

FORM S3: ADMINISTRATIVE APPLICATIONS – Development Facilitation Team (DFT) as of 12/25/2022**_ AMENDMENT TO INFRASTRUCTURE LIST**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Proposed Amended Infrastructure List
- ___ 6) Original Infrastructure List

_ TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

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- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) A scale drawing showing the location of the deferred sidewalk with appropriate dimensions

_ EXTENSION OF THE IIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

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- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Letter describing, explaining, and justifying the deferral or extension
- ___ 6) Drawing showing the sidewalks subject to the proposed deferral or extension

_ INFRASTRUCTURE LIST EXTENSION OR AN INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA) EXTENSION

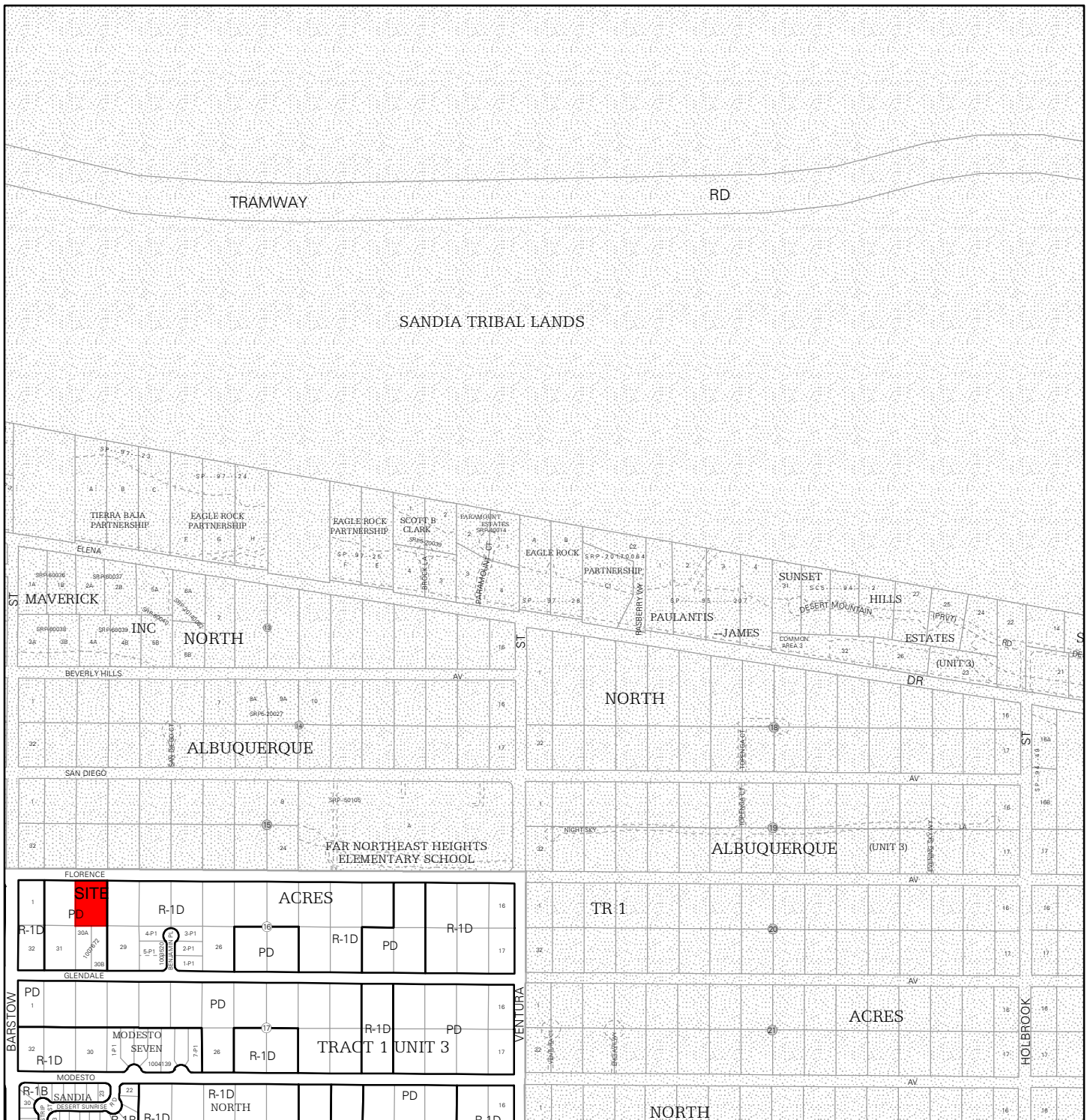
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- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Letter describing, explaining, and justifying the request per IDO Section 14-16-6-4(X)(4)
- ___ 6) Preliminary Plat or Site Plan
- ___ 7) Copy of DRB approved Infrastructure List
- ___ 8) Copy of recorded IIA

_ SKETCH PLAT OR SKETCH PLAN REVIEW AND COMMENT

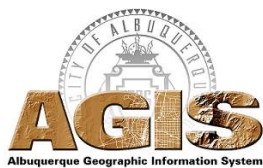
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- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Letter describing, explaining, and justifying the request
- ___ 6) Scale drawing of the proposed subdivision plat or Site Plan
- ___ 7) Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use

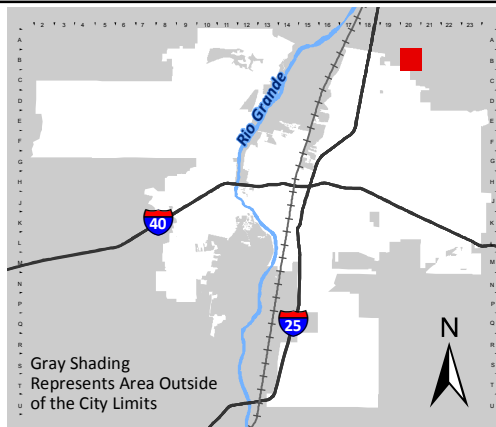


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

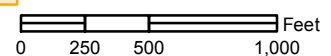


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
B-20-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



To whom it may concern

We are applying for a Sketch Plat Review. The zoning is PD which requires a roll curb and sidewalk; we propose only a rolled curb at the driveway entrances. This is a single-family residence and other homes along this area of Florence do not have a sidewalk. See image below.



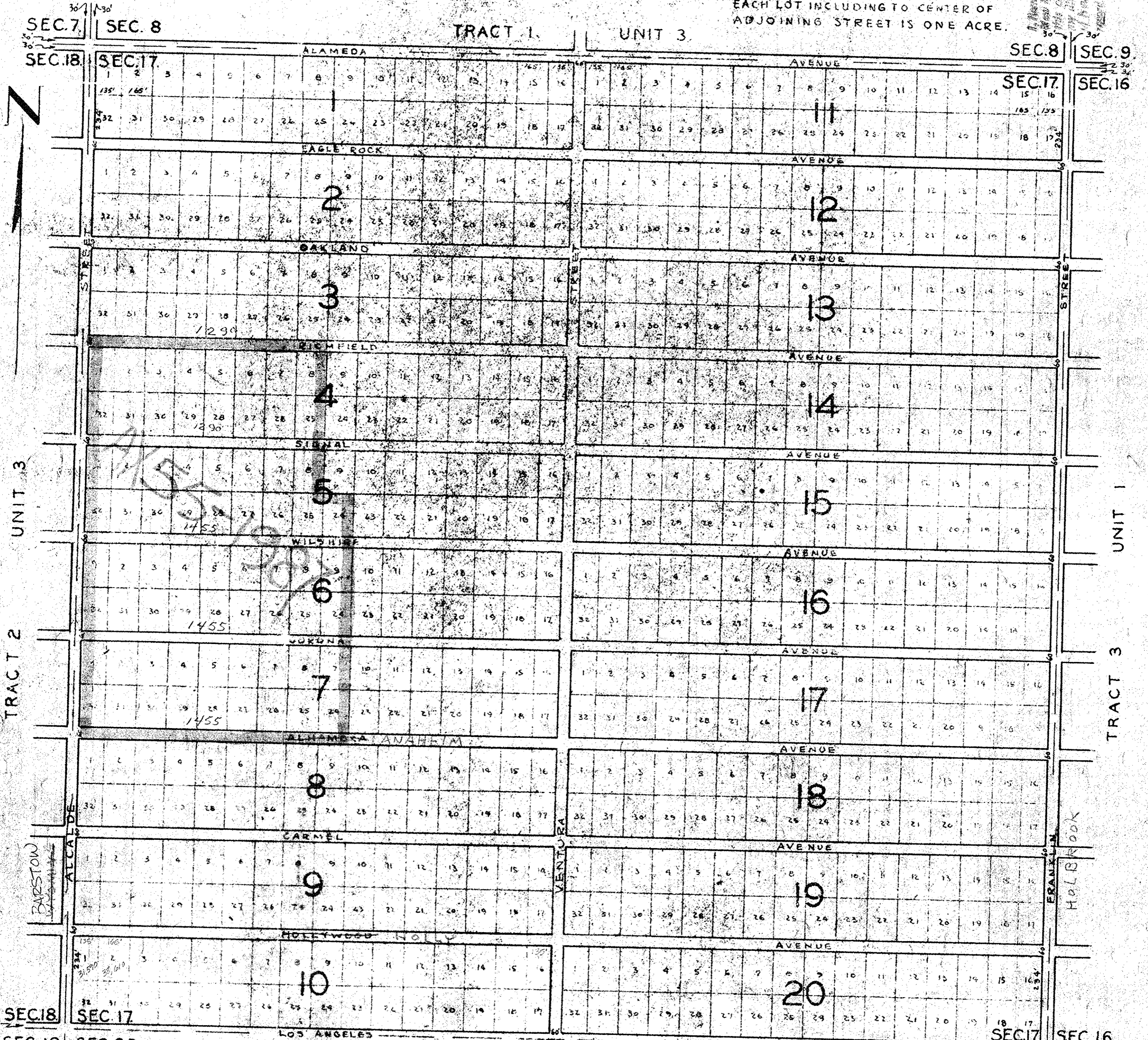
TRACT 3 UNIT 3 NORTH ALBUQUERQUE ACRES ALBUQUERQUE BERNALILLO COUNTY NEW MEXICO

SCALE 1 INCH = 400 FEET

Note: EACH LOT INCLUDING TO CENTER OF ADJOINING STREET IS ONE ACRE.

In New Mexico, County Clerk of Bernalillo County, New Mexico, do hereby certify that the map or plan which this certificate appears to be a true copy, made in accordance with the provisions of Chapter 117 of the Statutes of New Mexico, passed in 1913, of a map of the same, as shown on the map of Sept. 1931, is a true and correct copy of the original map on file in the County Clerk's Office, Bernalillo County, New Mexico.

State of New Mexico }
County of Bernalillo }
This instrument was filed for record on the 10th day of Sept. 1931, at 1:31 P.M. Recorded in Vol. 10 of Records of said County, Folio 10.
S/ Mrs. Will Rogers, Clerk & Recorder
Deputy Clerk



By action of the Board of County Commissioners had at its meeting April 23, 1940, the following change in street and road names was made:
Alhambra Ave. to Anaheim Ave.
Hollywood Ave. to Holly Ave.
Franklin St. to Holbrook St.
Alcalde St. to Wyoming St.

T. 11N. R. 4 E.
N.M.P.M.

**ENGINEERING DEPT.
DRAFTING ROOM**

The above and foregoing subdivision of land certain tract of land in Section 17 Township 11 North, Range 4 East, N.M.P.M. (as defined by projection of existing public survey lines), surveyed, platted and subdivided as hereon shown comprising Blocks 1 to 20, inclusive of TRACT 3 UNIT 3, NORTH ALBUQUERQUE ACRES, is with the free consent and in accordance with the desire of the undersigned owner and proprietor thereof.

NORINS REALTY COMPANY, INC. Owner and proprietor
by S/ M. Norins President.

ATTENT S/ J. W. Dewey Secretary.

State of California,
County of Los Angeles,)ss

On this 4th day of Sept 1931, before me, a Notary Public in and for said County, personally appeared Mr. Norins and J.W. Dewey, both to me personally known, who being duly sworn by me according to law, did say that they are the President and Secretary, respectively, of the Norins Realty Company, Inc. and that the seal affixed to the foregoing instrument is the corporate seal of said corporation, and that said instrument was signed and said seal affixed thereto in behalf of said corporation by authority of its Board of Directors; and said M. Norins did acknowledge said instrument to be the free act and deed of said corporation.

My commission expires April 30, 1935.

S/ Louise N. Welty Notary Public.

I, C. B. Beyer, County Surveyor of Bernalillo County, New Mexico, hereby certify that I have examined the plat of Tract 3 Unit 3, North Albuquerque Acres, upon which this certificate appears, and have approved the same this 2nd day of Sept. 1931.

S/ C. B. Beyer County Surveyor

State of New Mexico
 County of Bernalillo
 The instrument was filed for record on the 10 day
 of September, 1931, at 11:32
 P. M. Recorded in Vol.
 of said County, Folio
 of Mr. Will Rogers

TRACT 1 UNIT 3 NORTH ALBUQUERQUE ACRES ALBUQUERQUE BERNALILLO COUNTY NEW MEXICO

SCALE: 1 INCH = 20 FEET
 PLAN OF THE TRACT AS APPROVED BY THE BOARD OF COUNTY COMMISSIONERS

I, William Valencia, County Clerk of Bernalillo County, New Mexico, do hereby certify that the map on which this certificate appears is a true copy, made under my direct supervision, of the original map filed for record on the 10 day of September, 1931, at 11:32 P. M. in the office of the County Clerk of said County, New Mexico.

By action of the Board of County Commissioners held at its meeting of April 23, 1940, the following streets in tract and final units were approved:

Franklin St. Beverly St.
Alcalá St. San Diego St.
Sanborn St. Alameda St.

The Board of County Commissioners of Bernalillo County, New Mexico, do hereby certify that the map on which this certificate appears is a true copy, made under my direct supervision, of the original map filed for record on the 10 day of September, 1931, at 11:32 P. M. in the office of the County Clerk of said County, New Mexico.

Notary Public Company, Inc. Secretary
 by W. M. Alvarez President

City of Albuquerque, New Mexico, do hereby certify that the map on which this certificate appears is a true copy, made under my direct supervision, of the original map filed for record on the 10 day of September, 1931, at 11:32 P. M. in the office of the County Clerk of said County, New Mexico.

My commission expires April 30, 1935
W. M. Alvarez Notary Public

I, W. M. Alvarez, County Clerk of Bernalillo County, New Mexico, hereby certify that I have examined the map on which this certificate appears and have approved it.

W. M. Alvarez County Clerk



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CONTENTS

C1.....COVER SHEET, SITE PLAN & THERMAL BYPASS DETAILS
 A1.....ARCHITECTURAL FLOOR PLAN
 A2.....DIMENSIONED FLOOR PLAN
 A3.....EXTERIOR ELEVATIONS & DETAILS
 A4.....ISOMETRIC VIEWS & ROOF PLAN
 S1.....FOUNDATION PLAN & DETAIL
 S2.....ROOF FRAMING PLAN & DETAILS
 S3.....STRUCTURAL DETAILS
 E1.....ELECTRICAL PLAN

PROJECT DATA

PROJECT ADDRESS: 8400 FLORENCE AVE NE
 ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION: LOT 3 BLOCK 16
 NORTH ABQ ACRES SUBDIVISION
 BERNALILLO COUNTY, NEW MEXICO

PROJECT AREAS

TOTAL HEATED	6205 SF
GARAGE/MECH/STORAGE	1536 SF
COVERED PORCHES	1517 SF
TOTAL PROJECT	9258 SF

CODE COMPLIANCE

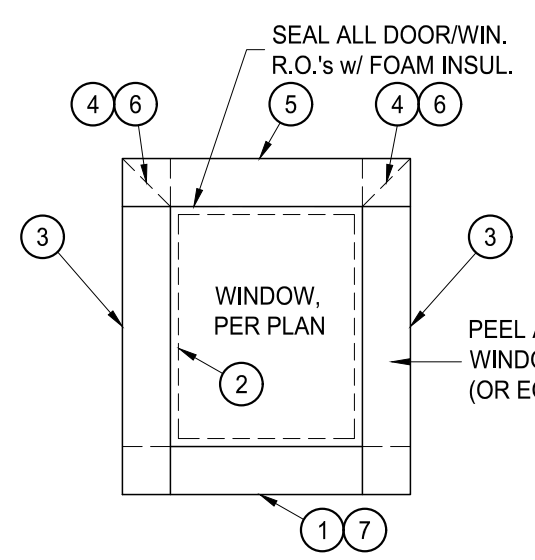
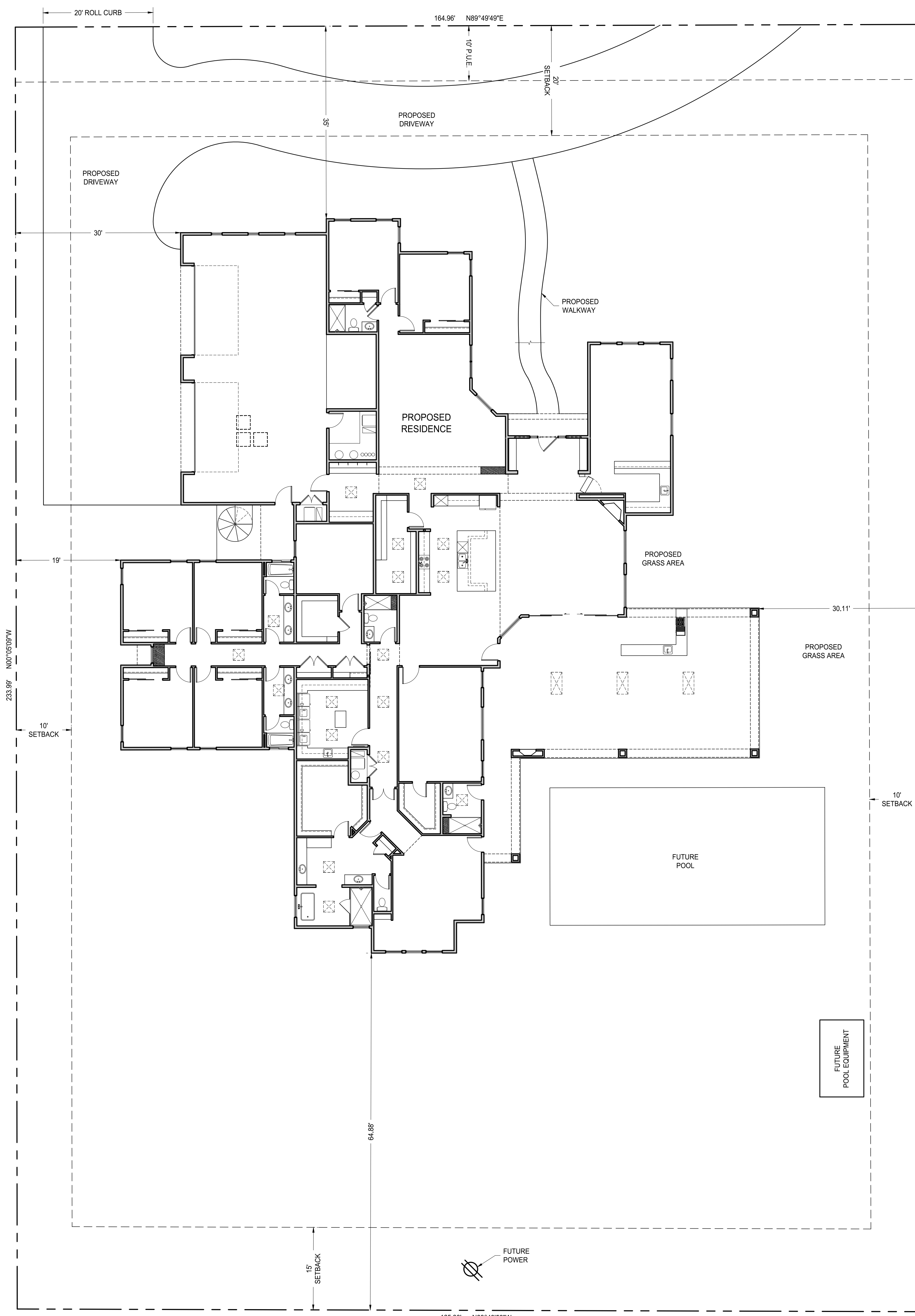
The 2015 International Building Code
 The 2015 International Residential Code
 The 2018 International Energy Conservation Code
 The 2021 Uniform Mechanical Code
 The 2021 Uniform Plumbing Code
 The 2017 National Electrical Code
 Applicable Administrative Codes

Permit holder is responsible for checking with the permit office to verify current adopted codes and any amendments to current codes.

Code requirements per permit office take precedence over all detailing and specifications in plans.

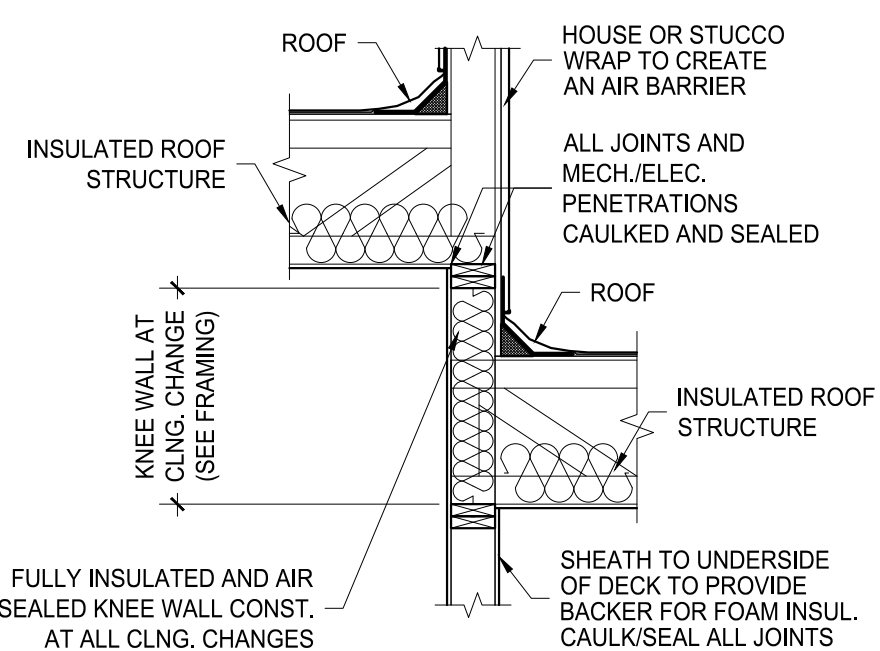
GENERAL SITE NOTES

- SEE BUILDER FOR ALL EXTERIOR FLATWORK LOCATIONS.
- SEE BUILDER FOR ALL YARDWALL LOCATIONS.
- PROVIDE SILT FENCING @ PROPERTY LINES FOR DURATION OF CONSTRUCTION OR UNTIL SITE WALLS ARE BUILT.
- UTILITIES SHALL BE LOCATED IN SHARED TRENCHES WHEREVER POSSIBLE.
- LIMITS OF CLEARING & GRADING SHALL BE THE PROPERTY LINES OR +/- 15' FROM PERIMETER OF HOME (SEE PLAN).
- PROVIDE PERMEABLE DRIVEWAY AND WALKWAY SURFACES WHERE POSSIBLE. FOR CITY LOTS, INFILL LOTS AND MASTER PLANNED COMMUNITIES & SUBDIVISIONS, ALL DRIVEWAY MATERIALS SHALL BE BUILT AS PER ZONING CODE OR COVENANTS. CONTRACTOR SHALL CONFIRM PRIOR TO CONSTRUCTION.
- "NO DISTURBANCE" ZONES SHALL BE CREATED w/ FENCING OR FLAGGING, AND LABELED AS SUCH IN ORDER TO PROTECT VEGETATION AND SENSITIVE AREAS ON THE LOT FROM CONSTRUCTION ACTIVITY.
- FINISHED GRADE AT ALL SIDES OF THE BUILDING SHALL BE SLOPED TO PROVIDE A MINIMUM OF 6" (152MM) OF FALL WITHIN 10' (3048MM) OF THE EDGE OF THE BUILDING. WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6" (152MM) OF FALL WITHIN 10' (3048MM), THE FINAL GRADE SHALL BE SLOPED AWAY FROM THE EDGE OF THE BUILDING AT A MINIMUM SLOPE OF 2%.
- SPECIFICATIONS OF ANY SOILS REPORT OR GRADING DESIGN FOR THIS PROPERTY SHALL TAKE PRECEDENCE OVER ANY SPECIFICATIONS IN THIS SET OF DRAWINGS.
- SEE BUILDER FOR PREFERRED METHOD OF SOIL GAS MITIGATION.
- SEE BUILDER FOR WELL, SEPTIC, AND LEACH FIELD LOCATIONS.
- ALL COLORS AND MATERIALS SHALL BE DESIGNATED PER ANY APPLICABLE ASSOCIATIONS.

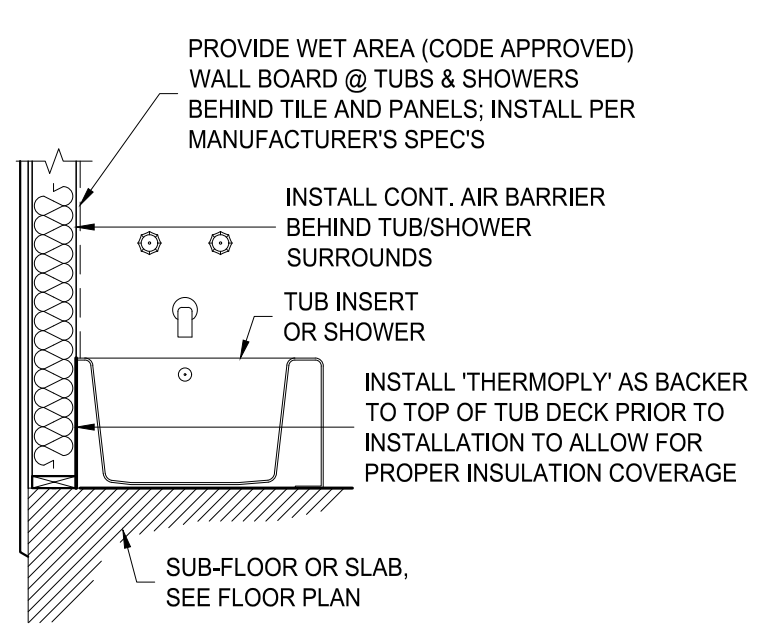


- INSTALL WRAP AT SILL AND FOLD UP.
- INSTALL WINDOW WITH CAULKING BEHIND NAIL FIN (CAULK AT TOP & SIDES ONLY). DO NOT CAULK BOTTOM.
- INSTALL WRAP AT JAMBS OVERLAPPING WRAP AT SILL.
- CUT HOUSE WRAP AT TOP OF OPENING AND FOLD UP.
- INSTALL WRAP AT HEAD.
- FOLD HOUSE WRAP OVER THE TOP OF WRAP AT TOP OF WINDOW AND TAPE HOUSE WRAP CUTS.
- MAKE SURE TO LIFT SILL WRAP OVER HOUSE WRAP AND WRAP UP AROUND BOTTOM CORNERS AS REQUIRED.

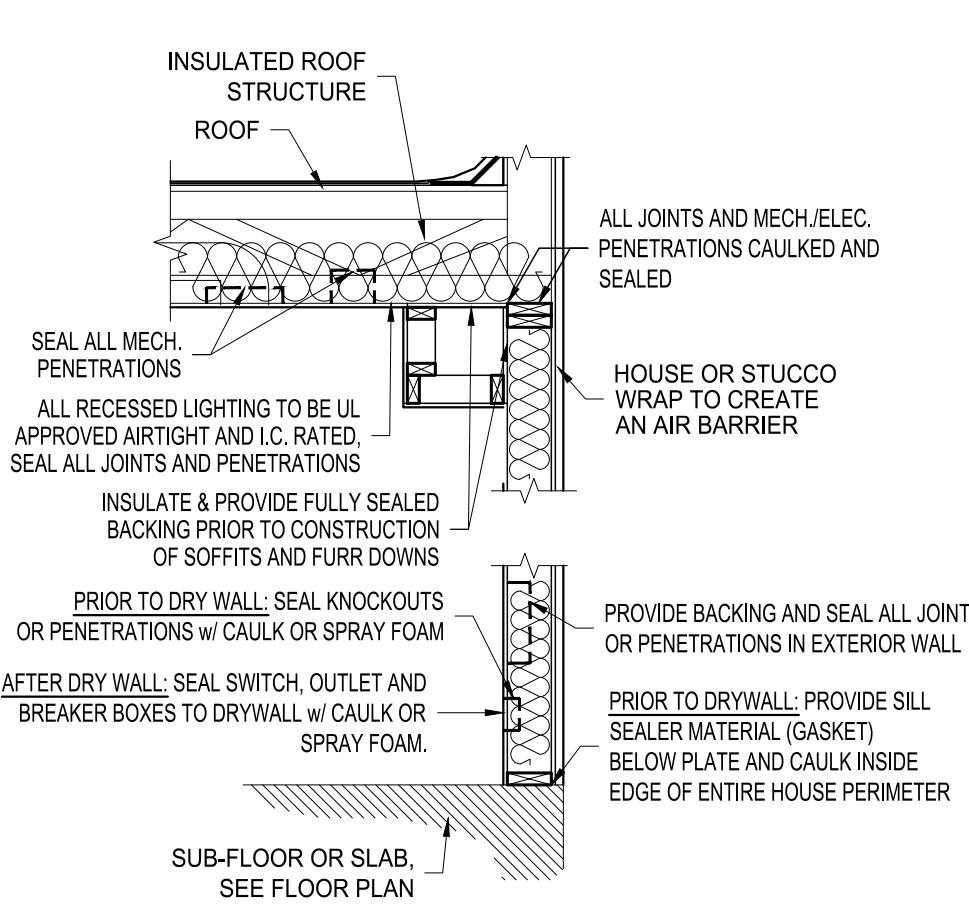
1 WINDOW FLASHING DET'L
 C1 NOT TO SCALE



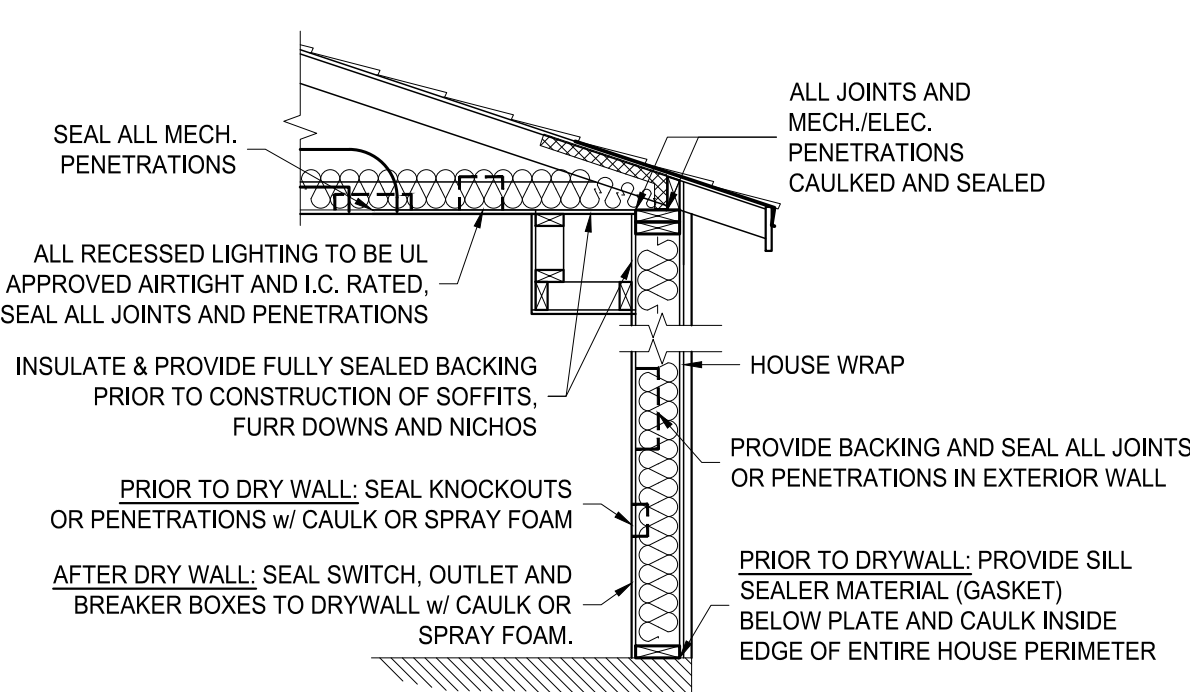
2 THERMAL BYPASS AT CLNG. CHANGE
 C1 NOT TO SCALE



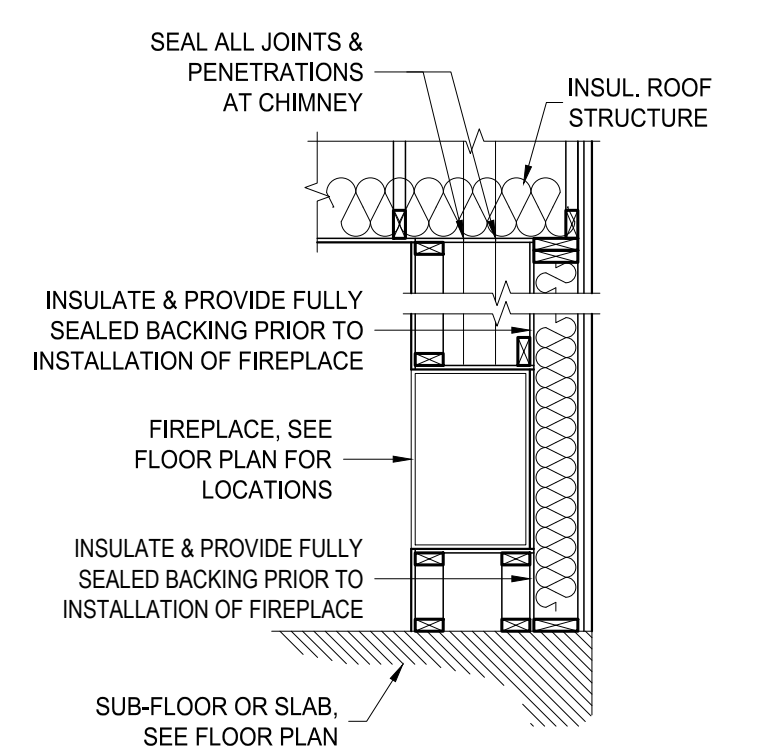
3 THERMAL BYPASS AT TUBS/SHWRS
 C1 NOT TO SCALE



4 THERMAL BYPASS AT EXT. WALLS
 C1 NOT TO SCALE



5 THERMAL BYPASS AT EXT. WALLS
 A1 NOT TO SCALE



6 THERMAL BYPASS AT FIREPLACES
 C1 NOT TO SCALE

PROJECT ADDRESS:
8400 FLORENCE AVE NE
ALBUQUERQUE, NM 87122
 ARCHITECT:
TWILIGHT HOMES

PROJECT NAME:
adwelling
 DESIGN

PROJECT NUMBER:
2302
 PROJECT PROGRESS:
FINAL
 DRAWN BY:
ADWELLING
 CHECKED BY:
CW CW
 DATE:
07.13.23
 SCALE:
AS NOTED
 SHEET:
C1

COVER SHEET, SITE PLAN, & THERMAL BYPASS DETAILS
 HOWARD RESIDENCE

9 TOTAL SHEETS

