

# DEVELOPMENT FACILITATIVE TEAM (DFT)

## Code Enforcement Comments

Disclaimer: Comments provided are based upon information received from applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning staff.

Jeff Palmer-Code Enforcement Supervisor  
Planning Department  
[jppalmer@caba.aov](mailto:jppalmer@caba.aov)

DATE: 09/17/2025

### **AGENDA ITEM NO: 5**

**PR-2023-008710**

**SP-2025-00082 – SITE PLAN DFT**

**SI-2024-01652 – ALTERNATIVE LANDSCAPING PLAN**

**ADDRESS/LOCATION:** All or a portion of: **TR OF LAND IN SE SW SE SEC 14 T11N R3E (AKA HARLEY TRACT WITHIN LOOP INDUSTRIALDISTRICT UNIT NO. 1) EXCL S'LY PORTOUT TO R/W** zoned **NR-LM**, located at **8200 Jefferson St NE** containing approximately **9.16 acre(s)**. **(C-17)**

**REQUEST:** New U-Haul site development

**SKETCH PLAT 6-07-23 (DFT)**

**IDO – 2023**

### **COMMENTS:**

1. **Dimensional Standards:** The site plan shows inaccurate setback requirements. The property is zoned NR-LM, and must meet dimensional standards as per IDO 5-1(E), Table 5-1-3: Front setback = 5 ft minimum, Side and Rear = 0 ft minimum. However, there are more restrictive height limitations in CPO-10 North I-25 overlay, limiting to 52 feet, as per IDO 3-4(K)(3)(b).
2. **Fence height** in the NR-LM zone are allowed up to 6 ft in the front or street side yard, and up to 10 ft elsewhere on the lot. Fencing notes on site plan reflect a restrictive requirement of being set back 5 feet from property line, but that does not apply to this zone.
3. **Lighting:** Insufficient information provided on light fixtures to show compliance with IDO 5-8(E). Provide light fixture types/detail sheets to show how the light fixtures meet required cut-off angle requirements for building mounted and pole mounted lighting. *Please see the excerpt from IDO 5-8(E) at the end of the comments, below, regarding cutoff and shielding.*
4. **Lighting:** Light pole heights are limited to 20 feet as per IDO 5-8, Table 5-8-1. There is one light pole shown as 25 ft in height, with incorrect justification note on photometric lighting plan referencing it in the Commercial district. However, the Commercial district in Lighting Table 5-8-1 does not include allowable uses in the Offices and Services subcategory of Table 4-2-1, which would include Self-Storage. See the highlighted excerpt of Table 5-8-1 below, showing which category applies to this property, accordingly.

# DEVELOPMENT FACILITATIVE TEAM (DFT)

## Code Enforcement Comments

*Disclaimer: Comments provided are based upon information received from applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning staff.*

Jeff Palmer-Code Enforcement Supervisor  
Planning Department  
[jppalmer@caba.aov](mailto:jppalmer@caba.aov)

DATE: 09/17/2025

### 5-8(E)(3) Light Poles

Table 5-8-1 specifies the maximum height of light poles, measured from the finished grade to the top of the pole.

Table 5-8-1: Maximum Height for Light Poles	
Location, Development Type, or Type of Light	Maximum Height (ft.)
Bollard and pathway luminaires	4 ft.
Residential zone districts and HPO zones	12 ft.
Within 100 feet of Residential zone districts	16 ft.
Mixed-use development or allowable uses in the Offices and Services Sub-category of Table 4-2-1	20 ft.
Allowable uses in Table 4-2-1 in the following categories: <ul style="list-style-type: none"><li>• Civic and Institutional Uses</li><li>• Commercial Uses other than the Offices and Services Sub-category</li><li>• Industrial Uses</li></ul>	25 ft.

5. Lighting: The photometric site plan given does not show compliance with light trespass requirements at the property line, as per IDO 5-8(F)(4) Light Trespass and Table 5-8-3.
- A. Property is designated as an LZ-1 light zone, as per Table 5-8-2, section 5-8(F).
- B. The photometric lighting site plan should show the light trespass measurements at the property line at no higher than 0.1 footcandle to confirm compliance with allowable light trespass. Please note the highlighted portion of IDO 5-8(F)(4)(c), below:

*5-8(F)(4)(c) If the total illumination from outdoor light sources and interior light escaping from windows exceeds light trespass limits in Table 5-8-3 at any point along the property line, lighting must be re-aimed, removed, turned off, or dimmed until compliance is reached.*

The photometric site plan shows multiple instances of the lighting exceeding the allowable level at the property line, and the lighting plan must be adjusted to bring it into compliance.

# DEVELOPMENT FACILITATIVE TEAM (DFT)

## Code Enforcement Comments

*Disclaimer: Comments provided are based upon information received from applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning staff.*

Jeff Palmer-Code Enforcement Supervisor  
Planning Department  
[jppalmer@caba.aov](mailto:jppalmer@caba.aov)

DATE: 09/17/2025

### 5-8(F)(4) Light Trespass

- 5-8(F)(4)(a) Unless specified elsewhere in this IDO, all outdoor luminaires shall be located or optically shielded such that the point light source is not visible from adjacent property or public right-of-way.
- 5-8(F)(4)(b) The total illumination from outdoor light sources and interior light escaping from windows shall not exceed light trespass limits in Table 5-8-3, as measured at any location along the property line in both of the following ways:
1. Horizontally at finished grade with the light meter facing upward.
  2. Vertically at 5 feet (1.5 meters) above finished grade with the light meter aiming toward the subject property.

Table 5-8-3: Light Trespass Limits by Lighting Designation					
	NDZ	Lz0	Lz1	Lz2	Lz3
Foot Candles (fc)	0.02	0.05	0.1	0.3	0.8
Lux (lx)	0.2	0.5	1.0	3.0	8
Luminance (cd/m <sup>2</sup> )	0	1	20	40	80

- 5-8(F)(4)(c) If the total illumination from outdoor light sources and interior light escaping from windows exceeds light trespass limits in Table 5-8-3 at any point along the property line, lighting must be re-aimed, removed, turned off, or dimmed until compliance is reached.

6. All signage must be submitted for separate approval and sign permit, and must meet all requirements of CPO-10 North I-25 overlay zone, and IDO 5-12 Signs and Table 5-12-3.
7. Code Enforcement has no further comments at this time.

# DEVELOPMENT FACILITATIVE TEAM (DFT)

## Code Enforcement Comments

*Disclaimer: Comments provided are based upon information received from applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning staff.*

Jeff Palmer-Code Enforcement Supervisor  
Planning Department  
[jppalmer@caba.aov](mailto:jppalmer@caba.aov)

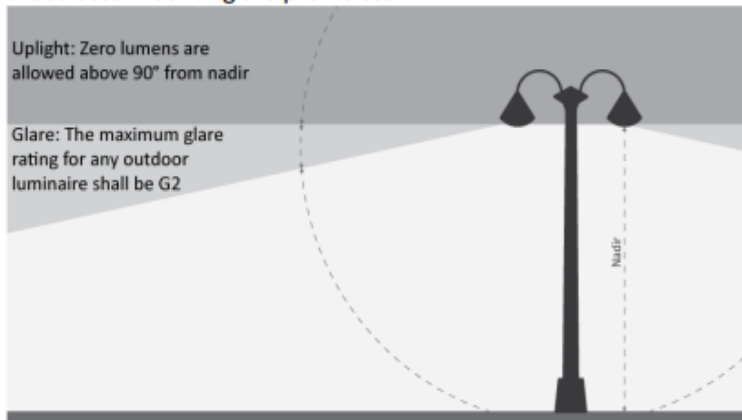
DATE: 09/17/2025

### 5-8(E) GENERAL DESIGN AND ILLUMINATION STANDARDS

All sources of light visible from the exterior of a property subject to this Section 14-16-5-8 shall meet the following standards.

#### 5-8(E)(1) Uplight Restrictions

- 5-8(E)(1)(a) Unless specified otherwise in this IDO, luminaires shall be fully shielded or have a U0 rating (i.e., a luminaire that emits zero lumens above 90 degrees from nadir). Unshielded floodlights with articulated mounting are prohibited.



- 5-8(E)(1)(b) Luminaires installed under canopies, porte cocheres, or beneath similar structures shall meet all of the following requirements.
1. Luminaires shall be mounted to aim downward and installed flush-mounted or recessed above the lowest edge of the canopy such that the lowest part of the luminaire is shielded from view beyond the property line.
  2. The vertical fascia shall not be internally illuminated.
  3. All light emitted shall be substantially confined to the posts, facades, and ground surface directly beneath the perimeter of the canopy or similar structure.

**From:** Webb, Robert L. <rwebb@cabq.gov>  
**Sent:** Wednesday, September 17, 2025 8:51 AM  
**To:** Andrea Rand  
**Subject:** RE: U-Haul Plat questions

Good morning.

Just a heads up on my Planning comments for the Site Plan.

I can't speak for all of the sections, but I think you guys are fairly ready for approval. The plat will need to be finished before final sign off, but the items I had are minor.

Here are some items that I'll need your team to clarify and discuss. Some may also require revision updates.

You'll see them in the comments that were sent out of course.

Thank you.

- *Clarify how the upcoming DHO platting action will be affect the site plan and if the IL will be affected.*
- *Confirm if the IL-Infrastructure List is complete per the engineering team or if revisions are still required.*  
*Once the IL is approved, a recorded Infrastructure Improvements Agreement w/ financial guarantee will need to be executed and recorded with the County Clerk prior to final sign off of the site plan.*
- *Confirm that Code Enforcement has approved the lighting plan, per current standards within IDO section 3-4-K and 5-8.*
- *An outdoor seating area is required for a primary building(s) more than 30,000 s.f.*  
*\*Clarify the details of meeting 5-11-E-3, #2 (a, b, c, d).*  
*\*Clarify if seating area was included in the landscaping plan, matching the site plan sheets.*
- *Confirm no changes to façade and elevation design from previous submittals.*
- *\*An Alternative Landscape Plan has been submitted, with a revision recently submitted, and is being reviewed in concurrence with this Site Plan. It had been approved by Planning and Parks staff, and the ZEO is currently providing a final review of the Plan. Confirmation from the ZEO that the Alternative Landscape Plan has been approved is required prior to the approval of the Site Plan Administrative DFT by DFT staff.*
- *The project and application numbers must be added to the Site Plan and any associated IL.*

- *\*Applicant must ensure that all revised and/or final Plan sheets are sealed and signed by a design professional licensed in the State of New Mexico.*

Thank you,

Robert



**ROBERT WEBB**

Senior Planner -

Development Review Services

o 505.924.3910

e [rwebb@cabq.gov](mailto:rwebb@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

---

**From:** Andrea Rand <[Andrea.Rand@ISGInc.com](mailto:Andrea.Rand@ISGInc.com)>

**Sent:** Tuesday, September 16, 2025 12:48 PM

**To:** Webb, Robert L. <[rwebb@cabq.gov](mailto:rwebb@cabq.gov)>

**Cc:** Risenhoover, Loren <[lrisenhoover@cabq.gov](mailto:lrisenhoover@cabq.gov)>; Rodenbeck, Jay B. <[jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov)>

**Subject:** RE: U-Haul Plat questions

Thanks, Robert. I will start routing for all digital signatures needed before submitting for the final review.

The plat is reflective of the site plan that is in for review. We need to plat the lot to account for city ROW changes. We have submitted the site plan for the Final TCL approval (that ultimately shows the changes to the property lines for their future ROW changes) and that has been approved. We have waited for the Final TCL approval and to ensure there would be no more changes to the Site plan that impact the plat, and then created the plat to ensure consistency, hence just starting the plat now at the final Site Plan review stages. Hope this help to ensure consistency!

Andrea

---

**From:** Webb, Robert L. <[rwebb@cabq.gov](mailto:rwebb@cabq.gov)>

**Sent:** Tuesday, September 16, 2025 1:41 PM

**To:** Andrea Rand <[Andrea.Rand@ISGInc.com](mailto:Andrea.Rand@ISGInc.com)>

**Cc:** Risenhoover, Loren <[lrisenhoover@cabq.gov](mailto:lrisenhoover@cabq.gov)>; Rodenbeck, Jay B. <[jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov)>

**Subject:** RE: U-Haul Plat questions

Hello. We're happy to help.  
I've also copied our Planning Manager, Jay Rodenbeck.

You can reference forms and checklists on the following web page:  
<https://www.cabq.gov/planning/download-forms-applications>

Form PLT is somewhat of a pre-authorization form for the engineering staff. Transportation, Hydrology, and Water Authority. For things like TCL's or Traffic Studies, Grading/Drainage, and Availability Statements.

That form needs to be signed by all three prior to and with the file submittal.

The Plat needs to be signed by the property owner, the City Surveyor, all utility companies, and AMAFCA. Those signatures need to be completed prior to and with the complete file submittal.

Then, once you have a complete file ready to submit, you'll submit everything online. It will be reviewed for completeness, then invoiced, and then scheduled on a DHO agenda.

Once approved by the DHO, City staff will begin the sign off process on the plat. All submittals to our office are electronic. We no longer route paper hard copies.

The Site Plan (3<sup>rd</sup> submittal) is being reviewed for approval on the current DFT agenda. How is or how will the plat and any infrastructure or dedication of ROW affect the site plan review and approval?

**Thank you,**

**Robert**



**ROBERT WEBB**

Senior Planner -

Development Review Services

o 505.924.3910

e [rwebb@cabq.gov](mailto:rwebb@cabq.gov)

[cabq.gov/planning](https://cabq.gov/planning)

---

**From:** Andrea Rand <[Andrea.Rand@ISGInc.com](mailto:Andrea.Rand@ISGInc.com)>

**Sent:** Tuesday, September 16, 2025 12:14 PM

**To:** Webb, Robert L. <[rwebb@cabq.gov](mailto:rwebb@cabq.gov)>

**Cc:** Risenhoover, Loren <[lrisenhoover@cabq.gov](mailto:lrisenhoover@cabq.gov)>

**Subject:** RE: U-Haul Plat questions

Hi Robert – (And copying Loren to see if you should be looped in for any Prelim/Final Plat submittal and may be able to answer the questions below).

I have the Prelim/Final Plat for U-Haul (1 lot plat) to submit but need to clarify what needs to be signed before I submit.

Attached is the signed PLT form by Hydrology, Transportation and ABCWUA. The bottom of the PLT page just give a checklist of Utility Companies for “Signatures on the Plat”. (See screenshot below). We have included a signature line for each of the listed utility agencies (and also a signature line for the city, owner, surveyor) on the plat cover sheet. My question is do we need to route to each of these agencies to sign the plat BEFORE I submit to the city for review?

❑ **Signatures on Plat:**

• Owner(s)	_____ Yes
• City Surveyor	_____ Yes
• AMAFCA***	_____ Yes
• NM Gas***	_____ Yes
• PNM ***	_____ Yes
• COMCAST***	_____ Yes
• MRGCD***	_____ Yes

Also, once the city has reviewed do you ask for a mylar or paper copy to be routed for all original signatures or do you require any signatures to be wet signed (ie. Surveyor?)

Thanks  
Andrea



**Andrea Rand**, AICP  
Development Services Coordinator  
*Employee Owner*

P 952.426.0699  
C 303.522.3680  
E [Andrea.Rand@ISGInc.com](mailto:Andrea.Rand@ISGInc.com)  
W [ISGInc.com](http://ISGInc.com)



---

**From:** Webb, Robert L. <[rwebb@cabq.gov](mailto:rwebb@cabq.gov)>  
**Sent:** Friday, July 11, 2025 1:40 PM  
**To:** Andrea Rand <[Andrea.Rand@ISGInc.com](mailto:Andrea.Rand@ISGInc.com)>  
**Subject:** RE: U-Haul Plat questions

Sure, no problem.

So the PLT form is like a pre-authorization form. That has to be signed beforehand so you can submit it with everything else and have a complete file.

Some of the reason is that those signatures are related to things like TLC's, G&D's and Availability statements. When those are required, they can sometimes cause significant delays.

So when handled upfront, it can be identified clearly to avoid things like that.

Approval signatures from City staff come after the approval. That is what our signature block is for. We would route the plat for final signatures after the approval and after any conditions are satisfied. However, the signatures from the property owner, City Surveyor, all utility companies and AMAFCA need be on the plat when it is submitted. Similar to the PLT form, it is part of having a complete submittal.

The PLT form can be signed separately or all on one page. It can be done by email or in person. The City Surveyor, utility companies and AMAFCA may each have different procedures, requirements, or schedules for signatures. You would contact each to confirm and schedule. We don't have control over those since it is either a different department or completely outside the city authority.

**Thank you,**

**Robert**



**ROBERT WEBB**

Senior Planner -

Development Review Services

o 505.924.3910

e [rwebb@cabq.gov](mailto:rwebb@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

---

**From:** Andrea Rand <[Andrea.Rand@ISGInc.com](mailto:Andrea.Rand@ISGInc.com)>

**Sent:** Friday, July 11, 2025 12:20 PM

**To:** Webb, Robert L. <[rwebb@cabq.gov](mailto:rwebb@cabq.gov)>

**Subject:** RE: U-Haul Plat questions

Thanks, Robert.

Can you help clarify the signatures when/where needed?

1. PLT Form – I have routed and gotten signatures needed.
2. Signatures Form for the Plat –
  - a. Are these signatures obtained on the 8.5x11 sheet or do we need to place those signatures on the 24x36 size plat?
  - b. Do we obtain these approval signatures before plat submittal or after the DHO approval?
  - c. Can these signatures be obtained digitally or do you need original signatures from each agency?

Thanks!

Andrea

---

**From:** Webb, Robert L. <[rwebb@cabq.gov](mailto:rwebb@cabq.gov)>  
**Sent:** Friday, July 11, 2025 11:58 AM  
**To:** Andrea Rand <[Andrea.Rand@ISGInc.com](mailto:Andrea.Rand@ISGInc.com)>; Rodenbeck, Jay B. <[jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov)>  
**Subject:** RE: U-Haul Plat questions

The portal replaced the physical application form. But some applicants still include one. It is not required, however.

We have a signature block link here on the DHO web page:  
<https://www.cabq.gov/planning/boards-commissions/development-hearing-officer>

Here is forms and checklist page as well:  
<https://www.cabq.gov/planning/download-forms-applications>

As a whole, the platting cover page is fairly standard. I believe most surveyors will be familiar with cover page criteria, platting drawings, sidewalk exhibits, Etc.  
We don't have a template, but we could probably provide a copy of a previous submittal, if needed.

If the platting action qualifies as a Minor Subdivision per the IDO, then the Minor Plat would include the Preliminary and Final together in one submittal, review, and approval.

Thank you,

Robert



**ROBERT WEBB**  
Senior Planner -  
Development Review Services  
o 505.924.3910  
e [rwebb@cabq.gov](mailto:rwebb@cabq.gov)  
[cabq.gov/planning](https://cabq.gov/planning)

---

**From:** Andrea Rand <[Andrea.Rand@ISGInc.com](mailto:Andrea.Rand@ISGInc.com)>  
**Sent:** Friday, July 11, 2025 10:46 AM  
**To:** Webb, Robert L. <[rwebb@cabq.gov](mailto:rwebb@cabq.gov)>; Rodenbeck, Jay B. <[jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov)>  
**Subject:** RE: U-Haul Plat questions

Hi Robet and Jay –

I am preparing for the Minor Subdivision submittal for U-Haul but need to clarify a few items to ensure I have a complete submittal.

1. Is there a PDF application form I need to complete? I believe I will submit via the portal but unable to find a PDF application form that shows the plat as one of the application types.
2. Is there a cover sheet for the plat that should include signatures and if so do you have a template or example you can share to make sure we have all signature lines needed and the text correct? I can't seem to find this information.
3. Can the preliminary plat and final plat be a combined document or do you need separate documents even for a Minor Subdivision?

Please let me know.

Thanks,  
Andrea

---

**From:** Webb, Robert L. <[rwebb@cabq.gov](mailto:rwebb@cabq.gov)>

**Sent:** Tuesday, March 18, 2025 2:23 PM

**To:** Andrea Rand <[Andrea.Rand@ISGInc.com](mailto:Andrea.Rand@ISGInc.com)>; Rodenbeck, Jay B. <[jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov)>

**Subject:** RE: U-Haul Plat questions

We'd need to reference our review comments to confirm.

If I'm remembering correctly, it will be less than 10 lots. So in that case the only thing that would trigger a Major Subdivision would be Major infrastructure or Major Vacation action.

That is determined by the engineering team.

*--Major Infrastructure is any new Curb & Gutter, Pavement, extensions of Water, Sewer and/or Storm Drain system.*

*--Minor infrastructure is considered construction of driveways, sidewalks fronting the project and water & sewer service connections.*

For a Minor Subdivision, it is also called a Preliminary/Final Plat. Both stages are done at the same time. Instead of two separate submittals and reviews.

Thank you,

Robert



## ROBERT WEBB

Senior Planner -

Development Review Services

o 505.924.3910

e [rwebb@cabq.gov](mailto:rwebb@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

---

**From:** Andrea Rand <[Andrea.Rand@ISGInc.com](mailto:Andrea.Rand@ISGInc.com)>

**Sent:** Tuesday, March 18, 2025 12:35 PM

**To:** Rodenbeck, Jay B. <[jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov)>

**Cc:** Planning Dev Help <[devhelp@cabq.gov](mailto:devhelp@cabq.gov)>

**Subject:** U-Haul Plat questions

[EXTERNAL] Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Hi Jay –

The U-Haul Site needs to be platted. We thought it just needs to be a Lot Line Adjustment but I can't find the exact plat type that is required. Can you confirm what type of plat application we need to submit and then direct me to the correct application/checklist of required items for the submittal?

I see the Preliminary Plat/Final Plat application and checklists on line (linked below) but I do not believe the U-Haul site needs to complete a Prelim/Final Plat but can't find any other type of minor plat application/checklist online.

<https://www.cabq.gov/planning/boards-commissions/development-hearing-officer>

Any clarification/direction would be much appreciated!

Thank you!

Andrea



**Andrea Rand**, AICP  
Development Services Coordinator  
*Employee Owner*

P 952.426.0699

E [Andrea.Rand@ISGInc.com](mailto:Andrea.Rand@ISGInc.com)

W [ISGInc.com](http://ISGInc.com)



Current DRC

Project Number: **PR-2023-008710**  
**SI-2025-00082**

**FIGURE 12**

**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT**

**DEVELOPMENT FACILITATION TEAM (DFT) REQUIRED INFRASTRUCTURE LIST**

**U-Haul Site Plan**

Date Submitted: \_\_\_\_\_

Date Site Plan Approved: \_\_\_\_\_

Date Preliminary Plat Approved: \_\_\_\_\_

Date Preliminary Plat Expires: \_\_\_\_\_

DFT Project No.: \_\_\_\_\_

DFT Application No.: \_\_\_\_\_

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**All or a portion of: TR OF LAND IN SE SW SE SEC 14 T11N R3E (AKA HARLEY TRACT WITHIN LOOP INDUSTRIALDISTRICT UNIT NO. 1) EXCL S'LY PORTOUT TO R/W zoned NR-LM, located at 8200 Jefferson St NE containing approximately 9.16 acre(s). (C-17)**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
DRC # <input type="text"/>	DRC # <input type="text"/>	572 LF	6' wide concrete sidewalk	Domingo Baca Road	Jefferson St NE	645 ft East	/	/	/
<input type="text"/>	<input type="text"/>	286 LF	6' wide concrete sidewalk	Jefferson St NE	Domingo Baca Road	410 ft South	/	/	/
<input type="text"/>	<input type="text"/>	385 LF	6' wide concrete sidewalk	Paseo Del Norte Blvd NE	South 530 LF of U-Haul property frontage		/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
							Approval of Creditable Items:		Approval of Creditable Items:
							Impact Fee Administrator Signature      Date		City User Dept. Signature      Date

#### NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

1 \_\_\_\_\_  
\_\_\_\_\_

2 \_\_\_\_\_  
\_\_\_\_\_

3 \_\_\_\_\_  
\_\_\_\_\_

AGENT / OWNER

DEVELOPMENT FACILITATION TEAM APPROVALS

NAME (print)

PLANNING - date

PARKS & RECREATION - date

FIRM

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

SIGNATURE - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

CITY ENGINEER - date

HYDROLOGY - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

Current DRC

Project Number: **PR-2023-008710**  
**SI-2025-00082**

**FIGURE 12**

**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT**

**DEVELOPMENT FACILITATION TEAM (DFT) REQUIRED INFRASTRUCTURE LIST**

**U-Haul Site Plan**

Date Submitted: \_\_\_\_\_

Date Site Plan Approved: \_\_\_\_\_

Date Preliminary Plat Approved: \_\_\_\_\_

Date Preliminary Plat Expires: \_\_\_\_\_

DFT Project No.: \_\_\_\_\_

DFT Application No.: \_\_\_\_\_

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**All or a portion of: TR OF LAND IN SE SW SE SEC 14 T11N R3E (AKA HARLEY TRACT WITHIN LOOP INDUSTRIALDISTRICT UNIT NO. 1) EXCL S'LY PORTOUT TO R/W zoned NR-LM, located at 8200 Jefferson St NE containing approximately 9.16 acre(s). (C-17)**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
DRC # <input type="text"/>	DRC # <input type="text"/>	645 LF	Concrete curb and gutter	Domingo Baca Road	Jefferson St NE	645 ft East	/	/	/
<input type="text"/>	<input type="text"/>	410 LF	Concrete curb and gutter	Jefferson St NE	Domingo Baca Road	410 ft South	/	/	/
<input type="text"/>	<input type="text"/>	530 LF	Concrete curb and gutter	Paseo Del Norte Blvd NE	South 530 LF of U-Haul property frontage		/	/	/
<input type="text"/>	<input type="text"/>	3150 SF	Asphalt pavement (Roadway widening)	Domingo Baca Road	Jefferson St NE	645 ft East	/	/	/
<input type="text"/>	<input type="text"/>	3275 SF	Asphalt pavement (Roadway widening)	Jefferson St NE	Domingo Baca Road	410 ft South	/	/	/
<input type="text"/>	<input type="text"/>	1550 SF	Asphalt pavement (Roadway widening)	Paseo Del Norte Blvd NE	South 530 LF of U-Haul property frontage		/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
							Approval of Creditable Items:		Approval of Creditable Items:
							Impact Fee Administrator Signature      Date		City User Dept. Signature      Date

#### NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

1 \_\_\_\_\_  
\_\_\_\_\_

2 \_\_\_\_\_  
\_\_\_\_\_

3 \_\_\_\_\_  
\_\_\_\_\_

AGENT / OWNER

DEVELOPMENT FACILITATION TEAM APPROVALS

NAME (print)

PLANNING - date

PARKS & RECREATION - date

FIRM

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

SIGNATURE - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

CITY ENGINEER - date

HYDROLOGY - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

October 28, 2025

Robert Webb & Jolene Wolfley  
Development Facilitation Team  
City of Albuquerque  
Albuquerque, NM



**RE: Applications PR-2023-008710 & SI-2025-00082  
U-Haul Site Plan Comments/Responses #3  
8200 Jefferson St NE, Albuquerque, NM**

Development Facilitation Team,

Thank you for your time reviewing the U-Haul Site Plan application for the proposed development at 8200 Jefferson St NE. We received your comments dated September 17, 2025 and have addressed your comments. Below we have copied all your review comments and then provided written responses explain how each item was addressed.

## CODE ENFORCEMENT COMMENTS

1. Dimensional Standards: The site plan shows inaccurate setback requirements. The property is zoned NR-LM, and must meet dimensional standards as per IDO 5-1(E), Table 5-1-3: Front setback = 5 ft minimum, Side and Rear = 0 ft minimum. However, there are more restrictive height limitations in CPO-10 North I-25 overlay, limiting to 52 feet, as per IDO 3-4(K)(3)(b).

*ISG Response: The setbacks are corrected to reflect the NR-LM zone and everything on site is still in compliance with the setbacks. The tallest building on the site will be 46-ft tall so all building are compliant with the allowable height.*

2. Fence height in the NR-LM zone are allowed up to 6 ft in the front or street side yard, and up to 10 ft elsewhere on the lot. Fencing notes on site plan reflect a restrictive requirement of being set back 5 feet from property line, but that does not apply to this zone.

*ISG Response: This note has been revised.*

3. Lighting: Insufficient information provided on light fixtures to show compliance with IDO 5-8(E). Provide light fixture types/detail sheets to show how the light fixtures meet required cut-off angle requirements for building mounted and pole mounted lighting. Please see the excerpt from IDO 5-8(E) at the end of the comments, below, regarding cutoff and shielding.

*ISG Response: See updated plan sheet C6-10.*

4. Lighting: Light pole heights are limited to 20 feet as per IDO 5-8, Table 5-8-1. There is one light pole shown as 25 ft in height, with incorrect justification note on photometric lighting plan referencing it in the Commercial district. However, the Commercial district in Lighting Table 5-8-1 does not include allowable uses in the Offices and Services subcategory of Table 4-2-1, which would include Self-Storage. See the highlighted excerpt of Table 5-8-1 below, showing which category applies to this property, accordingly.

*ISG Response: See updated plan sheet C6-10.*

5. Lighting: The photometric site plan given does not show compliance with light trespass requirements at the property line, as per IDO 5-8(F)(4) Light Trespass and Table 5-8-3.
  1. Property is designated as an LZ-1 light zone, as per Table 5-8-2, section 5-8(F).
  2. The photometric lighting site plan should show the light trespass measurements at the property line at no higher than 0.1 footcandle to confirm compliance with allowable light trespass. Please note the highlighted portion of IDO 5-8(F)(4)(c), below: 5-8(F)(4)(c) If the total illumination from outdoor light sources and interior light escaping from windows exceeds light trespass limits in Table 5-8-3 at any point along the property line, lighting must be re-aimed, removed, turned off, or dimmed until compliance is reached. The photometric site plan shows multiple instances of the lighting exceeding the allowable level at the property line, and the lighting plan must be adjusted to bring it into compliance.

*ISG Response: See updated plan sheets C6-10..*

6. All signage must be submitted for separate approval and sign permit, and must meet all requirements of CPO-10 North I-25 overlay zone, and IDO 5-12 Signs and Table 5-12-3.

*ISG Response: Noted. The Sign Permit will be handled by the owner/sign contractor.*

## PLANNING COMMENTS

1. The project and application numbers must be added to the Site Plan and any associated IL.

*ISG Response: This is shown on the title block on the right side of the page. Also on the IL.*

2. Clarify how the upcoming DHO platting action will be affect the site plan and if the IL will be affected.

*ISG Response: All platting changes have been shown on the site plan to reflect the IL items for the city ROW requested changes.*

3. Confirm if the IL-Infrastructure List is complete per the engineering team or if revisions are still required.

*ISG Response: The IL list is complete and ready to route for final review/signatures.*

4. Confirm that Code Enforcement has approved the lighting plan, per current standards within IDO section 3-4-K and 5-8.

*ISG Response: In progress.*

5. Clarify the details of meeting 5-11-E-3, #2 (a, b, c, d). Clarify if seating area was included in the landscaping plan, matching the site plan sheets.

*ISG Response: a. Each required seating and gathering area shall be at least 400 square feet in size for each 30,000 square feet of gross floor area – 420 SF provided. b. At least 25 percent of the required seating and gathering areas shall be shaded from the sun – 105 SF required, 126 SF provided c. The seating and gathering area shall be provided with pedestrian-scale lighting, street furniture or seating areas, and trash receptacles – 2 picnic tables and 1 trash receptable is provided. d. The required seating and gathering area shall be linked to the primary entrance of the*

*primary building and the public sidewalk or internal drive aisle or located adjacent to or to maximize views to public or private open space – This seating area is directly adjacent to the main entrance of the building. Landscape sheets also show these outdoor seating areas as well.*

6. Confirmation from the ZEO that the Alternative Landscape Plan has been approved is required prior to the approval of the Site Plan Administrative DFT by DFT staff.

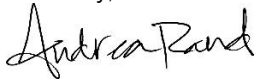
*ISG Response: This plan was approved by the ZEO on 9/22/25.*

7. \*Applicant must ensure that all revised and/or final Plan sheets are sealed and signed by a design professional licensed in the State of New Mexico.

*ISG Response: Plans are compliant to show required information.*

Thank you again for reviewing the attached materials. Please contact me at 952.426.0699 or via email at [Andrea.Rand@ISGInc.com](mailto:Andrea.Rand@ISGInc.com) with any questions or if there is any additional information we can provide in support of this project.

Sincerely,

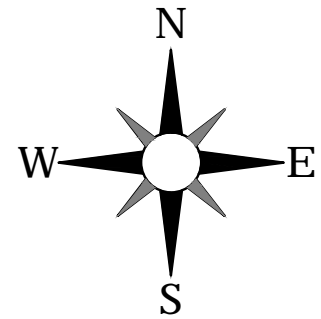


Andrea Rand, AICP  
Development Services Coordinator



## CITY OF ALBUQUERQUE

### LOCATION MAP



#### CIVIL PLAN ABBREVIATIONS:

AC	ACRE	CL	CONTROL JOINT	EOF	EMERGENCY OVERFLOW	GL	GUTTER LINE	IPS	IRON PIPE SIZE	NWL	NORMAL WATER LEVEL	RCP	REINFORCED CONCRETE PIPE	THRU	THROUGH
ADA	AMERICANS WITH DISABILITIES ACT	CL	CENTERLINE	EQ	EQUAL	GPM	GALLONS PER MINUTE	J-BOX	JUNCTION BOX	OC	ON CENTER	RD	ROOF DRAIN	TNPH	TOP NUT OF FIRE HYDRANT
ADD	ADDENDUM	CMP	CORRUGATED METAL PIPE	EX	EXISTING	GV	GATE VALVE	JT	JOINT	OCEW	ON CENTER EACH WAY	REBAR	REINFORCING BAR	TRANS	TRANSFORMER
AFF	ABOVE FINISHED FLOOR	CO	CLEANOUT	FDC	FIRE DEPARTMENT CONNECTION	HDPE	HIGH DENSITY POLYETHYLENE	LF	LINEAR FEET	OH	OVERHEAD	REM	REMOVE	TV	TELEVISION
AGG	AGGREGATE	CONC	CONCRETE	FDN	FOUNDATION	HD	HEAVY DUTY	LIN	LINEAR	OHD	OVERHEAD DOOR	ROW	RIGHT OF WAY	T/W	TOP OF WALL
APPROX	APPROXIMATE	CONST	CONSTRUCTION	FES	FLARED END SECTION	HH	HANDHOLE	LPS	LOW PRESSURE STEAM	OZ	OUNCE	R/W	RIGHT OF WAY	TYP	TYPICAL
ARCH	ARCHITECT, ARCHITECTURAL	CONT	CONTINUOUS	FFE	FINISHED FLOOR ELEVATION	HORIZ	HORIZONTAL	LS	LUMP SUM	PED	PEDESTAL, PEDESTRIAN	SAN	SANITARY	UT	UTILITY, UNDERGROUND
BFE	BASEMENT FLOOR ELEVATION	CY	CUBIC YARD	FPM	FEET PER MINUTE	HR	HOUR	LSO	LOWEST STRUCTURAL OPENING	PERF	PERFORATED	SCH	SCHEDULE	VCP	VITRIFIED CLAY PIPE
BIT	BITUMINOUS	C&G	CURB AND GUTTER	FPS	FEET PER SECOND	HWL	HIGH WATER LEVEL	MAX	MAXIMUM	PL	PROPERTY LINE	SF	SQUARE FOOT	W/O	WITHOUT
CAD	COMPUTER-AIDED DESIGN	DEM	DEMOLITION	FT	FOOT, FEET	HWY	HIGHWAY	MB	MAIL BOX	PP	POLYPROPYLENE	SPEC	SPECIFICATION	W/	WITH
CB	CATCH BASIN	DIA	DIAMETER	FTG	FOOTING	HYD	HYDRANT	MECH	MECHANICAL	PSI	POUNDS PER SQUARE INCH	SQ	SQUARE	YD	YARD
CFS	CUBIC FEET PER SECOND	DIM	DIMENSION	GA	GAUGE	I	INVERT	MH	MANHOLE	PVC	POLYVINYL CHLORIDE	STA	STATION	YR	YEAR
CF	CUBIC FOOT	DS	DOWNSPOUT	GAL	GALLON	ID	INSIDE DIAMETER	MIN	MINIMUM	PVMT	PAVEMENT	SY	SQUARE YARD		
CI	CAST IRON	EA	EACH	GALV	GALVANIZED	IN	INCH	QTY	QUANTITY	T/C	TOP OF CURB	TD	YARD		
CIP	CAST IRON PIPE	ELEC	ELECTRICAL	GC	GENERAL CONTRACTOR	INV	INVERT	NO	NUMBER	R	RIM	TEL	TELEPHONE		
CIPC	CAST IN PLACE CONCRETE	ELEV	ELEVATION	GFE	GARAGE FLOOR ELEVATION	IP	IRON PIPE	NTS	NOT TO SCALE	RAD	RADIUS	TEMP	TEMPORARY		

#### PROJECT BACKGROUND - IDO ZONE DISTRICT NR-LM, WITHIN CPO-10 NORTH I-25 OVERLAY

1. Clarify in detail how all Use Specific standards for Self-Storage, Light/Heavy Vehicle & Equipment sales, rental, fueling, and repair are being met. See IDO 4-3 and reference each use specific standards and how they are met.  
ISG Response: Please see the applications sections of the IDO copied below with our responses to each requirement on how the proposed site is compliant.

4-3(D)(17) Heavy Vehicle and Equipment Sales, Rental, Fueling, and Repair

i. 4-3(D)(17)(a) This use must comply with stormwater quality requirements found in the DPM.  
ISG Response: This use complies with stormwater quality requirements found in the DPM. The grading and drainage plans along with stormwater design for this project has been approved by city staff.

ii. 4-3(D)(17)(b) The lot must be graded and surfaced pursuant to DPM standards and shall be maintained in a level and serviceable condition.  
ISG Response: We have created a site grading and erosion control plan and will acquire all applicable permits needed and grad the site to development standards.

iii. 4-3(D)(17)(c) This use must be screened as required by Subsection 14-16-5-6(G)(4) (Outdoor Storage Areas for Vehicles, Equipment, and Materials). The Planning Director may require a taller wall, fence, or vegetative screen to provide an adequate buffer for an abutting Residential zone district or lot containing a residential use in any Mixed-use zone district from the reasonably anticipated visual or noise impacts of this use.  
ISG Response: Not applicable as no adjacent site contains a residential use.

iv. 4-3(D)(17)(d) For fueling station canopies, all under-canopy lighting shall be recessed so that no light lens projects below the canopy ceiling. The canopy fascia shall not be internally illuminated.  
ISG Response: No fueling station canopies are proposed on this project.

v. 4-3(D)(17)(e) Vehicle repair, servicing, and maintenance shall be conducted within fully enclosed portions of a building.  
ISG Response: No vehicle repair, servicing or maintenance are proposed as a use on this project.

vi. 4-3(D)(17)(f) Any building that contains vehicle repair, servicing, and maintenance is prohibited within 25 feet in any direction of any Residential zone district or lot containing a residential use in any Mixed-use zone district.  
ISG Response: This site is over 25-ft of any residential use in any direction.

vii. 4-3(D)(17)(g) If located within 330 feet of any Residential zone district, this use shall require a Conditional Use Approval pursuant to Subsections 14-16-5-2(E) and 14-16-6-6(A).  
ISG Response: This is not applicable as the closest residential property is a little over 500-ft away from the closest edge of the subject site.

viii. 4-3(D)(17)(h) This use is prohibited within 330 feet in any direction of Major Public Open Space.  
ISG Response: Not applicable as the site is not within 330-ft of any major public open space.

ix. 4-3(D)(17)(i) A cumulative impacts analysis may be required at the time of application submittal for projects within the Railroad and Spur Small Area, pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements).  
ISG Response: Not applicable as the site is not within this area.

#### PROJECT ADDRESS:

8200 JEFFERSON STREET NE  
ALBUQUERQUE, NM

#### SITE SUMMARY

ZONING:	NR-LM
HEAVY VEHICLE AND EQUIPMENT RENTAL AREA:	4,603 SF
SELF-STORAGE BUILDING SELF-STORAGE AREA:	117,826 SF
U-BOX BUILDING SELF-STORAGE AREA:	23,367 SF
MINI-STORAGE BUILDING SELF-STORAGE AREA:	11,600 SF

#### PARKING REQUIREMENTS (PER ALBUQUERQUE IDO)

TYPE	UNIT / AREA	STALLS REQUIRED	STALLS PROVIDED
HEAVY VEHICLE AND EQUIPMENT RENTAL:	1 / 1,000 SF GFA	5 SPACES (4,603 / 1000 = 4.6)	5
SELF-STORAGE AREA:	1 / 3,000 SF GFA	50 SPACES (150,618 / 3,000 = 50.2)	50
ADA (ACCESSIBLE):		3 SPACES FOR 51-75 SPACES	3
BICYCLE:	3 SPACES OR 10% OF REQ. OFF-STREET PARKING SPACES, WHICHEVER IS GREATER (55 * 10% = 5.5)		3
MOTORCYCLE:	3 SPACES FOR 51-100 REQ. OFF-STREET PARKING SPACES		6
	TOTAL:	55	55

#### SETBACKS

	BUILDING
FRONT YARD	15'-0"
SIDE YARD	5'-0"
REAR YARD	15'-0"

#### PROJECT GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER - CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH INCLUDES GENERAL SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS), DRAWINGS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS AND CLARIFICATIONS ISSUED BY THE ARCHITECT/ENGINEER.
- CONTRACT DOCUMENTS SHALL BE ISSUED TO ALL SUBCONTRACTORS BY THE GENERAL CONTRACTOR IN COMPLETE SETS IN ORDER TO ACHIEVE THE FULL EXTENT AND COMPLETE COORDINATION OF ALL WORK.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE SHOWN IN CHARACTER TO DETAILS SHOWN. WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED ACCORDING TO MANUFACTURERS' INSTRUCTIONS. IN CASE OF DISCREPANCIES BETWEEN MANUFACTURERS' INSTRUCTIONS AND THE CONTRACT DOCUMENTS, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.
- THE LOCATION AND TYPE OF ALL INPLACE UTILITIES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY AND ARE ACCURATE AND COMPLETE TO THE BEST OF THE KNOWLEDGE OF I & S GROUP, INC. (ISG). NO WARRANTY OR GUARANTEE IS IMPLIED. THE CONTRACTOR SHALL VERIFY THE SIZES, LOCATIONS AND ELEVATIONS OF ALL INPLACE UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
- THE CONTRACTOR IS TO CONTACT "NEW MEXICO ONE CALL" FOR UTILITY LOCATIONS, MINIMUM 2 BUSINESS DAYS PRIOR TO ANY EXCAVATION / CONSTRUCTION (811).

#### SPECIFICATIONS REFERENCE

ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REQUIREMENTS.

#### PROJECT DATUM

HORIZONTAL COORDINATES HAVE BEEN REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), ON THE NEW MEXICO STATE PLANE. CENTRAL ZONE IN U.S. SURVEY FEET AS MEASURED ALONG THE NORTHWEST LINE OF THE SUBJECT PROPERTY WHICH BEARS N 17° 16'54" E PER GPS COORDINATE OBSERVATIONS.  
LATITUDE = 35° 10'35.9250"  
LONGITUDE = -106° 35'34.8662"  
CONVERGENCE ANGLE = 00° 11'51.4113"

ELEVATIONS HAVE BEEN REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS WITH ORIGINATING BENCHMARK CITY OF ALBUQUERQUE VERTICAL CONTROL MONUMENT G-442.

RTK GPS METHODS WERE USED TO ESTABLISH HORIZONTAL AND VERTICAL COORDINATES FOR THIS PROJECT.

#### TOPOGRAPHIC SURVEY

THIS PROJECT'S TOPOGRAPHIC SURVEY CONSISTS OF DATA COLLECTED IN NOVEMBER 2021 BY BLEW & ASSOCIATES, PA (479-443-4506)

#### B.M. ELEVATION= 5127.87

ALUMINIUM CAP "NM DOT" (ADJACENT TO PASEO DEL NORTE IN SW CORNER OF LOT)

N: 1519065.87 / E: 1518067.67

#### LEGEND

EXISTING	
—	CITY LIMITS
—	SECTION LINE
—	QUARTER SECTION LINE
—	RIGHT OF WAY LINE
—	PROPERTY / LOTLINE
---	EASEMENT LINE
Δ	ACCESS CONTROL
W	WATER EDGE
WET	WETLAND BOUNDARY
WETLAND / MARSH	WETLAND / MARSH
X	FENCE LINE
X	CULVERT
<<	STORM SEWER
<<	SANITARY SEWER
<II	SANITARY SEWER FORCEMAIN
I	WATER
G	GAS
OE	OVERHEAD ELECTRIC
UE	UNDERGROUND ELECTRIC
UT	UNDERGROUND TELEPHONE
UTV	UNDERGROUND TV
OHL	OVERHEAD UTILITY
UTL	UNDERGROUND UTILITY
FBO	UNDERGROUND FIBER OPTIC
990	CONTOUR (MAJOR)
989	CONTOUR (MINOR)
○	DECIDUOUS TREE
★	CONIFEROUS TREE
○	TREE LINE
□	MANHOLE/STRUCTURE
○	CATCH BASIN
○	HYDRANT
○	VALVE
○	CURB STOP
○	POWER POLE
○	UTILITY PEDESTAL / CABINET

PROPOSED	
---	LOT LINE
---	RIGHT OF WAY
---	EASEMENT
---	CULVERT
---	STORM SEWER
---	STORM SEWER (PIPE WIDTH)
---	SANITARY SEWER
---	SANITARY SEWER (PIPE WIDTH)
---	WATER
---	GAS
---	OVERHEAD ELECTRIC
---	UNDERGROUND ELECTRIC
---	UNDERGROUND TV
---	CONTOUR
---	MANHOLE (STORM, SANITARY)
---	CATCH BASIN
---	HYDRANT
---	VALVE

#### CIVIL SHEET INDEX

C0-10	SITE DATA
C0-20	SITE DETAILS
C0-21	SITE DETAILS
C0-22	SITE DETAILS
C0-23	SITE DETAILS
C1-10	SWPPP NOTES
C1-20	SWPPP DETAILS
C1-30	PRE-CONSTRUCTION SWPPP
C1-40	PROPOSED SWPPP
C2-10	EXISTING SITE AND REMOVAL PLAN
C3-10	SITE PLAN
C3-20	UTILITY PLAN
C3-21	UTILITY PROFILES AND SCHEDULES
C4-10	GRADING PLAN
C4-11	DETAILED GRADING PLAN
C4-13	DETAILED GRADING PLAN
C5-10	ALTERNATIVE RESTORATION PLAN
C5-11	ALTERNATIVE PLANTING PLAN
C5-30	PLANTING NOTES AND DETAILS
C6-10	SITE PHOTOMETRIC

#### SHEET NOTES:

#### REVISIONS:

NO.	DATE	INITIALS	NOTES
1	10/20/2024	ARA	CITY SUBMITTAL #1
2	08/26/2025	ARA	CITY SUBMITTAL #3
3	10/22/2025	ARA	CITY SUBMITTAL #3
4			
5			
6			
7			
8			

#### PROFESSIONAL SEAL:



10/22/2025

ISG

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

SHEET NOT VALID UNLESS THIS TEXT IS COLOR.

#### PROJECT

**U-HAUL**  
PR-2023-008710  
SI-2025-00082  
ALBUQUERQUE NEW MEXICO

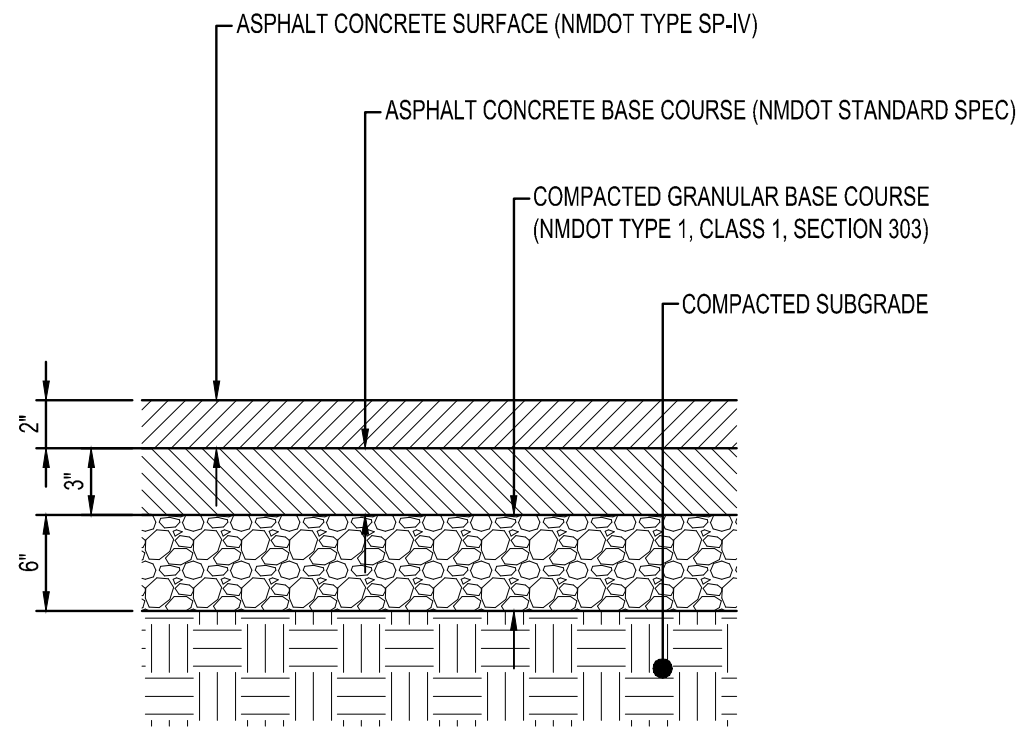
SITE ADDRESS:  
U-Haul Moving & Storage  
8200 JEFFERSON ST

#### SHEET CONTENTS:

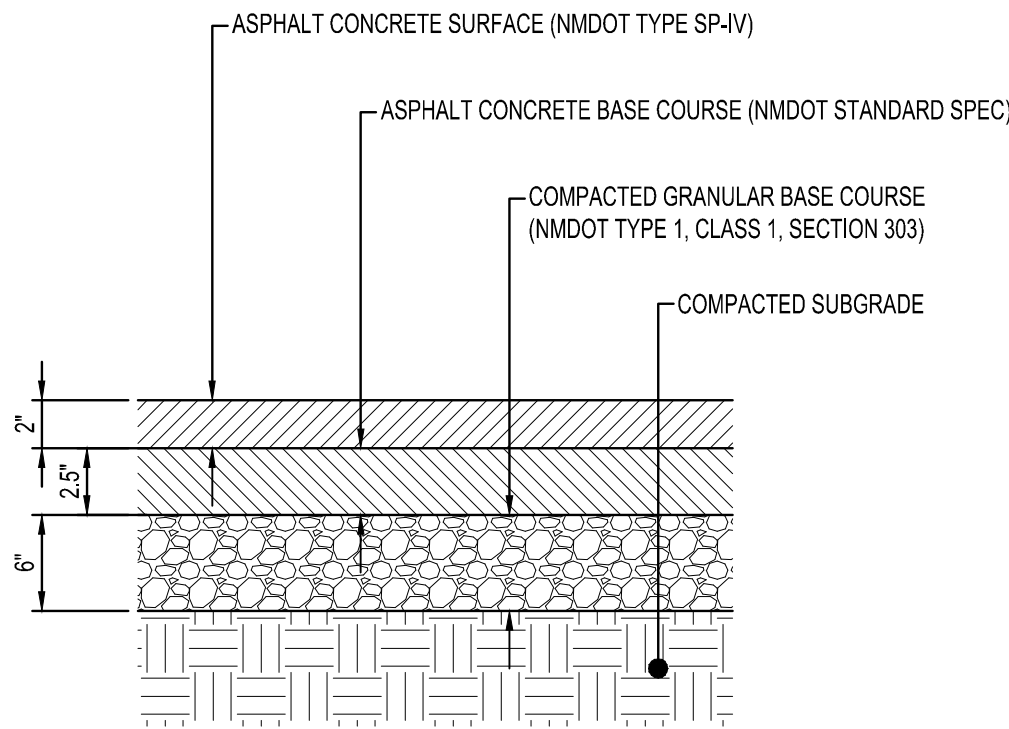
#### SITE DATA

824071

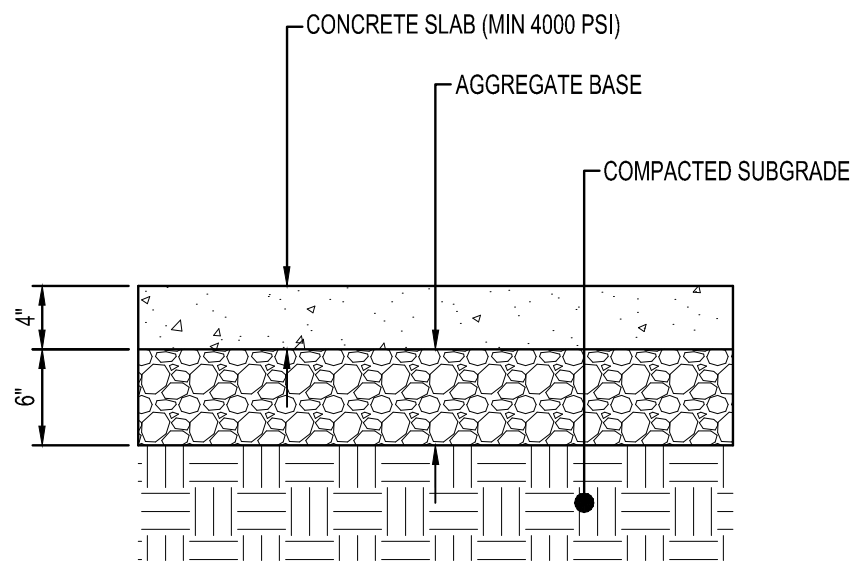
DRAWN:	GBV	
CHECKED:	ARA	C0-10
DATE:	10/22/25	
		CO-TITLE



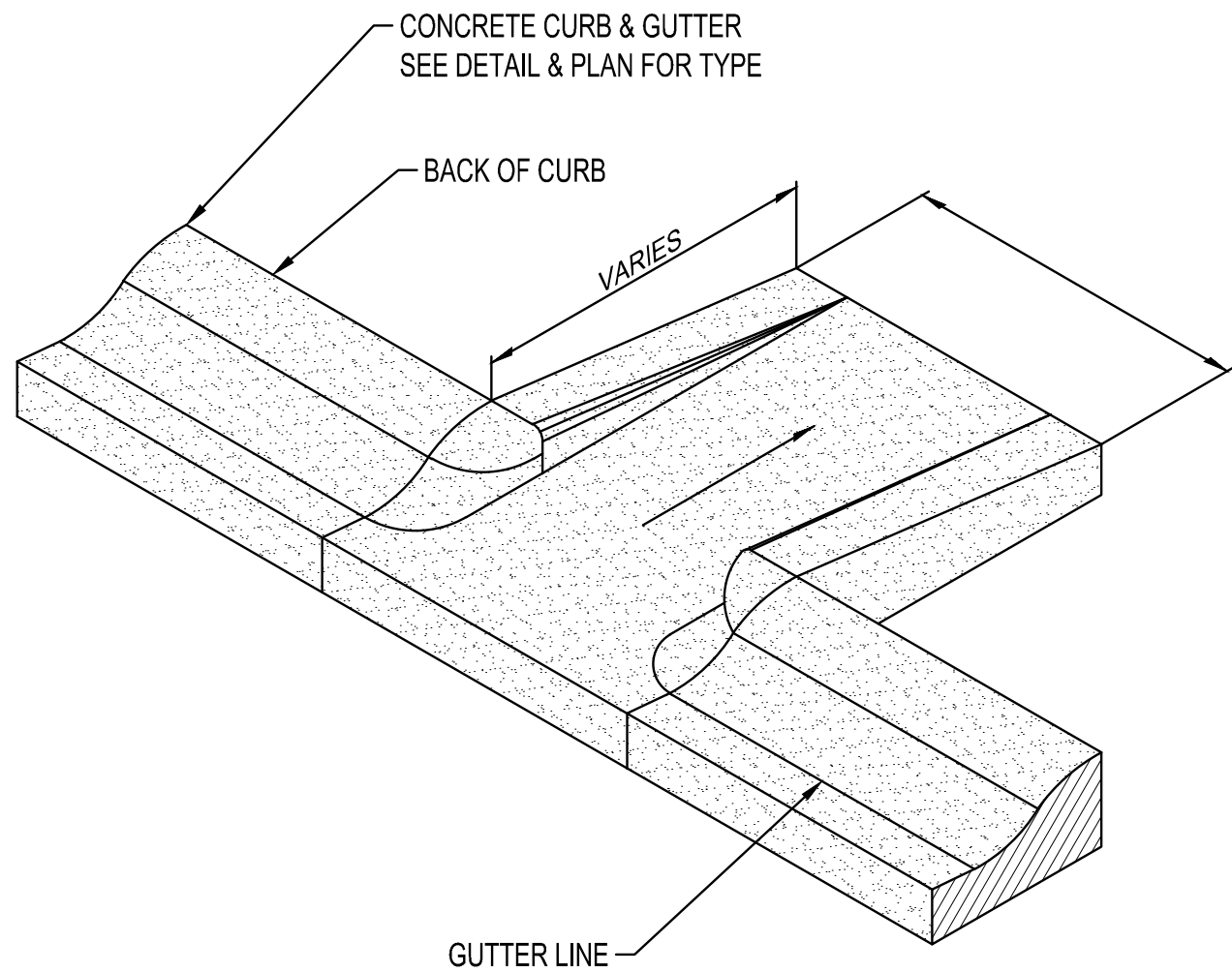
HEAVY DUTY  
ASPHALT PAVEMENT  
NTS



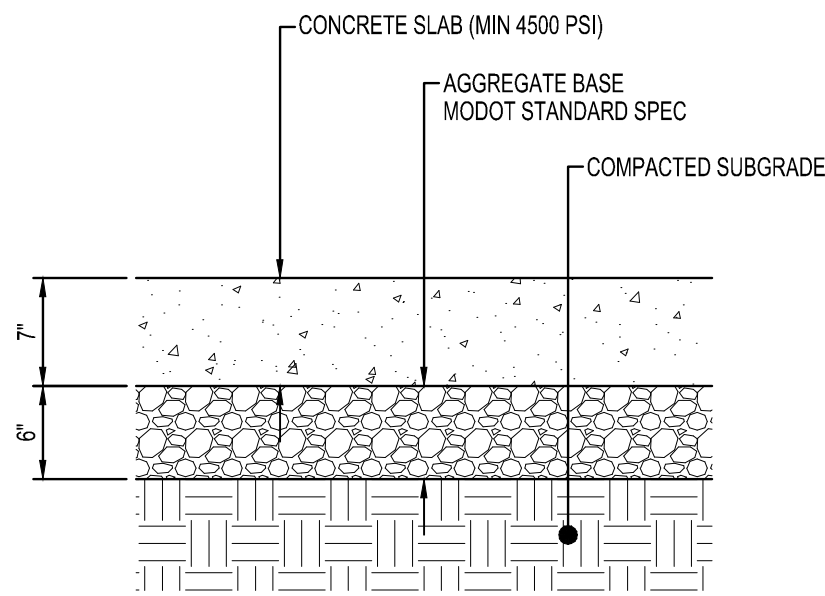
STANDARD  
ASPHALT PAVEMENT  
NTS



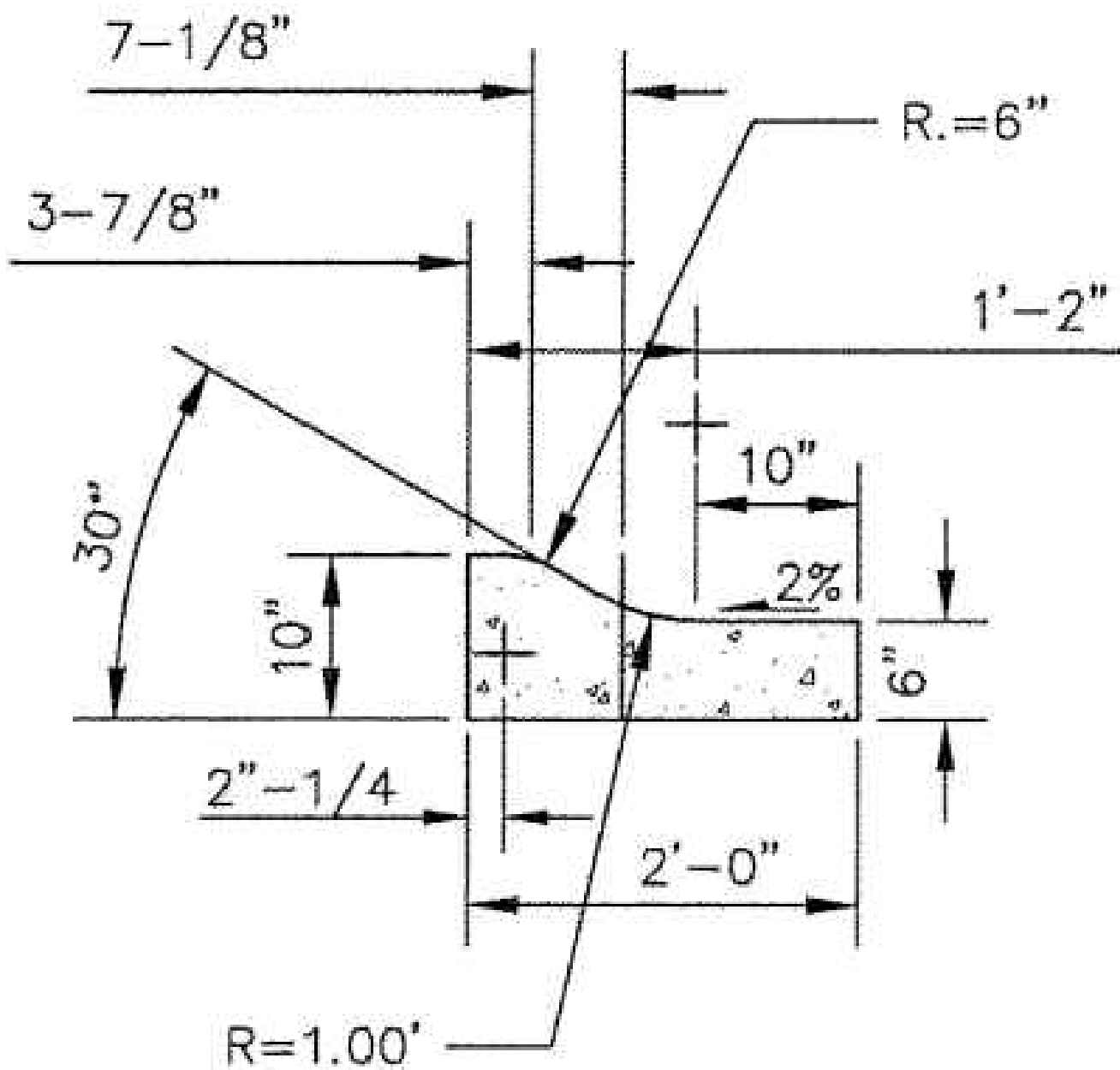
CONCRETE SIDEWALK  
NTS



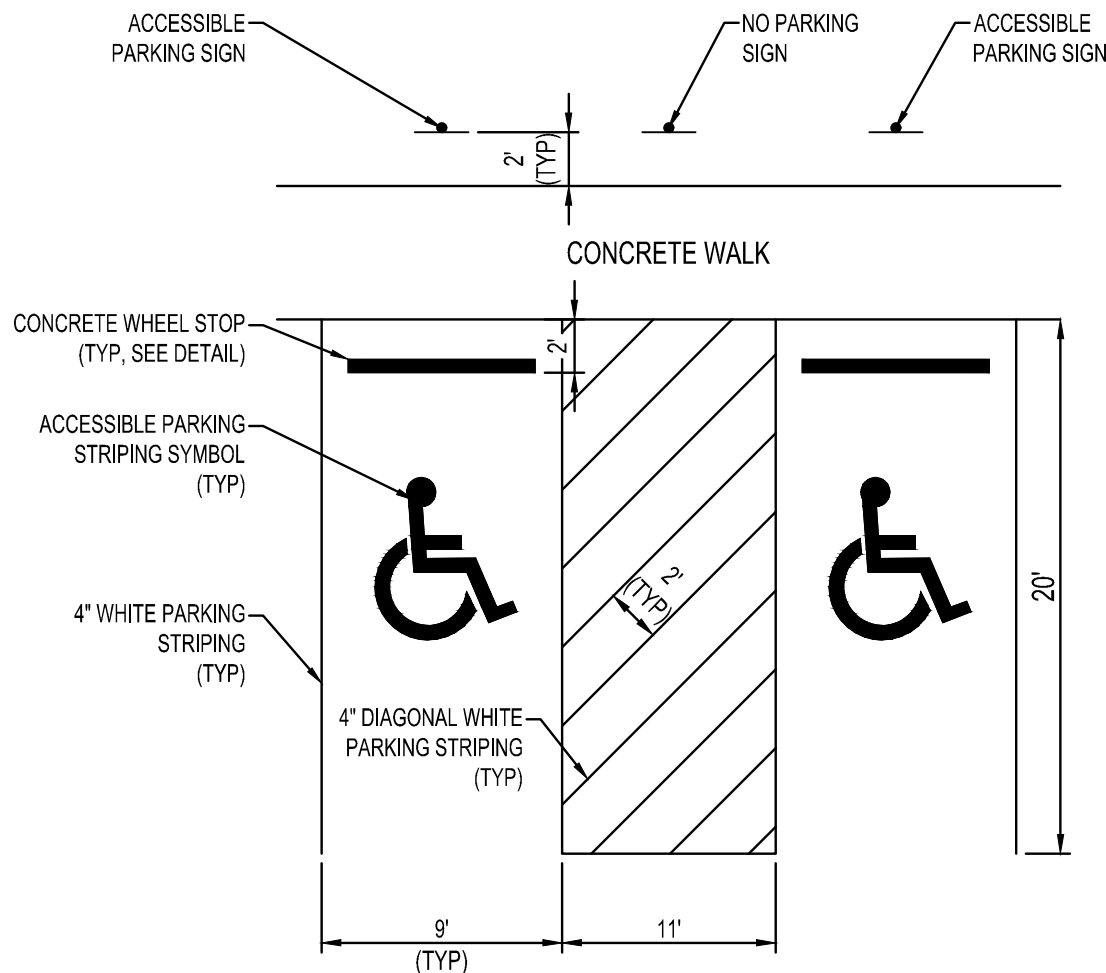
FLUME CURB CUT  
NTS



STANDARD  
CONCRETE PAVEMENT  
NTS



4" CONCRETE ROLLED CURB  
NTS



ACCESSIBLE PARKING AREA  
NTS

SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	10/20/2024	ARA	CITY SUBMITTAL #1
2	09/26/2025	ARA	CITY SUBMITTAL #3
3	10/22/2025	ARA	CITY SUBMITTAL #3
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:



10/22/2025

ISG

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

SHEET NOT VALID UNLESS THIS TEXT IS COLOR.

PROJECT

**U-HAUL**  
PR-2023-008710  
SI-2025-00082

ALBUQUERQUE NEW MEXICO

SITE ADDRESS:  
**U-Haul Moving & Storage**  
8200 JEFFERSON ST

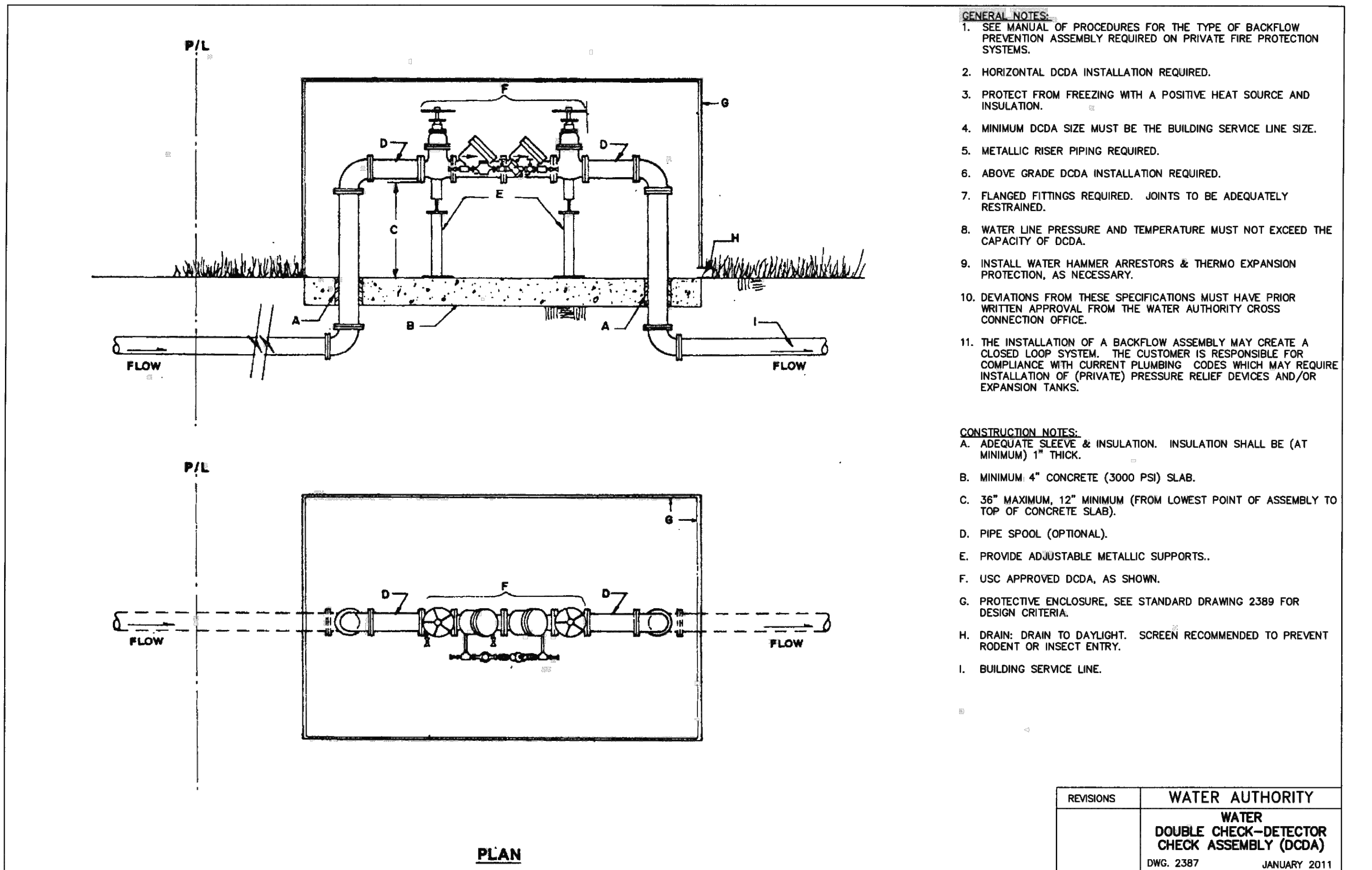
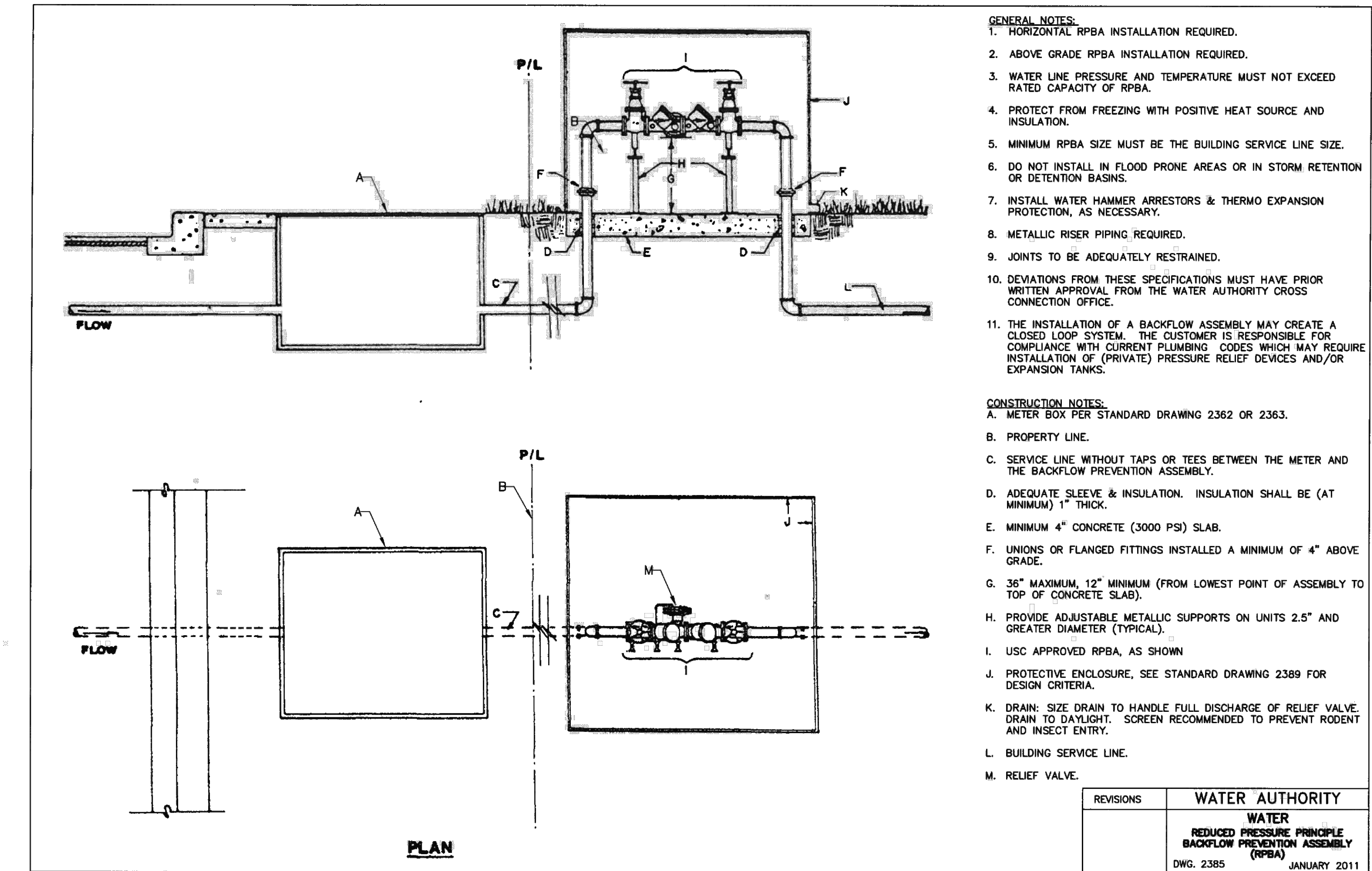
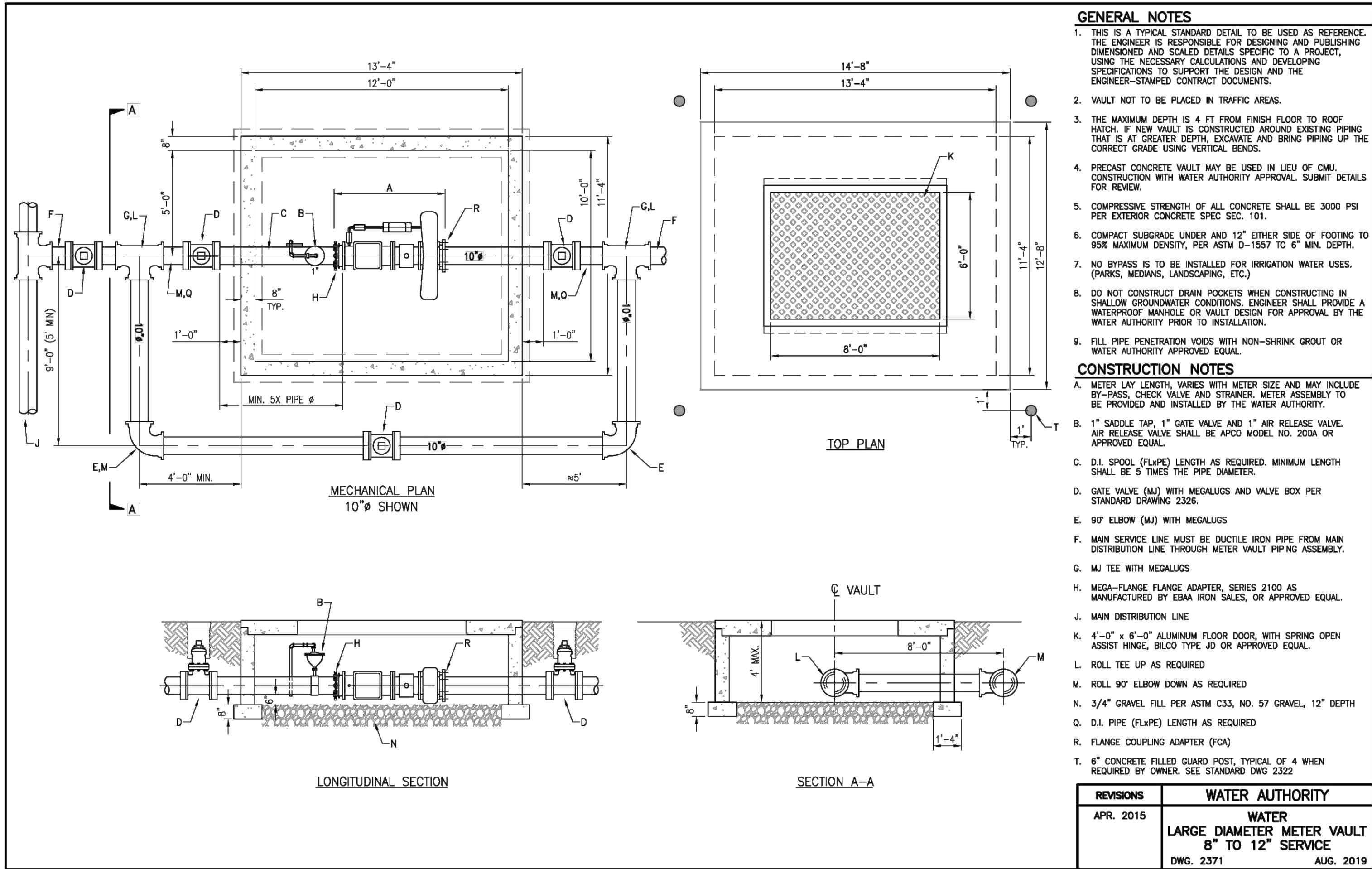
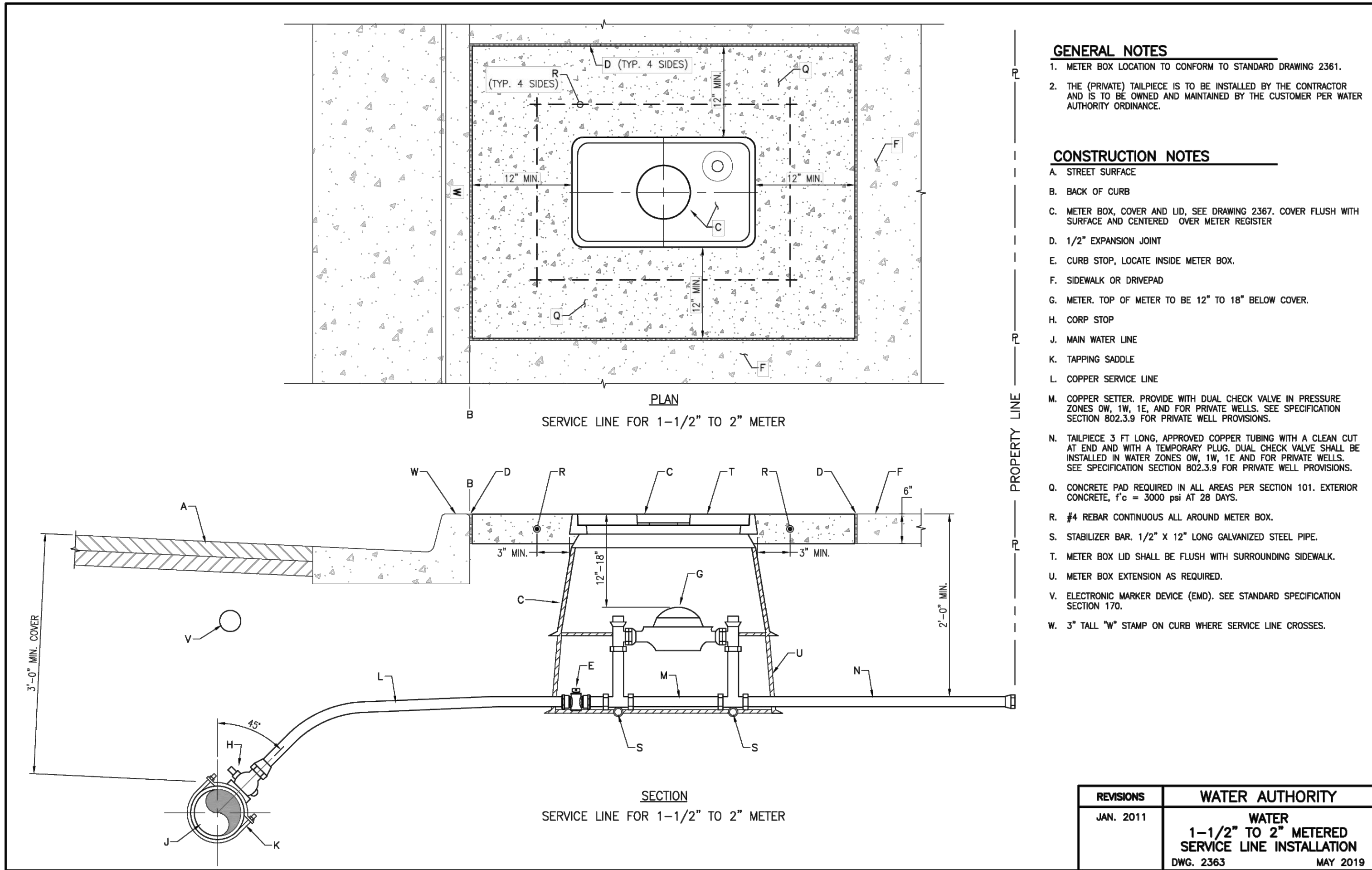
SHEET CONTENTS:

**SITE DETAILS**

**824071**

DRAWN:	GBV	
CHECKED:	ARA	<b>C0-20</b>
DATE:	10/22/25	

C0-DETAILS



SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	10/20/2024	ARA	CITY SUBMITTAL #1
2	08/20/2025	ARA	CITY SUBMITTAL #3
3	10/22/2025	ARA	CITY SUBMITTAL #3
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:



10/22/2025



THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

SHEET NOT VALID UNLESS THIS TEXT IS COLOR.

PROJECT

**U-HAUL**  
PR-2023-008710  
SI-2025-00082  
ALBUQUERQUE NEW MEXICO  
SITE ADDRESS:  
U-Haul Moving & Storage  
8200 JEFFERSON ST

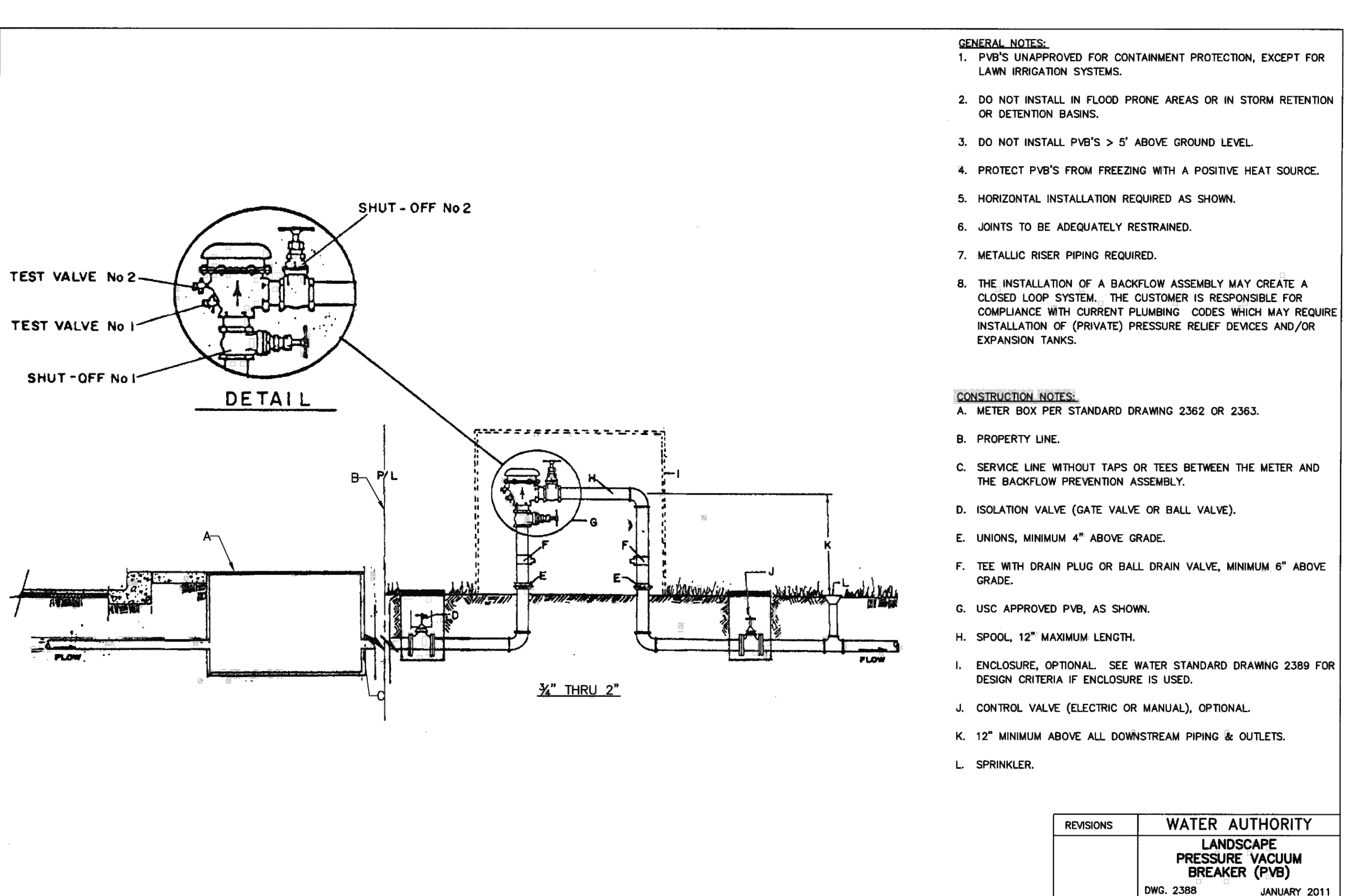
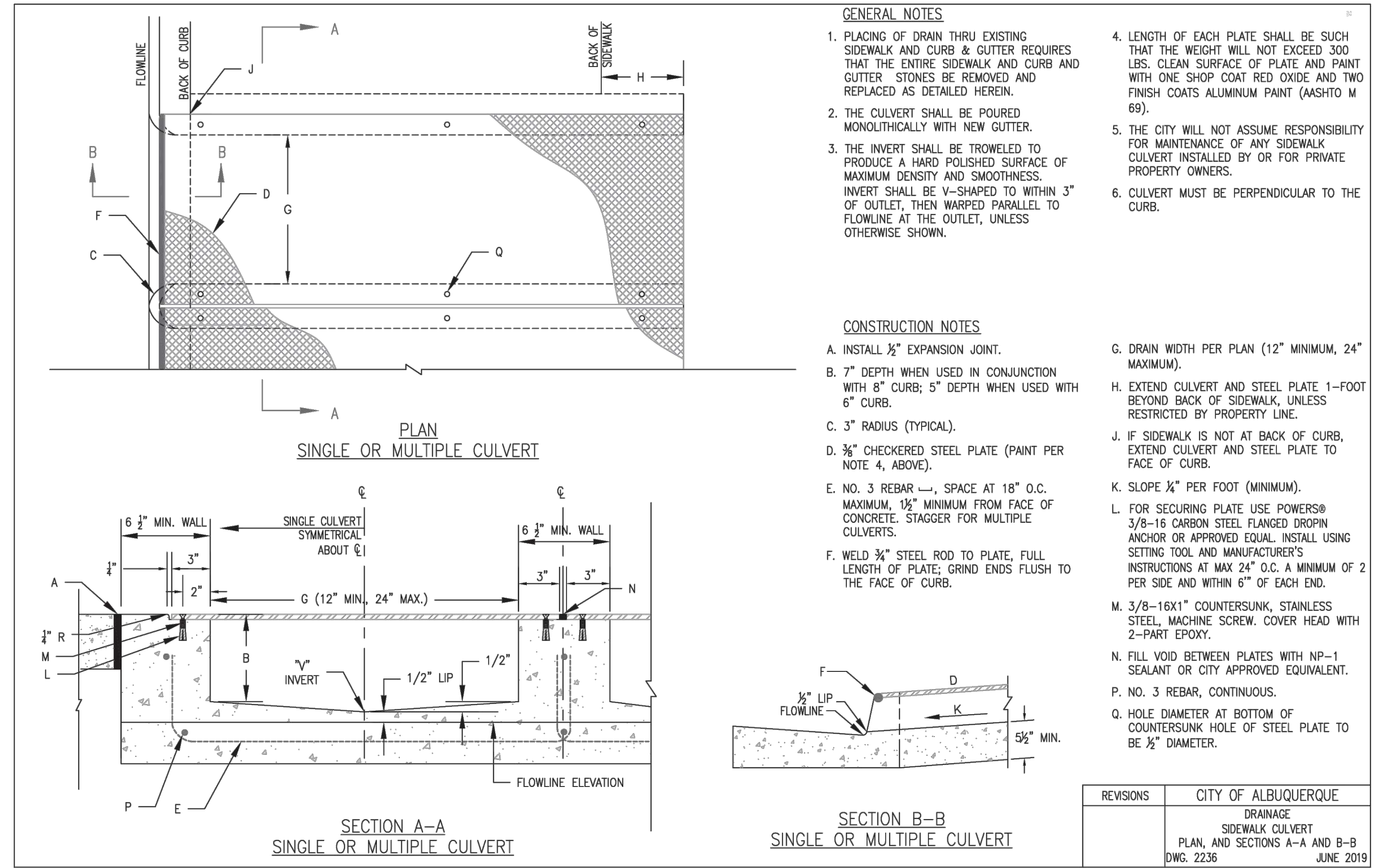
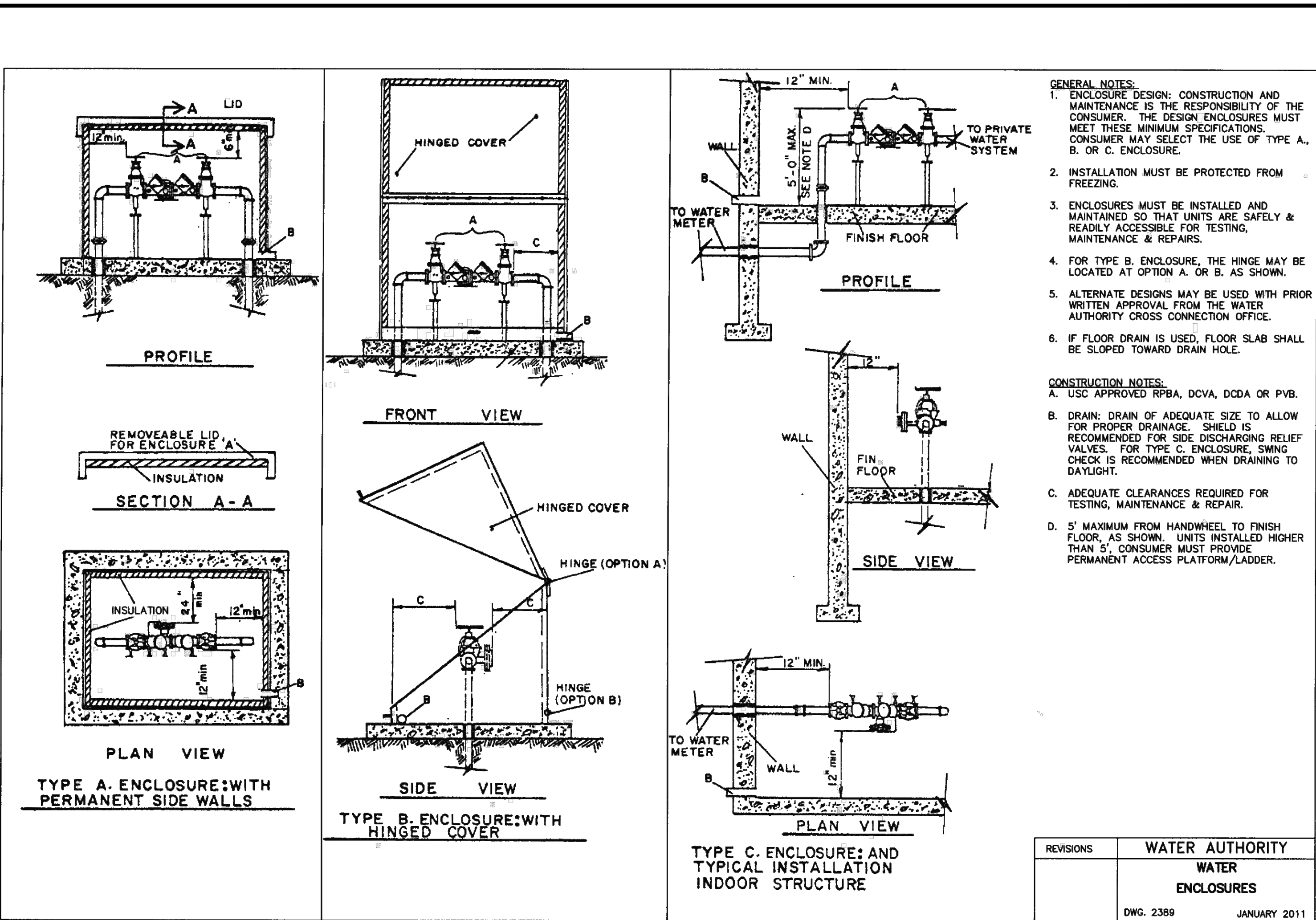
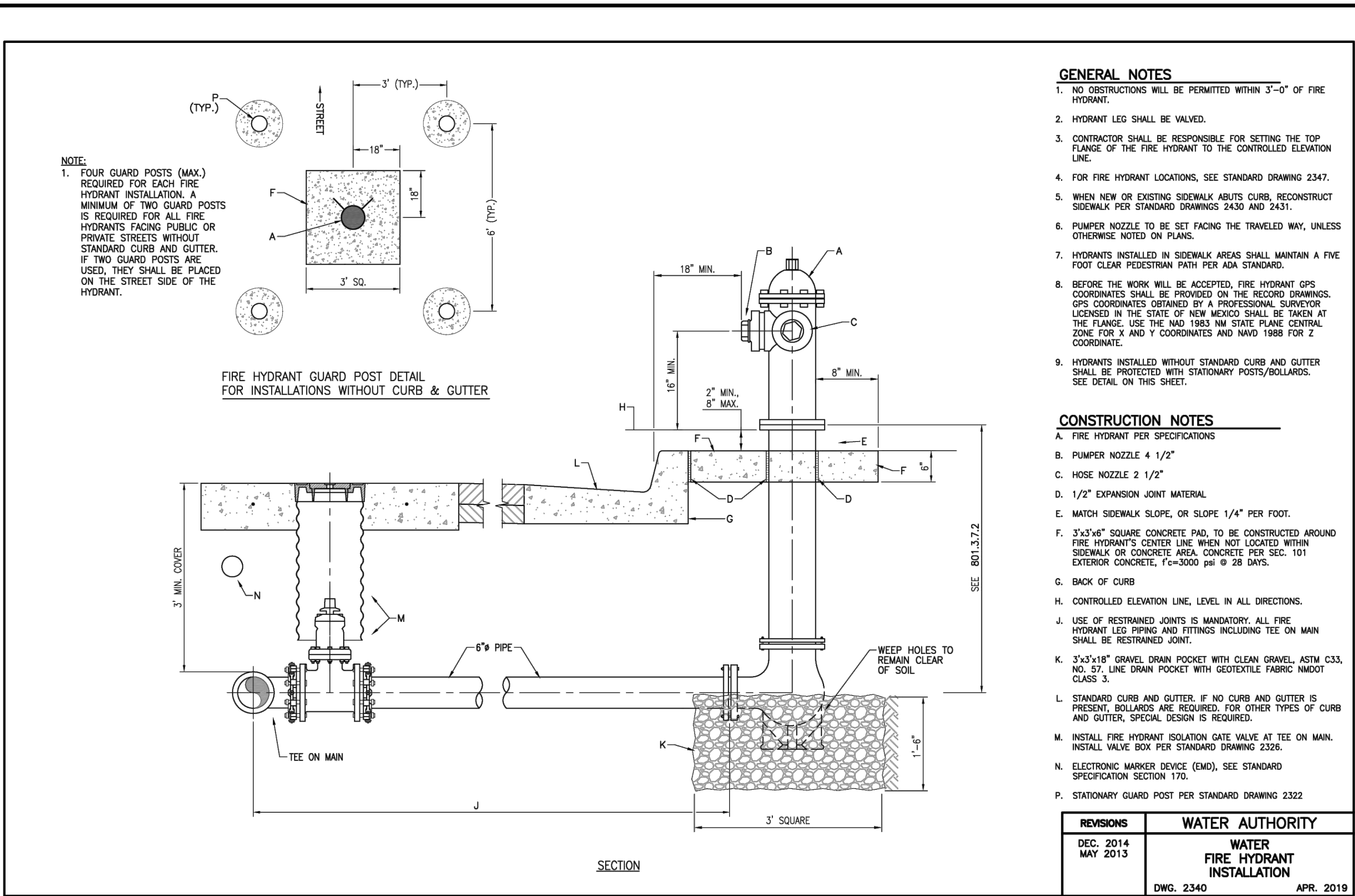
SHEET CONTENTS:

**SITE DETAILS**

**824071**

DRAWN:	GBV
CHECKED:	ARA
DATE:	10/22/2025

C0-DETAILS



SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	10/20/2024	ARA	CITY SUBMITTAL #1
2	08/20/2025	ARA	CITY SUBMITTAL #3
3	10/22/2025	ARA	CITY SUBMITTAL #3
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

RYAN J. ANDERSON  
NEW MEXICO  
28792  
PROFESSIONAL ENGINEER

10/22/2025

ISG

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

SHEET NOT VALID UNLESS THIS TEXT IS COLOR.

PROJECT

U-HAUL  
PR-2023-008710  
SI-2025-00082  
ALBUQUERQUE NEW MEXICO  
SITE ADDRESS:  
U-Haul Moving & Storage  
8200 JEFFERSON ST

SHEET CONTENTS:

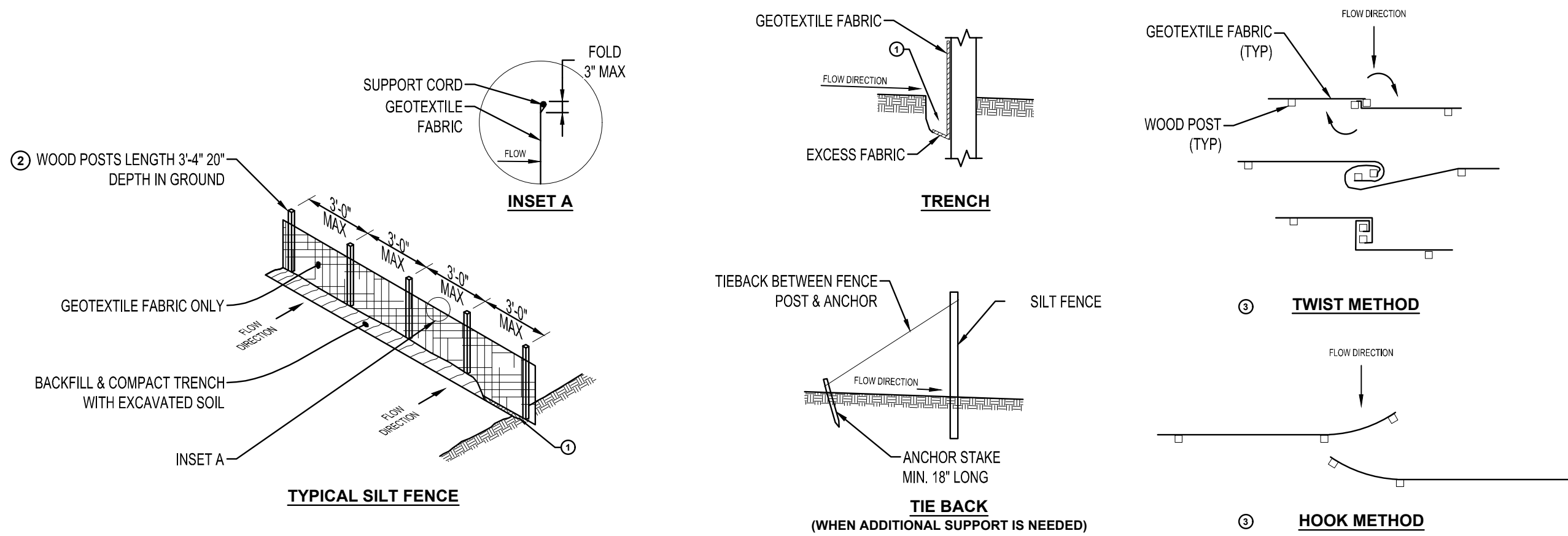
SITE DETAILS

824071

DRAWN: GBV  
CHECKED: ARA  
DATE: 10/22/2025

CO-22

CO-DETAILS

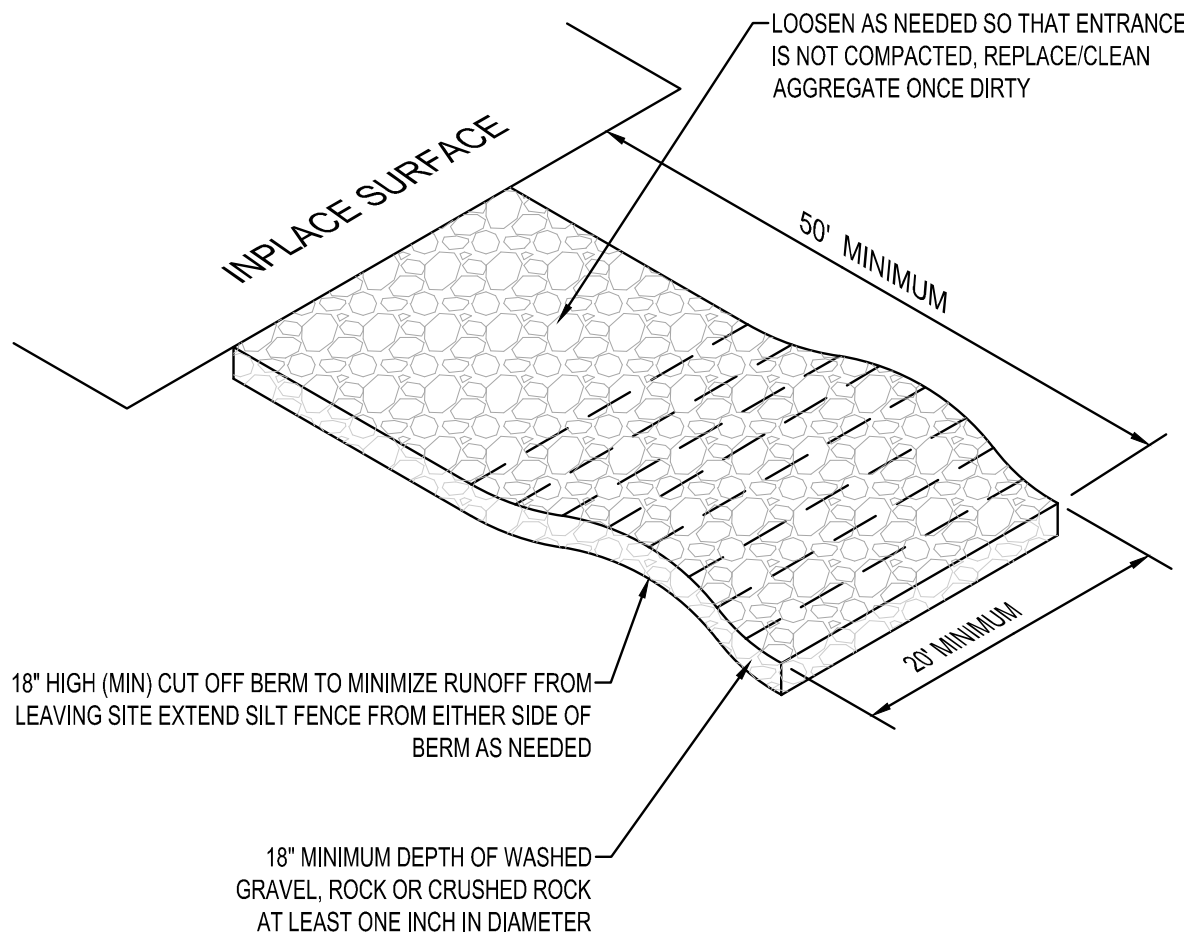


### NOTES:

- ATTACH FABRIC TO THE POSTS WITH WIRE STAPLES OR WOODEN LATH & NAILS. ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS. 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.
- 1 TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY & ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH, BACKFILL, & COMPACT TRENCH WITH EXCAVATED SOIL.
- 2 WOOD POST SHALL BE A MINIMUM SIZE OF 1 1/2" x 1 1/2" OF OAK OR HICKORY.
- 3 CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS.
- A. TWIST METHOD - OVERLAP THE END POSTS & TWIST, OR ROTATE AT LEAST 180°.
- B. HOOK METHOD - HOOK END OF EACH SILT FENCE LENGTH.

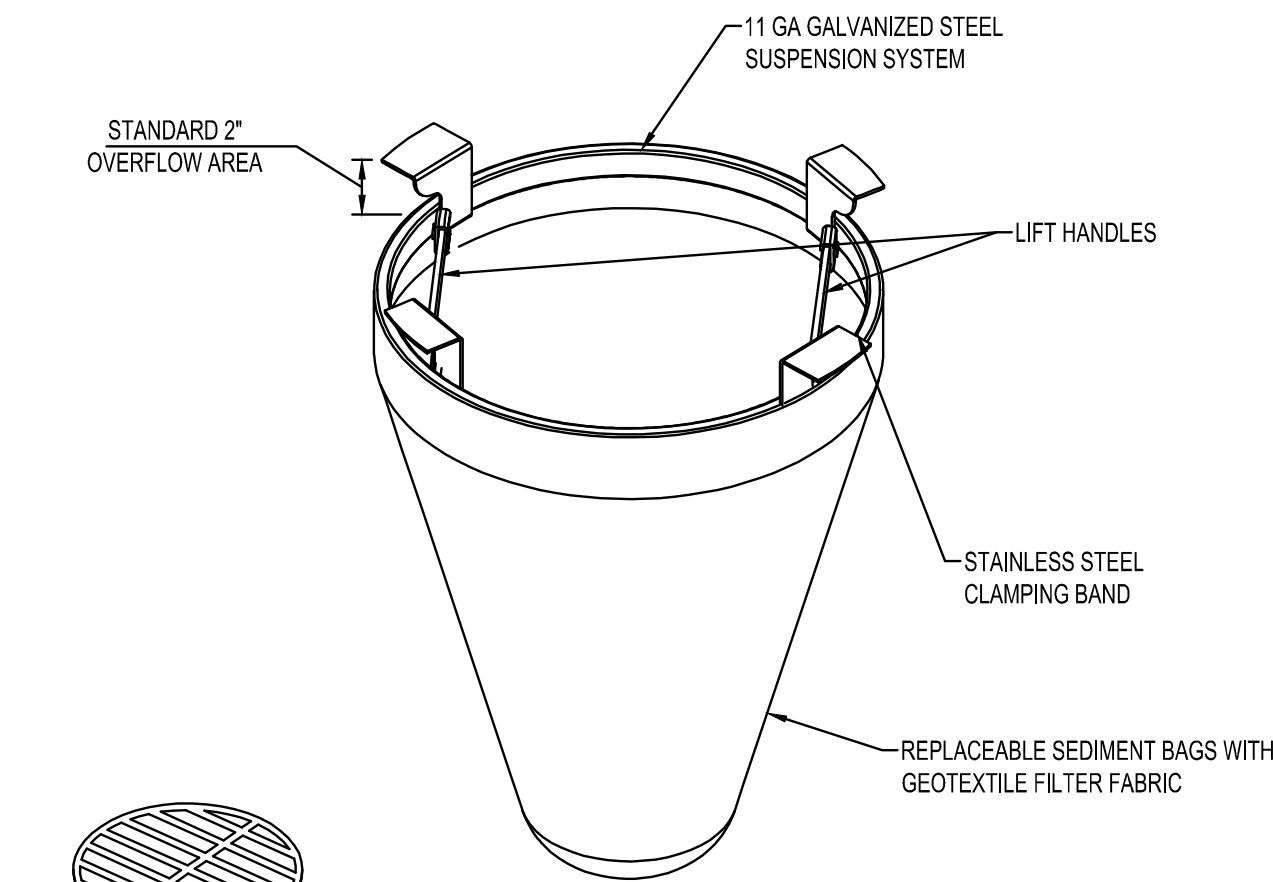
### SILT FENCE

NTS



### ROCK TRACKING PAD

NTS



### NOTES:

FOR SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT [WWW.INLETFILTERS.COM](http://WWW.INLETFILTERS.COM)

#### INSTALLATION:

- REMOVE GRATE
- DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
- REPLACE GRATE

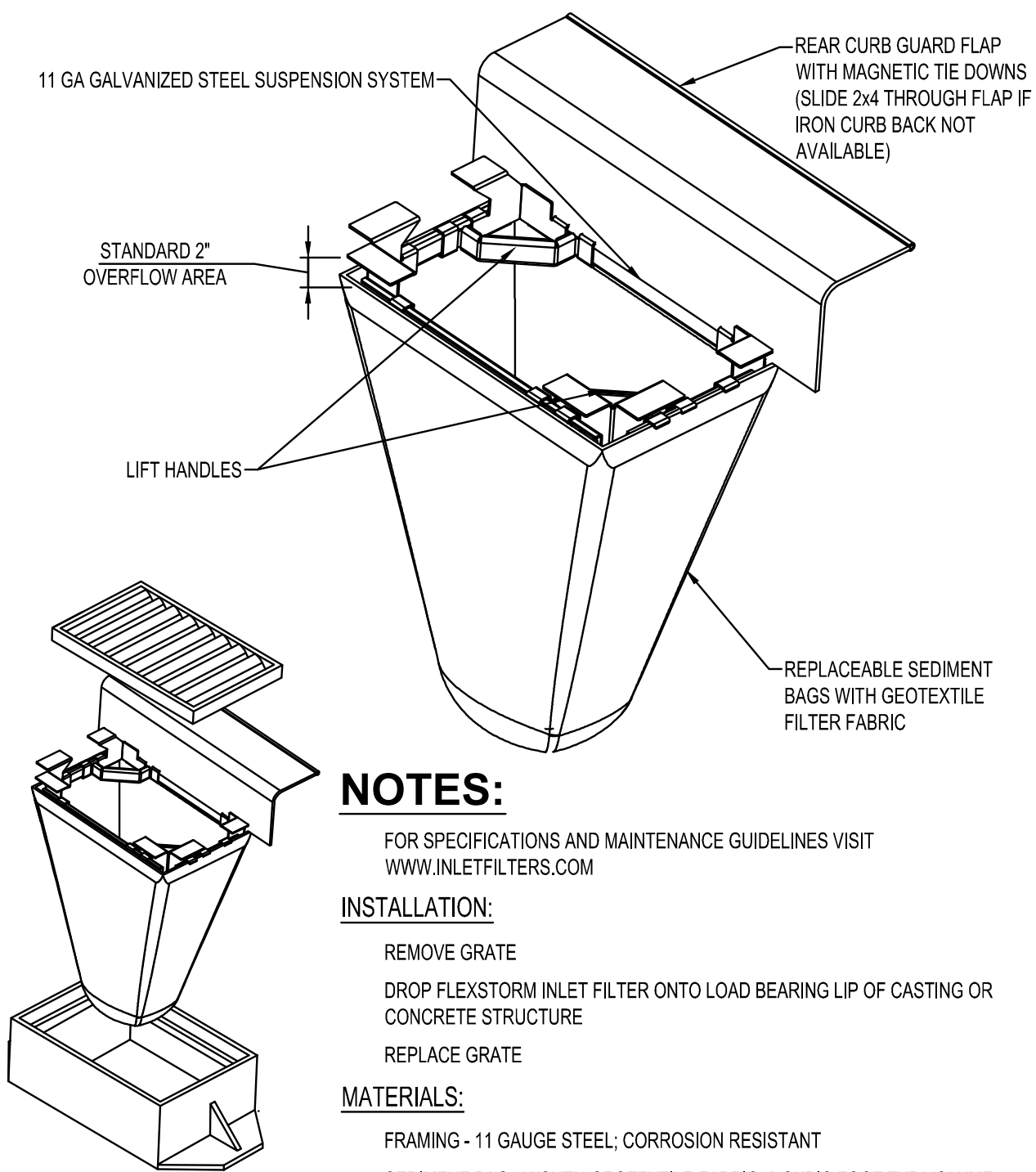
#### MATERIALS:

FRAMING - 11 GAUGE STEEL; CORROSION RESISTANT

SEDIMENT BAG - WOVEN GEOTEXTILE FABRIC; 2 CUBIC FOOT TYP VOLUME; STAINLESS STEEL LOCKING BAND SECURING BAG TO FRAME

### ROUND FILTER INLET PROTECTION

NTS



### NOTES:

FOR SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT [WWW.INLETFILTERS.COM](http://WWW.INLETFILTERS.COM)

#### INSTALLATION:

- REMOVE GRATE
- DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
- REPLACE GRATE

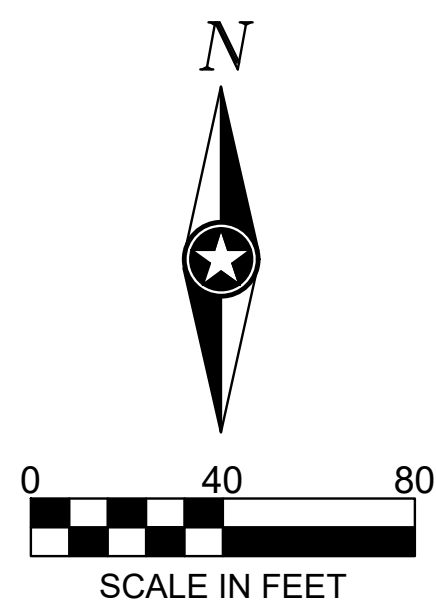
#### MATERIALS:

FRAMING - 11 GAUGE STEEL; CORROSION RESISTANT

SEDIMENT BAG - WOVEN GEOTEXTILE FABRIC; 2 CUBIC FOOT TYP VOLUME; STAINLESS STEEL LOCKING BAND SECURING BAG TO FRAME

### CURB BOX FILTER INLET PROTECTION

NTS



SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	10/20/2024	ARA	CITY SUBMITTAL #1
2	09/26/2025	ARA	CITY SUBMITTAL #3
3	10/22/2025	ARA	CITY SUBMITTAL #3
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:



10/22/2025

ISG

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

SHEET NOT VALID UNLESS THIS TEXT IS COLOR.

PROJECT

**U-HAUL**  
PR-2023-008710  
SI-2025-00082

ALBUQUERQUE NEW MEXICO

SITE ADDRESS:  
U-Haul Moving & Storage  
8200 JEFFERSON ST

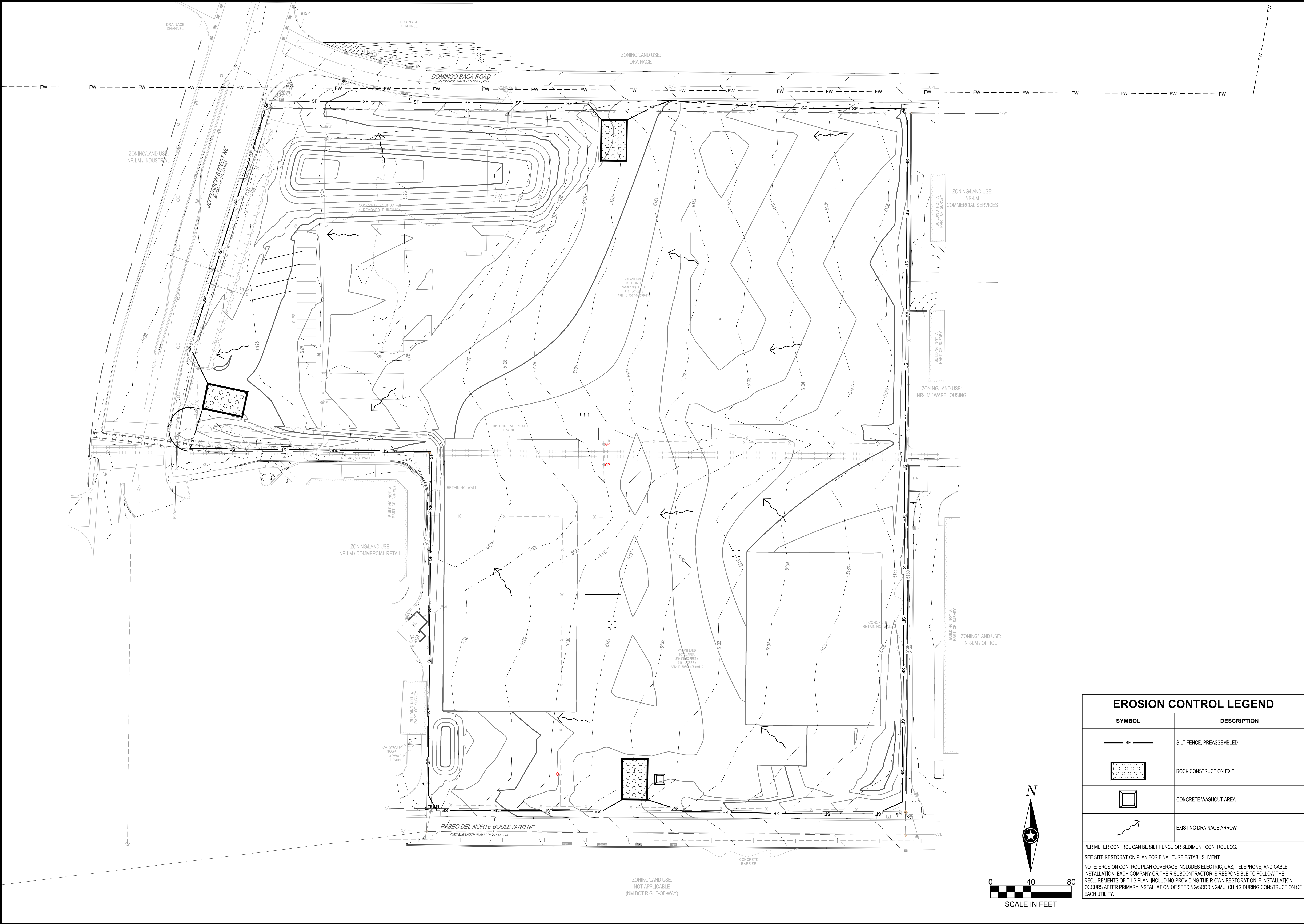
SHEET CONTENTS:

**SWPPP DETAILS**

824071

DRAWN:	GBV	
CHECKED:	ARA	<b>C1-20</b>
DATE:	10/22/25	

C1-SWPPP



**EROSION CONTROL LEGEND**

SYMBOL	DESCRIPTION
— SF —	SILT FENCE, PREASSEMBLED
	ROCK CONSTRUCTION EXIT
	CONCRETE WASHOUT AREA
	EXISTING DRAINAGE ARROW

PERIMETER CONTROL CAN BE SILT FENCE OR SEDIMENT CONTROL LOG.  
SEE SITE RESTORATION PLAN FOR FINAL TURF ESTABLISHMENT.  
NOTE: EROSION CONTROL PLAN COVERAGE INCLUDES ELECTRIC, GAS, TELEPHONE, AND CABLE INSTALLATION. EACH COMPANY OR THEIR SUBCONTRACTOR IS RESPONSIBLE TO FOLLOW THE REQUIREMENTS OF THIS PLAN, INCLUDING PROVIDING THEIR OWN RESTORATION IF INSTALLATION OCCURS AFTER PRIMARY INSTALLATION OF SEEDING/SODDING/MULCHING DURING CONSTRUCTION OF EACH UTILITY.

SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	10/02/2024	ARA	CITY SUBMITTAL #1
2	09/26/2025	ARA	CITY SUBMITTAL #3
3	10/22/2025	ARA	CITY SUBMITTAL #3
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:  
  
10/22/2025

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.  
SHEET NOT VALID UNLESS THIS TEXT IS COLOR.

PROJECT  
  
**U-HAUL**  
PR-2023-008710  
SI-2025-00082  
ALBUQUERQUE NEW MEXICO  
SITE ADDRESS:  
**U-Haul Moving & Storage**  
8200 JEFFERSON ST

SHEET CONTENTS:  
**PRE-CONSTRUCTION SWPPP**

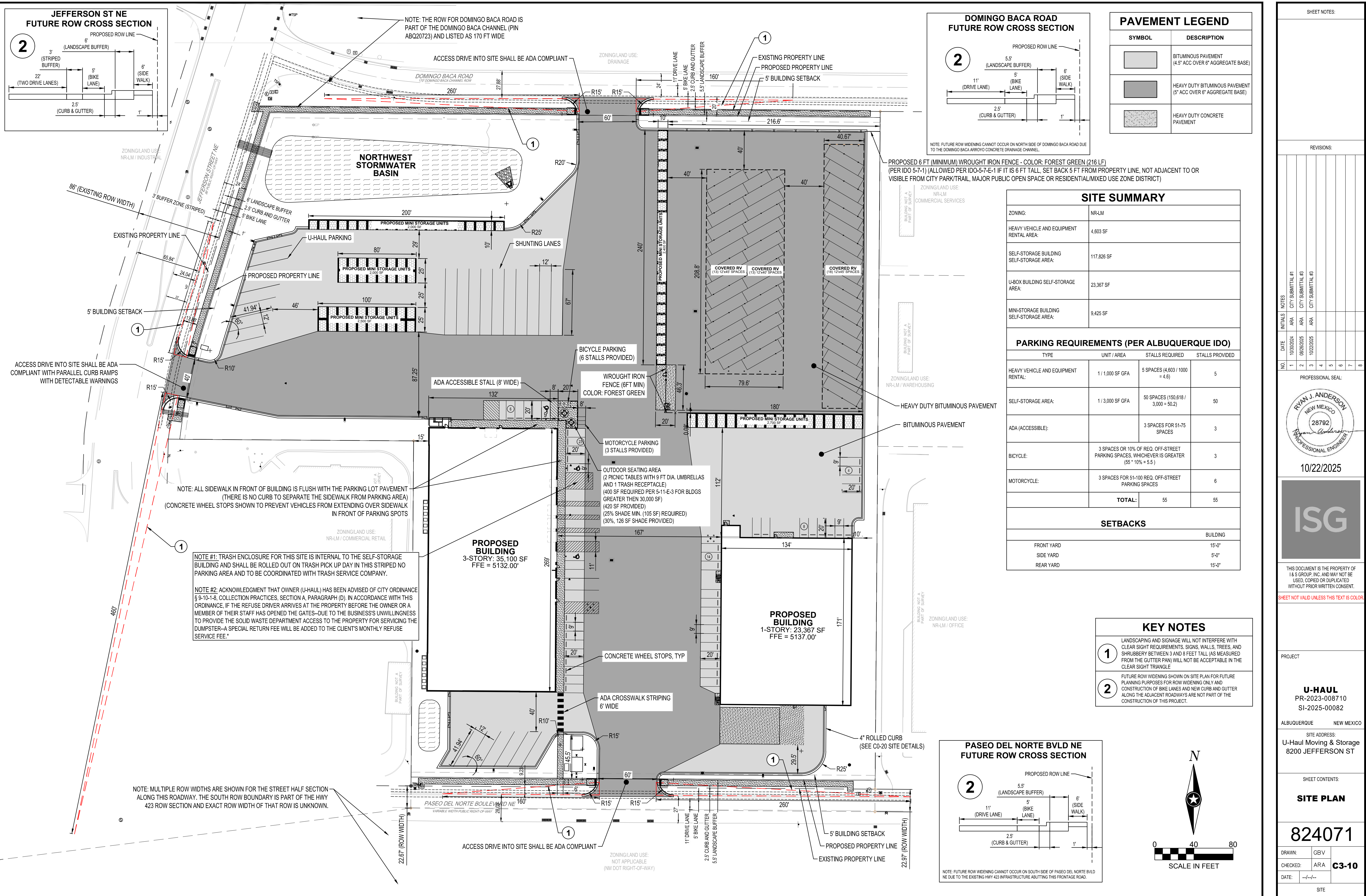
824071

DRAWN:	GBV	
CHECKED:	ARA	<b>C1-30</b>
DATE:		

C1-SWPPP









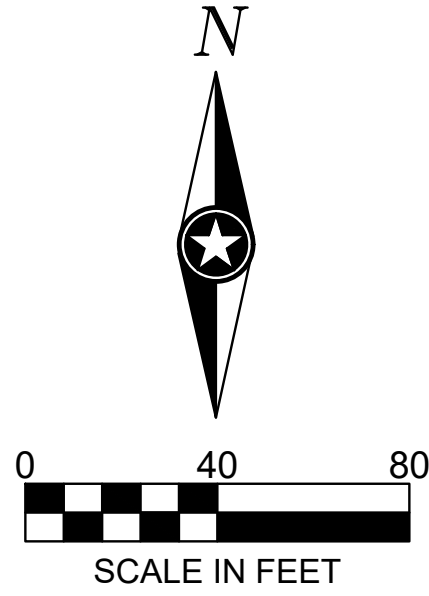
STORM DRAIN PIPE SCHEDULE									
PIPE NO.	DRAIN FROM	INLET ELEVATION	DRAIN TO	OUTLET ELEVATION	PIPE SIZE (IN)	MATERIAL	PIPE CLASS	PIPE GRADE	PIPE LENGTH (FT)
P-1	ST-1	5129.34	ST-2	5126.35	12	HDPE	HDPE	1.99%	150
P-2	ST-2	5126.35	ST-3	5124.84	15	HDPE	HDPE	1.00%	151
P-3	ST-3	5124.84	ST-4	5123.39	15	HDPE	HDPE	1.45%	100
P-4	ST-4	5123.39	ST-5	5122.64	18	HDPE	HDPE	0.75%	100
P-5	ST-5	5122.54	ST-6	5122.20	24	HDPE	HDPE	0.50%	69
P-6	ST-6	5121.97	FES-1	5121.00	30	HDPE	HDPE	0.40%	243
P-7	ST-7	5123.99	ST-8	5123.02	15	HDPE	HDPE	0.40%	244
P-8	ST-8	5122.77	ST-6	5121.97	15	HDPE	HDPE	0.40%	201
P-9	ST-9	5127.33	ST-10	5125.66	12	HDPE	HDPE	1.00%	167
P-10	ST-10	5125.66	ST-11	5123.96	15	HDPE	HDPE	2.00%	85
P-11	ST-11	5123.96	ST-6	5122.50	15	HDPE	HDPE	2.00%	73

SANITARY SEWER PIPE SCHEDULE									
PIPE NO.	DRAIN FROM	INLET ELEVATION	DRAIN TO	OUTLET ELEVATION	PIPE SIZE	MATERIAL	PIPE CLASS	PIPE GRADE	PIPE LENGTH (FT)
SP-1	SS BLDG 1	5128.00	CO-1	5127.92	6"	PVC	SDR-35	1.00%	8
SP-2	CO-1	5127.92	CO-2	5127.26	6"	PVC	SDR-35	1.00%	66
SP-3	U-BOX	5132.00	CO-3	5131.81	4"	PVC	SCH 35	2.00%	10
SP-3A	CO-3	5131.81	CO-2	5126.53	4"	PVC	SCH 35	3.16%	167
SP-4	CO-2	5127.26	CO-4	5126.76	6"	PVC	SDR-35	1.00%	51
SP-4A	SS BLDG 2	5126.00	CO-4	5125.52	6"	PVC	SDR-35	5.84%	8
SP-5	CO-4	5126.76	CO-5	5125.94	6"	PVC	SDR-35	1.00%	81
SP-6	CO-5	5125.94	CO-6	5120.10	6"	PVC	SDR-35	2.00%	292
SP-7	CO-6	5120.10	EXMH	5112.58	6"	PVC	SDR-35	5.45%	138

STORM DRAIN STRUCTURE SCHEDULE							
STRUCTURE NO.	STRUCTURE TYPE	STRUCTURE SIZE (IN)	STRUCTURE MATERIAL	CASTING	* TOP OF CASTING ELEVATION	OUTLET INVERT	OUTLET PIPE
ST-1	DRAIN BASIN	18 Ø	HDPE	BEEHIVE GRATE	5134.32	5129.34	P-1
ST-2	ALBQ. TYPE "C" (SINGLE)	36 x 48	RC	CURB CASTING	5132.16	5126.35	P-2
ST-3	ALBQ. TYPE "D" (SINGLE)	48 Ø	RC	(SEE CITY DETAIL 2220)	5130.39	5124.84	P-3
ST-4	ALBQ. TYPE "D" (SINGLE)	48 Ø	RC	(SEE CITY DETAIL 2220)	5130.41	5123.39	P-4
ST-5	ALBQ. TYPE "D" (SINGLE)	48 Ø	RC	(SEE CITY DETAIL 2220)	5130.39	5122.54	P-5
ST-6	ALBQ. TYPE "E" MANHOLE	72 Ø	RC	SOLID COVER	5131.14	5121.97	P-6
ST-7	DRAIN BASIN	12 Ø	HDPE	SOLID COVER	5127.41	5123.99	P-7
ST-8	DRAIN BASIN	48 Ø	HDPE	HEAVY DUTY	5128.96	5122.77	P-8
ST-9	ALBQ. TYPE "C" (SINGLE)	48 Ø	RC	(SEE CITY DETAIL 2220)	5131.10	5127.33	P-9
ST-10	ALBQ. TYPE "C" (SINGLE)	48 Ø	RC	(SEE CITY DETAIL 2220)	5130.99	5125.66	P-10
ST-11	ALBQ. TYPE "E" MANHOLE	48 Ø	RC	SOLID COVER	5132.85	5123.96	P-11

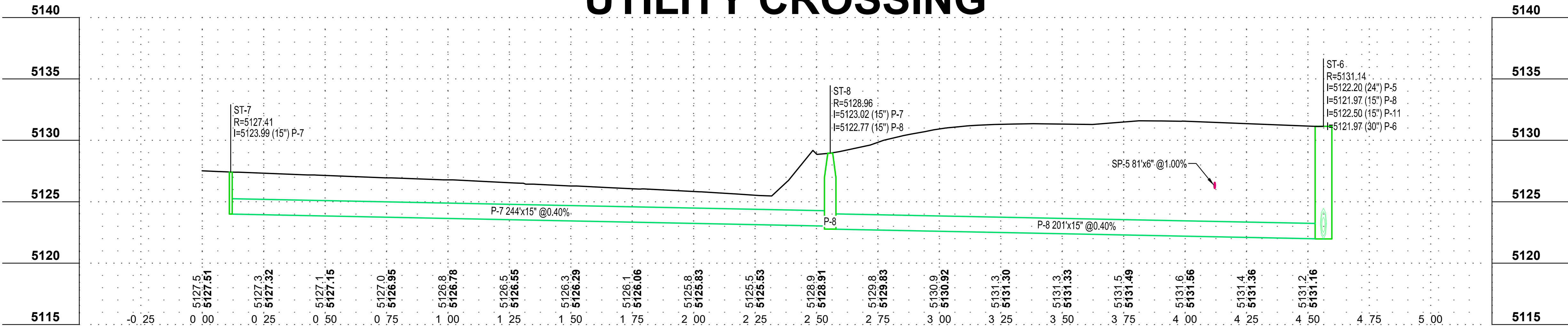
SANITARY SEWER STRUCTURE SCHEDULE							
STRUCTURE NO.	STRUCTURE TYPE	STRUCTURE SIZE (IN)	STRUCTURE MATERIAL	CASTING	TOP OF CASTING ELEVATION	INVERT ELEVATION	OUTLET PIPE
CO-1	CLEANOUT	6 Ø	PVC	SOLID COVER	5131.67	5127.92	SP-2
CO-2	CLEANOUT	6 Ø	PVC	SOLID COVER	5131.74	5126.53	SP-4
CO-3	CLEANOUT	4 Ø	PVC	SOLID COVER	5134.79	5131.81	SP-3A
CO-4	CLEANOUT	6 Ø	PVC	SOLID COVER	5131.74	5125.52	SP-5
CO-5	CLEANOUT	6 Ø	PVC	SOLID COVER	5131.27	5125.94	SP-6
CO-6	CLEANOUT	6 Ø	PVC	SOLID COVER	5125.89	5120.10	SP-7

STORM DRAIN APRON SCHEDULE				
APRON NO.	APRON SIZE (IN)	APRON MATERIAL	INVERT ELEVATION	PIPE NO.
FES-1	30	RCP	5121.00	P-6



NOTES	
COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.	
COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.	
AVAILABILITY STATEMENT 24063 HAS BEEN EXECUTED AND PROVIDED CONDITIONS FOR SERVICE.	
PUBLIC WATER AND PUBLIC SEWER MAINS SHOWN ON SITE PLANS WITHIN THE PUBLIC RIGHT-OF-WAY. NO PROPOSED UTILITY EASEMENTS ARE PROPOSED AS PART OF THIS PROJECT.	

## UTILITY CROSSING



SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	10/02/2024	ARA	CITY SUBMITTAL #1
2	09/26/2025	ARA	CITY SUBMITTAL #3
3	10/22/2025	ARA	CITY SUBMITTAL #3
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:  
  
10/22/2025

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.  
SHEET NOT VALID UNLESS THIS TEXT IS COLOR.

PROJECT  
**U-HAUL**  
PR-2023-008710  
SI-2025-00082  
ALBUQUERQUE NEW MEXICO  
SITE ADDRESS:  
U-Haul Moving & Storage  
8200 JEFFERSON ST

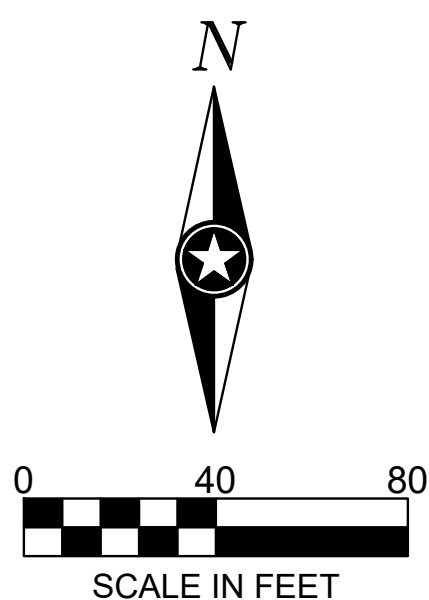
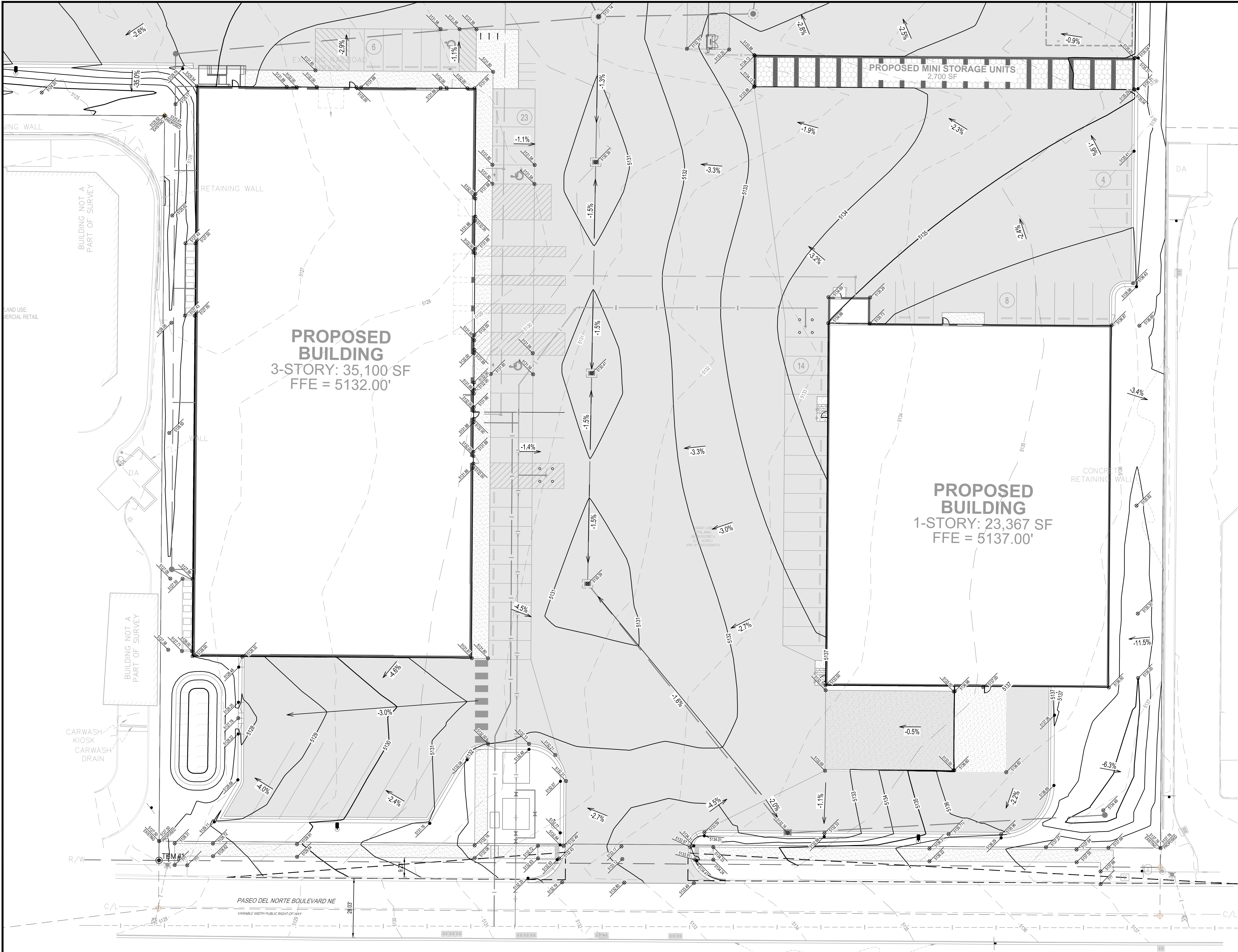
SHEET CONTENTS:  
**UTILITY PROFILES AND SCHEDULES**

824071

DRAWN:	GBV	
CHECKED:	ARA	<b>C3-21</b>
DATE:	10/22/25	

UTILITY





SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	10/02/2024	ARA	CITY SUBMITTAL #1
2	09/26/2025	ARA	CITY SUBMITTAL #3
3	10/22/2025	ARA	CITY SUBMITTAL #3
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

RYAN J. ANDERSON

NEW MEXICO

28792

Professional Engineer

10/22/2025

ISG

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

SHEET NOT VALID UNLESS THIS TEXT IS COLOR.

PROJECT

U-HAUL

PR-2023-008710

SI-2025-00082

ALBUQUERQUE NEW MEXICO

SITE ADDRESS:

U-Haul Moving & Storage

8200 JEFFERSON ST

SHEET CONTENTS:

DETAILED GRADING PLAN

824071

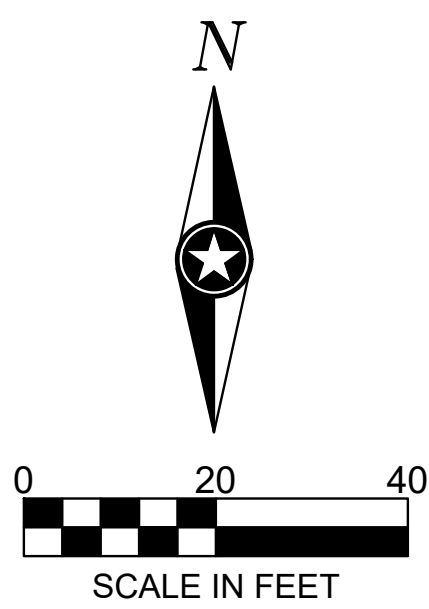
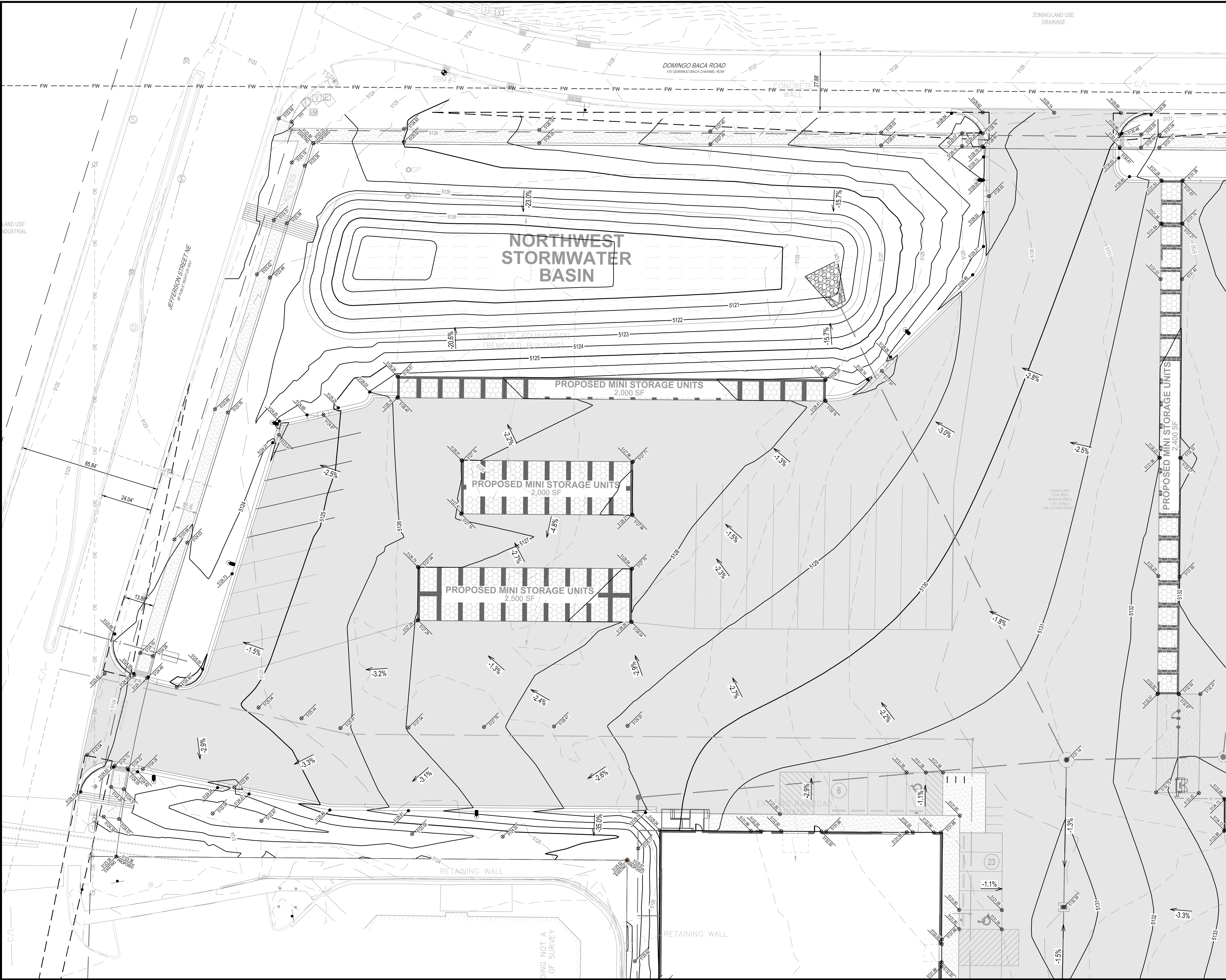
DRAWN: GBV

CHECKED: ARA

DATE: 10/22/2025

C4-11

DETAILED GRADING



SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	10/02/2024	ARA	CITY SUBMITTAL #1
2	09/26/2025	ARA	CITY SUBMITTAL #3
3	10/22/2025	ARA	CITY SUBMITTAL #3
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

RYAN J. ANDERSON

NEW MEXICO

28792

Professional Engineer

10/22/2025

ISG

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

SHEET NOT VALID UNLESS THIS TEXT IS COLOR.

PROJECT

U-HAUL

PR-2023-008710

SI-2025-00082

ALBUQUERQUE NEW MEXICO

SITE ADDRESS:

U-Haul Moving & Storage

8200 JEFFERSON ST

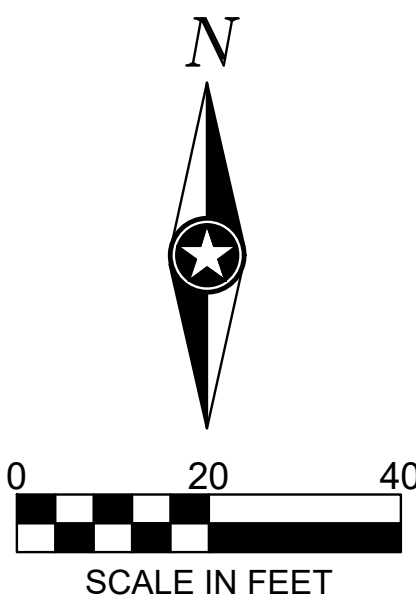
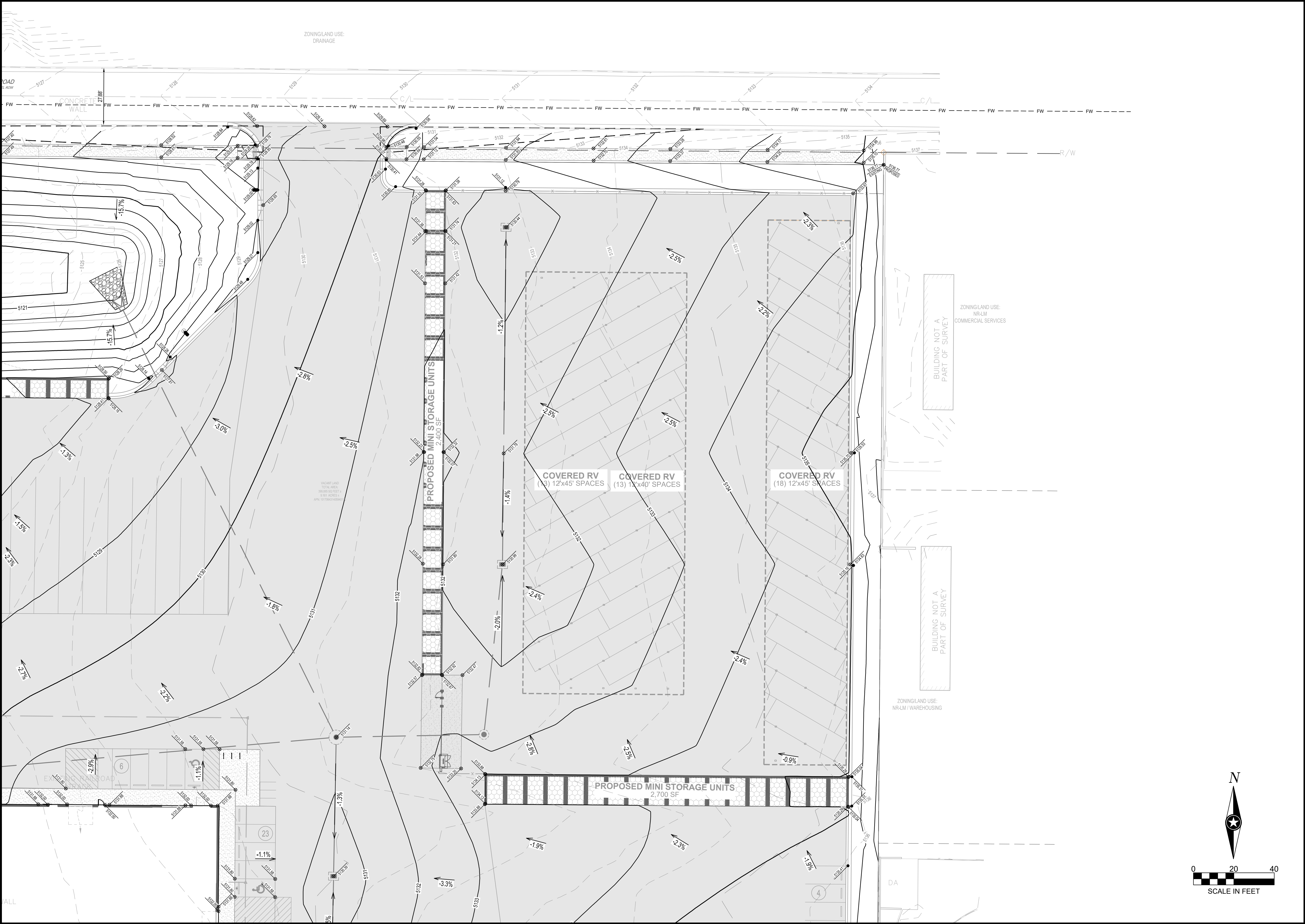
SHEET CONTENTS:

DETAILED GRADING PLAN

824071

DRAWN:	GBV	
CHECKED:	ARA	C4-12
DATE:	10/22/2025	

DETAILED GRADING



SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	10/02/2024	ARA	CITY SUBMITTAL #1
2	09/26/2025	ARA	CITY SUBMITTAL #3
3	10/22/2025	ARA	CITY SUBMITTAL #3
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:  
  
10/22/2025

THIS DOCUMENT IS THE PROPERTY OF  
I & S GROUP, INC. AND MAY NOT BE  
USED, COPIED OR DUPLICATED  
WITHOUT PRIOR WRITTEN CONSENT.  
**SHEET NOT VALID UNLESS THIS TEXT IS COLOR.**

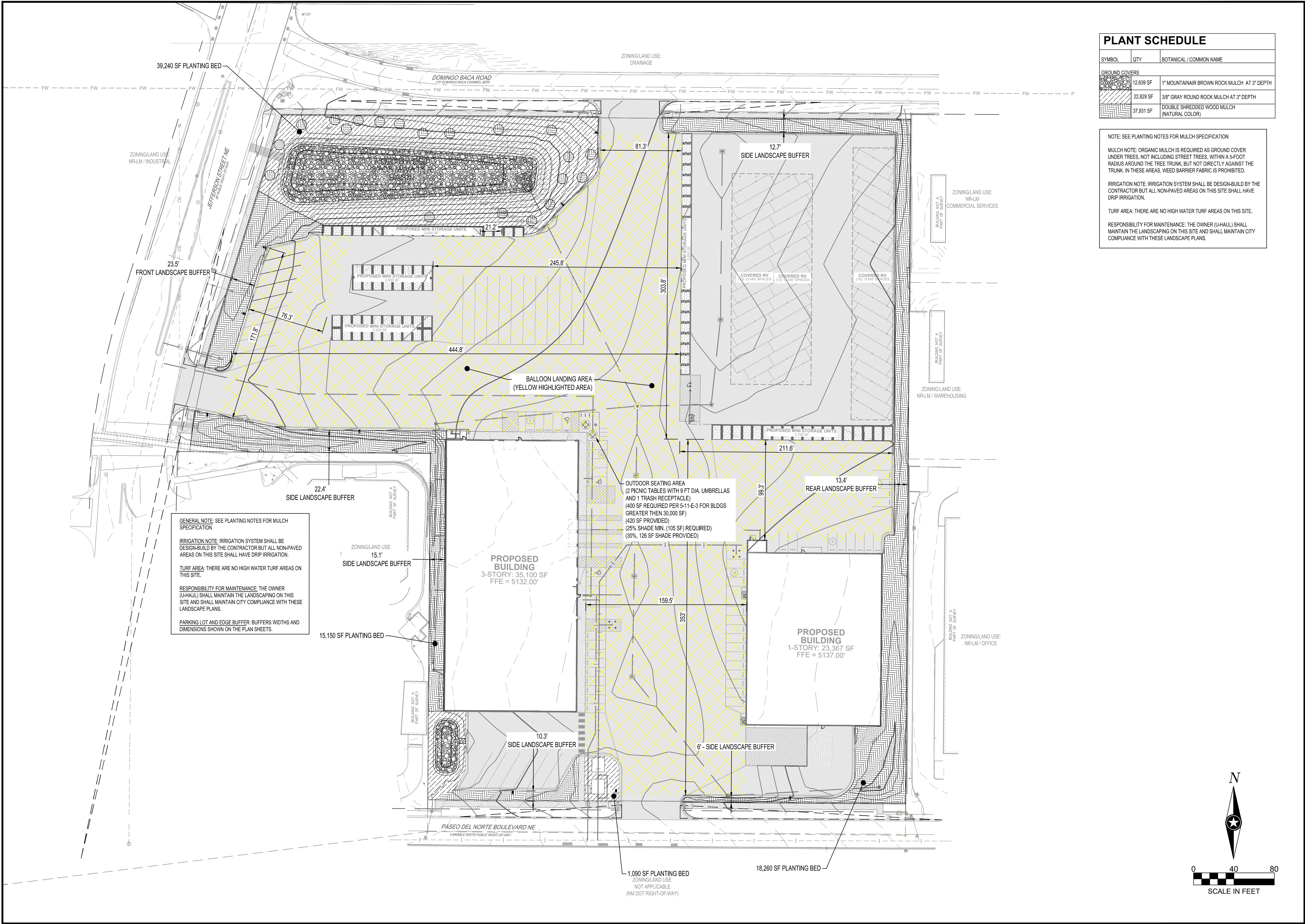
PROJECT  
  
**U-HAUL**  
PR-2023-008710  
SI-2025-00082  
ALBUQUERQUE NEW MEXICO  
SITE ADDRESS:  
U-Haul Moving & Storage  
8200 JEFFERSON ST

SHEET CONTENTS:  
**DETAILED  
GRADING PLAN**

824071

DRAWN:	GBV	
CHECKED:	ARA	<b>C4-13</b>
DATE:	10/11/25	

DETAILED GRADING



### PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME
GROUND COVERS		
	12,639 SF	1\" MOUNTAINAIR BROWN ROCK MULCH AT 3\" DEPTH
	22,829 SF	3/8\" GRAY ROUND ROCK MULCH AT 3\" DEPTH
	37,931 SF	DOUBLE SHREDDED WOOD MULCH (NATURAL COLOR)

NOTE: SEE PLANTING NOTES FOR MULCH SPECIFICATION

MULCH NOTE: ORGANIC MULCH IS REQUIRED AS GROUND COVER UNDER TREES, NOT INCLUDING STREET TREES. WITHIN A 5-FOOT RADIUS AROUND THE TREE TRUNK, BUT NOT DIRECTLY AGAINST THE TRUNK. IN THESE AREAS, WEED BARRIER FABRIC IS PROHIBITED.

IRRIGATION NOTE: IRRIGATION SYSTEM SHALL BE DESIGN-BUILD BY THE CONTRACTOR BUT ALL NON-PAVED AREAS ON THIS SITE SHALL HAVE DRIP IRRIGATION.

TURF AREA: THERE ARE NO HIGH WATER TURF AREAS ON THIS SITE.

RESPONSIBILITY FOR MAINTENANCE: THE OWNER (U-HAUL) SHALL MAINTAIN THE LANDSCAPING ON THIS SITE AND SHALL MAINTAIN CITY COMPLIANCE WITH THESE LANDSCAPE PLANS.

SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	10/02/2024	ARA	CITY SUBMITTAL #1
2	09/02/2025	ARA	CITY SUBMITTAL #3
3	10/22/2025	ARA	CITY SUBMITTAL #3
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:



10/22/2025



THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

SHEET NOT VALID UNLESS THIS TEXT IS COLOR.

PROJECT

**U-HAUL**  
PR-2023-008710  
SI-2025-00082

ALBUQUERQUE NEW MEXICO

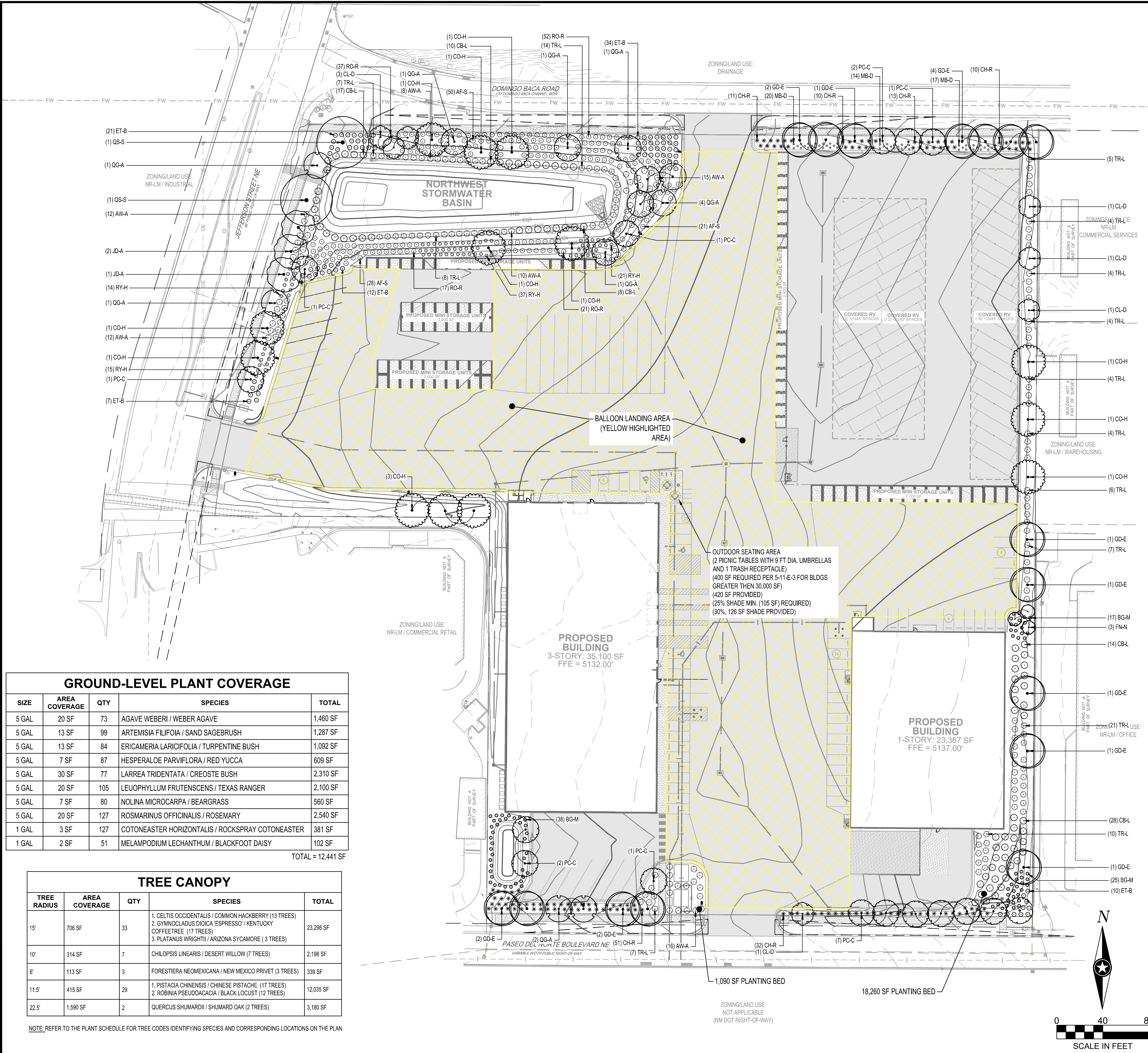
SITE ADDRESS:  
**U-Haul Moving & Storage**  
8200 JEFFERSON ST

SHEET CONTENTS:  
**ALTERNATIVE  
RESTORATION  
PLAN**

**824071**

DRAWN:	AE	
CHECKED:	PN	<b>C5-10</b>
DATE:	10/22/25	

28816 C5 - LAND



CITY LANDSCAPE REQUIREMENTS (NR-LM)		
TOTAL SITE AREA (10 AC):	386,871 SF	
BUILDING AREA:	~70,067 SF	
NET AREA:	316,804 SF	
NON-RESIDENTIAL LIGHT MANUFACTURING STANDARDS:		
MUST PROVIDE A MINIMUM LANDSCAPE AREA OF 15% IF THE TOTAL NET LOT AREA = 316,804 X 0.15 = 47,521 SF		
REQUIRED / PROVIDED LANDSCAPE	47,521 SF (15%) / 73,740 SF (18.5%)	(COMPLIANT)
REQUIRED VEGETATIVE COVERAGE: IDO 5-6 (C)(2)(C)		
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75% OF THE TOTAL LANDSCAPE AREA, A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUB, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.		
REQUIRED / PROVIDED LIVE VEGETATIVE COVERAGE	35,641 SF (75%) REQUIRED / 40,836 SF (83%) PROVIDED	(COMPLIANT)
REQUIRED / PROVIDED GROUND LEVEL COVERAGE	11,881 SF (25%) REQUIRED / 12,441 SF (26.2%) PROVIDED	(COMPLIANT)
STREET FRONTAGE LANDSCAPING:		
TREES ARE REQUIRED ALONG STREET FRONTAGES EVERY (25') ON CENTER.		
• 1,400 LF OF LOT FRONTAGE / 25 = 56 TREES REQUIRED / 56 TREES PROPOSED (COMPLIANT)		
PLANTING SHALL MEET THE MINIMUM SIZE REQUIREMENTS LISTED IN TABLE 5-6-3.		
PARKING LOT INTERIOR REQUIREMENTS:		
AT LEAST (10%) OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR FEW SPACES, AND AT LEAST (15%) OF THE PARKING LOT AREAS OF LOTS CONTAINING 50 OR MORE SPACES SHALL BE LANDSCAPED.		
(1) TREE IS REQUIRED PER (10) PARKING SPACES		
• 55 PARKING STALLS / 10 = 5.5 TREES REQUIRED / 6 TREES PROPOSED (COMPLIANT)		
AT LEAST (75%) OF THE REQUIRED PARKING AREA TREES SHALL BE DECIDUOUS CANOPY-TYPE SHADE TREES, CAPABLE OF ACHIEVING A MATURE CANOPY DIAMETER OF AT LEAST (25') (COMPLIANT)		
GRAVEL MULCH COVERAGE:		
LANDSCAPE SHALL APPLY PURSUANT TO 5-6(C)(5)(C) THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75% OF ANY LANDSCAPED AREA		
REQUIRED:	35,641 SF (NO MORE THAN 75%)	
PROVIDED:	35,468 SF (74%)	(COMPLIANT)
ADDITIONAL NOTES:		
ALL LANDSCAPING IS PLACED WITHIN PROPERTY LINES		
ALL LANDSCAPING SHALL NOT BE PLACED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE (COMPLIANT)		

PLANT SCHEDULE					
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
ORNAMENTAL TREES					
	CL-D	7	CHILOPSIS LINEARIS / DESERT WILLOW	1.5" CAL	B & B
	FN-N	3	FORESTIERA NEOMEXICANA / NEW MEXICO PRIVET	1.5" CAL	B & B
SHADE TREES					
	CO-H	13	CELTIS OCCIDENTALIS / COMMON HACKBERRY	2" CAL	B & B
	GD-E	16	GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEETREE	2" CAL	B & B
	PC-C	16	PISTACIA CHINENSIS / CHINESE PISTACHE	2" CAL	B & B
	JD-A	3	PLATANUS WRIGHTII / ARIZONA SYCAMORE	2" CAL	B & B
	QS-S	2	QUERCUS SHUMARDII / SHUMARD OAK	2" CAL	B & B
	QG-A	12	ROBINIA PSEUDOACACIA / BLACK LOCUST	2" CAL	B & B
SHRUBS					
	AW-A	73	AGAVE WEBERI / WEBER AGAVE	5 GAL	CONT
	AF-S	99	ARTEMISIA FILIFOLIA / SAND SAGEBRUSH	5 GAL	CONT
	ET-B	84	ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	5 GAL	CONT
	RY-H	87	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	CONT
	CB-L	77	LARREA TRIDENTATA / CREOSOTE BUSH	5 GAL	CONT
	TR-L	105	LEUCOPHYLLUM FRUTESCENS / TEXAS RANGER	5 GAL	CONT
	BG-M	80	NOLINA MICROCARPA / BEARGRASS	5 GAL	CONT
	RO-R	127	ROSMARINUS OFFICINALIS / ROSEMARY	5 GAL	CONT
PERENNIALS					
	CH-R	127	COTONEASTER HORIZONTALIS / ROCKSPRAY COTONEASTER	1 GAL	CONT
	MB-D	51	MELAMPodium LEUCANTHUM / BLACKFOOT DAISY	1 GAL	CONT

GENERAL NOTE: SEE PLANTING NOTES FOR MULCH SPECIFICATION

MULCH NOTE: ORGANIC MULCH IS REQUIRED AS GROUND COVER UNDER TREES, NOT INCLUDING STREET TREES, WITHIN A 5-FOOT RADIUS AROUND THE TREE TRUNK, BUT NOT DIRECTLY AGAINST THE TRUNK. IN THESE AREAS, WEED BARRIER FABRIC IS PROHIBITED.

IRRIGATION NOTE: IRRIGATION SYSTEM SHALL BE DESIGN-BUILD BY THE CONTRACTOR BUT ALL NON-PAVED AREAS ON THIS SITE SHALL HAVE DRIP IRRIGATION.

TURF AREA: THERE ARE NO HIGH WATER TURF AREAS ON THIS SITE.

RESPONSIBILITY FOR MAINTENANCE: THE OWNER (U-HAUL) SHALL MAINTAIN THE LANDSCAPING ON THIS SITE AND SHALL MAINTAIN CITY COMPLIANCE WITH THESE LANDSCAPE PLANS.

PARKING LOT AND EDGE BUFFER: BUFFERS WIDTHS AND DIMENSIONS SHOWN ON THE PLAN SHEETS.

SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	10/20/2024	ARA	CITY SUBMITTAL #1
2	09/20/2025	ARA	CITY SUBMITTAL #3
3	10/22/2025	ARA	CITY SUBMITTAL #3
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

STATE OF NEW MEXICO

DANIELLE P. PERQUET  
REGISTERED LANDSCAPE ARCHITECT

10/22/2025

ISG

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

SHEET NOT VALID UNLESS THIS TEXT IS COLOR.

PROJECT

U-HAUL  
PR-2023-008710  
SI-2025-00082

ALBUQUERQUE NEW MEXICO

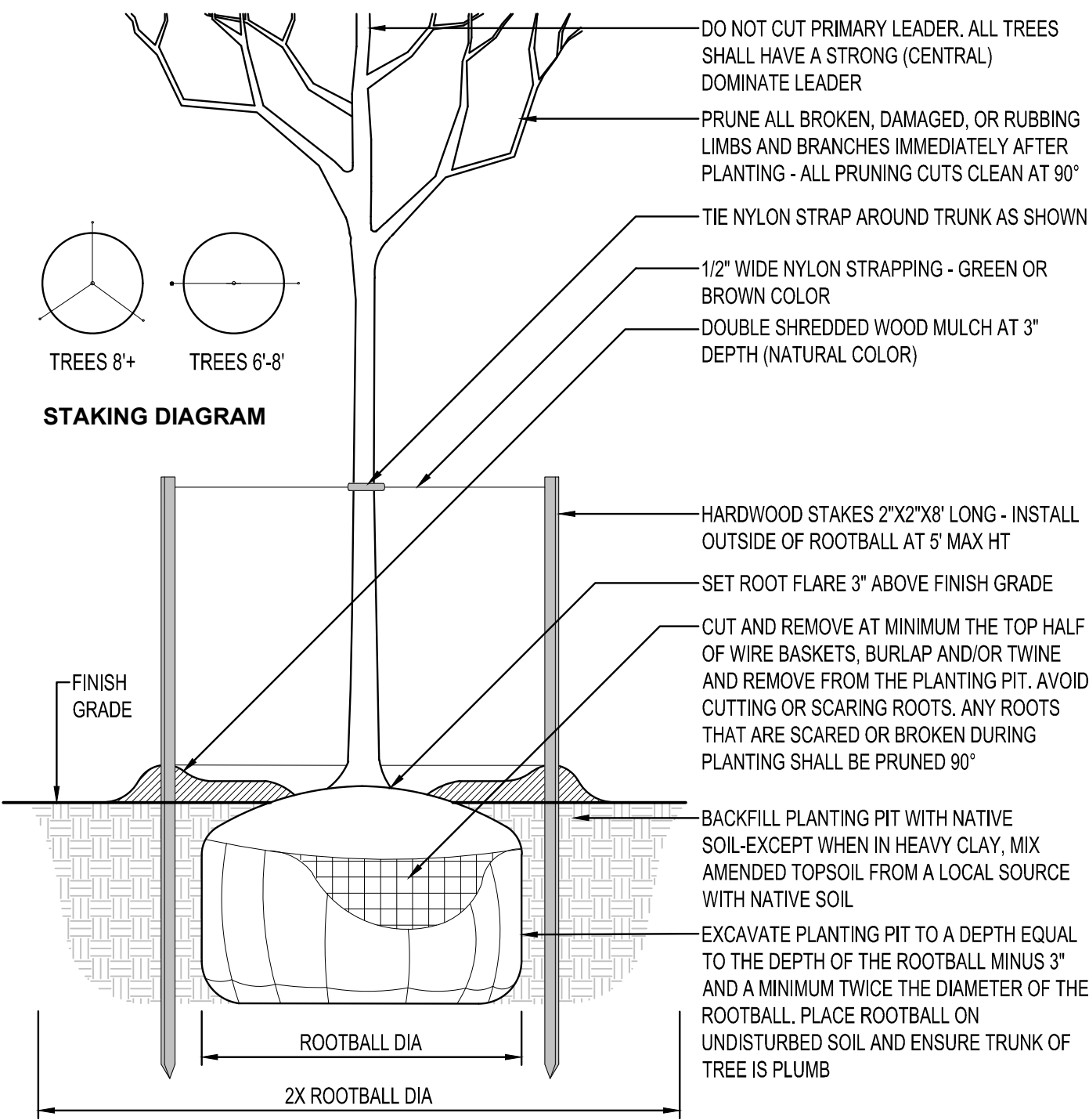
SITE ADDRESS:  
U-Haul Moving & Storage  
8200 JEFFERSON ST

SHEET CONTENTS:  
ALTERNATIVE PLANTING PLAN

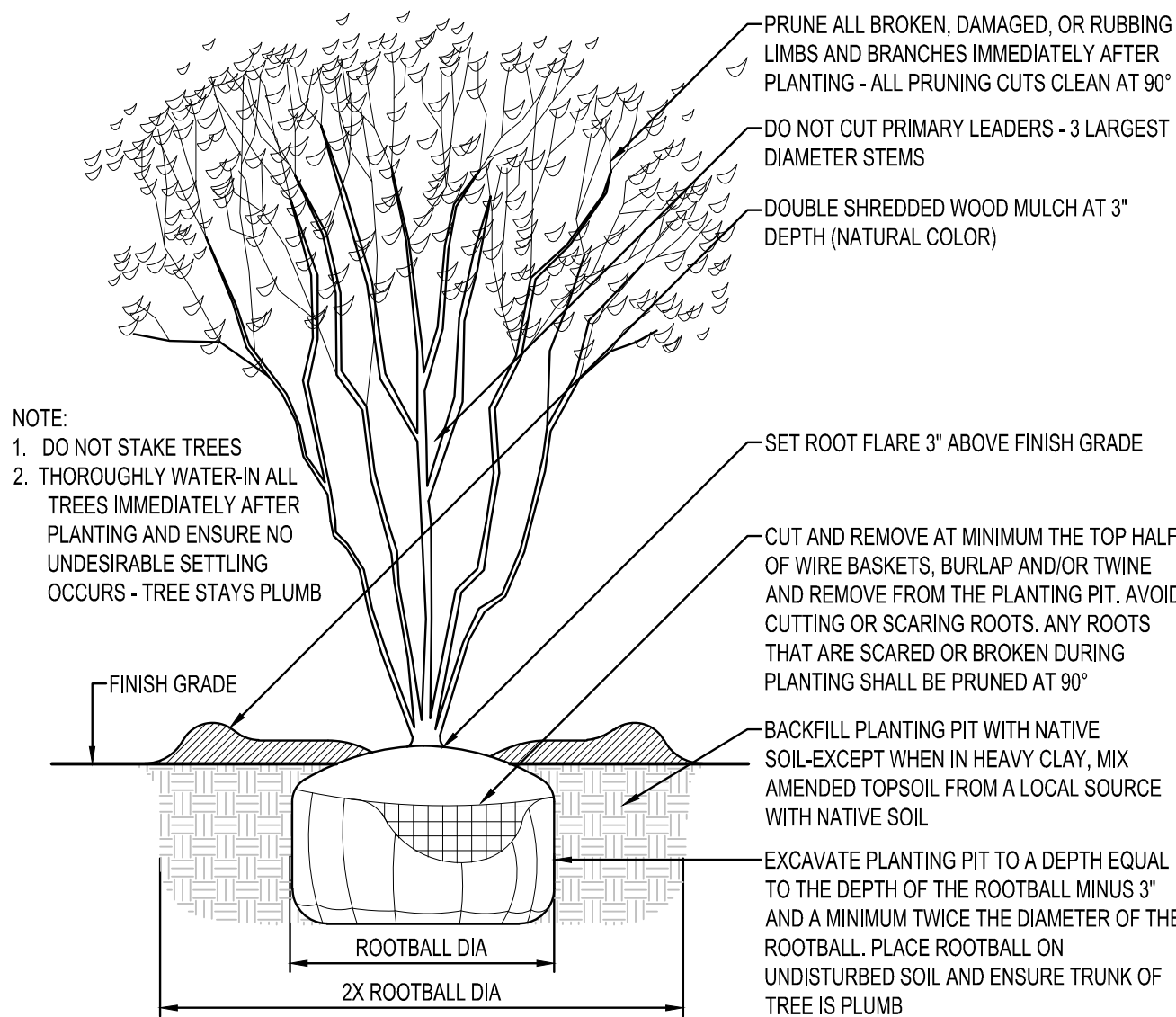
824071

DRAWN:	AE	C5-11
CHECKED:	PN	
DATE:	10/22/25	

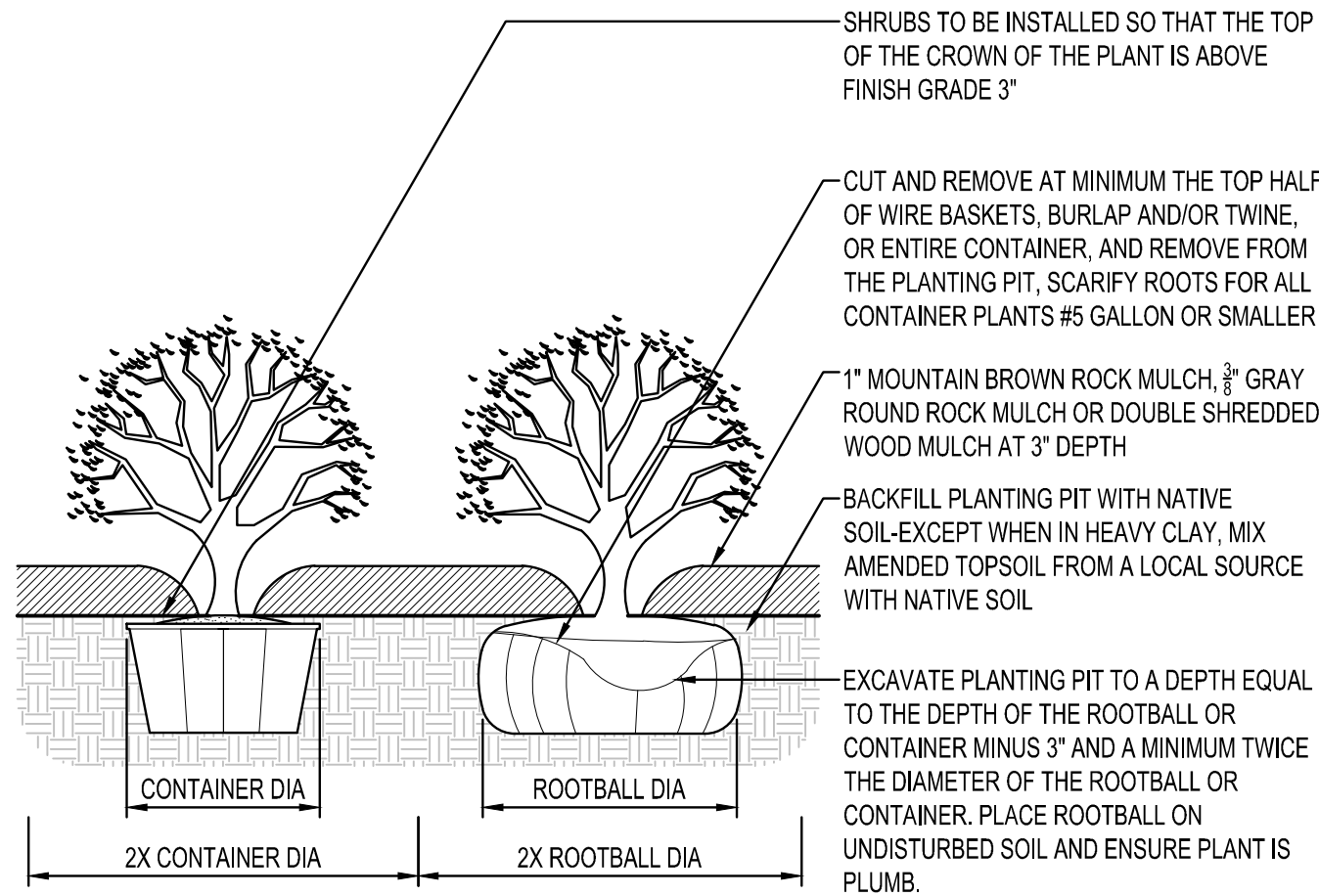
28816 C5 - LAND



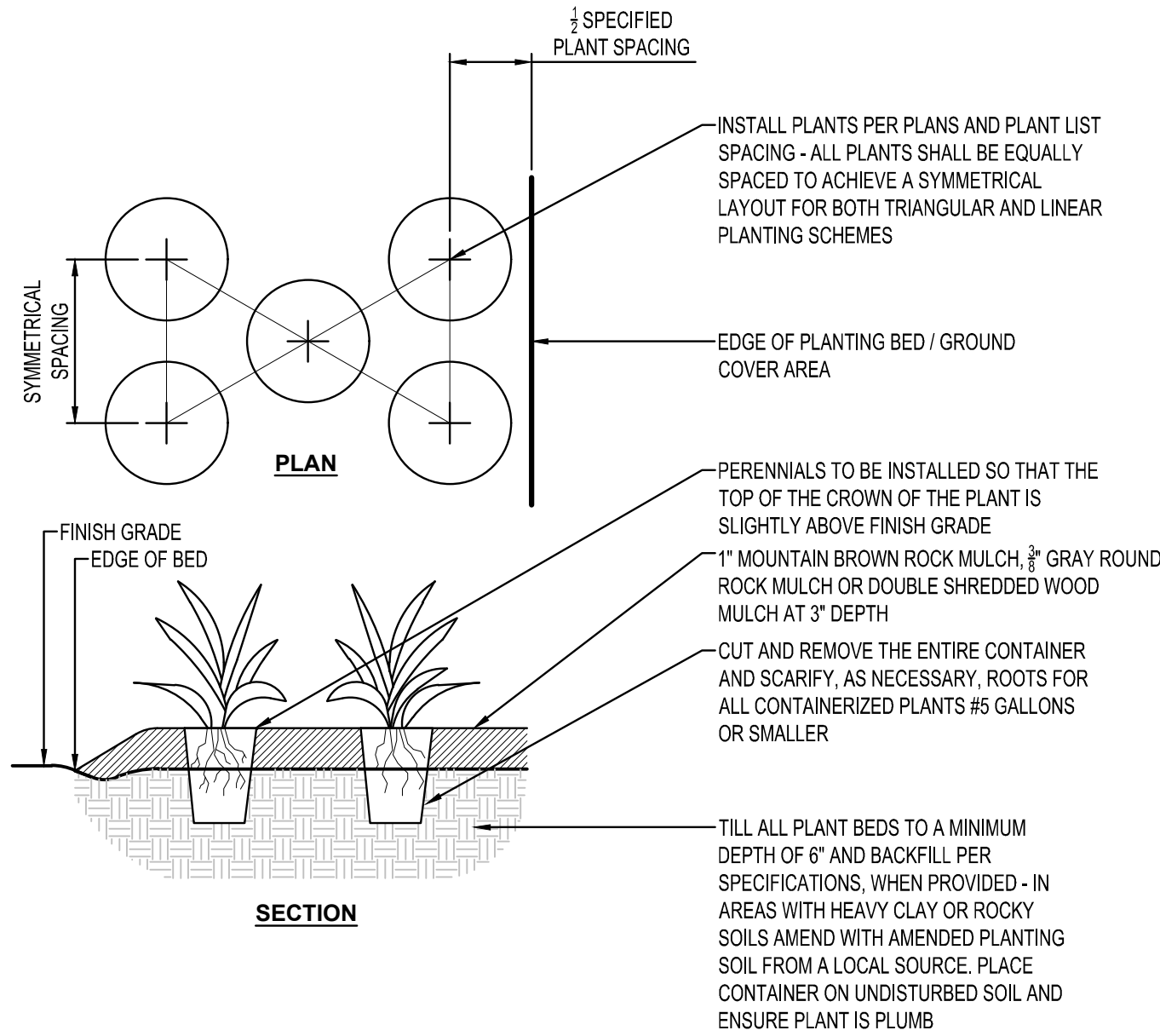
DECIDUOUS TREE PLANTING  
NTS



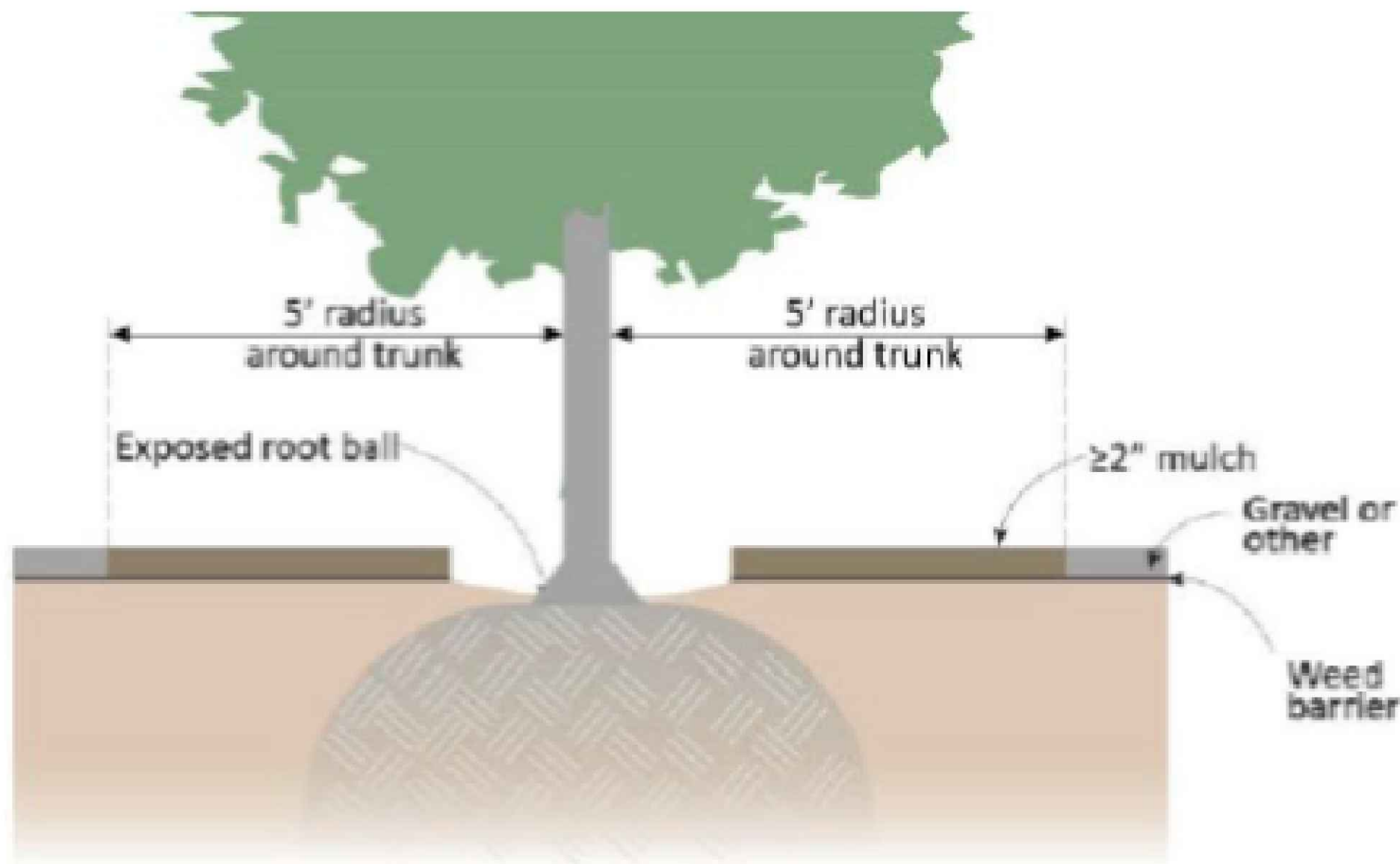
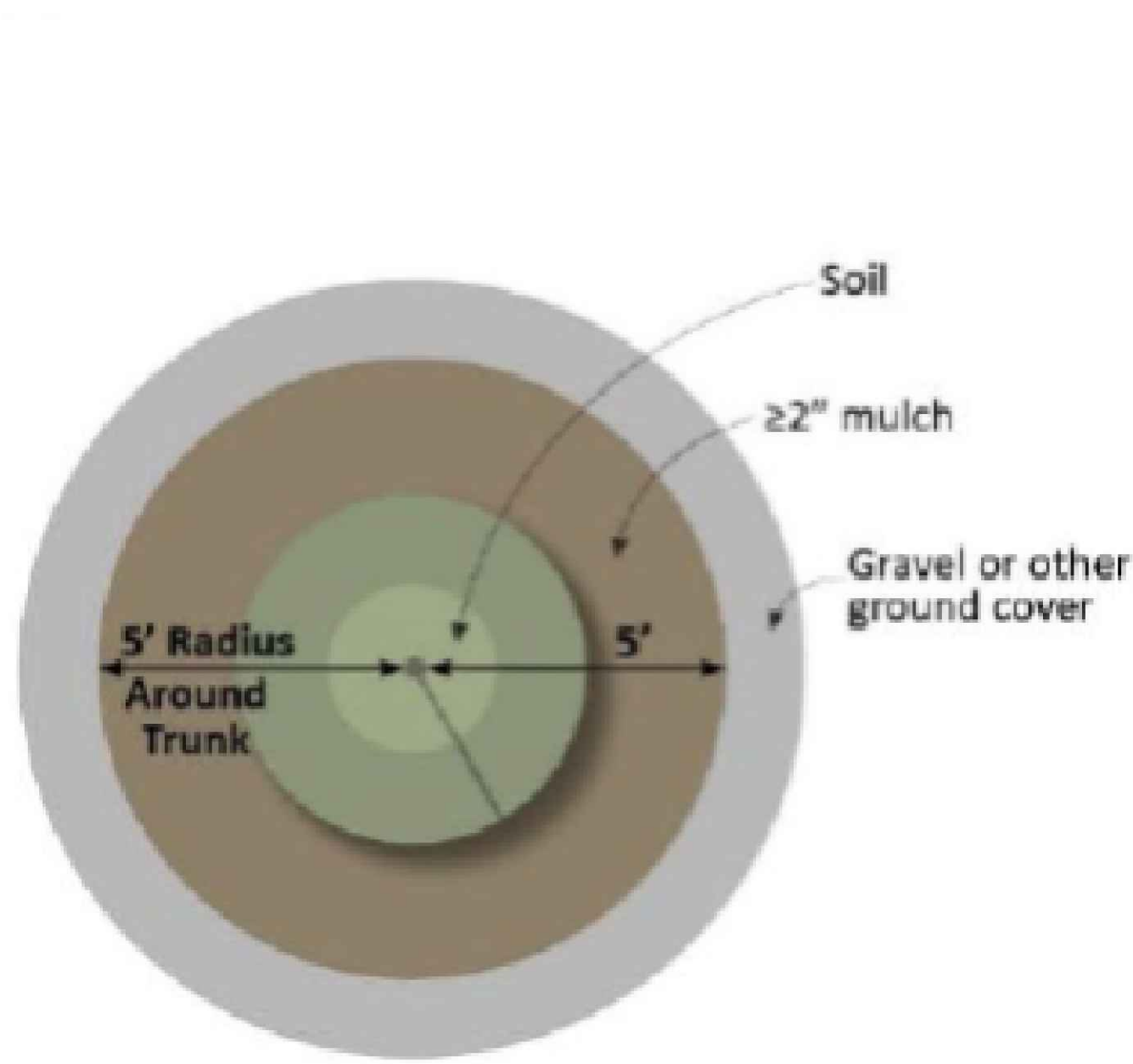
MULTI-STEM TREE PLANTING  
NTS



SHRUB PLANTING  
NTS



PERENNIAL PLANTING  
NTS



TREE MULCHING DETAIL  
NTS

#### PLANTING NOTES

- COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (FENCE, FOOTINGS, TREE ROOTBALLS, ETC.). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
- SAVE AND PROTECT ALL EXISTING TREES NOT NOTED TO BE REMOVED.
- REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
- REFER TO PLANTING DETAILS FOR AMENDED SOIL DEPTH IN PLANTING BEDS AND SURROUNDING TREES.
- FIELD STAKE PLANTINGS ACCORDING TO PLAN. OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVISE PLANTING LAYOUT AT TIME OF INSTALLATION.
- ALL PLANT MATERIALS SHALL BE TRUE TO THEIR SCIENTIFIC NAME AND SIZE AS INDICATED IN THE PLANT SCHEDULE.
- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE SCHEDULE, THE PLANTING PLAN SHALL GOVERN.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1), LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, WASHINGTON D.C. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO ANSI Z60.1.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON (ONE YEAR) AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED BY THE CONTRACTOR FREE OF CHARGE WITH THE SAME GRADE AND SPECIES.
- ALL TREES SHALL HAVE A STRONG CENTRAL LEADER. ANY TREES DEEMED NOT TO HAVE A STRONG CENTRAL LEADER SHALL BE REJECTED.
- CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO CONSTRUCTION OPERATIONS. ANY AREAS THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- PROVIDE ROCK MULCH SURROUNDING ALL PROPOSED TREES (5' ) AND WITHIN PLANTING BEDS TO A 3" MINIMUM DEPTH AS SHOWN IN TREE PLANTING DETAIL. DO NOT USE AN UNDERLAYMENT SUCH AS PLASTIC SHEET OR LANDSCAPE FABRIC. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING. REFER TO PLANS FOR ADDITIONAL DETAILS. REFER TO STORMWATER DETAILS FOR BASIN CONSTRUCTION AND MULCH APPLICATION.
- MULCHING MATERIAL SHALL BE 1" MOUNTAIN BROWN ROCK MULCH OR 3/8" GRAY ROUND ROCK MULCH AT 3" DEPTH, WITH NO INDIVIDUAL PIECES LARGER THAN 3", FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS, 3" MINIMUM DEPTH. MINIMUM DEPTHS AT LOCATIONS INDICATED ON DRAWINGS.
- CONTRACTOR SHALL PROVIDE SAMPLE OF MULCH TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
- INDICATED QUANTITIES ARE ESTIMATES AND SHALL BE CONFIRMED BY THE CONTRACTOR.
- ADJUST SPACING OF PLANT MATERIALS AROUND ADJACENT UTILITY STRUCTURES.

SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	10/20/2024	ARA	CITY SUBMITTAL #1
2	09/20/2025	ARA	CITY SUBMITTAL #3
3	10/22/2025	ARA	CITY SUBMITTAL #3
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:



10/22/2025



THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

SHEET NOT VALID UNLESS THIS TEXT IS COLOR.

PROJECT

**U-HAUL**  
PR-2023-008710  
SI-2025-00082

ALBUQUERQUE NEW MEXICO

SITE ADDRESS:  
U-Haul Moving & Storage  
8200 JEFFERSON ST

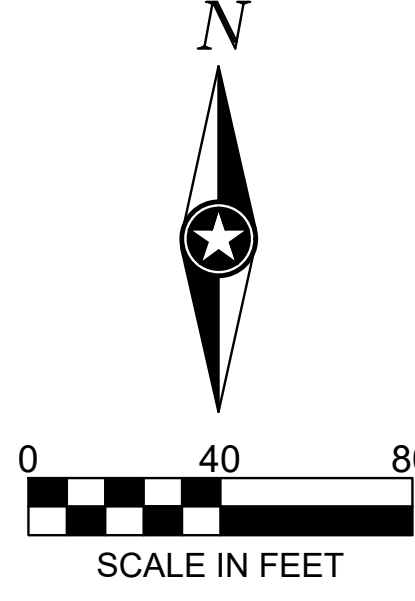
SHEET CONTENTS:

**PLANTING NOTES  
AND DETAILS**

**824071**


DRAWN:	GBV	
CHECKED:	ARA	<b>C5-30</b>
DATE:	10/22/25	

28816 C5 - LAND



SHEET NOTES:			
REVISIONS:			
NO.	DATE	INITIALS	NOTES
1	10/30/2024		CITY SUBMITTAL #1 ARA
2	09/26/2025		CITY SUBMITTAL #3 ARA
3	10/22/2025		CITY SUBMITTAL #3 ARA
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:



**RYAN J. ANDERSON**  
NEW MEXICO  
28792  
*Ryan J. Anderson*  
PROFESSIONAL ENGINEER

10/22/2025

ISG

THIS DOCUMENT IS THE PROPERTY OF I&S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

SHEET NOT VALID UNLESS THIS TEXT IS COLOR

---

PROJECT

**U-HAUL**  
PR-2023-008710  
SI-2025-00082

ALBUQUERQUE
NEW MEXICO

SITE ADDRESS:  
**U-Haul Moving & Storage**  
**8200 JEFFERSON ST**

---

SHEET CONTENTS:

**SITE  
PHOTOMETRIC**

824071

DRAWN:	GBV	<b>C6-10</b>
CHECKED:	ARA	
DATE:	--/------	

C6 SITE PHOTOMETRIC

