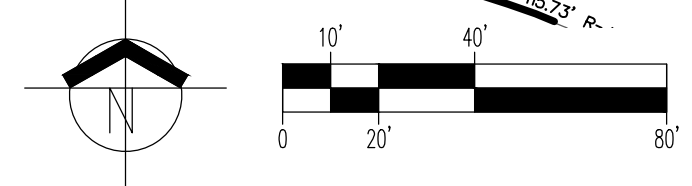


A2 MAJOR AMENDMENT TO EXISTING SITE DEVELOPMENT PLAN
SCALE: 1:40



GENERAL NOTES
A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
B. INDICATED DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.

SITE DATA
IDO ZONING DESIGNATION - MX-M
COMPREHENSIVE PLAN CORRIDOR - MAJOR TRANSIT CORRIDOR & PREMIUM TRANSIT CORRIDOR (CENTRAL AVE)
COMPREHENSIVE PLAN CENTER - FOUR HILLS VILLAGE - ACTIVITY CENTER
CITY DEVELOPMENT AREA - AREA OF CHANGE

PROJECT NUMBER: PR-2023-008767
APPLICATION NUMBER: SI-2023-01512

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED _____ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST EQUIPPED? () YES () NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

EXISTING SMITH'S PARKING

USE/PARKING REQUIREMENT	TOTALS
BUILDING SIZE	85,875 SF
TOTAL PARKING REQUIRED	1 SPACE PER 300 SQ. FT. GFA = 286
EXISTING PARKING PROVIDED	383 SPACES
HC PARKING REQUIRED	7 SPACES
HC PARKING PROVIDED	10 SPACES
BKE SPACE REQUIRED	12 SPACES
NO. OF PARKING REMOVED FOR COFFEE SHOP W/ DRIVE-THRU	48 SPACES REMOVED
REMAIN PARKING SPACES PROVIDED	335 SPACES

PROPOSED COFFEE SHOP WITH DRIVE-THRU PARKING

USE/PARKING REQUIREMENT	TOTALS
BUILDING SIZE	1,310 SF
TOTAL PARKING REQUIRED	8 SPACES PER 1,000 SF GFA = 10 SPACES
OUTDOOR PATIO SIZE	725 SF
TOTAL PARKING REQ FOR PATIO	3 SPACES PER 1,000 SF GFA = 2 SPACES
20% PARKING REDUCTION (AC, MT)	9 SPACES
HC PARKING REQUIRED	1 SPACE
HC PARKING PROVIDED	2 SPACES
TOTAL PARKING PROVIDED	11 SPACES
BKE SPACES REQUIRED	3 SPACES
MOTORCYCLE PARKING REQUIRED	1 SPACE
MOTORCYCLE PARKING PROVIDED	2 SPACES

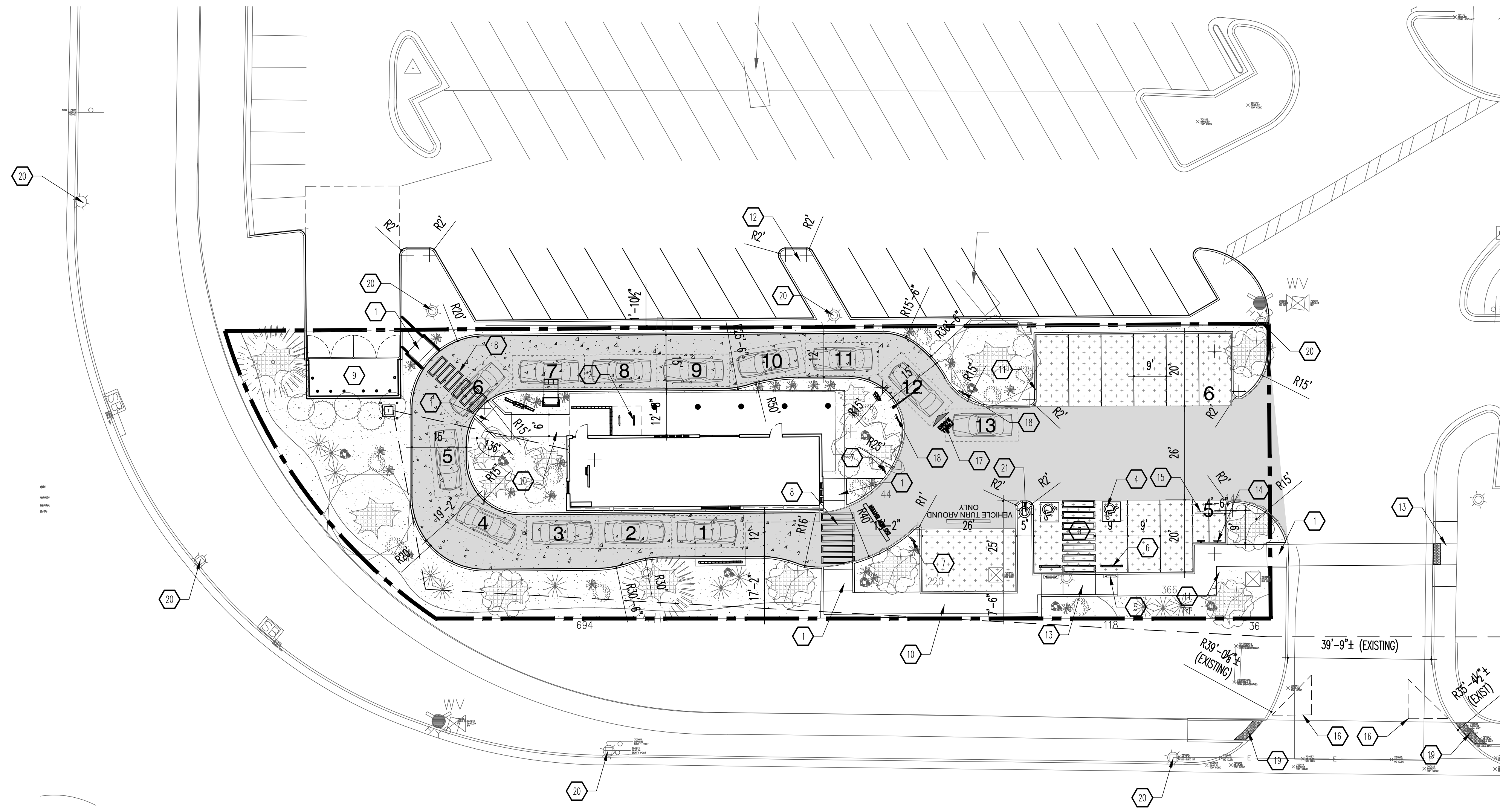
REV	DATE	BY	REVISION
1			
2			
3			
4	05 JUL 2023	RO	MAJOR AMENDMENT TO EXISTING SITE DEVELOPMENT PLAN

MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

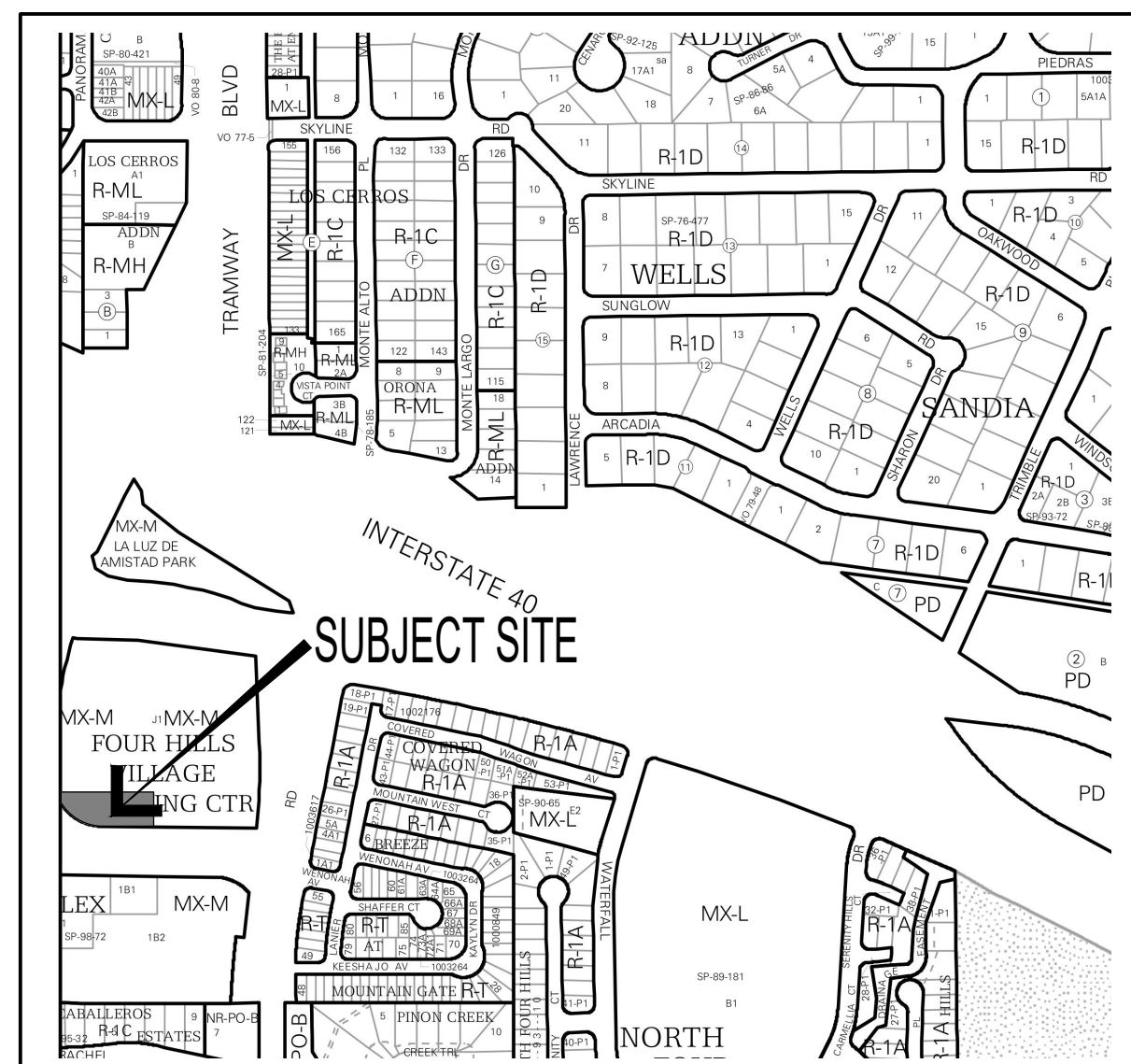
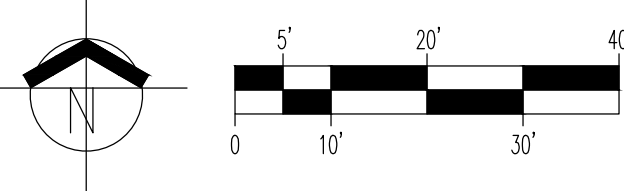
STATE OF NEW MEXICO
STEPHEN A. DUNBAR
No. 4218
REGISTERED ARCHITECT
05 JULY 2023

PROJECT TITLE: **COFFEE SHOP with DRIVE-THRU**
200 TRAMWAY BLVD. NE
ALBUQUERQUE, NEW MEXICO 87123
JOB NO. CS-TRAMWAY
PROJECT MANAGER: **DEVIN NGUYEN**
DRAWN BY: **DIN**
SHEET TITLE: **SITE PLAN - EPC, MAJOR AMENDMENT JULY 20, 2023**

DATE: 05 Jul 2023
SCALE: AS NOTED
AS NOTED



A2 ARCHITECTURAL SITE PLAN
SCALE: 1:20



VICINITY MAP
Zone Atlas Map L-23-Z NTS
LEGAL DESCRIPTION: TRACT J-1-A AND J-1-B, FOUR HILLS VILLAGE SHOPPING CENTER AND APARTMENT COMPLEX, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO.

GENERAL NOTES

- "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- INDICATED DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
- PARKING AND ACCESSIBLE PAVEMENT MARKING AND STRIPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3 #12.
- LANDSCAPING AND SIGNAGE SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PLAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

KEYED NOTES

- CURBED RAMP: SEE A1/A1.1.
- BIKE RACK: SEE B1/A1.2, TYPICAL OF (2).
- HANDICAP PARKING: SEE A1/A1.2 AND A3/A1.2.
- HANDICAP PAVEMENT MARKING: SEE A5/A1.2.
- HANDICAP SIGNAGE: SEE B4/A1.2, TYPICAL OF (2).
- WHEEL STOP: SEE B5/A1.2, TYPICAL OF (2).
- "DO NOT ENTER" SIGNAGE: SEE B3/A1.2, TYPICAL OF (2).
- WALKWAY PAVEMENT MARKING: SEE C5/A1.2.
- REFUSE ENCLOSURE: SEE B2/A1.3.
- SIDEWALK: SEE B3/A1.1.
- CURB & GUTTER: SEE B1/A1.1.
- PARKING ISLAND: SEE C3/A1.1.
- TAPERED RAMP: SEE C1/A1.1.
- MOTORCYCLE PARKING SIGNAGE: SEE B2/A1.2, TYPICAL OF (2).
- "MOTORCYCLE PARKING": 12" HIGH x 4" WIDE PAVEMENT MARKING, WHITE IN COLOR.
- DASHED LINE INDICATES 11" x 11" CLEAR SITE TRIANGLE.
- "DRIVE-THRU" PAVEMENT MARKING: SEE B1/A1.3.
- "ONE WAY" SIGNAGE: SEE C1/A1.2.
- PROVIDE 2" WIDE ADA APPROVED TRUNCATED DOME STRIP.
- EXISTING LIGHT POLE TO REMAIN.
- NEW LIGHT POLE.

GRAPHIC LEGEND

- 6" THICK NORMAL WEIGHT REINFORCED CONCRETE PAVING.
- HEAVY DUTY: SEE A5/A1.3.
- LIGHT DUTY ASPHALT: SEE A3/A1.3.

EASEMENTS
NO EASEMENTS AT IMMEDIATE SITE.

PARKING CALCULATION

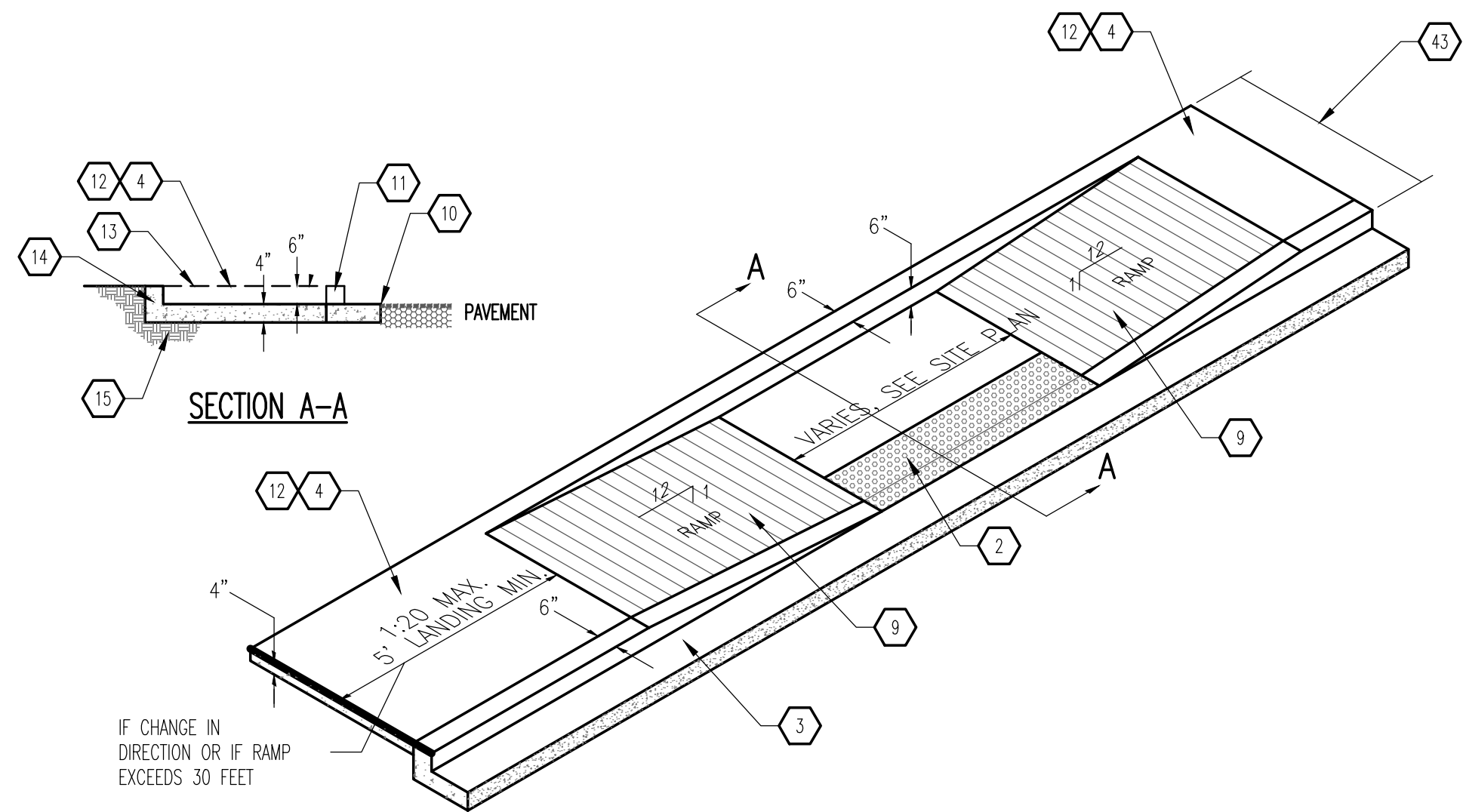
PARKING SPACES REQUIRED	PARKING SPACES PROVIDED
8 PER 1,000 CSF @ 1,310 CSF	(8) SPACES
PARKING SPACES REQUIRED FOR PATIO	PARKING SPACES PROVIDED
3 PER 1,000 CSF @ 725 CSF	(2) SPACES
MOTORCYCLE PARKING REQUIRED	
(1) REQUIRED	(2) SPACES
BICYCLE PARKING REQUIRED	
(3) REQUIRED	(4) SPACES

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			
21			
22			
23			
24	24 MAY 2022		CDR. COMMENTS

MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

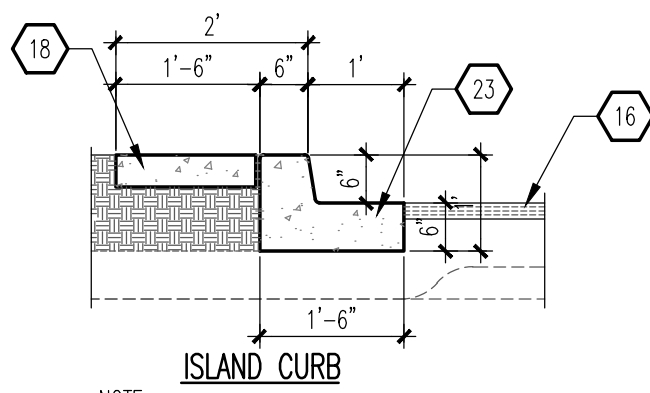
STATE OF NEW MEXICO
STEPHEN A. DUNBAR
No. 4218
REGISTERED ARCHITECT
28 Jul 2023

PROJECT TITLE: **STARBUCKS - TRAMWAY**
200 TRAMWAY BLVD. NE
ALBUQUERQUE, NEW MEXICO 87123
JOB NO.: **SF-TRAMWAY**
PROJECT MANAGER: **DEVIN NGUYEN**
DRAWN BY: **DIN**
DATE: **25 Jun 2023**
SCALE: **AS NOTED**
SHEET TITLE: **SITE PLAN**
SHEET NO.: **AS101**

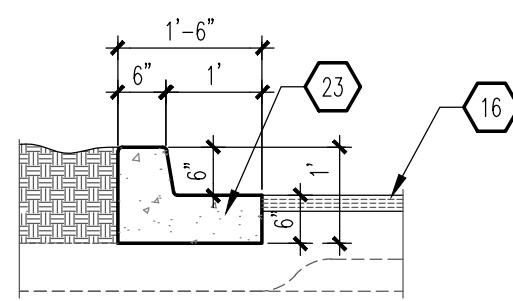


NOTE:
H.C. RAMP SHALL NOT EXCEED 6", OR 8% SLOPE IN ANY DIRECTION, AND SHALL CONFORM W/ ALL APPLICABLE ANSI REQ'S. G.C. SHALL VERIFY CONFORMANCE W/ ALL APPLICABLE ANSI REQ'S

C1 TAPERED RAMP
SCALE: NTS

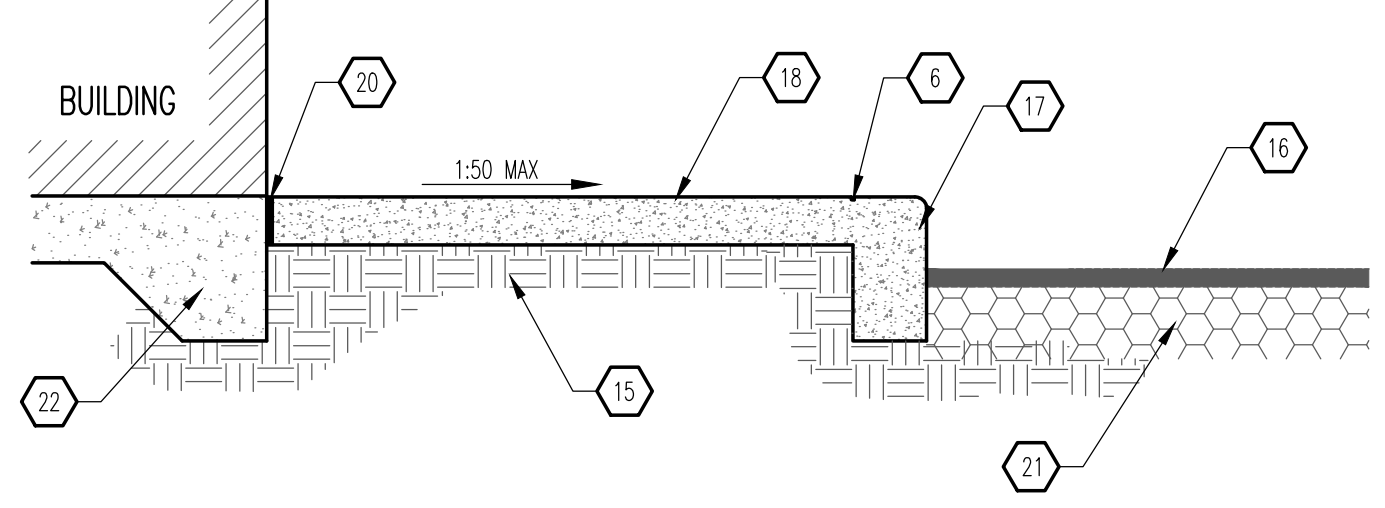


NOTE:
RE: SITE PLAN FOR LOCATIONS OF PAVEMENT SECTION DESIGN PER THE GEOTECHNICAL INVESTIGATION FOLLOW COA STANDARD DRAWING #2415B



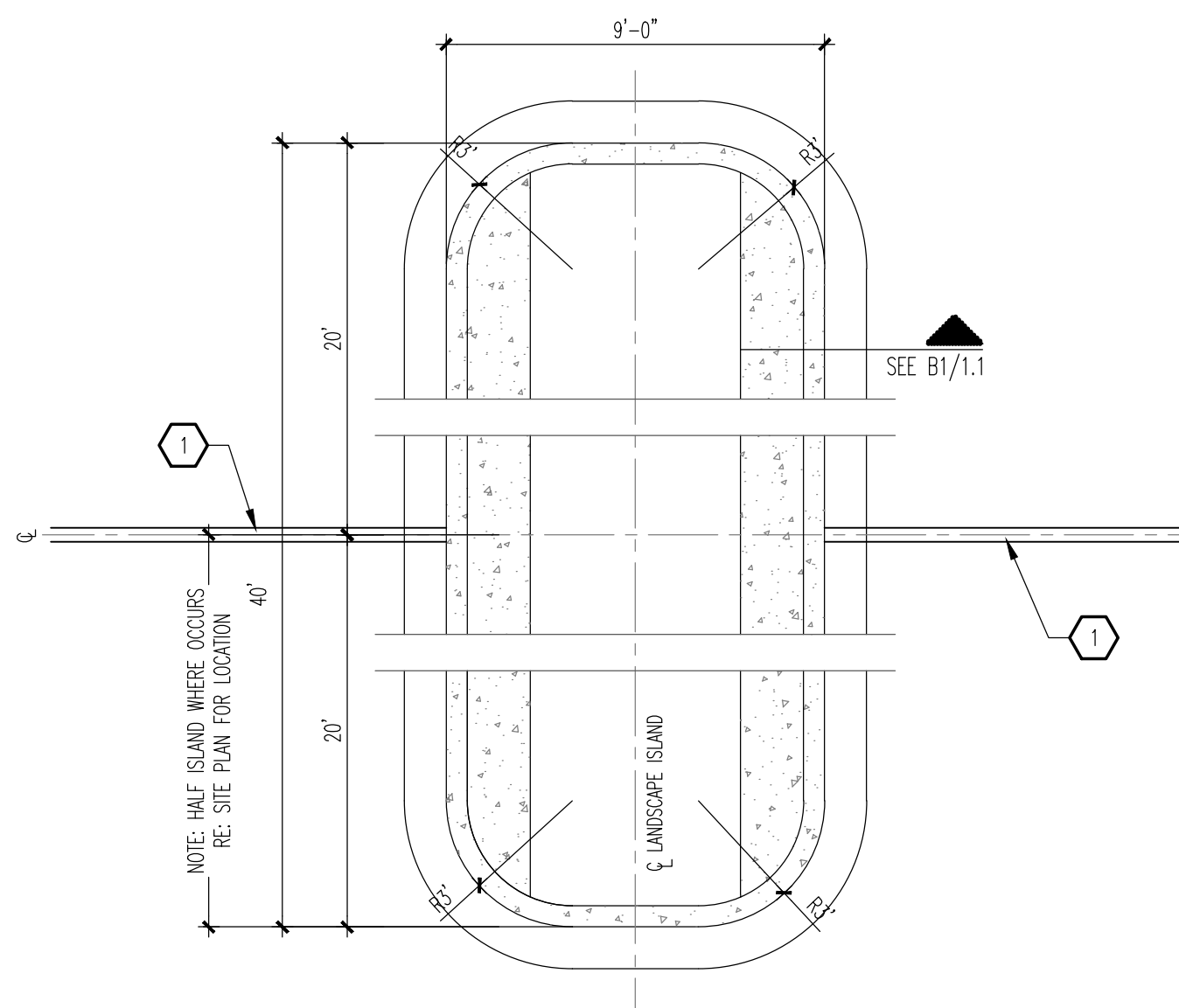
NOTE:
RE: SITE PLAN FOR LOCATIONS OF PAVEMENT SECTION DESIGN PER THE GEOTECHNICAL INVESTIGATION FOLLOW COA STANDARD DRAWING #2415B

B1 CURB & GUTTER
SCALE: 1/2" = 1'-0"

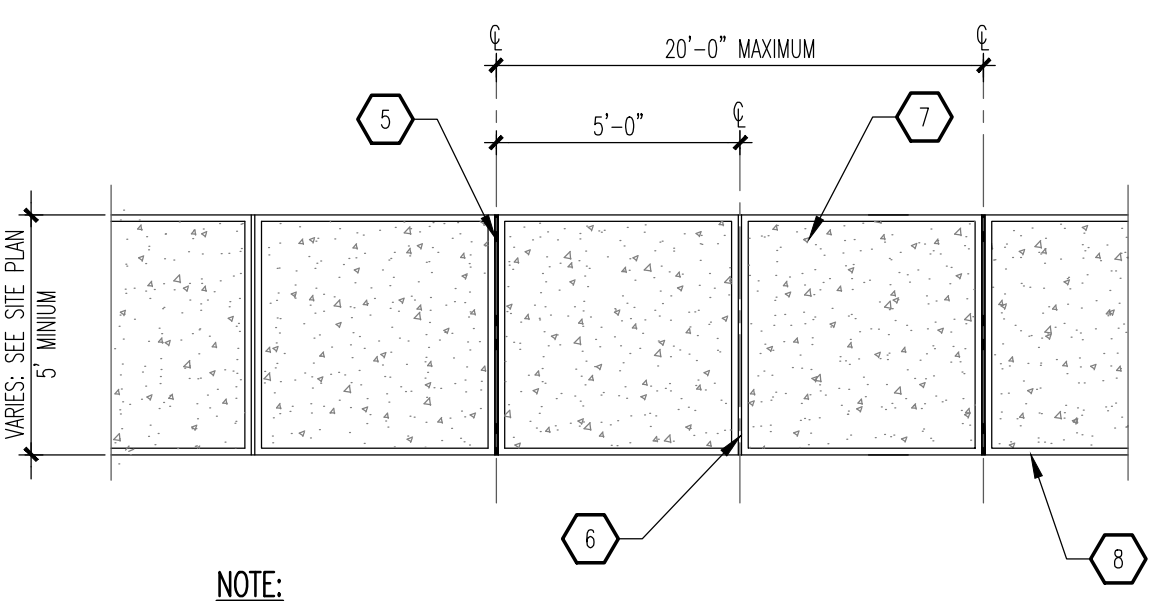


NOTE:
1. CONTRACTION JOINTS AT 5'-0" OC TOOLED 1/2" (±1/4") WIDE, 1" OR MAXIMUM D/4 (DEEP) WHICHEVER IS GREATER EXPANSION JOINTS AT 20' MAXIMUM AND ALL P.C.S, UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.
2. ALIGN CURB AND SIDEWALK JOINTS AT ALL TIMES.

B2 TURNDOWN SIDEWALK SECTION
SCALE: 3/4" = 1'-0"

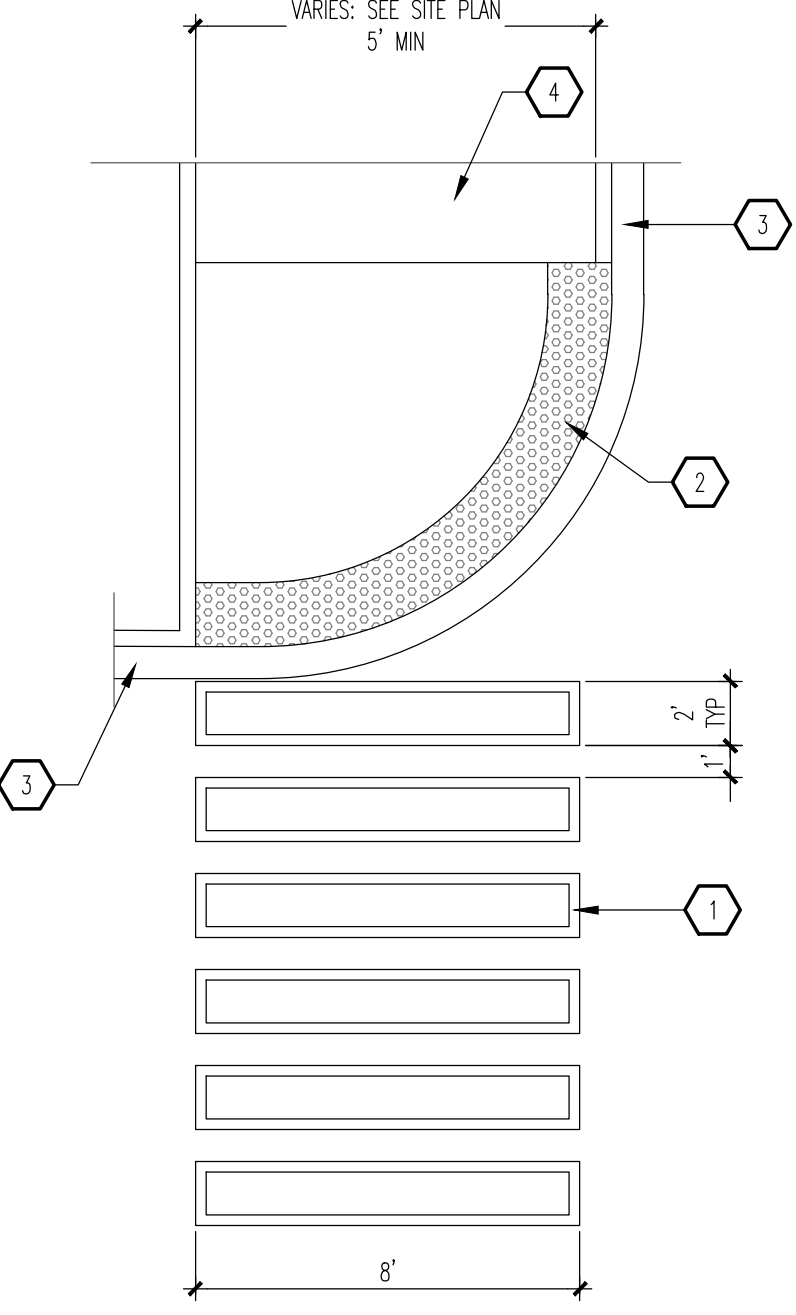


C3 TYPICAL ISLAND
SCALE: 1/4" = 1'-0"

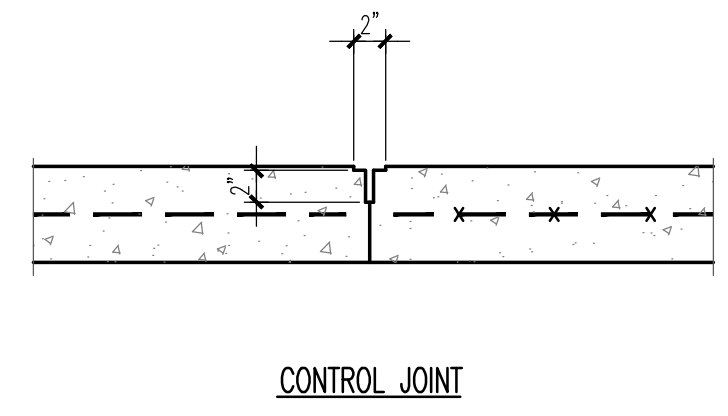
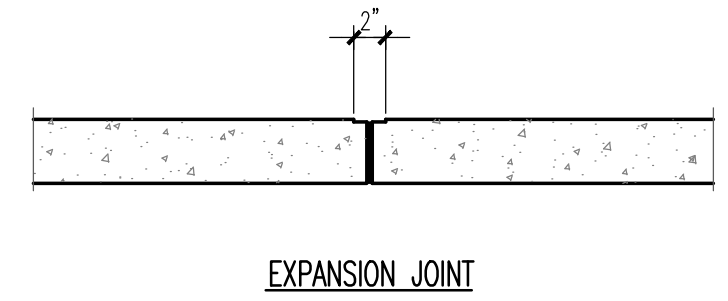


NOTE:
FOLLOW COA STANDARD DRAWING #2430.

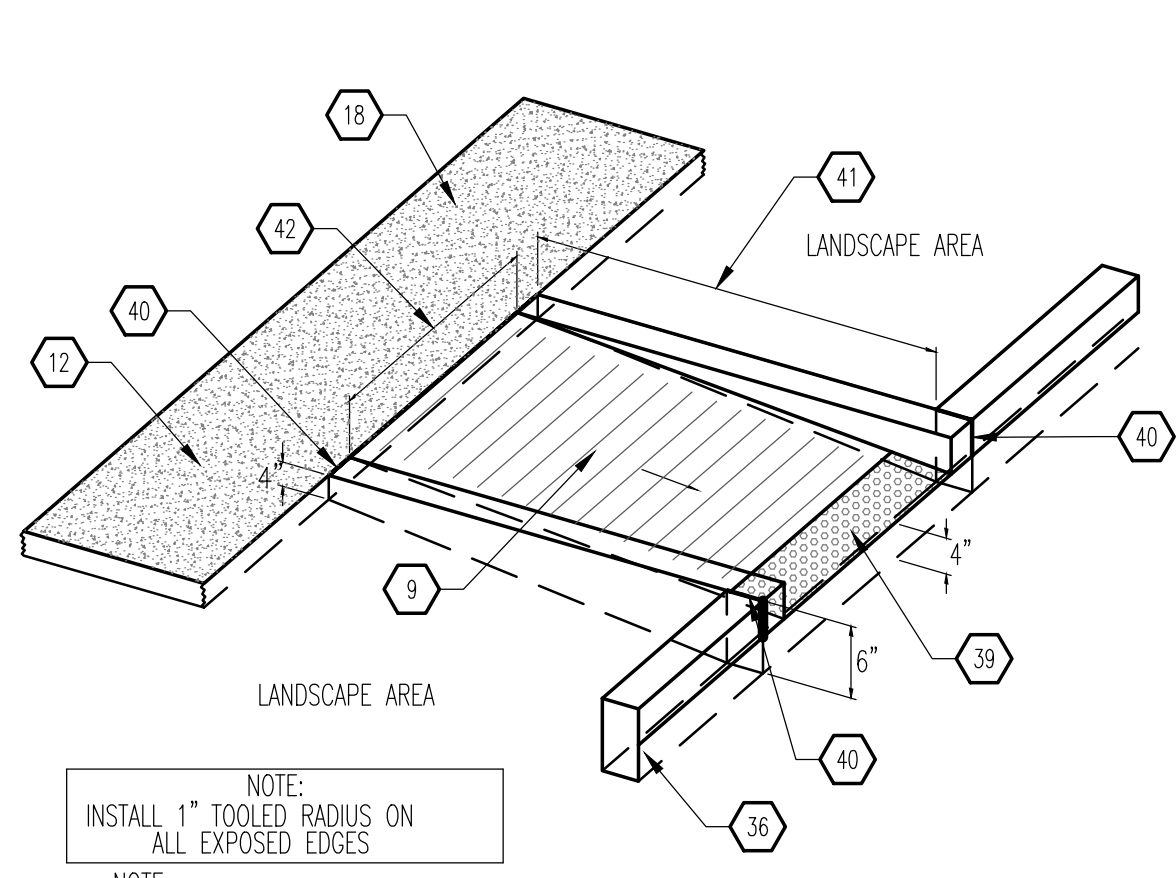
B3 TYPICAL SIDEWALK
SCALE: 3/4" = 1'-0"



C5 CONCRETE CROSSWALK
SCALE: 1/4" = 1'-0"

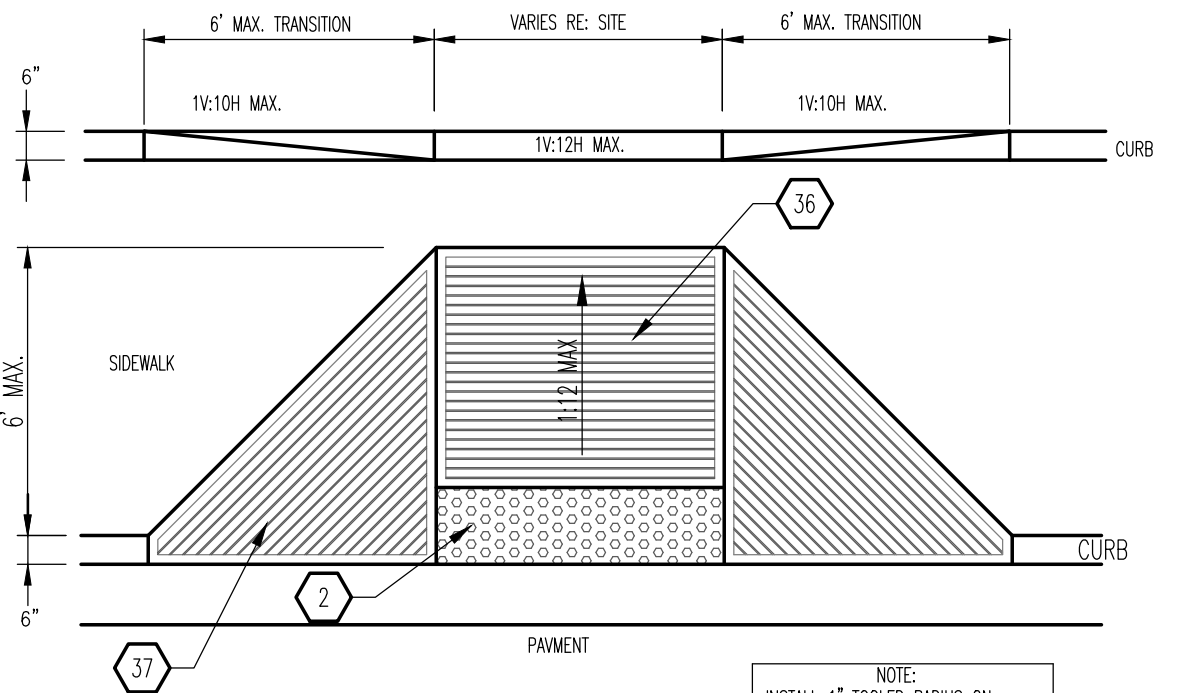


B5 EXPANSION/CONTROL JOINT
SCALE: 1" = 1'-0"



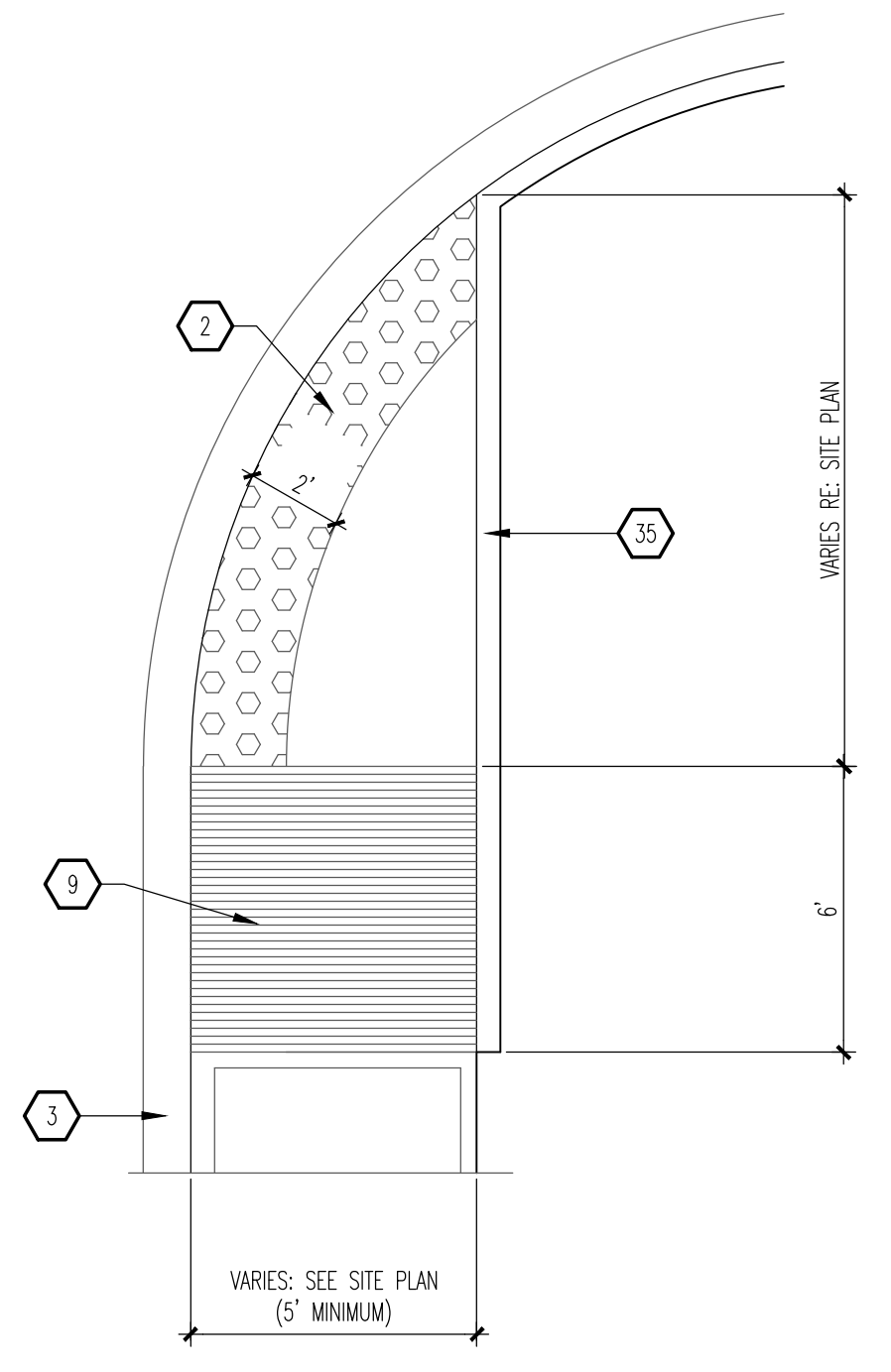
NOTE:
INSTALL 1" TOOLED RADIUS ON ALL EXPOSED EDGES
NOTE:
H.C. RAMP SHALL NOT EXCEED 6", OR 8% SLOPE IN ANY DIRECTION, AND SHALL CONFORM W/ ALL APPLICABLE ANSI REQ'S. G.C. SHALL VERIFY CONFORMANCE W/ ALL APPLICABLE ANSI REQ'S

A1 CURBED RAMP
SCALE: 3/4" = 1'-0"



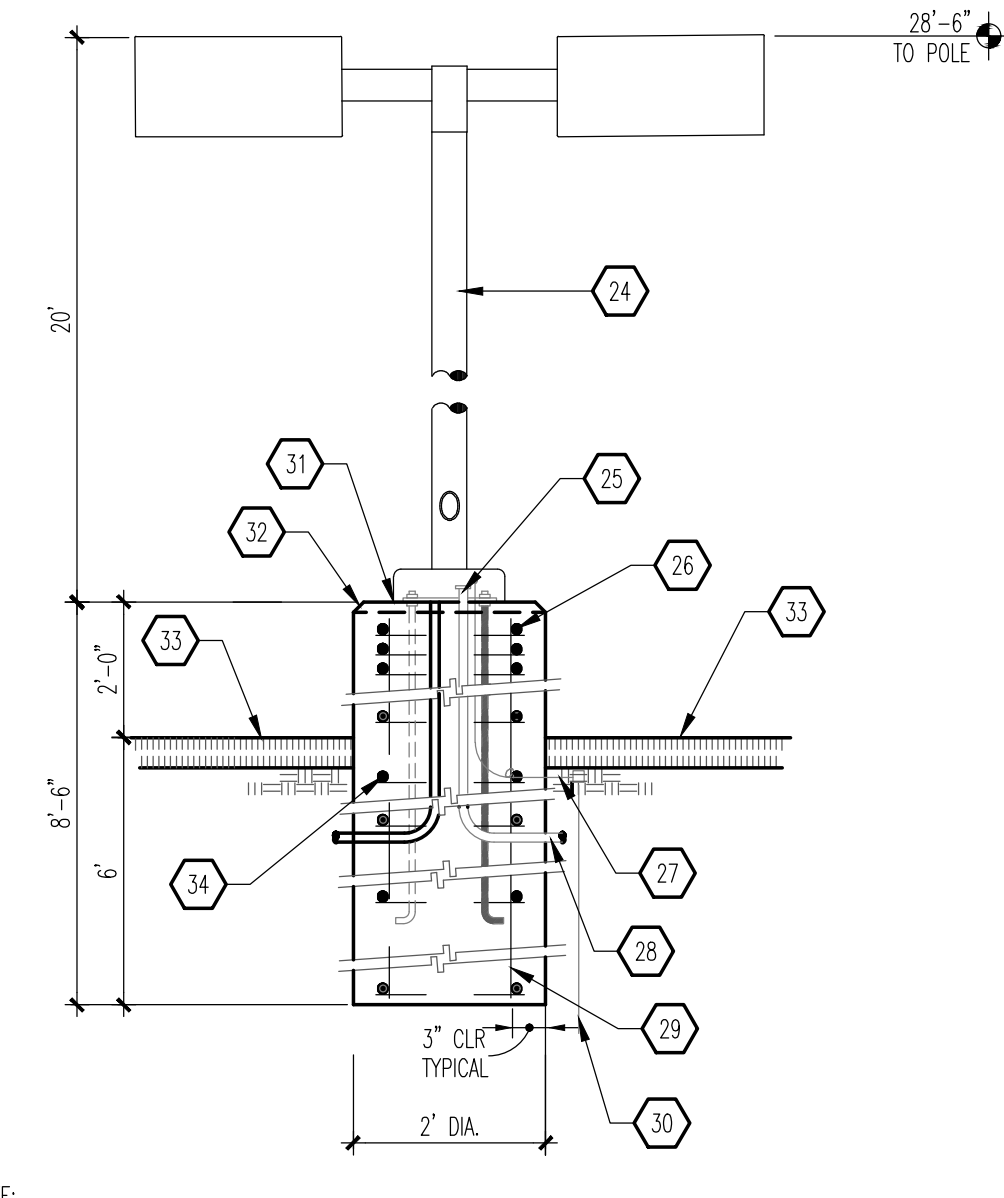
NOTE:
HANDICAP RAMP SHALL NOT EXCEED 6", OR 8% SLOPE IN ANY DIRECTION, AND SHALL CONFORM WITH ALL APPLICABLE ANSI REQUIREMENTS. GC SHALL VERIFY CONFORMANCE WITH ALL APPLICABLE ANSI REQUIREMENT.

A3 END ISLAND ADA RAMP
SCALE: 1/4" = 1'-0"



NOTE:
FOLLOW COA STANDARD DRAWING #2443.

A4 END ISLAND ADA RAMP
SCALE: 1/4" = 1'-0"



NOTE:
1. MANUFACTURER SHALL WARRANT THAT THE COMPLETE ASSEMBLY FIXTURES, POLE, BASE, SHALL WITHSTAND MINIMUM 90 MPH SUSTAINED WIND LOAD OR AS REQUIRED BY LOCAL AGENCY HAVING JURISDICTION; WHICHEVER IS MORE RESTRICTIVE.
2. CONTRACTOR SHALL VERIFY THAT ALL CONTRACTOR INSTALLED LIGHTS COMPLY WITH LOCAL CODES REQUIREMENTS.
3. SHOULD EXISTING POLE HEIGHT TO BE MATCHED EXCEED 22', GENERAL CONTRACTOR SHALL VERIFY WITH ARCHITECT ADEQUACY OF DESIGN SHOWN PRIOR TO INSTALL.

A5 LIGHT POLE
SCALE: 1/2" = 1'-0"

GENERAL NOTES

A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.

KEYED NOTES

- 4" THICK PAVEMENT MARKING, WHITE IN COLOR.
- 2" WIDE ADA APPROVED TRUNCATED DOME STRIP.
- CURB AND GUTTER: SEE B1/A1.1.
- CONCRETE SIDEWALK: SEE B3/A1.1.
- CONCRETE EXPANSION JOINT: SEE B5/A1.1.
- CONCRETE CONTROL JOINT: SEE B5/A1.1.
- BROOM FINISH CONCRETE SURFACE AREA INSIDE OF TOOLED EDGE TO CREATE PICTURE FRAME EFFECT.
- SMOOTH TOOLED FINISH AROUND EDGES, TYPICAL.
- MONOLITHIC CONCRETE HANDICAP RAMP INTEGRALLY COLORED DAVIS COLORS #160 "BRICK RED"; SMOOTH TEXTURE FINISH WITH 1/4" DEEP x 1/4" WIDE GROOVES AT 2' OC.
- CONCRETE FLUSH WITH PAVEMENT.
- CURB, BEYOND.
- 2% CROSS SLOPE, MAXIMUM.
- RAMP, BEYOND.
- RETAINING CURB.
- SUBGRADE: COMPACTED AS SPECIFIED.
- PAVEMENT AS SPECIFIED.
- CONCRETE TURNDOWN CURB.
- 4" THICK CONCRETE SIDEWALK.
- SIDEWALK ELEVATIONS VARY - HOLD FLUSH WITH FINISHED FLOOR AT ENTRANCE WAYS. PLANTING AREAS MAY EXIST BETWEEN THE BUILDING AND THE BACK-OF-SIDEWALK (SEE SITE PLAN). EXPANSION JOINTS DO NOT APPLY TO SIDEWALK SECTION ADJACENT TO PLANTING AREAS.
- 1/2" EXPANSION JOINT MATERIAL.
- STABILIZED AGGREGATE BASE COARSE, AS SPECIFIED.
- STRUCTURAL FOUNDATION SYSTEM: SEE STRUCTURAL FOUNDATION PLAN.
- CONCRETE CURB AND GUTTER.
- SQUARE, STRAIGHT, STEEL ANCHOR BASE POLE, POLE & BRACKETS SHALL BE FACTORY FINISHED, PAINTED SEMI GLOSS BLACK WRAP POLES FOR SHIPPING, PROVIDE 1 QT. MATCHING PAINT TO TOUCH ANY SCRATCHES ON POLES ON JOB. SEE LIGHT FIXTURE SCHEDULE FOR SPECIFICATIONS.
- CONNECT GROUND WIRE TO REINFORCING BARS.
- (3) #3 TIES AT 1/2" OC IN TOP 5".
- #6 BARE COPPER GROUND WIRE.
- CONDUIT AS INDICATED ON ELECTRICAL PLAN.
- (6) #6 BARS VERTICAL.
- 8'-0" COPPER WELD GROUND ROD BY ELECTRICAL CONTRACTOR.
- NON-SHRINK GROUT.
- 2" CHAMFER.
- FINISHED GRADE.
- #3 TIES @ 12" OC.
- 6" RETAINING CURB.
- MONOLITHIC INTEGRALLY COLORED CONCRETE HANDICAP RAMP (4,000 PSI); PROVIDE ARCHITECT WITH SAMPLE COLOR FOR APPROVAL.
- PROVIDE 1/4" DEEP BY 1/4" WIDE GROOVES @ 2" OC. EXTEND THE PULL WIDTH AND DEPTH OF THE RAMP.
- 6" STANDUP CURB OR CURB AND GUTTER AS APPLICABLE (SEE SITE PLAN).
- PROVIDE ADA APPROVED TRUNCATED STRIP AT 2' WIDTH.
- EXPANSION JOINT.
- WIDTH VARIES (6" MINIMUM); SEE SITE PLAN.
- PROVIDE A 5 SF LAND AT TOP OF RAMP FOR CHANGE IN DIRECTION.
- WIDTH VARIES: SEE SITE PLAN (MINIMUM 5' WIDTH).

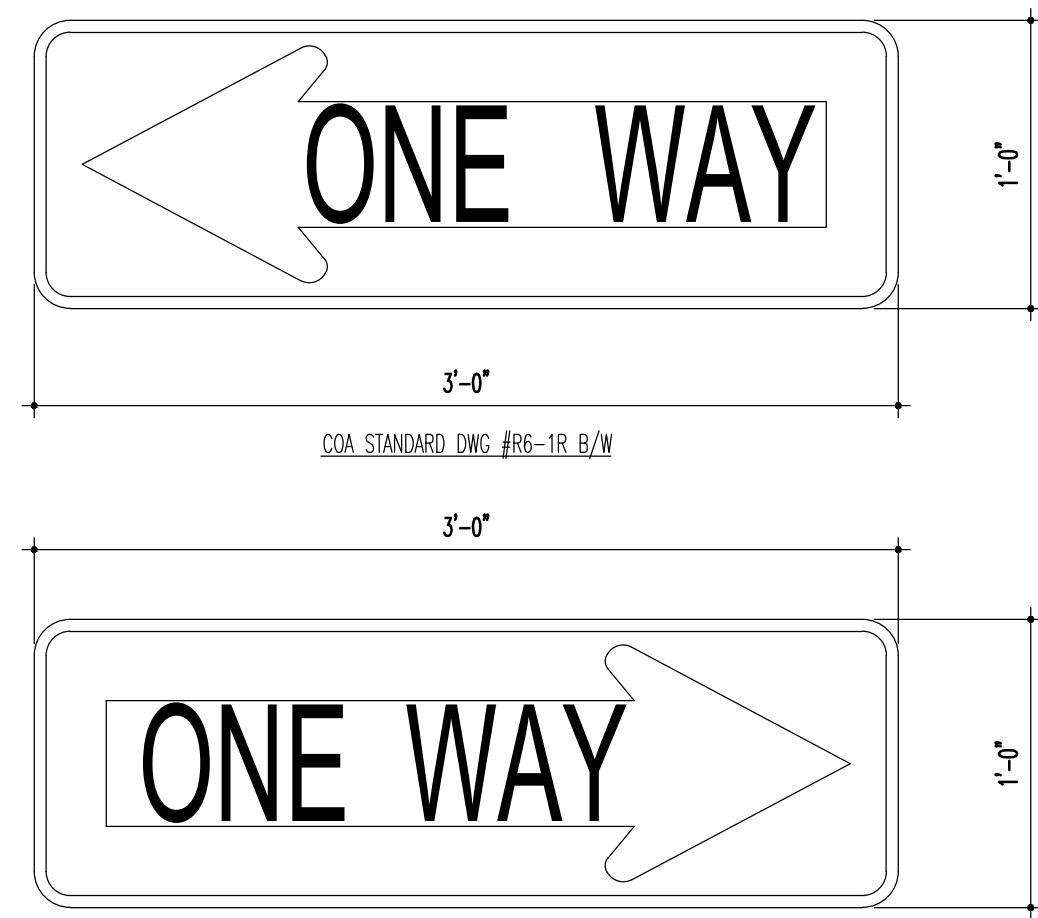
REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

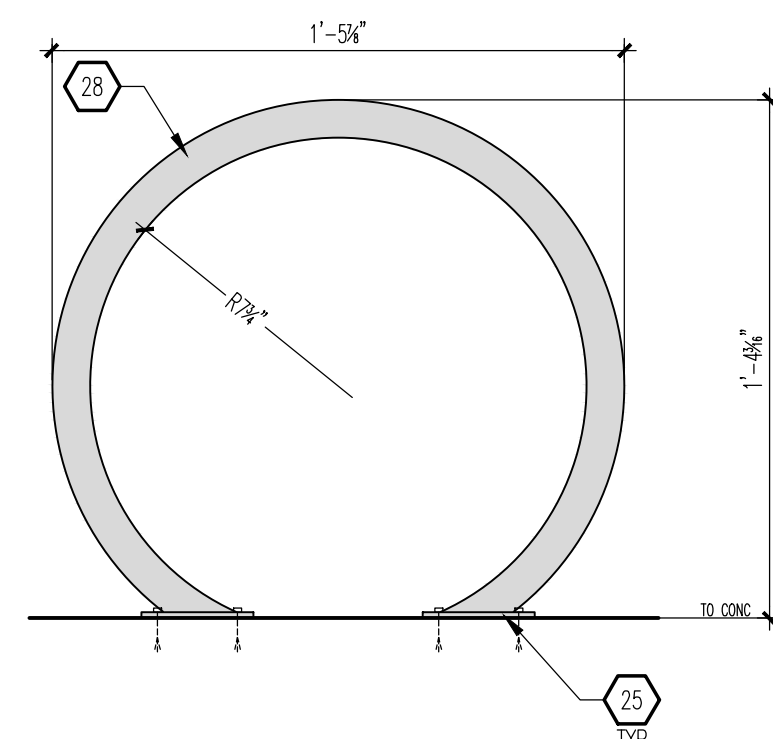
STATE OF NEW MEXICO
STEPHEN A. DUNBAR
REGISTERED ARCHITECT
No. 4218
05 JULY 2023

PROJECT TITLE
COFFEE SHOP with DRIVE-THRU
200 TRAMWAY BLD. NE
ALBUQUERQUE, NEW MEXICO 87123
JOB NO. CS-TRAMWAY
PROJECT MANAGER
DEVIN NGUYEN
DRAWN BY
DIN
SHEET TITLE
SITE DETAILS

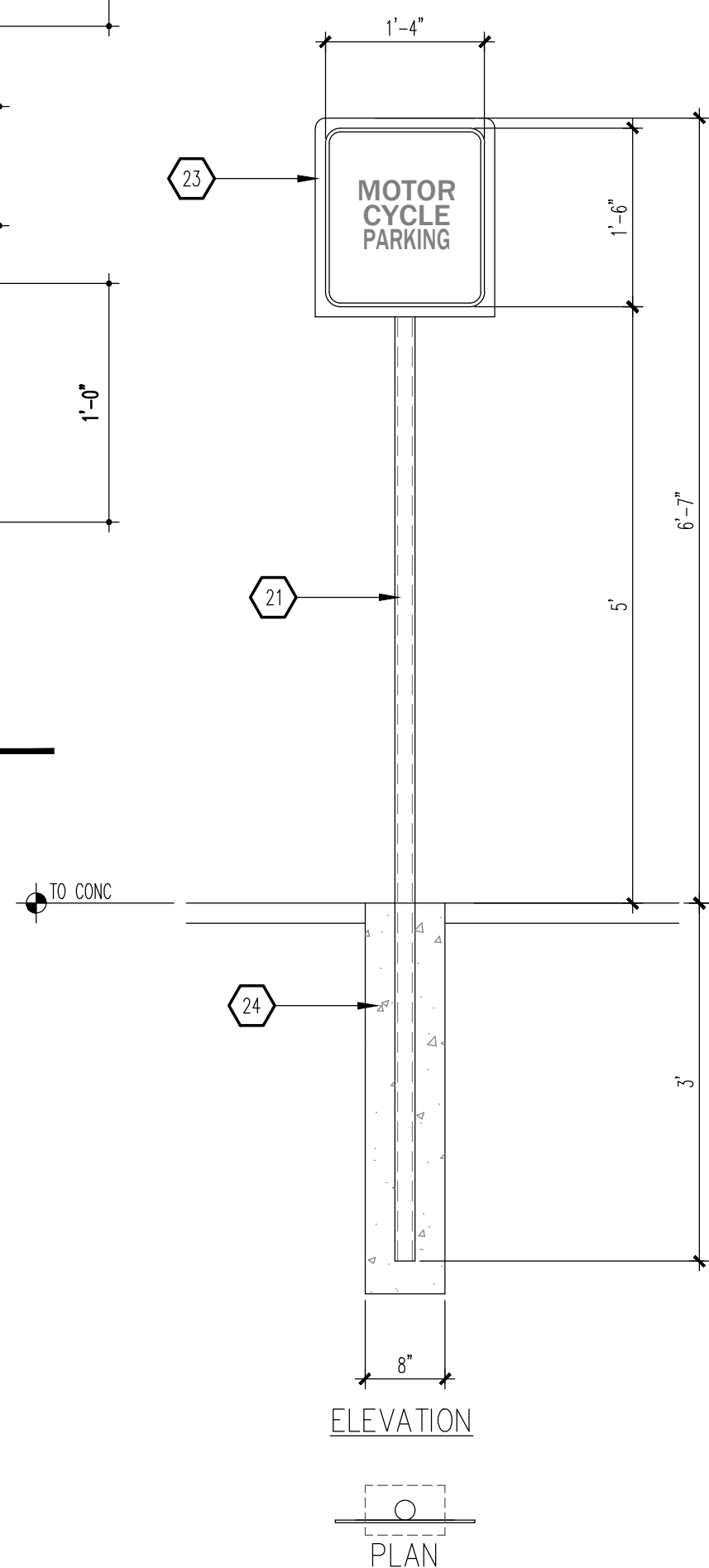
DATE	05 Jul 2023	sheet-
SCALE	AS NOTED	A1.1



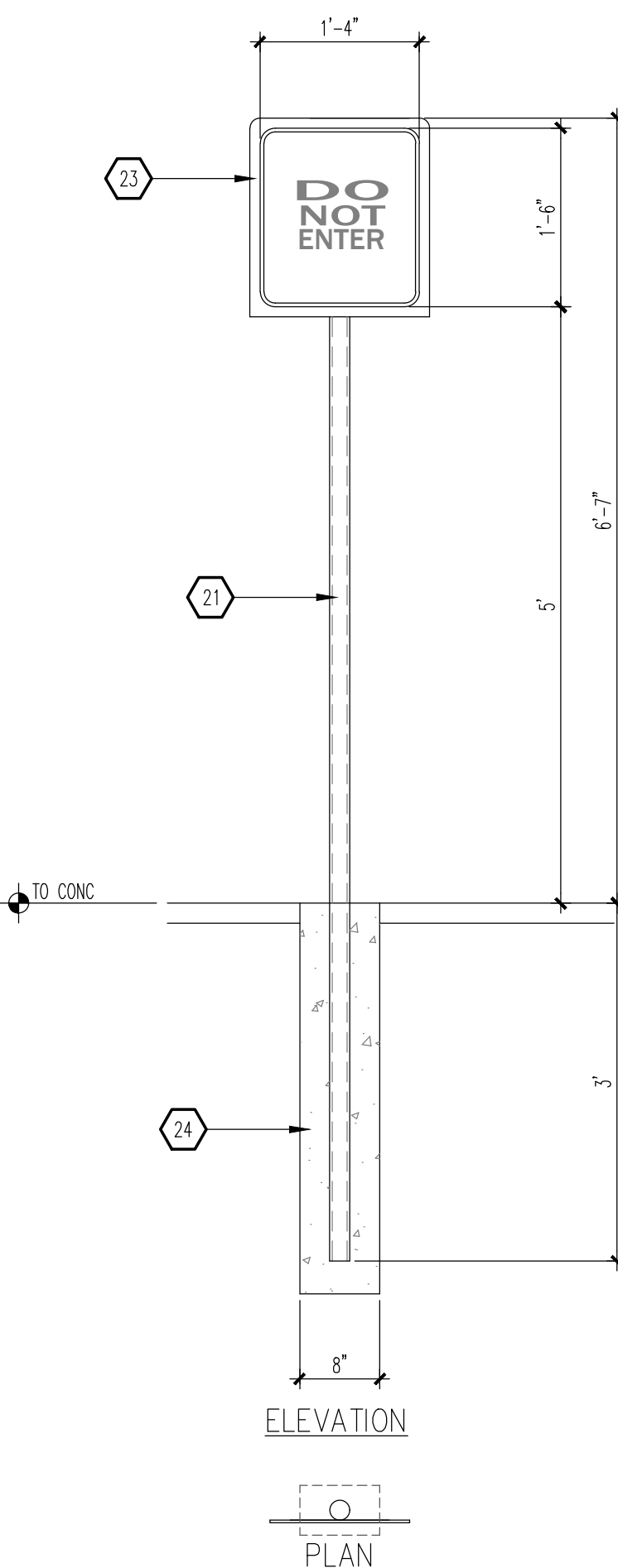
C1 SIGNAGE - 'ONE WAY'
SCALE: 1-1/2" = 1'-0"



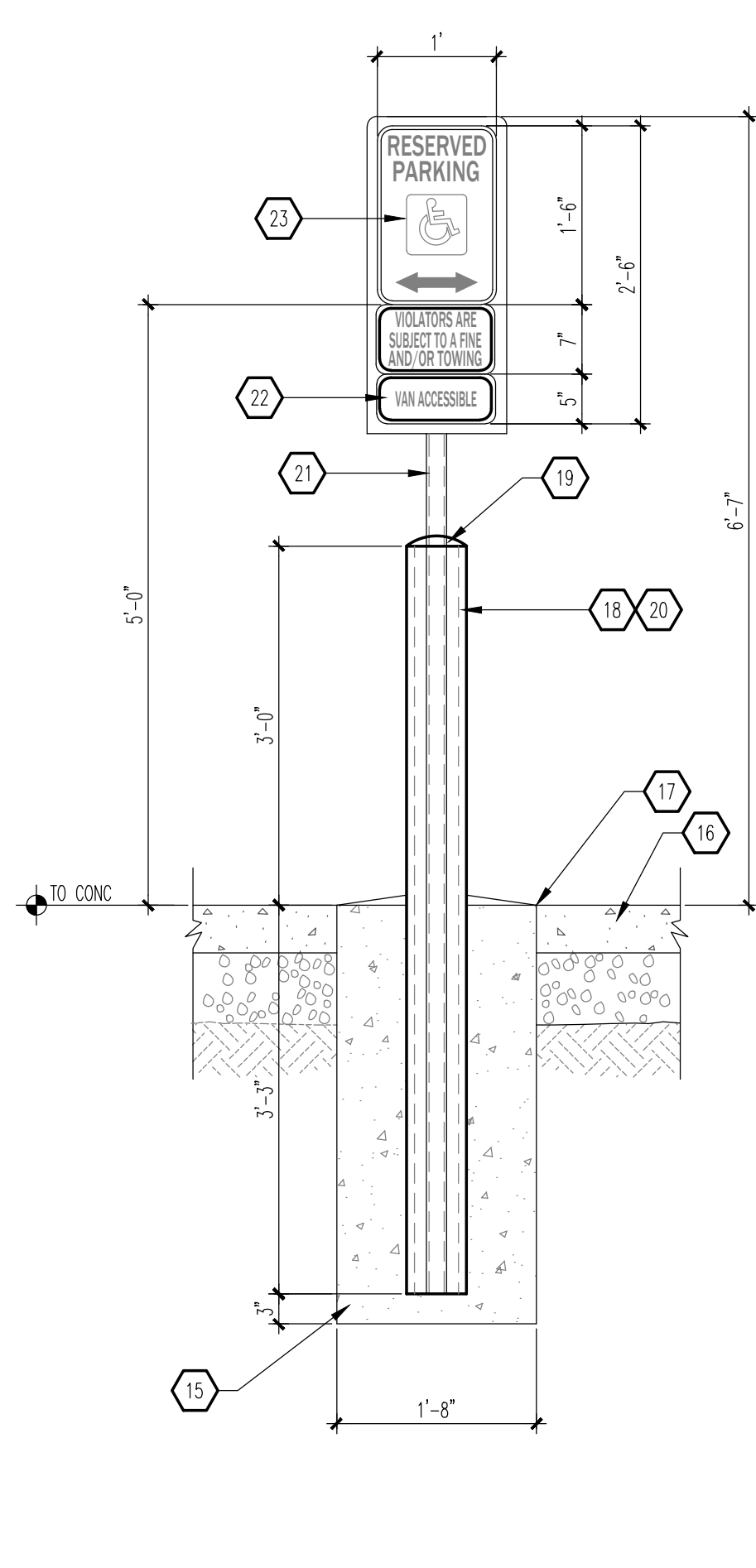
B1 BIKE RACK
SCALE: 1/2" = 1'-0"



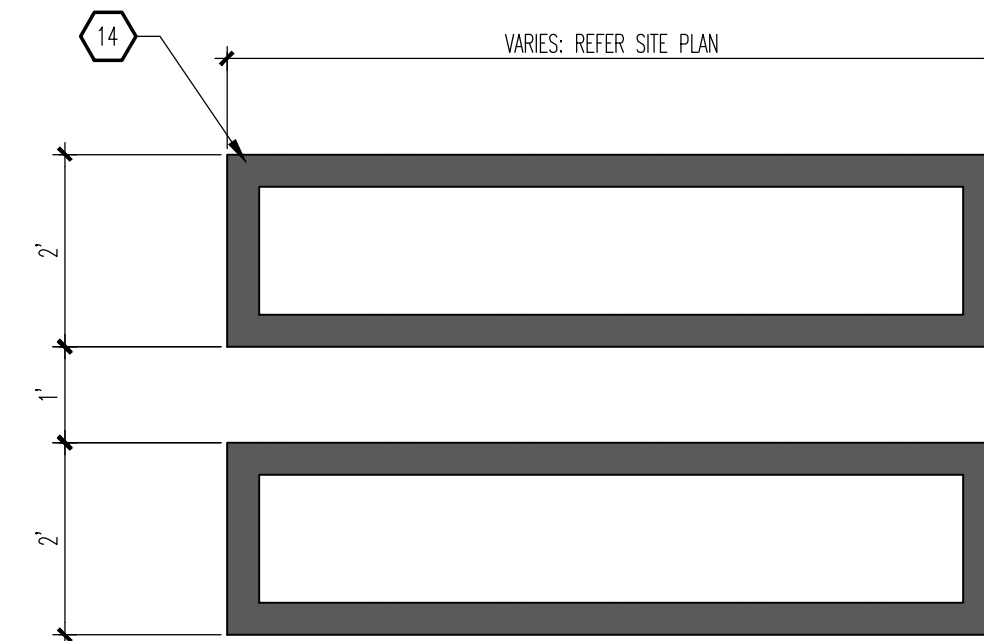
B2 MISC. SIGNAGE
SCALE: 3/4" = 1'-0"
NOTE:



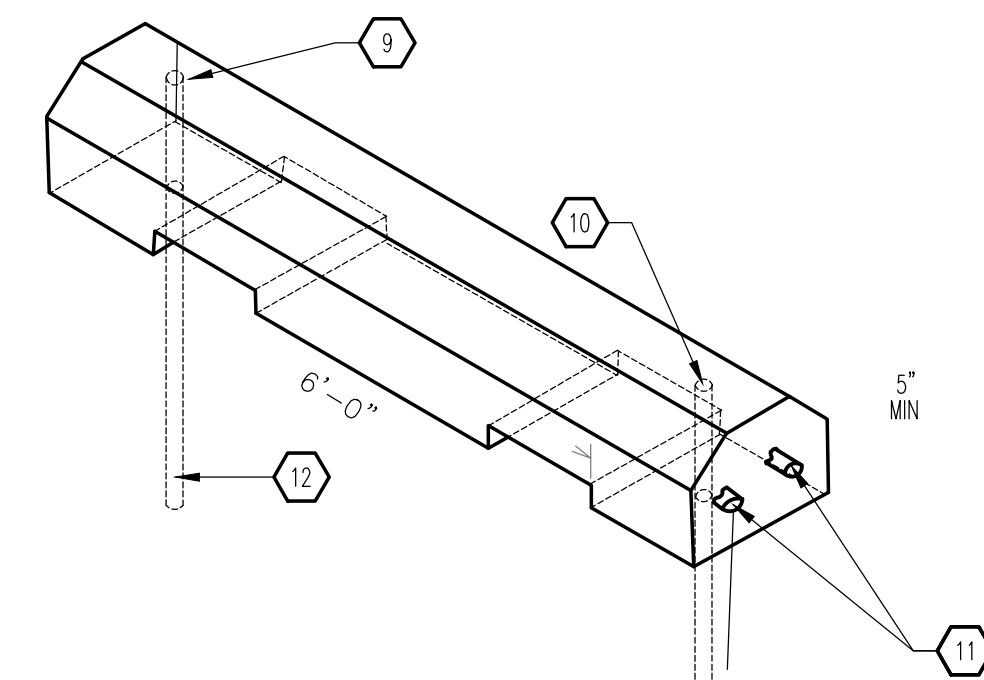
B3 MISC. SIGNAGE
SCALE: 3/4" = 1'-0"



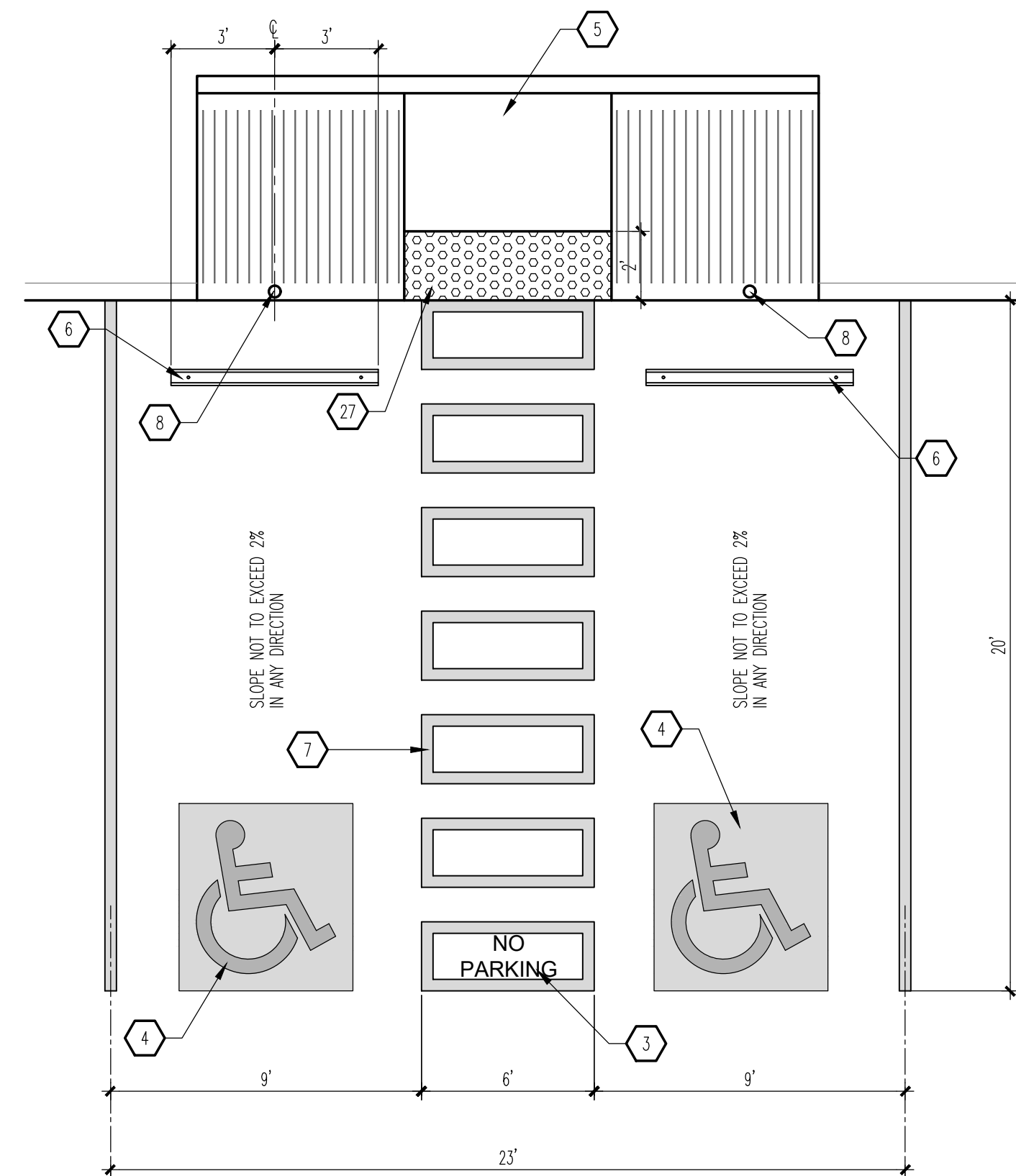
B4 MISC. SIGNAGE
SCALE: 3/4" = 1'-0"
NOTE:



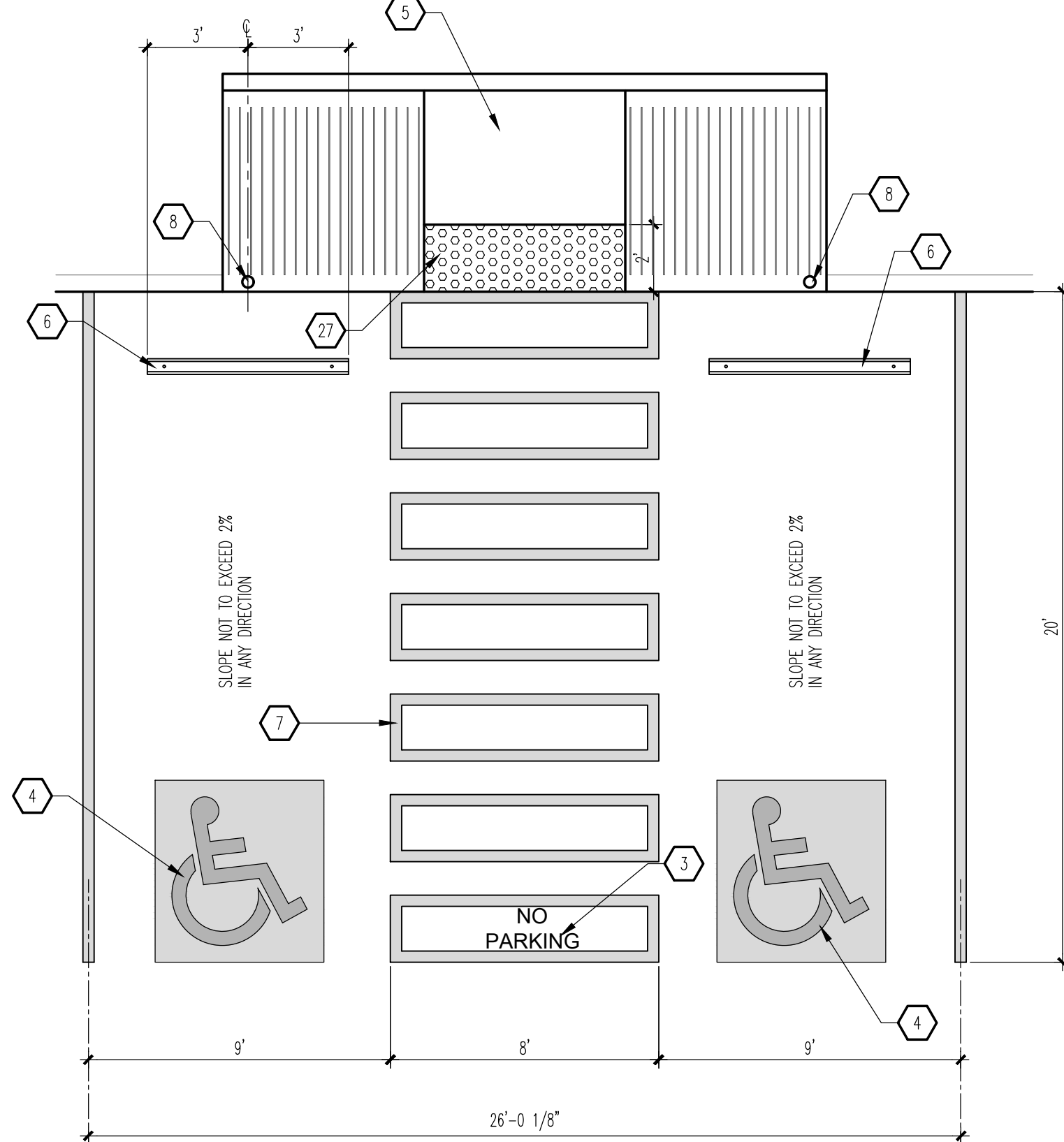
C5 WALKWAY PAVEMENT MARKING
SCALE: 1/2" = 1'-0"



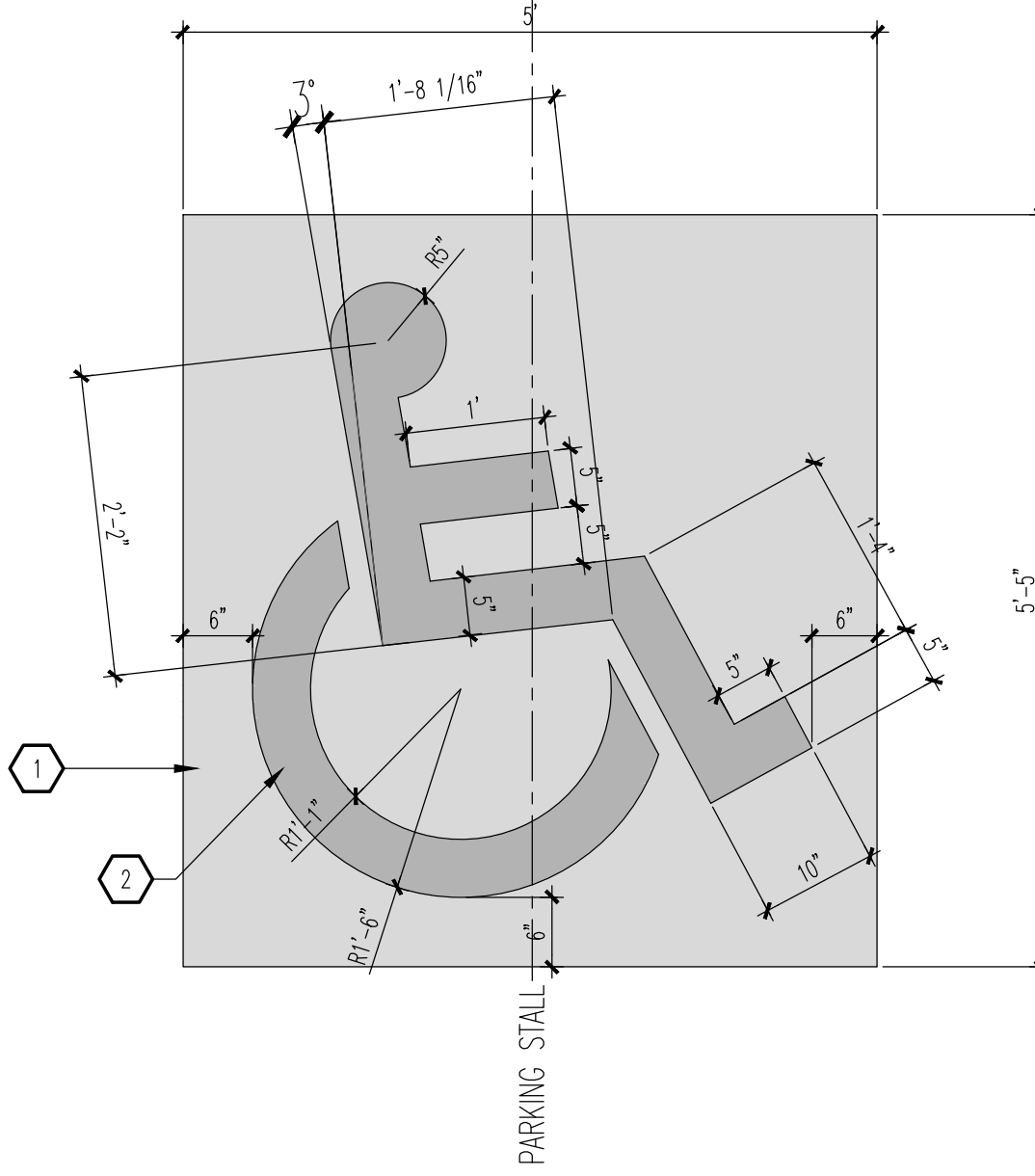
B5 WHEEL STOP
SCALE: 3/4" = 1'-0"



A1 HC PARKING PLAN
SCALE: 1/4" = 1'-0"



A3 HC PARKING PLAN (VAN ACCESSIBLE)
SCALE: 1/4" = 1'-0"



A5 HANDICAP SIGNAGE
SCALE: 3/4" = 1'-0"

GENERAL NOTES

A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.

KEYED NOTES

1. PAINT BLUE.
2. PAINT WHITE.
3. 12" HIGH BY 4" WIDE "NO PARKING" MARKING - WHITE PAINT.
4. HANDICAP PAVEMENT MARKING: SEE A5/A1.2.
5. TAPERED RAMP: SEE C2/A1.1.
6. WHEEL STOP: SEE B5/A1.2.
7. WALKWAY PAVEMENT MARKING: SEE C5/A1.2.
8. HANDICAP POST SIGNAGE: SEE B4/A1.2.
9. TOP OF REINFORCING BAR FLUSH WITH TOP OF CONCRETE.
10. 3/8" DIAMETER HOLE.
11. (2) #4 BARS CONTINUOUS.
12. 3/4" REINFORCING BAR EMBEDDED 24" INTO SUBGRADE.
13. #5 REINFORCING BAR.
14. 4" WIDE WHITE PAINTED STRIPING.
15. 3,500 PSI CONCRETE FOUNDATION.
16. FINISHED SURFACE.
17. BRITANNIUS JOINT FILLER (CONCRETE PAVEMENT ONLY).
18. 6" DIAMETER STEEL PIPE FILLED WITH CONCRETE.
19. ROUND CONCRETE TOP.
20. PAINT SAFETY YELLOW.
21. 2" OD GALVANIZED STEEL SIGN POST.
22. "VAN ACCESSIBLE" SIGN WHERE INDICATED ON SITE PLAN.
23. 3/8" STEEL PLATE WITH CONTINUOUS WELD ALONG INTERSECTION OF PIPE POST AND PLATE.
24. CONCRETE FOUNDATION.
25. 7" DIAMETER x 3/8" THICK STEEL PLATE: BLACK POWDER COAT.
26. 2 3/8" STANDARD DUTY PIPE CENTER SUPPORT.
27. ADA APPROVED TRUNCATED DOME STRIP.
28. 2 3/8" OUTSIDE DIAMETER (OD) STEEL TUBING: BLACK POWDER COAT.

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO
STEPHEN A. DUNBAR
REGISTERED ARCHITECT
No. 4218
05 JULY 2023

PROJECT TITLE: COFFEE SHOP with DRIVE-THRU
200 TRAMWAY BLVD. NE
ALBUQUERQUE, NEW MEXICO 87123
JOB NO. CS-TRAMWAY
PROJECT MANAGER: DEVIN NGUYEN
DRAWN BY: DJM
DATE: 05 Jul 2023
SCALE: AS NOTED
SHEET TITLE: SITE DETAILS
A1.2

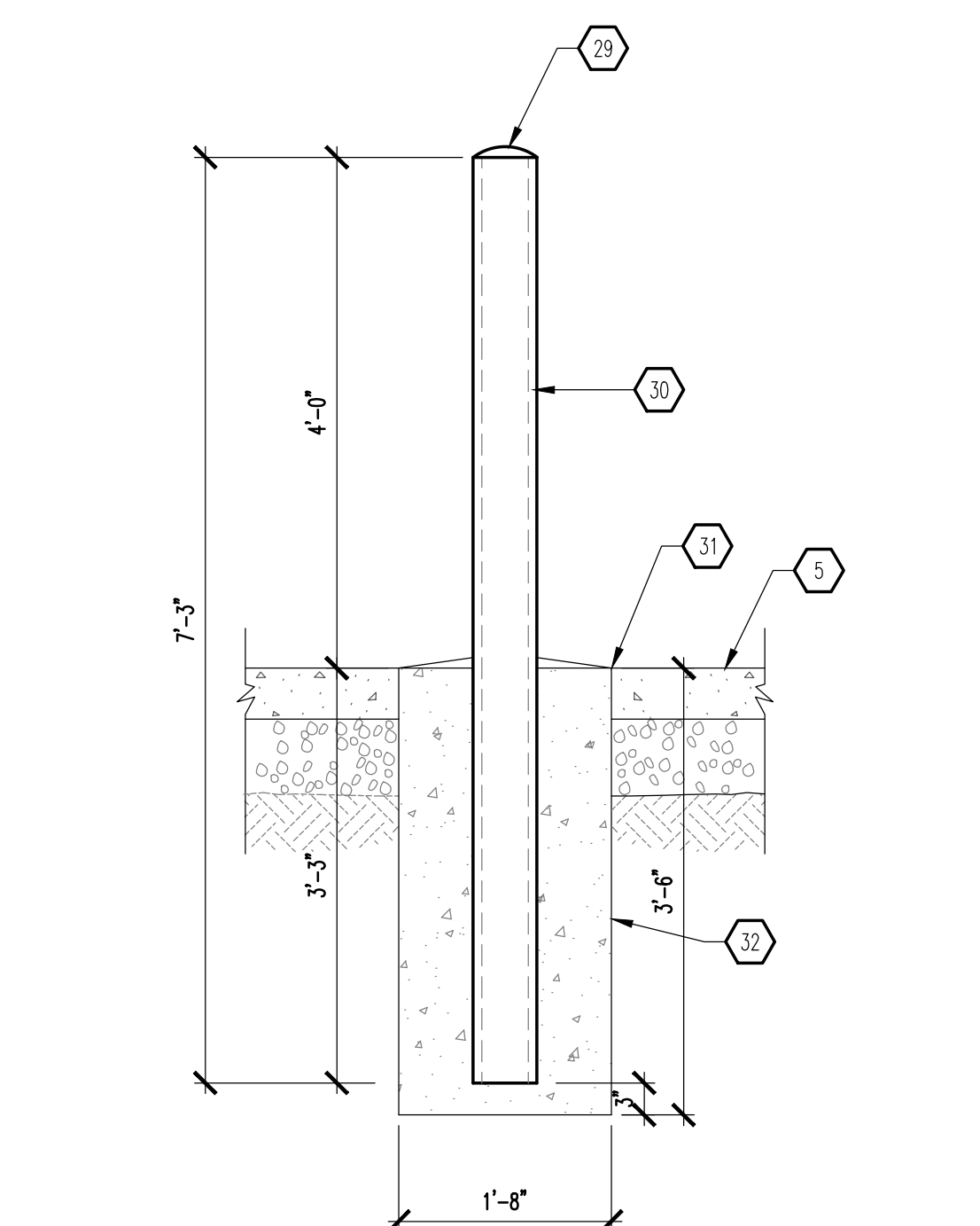
REV	DATE	BY	REVISION

GENERAL NOTES

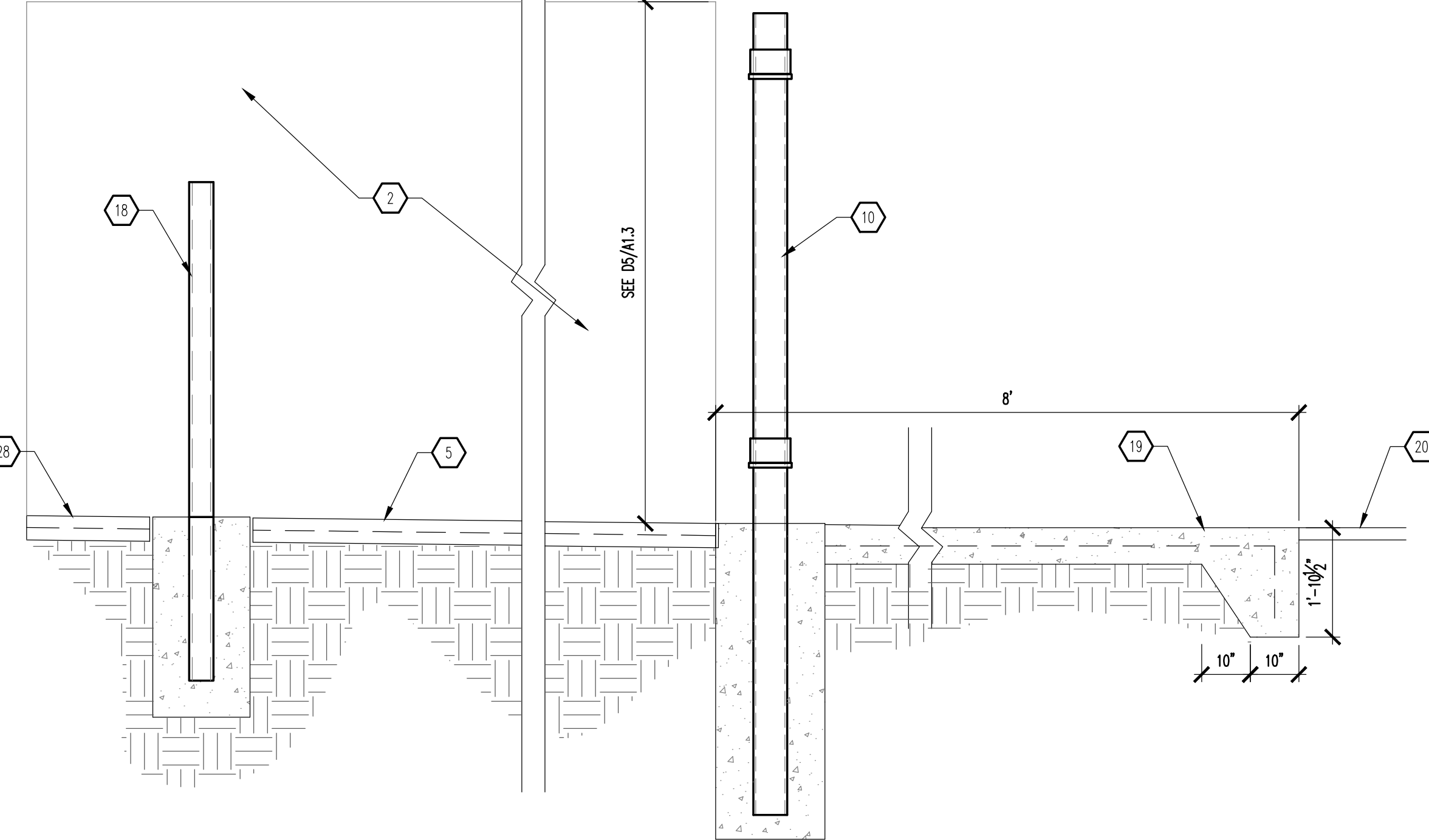
- A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- B. INDICATED DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.

KEYED NOTES

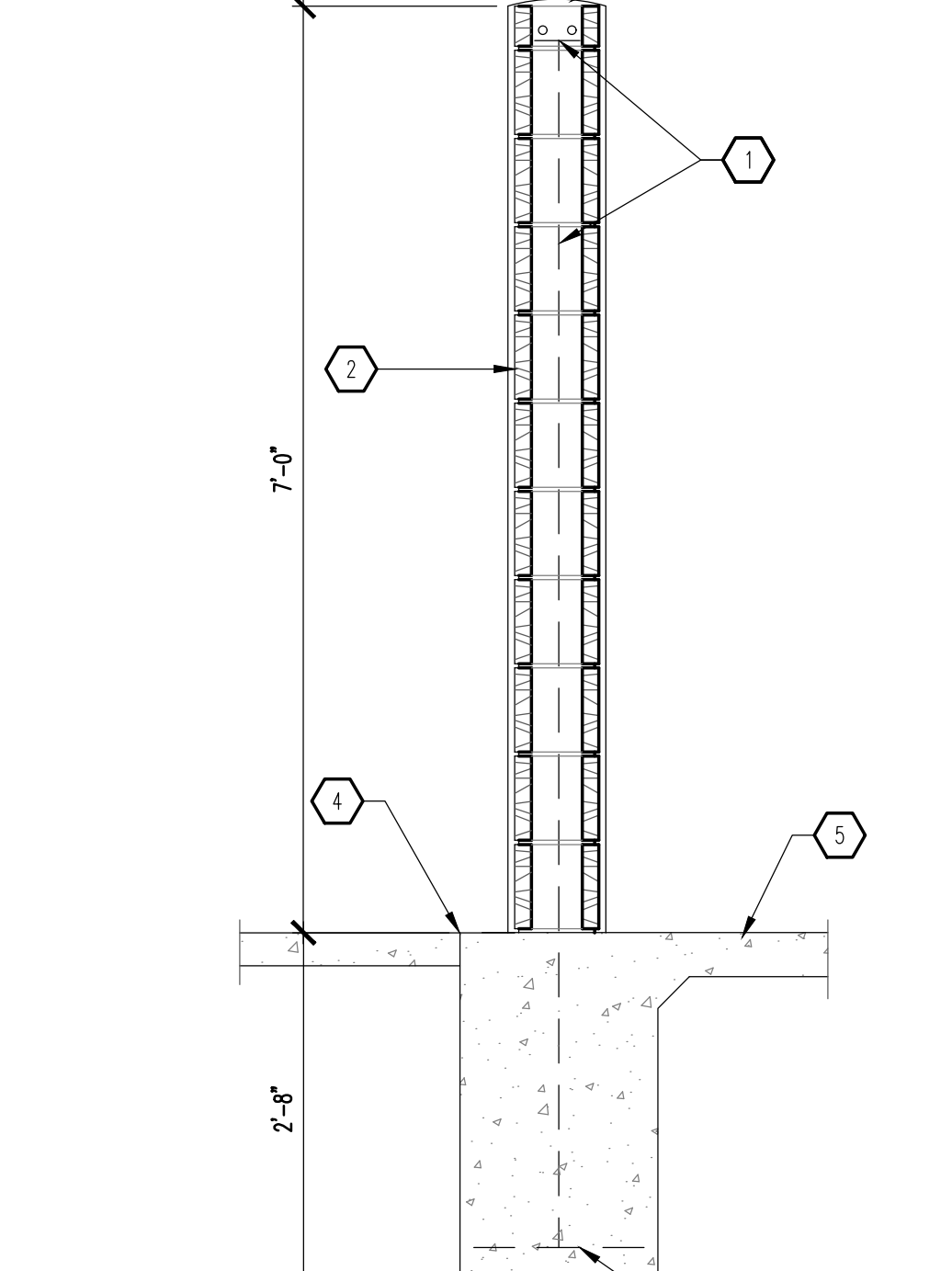
1. (2) #5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM, CONTINUOUS; #5 BRAS @ 32" OC VERTICAL GROUT REINFORCED CELLS, DURAWALL @ 16" OC HORIZONTAL.
2. 8" CMU WALL WITH 2-COAT SYNTHETIC STUCCO SYSTEM. COLOR TO MATCH BUILDING "STUCCO 1" COLOR; REFER TO EXTERIOR ELEVATIONS ON SHEET A201.
3. SLOPE STUCCO CAP.
4. 1/2" EXPANSION JOINT MATERIAL.
5. 6" SEALED CONCRETE SLAB AT 4,000 PSI, 3/4" AGGREGATE WITH 6x6 - 10x10 WWM.
6. (4) #4 BARS CONTINUOUS @ BOTTOM OF FOOTING #4 @ 16" OC ACROSS BOTTOM OF FOOTING.
7. 3 1/2"x3 1/2"x3/8" STEEL ANGLE-WELD CORNERS (TYPICAL OF 4 SIDES).
8. METAL DECKING, 18ga WITH SHEET METAL SCREWS @ 9" OC TOP, BOTTOM AND SIDES. PAINT FINISH, SHERWIN WILLIAMS #BW6143 BASKET BRIDGE.
9. 3 1/2" x 3 1/2" x 3/8" STEEL ANGLE-WELD FLUSH WITH METAL DECKING AT EACH END.
10. 5" OD HEAVY DUTY PIPE POST.
11. 3/4" DIAMETER CANE BOLT. PROVIDE CATCH TO HOLD IN POSITION WHEN REQUIRED TO ELIMINATE DRAG.
12. STEEL TUBING WELD TO ANGLE AT TOP TO FIT STEEL ROD.
13. 3/4" DIAMETER STEEL ROD TAPER END AND WELD 6" HANDLE.
14. 3/4" SQUARE STOCK WRAP AROUND POST AT EACH LOCATION.
15. 6" HEAVY DUTY PIPE SLEEVE 4" IN WIDTH.
16. 1/2" x 3 1/2" FLAT BAR STOCK OVER 6" SLEEVE.
17. 3 1/2" x 3 1/2" x 3/8" ANGLE OVER 1/2" FLAT BAR.
18. BOLLARD: SEE D1/A1.3.
19. 6" CONCRETE APRON AT 4,000 PSI 3/4" AGGREGATE WITH 6x6 - 10x10 WWM WITH TURNDOWN EDGE.
20. ASPHALT FINISH.
21. STRUCTURAL FOOTING: SEE 7/5201.
22. 3/8" THICK PLATE: SEE 7/5201.
23. TUBE STEEL (TS): SEE 7/5201.
24. METAL CHANNEL.
25. 2 1/2" METAL STUD FRAMING, 18ga.
26. 6" TAG SIDING: LONGBOARD PRODUCTS, 6" V-GROOVE TAG SIDING; DARK KNOTTY PINE; OR APPROVED EQUAL. CONTRACTOR TO MATCH APPROVED SOFFIT PANEL. SEE RCP ON SHEET A111.
27. BOTTOM TRIM WITH WEEP HOLE BY SIDING MANUFACTURER.
28. FINISHED GRADE.
29. ROUND CONCRETE TOP.
30. 6" STEEL PIPE FILLED WITH CONCRETE. PAINT FINISH - SAFETY YELLOW.
31. BITUMINOUS JOINT FILLER (AT CONCRETE PAVEMENT ONLY).
32. CONCRETE FOOTING.
33. DASHED LINE INDICATES SHRUB: SEE LANDSCAPING PLAN ON SHEET LS101.
34. ARTIFICIAL TURF: SMART TURF, CYPRESS POINT 70oz WITH MICROBAN TECHNOLOGY; OR APPROVED EQUAL.
35. 3 LBS INFILL.
36. 2" CUSHION PAD BY ARTIFICIAL TURF MANUFACTURER.
37. 4" COMPACTED SUBGRADE.
38. WEED BARRIER.
39. COMPACTED SOIL UNDERNEATH.
40. PAINT SOLID WHITE.
41. PROVIDE 1/2" PER FOOT SLOPE TO FLOOR DRAIN.
42. FLOOR DRAIN: SEE UTILITY PLAN ON SHEET C2.1.
43. LOCKABLE HOSE BIB: REFER TO SITE UTILITY PLAN ON SHEET C2.1 FOR ADDITIONAL INFORMATION.
44. 2" ASPHALT CONCRETE OVER 6" BASE COURSE PER GEOTECH REPORT RECOMMENDATION.
45. 3" ASPHALT CONCRETE OVER 6" BASE COURSE PER GEOTECH REPORT RECOMMENDATION.



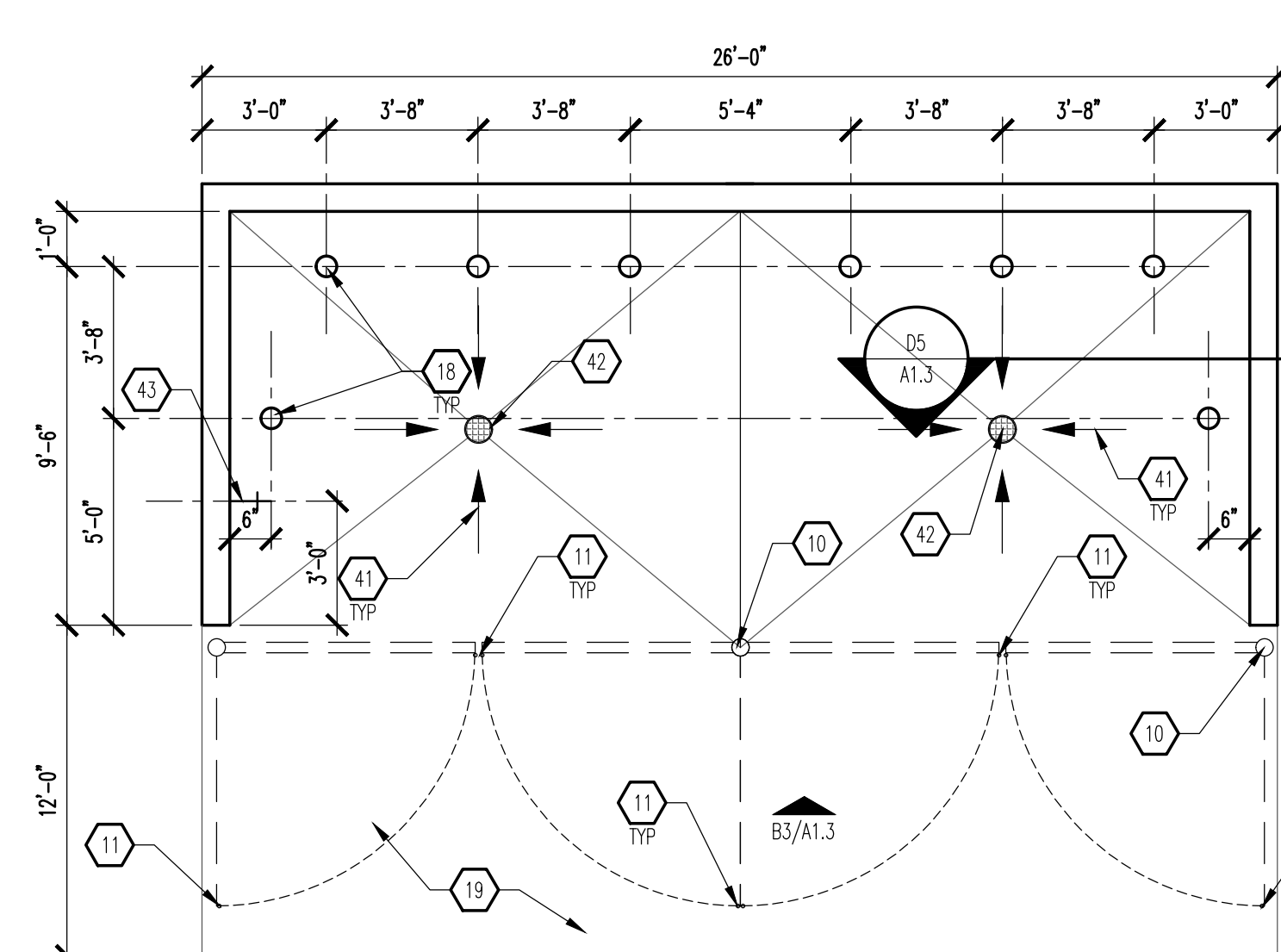
D1 BOLLARD - SECTION
SCALE: 3/4" = 1'-0"



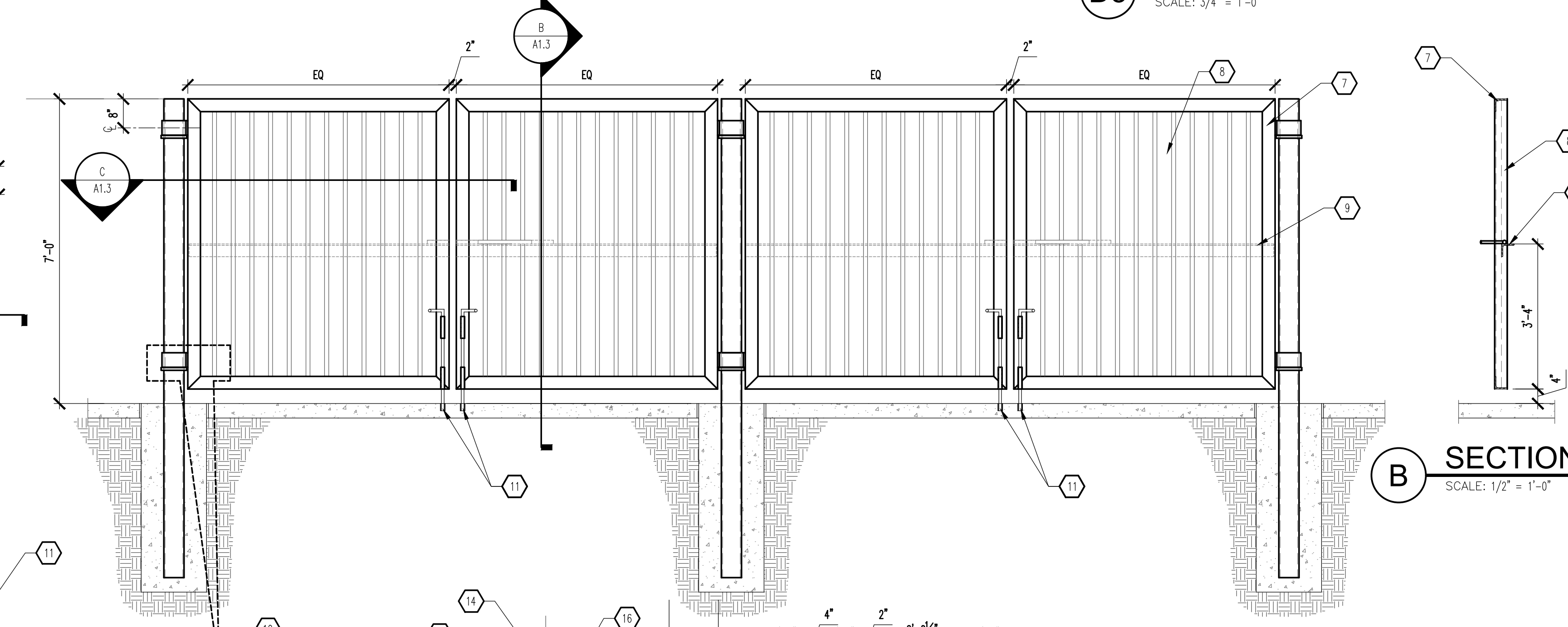
D2 REFUSE ENCLOSURE - SECTION
SCALE: 1/2" = 1'-0"



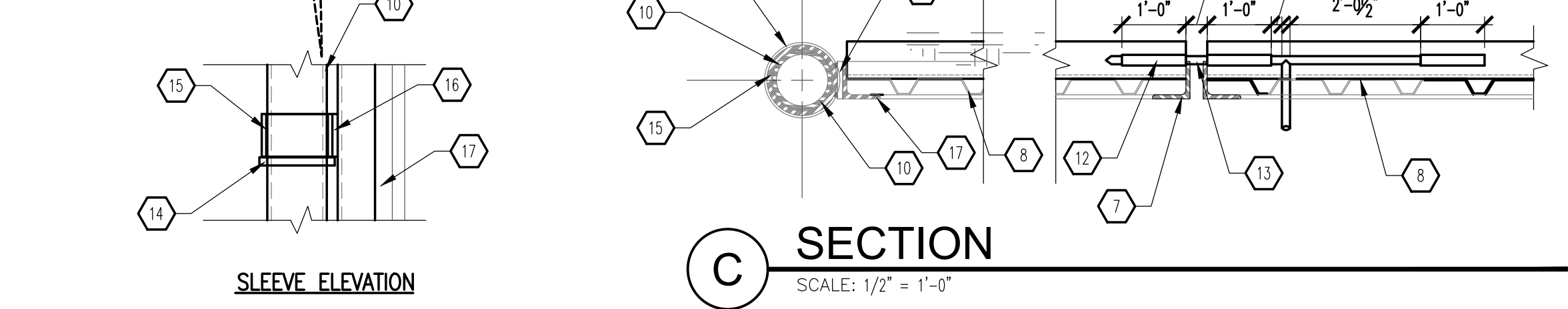
D5 WALL - SECTION
SCALE: 3/4" = 1'-0"



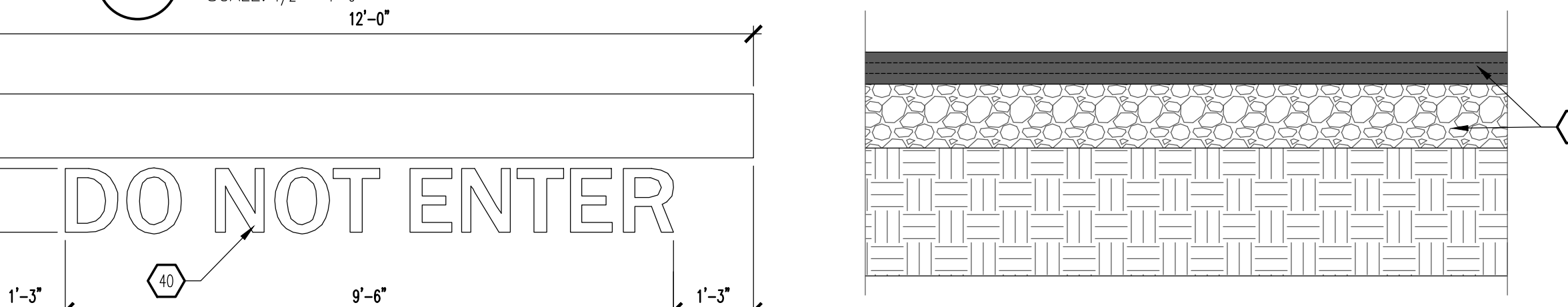
B2 REFUSE ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



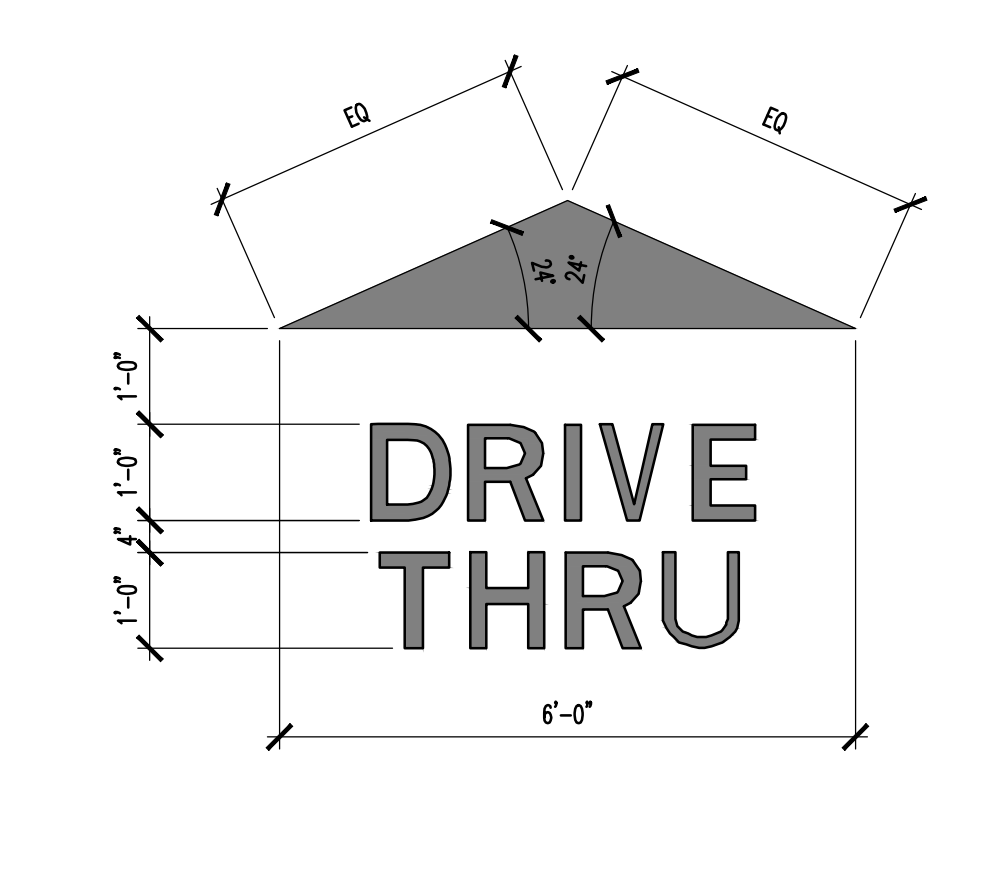
B SECTION
SCALE: 1/2" = 1'-0"



C SECTION
SCALE: 1/2" = 1'-0"

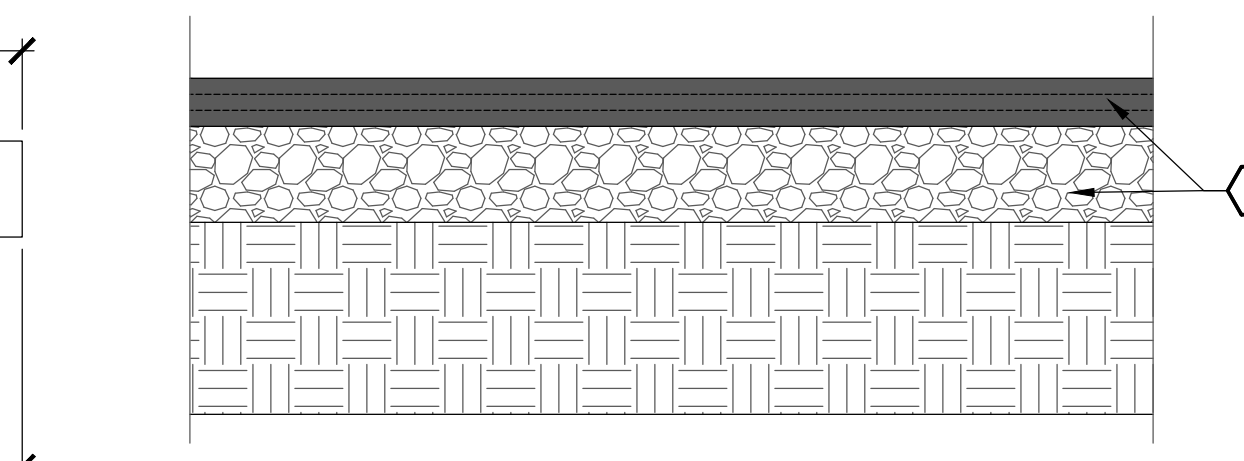


B3 REFUSE ENCLOSURE ELEVATION
SCALE: 1/2" = 1'-0"

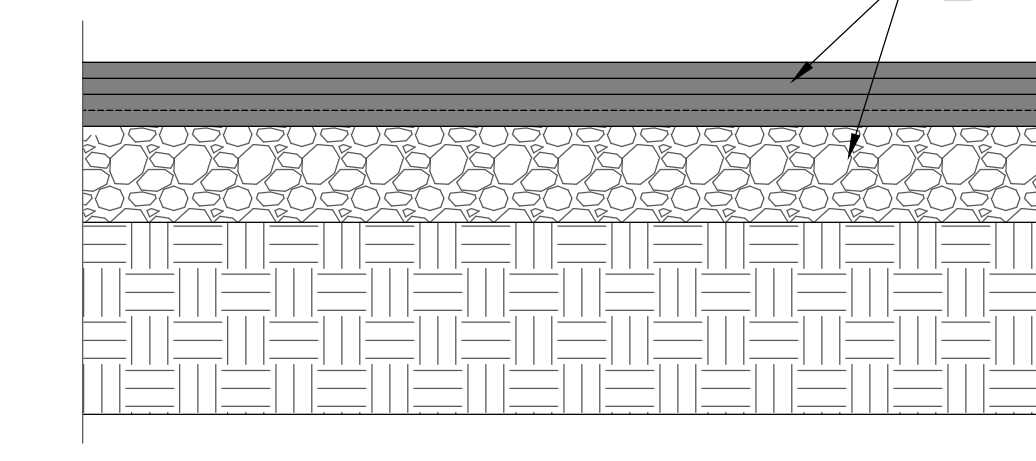


B1 PAVEMENT MARKING
SCALE: 1/2" = 1'-0"

A1 'DO NOT ENTER' PAVEMENT MARKING
SCALE: 1/2" = 1'-0"



A3 LIGHT DUTY ASPHALT
SCALE: 1" = 1'-0"



A5 HEAVY DUTY ASPHALT
SCALE: 1" = 1'-0"

MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO
STEPHEN A. DUNBAR
REGISTERED ARCHITECT
No. 4218
05 JULY 2023

PROJECT TITLE: COFFEE SHOP with DRIVE-THRU
200 TRAMWAY BLVD. NE
ALBUQUERQUE, NEW MEXICO 87123
JOB NO.: CS-TRAMWAY
PROJECT MANAGER: DEVIN NGUYEN
DRAWN BY: DJM
SHEET TITLE: SITE DETAILS

DATE: 05 Jul 2023
SCALE: AS NOTED
sheet: A1.3
of: 1

GENERAL NOTES

- "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- INDICATED DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
- INDICATED ELEVATIONS ARE BASED ON A FINISHED FLOOR OF 100'-0".

KEYED NOTES

- SIGNAGE SHALL BE PROVIDED AND INSTALLED BY TENANT UNDER A SEPARATE PERMIT; CONTRACTOR TO PROVIDE ELECTRICAL POWER UNDER THIS CONTRACT.
- SURFACE MOUNTED LIGHT FIXTURE: SEE ELECTRICAL PLAN ON SHEET E101
- DRIVE-THRU SHELF.
- COVERED CANOPY.
- SCHEDULED DOOR AND FRAME: SEE FLOOR PLAN ON SHEET A101.
- LEADER HEAD AND DOWNSPOUT.
- DASHED LINE INDICATES 3/8" FIRE RETARDANT PLYWOOD BACKING AT SIGNAGE LOCATION.
- ALUMINUM STUCCO REVEAL: SEE XXX/XXXX.
- BRICK VENEER CONTROL JOINT: SEE XXX/XXX.
- HEATED AIR CURTAIN: A4300.
- EXPANSION JOINT: SEE XX/XXXX.
- SCHEDULED STOREFRONT: SEE FLOOR PLAN ON SHEET A101 FOR ADDITIONAL INFORMATION.
- GALVANIZED METAL COPING.
- DASHED LINE INDICATES MASONRY SCREEN IN FRONT.
- SURFACE MOUNT DOWNWARD FOCUSED LIGHT FIXTURE.

SIGNAGE DATA TABLE

SIGNAGE LOCATION	REQUIREMENT	PROPOSED
WALL SIGN WEST ELEVATION 'DRIVE-THRU'	15% OF FACADE AREA (528 SF) INCLUSIVE OF DOORS AND WINDOWS: 79 SF ALLOWED	4 SF
WALL SIGN WEST ELEVATION: ROUND SIGNAGE	15% OF FACADE AREA (528 SF) INCLUSIVE OF DOORS AND WINDOWS: 79 SF ALLOWED	12.5 SF
WALL SIGN SOUTH ELEVATION: 'STARBUCKS'	15% OF FACADE AREA (1,454 SF) INCLUSIVE OF DOORS AND WINDOWS: 218 SF ALLOWED	21 SF
WALL SIGN SOUTH ELEVATION: ROUND SIGNAGE	15% OF FACADE AREA (1,454 SF) INCLUSIVE OF DOORS AND WINDOWS: 218 SF ALLOWED	4 SF

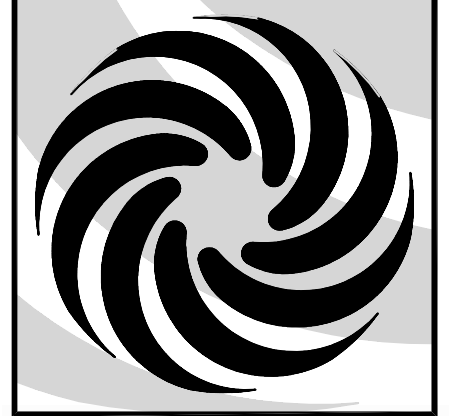
*Signs will be permitted separately and the colors and material will be determined at the time of sign permit.

EXTERIOR MATERIALS

STUCCO-1	2 COAT EXTERIOR STUCCO SYSTEM COLOR - SHERWIN WILLIAMS SW#7030 ANEW GRAY, SANDED TEXTURE
BRICK-1	BRICK VENEER MUTUAL MATERIALS - PEWTER MISSION, RUNNING BOND WITH SM100 GRAY COLOR MORTAR
MASONRY	MASONRY SCREEN MUTUAL MATERIALS - PEWTER MISSION, RUNNING BOND WITH SM100 GRAY COLOR MORTAR
PAINT-1	ALUMINUM STOREFRONT STRUCTURE COLOR: SHERWIN WILLIAMS SW#7033 BRAIN STORM BRONZE
GLAZ-1	ALUMINUM STOREFRONT SYSTEM WITH CLEAR LOW-E COLOR: DARK BRONZE
WOOD-1	WOOD CLADDING NICHHA FIBER CEMENT - VINTAGEWOOD- CEDAR
COPING-1	GALVANIZED METAL COPING COLOR: SHERWIN WILLIAMS SW#7030 ANEW GRAY
SCREEN	1-1/2" METAL B-DECK COLOR - SHERWIN WILLIAMS SW#7030 ANEW GRAY, SANDED TEXTURE
SOFFIT-1	WOOD CLADDING NICHHA FIBER CEMENT - VINTAGEWOOD- CEDAR

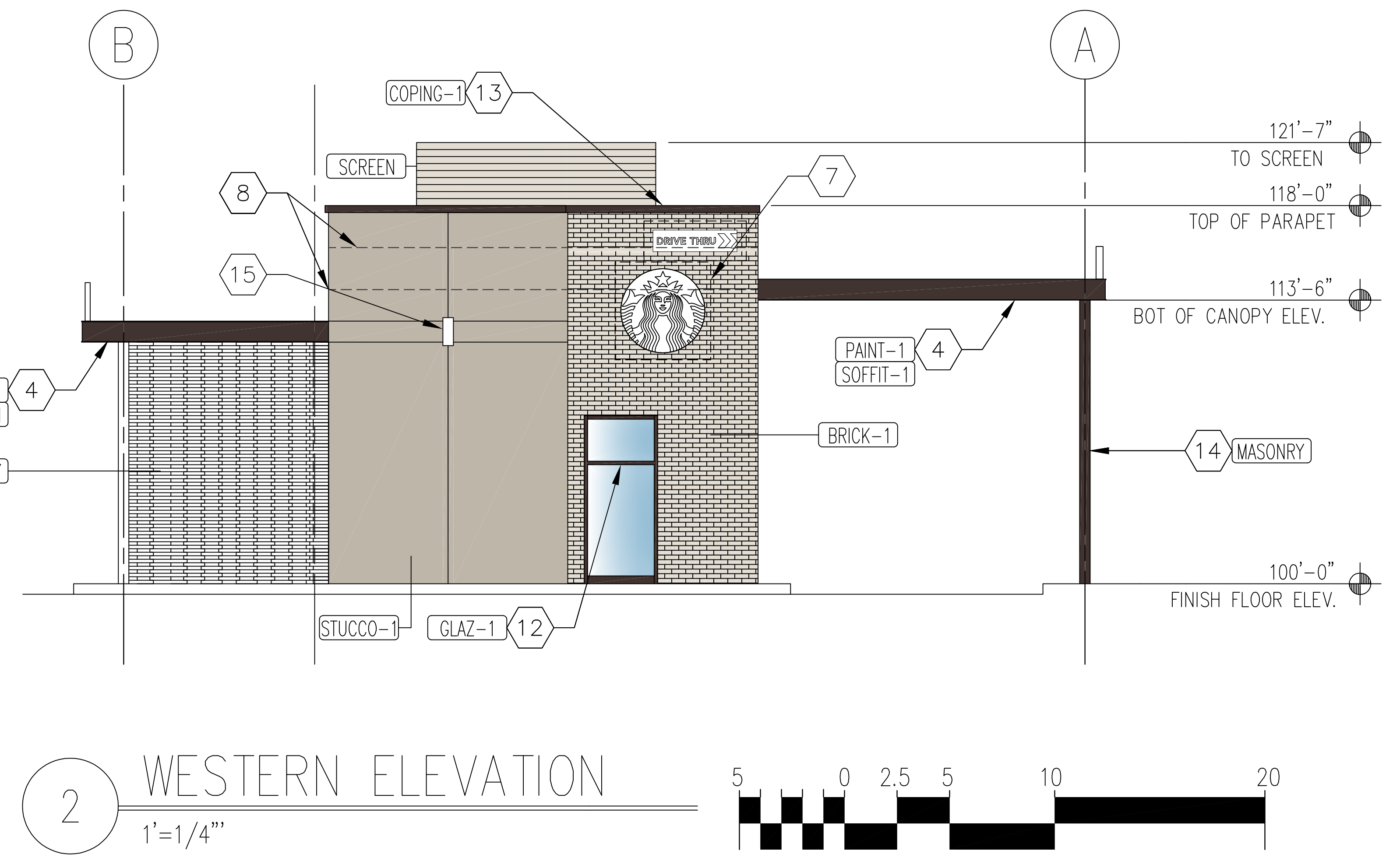
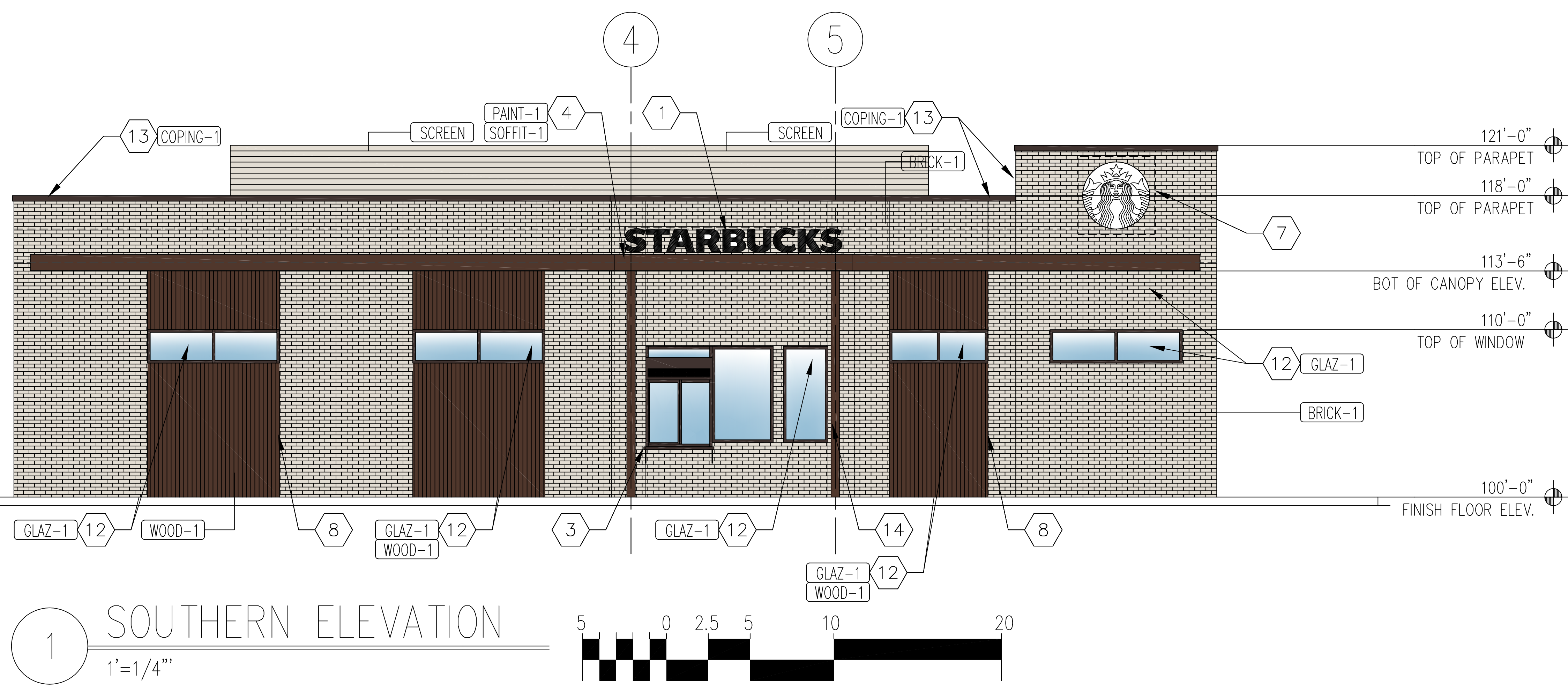
REV	DATE	BY	REVISION
6			
5			
4			
3			
2			
1			

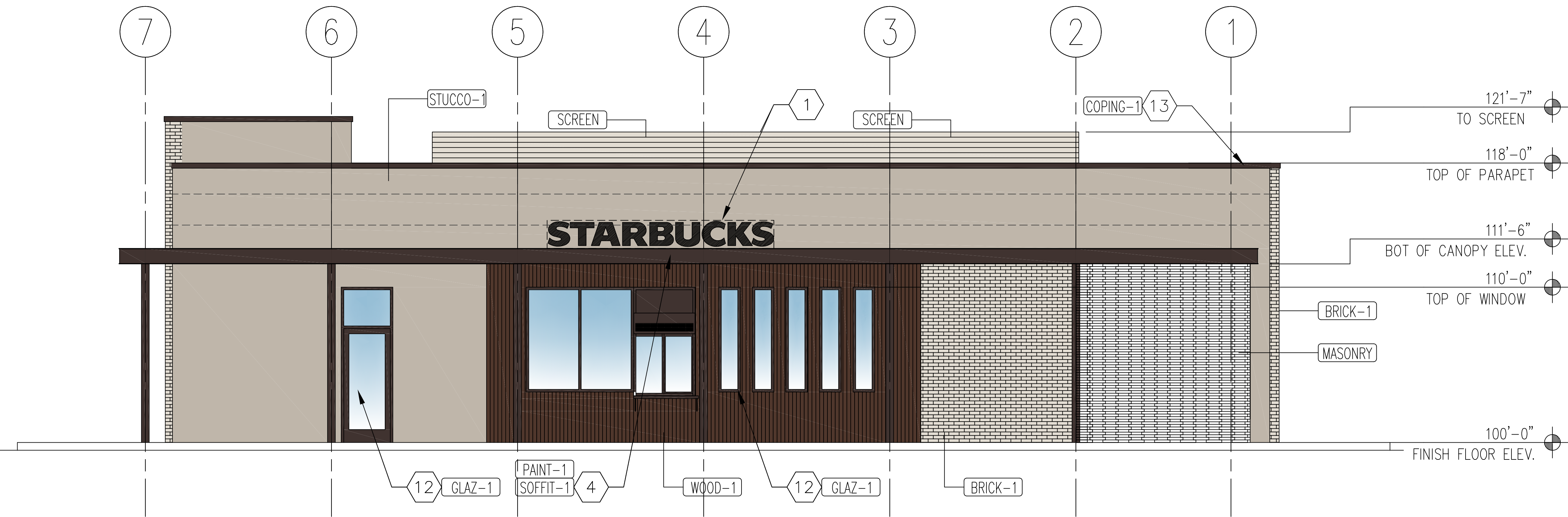
MODULUS ARCHITECTS
 100 SUN AVENUE N.E., Ste 600
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498



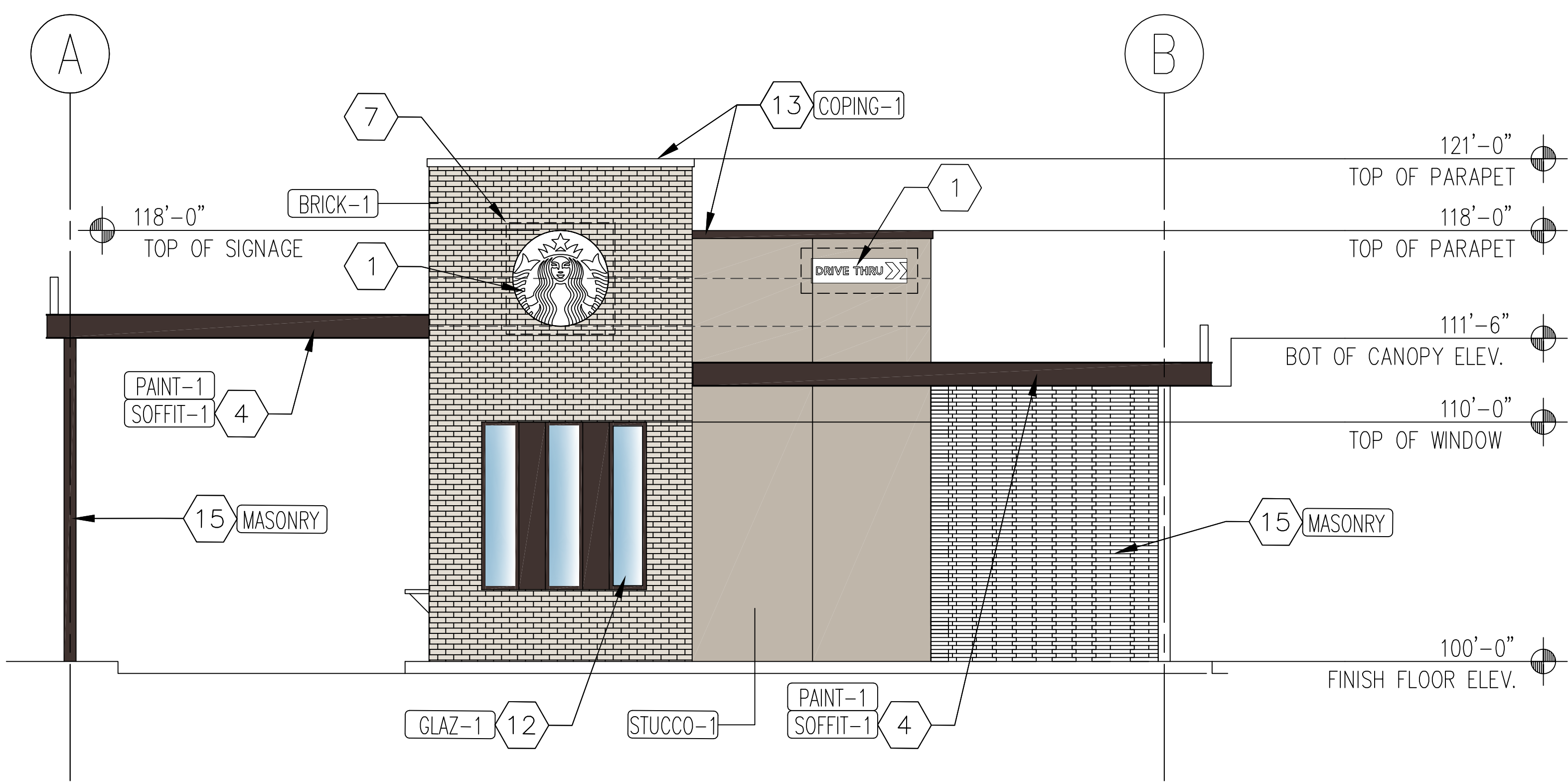
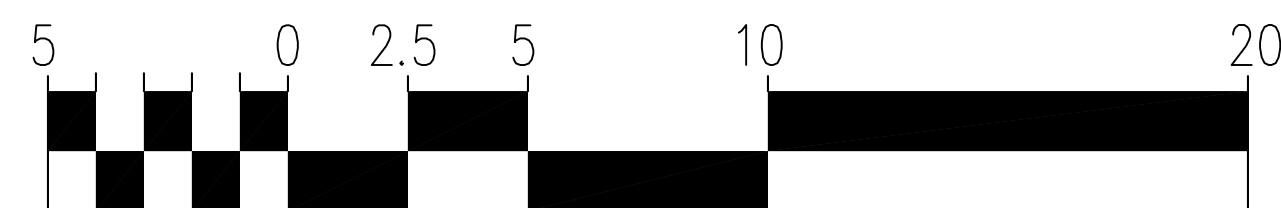
PROJECT TITLE: STARBUCKS - TRAMWAY
 200 TRAMWAY BLVD. NE ALBUQUERQUE, NEW MEXICO 87123
 PROJECT MANAGER: DEVIN NGUYEN
 SHEET TITLE: EXTERIOR ELEVATIONS
 DRAWN BY: DTN

DATE: 1/14/2023
 SCALE: AS NOTED
 SHEET: A201-A





3 NORTHERN ELEVATION
1' = 1/4"



4 EASTERN ELEVATION
1' = 1/4"



GENERAL NOTES

- "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- INDICATED DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
- INDICATED ELEVATIONS ARE BASED ON A FINISHED FLOOR OF 100'-0".

KEYED NOTES

- SIGNAGE SHALL BE PROVIDED AND INSTALLED BY TENANT UNDER A SEPARATE PERMIT; CONTRACTOR TO PROVIDE ELECTRICAL POWER UNDER THIS CONTRACT.
- SCHEDULED DOOR AND FRAME: SEE FLOOR PLAN ON SHEET A101.
- SURFACE MOUNTED LIGHT FIXTURE: SEE ELECTRICAL PLAN ON SHEET E101
- DRIVE-THRU SHELF.
- COVERED CANOPY.
- SCHEDULED HEAD AND DOWNSPOUT.
- DASHED LINE INDICATES 3/4" FIRE RETARDANT PLYWOOD BACKING AT SIGNAGE LOCATION.
- ALUMINUM STUCCO REVEAL: SEE XXX/XXXX.
- BRICK VENEER CONTROL JOINT: SEE XXX/XXXX.
- HEATED AIR CURTAIN: AA300.
- EXPANSION JOINT: SEE XX/XXXX.
- SCHEDULED STOREFRONT: SEE FLOOR PLAN ON SHEET A101 FOR ADDITIONAL INFORMATION.
- GALVANIZED METAL COPING.
- DASHED LINE INDICATES MASONRY SCREEN IN FRONT.
- MASONRY SCREEN WALL AREA.

SIGNAGE DATA TABLE

SIGNAGE LOCATION	REQUIREMENT	PROPOSED
WALL SIGN EAST ELEVATION 'DRIVE-THRU'	15% OF FACADE AREA (537 SF) INCLUSIVE OF DOORS AND WINDOWS: 81 SF ALLOWED	4 SF
WALL SIGN EAST ELEVATION: ROUND SIGNAGE	15% OF FACADE AREA (537 SF) INCLUSIVE OF DOORS AND WINDOWS: 81 SF ALLOWED	12.5 SF
WALL SIGN NORTH ELEVATION: 'STARBUCKS'	15% OF FACADE AREA (1,415 SF) INCLUSIVE OF DOORS AND WINDOWS: 212 SF ALLOWED	21 SF

*Signs will be permitted separately and the colors and material will be determined at the time of sign permit.

EXTERIOR MATERIALS

STUCCO-1	2 COAT EXTERIOR STUCCO SYSTEM COLOR - SHERWIN WILLIAMS SW#7030 ANEW GRAY, SANDED TEXTURE
BRICK-1	BRICK VENEER MATERIAL MATERIALS - PEWTER MSSION, RUNNING BOND WITH SM100 GRAY COLOR MORTAR
MASONRY	MASONRY SCREEN MATERIAL MATERIALS - PEWTER MSSION, RUNNING BOND WITH SM100 GRAY COLOR MORTAR
PAINT-1	STEEL CANOPY STRUCTURE COLOR: SHERWIN WILLIAMS SW#7033 BRAN STORM BRONZE
GLAZ-1	ALUMINUM STOREFRONT SYSTEM WITH CLEAR LOW-E COLOR: DARK BRONZE
WOOD-1	WOOD CLADDING NICHHA FIBER CEMENT - VINTAGEWOOD- CEDAR
COPING-1	GALVANIZED METAL COPING COLOR: SHERWIN WILLIAMS SW#7030 ANEW GRAY
SCREEN	1-1/2" METAL B-DECK COLOR - SHERWIN WILLIAMS SW#7030 ANEW GRAY, SANDED TEXTURE
SOFFIT-1	WOOD CLADDING NICHHA FIBER CEMENT - VINTAGEWOOD- CEDAR

REVISION

REV	DATE	BY
1		
2		
3		
4		
5		

MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO
STEPHEN A. DUNBAR
REGISTERED ARCHITECT
No. 4218
28 Jul 2023

PROJECT TITLE
STARBUCKS - TRAMWAY
200 TRAMWAY BLVD. NE
ALBUQUERQUE, NEW MEXICO 87123

JOB NO.
SB-TRAMWAY

PROJECT MANAGER
DEVIN NGUYEN

DRAWN BY:
DTN

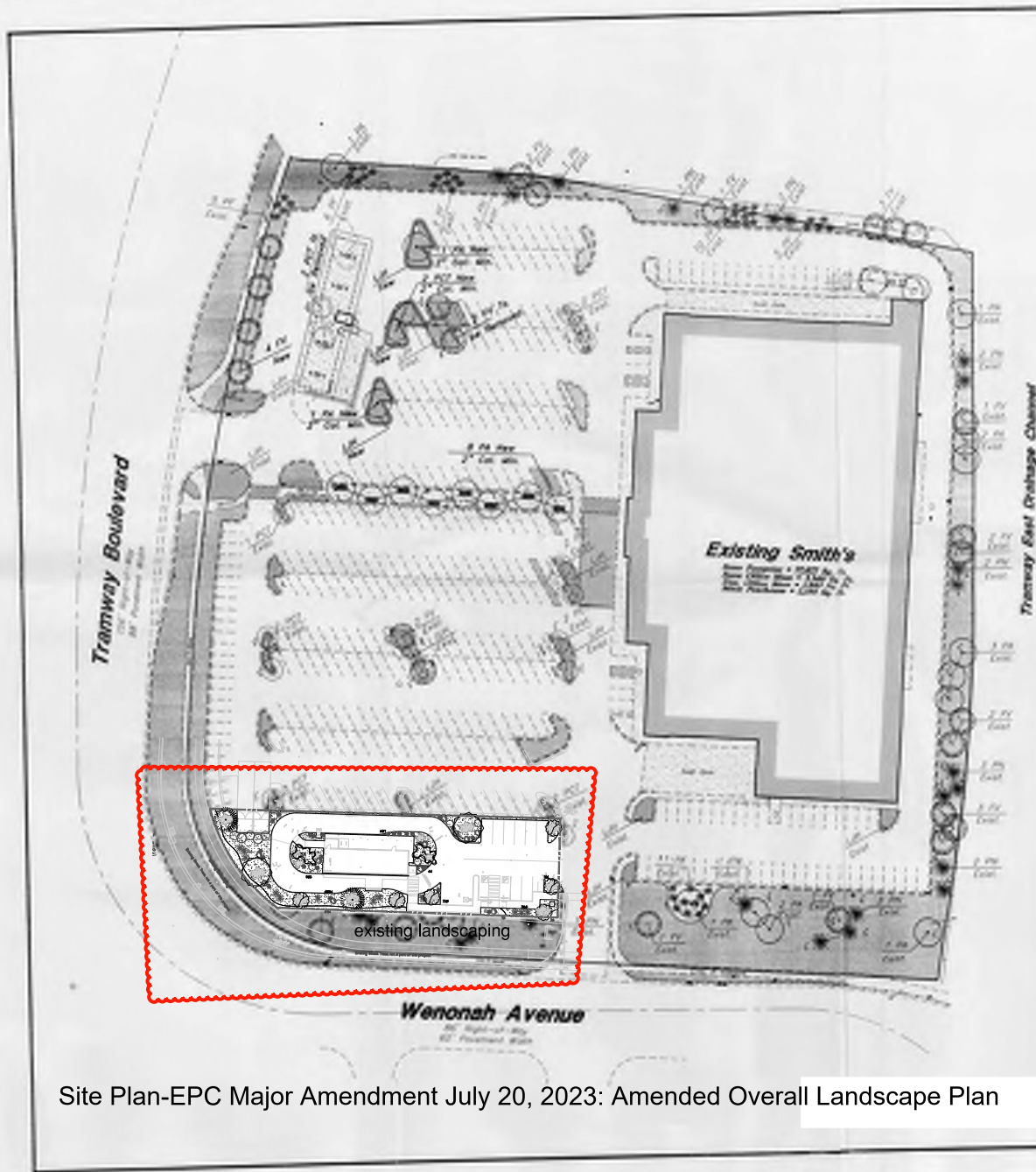
SHEET TITLE
EXTERIOR ELEVATIONS

DATE:
1/14/2023

SCALE:
AS NOTED

sheet:
A201-B

of:
01



Plant Material List

QTY	SIZE	COMMON/SCIENTIFIC	100 USE
2	4'-6"	Flora edulis	400 800 11
2	6'-8"	Flora edulis	3000 400 800 11
2	2' Cyl 8-8"	Desert Yucca Chilopsis linearis	620 320 11
6	2' Cyl	Oldenlandia stricta Circa reiformis	144 864 11
TOTAL TREES			374
TOTAL TREE COVERAGE			374

Site Data
 Total Site Area = 2.822 acres
 Landscape = 10000 sq ft
 Total Area = 26,200 sq ft

SPRINKLER NOTE

1. ALL AREAS TO RECEIVE LANDSCAPE ROCK WITH SEED BARRIER SHALL RECEIVE RESULTS OF ON-SITE APPROVED EQUAL PROTECTION OF EXISTING PLANTS AND TREE ROOTS BY THE CONTRACTOR PRIOR TO APPLICATION AND AS PER MANUFACTURER'S RECOMMENDATIONS, EXCEPT THE EXISTING TREES INFORMATION TO OWNER.

LANDSCAPE LEGEND

Trees

QTY	SIZE	COMMON/SCIENTIFIC	100 USE
2	4'-6"	Flora edulis	400 800 11
2	6'-8"	Flora edulis	3000 400 800 11
2	2' Cyl 8-8"	Desert Yucca Chilopsis linearis	620 320 11
6	2' Cyl	Oldenlandia stricta Circa reiformis	144 864 11
TOTAL TREES			374
TOTAL TREE COVERAGE			374

Shrubs & Groundcovers

QTY	SIZE	COMMON/SCIENTIFIC	100 USE
1	5 gal	Infra Vaseform Roundtop Indica	25 275 11
1	5 gal	Feather Reed Grass (L) Callitriche americana	4 104 11
1	5 gal	Red Yucca Reserpice parviflora	36 36 36 11
30	5 gal	Buffalo Juniper Juniperus communis 'Barroo'	144 1440 11
5	5 gal	Fine Bush Comptosia linearis	36 36 36 11
5	5 gal	Blue Rug Juniper Juniperus horizontalis	36 36 36 11
3	5 gal	Alpine Pine Pinus murrayana	48 141 11
3	5 gal	Chama Cypressus noveboracensis	48 141 11
TOTAL SHRUBS			124
TOTAL SHRUB COVERAGE			2869

Gravel

1/2" - 3/4" Gravel	1/2" - 3/4" Gravel to Match Existing	6000
3/4" - 1" Gravel	3/4" - 1" Gravel to Match Existing	6000
Total Gravel Area		

LANDSCAPE CALCULATIONS

TOTAL SITE AREA (sq ft)	2681
TOTAL BUILDING AREA (sq ft)	348
TOTAL OFF AREA (sq ft)	2071
LANDSCAPE REQUIREMENT	3026
TOTAL ON-SITE LANDSCAPE PROVIDED	6966
TOTAL GRASS/COVER PROVIDED	1711
TOTAL LIVE PLANTS PROVIDED	2069
TOTAL LIVE PLANTS REQUIRED	6269
TOTAL LIVE PLANTS PROVIDED	6963



LANDSCAPE NOTES
 Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain trees in a 30' flag, healthy, and structural condition.
 It is the intent of this plan to comply with Bernalillo County's requirements for landscape construction.
 Site management is the sole responsibility of the Property Owner.
 All landscaping shall be in conformance with City of Albuquerque, D.C.
 In general, water conservative, environmentally sound landscape principles shall be followed in design and installation.
 Landscaping shall utilize 75% live ground cover at maturity.
 Green Stormwater Infrastructure and Low Impact Development techniques will be implemented to direct surface flows to landscape areas to slow down run off and provide additional wet areas to landscape systems. Care will be taken to protect parking islands, and alternative routes may be used.

- PLANTING NOTES**
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PREVENT PLANTS FROM FALLING OR BEING BLOWN OVER AND TO STABILIZE OR REPAIR ALL PLANTS WHICH ARE DAMAGED DUE TO WIND, PLANTS BLOWN OVER BY HIGH WINDS SHALL NOT BE A CAUSE FOR ADDITIONAL EXPENSE TO THE OWNER BUT SHALL BE THE PRINCIPAL RESPONSIBILITY OF CONTRACTOR.
 - CONTRACTOR SHALL PROTECT ALL EXISTING TREES FROM LIQUID CHEMICALS, FERTILIZERS, AND PLANTS AND PARTIALLY DAMAGED EXISTING TREES OR OTHER VULNERABLE MATERIAL, INCLUDING PLANTS OR TREES THAT WOULD BE TOXIC OR HARMFUL TO EXISTING TREES AND PLANTS TO BE PLANTED.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF MATERIAL AND PLANT AND TREE QUANTITIES.
 - IN THE EVENT OF VARIATION BETWEEN THE PLANT QUANTITIES SHOWN ON THE PLANT LEGEND AND THE QUANTITIES SHOWN ON THE PLANS, THE PLANS SHALL CONTROL. THE PLANT QUANTITIES SHOWN ON THE PLANS SHALL CONTROL PLACE BY THE LANDSCAPE CONTRACTOR.
 - THE CONTRACTOR SHALL VERIFY BOTH THE CONTAINER SIZE AND CALIPER SIZE, AS WELL AS HEIGHT AND SPREAD SPECIFICATIONS SPECIFIED.
 - LOCATE TIES 12" OR GREATER THAN THE ROOT BALL DIAMETER OF THE BUSHES, 18" OR GREATER THAN THE ROOT BALL FOR TREES. SCAPY BOTTOM OF PLANTING PIT BEFORE PLACING PLANT. PLACEMENT OF PLANT SHALL BE PERPENDICULAR TO BUSHES.
 - CONTRACTOR WILL NOT PLANT MATERIAL, BUSHES OR PLANTS WHICH ARE IN SHORT THAT WILL REQUIRE MORE THAN ONE YEAR TO BE REPLACED. PLANTS WHICH ARE CHANGED ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER REPRESENTATIVE BEFORE ANY PLANTING IS DONE IN THE AREA.
 - NEEDS APPROVED USES AND HOME LAND TREES.
 - PLANT SUBSTITUTIONS WILL BE PERMITTED WITH WRITTEN APPROVAL OF OWNER REPRESENTATIVE. OWNER SUBSTITUTIONS WILL BE PERMITTED FOR BUSH SUBSTITUTIONS ONLY. CONTRACTOR SHALL PROVIDE ONE YEAR WARRANTY ON PLANT MATERIAL FROM DATE OF SUBSTANTIAL COMPLETION DEAD OR DAMAGED PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER UNLESS CAUSED BY FACTORS OUTSIDE THE CONTROL OF THE CONTRACTOR.
 - REMOVE ALL WIRE STRINGS, WIRE BARRIERS, BURLAP, CONTAINERS, ETC. FROM THE ROOTBALLS OF PLANTS BEFORE BACKFILLING THE PLANTING HOLES.
 - FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 - CONTRACTOR SHALL NOTIFY OWNER REPRESENTATIVE 48 HOURS IN ADVANCE OF THE SCHEDULED DATE TO COORDINATE PRODUCT INSPECTION SCHEDULE.
 - CONTRACTOR SHALL PROVIDE ONE YEAR WARRANTY ON PLANT MATERIAL FROM DATE OF SUBSTANTIAL COMPLETION DEAD OR DAMAGED PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER UNLESS CAUSED BY FACTORS OUTSIDE THE CONTROL OF THE CONTRACTOR.
 - ALL AREAS TO RECEIVE LANDSCAPE ROCK WITH SEED BARRIER SHALL RECEIVE RESULTS OF ON-SITE APPROVED EQUAL PROTECTION OF EXISTING PLANTS AND TREE ROOTS BY THE CONTRACTOR PRIOR TO APPLICATION AND AS PER MANUFACTURER'S RECOMMENDATIONS, EXCEPT THE EXISTING TREES INFORMATION TO OWNER.

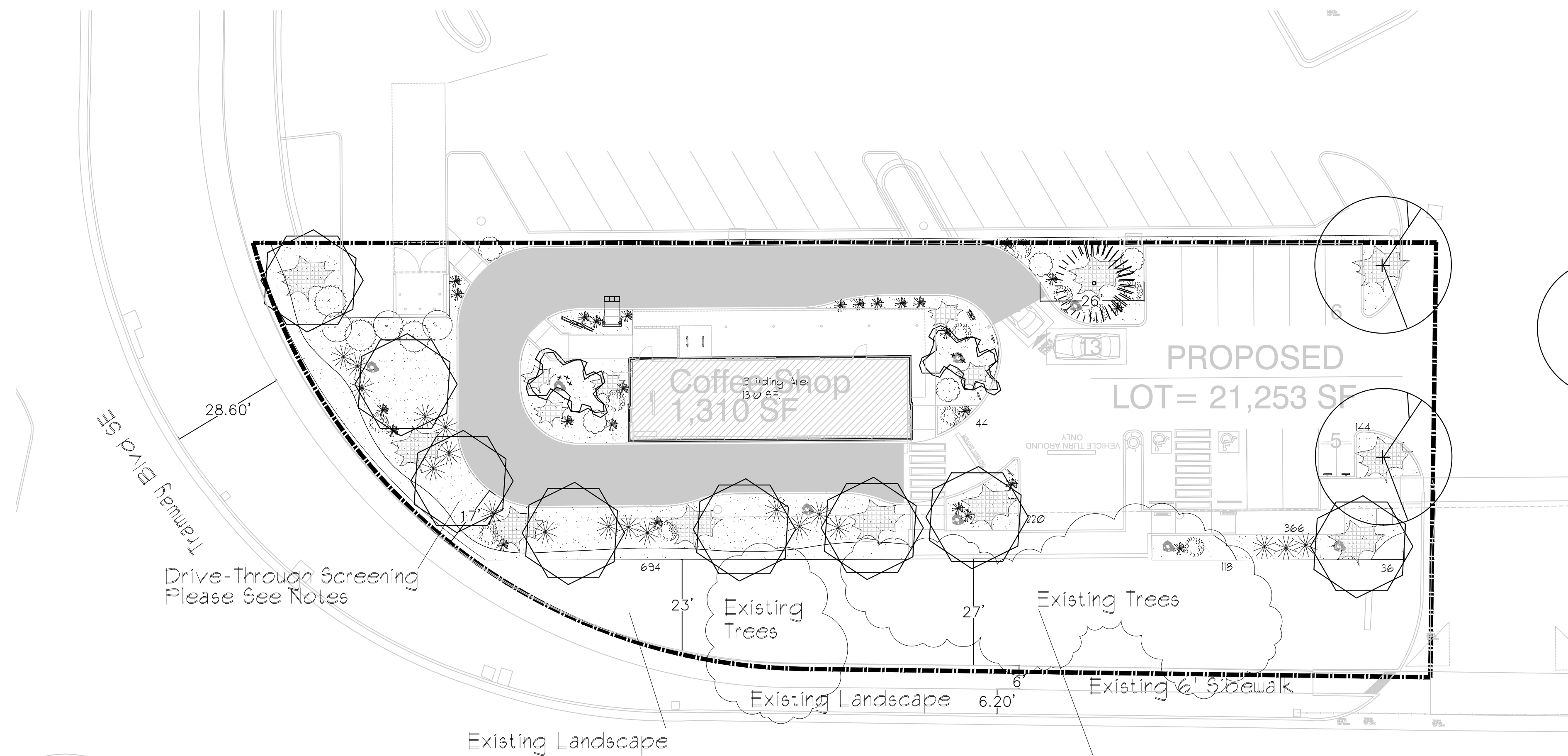
GREAT SKYLINE ENGINEERING - SOUTH
 GREAT SKYLINE ENGINEERING AND LAND ARCHITECTURE
 1111 North Alameda Blvd. Ste. 400
 Albuquerque, NM 87102
 505.243.8888
 www.greatskyline.com

Gas Station Landscape Plan
Smith's Food and Drug Stores
 1111 North Alameda Blvd.

Smith's
 FOOD & DRUG STORES
 #427
 Albuquerque, New Mexico

22 Aug 2023
C6

Site Plan-EPC Major Amendment July 20, 2023: Amended Overall Landscape Plan



Drive-Through Screening
Please See Notes

Street Trees Provided (6 existing + 8 provided) 14

Existing Trees
Total 4,412 SF.
Not Included in the Landscape Calculation

LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
Trees			
2	4 - 6'	Pinon <i>Pinus edulis</i>	30x20 314 628 M
1	6 - 8'	Pinon <i>Pinus edulis</i>	30x20 314 314 M
8	2" Cal. 6-8'	Desert Willow <i>Chilopsis linearis</i>	20x25 491 3928 M
2	2" Cal. 6-8'	Chinese Pistache <i>Fistocia chinensis</i>	40x35 96162 192324 M
TOTAL TREES		TOTAL TREE COVERAGE	6793.24

QTY	SIZE	COMMON/BOTANICAL	H2O USE
Shrubs & Groundcovers			
11	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	3x5 19.62 215.82 M
26	5 Gal	Feather Reed Grass <i>Calamagrostis arundinacea</i>	3.14 81.64 M
19	5 Gal	Red Yucca <i>Hesperaloe parviflora</i>	3x6 28.26 537 L
10	5 Gal	Buffalo Juniper <i>Juniperus sabina</i> "Buffalo"	1x12 113.04 1130.4 M
5	5 Gal	Fern Bush <i>Chamaebotaria millefolium</i>	5x6 28.26 141.3 L
5	5 Gal	Blue Rug Juniper <i>Juniperus horizontalis</i>	1x6 28.26 141.3 M
3	5 Gal	Apache Plume <i>Folugia paradoxa</i>	6x1 38.46 115.38 L
3	5 Gal	Chamisa <i>Chrysothamnus nauseosus</i>	5x1 38.46 115.38 L
TOTAL SHRUBS		TOTAL SHRUB COVERAGE	2478.22
8	2-3cf	Boulders Bury 1/3, Moss Rock or Equal	
5869		Landscape Gravel / Filter Fabric 3/4" Crusher Fine to Match Existing	
812		Landscape Gravel / Filter Fabric 2"-4" Gravel to Match Existing	
6681		Total Landscape Area	

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	21253
TOTAL BUILDING AREA (sf)	-1310
TOTAL LOT AREA (sf)	19943
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED	2991
TOTAL ON-SITE LANDSCAPE PROVIDED	6681
TOTAL GROUND COVER REQUIRED	1670
TOTAL GROUND COVER PROVIDED	2478.22
TOTAL LIVE PLANTS REQUIRED	5011
TOTAL LIVE PLANTS PROVIDED	92146

Organic Mulch, 25% Required

Note, Each Tree, min, 5' rad. 78.5sf ea.
13 Trees x 78.5 sf = 1020.5 sf
See Tree Detail, a 5' radius of wood mulch is require around each tree w/out Filter Fabric
Note, Each shrub, min, 4' rad. 12.56sf ea.
82 shrubs x 12.56 sf = 1030 sf
Total Mulch Provided 2050.5
Total Mulch Required 1670

NOTE: Wood mulch is only used as a requirement of the City of Albuquerque, IDO. Wood mulch will need to be refreshed often as it is washed and blown away and will result in a negative impact on the health of the plant material. Additionally, historically, wood mulch in commercial applications has clogged storm sewers creating damage to commercial properties, lawsuits, and damages assessed to landscape architects and contractors. Designer assumes no responsibility for flooding or erosion as the result of the use of Wood Mulch as required by the City of Albuquerque.

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.
It is the intent of this plan to comply with Bernalillo County's requirements for landscape construction.
Water management is the sole responsibility of the Property Owner.
All landscaping will be in conformance with Bernalillo County Zoning Code.
In general, water conservative, environmentally sound landscape principles will be followed in design and installation.
Landscaping shall achieve 75% live ground cover at maturity.
A minimum of 50% of the landscape area are low water use or precipitation supported plant material.
Green Stormwater Infrastructure and Low Impact Development techniques will be implemented to direct surface flows to landscape areas to slow down run off, and provide additional rain water to landscape areas. Curb cuts, sunken parking islands, and alternative mulches may be used.

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PREVENT PLANTS FROM FALLING OR BEING BLOWN OVER AND TO STRAIGHTEN OR REPLANT ALL PLANTS WHICH ARE DAMAGED DUE TO WIND. PLANTS BLOWN OVER BY HIGH WINDS SHALL NOT BE A CAUSE FOR ADDITIONAL EXPENSE TO THE OWNER BUT SHALL BE THE FINANCIAL RESPONSIBILITY OF CONTRACTOR.
- TOPSOIL MATERIAL FOR PLANTING SHALL BE FREE FROM HARD CLODS, STIFF CLAY, HARD PAN, STONES LARGER THAN 1" IN DIAMETER NOXIOUS WEEDS AND PLANTS 50% PARTIALLY DISINTEGRATED DEBRIS, INSECTS OR ANY OTHER UNDESIRABLE MATERIAL INCLUDING PLANTS OR SEEDS THAT WOULD BE TOXIC OR HARMFUL TO GROWTH.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF MATERIAL AND PLANT AND TREE QUANTITIES.
- IN THE EVENT OF VARIATION BETWEEN THE PLANT QUANTITIES SHOWN ON THE PLANT LEGEND AND THE QUANTITIES SHOWN ON THE PLANS, THE PLANS SHALL CONTROL. IMPROPER PLANT COUNT LISTED ON THE PLANT LEGEND MADE BY THE LANDSCAPE ARCHITECT SHALL BE NO CAUSE FOR ADDITIONAL COSTS TO THE OWNER.
- THE CONTRACTOR SHALL MEET BOTH THE CONTAINER SIZE AND CALIFER SIZE, AS WELL AS HEIGHT AND SPREAD SPECIFICATIONS SPECIFIED.
- EXCAVATE TWO TIMES GREATER THAN THE ROOT BALL DIAMETER OF THE SHRUB, TWO TIMES GREATER THAN THE ROOT BALL FOR TREES. SCARIFY BOTTOM OF PLANTING PIT BEFORE PLACING PLANT. PLACEMENT OF PLANT SHALL BE PERPENDICULAR TO GROUND.
- CONTRACTOR WILL NOT PLANT MATERIAL SHOWN ON PLANS WHEN IT IS EVIDENT THAT FIELD CONDITIONS HAVE CHANGED SINCE PLANS WERE DRAINED. ANY CHANGES ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE BEFORE ANY PLANTING IS DONE IN THE AREA.
- STEMS AND LEAVES TO BE REMOVED FROM LOWER PORTION OF TRUNKS OF TREES TO LEAVE A CLEAN APPEARANCE AND SO TREES APPEAR LESS LIKE SHRUBS AND MORE LIKE TREES.
- PLANT SUBSTITUTIONS WILL BE PERMITTED WITH WRITTEN APPROVAL OF OWNER'S REPRESENTATIVE. REQUEST SUBSTITUTIONS IN WRITING GIVING REASONS FOR SUCH SUBSTITUTIONS. DOCUMENT THAT REASONABLE EFFORT HAS BEEN MADE TO LOCATE SPECIES ORIGINALLY SPECIFIED. NO PLANT OR TREE SUBSTITUTIONS ALLOWED UNLESS PRIOR APPROVAL FROM OWNER'S REPRESENTATIVE.
- REMOVE ALL WIRE, STRING, WIRE BASKETS, BURLAP CONTAINERS, ETC. FROM THE ROOTBALL OF PLANTS BEFORE BACKFILLING THE PLANTING HOLE.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE 48 HOURS IN ADVANCE OF COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
- CONTRACTOR SHALL PROVIDE ONE YEAR WARRANTY ON PLANT MATERIAL FROM DATE OF SUBSTANTIAL COMPLETION OF DEAD OR DAMAGED PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER UNLESS CAUSED BY FACTORS OUTSIDE THE CONTROL OF THE CONTRACTOR.
- ALL AREAS TO RECEIVE LANDSCAPE ROCK WITH WEED BARRIER FABRIC SHALL RECEIVE PENDULIN OR OTHER APPROVED EQUAL PRE-EMERGENT OR COMBINATION OF PRE-EMERGENTS. APPLICATION SHALL TAKE PLACE AFTER SOIL PREPARATION AND PRIOR TO INSTALLATION OF WEED BARRIER FABRIC AND SHALL BE APPLIED BY LICENSED APPLICATOR PROVIDED BY CONTRACTOR.
- PRE-EMERGENT TO PROVIDE PREVENTION OF ALL INVASIVE WEEDS AND GRASSES, INCLUDING BERMUDA GRASS, BUT SHALL NOT HARM EXISTING DESIRABLE PLANTS OR NEW PLANTS. PROTECTION OF EXISTING PLANTS AND TREE ROOTS SYSTEMS SHALL BE PROVIDED PRIOR TO APPLICATION AND AS PER MANUFACTURER RECOMMENDATIONS. SUBMIT PRE-EMERGENT MSDS INFORMATION TO OWNER.

Street Frontage Landscaping:

Per Section 5-6(D) (1) (b)
Only trees selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on a landscape plan can count toward the requirements of this Subsection 14.16.5-6(D) (Street Frontage Landscaping), except that existing trees that are 8 inch caliper or larger may count toward street trees requirements, regardless of whether they appear on one of those lists.

Per Section 5-6(D) (1) (c)
Planting areas necessary for trees in the street frontage shall meet the minimum size requirements in Table 5-6-3 unless specified otherwise in this IDO. Tree grates may be used in constrained locations to accommodate pedestrian circulation, to allow the required planting areas to have a walkable surface.

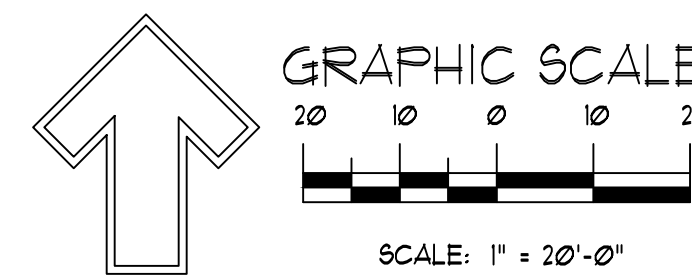
Tree Height at Maturity (ft.)	Minimum Planting Area (ft.)
0-20	4x4
20-40	5x5
40	6x6

5-6(F)(2) Parking Lot Interior
5-6(F)(2)(c) Tree Requirements
1. One (1) tree is required per 10 parking spaces.
2. No parking space may be more than 100 feet in any direction from a tree trunk.
3. At least 75 percent of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet.

5-5(1)(2) Drive-through or Drive-up Facility Design
5-5(1)(2)(a) Drive-through lanes adjacent to public rights-of-way shall be screened by a landscape buffer area at least 6 feet wide containing a vegetative screen or wall constructed of a material similar in texture, appearance, and color to the street-facing facade of the primary building (but excluding exposed concrete masonry unit (CMU) block) at least 3 but not more than 4 feet tall. The landscape buffer area shall be provided on the public street side.

Street Tree Notes:
Trees are GENERALLY required along street frontages every 25 feet on center unless otherwise specified in Part 6-2-2 of ROA 1994 (Street Trees)

Section 6-6-2-5 Street Trees
(A)
1. Size of the trees at maturity should be in proportion to the planting space provided for them. Smaller species of trees will require closer spacing, and larger trees will require greater spacing. Spacing shall be approved as part of the plan approval process.
2. On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced



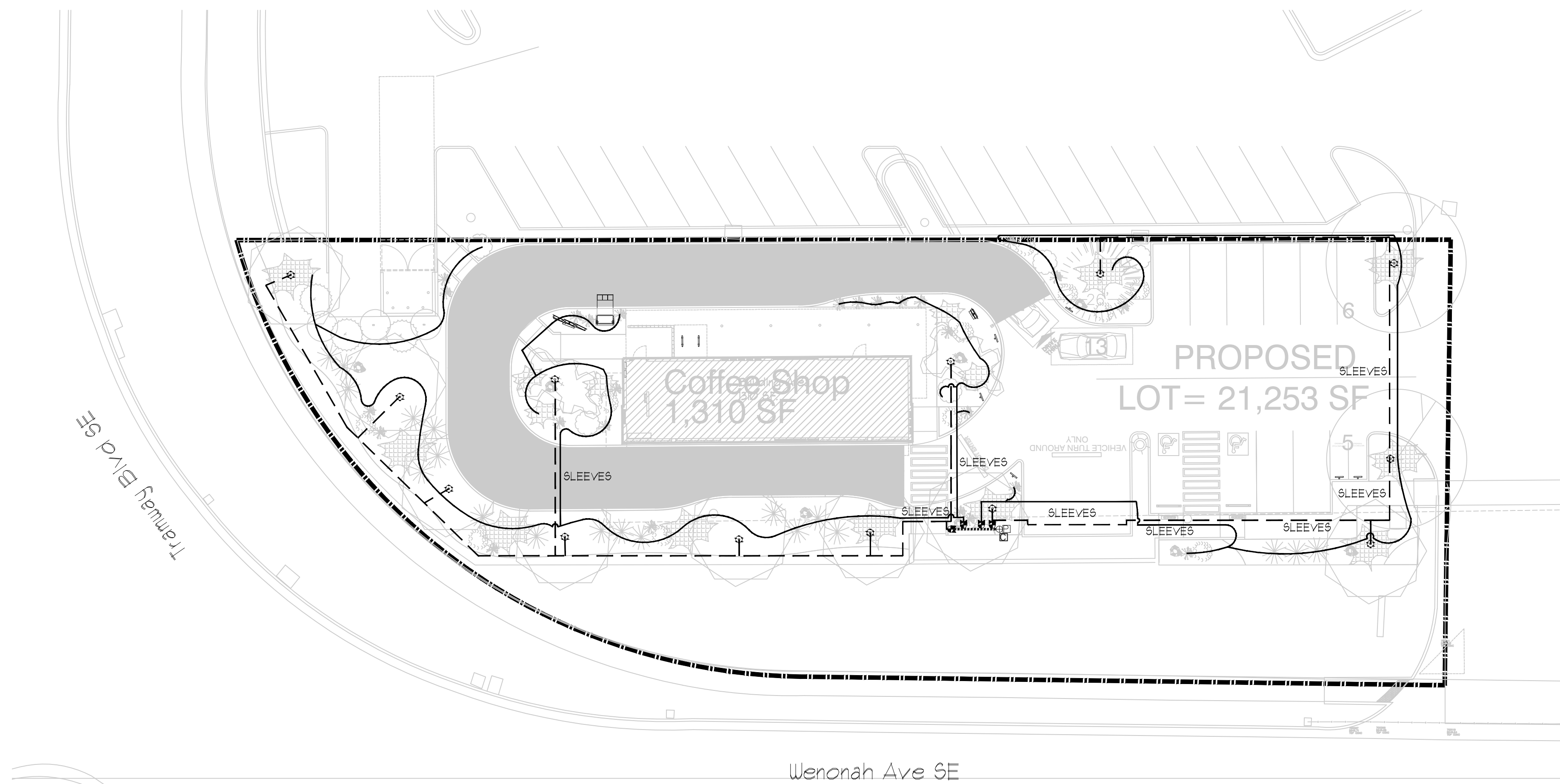
MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

Landscape Architect
12/14/2023
DANNY D. MITCHELL
REGISTERED
LANDSCAPE ARCHITECT

PROJECT TITLE: STARBUCKS - TRAMWAY
200 TRAMWAY BLVD. NE ALBUQUERQUE, NEW MEXICO 87103
JOB NO.: SF-TRAMWAY
PROJECT MANAGER: DEVIN NGUYEN
DRAWN BY: DTN
SHEET TITLE: LANDSCAPE PLAN

DATE: 24 May 2023
SCALE: AS NOTED
sheet: LS-101
of.

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			



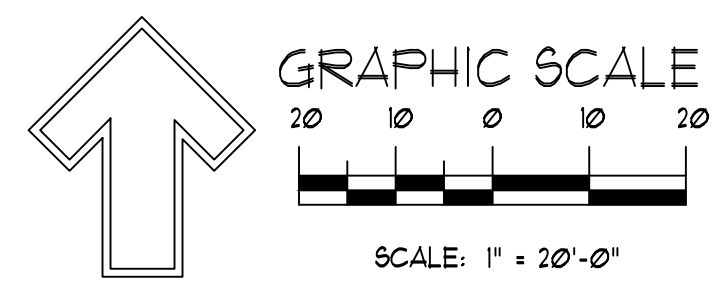
IRRIGATION LEGEND

COMPONENT	MANUFACTURER	SIZE / NOTES
□ POINT OF CONNECTION	NA	1" Install Shut off valve.
□ IRRIGATION CONTROLLER	HUNTER	Smart Controller
□ BACKFLOW PREVENTION DEVICE, RPA	FEBCO (OR EQUAL)	1" / Freeze Protection Required
⊕ MASTER VALVE ASSEMBLY	HUNTER ICV	1"
----- MAINLINE	50# PVC	1"
⊕ ELECTRIC ZONE VALVE	HUNTER ICV	1" Typ.
----- SLEEVES	Class 200 PVC	2 SIZES LARGER THAN PIPE TO BE SLEEVED.
----- Irrigation Lateral for tree rings	Class 200 PVC	1"
----- Drip Line, Shrub Drip Emitter Line	Polyline	3/4"
⊕ Drip Emitter, TREE IRRIGATION	RAINBIRD	SEE DETAIL

Size Equipment as Required for Flow Rate

IRRIGATION NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
 - CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.
 - THE IRRIGATION CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
 - ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
 - THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
 - IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
 - IRRIGATION LATERAL LINES, MAIN LINES AND EQUIPMENT MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN. ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
 - ALL IRRIGATION SLEEVING TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVING DETAIL.
 - SUPPLY LINE AND WATER METER TO BE PROVIDED BY OWNER. BACKFLOW PREVENTOR TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN DOWNSTREAM OF THE IRRIGATION WATER METER.
- IRRIGATION NOTES:**
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owner's responsibility to ensure that fugitive water does not leave the site due to overwatering.
- Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, plumed in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.
- Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.
- Location of controller to be field determined and power source for controller to be provided by others.
- Irrigation maintenance shall be the responsibility of the Property Owner.
- Water and Power source shall be the responsibility of the Developer/Builder.



Mitchell Associates, inc
Landscape Architecture
danny@mitchellassociatesinc.com 505.639.9583

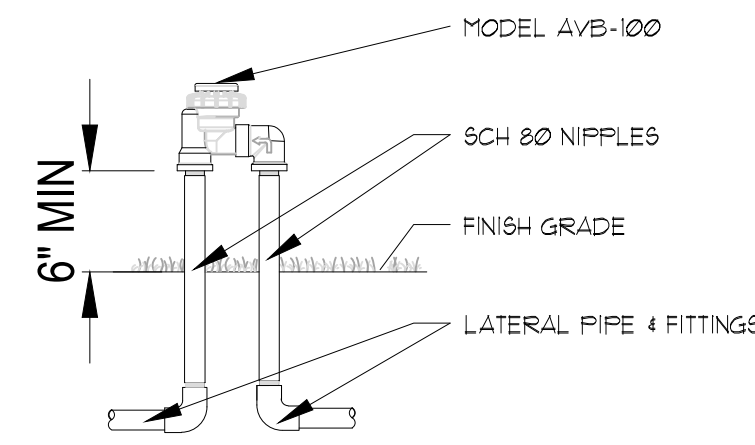
REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

Landscape Architect
12/14/2023
STATE OF NEW MEXICO
DANNY D. MITCHELL
2889
REGISTERED
LANDSCAPE ARCHITECT

PROJECT TITLE: STARBUCKS - TRAMWAY
200 TRAMWAY BLVD. NE
ALBUQUERQUE, NEW MEXICO 87123
PROJECT MANAGER: DEVIN NGUYEN
JOB NO.: SB-TRAMWAY
DRAWN BY: DTN
SHEET TITLE: IRRIGATION PLAN

DATE: 24 May 2023
SCALE: AS NOTED
sheet: LS-102
of: 1

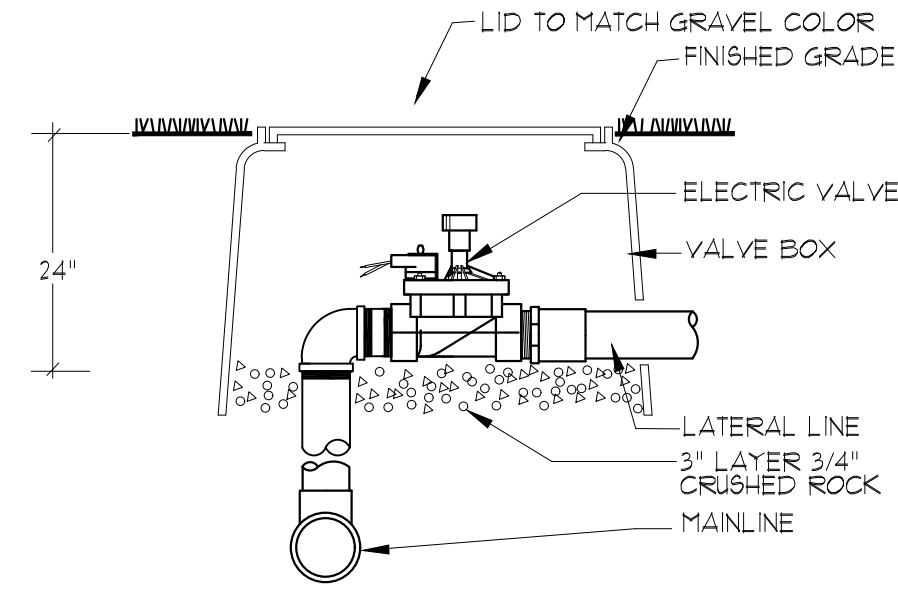


NOTE:
ATMOSPHERIC VACUUM BREAKERS SHOULD BE INSTALLED 6" - 12" ABOVE THE HIGHEST SPRINKLER HEAD WITHIN THE ZONE OR ACCORDING TO LOCAL CODE.

- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWINGS.
3. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADetails.com/info REFERENCE NUMBER 901-2025.

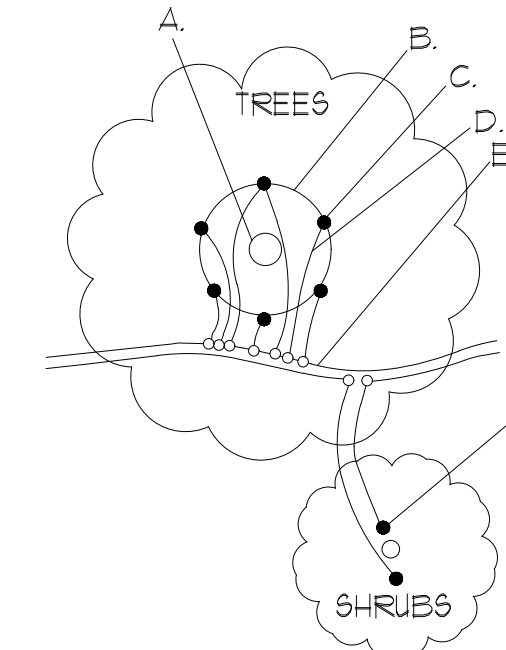
VALVES: AVB VALVES

AVB W/ SCH 80 NIPPLE RISERS N.T.S.



ELECTRIC VALVE ASSEMBLY

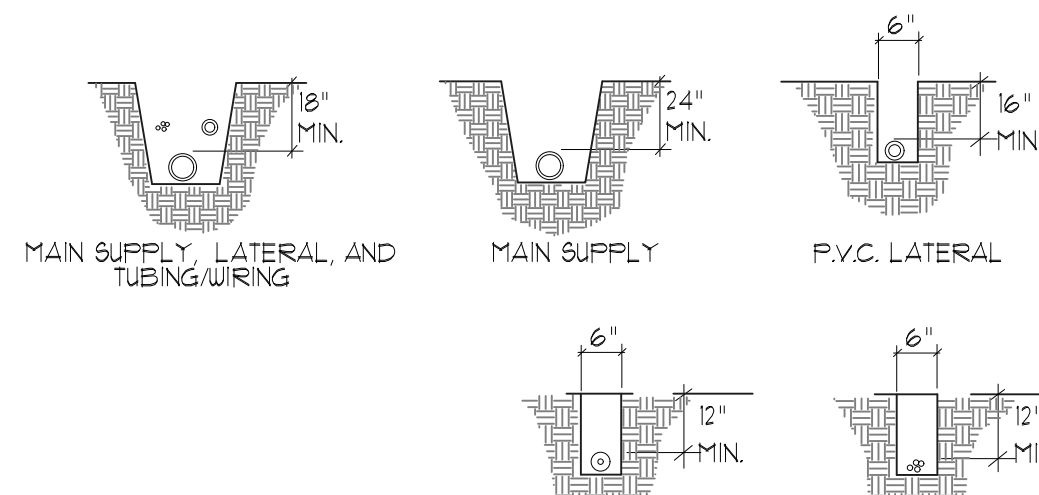
Install Y filter and Pressure Regulator for all drip valves. N.T.S.



- A. TREE TRUNK/ROOT CROWN
B. 24" CIRCLE FROM TRUNK
C. EMITTERS
D. 1/8" DISTRIBUTION LINE
E. PE DRIPLINE
F. EMITTER PLACED WITHIN 6" OF PLANT STEM
NOTE: PLACE EMITTER ABOVE PLANT ON SLOPE

EMITTER PLACEMENT DETAIL

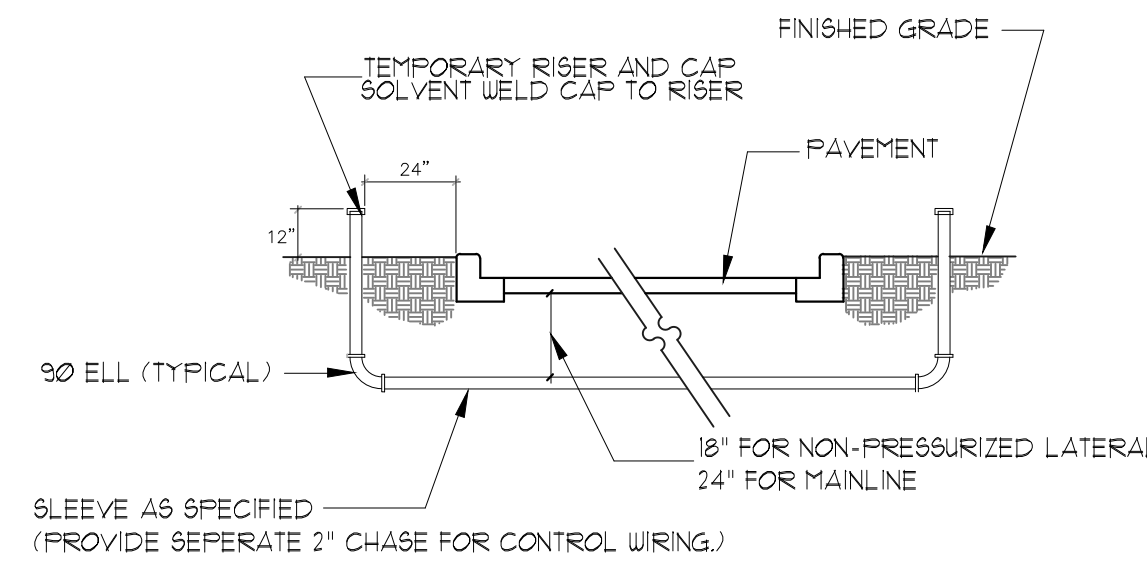
N.T.S.



- DETAIL NOTES:
1. ALL P.V.C. PIPING SHALL BE BUNKED IN TRENCHES.
2. ALL WIRING TO BE INSTALLED PER LOCAL CODES.
3. ALL WIRING TO BE BUNDLED AND TAPED AT 10' INTERVALS.
4. ALL MAIN SUPPLY LINES TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
5. PROVIDE PIPE AND WIRE SLEEVING UNDER ALL PAVED SURFACES.
6. WIRE SHALL BE WITHIN SEPARATE 2" ELECTRICAL CHASE.

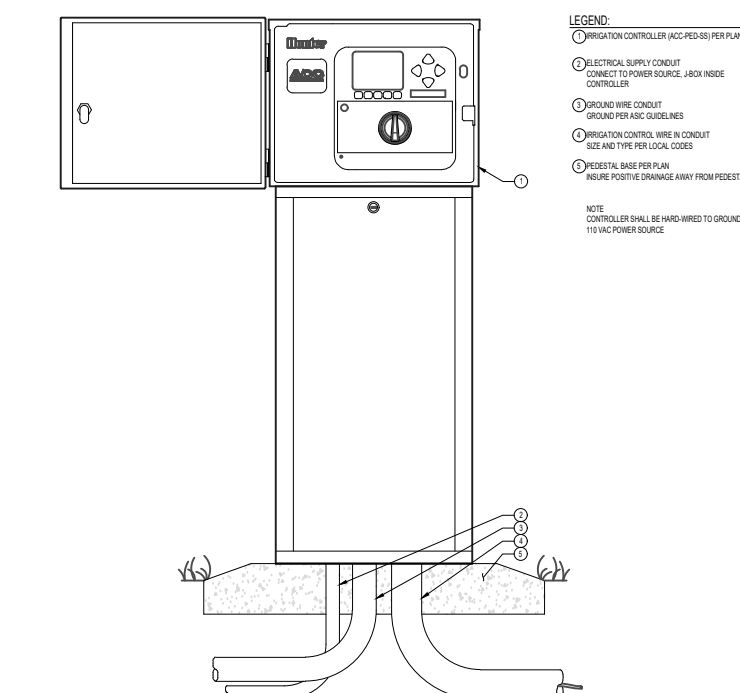
TRENCHING DETAIL

N.T.S.

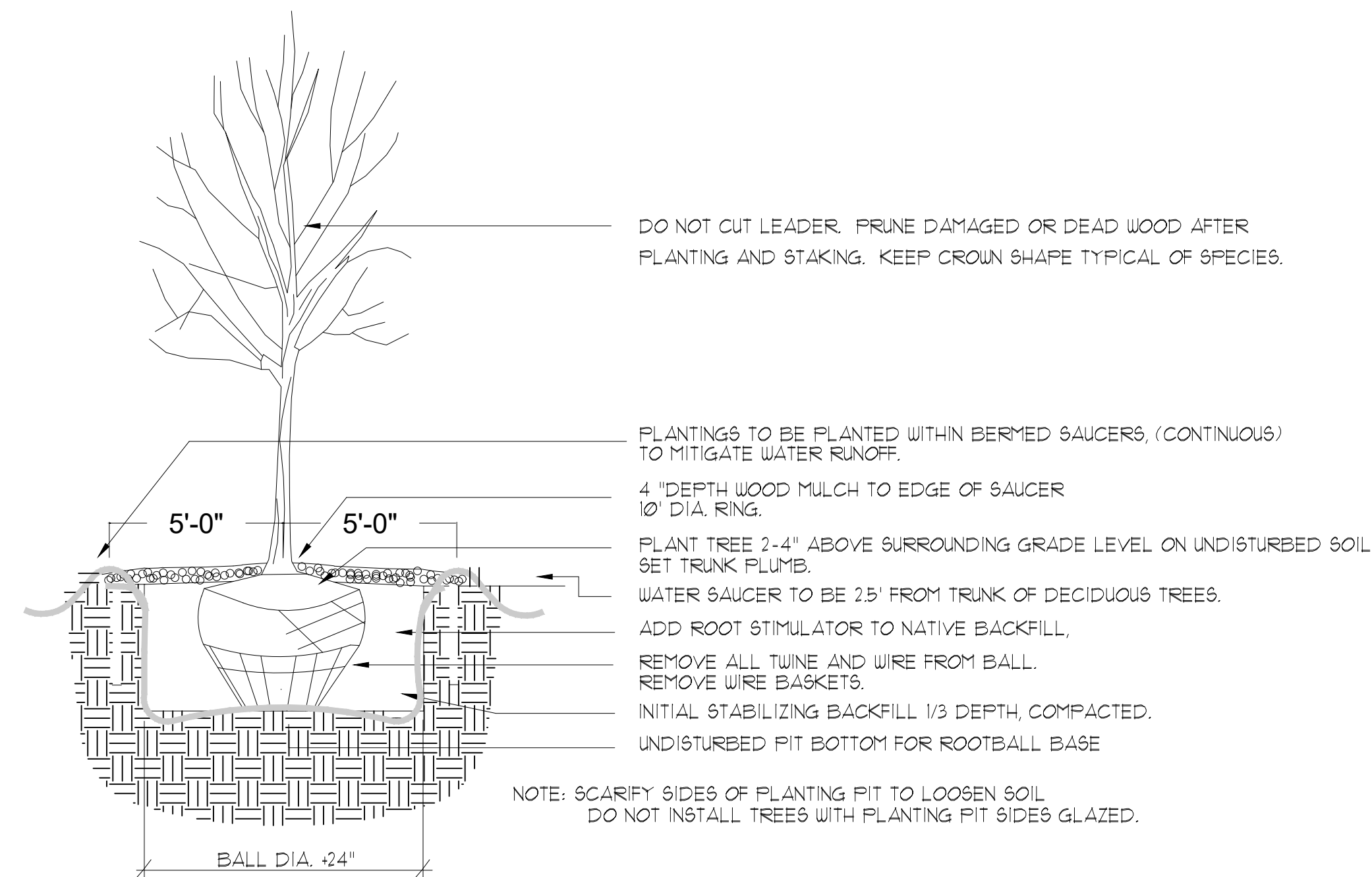


SLEEVE INSTALLATION DETAIL

N.T.S.

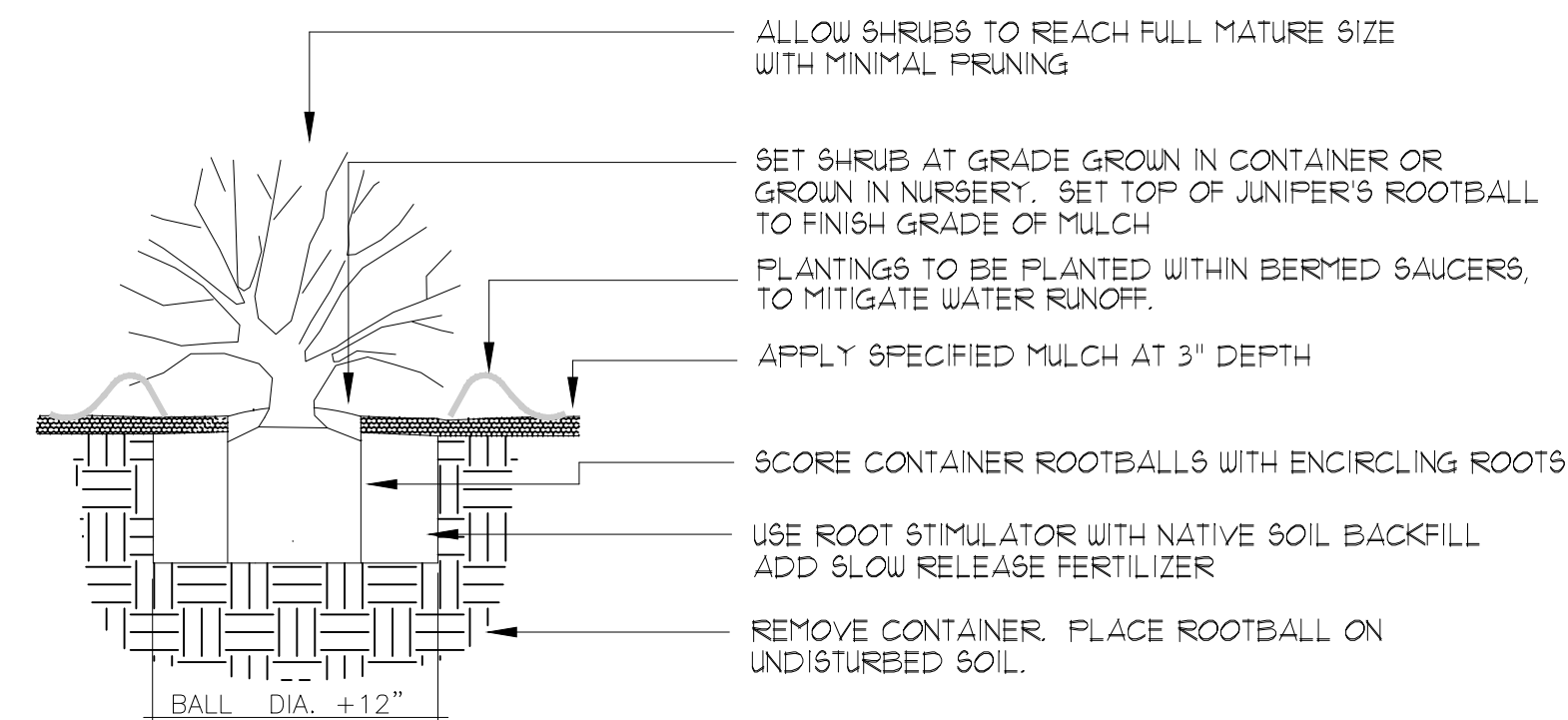


ACC - PEDESTAL MOUNT STAINLESS STEEL
C.ACC.05 NOT TO SCALE



TREE PLANTING DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

Landscape Architect
12/14/2023
STATE OF NEW MEXICO
DANNY D. MITCHELL
2859
REGISTERED LANDSCAPE ARCHITECT

PROJECT TITLE: STARBUCKS - TRAMWAY
200 TRAMWAY BLVD. NE
ALBUQUERQUE, NEW MEXICO 87123
PROJECT MANAGER: DEVIN NGUYEN
JOB NO.: SB-TRAMWAY
DRAWN BY: DTN
SHEET TITLE: DETAIL SHEET

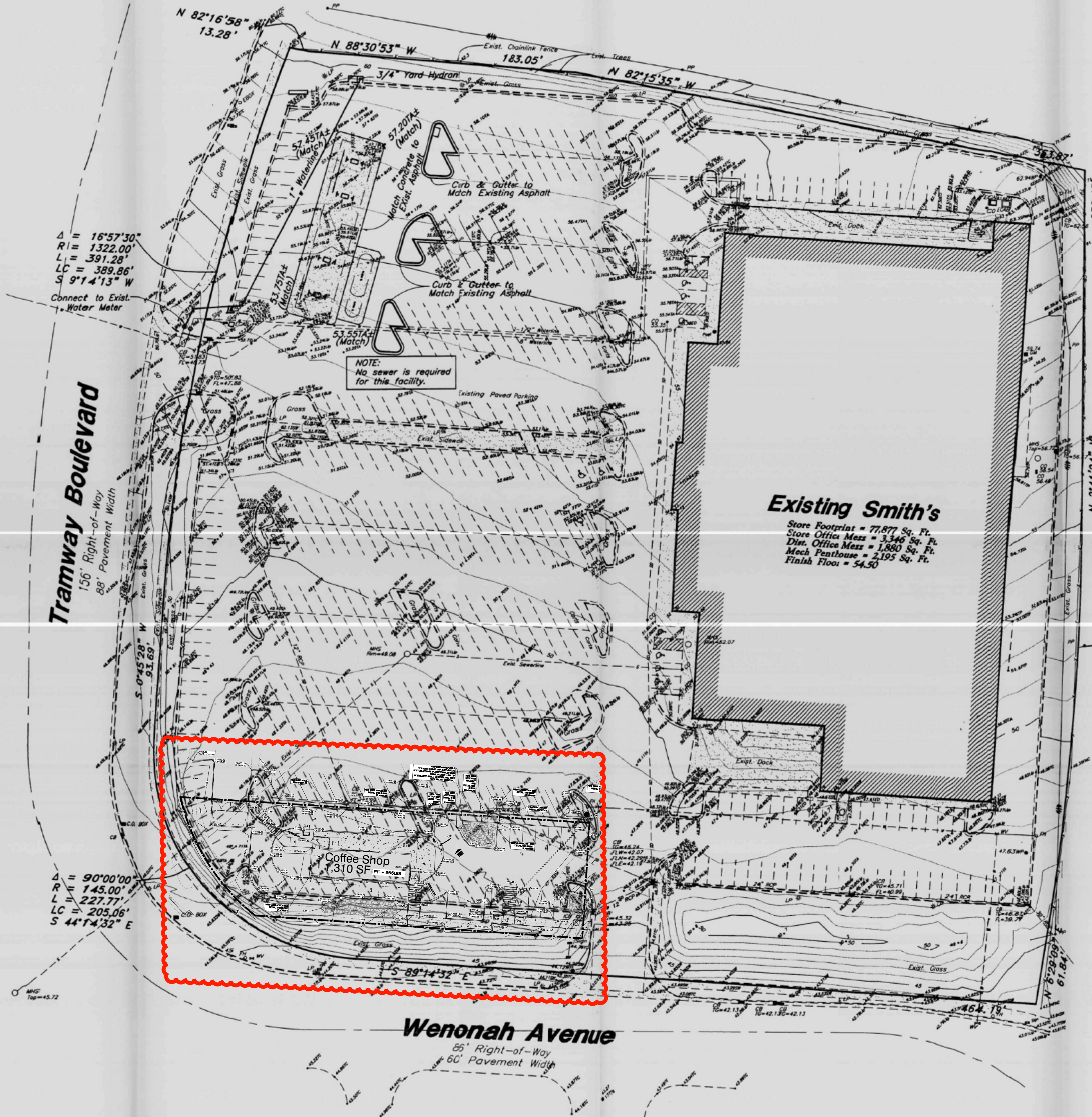


danny@mitchellassociatesinc.com 505.639.9583

DATE: 24 May 2023	SHEET: 16-103
SCALE: AS NOTED	of.



Scale : 1" = 40'



PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY (SO-19)

1. BUILD SIDEWALK CULVERTS PER COA STD DWG 2236.
2. CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
3. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
5. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
7. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
8. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
9. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
10. CONTRACTOR MUST CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- RIGHT-OF-WAY
- BUILDING
- CONCRETE/SIDEWALK
- 5010 — CONTOUR MAJOR
- 5011 — CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- 5010 — EXISTING CONTOUR MAJOR
- 5011 — EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION
- ~ GRADE BREAK
- RETAINING WALL

SPOT ELEVATION LEGEND

- SW= TOP OF SIDEWALK
- TC= TOP OF CURB
- FL= FLOW LINE
- FF= FINISHED FLOOR

SPOT ELEVATION NOTE:

ALL PROPOSED SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.

CAUTION
 ALL EXISTING UTILITIES/TOPOGRAPHY SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

Tramway East Drainage Channel

Tramway Boulevard
156' Right-of-Way
88' Pavement Width

Wenonah Avenue
85' Right-of-Way
60' Pavement Width

Existing Smith's

Store Footprint = 77,877 Sq. Ft.
 Store Office Mess = 3,346 Sq. Ft.
 Dist. Office Mess = 1,880 Sq. Ft.
 Mech Penthouse = 2,195 Sq. Ft.
 Finish Floor = 54.50

Coffee Shop
310 SF

NOTE:
No sewer is required for this facility.

$\Delta = 16^{\circ}57'30''$
 $R = 1322.00'$
 $L = 391.28'$
 $LC = 389.86'$
 $S 9^{\circ}14'13'' W$
 Connect to Exist. Water Meter

$\Delta = 90^{\circ}00'00''$
 $R = 145.00'$
 $L = 227.77'$
 $LC = 205.06'$
 $S 44^{\circ}14'32'' E$

$\Delta = 9^{\circ}10'53''$
 $R = 1612.22'$
 $L = 258.17'$
 $LC = 257.19'$
 $N 1^{\circ}53'52'' E$

GREAT BASIN ENGINEERING - SOUTH
 CONSULTING ENGINEERS and LAND SURVEYORS
 2010 North Redwood Road, P.O. Box 16747
 Salt Lake City, Utah 84116
 Salt Lake City (801)321-8529 Ogden (801)394-7288 For (801)321-9551

Gas Station / Utility Plan
Smith's Food and Drug Stores
 1550 South Redwood Road
 Salt Lake City, Utah 84104
 Telephone (801) 974-1400



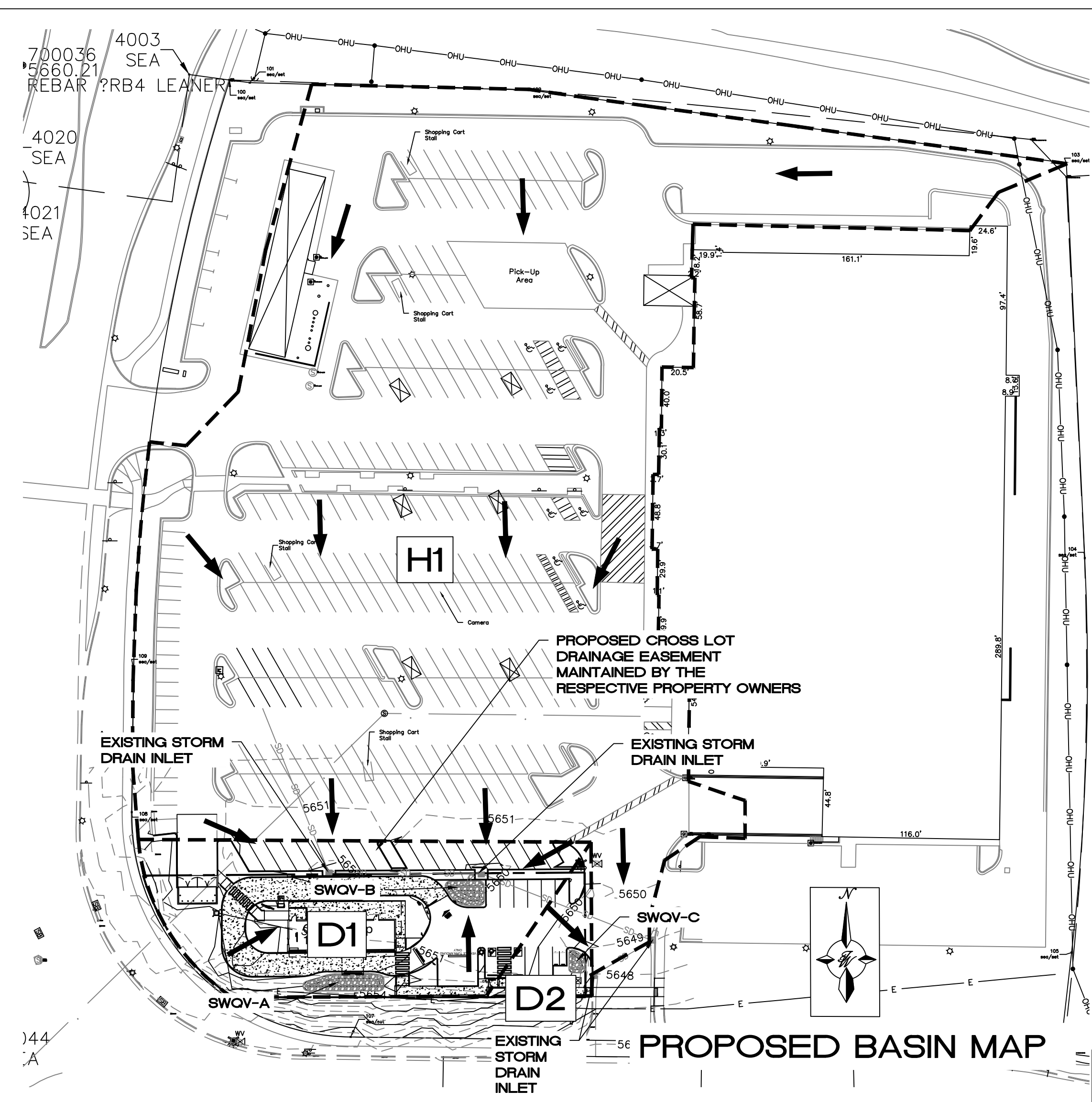
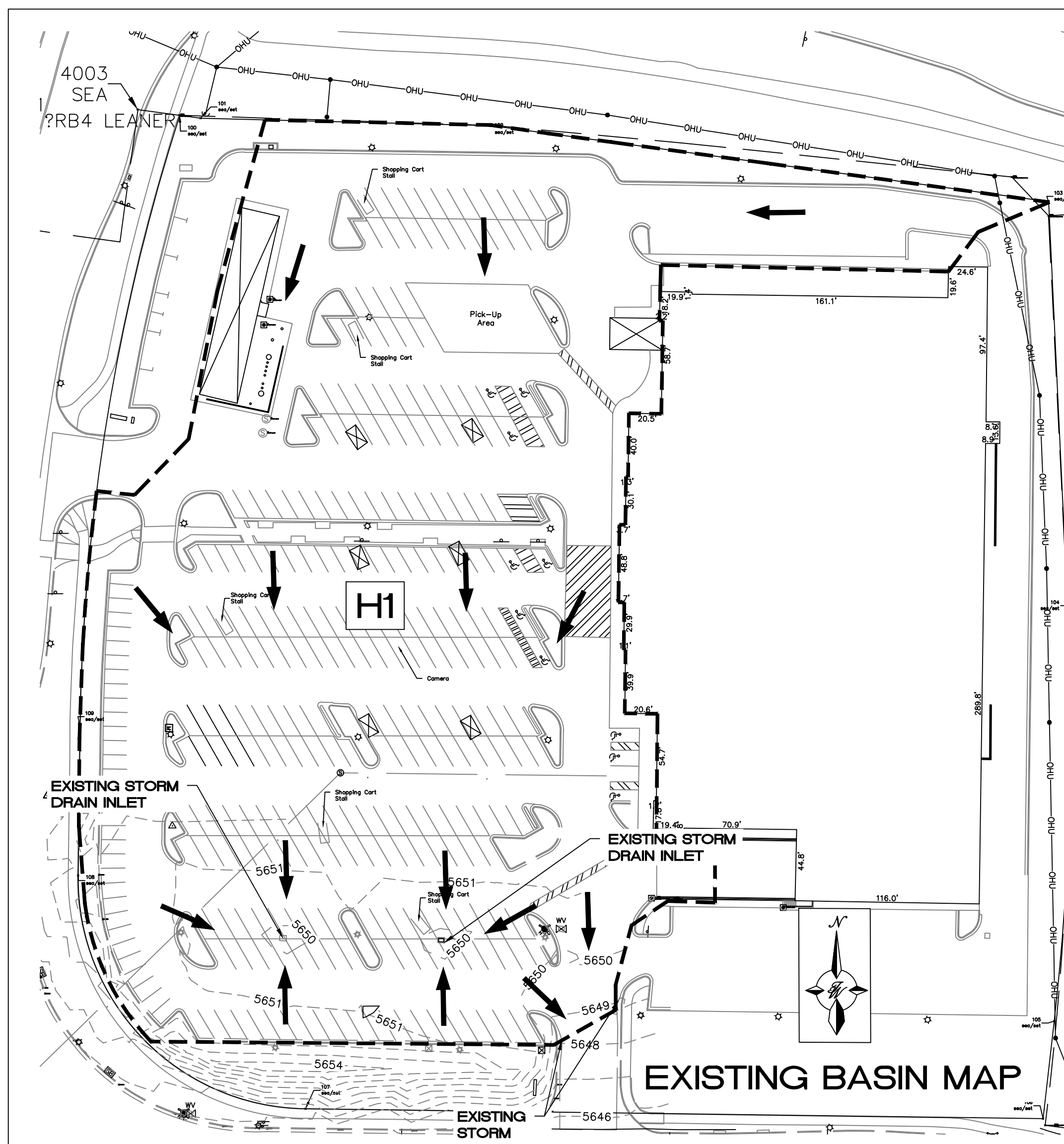
22 Oct, 2001

SHEET NO.

2

of 2
427GAS

1001565
Smith's
 FOOD & DRUG STORES
#427
 Albuquerque, New Mexico



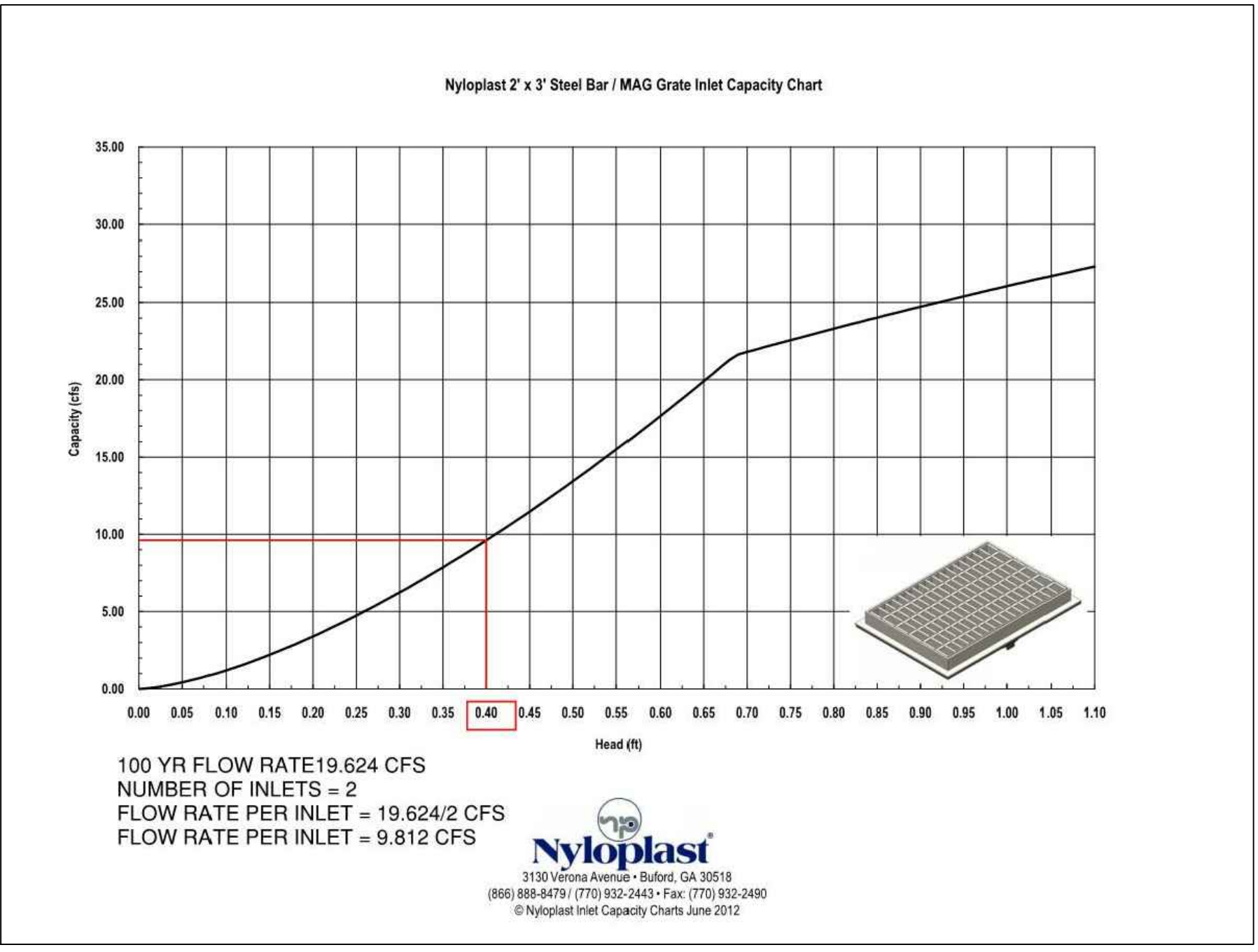
EXISTING CONDITIONS

THE SUBJECT SITE IS LOCATED WITHIN A LARGER BASIN INDICATED AS AREA "B" IN THE DRAINAGE REPORT FOR SMITHS STORE #427 IN HYDRONUM FILE: L230015. CURRENTLY THE SITE IS PAVED WITH PARKING SPACES AND THE STORM WATER DISCHARGE FREE FLOWS INTO VARIOUS STORM DRAIN INLETS ON THE SOUTHERN PART OF THE SMITHS LARGER TRACT AS SHOWN IN THE EXISTING CONDITIONS.

PROPOSED CONDITIONS

A NEW COFFEE DRIVE THRU SHOP IS PROPOSED TO BE DEVELOPED AND WILL REPLACE EXISTING PARKING SPACES. THE DEVELOPED STORM WATER DISCHARGE SHALL BE ROUTED THROUGH STORM WATER QUALITY PONDS INSTALLED WITHIN PLANTERS PRIOR TO BEING DISCHARGED INTO THE EXISTING STORM DRAIN INLETS AS SHOWN IN THE PROPOSED CONDITIONS BASIN MAP.

EXISTING STORM INLET CAPACITY CHART



DPM Weighted E Method CH 6

Precipitation Zone 3
STARBUCKS ON TRAMWAY
TWLLC Date 5/24/2023

Equations:
 Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed
 Volume = Weighted E * Total Area
 Flow = Qa*Aa + Qb*Ab + Qc*Ac + Qd*Ad

HYDROLOGY CALCULATION TABLES

Existing Conditions

Basin ID	Tract	Area (sf)	Area (acres)	Area (sq miles)	Basin Descriptions				100-Year, 6-Hr						
					Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E (in)	Volume (ac-ft)	Flow cfs				
H1		195,800	4.49	0.00702	0%	0.000	0%	0.000	10%	0.449	90%	4.045	2.431	0.911	19.59
Total		195,800	4.49	0.00702		0.000		0.000		0.000		4.045		0.911	19.589

Proposed Conditions

Basin ID	Tract	Area (sf)	Area (acres)	Area (sq miles)	Basin Descriptions				100-Year, 6-Hr						
					Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E (in)	Volume (ac-ft)	Flow cfs				
H1		171,000	3.93	0.00613	0%	0.000	0%	0.000	10%	0.393	90%	3.533	2.431	0.795	17.11
D1		23,640	0.54	0.00085	0%	0.000	0%	0.000	30%	0.163	70%	0.3799	2.133	0.096	2.22
D2		3,135	0.07	0.00011	0%	0.000	0%	0.000	30%	0.022	70%	0.0504	2.133	0.013	0.29
Total		197,775	4.54	0.00709		0.000		0.000		0.577		3.963		0.905	19.624

PROPOSED STORM WATER POND VOLUME TABLES

SWQV-A POND VOLUME CALCULATIONS

ELEVATION (ft)	AREA (sf)	VOLUME (cf)	CUMULATIVE VOLUME (cf)
5650	199	0	0
5651	525	362	362

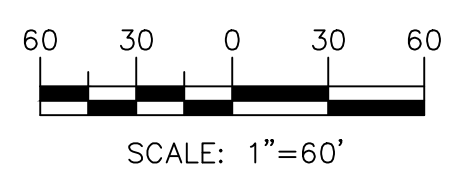
SWQV-B POND VOLUME CALCULATIONS

ELEVATION (ft)	AREA (sf)	VOLUME (cf)	CUMULATIVE VOLUME (cf)
5648	36	0	0
5649	156	96	96
5650	344	250	346

SWQV-C POND VOLUME CALCULATIONS

ELEVATION (ft)	AREA (sf)	VOLUME (cf)	CUMULATIVE VOLUME (cf)
5647.5	29	0	0
5648	56	21.25	21
5649	131	93.5	115

GRAPHIC SCALE



REQUIRED STORM WATER QUALITY VOLUME CALCULATIONS

Basin D1 Storm Water Quality Volume

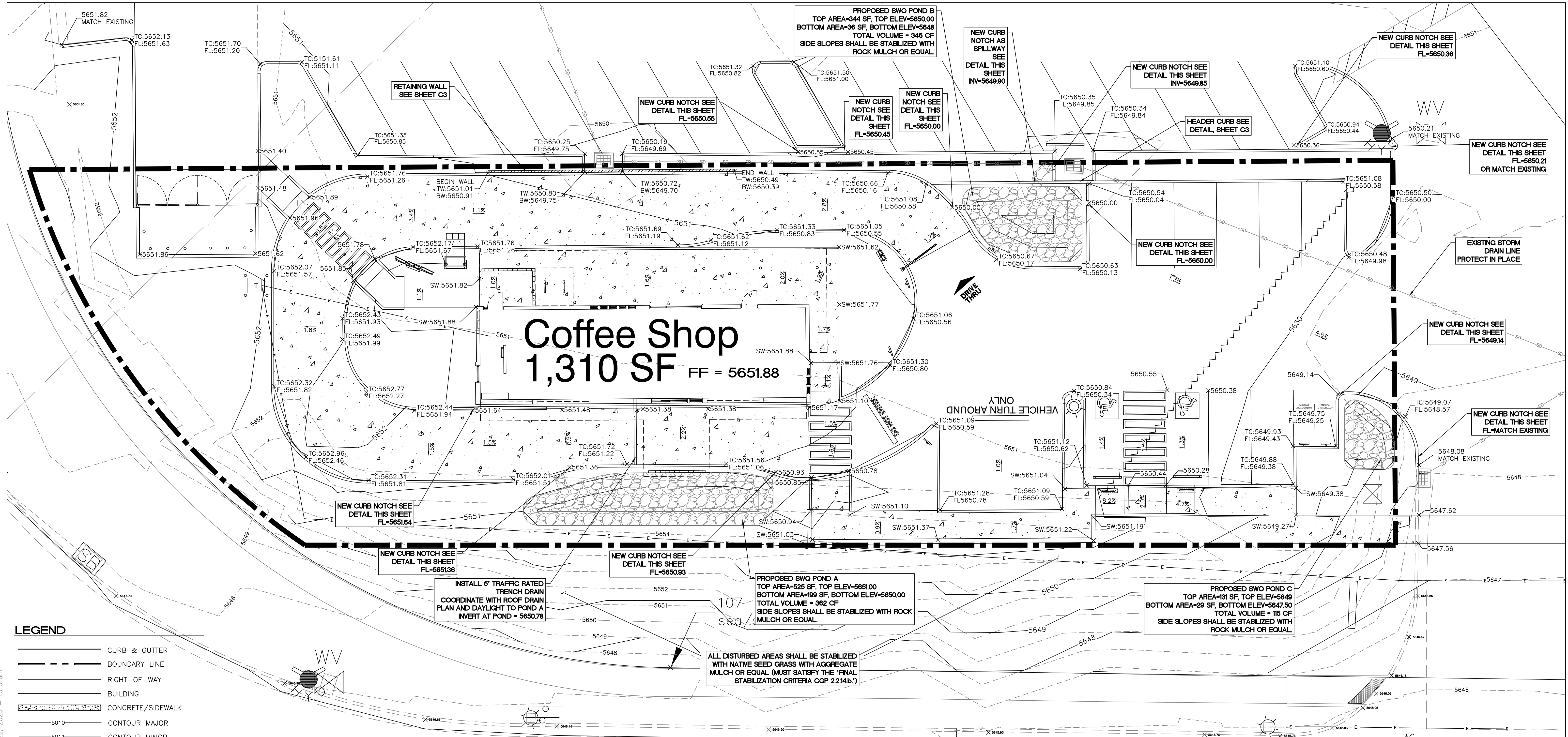
Total Impervious Area =	ΣArea in "Treatment D"	
Retainage depth = 0.42" Per DPM Pg. 272	0.035	FT
Retention Volume =	=0.035 x Area D	CF
Area D (0.3799 acres)	16548	SF
Required Retention Volume	579	CF
Pond Volume Provided	708	CF

Basin D2 Storm Water Quality Volume

Total Impervious Area =	ΣArea in "Treatment D"	
Retainage depth = 0.42" Per DPM Pg. 272	0.035	FT
Retention Volume =	=0.035 x Area D	CF
Area D (0.0504 acres)	2195	SF
Required Retention Volume	77	CF
Pond Volume Provided	115	CF

NOTE: The EPC approved the requested amendments on 7-20-2023.

ENGINEER'S SEAL	STARBUCKS ON TRAMWAY ALBUQUERQUE, NM	DRAWN BY BF
	GRADING AND DRAINAGE BASIN MAP	DATE 09/06/2023
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2023047_BASINS
09/06/2023		SHEET # C1
RONALD R. BOHANNAN P.E. #7868		JOB # 2023047



LEGEND

- Curb & Gutter
- - - Boundary Line
- - - Right-of-Way
- ▭ Building
- ▭ Concrete/Sidewalk
- 5010 — Contour Major
- 5011 — Contour Minor
- x 5048.25 Spot Elevation
- Flow Arrow
- - - Existing Curb & Gutter
- - - 5010 - - Existing Contour Major
- - - 5011 - - Existing Contour Minor
- x 5048.25 Existing Spot Elevation
- ~ Grade Break
- ▭ Retaining Wall

SPOT ELEVATION LEGEND

SW= TOP OF SIDEWALK
 TC= TOP OF CURB
 FL= FLOW LINE
 FF= FINISHED FLOOR

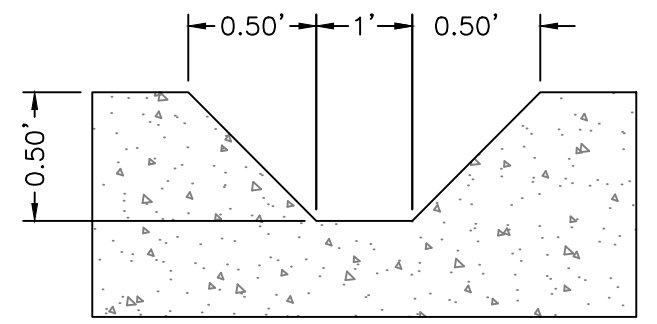
SPOT ELEVATION NOTE:

ALL PROPOSED SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.

CAUTION
 ALL EXISTING UTILITIES/TOPOGRAPHY SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY (SO-19)

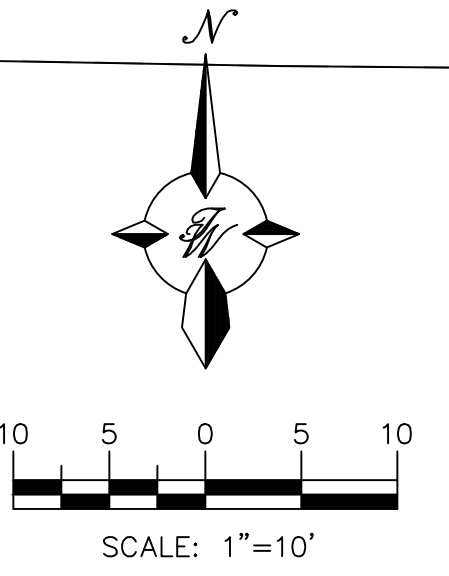
1. BUILD SIDEWALK CULVERTS PER COA STD DWG 2236.
2. CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
3. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
5. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
7. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
8. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
9. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
10. CONTRACTOR MUST CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.



CURB NOTCH
NTS

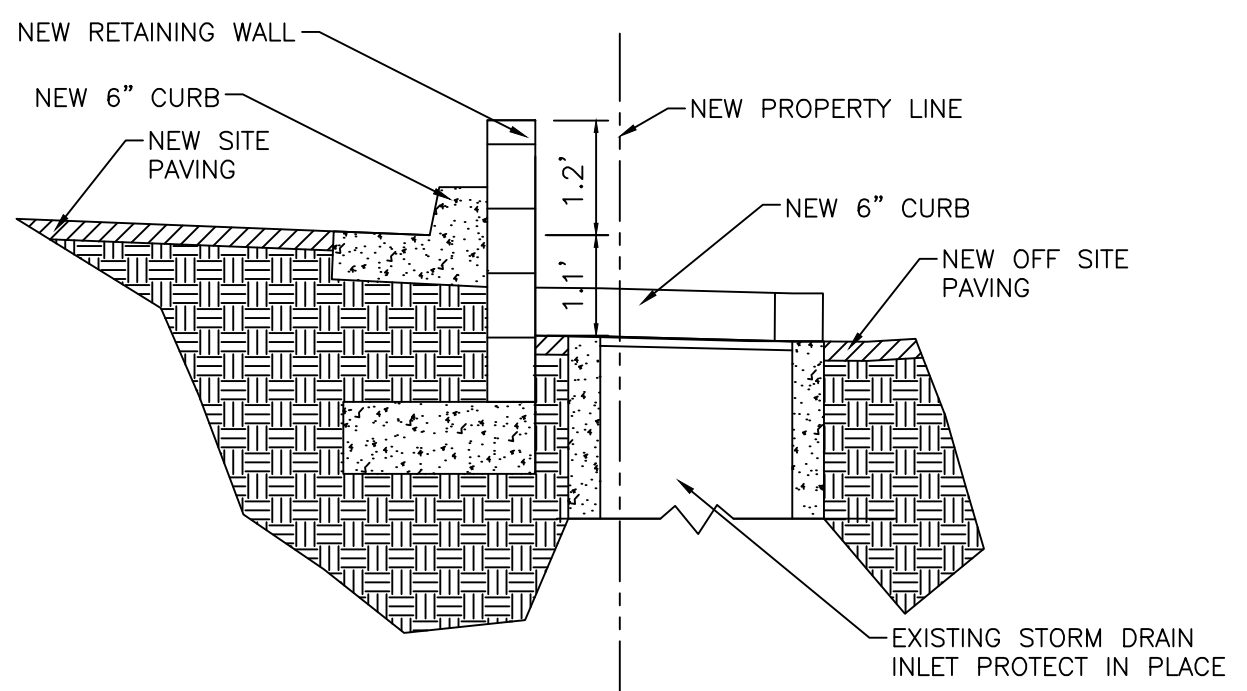
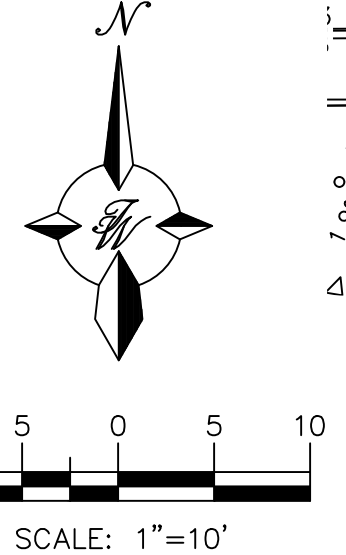
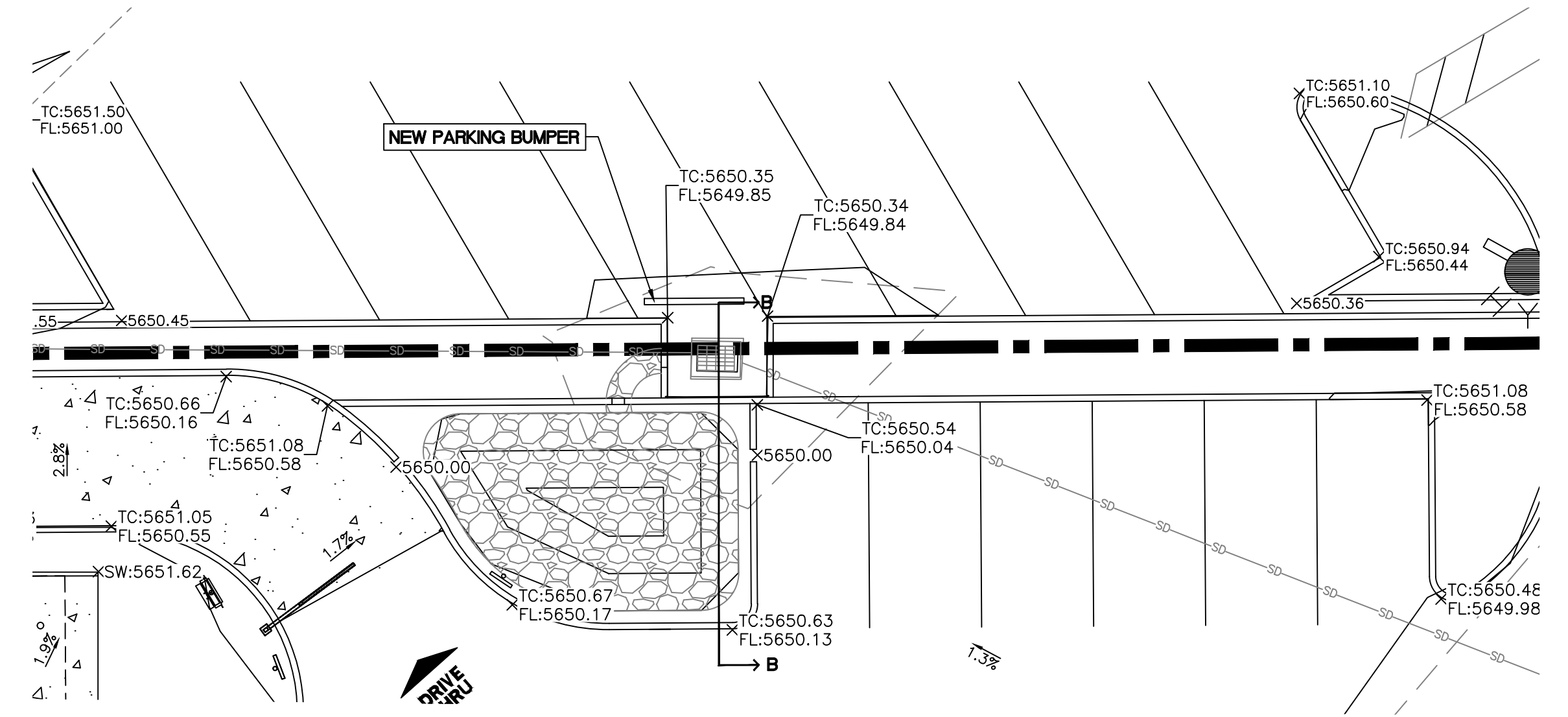
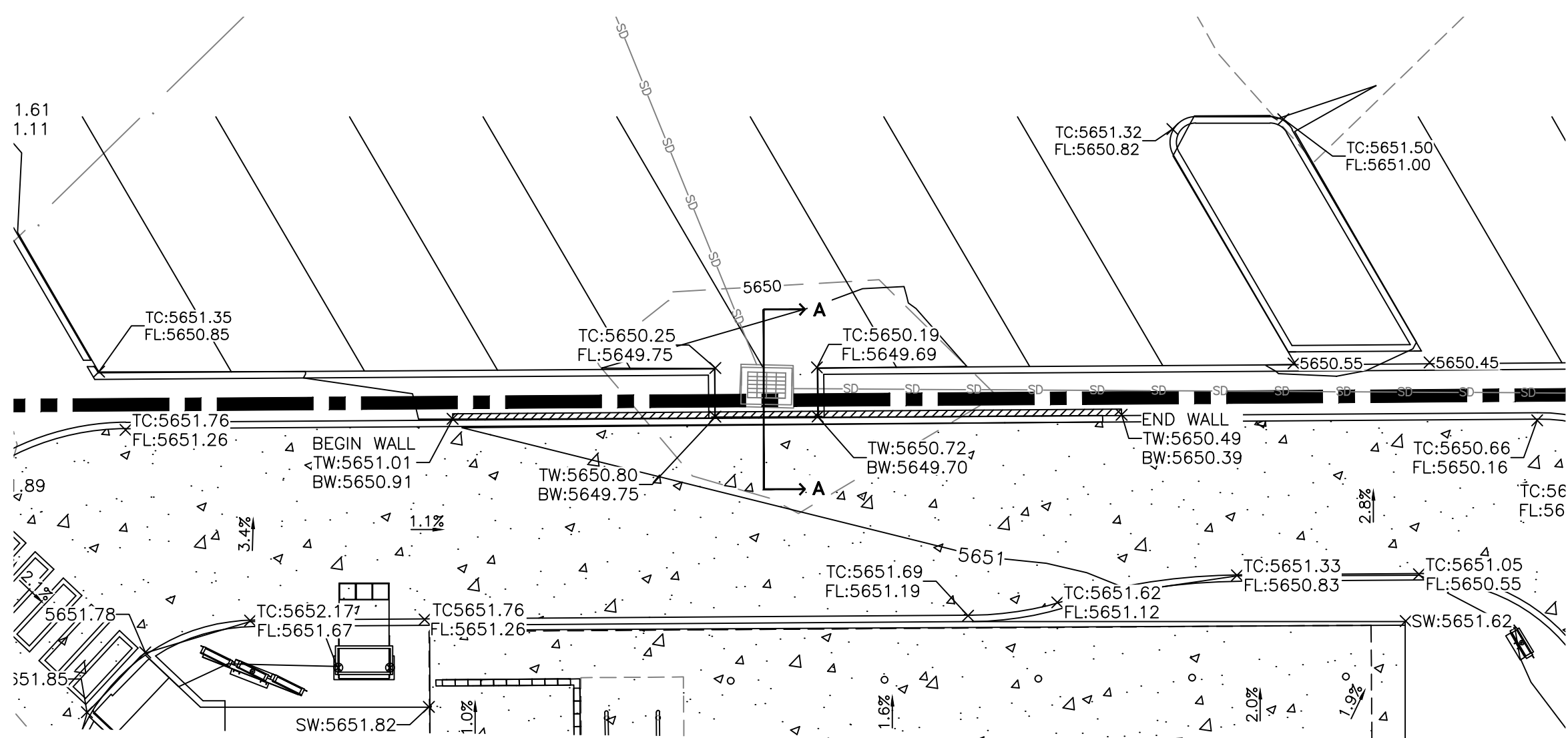
NOTE: REFER LANDSCAPING PLANS FOR FINAL STABILIZATION CRITERIA.

ALL DISTURBED AREAS SHALL BE STABILIZED WITH NATIVE SEED GRASS WITH AGGREGATE MULCH OR EQUAL (MUST SATISFY THE FINAL STABILIZATION CRITERIA COP 22.14.b.)

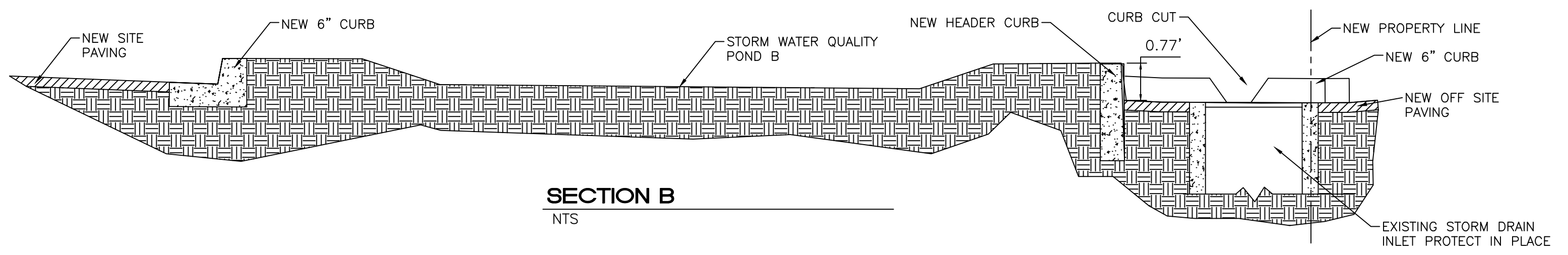


ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	STARBUCKS ON TRAMWAY ALBUQUERQUE, NM	DRAWN BY BF
	GRADING & DRAINAGE PLAN	DATE 09/06/2023
09/06/2023 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C2	JOB # 2023047

\\TWINSV-Drive\2023\2023047 Starbucks at Tramway.dwg EPIC_2023047_GRE.dwg Aug 22, 2023 10:01am



SECTION A
NTS



SECTION B
NTS

LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- RIGHT-OF-WAY
- BUILDING
- CONCRETE/SIDEWALK
- 5010 CONTOUR MAJOR
- 5011 CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- 5010 - - - EXISTING CONTOUR MAJOR
- 5011 - - - EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION
- ~ GRADE BREAK

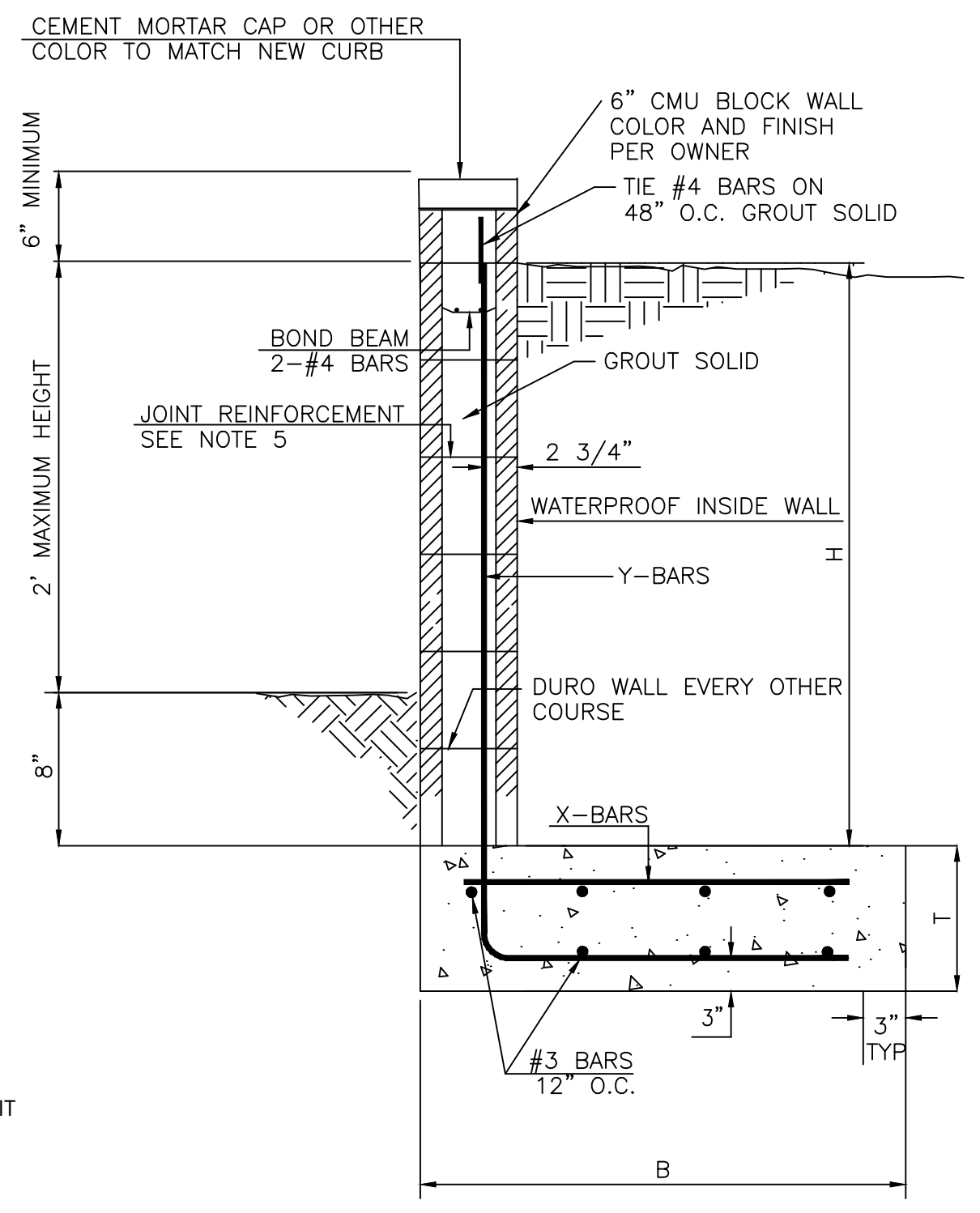
SPOT ELEVATION LEGEND

SW = TOP OF SIDEWALK
TC = TOP OF CURB
FL = FLOW LINE
FF = FINISHED FLOOR

SPOT ELEVATION NOTE:

ALL PROPOSED SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.

CAUTION
ALL EXISTING UTILITIES/TOPOGRAPHY SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



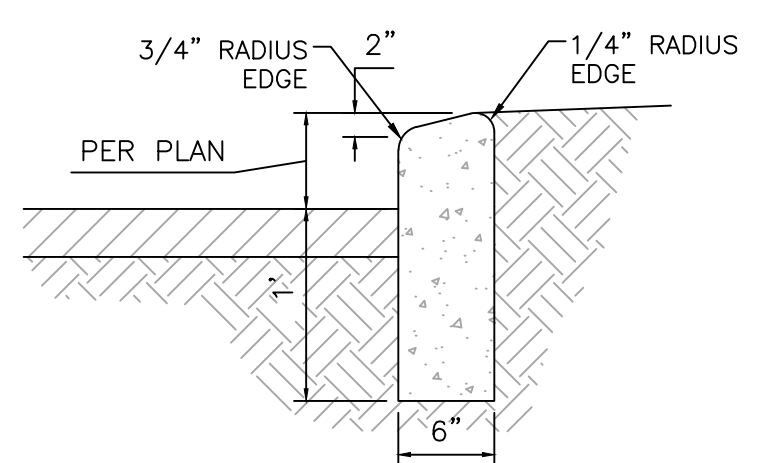
"L" FOOTING RETAINING WALL DETAIL
NTS

GENERAL NOTES:

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM: D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 12'.
7. 30 BAR DIAMETER LAPS TYPICAL.
8. DUR-O-WALL HORIZONTAL JOINT REINFORCEMENT 16" O.C.
9. OPEN JOINTS 16" O.C. TYPICAL AT FIRST COURSE.
10. OWNER TO SELECT MASONRY COLOR AND/OR FINISH
11. SOLID MASONRY CAP COURSE TYPICAL.
12. WATER PROOF WALL.

6 INCH REINFORCED CONCRETE MASONRY WALL (FOR RETAINING PORTION ONLY)

H	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.		
2'-0"	2'-0"	9"	#4 @ 24" O.C.	



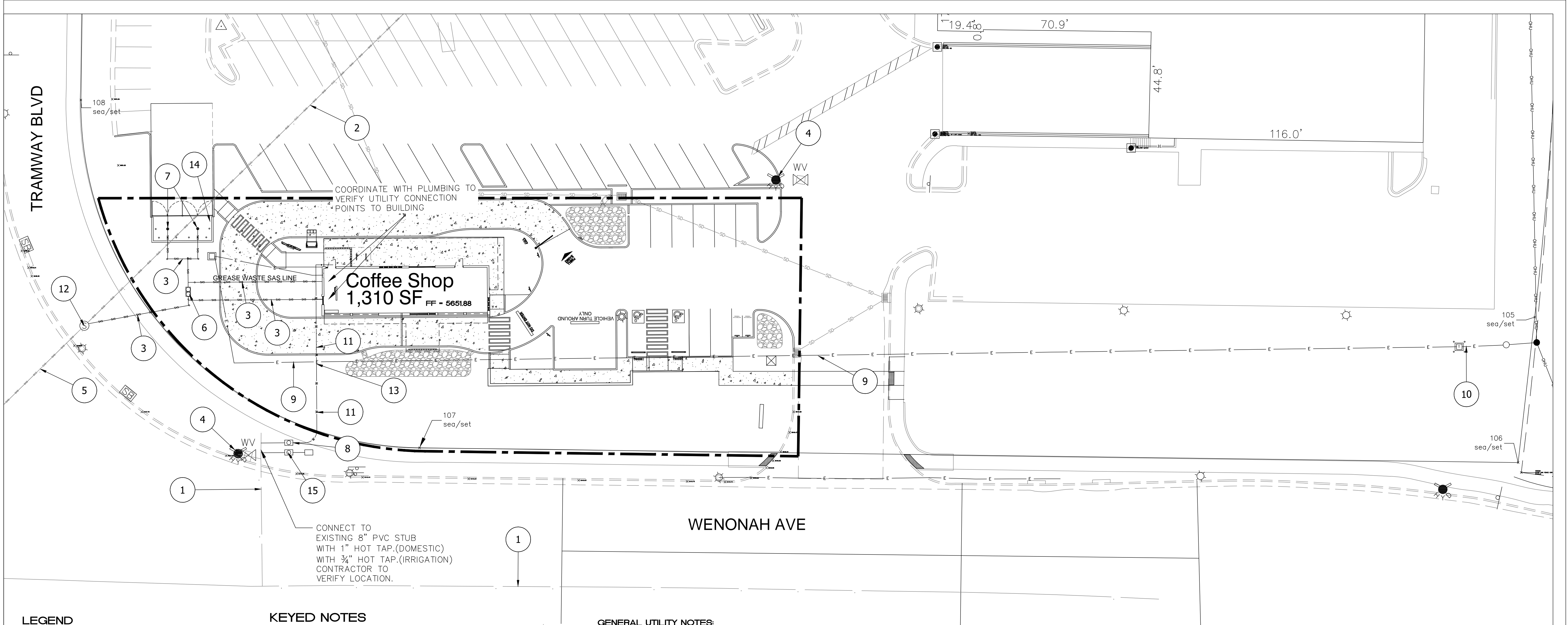
CURB GENERAL NOTES:

1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE.
2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS. SHALL BE EITHER SAWS OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

6" HEADER CURB DETAIL

NTS

	STARBUCKS ON TRAMWAY ALBUQUERQUE, NM	DRAWN BY BF
	GRADING & DRAINAGE PLAN	DATE 09/06/2023
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C3
09/06/2023 RONALD R. BOHANNAN P.E. #7868		JOB # 2023047



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- SIDEWALK
- RETAINING WALL
- CURB AND GUTTER
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING SS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- EXISTING OVERHEAD UTILITIES
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- PROPOSED TELEPHONE LINE
- PROPOSED ELECTRIC LINE
- PROPOSED GAS LINE
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED SAS MANHOLE
- PROPOSED WATER METER

KEYED NOTES

- 1 EXISTING 8" PVC WATERLINE
- 2 EXISTING 8" PRIVATE SAS
- 3 NEW 4" SAS SERVICE COORDINATE WITH BUILDING PLUMBING PLANS PROVIDE CLEAN OUTS PER UPC
- 4 EXISTING FIRE HYDRANT PROTECT IN PLACE
- 5 EXISTING 8" PUBLIC SAS
- 6 NEW SAS GREASE TRAP COORDINATE WITH BUILDING PLUMBING PLANS
- 7 NEW DUMPSTER DRAINS ROUTE TO GREASE TRAP
- 8 NEW 1" WATER METER BOX AND COVER PER ABCWUA DWG 2362
- 9 ELECTRICAL IMPROVEMENTS REFER BUILDING ELECTRICAL PLANS
- 10 NEW PAD MOUNTED TRANSFORMER WITH NEW OH AND POLE COORDINATE OFFSITE IMPROVEMENTS WITH PNM
- 11 1.5" DOMESTIC WATER SERVICE COORDINATE WITH BUILDING PLUMBING PLANS
- 12 NEW PUBLIC MANHOLE PER ABCWUA DWG 2101 PUBLIC IMPROVEMENTS REQUIRE AN APPROVED WORK ORDER
- 13 PROPOSED IRRIGATION SERVICE CONNECTION WITH BACK FLOW PREVENTOR AND HOT BOX - SEE IRRIGATION PLANS.
- 14 INSTALL LOCKABLE HOSE BIB, ROUTE WATERLINE FROM BUILDING REFER BUILDING PLUMBING PLANS FOR LOCATION AND SIZE
- 15 NEW 3/4" IRRIGATION METER BOX AND COVER PER ABCWUA DWG 2362 INSTALL WITH BACKFLOW PREVENTOR AND HOT BOX

CAUTION
 ALL EXISTING UTILITIES/TPOGRAPHY SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

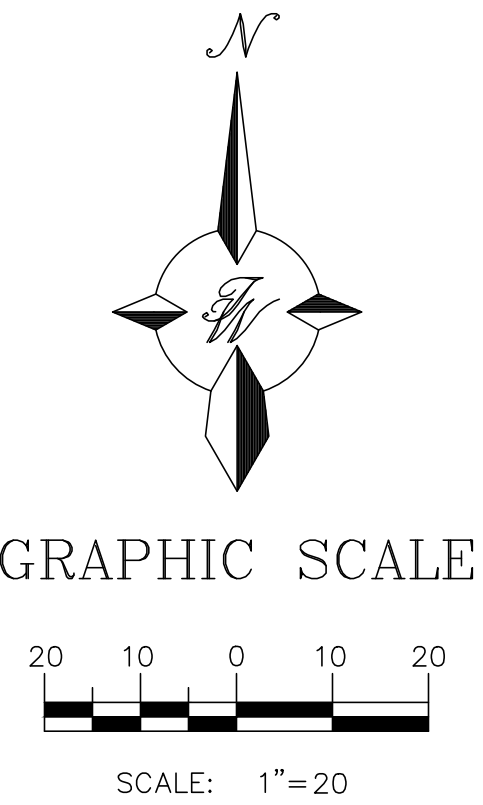
GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC UTILITY CONSTRUCTION, 1986 EDITION (UPDATE NO 8) INCLUDING AMENDMENT NO 1.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. IRRIGATION AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
8. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY. CALL 811 FOR PUBLIC UTILITIES LOCATES.
9. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS, ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

INSPECTION NOTE
 CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

ABCWUA NOTES:

1. COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
2. COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	STARBUCKS ON TRAMWAY ALBUQUERQUE, NM MASTER UTILITY PLAN TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	DRAWN BY BF DATE 07/11/2023 2023047 MU SHEET # C4 JOB # 2023047
---	--	--

\\TMS\SVZ_Drive\2023\2023047 Starbucks at Tramway\dwg\Construction\2023047-MU.dwg Oct 10, 2023 - 8:07am