

June 20, 2025

Robert Webb & Jolene Wolfley
Development Facilitation Team
City of Albuquerque
Albuquerque, NM



**RE: Applications PR-2023-008710 & SI-2025-00082
U-Haul Site Plan
8200 Jefferson St NE, Albuquerque, NM**

Development Facilitation Team,

Thank you for your time reviewing the U-Haul Site Plan application for the proposed development at 8200 Jefferson St NE. We received your comments dated February 11, 2025 and have addressed your comments. Below we have copied all your review comments and then provided written responses explain how each item was addressed.

WATER UTILITY AUTHORITY COMMENTS

1. UTILITY PLAN

- a. Availability Statement 24063 has been executed and provides conditions for service.

ISG Response: Noted.

- b. Show existing public water and public sewer mains and any associated easements on the utility plan.

ISG Response: This has been shown.

- c. Dimension the public water and public sewer easements on the utility plan.

ISG Response: No public water or sewer easements are in this area. Please provide documentation if there are any.

- d. Coordinate with NM 811 to field locate and survey the existing public water and sewer infrastructure. If existing infrastructure is not within the existing easements, dedicate additional easement to provide the minimum widths over the actual pipe locations.

ISG Response: There is no need to provide any easements over the public water and sewer infrastructure as it is existing and within the city owned right-of-way and not part of this private project.

- e. Please add the following notes to the Master Utility Plan

1. Coordination with Water Authority Cross Connection Section will be required to ensure proper backflow containment is in place prior to release of meter for the site. Contact the Cross Connection Section at 505-289-3454.

ISG Response: This has been shown.

- f. Please clearly label public vs. private infrastructure.

ISG Response: This has been shown.

- g. Revise the note at the bottom of the sheet to say, “Fire and Domestic Water Service Connections (Coordinate with ABCWUA staff regarding connection type. Coordinate with City staff regarding Traffic Control)”.

ISG Response: This has been noted.

PARKS & RECREATION COMMENTS

1. Ponding areas must comply with Specification 1013 SLOPE STABILIZATION and SEEDING REQUIREMENTS or better. Please find the specifications at the link below for your reference:
<https://documents.cabq.gov/planning/onlineforms/Drainage%20Ponds%20Slope%20Stabilization%20and%20Seeding%20Requirements.pdf>

ISG Response: This has been shown on the Grading Plan and Site Restoration Plan.

2. Landscape plan must be signed and sealed by a landscape architect licensed in the state of New Mexico.

ISG Response: This has been updated.

3. Tree palette needs to be reviewed by City Forestry.

ISG Response: This has been noted.

4. Street trees are required along Frontage Rd NE per IDO 5-6(D) STREET FRONTAGE LANDSCAPING. Confirm compliance.

ISG Response: This has been updated.

5. Landscape design must meet requirement under IDO 5-6(F) PARKING LOT LANDSCAPING • Per IDO 5-6(C)(5)(c) The use of gravel or crusher fines as ground cover is limited to a maximum of 75 percent of any landscaped area, or 50 percent in DT-UC-MS areas. Calculations must be provided. Also, Per IDO 5-6(C)(5)(e) Organic mulch is required as ground cover under trees, within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited. (See exhibit in comment letter).

ISG Response: Calculations have been provided.

6. Tree planting detail must show 5' radius organic mulch around tree trunk.

ISG Response: This has been updated.

FORESTRY COMMENTS

1. Alligator Juniper does not meet the intent for use as a street tree and is also not recommended for use as a street tree. Please replace with deciduous shade tree. Per IDO 5-6(C)(5)(e) Organic mulch is required as a ground cover under trees within a 5-foot radius around the tree trunk, but not directly against the tree trunk. In these areas, weed barrier fabric is prohibited. Please provide updated tree planting details. Parking lot trees are required per IDO 5-6(F)(2)(c). Show parking lot trees as required by IDO.

ISG Response: This has been updated.

ENGINEERING COMMENTS

1. Transportation has an approved Conceptual TCL and a Traffic Scoping Forms shows no TIS is required.

ISG Response: Noted.

2. Jefferson is a Principal Arterial and requires 6' sidewalks with 4' around any obstructions and a 5-6' Landscape buffer. Domingo Baca is listed as a Proposed Minor Collector and requires 6' sidewalks with 4' around any obstructions and a 5-6' Landscape buffer. Paseo del Norte Frontage Road is listed as a Proposed Minor Collector and requires 6' sidewalks with 4' around any obstructions and a 5-6' Landscape buffer. Please list the right-of-way widths for each of these roadways to ensure they meet minimums listed in the DPM. Currently ROW is listed as varies. In these circumstances provide 2 measurements along the frontage to determine the existing width.

ISG Response: This has been provided.

3. Domingo Baca and Paseo Frontage are proposed to have bike lanes. Jefferson is proposed to have buffered bike lanes. Please provide a figure that shows whether these roadways are sufficient for these bike lanes. ROW and/or roadway widening may be required.

ISG Response: This has been provided.

4. All work within the ROW needs to be placed on an infrastructure list and completed through the work order process.

ISG Response: This has been applied for.

5. Transportation does not have any information on the ownership of the existing rail lines, but without documented proof that the lines have been decommissioned and any ROW or easement vacated, the applicant is not allowed to remove the lines. These rail lines appear to be maintained from there connection to the main rail line to this point with all crossings intact and these lines intersect proposed buildings.

ISG Response: See enclosed correspondence with the DOT and City Director determining a vacation action is not needed. This was provided for the Traffic Circulation Layout review to Ernest Armijo and deemed acceptable for the TCL approval.

PLANNING COMMENTS

1. Applicant must ensure that all revised and/or final Plan sheets are sealed and signed by a design professional licensed in the State of New Mexico.

ISG Response: This has been provided.

2. Clarify accessory uses. Vehicle and Equipment sales, rental, fueling, and repair would have additional Use Specific Standard requirements.

ISG Response: The self-storage building is planned to have vehicle and equipment rentals.

3. Confirm compliance with streetscape standards from section 7 of the DPM Table 7.2.29. Regarding Sidewalk width requirements, the landscape buffer, and Maintenance responsibilities.

*Verification of standards per Transportation.

Transportation has an approved Conceptual TCL and a Traffic Scoping Forms shows no TIS is required. Jefferson is a Principal Arterial and requires 6' sidewalks with 4' around any obstructions and a 5-6' Landscape buffer. Domingo Baca is listed as a Proposed Minor Collector and requires 6' sidewalks with 4' around any obstructions and a 5-6' Landscape buffer.

Paseo del Norte Frontage Road is listed as a Proposed Minor Collector and requires 6' sidewalks with 4' around any obstructions and a 5-6' Landscape buffer.

Please list the right-of-way widths for each of these roadways to ensure they meet minimums listed in the DPM. Currently ROW is listed as varies. In these circumstances provide 2 measurements along the frontage to determine the existing width.

Domingo Baca and Paseo Frontage are proposed to have bike lanes. Jefferson is proposed to have buffered bike lanes. Please provide a figure that shows whether these roadways are sufficient for these bike lanes. ROW and/or roadway widening may be required. All work within the ROW needs to be placed on an infrastructure list and completed through the work order process. Transportation does not have any information on the ownership of the existing rail lines, but without documented proof that the lines have been decommissioned and any ROW or easement vacated, the applicant is not allowed to remove the lines. These rail lines appear to be maintained from there connection to the main rail line to this point with all crossings intact and these lines intersect proposed buildings.

ISG Response: This has been noted and have provided documentation regarding the planned improvements.

4. Provide documentation and details for the existing railway on property. Confirm if a vacation action is needed.

ISG Response: See enclosed correspondence with the DOT and City Director determining a vacation action is not needed.

5. Clarify and confirm if an Infrastructure List is a part of the Site Plan submittal. Once the IL is approved, a recorded Infrastructure Improvements Agreement w/ financial guarantee will need to be executed and recorded with the County Clerk prior to final sign off of the site plan.

ISG Response: This list is included with the resubmittal.

6. Clarify and confirm that all development, landscaping/screening are all within private property areas. This ensures no encroachment into the public right of way. (*Exception--Street/Sidewalk landscape buffer should be within ROW)

ISG Response: All work done within the private property of this project except the street and sidewalk buffers. Refer to plan sheets for locations of new property line in relation to proposed landscaping.

7. Provide a dimensioned lighting plan that demonstrates how it meets IDO section 3-4-K and 5-8.

ISG Response: This has been provided on Sheet C6-10 Site Photometric Plan and complies with all IDO standards.

8. Provide Parking calculations that include ADA spaces, Bicycle, and Motorcycle.

ISG Response: These have been provided.

9. Clarify how any detention ponds would be stabilized. Any Drainage Ponds must meet Standard Specification 1013 or better. See Drainage Ponds Slope Stabilization and Seeding Requirements.pdf (cabq.gov)

ISG Response: This has been provided and follows Spec 1013.

10. The project and application numbers must be added to the Site Plan and any associated IL.

ISG Response: This has been added.

11. Elevation pages need to include details on how the project will be meeting the specific requirements listed in the memo above. Provide additional elevation detail to demonstrate and explain compliance with all the criteria in IDO section 5-11. Include height dimensions.

*This should include areas such as windows, doors, changes in façade. This can be addressed by adding detail to the elevation sheet or within a comment response.

Restrict continuous indoor light visible from the building windows from dusk to dawn. Motion sensor lights are a successful alternative because the lights turn on only when someone is in the building. Do not light up brightly colored faux doors in windows, or other trademark related signs/symbols which would effectively function as unauthorized 'signage' for the development. Please note color of faux doors on site plan; the current color appears dark and is acceptable.

Please consider adding the following note:

"Rolled doors visible in any faux windows must match the color of the building façade, and will not highly visible when lit."

ISG Response: This has been updated.

12. An outdoor seating area is required for a primary building(s) more than 30,000 s.f. See below for requirements.

ISG Response: This has been provided on the C3-10 Site Plan.

13. Similar to the elevations, the (Alternative) Landscaping Plan needs to clarify and detail how it is meeting requirements from all subsections of IDO 5-6. A separate application should be made to Include information on how landscaping was altered to accommodate the balloon landing area. Clarify screening for parking spaces. The total number of trees must be the same on the alternative landscaping plan, but their placement can vary from strict IDO standards. Such as IDO sections 5-6(D) Street Frontage Landscaping, 5-6(D)(2) Additional Frontage Landscaping, 5-6(F) Parking Lot Landscaping, 5-6(F)(2) Parking Lot Interior, 5-6(G) Screening Of Mechanical Equipment And Support Areas.

ISG Response: This has been updated.

14. Clarify if landscaping is within any utility easement areas.

Per IDO section 5-1-E, table 5-1-3:

Greater setbacks and/or reduced heights may be required for compliance with the National Electrical Safety Code (NESC) along lot lines that abut, are adjacent to, or within properties that contain overhead power lines and/or electric utility easements. Electric service provision from the Public Service Company of New Mexico (PNM) will also depend on adequate structure clearance requirements as outlined in the PNM Electric Service Guide.

ISG Response: No landscaping is within any utility easements.

15. Clarify if there is a signage plan included in the site plan submittal.

ISG Response: This site plan does not include signage. U-Haul will directly handle the signage and submit that to the city for review when ready.

16. Sensitive Lands Analysis was included in the submittal. Clarify if an Arch. Cert was completed. The form in the submittal was blank.

ISG Response: An Archaeological Certificate was submitted to the city for review and a Certificate of No Effect was issued on January 16, 2025. This is included with the resubmittal.

17. Clarify the type or design of Walls and fences. They will require separate permitting through Code Enforcement and/or Building Safety. Per section 5-7 of the IDO, Wall/fence location and height may require additional approvals, such as a ZHE variance. *Verification per Code Enforcement.

ISG Response: No walls or fences are proposed.

18. All of the Landscaping, Buffering and Screening requirements in Section 5 of the code must be reflected within the Landscaping Plan:

ISG Response: This has been updated.

ALT. LANDSCAPE PLAN COMMENTS

1. A The last memo requested: a separate application to include information on how landscaping was altered to accommodate the balloon landing area.
2. Please show dimensions of the landing area for balloons on the site (Once dimensions of the landing area are confirmed, we will request feedback from the Balloon Landing Task Force on the proposed landing area to confirm if they are okay with it).
3. It appears the Alternative Landscaping Plan submitted is the same landscape plan in the February 12th submittal for the Site Plan Administrative DFT for PR-2023-008710 / SI-2025-00082.
 - a. Regarding the required parking lot landscaping, since you are seeking to reduce or eliminate these specific requirements due to the balloon landing area, with the Alternative Landscaping Plan this is permitted provided the required parking lot trees are moved to other areas of the site. In other words, tree reduction is not allowed. This needs to be shown in your calculations.

- b. Please address the following Park and Recreations comments below:
- c. Per IDO 5-6(C)(5)(c) The use of gravel or crusher fines as ground cover is limited to a maximum of 75 percent of any landscaped area, or 50 percent in DT-UC-MS areas.
- d. Calculations must be provided on the landscape plan data section. You can certainly provide street trees in the area shown along Paseo del Norte Blvd (marked up in gold for your review):
- e. Also, -Per IDO 5-6(C)(5)(e) Organic mulch is required as ground cover under trees, within a 5-footradius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited. (See figure below.) Tree planting detail must be provided and show 5' radius organic mulch around tree trunk.

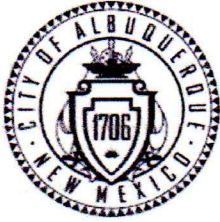
ISG Response: These items have been updated.

Thank you again for reviewing the attached materials. Please contact me at 952.426.0699 or via email at Andrea.Rand@ISGInc.com with any questions or if there is any additional information we can provide in support of this project.

Sincerely,



Andrea Rand, AICP
Development Services Coordinator



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Alan Varela, Interim Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: January 16, 2025

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR-2023-008710, SI-2025-00083
Agent: ISG (Andrea Rand)
Applicant: Amerco Real Estate Company
Legal Description: SE SW SE SEC 14 T11N R3E (AKA HARLEY TRACT)
Zoning: NR-LM
Acreage: 9.16
Zone Atlas Page(s): C-17-Z

CERTIFICATE OF NO EFFECT: ☒ Yes ☐ No

CERTIFICATE OF APPROVAL: ☐ Yes ☒ No

SUPPORTING DOCUMENTATION:

Historic Google Earth images, ARMS/NMCRIS Records

SITE VISIT: N/A

RECOMMENDATIONS:


A small part of the property was surveyed under NMCRIS 127611 with no finds. The entire property appears to have been disturbed by prior use with the northern part disturbed prior to 1996 and the remainder disturbed by 2023.

Therefore: CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 2 "The property has been disturbed through previous land use"

SUBMITTED BY:

SUBMITTED TO:

Planning, Development Services

 1-16-2025

Douglas H. M. Boggess, MA, RPA Date
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT FACILITATION TEAM (DFT) REQUIRED INFRASTRUCTURE LIST

U-Haul Site Plan

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

All or a portion of: TR OF LAND IN SE SW SE SEC 14 T11N R3E (AKA HARLEY TRACT WITHIN LOOP INDUSTRIALDISTRICT UNIT NO. 1) EXCL S'LY PORTOUT TO R/W zoned NR-LM, located at 8200 Jefferson St NE containing approximately 9.16 acre(s). (C-17)

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
DRC # <input type="text"/>	DRC # <input type="text"/>	645 LF	Concrete curb and gutter	Domingo Baca Road	Jefferson St NE	645 ft East	/	/	/
<input type="text"/>	<input type="text"/>	410 LF	Concrete curb and gutter	Jefferson St NE	Domingo Baca Road	410 ft South	/	/	/
<input type="text"/>	<input type="text"/>	530 LF	Concrete curb and gutter	Paseo Del Norte Blvd NE	South 530 LF of U-Haul property frontage		/	/	/
<input type="text"/>	<input type="text"/>	3150 SF	Asphalt pavement (Roadway widening)	Domingo Baca Road	Jefferson St NE	645 ft East	/	/	/
<input type="text"/>	<input type="text"/>	3275 SF	Asphalt pavement (Roadway widening)	Jefferson St NE	Domingo Baca Road	410 ft South	/	/	/
<input type="text"/>	<input type="text"/>	1550 SF	Asphalt pavement (Roadway widening)	Paseo Del Norte Blvd NE	South 530 LF of U-Haul property frontage		/	/	/
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Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
							Approval of Creditable Items:		Approval of Creditable Items:
							Impact Fee Administrator Signature Date		City User Dept. Signature Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1 _____

2 _____

3 _____

AGENT / OWNER

DEVELOPMENT FACILITATION TEAM APPROVALS

NAME (print)

PLANNING - date

PARKS & RECREATION - date

FIRM

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

SIGNATURE - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

CITY ENGINEER - date

HYDROLOGY - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

From: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>
Sent: Tuesday, March 19, 2024 1:19 PM
To: Cody Lane <cody_lane@uhaul.com>
Cc: Tom Neill <tom_neill@uhaul.com>; Wolfley, Jolene <jwolfley@cabq.gov>; Biazar, Shahab <sbiazar@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>
Subject: RE: NMDOT Contacts for Railroad Questions

CAUTION: This email came from an external sender. Do not click **links** or **attachments** unless you know the sender and the content is safe.

Good afternoon Cody,

I discussed Robert Fine's (from NMDOT) message below with City Engineer Shahab Biazar (copied in this message), which noted that the subject portion of track on your site is severed and no freight trains will be able to access and use the track anymore, further noting that BNSF confirmed with him (Mr. Fine) that it was okay with them that NMDOT sever the track. With the noted confirmation from NMDOT, Mr. Biazar confirmed with me that we would have no objection to the removal of the existing track on your site as part of a Site Plan Administrative DFT and/or platting application review.

Additionally, with no documented proof of an easement for the track, there's no need (or way) to vacate an easement.



Jay Rodenbeck

Planning Manager
Development Review Services
o (505) 924-3994
c (505) 553-0682
e jrodenbeck@cabq.gov
cabq.gov/planning

From: Cody Lane <cody_lane@uhaul.com>
Sent: Tuesday, March 19, 2024 12:18 PM
To: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>
Cc: Tom Neill <tom_neill@uhaul.com>; Wolfley, Jolene <jwolfley@cabq.gov>; Biazar, Shahab <sbiazar@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>
Subject: Re: NMDOT Contacts for Railroad Questions

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Good afternoon Jay,

Cc: Tom Neill <tom_neill@uhaul.com>

Subject: Re: NMDOT Contacts for Railroad Questions

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Jay thanks again for getting me the contact information. Over the past few weeks, I have come up with some information.

From my understanding there is not an easement for the rail passing through our property. It's referred to as an agreement. I was also told by Robert the track within our property we own, and if we would like to remove we can.

With the below emails I am hoping that we have enough documentation to be able to remove the tracks.

From my understanding the plat does not show an easement.

I have attached the track agreement also.

Please let me know if you have any questions.

Jay below is an email from Robert Fine.

Cody,

Ok so it looks like the City is requiring this as part of a building permit.

The track in question does connect to track that NMDOT owns, roughly a ½ mile west of your location. That said, NMDOT does not own any easement or track within or at your specific property location and as such cannot formally speak for or represent the track or easement within your property. What we can tell you is that the subject portion of track is severed and no freight trains will be able to access and use that track anymore. Now, the specific location where the track is 'severed' (the connecting rail has been removed) is within a track segment that NMDOT does own.

Given the City's comment, I am presuming that your property plat must show a rail easement present. The owner, according to a 1977 industry track agreement that covers rail freight service to the property I believe you have purchased, would be the Loop Development Company. I have also seen other documents that refer to the rail easement owner as being 'Associated Investors.'

The attached agreement is made with the Atchison, Topeka & Santa Fe Railway, or "ATSF", (predecessor to the BNSF Railway today), but that agreement gave the ATSF only a right to operate their trains on the track to provide freight service. ATSF did not own the track or an easement there. As mentioned, the agreement references the owner as Loop Development Company at that time.

I will add that we have been in communication with BNSF Railway a few years ago regarding this overall industry track lead and did confirm with BNSF that it was okay with them that NMDOT sever the track, since there had not been any freight shippers on the spur for some time. The last shipper was Stock Building Supply who had occupied the lot I believe you purchased. Stock had vacated the property around 2009 or so (approximately), and that was the last time that track had been used.

Robert E. Fine | Rail Facilities Manager
NMDOT | Rail Bureau | (505) 629-2830

The below screen shot is from Robert, He forwarded message between him and BNSF



Fine, Robert, DOT <Robert.Fine@dot.nm.gov>

To: Cody Lane



Tue 3/5/2024 9:53 AM

Cc: Craven, William, DOT <William.Craven@dot.nm.gov>



Track 740 - Albuquerque Ma...
119 KB

CAUTION: This email came from an external sender. Do not click **links** or **attachments** unless you know the sender and the content is safe.

Cody, attached is the email I just referenced, with attachment. Just to clarify again, BNSF Railway is stating that they no longer have a need for the spur to operate over to serve freight customers. BNSF does not own the spur track, so this is not a notice from the track owner's perspective. Nonetheless, perhaps it will assist you with your response to the City.

Robert E. Fine | Rail Facilities Manager
NMDOT | Rail Bureau | (505) 629-2830

From: Aman, Brian H <Brian.Aman@bnsf.com>

Sent: Friday, January 8, 2021 4:54 PM

To: Craven, William, NMDOT <William.Craven@state.nm.us>; Fine, Robert, NMDOT <Robert.Fine@state.nm.us>

Cc: Walls, Keary M <Keary.Walls@bnsf.com>; Lee, Mike W <Mike.Lee@bnsf.com>; Sieverson, Katherine A <Katherine.Sieverson@bnsf.com>; Aman, Brian H <Brian.Aman@bnsf.com>

Subject: [EXT] Track 740 at Albuquerque

Bill and Rob – Per our discussion yesterday, BNSF has made the determination that it no longer has a need to use track 740 crossing and north of Paseo del Norte in Albuquerque, NM. Please see attached map that clearly depicts which track is no longer used by BNSF.

Let me know if you have any questions.

Thanks,
Brian

Cody Lane
Owners Representative
505-453-3718

From: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>
Sent: Thursday, February 15, 2024 5:38 PM
To: Cody Lane <cody_lane@uhaul.com>
Subject: Fw: NMDOT Contacts for Railroad Questions

CAUTION: This email came from an external sender. Do not click **links** or **attachments** unless you know the sender and the content is safe.

From: Rodenbeck, Jay B.
Sent: Thursday, February 15, 2024 4:44 PM
To: cody_lane@uhaul.com <cody_lane@uhaul.com>
Cc: Biazar, Shahab <sbiazar@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>
Subject: NMDOT Contacts for Railroad Questions

Good afternoon Cody,

We can confirm the following NMDOT contacts to inquire with regarding removing the rail lines on the property at 8200 Jefferson Street NE:

1. Liz Nauman: (505) 526-1046
2. Liz Olsen: (505) 526-5877
3. Robert Fine: (505) 629-2830



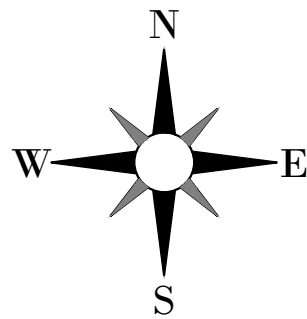
Jay Rodenbeck

Planning Manager
Development Review Services
o (505) 924-3994
c (505) 553-0682
e jrodenbeck@cabq.gov
cabq.gov/planning



CITY OF ALBUQUERQUE

LOCATION MAP



CIVIL PLAN ABBREVIATIONS:

AC	ACRE	CJ	CONTROL JOINT	EOF	EMERGENCY OVERFLOW	GL	GUTTER LINE	IPS	IRON PIPE SIZE	NWL	NORMAL WATER LEVEL	RCP	REINFORCED CONCRETE PIPE	THRU	THROUGH
ADA	AMERICANS WITH DISABILITIES ACT	CL	CENTERLINE	EQ	EQUAL	GPM	GALLONS PER MINUTE	J-BOX	JUNCTION BOX	OC	ON CENTER	RD	ROOF DRAIN	TNHF	TOP NUT OF FIRE HYDRANT
ADD	ADDENDUM	CMP	CORRUGATED METAL PIPE	EX	EXISTING	GV	GATE VALVE	JT	JOINT	OCEW	ON CENTER EACH WAY	REBAR	REINFORCING BAR	TRANS	TRANSFORMER
AFF	ABOVE FINISHED FLOOR	CO	CLEANOUT	FDC	FIRE DEPARTMENT CONNECTION	HDPE	HIGH DENSITY POLYETHYLENE	LF	LINEAR FEET	OH	OVERHEAD	REM	REMOVE	TV	TELEVISION
AGG	AGGREGATE	CONC	CONCRETE	FDN	FOUNDATION	HD	HEAVY DUTY	LIN	LINEAR	OHD	OVERHEAD DOOR	ROW	RIGHT OF WAY	T/W	TOP OF WALL
APPROX	APPROXIMATE	CONST	CONSTRUCTION	FES	FLARED END SECTION	HH	HANDHOLE	LPS	LOW PRESSURE STEAM	OZ	OUNCE	R/W	RIGHT OF WAY	TYP	TYPICAL
ARCH	ARCHITECT, ARCHITECTURAL	CONT	CONTINUOUS	FFE	FINISHED FLOOR ELEVATION	HORIZ	HORIZONTAL	LS	LUMP SUM	PED	PEDESTAL, PEDESTRIAN	SAN	SANITARY	UT	UTILITY, UNDERGROUND
BFE	BASEMENT FLOOR ELEVATION	CY	CUBIC YARD	FPM	FEET PER MINUTE	HR	HOUR	LSO	LOWEST STRUCTURAL OPENING	PERF	PERFORATED	SCH	SCHEDULE	VCP	VITRIFIED CLAY PIPE
BIT	BITUMINOUS	C&G	CURB AND GUTTER	FPS	FEET PER SECOND	HWL	HIGH WATER LEVEL	MAX	MAXIMUM	PL	PROPERTY LINE	SF	SQUARE FOOT	W/O	WITHOUT
CAD	COMPUTER-AIDED DESIGN	DEMO	DEMOLITION	FT	FOOT, FEET	HWY	HIGHWAY	MB	MAIL BOX	PP	POLYPROPYLENE	SPEC	SPECIFICATION	W/	WITH
CB	CATCH BASIN	DIA	DIAMETER	FTG	FOOTING	HYD	HYDRANT	MECH	MECHANICAL	PSI	POUNDS PER SQUARE INCH	SQ	SQUARE	YD	YARD
CFS	CUBIC FEET PER SECOND	DIM	DIMENSION	GA	GAUGE	I	INVERT	MH	MANHOLE	PVC	POLYVINYL CHLORIDE	STA	STATION	YR	YEAR
CF	CUBIC FOOT	DS	DOWNSPOUT	GAL	GALLON	ID	INSIDE DIAMETER	MIN	MINIMUM	PVMT	PAVEMENT	SY	SQUARE YARD		
CI	CAST IRON	EA	EACH	GALV	GALVANIZED	IN	INCH	MISC	MISCELLANEOUS	QTY	QUANTITY	T/C	TOP OF CURB		
CIP	CAST IRON PIPE	ELEC	ELECTRICAL	GC	GENERAL CONTRACTOR	INV	INVERT	R	RIM	TEL	TELEPHONE				
CIPC	CAST IN PLACE CONCRETE	ELEV	ELEVATION	GFE	GARAGE FLOOR ELEVATION	IP	IRON PIPE	NO	NUMBER	TEMP	TEMPORARY				

PROJECT BACKGROUND - IDO ZONE DISTRICT NR-LM, WITHIN CPO-10 NORTH I-25 OVERLAY

- Self-Storage is a permissive use in the NR-LM zone district per the IDO.
 - Proposed facility consists of 3 more more individual, small, self-contained, fully enclosed units in the buildings that are leased or owned for the storage of business or personal property.
 - This is applicable to this project*
 - All storage is fully enclosed within the building.
 - This is applicable to this project.*
 - There is no security fencing with razor wire or barbed wire.
 - This is applicable to this project and no razor or barbed wire is proposed.*
 - No Residential zone district is located adjacent to this property or is within 200 feet of any Residential zoning district.
 - This is applicable to this project*
- Accessory uses:
 - Vehicle and equipment sales, rental and repair are intended to be uses on this property. Users are able to rent U-Haul moving vehicles, trailers, as well as purchase and installation of trailer hitches.

PROJECT ADDRESS:

8200 JEFFERSON STREET NE
ALBUQUERQUE, NM

SITE SUMMARY

ZONING:	NR-LM
HEAVY VEHICLE AND EQUIPMENT RENTAL AREA:	4,603 SF
SELF-STORAGE BUILDING SELF-STORAGE AREA:	117,826 SF
U-BOX BUILDING SELF-STORAGE AREA:	23,367 SF
MINI-STORAGE BUILDING SELF-STORAGE AREA:	9,425 SF

PARKING REQUIREMENTS (PER ALBUQUERQUE IDO)

TYPE	UNIT / AREA	STALLS REQUIRED	STALLS PROVIDED
HEAVY VEHICLE AND EQUIPMENT RENTAL:	1 / 1,000 SF GFA	5 SPACES (4,603 / 1000 = 4.6)	5
SELF-STORAGE AREA:	1 / 3,000 SF GFA	50 SPACES (150,618 / 3,000 = 50.2)	50
ADA (ACCESSIBLE):		3 SPACES FOR 51-75 SPACES	3
BICYCLE:	3 SPACES OR 10% OF REQ. OFF-STREET PARKING SPACES, WHICHEVER IS GREATER (55 * 10% = 5.5)		3
MOTORCYCLE:	3 SPACES FOR 51-100 REQ. OFF-STREET PARKING SPACES		6
	TOTAL:	55	55

SETBACKS

	BUILDING
FRONT YARD	15'-0"
SIDE YARD	5'-0"
REAR YARD	15'-0"

PROJECT GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER - CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH INCLUDES GENERAL SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS), DRAWINGS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS AND CLARIFICATIONS ISSUED BY THE ARCHITECT/ENGINEER.
- CONTRACT DOCUMENTS SHALL BE ISSUED TO ALL SUBCONTRACTORS BY THE GENERAL CONTRACTOR IN COMPLETE SETS IN ORDER TO ACHIEVE THE FULL EXTENT AND COMPLETE COORDINATION OF ALL WORK.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO DETAILS SHOWN. WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED ACCORDING TO MANUFACTURERS' INSTRUCTIONS. IN CASE OF DISCREPANCIES BETWEEN MANUFACTURERS' INSTRUCTIONS AND THE CONTRACT DOCUMENTS, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.
- THE LOCATION AND TYPE OF ALL INPLACE UTILITIES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY AND ARE ACCURATE AND COMPLETE TO THE BEST OF THE KNOWLEDGE OF I & S GROUP, INC. (ISG). NO WARRANTY OR GUARANTEE IS IMPLIED. THE CONTRACTOR SHALL VERIFY THE SIZES, LOCATIONS AND ELEVATIONS OF ALL INPLACE UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
- THE CONTRACTOR IS TO CONTACT "NEW MEXICO ONE CALL" FOR UTILITY LOCATIONS, MINIMUM 2 BUSINESS DAYS PRIOR TO ANY EXCAVATION / CONSTRUCTION (811).

SPECIFICATIONS REFERENCE

ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REQUIREMENTS.

PROJECT DATUM

HORIZONTAL COORDINATES HAVE BEEN REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), ON THE NEW MEXICO STATE PLANE, CENTRAL ZONE IN U.S. SURVEY FEET AS MEASURED ALONG THE NORTHWEST LINE OF THE SUBJECT PROPERTY WHICH BEARS N 17°16'54" E PER GPS COORDINATE OBSERVATIONS.
LATITUDE = 35°10'35.9250"
LONGITUDE = -106°35'34.8662"
CONVERGENCE ANGLE = 00°11'51.4113"

ELEVATIONS HAVE BEEN REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS WITH ORIGINATING BENCHMARK CITY OF ALBUQUERQUE VETICAL CONTROL MONUMENT G-442.

RTK GPS METHODS WERE USED TO ESTABLISH HORIZONTAL AND VERTICAL COORDINATES FOR THIS PROJECT.

TOPOGRAPHIC SURVEY

THIS PROJECT'S TOPOGRAPHIC SURVEY CONSISTS OF DATA COLLECTED IN NOVEMBER 2021 BY BLEW & ASSOCIATES, PA (479-443-4506)

B.M. ELEVATION= 5127.87

ALUMINIUM CAP "NM DOT" (ADJACENT TO PASEO DEL NORTE IN SW CORNER OF LOT)

N: 1519065.87 / E: 1538067.67

LEGEND

EXISTING	
— — — — —	CITY LIMITS
— — — — —	SECTION LINE
— — — — —	QUARTER SECTION LINE
— — — — —	RIGHT OF WAY LINE
— — — — —	PROPERTY / LOTLINE
- - - - -	EASEMENT LINE
Δ Δ	ACCESS CONTROL
— W —	WATER EDGE
WET	WETLAND BOUNDARY
WETLAND / MARSH	WETLAND / MARSH
— — — — —	FENCE LINE
X X X X	CULVERT
<< <<	STORM SEWER
— — — — —	SANITARY SEWER
<	SANITARY SEWER FORCEMAIN
— I —	WATER
— G —	GAS
— OE —	OVERHEAD ELECTRIC
— UE —	UNDERGROUND ELECTRIC
— UT —	UNDERGROUND TELEPHONE
— UTV —	UNDERGROUND TV
— OHL —	OVERHEAD UTILITY
— UTL —	UNDERGROUND UTILITY
— FBO —	UNDERGROUND FIBER OPTIC
— 990 —	CONTOUR (MAJOR)
— 989 —	CONTOUR (MINOR)
○	DECIDUOUS TREE
★	CONIFEROUS TREE
— — — — —	TREE LINE
○	MANHOLE/STRUCTURE
□	CATCH BASIN
⊕	HYDRANT
⊗	VALVE
⊗	CURB STOP
⊗	POWER POLE
□	UTILITY PEDESTAL / CABINET
PROPOSED	
— — — — —	LOT LINE
— — — — —	RIGHT OF WAY
- - - - -	EASEMENT
— — — — —	CULVERT
— — — — —	STORM SEWER
— — — — —	STORM SEWER (PIPE WIDTH)
— — — — —	SANITARY SEWER
— — — — —	SANITARY SEWER (PIPE WIDTH)
— — — — —	WATER
— — — — —	GAS
— — — — —	OVERHEAD ELECTRIC
— — — — —	UNDERGROUND ELECTRIC
— — — — —	UNDERGROUND TV
— — — — —	CONTOUR
— — — — —	MANHOLE (STORM, SANITARY)
— — — — —	CATCH BASIN
— — — — —	HYDRANT
— — — — —	VALVE

CIVIL SHEET INDEX

SHEET INDEX

- C0-10 SITE DATA
- C0-20 DETAILS
- C1-10 SWPPP NOTES
- C1-20 SWPPP DETAILS
- C1-30 PRE-CONSTRUCTION SWPPP
- C1-40 PROPOSED SWPPP
- C2-10 EXISTING SITE AND REMOVAL PLAN
- C3-10 SITE PLAN
- C3-20 UTILITY PLAN
- C4-10 GRADING PLAN
- C5-10 RESTORATION PLAN
- C5-11 PLANTING PLAN
- C5-30 PLANTING NOTES AND DETAILS
- C6-10 SITE PHOTOMETRIC

SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	10/30/2024	ARA	CITY SUBMITTAL #1
2			
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PROFESSIONAL SEAL:



06/20/2025

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PROJECT

U-HAUL

PR-2023-008710

ALBUQUERQUE NEW MEXICO

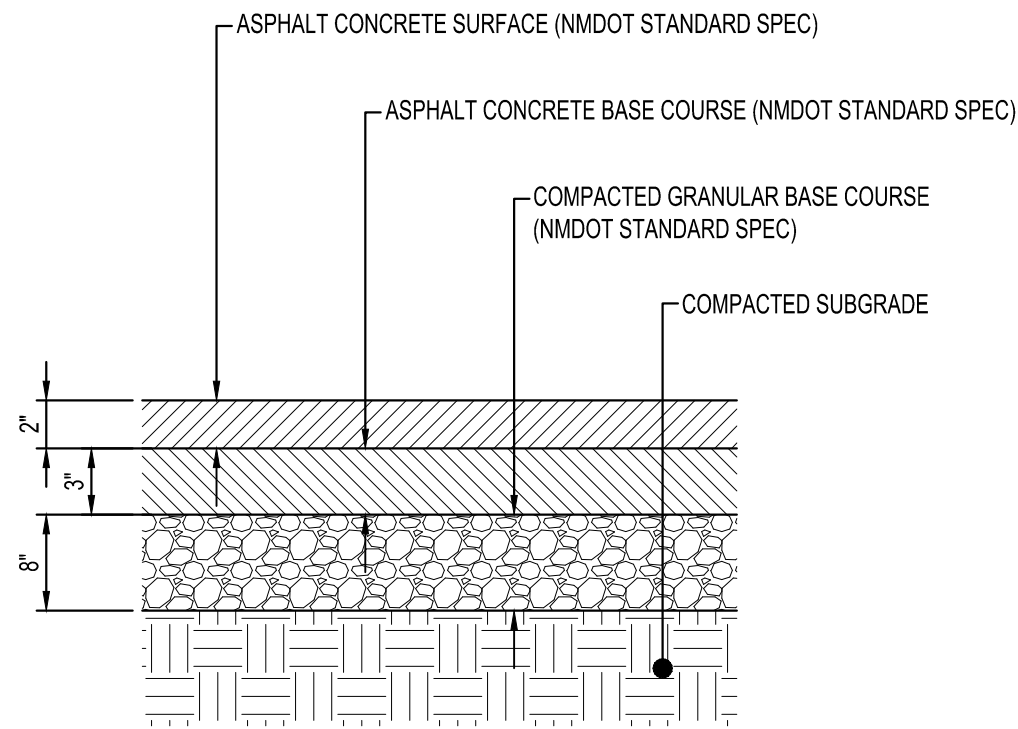
SITE ADDRESS:
U-Haul Moving & Storage
8200 JEFFERSON ST

SHEET CONTENTS:

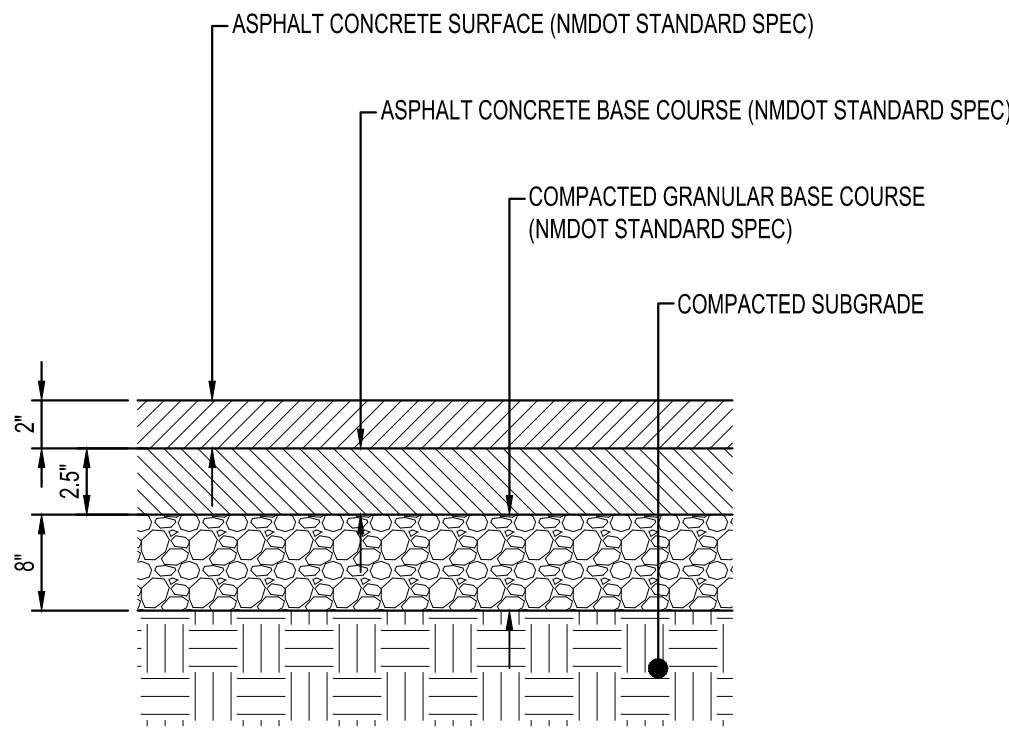
SITE DATA

824071

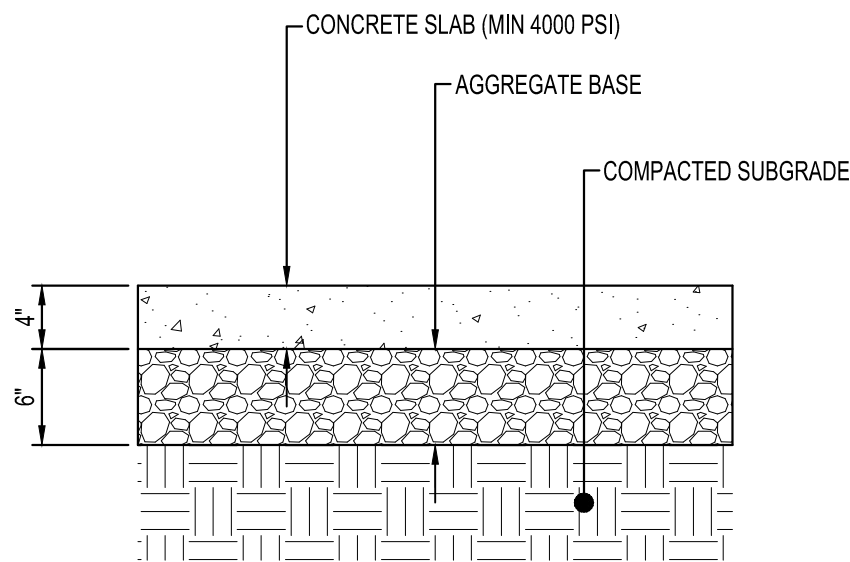
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DATE:		
CO-TITLE		



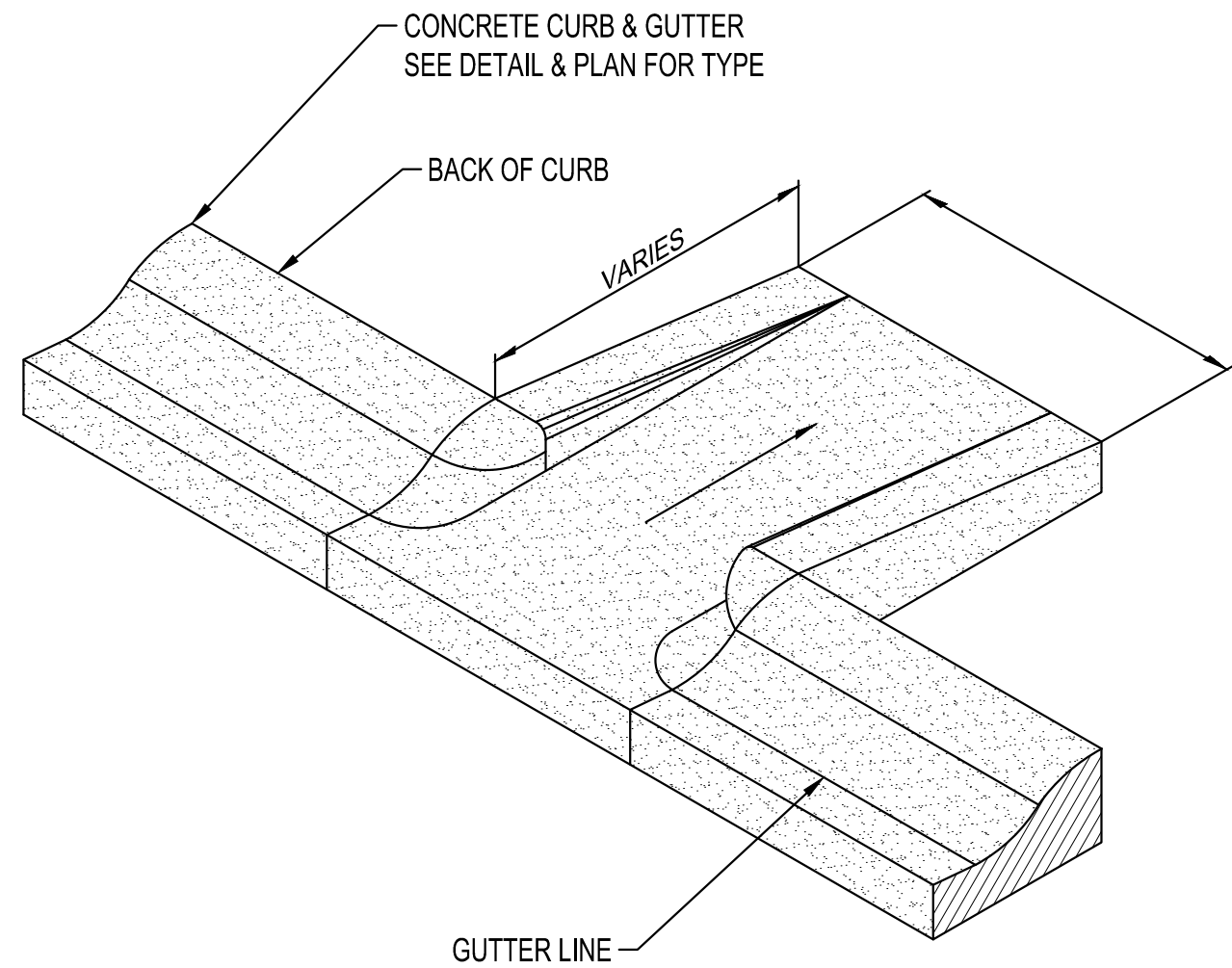
HEAVY DUTY
ASPHALT PAVEMENT
NTS



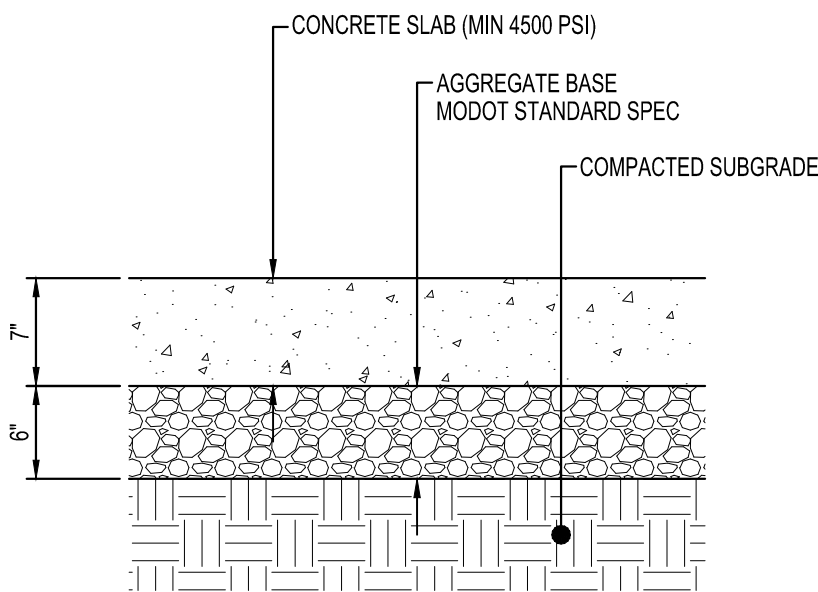
STANDARD
ASPHALT PAVEMENT
NTS



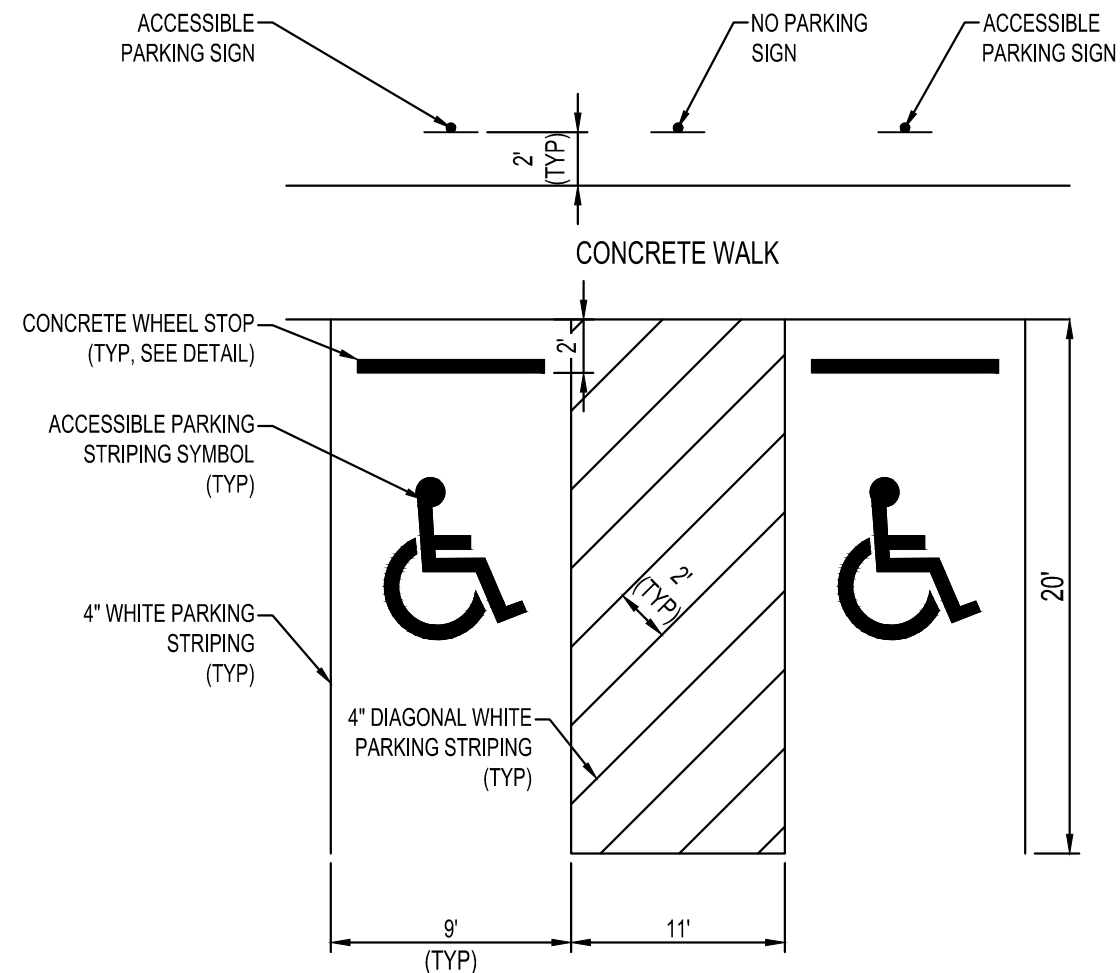
CONCRETE SIDEWALK
NTS



FLUME CURB CUT
NTS



STANDARD
CONCRETE PAVEMENT
NTS



ACCESSIBLE PARKING AREA
NTS

SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	10/02/2024	ARA	CITY SUBMITTAL #1
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PR-2023-008710

ALBUQUERQUE NEW MEXICO
SITE ADDRESS:
U-Haul Moving & Storage
8200 JEFFERSON ST

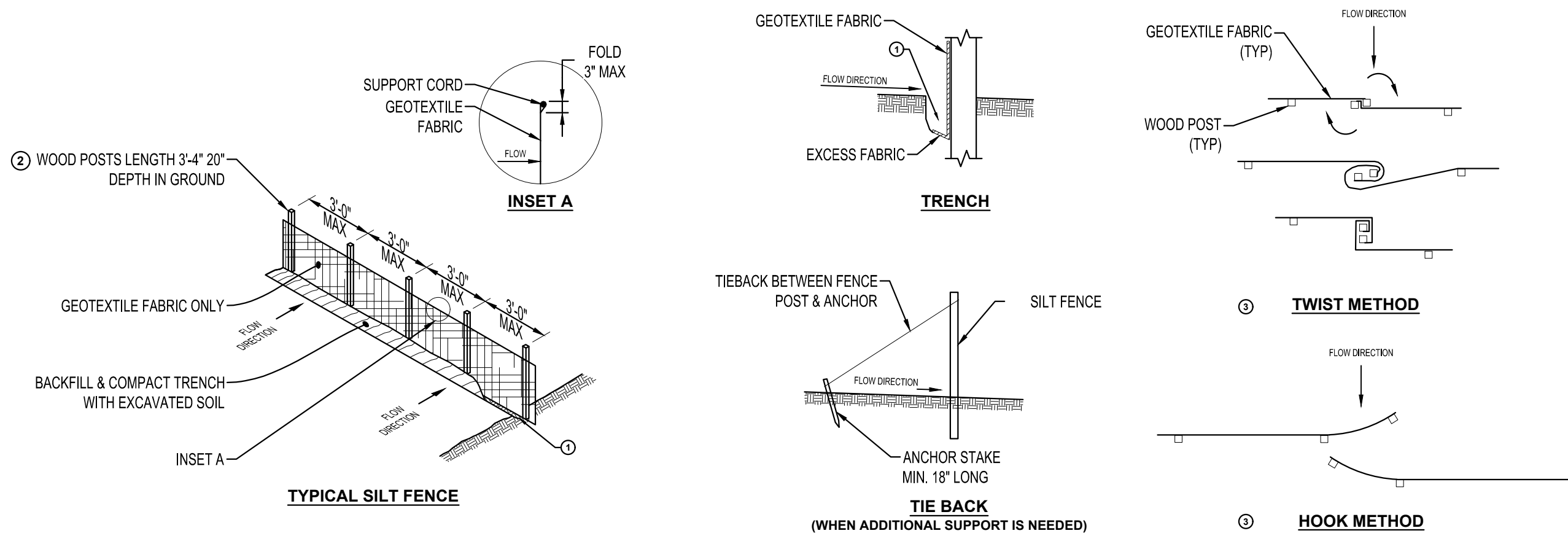
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DETAILS

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DATE:	---/---/---	

C0-DETAILS

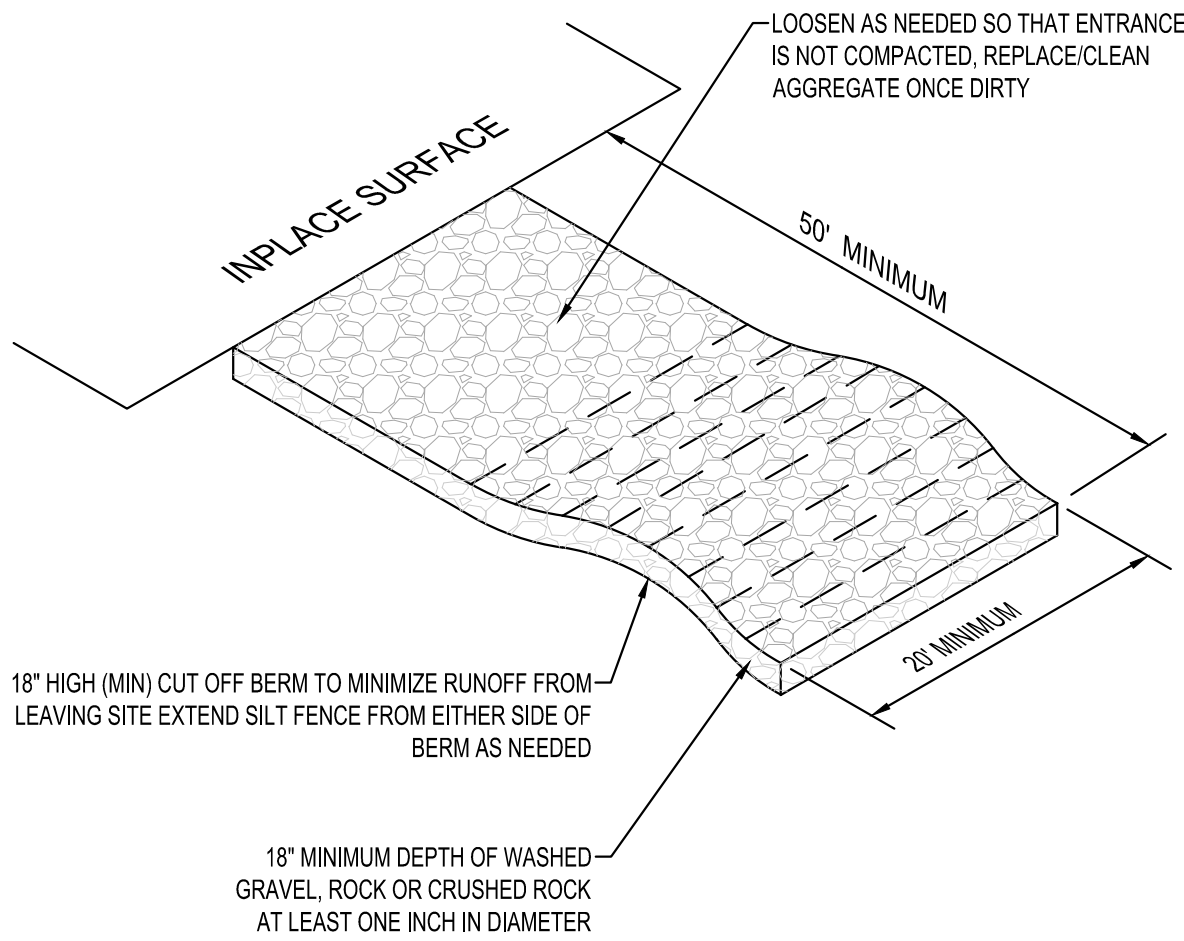


NOTES:

- ATTACH FABRIC TO THE POSTS WITH WIRE STAPLES OR WOODEN LATH & NAILS. ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS. 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.
- 1 TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY & ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH, BACKFILL, & COMPACT TRENCH WITH EXCAVATED SOIL.
- 2 WOOD POST SHALL BE A MINIMUM SIZE OF 1 1/2" x 1 1/2" OF OAK OR HICKORY.
- 3 CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS.
- A. TWIST METHOD - OVERLAP THE END POSTS & TWIST, OR ROTATE AT LEAST 180°.
- B. HOOK METHOD - HOOK END OF EACH SILT FENCE LENGTH.

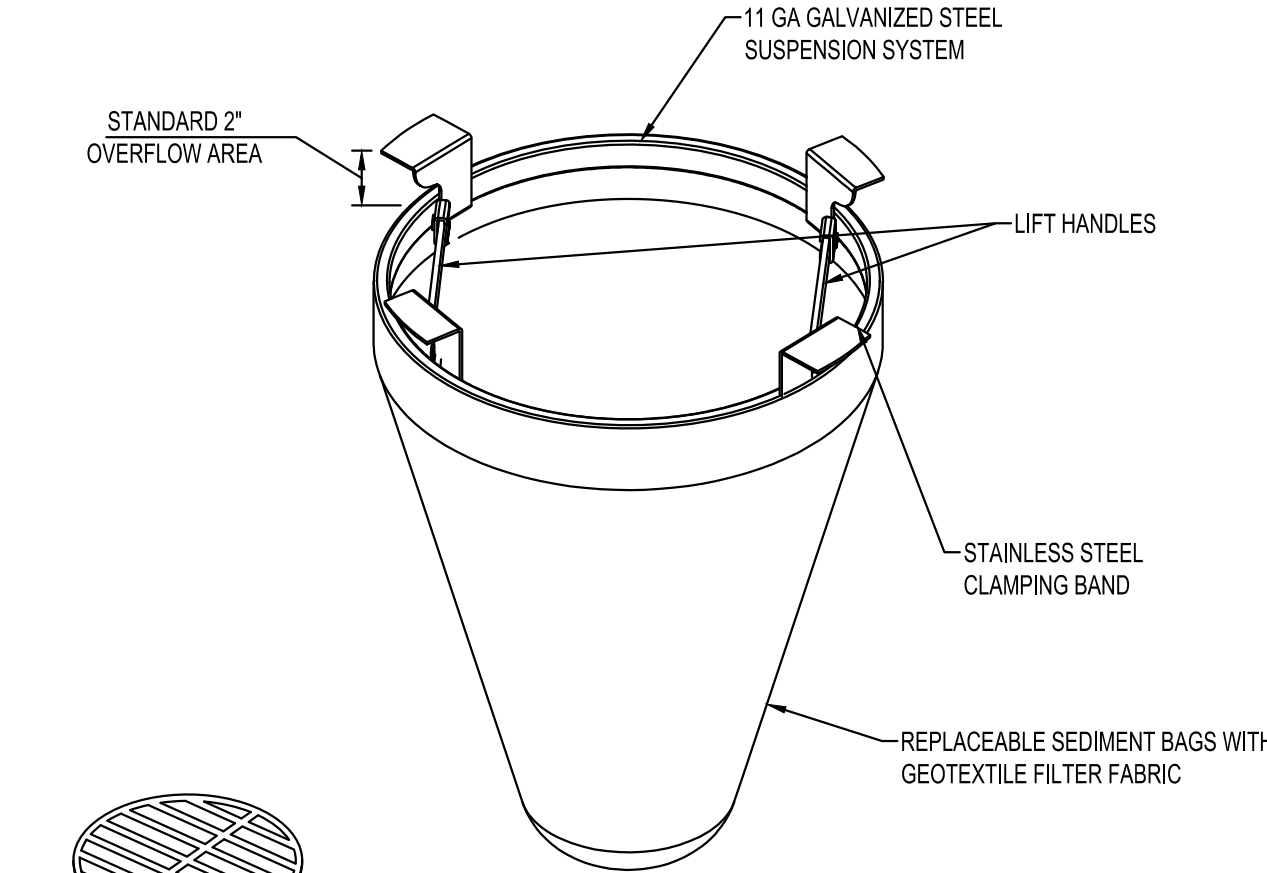
SILT FENCE

NTS



ROCK TRACKING PAD

NTS



NOTES:

FOR SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

INSTALLATION:

- REMOVE GRATE
- DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
- REPLACE GRATE

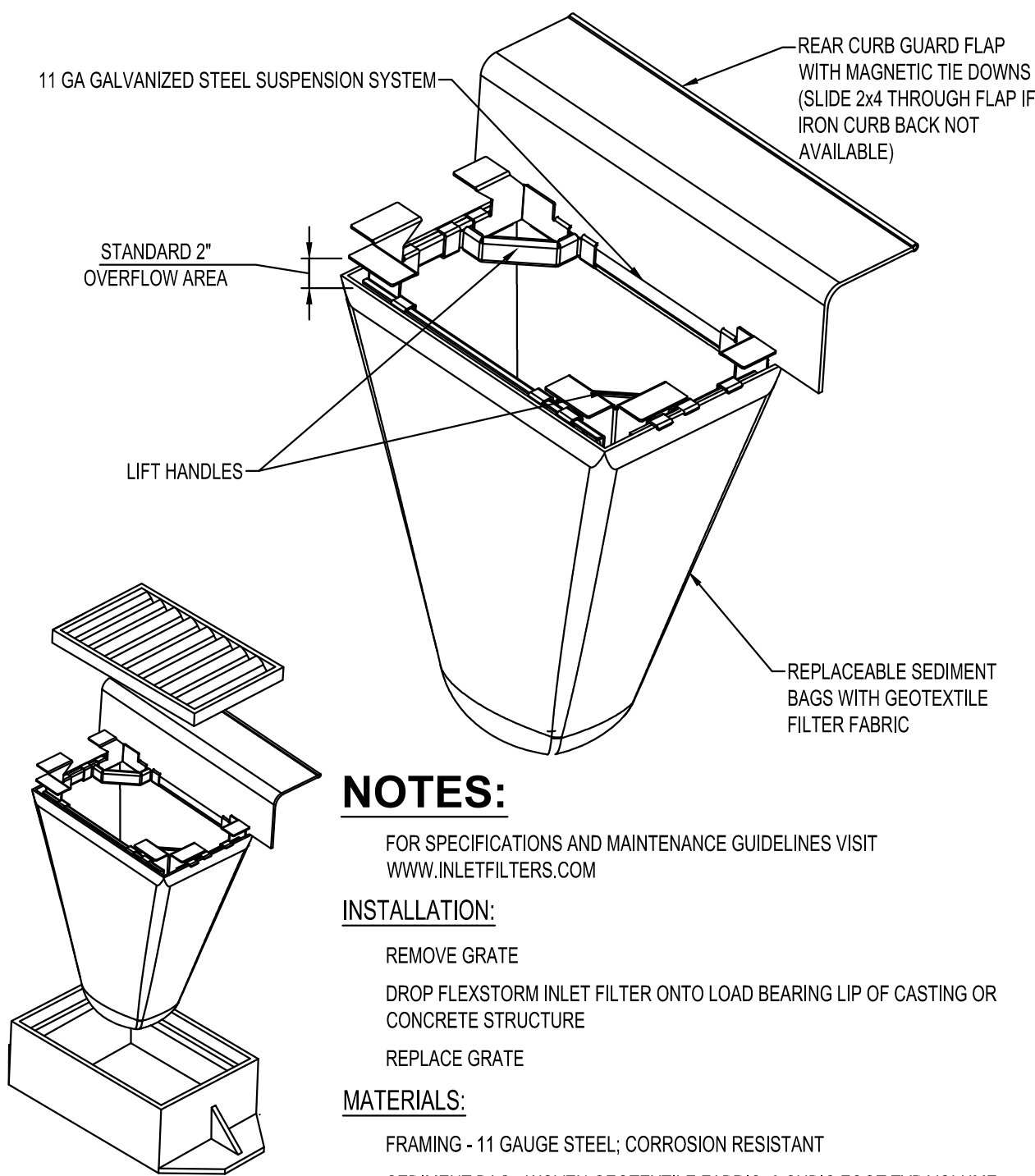
MATERIALS:

FRAMING - 11 GAUGE STEEL; CORROSION RESISTANT

SEDIMENT BAG - WOVEN GEOTEXTILE FABRIC; 2 CUBIC FOOT TYP VOLUME; STAINLESS STEEL LOCKING BAND SECURING BAG TO FRAME

ROUND FILTER INLET PROTECTION

NTS



NOTES:

FOR SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

INSTALLATION:

- REMOVE GRATE
- DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
- REPLACE GRATE

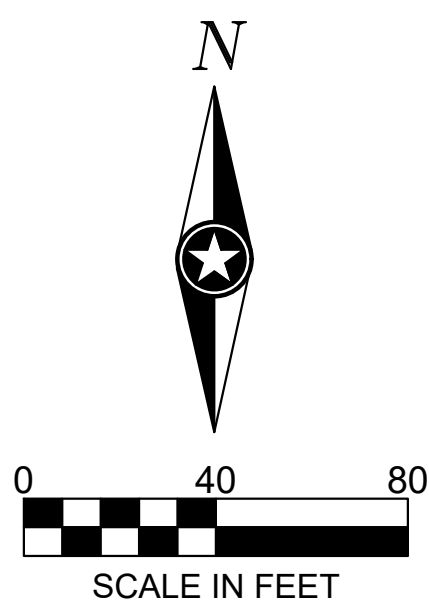
MATERIALS:

FRAMING - 11 GAUGE STEEL; CORROSION RESISTANT

SEDIMENT BAG - WOVEN GEOTEXTILE FABRIC; 2 CUBIC FOOT TYP VOLUME; STAINLESS STEEL LOCKING BAND SECURING BAG TO FRAME

CURB BOX FILTER INLET PROTECTION

NTS



SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	10/30/2024	ARA	CITY SUBMITTAL #1
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PROJECT

U-HAUL
PR-2023-008710

ALBUQUERQUE NEW MEXICO

SITE ADDRESS:
U-Haul Moving & Storage
8200 JEFFERSON ST

SHEET CONTENTS:

SWPPP DETAILS

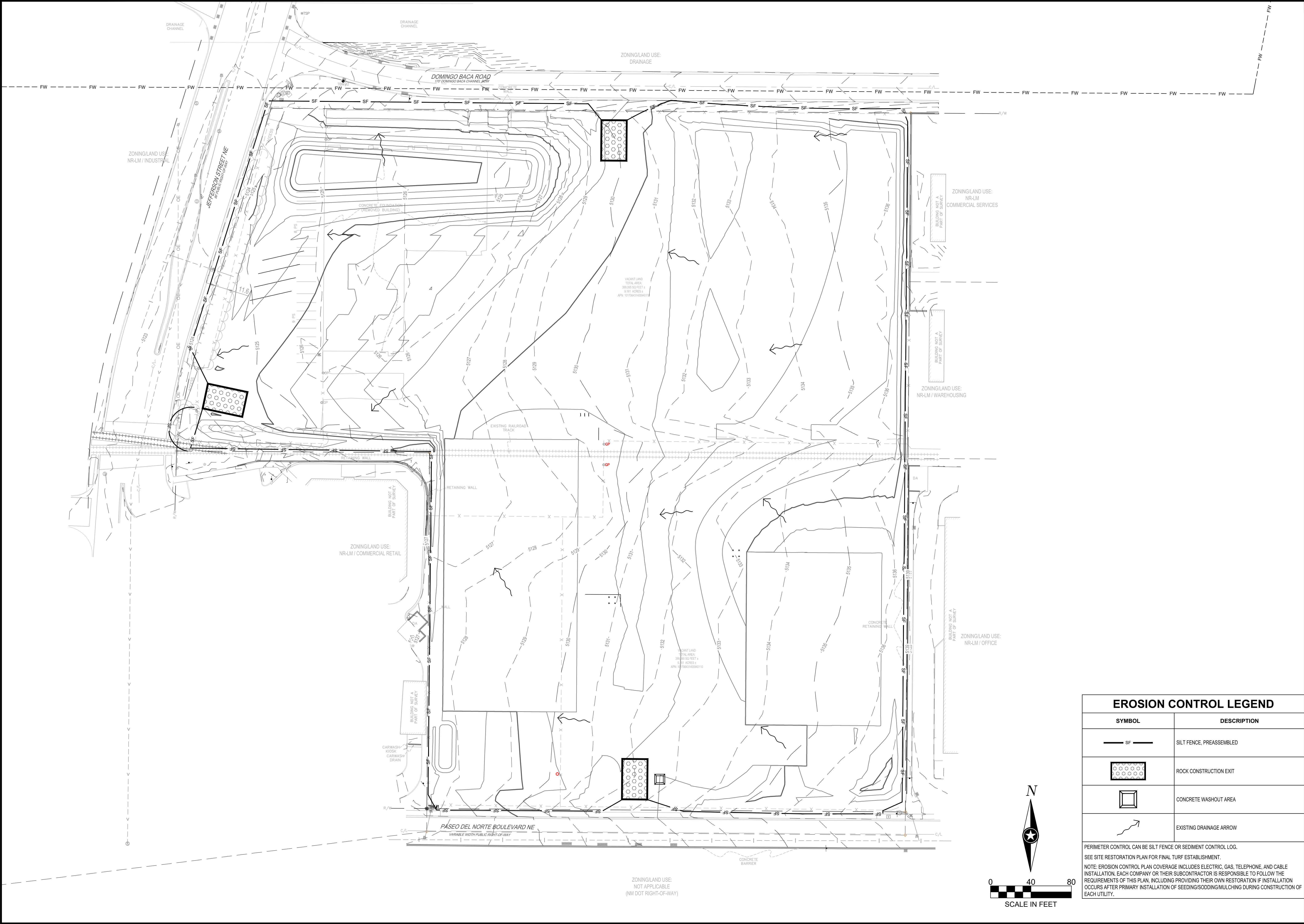
824071

DRAWN: GBV

CHECKED: ARA **C1-20**

DATE: 6/20/2025

C1-SWPPP



EROSION CONTROL LEGEND

SYMBOL	DESCRIPTION
	SILT FENCE, PREASSEMBLED
	ROCK CONSTRUCTION EXIT
	CONCRETE WASHOUT AREA
	EXISTING DRAINAGE ARROW

PERIMETER CONTROL CAN BE SILT FENCE OR SEDIMENT CONTROL LOG.
SEE SITE RESTORATION PLAN FOR FINAL TURF ESTABLISHMENT.
NOTE: EROSION CONTROL PLAN COVERAGE INCLUDES ELECTRIC, GAS, TELEPHONE, AND CABLE INSTALLATION. EACH COMPANY OR THEIR SUBCONTRACTOR IS RESPONSIBLE TO FOLLOW THE REQUIREMENTS OF THIS PLAN, INCLUDING PROVIDING THEIR OWN RESTORATION IF INSTALLATION OCCURS AFTER PRIMARY INSTALLATION OF SEEDING/SODDING/MULCHING DURING CONSTRUCTION OF EACH UTILITY.

SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	10/02/2024		CITY SUBMITTAL #1
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PROFESSIONAL SEAL:

RYAN J. ANDERSON

NEW MEXICO

28792

PROFESSIONAL ENGINEER

06/20/2025

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U-HAUL

PR-2023-008710

ALBUQUERQUE

NEW MEXICO

SITE ADDRESS:

U-Haul Moving & Storage

8200 JEFFERSON ST

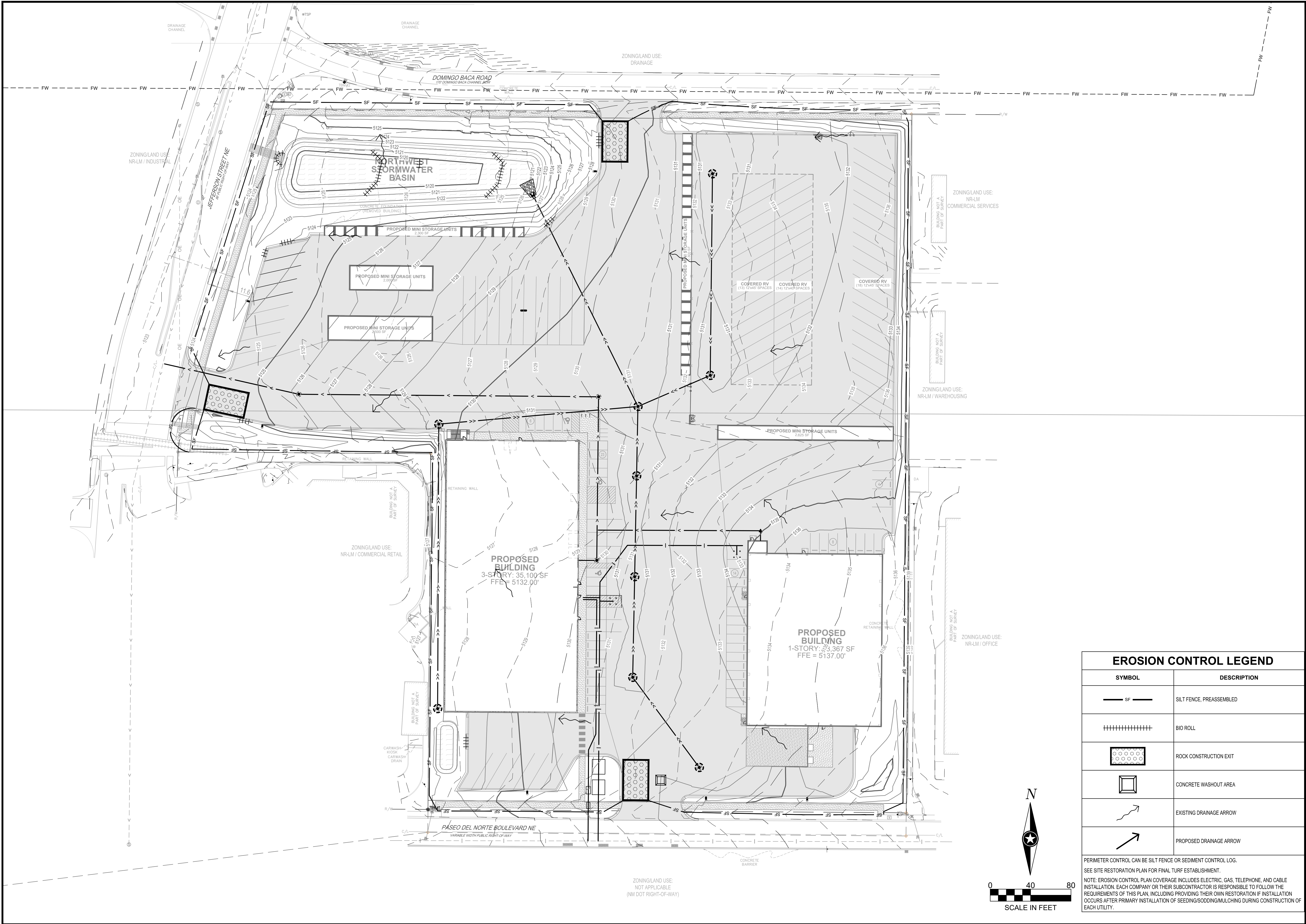
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PRE-CONSTRUCTION SWPPP

824071

DRAWN:	GBV	
CHECKED:	ARA	C1-30
DATE:		

C1-SWPPP



EROSION CONTROL LEGEND

SYMBOL	DESCRIPTION
— SF —	SILT FENCE, PREASSEMBLED
	BIO ROLL
	ROCK CONSTRUCTION EXIT
	CONCRETE WASHOUT AREA
	EXISTING DRAINAGE ARROW
	PROPOSED DRAINAGE ARROW

PERIMETER CONTROL CAN BE SILT FENCE OR SEDIMENT CONTROL LOG.
SEE SITE RESTORATION PLAN FOR FINAL TURF ESTABLISHMENT.
NOTE: EROSION CONTROL PLAN COVERAGE INCLUDES ELECTRIC, GAS, TELEPHONE, AND CABLE INSTALLATION. EACH COMPANY OR THEIR SUBCONTRACTOR IS RESPONSIBLE TO FOLLOW THE REQUIREMENTS OF THIS PLAN, INCLUDING PROVIDING THEIR OWN RESTORATION IF INSTALLATION OCCURS AFTER PRIMARY INSTALLATION OF SEEDING/SODDING/MULCHING DURING CONSTRUCTION OF EACH UTILITY.

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PR-2023-008710

ALBUQUERQUE NEW MEXICO

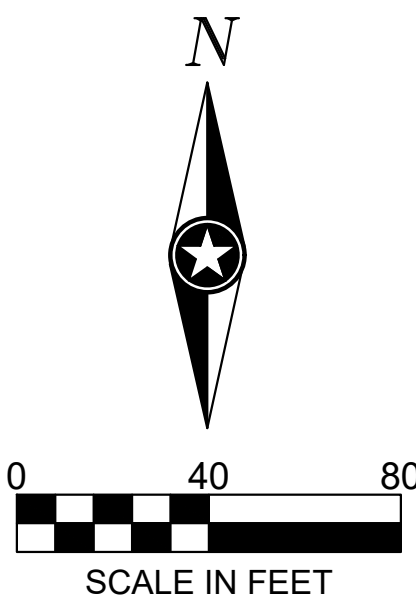
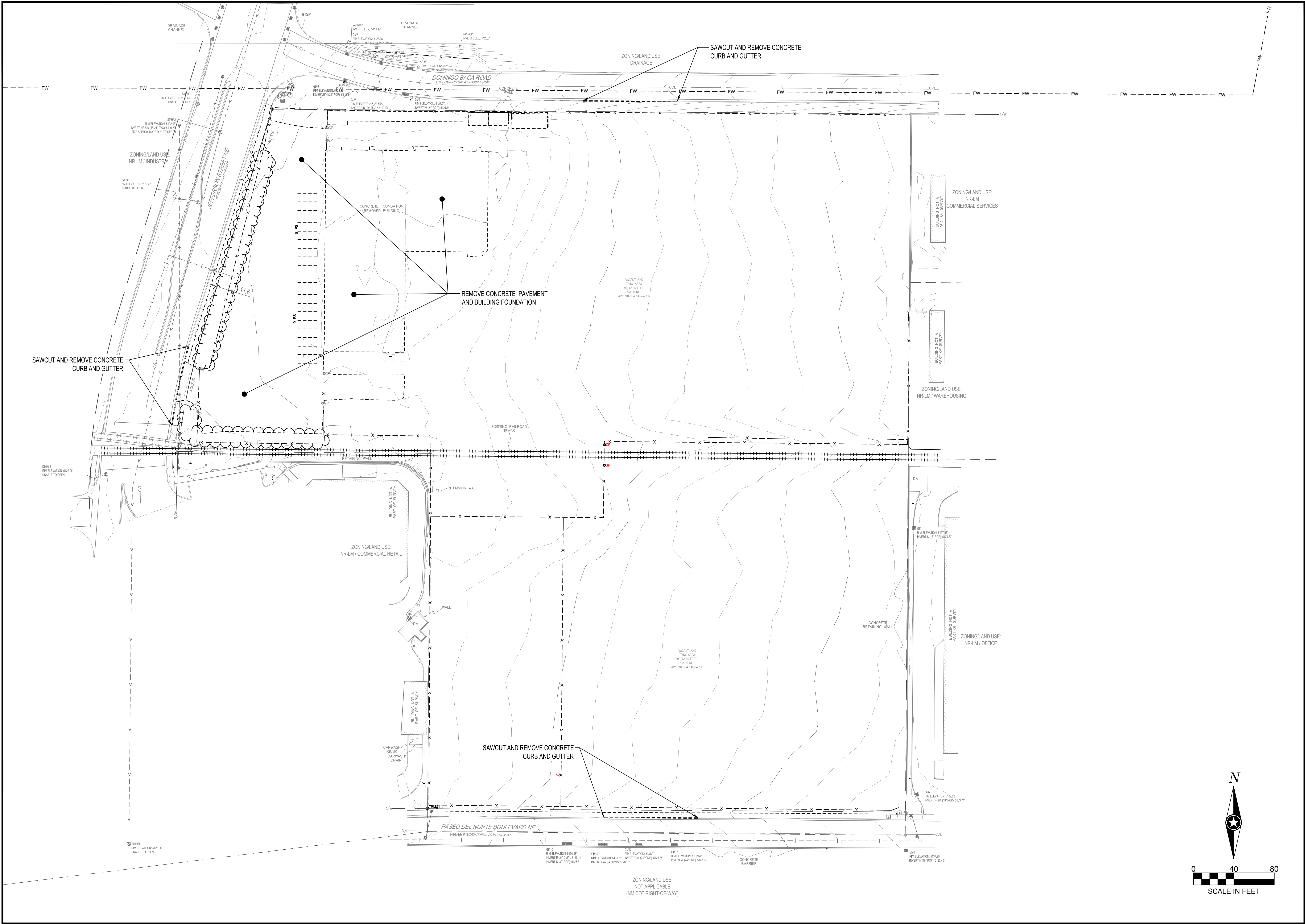
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U-Haul Moving & Storage
8200 JEFFERSON ST

SHEET CONTENTS:
PROPOSED SWPPP

824071

DRAWN:	GBV
CHECKED:	ARA
DATE:	

C1-SWPPP



SHEET NOTES:

REVISIONS:

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PROFESSIONAL SEAL:

RYAN J. ANDERSON

NEW MEXICO

28792

PROFESSIONAL ENGINEER

06/20/2025

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ALBUQUERQUE NEW MEXICO

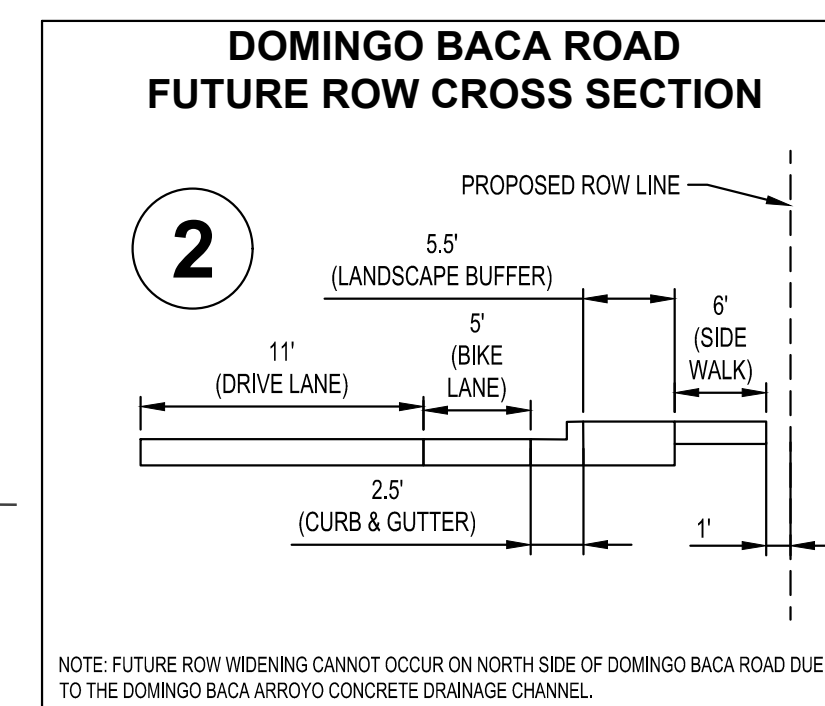
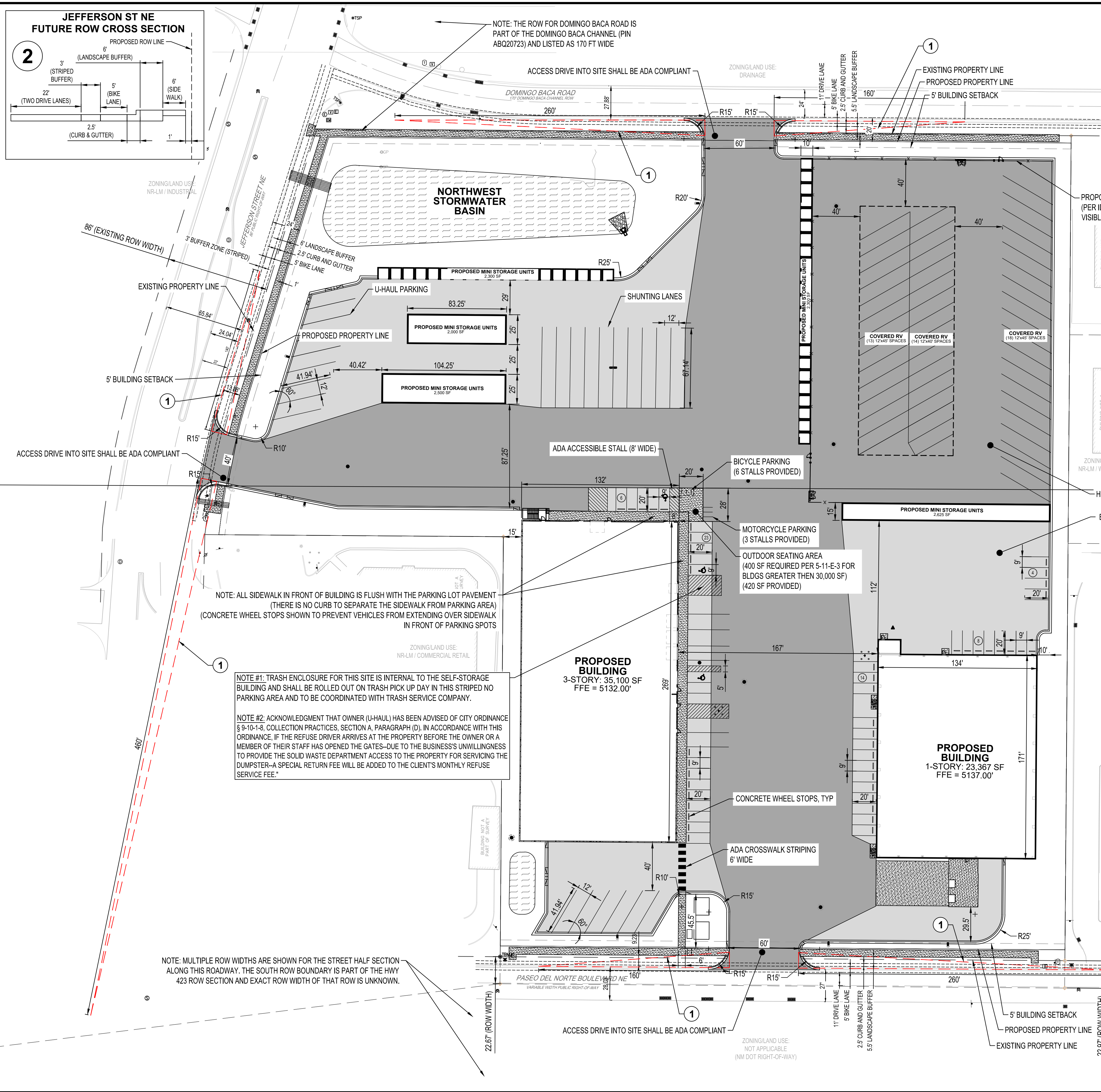
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8200 JEFFERSON ST

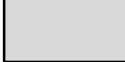

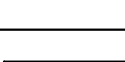
SHEET CONTENTS:
EXISTING SITE
AND REMOVAL
PLAN

824071

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CHECKED:	ARA	C2-10
DATE:	---	

C2-EXISTING



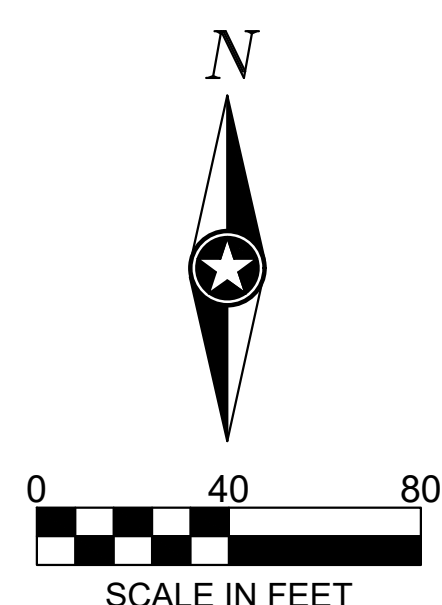
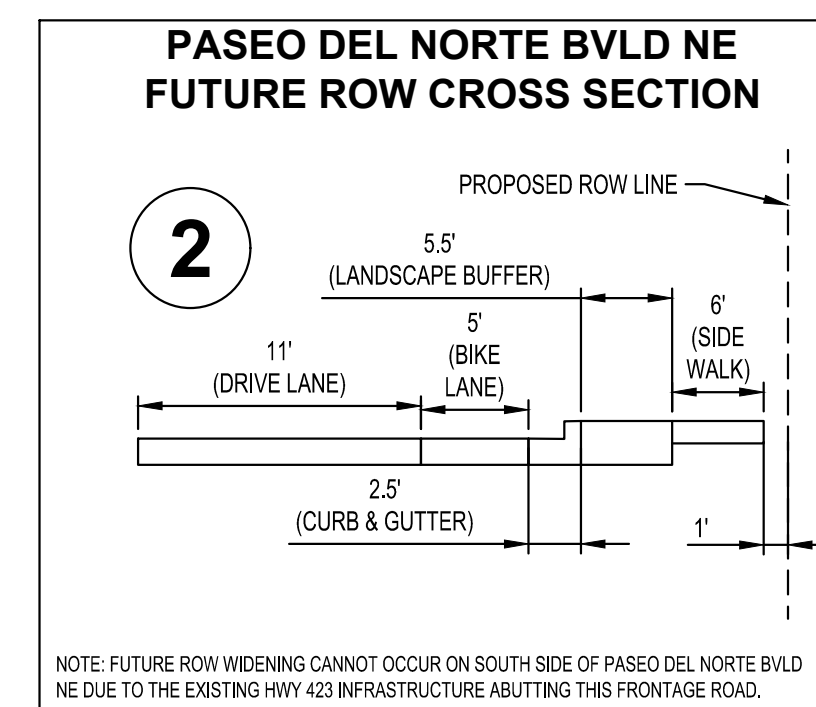
PAVEMENT LEGEND	
SYMBOL	DESCRIPTION
	BITUMINOUS PAVEMENT (4.5" ACC OVER 6" AGGREGATE BASE)
	HEAVY DUTY BITUMINOUS PAVEMENT (5" ACC OVER 6" AGGREGATE BASE)
	HEAVY DUTY CONCRETE PAVEMENT

SITE SUMMARY	
ZONING:	NR-LM
HEAVY VEHICLE AND EQUIPMENT RENTAL AREA:	4,603 SF
SELF-STORAGE BUILDING SELF-STORAGE AREA:	117,826 SF
U-BOX BUILDING SELF-STORAGE AREA:	23,367 SF
MINI-STORAGE BUILDING SELF-STORAGE AREA:	9,425 SF

PARKING REQUIREMENTS (PER ALBUQUERQUE IDO)			
TYPE	UNIT / AREA	STALLS REQUIRED	STALLS PROVIDED
HEAVY VEHICLE AND EQUIPMENT RENTAL:	1 / 1,000 SF GFA	5 SPACES (4,603 / 1000 = 4.6)	5
SELF-STORAGE AREA:	1 / 3,000 SF GFA	50 SPACES (150,618 / 3,000 = 50.2)	50
ADA (ACCESSIBLE):		3 SPACES FOR 51-75 SPACES	3
BICYCLE:	3 SPACES OR 10% OF REQ. OFF-STREET PARKING SPACES, WHICHEVER IS GREATER (55 * 10% = 5.5)		3
MOTORCYCLE:	3 SPACES FOR 51-100 REQ. OFF-STREET PARKING SPACES		6
	TOTAL:	55	55

SETBACKS	
	BUILDING
FRONT YARD	15'-0"
SIDE YARD	5'-0"
REAR YARD	15'-0"

KEY NOTES	
1	LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
2	FUTURE ROW WIDENING SHOWN ON SITE PLAN FOR FUTURE PLANNING PURPOSES FOR ROW WIDENING ONLY AND CONSTRUCTION OF BIKE LANES AND NEW CURB AND GUTTER ALONG THE ADJACENT ROADWAYS ARE NOT PART OF THE CONSTRUCTION OF THIS PROJECT.

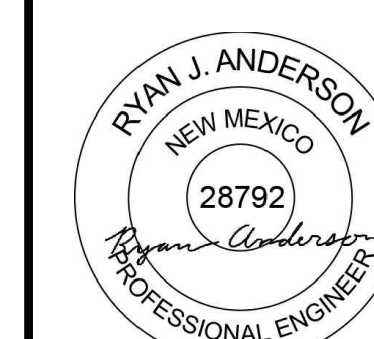


SHEET NOTES

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	10/30/2024	ARA	CITY SUBMITTAL #1
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6			
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06/20/2025



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PROJECT

U-HAUL
PR-2023-00871

ALBUQUERQUE NEW MEXICO

SITE ADDRESS:
U-Haul Moving & Storage
8200 JEFFERSON ST

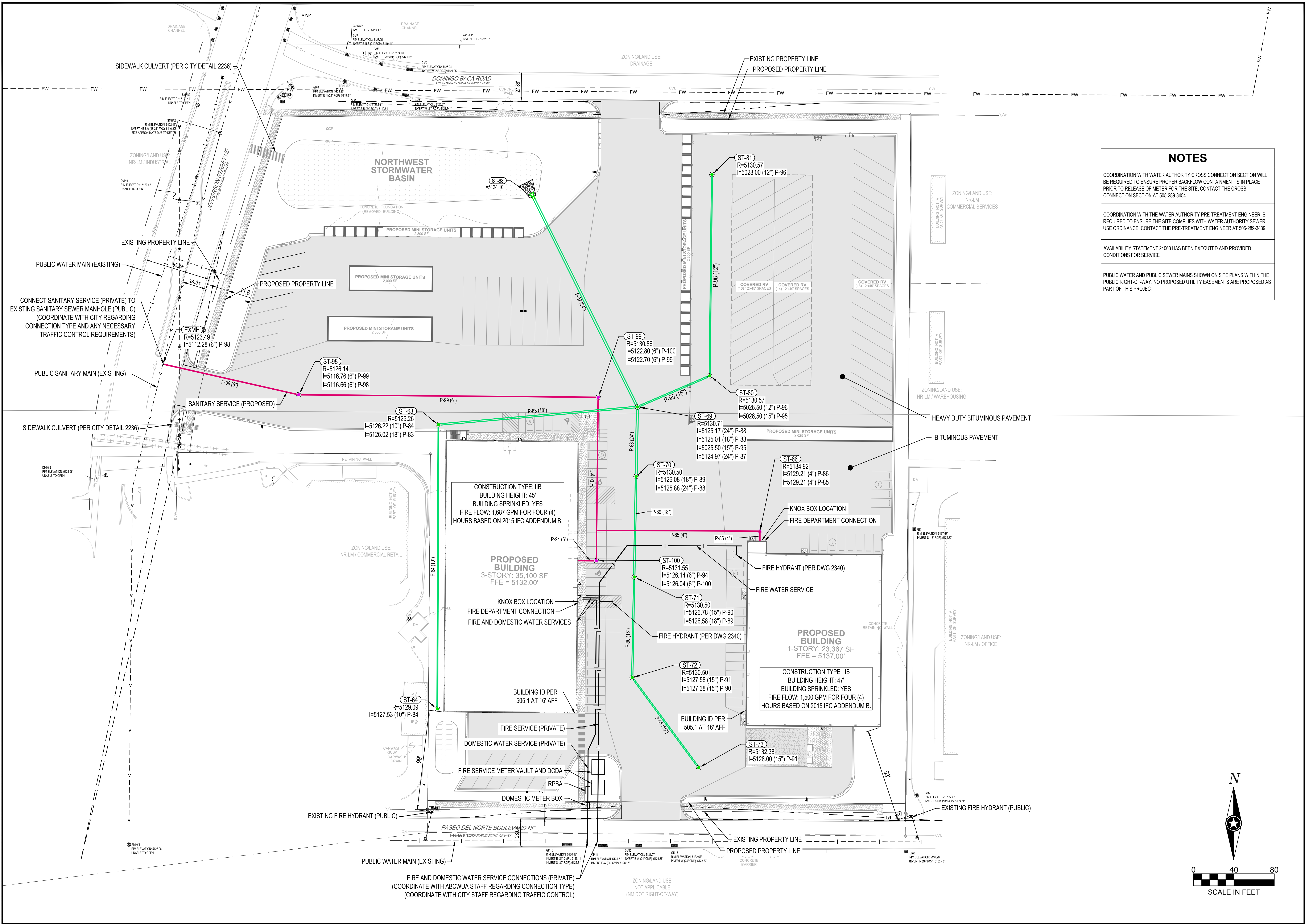
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824071

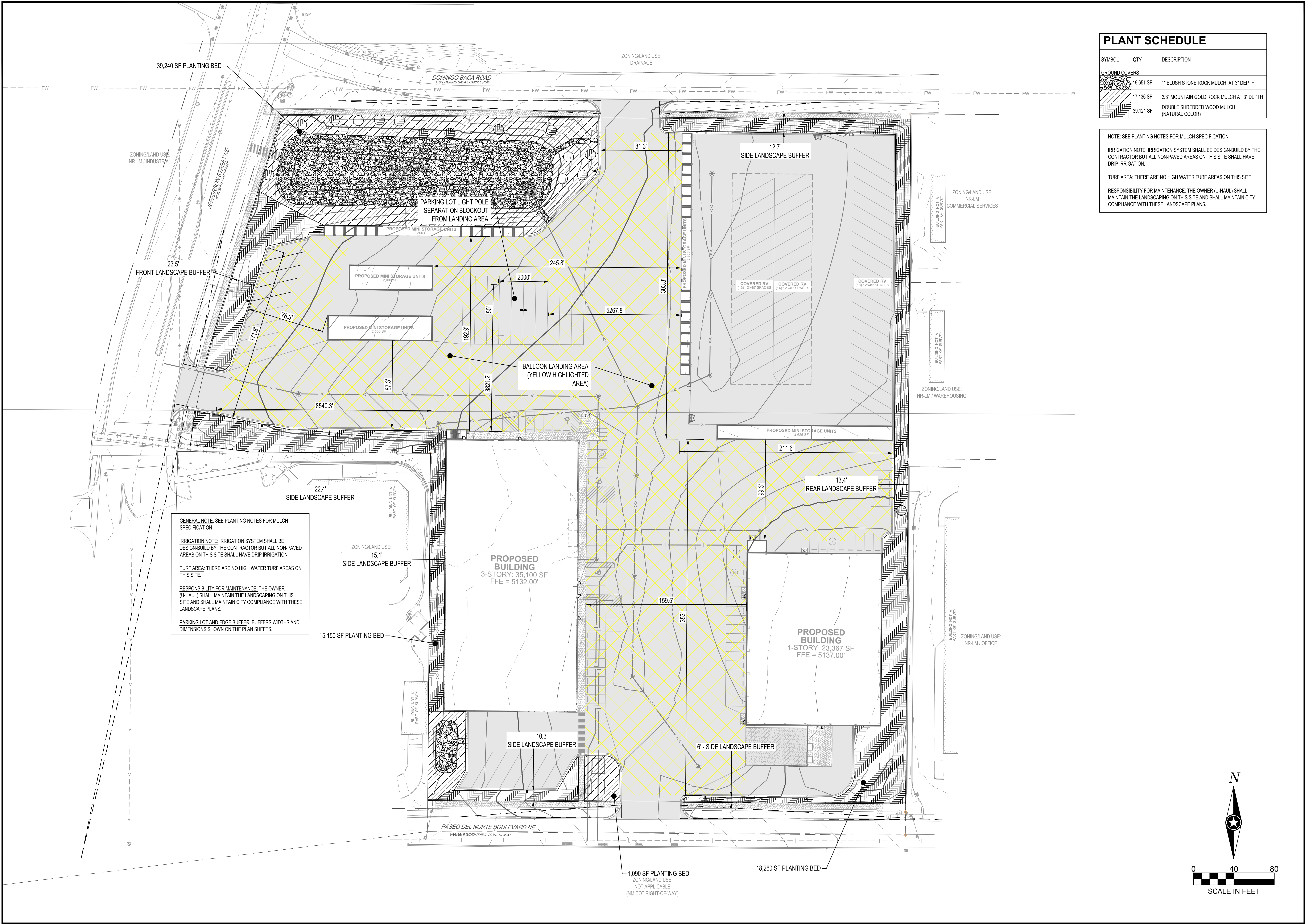
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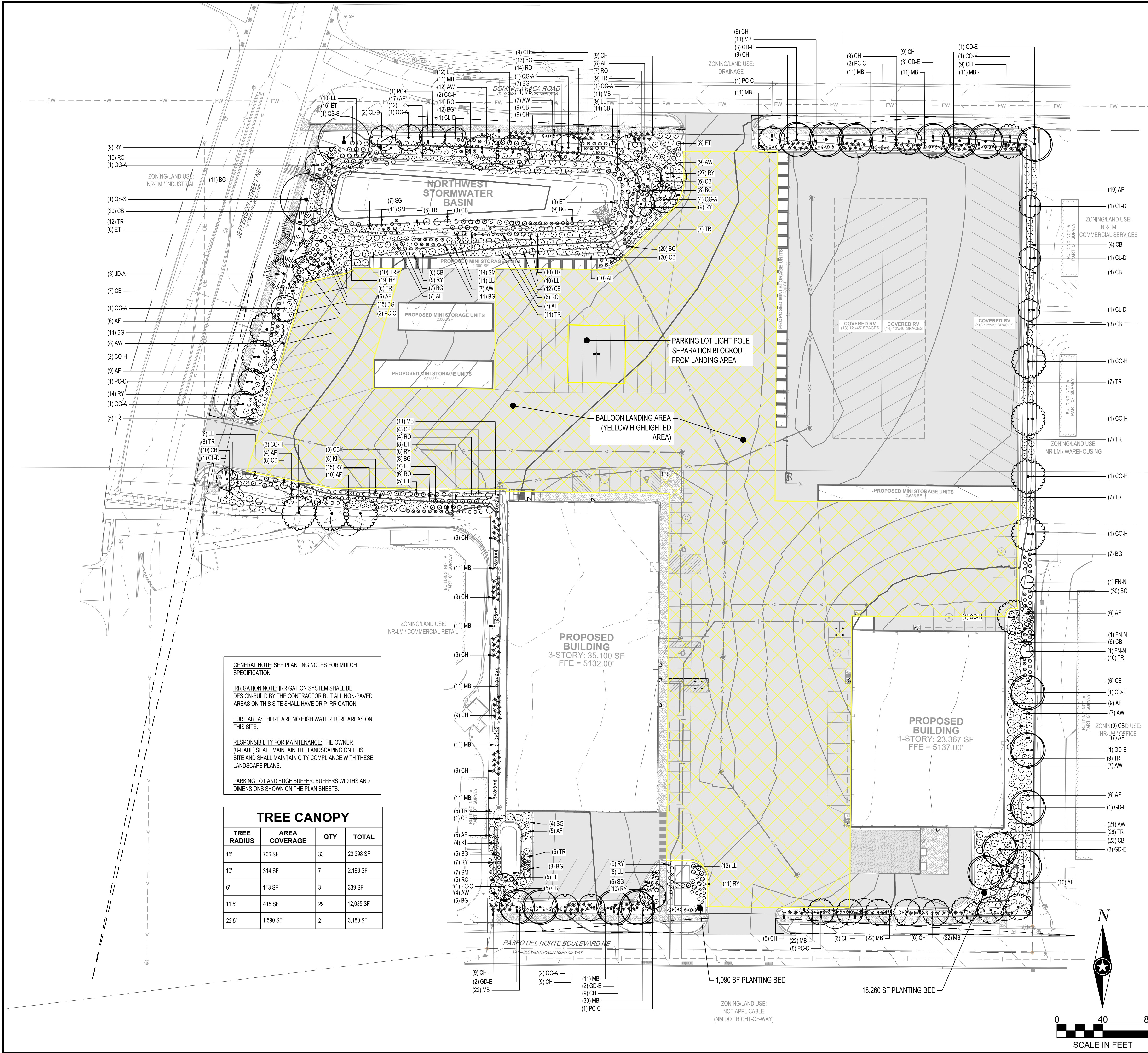
SITE



NOTES	
COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.	
COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.	
AVAILABILITY STATEMENT 24063 HAS BEEN EXECUTED AND PROVIDED CONDITIONS FOR SERVICE.	
PUBLIC WATER AND PUBLIC SEWER MAINS SHOWN ON SITE PLANS WITHIN THE PUBLIC RIGHT-OF-WAY. NO PROPOSED UTILITY EASEMENTS ARE PROPOSED AS PART OF THIS PROJECT.	

SHEET NOTES:				
REVISIONS:				





GENERAL NOTE: SEE PLANTING NOTES FOR MULCH SPECIFICATION

IRRIGATION NOTE: IRRIGATION SYSTEM SHALL BE DESIGN-BUILD BY THE CONTRACTOR BUT ALL NON-PAVED AREAS ON THIS SITE SHALL HAVE DRIP IRRIGATION.

TURF AREA: THERE ARE NO HIGH WATER TURF AREAS ON THIS SITE.

RESPONSIBILITY FOR MAINTENANCE: THE OWNER (U-HAUL) SHALL MAINTAIN THE LANDSCAPING ON THIS SITE AND SHALL MAINTAIN CITY COMPLIANCE WITH THESE LANDSCAPE PLANS.

PARKING LOT AND EDGE BUFFER: BUFFERS WIDTHS AND DIMENSIONS SHOWN ON THE PLAN SHEETS.

TREE CANOPY			
TREE RADIUS	AREA COVERAGE	QTY	TOTAL
15'	706 SF	33	23,298 SF
10'	314 SF	7	2,198 SF
6'	113 SF	3	339 SF
11.5'	415 SF	29	12,035 SF
22.5'	1,590 SF	2	3,180 SF

CITY LANDSCAPE REQUIREMENTS (NR-LM)

TOTAL SITE AREA (10 AC): 399,064 SF
BUILDING AREA: -67,892 SF
NET AREA: 331,172 SF

NON-RESIDENTIAL LIGHT MANUFACTURING STANDARDS:
MUST PROVIDE A MINIMUM LANDSCAPE AREA OF 15% IF THE TOTAL NET LOT AREA = 331,172 X 0.15 = 49,675 SF
REQUIRED / PROVIDED LANDSCAPE 49,675 SF (15%) / 73,740 SF (16.5%) (COMPLIANT)

REQUIRED VEGETATIVE COVERAGE: IDO 5-6 (C)(2)(c)
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75% OF THE TOTAL LANDSCAPE AREA, A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUB, GRASSES, ETC) OF THE REQUIRED VEGETATIVE COVERAGE.

REQUIRED PROVIDED LIVE VEGETATIVE COVERAGE 37,257 SF (75%) / 40,836 SF (83%) (COMPLIANT)
REQUIRED PROVIDED GROUND LEVEL COVERAGE 12,418 SF (25%) / 19,851 SF (61%) (COMPLIANT)

STREET FRONTAGE LANDSCAPING:
TREES ARE REQUIRED ALONG STREET FRONTS EVERY (25') ON CENTER.
• 1,400 LF OF LOT FRONTAGE / 25 = 56 TREES REQUIRED / 56 TREES PROPOSED (COMPLIANT)

PLANTING SHALL MEET THE MINIMUM SIZE REQUIREMENTS LISTED IN TABLE 5-6-3.

PARKING LOT INTERIOR REQUIREMENTS:
AT LEAST (10%) OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR FEW SPACES, AND AT LEAST (15%) OF THE PARKING LOT AREAS OF LOTS CONTAINING 50 OR MORE SPACES SHALL BE LANDSCAPED.

(1) TREE IS REQUIRED PER (10) PARKING SPACES
• 55 PARKING STALLS / 10 = 5.5 TREES REQUIRED / 6 TREES PROPOSED (COMPLIANT)

AT LEAST (75%) OF THE REQUIRED PARKING AREA TREES SHALL BE DECIDUOUS CANOPY-TYPE SHADE TREES, CAPABLE OF ACHIEVING A MATURE CANOPY DIAMETER OF AT LEAST (25') (COMPLIANT)

GRAVEL MULCH COVERAGE:
LANDSCAPE SHALL APPLY PURSUANT TO 5-6(C)(5)(C) THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75% OF ANY LANDSCAPED AREA

REQUIRED: 37,257 SF (NO MORE THAN 75%)
PROVIDED: 36,787 SF (74%) (COMPLIANT)

ADDITIONAL NOTES:
ALL LANDSCAPING IS PLACED WITHIN PROPERTY LINES
ALL LANDSCAPING SHALL NOT BE PLACED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE (COMPLIANT)

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
EVERGREEN TREES					
	JD-A	3	JUNIPERUS DEPPEANA / ALLIGATOR JUNIPER	6' HT MIN	B & B
ORNAMENTAL TREES					
	CL-D	7	CHIOPSIS LINEARIS / DESERT WILLOW	1.5" CAL	B & B
	FN-N	3	FORESTIERA NEOMEXICANA / NEW MEXICO PRIVET	1.5" CAL	B & B
SHADE TREES					
	CO-H	13	CELTIS OCCIDENTALIS / COMMON HACKBERRY	2" CAL	B & B
	GD-E	17	GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEETREE	2" CAL	B & B
	PC-C	17	PISTACIA CHINENSIS / CHINESE PISTACHE	2" CAL	B & B
	QG-A	12	QUERCUS GRISEA / ARIZONA GREY OAK	2" CAL	B & B
	QS-S	2	QUERCUS SHUMARDII / SHUMARD OAK	2" CAL	B & B
SHRUBS					
	AW	82	AGAVE WEBERI / WEBER AGAVE	5 GAL	CONT
	AF	142	ARTEMISIA FILIFOLIA / SAND SAGEBRUSH	5 GAL	CONT
	ET	52	ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	5 GAL	CONT
	RY	145	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	CONT
	KI	10	KRASCHENINNIKOVIA LANATA / WINTERFAT	5 GAL	CONT
	CB	191	LARREA TRIDENTATA / CREOSOTE BUSH	5 GAL	CONT
	TR	177	LEUCOPHYLLUM FRUTESCENS / TEXAS RANGER	5 GAL	CONT
	LL	92	LEUCOPHYLLUM LANGMANIAE / LANGMAN'S SAGE	5 GAL	CONT
	BG	190	NOLINA MICROCARPA / BEARGRASS	5 GAL	CONT
	RO	66	ROSMARINUS OFFICINALIS / ROSEMARY	5 GAL	CONT
	SM	32	SALVIA CHAMAEDRYOIDES / MEXICAN BLUE SAGE	5 GAL	CONT
	SG	17	SALVIA GREGGII / AUTUMN SAGE	5 GAL	CONT
PERENNIALS					
	CH	161	COTONEASTER HORIZONTALIS / ROCKSPRAY COTONEASTER	1 GAL	CONT
	MB	283	MELAMPodium LEUCANTHUM / BLACKFOOT DAISY	1 GAL	CONT

SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
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PR-2023-008710

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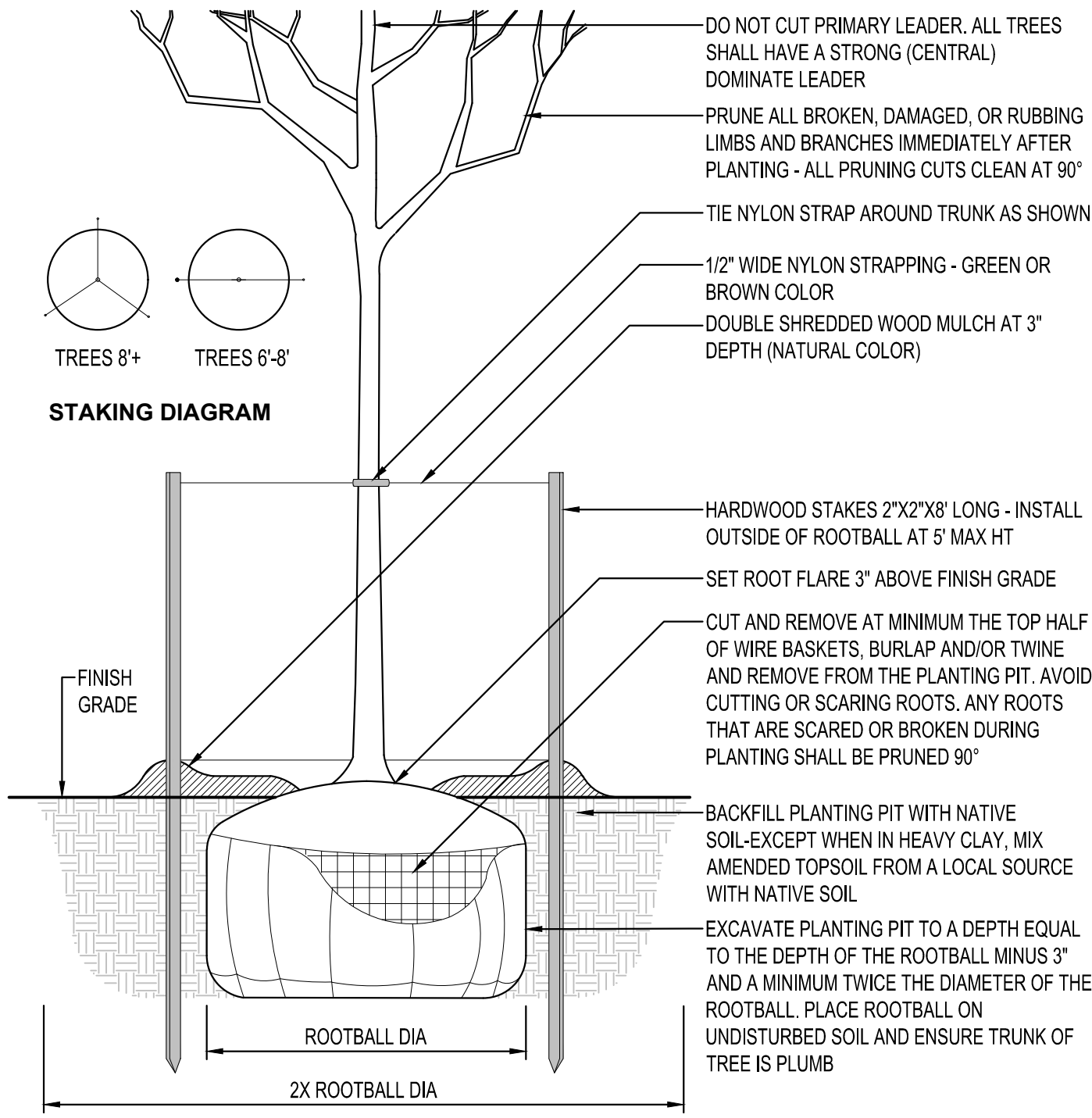
SITE ADDRESS:
U-Haul Moving & Storage
8200 JEFFERSON ST

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PLANTING PLAN

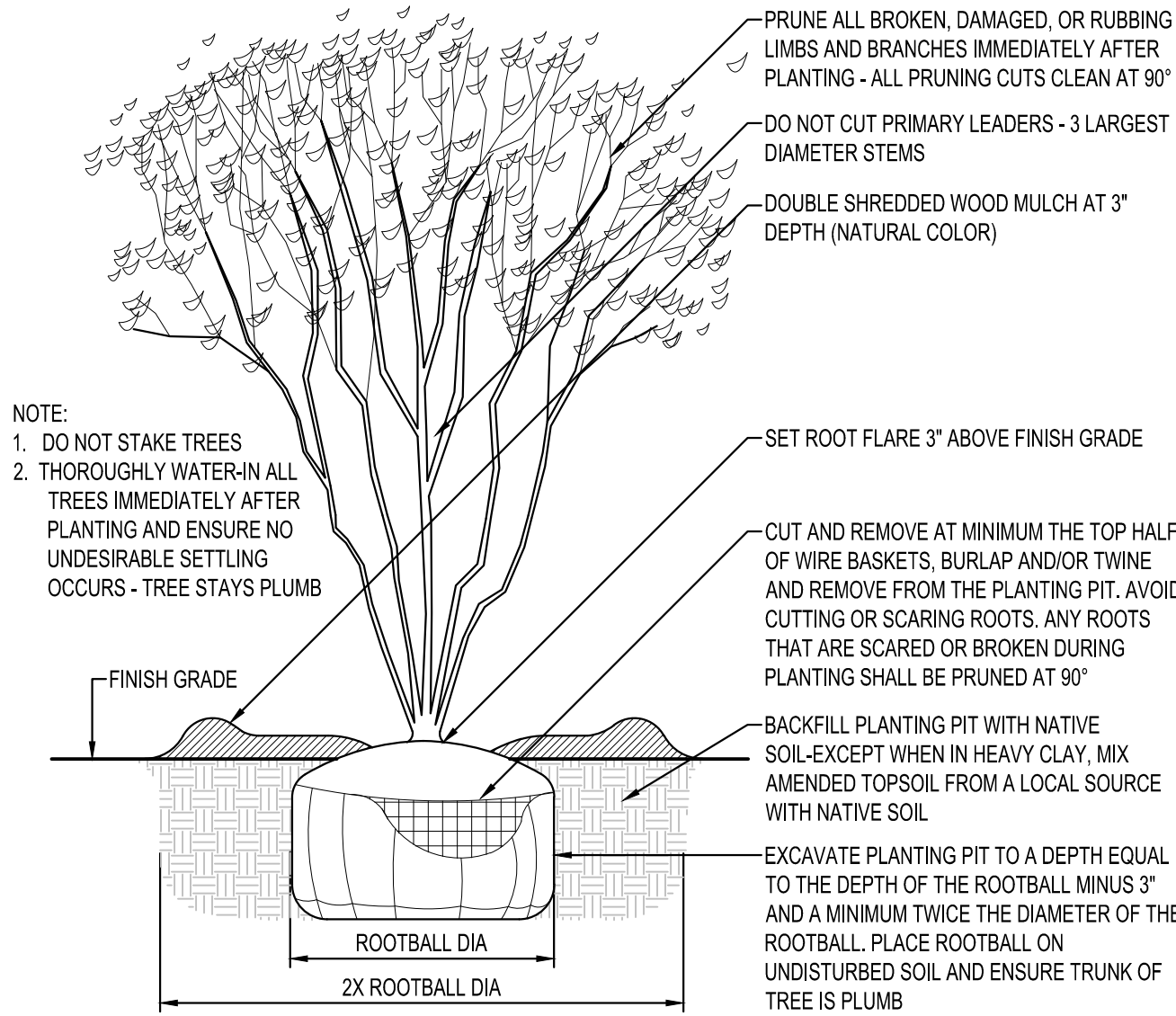
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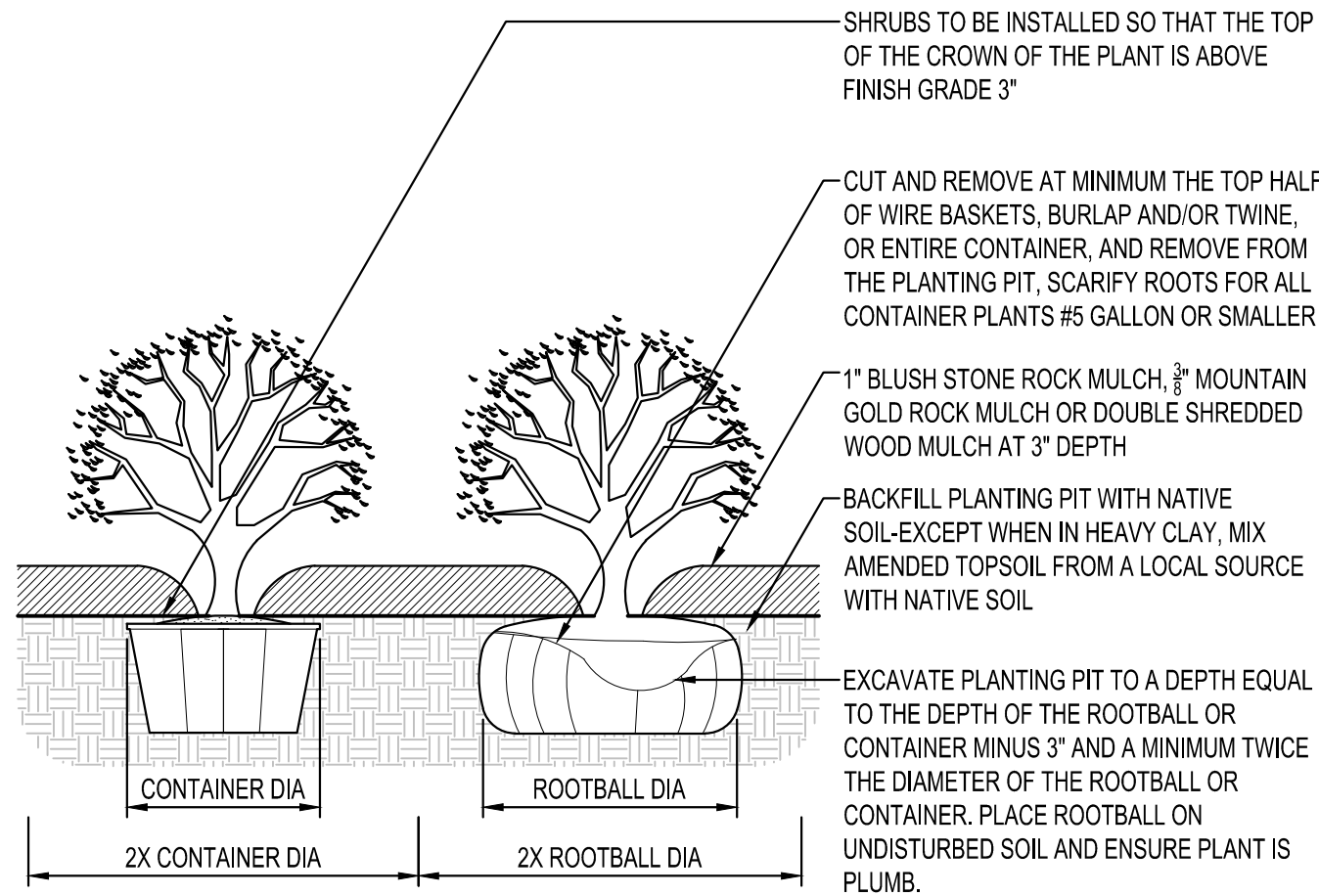
28816 C5 - LAND



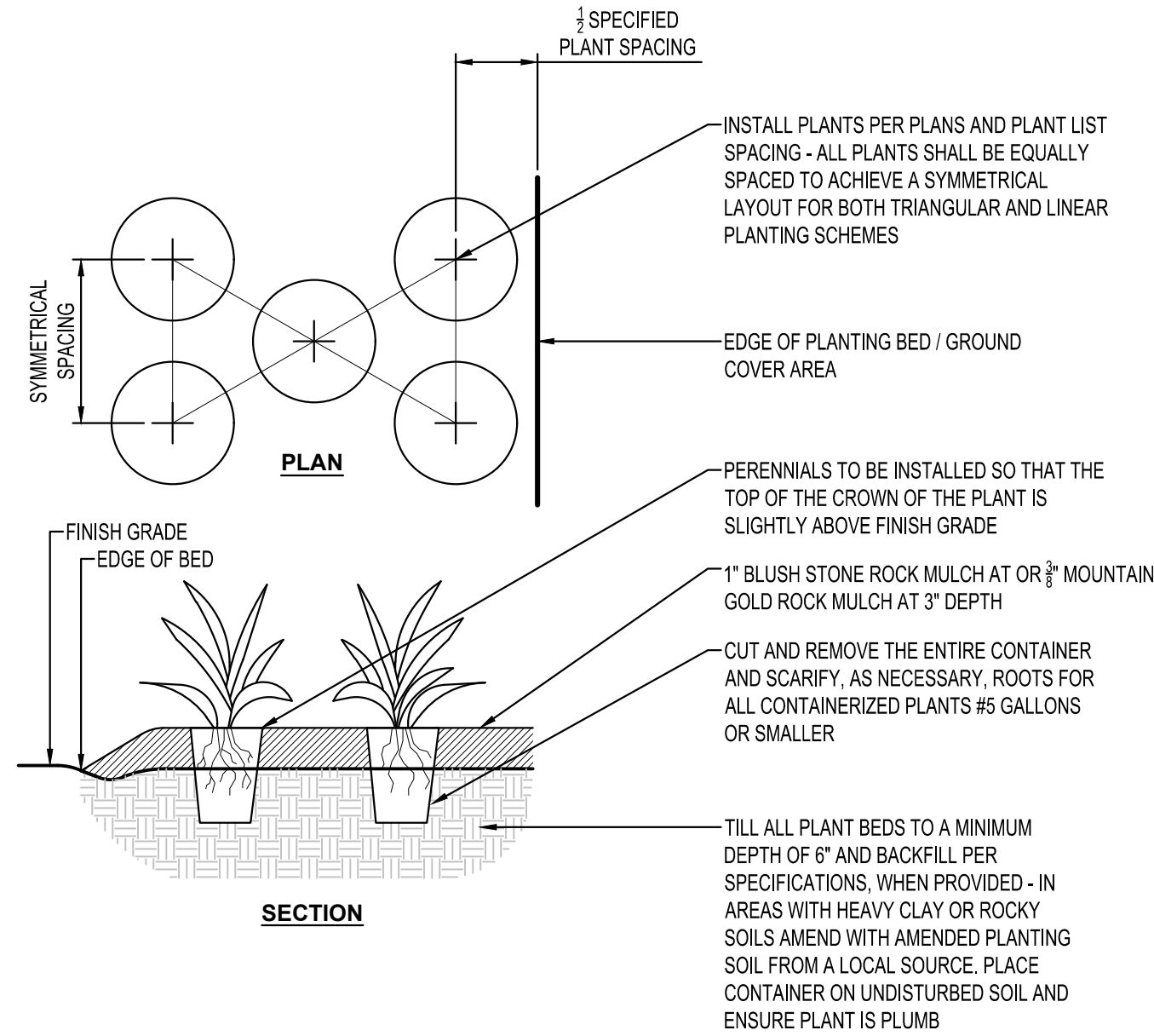
DECIDUOUS TREE PLANTING
NTS



MULTI-STEM TREE PLANTING
NTS



SHRUB PLANTING
NTS



PERENNIAL PLANTING
NTS

PLANTING NOTES

- COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (FENCE, FOOTINGS, TREE ROOTBALLS, ETC.). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
- SAVE AND PROTECT ALL EXISTING TREES NOT NOTED TO BE REMOVED.
- REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
- REFER TO PLANTING DETAILS FOR AMENDED SOIL DEPTH IN PLANTING BEDS AND SURROUNDING TREES.
- FIELD STAKE PLANTINGS ACCORDING TO PLAN. OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVISE PLANTING LAYOUT AT TIME OF INSTALLATION.
- ALL PLANT MATERIALS SHALL BE TRUE TO THEIR SCIENTIFIC NAME AND SIZE AS INDICATED IN THE PLANT SCHEDULE.
- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE SCHEDULE, THE PLANTING PLAN SHALL GOVERN.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1), LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, WASHINGTON D.C. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO ANSI Z60.1.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON (ONE YEAR) AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED BY THE CONTRACTOR FREE OF CHARGE WITH THE SAME GRADE AND SPECIES.
- ALL TREES SHALL HAVE A STRONG CENTRAL LEADER. ANY TREES DEEMED NOT TO HAVE A STRONG CENTRAL LEADER SHALL BE REJECTED.
- CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO CONSTRUCTION OPERATIONS. ANY AREAS THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- PROVIDE ROCK MULCH SURROUNDING ALL PROPOSED TREES (5' Ø) AND WITHIN PLANTING BEDS TO A 3" MINIMUM DEPTH AS SHOWN IN TREE PLANTING DETAIL. DO NOT USE AN UNDERLAYMENT SUCH AS PLASTIC SHEET OR LANDSCAPE FABRIC. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING. REFER TO PLANS FOR ADDITIONAL DETAILS. REFER TO STORMWATER DETAILS FOR BASIN CONSTRUCTION AND MULCH APPLICATION.
- MULCHING MATERIAL SHALL BE 1" BLUSH STONE ROCK MULCH OR 3/8" MOUNTAIN GOLD ROCK MULCH AT 3" DEPTH, WITH NO INDIVIDUAL PIECES LARGER THAN 3". FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. 3" MINIMUM DEPTH. MINIMUM DEPTHS AT LOCATIONS INDICATED ON DRAWINGS.
- CONTRACTOR SHALL PROVIDE SAMPLE OF MULCH TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
- INDICATED QUANTITIES ARE ESTIMATES AND SHALL BE CONFIRMED BY THE CONTRACTOR.
- ADJUST SPACING OF PLANT MATERIALS AROUND ADJACENT UTILITY STRUCTURES.

SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	10/30/2024	ARA	CITY SUBMITTAL #1
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PROJECT

U-HAUL
PR-2023-008710

ALBUQUERQUE NEW MEXICO
SITE ADDRESS:
U-Haul Moving & Storage
8200 JEFFERSON ST

SHEET CONTENTS:

PLANTING NOTES
AND DETAILS

824071

DRAWN: GBV
CHECKED: ARA
DATE: 10/30/24
C5-30

28816 C5 - LAND

SHEET NOTES:									
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NO.	DATE	INITIALS	NOTES	CITY	SUBMITTAL #1				
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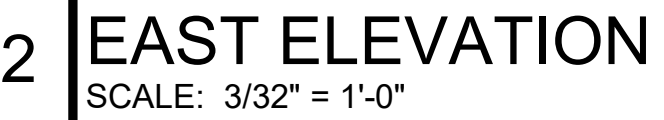
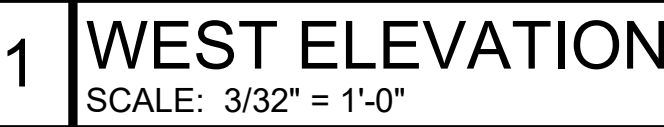
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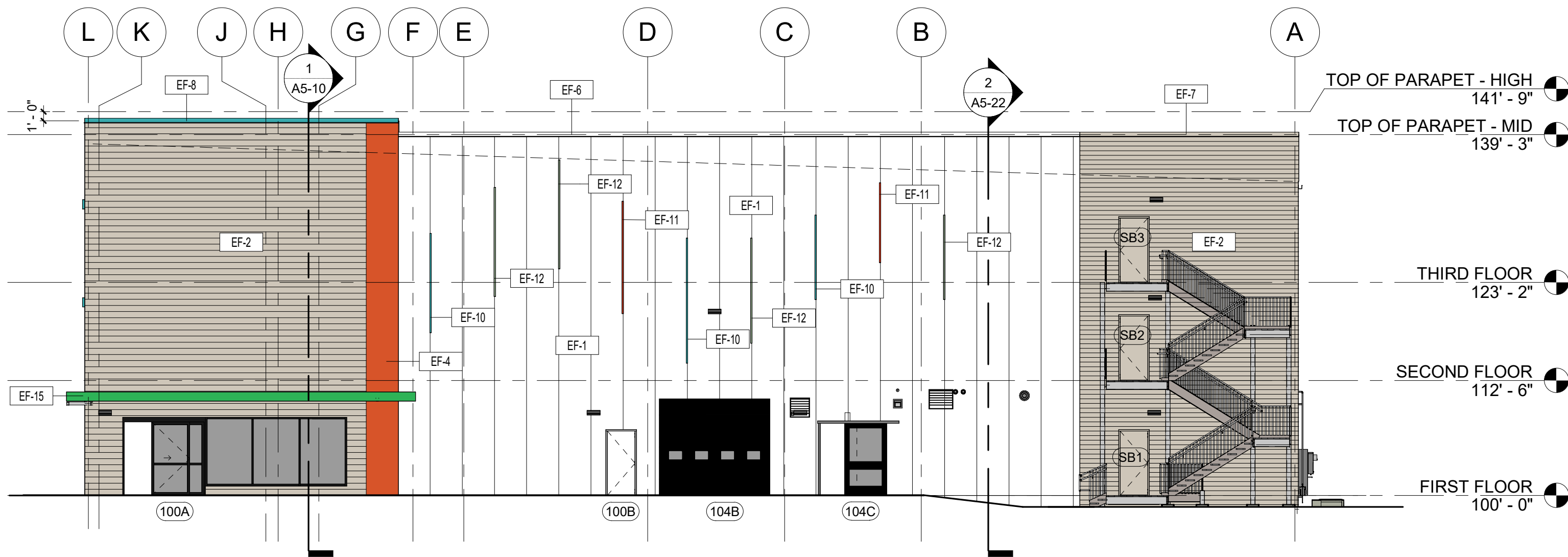
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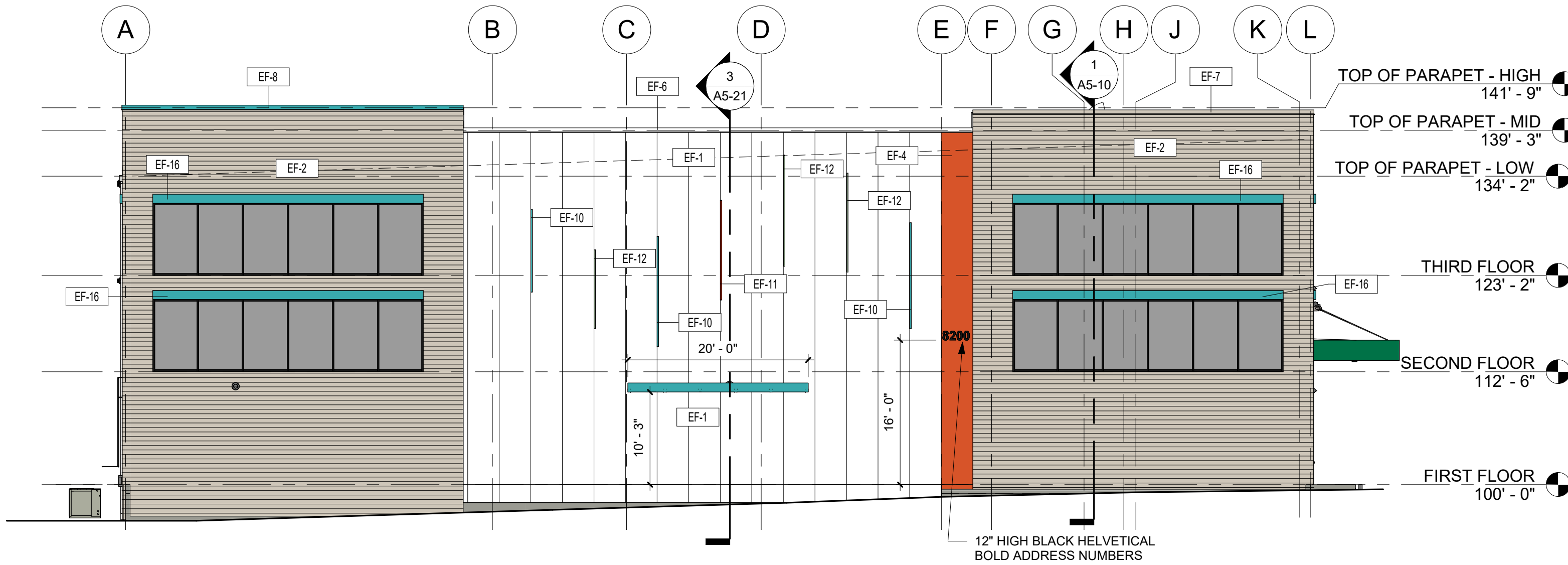
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<p>U-HAUL</p> <p>PR-2023-008710</p>	
ALBUQUERQUE	NEW MEXICO
<p>SITE ADDRESS:</p> <p>U-Haul Moving & Storage</p> <p>8200 JEFFERSON ST</p>	
<p>SHEET CONTENTS:</p> <p>SITE</p> <p>PHOTOMETRIC</p>	
<p>824071</p>	
DRAWN: GBV	CHECKED: ARA
DATE: --/--	C6-10
C6 SITE PHOTOMETRIC	



KEYNOTE LEGEND



1 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



2 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

COLORS	
A	MBCI U-HAUL GREEN
B	SW 6767 AQUARIUM
C	WALNUT
D	SW 7011 NATURAL CHOICE
E	SW 6884 OBSTINATE ORANGE
F	LIGHT BROOM TILT CONCRETE
G	SW 6451 NURTURE GREEN
H	SW EGGSHELL BLACK
I	GALVANIZED TRIM
J	POLAR WHITE
K	U-HAUL PROMO GREEN
L	SIERRA SUNSET
M	SANDSTONE

EXTERIOR FINISH SCHEDULE						
MARK	MATERIAL TYPE	MANUFACTURER	MODEL / SIZE	COLOR	COLOR CODE	COMMENTS
EF-1	INSULATED METAL PANEL	METAL-SPAN	42" VERTICAL	POLAR WHITE	J	
EF-2	HORIZONTAL PANELS	METAL-SPAN	16" HORIZONTAL / CS-660	SANDSTONE	M	
EF-3	HORIZONTAL PANELS	METAL-SPAN	16" HORIZONTAL / CS-620	SANDSTONE	M	
EF-4	PAINT			SW 6884 OBSTINATE ORANGE	E	
EF-5	PREFINISHED METAL DOWNSPOUT			SANDSTONE	M	
EF-6	CAP FLASHING		ROOF ACCESSORIES	POLAR WHITE	J	
EF-7	CAP FLASHING	-	ROOF ACCESSORIES	SANDSTONE	M	
EF-8	CAP FLASHING	-	ROOF ACCESSORIES	AQUARIUM	B	
EF-9	PRECAST CONCRETE		LIGHT BROOM FINISH		F	
EF-10	METAL ACCENT FIN			SW 6767 AQUARIUM	B	
EF-11	VARIES			VARIES	VARIES	
EF-12	METAL ACCENT FIN			SW 6451 NURTURE GREEN	G	
EF-13	PREFINISHED METAL DOWNSPOUT			POLAR WHITE	J	
EF-14	CANOPY			AQUARIUM	B	
EF-15	CANOPY			U-HAUL PROMO GREEN	K	
EF-16	METAL ACCENT TRIM			SW 6767 AQUARIUM	B	
EF-17	PAINT			POLAR WHITE	J	

KEYNOTE LEGEND

SHEET NOTES:

REVISIONS:

NOTES

INITIALS

DATE

LMV

STATE OF NEW MEXICO

JEREMY WIESEN

NO. 6318

REGISTERED ARCHITECT

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PROJECT

U-HAUL

MOVING &

STORAGE OF

JOURNAL CENTER

ALBUQUERQUE NEW MEXICO

SITE ADDRESS:

8200 JEFFERSON ST.

ALBUQUERQUE, NM 87107

SHEET CONTENTS:

EXTERIOR

ELEVATIONS

724081

DRAWN: CRM

CHECKED: EMS

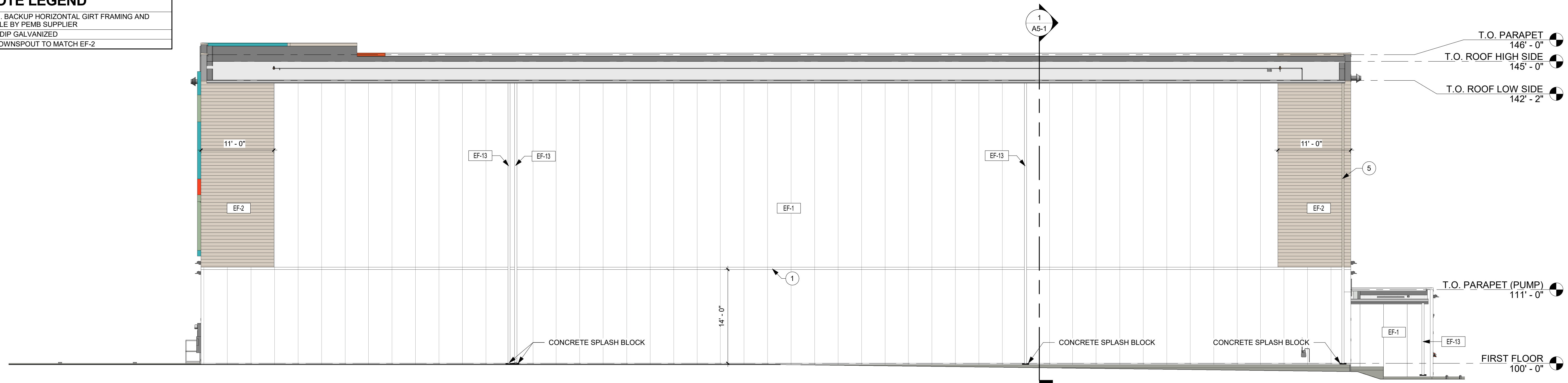
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A4-02

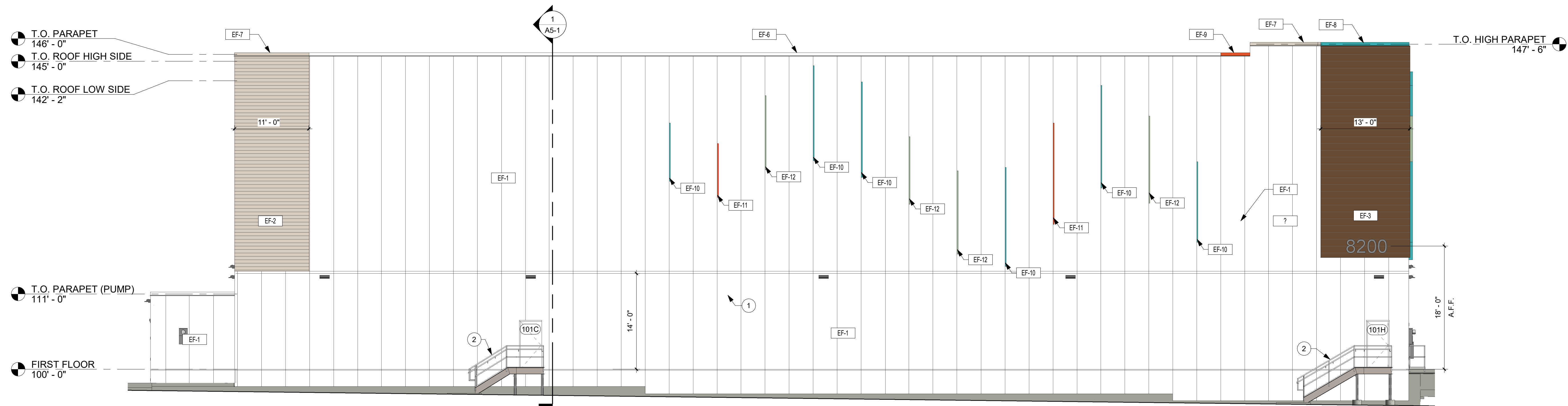
23-28816 A4-02

KEYNOTE LEGEND	
1	STACKED JOINT COVER TRIM, BACKUP HORIZONTAL GIRT FRAMING AND REQUIRED SECONDARY ANGLE BY PEMB SUPPLIER
2	1 1/2" DIA PIPE RAILING, HOT-DIP GALVANIZED
5	PAINT UPPER PORTION OF DOWNSPOUT TO MATCH EF-2

1	STACKED JOINT COVER TRIM. BACKUP HORIZONTAL GIRT FRAMING AND REQUIRED SECONDARY ANGLE BY PEMB SUPPLIER
2	1 1/2" DIA PIPE RAILING, HOT-DIP GALVANIZED
5	PAINT UPPER PORTION OF DOWNSPOUT TO MATCH EF-2



1 EAST ELE
SCALE: 1/8" = 1'-0"



2 WEST ELI
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH KEY		EXTERIOR FINISH SCHEDULE						KEYNOTE LEGEND	
	MARK	MATERIAL TYPE	MANUFACTURER	MODEL / SIZE	COLOR	COMMENTS			
	EF-1	INSULATED METAL PANEL	METL-SPAN	D558, 36"	POLAR WHITE		1	STACKED JOINT COVER TRIM, BACKUP HORIZONTAL GIRT FRAMING AND REQUIRED SECONDARY ANGLE BY PEMB SUPPLIER	
	EF-2	HORIZONTAL PANELS	METL-SPAN	16" HORIZONTAL - CS-660	SANDSTONE		2	1 1/2" DIA PIPE RAILING, HOT-DIP GALVANIZED	
	EF-3	HORIZONTAL LAP SIDING			WALNUT		5	PAINT UPPER PORTION OF DOWNSPOUT TO MATCH EF-2	
	EF-4	PAINT			SW 6884 OBSTINATE ORANGE				
	EF-6	COPING CAP			POLAR WHITE				
	EF-7	COPING CAP			SANDSTONE				
	EF-8	COPING CAP			SW 6767 AQUARIUM				
	EF-9	COPING CAP			SW 6884 OBSTINATE ORANGE	PAINTED			
	EF-10	METAL ACCENT TRIM			SW 6767 AQUARIUM				
	EF-11	METAL ACCENT TRIM			SW 6884 OBSTINATE ORANGE				
	EF-12	METAL ACCENT TRIM			SW 6451 NURTURE GREEN				
	EF-13	PREFINISHED METAL GUTTER & DOWNSPOUT			POLAR WHITE				

REVISIONS

[illegible]

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PROJECT

**U-HAUL
MOVING &
STORAGE OF
JOURNAL CENTER**

ALBUQUERQUE NEW MEXICO

SITE ADDRESS:
8200 JEFFERSON ST.
ALBUQUERQUE, NM 87107

SHEET CONTENTS:

EXTERIOR ELEVATIONS

724081

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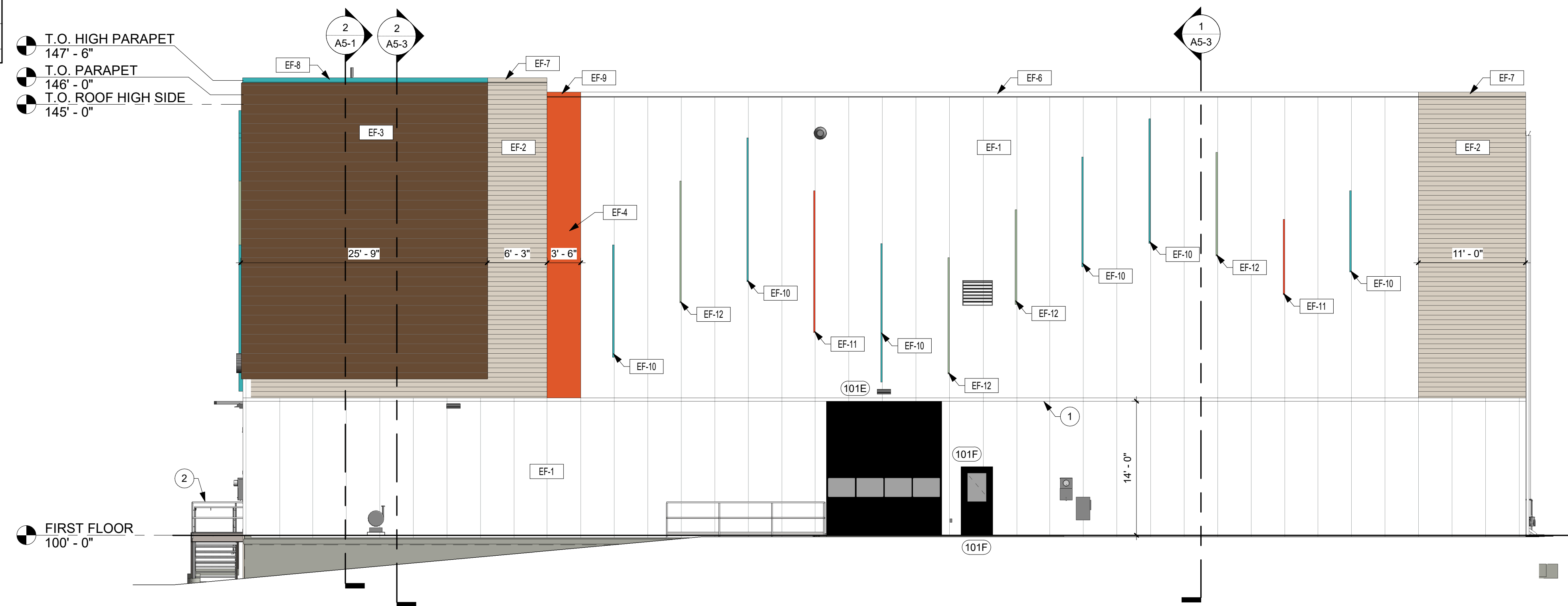
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DATE:	11/20/24
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23-28816 A4-

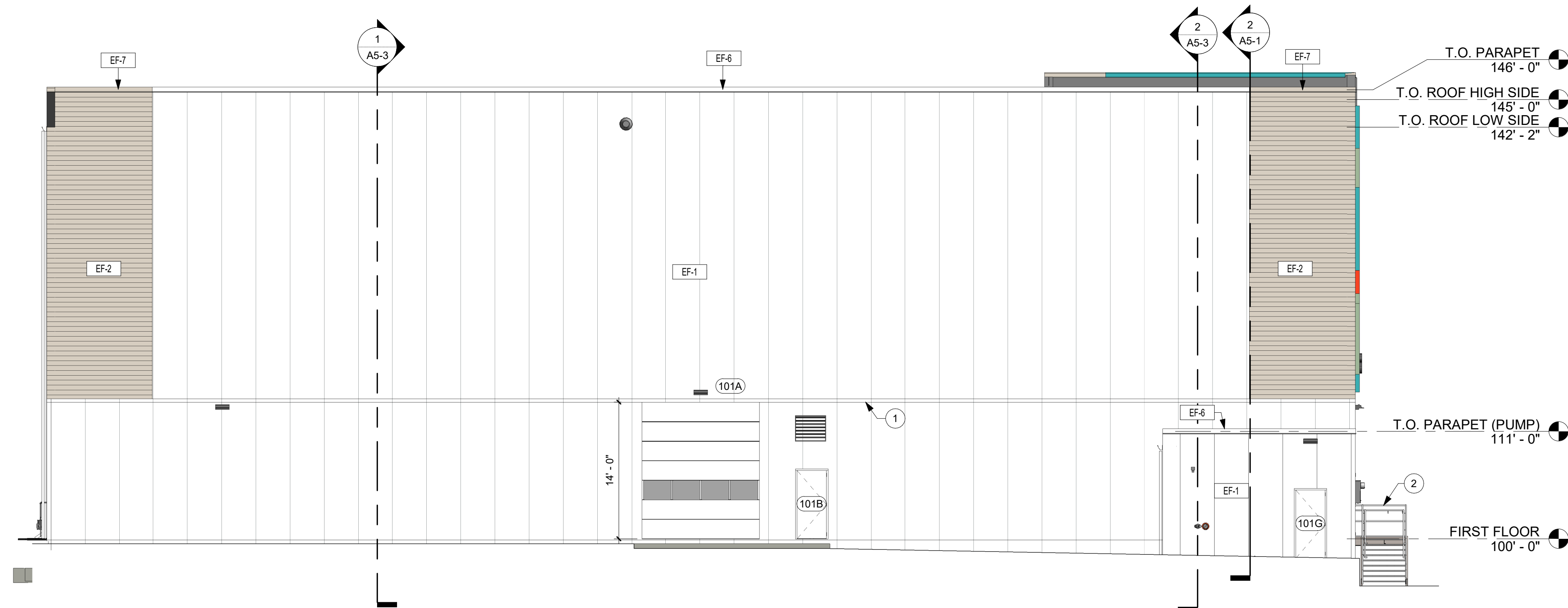
KEYNOTE LEGEND	
1	STACKED JOINT COVER TRIM. BACKUP HORIZONTAL GIRT FRAMING AND REQUIRED SECONDARY ANGLE BY PEMB SUPPLIER
2	1 1/2" DIA PIPE RAILING, HOT-DIP GALVANIZED

- | | |
|---|-----------------------------------------------------------------------------------------------------------|
| 1 | STACKED JOINT COVER TRIM, BACKUP HORIZONTAL GIRT FRAMING AND
REQUIRED SECONDARY ANGLE BY PEMB SUPPLIER |
| 2 | 1 1/2" DIA PIPE RAILING, HOT-DIP GALVANIZED |



1

SCALE: 1/8" = 1'-0"



2

SCALE: 1/8" = 1'-0"

EXTERIOR FINISH KEY		EXTERIOR FINISH SCHEDULE					KEYNOTE LEGEND	
	MARK	MATERIAL TYPE	MANUFACTURER	MODEL / SIZE	COLOR	COMMENTS		
	EF-1	INSULATED METAL PANEL	METL-SPAN	DSS8, 36"	POLAR WHITE		1	STACKED JOINT COVER TRIM, BACKUP HORIZONTAL GIRT FRAMING AND REQUIRED SECONDARY ANGLE BY PEMB SUPPLIER
	EF-2	HORIZONTAL PANELS	METL-SPAN	16" HORIZONTAL - CS-660	SANDSTONE		2	1 1/2" DIA PIPE RAILING, HOT-DIP GALVANIZED
	EF-3	HORIZONTAL LAP SIDING			WALNUT			
	EF-4	PAINT			SW 6884 OBSTINATE ORANGE			
	EF-6	COPING CAP			POLAR WHITE			
	EF-7	COPING CAP			SANDSTONE			
	EF-8	COPING CAP			SW 6767 AQUARIUM			
	EF-9	COPING CAP			SW 6884 OBSTINATE ORANGE	PAINTED		
	EF-10	METAL ACCENT TRIM			SW 6767 AQUARIUM			
	EF-11	METAL ACCENT TRIM			SW 6884 OBSTINATE ORANGE			
	EF-12	METAL ACCENT TRIM			SW 6451 NURTURE GREEN			
	EF-13	PREFINISHED METAL GUTTER & DOWNSPOUT			POLAR WHITE			

[illegible]

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SHEET CONTENTS:

EXTERIOR ELEVATIONS

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