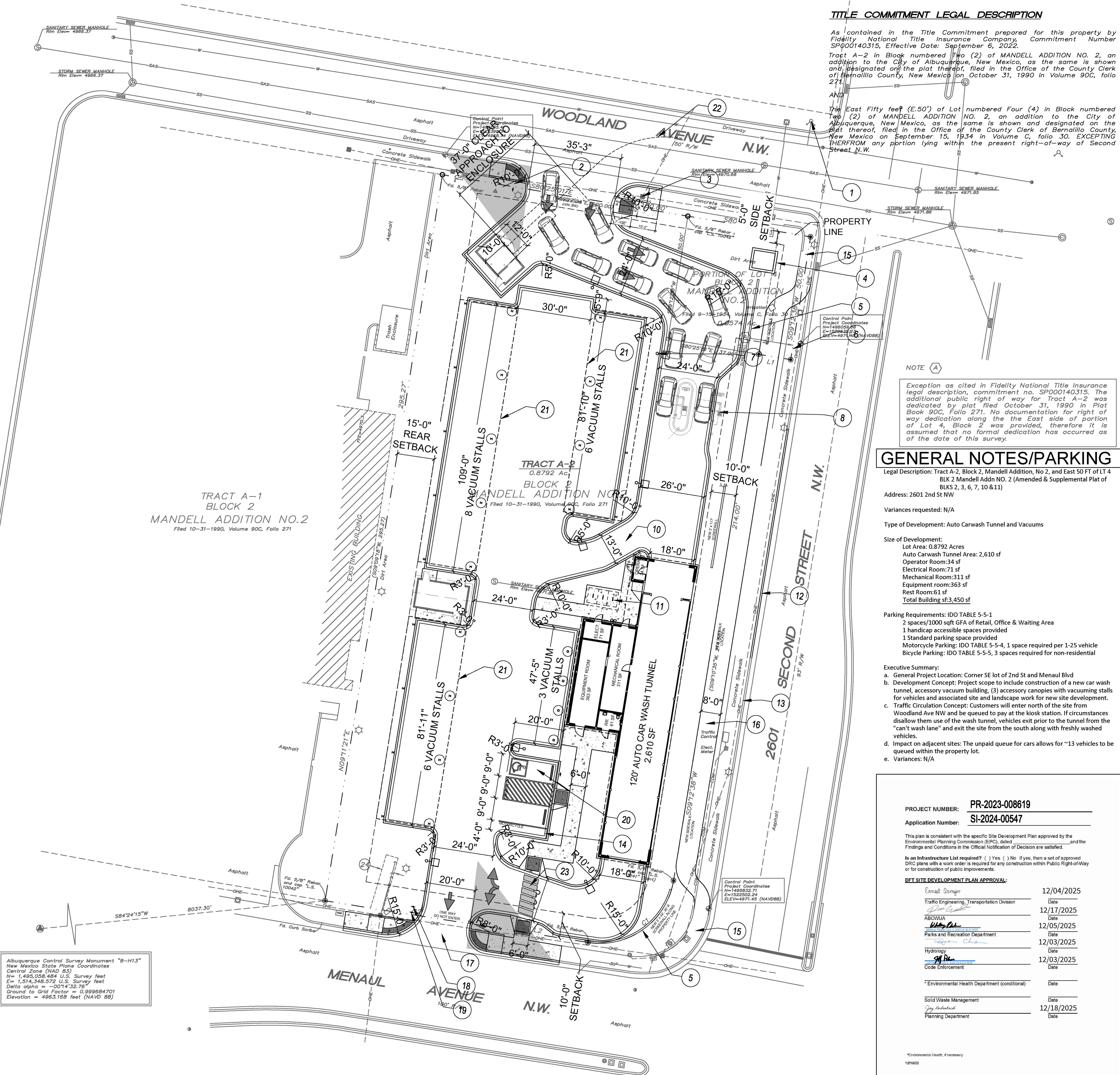


Albuquerque Control Survey Monument "B-113"  
New Mexico State Plane Coordinates  
Central Zone (NAD 83)  
N = 1,495,058.484 U.S. Survey feet  
E = 1,514,348.572 U.S. Survey feet  
Delta alpha = -0074°32'76"  
Ground to Grid Factor = 0.999984701  
Elevation = 4963.168 feet (NAVD 88)



TITLE COMMITMENT LEGAL DESCRIPTION

As contained in the Title Commitment prepared for this property by Fidelity National Title Insurance Company, Commitment Number SP000140315, Effective Date: September 6, 2022.  
Tract A-2 in Block numbered Two (2) of MANDELL ADDITION NO. 2, an addition to the City of Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on October 31, 1990 in Volume 90C, folio 271.  
AND  
The East Fifty feet (E.50') of Lot numbered Four (4) in Block numbered Two (2) of MANDELL ADDITION NO. 2, an addition to the City of Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 15, 1934 in Volume C, folio 30. EXCEPTING THEREFROM any portion lying within the present right-of-way of Second Street N.W.

Tract A-2 in Block numbered Two (2) of MANDELL ADDITION NO. 2, an addition to the City of Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 15, 1934 in Volume C, folio 30. EXCEPTING THEREFROM any portion lying within the present right-of-way of Second Street N.W.

NOTE (A)

Exception as cited in Fidelity National Title Insurance legal description, commitment no. SP000140315. The additional public right of way for Tract A-2 was dedicated by plat filed October 31, 1990 in Plat Book 90C, Folio 271. No documentation for right of way dedication along the the East side of portion of Lot 4, Block 2 was provided, therefore it is assumed that no formal dedication has occurred as of the date of this survey.

GENERAL NOTES/PARKING

Legal Description: Tract A-2, Block 2, Mandell Addition, No 2, and East 50 FT of LT 4 BLK 2 Mandell Addn NO. 2 (Amended & Supplemental Plat of BLKS 2, 3, 6, 7, 10 & 11)

Address: 2601 2nd St NW

Variances requested: N/A

Type of Development: Auto Carwash Tunnel and Vacuums

Size of Development:

Lot Area: 0.8792 Acres  
Auto Carwash Tunnel Area: 2,610 sf  
Operator Room: 34 sf  
Electrical Room: 71 sf  
Mechanical Room: 311 sf  
Equipment room: 363 sf  
Rest Room: 61 sf  
Total Building sf: 3,450 sf

Parking Requirements: IDO TABLE 5-5-1

2 spaces/1000 sqft GFA of Retail, Office & Waiting Area  
1 handicap accessible spaces provided  
1 Standard parking space provided  
Motorcycle Parking: IDO TABLE 5-5-4.1 space required per 1-25 vehicle  
Bicycle Parking: IDO TABLE 5-5-5, 3 spaces required for non-residential

Executive Summary:

- General Project Location: Corner SE lot of 2nd St and Menaul Blvd
- Development Concept: Project scope to include construction of a new car wash tunnel, accessory vacuum building, (3) accessory canopies with vacuuming stalls for vehicles and associated site and landscape work for new site development.
- Traffic Circulation Concept: Customers will enter north of the site from Woodland Ave NW and be queued to pay at the kiosk station. If circumstances disallow them use of the wash tunnel, vehicles exit prior to the tunnel from the "can't wash lane" and exit the site from the south along with freshly washed vehicles.
- Impact on adjacent sites: The unpaid queue for cars allows for ~13 vehicles to be queued within the property lot.
- Variances: N/A

PROJECT NUMBER: PR-2023-008619

Application Number: SI-2024-00547

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DT SITE DEVELOPMENT PLAN APPROVAL:

Consult Designer	12/04/2025
Traffic Engineering, Transportation Division	Date
ABOVU	12/17/2025
Date	12/05/2025
Parks and Recreation Department	Date
Hydrology	12/03/2025
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	12/18/2025

\*Environmental Health, if necessary  
12/18/2025

GENERAL NOTES: SITE PLAN

- SEE CIVIL SHEETS FOR SITE DEMOLITION, HORIZONTAL CONTROL PLAN, GRADING IMPROVEMENTS, EASEMENTS, EROSION CONTROL, SIGNAGE, STRIPPING AND PAVEMENT PLANS. SEE LANDSCAPE SHEETS FOR LANDSCAPE IMPROVEMENTS.
- THE CONTRACTOR SHALL PREVIEW CONDITIONS AND REVIEW THE SUBSURFACE EXPLORATION GEOTECHNICAL ENGINEERING REPORT FOR THE PROJECT AND PERFORM TO THE REQUIREMENTS OF THE GEOTECHNICAL REPORT.
- VERIFY LOCATIONS OF EXISTING UTILITIES BEFORE PROCEEDING WITH EXCAVATIONS.
- ALL GRADING AND CONCRETE PAVING SHALL SLOPE AWAY FROM THE BUILDING.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ADEQUATE DRAINAGE THROUGHOUT THE SITE DURING THE PROCESS OF EXCAVATION AND GRADING. THE GRADE SHALL BE MAINTAINED IN SUCH CONDITION THAT IT IS WELL DRAINED AT ALL TIMES.
- ADJACENT STREETS AND PARKING AREA SHALL BE KEPT FREE OF MUD AND DEBRIS.
- THE CONTRACTOR SHALL PROTECT EXISTING ON & OFF SITE CONDITIONS TO REMAIN FROM DAMAGE.
- THE CONTRACTOR SHALL CONFIN STAGING, STORAGE AND CONSTRUCTION PARKING TO THE SITE.
- THE IRRIGATION SUBCONTRACTOR SHALL COORDINATE THE LOCATION OF IRRIGATION PIPE SLEEVES WITH THE GENERAL CONTRACTOR PRIOR TO PAVING ACTIVITIES. SLEEVES SHALL BE PROVIDED AND INSTALLED BY THE IRRIGATION SUBCONTRACTOR. IRRIGATION DESIGN TO BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LANDSCAPE PLANS & IRRIGATION REQUIREMENTS.
- CONTROL JOINTS TO BE SAW CUT TO 1/2 DEPTH OF SLAB. EXPANSION JOINTS TO BE 1/2" WIDE AND HELD DOWN 1/2" FROM SURFACE TO RECEIVE SELF LEVELING SEALANT
- ALL SIGNAGE TO BE SUBMITTED UNDER A SEPARATE PERMIT
- ALL NEW PAVING TO BE CONCRETE. REFER TO CIVIL PAVING PLAN. ALL CONCRETE PEDESTRIAN WALKS SHOWN WITH CONCRETE HATCH.
- THIS SITE IS WITHIN THE RAILROAD SPUR SPALL AREA, REQUIRING A CUMULATIVE IMPACT ANALYSIS. ANALYSIS IS PROVIDED WITH THIS SUBMITTAL DEMONSTRATING HOW THIS SITE PLAN MITIGATES HARM TO THE AREA.
- A TIS WILL BE SUBMITTED WITH THIS SITE PLAN SUBMITTAL.

LEGEND

- ALL GRAYED ELEMENTS ARE EXISTING TO REMAIN INCLUDING INNER ACCESS ROAD CURB AND GUTTER
- ALL VEGETATION SHOWN IS NEW; REFER TO LANDSCAPE PLAN
- ALL VEHICLES SHOWN TO DEMONSTRATE QUEUE
- ALL INDICATED SIGNAGE TO BE NEW IN ACCORDANCE WITH TRANSPORTATION REQUIREMENTS
- INDICATES EXISTING PROPERTY LINES
- INDICATES EXISTING MEETS AND BOUNDS

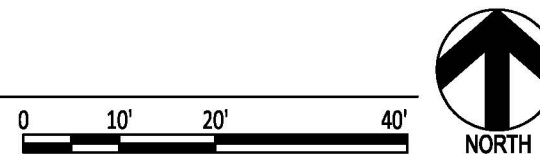
KEYED NOTES

- EXISTING FIRE HYDRANT OFF SITE
- NEW ONE WAY SIGN
- JOG EXISTING SIDEWALK FOR ACCESSIBLE ROUTE AROUND EXISTING UTILITY POLE
- PROPERTY SIGNAGE, SIGNAGE TO BE SUBMITTED UNDER SEPARATE PERMIT.
- 3' HIGH SCREEN WALL FOR HEADLIGHTS IN QUEUE, CONSTRUCT OF CMU, FINISH COLOR TO BE STUCCO TO MATCH BUILDING. SEE SITE PLAN FOR SPECIFIED LENGTH.
- PROPERTY LINES
- INDICATES 15' TALL PROPERTY SITE LIGHTING
- PAY KIOSK
- NOT USED
- CAN'T WASH LANE
- BICYCLE RACK
- PATCH AND REPAIR EXISTING SIDEWALK WHERE INDICATED AT DEMO EXTENTS. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER COA STANDARDS
- ALL EXISTING CONDITIONS ARE SHOWN GRAYED
- MOTORCYCLE SPACE AND SIGNAGE
- EXISTING SIDEWALKS ALONG MENAUL AND 2ND ST TO REMAIN. PATCH AND REPAIR EXISTING SIDEWALK WHERE INDICATED AT DEMO EXTENTS
- NEW 8' ACCESSIBLE SIDEWALK CONNECTION TO PUBLIC ROW
- ONE WAY DO NOT ENTER STRIPING
- NEW STOP STOP
- NEW DO NOT ENTER SIGN
- ADA SPACES, STRIPING AND SIGNAGE
- VACUUM CANOPIES
- GENERAL REFUSE NOTES:
  - GATE CODE TO BE PROVIDED TO SOLID WASTE TO ASSURE REFUSE ACCESS BY SAM
  - NO EXISTING/NEW OVERHEAD WIRES OR OBSTRUCTIONS OVER REFUSE OR REFUSE SERVICE AREA
  - NO EXISTING TRASH SERVICE AT DEVELOPMENT; NEW TRASH SERVICE TO BE PROVIDED
  - DUMPSTER ONLY PROVIDED, NO TRASH COMPACTOR. NO RECYCLING REQUIRED DUE TO NO RECYCLABLE MATERIALS
  - 85' UNOBSTRUCTED APPROACH TO FRONT OF DUMPSTER
- ADA CROSSWALK
- EXISTING PMW EASEMENT

GENERAL INFORMATION

SITE HAS AN EXISTING GAS STATION AND PUMPS WITH AN ACCESSORY CAR WASH TUNNEL. ALL EXISTING STRUCTURES TO BE DEMOLISHED

IDO ZONE ATLAS: H-14-Z (NTS)



STUDIO CONSULTANTS, INC  
100 Gold Ave. SW, Suite 205,  
Albuquerque, NM 87102  
Daniel@ariascinc.com  
(505) 506-2314  
ARCHITECT

CONTRACTOR

Civil:  
RESPEC  
7770 Jefferson St NE  
Suite #200  
Albuquerque, NM 87109

Landscape:  
The Hilltop  
Landscape Architects  
and Contractors  
7909 Edith Blvd NE,  
Albuquerque, NM 87113

Structural:  
Walla Engineering, LTD  
6501 Americas Pkwy #301,  
Albuquerque, NM 87110

MEP:  
BG Buildingworks  
7007 Wyoming Blvd NE # F2,  
Albuquerque, NM 87109

CONSULTANTS

TIDAL WAVE  
AUTO SPA  
120 LEFT ENTRY  
STD

2601 2nd St NW  
Albuquerque, NM 87107

OWNER

MARK DATE DESCRIPTION



Architect/Engineer Stamp

PROJECT DATE: 10/26/23

PROJECT NUMBER: 2220

DRAWN BY: DGP

SITE PLAN- EPC

AS1.0





PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	INSTALL SIZE	MATURE SIZE	WATER USE
TREES					
	6	Cercis canadensis 'Pink Pom Poms' / Pink Pom Poms Eastern Redbud	2.5" cal.	20' ht. x 20' spd.	Medium
	6	Chilopsis linearis / Desert Willow	2.5" cal.	20' ht. x 20' spd.	Medium
	6	Pistacia chinensis / Chinese Pistache	2.5" cal.	30' ht. x 30' spd.	Medium
SHRUBS					
	9	Buddleja davidii nanhoensis / Dwarf Butterfly Bush	5 gal.	5' ht. x 8' spd.	Medium
	20	Caryopteris x clandonensis / Blue Mist Spirea	5 gal.	3' ht. x 3' spd.	Low+
	6	Cotoneaster buxifolius/ glaucophyllus / Grey- Leaf Cotoneaster	5 gal.	8' ht. x 10' spd.	Medium
	10	Elaeagnus Pungens / Silverberry	5 gal.	10' x 10'	Medium
	8	Hesperaloe parviflora / Red Yucca	5 gal.	3' ht. x 3' spd.	Low+
	7	Hibiscus syriacus / Rose of Sharon	5 gal.	10' x 10'	Medium
	8	Nolina macrocarpa / Beargrass	5 gal.	5' ht. x 5' spd.	RW
	25	Panicum virgatum / Switchgrass	5 gal.	4' ht. X 4' spd.	Medium
	10	Rhus Aomatic / Gro-Low Sumac	5 gal.	2' ht. x 6' spd.	Low+
	12	Rosa 'Pink Double Knock Out' / Pink Double Knock Out Rose	5 gal.	4' ht. X 4' spd.	Medium

LANDSCAPE CALCULATIONS

ZONING	IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994		
APPLICABLE REGULATION(S)			
TOTAL LOT AREA (ACRES)	0.93	GROUNDCOVER (% - REQ)	25.0%
TOTAL LOT AREA (SF)	40557	GROUNDCOVER (SF - REQ)	3147
BUILDING AREA (SF)	3315	GROUNDCOVER (SF - PROV.)	3200
NET LOT AREA (SF)	37,242		
		PARKING LOT AREA (SF)	14268
REQUIRED LANDSCAPE (%)	15.0%	REQ. PARKING LANDSCAPE 10% (SF)	1427
REQUIRED LANDSCAPE (SF)	5586	PROV. PARKING LANDSCAPE (SF)	7346
LANDSCAPE PROVIDED (SF)	16785	REQ. PARKING TREES (1/10 SPOTS)	2
		PROV. PARKING TREES	3
VEGETATIVE COVER (% - REQ)	75.0%		
VEGETATIVE COVER (SF - REQ)	12589		
VEGETATIVE COVER (SF - PROV.)	20500		

STREET TREE CALCULATIONS

STREET TREE ORDINANCE REQUIRES SPACING OF STREET TREE AT 25' O.C.

WOODLAND BLVD NW, 109 FT  
REQUIRED NUMBER OF TREES 4  
PROVIDED NUMBER OF TREES 4

2ND STREET NW, 280 FT  
REQUIRED NUMBER OF TREES 11  
PROVIDED NUMBER OF TREES 11

MENAU BLVD NW, 96 FT  
REQUIRED NUMBER OF TREES 4  
PROVIDED NUMBER OF TREES 4

PLANTING NOTES

ALL PLANTS TO CONTAIN BARK MULCH AROUND THE ROOTBALL, TO THE EXTENT TO COVER THE DRIP LINES. ALL TREES TO BE PLANTED SO THAT THE TRUNK IS AT LEAST 15 FEET AWAY FROM LIGHT POLES.

GENERAL NOTES

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH APPLICABLE CITY WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE. PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

GRAY GRAVEL OVER FILTER FABRIC TO A MINIMUM DEPTH OF 3" SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED OR OTHER HATCHED GROUNDCOVER AREA. ALL GRAVEL SHALL BE PLACED .5"-1" LOWER THAN ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND ACTUAL FIELD VERIFICATION, CONTRACTOR SHALL CEASE WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTIONS ON HOW TO PROCEED.

POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

IRRIGATION NOTES:

IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNERS RESPONSIBILITY TO ENSURE THAT FUGITIVE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

ALL ON-SITE PLANT MATERIAL, NEW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS. TREES SHALL RECEIVE ONE (1) NETAFIM SPIRAL (50' LENGTH) WITH 3 LOOPS AT A FINAL RADIUS OF 4.5' FROM TREE TRUNK, PINNED IN PLACE. NETAFIM SHALL HAVE EMITTERS 12" O.C. WITH A FLOW OF .6 GPH. SHRUBS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

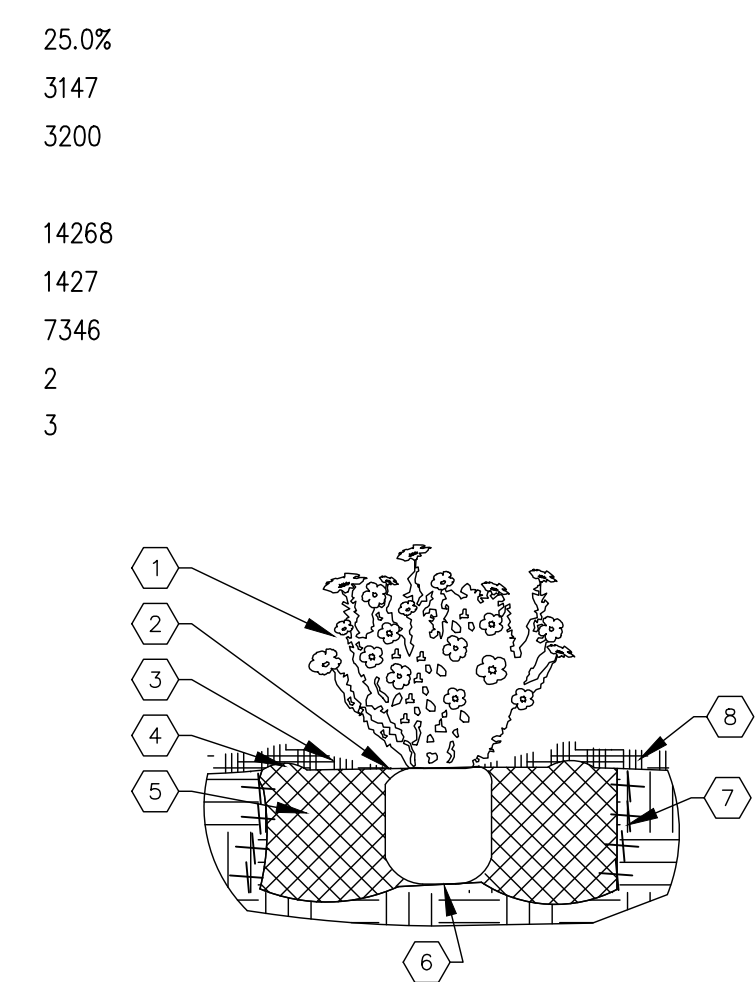
RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE SHALL RUN 1.5 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

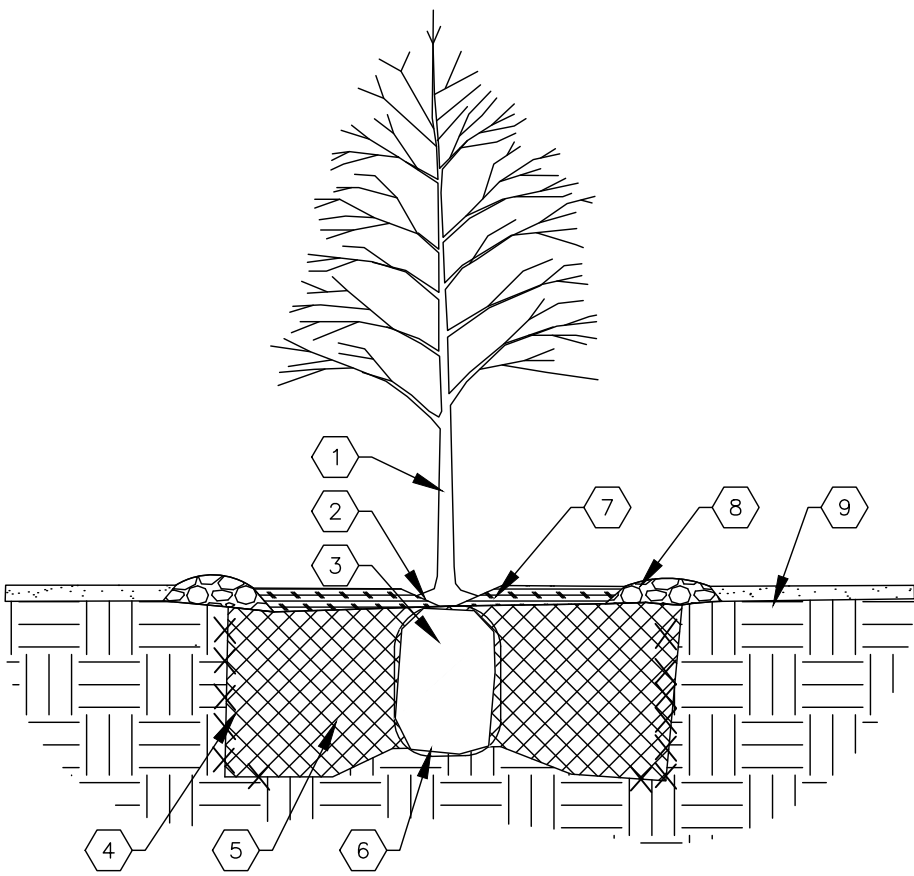
IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.



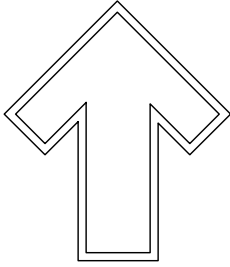
SHRUB PLANTING KEYED NOTES

- SHRUB LOCATION, SPECIES, AND CONDITION AS PER PLAN.
- INSTALL WITH TOP OF ROOT BALL FLUSH WITH SUBGRADE (BOTTOM OF MULCH)
- USE WOOD CHIP MULCH OVER ROOTBALL, FEATHERED TO A 2" DEPTH AND HELD BACK 2" FROM TRUNKS AND STEMS AND TO COVER DRIPLINE.
- 2" HIGH X 8" WIDE BERM
- BACKFILL PER SPECIFICATIONS. LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL
- SCAFFRY AND LOOSEN EDGES OF PLANTING PIT.
- MULCH - SEE PLANTING PLAN. 3" DEPTH UNLESS OTHERWISE NOTED.



TREE PLANTING KEYED NOTES

- TREE LOCATION, SPECIES, AND CONDITION AS PER PLAN.
- REMOVING EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MULCH)
- INSTALL TREE PLUMB. REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TWINE, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BURLAP EXCEPT FROM BOTTOM OF ROOT BALL.
- SCAFFRY AND LOOSEN EDGES OF PLANTING PIT.
- BACKFILL PER SPECIFICATIONS. LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
- INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND TO COVER DRIP LINE. GENERALLY, MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK
- 4" HIGH X 16" WIDE COBBLE BERM AT DRIP LINE.
- MULCH - SEE PLANTING PLAN



The Hilltop  
7908 Edith N.E.  
Albuquerque, NM 87113  
Cell: (505) 886-8600  
Fax: (505) 886-7737  
ted@hilltoplandscaping.com



MAY 9, 2024

Tidal Wave Auto Spa  
2nd Street & Menaul  
Albuquerque, NM

Preliminary Landscape Design

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The Hilltop  
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY  
th

CHECKED BY  
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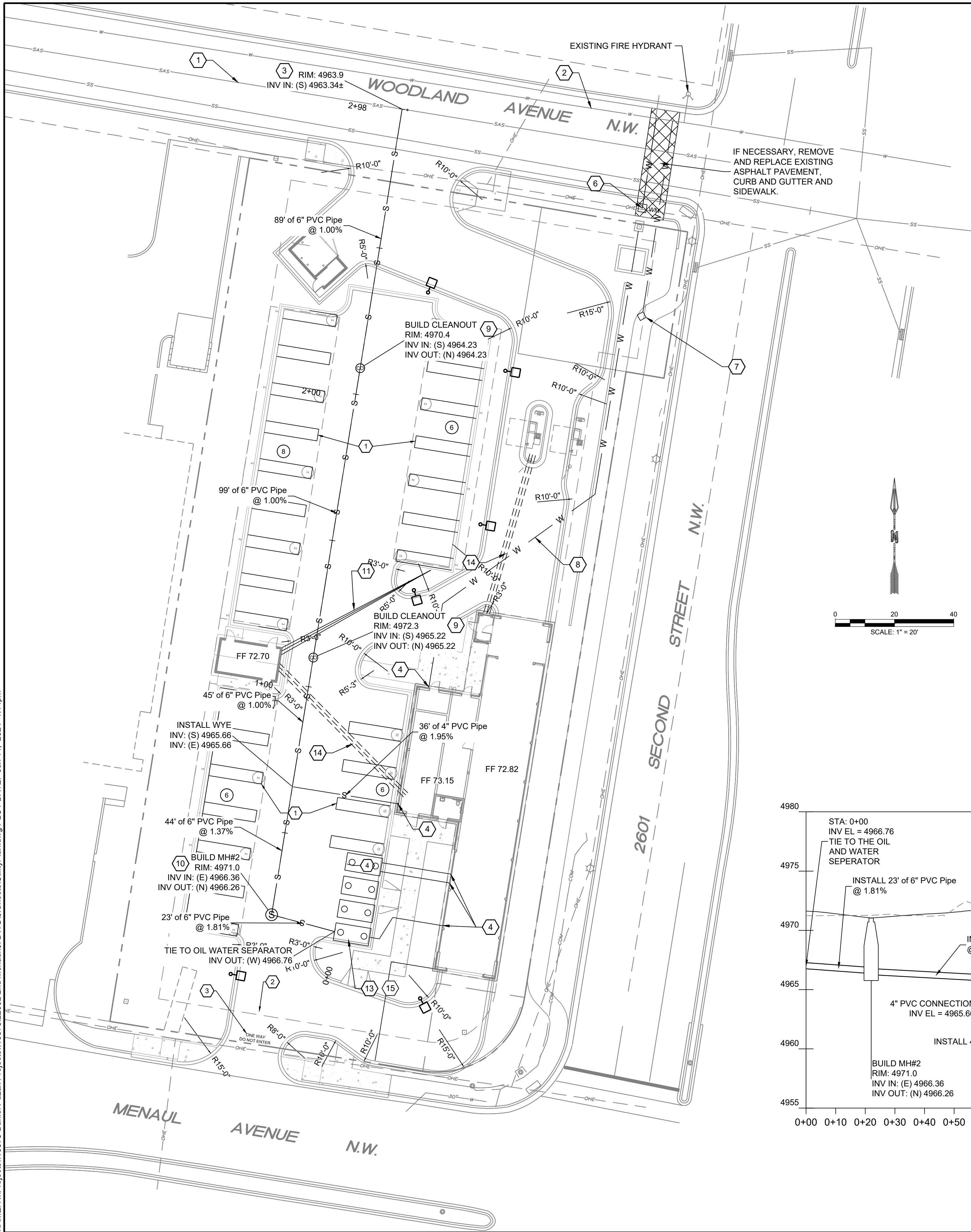
DATE  
09/22/2025

SHEET #

LS-101



NAME: N:\Projects\W0378-Daniel Puzak Projects\W0378 22002 2nd Menuaul3. DWG\3 Sheets\UtilityPlan.dwg PLOT DATE: Jun 14, 2024 1:14pm



KEYED NOTES

- EXISTING 8" SAS.
- EXISTING 8" WATER LINE.
- INSTALL 6" SANITARY SEWER SERVICE PER ABCWUA STD DWG 2135.
- CONTINUE UPSTREAM DESIGN PER THE PLUMBING PLANS.
- INSTALL PRIVATE BACK FLOW PREVENTOR IN A HOT BOX CONTINUE DESIGN PER LANDSCAPING / IRRIGATION PLAN. IF EXISTING BACKFLOW PREVENTOR IS THE CORRECT SIZE AND IN GOOD CONDITION, IT MAY BE USED IN LIEU OF A NEW BACKFLOW PREVENTOR.
- INSTALL 1 1/2" WATER METER ENCLOSURE AND WATER SERVICE PER ABCWUA STD DWG 2362.
- EXISTING 3/4" WATER METER AND BACKFLOW PREVENTOR TO BE REUSED FOR IRRIGATION METER.
- INSTALL 2" DIAMETER PEX WITH 4' MINIMUM BURY.
- INSTALL TRAFFIC RATED 4" SINGLE CLEANOUT.
- INSTALL PRIVATE 4" DIAMETER SAS MANHOLE PER NMAPWA STD DWG 2101. SEE SHEET C-109.
- NOT IN USE
- OIL WATER SEPARATOR. ALL OTHER TANKS ARE RECLAIM TANKS. SEE RECLAIM SYSTEM DETAILS ON SHEET C-109.
- PVC ELECTRICAL CONDUIT; COORDINATE WITH MEP FOR EXACT LOCATION AND SIZE.
- INSTALL PARK SO-1500-STD SAND-OIL INTERCEPTOR.

LEGEND

WATERLINE 2"	— W —
SEWER LINE 6"	— S —
ELECTRICAL CONDUIT	- - - - -

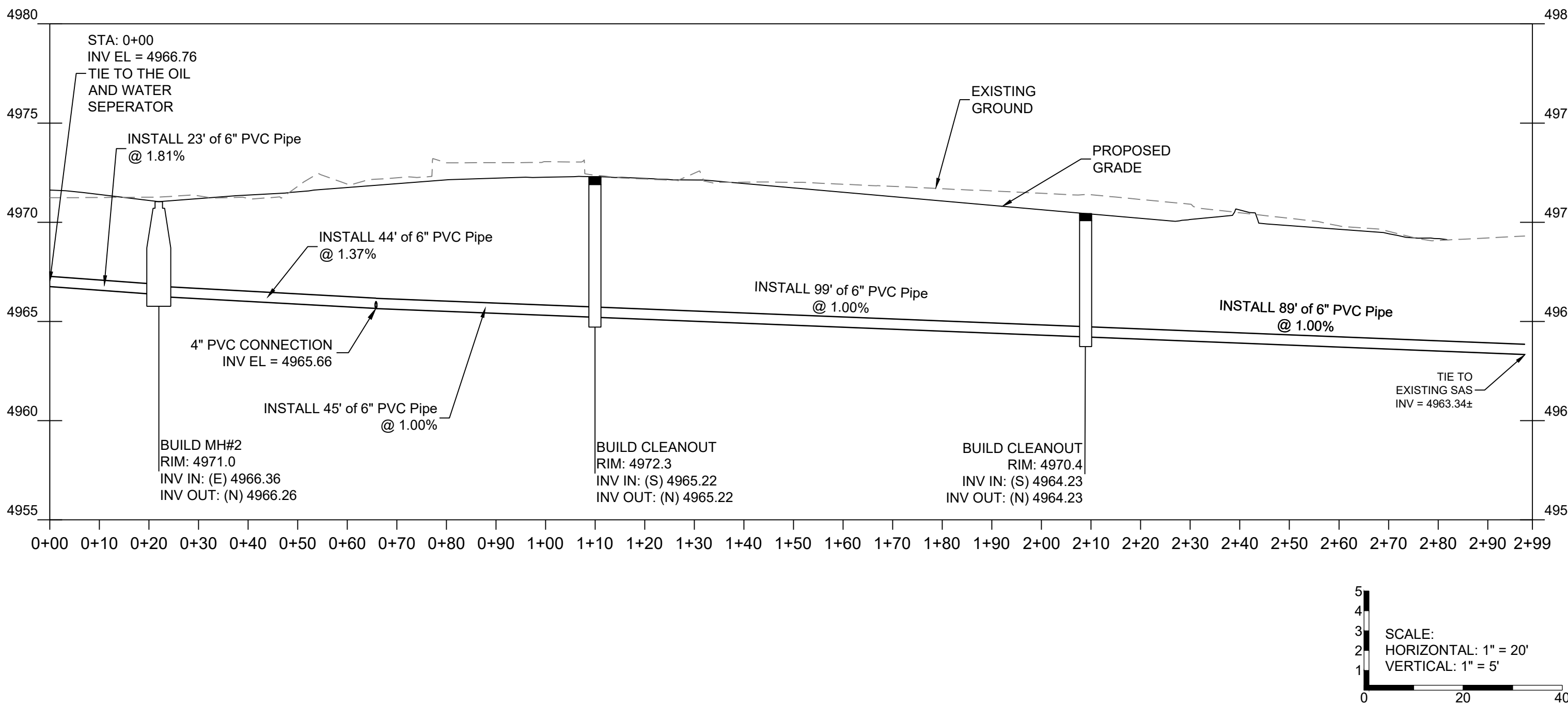
UTILITY GENERAL NOTES

- THE CONTRACTOR SHALL OBTAIN AN ABCWUA CONNECTION PERMIT AND ANY OTHER APPLICABLE UTILITY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO COORDINATE FINAL LOCATION, NUMBER, AND SIZE OF ELECTRICAL CONDUIT AND PVC VACUUM LINES WITH THE APPROPRIATE TRADES IN THE FIELD.
- CONTRACTOR TO FIELD VERIFY SIZE'S AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.
- ALL UTILITIES SHOWN ON THE PRIVATE PROPERTY SHALL BE PRIVATE UNLESS OTHERWISE NOTED.
- SEE PLUMBING PLANS FOR UTILITY CONTINUATION INTERNAL TO THE BUILDING.
- PARALLEL RPBA BACKFLOW PREVENTOR FOR THE PRIVATE WATERLINES WILL BE PROVIDED INTERNAL TO THE BUILDING. THE BACKFLOW PREVENTOR SHALL BE THE SAME SIZE AS THE TAP/CONNECTION AT THE MAIN LINE.
- SITE PLAN LINEWORK HAS BEEN SCREENED BACK FOR VISUAL CLARITY.
- COORDINATION WITH WATER AUTHORITY CROSS SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
- COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH THE WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.
- ALL PROPOSED WATER AND SEWER LINE IS PRIVATE UNLESS STATED OTHERWISE.

ABBREVIATIONS

AC	ACRE
CF	CUBIC FOOT
ELEV	ELEVATION
FF	FINISHED FLOOR
INV	INVERT
LF	LINEAR FOOT
NMAPWA	NEW MEXICO AMERICAN PUBLIC WORKS ASSOCIATION
MAX	MAXIMUM
MIN	MINIMUM
PVC	POLYVINYL CHLORIDE
ROW	PUBLIC RIGHT OF WAY
RPBA	REDUCED PRESSURE BACKFLOW ASSEMBLY
SAS	SANITARY SEWER
SD	STORM DRAIN
STD DWG	STANDARD DRAWING
VOL	VOLUME
WTR	WATER
WQ	WATER QUALITY
STD DWG	STANDARD DRAWING

SAS SEWER PROFILE



DESIGNED	DRAWN	CHECKED	DATE	6.14.2024
<b>RESPEC</b> COMMUNITY DESIGN SOLUTIONS 7770 JEFFERSON STREET SUITE 200 DALLAS, TEXAS 75231-1118 WWW.RESPEC.COM PHONE (955) 253-9718				
STAMP SHELDON E. GREER NEW MEXICO 17154 LICENSED PROFESSIONAL ENGINEER 01/22/2024 THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED				
PROJECT NAME: TIDAL WAVE 2ND MENAUL				
SHEET TITLE: UTILITY PLAN				
SUBMITTED FOR: BUILDING PERMIT				
SHEET NUMBER: C-107				



LEGEND

- ALL GRAYED ELEMENTS ARE EXISTING TO REMAIN INCLUDING INNER ACCESS ROAD CURB AND GUTTER
- ALL VEGETATION SHOWN IS NEW; REFER TO LANDSCAPE PLAN
- ALL VEHICLES SHOWN TO DEMONSTRATE QUEUE
- ALL INDICATED SIGNAGE TO BE NEW IN ACCORDANCE WITH TRANSPORTATION REQUIREMENTS
- INDICATES EXISTING PROPERTY LINES
- INDICATES EXISTING MEETS AND BOUNDS

GENERAL NOTES

- ALL BUILDINGS, ENCLOSURES AND CANOPIES SHOWN ARE TO BE NEW CONSTRUCTION
- ALL NEW PAVING TO BE CONCRETE. REFER TO CIVIL PAVING PLAN. ALL CONCRETE PEDESTRIAN WALKS SHOWN WITH CONCRETE HATCH

KEYED NOTES

- EXISTING FIRE HYDRANT OFF SITE
- NEW ONE WAY SIGN
- JOG EXISTING SIDEWALK FOR ACCESSIBLE ROUTE AROUND EXISTING UTILITY POLE
- PROPERTY SIGNAGE
- LANDSCAPE SCREENING FOR HEADLIGHTS IN QUEUE
- PROPERTY LINES
- INDICATES 15' TALL PROPERTY SITE LIGHTING
- PAY KIOSK
- PROPOSED VEGETATION LAYOUT AS INDICATED
- CAN'T WASH LANE
- BICYCLE RACK
- PATCH AND REPAIR EXISTING SIDEWALK WHERE INDICATED AT DEMO EXTENTS. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER COA STANDARDS
- ALL EXISTING CONDITIONS ARE SHOWN GRAYED
- MOTORCYCLE SPACE AND SIGNAGE
- EXISTING SIDEWALKS ALONG MENAUL AND 2ND ST TO REMAIN. PATCH AND REPAIR EXISTING SIDEWALK WHERE INDICATED AT DEMO EXTENTS
- NEW ACCESSIBLE SIDEWALK CONNECTION TO PUBLIC ROW
- ONE WAY DO NOT ENTER STRIPING
- NEW STOP STOP
- NEW DO NOT ENTER SIGN
- ADA SPACES, STRIPING AND SIGNAGE
- VACUUM CANOPIES
- GENERAL REFUSE NOTES:
  - GATE CODE TO BE PROVIDED TO SOLID WASTE TO ASSURE REFUSE ACCESS BY 5AM
  - NO EXISTING/NEW OVERHEAD WIRES OR OBSTRUCTIONS OVER REFUSE OR REFUSE SERVICE AREA
  - NO EXISTING TRASH SERVICE AT DEVELOPMENT; NEW TRASH SERVICE TO BE PROVIDED
  - DUMPSTER ONLY PROVIDED, NO TRASH COMPACTOR. NO RECYCLING REQUIRED DUE TO NO RECYCLABLE MATERIALS
  - 85' UNOBSTRUCTED APPROACH TO FRONT OF DUMPSTER

GENERAL INFORMATION

SITE HAS AN EXISTING GAS STATION AND PUMPS WITH AN ACCESSORY CAR WASH TUNNEL. ALL EXISTING STRUCTURES TO BE DEMOLISHED

IDO ZONE ATLAS: H-14-Z (NTS)



Legal Description: Tract A-2, Block 2 Madell Addition No 2  
Address: 2601 2nd St NW

Variances requested: N/A

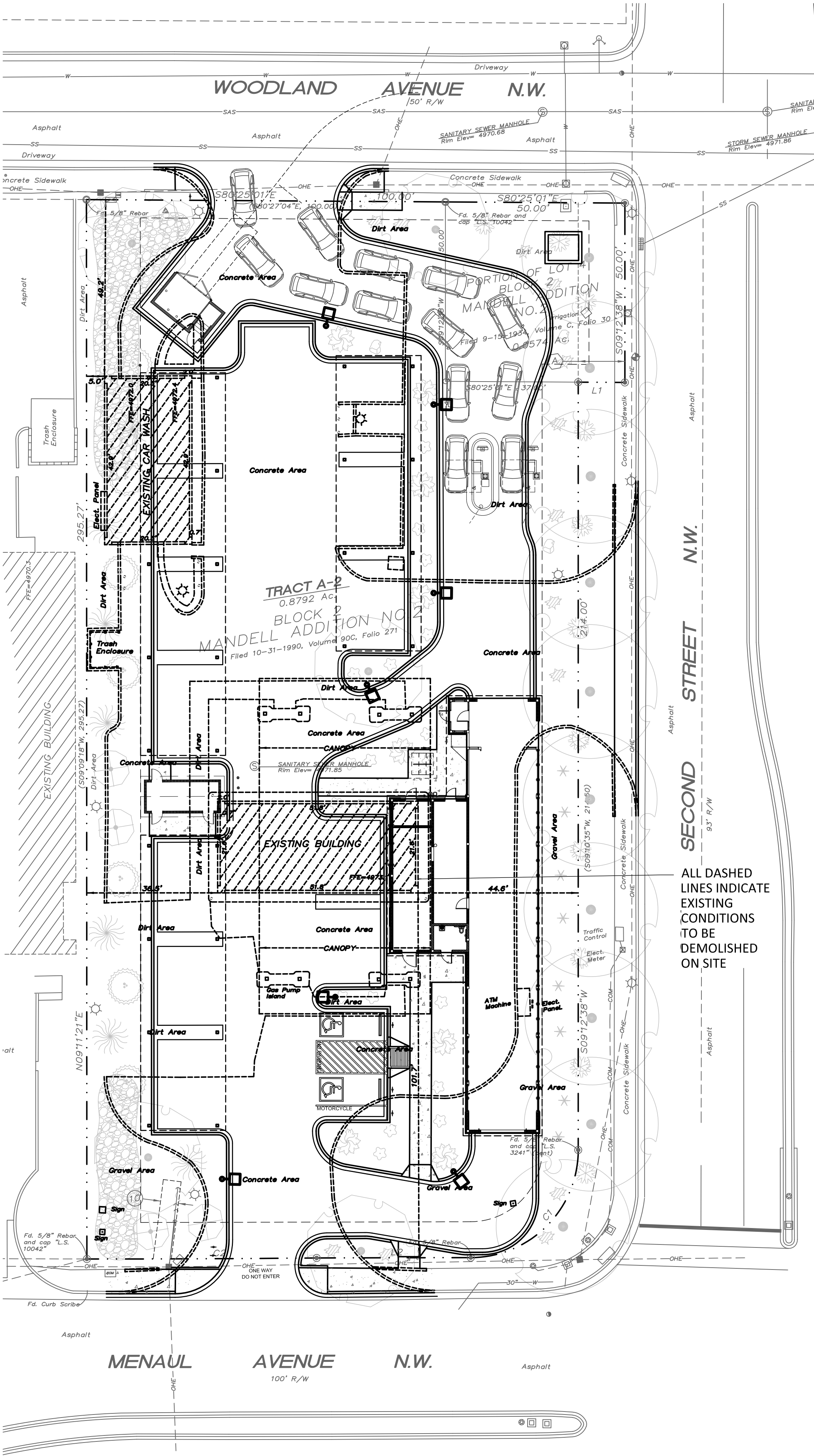
Type of Development: Auto Carwash Tunnel and Vacuums

Size of Development:  
Lot Area: 0.8792 Acres  
Auto Carwash Tunnel Area: 3,450sf

Parking Requirements: IDO TABLE 5-5-1  
2 spaces/1000 sqft GFA of Retail, Office & Waiting Area  
2 handicap accessible spaces provided  
Motorcycle Parking: IDO TABLE 5-5-4, 1 space required per 1-25 vehicle  
Bicycle Parking: IDO TABLE 5-5-5, 3 spaces required for non-residential

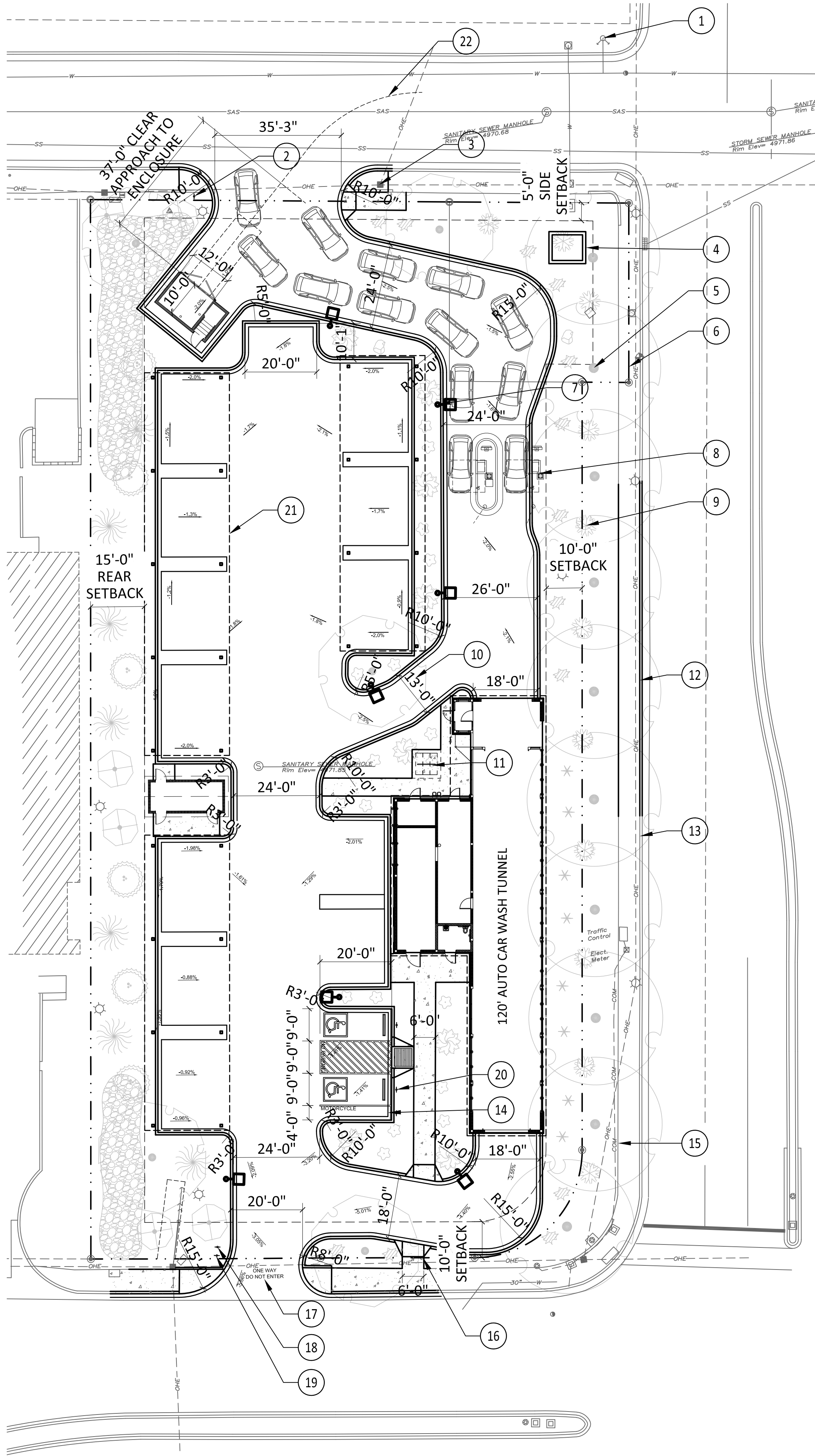
Executive Summary:

- General Project Location: Corner SE lot of 2nd St and Menaul Blvd
- Development Concept: Project scope to include construction of a new car wash tunnel, accessory vacuum building, (3) accessory canopies with vacuuming stalls for vehicles and associated site and landscape work for new site development.
- Traffic Circulation Concept: Customers will enter north of the site from Woodland Ave NW and be queued to pay at the kiosk station. If circumstances disallow them use of the wash tunnel, vehicles exit prior to the tunnel from the "can't wash lane" and exit the site from the south along with freshly washed vehicles.
- Impact on adjacent sites: The unpaid queue for cars allows for ~13 vehicles to be queued within the property lot.
- TIS or previously approved plans: N/A
- Variances: N/A



A2 DEMOLISHED EXISTING CONDITIONS  
1" = 20'

Approved for access for a single trash enclosure by the Solid Waste Department. \*\*The owner is aware if the dumpster is blocked by the vehicles in the que when the refuse driver arrives they will have to pay for the driver to return. The Solid Waste Department must have access to the trash enclosure from 5AM to 8PM. Hazard Route Only\*\*Herman Gallegos 03-24-23 *Herman Gallegos*



A1 TRAFFIC CONTROL LAYOUT  
1" = 20'



STUDIO CONSULTANTS, INC  
100 Gold Ave. SW, Suite 205,  
Albuquerque, NM 87102  
Daniel@ariascinc.com  
(505) 506-2314  
ARCHITECT



Civil:  
RESPEC  
7770 Jefferson St NE  
Suite #200  
Albuquerque, NM 87109

Landscape:  
The Hilltop  
Landscape Architects  
and Contractors  
7909 Edith Blvd NE,  
Albuquerque, NM 87113

Structural:  
Walla Engineering, LTD  
6501 Americas Pkwy #301,  
Albuquerque, NM 87110

MEP:  
BG Buildingworks  
7007 Wyoming Blvd NE # F2,  
Albuquerque, NM 87109

CONSULTANTS

TIDAL WAVE  
AUTO SPA  
120 LEFT ENTRY  
STD

2601 2nd St NW  
Albuquerque, NM 87107  
OWNER

MARK DATE DESCRIPTION



Architect/Engineer Stamp

PROJECT DATE: 03/23/23

PROJECT NUMBER: 2213

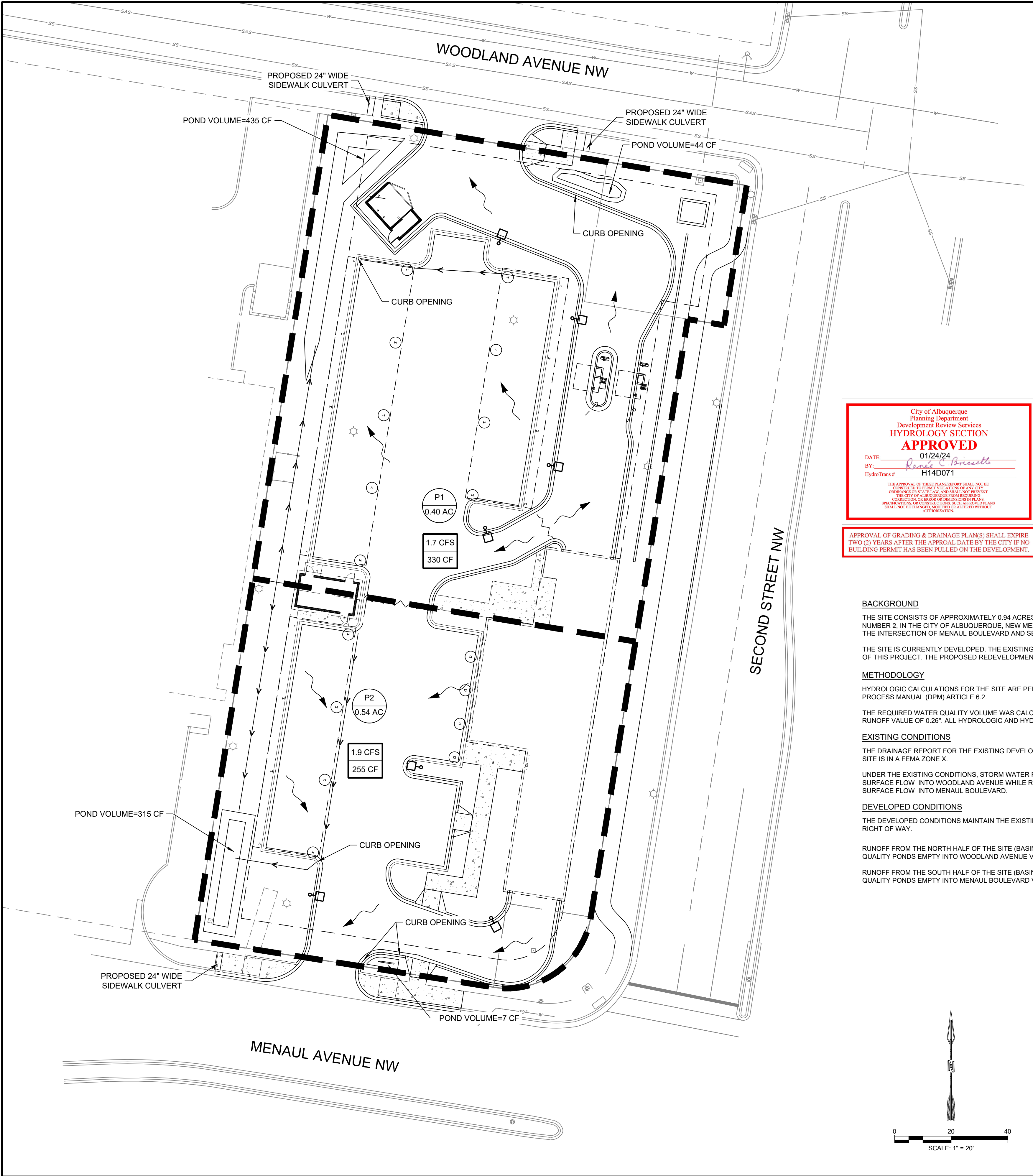
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TRAFFIC CONTROL  
LAYOUT

AS101



NAME: N:\Projects\W0378-Daniel Puzak Projects\W0378-22002-2nd Menaul\3. DWG\3 Sheets\DrainagePlan.dwg PLOT DATE: Jan 19, 2024 3:05pm



ABBREVIATIONS

AC	ACRE
CF	CUBIC FOOT
ELEV	ELEVATION
FF	FINISHED FLOOR
INV	INVERT
LF	LINEAR FOOT
NMAPWA	NEW MEXICO AMERICAN PUBLIC WORKS ASSOCIATION
MAX	MAXIMUM
MIN	MINIMUM
PVC	POLYVINYL CHLORIDE
ROW	PUBLIC RIGHT OF WAY
RPBA	REDUCED PRESSURE BACKFLOW ASSEMBLY
SAS	SANITARY SEWER
SD	STORM DRAIN
STD DWG	STD DWG
VOL	VOLUME
WTR	WATER
WQ	WATER QUALITY
YR	YEAR
HR	HOUR
WSEL	WATER SURFACE ELEVATION

LEGEND:

XX	BASIN DESIGNATION
XX AC	BASIN AREA, ACRES
XX CFS	100 YEAR STORM, CFS
XX CF	REQUIRED WATER QUALITY VOLUME, CF
---	SUB-BASIN BOUNDARY
→	DEVELOPED FLOW ARROW
~	HIGH POINT
→	FLOWLINE



APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE  
TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO  
BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT

BACKGROUND

THE SITE CONSISTS OF APPROXIMATELY 0.94 ACRES COMPRISED OF TRACTS A-1 AND A-2, BLOCK 2, OF MANDELL ADDITION NUMBER 2, IN THE CITY OF ALBUQUERQUE, NEW MEXICO. THE PROPERTY IS LOCATED ON THE NORTHWEST CORNER OF THE INTERSECTION OF MENAUL BOULEVARD AND SECOND STREET.

THE SITE IS CURRENTLY DEVELOPED. THE EXISTING DEVELOPMENT IS A GAS STATION AND IS BEING DEMOLISHED AS PART OF THIS PROJECT. THE PROPOSED REDEVELOPMENT PROJECT IS A TIDAL WAVE CAR WASH.

METHODOLOGY

HYDROLOGIC CALCULATIONS FOR THE SITE ARE PERFORMED IN ACCORDANCE WITH THE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) ARTICLE 6.2.

THE REQUIRED WATER QUALITY VOLUME WAS CALCULATED BY MULTIPLYING THE IMPERVIOUS AREA BY THE FIRST FLUSH RUNOFF VALUE OF 0.26". ALL HYDROLOGIC AND HYDRAULIC CALCULATIONS CAN BE FOUND ON THIS SHEET.

EXISTING CONDITIONS

THE DRAINAGE REPORT FOR THE EXISTING DEVELOPMENT WAS APPROVED IN 1992 AND IS FILED UNDER H-14/D71. THE SITE IS IN A FEMA ZONE X.

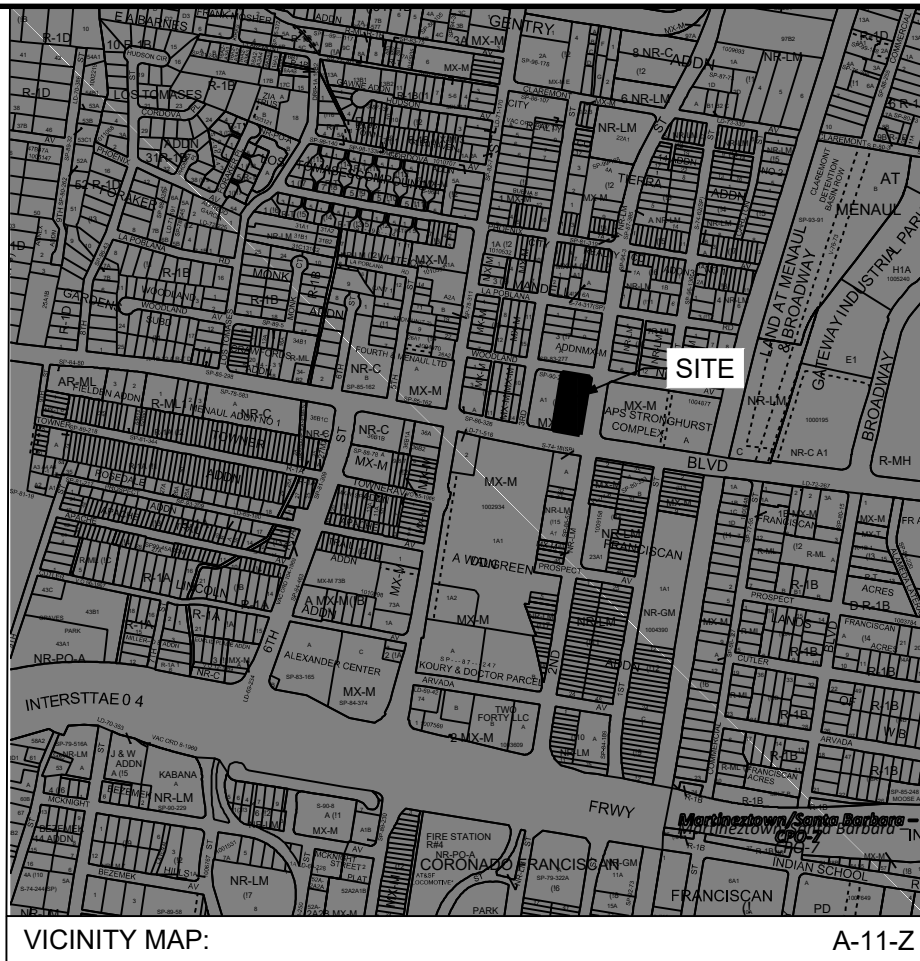
UNDER THE EXISTING CONDITIONS, STORM WATER FROM THE NORTH HALF OF THE SITE FREELY DISCHARGES VIA SURFACE FLOW INTO WOODLAND AVENUE WHILE RUNOFF FROM THE SOUTH HALF OF THE SITE FREELY DISCHARGES VIA SURFACE FLOW INTO MENAUL BOULEVARD.

DEVELOPED CONDITIONS

THE DEVELOPED CONDITIONS MAINTAIN THE EXISTING PATTERN OF FREE STORM WATER DISCHARGE TO THE PUBLIC RIGHT OF WAY.

RUNOFF FROM THE NORTH HALF OF THE SITE (BASIN P1) SURFACE FLOWS INTO A WATER QUALITY PONDS. THE WATER QUALITY PONDS EMPTY INTO WOODLAND AVENUE VIA A SIDEWALK CULVERT.

RUNOFF FROM THE SOUTH HALF OF THE SITE (BASIN P2) SURFACE FLOWS INTO A WATER QUALITY PONDS. THE WATER QUALITY PONDS EMPTY INTO MENAUL BOULEVARD VIA A SIDEWALK CULVERT.



National Flood Hazard Layer FIRMette



CURB OPENING AND SIDEWALK CULVERT HYDRAULIC CALCULATIONS:

2ft Curb Opening (Treated As Weir)	
Weir Flow Calcs	
Qw = 2.7L(H)1.5	
P = Perimeter (ft)	2.0
H = Head (ft)	0.50
coefficient of discharge =	2.70
clogging factor =	0%
Qw = Capacity (cfs)	1.9

Hydrology Calculations

The following calculations are based on Albuquerque's Development Process Manual (DPM), Article 6.2.

Runoff Rate:

Treatment Type Areas

Subbasin	Area <sub>A</sub> (ac)	Area <sub>B</sub> (ac)	Area <sub>C</sub> (ac)	Area <sub>D</sub> (ac)	Total (ac)
P1	0.00	0.02	0.03	0.35	0.40
P2	0.00	0.13	0.14	0.27	0.54

100-yr Peak Discharge values based on Zone 2 from Table 6.2.14

Q<sub>A</sub> = 1.71 cfs/ac    Q<sub>B</sub> = 2.36 cfs/ac    Q<sub>C</sub> = 3.05 cfs/ac    Q<sub>D</sub> = 4.34 cfs/ac

Peak Discharge calculation for a 100-yr, 24-hour storm event from equation 6.6

Subbasin	Discharge (cfs)
P1	1.7
P2	1.9

Water Quality:

Required Water Quality volume for first flush of 0.26" per DPM, Article 6-12

Subbasin	Req Volume (cu. ft.)	Provided Volume (cu.ft.)
P1	330	479
P2	255	322

DESIGNED  
DRAWN  
CHECKED  
DATE 1.19.2024

RESPEC  
COMMUNITY DESIGN SOLUTIONS  
7770 JEFFERSON STREET SUITE 200  
ALBUQUERQUE, NM 87126  
WWW.RESPEC.COM PHONE (505) 253-9718

RESPEC

STAMP  
SHELDON E. GREER  
NEW MEXICO  
17154  
LICENSED PROFESSIONAL ENGINEER  
01/19/2024

THIS DRAWING IS INCOMPLETE  
AND NOT TO BE USED FOR  
CONSTRUCTION UNLESS IT IS  
STAMPED, SIGNED AND DATED

nm811  
Know what's below.  
Call before you dig.  
PROJ. #: W0378-22002

PROJECT NAME:  
TIDAL WAVE 2ND MENAUL

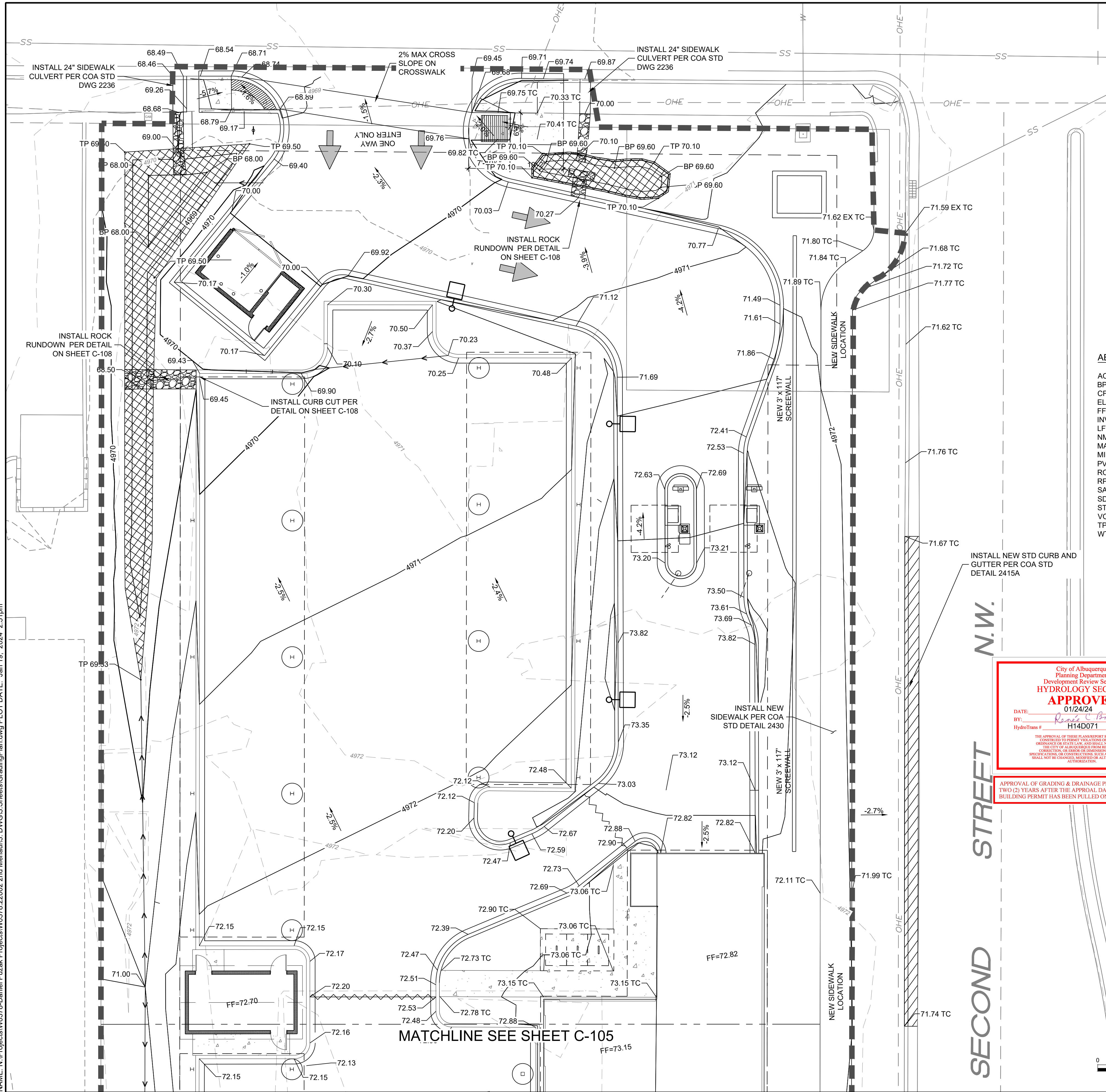
SHEET TITLE:  
DRAINAGE PLAN

SUBMITTED FOR:  
BUILDING PERMIT

SHEET NUMBER:  
C-103



NAME: N:\Projects\W0378-Daniel Puzak\Projects\W0378-22002 2nd Menuaul3. DWG\3 Sheets\GradingPlan.dwg PLOT DATE: Jan 19, 2024 2:51pm



#### GRADING GENERAL NOTES

1. INSTALL PAVEMENT, HANDICAP RAMPS, SIDEWALK AND ALL OTHER FEATURES WITHOUT DETAILS ON THIS SHEET PER ARCHITECTURAL PLANS.
2. CONTRACTOR SHALL FIELD VERIFY SIZE'S AND LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO ANY CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED
3. GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENTS OF TOPSOIL.
4. GRADE ADJACENT AREAS AT SITE PERIMETER SHALL MATCH GRADE OF ADJACENT PARCELS.
5. PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS, AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
6. REFER TO GEOTECHNICAL EVALUATIONS REPORT NO 1-21008 BY GEO-TEST DATED 12/22/2022.
7. COMPOSITE SLOPE IN HANDICAP PARKING SHALL NOT EXCEED 2% IN ANY DIRECTION.
8. CROSS SLOPE ON ADA CROSSWALKS SHALL NOT EXCEED 2%. LONGITUDINAL SLOPE SHALL NOT EXCEED 5%.
9. LONGITUDINAL SLOPE ON CURB RAMP SHALL NOT EXCEED 8.33%. CROSS SLOPE SHALL NOT EXCEED 2%.
10. COMPOSITE SLOPE ON RAMP LANDINGS SHALL NOT EXCEED 2%.
11. CROSS SLOPES ON SIDEWALKS SHALL NOT EXCEED 2%. LONGITUDINAL SLOPES ON SITE SIDEWALKS SHALL NOT EXCEED 5%.
12. SLOPE LABELS SHOW APPROXIMATE SLOPES ONLY. WHERE SLOPE LABELS AND SPOT ELEVATION LABELS CONFLICT, SPOT ELEVATION LABELS SHALL GOVERN AND THE SURVEYOR RESPONSIBLE FOR CONSTRUCTION STAKING SHALL CONTACT THE ENGINEER.

#### ABBREVIATIONS

AC	ACRE
BP	BOTTOM OF POND
CF	CUBIC FOOT
ELEV	ELEVATION
FF	FINISHED FLOOR
INV	INVERT
LF	LINEAR FOOT
NMAPWA	NEW MEXICO AMERICAN PUBLIC WORKS ASSOCIATION
MAX	MAXIMUM
MIN	MINIMUM
PVC	POLYVINYL CHLORIDE
ROW	PUBLIC RIGHT OF WAY
RPBA	REDUCED PRESSURE BACKFLOW ASSEMBLY
SAS	SANITARY SEWER
SD	STORM DRAIN
STD DWG	STANDARD DRAWING
VOL	VOLUME
TP	TOP OF POND
WTR	WATER

#### SITE CIVIL LEGEND:

---	PROPERTY BOUNDARY
— 5272 —	PROPOSED MAJOR CONTOUR
— 5272 —	PROPOSED MINOR CONTOUR
- - - 5272 - - -	EXISTING MAJOR CONTOUR
- - - 5272 - - -	EXISTING MINOR CONTOUR
---	LIMITS OF DISTURBANCE
→ →	FLOWLINE
~~~~~	GRADE BREAK / HIGH POINT
4" - 6" DIAMETER BROKEN ROCK	INSTALLED WITH 6" TYPICAL DEPTH.
XXXXX	TOP OF POND

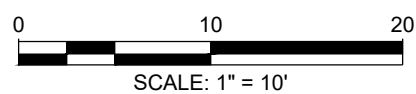
#### SPOT ELEVATION SYMBOLS

● 20.00	FLOWLINE
● 20.00 EG	TOP OF EXISTING GROUND
● 20.00 FG	TOP OF FINISHED GROUND
● 20.00 TC	TOP OF CONCRETE
● 20.00 TP	TOP OF POND
● 20.00 BP	BOTTOM OF POND

#### PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY NOTICE TO CONTRACTOR (SPECIAL ORDER 19- "SO-19")

1. BUILD SIDEWALK CULVERT PER COA STD DWG 2236.
2. CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
3. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
5. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
7. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
8. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
9. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
10. CONTRACTOR MUST CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

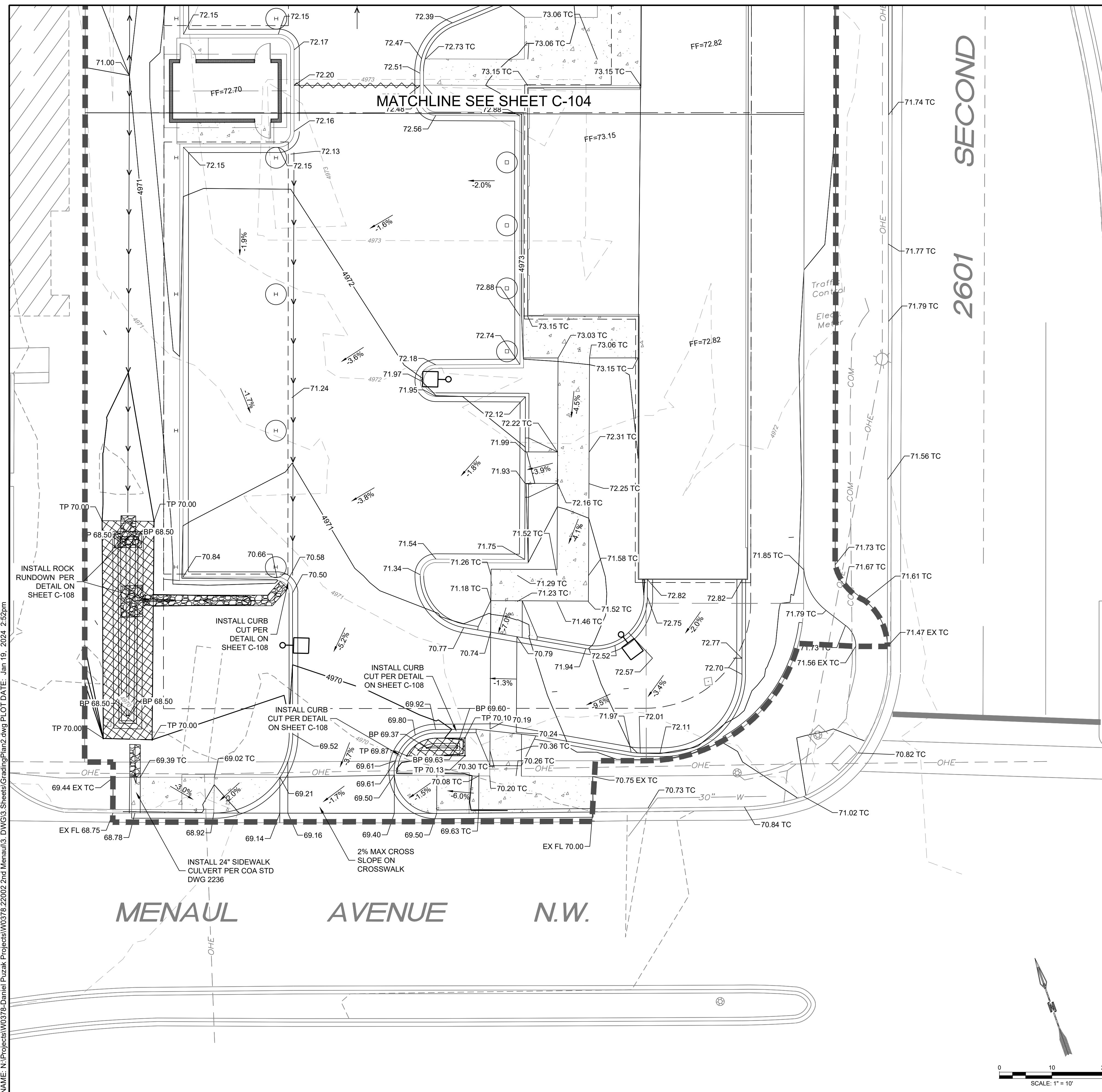
REV. 12/2022






APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

DESIGNED	DRAWN	CHECKED	DATE	1.19.2024
RESPEC COMMUNITY DESIGN SOLUTIONS 1770 JEFFERSON STREET SUITE 200 ALBUQUERQUE, NM 87102 WWW.RESPEC.COM PHONE (505) 253-9718				
STAMP SHELDON E. GREER NEW MEXICO 17154 LICENSED PROFESSIONAL ENGINEER 01/19/2024 THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED				
PROJECT NAME: TIDAL WAVE 2ND MENUAUL				
SHEET TITLE: GRADING PLAN				
SUBMITTED FOR: BUILDING PERMIT				
SHEET NUMBER: C-104				

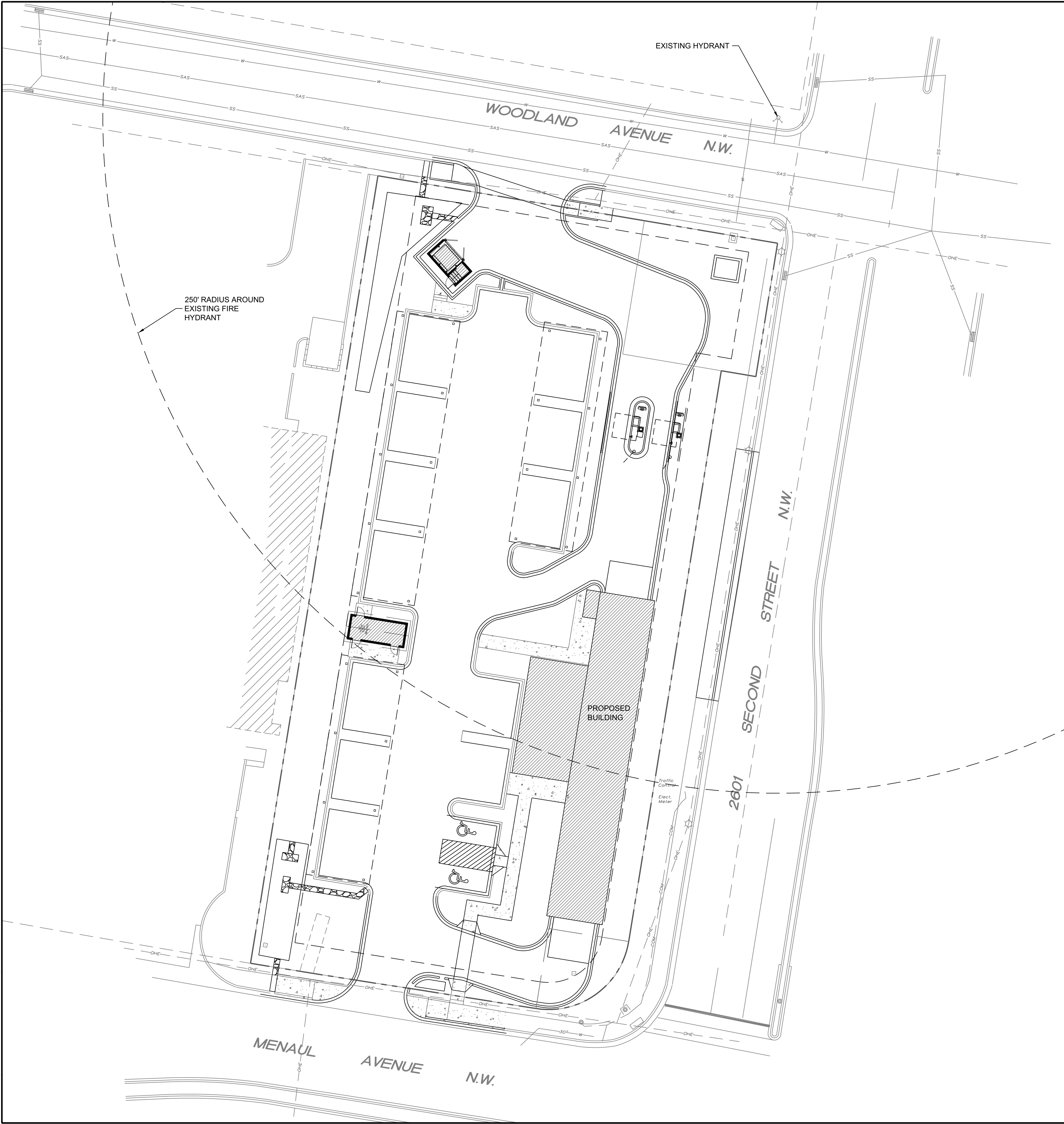




<div>DESIGNED _____ DRAWN _____ CHECKED _____ DATE 1.19.2024</div>		<div>REVISION _____ _____ _____ _____ _____ _____</div>	
<div><b>RESPEC</b> COMMUNITY DESIGN SOLUTIONS 7770 JEFFERSON STREET SUITE 200 ALBUQUERQUE, NEW MEXICO 87109 WWW.RESPEC.COM PHONE (505) 253-9718</div>			
<div>STAMP  01/19/2024 THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED</div>			
<div> Know what's below. Call before you dig. PROJ. #: W0378.22002</div>			
SUBMITTED FOR:		BUILDING PERMIT	
SHEET TITLE:		GRADING PLAN	
PROJECT NAME:		TIDAL WAVE 2ND MENAUL	
SHEET NUMBER: <b>C-105</b>			

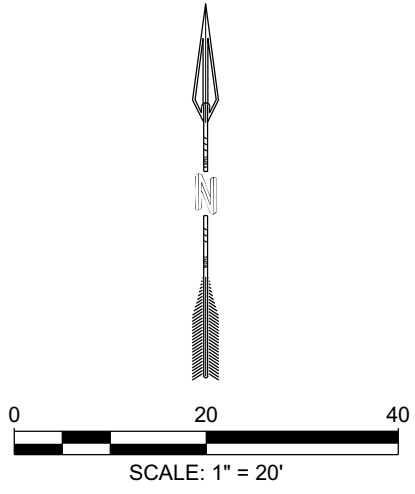


NAME: N:\Projects\W0378-Daniel Puzak-Projects\W0378-22002 2nd Menaul\3. DWG\3 Sheets\F-100 FIRE ONE PLAN.dwg PLOT DATE: Mar 08, 2023 4:14pm



- LEGEND
- PROPERTY BOUNDARY
  - EXISTING WATERLINE
  - PROPOSED MARKED FIRE LANE
  - EXISTING FIRE HYDRANT

- FIRE ONE NOTES:
- THE TOTAL HEIGHT OF THE PROPOSED BUILDINGS SHALL BE 30' OR LESS
  - SQUARE FOOTAGE OF BUILDING = 3368 SF
  - BUILDINGS AREA TYPE VB.
  - THE PROPOSED BUILDING SHALL NOT BE SPRINKLED.
  - THE PARKING LOT SURFACE SHALL BE CAPABLE OF SUPPORTING AN IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 LBS.
  - BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET.
  - ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE.
  - ALL FIRE HYDRANT SUPPLY LINES THAT BRANCH OFF FROM THE WATER MAINS SHALL BE 6" DIA. UNLESS OTHERWISE NOTED ON THE PLANS
  - WORK SHALL BE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS. APPROVED WET STAMPED SHOP DRAWING SHALL BE ON SITE FOR INSPECTIONS.
  - KNOX BOX SHALL BE PROVIDED FOR BUILDING DOORS.

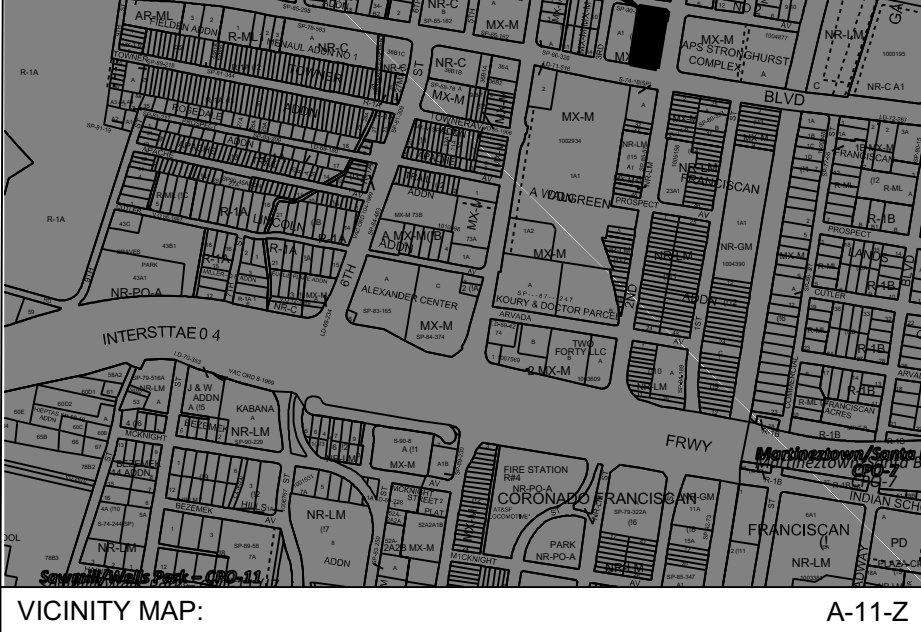


ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION

PERMIT

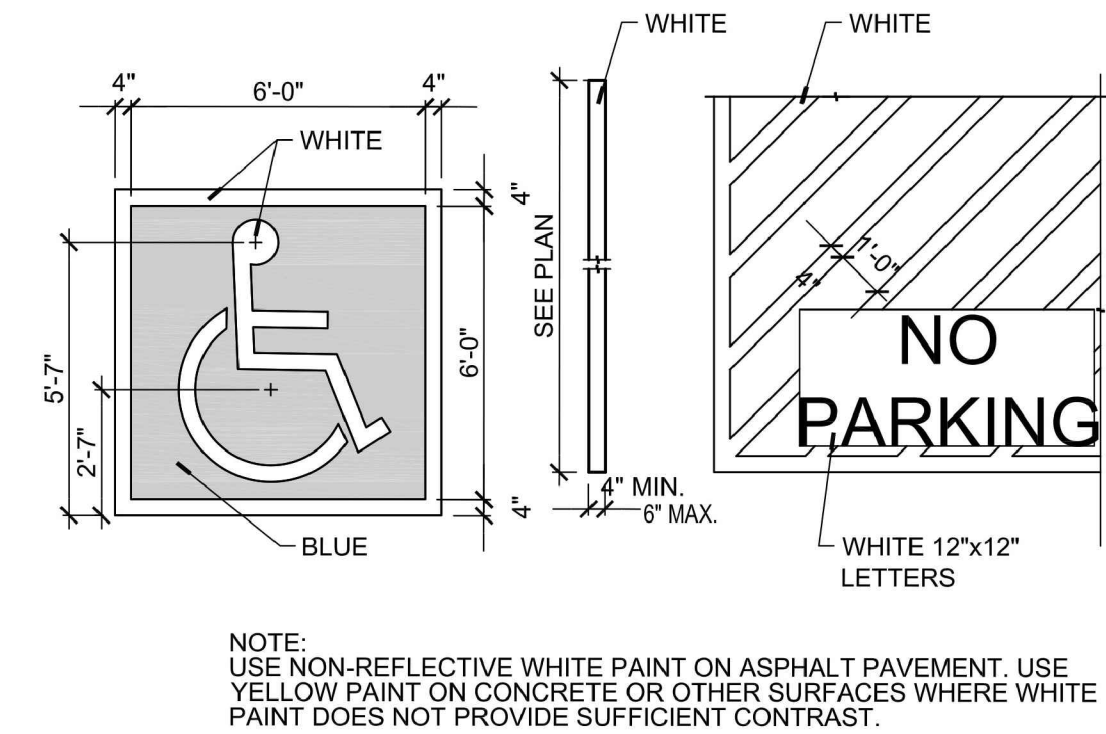
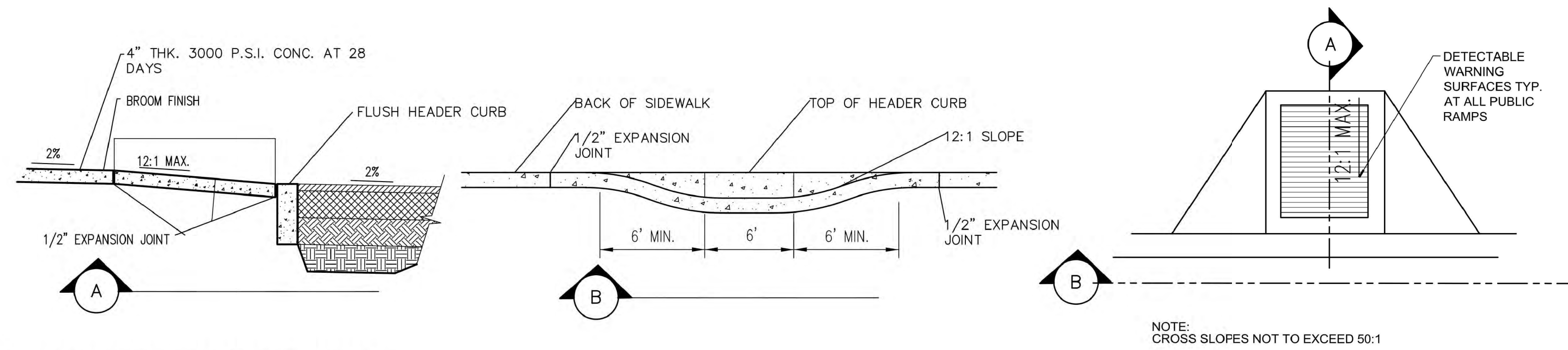
APPROVED

THESE CONSTRUCTION DOCUMENTS HAVE BEEN REVIEWED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE AND APPROVED FOR THE CITY OF ALBUQUERQUE. THE PERMIT IS VALID FOR THE PROJECT AND SITE SHOWN. FIRE FLOW: 300 GPM @ 150 PSI



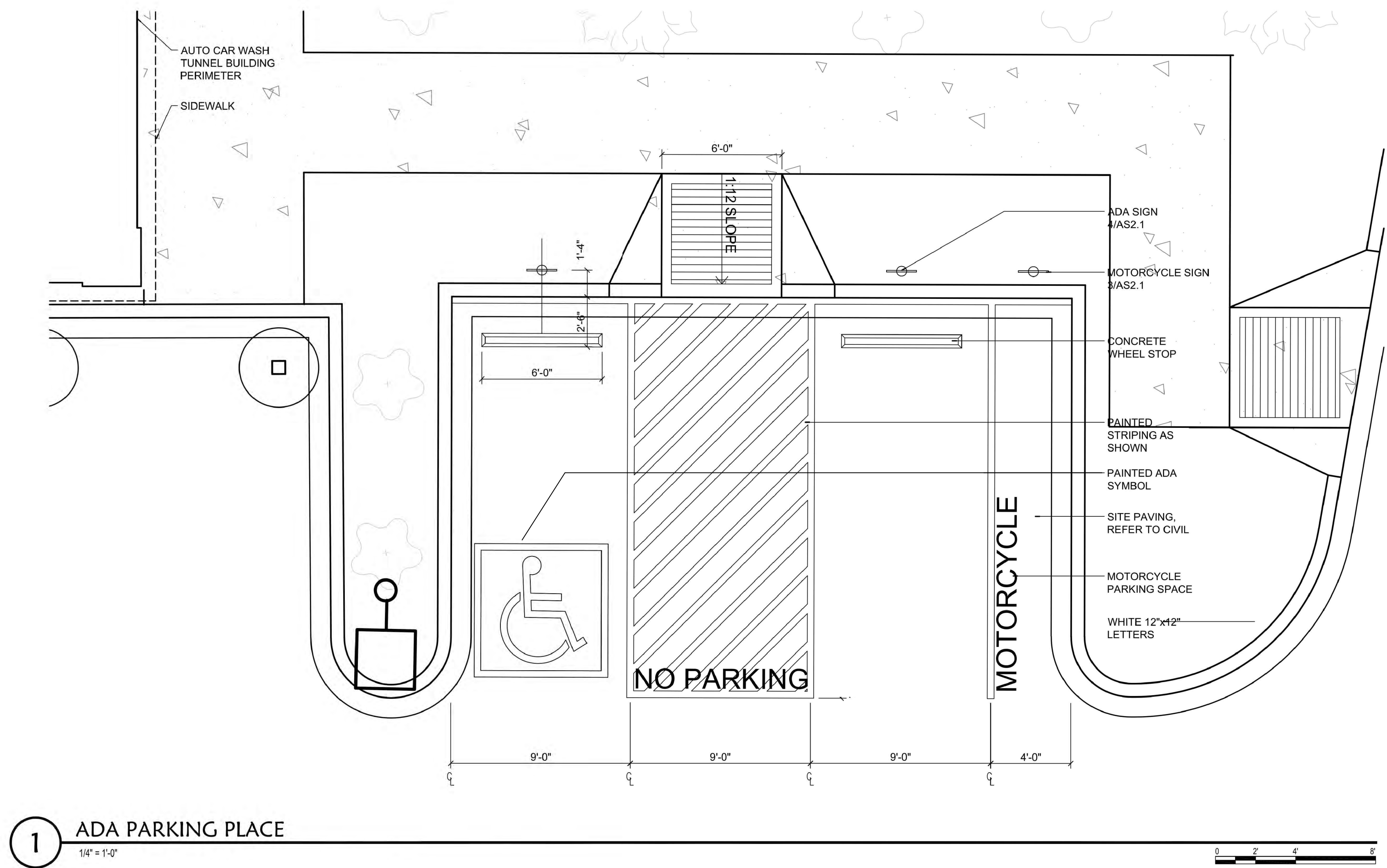
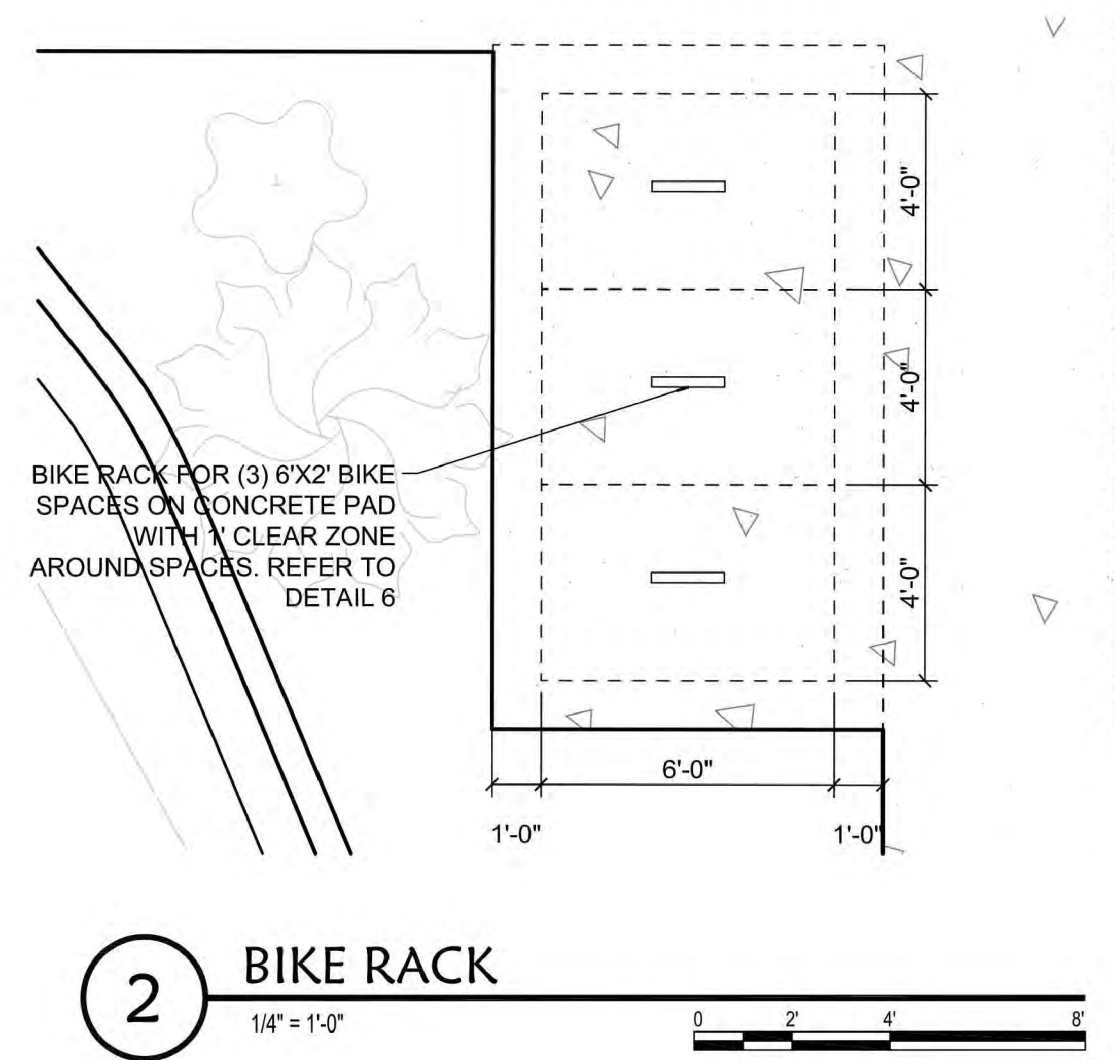
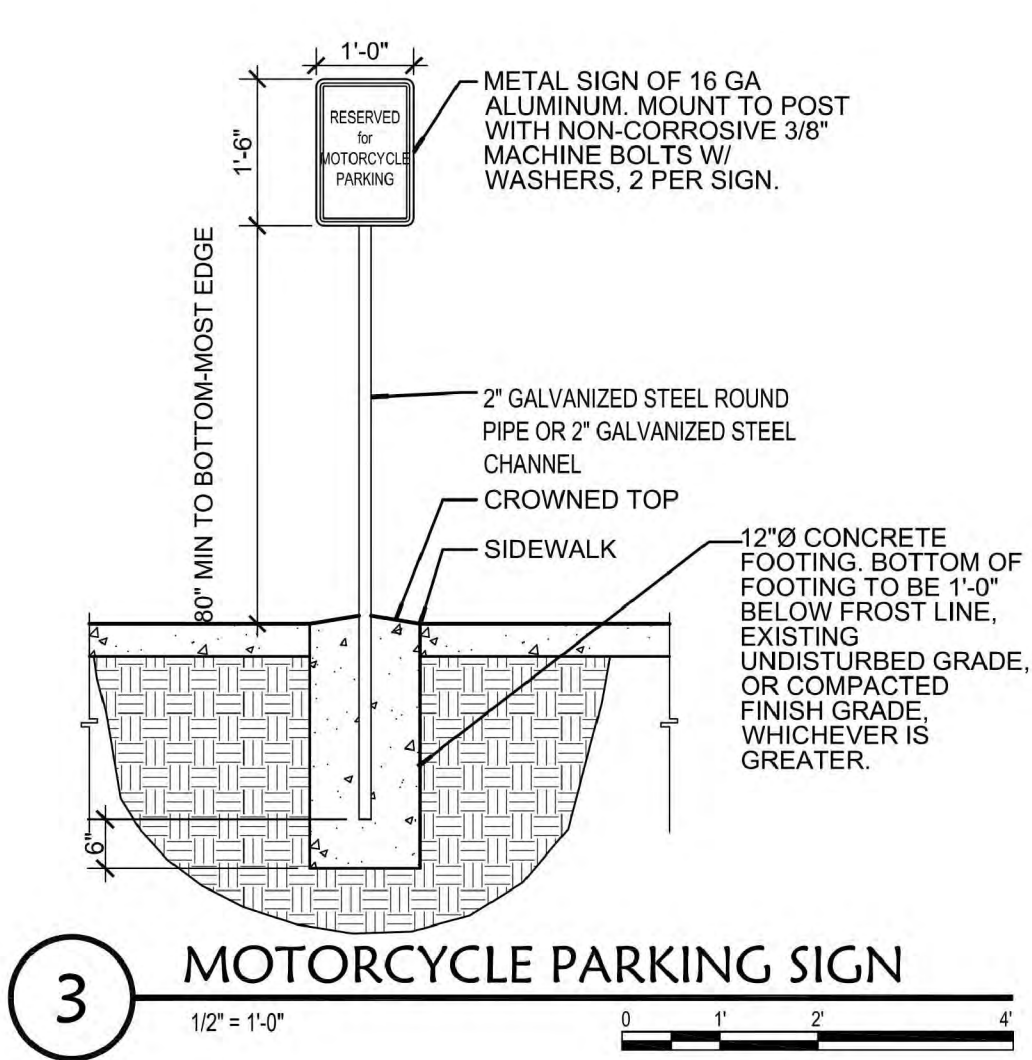
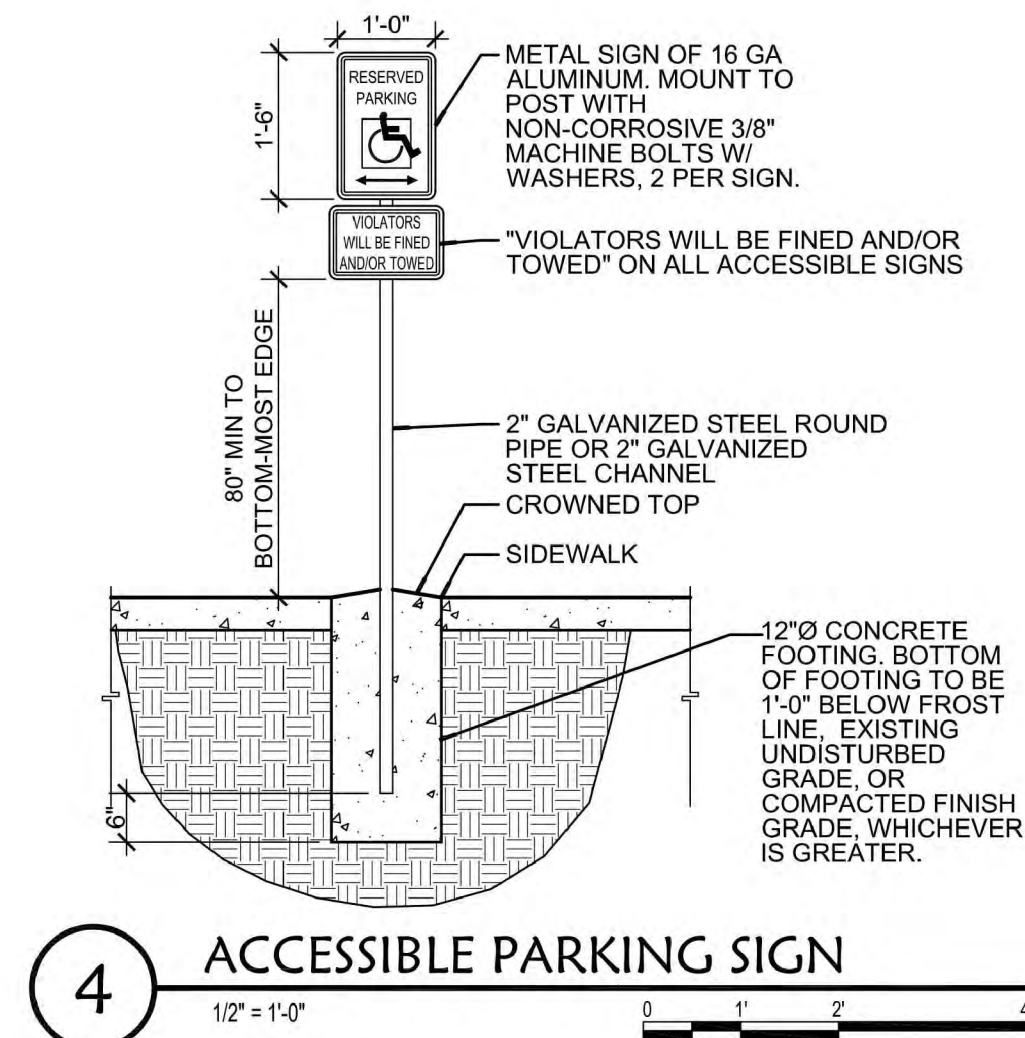
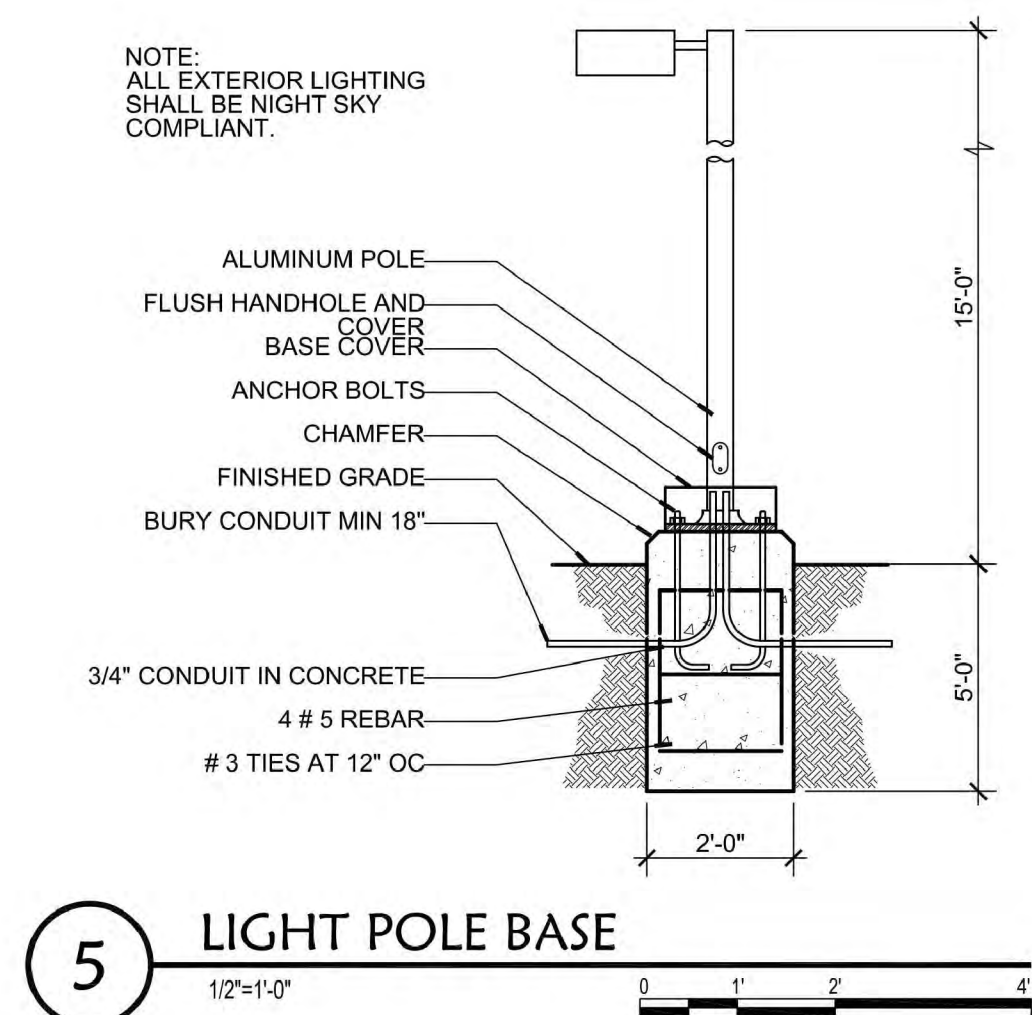
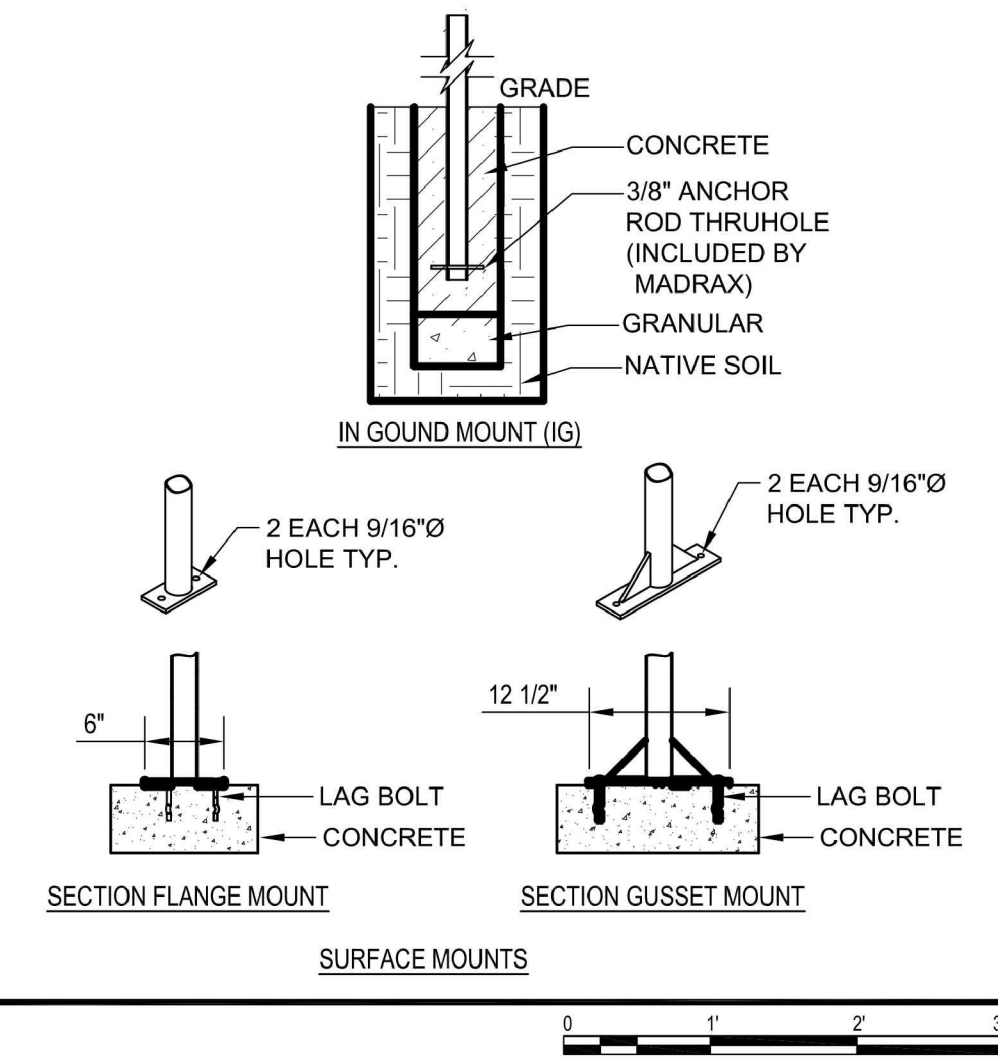
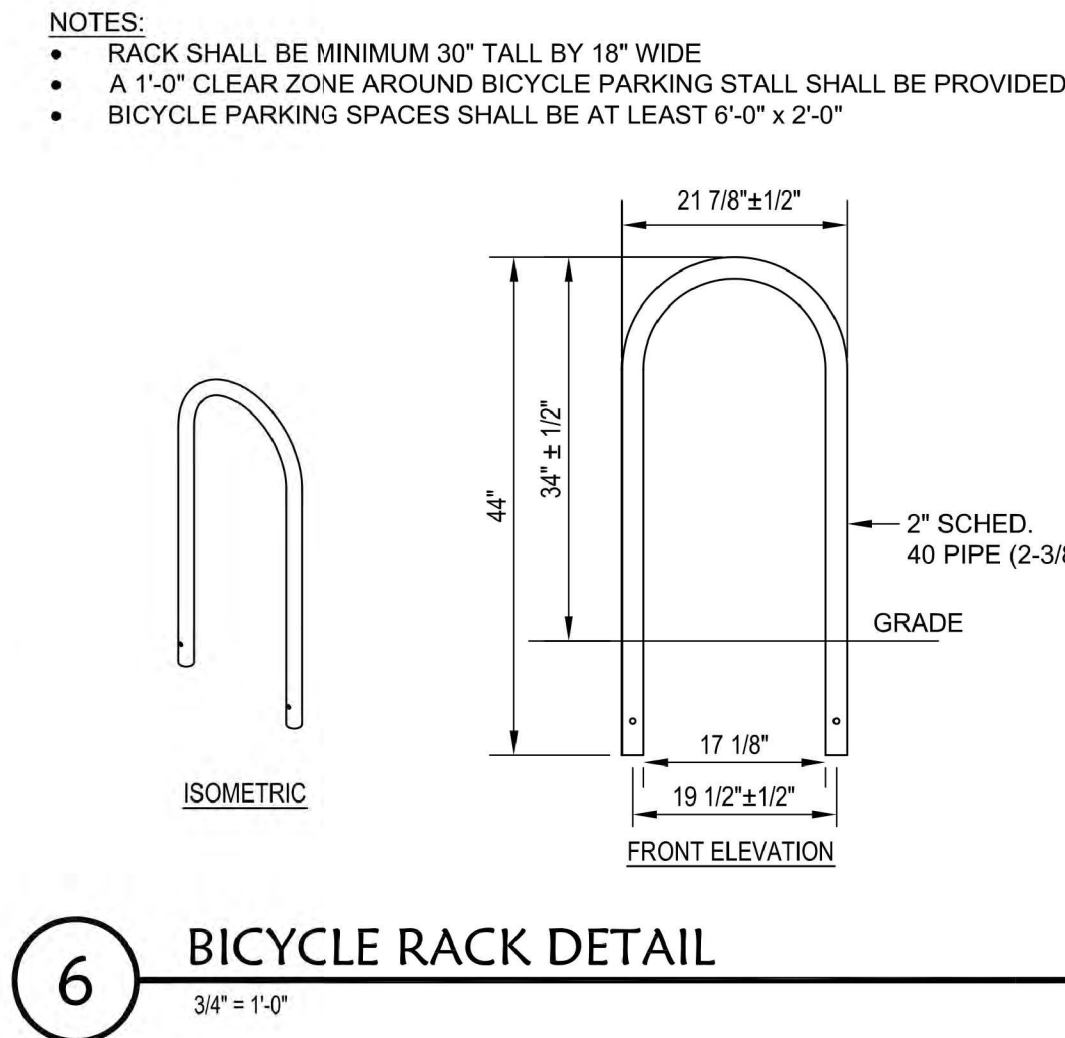
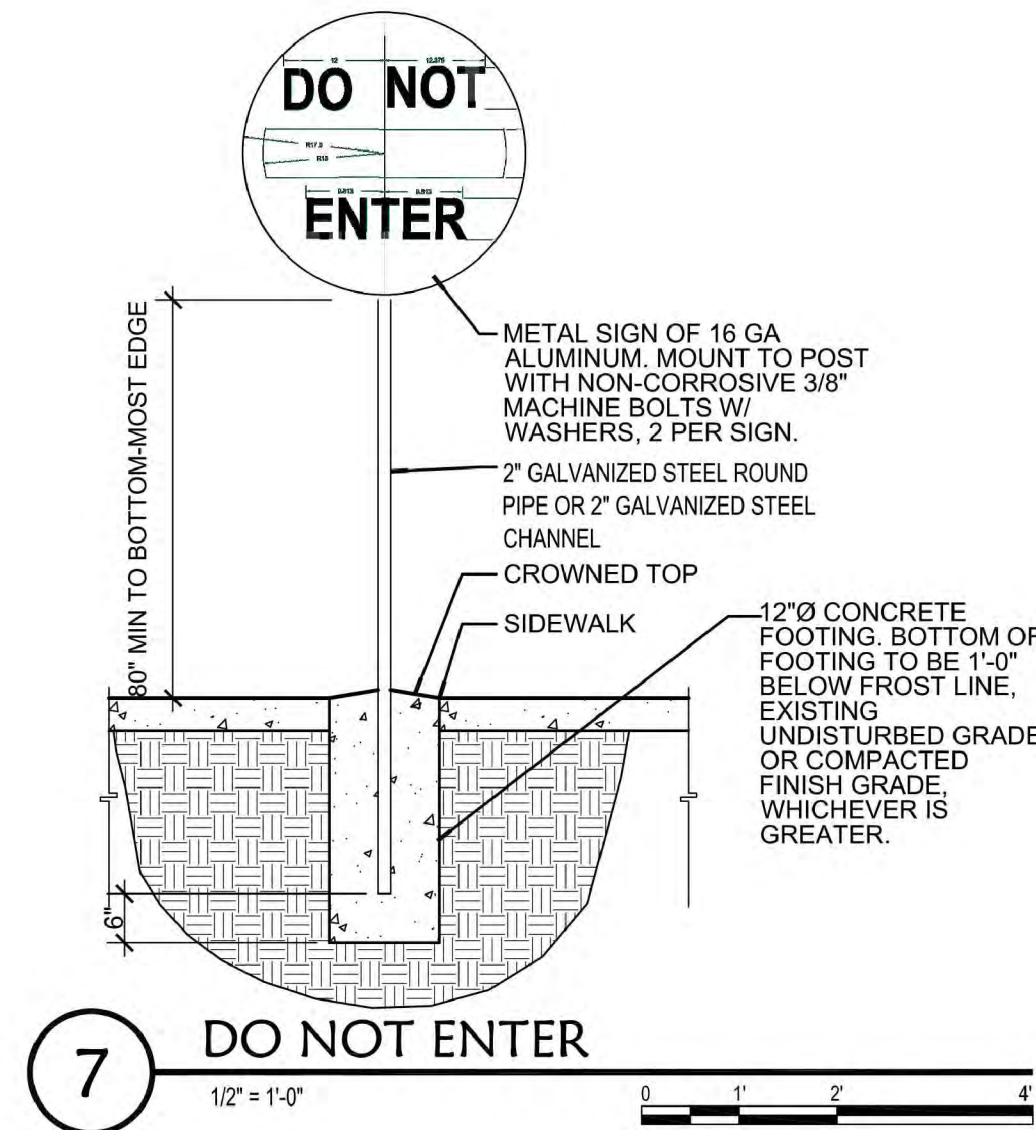
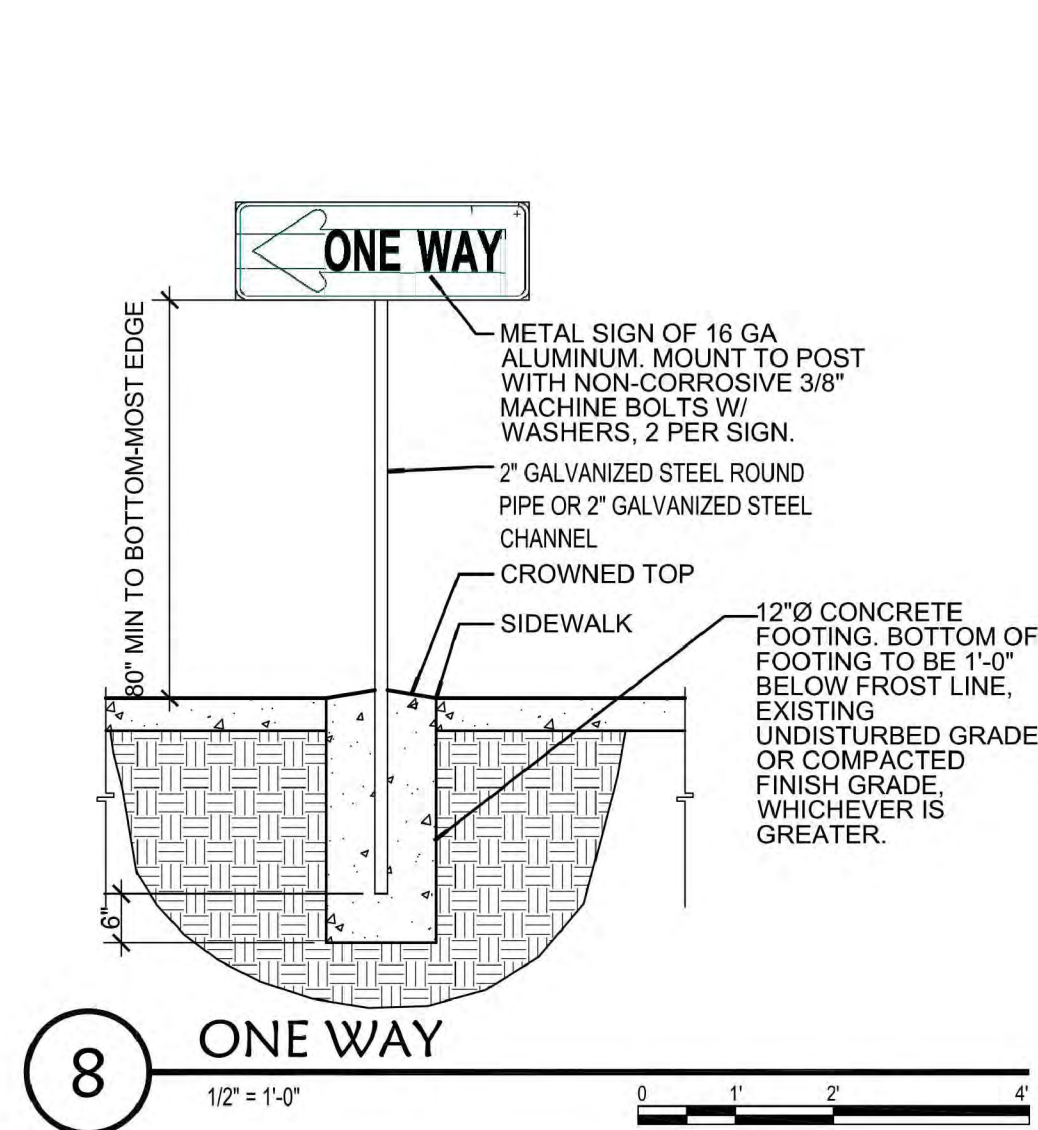
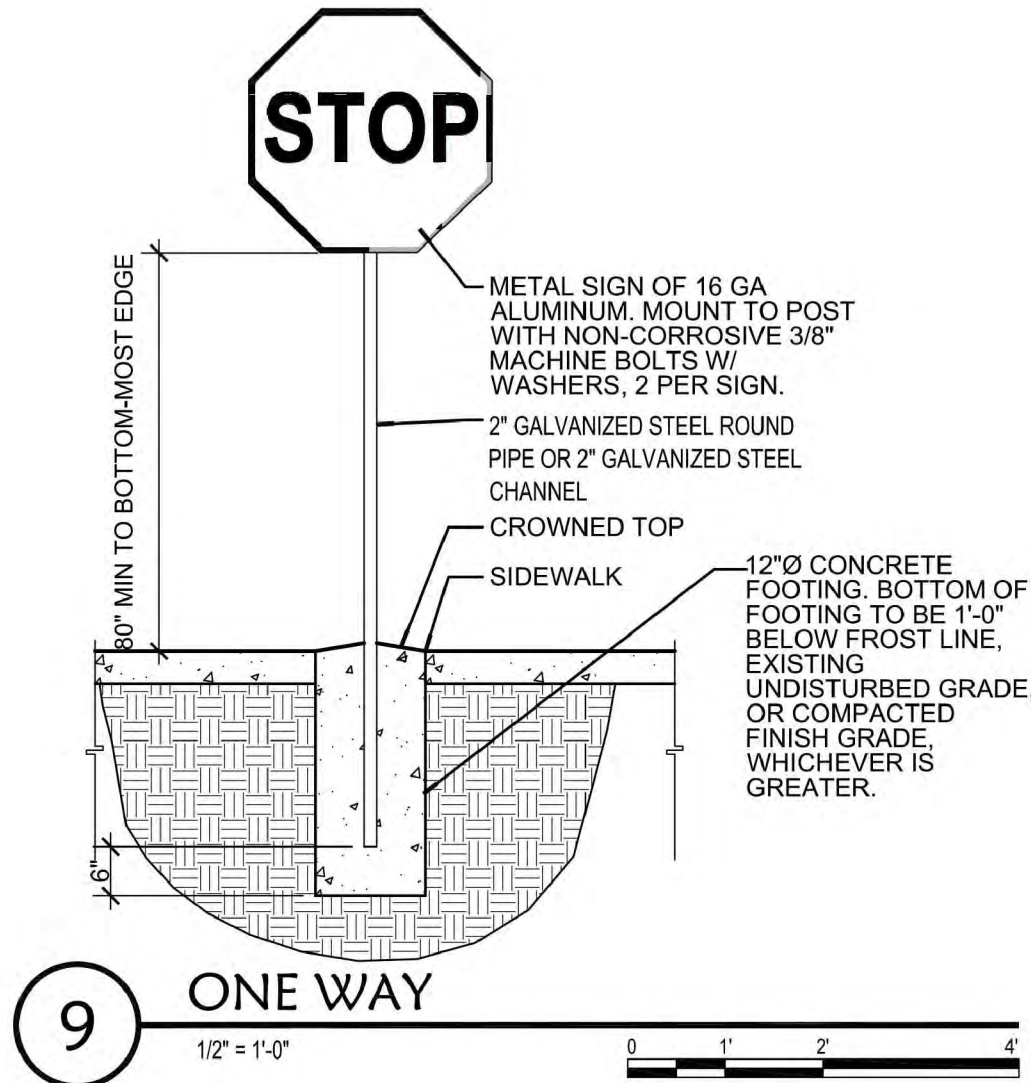
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RESPEC COMMUNITY DESIGN SOLUTIONS 7770 JEFFERSON STREET SUITE 200 ALBUQUERQUE, NM 87125 WWW.RESPEC.COM PHONE (505) 253-9718				
STAMP JEREMY W. SHELL NEW MEXICO 26341 PROFESSIONAL ENGINEER 3/8/2023 THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED. nm811 Know what's below. Call before you dig. PROJ. #: #####				
SUBMITTED FOR:		PROJECT NAME:		TIDAL WAVE
SHEET TITLE:		FIRE ONE PLAN		
BUILDING PERMIT		SHEET NUMBER:		F-100



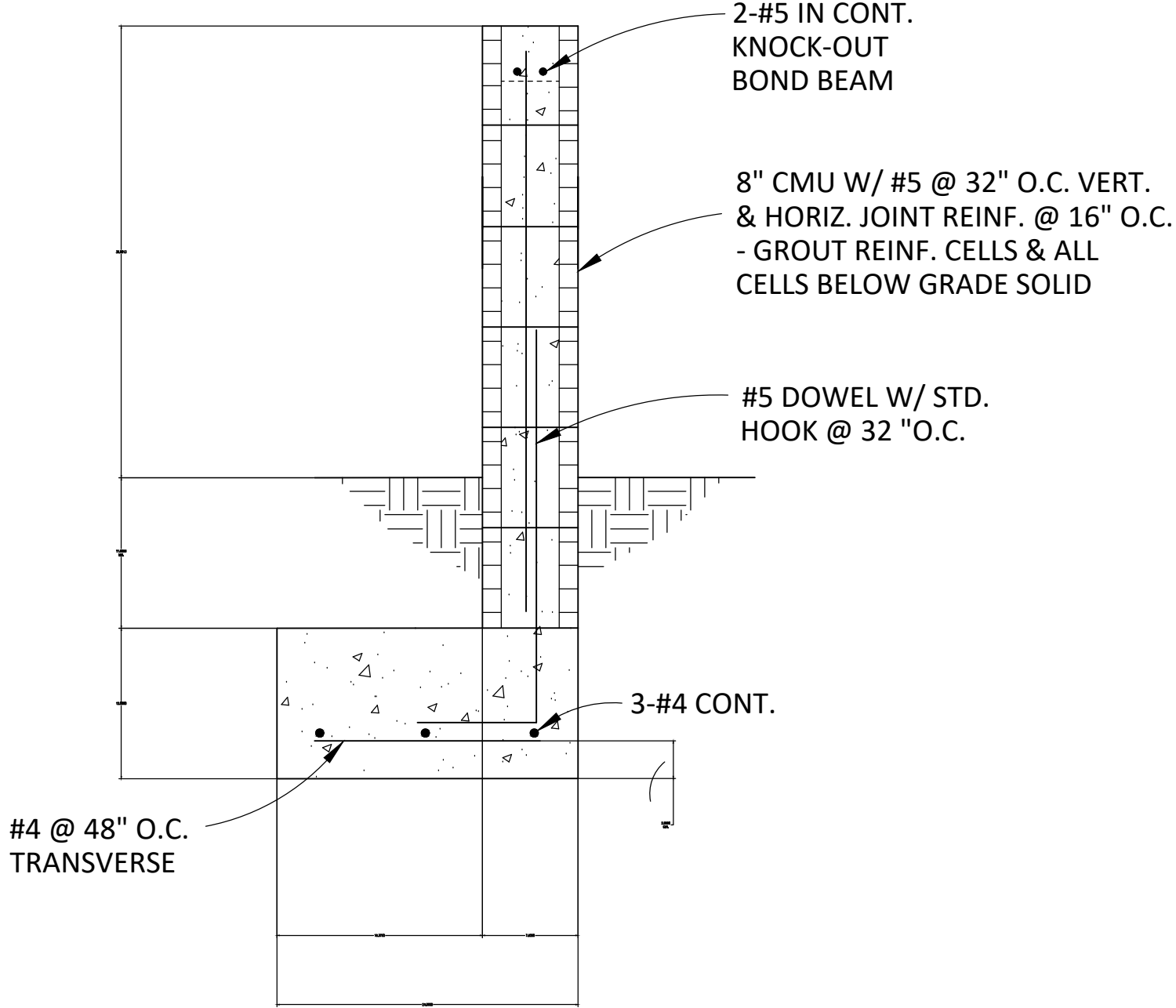


11 ADA STRAIGHT RAMP DETAIL  
NTS

10 PARKING LOT STRIPING  
1/4" = 1'-0"







9 SECTION AT CMU SITE SCREEN WALL  
1"=1'-0"



STUDIO CONSULTANTS, INC  
100 Gold Ave. SW, Suite 205,  
Albuquerque, NM 87102  
Daniel@ariascinc.com  
(505) 506-2314  
ARCHITECT

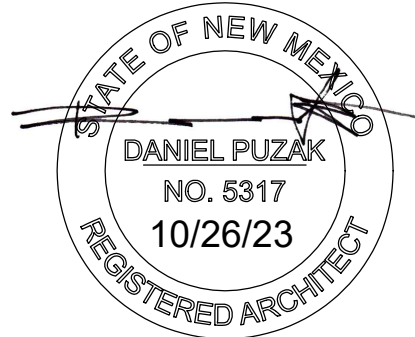
CONTRACTOR

Civil:  
RESPEC  
7770 Jefferson St NE  
Suite #200  
Albuquerque, NM 87109  
  
Landscape:  
The Hilltop  
Landscape Architects  
and Contractors  
7909 Edith Blvd NE,  
Albuquerque, NM 87113  
  
Structural:  
Walla Engineering, LTD  
6501 Americas Pkwy #301,  
Albuquerque, NM 87110  
  
MEP:  
BG Buildingworks  
7007 Wyoming Blvd NE # F2,  
Albuquerque, NM 87109  
  
CONSULTANTS

TIDAL WAVE  
AUTO SPA  
120 LEFT ENTRY  
STD

2601 2nd St NW  
Albuquerque, NM 87107  
OWNER


MARK	DATE	DESCRIPTION
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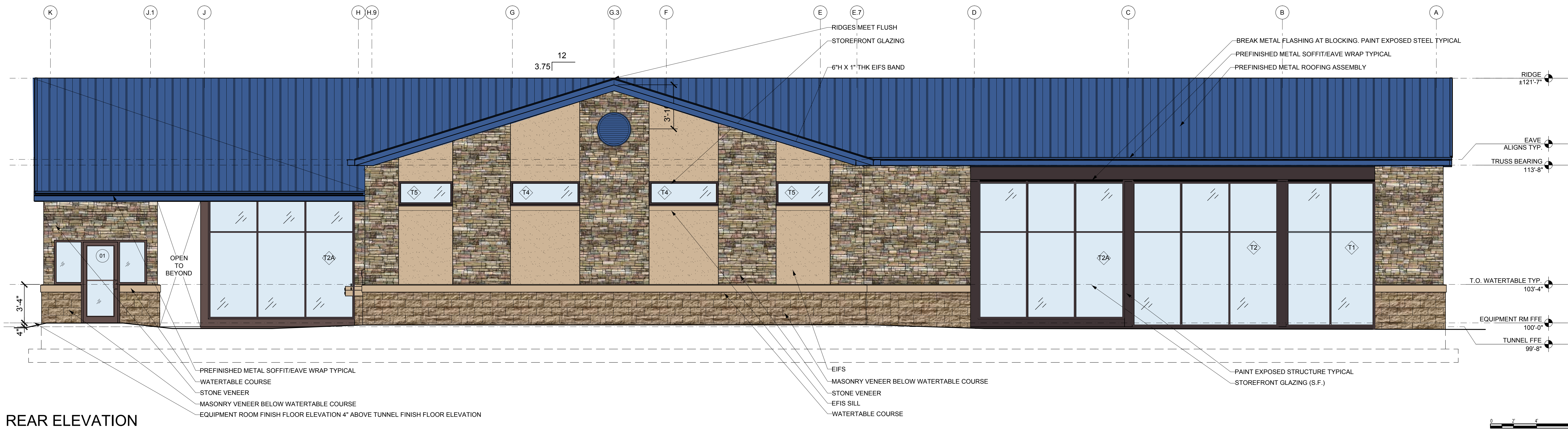
Architect/Engineer Stamp

PROJECT DATE:	10/26/23
PROJECT NUMBER:	2220
DRAWN BY:	DGP

DETAILS

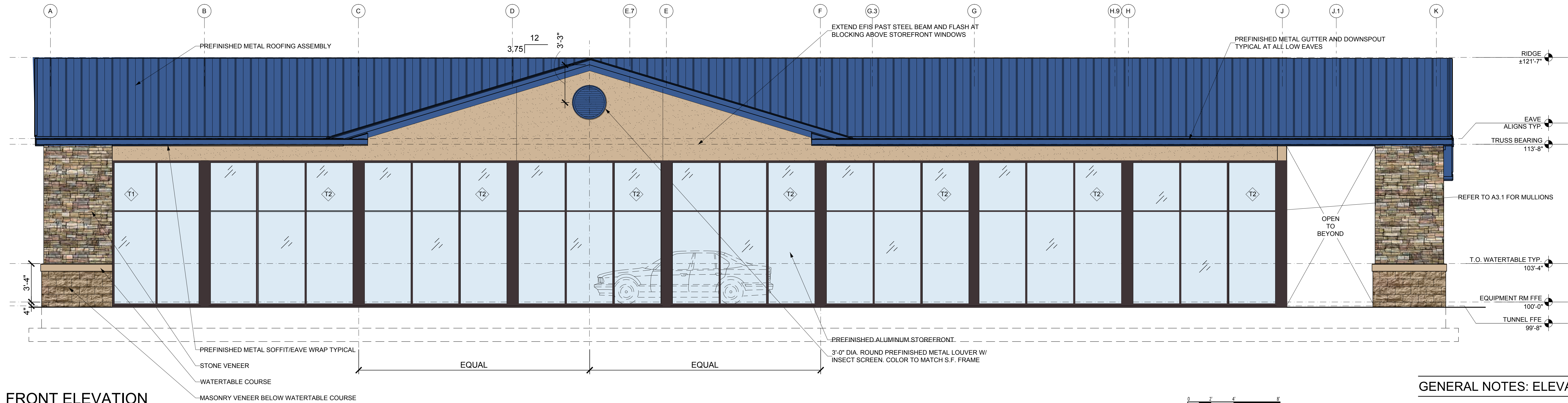
AS502





4 REAR ELEVATION

SCALE: 1/4" = 1'-0"




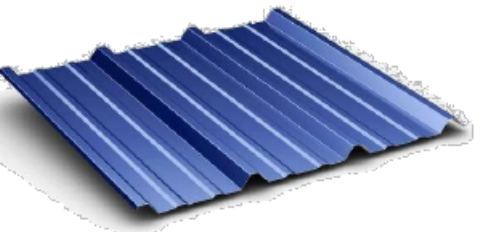



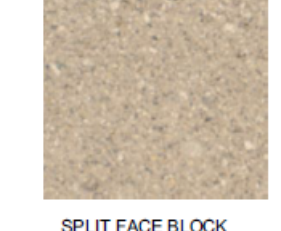
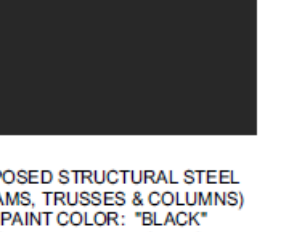
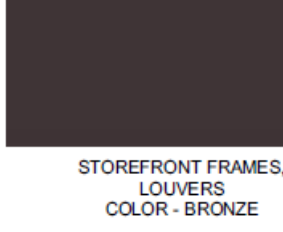
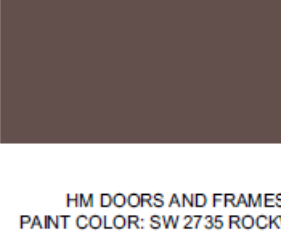
3 FRONT ELEVATION

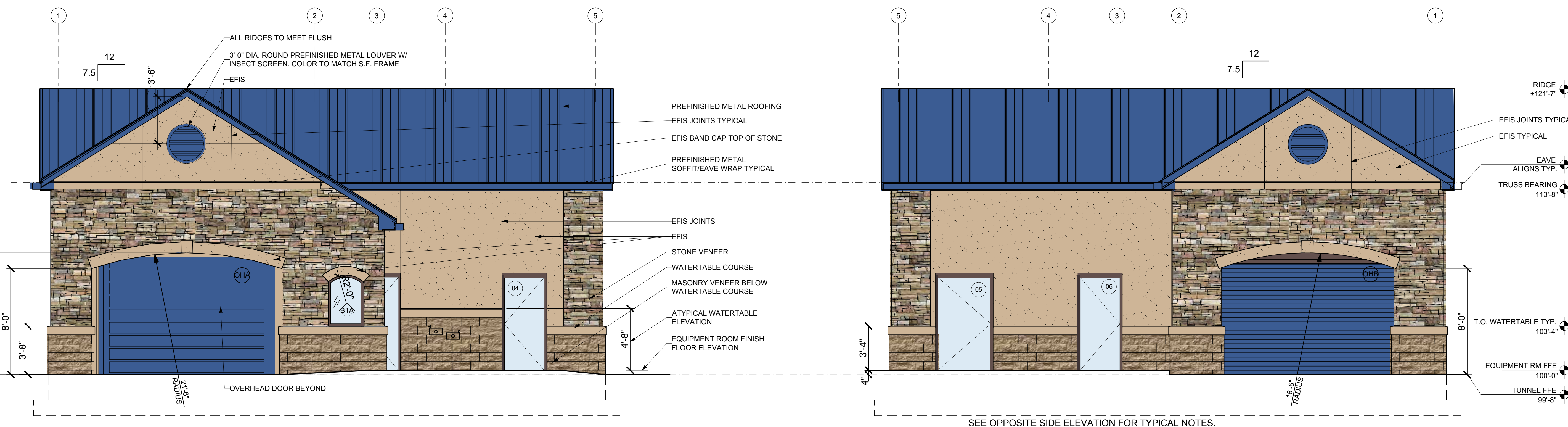
SCALE: 1/4" = 1'-0"

GENERAL NOTES: ELEVATIONS & SECTIONS

- 1) ROOF RIDGES OF EQUIPMENT ROOM AREA AND WASH TUNNEL SHALL ALIGN. COORDINATE AT TRUSS FABRICATION AND INSTALL.
- 2) ALIGN EAVES ALL AROUND BUILDING. TYPICAL UNLESS NOTED OTHERWISE.
- 3) PAINT EXPOSED STRUCTURAL STEEL TYPICAL.
- 4) REFER TO ELEVATIONS AND SECTIONS FOR ALL ROOF PITCHES TYPICAL.
- 5) TRENCH AND TRENCH EQUIPMENT TO BE COORDINATED WITH CAR WASH EQUIPMENT VENDOR. AS SHOWN IS APPROXIMATE ONLY. SEE SHEET A7.1 FOR TRENCH LAYOUT, SECTIONS AND DETAILS.

EXTERIOR FINISH SCHEDULE

 STUCCO OR EIFS COLOR: SW 6102 GUINOA	 PREFINISHED METAL ROOF R-VALUE: COLOR: REGAL BLUE ROOF FLASHING, FASCIA, SOFFIT, GUTTER, AND OVERHANG TRIM TO MATCH ROOF COLOR.	 WATERFABLE: SPLIT FACE "SIL" BLOCK WHITE RANGE, OLD CASTLE.
 CULTURED STONE VENEER BUCKS COUNTY LEDGESTONE BY CENTURION	 GLASS: CLEAR	 SPLIT FACE BLOCK BEIGE RANGE, OLD CASTLE.
 EXPOSED STRUCTURAL STEEL (BEAMS, TRUSSES & COLUMNS) PAINT COLOR: "BLACK" DO NOT PAINT UNDERSIDE OF ANY EXPOSED ROOF PANELS.	 STOREFRONT FRAMES, LOUVERS COLOR: BRNZE	 HM DOORS AND FRAMES PAINT COLOR: SW 2735 ROCKWELL



1 SIDE ELEVATION - ENTRY

SCALE: 1/4" = 1'-0"

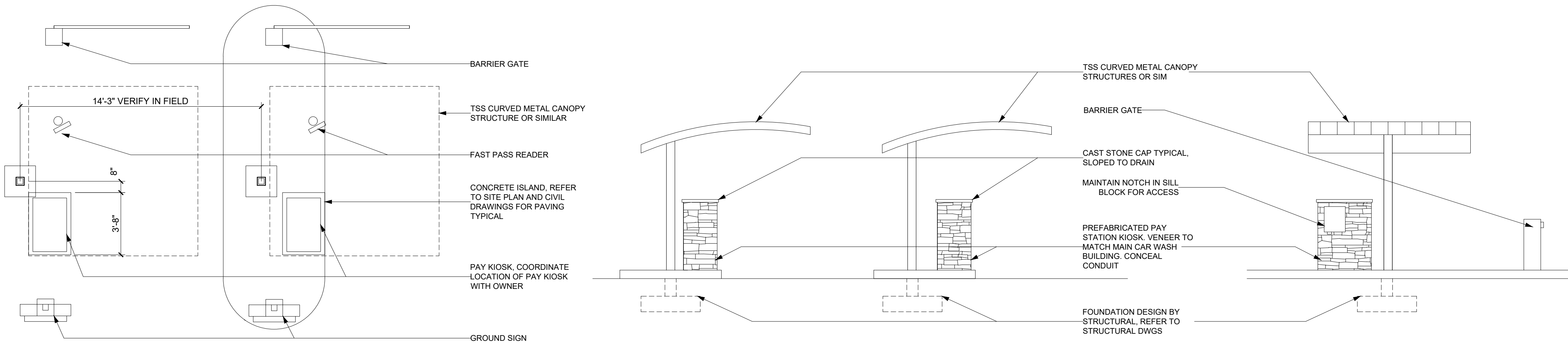
2 SIDE ELEVATION - EXIT

SCALE: 1/4" = 1'-0"



## AB.1

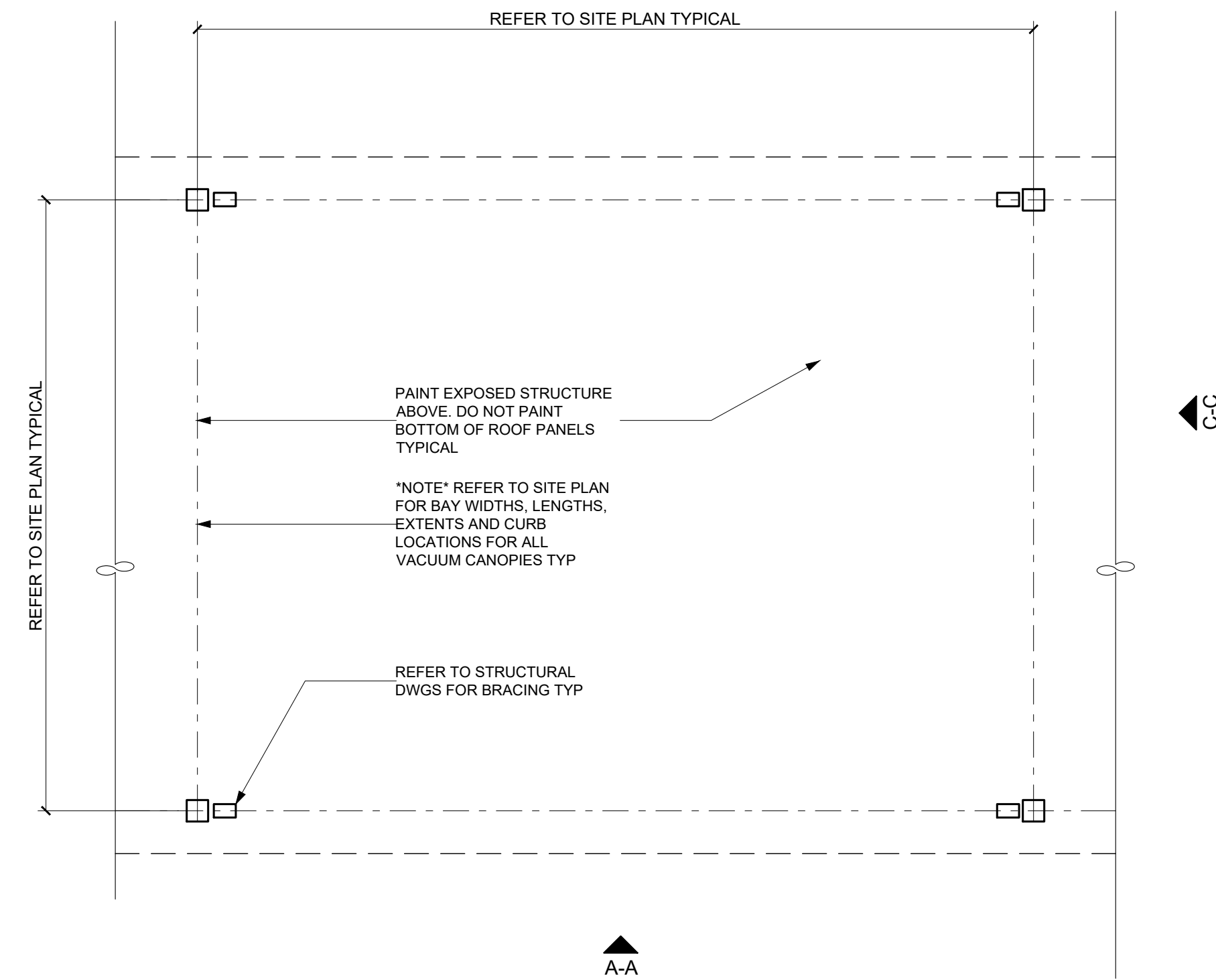
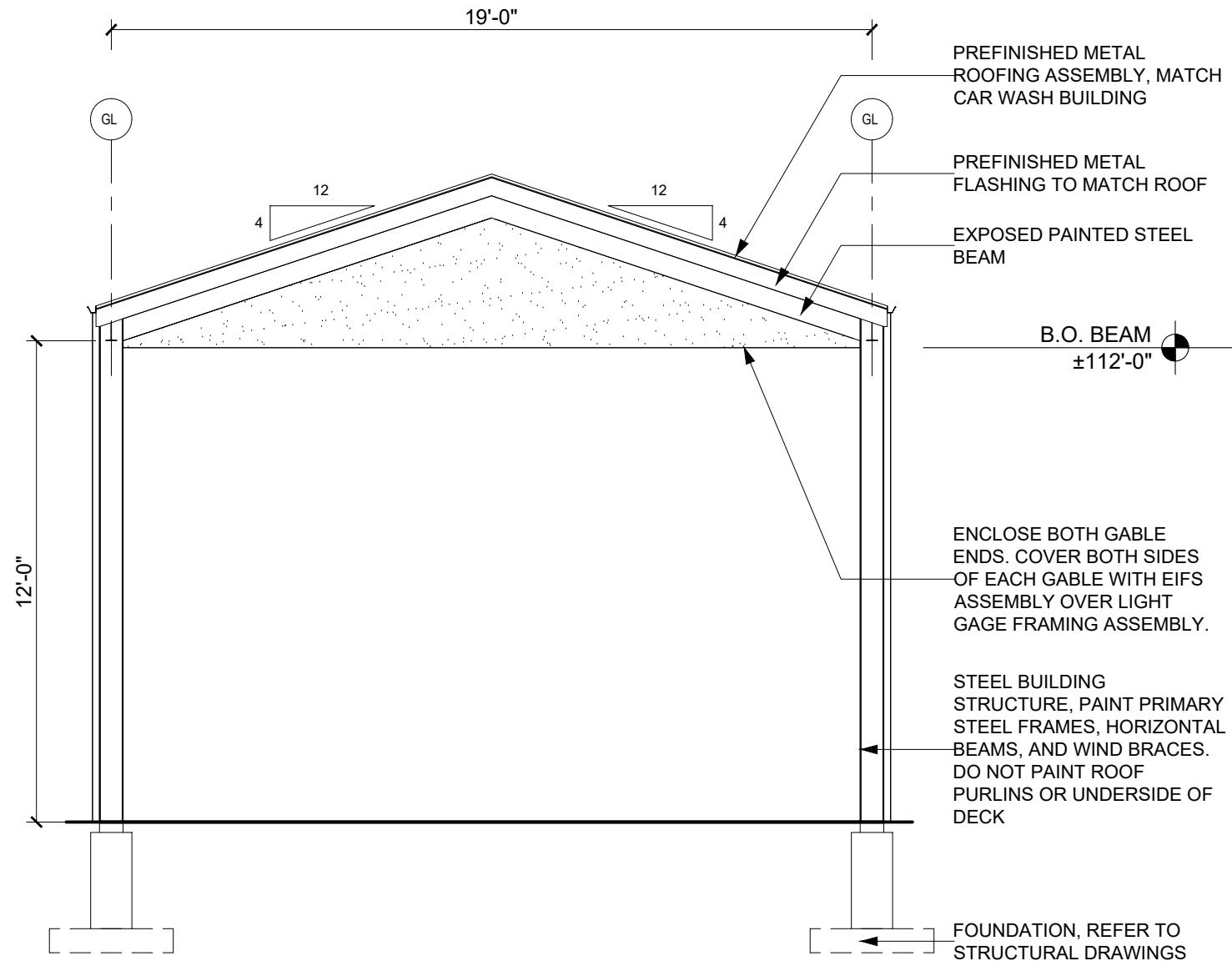
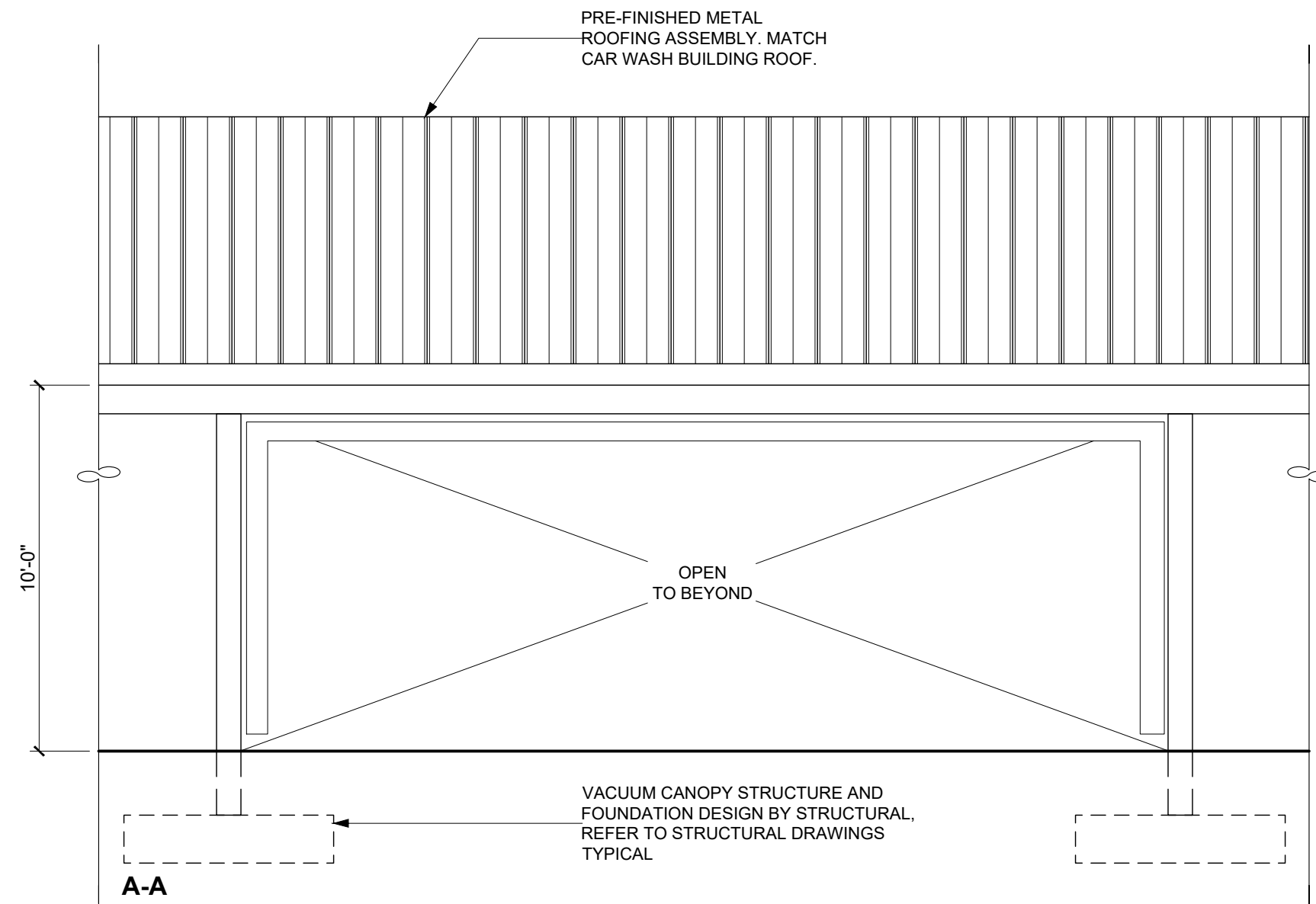




\*NOTE\* PAY KIOSK CANOPY TO BE OWNER PROVIDED, OWNER INSTALLED. PAY KIOSK EQUIPMENT, INCLUDING GROUND SIGNS, PREFABRICATED PAY KIOSK SYSTEM, FAST PASS READERS AND BARRIER GATES TO BE OWNER PROVIDED, OWNER INSTALLED. CONTRACTOR TO PROVIDE FOOTINGS FOR CANOPIES PER STRUCTURAL DRAWINGS. CONTRACTOR TO PROVIDE AN ALLOWANCE FOR VENEER AT PAY KIOSK TO MATCH CARWASH TUNNEL. DIMENSIONS AND FINISHES TO BE COORDINATED WITH TWAS VENDOR

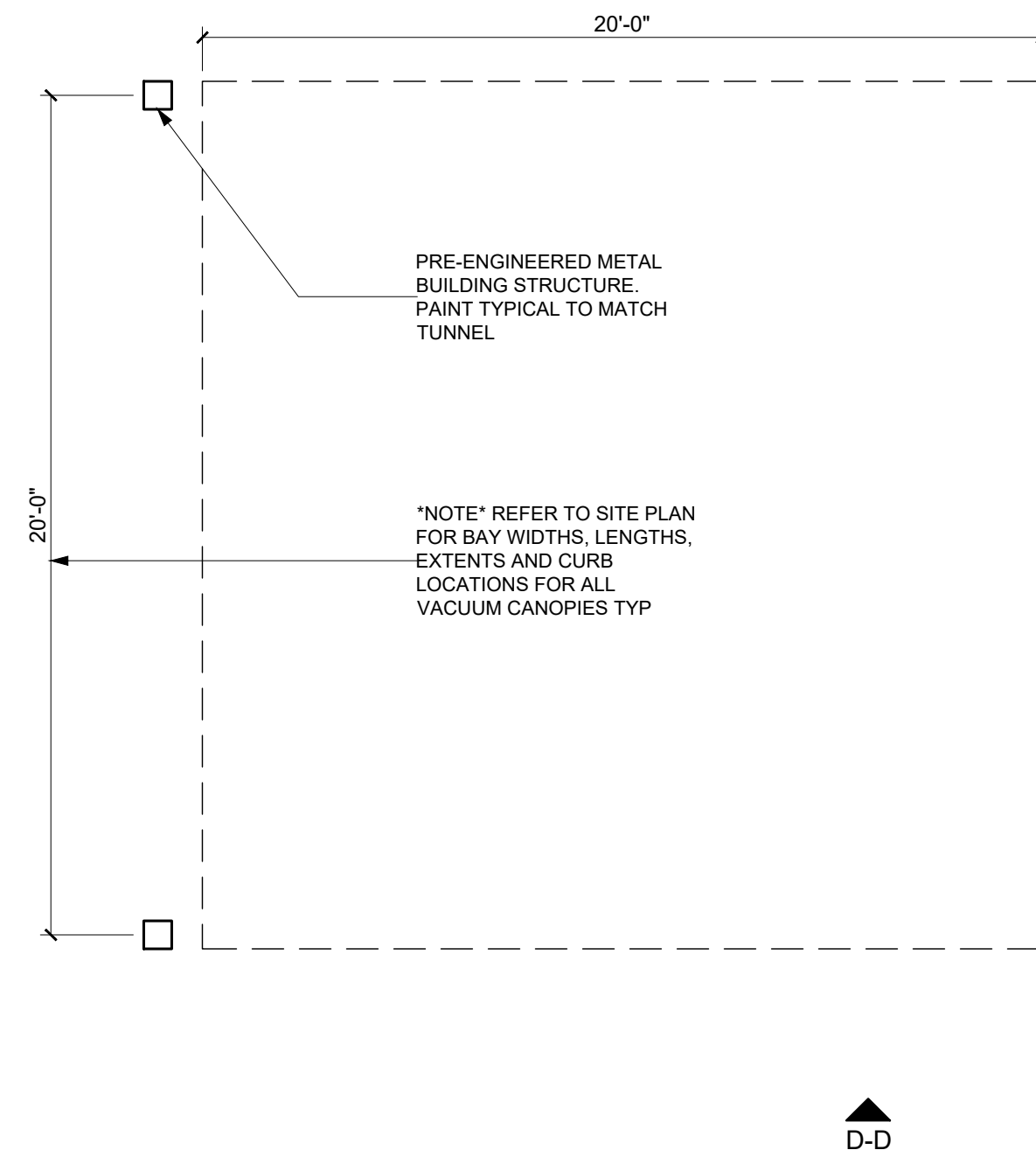
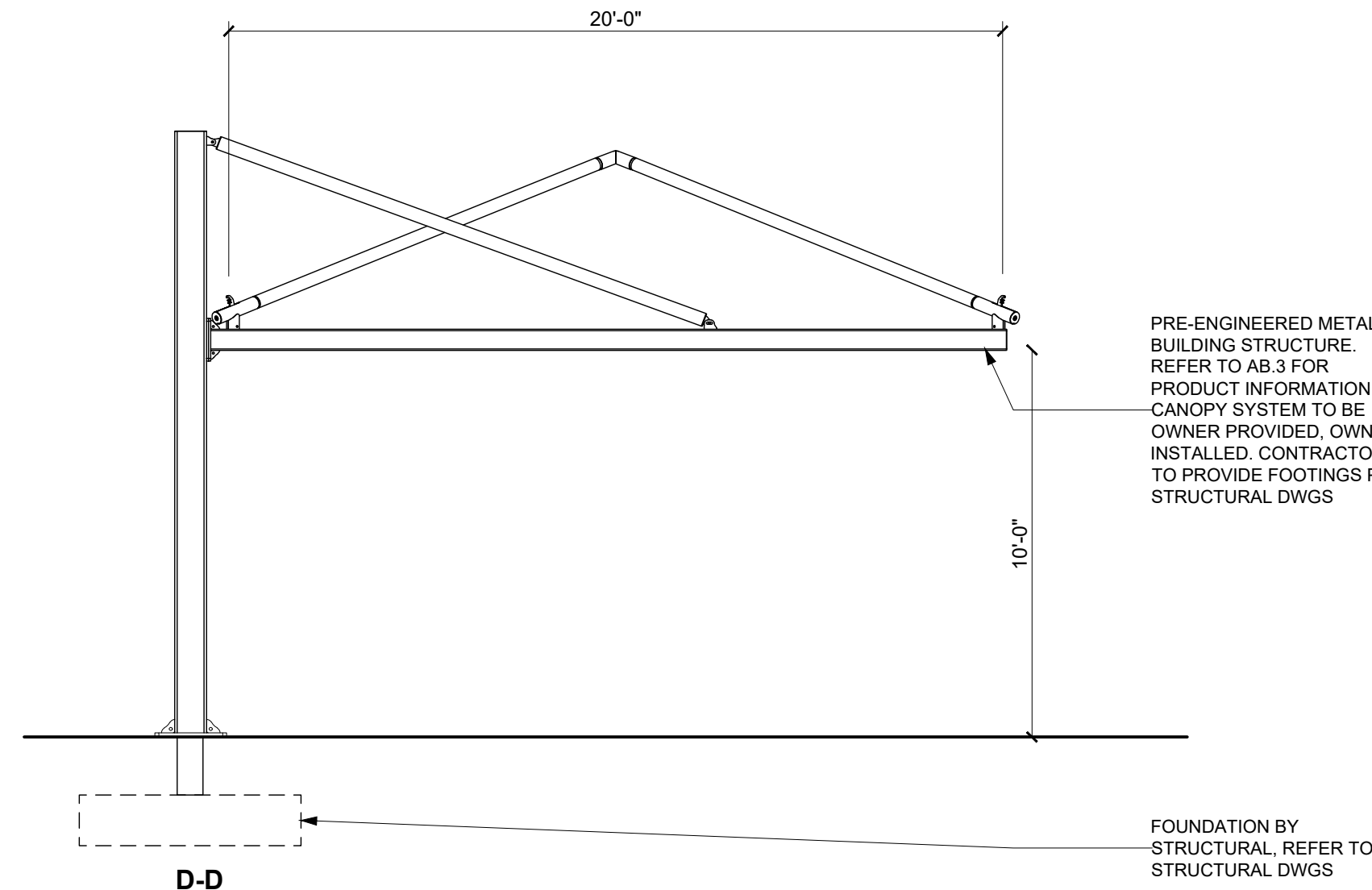
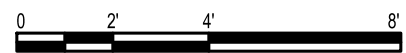
### 3 PAY KIOSK AND CANOPY - DEFERRED SUBMITTAL

1/4"=1'-0"



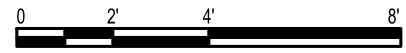
### 2 VACUUM CANOPY

1/4"=1'-0"



### 1 PREP CANOPY

1/4"=1'-0"



#### GENERAL NOTES: DEFERRED SUBMITTALS

- NOTE: THESE CANOPY DETAILS AND ELEVATIONS ARE APPROXIMATE IN NATURE AND SHALL BE COORDINATED WITH SITE PLAN, PARKING LAYOUT AND AVAILABLE SPAN
- DEFERRED SUBMITTALS: PRIOR TO CANOPY FABRICATION OR INSTALL, PROVIDE DETAILED DESIGN SHOP DRAWINGS PREPARED BY A STRUCTURAL ENGINEER HIRED OR EMPLOYED BY CANOPY MANUFACTURER. SUCH DRAWINGS SHALL BE CERTIFIED/STAMPED AND SIGNED BY THE RELATED DESIGN ENGINEER. SUBMIT TO LOCAL AUTHORITIES FOR REVIEW AND APPROVAL PRIOR TO START OF ANY RELATED WORK.
- COLORS: COORDINATE COLORS TO MATCH MAIN CAR WASH BUILDING. COORDINATE WITH TIDAL WAVE, INC. PRIOR TO START
- NOTE: CANOPIES ARE PRE-ENGINEERED METAL BUILDING STRUCTURES

**ARIA**  
STUDIO CONSULTANTS, INC  
100 Gold Ave. SW, Suite 205,  
Albuquerque, NM 87102  
Daniel@ariasinc.com  
(505) 506-2314  
ARCHITECT

#### CONTRACTOR

Civil:  
RESPEC  
7770 Jefferson St NE  
Suite #200  
Albuquerque, NM 87109

Landscape:  
The Hilltop  
Landscape Architects  
and Contractors  
7909 Edith Blvd NE,  
Albuquerque, NM 87113

Structural:  
Walla Engineering, LTD  
6501 Americas Pkwy #301,  
Albuquerque, NM 87110

MEP:  
BG Buildingworks  
7007 Wyoming Blvd NE # F2,  
Albuquerque, NM 87109

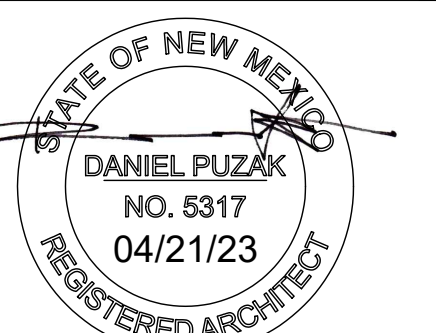
#### CONSULTANTS

**TIDAL WAVE  
AUTO SPA  
120 LEFT ENTRY  
STD**

2601 2nd St NW  
Albuquerque, NM 87107  
OWNER



MARK	DATE	DESCRIPTION



Architect/Engineer Stamp

PROJECT DATE: 04/14/23

PROJECT NUMBER: 2220

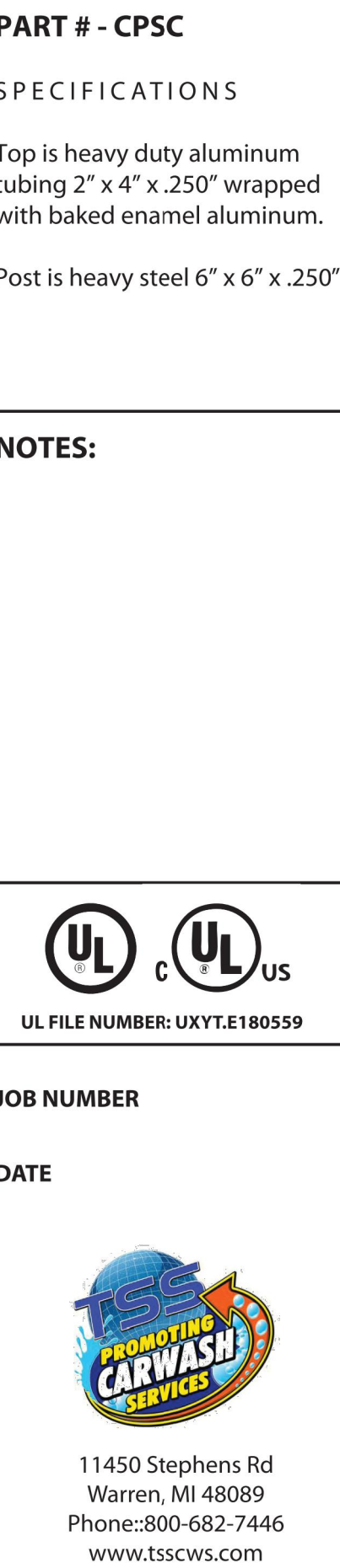
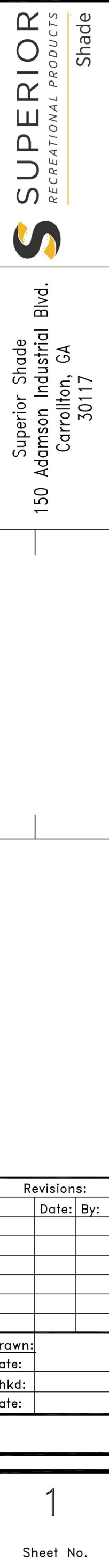
DRAWN BY: BEM

CANOPIES

**AB.2**



- 1) NOTE: THESE CANOPY DETAILS AND ELEVATIONS ARE APPROXIMATE IN NATURE AND SHALL BE COORDINATED WITH SITE PLAN, PARKING LAYOUT AND AVAILABLE SPAN.
- 2) DEFERRED SUBMITTALS: PRIOR TO CANOPY FABRICATION OR INSTALL, PROVIDE DETAILED DESIGN SHOP DRAWINGS PREPARED BY A STRUCTURAL ENGINEER HIRED OR EMPLOYED BY CANOPY MANUFACTURER. SUCH DRAWINGS SHALL BE CERTIFIED, STAMPED AND SIGNED BY THE RELATED DESIGN ENGINEER. SUBMIT TO LOCAL AUTHORITIES FOR REVIEW AND APPROVAL. PRIOR TO START OF ANY RELATED WORK.
- 3) COLORS: COORDINATE COLORS TO MATCH MAIN CAR WASH BUILDING. COORDINATE WITH TIDAL WAVE, INC. PRIOR TO START.
- 4) NOTE: CANOPIES ARE PRE-ENGINEERED METAL BUILDING STRUCTURES















# PR-2023-008619\_SI-2024-00547\_Site\_Plan\_Aproved\_Sheet\_1

Final Audit Report

2025-12-19

Created:	2025-12-03
By:	Jacob Boylan (jboylan@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAALunaJRHEUbobrUi3WZsa1yfOQDPku_E3

## "PR-2023-008619\_SI-2024-00547\_Site\_Plan\_Approved\_Sheet\_1" History

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-  Document emailed to Tiequan Chen (tchen@cabq.gov) for signature  
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-  Document emailed to Ernest Armijo (earmijo@cabq.gov) for signature  
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-  Document emailed to Jeff Palmer (jppalmer@cabq.gov) for signature  
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-  Document emailed to David Gutierrez (dggutierrez@abcwua.org) for signature  
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-  Document emailed to Jay Rodenbeck (jrodenbeck@cabq.gov) for signature  
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-  Email viewed by Tiequan Chen (tchen@cabq.gov)  
2025-12-03 - 11:59:51 PM GMT
-  Document e-signed by Tiequan Chen (tchen@cabq.gov)  
Signature Date: 2025-12-04 - 0:00:32 AM GMT - Time Source: server
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