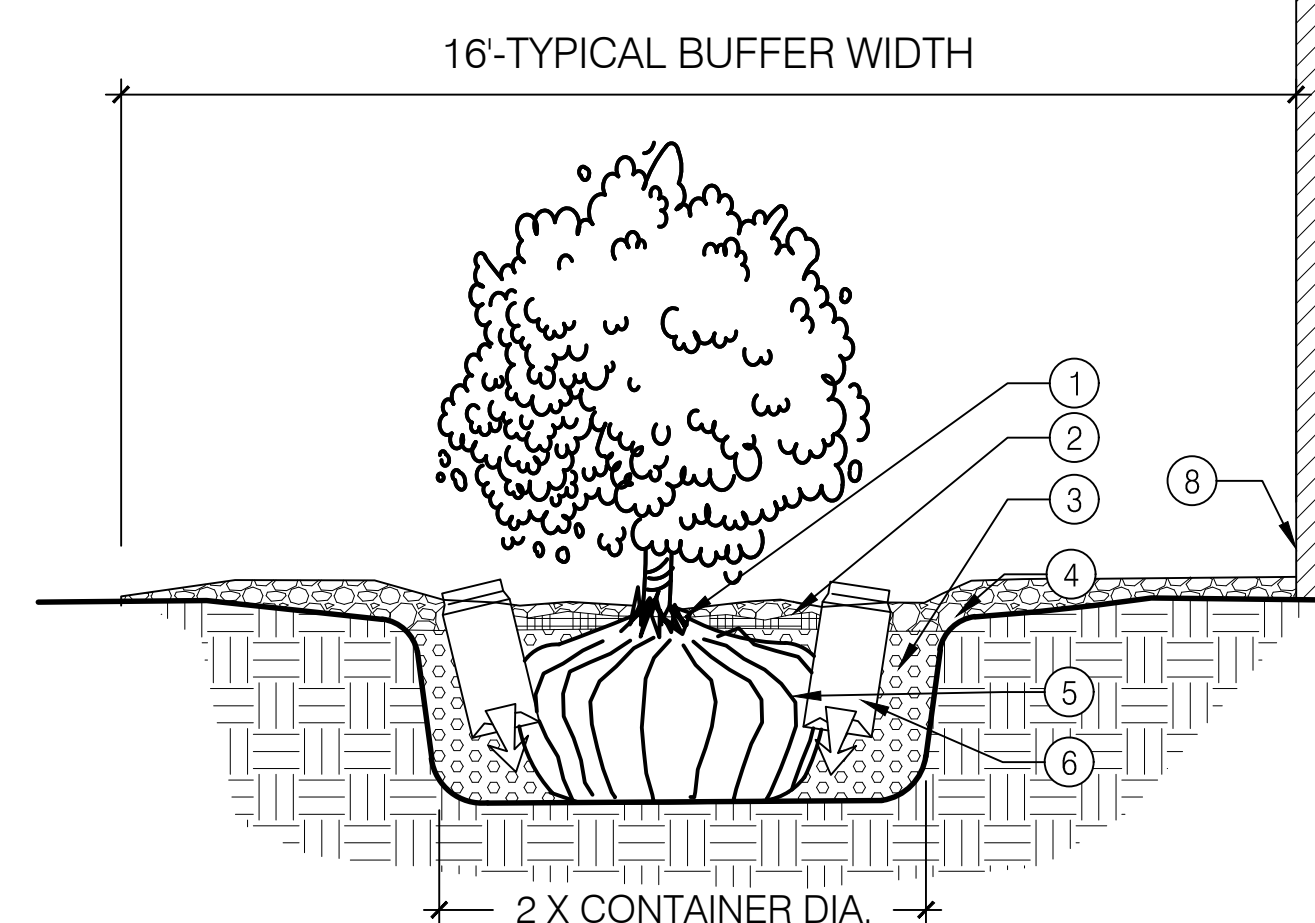
<p>SCALE:</p>	<p>SUBMITTED BY:</p>	<p>ENGINEER'S SEAL</p>	<p>ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY</p> <p>TITLE: VOLCANO CLIFFS ARSENIC TREATMENT FACILITY AND PUMP STATION UPGRADES UTILITY PLAN</p>
<p>WATER AUTHORITY CONSTRUCTION PROJECT NO. 2822.0</p>			<p>ZONE MAP NO. D-09-Z</p>
<p>6001 Indian School Road, N.E. Suite 310 Albuquerque, New Mexico 87110 Tel: (505) 243-3200</p>			<p>SHEET 3 of 8</p>

NOT FOR CONSTRUCTION - FOR PERMIT ONLY



GENERAL LANDSCAPE NOTES:

- NEW SHRUBS SHALL BE HAND WATERED UNTIL ESTABLISHED (APPROXIMATELY ONE GROWING SEASON) MINIMUM OF 5 GALLONS PER LARGE SHRUB AND 2 GALLONS PER MEDIUM SHRUB.
 - ONCE A WEEK IN MARCH
 - TWICE A WEEK IN APRIL AND MAY
 - THREE TIMES A WEEK IN JUNE, JULY AND AUGUST
 - TWICE A WEEK IN SEPTEMBER AND OCTOBER
 - ONCE A WEEK IN NOVEMBER



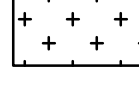
A NATIVE SHRUB PLANTING W/ IRRG SUPPLEMENTATION

- PLANT SHRUB ROOT COLLAR 1"-2" ABOVE FINISH GRADE
- WATER RETENTION BASIN - 3" LAYER OF SHREDDED BARK MULCH. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
- AMENDED BACKFILL - WATER AND TAMP TO REMOVE AIR POCKETS
- 2" LAYER OF ROCK MULCH - SEE PLANTING PLAN
- ROOTBALL
- RAIN BIRD IS-QT. OR PRE APPROVED EQUAL. FOR 2'-3' PLANTS (4) CARTONS EACH PLANT, FOR 4'-5' PLANTS (6) CARTONS PER PLANTING.
- NOT USED.
- EXISTING FENCE. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING FENCE; ANY DAMAGE WILL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.

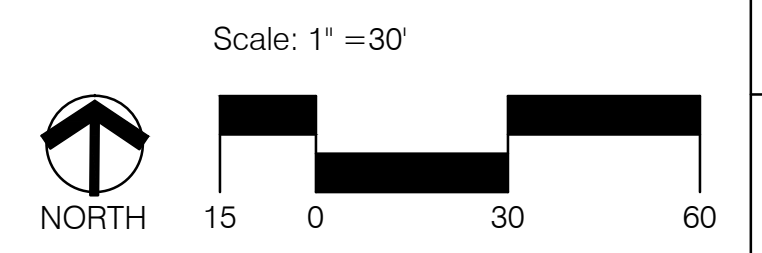
PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	MATURE SIZE	WATER USE
SHRUBS:						
5	⊗	ARTEMISA FILIFOLIA	SAND SAGE	5-GAL	4' HT. X 4' SPR.	LOW
5	⊗	ERICAMERIA NAUSEOSA	CHAMISA	5-GAL	4' HT. X 5' SPR.	LOW
8	⊗	FALLUGIA PARADOXA	APACHE PLUME	5-GAL	3' HT. X 3' SPR.	LOW

SEEDING

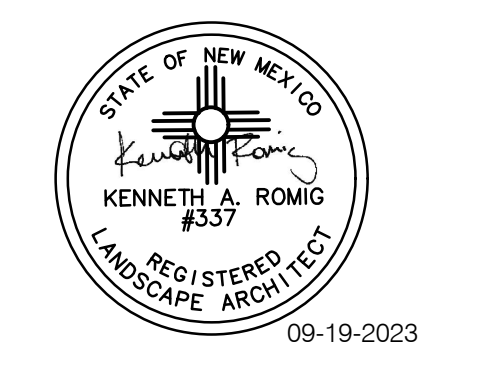
3,725  REVEGETATIVE SEEDING; 'SANDY SOILS' SEED MIX, (SEE NOTE ON PLANTING PLAN). PREP SEEDING AREA BY TILLING 4" DEEP, SPREAD SEED AND TOP WITH 2" DEPTH 3/4"-1" 'BROWN' GRAVEL MULCH.

ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES TO BE DRILL SEEDED AND HYDRO-MULCHED TO THE EXTENTS OF DISTURBANCE.




CONSENSUS
 Planning / Landscape Architecture
 302 Eighth Street NW
 Albuquerque, NM 87102
 (505) 764-9801 Fax 842-5495
 e-mail: cp@consensusplanning.com

CONSULTANTS



**WATER TREATMENT PLANT
 ALBUQUERQUE, NM
 MAY 4, 2023**

SUBMITTAL: MAY 4, 2023

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO: X
 CAD DWG FILE:
 DESIGNED BY: AM DATE: 5/4/23
 DRAWN BY: AM DATE: 5/4/23
 CHECKED BY: KR DATE: 5/4/23

SHEET TITLE

**LANDSCAPE
 PLAN**

DRAWING SHEET

LS100

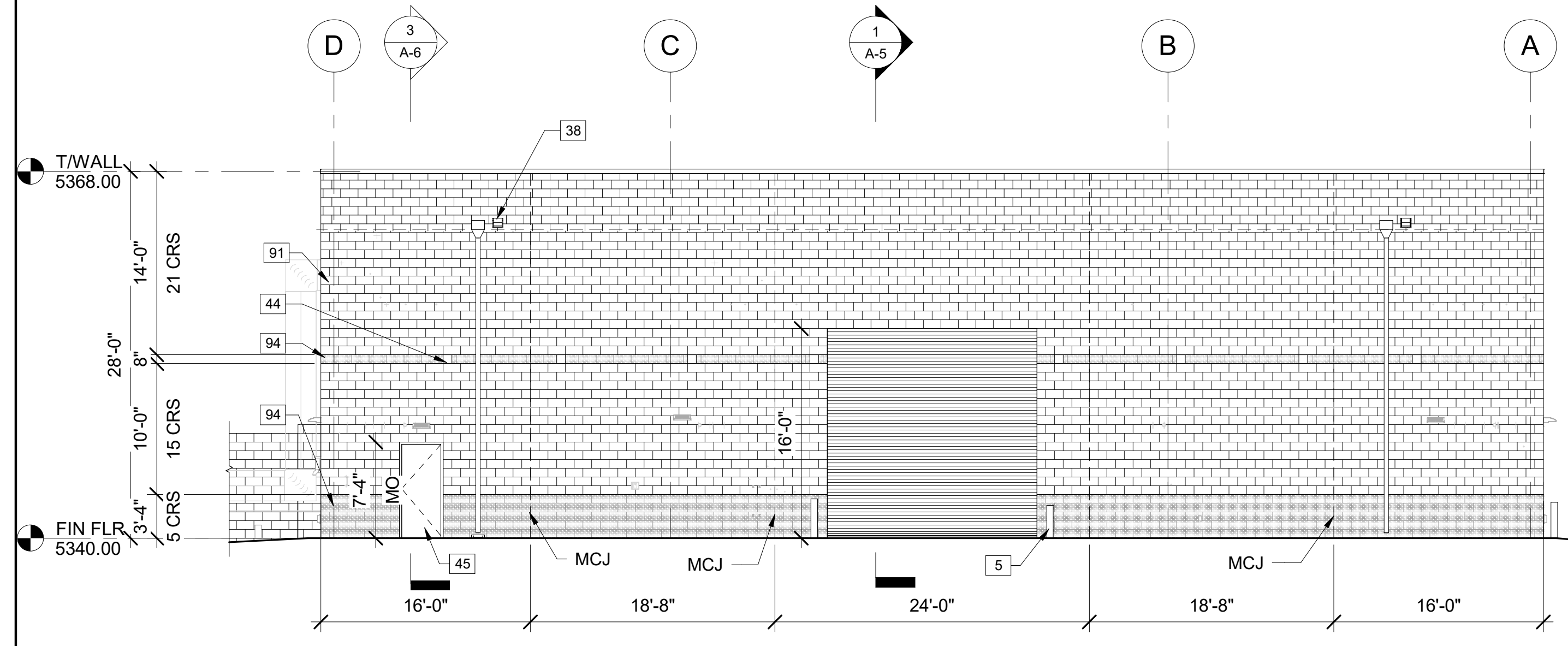
KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
5	BOLLARD, TYP, SEE "C" DWGS
17	HVAC EQUIPMENT, CHAMPION, 14/21 SD L: 62-IN, W: 62-IN, H: 60-IN SEE "H" DWGS
19	LIGHT FIXTURE, HOLOPHANE LIGHTING, HLWPC2P20 L: 16-IN, W: 12-IN, H: 5-IN SEE "E" DWGS
28	ALUMINUM CONDUCTOR HEAD, DOWNSPOUT AND SCUPPER, TYP
38	OVERFLOW SCUPPER, BOTTOM OF OVERFLOW SCUPPER TO BE 2-IN ABOVE BOTTOM OF PRIMARY SCUPPER, TYP
44	8" SMOOTH FACE CMU TYPE 3
45	HOLLOW METAL DOOR AND FRAME, SEE SCHD
91	12" SPLIT FACE CMU TYPE 2
94	12" SPLIT FACE CMU TYPE 1

CMU LEGEND	
	CMU- TYPE 1 : SMOOTH FACE CMU
	CMU- TYPE 2 : SPLIT FACE CMU
	CMU- TYPE 3 : 8"X8" SMOOTH FACE CMU

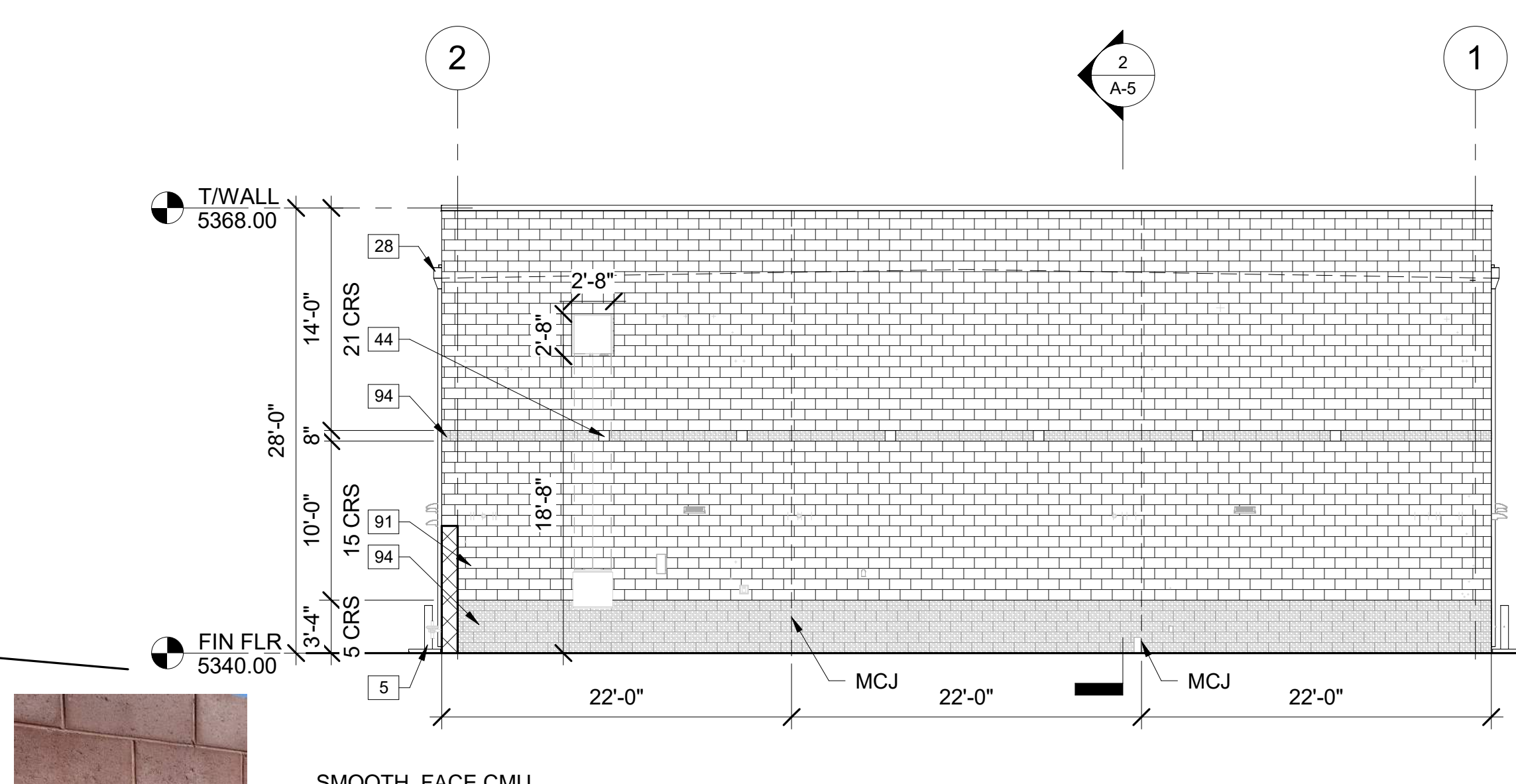
- GENERAL NOTES:**
1. CMU COLOR TO MATCH EXISTING VOLCANO CLIFFS PUMP STATION. LIGHT REFLECTIVE VALUE (LRV) OF CMU BLOCKS SHALL RANGE FROM 20-50%
 2. REMOVE HIGH POINTS ON THE SPLIT FACE CMU TO OBTAIN A LEVEL SURFACE FOR THE MOUNTING OF EXTERIOR LIGHTS AND RECEPTACLES.
 3. REFER TO "H" SHEETS FOR DUCT PENETRATION DETAILS.
 4. CMU OPENINGS SHALL BE COORDINATED WITH APPROVED EQUIPMENT SYSTEMS.



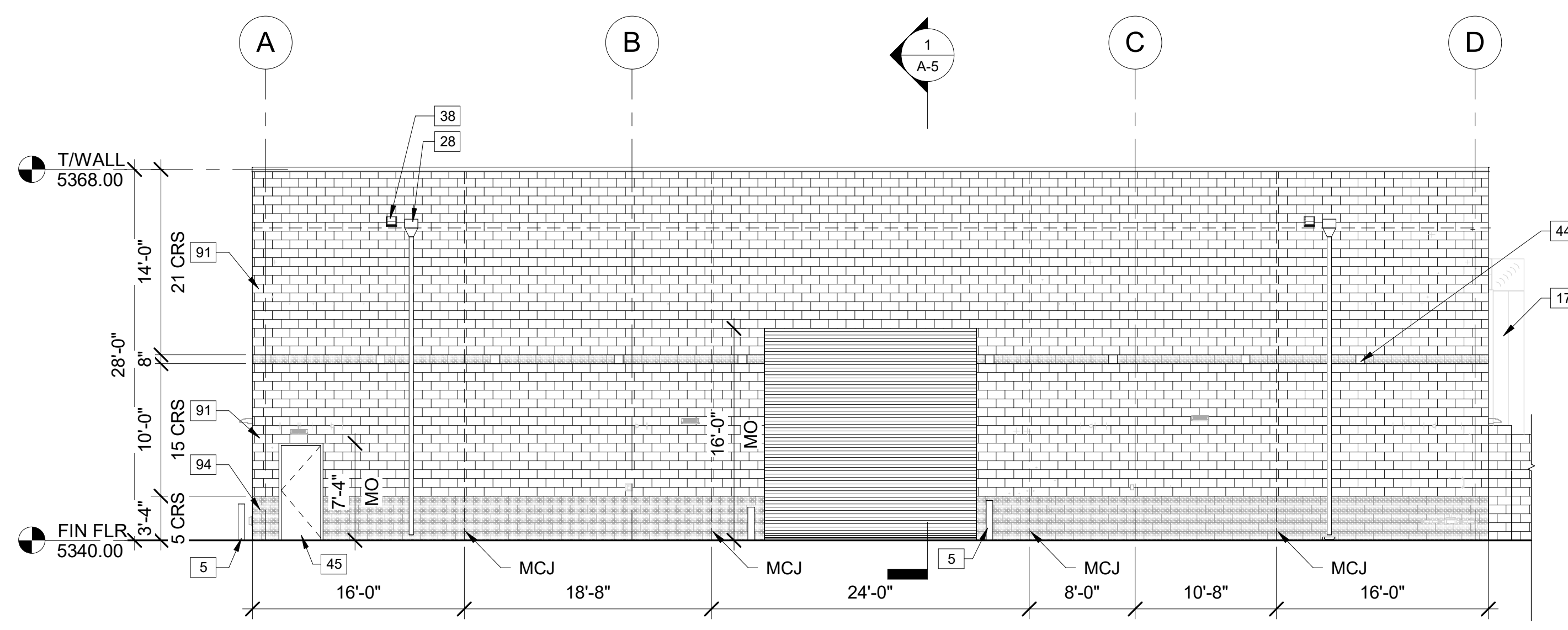
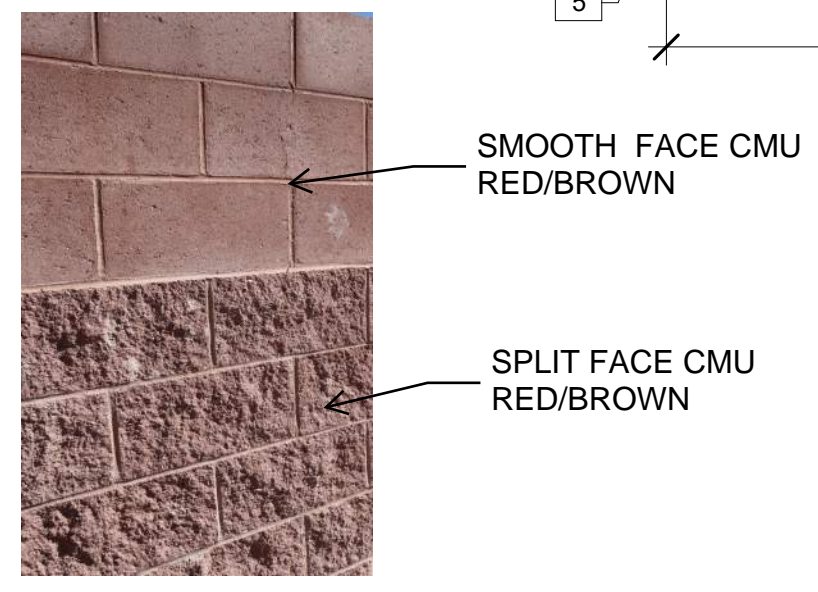
PHOTO OF EXISTING PUMP STATION. THE NEW ARSENIC TREATMENT FACILITY WILL MATCH THE CMU COLORS AND ROLL UP DOORS.



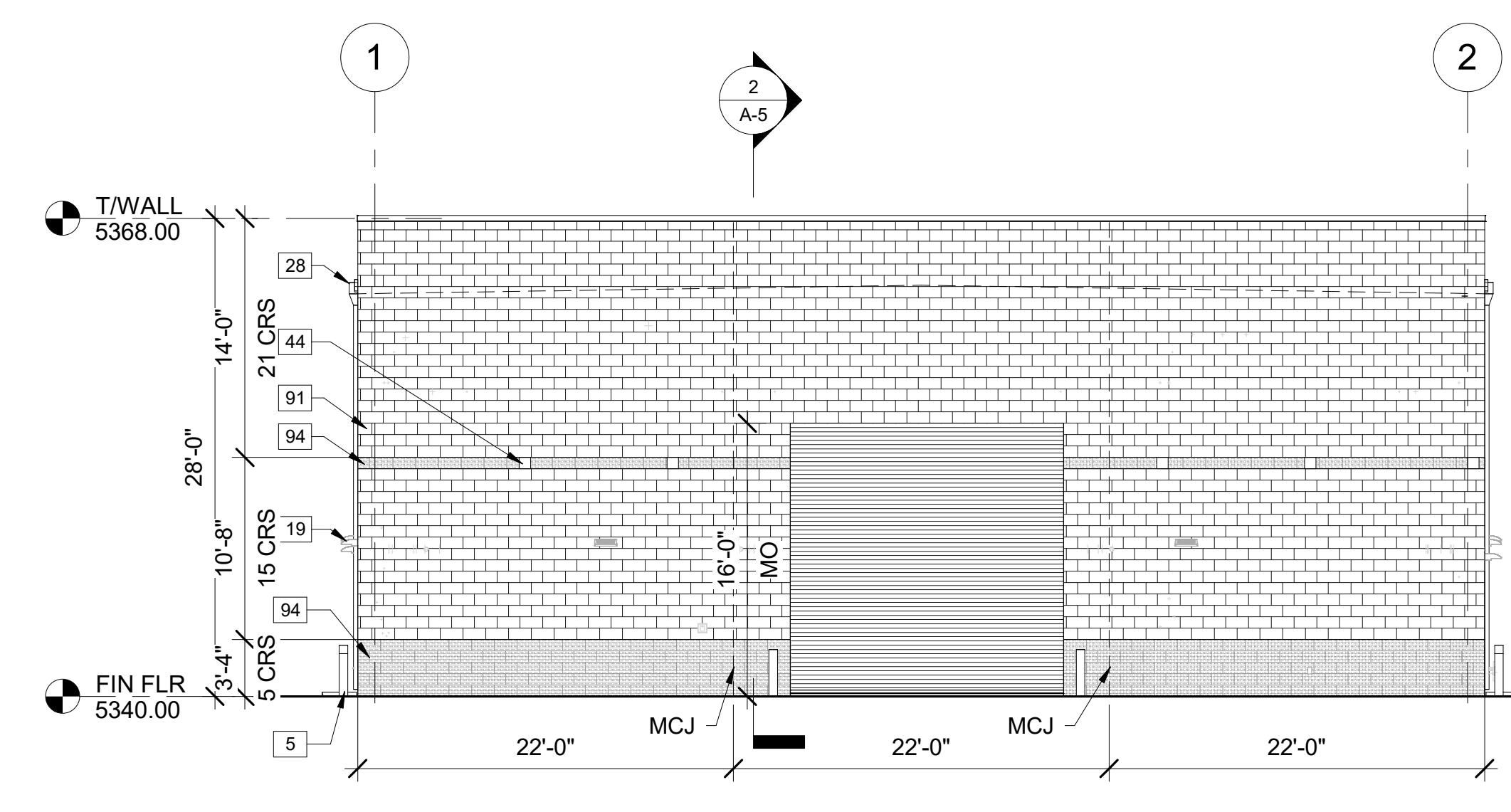
1 NORTH ELEVATION
A-3
1/8" = 1'-0"
0 8 16



2 EAST ELEVATION
A-3
1/8" = 1'-0"
0 8 16



3 SOUTH ELEVATION
A-3
1/8" = 1'-0"
0 8 16



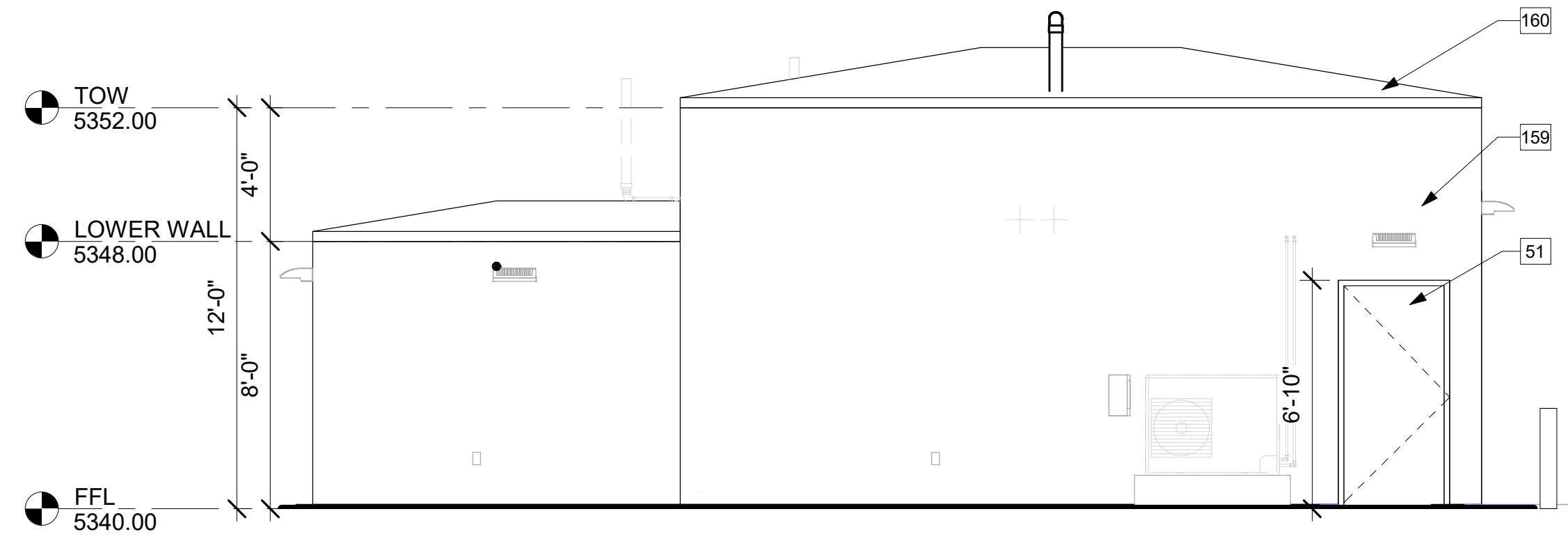
4 WEST ELEVATION
A-3
1/8" = 1'-0"
0 8 16

SUBMITTED BY: 6001 Indian School Road, N.E. Suite 310 Albuquerque, New Mexico 87110 Tel: (505) 243-3200	ARCHITECT'S SEAL Charlotte Throop No. 005052	ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY		
		TITLE: VOLCANO CLIFFS ARSENIC TREATMENT FACILITY AND PUMP STATION UPGRADES ARSENIC TREATMENT BUILDING ELEVATIONS		
WATER AUTHORITY CONSTRUCTION PROJECT NO.		2822.0	ZONE MAP NO. D-09-Z	SHEET 5 of 8

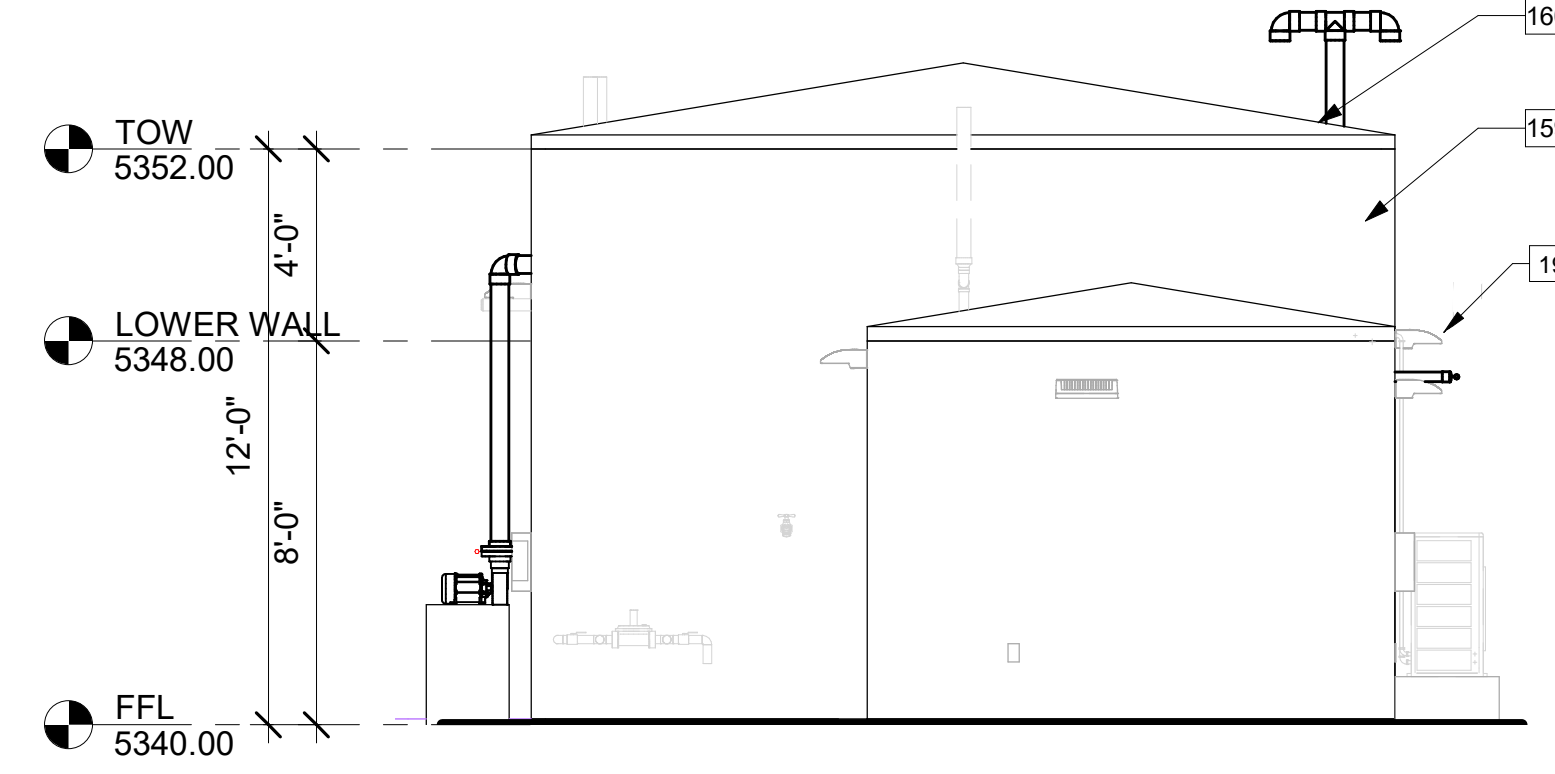
NOT FOR CONSTRUCTION - FOR PERMIT ONLY

GENERAL NOTES:
 1. COORDINATE WALL AND ROOF PENETRATIONS WITH APPROVED EQUIPMENT
 2. BUILDING WILL BE DESERT SAND COLOR WITH LRV RANGING FROM 20-50%

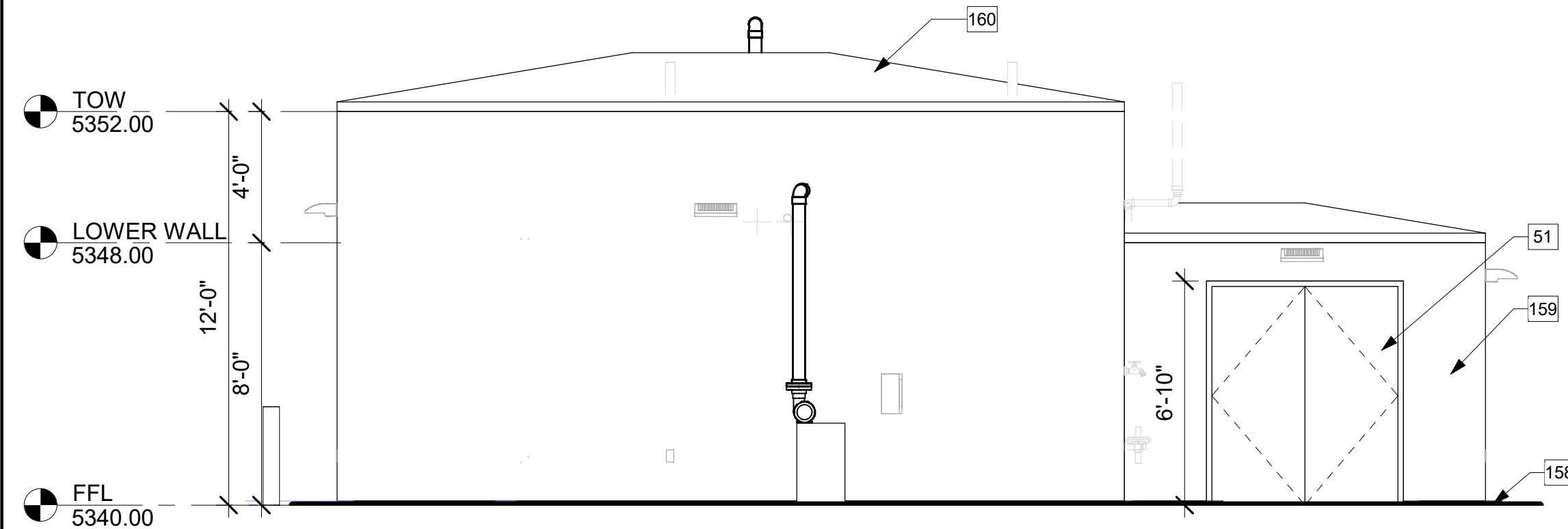
KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
5	BOLLARD, TYP, SEE "C" DWGS
19	LIGHT FIXTURE, HOLOPHANE LIGHTING, HLWPC2P20 L: 16-IN, W:12-IN, H: 5-IN SEE "E" DWGS
51	FRP DOOR AND FRAME, SEE SCHD
54	OVERHEAD COILING DOOR, SEE SCHD
158	CONCRETE CONTAINMENT WALL, SEE "S" SHEETS
159	FRP WALL WITH R-20 (MIN.) CONTINOUS RIGID INSULATION
160	FRP ROOF WITH R-38 (MIN.)



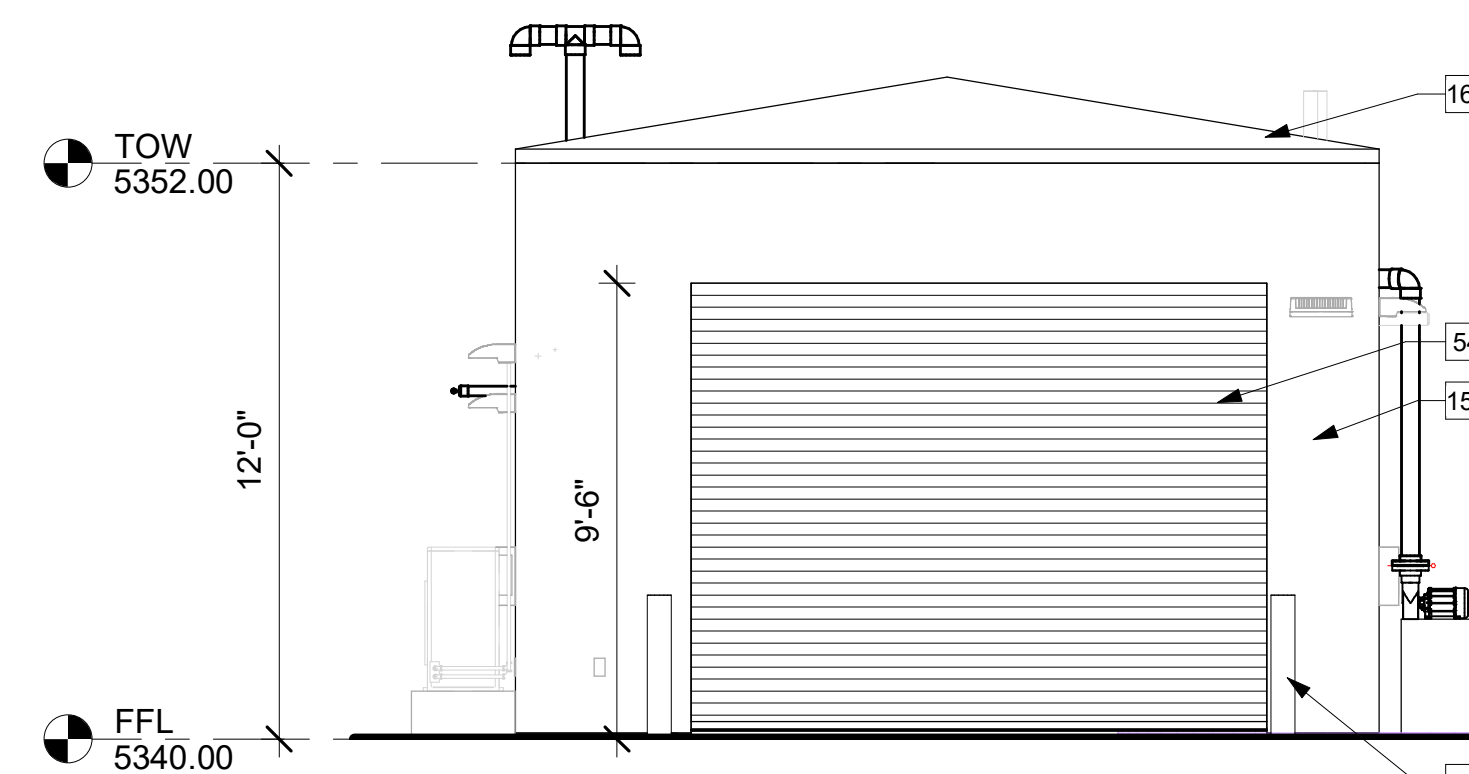
1 NORTH ELEVATION
 A-8 1/4" = 1'-0"
 0 4 8



2 EAST ELEVATION
 A-8 1/4" = 1'-0"
 0 4 8



3 SOUTH ELEVATION
 A-8 1/4" = 1'-0"
 0 4 8



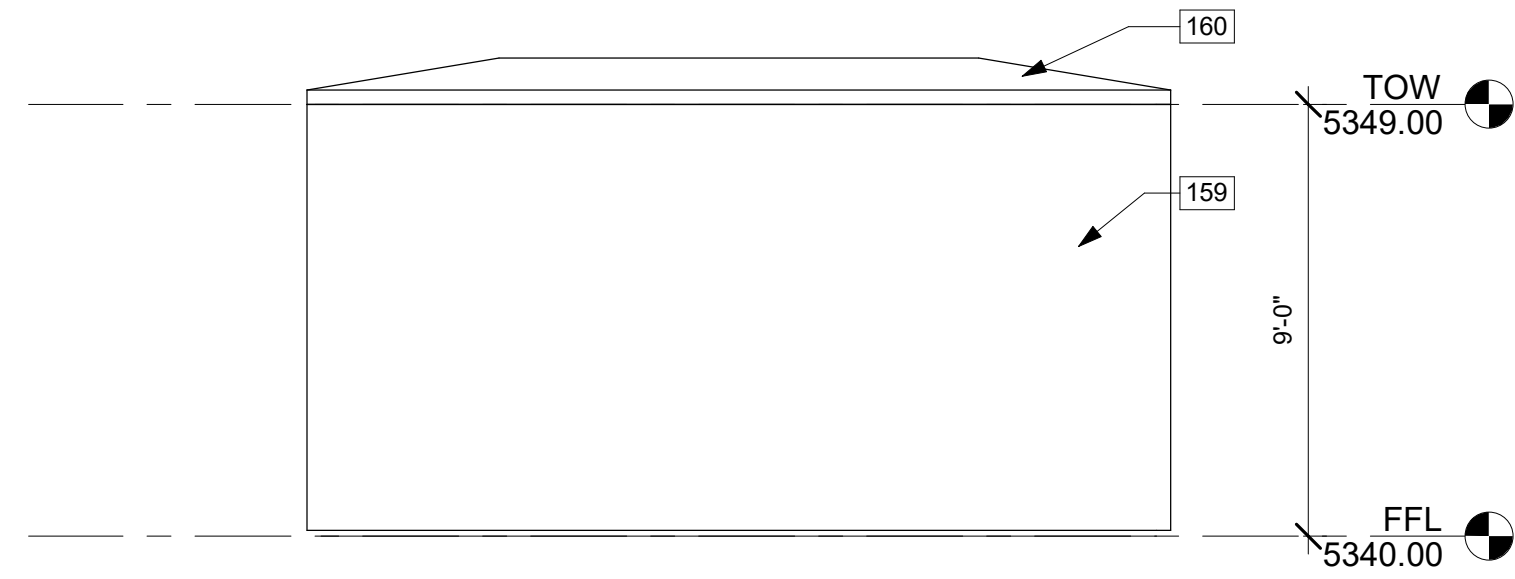
4 WEST ELEVATION
 A-8 1/4" = 1'-0"
 0 4 8

SUBMITTED BY:		ARCHITECT'S SEAL		ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY	
 6001 Indian School Road, N.E. Suite 310 Albuquerque, New Mexico 87110 Tel: (505) 243-3200				TITLE: VOLCANO CLIFFS ARSENIC TREATMENT FACILITY AND PUMP STATION UPGRADES SODIUM HYPOCHLORITE GENERATION BUILDING ELEVATIONS	
				WATER AUTHORITY CONSTRUCTION PROJECT NO. 2822.0	ZONE MAP No. D-09-Z

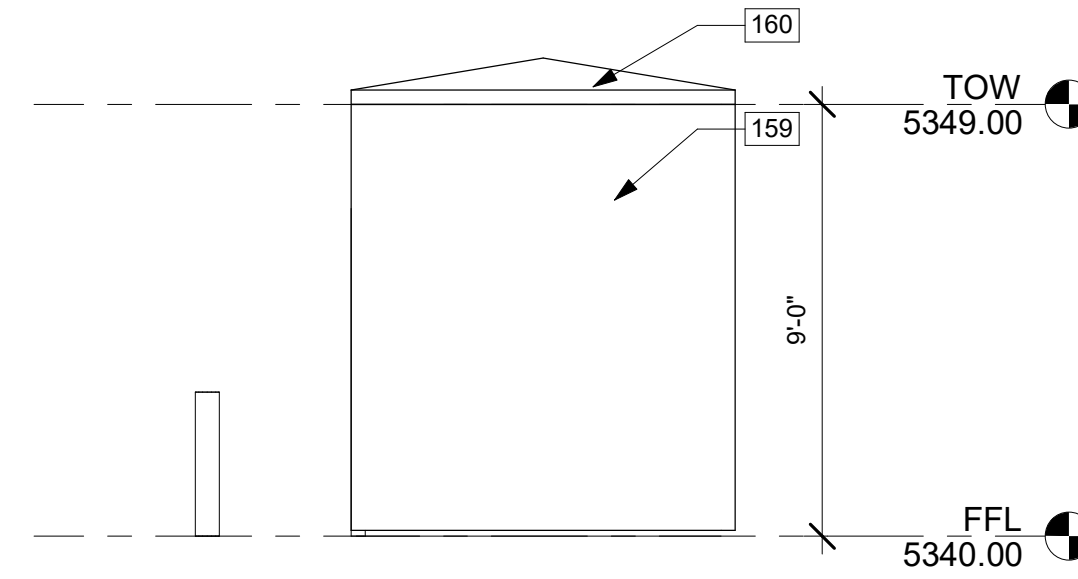
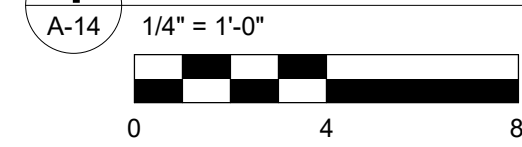
NOT FOR CONSTRUCTION - FOR PERMIT ONLY

GENERAL NOTES:
 1. BUILDING WILL BE DESERT SAND COLOR
 WITH LRV RANGING FROM 20-50%

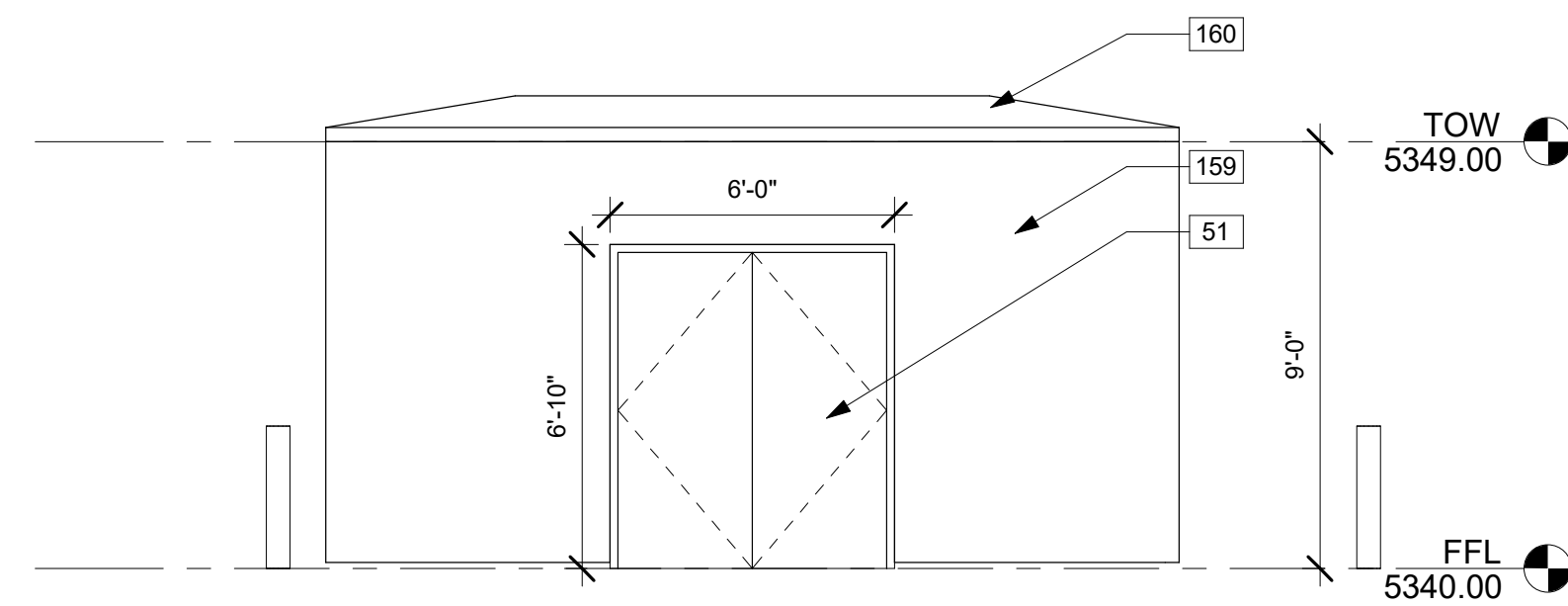
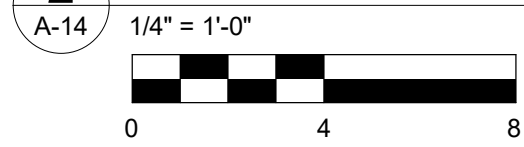
KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
51	FRP DOOR AND FRAME, SEE SCHED
159	FRP WALL WITH R-20 (MIN.) CONTINUOUS RIGID INSULATION
160	FRP ROOF WITH R-38 (MIN.)



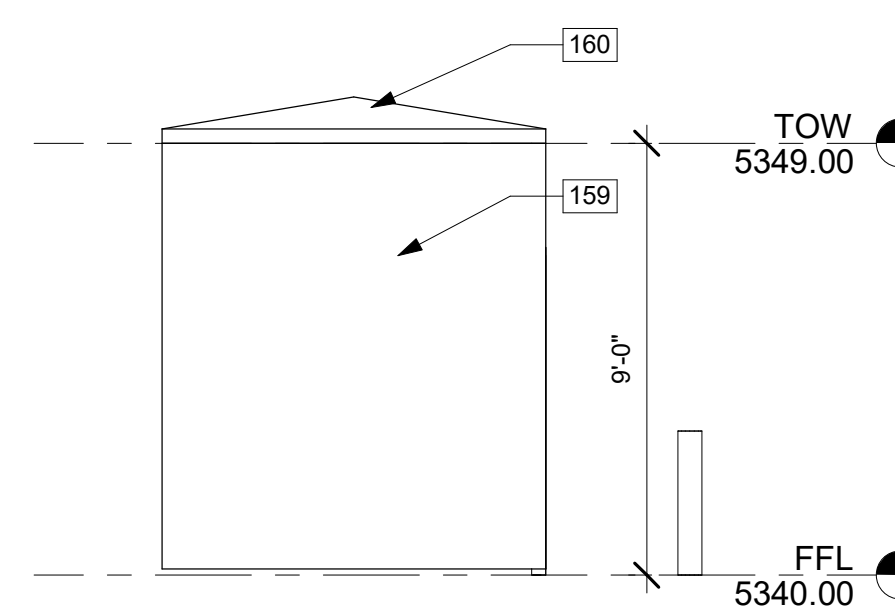
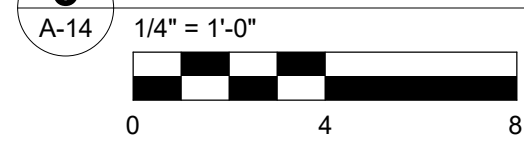
1 NORTH ELEVATION



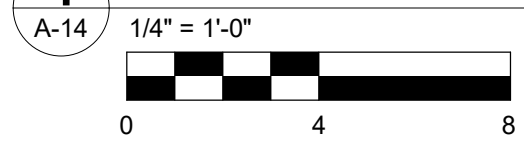
2 EAST ELEVATION



3 SOUTH ELEVATION

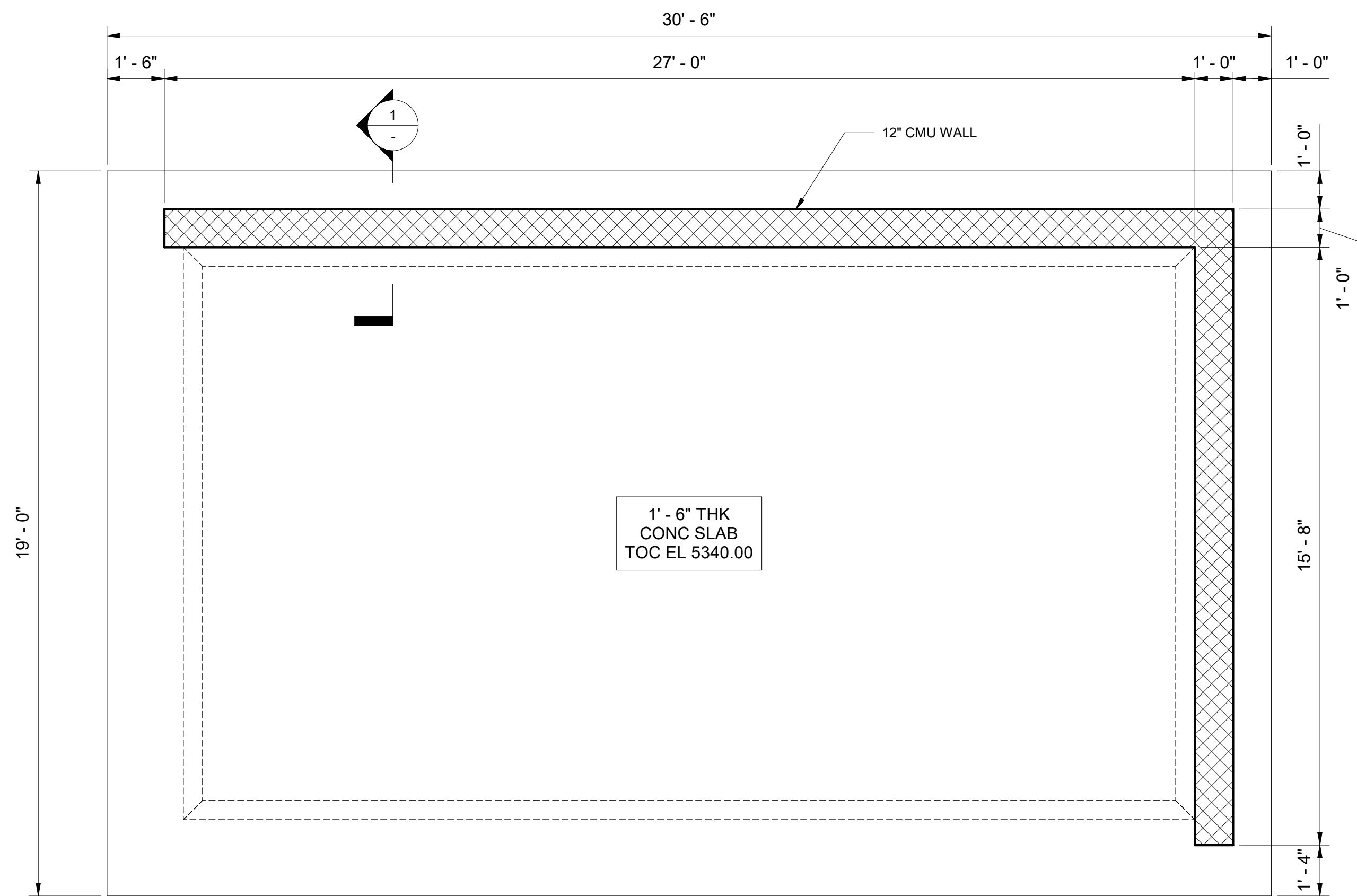
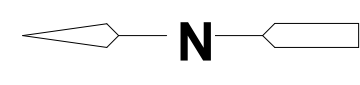


4 WEST ELEVATION

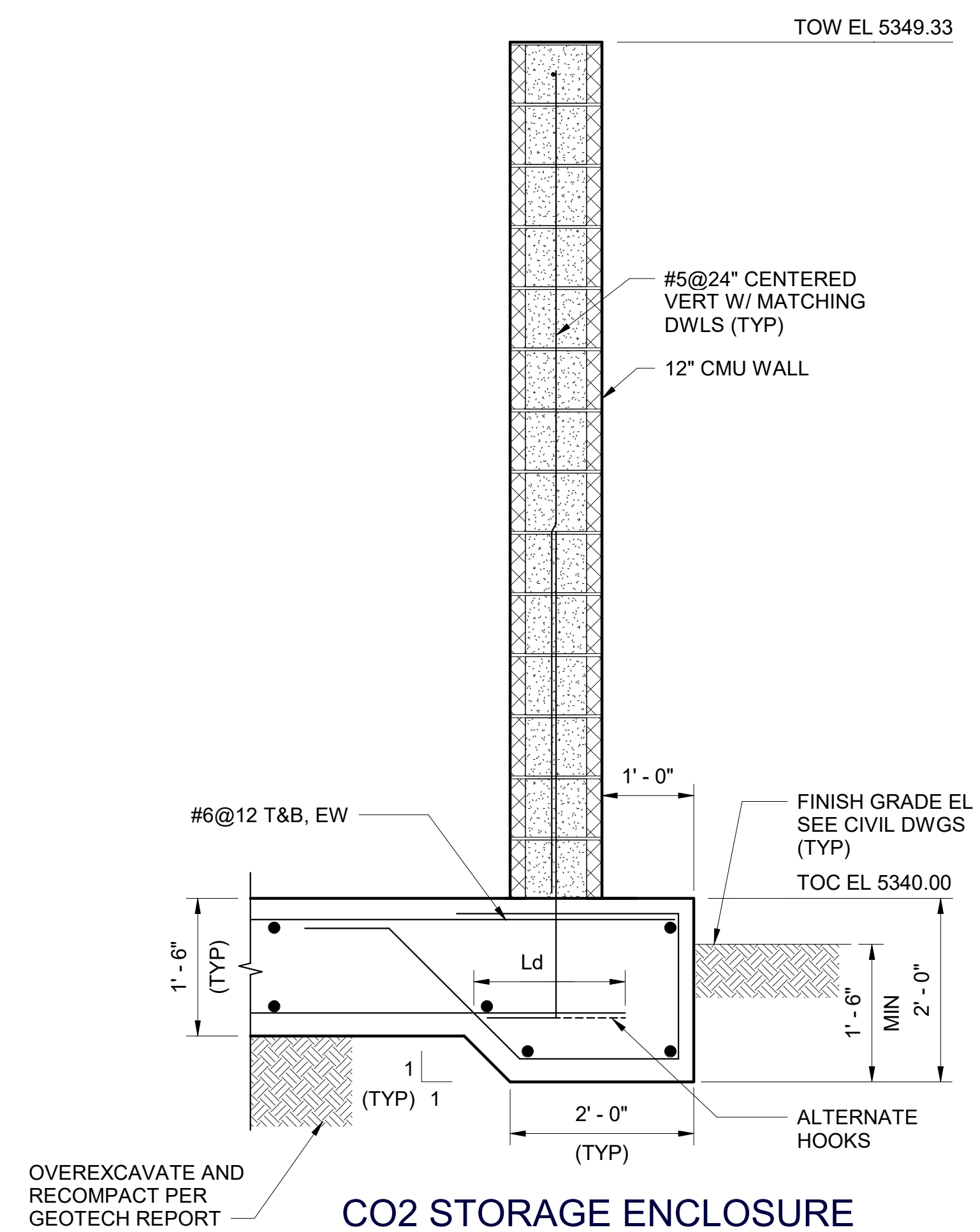


SUBMITTED BY:		ARCHITECT'S SEAL		ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY	
 6001 Indian School Road, N.E. Suite 310 Albuquerque, New Mexico 87110 Tel: (505) 243-3200		 Charlotte Throop No. 005052 REGISTERED ARCHITECT 06-30-2023		TITLE: VOLCANO CLIFFS ARSENIC TREATMENT FACILITY AND PUMP STATION UPGRADES CARBONIC ACID INJECTION BUILDING ELEVATIONS	
				WATER AUTHORITY CONSTRUCTION PROJECT NO. 2822.0	ZONE MAP NO. D-09-Z

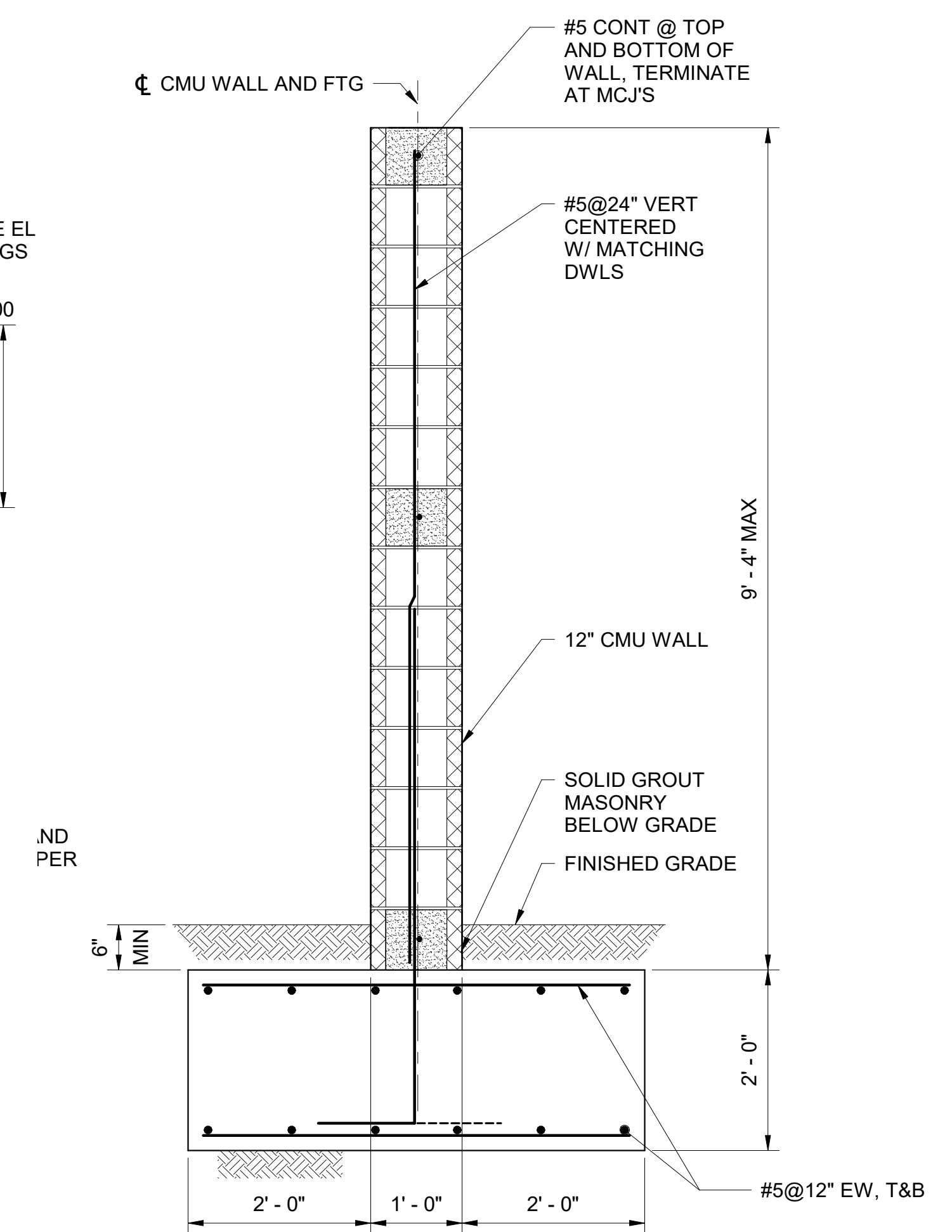
NOT FOR CONSTRUCTION - FOR PERMIT ONLY




CO2 STORAGE ENCLOSURE
FOUNDATION PLAN
 3/8" = 1'-0"



CO2 STORAGE ENCLOSURE
SECTION 1
 3/4" = 1'-0"



EVAPORATIVE COOLER ENCLOSURE WALL
DETAIL D
 NTS

<p>SUBMITTED BY: CDM Smith <small>6001 Indian School Road, N.E. Suite 310 Albuquerque, New Mexico 87110 Tel: (505) 243-3200</small></p>	<p>ENGINEER'S SEAL </p>	<p>ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY TITLE: VOLCANO CLIFFS ARSENIC TREATMENT FACILITY AND PUMP STATION UPGRADES ENCLOSURE WALL DETAILS WATER AUTHORITY CONSTRUCTION PROJECT NO. 2822.0 ZONE MAP NO. D-09-Z SHEET 8 of 8</p>
--	---	--

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

June 15, 2023

ABCWUA
PO BOX 568
Albuquerque, NM 87103

Project # PR-2023-008617
SI-2023-00866 - Site Plan - EPC, Major Amendment

LEGAL DESCRIPTION:

Consensus Planning, agent for the Albuquerque-Bernalillo County Water Utility Authority (ABCWUA), requests the above action for an approximately 4.8 acre portion of the following: All of Section 28, Township 11 North, Range 2 East, zoned NR-PO-B, located at 6641 81st St. NW, west of Unser Blvd. NW and comprising the southwestern corner of the intersection of Molten Rock Rd. NW and 81st St. NW, approximately 640 acres (D-09-Z)
Staff Planner: Silvia Bolivar

On June 15, 2023 the Environmental Planning Commission (EPC) voted to Approve Project # PR-2023-008617, SI-2023-00866 - Site Plan – EPC, Major Amendment) based on the following Findings and subject to the following Conditions of Approval:

1. The request is for a Major Amendment to a Prior Approved Site Development Plan for a water treatment facility located within a Major Public Open Space. The subject site is legally described as Section 28, Township 11 North, Range 2 East, and located at 6641 81st Street NW between Molten Rock Road and 81st Street NW (“the subject site”).
2. The subject site is part of a larger, approximately 640-acre site located within a Major Public Open Space. In February 2003, the EPC approved a Site Development Plan for Building Permit (Project 1002197; 02 EPC 1955) for the water pump station and above-ground storage reservoir to serve the Double-Eagle II Airport and adjacent facilities.
3. The applicant proposes to amend the controlling site development plan to develop 4.8 acres at the northeast corner of a 640-acre site as the new, on-site Volcano Cliffs Arsenic Treatment Facility (VCATF).
4. The VCATF will treat groundwater from the ABCWUA Volcano Cliffs and Zamora Wells with a total production capacity of 16.8 Million Gallons per Day (MGD) and an average arsenic concentration of 14 parts per billion (ppb). The wells provide water to the Volcano Cliffs and Corrales Trunk Systems.
5. The EPC is hearing the case pursuant to the Integrated Development Ordinance (IDO) Section 14-16-6-4(Z), Amendments of Pre-IDO Approvals. IDO Section 14-16-6-5(Z)(1)(b)1, states that Major Amendments shall be reviewed and decided by the decision-making body that issued the permit or approval

being amendment. In this case, the EPC approved the Site Development Plan in February 2003, prior to the effective date of the IDO. In addition, the request is being heard because any Extraordinary Facility must be reviewed and decided pursuant to Subsection 14-16-6-6(J) - Site Plan – EPC.

6. The subject site is zoned NR-PO-B [Park and Open Space Zone District-Sub-zone B: Major Public Open Space], IDO 14-16-2-5(F)(3)(b).
7. The subject site is located in an Area of Consistency as designated by the Comprehensive Plan and is within the boundaries of the West Mesa Community Planning Area (CPA).
8. The subject site is within the boundaries of the Northwest Escarpment View Protection Overlay Zone, VPO-2 (14-16-3-6(E)).
9. The City of Albuquerque granted the ABCWUA permanent exclusive easement (recorded in August 2018) for a public water and sanitary sewer system facility including underground pipelines, wells, pump stations, reservoirs and all improvements, facilities, equipment, and appurtenances necessary for the operation of the water and sanitary sewer system. Permanent Easement – Water Facilities – Volcano Cliffs 81st Street and Vista Vieja Well #1 (Document #2018069239).
10. The Albuquerque/Bernalillo County Comprehensive Plan, the Major Public Open Space Facility Plan, and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
11. The request is consistent with the following Comprehensive Plan Goals and Policies from Chapter 5: Land Use pertaining to Areas of Consistency.
 - A. Goal 5.6 – City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of surrounding areas.

The request will encourage and direct growth to an Area of Change so the development made possible by the request will ensure that the development reinforces the character and intensity of the surrounding areas that are most single-family neighborhoods.

- B. Policy 5.6.3 – Areas of Consistency: Protect and enhance the character of existing single-family, neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

The subject site is located in an Area of Consistency, and the development made possible by the request will protect and enhance the character of existing single-family neighborhoods because it will allow the applicant to comply with regulatory requirements while meeting community needs. In addition, the major amendment will help maximize the existing water treatment facility while confining development to the northeast quadrant of the site. Furthermore, the grading at this location is between 0-5%, and water treatment facilities should be relatively flat with a change in elevation of no more than 2-8% slope, further protecting the existing neighborhoods.

- C. Subpolicy 5.6.3(b): Ensure the development reinforces the scale, intensity, and setbacks of the immediately surrounding area. .

The request is consistent with this subpolicy because the development made possible by the request will reinforce the scale, intensity, and setbacks of the immediately surrounding area by allowing for the existing facility to be expanded within the area covered by the Permanent Easement and by providing buffer spaces of several hundred feet between the site and the neighborhoods nearby. The scale of the proposed buildings will be similar to buildings on site, new facilities will be located to the site's interior, and setbacks will be unaltered.

12. The request is consistent with the following Comprehensive Plan Policies from Chapter 7: Urban Design.

A. Policy 7.5.2 – Landscape Design: Incorporate local climate conditions into site design.

The request is consistent with this policy because the request will allow for the natural and existing vegetation to remain with planned extensive revegetation seeding along the eastern portion of the site. The soils in the area support various native plant communities that will be undisturbed by the development. Incorporating the local climatic conditions into the site sign design will require less maintenance while providing buffering and screening to adjacent neighborhoods.

B. Policy 7.6.3 – Utility Infrastructure: Encourage design of visible infrastructure (surface and overhead) that respects the character of neighborhoods and communities and protects significant natural and cultural features.

The request is consistent with this policy because the new treatment facility will match the exterior of buildings already on-site as much as possible. The new buildings will be of similar materials and architectural styles to the existing buildings, and the layout offsets and separates the buildings limiting their appearance as an industrial facility. As a result, the new facility will have minimal impact on its surroundings.

C. Subpolicy 7.6.3(a): Work with ABCWUA to design facilities that blend into the natural landscape and include native and naturalized vegetation. Encourage more productive use of vacant lots and underutilized lots, including surface parking.

The request is consistent with this policy because ABCWUA is collaborating with local design firms that are designing the facility so that it will blend into the natural landscape. Native and natural vegetation is proposed to protect the surrounding environment while allowing the underutilized water treatment facility to expand, encouraging more productive use of the site.

13. The request is consistent with the following Comprehensive Plan Goal and Policies from Chapter 10: Parks and Open Space.

A. Goal 10.3 – Open Space: Protect the integrity and quality of the region's natural features and environmental assets and provide opportunities for outdoor recreation and education.

The request is consistent with this policy because the facility has been designed to minimize its environmental and public impact. In addition, several hundred feet of buffer spaces between the facility and the nearest residences will help protect the area. Furthermore, the site development will occur within 4.8 acres of a 640-acre site, providing outdoor recreation and education outside the northeast quadrant.

B. Policy 10.3.5 – Petroglyph National Monument: Preserve the volcanoes, key portions of the basalt flow, and the Northwest Mesa Escarpment as part of the Open Space Network.

The request is consistent with this policy because the major amendment will help preserve the volcanoes, basalt flow, and the Northwest Mesa Escarpment because it will allow for the existing water treatment facility to be confined to the northeast quadrant of the major public open space within the

Open Space Network. Furthermore, the grading at this location is between 0-5%, and water treatment facilities should be relatively flat with a change in elevation of no more than 2-8% slope, further protecting the Northwest Mesa Escarpment.

- C. Subpolicy 10.3.5(e): Limit utilities and roads to areas that are least sensitive to disturbance, avoiding the following areas: Piedras Marcadas Canyon, the point where the mid-branch of the San Antonio crosses the Escarpment, the Marsh peninsula, Rinconada Canyon, and the escarpment immediately south of the Rinconada Canyon.

The request is consistent with this Subpolicy because the access road will be located in the northeast quadrant of the site and will occur on a 0-5% slope. The major amendment will avoid the Piedras Marcadas Canyon, the point where the mid-branch of the San Antonio crosses the Escarpment, the Marsh peninsula, Rinconada Canyon, and the escarpment immediately south of Rinconada Canyon.

14. The request is consistent with the following Comprehensive Plan Policy from Chapter 11: Heritage Conservation.

- A. Policy 11.3.1 – Natural and Cultural Features: Preserve and enhance the natural and cultural characteristics and features that contribute to the distinct identity of communities, neighborhoods, and cultural landscapes.

The request is consistent with this policy because the development will be confined to the northeast quadrant of the site while preserving the major public open space that includes the Petroglyph National Monument. Native and naturalized vegetation will be used that will enhance the natural characteristics thereby contributing to the distinct identity of the community, neighborhood, and cultural landscape.

15. The request is consistent with the following Comprehensive Plan Goal and Policy from Chapter 12: Infrastructure, Community Facilities & Services.

- A. Goal 12.1 - Infrastructure: Plan, coordinate, and provide for efficient, equitable, and environmentally sound infrastructure to support existing communities and the Comp Plan's vision for future growth.

The request is consistent with this Goal because the major amendment will allow for the facility to be expanded in order to treat the groundwater from the Volcano Cliffs and Zamora Wells which furthers the Comp Plan's vision for future growth. The major amendment will also allow for ABCWUA to meet the EPAs guidelines while helping to ensure the environmental and social health of the community.

- B. Policy 12.1.2 – Water and Wastewater Utility: Ensure consistency between Comp Plan and ABCWUA policies by coordinating infrastructure planning and programming.

The request is consistent with this Goal because the major amendment helps meet regulatory requirements while addressing utility and community goals. Furthermore, the request helps align ABCWUA management policies and strategies with planning goals contained within the Comp Plan.

16. The request is consistent with the following Comprehensive Plan Goals from Chapter 13: Resiliency and Sustainability.

- A. Goal 13.2.3 – Water Quality: Coordinate with the ABCWUA, state, and other agencies to maintain the quality of our groundwater and surface waters.

Sustainable water infrastructure is critical to providing clean and safe water while helping to ensure the social and environmental sustainability of the communities that water utilities serve. ABCWUA has

worked in conjunction with state and other agencies to help ensure the long-term sustainability of water infrastructure.

- B. Subpolicy 13.2.3(b): Minimize the potential of contaminants to enter the community's water supply.

The request will facilitate the development of the new Volcano Cliffs Arsenic Treatment Facility (VCATF) and will allow for the arsenic treatment system to treat the total water production from the Volcano Cliffs and Zamora Wells. The new arsenic treatment system will utilize absorptive media, similar to several other arsenic removal systems at other arsenic treatment facilities on the West side.

- C. Goal 13.5.3 – Public Infrastructure Systems and Services: Coordinate with providers to ensure that systems and services do not compromise the health, safety, and welfare of the community.

The new Volcano Cliffs Arsenic Treatment Facility will help the applicant coordinate with providers thereby ensuring that systems and services do not compromise the health, safety, and welfare of the community.

17. The City's 1999 Major Public Open Space (MPOS) Rank II Facility Plan identifies the types of Major Public Open Space, including the West Side Open Space. Albuquerque's West Side MPOS defines the western edge of the urban area. Most of the developed facilities located in the West Side are considered special use areas and are managed by several departments including the City Open Space Division. Applicable land use policies from the MPOS Rank II Facility Plan include:

- A. Policy C.3.: Facility development adjacent to the escarpment shall be consistent with the requirements of the Northwest Mesa Escarpment or its successor.

The expansion of the VCATF is consistent with the requirements contained in the Integrated Development Ordinance as the Northwest Mesa Escarpment Sector Development Plan was rescinded upon the adoption of the IDO.

- B. Policy C.5: Existing special use facilities located within Major Public Open Space may accommodate uses which are not appropriate to conservation and resource protection.

The request will facilitate the development of the Volcano Cliffs Arsenic Treatment Facility (VCATF), a facility whose use, while not contributing to conservation and resource protection, will help meet regulatory requirements while addressing utility and community goals.

18. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(J)(3) as follows:

- A. 14-16-6-6(I)(3)(a) As demonstrated by the policy analysis of the site plan, the request is consistent with applicable Comprehensive Goals and Policies.
- B. 14-16-6-6(I)(3)(b) The subject site is zoned NR-PO-B therefore, this criterion does not apply.
- C. 14-16-6-6(I)(3)(c) With the application of conditions of approval, the site plan would comply with all applicable provisions of the IDO.
- D. 14-16-6-6(I)(3)(d) The City's existing infrastructure has adequate capacity for the proposed development.
- E. 14-16-6-6(I)(3)(e) The future, proposed development would be required to comply with the decisions made by the EPC. The EPCs' conditions of approval would improve compliance with the IDO, which contains regulations to mitigate site plan impacts to surrounding areas.

- F. 14-16-6-6(I)(3)(f) The subject property is not within an approved Master Development Plan; therefore, this criterion does not apply.
 - G. 14-16-6-6(I)(3)(g) The subject property is not within a Railroad and Spur Area and a cumulative impact analysis is not required, therefore this criterion does not apply.
19. The affected neighborhood organizations are the Molten Rock NA and the Westside Coalition of Neighborhoods, which were notified as required. In addition, property owners within 100 feet of the subject site were notified as required. A pre-application meeting was not requested.
20. As of this writing, Staff has not received any comments in support or opposition to the request.

CONDITIONS OF APPROVAL – SI-2023-00866

1. The EPC delegates final sign-off authority of this site development plan to the Development Facilitation Team (DFT) to ensure all technical issues are resolved. The DFT is responsible for ensuring that technical EPC Conditions have been satisfied and that other applicable City requirements have been met.
2. The applicant shall meet with the Staff planner prior to applying to the DFT to ensure that all conditions of approval are addressed and met. Upon receiving sign-off from the DFT, the applicant shall submit a finalized version of the site plan for filing at the Planning Department.
3. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DFT final sign-off, may result in forfeiture of approvals.
4. The applicant shall ensure that new shrubs are watered sufficiently as per the General Landscape Notes found in the Landscape Plan (LS 100).
5. Details shall be provided for the Evaporative Cooler, CO2 Tank and Surge Tank enclosure/screen walls.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC’s decision or by **June 30, 2023**. The date of the EPC’s decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the Integrated Development Ordinance (IDO), Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal an EPC Recommendation to the City Council since this is not a final decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the IDO must be complied with, even after approval of the referenced application(s).

OFFICIAL NOTICE OF DECISION

Project # PR-2023-008617

June 15, 2023

Page 7 of 7

Sincerely,

Catalina Lehner

for Alan M. Varela,
Planning Director

AV/CL/SB

cc: ABCWUA, rstone@abcwua.com

Consensus Planning, Jackie Fishman, fishman@consensusplanning.com

Molten Rock NA Jill Yeagley jillyeagley@swcp.com

Molten Rock NA Mary Ann Wolf-Lyerla maryann@hlsnm.org

Westside Coalition of Neighborhood Associations Elizabeth Haley elizabethkayhaley@gmail.com

Westside Coalition of Neighborhood Associations Rene Horvath aboard111@gmail.com

Legal, dking@cabq.gov

EPC File

February 27, 2023

Chair
Eric C. Olivas
County of Bernalillo
Commissioner, District 5

Vice Chair
Tammy Fiebelkorn
City of Albuquerque
Councilor, District 7

Barbara Baca
County of Bernalillo
Commissioner, District 1

Adriann Barboa
County of Bernalillo
Commissioner, District 3

Pat Davis
City of Albuquerque
Councilor, District 6

Trudy E. Jones
City of Albuquerque
Councilor, District 8

Timothy M. Keller
City of Albuquerque
Mayor

Ex-Officio Member
Gilbert Benavides
Village of Los Ranchos
Board Trustee

Executive Director
Mark S. Sanchez

Website
www.abcwua.org

David Shaffer, Chair.
Environmental Planning Commission
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Dear Mr. Chairman and Commissioners:

This letter hereby provides authorization to Consensus Planning to act as our agent on the request for a Major Amendment/Site Plan-EPC for the ABCWUA's Volcano Cliffs reservoirs and pump station located at 6641 81st Street NW. The Major Amendment to allow a new arsenic treatment plant requires EPC approval due to the site being zoned NR-PO-B. Thank you for your consideration.

Sincerely,



Mark S. Sanchez, Executive Director
Albuquerque Bernalillo County Water Utility Authority

FORM P: PRE-APPROVALS/SIGNATURES

All of Section 28 Township 11 North, Range 2 East

Legal Description & Location:

All of Section 28 Township 11 North, Range 2 East

Job Description:

Major Amendment to the EPC approved Site Plan - 4.5 Acres of a 640-Acre Parcel for the development of a new on-site Volcano Cliffs Arsenic Treatment Plant (PR-2023-008617)

Hydrology:

- Grading and Drainage Plan Approved NA
- AMAFCA Approved NA
- Bernalillo County Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Renee C. Brissette
Hydrology Department

09/25/23
Date

Transportation:

- Traffic Circulations Layout (TCL) Approved NA
- Traffic Impact Study (TIS) Approved NA
- Neighborhood Impact Analysis (NIA) Approved NA
- Bernalillo County Approved NA
- MRCOG Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Ernest Armijo
Transportation Department

9/22/2023
Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Water/Sewer Availability Statement/Serviceability Letter Approved NA
 - ABCWUA Development Agreement Approved NA
 - ABCWUA Service Connection Agreement Approved NA
- No service requested

Jeremy Shell
ABCWUA

09/25/2023
Date

- Infrastructure Improvements Agreement (IIA*) Approved NA
- Solid Waste Department Signature on the plan Approved NA
- Fire Marshall Signature on the plan Approved NA

* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)



September 25, 2023

Jolene Wolfley, Associate Director
Development Facilitation Team
City of Albuquerque
600 2nd St NW
Albuquerque, NM 87102

RE: Request for a Site Plan – EPC DFT Sign-Off
PR-2023-008617

Landscape Architecture
Urban Design
Planning Services

Dear Ms. Wolfley:

302 Eighth St. NW
Albuquerque, NM 87102

The purpose of this letter is to request final signoff of the Major Amendment for a property located at 6641 81st Street NW, on behalf of the Albuquerque Bernalillo County Water Utility Authority (ABCWUA). The Site Plan-Major Amendment was approved by the Environmental Planning Commission on June 15, 2023.

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

The subject site is comprised of approximately 4.5 acres of a 640-acre section parcel and is currently zoned NR-PO-B, Non-Residential-Park and Open Space – Sub-Zone B for Major Public Open Space. It is legally described as *“All of Section 28 Township 11 North, Range 2 East”*.

The following are responses to each condition included in the Official Notification of Decision dated June 15, 2023 (attached):

Condition #1: The EPC delegates final sign-off authority of this site development plan to the Development Facilitation Team (DFT) to ensure all technical issues are resolved. The DFT is responsible for ensuring that technical EPC Conditions have been satisfied and that other applicable City requirements have been met.

Applicant’s Response: Agreed.

Condition # 2: The applicant shall meet with the Staff planner prior to applying to the DFT to ensure that all conditions of approval are addressed and met. Upon receiving sign-off from the DFT, the applicant shall submit a finalized version of the site plan for filing at the Planning Department.

Applicant’s Response: The letter and revised site plan were submitted to and reviewed by the City Staff planner prior to submitting the application to the DFT.

Condition # 3: A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DFT final sign-off, may result in forfeiture of approvals.

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP



Applicant's Response: This letter is being provided in response to this condition. There were very few specific EPC conditions that required changes to the site plan.

Condition # 4: The applicant shall ensure that new shrubs are watered sufficiently as per the General Landscape Notes found in the Landscape Plan (LS 100).

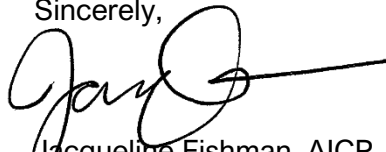
Applicant's Response: Agreed.

Condition # 5: Details shall be provided for the Evaporative Cooler, CO2 Tank and Surge Tank enclosure/screen walls.

Applicant's Response: See Sheet 8 of 8 with additional details.

Please contact our office if you have any questions.

Sincerely,



Jacqueline Fishman, AICP
Principal

Attachments: EPC Notice of Decision (PR-2023-008617)