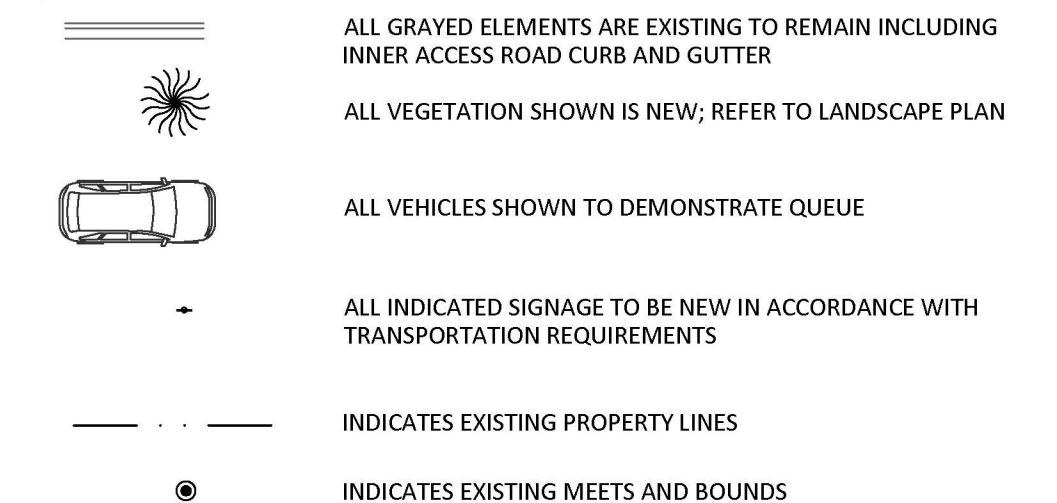


GENERAL NOTES: SITE PLAN

- SEE CIVIL SHEETS FOR SITE DEMOLITION, HORIZONTAL CONTROL PLAN, GRADING IMPROVEMENTS, EASEMENTS, EROSION CONTROL, SIGNAGE, STRIPPING AND PAVEMENT PLANS. SEE LANDSCAPE SHEETS FOR LANDSCAPE IMPROVEMENTS.
- THE CONTRACTOR SHALL PREVIEW CONDITIONS AND REVIEW THE SUBSURFACE EXPLORATION GEOTECHNICAL ENGINEERING REPORT FOR THE PROJECT AND PERFORM TO THE REQUIREMENTS OF THE GEOTECHNICAL REPORT.
- VERIFY LOCATIONS OF EXISTING UTILITIES BEFORE PROCEEDING WITH EXCAVATIONS.
- ALL GRADING AND CONCRETE PAVING SHALL SLOPE AWAY FROM THE BUILDING.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ADEQUATE DRAINAGE THROUGHOUT THE SITE DURING THE PROCESS OF EXCAVATION AND GRADING. THE GRADE SHALL BE MAINTAINED IN SUCH CONDITION THAT IT IS WELL DRAINED AT ALL TIMES.
- ADJACENT STREETS AND PARKING AREA SHALL BE KEPT FREE OF MUD AND DEBRIS.
- THE CONTRACTOR SHALL PROTECT EXISTING ON & OFF SITE CONDITIONS TO REMAIN FROM DAMAGE.
- THE CONTRACTOR SHALL CONFINE STAGING, STORAGE AND CONSTRUCTION PARKING TO THE SITE.
- THE IRRIGATION SUBCONTRACTOR SHALL COORDINATE THE LOCATION OF IRRIGATION PIPE SLEEVES WITH THE GENERAL CONTRACTOR PRIOR TO PAVING ACTIVITIES. SLEEVES SHALL BE PROVIDED AND INSTALLED BY THE IRRIGATION SUBCONTRACTOR. IRRIGATION DESIGN TO BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LANDSCAPE PLANS & IRRIGATION REQUIREMENTS.
- CONTROL JOINTS TO BE SAW CUT TO $\frac{1}{2}$ DEPTH OF SLAB. EXPANSION JOINTS TO BE $\frac{1}{2}$ WIDE AND HELD DOWN $\frac{1}{2}$ FROM SURFACE TO RECEIVE SELF LEVELING SEALANT.
- ALL SIGNAGE TO BE SUBMITTED UNDER A SEPARATE PERMIT.
- ALL NEW PAVING TO BE CONCRETE. REFER TO CIVIL PAVING PLAN. ALL CONCRETE PEDESTRIAN WALKS SHOWN WITH CONCRETE HATCH.
- THIS SITE IS WITHIN THE RAILROAD SPUR SPILL AREA. REQUIRING A CUMULATIVE IMPACT ANALYSIS. ANALYSIS IS PROVIDED WITH THIS SUBMITTAL DEMONSTRATING HOW THIS SITE PLAN MITIGATES HARM TO THE AREA.
- A TIS WILL BE SUBMITTED WITH THIS SITE PLAN SUBMITTAL.

LEGEND



- ALL GRAVED ELEMENTS ARE EXISTING TO REMAIN INCLUDING INNER ACCESS ROAD CURB AND GUTTER
- ALL VEGETATION SHOWN IS NEW; REFER TO LANDSCAPE PLAN
- ALL VEHICLES SHOWN TO DEMONSTRATE QUEUE
- ALL INDICATED SIGNAGE TO BE NEW IN ACCORDANCE WITH TRANSPORTATION REQUIREMENTS
- INDICATES EXISTING PROPERTY LINES
- INDICATES EXISTING MEETS AND BOUNDS

KEYED NOTES

- EXISTING FIRE HYDRANT OFF SITE
- NEW ONE WAY SIGN
- JOG EXISTING SIDEWALK FOR ACCESSIBLE ROUTE AROUND EXISTING UTILITY POLE
- PROPERTY SIGNAGE, SIGNAGE TO BE SUBMITTED UNDER SEPARATE PERMIT.
- 3' HIGH SCREEN WALL FOR HEADLIGHTS IN QUEUE, CONSTRUCT OF CMU, FINISH COLOR TO BE STUCCO TO MATCH BUILDING. SEE SITE PLAN FOR SPECIFIED LENGTH.
- PROPERTY LINES
- INDICATES 15' TALL PROPERTY SITE LIGHTING
- PAY KIOSK
- NO USE
- 10' CONTACT WASH LANE
- 11' BICYCLE RACK
- PATCH AND REPAIR EXISTING SIDEWALK WHERE INDICATED AT DEMO EXTENTS. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER COA STANDARDS
- ALL EXISTING CONDITIONS ARE SHOWN GRAYED
14. MOTORCYCLE SPACE AND SIGNAGE
15. EXISTING SIDEWALKS ALONG MENAUL AND 2ND ST TO REMAIN. PATCH AND REPAIR EXISTING SIDEWALK WHERE INDICATED AT DEMO EXTENTS
16. NEW 8' ACCESSIBLE SIDEWALK CONNECTION TO PUBLIC ROW
17. ONE WAY DO NOT ENTER STRIPING
18. NEW STOP STOP
19. NEW DO NOT ENTER SIGN
20. ADA SPACES, STRIPING AND SIGNAGE
21. VACUUM CANOPIES
22. GENERAL REFUSE NOTES:
 - GATE CODE TO BE PROVIDED TO SOLID WASTE TO ASSURE REFUSE ACCESS BY 5AM
 - NO EXISTING/NEW OVERHEAD WIRES OR OBSTRUCTIONS OVER REFUSE OR REFUSE SERVICE AREA
 - NO EXISTING TRASH SERVICE AT DEVELOPMENT; NEW TRASH SERVICE TO BE PROVIDED
 - DUMPSTER ONLY PROVIDED, NO TRASH COMPACTOR. NO RECYCLING REQUIRED DUE TO NO RECYCLABLE MATERIALS
 - 85' UNOBSTRUCTED APPROACH TO FRONT OF DUMPSTER
23. ADA CROSSWALK
24. EXISTING PNM EASEMENT

GENERAL INFORMATION

SITE HAS AN EXISTING GAS STATION AND PUMPS WITH AN ACCESSORY CAR WASH TUNNEL. ALL EXISTING STRUCTURES TO BE DEMOLISHED

IDO ZONE ATLAS: H-14-Z (NTS)


 PROJECT NUMBER: PR-2023-008619
 Application Number: SI-2024-00547

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Committee (EPC), dated [REDACTED] and the Final Environmental Assessment by the Office of the Decision of [REDACTED]

Is an Infrastructure Lot required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRAFT SITE DEVELOPMENT PLAN APPROVAL:

Email: [REDACTED]	Date: 12/04/2025
Traffic Engineering, Transportation Division	Date: 12/17/2025
ABCWUA	Date: 12/05/2025
WATER	Date: 12/03/2025
Parks and Recreation Department	Date: 12/03/2025
Hydrology	Date: 12/03/2025
Code Enforcement	Date: 12/03/2025
Environmental Health Department (conditional)	Date: 12/03/2025
Solid Waste Management	Date: 12/18/2025
Planning Department	Date: 12/18/2025

 Environmental Health, if necessary
 12/16/22



GRAPHIC SCALE
20 10 0 10 20
SCALE: 1" = 20'-0"

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	INSTALL SIZE	MATURE SIZE	WATER USE
TREES					
●	6	Cercis canadensis 'Pink Pom Poms' / Pink Pom Poms Eastern Redbud	2.5" cal.	20' ht x 20' spd.	Medium
●	6	Chilopis linearis / Desert Willow	2.5" cal.	20' ht x 20' spd.	Medium
●	6	Pistacia chinensis / Chinese Pistache	2.5" cal.	30' ht x 30' spd.	Medium
SHRUBS					
●	9	Buddleja davidii nanhoensis / Dwarf Butterfly Bush	5 gal.	5' ht x 8' spd.	Medium
●	20	Caryopteris x clandonensis / Blue Mist Spirea	5 gal.	3' ht x 3' spd.	Low+
●	6	Cotoneaster buxifolius / glaucophyllus / Grey- Leaf Cotoneaster	5 gal.	8' ht x 10' spd.	Medium
●	10	Elaeagnus Pungens / Silverberry	5 gal.	10' x 10'	Medium
●	8	Hesperaloe parviflora / Red Yucca	5 gal.	3' ht x 3' spd.	Low+
●	7	Hibiscus syriacus / Rose of Sharon	5 gal.	10' x 10'	Medium
●	8	Nolina macrocarpa / Beargrass	5 gal.	5' ht x 5' spd.	RW
●	25	Panicum virgatum / Switchgrass	5 gal.	4' ht X 4' spd.	Medium
●	10	Rhus Aromatic / Gro-Low Sumac	5 gal.	2' ht x 6' spd.	Low+
●	12	Rosa 'Pink Double Knock Out' / Pink Double Knock Out Rose	5 gal.	4' ht X 4' spd.	Medium

PLANTING NOTES

ALL PLANTS TO CONTAIN BARK MULCH AROUND THE ROOTBALL, TO THE EXTENT TO COVER THE DRIP LINES. ALL TREES TO BE PLANTED SO THAT THE TRUNK IS AT LEAST 15 FEET AWAY FROM LIGHT POLES.

GENERAL NOTES

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH APPLICABLE CITY WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

GRAY GRAVEL OVER FILTER FABRIC TO A MINIMUM DEPTH OF 3" SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED OR OTHER HATCHED GROUNDCOVER AREA. ALL GRAVEL SHALL BE PLACED .5"-1" LOWER THAN ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND ACTUAL FIELD VERIFICATION, CONTRACTOR SHALL CEASE WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTIONS ON HOW TO PROCEED.

POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

IRRIGATION NOTES:

IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNERS RESPONSIBILITY TO ENSURE THAT FUGITIVE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

ALL ON-SITE PLANT MATERIAL, NEW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS. TREES SHALL RECEIVE ONE (1) NETAFIM SPIRAL (50' LENGTH) WITH 3 LOOPS AT A FINAL RADIUS OF 4.5' FROM TREE TRUNK, PINNED IN PLACE. NETAFIM SHALL HAVE EMITTERS 12" O.C. WITH A FLOW OF .6 GPH. SHRUBS TO RECEIVE (2) 1.0 GPH DRIP EMMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE SHALL RUN 1.5 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

The Hilltop
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ted@hilltoplandscape.com



Tidal Wave Auto Spa
2nd Street & Menaul
Albuquerque, NM

Preliminary Landscape Design

LANDSCAPE CALCULATIONS

ZONING

APPLICABLE REGULATION(S)

IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994

TOTAL LOT AREA (ACRES)	0.93	GROUNDCOVER (% - REQ)	25.0%
TOTAL LOT AREA (SF)	40557	GROUNDCOVER (SF - REQ)	3147
BUILDING AREA (SF)	3315	GROUNDCOVER (SF - PROV.)	3200
NET LOT AREA (SF)	37,242		
		PARKING LOT AREA (SF)	14268
REQUIRED LANDSCAPE (%)	15.0%	REQ. PARKING LANDSCAPE 10% (SF)	1427
REQUIRED LANDSCAPE (SF)	5586	PROV. PARKING LANDSCAPE (SF)	7346
LANDSCAPE PROVIDED (SF)	16785	REQ. PARKING TREES (1/10 SPOTS)	2
VEGETATIVE COVER (% - REQ)	75.0%	PROV. PARKING TREES	3
VEGETATIVE COVER (SF - REQ)	12589		
VEGETATIVE COVER (SF - PROV.)	20500		

STREET TREE CALCULATIONS

STREET TREE ORDINANCE REQUIRES SPACING OF STREET TREE AT 25' O.C.

WOODLAND BLVD NW, 109 FT

REQUIRED NUMBER OF TREES 4

PROVIDED NUMBER OF TREES 4

2ND STREET NW, 280 FT

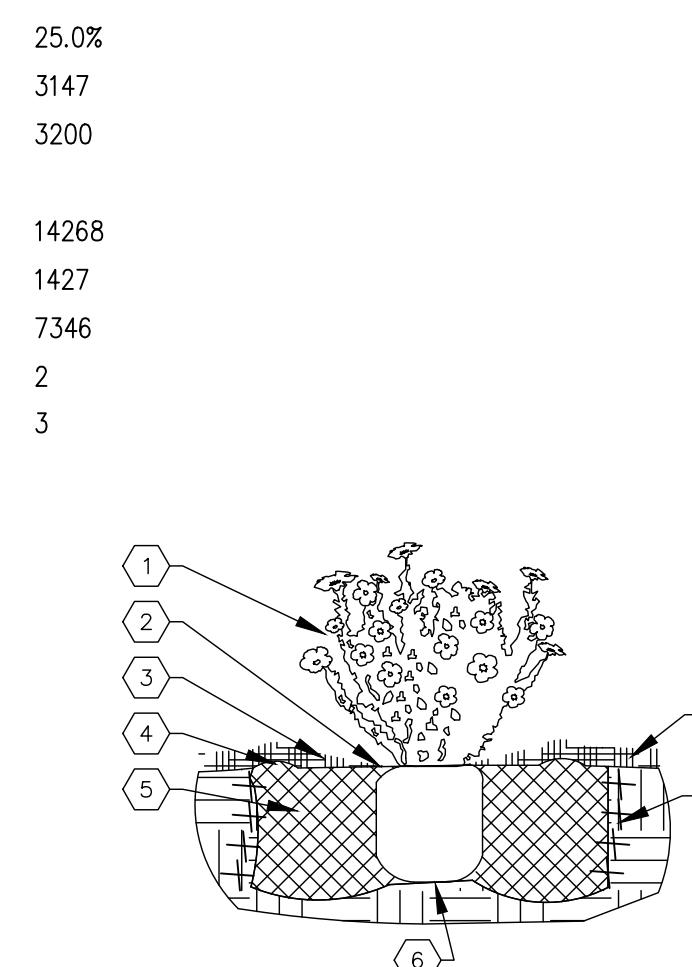
REQUIRED NUMBER OF TREES 11

PROVIDED NUMBER OF TREES 11

MENAUL BLVD NW, 96 FT

REQUIRED NUMBER OF TREES 4

PROVIDED NUMBER OF TREES 4



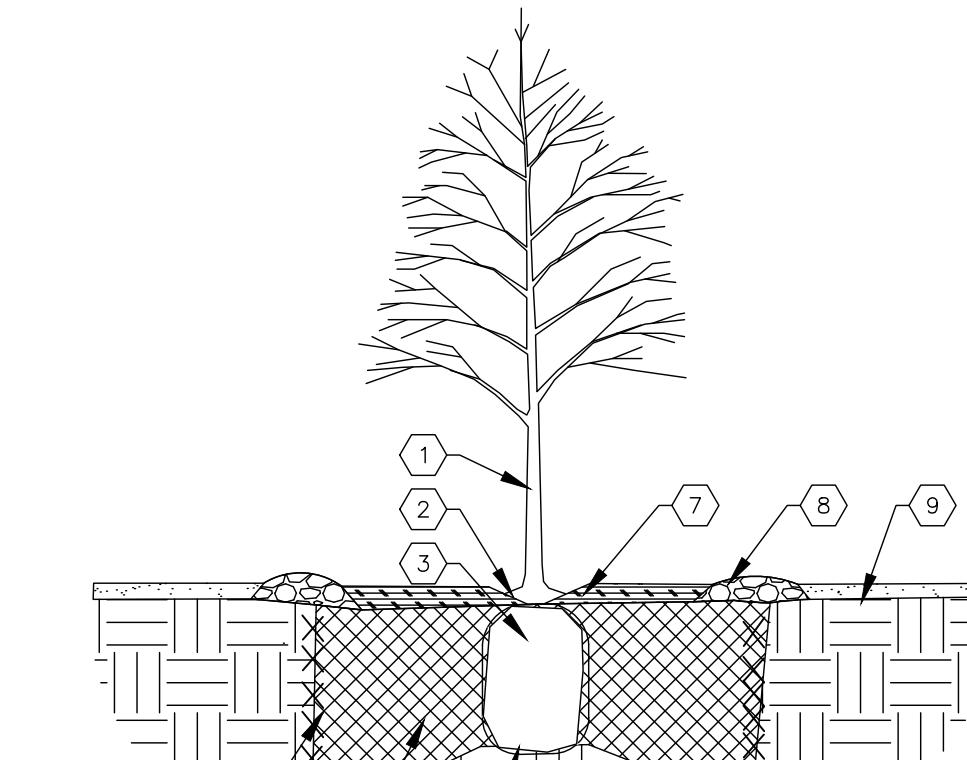
SHRUB PLANTING KEYED NOTES

1. SHRUB LOCATION, SPECIES, AND CONDITION AS PER PLAN.
2. REMOVING EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT BALL FLUSH WITH SURGRADE (BOTTOM OF MULCH).
3. USE WOOD CHIP MULCH OVER ROOTBALL, FEATHERED TO A 2' DEPTH AND HELD BACK 2' FROM TRUNKS AND STEMS AND TO COVER DRIPLINE.
4. 2" X 8" WIDE BERM.
5. BACKFILL PER SPECIFICATIONS. LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE Voids AND AIR POCKETS.
6. UNDISTURBED NATIVE SOIL.
7. SCARIFY AND LOSEN EDGES OF PLANTING PIT.
8. MULCH - SEE PLANTING PLAN. 3" DEPTH UNLESS OTHERWISE NOTED.

01 SHRUB PLANTING

NTS

SHRUB PLANTING DETAIL



TREE PLANTING KEYED NOTES

1. TREE LOCATION, SPECIES, AND CONDITION AS PER PLAN.
2. REMOVING EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT BALL FLUSH WITH SURGRADE (BOTTOM OF MULCH).
3. INSTALL TREE PLUMB. REMOVE WIRE, BURLAP, PLASTIC, TINNE, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BURLAP EXCEPT FROM BOTTOM OF ROOT BALL.
4. SCARIFY AND LOSEN EDGES OF PLANTING PIT.
5. BACKFILL PER SPECIFICATIONS. LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE Voids AND AIR POCKETS.
6. UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
7. INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND TO COVER DRIP LINE. GENERALLY, MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
8. 4" HIGH X 16" WIDE COBBLE BERM AT DRIP LINE.
9. MULCH - SEE PLANTING PLAN.

02 TREE PLANTING

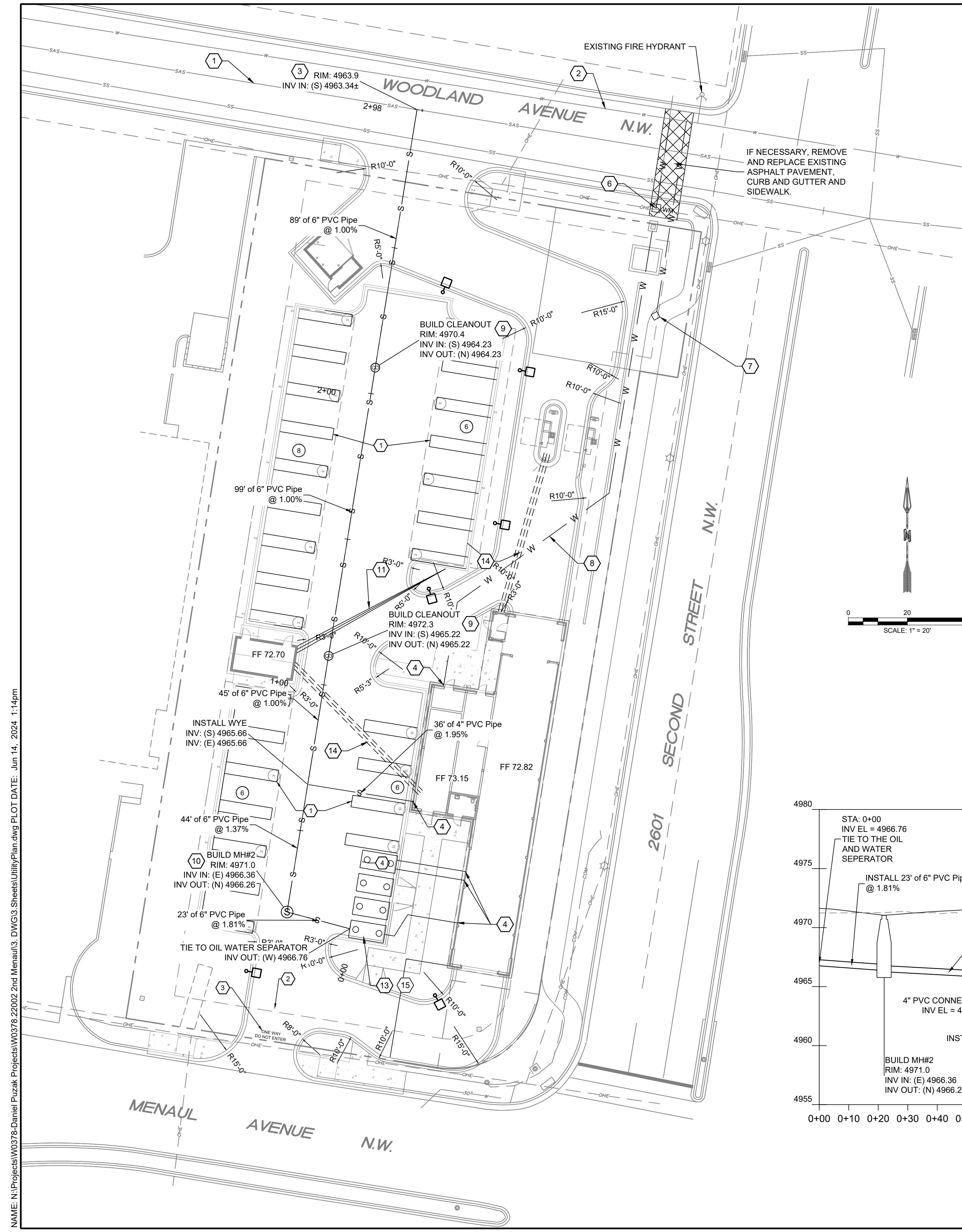
NTS

TREE PLANTING DETAIL

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The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY
th
CHECKED BY
CS
DATE
09/22/2025
SHEET #
LS-101



KEYED NOTES

- 1 EXISTING 8" SAS.
- 2 EXISTING 8" WATER LINE.
- 3 INSTALL 6" SANITARY SEWER SERVICE PER ABCWUA STD DWG 2135.
- 4 CONTINUE UPSTREAM DESIGN PER THE PLUMBING PLANS.
- 5 INSTALL PRIVATE BACK FLOW PREVENTOR IN A HOT BOX. CONTINUE DESIGN PER LANDSCAPING/IRRIGATION PLAN. IF EXISTING BACKFLOW PREVENTOR IS THE CORRECT SIZE AND IN GOOD CONDITION, IT MAY BE USED IN LIEU OF A NEW BACKFLOW PREVENTOR.
- 6 INSTALL 1 1/2" WATER METER ENCLOSURE AND WATER SERVICE PER ABCWUA STD DWG 2362.
- 7 EXISTING 3/4" WATER METER AND BACKFLOW PREVENTER TO BE REUSED FOR IRRIGATION METER.
- 8 INSTALL 2" DIAMETER PEX WITH 4' MINIMUM BURY.
- 9 INSTALL TRAFFIC RATED 4" SINGLE CLEANOUT.
- 10 INSTALL PRIVATE 4" DIAMETER SAS MANHOLE PER NMAPWA STD DWG 2101. SEE SHEET C-109.
- 11 INSTALL 3 - 6 INCH PVC VACUUM LINES (PRESSURE TESTED PER VAC PRODUCER)
- 12 NOT IN USE
- 13 OIL WATER SEPARATOR. ALL OTHER TANKS ARE RECLAIM TANKS. SEE RECLAIM SYSTEM DETAILS ON SHEET C-109.
- 14 PVC ELECTRICAL CONDUIT; COORDINATE WITH MEP FOR EXACT LOCATION AND SIZE.
- 15 INSTALL PARK SO-1500-STD SAND-OIL INTERCEPTOR.

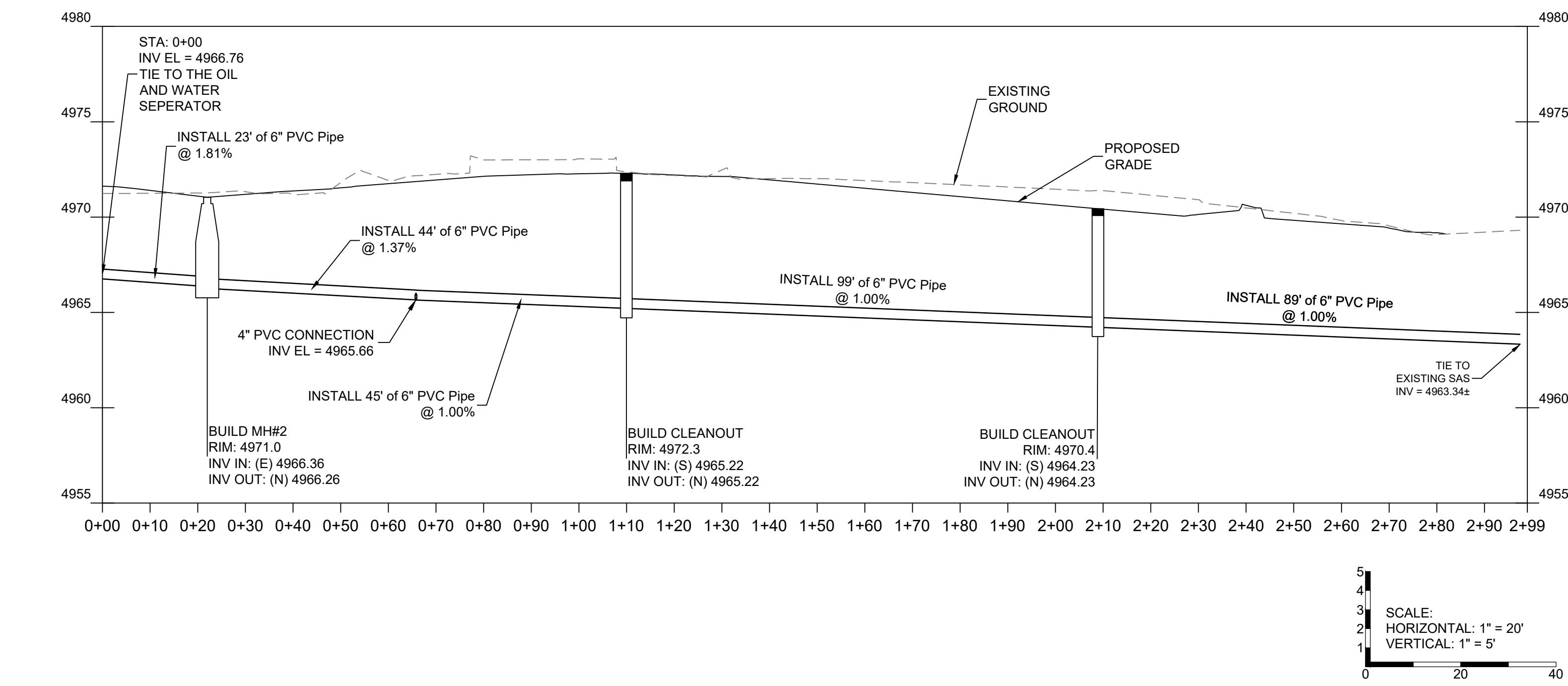
UTILITY GENERAL NOTES

1. THE CONTRACTOR SHALL OBTAIN AN ABCWUA CONNECTION PERMIT AND ANY OTHER APPLICABLE UTILITY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO COORDINATE FINAL LOCATION, NUMBER, AND SIZE OF ELECTRICAL CONDUIT AND PVC VACUUM LINES WITH THE APPROPRIATE TRADES IN THE FIELD.
3. CONTRACTOR TO FIELD VERIFY SIZE'S AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.
4. ALL UTILITIES SHOWN ON THE PRIVATE PROPERTY SHALL BE PRIVATE UNLESS OTHERWISE NOTED.
5. SEE PLUMBING PLANS FOR UTILITY CONTINUATION INTERNAL TO THE BUILDING.
6. PARALLEL RPBA BACKFLOW PREVENTER FOR THE PRIVATE WATERLINES WILL BE PROVIDED INTERNAL TO THE BUILDING. THE BACKFLOW PREVENTER SHALL BE THE SAME SIZE AS THE TAP CONNECTION AT THE MAIN LINE.
7. SITE PLAN LINWORK HAS BEEN SCREENED BACK FOR VISUAL CLARITY.
8. COORDINATION WITH WATER AUTHORITY CROSS SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3434.
9. COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH THE WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.
10. ALL PROPOSED WATER AND SEWER LINE IS PRIVATE UNLESS STATED OTHERWISE.

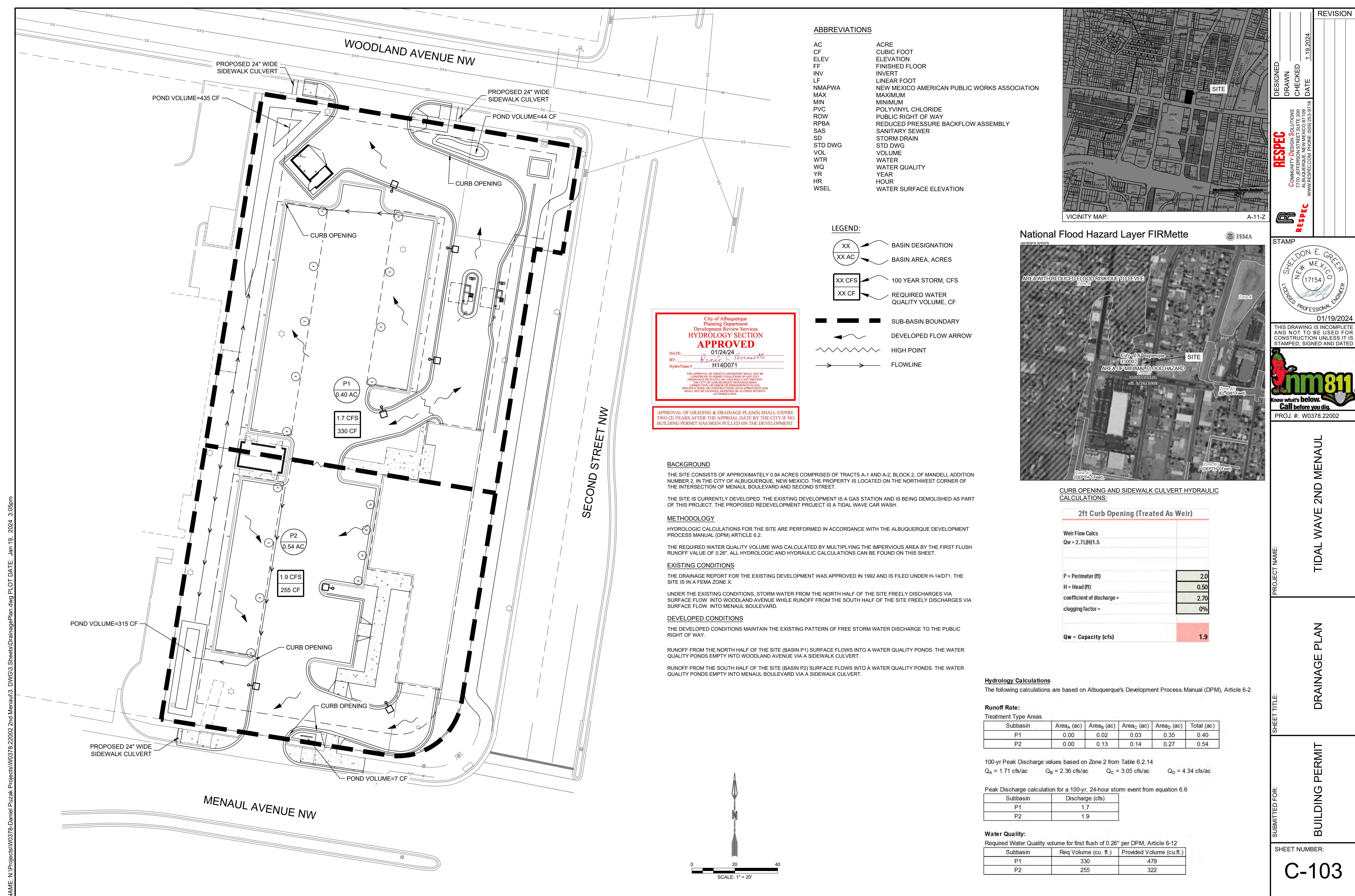
ABBREVIATIONS

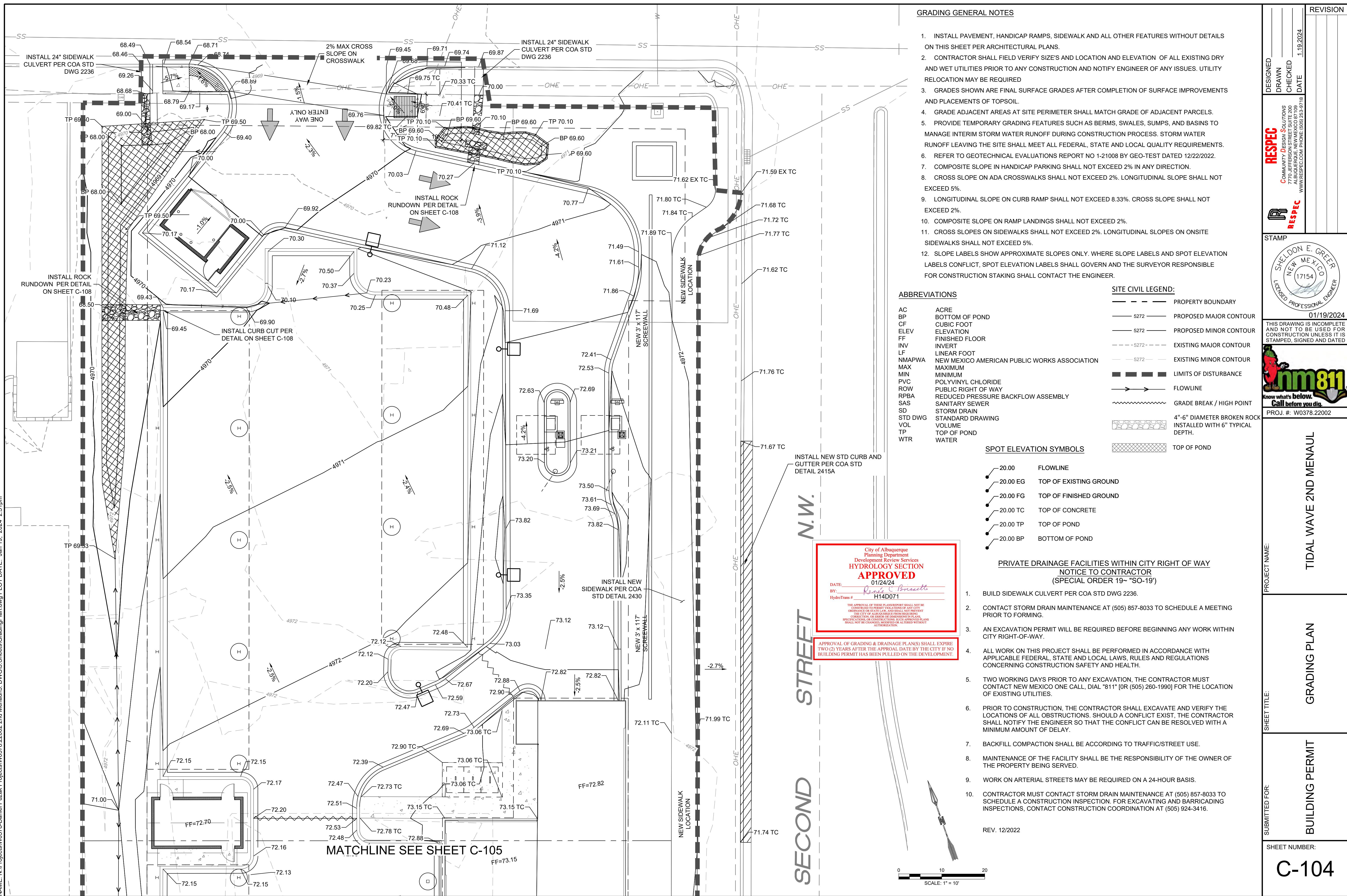
AC	ACRE
CF	CUBIC FOOT
ELEV	ELEVATION
FF	FINISHED FLOOR
INV	INVERT
LF	LINEAR FOOT
NMAPWA	NEW MEXICO AMERICAN PUBLIC WORKS ASSOCIATION
MAX	MAXIMUM
MIN	MINIMUM
PVC	POLYVINYL CHLORIDE
ROW	PUBLIC RIGHT OF WAY
RPBA	REDUCED PRESSURE BACKFLOW ASSEMBLY
SAS	SANITARY SEWER
SD	STORM DRAIN
STD DWG	STANDARD DRAWING
VOL	VOLUME
WTR	WATER
WQ	WATER QUALITY
STD DWG	STANDARD DRAWING

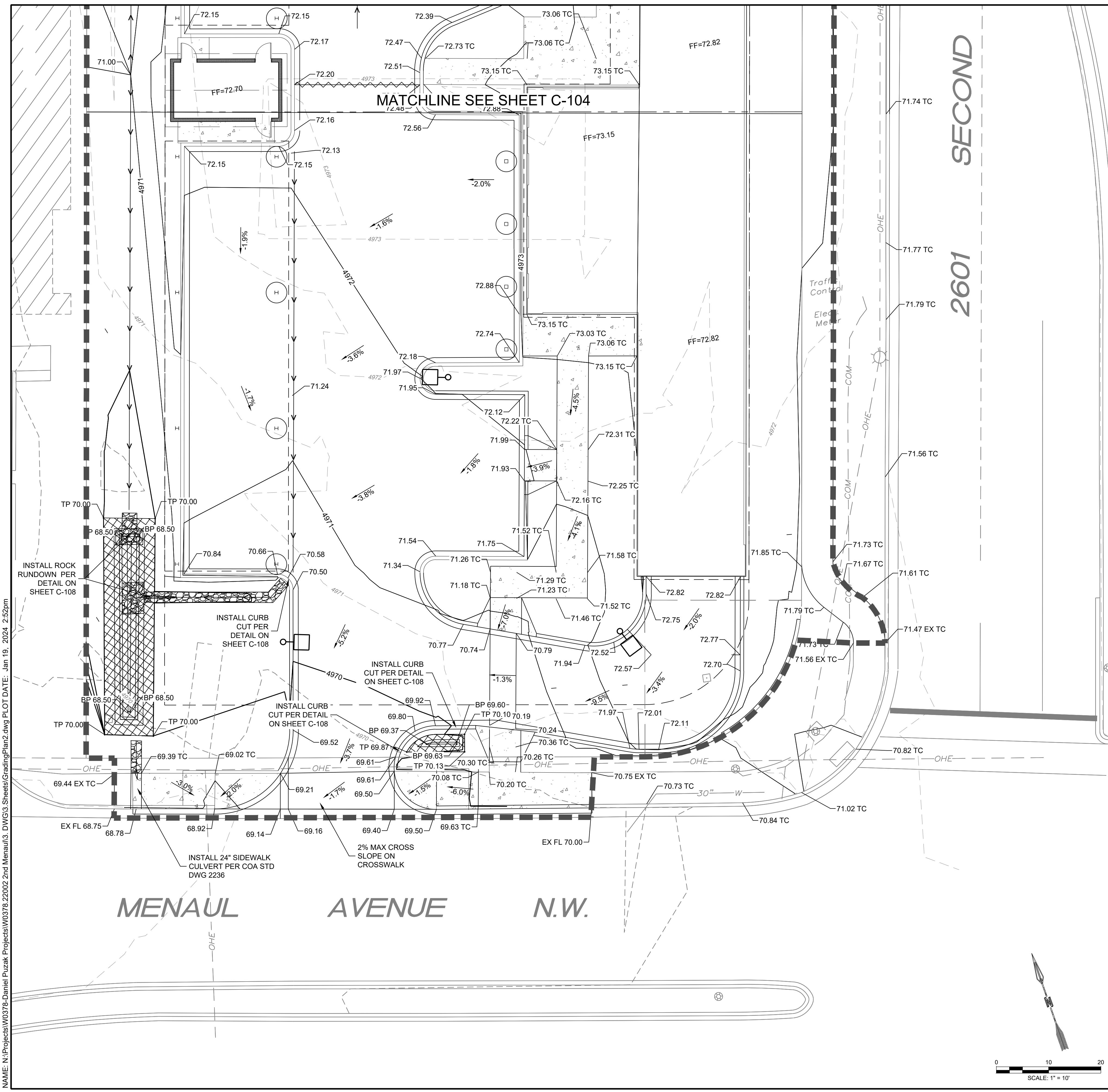
SAS SEWER PROFILE



DESIGNED	DRAWN	CHECKED	REVISION
DATE 6.14.2024			
RESPEC COMMUNITY DESIGN SOLUTIONS 7700 E. Foothills Street Suite 300 ALBUQUERQUE, NEW MEXICO 87109 WWW.RESPEC.COM PHONE: (505) 254-9178			
STAMP			
SHELDON E. GREER NEW MEXICO 17154 01/22/2024			
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nm811 Know what's below. Call before you dig. PROJ. #: W0378.22002			
PROJECT NAME: TIDAL WAVE 2ND MENAUL			
SHEET TITLE: UTILITY PLAN			
SUBMITTED FOR: BUILDING PERMIT			
SHEET NUMBER: C-107			







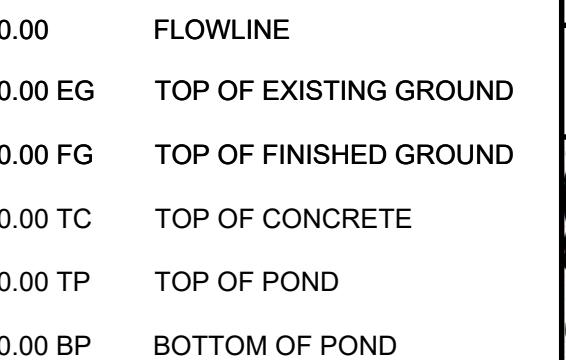
GRADING GENERAL NOTES

1. INSTALL PAVEMENT, HANDICAP RAMPS, SIDEWALK AND ALL OTHER FEATURES WITHOUT DETAILS ON THIS SHEET PER ARCHITECTURAL PLANS.
2. CONTRACTOR SHALL FIELD VERIFY SIZE'S AND LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO ANY CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
3. GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENTS OF TOPSOIL.
4. GRADE ADJACENT AREAS AT SITE PERIMETER SHALL MATCH GRADE OF ADJACENT PARCELS.
5. PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS, AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
6. REFER TO GEOTECHNICAL EVALUATIONS REPORT NO 1-21008 BY GEO-TEST DATED 12/22/2022.
7. COMPOSITE SLOPE IN HANDICAP PARKING SHALL NOT EXCEED 2% IN ANY DIRECTION.
8. CROSS SLOPE ON ADA CROSSWALKS SHALL NOT EXCEED 2%. LONGITUDINAL SLOPE SHALL NOT EXCEED 5%.
9. LONGITUDINAL SLOPE ON CURB RAMP SHALL NOT EXCEED 8.33%. CROSS SLOPE SHALL NOT EXCEED 2%.
10. COMPOSITE SLOPE ON RAMP LANDINGS SHALL NOT EXCEED 2%.
11. CROSS SLOPES ON SIDEWALKS SHALL NOT EXCEED 2%. LONGITUDINAL SLOPES ON ONSITE SIDEWALKS SHALL NOT EXCEED 5%.
12. SLOPE LABELS SHOW APPROXIMATE SLOPES ONLY. WHERE SLOPE LABELS AND SPOT ELEVATION LABELS CONFLICT, SPOT ELEVATION LABELS SHALL GOVERN AND THE SURVEYOR RESPONSIBLE FOR CONSTRUCTION STAKING SHALL CONTACT THE ENGINEER.

ABBREVIATIONS

AC	ACRE
BP	BOTTOM OF POND
CF	CUBIC FOOT
ELEV	ELEVATION
FF	FINISHED FLOOR
INV	INVERT
LF	LINEAR FOOT
NMAPWA	NEW MEXICO AMERICAN PUBLIC WORKS ASSOCIATION
MAX	MAXIMUM
MIN	MINIMUM
PVC	POLY/VINYL CHLORIDE
ROW	PUBLIC RIGHT OF WAY
RPBA	REDUCED PRESSURE BACKFLOW ASSEMBLY
SAS	SANITARY SEWER
SD	STORM DRAIN
STD DWG	STANDARD DRAWING
VOL	VOLUME
TP	TOP OF POND
WTR	WATER

SPOT ELEVATION SYMBOLS

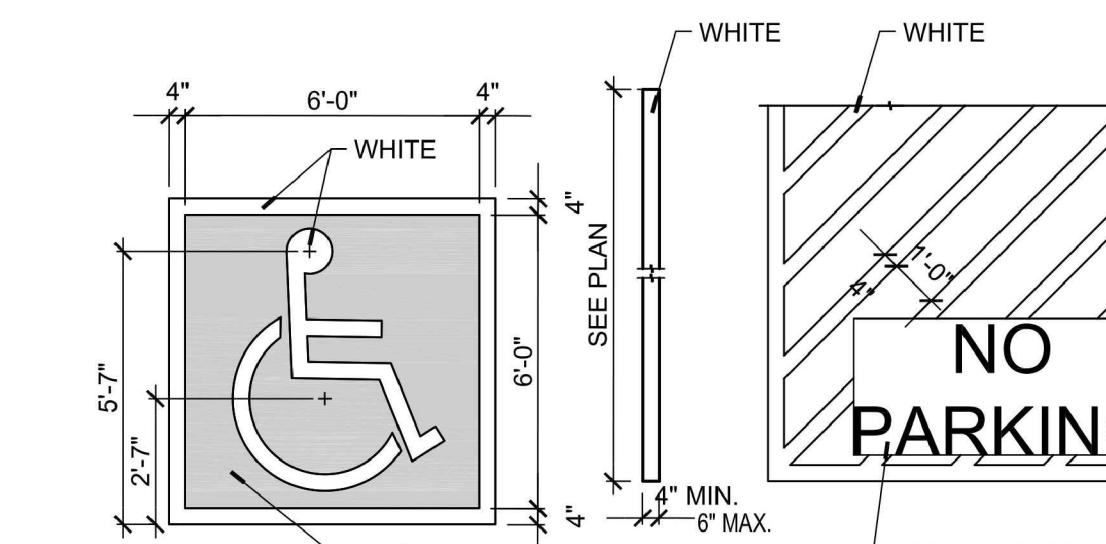
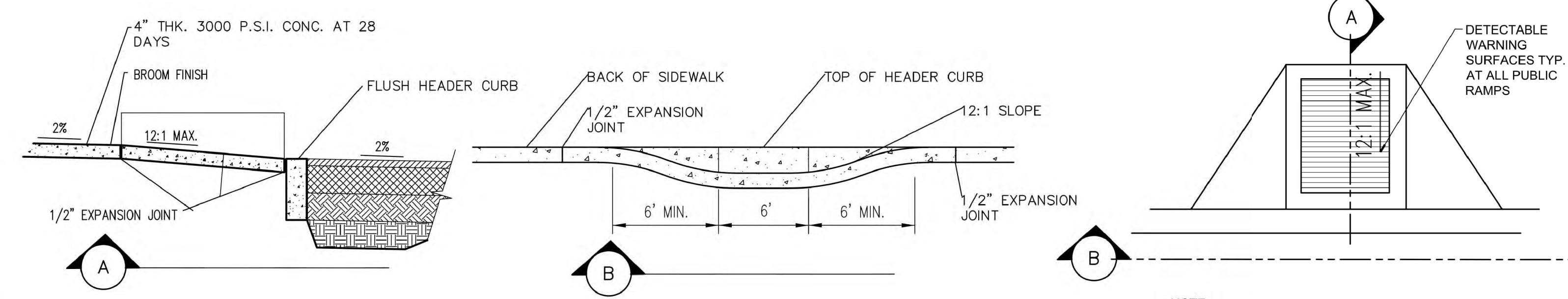


SITE CIVIL LEGEND:

— — —	PROPERTY BOUNDARY
— — —	PROPOSED MAJOR CONTOUR
— — —	PROPOSED MINOR CONTOUR
— — —	EXISTING MAJOR CONTOUR
— — —	EXISTING MINOR CONTOUR
— — —	LIMITS OF DISTURBANCE
— — —	FLOWLINE
— — —	GRADE BREAK / HIGH POINT
— — —	4"-6" DIAMETER BROKEN ROCK INSTALLED WITH 6" TYPICAL DEPTH.
— — —	TOP OF POND

SHEET TITLE:	GRADING PLAN	BUILDING PERMIT	SHEET NUMBER:
PROJECT NAME:	TIDAL WAVE 2ND MENAUL		C-105
DESIGNED DATE:	01/19/2024	1.19.2024	REVISION
DRAWN DATE:			
CHECKED DATE:			
STAMP:	<p>SHELDON E. GREER PROFESSIONAL ENGINEER 17154</p>		
RESPEC	<p>RESPEC Community Design Solutions 7701 LEEFEEON STREET SUITE 300 ALBUQUERQUE, NEW MEXICO 87109 WWW.RESPEC.COM PHONE (505) 254-9718</p>		
01/19/2024			
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED			
nm811 Know what's below. Call before you dig. PROJ. #: W0378.22002			

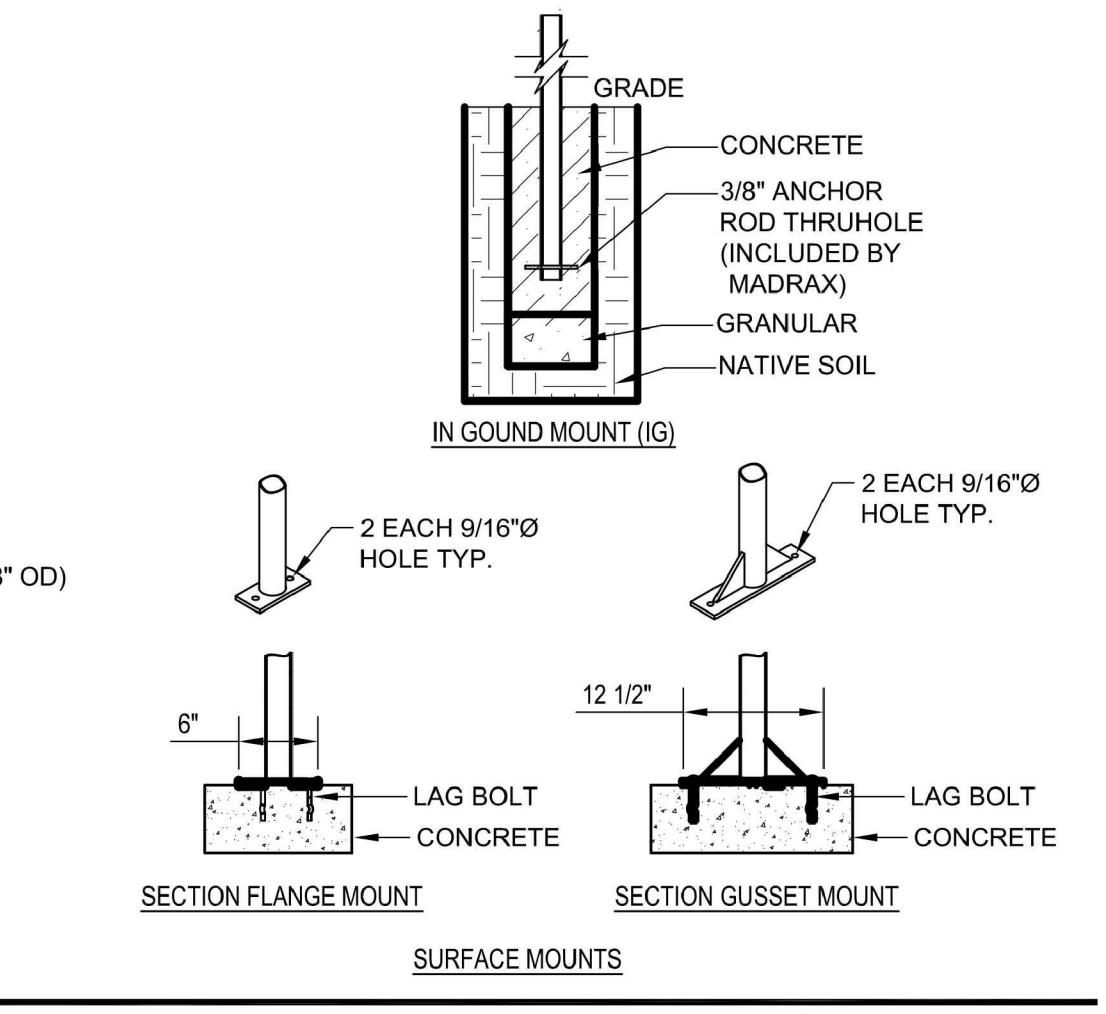
TRAFFIC CIRCULATION
LAYOUT APPROVED
Ernest Armijo
Signed 9/5/2023
Date



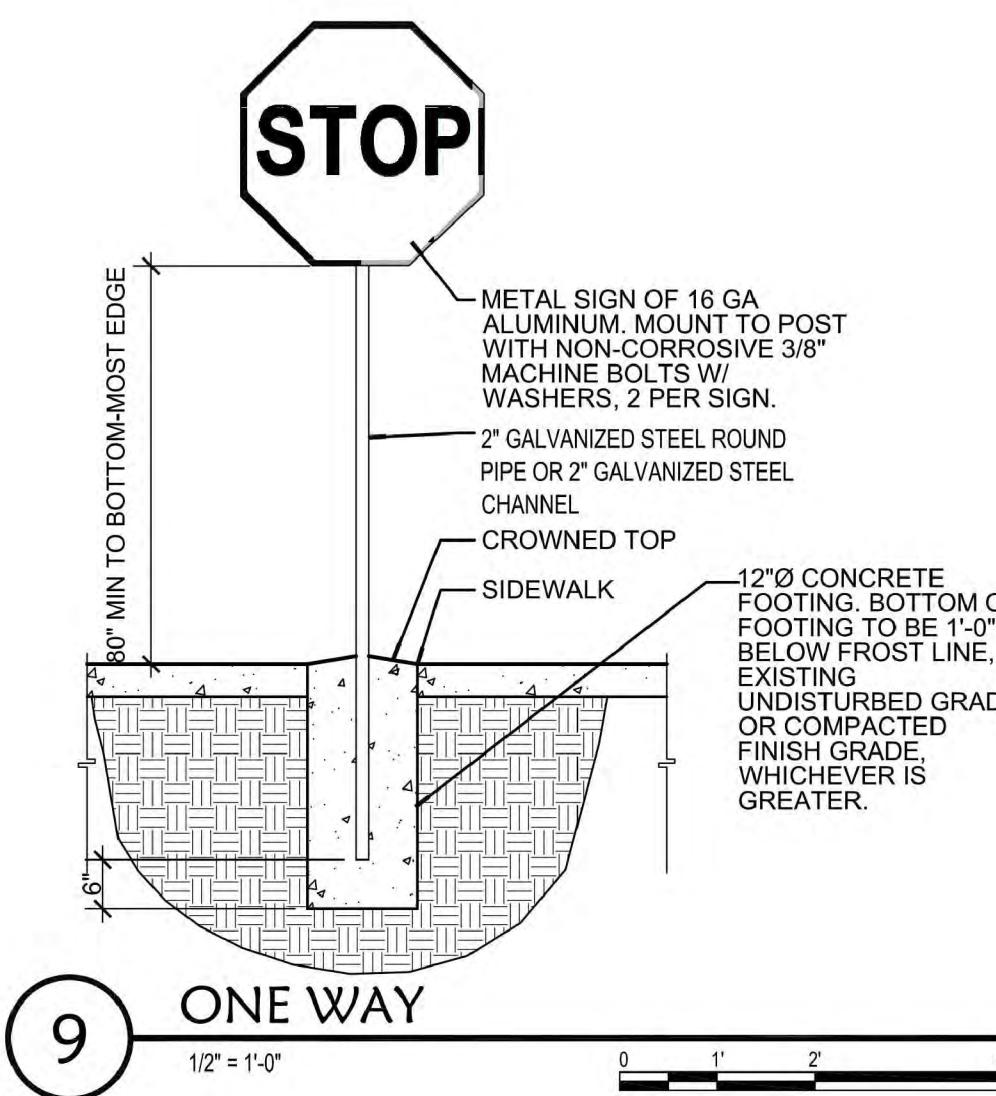
NOTE:
USE NON-REFLECTIVE WHITE PAINT ON ASPHALT PAVEMENT. USE
YELLOW PAINT ON CONCRETE OR OTHER SURFACES WHERE WHITE
PAINT DOES NOT PROVIDE SUFFICIENT CONTRAST.

10 PARKING LOT STRIPING

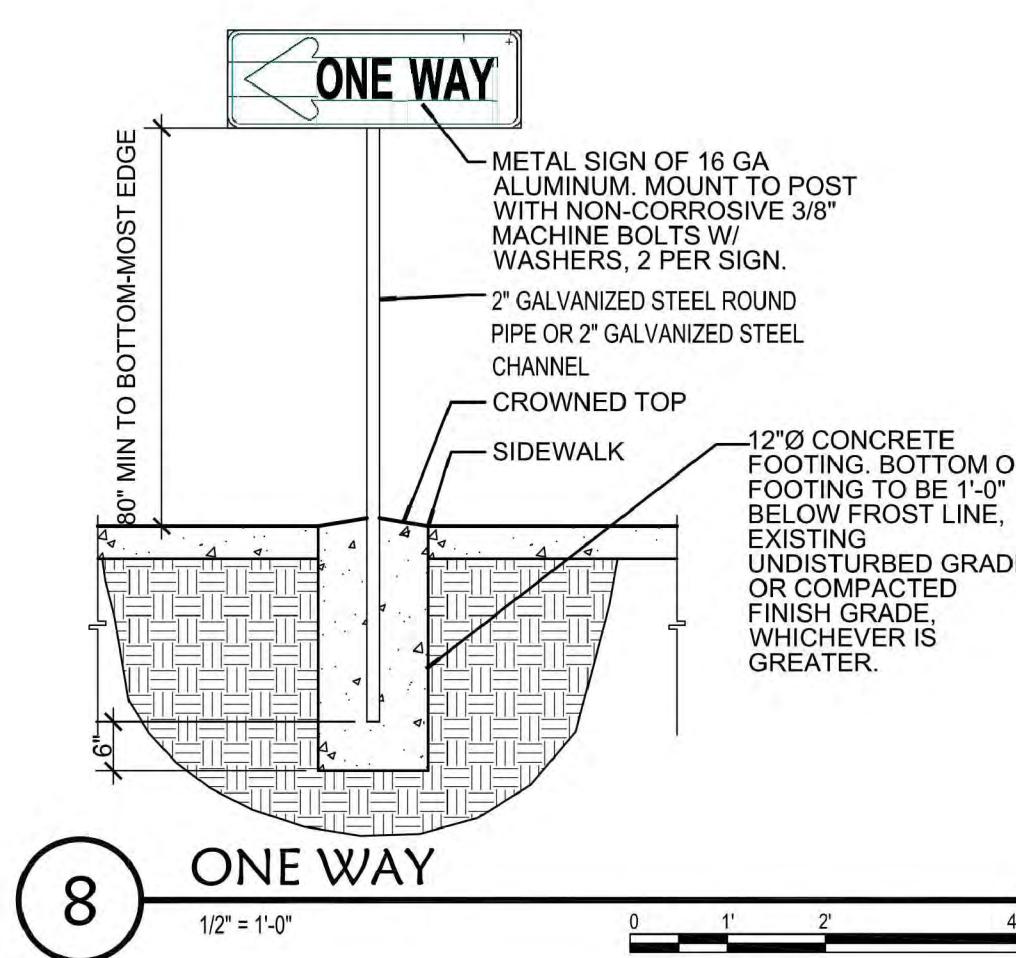
0 2 4 8



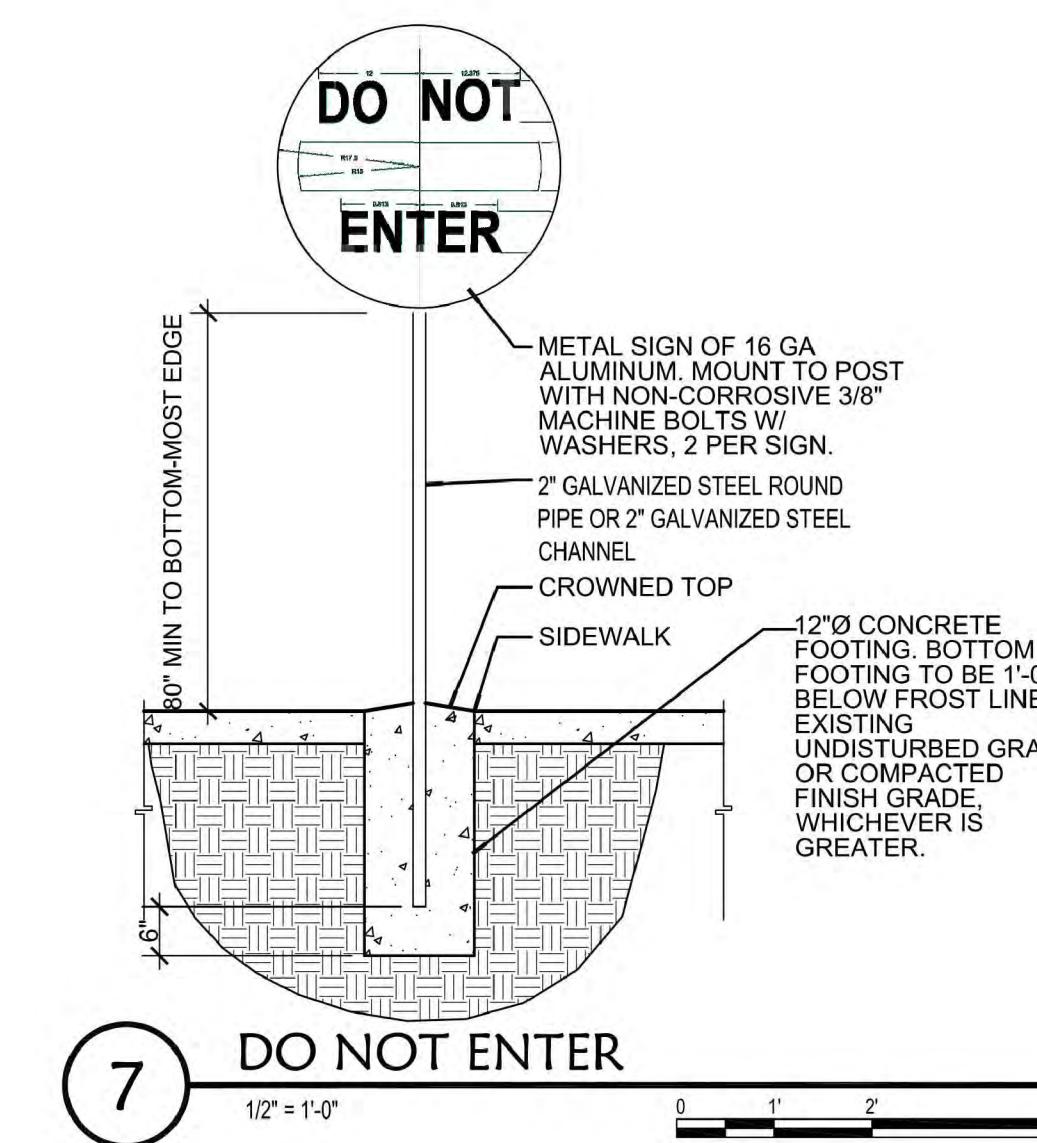
0 1' 2' 3'



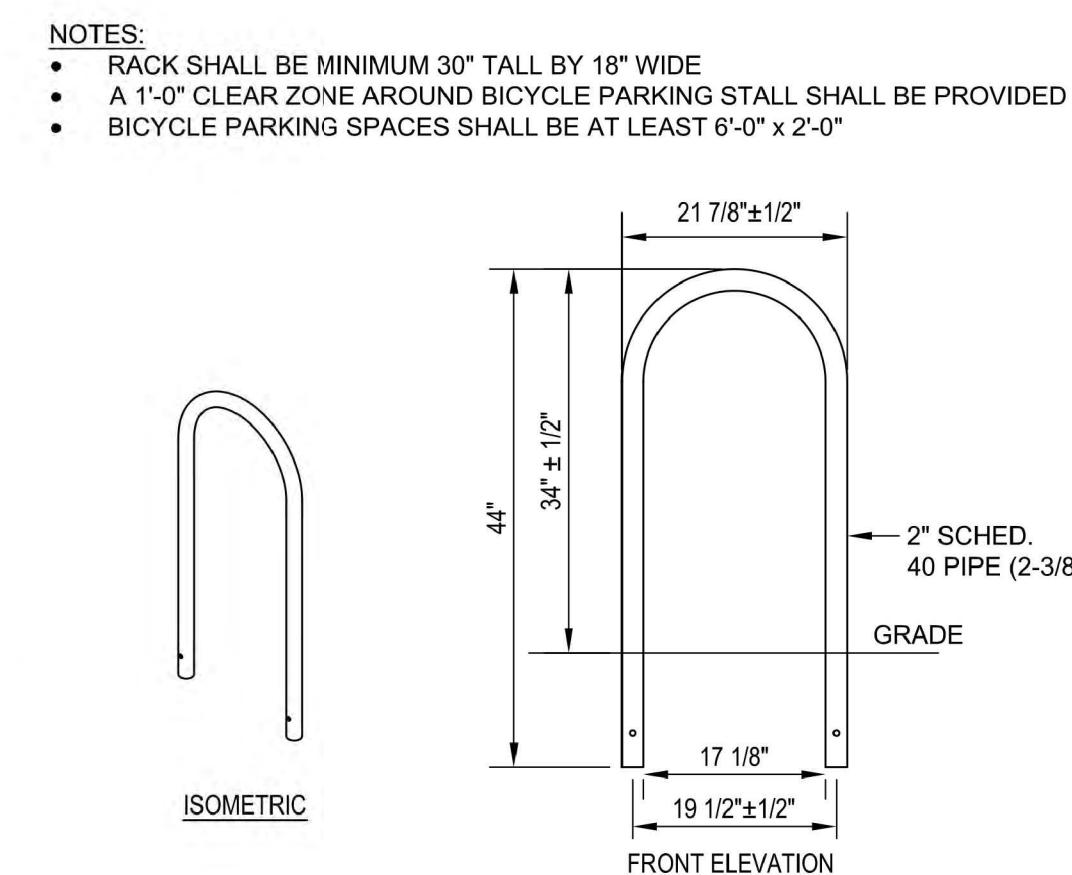
1/2" = 1'0" 0 1' 2' 4'



1/2" = 1'0" 0 1' 2' 4'



1/2" = 1'0" 0 1' 2' 4'

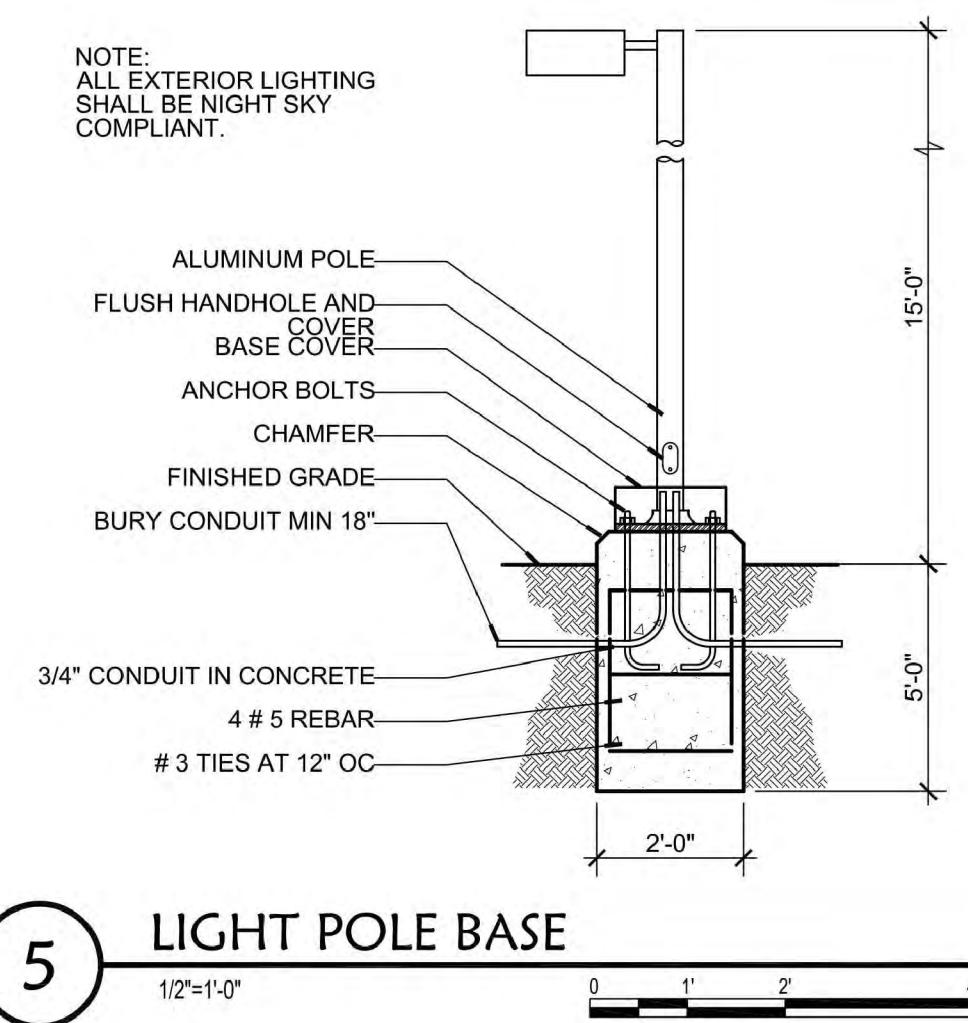


ISOMETRIC FRONT ELEVATION

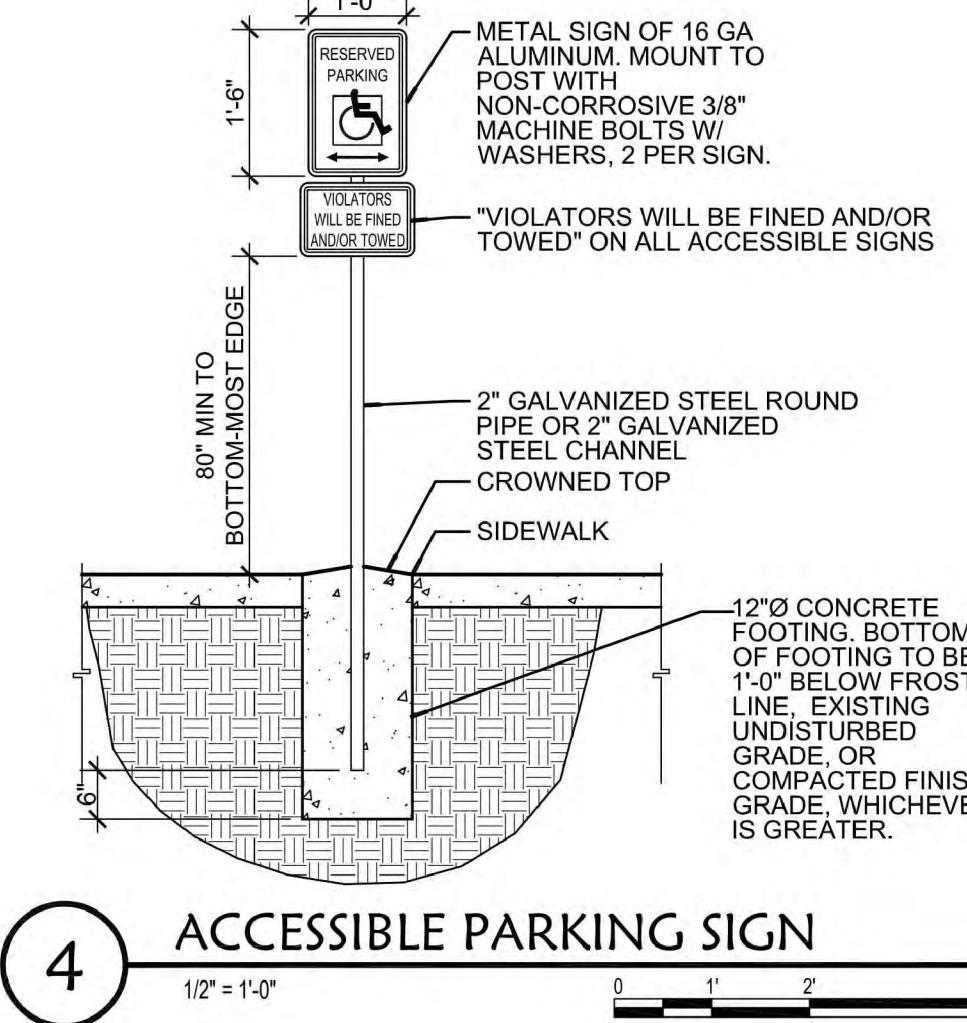
0 1' 2' 3'

6 BICYCLE RACK DETAIL

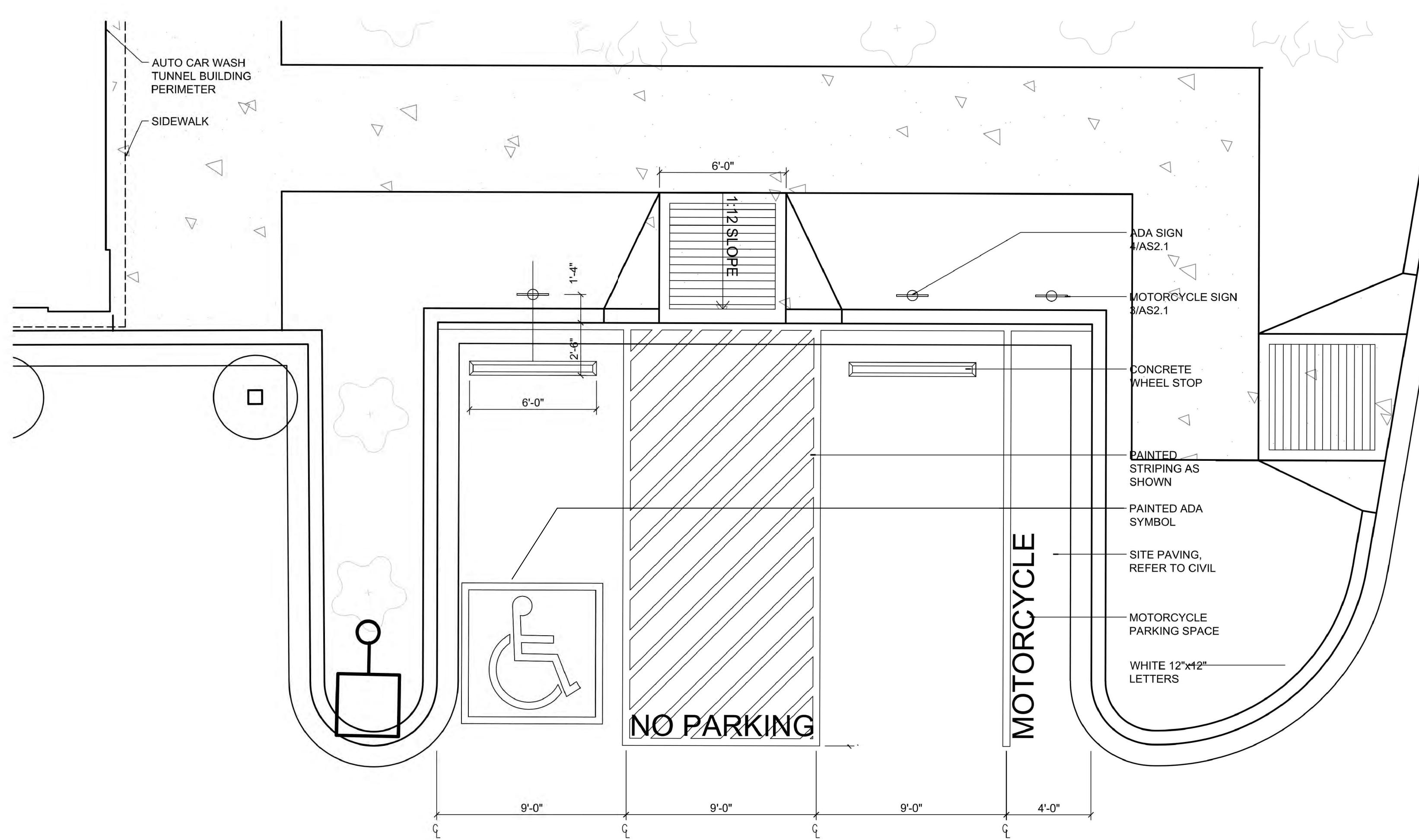
0 1' 2' 3'



1/2" = 1'0" 0 1' 2' 4'

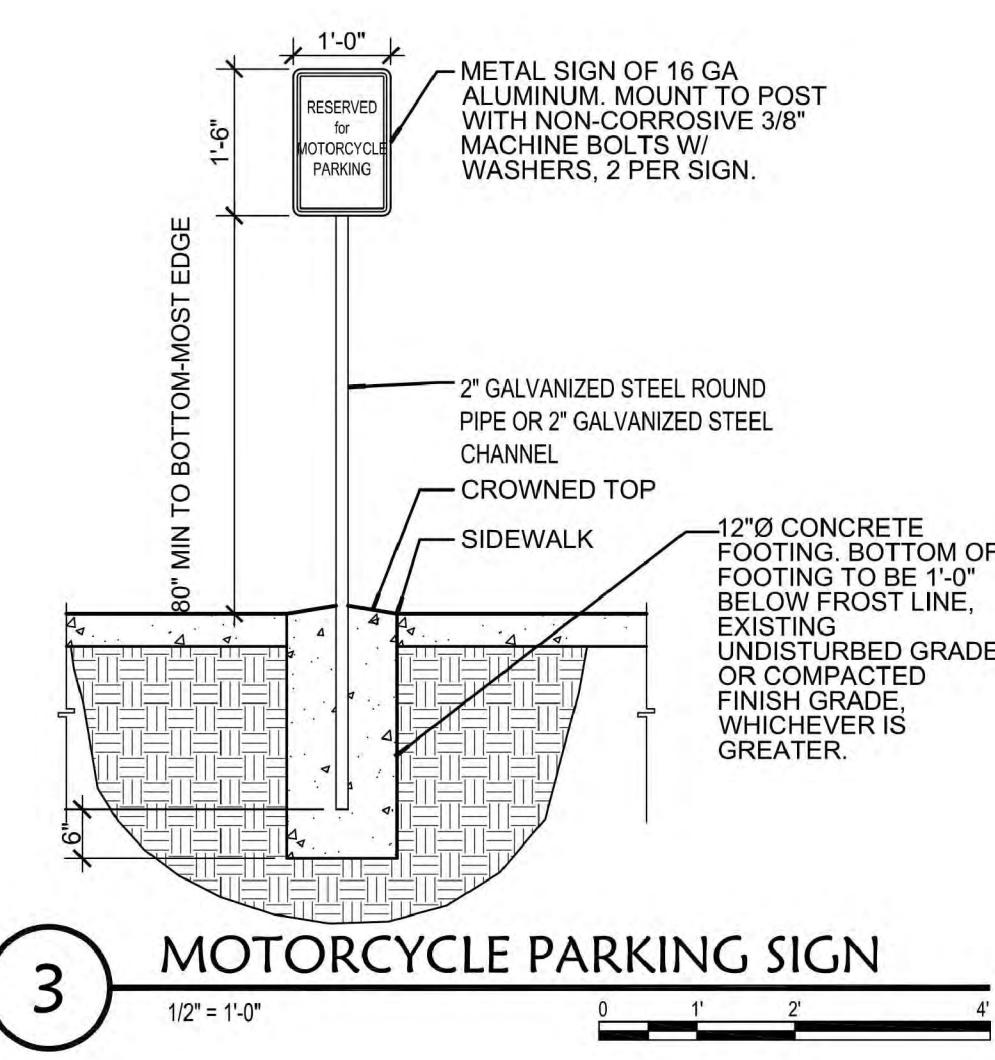


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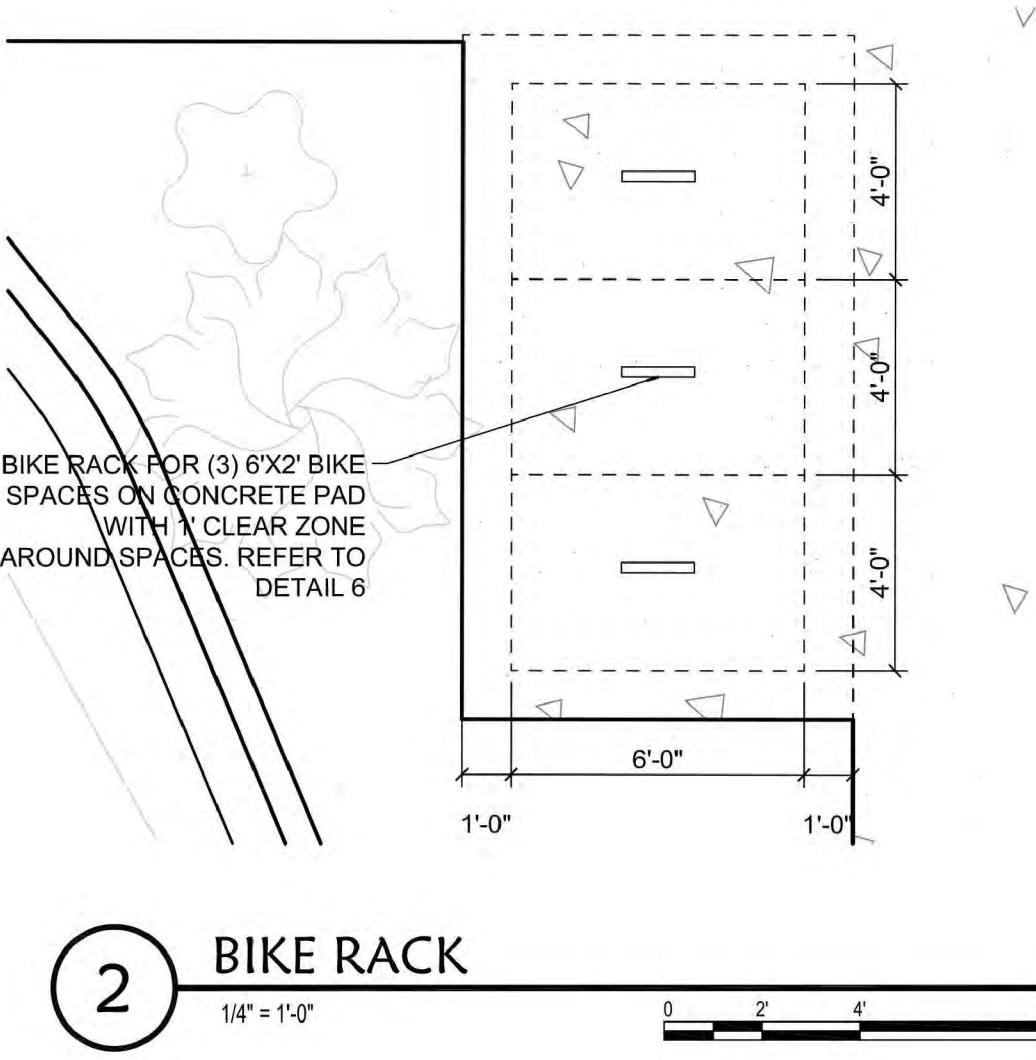


1 ADA PARKING PLACE

1/4" = 1'0"

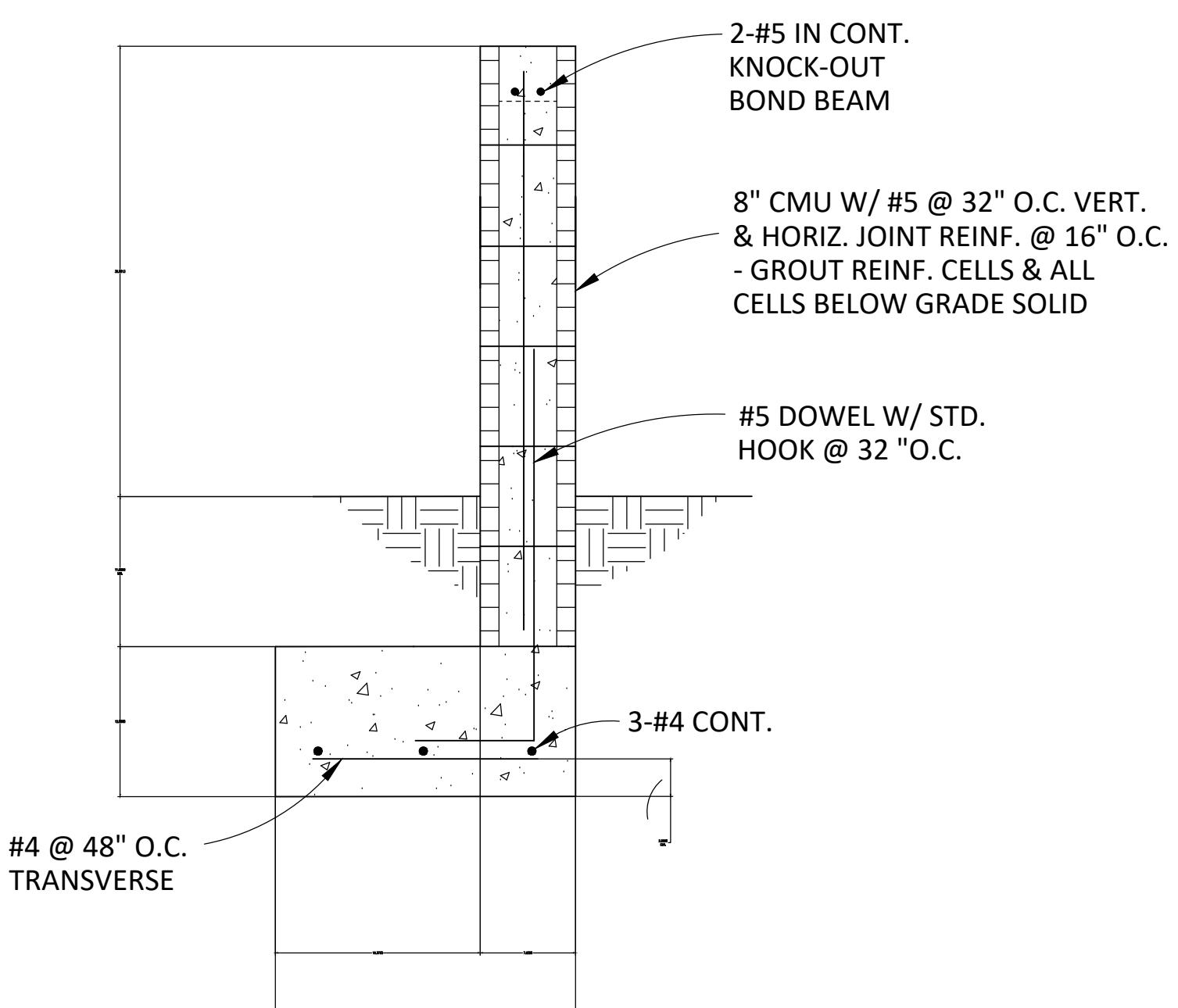


1/2" = 1'0" 0 1' 2' 4'

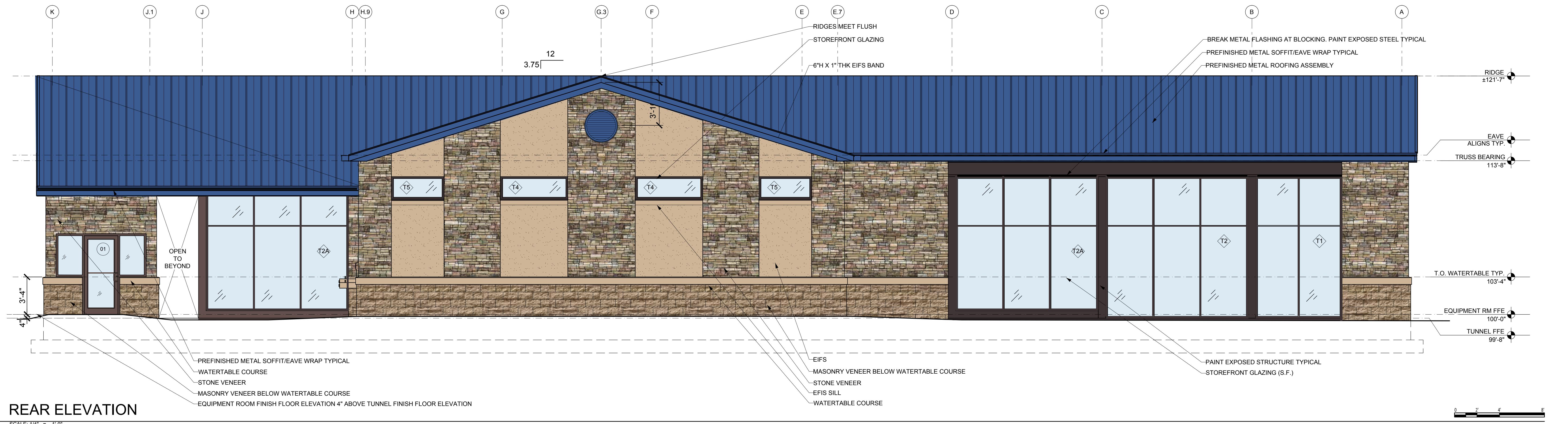


1/4" = 1'0" 0 1' 2' 4'

0 2' 4' 8'

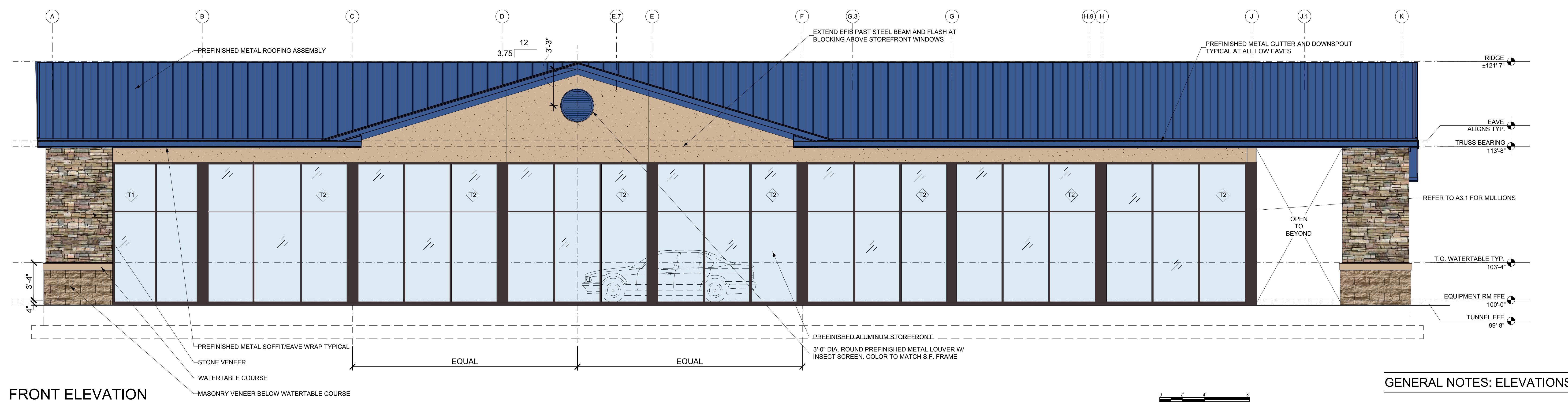


9 SECTION AT CMU SITE SCREEN WALL
1"=1'-0"



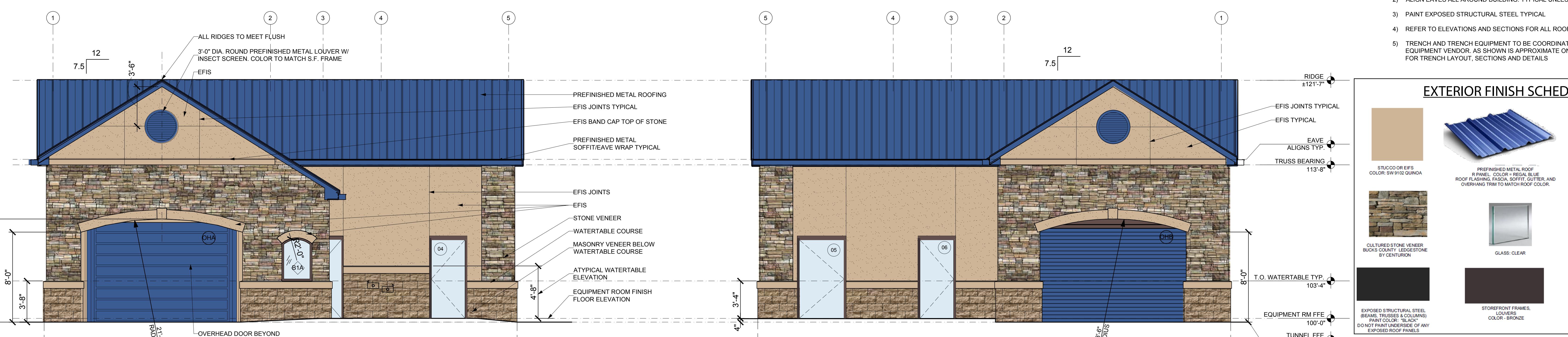
REAR ELEVATION

SCALE: 1/4" = 1'-0"



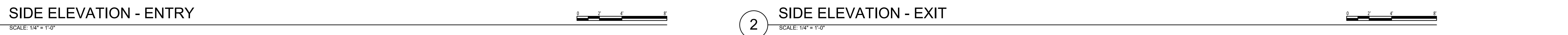
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



SIDE ELEVATION - ENTRY

SCALE: 1/4" = 1'-0"



SIDE ELEVATION - EXIT

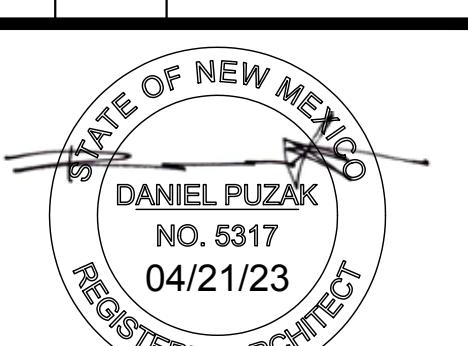
SCALE: 1/4" = 1'-0"

GENERAL NOTES: ELEVATIONS & SECTIONS

- 1) ROOF RIDGES OF EQUIPMENT ROOM AREA AND WASH TUNNEL SHALL ALIGN. COORDINATE AT TRUSS FABRICATION AND INSTALL.
- 2) ALIGN EAVES ALL AROUND BUILDING. TYPICAL UNLESS NOTED OTHERWISE.
- 3) PAINT EXPOSED STRUCTURAL STEEL TYPICAL.
- 4) REFER TO ELEVATIONS AND SECTIONS FOR ALL ROOF PITCHES TYPICAL.
- 5) TRENCH AND TRENCH EQUIPMENT TO BE COORDINATED WITH CAR WASH EQUIPMENT VENDOR, AS SHOWN IS APPROXIMATE ONLY. SEE SHEET A7.1 FOR TRENCH LAYOUT, SECTIONS AND DETAILS.

EXTERIOR FINISH SCHEDULE

MARK	DATE	DESCRIPTION
		STUCCO OR EIFS COLOR: SW 9102 QUINOA
		PREFABRICATED METAL ROOF - PAN COLOR: SW 7275 BLUE, ROOF FLASHING, FASCIA, SOFFIT, GUTTER, AND OVERHANG TRIM TO MATCH ROOF COLOR.
		WATERTABLE SPLIT FACE SILL BLOCK, WHITE RANGE, OLD CASTLE
		CULTURED STONE VENEER BUCKS COUNTY LEDGESTONE BY CENTURION
		SPLIT FACE BLOCK BEIGE RANGE, OLD CASTLE
		Glass: Clear
		Exposed Structural Steel (beams, trusses & columns) Paint Color: Black. Domed top of any exposed roof panels
		Storefront frames, louvers, color - bronze
		HM doors and frames Paint Color: SW 2735 ROCKWOOD



Architect/Engineer Stamp

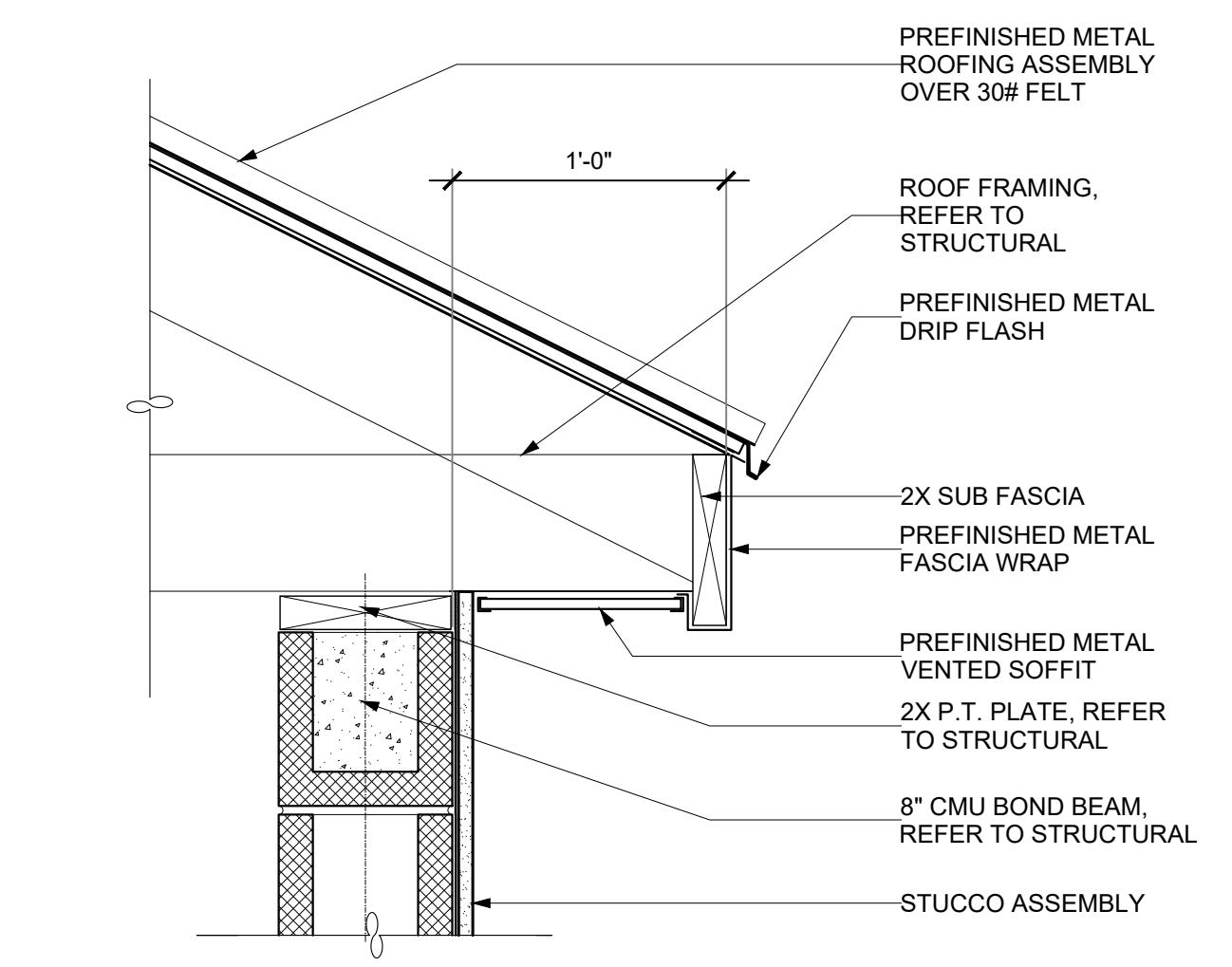
PROJECT DATE: 04/14/23

PROJECT NUMBER: 2220

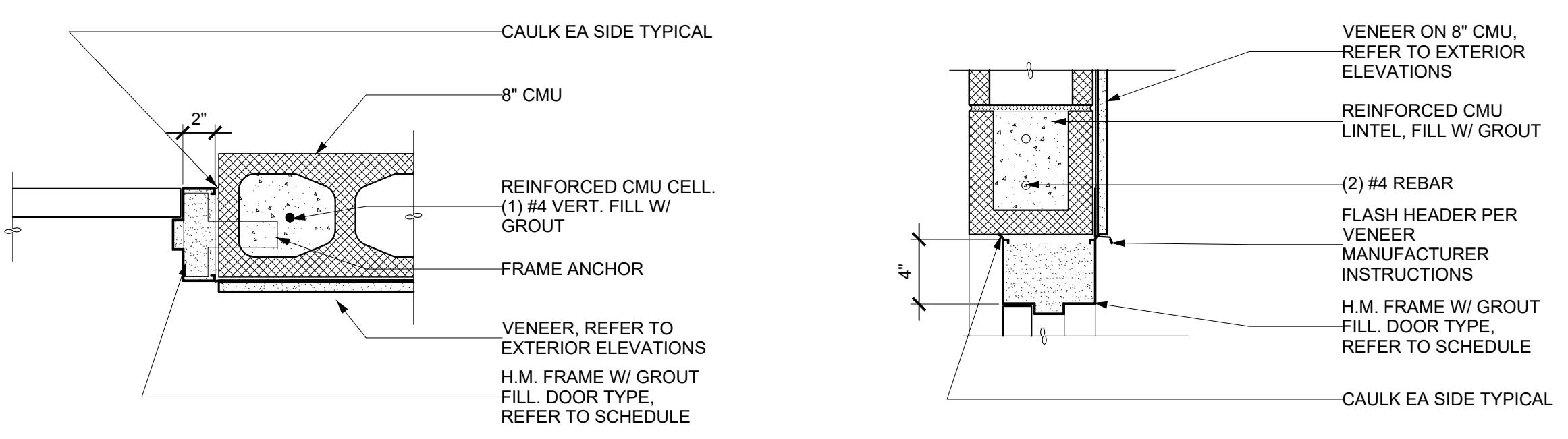
DRAWN BY: BEM

ELEVATIONS

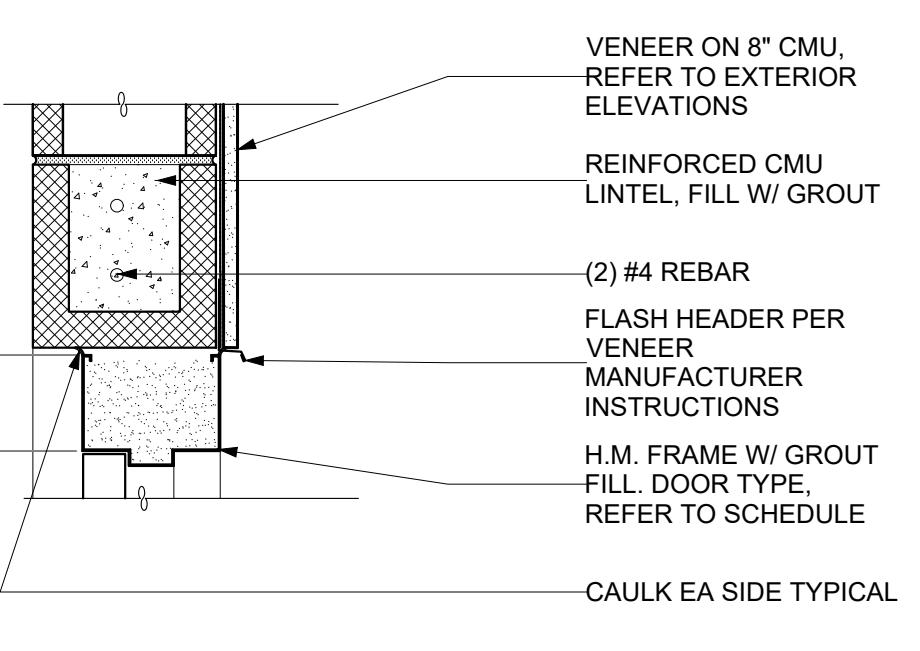
A2.1



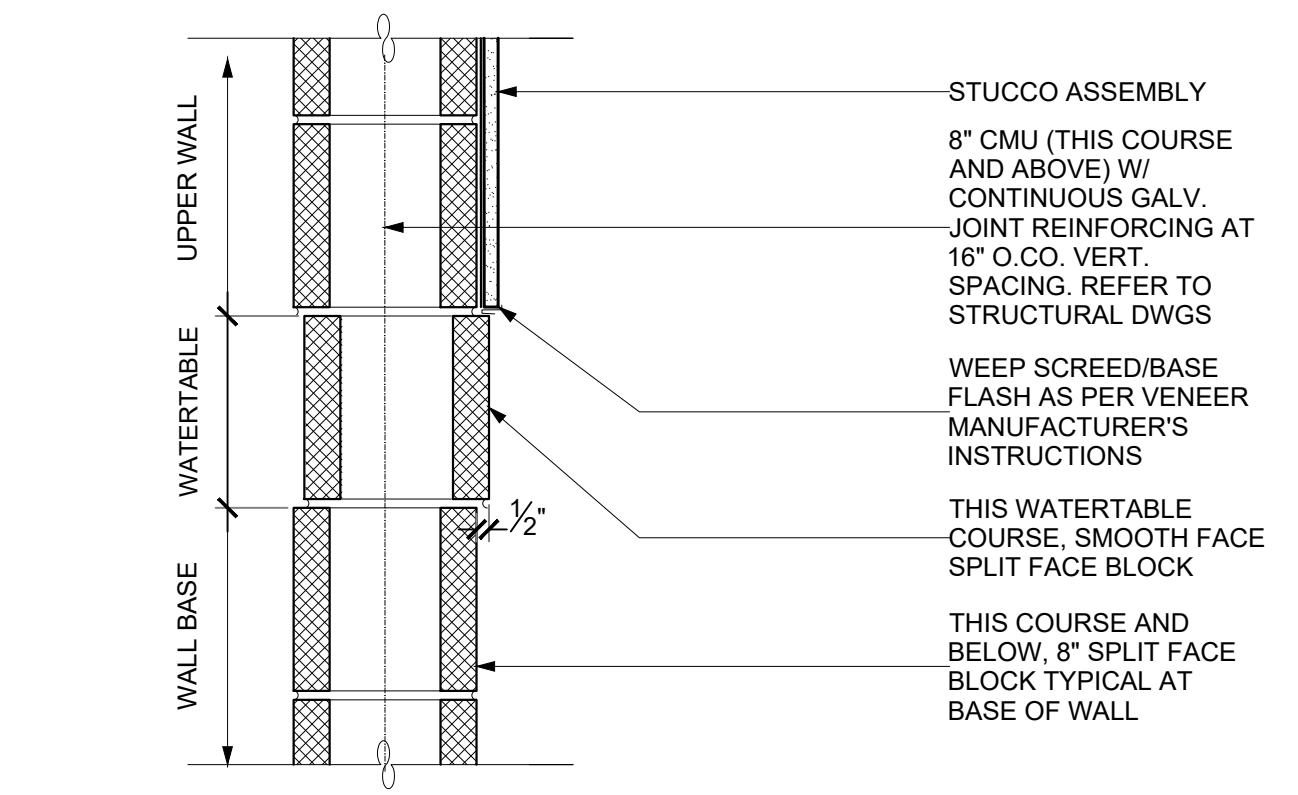
11 EAVE DETAIL



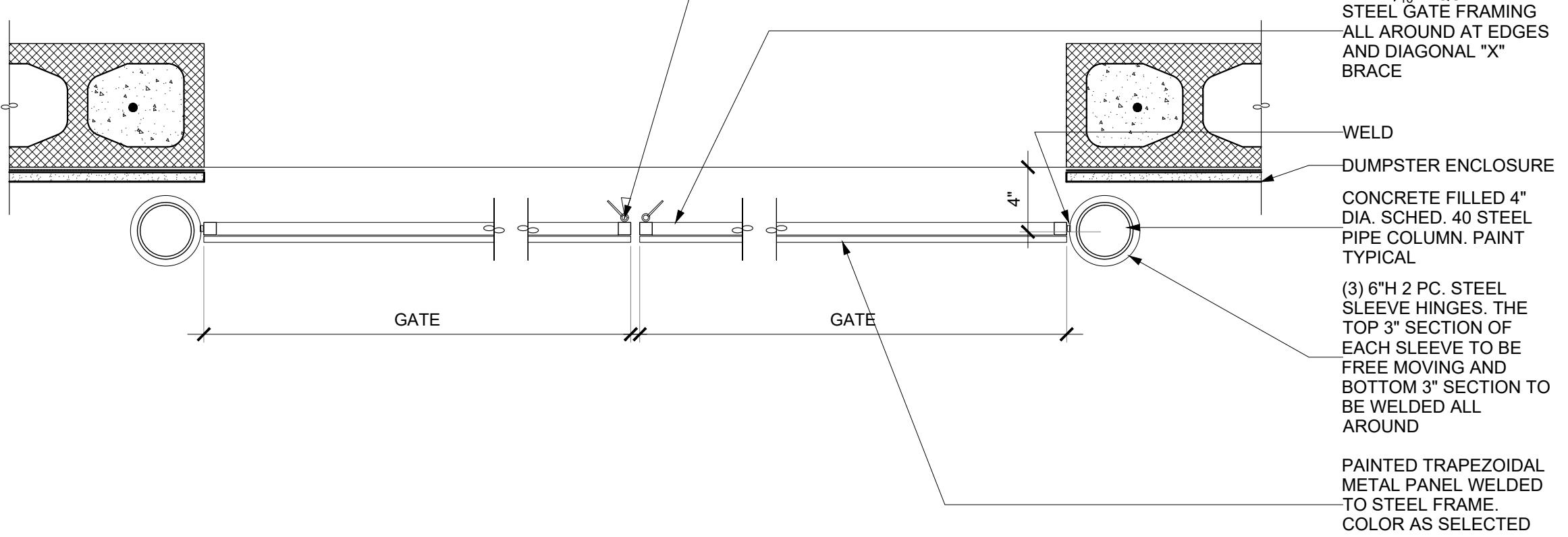
10 H.M. JAMB DETAIL



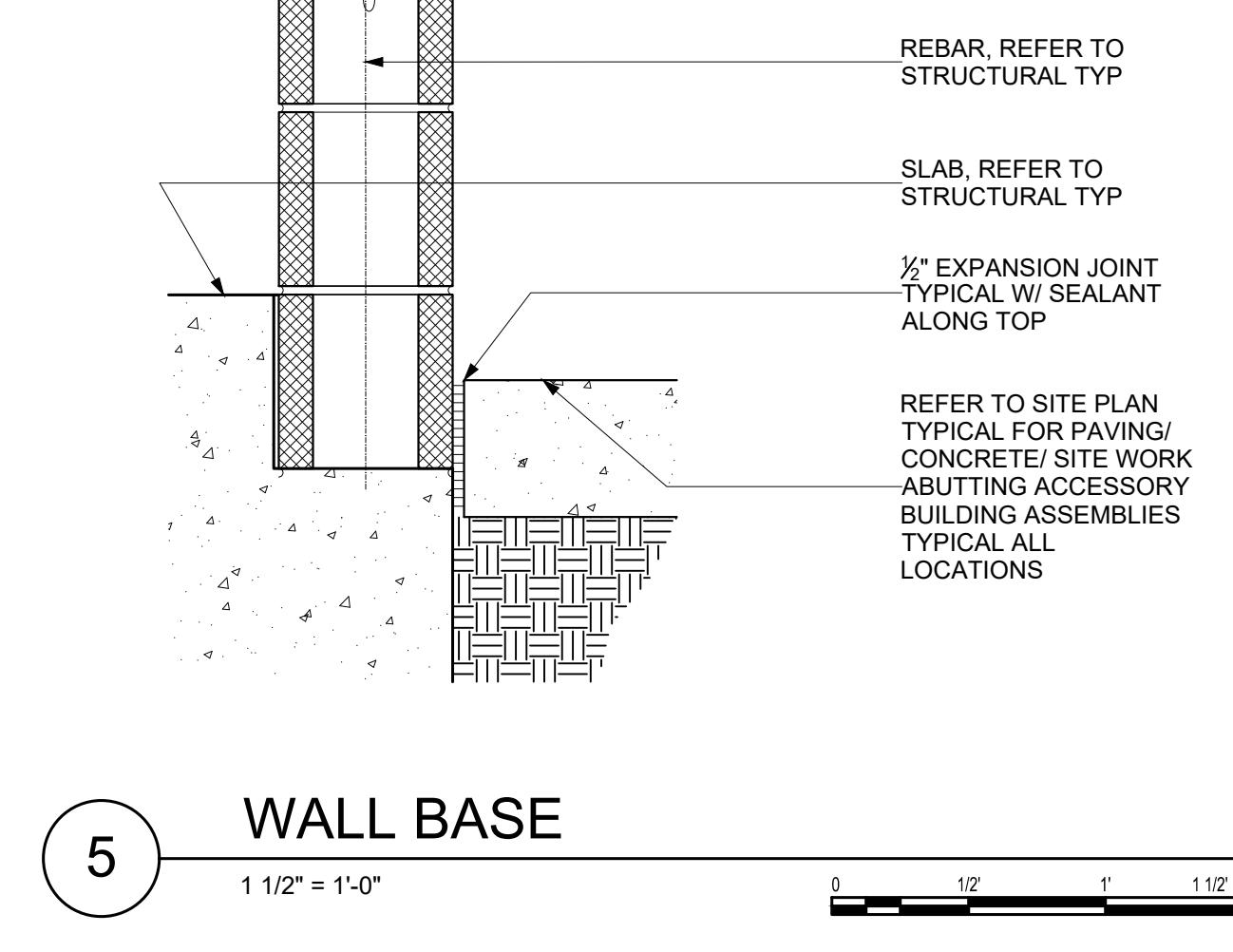
9 H.M. HEAD DETAIL



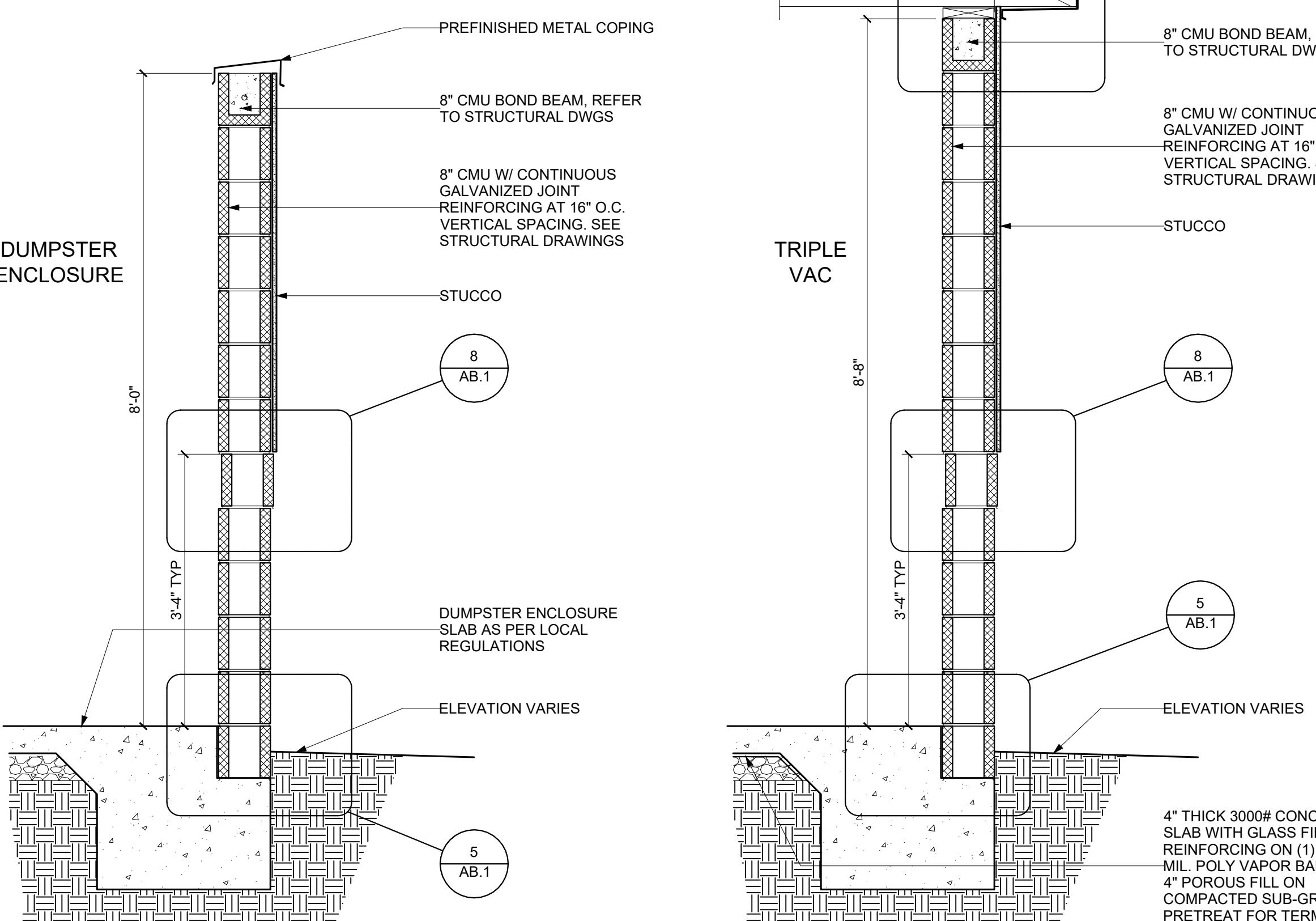
8 WATERTABLE



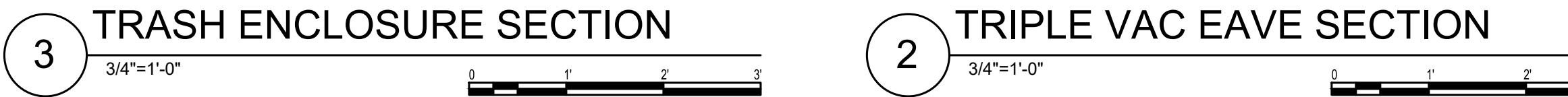
7 DUMPSTER ENCLOSURE GATE



5 WALL BASE



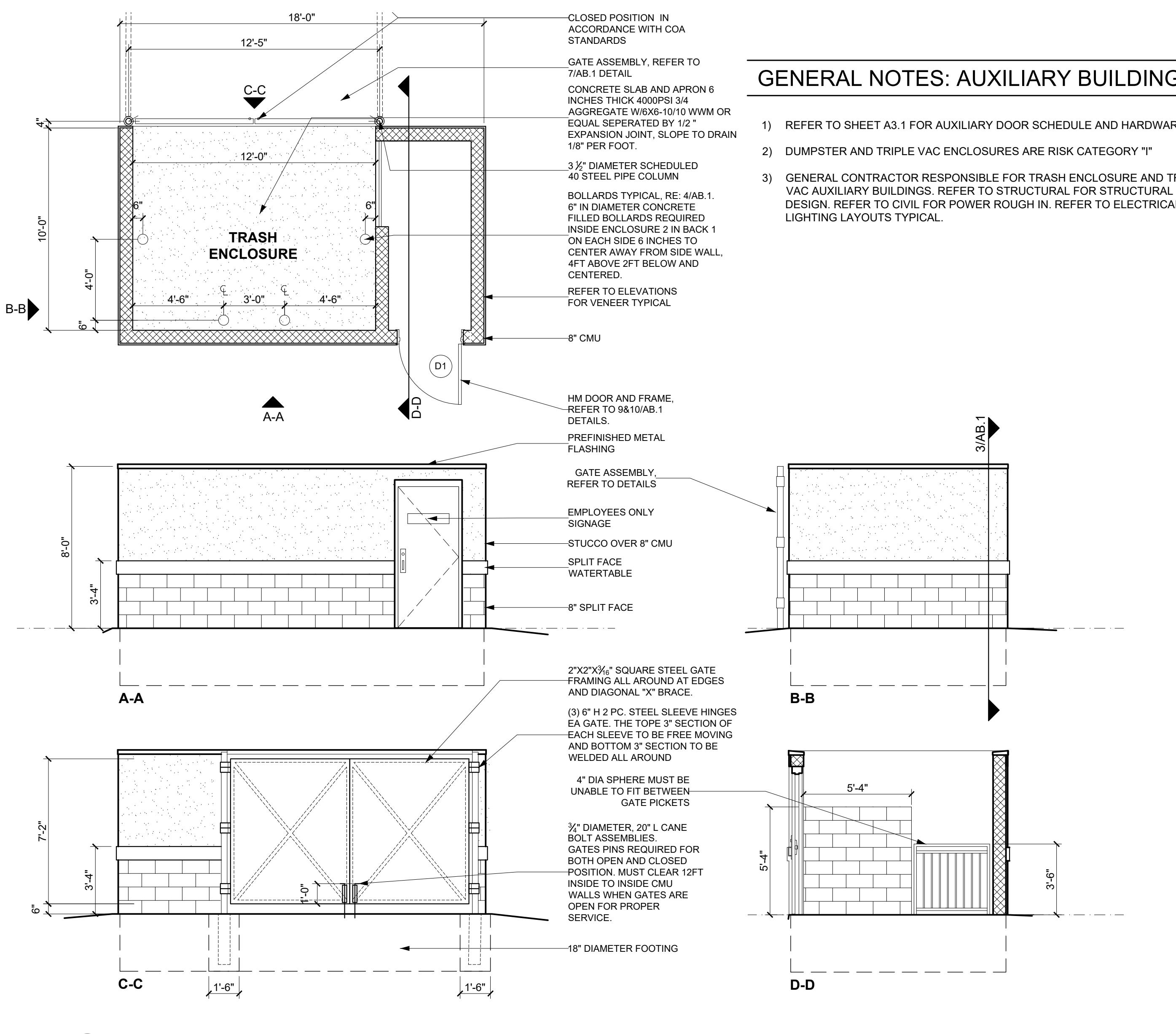
4 BOLLARD DETAIL



3 TRASH ENCLOSURE SECTION

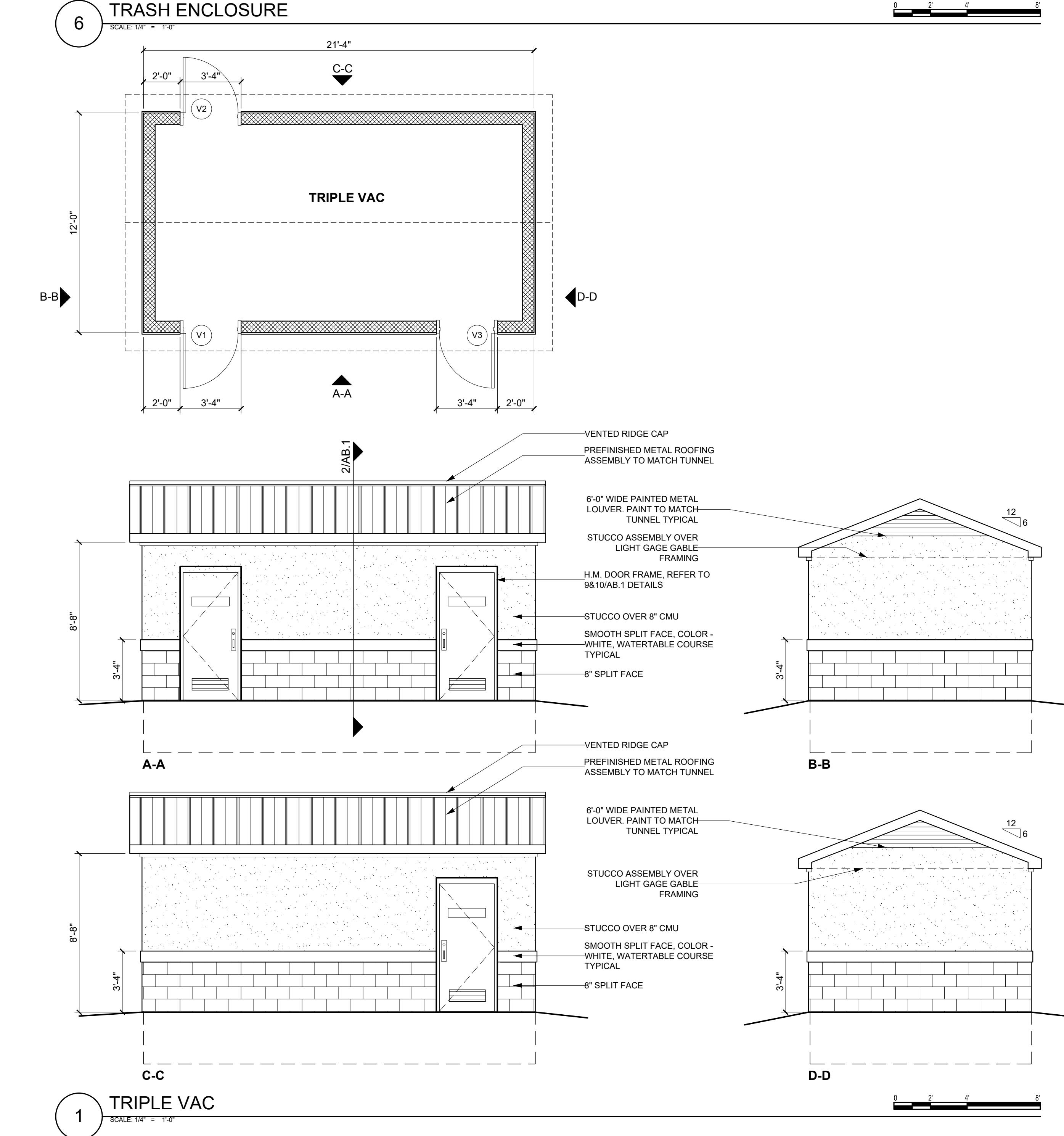


2 TRIPLE VAC EAVE SECTION

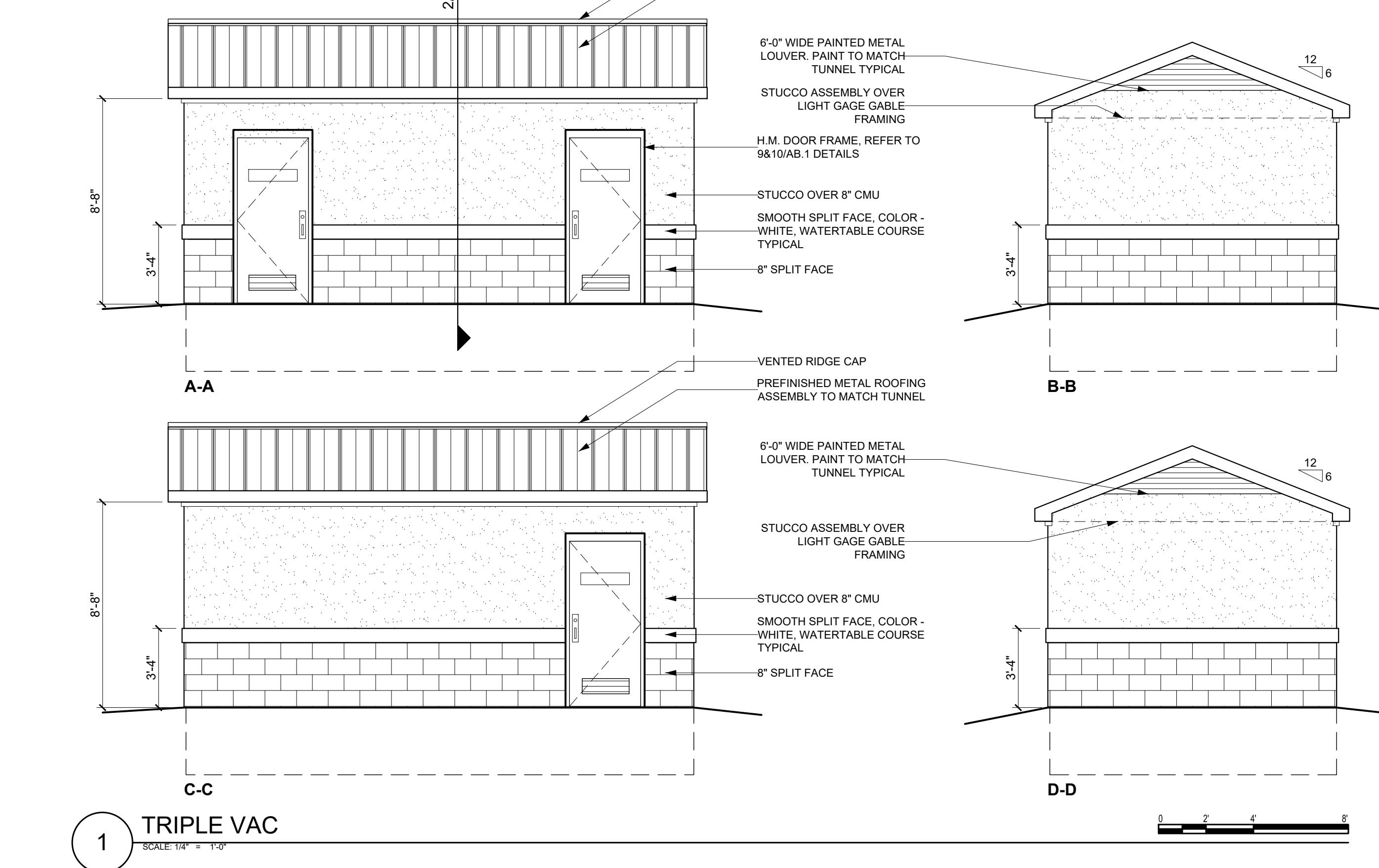


GENERAL NOTES: AUXILIARY BUILDINGS

- 1) REFER TO SHEET A3.1 FOR AUXILIARY DOOR SCHEDULE AND HARDWARE
- 2) DUMPSTER AND TRIPLE VAC ENCLOSURES ARE RISK CATEGORY "I"
- 3) GENERAL CONTRACTOR RESPONSIBLE FOR TRASH ENCLOSURE AND TRIPLE VAC AUXILIARY BUILDINGS. REFER TO STRUCTURAL FOR STRUCTURAL DESIGN. REFER TO CIVIL FOR POWER ROUGH IN. REFER TO ELECTRICAL FOR LIGHTING LAYOUTS TYPICAL.



6 TRASH ENCLOSURE



1 TRIPLE VAC

CONTRACTOR

Civil:
RESPEC
7770 Jefferson St NE
Suite #200
Albuquerque, NM 87109

Landscape:
The Hilltop
Landscape Architects
and Contractors
7909 Edith Blvd NE,
Albuquerque, NM 87113

Structural:
Walla Engineering, LTD
6501 Americas Pkwy #301,
Albuquerque, NM 87110

MEP:
BG Buildingworks
7007 Wyoming Blvd NE # F2,
Albuquerque, NM 87109

CONSULTANTS

TIDAL WAVE
AUTO SPA
120 LEFT ENTRY
STD

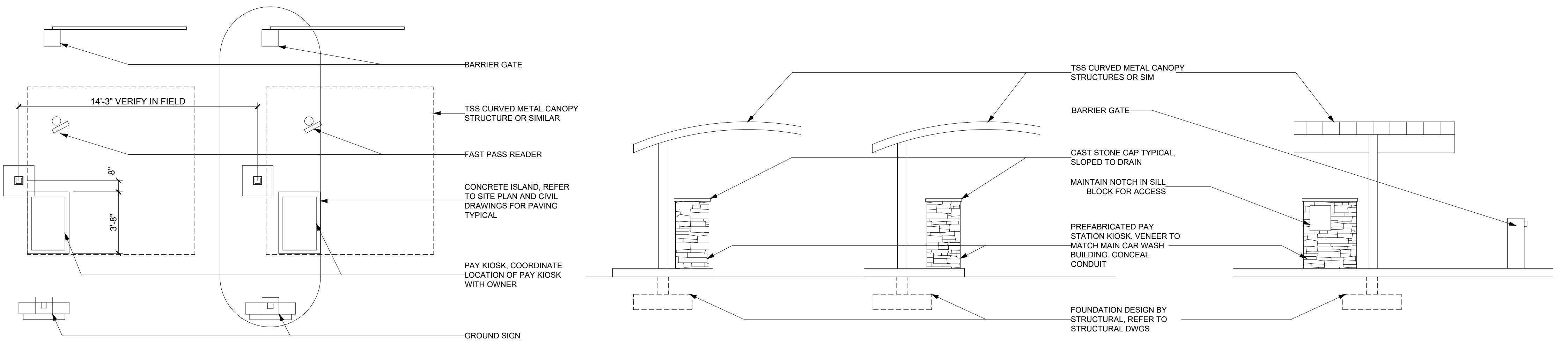
2601 2nd St NW
Albuquerque, NM 87107

OWNER

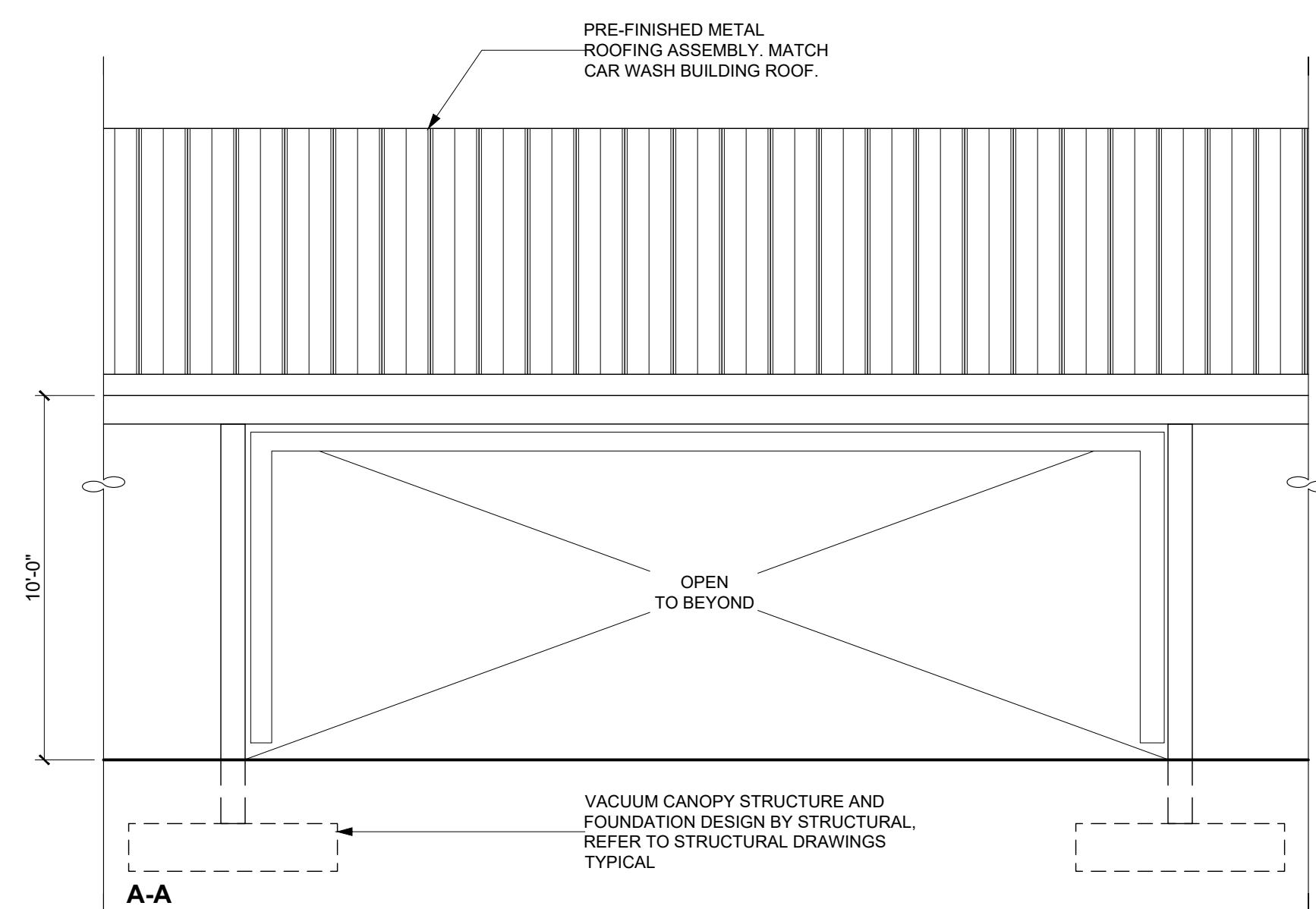


GENERAL NOTES: DEFERRED SUBMITTALS

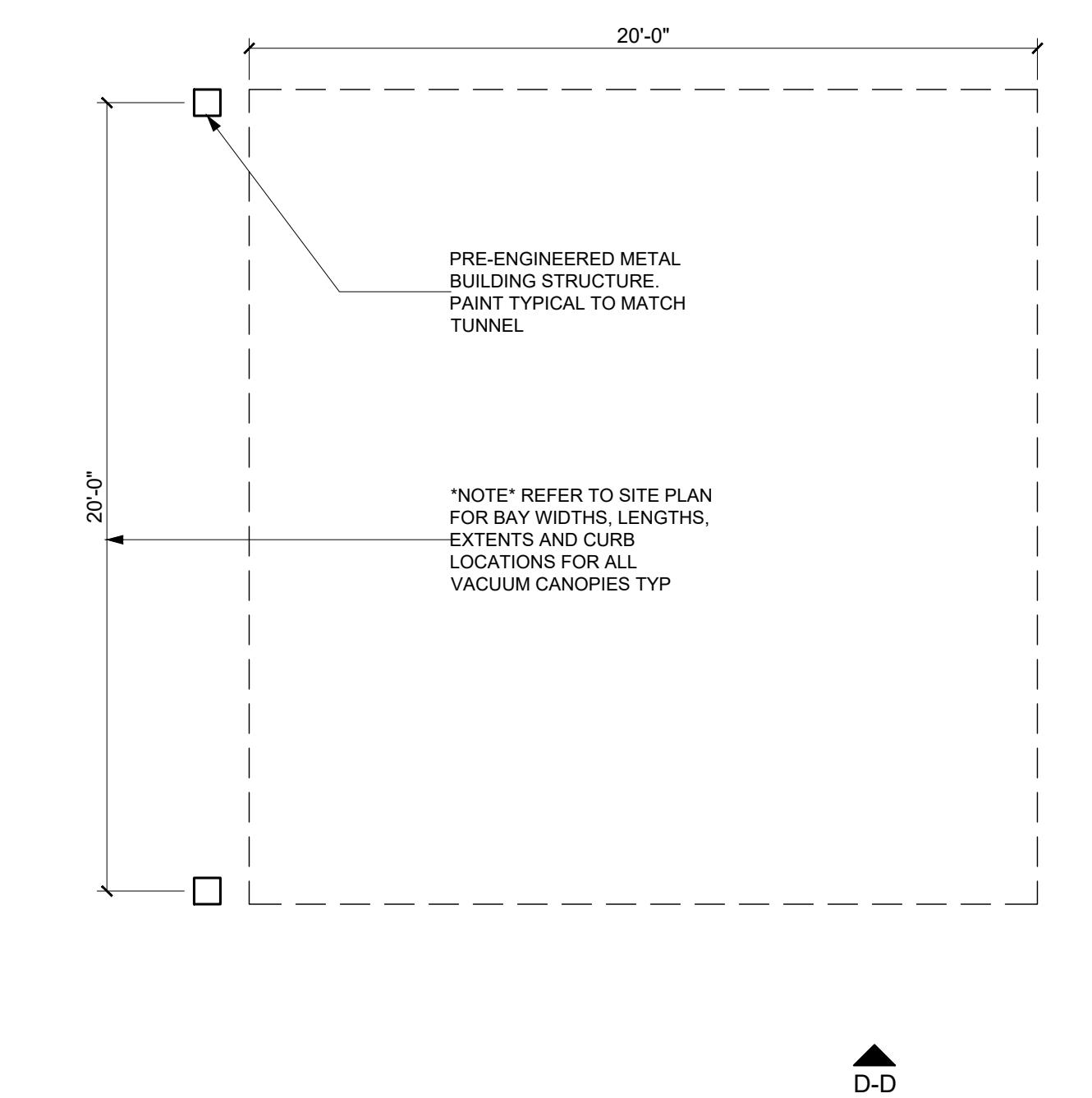
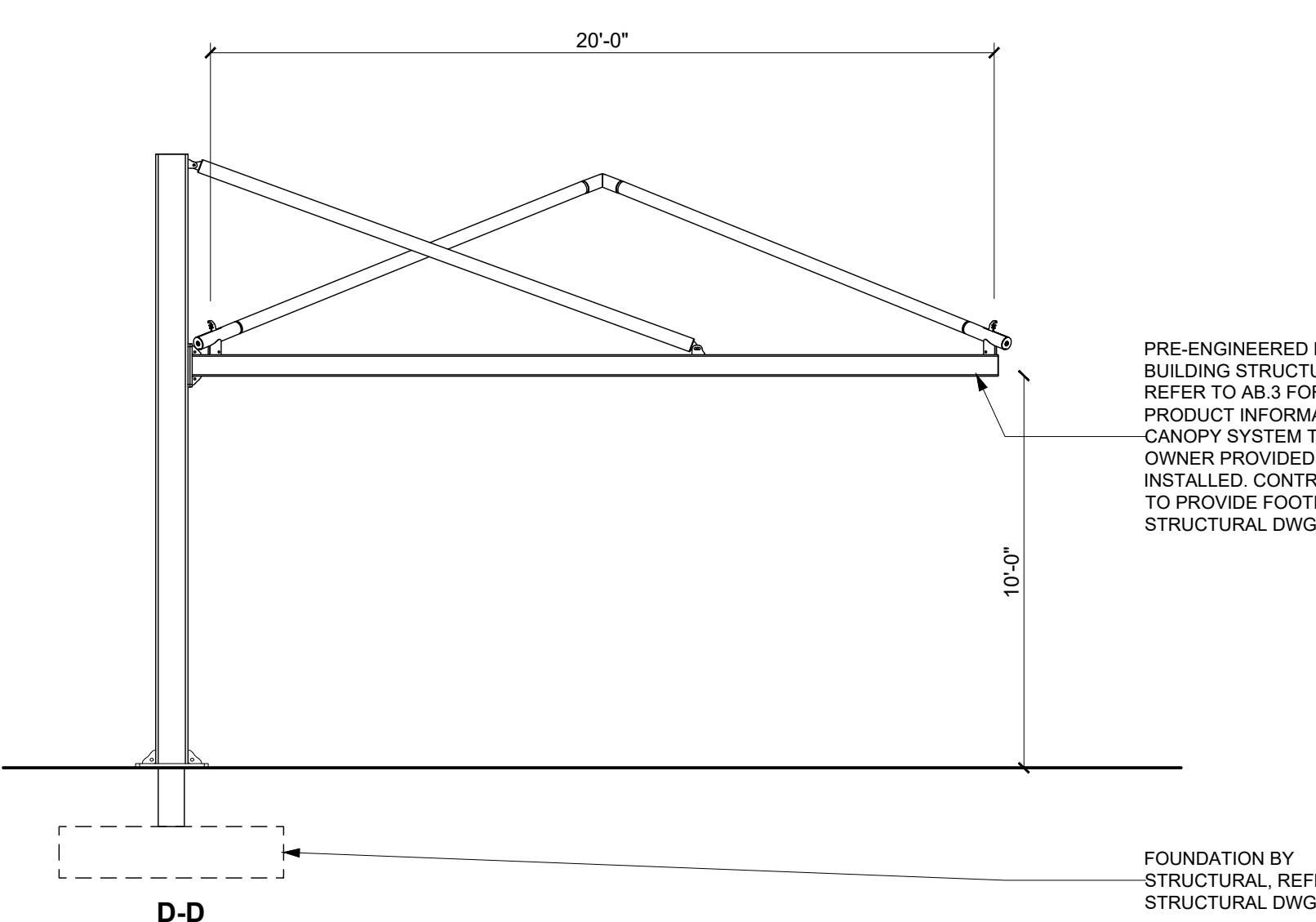
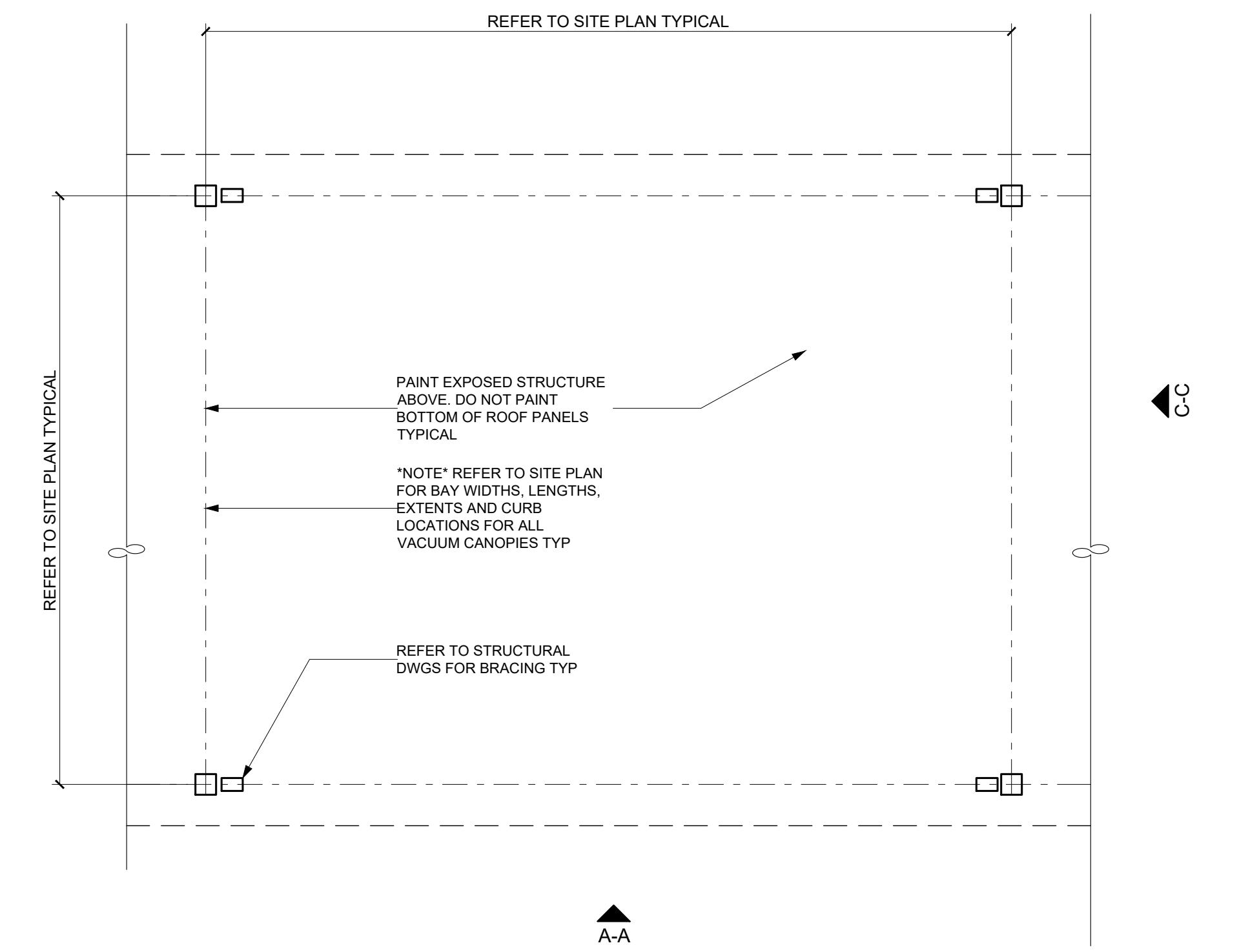
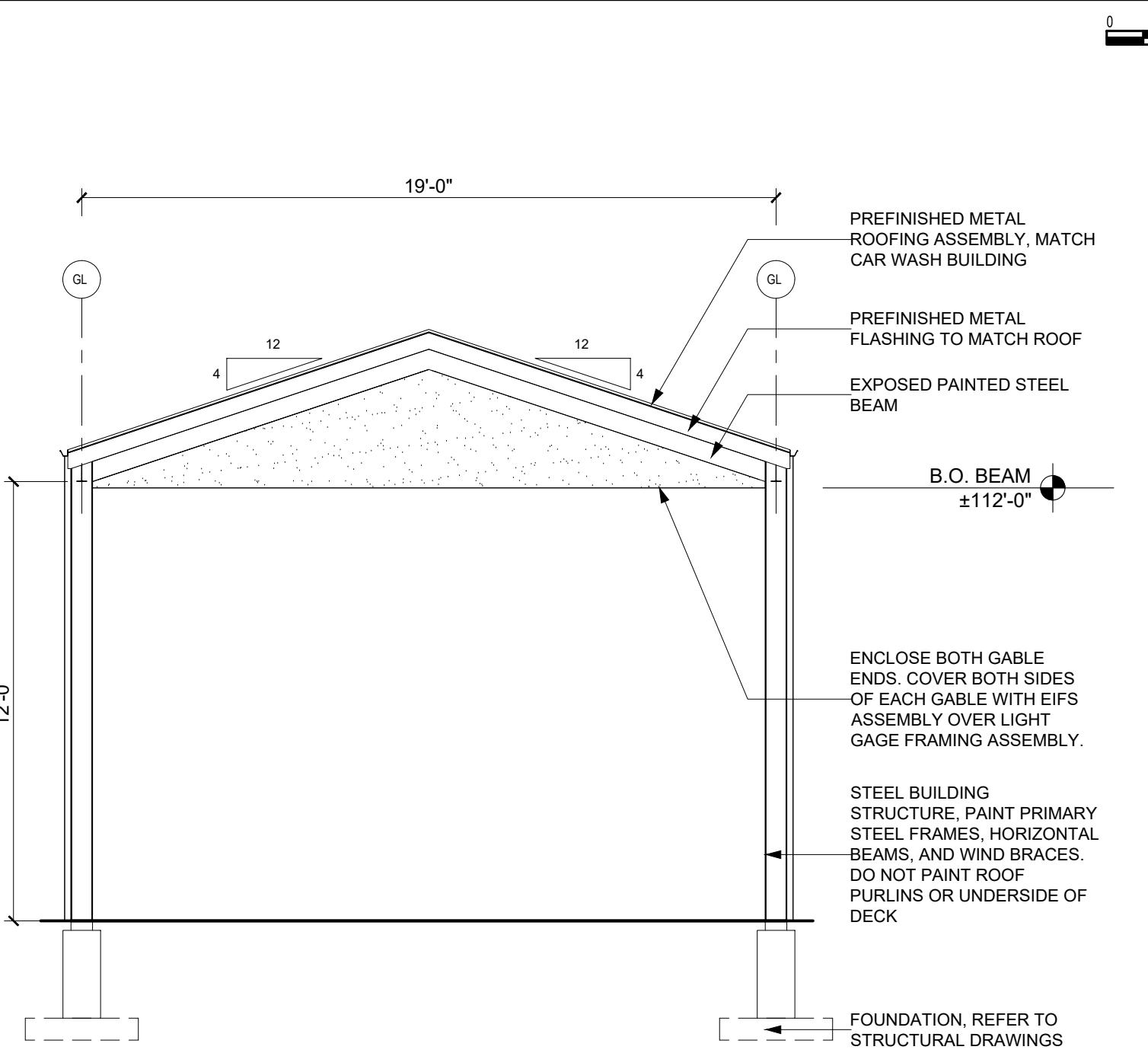
- 1) NOTE: THESE CANOPY DETAILS AND ELEVATIONS ARE APPROXIMATE IN NATURE AND SHALL BE COORDINATED WITH SITE PLAN, PARKING LAYOUT AND AVAILABLE SPAN
- 2) DEFERRED SUBMITTALS: PRIOR TO CANOPY FABRICATION OR INSTALL, PROVIDE DETAILED DESIGN SHOP DRAWINGS PREPARED BY A STRUCTURAL ENGINEER HIRED OR EMPLOYED BY CANOPY MANUFACTURER. SUCH DRAWINGS SHALL BE CERTIFIED/STAMPED AND SIGNED BY THE RELATED DESIGN ENGINEER. SUBMIT TO LOCAL AUTHORITIES FOR REVIEW AND APPROVAL PRIOR TO START OF ANY RELATED WORK.
- 3) COLORS: COORDINATE COLORS TO MATCH MAIN CAR WASH BUILDING. COORDINATE WITH TIDAL WAVE, INC. PRIOR TO START
- 4) NOTE: CANOPIES ARE PRE-ENGINEERED METAL BUILDING STRUCTURES



3 PAY KIOSK AND CANOPY - DEFERRED SUBMITTAL
1/4"=1'-0"



2 VACUUM CANOPY
1/4"=1'-0"



1 PREP CANOPY
1/4"=1'-0"

Architect/Engineer Stamp

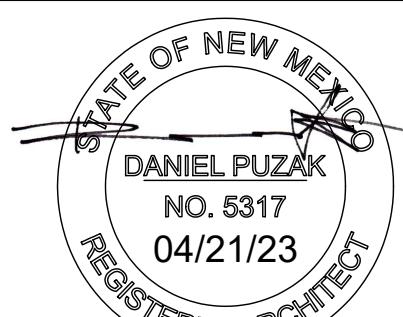
PROJECT DATE: 04/14/23

PROJECT NUMBER: 2220

DRAWN BY: BEM

CANOPIES

AB.2



GENERAL NOTES: DEFERRED SUBMITTALS

- 1) NOTE: THESE CANOPY DETAILS AND ELEVATIONS ARE APPROXIMATE IN NATURE AND SHALL BE COORDINATED WITH SITE PLAN, PARKING LAYOUT AND AVAILABLE SPAN
- 2) DEFERRED SUBMITTALS: PRIOR TO CANOPY FABRICATION OR INSTALL, PROVIDE DETAILED DESIGN SHOP DRAWINGS PREPARED BY A STRUCTURAL ENGINEER HIRED OR EMPLOYED BY CANOPY MANUFACTURER. SUCH DRAWINGS SHALL BE CERTIFIED/STAMPED AND SIGNED BY THE RELATED DESIGN ENGINEER. SUBMIT TO LOCAL AUTHORITIES FOR REVIEW AND APPROVAL PRIOR TO START OF ANY RELATED WORK.
- 3) COLORS: COORDINATE COLORS TO MATCH MAIN CAR WASH BUILDING. COORDINATE WITH TIDAL WAVE, INC. PRIOR TO START
- 4) NOTE: CANOPIES ARE PRE-ENGINEERED METAL BUILDING STRUCTURES

SGS
Test Report

Flame Propagation of Textiles and Films
NFPA 701 Test Method 2 (Flat Specimens) - 2010 Edition

Specimen	Dimensions (inches)	Char Length (inches)	After Flame (seconds) nearest	Flaming Residues (seconds) nearest
1	5x47	9.0	0.0	0.0
2	5x47	10.0	0.0	0.0
3	5x47	9.0	0.0	0.0
4	5x47	9.1	0.0	0.0
5	5x47	9.4	0.0	0.0
6	5x47	8.4	0.0	0.0
7	5x47	9.6	0.0	0.0
8	5x47	10.1	0.0	0.0
9	5x47	8.8	0.0	0.0
10	5x47	8.4	0.0	0.0

Observations:
Slight charring, shrinking.

Requirements:
Any material in single sheets shall not continue flaming for more than 2 seconds after the test flame is removed from contact with the specimen. The char length of any single flat specimen shall not exceed 17.1 inches. Portions or residues of material being tested that break or drip from the specimen shall not continue to flame for more than 2 seconds after reaching the floor of the test apparatus.

Conclusion:
The submitted sample meets the requirements of NFPA 701 Test Method 2 (Flat Specimens) - 2010 Edition, when tested in its original state.

ELBOW CONNECTION
1 ALL HARDWARE STAINLESS STEEL

GLIDE ELBOW CONSTRUCTION

Lubricate Threads With Lithium Grease
Coupling With Hook
Drive Plate
Alien Head Cap Screws
Protective Cover *Drain Opening At Bottom
3/8" Washer
3/8" Cap Head Bolt

BEAM CONNECTION
1 ALL HARDWARE STAINLESS STEEL

OWNER NOTES

1. FABRIC MEMBRANE(S) MUST BE REMOVED IF LIVE LOAD/ROOF SNOW LOAD IS EXPECTED TO EXCEED 5 PSF AND/OR THE WIND SPEED IS EXPECTED TO EXCEED AN ULTIMATE DESIGN WIND SPEED OF 115 MPH OR A NOMINAL DESIGN WIND SPEED OF 90 MPH.
2. THE OWNER ACCEPTS FULL RESPONSIBILITY OF REMOVING THE FABRIC FROM THE STEEL FRAME WHEN ANY OR ALL OF THESE CONDITIONS MAY OCCUR.
3. THE STEEL STRUCTURE WITH THE FABRIC REMOVED IS DESIGNED TO WITHSTAND DEAD LOADS, ROOF LIVE LOADS, SNOW LOADS, SEISMIC LOADS AND WIND SPEEDS PER THE LOCAL CODE REQUIREMENTS.

GENERAL NOTES

1. FABRIC MEETS NFPA 701-04.
2. ALL EXPOSED STEEL TO BE POWDERCOATED.

FOUNDATION DESIGN

CONCRETE COMPRESSIVE STRENGTH AFTER 28 DAYS: 3,000 PSI
STEEL REINFORCEMENT: ASTM-A615, GRADE 60
VERTICAL FOUNDATION PRESSURE: 1,500 PSF
LATERAL BEARING PRESSURE: 100 PSF/F

FOUNDATION NOTES:

1. THE FOUNDATION DESIGN IS BASED ON TABLE 1806.2 OF THE BUILDING CODE. CLASS 5 SOIL MATERIAL. IF DIFFERENT SOIL CONDITIONS ARE ENCOUNTERED, IT IS RECOMMENDED THAT A SITE SPECIFIC GEOTECHNICAL REPORT IS CONDUCTED TO DETERMINE THE LOAD BEARING VALUES OF THE SOIL.

MATERIALS
ALL MATERIALS LISTED BELOW MAY NOT BE SPECIFIC TO THIS PROJECT.

MEMBER TYPE	ASTM	MIN. YIELD STRENGTH
W SHAPES	A992	50 KSI
RECTANGULAR HSS TUBES	A500(GRADE C)	50 KSI
SQUARE HSS TUBES	A500(GRADE C)	50 KSI
ROUND HSS TUBES	A500(GRADE B)	42 KSI
SCHEDULE PIPE	A53 (GRADE B)	35 KSI
ROUND MECHANICAL TUBING	A519	42 KSI
MISCELLANEOUS PLATES/SHAPES	A36	36 KSI
CONNECTION BOLTS	A325	92 KSI
HEADED ANCHOR BOLTS	F1554	36 KSI
HOOKED ANCHOR BOLTS	A307	36 KSI

^{1/4} STAINLESS STEEL CABLE SHALL HAVE A NOMINAL STRENGTH OF 6,400 LBS.

PLAN VIEW

SIDE VIEW

FRAME ELEVATION
CABLE AND HARDWARE STAINLESS STEEL

FAN ASSEMBLY
GRANGER #49YW51
24" CORROSIVE
RESISTANT INDUSTRIAL
FAN, TYPICAL AT (2)
AT PREP CANOPY.
MTD. TO
CANOPY COLUMN.

BRACE CONNECTION
1 ALL HARDWARE STAINLESS STEEL

BASE PLATE & ANCHOR DETAIL
1 ALL ANCHOR HARDWARE HOT DIPPED GALVANIZED

FOOTING DETAIL

CANTILEVER SHADE STRUCTURE
20' x 20' x 9'

REVISIONS:
Date: By:

DRAWN:
Date: Chkd: Date:

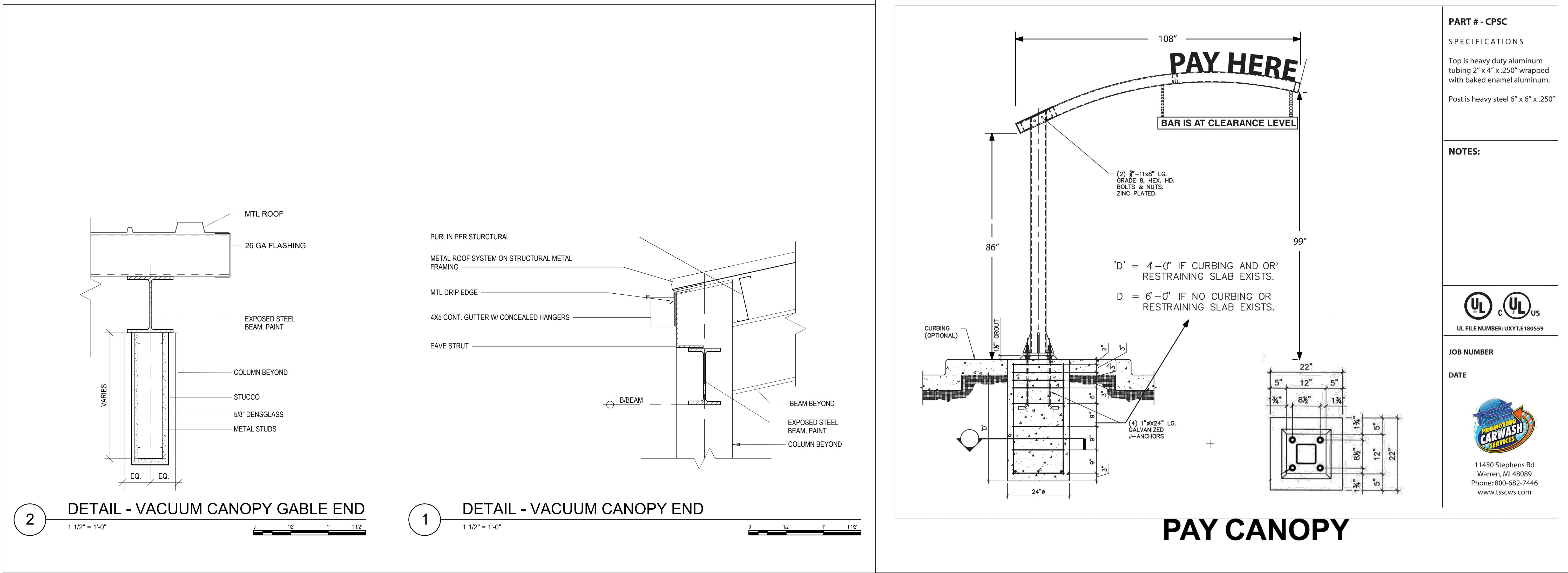
Sheet No.

SUPERIOR RECREATIONAL PRODUCTS
Shade

150 Adamson Industrial Blvd.
Carrollton, GA 30117

PREP CANOPY

OCCUPANCY GROUP(S): U
TYPE OF CONSTRUCTION: V-B



PR-2023-008619_SI-2024-00547_Site_Plan_Approved_Sheet_1

Final Audit Report

2025-12-19

Created:	2025-12-03
By:	Jacob Boylan (jboylan@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAALunaJRHEUbobrUi3WZsa1yfOQDPku_E3

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-  Document emailed to Ernest Armijo (earmijo@cabq.gov) for signature
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