



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms P & P2)	PRE-APPLICATIONS
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input checked="" type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of SW (Form S3)	APPEAL
<input type="checkbox"/> Extension of IIA: Temp. Def. of SW (Form S3)	<input type="checkbox"/> Administrative Decision (Form A)

BRIEF DESCRIPTION OF REQUEST

The purpose of the plat is to define the exterior boundary of Tract 12-A-1 of El Rancho Grande I, Grant a PNM Electrical Easement and Dedicate Additional Right-of-Way to the City of Albuquerque.

APPLICATION INFORMATION

Applicant/Owner: City of Albuquerque - Department of Municipal Development		Phone:
Address: P.O. Box 1293		Email:
City: Albuquerque	State: NM	Zip: 87103
Professional/Agent (if any): JAG Planning & Zoning - Juanita Garcia		Phone: (505) 362-8903
Address: P.O. Box 7857		Email: jag@jagpandz.com
City: Albuquerque	State: NM	Zip: 87194
Proprietary Interest in Site: Owner	List all owners: City of Albuquerque	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Tract 12-A-1	Block:	Unit:
Subdivision/Addition: Bulk Plat for El Rancho Grande I	MRGCD Map No.:	UPC Code: 100905426724540104
Zone Atlas Page(s): N-9	Existing Zoning: NR-SU (RZ-2023-0035)	Proposed Zoning No Change
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 6.796

LOCATION OF PROPERTY BY STREETS

Site Address/Street: Unaddressed Site on Amole Mesa RD SW Between: 98th ST SW and: Vermejo Drive Park SW

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

PR-2023-009216, RZ-2023-00035, SI-2023-01498, SI-2024-00096

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature: <i>Juanita Garcia</i>	Date: 7/1/2024
Printed Name: Juanita Garcia - JAG Planning & Zoning, LLC	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FORM S3: ADMINISTRATIVE APPLICATIONS – Development Facilitation Team (DFT) as of 12/25/2022 **AMENDMENT TO INFRASTRUCTURE LIST**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Proposed Amended Infrastructure List
- ___ 6) Original Infrastructure List

 TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) A scale drawing showing the location of the deferred sidewalk with appropriate dimensions

 EXTENSION OF THE IIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled

- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Letter describing, explaining, and justifying the deferral or extension
- ___ 6) Drawing showing the sidewalks subject to the proposed deferral or extension

INFRASTRUCTURE LIST EXTENSION OR AN INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA) EXTENSION

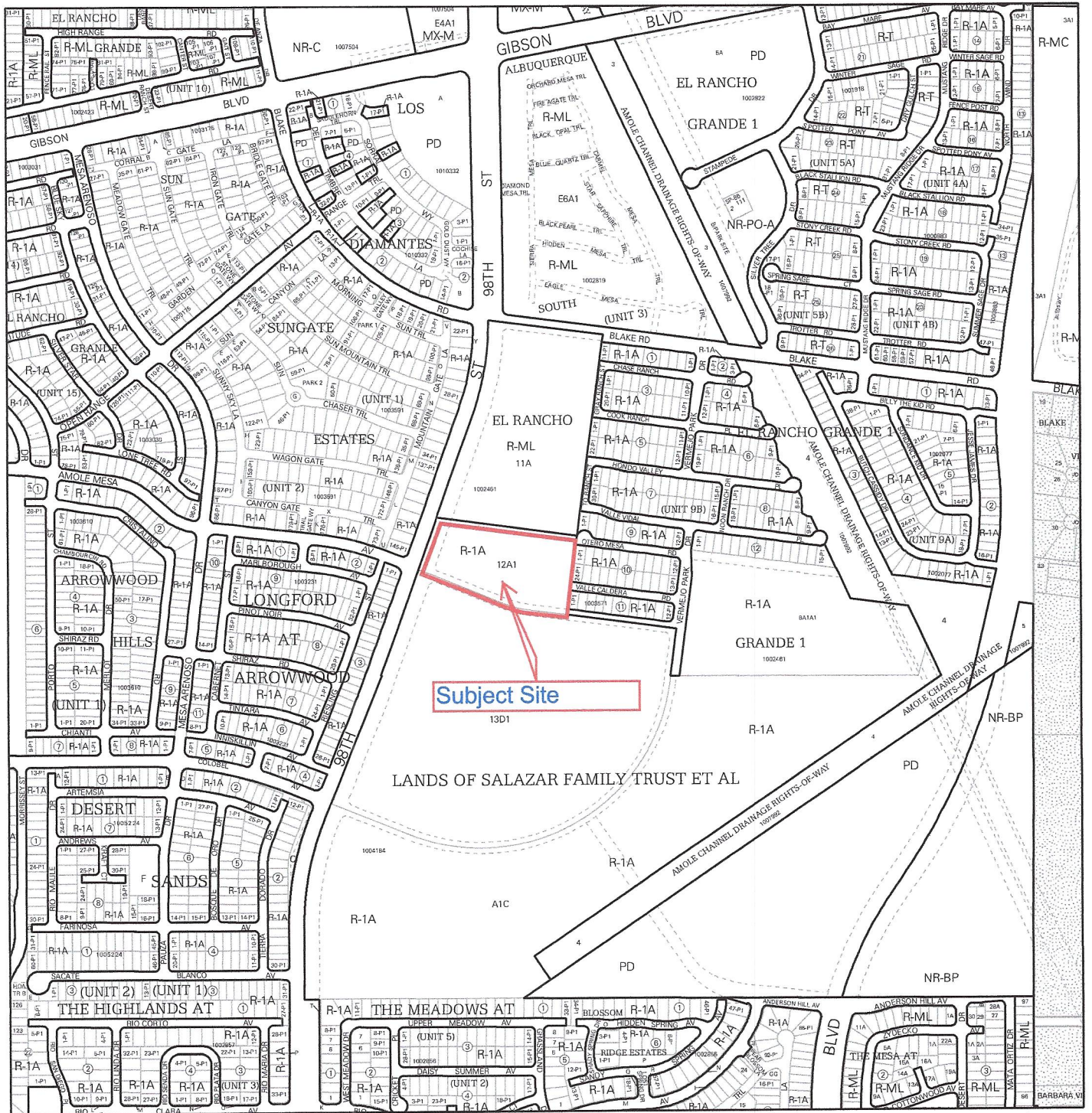
A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form S3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Letter describing, explaining, and justifying the request per IDO Section 14-16-6-4(X)(4)
- ___ 6) Preliminary Plat or Site Plan
- ___ 7) Copy of DRB approved Infrastructure List
- ___ 8) Copy of recorded IIA

SKETCH PLAT OR SKETCH PLAN REVIEW AND COMMENT

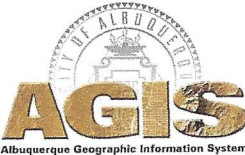
A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- 1) DFT Application form completed, signed, and dated
- 2) Form S3 with all the submittal items checked/marked
- 3) Zone Atlas map with the entire site clearly outlined and labeled
- 5) Letter describing, explaining, and justifying the request
- 6) Scale drawing of the proposed subdivision plat or Site Plan
- 7) Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use



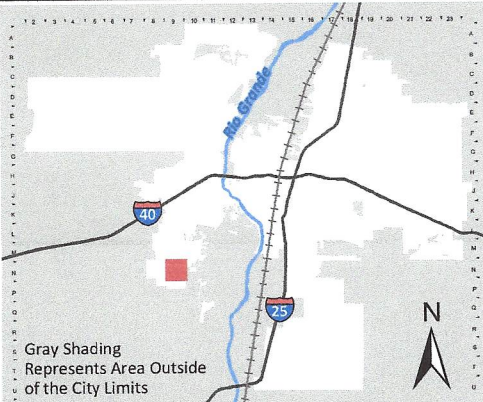
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>









IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
N-09-Z



-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits

N

0 250 500 1,000
Feet



July 2, 2024

Development Facilitation Team (DFT)
City of Albuquerque, Planning Department
600 2nd Street NW, Albuquerque NM 87102

Development Facilitation Team:

JAG Planning & Zoning, agent for City of Albuquerque, Department of Municipal Development, respectfully requests your review of a proposed Sketch Plat Application for an unaddressed property located on Amole Mesa Road SW and is legally described as **Tract 12-A-1, Bulk Plat for El Rancho Grande I**, and containing approximately 6.796 acres. The new legal description will be **Tract 12-A-1-A, El Rancho Grande I**, and will contain approximately 5.6854 acres. The site is not within an Overlay Zone, as identified within the Integrated Development Ordinance (IDO).

The purpose of the plat is to define the exterior boundary of Tract 12-A-1, El Rancho Grande I since the subject property was originally created through a Bulk Plat. In addition, the proposed plat will grant a PNM Electrical Easement and will also dedicate additional right-of-way to the City of Albuquerque to widen 98th ST SW and Amole Mesa RD SW.

The site contains a site plan that was granted approval by the Environmental Planning Commission on October 19, 2023 (SI-2023-01498) and by the Development Facilitation Team on February 14, 2024 (SI-2024-00096). The site's zone category was changed from R-1A to NR-SU (RZ-2023-0035) also on October 19, 2023.

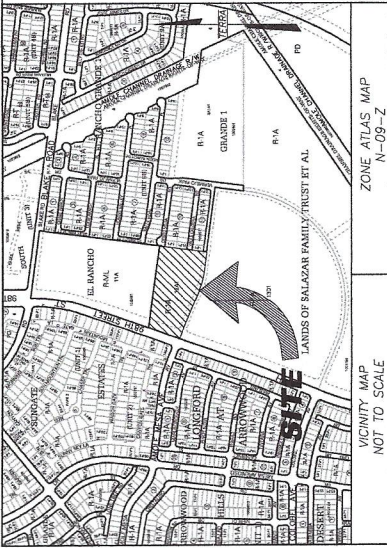
Thank you for your consideration on this matter. I can be reached at (505) 362-8903 or at jag@jagpandz.com.

Sincerely,



Juanita Garcia
Principal

JAG Planning and Zoning, LLC



PURPOSE OF PLAT:
 THE PURPOSE OF THIS PLAT IS TO DEFINE THE EXTERIOR BOUNDARY OF TRACT 12-A-1 OF EL RANCHO GRANDE I, SHOW A PNM ELECTRICAL EASEMENT AND DEDICATE ADDITIONAL RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE AS SHOWN HEREON.

SUBMISSION DATA:
 DRB PROJ. NO. _____ GROSS SUBDIVISION ACREAGE 6.7832 ACRES
 ZONE ATLAS INDEX NO. N-09-Z R-1A
 DATE OF SURVEY, MARCH 2023 & MARCH 2024 CURRENT ZONING R-1A
 TOTAL NO. OF LOTS EXISTING 1
 TOTAL NO. OF LOTS CREATED 0
 TOTAL MILEAGE OF STREETS CREATED 0.0 MILES
 TOTAL MILEAGE OF 1/2" WIDTH STREETS CREATED 0.0 MILES

- NOTES:**
- FIELD SURVEY PERFORMED IN MARCH 2023 AND MARCH 2024.
 - ALL DISTANCES SHOWN ARE GROUND DISTANCES.
 - ALBUQUERQUE CONTROL STATIONS USED:
 ALBUQUERQUE CONTROL STATION "3-A10" DATA:
 STANDARD CITY OF ALBUQUERQUE 3 1/4" INCH ALUMINUM CAP (FOUND IN PLACE)
 NAD 1983 NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE)
 X=1,497,276.885 US SURVEY FEET Y=1,489,674.583 US SURVEY FEET
 ELEV.=5,036.465 US SURVEY FEET (MWD 1989)
 GROUND TO GRID FACTOR = 0.999669488 DELTA ALPHA = (-)00'16".28.38"
 ALBUQUERQUE CONTROL STATION "2-IP9" DATA:
 STANDARD CITY OF ALBUQUERQUE 3 1/4" INCH DISC (FOUND IN PLACE)
 NAD 1983 NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE)
 X=1,497,276.885 US SURVEY FEET Y=1,489,674.583 US SURVEY FEET
 ELEV.=5,036.465 US SURVEY FEET (MWD 1989)
 GROUND TO GRID FACTOR = 0.999669488 DELTA ALPHA = (-)00'16".28.38"
 - BASIS OF BEARING — MGD 83 STATE PLANE, NM CENTRAL ZONE GRID BEARINGS USING FOUND MONUMENTS REFERENCED ABOVE IN NOTE NO. 3. (S28°10'48"W).
 - CORNERS IDENTIFIED AS "SET", ARE 1/2" REBAR WITH CAP STAMPED "CA MEDINA PS 15702", AND DEPICTED AS , UNLESS OTHERWISE INDICATED.
 - BEARINGS AND DISTANCES SHOWN IN PARENTHESIS () ARE PER REFERENCED PLAT REFERENCED IN DOCUMENTS USED.
 - SUBJECT PROPERTY IS LOCATED WITHIN ZONE X (OTHER AREAS). AREAS DETERMINED TO BE WITHIN ZONE X ARE SHOWN WITHIN THE BOUNDARIES OF THE ZONE X AREAS ON THE PLAT MAP, BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS PANEL 438 OF 623, MAP NO. 35001G0336H, EFFECTIVE DATE AUGUST 16, 2021.
- SOLAR COLLECTOR NOTE:**
 NO PROPERTY WITHIN THE AREA OF THIS PLATING SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTIONS OR EASEMENTS THAT WOULD PREVENT THE INSTALLATION OF SOLAR ENERGY BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT.
- SURVEYOR'S CERTIFICATE:**
 I, CHRISTOPHER A. MEDINA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 15702, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT THE SURVEYING OPERATIONS FOR THIS PLAT WERE CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACT AND THE RULES AND SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST, MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE LEGISLATURE AND THE BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS (MPE&S) IN 2022, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
- CHRISTOPHER A. MEDINA, NMPLS NO. 15702 _____ DATE _____

LEGAL DESCRIPTION:
 TRACT 12-A-1-A-1 OF EL RANCHO GRANDE I, AS THE SAME IS SHOWN AND DESIGNATED ON THAT CERTAIN PLAT ENTITLED, "BULK PLAT FOR EL RANCHO GRANDE I, TRACTS 8-A, 9-B-1, 9-B-2, 11-A, 12-A-1, 12-A-2 AND 13-D" RECORDED WITH THE BERNALILLO COUNTY CLERK'S OFFICE ON MARCH 21, 2003, IN BOOK 2003C, PAGE 73, SITUATE WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, SAID TRACT OF LAND HEREIN DESCRIBED CONTAINS 6.7832 ACRES (295,474.36 SQUARE FEET) MORE OR LESS.

FREE CONSENT AND DEDICATION:
 THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THAT CERTAIN TRACT OF LAND HEREIN DESCRIBED AND BEING COMPRISED OF TRACT 12-A-1-A-1 OF EL RANCHO GRANDE I, AS THE SAME IS SHOWN AND DESIGNATED ON THAT CERTAIN PLAT ENTITLED, "BULK PLAT FOR EL RANCHO GRANDE I, TRACTS 8-A, 9-B-1, 9-B-2, 11-A, 12-A-1, 12-A-2 AND 13-D" RECORDED WITH THE BERNALILLO COUNTY CLERK'S OFFICE ON MARCH 21, 2003, IN BOOK 2003C, PAGE 73, SITUATE WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, SAID TRACT OF LAND HEREIN DESCRIBED CONTAINS 6.7832 ACRES (295,474.36 SQUARE FEET) MORE OR LESS.

BY: _____ DATE _____
 CITY OF ALBUQUERQUE, TRACT 12-A-1-A, EL RANCHO GRANDE I
 ACKNOWLEDGMENT _____
 STATE OF _____) SS.
 COUNTY OF _____)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF _____, 2024, BY CITY OF ALBUQUERQUE, TRACT 12-A-1-A, EL RANCHO GRANDE I

NOTARY PUBLIC: _____
 MY COMMISSION EXPIRES: _____

DOCUMENTS USED:

- PLAT ENTITLED, "BULK LAND PLAT FOR EL RANCHO GRANDE I, TRACTS 8-A, 9-B-1, 9-B-2, 11-A, 12-A-1, 12-A-2 AND 13-D" FILED ON MARCH 21, 2003, IN BOOK 2003C, PAGE 73 AS DOCUMENT NUMBER 2003045825 WITH THE BERNALILLO COUNTY CLERK'S OFFICE.
- PLAT ENTITLED, "PLAT FOR EL RANCHO GRANDE I, UNIT 9-B SUBDIVISION" FILED ON JUNE 27, 2005, IN BOOK 2005C, PAGE 224 AS DOCUMENT NUMBER 2005091437 WITH THE BERNALILLO COUNTY CLERK'S OFFICE.
- PLAT ENTITLED, "BULK LAND TRACTS A-1 AND 13-D-1, LANDS OF SALAZAR FAMILY TRUST, ET AL" FILED ON JULY 8, 2005, IN BOOK 2005C, PAGE 240 AS DOCUMENT NUMBER 2005098556 WITH THE BERNALILLO COUNTY CLERK'S OFFICE.
- DOCUMENT ENTITLED "PERMANENT EASEMENT", FILED ON JULY 12, 2005, IN BOOK 489, PAGE 9722 AS DOCUMENT NUMBER 2003100425 WITH THE BERNALILLO COUNTY CLERK'S OFFICE.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PUBLIC SERVICE OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND ANY OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
- NEW MEXICO GAS COMPANY ("NMGC") FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
- CENTURY LINK FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- CONTRACT FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MAINTAIN, OPERATE, REPAIR, ALTER, IMPROVE, ENLARGE, EXTEND, OR OTHERWISE USE, AND TO INSTALL, MAINTAIN, OPERATE, REPAIR, ALTER, IMPROVE, ENLARGE, EXTEND, OR OTHERWISE USE, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF ANY OTHER PERSONS, FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, POLES, TOWER, LIGHT TOWER, AND BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE) HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERCTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.
 IN APPROVING THIS PLAT, PUBLIC SERVICE OF NEW MEXICO (PNM), NEW MEXICO GAS COMPANY (NMGC) AND CENTURY LINK DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON, CONSEQUENTLY, PNM, NMGC, AND CENTURY LINK DO NOT WAIVE OR RELEASE ANY EASEMENTS OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

INDEXING INFORMATION FOR THE COUNTY CLERK:
 OWNER: CITY OF ALBUQUERQUE
 LEGAL: TRACT 12-A-1-A, EL RANCHO GRANDE I
 LOCATION: PROJECTED SECTION 4, T.9N., R.2E., N.M.P.M., TOWN OF ATRISCO GRANT

**SKETCH PLAT OF
 TRACT 12-A-1-A
 EL RANCHO GRANDE I
 SITUATE WITHIN
 PROJECTED SECTION 4, T. 9 N., R. 2 E., N.M.P.M.
 TOWN OF ATRISCO GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE 2024**

PROJECT NUMBER: _____	DATE _____
APPLICATION NUMBER: _____	DATE _____
UTILITY APPROVALS:	
PUBLIC SERVICE OF NEW MEXICO	DATE _____
NEW MEXICO GAS COMPANY	DATE _____
CENTURY LINK	DATE _____
XFINITY	DATE _____
CITY APPROVALS:	
CITY OF ALBUQUERQUE SURVEYOR	DATE _____
ENVIRONMENTAL HEALTH	DATE _____
CODE ENFORCEMENT	DATE _____
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE _____
ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY	DATE _____
PARKS & RECREATION DEPARTMENT	DATE _____
A.M.A.F.C.A.	DATE _____
CITY ENGINEER	DATE _____
HYDROLOGY	DATE _____

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UNIFORM PROPERTY CODE # 1-1-009-094-267245-4-01-04
 PROPERTY OWNER OF RECORD: CITY OF ALBUQUERQUE

BERNALILLO COUNTY TREASURER'S OFFICE: _____

TERRA LAND SURVEYS, LLC
 P.O. BOX 2832 • CORRALLES, NM 87048 • (505) 792-0513

EASEMENT NOTES:
 A 78.0' PUBLIC ROADWAY AND UTILITY EASEMENT FILED: 03/21/2003 BK. 2003C, PG. 73 DOC.# 2003045825
 B 60.0' PUBLIC ROADWAY UTILITY AND DRAINAGE EASEMENT FILED: 03/21/2003 BK. 2003C, PG. 73 DOC.# 2003045825
 C PERMANENT EASEMENT FILED: 06/27/2005 BK. 2005C, PG. 224 DOC.# 2005081437
 D BLANKET DRAINAGE EASEMENT ON THE ENTIRE TRACT 11-A, 9-B-1, 9-B-2, 11-A, 12-A-1 AND 13-D FILED: 07/23/2003 BK. 2003C, PG. 223 DOC.# 2003127851

**SKETCH PLAT OF
 TRACT 12-A-1-A
 EL RANCHO GRANDE I
 SITUATE WITHIN
 PROJECTED SECTION 4, T. 9 N., R. 2 E., N.M.P.M.
 TOWN OF ATRISCO GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE 2024**

TRACT 11-A
 EL RANCHO GRANDE I
 03/21/2003
 BK. 2003C, PG. 73
 DOC.# 2003045825

TRACT 12-A-1-A
 (247,655.46 SQ. FT.)
 (5.6654 AC.)

TRACT 13-D-1
 LANDS OF SALAZAR
 FAMILY TRUST, ET AL
 07/08/2005
 BK. 2005C, PG. 240
 DOC.# 2005098556

LEGEND
 ▲ CONTROL MONUMENT (AS NOTED)
 ⊠ FOUND REBAR (AS NOTED)
 ⊞ FOUND PK NAIL (AS NOTED)
 ● SET 1/2" REBAR WITH CAP STAMPED "CA MEDINA PS 15702"

98TH STREET DEDICATE ADDITIONAL RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE
 AMOLE MESA AVENUE DEDICATE ADDITIONAL RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE

LINE	BEARING	DISTANCE
E1	S82°18'31"W	3.30'
E2	S67°26'09"E	3.30'
E3	N22°33'51"E	1.9588'
E4	S27°04'17"E	24.00'
E5	S27°04'17"E	24.00'
E6	S37°55'13"W	17.21'
E7	N22°04'47"W	14.00'
E8	S22°33'51"W	1.5542'
E9	S27°04'17"E	3.30'
E10	S67°26'09"E	3.30'
E11	S27°04'17"E	40.00'
E12	N82°30'51"W	17.60'



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	600.00'	124.31'	131.80'	N69°11'15"W	14.44°
C2	150.00'	15.21'	15.79'	N82°11'15"W	87.58°

TERRA LAND SURVEYS, LLC
 P.O. BOX 7852 • CORRALLES, NM 87048 • (505) 792-6813



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

October 19, 2023

City of Albuquerque
Fire and Rescue
PO Box 1293
Albuquerque, NM 87103

Project # PR-2023-009216
RZ-2023-00035– Zoning Map Amendment
(Zone Change)
SI-2023-01498– Site Plan - EPC

LEGAL DESCRIPTION:

Consensus Planning, Inc., Jackie Fishman, agent for the City of Albuquerque Fire and Rescue, requests a Zoning Map Amendment from R-1A to NR-SU, and an associated Site Plan - EPC for all or portion of Tract 12-A-,1 Bulk land plat for El Rancho Grande Tracts 8-A, 9-B-1, 9-B-2, 11-A, 12-A-1, 12-A-2 & 13-D, located at the intersection of the northeast corner of 98th St. and Amole Mesa Ave. SW, approximately 7 acres. (N-09-Z)
Staff Planners: William Steele & Megan Jones

On October 19, 2023 the Environmental Planning Commission (EPC) voted to APPROVE Project # PR-2023-009216, RZ-2023-00035– Zoning Map Amendment (Zone Change), based on the following Findings:

FINDINGS RZ-2023-00035

1. This request is for a Zoning Map Amendment for an approximately 7-acre site legally described as Tract 12-A-1 Bulk land plat for El Rancho Grande Tracts 8-A, 9-B-1, 9-B-2, 11-A, 12-A-1, 12-A-2 & 13-D, located at the intersection of the northeast corner of 98th St. and Amole Mesa Ave. SW (the “subject site”)
2. The applicant is requesting a zone change from R-1A (Residential Single-Family) to NR-SU (Non-residential – Sensitive Use), which would create a spot zone.
3. The request would facilitate development of a Fire and Police Station, which requires a NR-SU zoning designation. Fire and Police Stations are required to be submitted via a Site Plan - EPC pursuant to the NR-SU zoning district in accordance with IDO section 14-16-2-5(E). The Site Plan associated with this request shall be reviewed by the EPC in conjunction with the zone change request.
4. The subject site is in an Area of Consistency and is not in a designated center or along a designated corridor.

5. In 2021, Mid-Region Council of Governments conducted a site feasibility study for a new Fire Station on the Southwest Mesa area at the behest of the City Council. It was concluded that the subject site would be appropriate for a new Fire and Police Station which would be home to a Public Safety Center.
6. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
7. The request clearly facilitates the following Comprehensive Plan policy from Chapter 4: Community Identity

Policy 4.1.2 – Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The proposed development of a Fire and Police station would help protect the identity and cohesiveness of the surrounding residential neighborhood by specifying specifies uses, site standards, and development standards pursuant to the NR-SU zone district. The proposed standards are of similar scale to the surrounding area. The applicant has demonstrated that the zone change would facilitate development meets edge buffer requirements and is an appropriate location for a public safety complex in an established neighborhood. The building design is consistent with other City Fire Departments.

8. The request clearly facilitates the following Comprehensive Plan Goals and Policies regarding land use, efficient development patterns, and infill development from Chapter 5: Land Use.
 - A. 5.2.1 – Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request to change the subject sites zoning to NR-SU for the development of a Fire, Police station and community safety department would contribute to creating a healthy and sustainable community. The request would facilitate development of Fire and Police station uses that are lacking in the surrounding residential area. Additionally, a community meeting room and future city parks and transit uses are proposed on site, which is conveniently accessible form surrounding neighborhoods via streets, adequate sidewalk infrastructure, bike routes, and transit.

- B. Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would generally promote efficient use of the land by facilitating development that maximized the utility of existing infrastructure and public facilities including streets, transit, and water and sewer services.

- C. Policy 5.3.1 – Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The request would support growth on a vacant infill site within an existing residential area. The proposed development would be served by existing infrastructure and public facilities.

9. The request clearly facilitates the following Comprehensive Plan Goals and Policy City development from Chapter 5: Land Use

- A. Goal 5.6 City Development areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is in an Area of Consistency where development is expected to be consistent with the established character of the surrounding context. The NR-SU Site Plan established the Fire and Police Station use, Site Standards, and development standards that ensure the intensity of the surrounding residential area is not adversely affected.

- B. Policy 5.6.3 Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

The subject site is outside of designated Centers and Corridors and enhances the character of the surrounding neighborhoods. The applicant has demonstrated that the proposed development is an appropriate scale to the surrounding neighborhood through proposed building standards, including heights, setbacks, landscaping, and edge buffering, which are negotiated at the EPC with the NR-SU Site Plan.

10. The request clearly facilitates the following Comprehensive Plan Goals and Policies regarding Infill and Development Quality from Chapter 7: Urban Design

- A. Policy 7.3.4 Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

The subject site is a vacant lot in a developing residential area. Proposed development of the infill site would enhance the built environment and blend in style with the surrounding neighborhood and establishes sidewalk infrastructure and landscaping along Amole Mesa Ave.

- B. Policy 7.3.5 Development Quality: Encourage innovative and high-quality design in all development.

The request would facilitate development of a Fire and Police Station. The proposed Site Plan specifies building design, site, and development standards that would ensure high quality design.

- C. Policy 7.5.1 Landscape Design: Encourage landscape treatments that are consistent with the high desert climate to enhance our sense of place.

The landscape plan proposes a plant list that is pursuant to the City's approved Plant Palette containing only low water usage plants that are consistent with the high desert climate. The Landscape plan also follows all IDO section 5-6 Landscaping, Buffering and screening requirements and contributes to sense of place.

11. The request clearly facilitates the following Comprehensive Plan Goals and Policy regarding Community Facilities from Chapter 12: Infrastructure, Community Facilities & Services

- A. Goal 12.2 Community Facilities: Provide community facilities that have convenient access and a wide range of programs for residents from all cultural, age, geographical, and educational groups to enhance quality of life and promote community involvement.

The request would provide an ABQ Fire Station, Police substation, and Community Safety Department (ACSD), that can be conveniently accessed by the surrounding residential neighborhoods from 98th street NW. The ACSD is proposed to have a community meeting space for educational opportunities for persons of all ages, which could generally promote community involvement.

- B. Policy 12.2.3 New Facilities: Locate new facilities in areas with excellent access to provide services to underserved and developing areas.

The request would provide a new Fire and Police station in a developing area that does not have immediate access to these public services. Services would be provided to an underserved area and can be accessed from 98th Street NW, via sidewalk infrastructure, bike lanes, and transit.

12. The request clearly facilitates the following Comprehensive Plan Goals and Policies regarding Public Services from Chapter 12: Infrastructure, Community Facilities & Services

- A. Goal 12.3 Public Services: Plan, coordinate, and provide efficient, equitable, and environmentally sound services to best serve residents and protect their health, safety, and well-being.

The City has planned and coordinated to provide a new Fire, Police and Community Safety department, an efficient and equitable use, to best serve residents of the surrounding area to protect their health safety and well-being.

- B. Policy 12.3.1 Access to Public Services: Maximize residents' access to public services and distribute services equitably, whether they are provided by the City or County or in partnership with other agencies.

The request would maximize residents' access to Public Safety services in an underserved area of the City. There is not a Fire or Police station in the general vicinity of the subject site and the development would help to distribute these services equitably throughout the city.

- C. Policy 12.3.3 Fire and Rescue: Provide comprehensive fire and rescue and emergency medical services to save and protect lives, property, and the environment in cooperation with the public and other agencies.

The request would facilitate development of a City Fire Station, which would provide fire and rescue EMS services to the surrounding community to help save and protect lives and property.

- D. Policy 12.3.4 Police and Sheriff: Maintain a safe and secure community by providing crime prevention, police protection, law enforcement, and investigative services in cooperation with the public and other agencies.

The request would facilitate development of a Police Substation, which would provide crime prevention, police protection, law enforcement, and investigative services in an underserved area of the City.

13. The request clearly facilitates Comprehensive Plan Goals Goal 12.5 Resources: Identify and allocate sufficient resources to support infrastructure, community facility, and public service needs in order to invest public dollars efficiently and effectively and to maintain a sound fiscal position.

The City is allocating public resources to support a public service development including a Fire, Police Station, and Community Safety Department. The resource would support infrastructure needs for the area and would generally result in an efficient investment of public dollars.

14. The applicant has adequately justified the request pursuant to the Integrated Development Ordinance (IDO) Section 14-16-6-7(G)(3)-Review and Decision Criteria for Zoning Map Amendments, as follows:

- A. Criterion A: The applicant's policy-based response demonstrates that the request clearly facilitates a preponderance of applicable ABC Comprehensive Plan Goals and Policies (and other applicable City Plans), therefore, the request is consistent with the City's health, safety, morals and general welfare.

- B. Criterion B: The applicant's policy-based response adequately demonstrates that the request clearly facilitates a preponderance of applicable Goals and Policies regarding Identity and Design, Land Uses, City Development Areas, Efficient Development Patterns, Infill Development, Community Facilities, Public services, and Resources and does not present any significant conflicts with the Comprehensive Plan. Therefore, the request is consistent with the City's health, safety, and general welfare.

- C. Criterion C: The subject site is located wholly in an area of consistency; therefore, this criterion does not apply.

- D. Criterion D: The requested zone change to NR-SU is required for the development of Fire and Police Stations pursuant to IDO section 2-5(E), in conjunction with a Site Plan-EPC review. The Site Plan and zone change are mutually supportive. shall specify specifies uses, site standards, and development standards, which are approved with the associated zone change for the request. Where the Site Plan is Silent, applicable IDO standards apply.

There are no Use Specific Standards for Fire and Police Stations and the applicant has provided a table demonstrating that the proposed development would follow all applicable IDO standards, mitigating potential harmful impacts on the surrounding community to the greatest extent possible. Future development could not occur on site without a Major or Minor amendment. Staff generally agrees with the discussion and that any potential harm to the surrounding properties, the neighborhood, or the community could be mitigated.

- E. Criterion E: The request meets the requirement that the City's existing infrastructure and public improvements adequately serve the subject site and have adequate capacity to serve the development made possible by the change of zone.

- F. Criterion F: The applicant's justification is not based on the subject site's location along a major street, although access off of 98th street for public safety uses fire and police are taken into consideration. The subject site is not within a Comp Plan Corridor. The applicant adequately justifies the request based on applicable Comprehensive Plan goals and policies and for the need of fire protection services in the area.
- G. Criterion G: The cost of land and economic considerations are not the factor for the requested zone change. The applicant's justification is based predominantly on providing fire and police services to an underserved area, which has been demonstrated to clearly facilitate applicable Comprehensive Plan Goals and policies.
- H. Criterion H: Criterion H is a two-part test which the request generally meets. The request to NR-SU would create a spot zone. The applicant has demonstrated that the request would (1) clearly facilitate implementation of several applicable goals and policies of the ABC Comp Plan from Chapters 4-Community Identity, 5-Land Use, 7-Urban Design, and 12-Infrastructure, Community Facilities and Services. The NR-SU zone district would facilitate development of a Public Safety complex, including a Fire and Police Station, which requires the NR-SU Zoning designation and A Site Plan to be reviewed by the EPC.

The subject site is surrounded by residential land uses with no Fire or Police Stations in the immediate vicinity. The applicant claims that the subject site is not suitable for single-family residential uses due to traffic along 98th street, an Urban Principal Arterial. A Fire and Police Station use would benefit the safety of the surrounding community, residential uses, and schools nearby.

- 15. There are no affected registered neighborhood organizations for the subject site, but property owners within 100 feet of the subject site were notified as required.
- 16. A pre-application facilitated neighborhood meeting was not held and no opposition or support is known for the request.
- 17. As of this writing, Staff is unaware of any opposition.

On October 19, 2023 the Environmental Planning Commission (EPC) voted to APPROVE Project # PR-2023-009216, SI-2023-01498 – Site Plan - EPC based on the following Findings and subject to the following Conditions of Approval:

FINDINGS SI-2023-01498

- 1. This request is for a Site Plan-EPC for an approximately 7-acre site which is legally described as Tract 12-A-1 Bulk land plat for El Rancho Grande Tracts 8-A, 9-B-1, 9-B-2, 11-A, 12-A-1, 12-A-2 & 13-D, located at the intersection of the northeast corner of 98th St. and Amole Mesa Ave. SW (the "subject site").

2. The request would facilitate the development of a Fire and Police Station, which requires a NR-SU zoning designation. Fire and Police Stations are required to be submitted via a Site Plan - EPC pursuant to the NR-SU zoning district in accordance with IDO section 14-16-2-5(E).
3. The proposed Site Plan is being reviewed in conjunction with the requested NR-SU zone designation.
4. The proposed Site Plan is comprised of three buildings: a Fire Department, Police Department, and the Albuquerque Community Safety Department. Associated Site work including Parking, Landscaping, Grading and Drainage, Utilities, and signage are included with the request
5. The subject site is in an Area of Consistency and is not in a designated center or along a designated corridor.
6. In 2021, Mid-Region Council of Governments conducted a site feasibility study for a new Fire Station on the Southwest Mesa area at the behest of the City Council. It was concluded that the subject site would be appropriate for a new Fire and Police Station which would be home to a Public Safety Center.
7. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
8. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
9. The request clearly facilitates the following Comprehensive Plan policy from Chapter 4: Community Identity

Policy 4.1.2 – Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The proposed development of a Fire and Police station would help protect the identity and cohesiveness of the surrounding residential neighborhood by specifying specific uses, site standards, and development standards pursuant to the NR-SU zone district. The proposed standards are of similar scale to the surrounding area. The applicant has demonstrated that the zone change would facilitate development meets edge buffer requirements and is an appropriate location for a public safety complex in an established neighborhood. The building design is consistent with other City Fire Departments.

10. The request clearly facilitates the following Comprehensive Plan Goals and Policies regarding land use, efficient development patterns, and infill development from Chapter 5: Land Use.
 - A. 5.2.1 – Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request to change the subject sites zoning to NR-SU for the development of a Fire, Police station and community safety department would contribute to creating a healthy and sustainable community. The request would facilitate development of Fire and Police station uses that are

lacking in the surrounding residential area. Additionally, a community meeting room and future city parks and transit uses are proposed on site, which is conveniently accessible from surrounding neighborhoods via streets, adequate sidewalk infrastructure, bike routes, and transit.

- B. Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would generally promote efficient use of the land by facilitating development that maximized the utility of existing infrastructure and public facilities including streets, transit, and water and sewer services.

- C. Policy 5.3.1 – Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The request would support growth on a vacant infill site within an existing residential area. The proposed development would be served by existing infrastructure and public facilities.

11. The request clearly facilitates the following Comprehensive Plan Goals and Policy City development from Chapter 5: Land Use

- A. Goal 5.6 City Development areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is in an Area of Consistency where development is expected to be consistent with the established character of the surrounding context. The NR-SU Site Plan established the Fire and Police Station use, Site Standards, and development standards that ensure the intensity of the surrounding residential area is not adversely affected.

- B. Policy 5.6.3 Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

The subject site is outside of designated Centers and Corridors and enhances the character of the surrounding neighborhoods. The applicant has demonstrated that the proposed development is an appropriate scale to the surrounding neighborhood through proposed building standards, including heights, setbacks, landscaping, and edge buffering, which are negotiated at the EPC with the NR-SU Site Plan.

12. The request clearly facilitates the following Comprehensive Plan Goals and Policies regarding Infill and Development Quality from Chapter 7: Urban Design

- A. Policy 7.3.4 Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

The subject site is a vacant lot in a developing residential area. Proposed development of the infill site would enhance the built environment and blend in style with the surrounding neighborhood and establishes sidewalk infrastructure and landscaping along Amole Mesa Ave.

- B. Policy 7.3.5 Development Quality: Encourage innovative and high-quality design in all development.

The request would facilitate development of a Fire and Police Station. The proposed Site Plan specifies building design, site, and development standards that would ensure high quality design.

- C. Policy 7.5.1 Landscape Design: Encourage landscape treatments that are consistent with the high desert climate to enhance our sense of place.

The landscape plan proposes a plant list that is pursuant to the City's approved Plant Palette containing only low water usage plants that are consistent with the high desert climate. The Landscape plan also follows all IDO section 5-6 Landscaping, Buffering and screening requirements and contributes to sense of place.

13. The request clearly facilitates the following Comprehensive Plan Goals and Policy regarding Community Facilities from Chapter 12: Infrastructure, Community Facilities & Services

- A. Goal 12.2 Community Facilities: Provide community facilities that have convenient access and a wide range of programs for residents from all cultural, age, geographical, and educational groups to enhance quality of life and promote community involvement.

The request would provide an ABQ Fire Station, Police substation, and Community Safety Department (ACSD), that can be conveniently accessed by the surrounding residential neighborhoods from 98th street NW. The ACSD is proposed to have a community meeting space for educational opportunities for persons of all ages, which could generally promote community involvement.

- B. Policy 12.2.3 New Facilities: Locate new facilities in areas with excellent access to provide services to underserved and developing areas.

The request would provide a new Fire and Police station in a developing area that does not have immediate access to these public services. Services would be provided to an underserved area and can be accessed from 98th Street NW, via sidewalk infrastructure, bike lanes, and transit.

14. The request clearly facilitates the following Comprehensive Plan Goals and Policies regarding Public Services from Chapter 12: Infrastructure, Community Facilities & Services

- A. Goal 12.3 Public Services: Plan, coordinate, and provide efficient, equitable, and environmentally sound services to best serve residents and protect their health, safety, and well-being.

The City has planned and coordinated to provide a new Fire, Police and Community Safety department, an efficient and equitable use, to best serve residents of the surrounding area to protect their health safety and well-being.

- B. Policy 12.3.1 Access to Public Services: Maximize residents' access to public services and distribute services equitably, whether they are provided by the City or County or in partnership with other agencies.

The request would maximize residents' access to Public Safety services in an underserved area of the City. There is not a Fire or Police station in the general vicinity of the subject site and the development would help to distribute these services equitably throughout the city.

- C. Policy 12.3.3 Fire and Rescue: Provide comprehensive fire and rescue and emergency medical services to save and protect lives, property, and the environment in cooperation with the public and other agencies.

The request would facilitate development of a City Fire Station, which would provide fire and rescue EMS services to the surrounding community to help save and protect lives and property.

- D. Policy 12.3.4 Police and Sheriff: Maintain a safe and secure community by providing crime prevention, police protection, law enforcement, and investigative services in cooperation with the public and other agencies.

The request would facilitate development of a Police Substation, which would provide crime prevention, police protection, law enforcement, and investigative services in an underserved area of the City.

15. The request clearly facilitates Comprehensive Plan Goals Goal 12.5 Resources: Identify and allocate sufficient resources to support infrastructure, community facility, and public service needs in order to invest public dollars efficiently and effectively and to maintain a sound fiscal position.

The City is allocating public resources to support a public service development including a Fire, Police Station, and Community Safety Department. The resource will support infrastructure needs on site.

16. The applicant has adequately justified the request pursuant to the Integrated Development Ordinance (IDO) Section 14-16-6-6(I)(3)-Review and Decision Criteria for a Site Plan-EPC, as follows:

- A. Criterion A: The applicant's policy-based response demonstrates that the request is consistent with a preponderance of applicable ABC Comprehensive Plan Goals and Policies (and other applicable City Plans), therefore, the request is consistent with the City's health, safety, morals and general welfare.

- B. Criterion B: The request is for a Fire and Police station use, which requires the zone designation of NR-SU. The request for a Site Plan-EPC is in conjunction with a zone change from R-1A to NR-SU. The Site Plan proposes uses, standards, and development standards pursuant to the IDO. Any future development would be required to comply with the approved NR-SU Site Plan associated with this request.

- C. Criterion C: The request is for Zoning Map Amendment to NR-SU for development of a Fire and Police Station. The Site Plan specifies uses, standards and development standards which are negotiated at the EPC.

The proposed Site Plan is required to comply with all applicable provisions of the IDO, DPM, other adopted City regulations. All conditions must be met prior to building permit approval.

- D. Criterion D: The City's existing infrastructure has adequate capacity for the proposed development made possible by this request.
 - E. Criterion E: The applicant has demonstrated that the request would not negatively impact the surrounding area based on responses to applicable Comprehensive Plan Goals and Policies. The applicant has stated that they have taken steps to mitigate any adverse impacts on the surrounding community by choosing to follow applicable IDO Standards for the Site Plan.
 - F. Criterion F: The subject property is not within an approved Master Development Plan.
 - G. Criterion G: The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required.
17. There are no affected registered neighborhood organizations for the subject site, but property owners within 100 feet of the subject site were notified as required.
18. A pre-application facilitated neighborhood meeting was not held and no opposition or support is known for the request.
19. As of this writing, Staff is unaware of any opposition.

CONDITIONS OF APPROVAL – SI-2023-01498

1. After approval by the Environmental Planning Commission (EPC), the applicant shall submit the proposed site plan to the Development Facilitation Team (DFT) for final sign-off. The reviewer will be responsible for ensuring that all EPC Conditions have been satisfied and that the IDO, DPM, and all other applicable City requirements have been met.
2. The applicant shall coordinate with the Staff Planner prior to submitting to the DFT to ensure that the EPC Conditions in the Official Notification of Decision have been met. The staff planner will provide a post-EPC memo.
3. Pedestrian Access & Safety:
 - Crosswalks shall comply with IDO 14-16-5-3(D)(3)(c), Materials to Alert Motorists.
4. Landscaping Plan:
 - A. Juniper species shall be female only.
 - B. The square footage on the LS plan shall match the square footage on the main site plan sheet.
5. Lighting: The color and finish of the light poles shall be specified.

6. Signage:
 - A. Signage shall be boxed out with a dashed line and square footage indicated.
 - B. Materials and finishes of signage shall be specified.
7. Transportation Development Review Services Conditions
 - A. The applicant shall provide a Traffic Circulation Layout.
 - B. The Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.
8. Solid Waste Management Department Condition: The site plan shall be approved for access by the Solid Waste Department prior to final sign-off.
9. AMAFCA condition: The applicant shall submit the grading and drainage plan to AMAFCA for review prior to receiving final sign-off, because it will discharge into AMAFCA's Amole Dam.
10. PNM Condition: Any existing and/or new PNM easements and facilities shall be reflected on the Site Plan and any resulting Plat.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **November 3, 2023**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the Integrated Development Ordinance (IDO), Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal an EPC Recommendation to the City Council since this is not a final decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the IDO must be complied with, even after approval of the referenced application(s).

Sincerely,

Catalina Lehner

for Alan M. Varela,
Planning Director

OFFICIAL NOTICE OF DECISION

PR-2023-009216

October 19, 2023

Page 13 of 13

cc: City of Albuquerque Fire and Rescue, PO Box 1293, Albuquerque, NM 87103
Consensus Planning, Inc., Jackie Fishman, fishman@consensusplanning.com
Legal, dking@cabq.gov
EPC File

Printable page

PARID: 100905426724540104
CITY OF ALBUQUERQUE,

Class

Class Non Residential
Tax District A1A

Current Owner

Owner CITY OF ALBUQUERQUE
Owner Mailing Address
Unit
City ALBUQUERQUE
State NM
Zip Code 87103 1293
Other Mailing Address PO BOX 1293

Ownership for Tax Year Selected

Tax Year 2024
Owner Name CITY OF ALBUQUERQUE
Owner Mailing Address
Unit
City ALBUQUERQUE
State NM
Zip Code 87103 1293
Other Mailing Address PO BOX 1293

Description

Location Address
City ALBUQUERQUE
State NM
Zip Code 87121
Property Description TR 12-A-1 BULK LAND PLAT FOR EL RANCHO GRANDE I
TRACTS 8-A, 9-B-1, 9-B-2, 11-A, 12-A-1, 12-A-2 & 13-D
Public Improvement District
Tax Increment Development Districts

Document #

Document #: 2022086463 092322 WD - ENTRY BY JS 110822 CODED BY LV 092522

Real Property Attributes

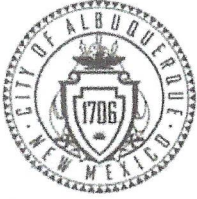
Primary Building SQ FT
Year Built
Lot Size (Acres) 6.7796
Land Use Code VACANT OPEN SPACE
Style

Manufactured Home Attributes

Make :
License :
VIN :
Year :
Size :

Values

Tax Year 2024



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Alan Varela, Interim Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: September 6, 2023

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR-2023-009199
Agent: Consensus Planning
Applicant: City of Albuquerque Fire Rescue
Legal Description: Tract 12-A-1 Bulk Land Plat for El Rancho Grande Tracts
Zoning: R-1A
Acreage: 6.78 Acres
Zone Atlas Page(s): N-09-Z

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

Historic Google Earth Images, NMCRIS records

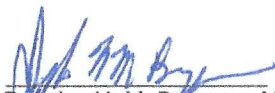
SITE VISIT: n/a

RECOMMENDATIONS:

The property was surveyed under NMCRIS 147564, with no significant finds, therefore:

CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 1 "an archaeological investigation has been conducted..."

SUBMITTED BY:

 9-6-2023
Douglas H. M. Boggess, MA, RPA Date
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.

SUBMITTED TO:

Planning, Development Services

October 24, 2023

Chair

Eric C. Olivas
County of Bernalillo
Commissioner, District 5

Vice Chair

Tammy Fiebelkorn
City of Albuquerque
Councilor, District 7

Barbara Baca
County of Bernalillo
Commissioner, District 1

Adriann Barboa
County of Bernalillo
Commissioner, District 3

Pat Davis
City of Albuquerque
Councilor, District 6

Trudy E. Jones
City of Albuquerque
Councilor, District 8

Timothy M. Keller
City of Albuquerque
Mayor

Ex-Officio Member
Gilbert Benavides
Village of Los Ranchos
Board Trustee

Executive Director
Mark S. Sanchez

Website
www.abcwua.org

Jana Miller
Miller Engineering Consultants, Inc.
3500 Comanche NE, Bldg. F,
Albuquerque, NM 87107

RE: Water and Sanitary Sewer Availability Statement #230814
Project Name: City of Albuquerque Southwest Fire Station #23
Project Address: 98th St & Amole Mesa Ave, Albuquerque, NM 87121
Legal Description: TR 12-A-1 BULK LAND PLAT FOR EL RANCHO GRANDE
I TRACTS 8-A, 9-B-1, 9-B-2, 11-A, 12-A-1, 12-A-2 & 13-D
UPC: 100905426724540104
Zone Atlas Map: N-9-Z

Dear Ms. Miller:

Project Description: The subject site is located at the northeast corner of the intersection of 98th Street and Amole Mesa Avenue SW, within the City of Albuquerque. The proposed development consists of approximately 6.5 acres and the property is currently zoned R-1A for residential and agricultural use. The property lies within the Pressure Zone 2WR in the Atrisco Trunk. The request for availability indicates plans to develop a new fire station.

Existing Conditions:

Water infrastructure in the area consists of the following:

- Ten-inch PVC distribution line (project # 26-6794.85-06) along Amole Mesa Avenue on the east side of the property and terminating at the eastern property boundary.
- Six-inch PVC distribution line (project # 26-6794.85-06) along Valle Caldera Road on the east side of the property and terminating at the eastern property boundary.
- Six-inch PVC distribution line (project # 26-6794.85-06) along Otero Mesa Road on the east side of the property and terminating at the eastern property boundary.
- Six-inch PVC distribution line (project # 26-6794.85-06) connecting Valle Caldera Road and Otero Mesa Road running North south on the eastern property boundary.
- Eight-inch PVC distribution line (project # 26-7472.81-06) along Amole Mesa Avenue on the west side of 98th Street.

Sanitary sewer infrastructure in the area consists of the following:

- Ten-inch PVC sanitary sewer collector line (project # 26-6794.85-06) along Amole Mesa Avenue along the southern portion of the property.
- Eight-inch PVC sanitary sewer collector line (project # 26-6794.85-06) along Valle Caldera Road on the east side of the property and terminating at the eastern property boundary.

- Eight-inch PVC sanitary sewer collector line (project # 26-6794.85-06) along Otero Mesa Road on the east side of the property and terminating at the eastern property boundary.

Water Service: New metered water service to the property can be provided contingent upon a developer-funded project to extend the ten-inch distribution line along Amole Mesa Avenue and connecting to the eight-inch distribution main west of 98th Street.

As a condition of service, a public waterline and sanitary sewer easement will be required as discussed in the Easement section below.

Upon completion of the infrastructure construction, the development may receive service via routine connection to the proposed ten-inch distribution main along Amole Mesa Avenue south of the subject property. The engineer is responsible for determining pressure losses and sizing the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Fire hydrants shall be on mains when water lines are extended, in conjunction with coordination with the Fire Marshal and according to spacing criteria that vary according to proposed land use adjacent to the water line. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and the collar removed.

Non-Potable Water Service: Currently, there is no non-potable infrastructure available to serve the subject property.

Sanitary Sewer Service: A new sanitary sewer service can be provided via routine connection to the existing ten-inch collector along Amole Mesa Avenue along the southern portion of the property.

As a condition of service, a public waterline and sanitary sewer easement will be required as discussed in the Easement section below.

No property shall share a private sewer service with any other property. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

Fire Protection: From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 1500 gallons per minute. One fire hydrant is required. There are no existing hydrants available and three new hydrants are proposed with this project. As modeled using InfoWater™ computer software, the fire flow can be met by applying the required fire flow to the system as shown in the information provided by the requestor. Analysis was performed by simulating the required fire flow at the proposed fire line connection point at Amole Mesa Avenue in the southeast corner of the property.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through

the Utility Development Office prior to sale of service. The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

Cross Connection Prevention: Per the Cross Connection Prevention and Control Ordinance, all new non-residential premises must have a reduced pressure principal backflow prevention assembly approved by the Water Authority installed at each domestic service connection at a location accessible to the Water Authority. No tees, branches, or possible connection fittings or openings are allowed between the reduced principal backflow prevention assembly and the service connection unless protected by a backflow prevention assembly. These requirements also apply to all remodeled non-residential premises when the work area of the building undergoing repairs, alterations, or rehabilitation, as defined in the International Existing Building Code, exceeds 50 percent of the aggregate area of the building regardless of the costs of repairs, alteration, or rehabilitation.

All non-residential irrigation water systems connected to the public water system shall have a pressure vacuum breaker, spill-resistant pressure vacuum breaker, or a reduced pressure principal backflow prevention assembly installed after the service connection. Such devices shall be approved by the Water Authority. No tees, branches, or possible connection fittings or openings are allowed between the containment backflow prevention assembly and the service connection.

All non-residential customers connected via piping to an alternative water source, or an auxiliary water supply, and the public water system shall install a containment reduced pressure principal backflow prevention assembly approved by the Water Authority after the potable service connection.

All new services to private fire protection systems shall be equipped with a containment reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction installed after the service connection. No tees, branches, or possible connection fittings or openings are allowed between the containment backflow prevention assembly and the service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the private fire protection system meets or exceeds ANSI/NSF Standard 60.61 throughout the entire private fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections nor connections from auxiliary water supplies.

The Water Authority recommends that all backflow (containment) devices be located above ground just outside the easement or road right-of-way. The containment backflow device can be installed within the building if there are no tees, branches, or possible connection fittings or openings between the reduced principal backflow prevention assembly and the service connection, unless protected by another reduced pressure backflow prevention assembly device. Contact Cross Connection at (505) 289-3465 for more information.

Easements and Property: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard-sized

water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35-foot by 35-foot easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service. A Warranty Deed shall be required when a property will be transferred to the Water Authority for the installation of facilities such as pump stations, reservoirs, wells, lift stations, or any other facility to be owned by the Water Authority.

Required public water and/or sanitary sewer easements shall be for the construction, installation, maintenance, repair, modification, replacement, and operation of public water and sanitary service lines, equipment, and facilities reasonably necessary to provide service together with free access on and over the easement and the right to remove trees, shrubs, undergrowth and any other obstacles, modifications, or structures which interfere with the use of the easement.

Additionally, a 25-foot wide public water and sanitary sewer easement in the north east corner of the subject property shall be granted between its northern property boundary and the southern right-of-way line along Otero Mesa Road. This easement is required to provide existing Tract 11A (property north of subject property) access to the existing ABCWUA infrastructure in Otero Mesa Road. Tract 11A does not have access to the existing public waterlines and sanitary sewer lines along its eastern property boundary due to a two-foot roadway easement that causes a gap in the access.

Pro Rata: Pro Rata is not owed, and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction: The design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated through the City of Albuquerque via the Work Order process. Designs must be performed by a licensed, professional engineer registered in the state of New Mexico. Construction must be performed by a licensed (GF 9 or GF 98) and bonded public utility contractor.

Utility Expansion Charge (UEC): In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of application for service. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter. Contact Customer Service at (505) 842-9287 (option 3) for more information regarding UEC's.

Water Use: All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Reduction Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed

development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

Sincerely,

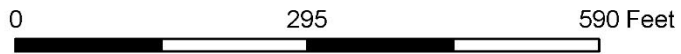
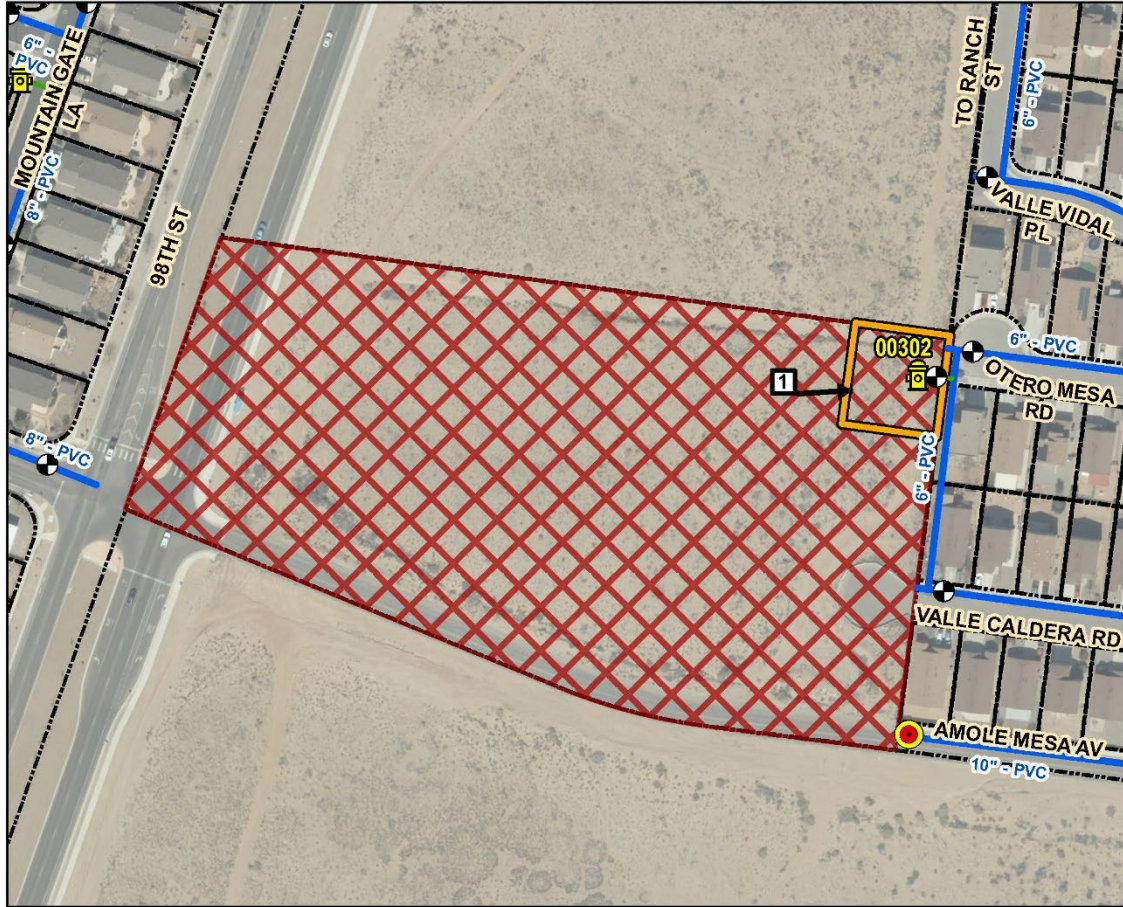


Mark S. Sanchez
Executive Director

Enclosures: Infrastructure Maps

f/ **Availability Statement #230814**

230814 - Water



Legend

Water Valves



Valve



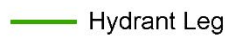
Hydrant

Water Pipe

Subtype



Distribution Line



Hydrant Leg



Base Map City



Project Location

Fire Flow Analysis Points



Analysis Point (1)

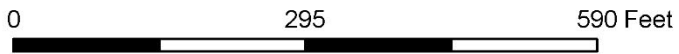


--- General Map Keyed Notes







1 - Proposed Public Easement (NTS)



230814 - Sanitary Sewer



Legend

-  Sewer Manhole
-  Base Map City
- Sewer Pipe**
- Subtype**
-  COLLECTOR
-  Project Location
-  --- General Map Keyed Notes
- 1 - Proposed Public Easement (NTS) 



SITE DATA

LEGAL DESCRIPTION:
TRACT 12-A-1 BULK LAND PLAT FOR EL RANCHO GRANDE TRACTS 8-A, 9-B-1, 9-B-2, 11-A, 12-A-1, 12-A-2, AND 13-D.
SIZE: 6.78 ACRES

EXISTING ZONING: R-1A
PROPOSED ZONING: NR-SU
PROPOSED LAND USE: FIRE AND POLICE STATION, OFFICE SPACE

PEDESTRIAN AND VEHICLE ACCESS: PRIMARY VEHICULAR AND PEDESTRIAN ACCESS IS FROM AMOLE MESA AVENUE. A NEW 6 FOOT SIDEWALK WILL BE CONSTRUCTED ALONG AMOLE MESA, WITH PEDESTRIAN CONNECTIONS FROM THE SIDEWALK TO THE BUILDINGS.
BUS ROUTES: ROUTE 198 ALONG 98TH STREET, WITH A PEAK FREQUENCY OF 30 MINUTES

PARKING REQUIREMENTS

PARKING CALCULATIONS:
PER IDO TABLE 5-5-1 MINIMUM OFF STREET PARKING REQUIREMENTS:
• FIRE STATION OR POLICE STATION: 2 SPACES/ 1,000 SQ. FT. GFA
• OFFICE: 3.5 SPACES PER 1000 SQ. FT. GFA

TOTAL REQUIRED:
FIRE STATION #23- 12,356 SF, SO (12,356/1000)*2 = 24.7 SPACES
POLICE STATION- 3,170 SF, SO (3,170/1000)*2 = 6.34 SPACES
ACS- 3,387 SF, SO (3,387/1000)*3.5 = 11.85 SPACES

TOTAL REQUIRED = 42.89 SPACES, SO 43 SPACES TOTAL

TOTAL PROVIDED:
82 SPACES TOTAL ON SITE, OF WHICH 4 ARE HC ACCESSIBLE

PER 5-5(D)(1):
A TOTAL OF 2 MOTORCYCLE SPACES ARE REQUIRED
3 TOTAL MOTORCYCLE SPACES ARE PROVIDED.

PER TABLE 5-5-5 MINIMUM BICYCLE PARKING REQUIREMENTS:
3 SPACES OR 10% OF REQUIRED OFF STREET PARKING SPACES WHICHEVER IS GREATER IS REQUIRED.

SO A TOTAL OF 5 BICYCLE SPACES ARE MINIMUM REQUIRED.
TOTAL PROVIDED IS 6

OVERLAY ZONES	NONE APPLY TO THIS SITE
ALLOWABLE USES	PER IDO SECTION 4-2, CIVIC AND INSTITUTIONAL USES SUBCATEGORY - FIRE STATION, POLICE SUBSTATION, ACS OFFICE, PER NR-SU
USE-SPECIFIC STANDARDS	NONE APPLY
DIMENSIONAL STANDARDS	PER TABLE 5-1-3 - SITE STANDARDS, SETBACK STANDARDS, AND BUILDING HEIGHT
SITE DESIGN AND SENSITIVE LANDS	NO SENSITIVE LANDS PRESENT
ACCESS AND CONNECTIVITY	PER IDO SECTION 5-3(E)(3)(c)
SUBDIVISION OF LAND	PER IDO SECTION 5-4
PARKING AND LOADING	PER IDO SECTION 5-5
LANDSCAPING, BUFFERING, AND SCREENING	PER IDO SECTION 5-6(E)(1) FOR EAST EDGE FACING CUL-DE-SAC AND NORTH EDGE ABUTTING R-ML WALL HEIGHT - ALONG NORTH EDGE
WALLS AND FENCES	PER IDO SECTION 5-7 AND TABLE 5-7-1 MAXIMUM WALL HEIGHT - ALONG NORTH EDGE
OUTDOOR AND SITE LIGHTING	PER IDO SECTION 5-8 AND TABLE 5-8-1
NEIGHBORHOOD EDGES	PER IDO SECTION 5-9 - BUILDING IS LESS THAN 30 FEET IN HEIGHT BUT GREATER THAN 100 FEET FROM THE R-ML ZONE TO THE NORTH AND THE R-1 ZONE TO THE EAST
SOLAR ACCESS	PER IDO SECTION 5-10
BUILDING DESIGN	NO STREET FACING FACADES AS DEFINED BY THE IDO - BUILDING DESIGN AS INDICATED ON THE PROPOSED BUILDING ELEVATIONS
SIGNS	PER IDO SECTION 5-12 AND TABLE 5-12-2, AS INDICATED ON PROPOSED BUILDING ELEVATIONS - NO FREESTANDING SIGN PROPOSED
OPERATION AND MAINTENANCE	PER IDO SECTION 5-13

PROJECT NUMBER: PR-2023-009216
Application Number: SI-2024-00096

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated October 19th 2023 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Ernest Armijo 02/08/24
Traffic Engineering, Transportation Division

ABCWUA 02/14/24
Walter Pabon

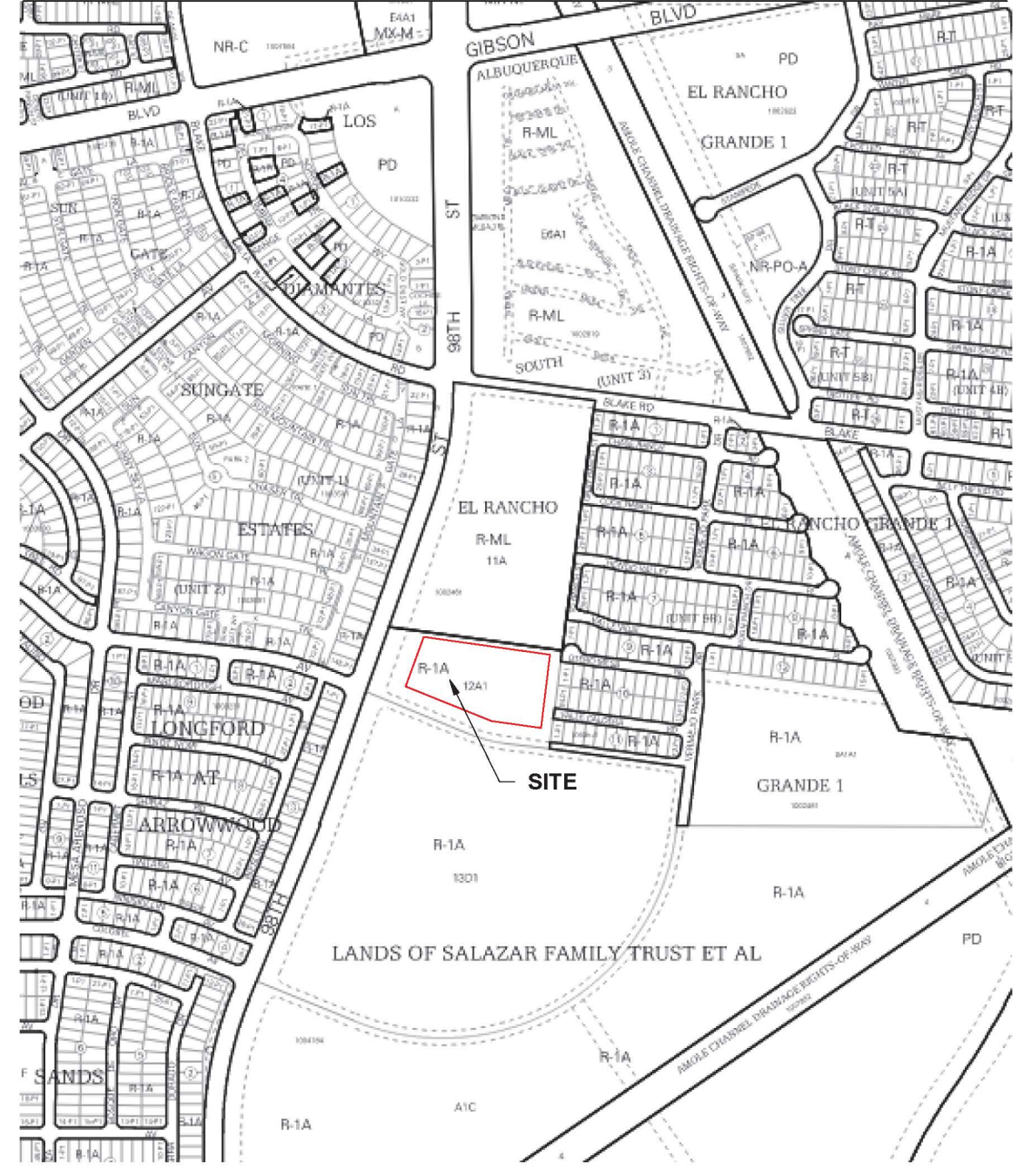
Hegeun Cha 02/08/24
Parks and Recreation Department

Hydrology 02/08/24
JH Plan

Code Enforcement

*Environmental Health Department (conditional)
Herman Gallegos 01-31-24
Solid Waste Management
14/02/2024
Planning Department

VICINITY MAP



GENERAL SHEET NOTES

- ALL LIGHT FIXTURES SHALL BE IN COMPLIANCE WITH IDO SECTION 5-8 OUTDOOR AND SITE LIGHTING.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER PAN WILL NOT BE ACCEPTABLE IN THE AREA.
- ALL INTERNAL SIDEWALKS SHALL BE 5 FEET IN WIDTH.
- ONSITE TRANSFORMERS SHALL HAVE A 5-FOOT CLEAR AREA ON THE SIDES AND REAR AND A 10-FOOT CLEAR AREA IN FRONT TO ALLOW FOR ACCESS AND MAINTENANCE.

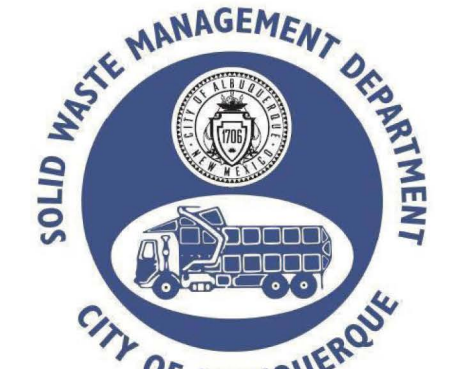
SHEET KEYNOTES	
1	6' ORNAMENTAL FENCING
2	16' LIGHTPOLE (NIGHT SKY COMPLIANT)
3	EXISTING DWELLING UNITS WITHIN 20 FEET OF SITE
4	8 FOOT CMU WALL SEE (DETAIL NUMBER)
5	BICYCLE RACK- SEE DETAIL THIS PAGE
6	MINI CLEAR SIGHT TRIANGLE PER CABQ DPM 7.4.94
7	TRASH ENCLOSURE
8	SIGN READING "OFFICIAL VEHICLES ONLY BEYOND THIS POINT" AT THIS LOCATION
9	EXISTING STOP SIGN
10	EXISTING PEDESTRIAN CROSSING SIGN
11	EXISTING MEDIAN
12	EXISTING BUS STOP WITH SHELTER
13	EXISTING BIKE LANE
14	EXISTING STREET LIGHT
15	ACCESSIBLE SIDEWALK RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD DTL 2443 DETAIL C
16	EXISTING SIDEWALK
17	HANDICAPPED PARKING
18	MOTORCYCLE PARKING
19	COVERED PATIO WITH LOOSE FURNITURE, 614 SQUARE FEET
20	COVERED PATIO WITH LOOSE FURNITURE, 485 SQUARE FEET
21	COVERED PATIO WITH LOOSE FURNITURE, 475 SQUARE FEET
22	EXISTING PEDESTRIAN CROSSING
23	LOCATION OF DRIVEWAY FOR FUTURE CITY TRANSIT PROJECT
24	PAD MOUNTED ELECTRICAL TRANSFORMER
25	ACCESSIBLE DRIVEPAD RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD DTL 2443 DETAIL C
26	PROPOSED UTILITY/ ELECTRICAL EASEMENT- TO HATCH EXTENTS SHOWN
27	EXISTING CUL-DE-SAC
28	6'-0" TALL ORNAMENTAL CANTILEVER GATE, PROVIDE ELECTRIC OPERATOR WITH MAGNETIC INDUCTION LOOP IN CONCRETE PAVEMENT ON SECURESIDE AND A PEDESTAL KEYPAD ON UNSECURED SIDE. COORDINATE POWER, CONDUITS, AND ANY COMMUNICATION REQUIREMENTS FULLY WITH OPERATOR UNIT MANUFACTURER REQUIREMENTS
29	6' SOLID METAL PANEL WALL (DARK BROWN) SEE DETAIL C5/AS-503
30	PAINTED PAVEMENT STRIPE- STOP LINE, WHITE COLOR
31	CROSSWALK STRIPES- INTEGRALLY COLORED CONCRETE- CAST FLUSH W/ ADJACENT- COLOR TO BE GOLD YELLOW INTEGRAL CONCRETE- 2'X6' STRIPES EA AT 2' APART TO EXTENTS SHOWN
32	ADA ACCESS PATH
33	PROPOSED DOOR LOCATION
34	6" CURB AND GUTTER TYP.
35	6" STANDING CURB TYP.
36	PROPOSED STANDARD "DO NOT ENTER" TRAFFIC SIGN
37	PROPOSED STANDARD "STOP" TRAFFIC SIGN
38	18" SLOPED CONCRETE MOW STRIP, REFERENCE SITE DETAILS
39	NEW 6' WIDE SIDEWALK PER CABQ STANDARDS
40	EXTENTS OF NEW SIDEWALK- ABUT FLUSH TO EXISTING SIDEWALK RE: CIVIL DRAWINGS
41	NEW 4' WIDE LANDSCAPE BUFFER PER CABQ STANDARDS
42	MOTORCYCLE PARKING SIGNAGE- SEE DETAIL THIS SHEET
43	HC PARKING SIGNAGE- SEE DETAIL THIS SHEET

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STACKED BY	DATE
FIELD ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE
NO.	NO.

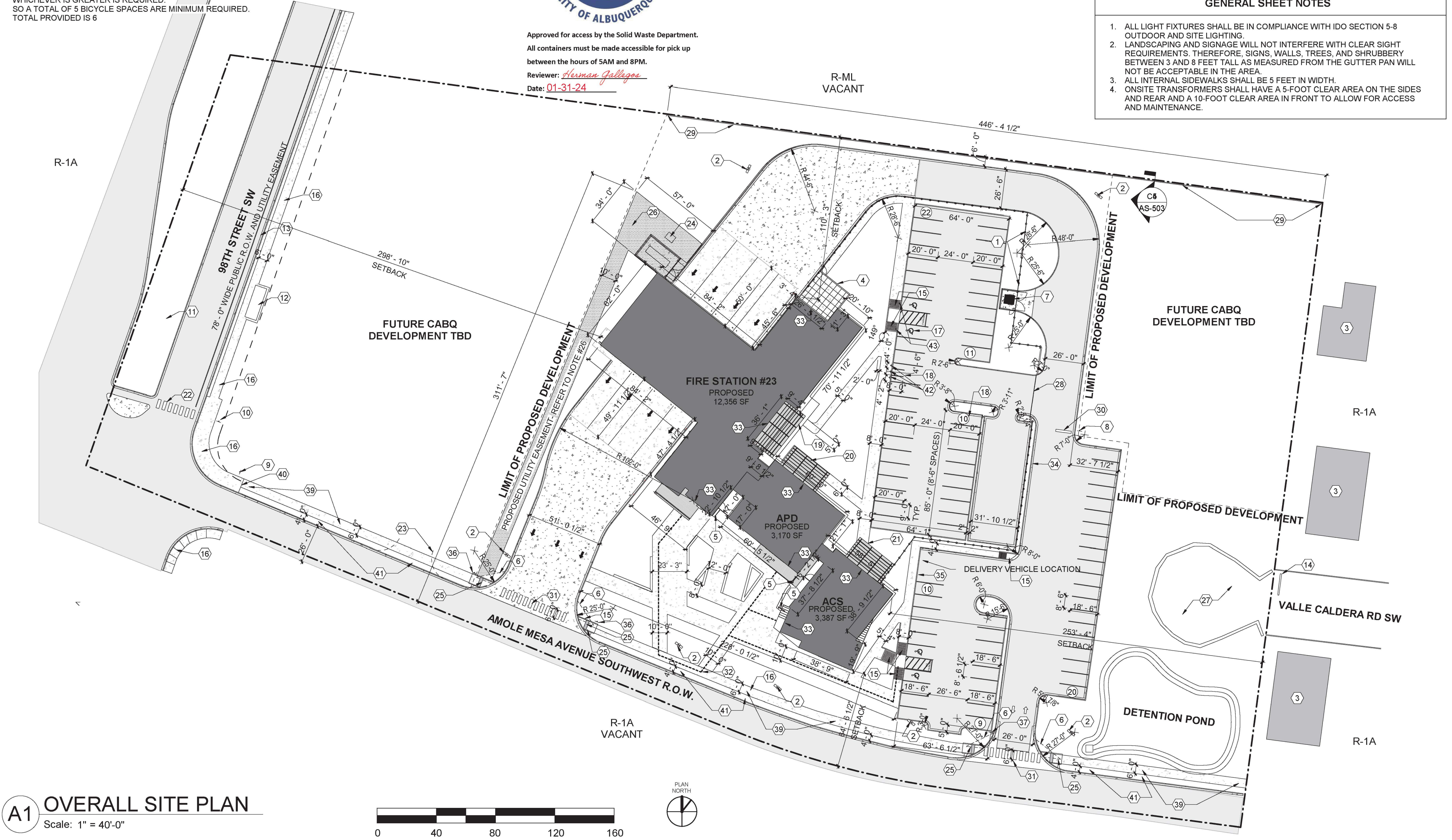
BENCH MARKS	
NO.	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	DATE

SEAL	
NO.	DATE
REMARKS	DATE
BY	DATE
100% CONSTRUCTION DOCUMENTS FOR CONSTRUCTION	DATE
Designed By:	DATE
Drawn By:	DATE
Checked By:	DATE



Approved for access by the Solid Waste Department.
All containers must be made accessible for pick up between the hours of 5AM and 8PM.
Reviewer: *Herman Gallegos*
Date: 01-31-24



A1 OVERALL SITE PLAN
Scale: 1" = 40'-0"



LEGEND

[Symbol]	PROPOSED BUILDING
[Symbol]	EXISTING BUILDING
[Symbol]	PAVED ASPHALT
[Symbol]	PAVED CONCRETE
[Symbol]	LANDSCAPE AREA
[Symbol]	PROPOSED 10' WIDE ELECTRICAL EASEMENT
[Symbol]	WEATHERED STEEL ORNAMENTAL FENCE
[Symbol]	WEATHERED STEEL GATE

VIGIL & ASSOCIATES
ARCHITECTURAL GROUP, P.C.
4477 Irving NW, Suite A
Albuquerque, New Mexico 87114
Ph: 505.890.5030 - Fax: 505.890.5031
www.va-architects.com

CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM
SOUTHWEST PUBLIC SAFETY CENTER

Drawing Title: **SITE PLAN - EPC**

Design Review Committee: City Engineer Approval

Issue Date: **JANUARY 2024**

City Project No.: **7858.91**

Sheet: **AS - 101**

SEAL	
NO.	DATE
REMARKS	DATE
BY	DATE
100% CONSTRUCTION DOCUMENTS FOR CONSTRUCTION	DATE
Designed By:	DATE
Drawn By:	DATE
Checked By:	DATE

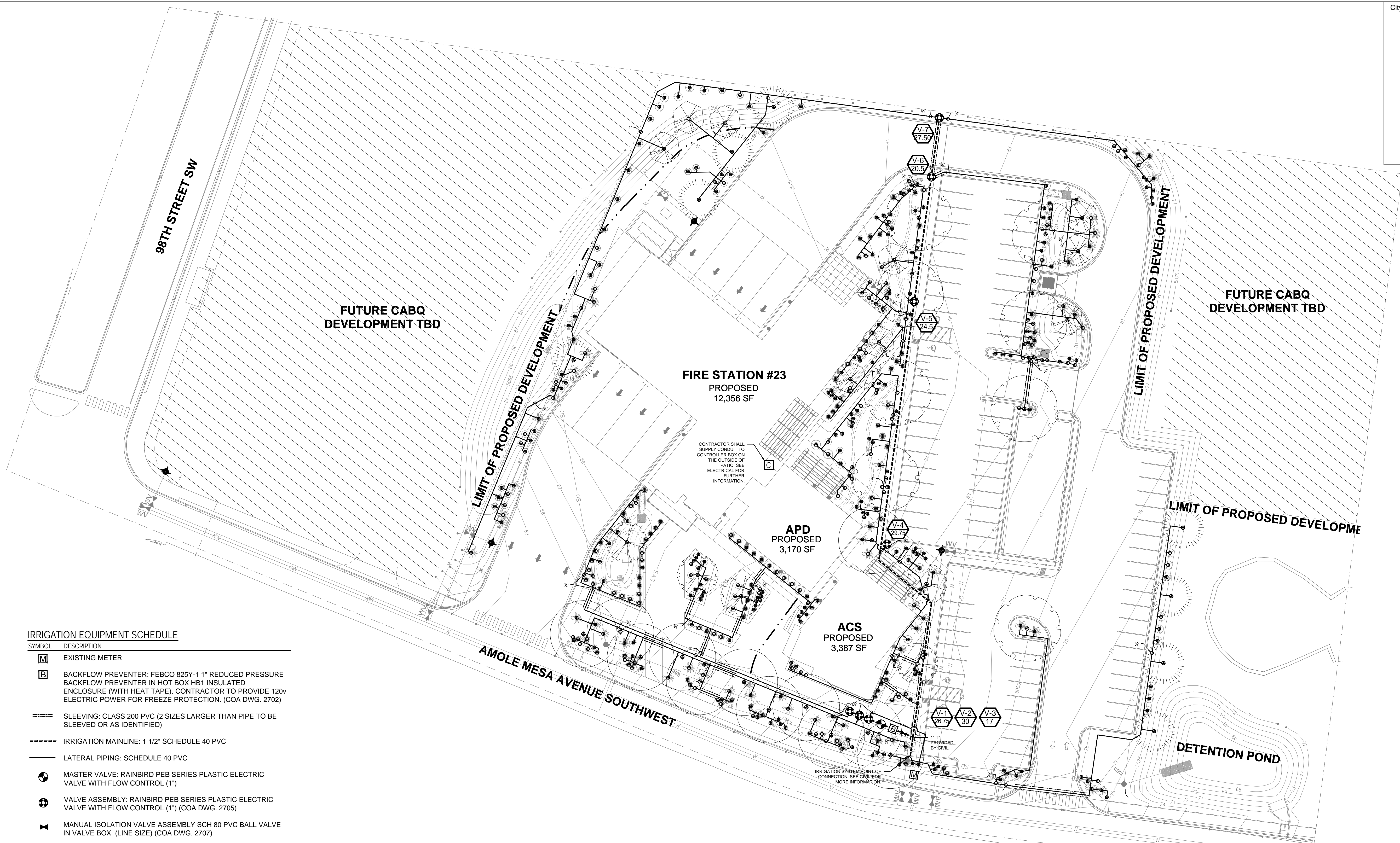
PROJECT NO.:

D

C

B

A



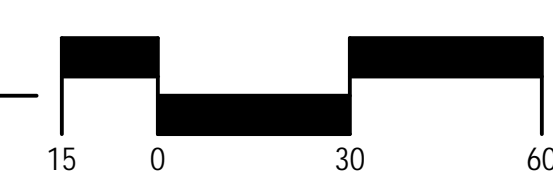
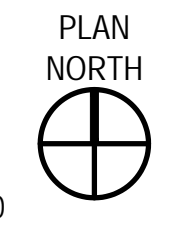
IRRIGATION EQUIPMENT SCHEDULE

SYMBOL	DESCRIPTION
	EXISTING METER
	BACKFLOW PREVENTER: FEBCO 825Y-1 1" REDUCED PRESSURE BACKFLOW PREVENTER IN HOT BOX HB1 INSULATED ENCLOSURE (WITH HEAT TAPE). CONTRACTOR TO PROVIDE 120V ELECTRIC POWER FOR FREEZE PROTECTION. (COA DWG. 2702)
	SLEEVING: CLASS 200 PVC (2 SIZES LARGER THAN PIPE TO BE SLEEVED OR AS IDENTIFIED)
	IRRIGATION MAINLINE: 1 1/2" SCHEDULE 40 PVC
	LATERAL PIPING: SCHEDULE 40 PVC
	MASTER VALVE: RAINBIRD PEB SERIES PLASTIC ELECTRIC VALVE WITH FLOW CONTROL (1")
	VALVE ASSEMBLY: RAINBIRD PEB SERIES PLASTIC ELECTRIC VALVE WITH FLOW CONTROL (1") (COA DWG. 2705)
	MANUAL ISOLATION VALVE ASSEMBLY SCH 80 PVC BALL VALVE IN VALVE BOX (LINE SIZE) (COA DWG. 2707)
	BUBBLER ASSEMBLY: RAIN BIRD 1401 PRESSURE COMPENSATING, TRICKLE PATTERN BUBBLER, 1 BUBBLER (.25 GPM @ 30 PSI) = (.25 GPM PER SHRUB), INSTALL PER COA DWG. 2712.
	TREE BUBBLER: RAIN BIRD 1402 PRESSURE COMPENSATING, TRICKLE PATTERN BUBBLER, 3 BUBBLERS (.50 GPM @ 30 PSI) = (1.50 GPM PER TREE), INSTALL PER COA DWG. 2712.
	NOTE: BUBBLERS ON SLOPES GREATER THAN 6:1 SHALL BE PROVIDED WITH A CHECK VALVE (RAINBIRD OR EQUAL). (COA DWG. 2712)
	CONTROLLER: RAINBIRD: LXME2, IRRIGATION CONTROLLER IN METAL WALL MOUNT CABINET. SEE 1/L-501.
	INDICATES VALVE NUMBER
	INDICATES FLOW IN GPM

IRRIGATION SCHEDULE

ID	SIZE	SPK TYPE	FLOW	PRECIP. RATE	RUNTIME
01	1"	BUBBLER	26.75 GPM	25 GPM	12 MIN
02	1"	BUBBLER	30 GPM	25 GPM	12 MIN
03	1"	BUBBLER	17 GPM	25 GPM	12 MIN
04	1"	BUBBLER	29.75 GPM	25 GPM	12 MIN
05	1"	BUBBLER	24.5 GPM	25 GPM	12 MIN
06	1"	BUBBLER	20.5 GPM	25 GPM	12 MIN
07	1"	BUBBLER	27.50 GPM	25 GPM	12 MIN
MV	1"	MASTER VALVE	30 GPM	N/A	N/A
			TOTAL RUNTIME:		84 MIN.

STATION RUN TIMES ARE CALCULATED TO APPLY 3 GALLONS OF WATER PER SHRUB AND 9 GALLONS OF WATER PER TREE PER IRRIGATION CYCLE.



GENERAL IRRIGATION NOTES

1. THE SYSTEM DESIGN ASSUMES A MINIMUM STATIC PRESSURE OF 60 PSI AT THE POINT-OF-CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY PRESSURE AND FLOW ON SITE PRIOR TO CONSTRUCTION.
2. THE IRRIGATION CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE SPECIFICATIONS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
3. THE IRRIGATION CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF UNDERGROUND UTILITIES AND ELECTRICAL WIRING PRIOR TO CONSTRUCTION.
4. THE IRRIGATION CONTRACTOR SHALL NOT INSTALL THE IRRIGATION SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING, OR IF THE DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND, NOTES, OR SPECIFICATIONS ARE DISCOVERED. ALL SUCH OBSTRUCTIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
5. THE DRAWINGS ARE DIAGRAMMATIC. IN SOME CASES, IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE OF PLANTING AREAS FOR CLARITY. THE IRRIGATION CONTRACTOR SHALL AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING MATERIALS, AND ABOVE GROUND UTILITIES. IRRIGATION PIPE AND WIRING SHALL BE INSTALLED IN LANDSCAPED AREAS WHENEVER POSSIBLE.
6. GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF PVC SLEEVES AS INDICATED ON THE DRAWING. EXTEND SLEEVES 2' BEYOND BACK OF CURB AND CAP UNTIL CONTRACTOR IS READY TO BEGIN THE INSTALLATION OF SPRINKLER SYSTEM. STAKE LOCATION OF SLEEVE WITH T-POSTS AND FLAGS.
7. ALL IRRIGATION SHALL FOLLOW CITY OF ALBUQUERQUE SPECIFICATIONS AND STANDARD DETAILS.

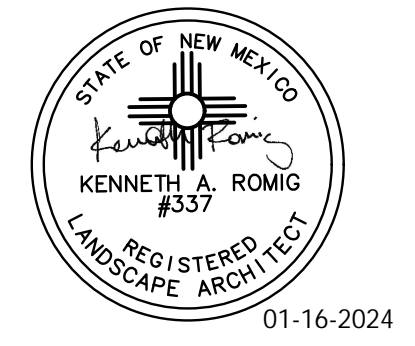
A1 IRRIGATION PLAN
SCALE: 1" = 30'-0"

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK BY	DATE
INSPECTION BY	DATE
FIELD ACCEPTANCE BY	DATE
FIELD REVISION BY	DATE
REVISIONS BY	DATE
CORRECTED BY	DATE
RECORDED BY	DATE
MICRO-FILM INFORMATION	
NO.	DATE

BENCH MARKS	

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	DATE

SEAL	
NO.	DATE
REMARKS	BY
DESIGN	DATE: Jan. 16, 2024
DRAWN	DATE: Jan. 16, 2024
CHECKED	DATE: Jan. 16, 2024



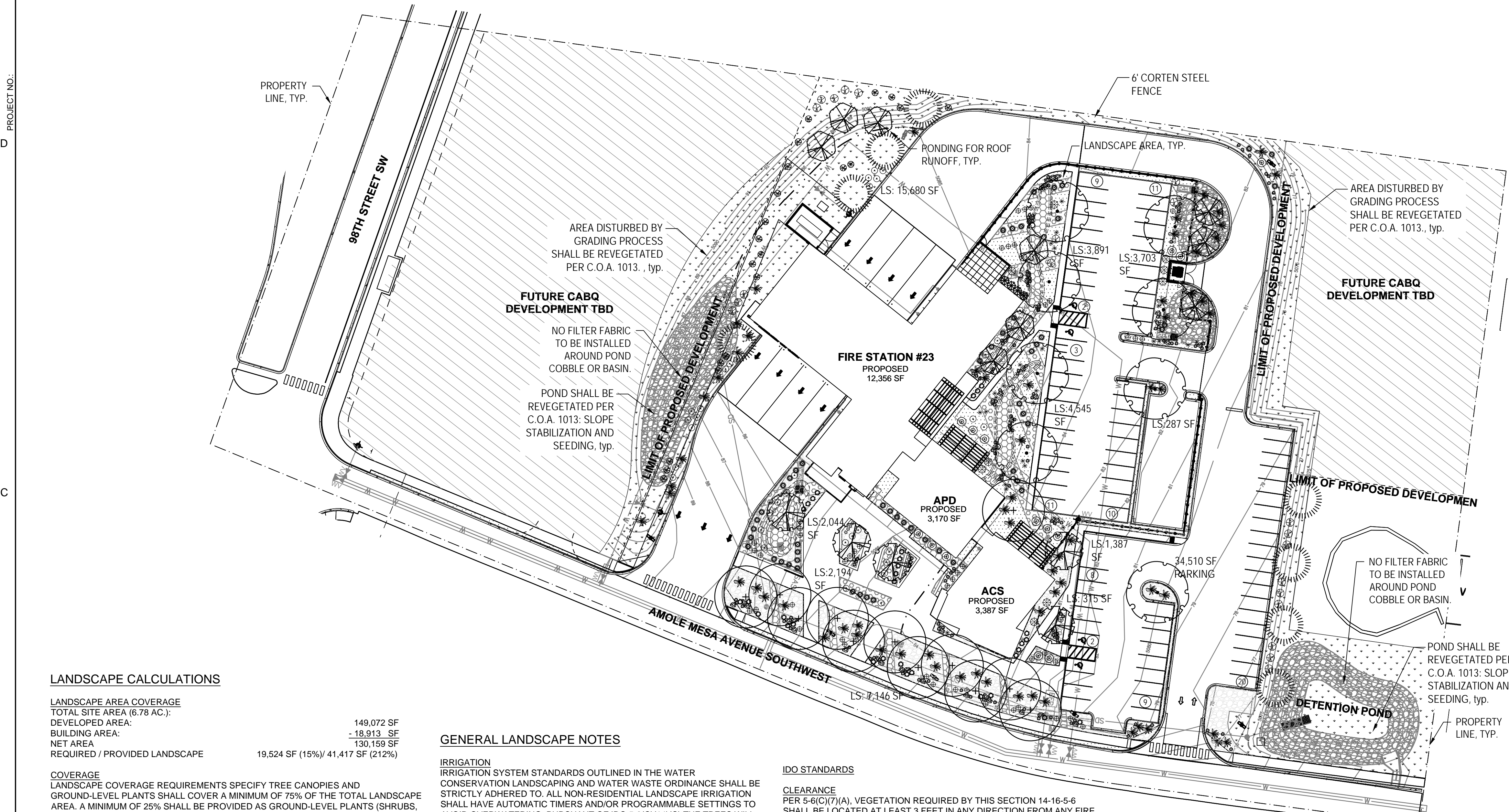
**CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM**

AFD FIRE STATION 23
ALBUQUERQUE, NM 87

Drawing Title		IRRIGATION PLAN	
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
		7/10/18	
Issue Date:	City Project No.	Sheet	
1-16-2024	7858.91	L-100	

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LANDSCAPE CALCULATIONS

Table with 2 columns: Category and Value. Includes Landscape Area Coverage (149,072 SF), Total Site Area (6.78 AC.), Developed Area (-18,913 SF), Building Area (-130,159 SF), and Required/Provided Landscape (19,524 SF / 41,417 SF).

Table with 2 columns: Category and Value. Includes Coverage (149,072 SF), Landscape Coverage Requirements (36,998 SF), and Required/Provided Live Vegetative Coverage (31,063 SF / 36,998 SF).

Table with 2 columns: Category and Value. Includes Parking Lot Trees (82), Required/Provided Parking Lot Trees (8 / 14), and Parking Lot Area (34,510 SF).

Table with 2 columns: Category and Value. Includes Turf Grass Areas (5,177 SF / 13,172 SF) and Landscaped Area (5,177 SF / 13,172 SF).

ANY PARKING LOT LOCATED WITHIN 20 FEET OF THE SIDE OR REAR LOT LINE SHALL BE SCREENED BY A LANDSCAPE STRIP AT LEAST 6 FEET WIDE CONTAINING AT LEAST 2 TREES AND 6 SHRUBS PER 25 FEET OF THE PARKING EDGE.

STREET TREES: STREET TREE REQUIREMENTS ARE BASED UPON AN AVERAGE SPACING OF 25' O.C. (AMOLE MESA): STREET FRONTAGE - 286' REQUIRED/PROVIDED STREET TREES = 12 / 13 (2-PROVIDED IN ADJACENT LANDSCAPE, DUE TO UNDERGROUND INFRASTRUCTURE)

LANDSCAPE SHALL APPLY PURSUANT TO IDO 5-6 LANDSCAPE BUFFERING AND SCREENING.

Table with 2 columns: Category and Value. Includes Gravel Mulch Coverage (29,735 SF / 29,191 SF) and Landscaped Area (29,735 SF / 29,191 SF).

ALL VEGETATION SHALL COMPLY WITH ARTICLE 9-12 AND PARTS 6-1-1 AND 6-6-2 OF ROA 1994 (POLLEN CONTROL, WATER CONSERVATION LANDSCAPING AND WATER WASTE, AND STREET TREES) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE) AS APPLICABLE.

GENERAL LANDSCAPE NOTES

IRRIGATION: IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. ALL NON-RESIDENTIAL LANDSCAPE IRRIGATION SHALL HAVE AUTOMATIC TIMERS AND/OR PROGRAMMABLE SETTINGS TO AVOID OVERWATERING...

RESPONSIBILITY OF MAINTENANCE: MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE: THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION: COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

SHREDDED ORGANIC MULCH AT TREES: SHREDDED ORGANIC MULCH WILL BE PROVIDED BENEATH THE ENTIRE TREE CANOPY FOR ALL NEW TREES IN LANDSCAPE AREAS. PROVIDE 5' DIAMETER CIRCLE.

IDO STANDARDS

CLEARANCE: PER 5-6(C)(7)(A), VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.

PER 5-6(C)(9)(A) ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.

PER 5-6(C)(9)(B) ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8-FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9-FOOT CLEARANCE OVER THE STREET SURFACE.

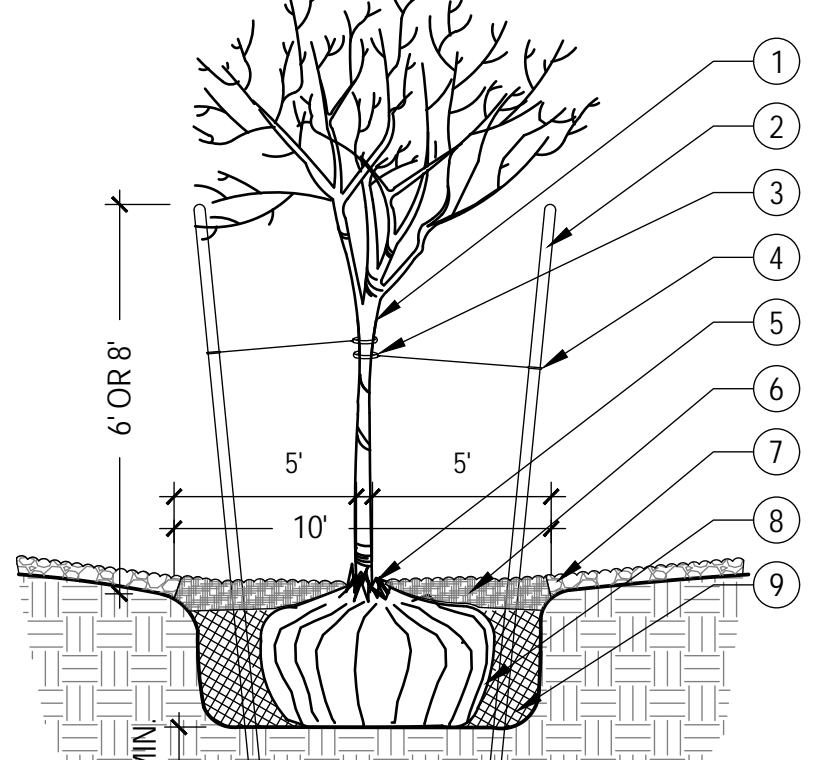
PER 5-6(C)(10)(A) TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS.

PER 5-6(C)(10)(B) TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.

PER 5-6(C)(10)(E) ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS MUST ALLOW 10 FEET OF CLEARANCE FOR ACCESS AND TO ENSURE THE SAFETY OF THE WORK CREWS AND PUBLIC DURING MAINTENANCE AND REPAIR.

PER 5-6(C)(10)(F) TREES SHALL NOT BE PLANTED NEAR EXISTING OR PROPOSED STREET LIGHT POLES.

- 1. STRESS POINT OF TREE
2. 8' OR 10' LODGEPOLE STAKES DRIVEN AT ANGLE (8' FOR MULTI OR CANOPY, 10' FOR TALL COLUMNAR)
3. 5/8" BLACK POLY TUBING, 12"-15" LONG MIN., NOTCH BACKSIDE OF POLY TUBING
4. #10 PLASTIC COATED GUYWIRE - (WRAP TWICE AROUND STAKE)
5. PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE
6. WATER RETENTION BASIN - ORGANIC MULCH SHALL BE PROVIDED WITHIN A 5' RADIUS OF NEWLY PLANTED TREES, AT A DEPTH OF 3". THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES
7. 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN
8. ROOTBALL WITH REMOVE ROPE AND BURLAP AFTER PLANTING
9. SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS



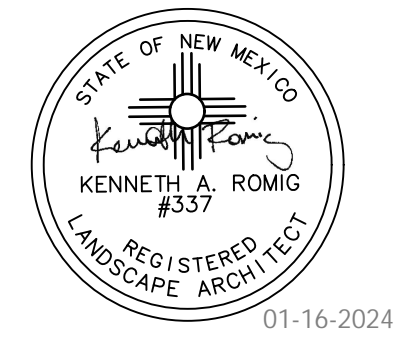
PLANT LEGEND

Table with columns: QTY., SYMBOL, SCIENTIFIC NAME, COMMON NAME (WATER USE), SIZE, INSTALLED SIZE, MATURE SIZE. Lists various trees and shrubs like Acer tataricum, Juniperus scopulorum, etc.

Table with columns: QTY., SYMBOL, DESCRIPTION. Lists mulches and boulders like Moss Rock Boulders, Grey Round Cobble, etc.

AS-BUILT INFORMATION table with columns for Contractor, Date, and various work items.

SEAL table with columns for No., Date, Remarks, By, Design, Drawn By, Checked By.

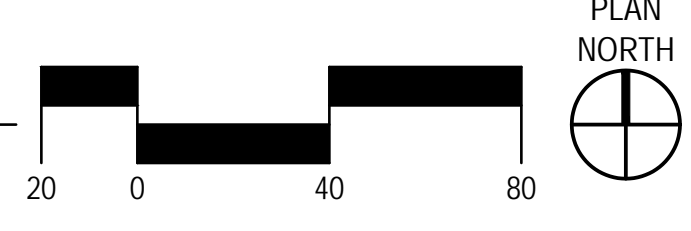


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VIGIL & ASSOCIATES ARCHITECTURAL GROUP, P.C. 4477 Irving NW, Suite A Albuquerque, New Mexico 87114 Ph: 505-890-5030 Fax: 505-890-5031 www.va-architects.com

CITY OF ALBUQUERQUE CAPITAL IMPLEMENTATION PROGRAM SOUTHWEST PUBLIC SAFETY CENTER LANDSCAPE PLAN - EPC. Includes drawing title, design review committee, issue date (1-16-2024), city project no. (7858.91), and sheet number (L-200).

A1 PLANTING PLAN SCALE: 1" = 40'-0"



1 TREE PLANTING SCALE: N.T.S.

City of Albuquerque Electronic Stamp

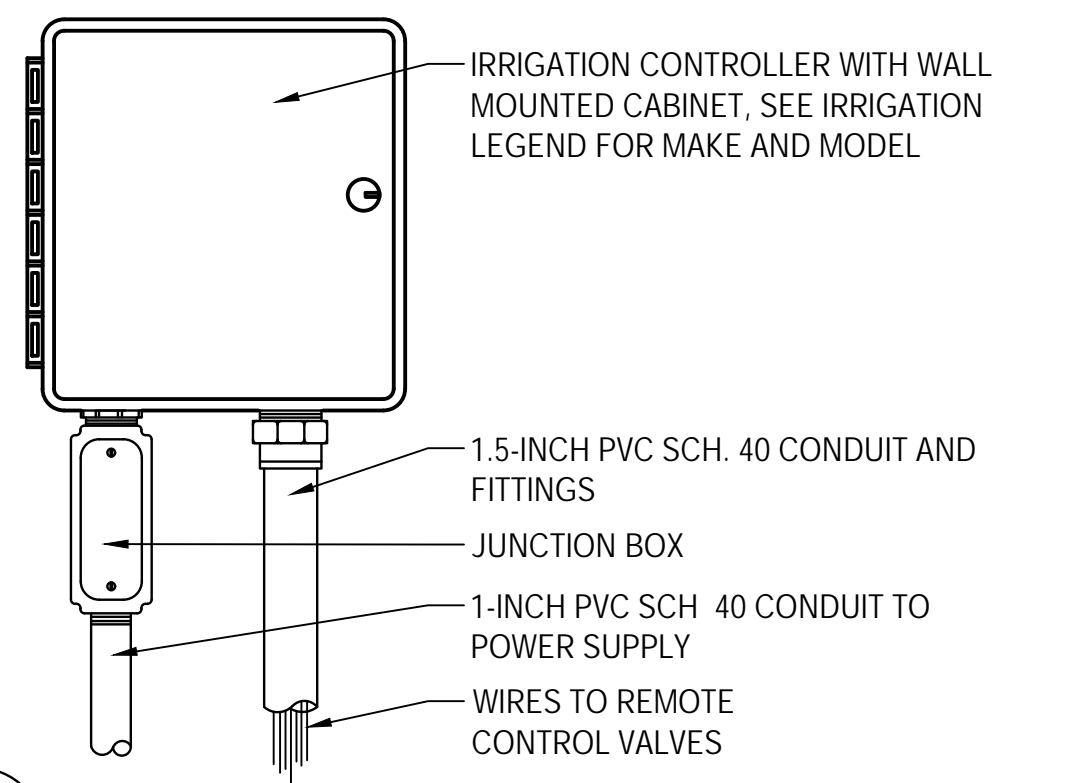
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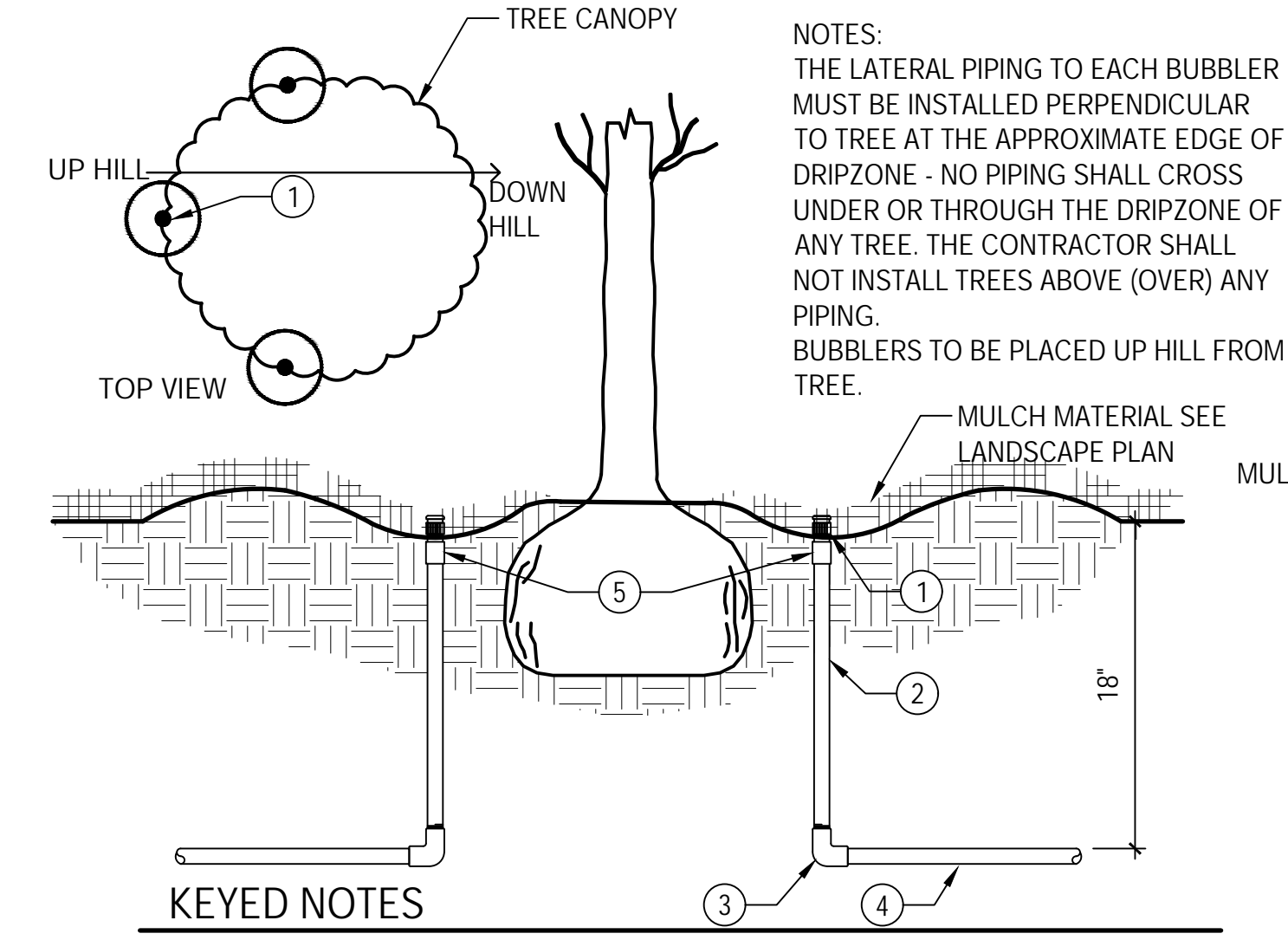
C

B

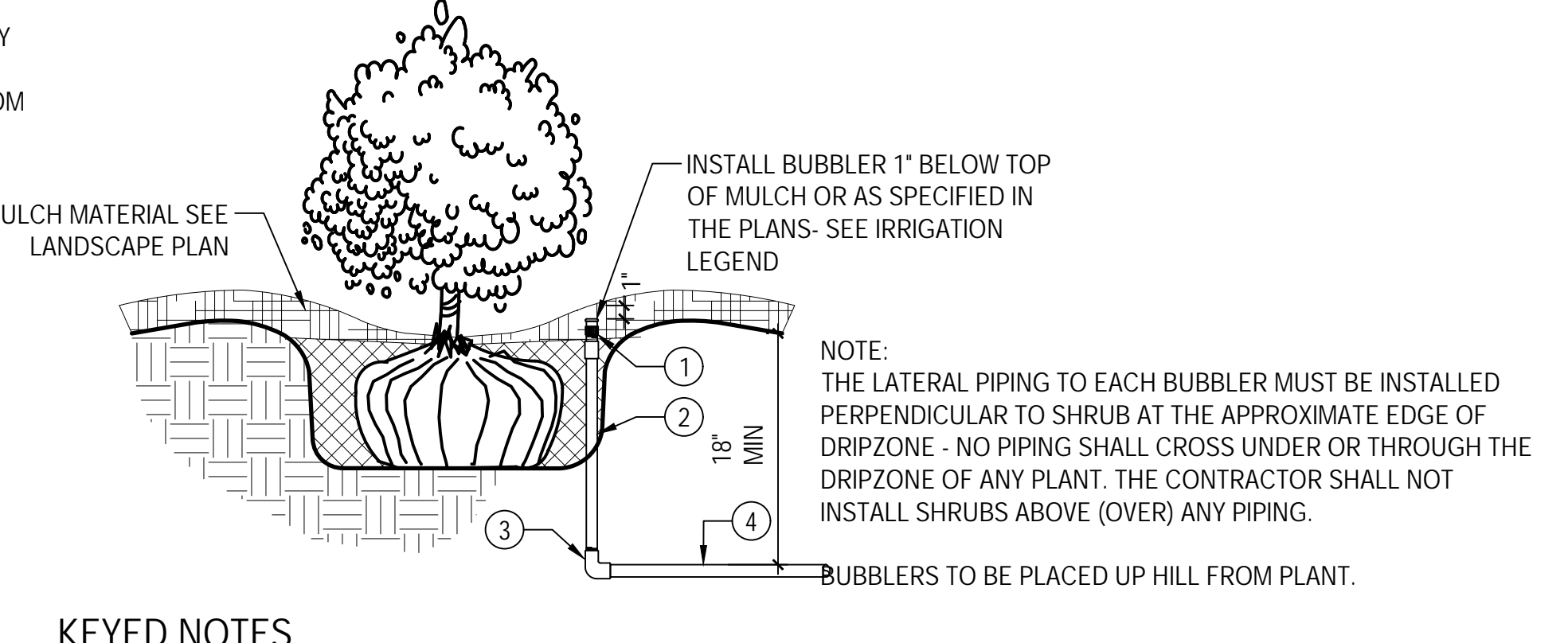
A



1 WALL MOUNTED IRRIGATION CONTROLLER
SCALE: N.T.S.



2 BUBBLER AT TREE
SCALE: NTS



3 BUBBLER AT SHRUB
SCALE: N.T.S.

NOTES:
THE LATERAL PIPING TO EACH BUBBLER MUST BE INSTALLED PERPENDICULAR TO TREE AT THE APPROXIMATE EDGE OF DRIPZONE - NO PIPING SHALL CROSS UNDER OR THROUGH THE DRIPZONE OF ANY TREE. THE CONTRACTOR SHALL NOT INSTALL TREES ABOVE (OVER) ANY PIPING.
BUBBLERS TO BE PLACED UP HILL FROM TREE.

NOTE:
THE LATERAL PIPING TO EACH BUBBLER MUST BE INSTALLED PERPENDICULAR TO SHRUB AT THE APPROXIMATE EDGE OF DRIPZONE - NO PIPING SHALL CROSS UNDER OR THROUGH THE DRIPZONE OF ANY PLANT. THE CONTRACTOR SHALL NOT INSTALL SHRUBS ABOVE (OVER) ANY PIPING.

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE
WORK BY	DATE				
INSPECTION	DATE				
ACCEPTANCE BY	DATE				
FIELD LOCATION BY	DATE				
DESIGNED BY	DATE				
CHECKED BY	DATE				
RECORDED BY	DATE				
MICRO-FILM INFORMATION		FIELD NOTES		SEAL	
NO.	DATE	NO.	DATE		
				NO.	DATE
				BY	REMARKS
					DESIGN
				Designed By: AM	DATE: Jan. 16, 2024
				Drawn By: AM	DATE: Jan. 16, 2024
				Checked By: KR/JF	DATE: Jan. 16, 2024

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CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM
AFD FIRE STATION 23
 ALBUQUERQUE, NM 87

Drawing Title: **LANDSCAPE DETAILS**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
		7/10/18	

Issue Date: **1-16-2024** City Project No. **7858.91** Sheet **L-501**

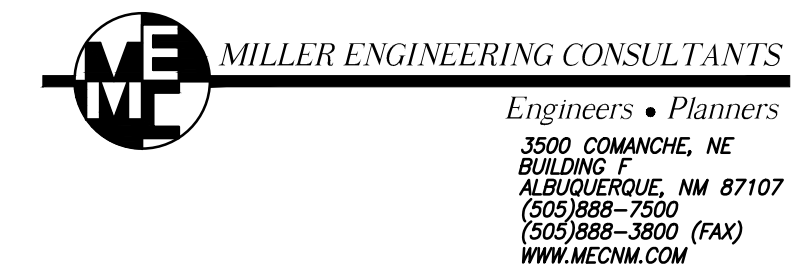
GENERAL NOTES

- 1.** THE CONTRACTOR SHALL CONFINE HIS OPERATIONS TO THE CONSTRUCTION LIMITS SHOWN ON THE CONSTRUCTION DRAWINGS AND DESCRIBED IN THE SPECIFICATIONS. DISTURBANCE TO PRIVATE PROPERTIES SHALL BE KEPT TO A MINIMUM. ANY COSTS ASSOCIATED WITH THE REPAIR TO PUBLIC OR PRIVATE PROPERTIES, CAUSED BY CONSTRUCTION ACTIVITIES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. TEMPORARY CONSTRUCTION FENCING SHALL BE ERECTED PRIOR TO CONSTRUCTION ACTIVITY AND SHALL ENCOMPASS THE CONSTRUCTION LIMITS. SEE GENERAL NOTE 13 BELOW.
- 2.** THE CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN AND SHALL PROVIDE AND MAINTAIN ALL TRAFFIC CONTROL DEVICES AND CONSTRUCTION SIGNING IN ACCORDANCE WITH THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (LATEST EDITION) DURING THE CONSTRUCTION PERIOD (WORKING AND NON-WORKING HOURS). ANY NECESSARY DEVIATION FROM THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" SHALL HAVE PRIOR APPROVAL OF THE ENGINEER OR CONSTRUCTION INSPECTOR. TRAFFIC CONTROL SHALL BE CONSIDERED INCIDENTAL AND NO ADDITIONAL PAYMENT WILL BE MADE. CONTRACTOR SHALL COORDINATE WITH PROJECT ENGINEER AND FACILITY STAFF TO ENSURE THAT THE FACILITY OPERATIONS ARE ADDRESSED AT ALL TIMES DURING CONSTRUCTION ACTIVITY AND TRAFFIC FLOWS ARE MAINTAINED IN ACCORDANCE WITH THE FACILITY SECURITY MEASURES AND OPERATIONS.
- 3.** THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES 48 HOURS BEFORE COMMENCING WORK IN THE AREAS NEAR UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL NOT INTERFERE WITH UTILITY LINE OPERATION AND SHALL COORDINATE ALL WORK AFFECTING EXISTING UTILITIES WITH THE APPROPRIATE AUTHORITY FOR EACH UTILITY. THE PROJECT ENGINEER SHALL BE PROMPTLY NOTIFIED OF ANY PROBLEMS OR CONFLICTS ENCOUNTERED WITH ANY EXISTING UTILITIES. PRIOR TO ANY SHUTDOWN OF ANY UTILITIES, THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT ENGINEER, FACILITY STAFF, AND UTILITY OWNERS AT LEAST 48 HOURS PRIOR TO SHUTDOWN. THE CONTRACTOR SHALL INDICATE AND SCHEDULE ANY SHUTDOWNS ON THE WORK SEQUENCING PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT.
- 4.** DURING THE CONSTRUCTION OF THIS PROJECT, SOME OVERHEAD AND/OR UNDERGROUND UTILITY ADJUSTMENTS MAY HAVE TO BE ACCOMPLISHED CONCURRENTLY BY THE UTILITY OWNERS (CITY AND/OR PRIVATELY OWNED). THE CONTRACTOR SHALL COORDINATE AND ADVISE THE UTILITY OWNERS, ALLOWING ENOUGH TIME SO THAT THE REQUIRED UTILITY ADJUSTMENTS DO NOT IMPEDE THE CONTRACTOR'S WORK. THE CONTRACTOR SHALL RECEIVE NO ADDITIONAL COMPENSATION FOR ANY DELAYS, INCONVENIENCE, OR DAMAGE SUSTAINED DUE TO ANY INTERFERENCE FROM SAID UTILITY APPURTENANCES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPAIRS AND/OR ADJUSTMENTS. GAS, COMMUNICATION, ELECTRICAL UTILITY ADJUSTMENTS ARE OUT OF THE SCOPE OF THIS PROJECT. SEE NOTE GENERAL NOTE 28.
- 5.** THE CONSTRUCTION OF THIS PROJECT SHALL BE IN COMPLIANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. ALL INSTALLED IMPROVEMENTS SHALL BE NEW MATERIAL. ALL EXISTING MATERIAL BEING REPLACED SHALL BE REMOVED AND/OR ABANDONED IN PLACE.
- 6.** WHEN ABUTTING NEW PAVEMENT TO EXISTING PAVEMENT, SAWCUT EXISTING PAVEMENT TO A NEAT STRAIGHT LINE TO MATCH NEW SURFACING DEPTH. PAVEMENT CUT SHALL BE MADE AT A LOCATION SUITABLE FOR REMOVING BROKEN OR CRACKED PAVEMENT. A CONTINUOUS CUT IS REQUIRED AND STITCH CUTTING IS NOT ALLOWABLE. NO PAYMENT WILL BE MADE FOR CUTTING EXISTING PAVEMENT, AND THIS WORK SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, INCLUDING SAWCUTS AND REPAIRS DUE TO TRENCHING FOR UTILITY WORK..
- 7.** THE USE OF HEAVY ROLLING EQUIPMENT (GREATER THAN 35 STATIC TONS) AND/OR VIBRATORY ROLLERS TO OBTAIN THE REQUIRED DENSITIES IN EMBANKMENT, EMBANKMENT FOUNDATION, MISCELLANEOUS FILLS, SUBGRADE & PAVEMENT WILL NOT BE PERMITTED IN URBAN OR OTHER AREAS WHERE THE USE OF SUCH EQUIPMENT WOULD DAMAGE UNREINFORCED MASONRY STRUCTURES, UNDERGROUND UTILITY FACILITIES OR OTHER PERMANENT IMPROVEMENTS.
- 8.** ALL AGGREGATES AND SUITABLE MATERIAL MAY BE OBTAINED FROM COMMERCIAL SOURCES. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING A SUITABLE SOURCE MEETING ALL REQUIREMENTS INDICATED ON THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR THIS CONTRACT.
- 9.** THE CONTRACTOR SHALL NOT EXCEED LEGAL LOADS ON EXISTING PAVED ROADWAYS.
- 10.** THE BASE MAPPING PROVIDED ON THESE DRAWINGS IS FROM A TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY TERRA LAND SURVEYS, LLC. CORRALES, NEW MEXICO MARCH 2023. NO FIELD VERIFICATION OF THIS DATA WAS CONDUCTED BY MILLER ENGINEERING CONSULTANTS INC. A FIELD SURVEY WAS CONDUCTED OF ALL VISIBLE UTILITY FEATURES ON THE SITE AND TO ESTABLISH A SURVEY CONTROL NETWORK. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO UNDERTAKE FIELD VERIFICATION OF ALL EXISTING UTILITIES AND MAP THEM WITH THEIR SUBSURFACE UTILITY ENGINEERING (SUE) COMPANY PRIOR TO CONSTRUCTION. (SEE GENERAL NOTE #30 AND #31 THIS SHEET)
- 11.** THE CONTRACTOR SHALL USE CAUTION AT ALL EXISTING STRUCTURES INCLUDING ALL UNREINFORCED MASONRY WALLS, BUILDINGS, ETC. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO ANY STRUCTURES, DRIVEWAYS, LIGHT FIXTURES, AND WATER METERS, ETC. AND SHALL REPAIR THE DAMAGES AT THEIR OWN EXPENSE TO MEET OR EXCEED EXISTING CONDITIONS.
- 12.** ALL EXISTING SIGNS AND FENCES WILL BE REMOVED AS NECESSARY TO PERFORM CONSTRUCTION ACTIVITIES AND REPLACED IN A LOCATION TO BE DETERMINED BY THE PROJECT ENGINEER AND CITY OF ALBUQUERQUE. ALL EXISTING PAVEMENT MARKINGS AND SURFACE PAINTING WILL BE REPLACED TO PRE-CONSTRUCTION CONDITIONS. NO PAYMENT OR MEASUREMENT WILL BE MADE FOR THIS WORK.
- 13.** THE CONTRACTOR SHALL MAINTAIN PEDESTRIAN ACCESS AND KEEP ALL AREAS IN COMPLIANCE WITH THE AMERICAN'S WITH DISABILITIES ACT AT ALL TIMES. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL AND PEDESTRIAN ACCESS PLAN TO THE PROJECT ENGINEER AND THE UNIVERSITY OF NEW MEXICO FOR APPROVAL PRIOR TO CONSTRUCTION ACTIVITY.
- 14.** THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2019 EDITION OF THE NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION (GREY BOOK). ALL UTILITY WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN PUBLIC WORKS ASSOCIATION, NEW MEXICO CHAPTER, STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- 15.** THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING EXISTING ASPHALT PAVING. ANY DAMAGE TO THE ASPHALT DUE TO CONSTRUCTION ACTIVITY WILL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- 16.** ALL CONCRETE USED SHALL BE 3,000 psi OR BETTER. UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR THE SPECIFICATIONS BOOK.
- 17.** DURING THE CONSTRUCTION OF THIS PROJECT, THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY TEMPORARY DRAINAGE MEASURES NECESSARY TO SAFELY CONVEY STORM WATER RUNOFF. ANY DAMAGES TO PUBLIC OR PRIVATE PROPERTY OR IMPROVEMENTS CONSTRUCTED BY THE CONTRACTOR RESULTING FROM STORM WATER FLOWS IN THE PROJECT VICINITY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NO MEASUREMENT OR PAYMENT WILL BE MADE FOR THESE TEMPORARY DRAINAGE MEASURES.
- 18.** THE CONTRACTOR SHALL SUBMIT A SOD SUBMITTAL TO THE PROJECT ENGINEER AND CITY OF ALBUQUERQUE FOR ALL GRASS AREAS THAT WILL BE REPLACED AS NECESSARY TO INSTALL THE NEW WATER LINES IN LANDSCAPED AREAS. ALL SOD SHALL BE CONSTRUCTED AND PLACED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND APPROVED BY THE PROJECT ENGINEER PRIOR TO CONSTRUCTION.
- 19.** FILL/BACK-FILL SHALL BE PLACED IN EIGHT INCH LIFTS AND COMPACTED TO 90 PERCENT OPTIMUM DENSITY AS PER ASTM D-1577 AND 95 PERCENT UNDER STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS. COMPACTION IN LANDSCAPED AREAS SHALL NOT EXCEED 85 PERCENT OPTIMUM DENSITY AS PER ASTM D-1577.
- 20.** CONNECTION OF NEW WATER LINES AND DISCONNECTION OF EXISTING WATER LINES FROM EXISTING WATER APPURTENANCES SHALL BE CONSIDERED INCIDENTAL TO THE WATER LINE AND NO ADDITIONAL MEASUREMENT OR PAYMENT WILL BE MADE FOR THIS WORK.
- 21.** ALL EXCAVATION, TRENCHING, BACKFILLING, BEDDING, COMPACTION, BENDS, ELBOWS, TEES, WYES, RESTRAINING GLANDS, THRUST BLOCKING, MECHANICAL RESTRAINING JOINTS, ALL CONNECTIONS TO EXISTING WATER SYSTEM COMPONENTS, AND ALL OTHER REQUIRED APPURTENANCES FOR THE INSTALLATION OF THE WATER LINES WILL BE CONSIDERED INCIDENTAL TO THE WORK INDICATED ON THE CONSTRUCTION DRAWINGS AND DESCRIBED IN THE SPECIFICATIONS FOR THIS PROJECT AND NO ADDITIONAL MEASUREMENT OR PAYMENT WILL BE MADE FOR THIS WORK.
- 22.** ALL UNCLASSIFIED EXCAVATION, GRADING AND CLEANUP ARE CONSIDERED INCIDENTAL TO THE WORK INDICATED ON THE CONSTRUCTION DRAWINGS AND DESCRIBED IN THE SPECIFICATIONS FOR THIS PROJECT AND NO ADDITIONAL MEASUREMENT OR PAYMENT WILL BE MADE FOR THIS WORK.
- 23.** PAVEMENT REMOVAL AND REPLACEMENTS INCLUDE PREPARATION OF SUBGRADE, BACKFILLING, COMPACTION AND ASPHALT. THE PAVEMENT REMOVAL AND REPLACEMENT WORK INDICATED ON THE CONSTRUCTION DRAWINGS AND DESCRIBED IN THE SPECIFICATIONS FOR THIS PROJECT WILL BE PAID FOR UNDER ASPHALT REMOVAL AND REPLACEMENT AND NO ADDITIONAL MEASUREMENT OR PAYMENT WILL BE MADE FOR THIS WORK. ALL PAVEMENT, BASECOURSE AND SUBGRADE PREPARATION THICKNESS SHALL MATCH THE EXISTING SECTION OF THE PAVEMENT. CONTRACTOR SHALL SUBMIT TYPICAL SECTIONS TO THE PROJECT ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

- 24.** THE SAWCUTTING OF ASPHALT AND/OR CONCRETE INDICATED ON THE CONSTRUCTION DRAWINGS AND DESCRIBED IN THE SPECIFICATIONS FOR THIS PROJECT WILL BE CONSIDERED INCIDENTAL TO THE ASPHALT OR CONCRETE REMOVAL AND REPLACEMENT ITEM AND NO ADDITIONAL MEASUREMENT OR PAYMENT WILL BE MADE FOR THIS WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING A CONCRETE JOINT PATTERN FOR APPROVAL PRIOR TO CONSTRUCTION.
- 25.** UPON RECEIVING A NOTICE TO PROCEED THE CONTRACTOR WILL HAVE 10 DAYS TO COMPLETE SITE MOBILIZATION. MOBILIZATION IS CONSIDERED INCIDENTAL TO THIS PROJECT AND NO ADDITIONAL MEASUREMENT OR PAYMENT WILL BE MADE FOR THIS WORK.
- 26.** AS OF MARCH 10, 2003, THE USEPA REQUIRES NPDES PERMIT COVERAGE FOR STORM WATER DISCHARGES FROM CONSTRUCTION PROJECTS (COMMON PLANS OF DEVELOPMENT) THAT WILL RESULT IN THE DISTURBANCE (OR RE-DISTURBANCE) OF ONE OR MORE ACRES, INCLUDING EXPANSIONS OF TOTAL LAND AREA. THE CONTRACTOR SHOULD BE MADE AWARE THAT THE USEPA REQUIRES THAT ALL "OPERATORS" (SEE FEDERAL REGISTER/VOL. 63, NO. 128 / MONDAY, JULY 6, 1999 PG 36509) OBTAIN NPDES PERMIT COVERAGE FOR CONSTRUCTION PROJECTS. GENERALLY THIS MEANS THAT AT LEAST TWO PARTIES WILL REQUIRE PERMIT COVERAGE. THE OWNER/CONTRACTOR OF THIS CONSTRUCTION PROJECT WHO HAS OPERATIONAL CONTROL OVER THE PROJECT SPECIFICATIONS, THE GENERAL CONTRACTOR WHO HAS DAY-TO-DAY OPERATIONAL CONTROL OF THOSE ACTIVITIES AT THE SITE, WHICH ARE NECESSARY TO ENSURE COMPLIANCE WITH THE STORM WATER POLLUTION PLAN AND OTHER CONDITIONS, AND POSSIBLY OTHER "OPERATORS" THAT WILL REQUIRE APPROPRIATE NPDES PERMIT COVERAGE FOR THIS PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ANY PERMITS BY ANY GOVERNING AGENCY FOR THIS PROJECT. IF REQUIRED UNDER THE CLEAN WATER ACT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEVELOPING A STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR DEVELOPING A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) DOCUMENT FOR THE PROJECT, IF ANY GOVERNING AGENCY REQUIRES, AND PROVIDING, BUILDING, MANAGING AND MAINTAINING ALL BEST MANAGEMENT PRACTICES (BPM'S) AND TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SPECIFIED IN THE SWPPP DOCUMENT. REFERENCE NMDOT DRAWINGS 603-01-1 THRU 7 OF 7. ALL OF THIS WORK WILL BE CONSIDERED INCIDENTAL TO THE CONSTRUCTION OF THE WATER LINE AND NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR THIS WORK.
- 27.** CONTRACTOR SHALL TAKE PRECAUTIONS AS NECESSARY TO PROTECT EXISTING ELECTRICAL LINES, NATURAL GAS LINES, FIBER OPTIC LINES, TELEPHONE LINES, UTILITY LINES, WALKS, LANDSCAPING, ETC. WHICH WILL REMAIN AS PART OF THE FINAL SYSTEM. EXTRA CARE MUST BE GIVEN TO PRESERVING EXISTING IRRIGATION LINES AND LANDSCAPING. CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO LANDSCAPING AND IRRIGATION STANDARDS SET FORTH BY THE UNIVERSITY OF NEW MEXICO. ALL IRRIGATION LINE REPAIRS MUST BE COMPLETED WITHIN 24 HOURS. CONTRACTOR SHALL REPAIR AND/OR RESTORE THESE ITEMS AS REQUIRED TO PRE-CONSTRUCTION CONDITION AT THEIR OWN EXPENSE.
- 28.** ALL WATER PIPING SHALL BE C900, DR18 AND METALIZED DETECTABLE WARNING TAPE WILL BE PLACED ACCORDING TO THE SPECIFICATIONS IN THE PROJECT MANUAL. UTILITY MARKERS SHALL BE PLACED AT JUNCTIONS AND BENDS. SIZE AND DIRECTION OF THE LINE SHOULD BE NOTED ON THE MARKER.
- 29.** THE CONTRACTOR SHALL PROVIDE A PROFESSIONAL SUBSURFACE UTILITY ENGINEERING (SUE) COMPANY TO PERFORM BOTH "DESIGNATING" AND "LOCATING" OF ALL UTILITIES WITHIN THE CONTRACTOR'S LIMITS OF CONSTRUCTION FOR THE PROJECT. THE CONTRACTOR SHALL HAVE THE SUE COMPANY MAP ALL OF THE DESIGNATED AND LOCATED UTILITIES AND PROVIDE IT TO THE PROJECT ENGINEER IN AUTOCAD VERSION 2007 OR COMPATIBLE. THE CONTRACTOR SHALL NOT BEGIN DIGGING UNTIL THE SUE MAPPING HAS BEEN REVIEWED BY THE PROJECT ENGINEER AND DISCUSSED WITH CITY OF ALBUQUERQUE. THIS WORK WILL BE CONSIDERED INCIDENTAL TO THE WATERLINE ITEM AND NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR THIS WORK.
- 30.** THE CONTRACTOR SHALL MAINTAIN AS-BUILT DRAWINGS DURING THE DURATION OF CONSTRUCTION. THIS WILL INCLUDE HAVING THE CONTRACTOR HIRE A PROFESSIONAL LAND SURVEYOR TO FIELD SURVEY ALL UTILITY LINES THAT ARE CROSSED WITH NEW WATER LINES AND FIELD SURVEYING THE AS-BUILT LOCATIONS OF ALL THE FINAL AS-BUILT LOCATION OF ALL WATER LINE IMPROVEMENTS OUTLINED IN THIS CONTRACT. THIS WORK WILL BE CONSIDERED INCIDENTAL TO THE WATERLINE ITEM AND NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR THIS WORK.
- 31.** A STAGING AREA HAS BEEN PROVIDED BY THE OWNER FOR THE STORAGE OF THE CONTRACTOR'S MATERIALS AND EQUIPMENT. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY SECURITY FENCING, GATES, ACCESS ROADS, ACCESS GATES, AND ALL OTHER RELATED APPURTENANCES REQUIRED TO HAVE AN ADEQUATE AND SECURE STAGING AREA. THIS WORK WILL BE CONSIDERED INCIDENTAL TO THE MOBILIZATION ITEM AND NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR THIS WORK.
- 32.** ALL WATER VALVE COVERS SHALL BE LOCKING COVERS. THIS WILL BE CONSIDERED INCIDENTAL TO THE WATER VALVE ITEMS AND NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR THIS WORK.
- 33.** CONNECTIONS TO DISSIMILAR PIPING SHALL BE WITH FITTINGS RECOMMENDED BY MANUFACTURER'S.
- 34.** THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ALL EXISTING SURFACING (PAVEMENT, BASE COURSE, SUBGRADE PREPARATION, CONCRETE SIDEWALK, CONCRETE FLATWORK, LANDSCAPING, ETC.), STRUCTURES, AND OBSTRUCTIONS (CURBS, GUTTERS, WALLS, ETC.) ON SITE THAT ARE AFFECTED BY THE CONSTRUCTION OF THIS PROJECT. THE REMOVAL AND REPLACEMENT OF ANY SURFACING, STRUCTURES, AND OBSTRUCTIONS MUST BE REMOVED AND REPLACED TO MATCH EXISTING CONDITIONS (THICKNESS, DIMENSIONS, MATERIAL TYPE, ETC.). THIS WORK WILL BE PAID FOR UNDER A LUMP SUM ITEM, WHICH IS PROVIDED IN THE UNIT PRICE BID PROPOSAL AND NO ADDITIONAL MEASUREMENT OR PAYMENT WILL BE MADE FOR ANY OF THIS WORK.
- 35.** THE CONTRACTOR SHALL BE RESPONSIBLE FOR FLUSHING THE WATER LINES WITHIN EACH OF THE BUILDINGS. THIS WILL BE REQUIRED IN ADDITION TO THE FLUSHING REQUIREMENTS OUTLINED IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF ALBUQUERQUE TO GAIN ACCESS TO THE INSIDE OF THE BUILDINGS TO PERFORM THIS WORK. THIS WORK WILL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR THIS WORK.
- 36.** THE CONTRACTOR WILL BE REQUIRED TO COORDINATE WITH THE ENGINEER ON ALL FINAL GRADES FOR THE CONCRETE REMOVAL AND REPLACEMENT AREAS TO ENSURE THAT THE EXISTING GRADING AND DRAINAGE ISSUES ARE DOCUMENTED AND ADDRESSED PRIOR TO CONSTRUCTION.
- 37.** CONTRACTOR NOTE: THESE DRAWINGS REFLECT INFORMATION ON UTILITIES GATHERED BY SITE SURVEY PROVIDED SITE INSPECTION, PREVIOUS EXISTING CONSTRUCTION DRAWINGS/RECORDS, AND DISCUSSIONS WITH OWNER. IT IS POSSIBLE THAT THE EXACT LOCATION OF BURIED LINES IN THE IMMEDIATE VICINITY OF THE PROPOSED BUILDING MAY BE SOMEWHAT DIFFERENT FROM THE LOCATION SHOWN ON THIS DRAWING. IF ADDITIONAL LINES ARE ENCOUNTERED, THEY SHALL BE EXPOSED AND IDENTIFIED BY THIS CONTRACTOR. WHERE ADDITIONAL LINES AND/OR DIFFERING LOCATIONS ARE ENCOUNTERED, THIS CONTRACTOR SHALL REQUEST THAT THE ARCHITECT ISSUE A RULING AS TO ANY NECESSARY CHANGE OF MATERIALS, RE-ROUTING, ABANDONING OR RELOCATING OF SUCH LINES.
- 38.** ANY WORK OR INSTALLATION NOT ACCEPTED BY THE OWNER OR MECHANICAL ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE MECHANICAL CONTRACTOR'S EXPENSE, AS DIRECTED.
- 39.** SPECIFIC: THE CONTRACTOR SHALL BEAR ALL COSTS AND BE TOTALLY RESPONSIBLE FOR ALL OF THE UTILITY SERVICES AND THEIR COMPLETE INSTALLATION, AS SHOWN ON THE CONTRACT DRAWINGS, AND/OR DETAILS AND SPECIFICATIONS.
- 40.** THE CONTRACTOR SHALL AND MUST INCLUDE IN HIS BID, THE COST OF ALL WORK AND EQUIPMENT COMPLETE WITH ALL COMPONENTS, ACCESSORIES AND APPURTENANCES, ETC., WHETHER FURNISHED AND INSTALLED BY THE CONTRACTOR OR OTHERS. THE CONTRACTOR'S COSTS SHALL INCLUDE (BUT ARE NOT LIMITED TO) CHARGES FOR ALL PERMITS, LICENSES, FRONTAGE FEES, CHECK VALVES, BALL VALVE, ETC. HE SHALL ALSO INCLUDE ALL OTHER CURRENT CHARGES THAT MAY BE REQUIRED BY PUBLIC UTILITY COMPANIE.

CIVIL DRAWING INDEX

SHEET No.	SHEET TITLE
CG-100	GENERAL NOTES AND INDEX TO DRAWINGS
CG-101	HYDROLOGY PLAN
C-100	GRADING AND DRAINAGE PLAN OVERALL
C-101	GRADING AND DRAINAGE PLAN EAST
C-102	GRADING AND DRAINAGE PLAN EAST POND
C-201	UTILITY PLAN OVERALL
D-501	MISCELLANEOUS DETAILS
D-502	MISCELLANEOUS DETAILS
D-503	MISCELLANEOUS DETAILS
D-504	MISCELLANEOUS DETAILS
FIRE 1	FIRE 1 PLAN (FOR REFERENCE ONLY)



5
City of Albuquerque Electronic Stamp

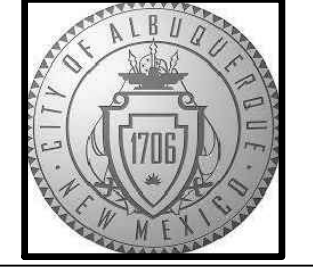
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		DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	NO.	NO.	DATE	DATE

MICRO-FILM INFORMATION		RECORDED BY		DATE	
		NO.	NO.	DATE	DATE

BENCH MARKS		DATE	
		NO.	DATE

SURVEY INFORMATION		BY		DATE	
		NO.	NO.	DATE	DATE

SEAL		REMARKS		DATE	
		NO.	NO.	DATE	DATE



CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM
AFD FIRE STATION 23
9801 AMOLE MESA AVE. N.W.
ALBUQUERQUE, NM 87121

GENERAL NOTES AND INDEX TO DRAWINGS

Drawing Title	GENERAL NOTES AND INDEX TO DRAWINGS			
Design Review Committee	City Engineer Approval	Mo./Day/Yr.		Mo./Day/Yr.
		7/10/18		
Issue Date:	City Project No.			
JULY 25, 2023				CG-100

T:\Clients\VIGIL & ASSOCIATES\CABQ Fire Station #23\CAD\Sheets\CG-100 GEN NOTES & LEGEND 07-11-23.dwg, Layout1, 12/18/2023 3:09:57 PM

DRAINAGE REPORT

SITE LOCATION

The existing site is an approximate 6.5-acre piece of land located east of 98th Street and north of Amole Mesa Southwest in Albuquerque, New Mexico. The site is located on the east side of 98th Street and can be accessed via Amole Mesa Avenue S.W. (see vicinity map this sheet).

EXISTING CONDITIONS

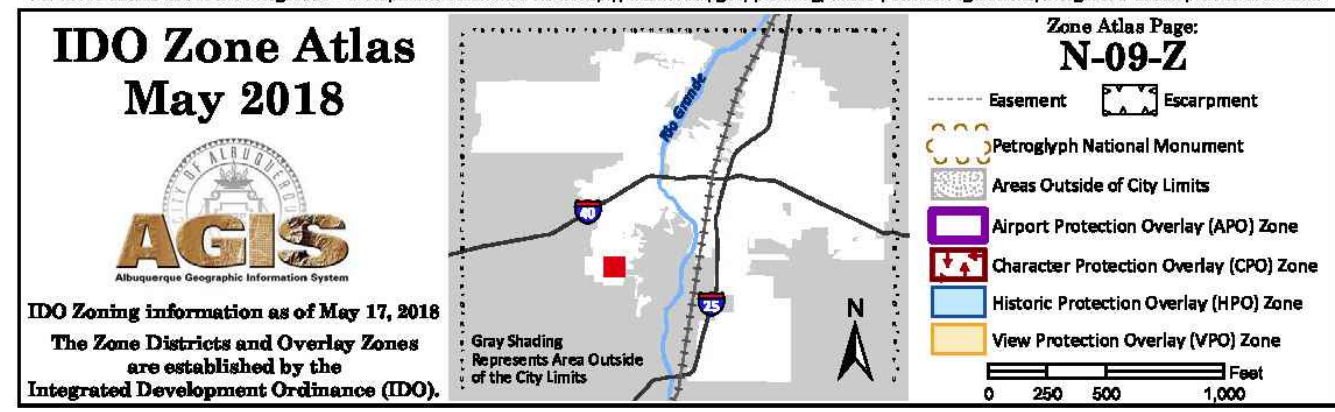
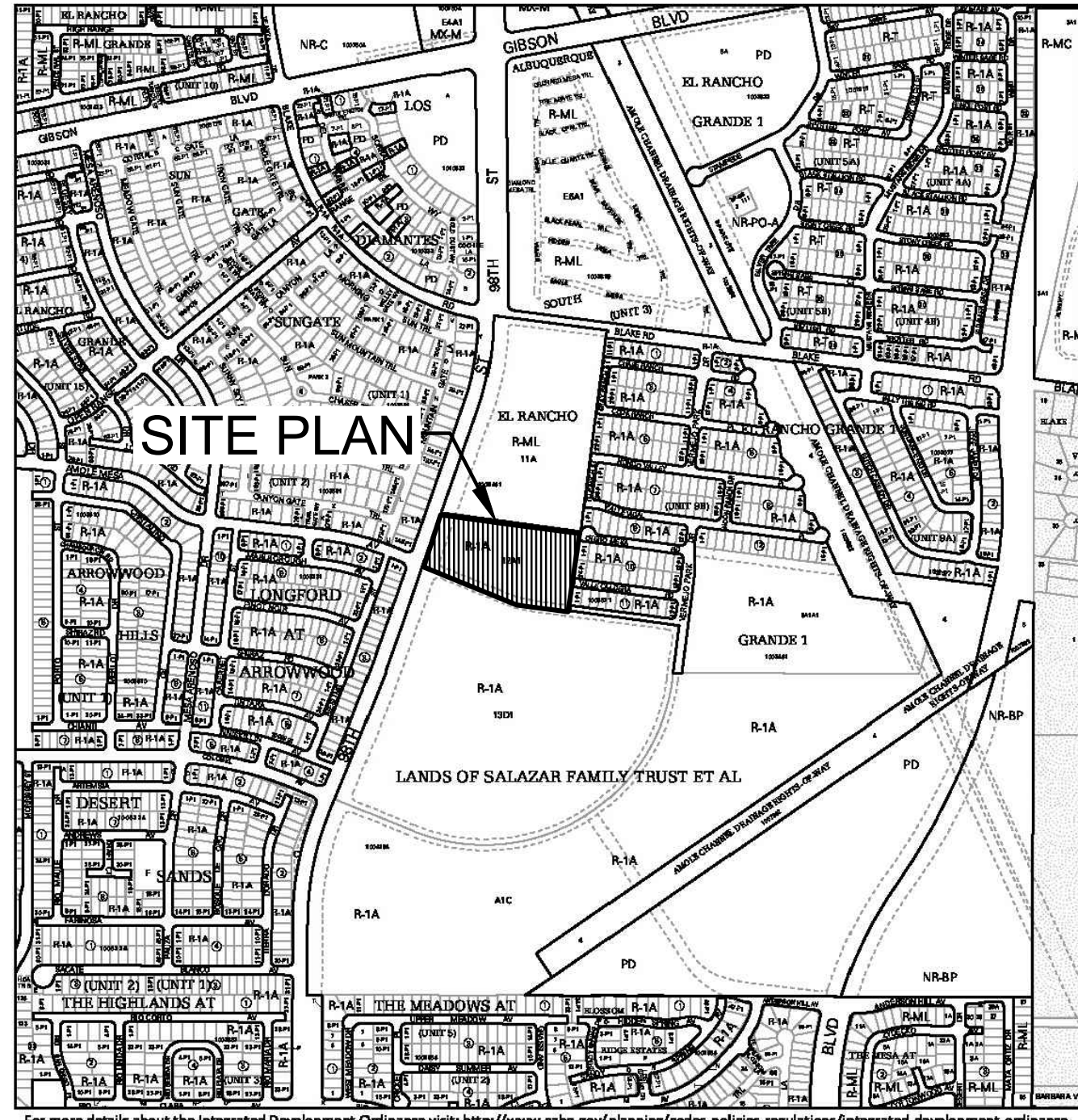
The existing site is estimated at 6.5 acres and is currently undeveloped. Of the existing 6.5 acres site the eastern 2.5-3.0 acres will be used for this development. The site slopes moderately from west to east at an average slope of 2.5%. The site does not lie within a 100-year FEMA floodplain (see FEMA panel on this sheet).

PROPOSED CONDITIONS

The proposed project will consist of a new fire station building, new driveway entrances from Amole Mesa Avenue and parking lot areas on the west side of the site. The site will also have several landscape areas for water harvesting. The total area of impervious disturbance for this site under proposed conditions is estimated at 3 acres. The storm water quality volume for this disturbance area for this site is estimated at 4726 cubic feet. An effort has been made to accommodate storm water quality ponds within several landscape buffers located on the site. The total storm water quality pond volume provided is estimated at 13,530 cubic feet. The drainage calculations are indicated on this sheet.

CONCLUSIONS

When fully developed as indicated on the grading and drainage plan, the runoff from the site will increase by an estimated 14.18 cfs and 0.914 acre-feet during the 100-year, 24-hour event. Storm water runoff from the site will discharge to several water harvest features and eventually to its historical location in Amole Mesa Ave. S.W.



C1 VICINITY MAP
ZONE ATLAS MAP N-09-Z

HYDROLOGY CALCULATIONS

HYDROLOGY

Precipitation Zone 1 - 100-year Storm P(360) = 2.20 in P(1440) : 2.66

Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(100-6) (af)	V(100-24) (af)	Q(100) (cfs)
		A	B	C	D				
Existing Conditions									
Site	6.80	6.50	0.00	0.20	0.10	0.48	0.271	0.275	9.40
Total	6.80								9.40
Proposed Conditions									
Site	6.80	0.00	0.70	3.00	3.10	1.40	0.796	0.914	23.58
Total	6.80								23.58

WATER HARVEST AREA

WHA #1

Pond Rating Table			
Side Slope	Elev. (ft)	Area (sq ft)	Volume (cf)
	83	654	0
	84	1269	961.500
	85	2026	1647.500

WHA #3

Pond Rating Table			
Side Slope	Elev. (ft)	Area (sq ft)	Volume (cf)
	81	1067	0
	82	1647	1357.000

WHA #2

Pond Rating Table			
Side Slope	Elev. (ft)	Area (sq ft)	Volume (cf)
	83	232	0
	84	623	427.500
	85	1190	906.500

WHA #4

Pond Rating Table			
Side Slope	Elev. (ft)	Area (sq ft)	Volume (cf)
	69	1422	0
	70	1915	1668.500
	71	2556	2235.500
	72	6096	4326.000

STORM WATER QUALITY CALCULATIONS

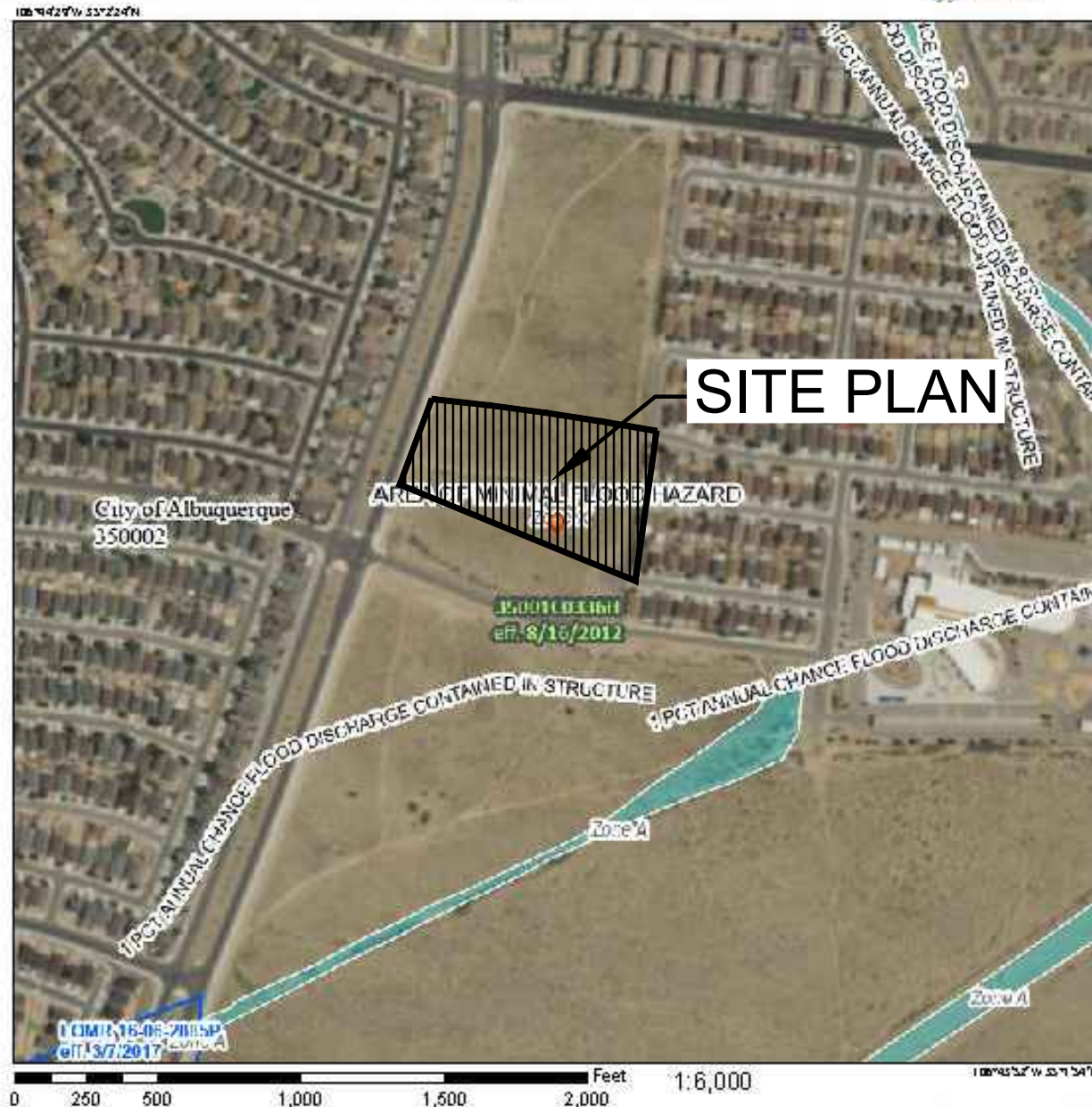
$$SQWV = (135,036 * 0.42''/12) = 4,726 \text{ CUBIC FEET}$$

GENERAL NOTES:

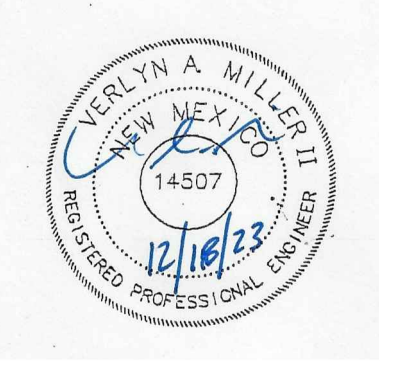
- EXISTING TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY TERRA LAND SURVEYS, LLC. CORRALES, NEW MEXICO MARCH 2023. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
- PROJECT BENCHMARK IS A CITY OF ALBUQUERQUE SURVEY ALUMINUM DISC STAMPED "2-pg", HAVING AN ELEVATION OF 5056.962. NAVD 88.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
- CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."
- THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LADEN STORM WATER FROM EXITING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER, WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY.
- THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.
- SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK AND HANDICAPPED RAMPS, DETAILS AROUND THE BUILDING.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%. ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%, AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15:1.
- ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.
- THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2019 EDITION OF THE NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION (GRAY BOOK). ALL UTILITY WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN PUBLIC WORKS ASSOCIATION, NEW MEXICO CHAPTER, STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.
- THE CONTRACTOR SHALL SUBMIT A SEED MIX DESIGN TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO STARTING THE SEEDING ON THE PROJECT. THE SEED MIX DESIGN SHALL BE A SEED MIX RECOMMENDED BY NRCS FIELD OFFICE REPRESENTATIVE APPROPRIATE FOR PROJECT LOCATION.

ALL DISTURBED AREAS, NOT ADDRESSED BY ARCHITECTURAL LANDSCAPE PLAN WITH SLOPES OF LESS THAN 3:1 SHALL RECEIVE CLASS "A" SEEDING. ANY SLOPES THAT ARE 3:1 OR STEEPER SLOPES SHALL RECEIVE STEEP SLOPE SEEDING. THE STEEP SLOPE SEEDING SHALL CONSIST OF SEEDING IN CONJUNCTION WITH A 100% COCONUT FIBER BLEND EROSION BLANKET (NORTH AMERICAN GREEN C125) OR APPROVED EQUAL.

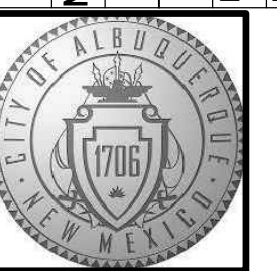
A1 FLOOD ZONE MAP
FLOOD ZONE MAP: 35001C0336H



AS-BUILT INFORMATION	CONTRACTOR	DATE
	WORKS BY	DATE
BENCH MARKS	ACCEPTANCE BY	DATE
	FIELD VERIFICATION BY	DATE
SURVEY INFORMATION	DESIGNED BY	DATE
	CHECKED BY	DATE
FIELD NOTES	NO.	DATE
	NO.	DATE

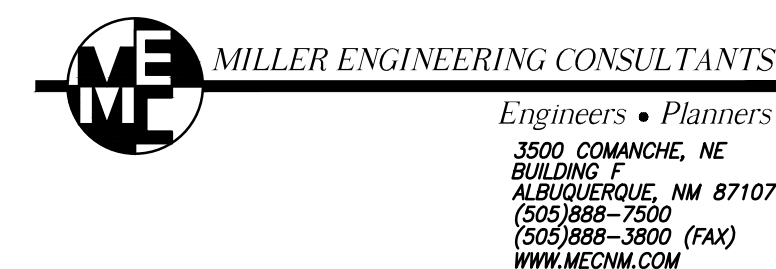


REMARKS	BY	DATE



CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM
AFD FIRE STATION 23
9601 AMOLE MESA AVE. N.W.
ALBUQUERQUE, NM 87121

Drawing Title	HYDROLOGY PLAN		file name:
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Issue Date:	City Project No.	7/10/18	
JULY 25, 2023			
Last Design Update	Sheet	CG-101	



STORM DRAIN NOTES: (#)

1. NEW TYPE D AREA INLET, SEE DETAIL SHEET C-504. RIM EL. = 84.00, INV EL. = 80.00
2. INSTALL 178.53 L.F. OF NEW 18" DIA STORM PIPE. SLOPE = 2.26%
3. INSTALL NEW 4" DIA. TYPE E STORM MANHOLE, PER COA STD DWG #2102. RIM EL. = 86.5, INV. EL. = 75.97.
4. INSTALL 192.94 L.F. OF NEW 18" DIA. STORM PIPE. SLOPE = 1.0%.
5. INSTALL NEW 4" DIA. TYPE E STORM MANHOLE, PER COA STD DWG #2102. RIM EL. = 81.50, INV. EL. = 74.04.
6. INSTALL 130.28 L.F. OF NEW 18" DIA. STORM PIPE. SLOPE = 1.0%
7. INSTALL NEW 4" DIA. TYPE C STORM MANHOLE, PER COA STD DWG #2102.. RIM EL. = 76.0 INV. EL. = 72.74.
8. INSTALL 23.53 L.F. OF 24" DIA. STORM PIPE. SLOPE = 1.0%.
9. INV. OUT EL. = 72.50.
10. NEW TYPE D AREA INLET, SEE DETAIL ON SHEET C-504. RIM EL. = 84.0, INV. EL. = 78.0.

STORM DRAIN NOTES: (#)

11. INSTALL 14.73 L.F. OF NEW 18" DIA STORM PIPE. SLOPE = 8.15%.
12. INSTALL 18"x18"x18" TEE. INV. EL. = 76.80.
13. NEW TYPE D AREA INLET, SEE DETAIL ON SHEET C-504. RIM EL. = 76.50, INV. EL. = 72.50.
14. INSTALL 32.17 L.F. OF NEW 18" DIA. STORM PIPE. SLOPE = 1.03%.
15. NEW TYPE D AREA INLET, SEE DETAIL ON SHEET C-504. RIM EL. = 78.77, INV. EL. = 74.77.
16. INSTALL 4.30 L.F. OF NEW 18" DIA STORM PIPE. SLOPE = 1.0% MIN.
17. INSTALL 18"x18"x18" TEE. INV. EL. = 72.77.
18. NEW TYPE D AREA INLET, SEE DETAIL ON SHEET C-504. RIM EL. = 83.75, INV. EL. = 75.75.
19. INSTALL 7.53 L.F. OF 18" DIA. STORM PIPE. SLOPE = 8.90%.
20. INSTALL NEW 18"x18"x18" TEE, INV. EL. = 75.08.

LEGEND:

- 38.00 PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
- ◆ MATCH (95.19) MATCH EXISTING ELEVATIONS
- TOC TOP OF CONCRETE
- FL FLOW LINE, CURB
- INV INVERT
- FG FINISH GRADE
- TBC TOP OF BASE COURSE
- TC TOP OF CURB
- TG TOP OF GRATE
- TA TOP OF ASPHALT
- FV FIELD VERIFY
- FLOW ARROW
- GRADE BREAK-HIGH POINT
- PROPOSED STORM DRAIN MANHOLE
- SWALE
- SD STORM DRAIN LINE
- 5895 PROPOSED MAJOR CONTOUR
- 5895 EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- TOP OF CUT SLOPE

KEYED NOTES:

- 1 NEW BUILDING SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- 2 NEW WATER HARVEST AREAS, SEE DETAIL SHEET C-502.
- 3 NEW CONCRETE SPILLWAY AND CHANNEL..
- 4 NEW EARTHEN SWALE, SEE DETAIL SHEET C-501.
- 5 INSTALL 3' WIDE CONCRETE CHANNEL, SEE DETAIL SHEET C-501.
- 6 NEW 36" CONCRETE RUNDOWN, SEE DETAIL SHEET C-502.
- 7 NEW 36" CURB CUT.
- 8 NEW RIP RAP RUNDOWN, SEE DETAIL SHEET C-503.
- 9 NEW RETAINING WALL, SEE STRUCTURAL FOR DETAILS.
- 10 NEW DOUBLE 24" SIDEWALK CULVERT WITH TOP PLATE, PER COA STD DWG #2236.
- 11 NEW 4--8" WIDE CONCRETE CHANNEL, SEE DETAIL ON SHEET C-502.
- 12 CONCRETE HEADER CURB, SEE DETAIL ON SHEET C-501.
- 13 NEW CONCRETE SWALE
- 14 6" DIA ROOF DRAIN CONNECT TO BUILDING STUB-OUT.
- 15 12" DIA ROOF DRAIN AT 1.0% MIN. SLOPE.
- 16 8" DIA. ROOF DRAIN AT 1.0% MIN. SLOPE.
- 17 6" DIA. ROOF DRAIN AT 1.0% MIN. SLOPE.
- 18 NEW STANDARD CURB AND GUTTER PER COA STD DWG #2415A.
- 19 NEW LINEAR CONCRETE SIDEWALK PER COA STD DWG #2430.
- 20 NEW CONCRETE VALLEY GUTTER PER COA STD DWG #2420.
- 21 NEW ADA ACCESS RAMP PER COA STD DWG #2443.
- 22 NEW TRASH ENCLOSURE SEE ARCHITECTURAL FOR DETAILS.

PROJECT NO.: D C B A

City of Albuquerque Electronic Stamp



AS-BUILT INFORMATION	
CONTRACTOR	DATE

BENCH MARKS	
NO.	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE

NO.	DATE	REMARKS	DESIGN	DATE

NO.	DATE	REMARKS	BY	DATE

DESIGNED BY:	DRAWN BY:	CHECKED BY:



CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM
AFD FIRE STATION 23
 9801 AMOLE MESA AVE. N.W.
 ALBUQUERQUE, NM 87121

file name:

Drawing Title: GRADING AND DRAINAGE PLAN OVERALL

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
		7/10/18	

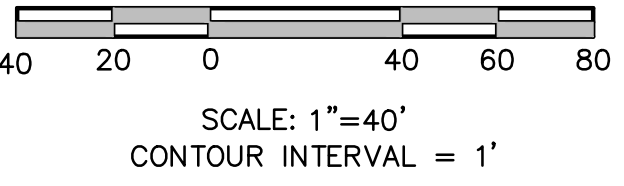
Issue Date:	City Project No.	Sheet

JULY 25, 2023

C-100

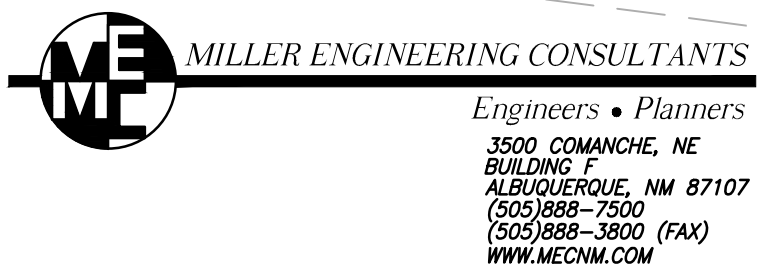
NOTE:
 ALL STORM DRAIN PIPE SHALL CONSIST OF AN SDR 35 PIPE OR HDPE STORM DRAIN PIPE WITH A SMOOTH INTERIOR. ALL SD PIPE SHALL HAVE WATER TIGHT JOINTS AND SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL OF THE NECESSARY FITTINGS (TEES, WYES, REDUCERS, BENDS, ETC.) TO ACHIEVE THE STORM DRAIN LAYOUT INDICATED ON THIS PLAN.

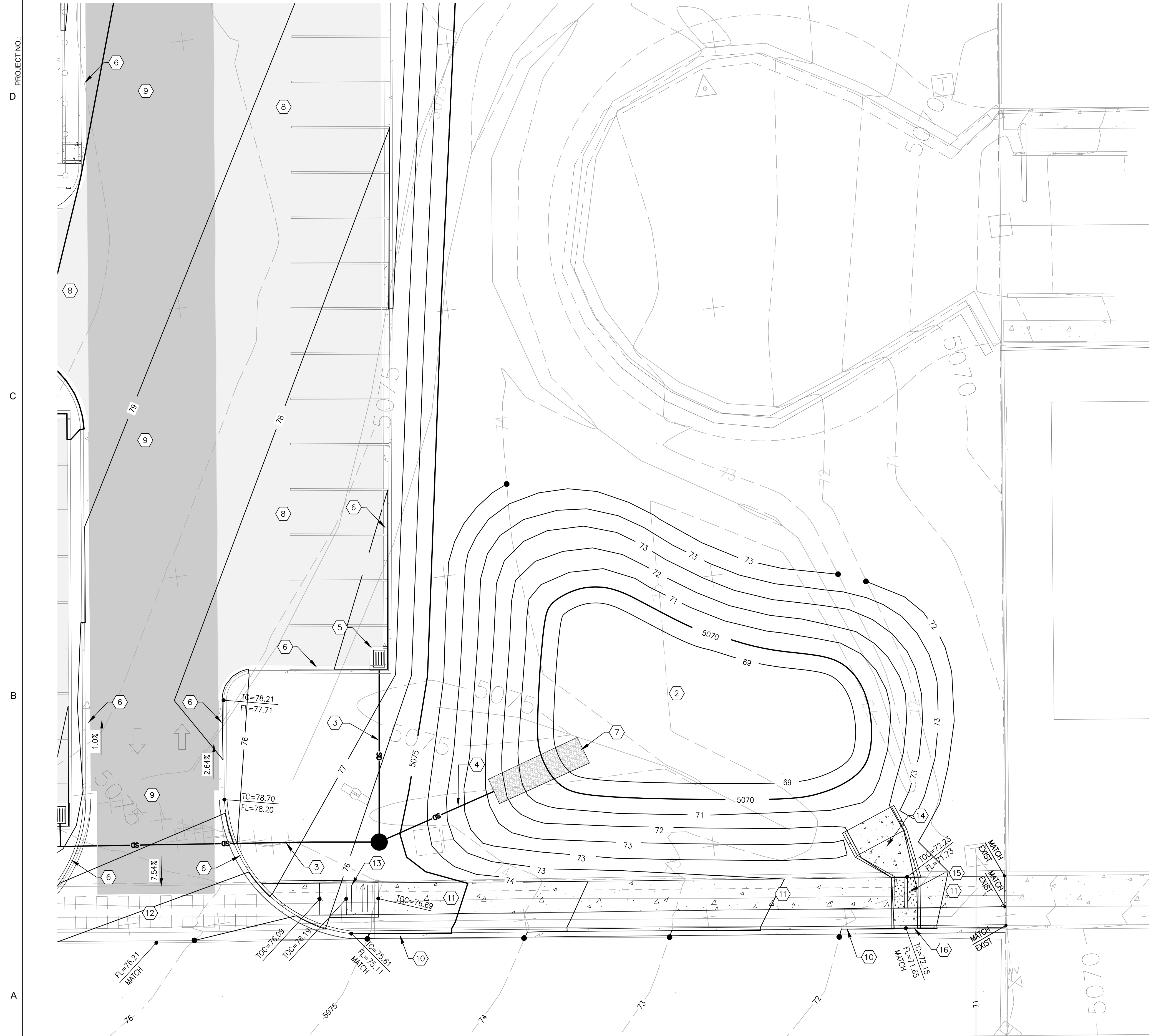
THE CONTRACTOR SHALL SUBMIT A JOINT PATTERN PLAN FOR THE CONCRETE PAVING ON THE PROJECT. THE JOINT PATTERNS SHALL HAVE A PLAN FOR ALL CONTROL JOINTS AND EXPANSION JOINTS REQUIRED FOR THE CONCRETE PAVING. THE PLAN SHALL FOLLOW THE GUIDANCE AND RECOMMENDATIONS BY ACI 330.



A1 GRADING AND DRAINAGE PLAN OVERALL

SCALE: 1"=40'



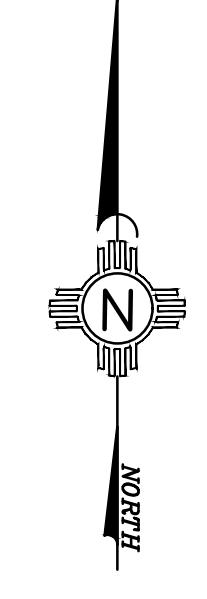


LEGEND:

- PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
- ▲ MATCH EXISTING ELEVATIONS
- TOC TOP OF CONCRETE
- FL FLOW LINE, CURB
- INV INVERT
- FG FINISH GRADE
- TBC TOP OF BASE COURSE
- TC TOP OF CURB
- TG TOP OF GRATE
- TA TOP OF ASPHALT
- FV FIELD VERIFY
- ➔ FLOW ARROW
- GRADE BREAK—HIGH POINT
- PROPOSED STORM DRAIN MANHOLE
- SWALE
- SD STORM DRAIN LINE
- - - PROPOSED MAJOR CONTOUR
- - - PROPOSED MINOR CONTOUR
- - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- ➔ TOP OF CUT SLOPE

KEYED NOTES:

- 1 NEW CONCRETE FLATWORK AND SIDEWALK. SEE ARCHITECTURAL DRAWINGS FOR DETAILS. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS PRIOR TO CONSTRUCTION.
- 2 NEW WATER HARVEST AREAS #4, INV. EL. = 5068.50, SEE SHEET C-502.
- 3 NEW 18" STORM DRAIN PIPE @ 1% SLOPE MINIMUM.
- 4 NEW 24" STORM DRAIN PIPE @ 1% SLOPE MINIMUM.
- 5 NEW TYPE D AREA INLET, SEE DETAIL SHEET C-504.
- 6 NEW CURB AND GUTTER, SEE DETAIL SHEET C-501.
- 7 NEW RIP RAP RUNDOWN, SEE DETAIL SHEET C-503.
- 8 NEW HMA LIGHT DUTY PAVING, SEE DETAIL SHEET C-501.
- 9 NEW HMA HEAVY DUTY PAVING, SEE DETAIL SHEET C-501.
- 10 NEW STANDARD CURB AND GUTTER PER COA STD DWG #2415A.
- 11 NEW LINEAR CONCRETE SIDEWALK PER COA STD DWG #2430.
- 12 NEW CONCRETE VALLEY GUTTER PER COA STD DWG #2420.
- 13 NEW ADA ACCESS RAMP PER COA STD DWG #2443.
- 14 NEW CONCRETE SPILLWAY, SEE DETAIL SHEET C-502.
TOP OF BERM = 73.0, CREST (INV) = 72.0.
- 15 NEW 2 - 24" WIDE SIDEWALK CULVERTS PER COA STD DWG #2236
- 16 NEW 4'-8" WIDE CURB CUT AND CONCRETE CHANNEL. SEE DETAIL SHEET C-502..



SCALE: 1"=10'
CONTOUR INTERVAL = 1'

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR	DATE	NO.	DATE	BY	DATE
WORK BY	DATE	NO.	DATE	NO.	DATE
SURVEY BY	DATE	FIELD NOTES		NO.	DATE
ACCEPTANCE BY	DATE			NO.	DATE
FIELD ACTION BY	DATE			NO.	DATE
DRAWINGS CONNECTED BY	DATE			NO.	DATE
MICRO-FILM INFORMATION	DATE			NO.	DATE
DESIGN		BY		DATE	
REMARKS		BY		DATE	
NO.		DATE		DATE	

A1 ENLARGED GRADING AND DRAINAGE PLAN EAST POND

SCALE: 1"=10'



CITY OF ALBUQUERQUE CAPITAL IMPLEMENTATION PROGRAM AFD FIRE STATION 23

file name:

ENLARGED GRADING AND DRAINAGE PLAN EAST POND

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
		7/10/18	
Last Design Update			

Issue Date: **JULY 25, 2023**

City Project No.

Sheet **C-102**

3500 COMANCHE, NE
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TRACT 11-A
EL RANCHO GRANDE I
03/21/2003
BK. 2003C, PG. 73
DOC.# 2003045825

LEGEND:

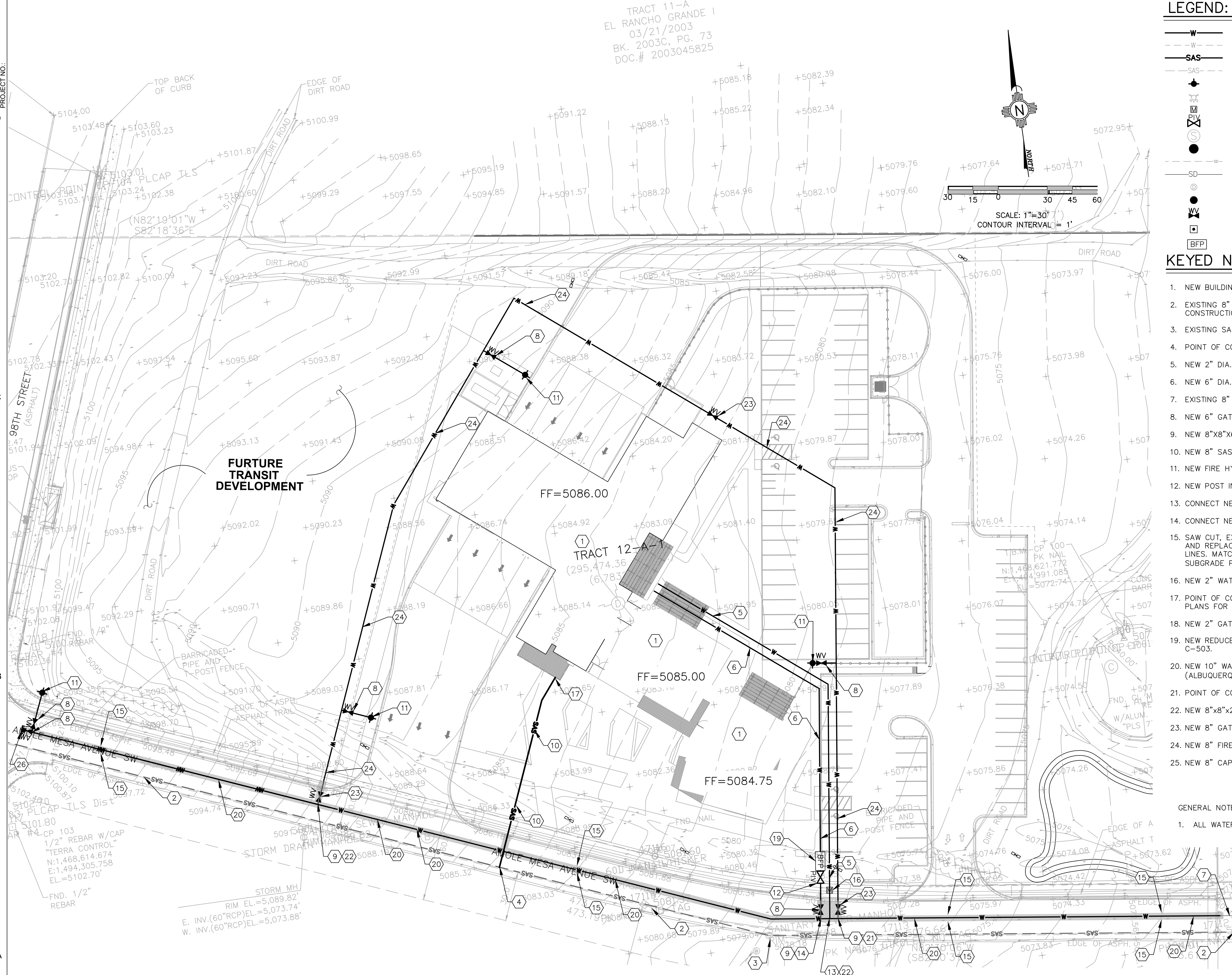
- NEW WATER LINE
- EXISTING WATER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING SANITARY SEWER LINE
- NEW FIRE HYDRANT
- EXISTING FIRE HYDRANT
- NEW WATER METER
- NEW POST INDICATOR VALVE
- EXISTING SAS MANHOLE
- PROPOSED SAS MANHOLE
- EXISTING SD LINE
- PROPOSED SD LINE
- EXISTING SD MANHOLE
- PROPOSED SD MANHOLE
- PROPOSED GATE VALVE
- PROPOSED CLEANOUT
- PROPOSED BACK FLOW PREVENTER

KEYED NOTES

1. NEW BUILDINGS SEE ARCHITECTURAL DRAWINGS.
2. EXISTING 8" SANITARY SEWER LINE. FIELD VERIFY SIZE PRIOR TO CONSTRUCTION.
3. EXISTING SAS MANHOLE TO REMAIN.
4. POINT OF CONNECTION FOR NEW 8" SAS LINE TO EXISTING SAS MAIN LINE.
5. NEW 2" DIA. DOMESTIC WATER SERVICE LINE WITH METER.
6. NEW 6" DIA. DEDICATED FIRE LINE.
7. EXISTING 8" WATER MAIN LINE.
8. NEW 6" GATE VALVE, SEE DETAIL SHEET C-503.
9. NEW 8"x8"x6" TEE.
10. NEW 8" SAS LINE @ 0.5% MINIMUM SLOPE SEE SHEET C-503 FOR DETAILS.
11. NEW FIRE HYDRANT.
12. NEW POST INDICATOR VALVE (PIV) SEE SHEET C-503 FOR DETAILS.
13. CONNECT NEW 2" DIA. DOMESTIC WATER LINE TO NEW 8" WATER MAIN.
14. CONNECT NEW 6" DIA. DEDICATED FIRE LINE TO NEW 8" WATER MAIN.
15. SAW CUT, EXISTING ASPHALT TO CLEAN STRAIGHT EDGE. REMOVE, DISPOSE AND REPLACE EXISTING ASPHALT AS NECESSARY TO INSTALL WATER AND SAS LINES. MATCH EXISTING ASPHALT SECTION OF ASPHALT, BASE COURSE AND SUBGRADE PREP. (9' MAX. WIDTH).
16. NEW 2" WATER METER, PER COA STD DWG #2363 & #2367.
17. POINT OF CONNECTION OF NEW 6" SAS TO NEW BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
18. NEW 2" GATE VALVE, SEE DETAIL SHEET C-503.
19. NEW REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY, SEE DETAIL SHEET C-503.
20. NEW 10" WATERLINE. COORDINATE AND PERMIT THIS WORK WITH ABCWUA, (ALBUQUERQUE BERNILLO COUNTY WATER UTILITY AUTHORITY)
21. POINT OF CONNECTION OF NEW 8" FIRE LOOP TO NEW 8" MAIN LINE.
22. NEW 8"x8"x2" TEE.
23. NEW 8" GATE VALVE.
24. NEW 8" FIRE LOOP.
25. NEW 8" CAP.

GENERAL NOTE:
1. ALL WATER LINES SHALL HAVE A 3' MINIMUM BURY.

City of Albuquerque Electronic Stamp



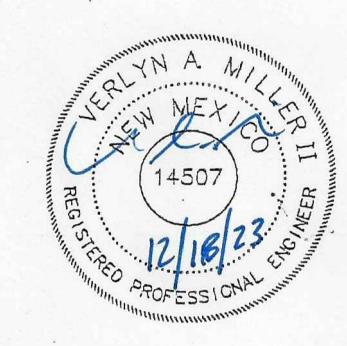
AS-BUILT INFORMATION	
CONTRACTOR	DATE



BENCH MARKS	
MARK	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE

SEAL	
NO.	DATE

REMARKS	
BY	DATE



CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM

AFD FIRE STATION 23
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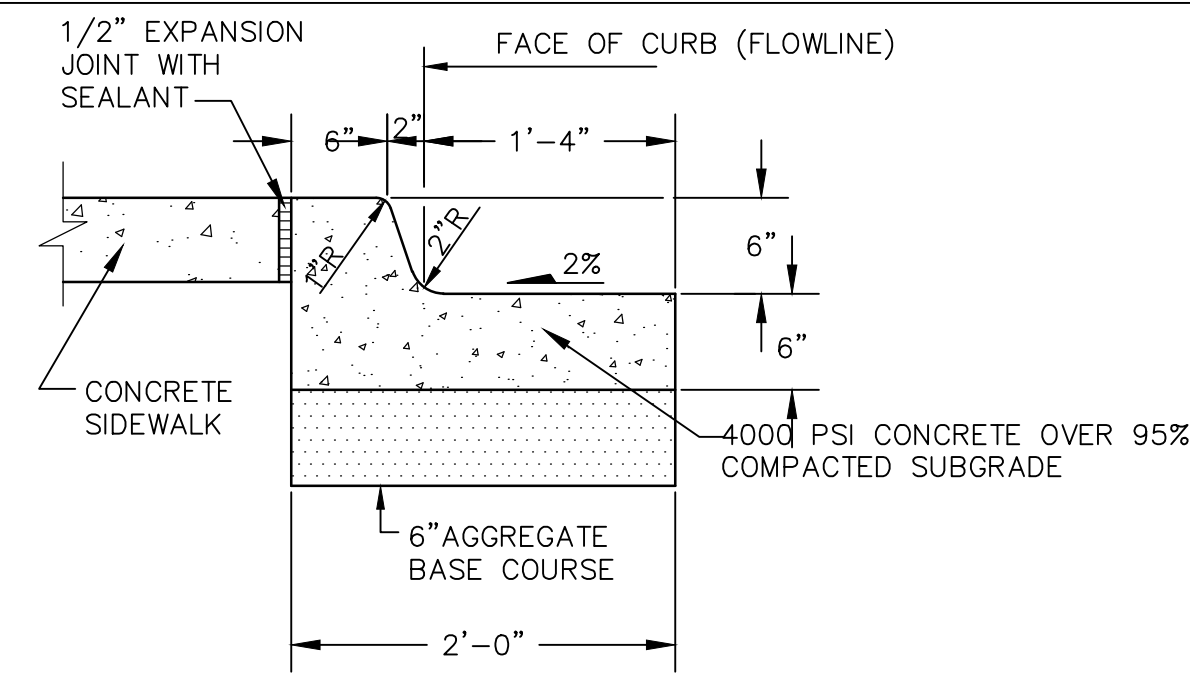
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Drawing Title UTILITY PLAN OVERALL					
Design Review Committee	City Engineer Approval				
<table border="1"> <tr> <th>Mo./Day/Yr.</th> <th>Mo./Day/Yr.</th> </tr> <tr> <td> </td> <td>7/10/18</td> </tr> </table>		Mo./Day/Yr.	Mo./Day/Yr.		7/10/18
Mo./Day/Yr.	Mo./Day/Yr.				
	7/10/18				
Issue Date: JULY 25, 2023	City Project No.				
Sheet	C-201				

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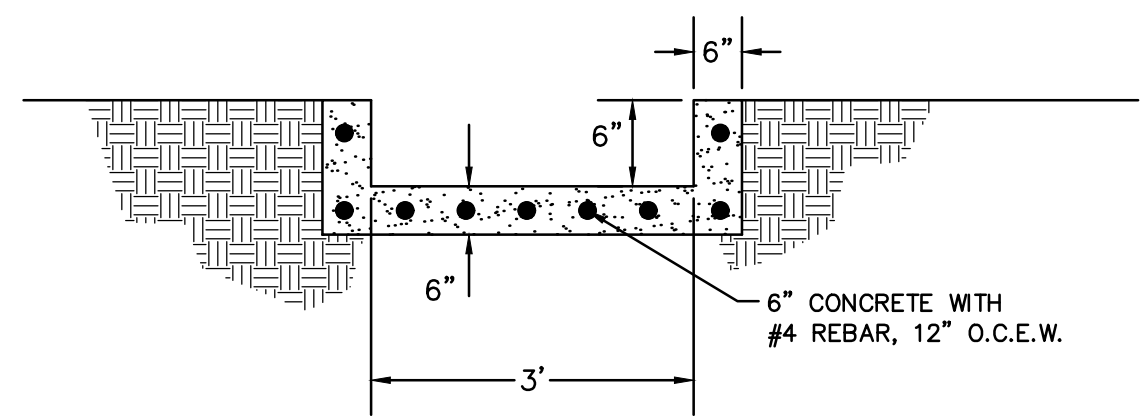
A1 UTILITY PLAN OVERALL
SCALE: 1"=30'

PROJECT NO.:
D

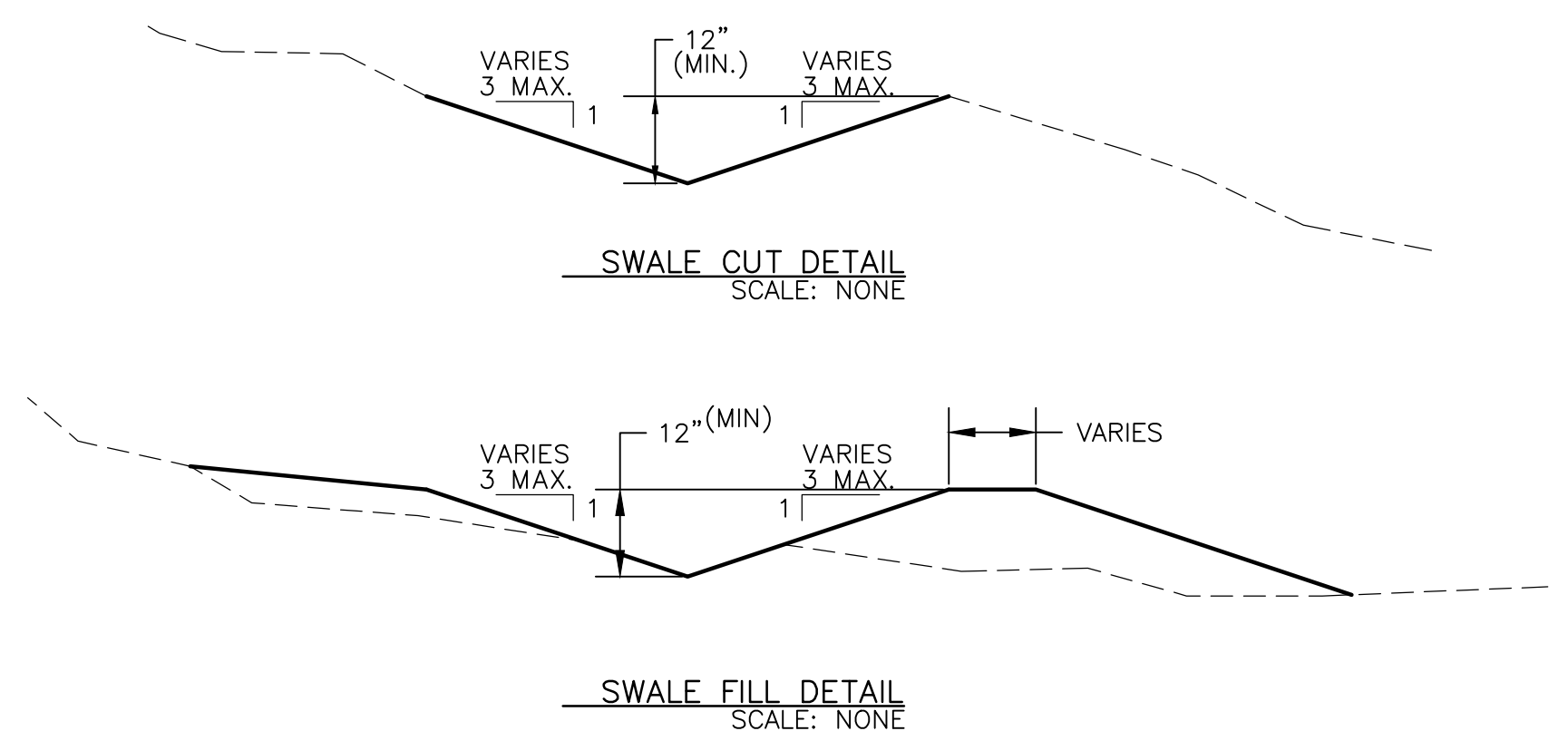


NOTES:
 1. SEE PLAN FOR SIDEWALK JOINT PATTERN.
 2. CONSTRUCT 1/2" EXPANSION JOINTS WITH SEALANT @40'-0" O.C. MAX.
 3. CONSTRUCT 1 1/2" DEEP TOOLED CONTROL JOINTS @5'-0" O.C. MAX.
 4. MATCH TOP OF EXISTING SIDEWALK AND MAINTAIN EXISTING FLOW LINE.

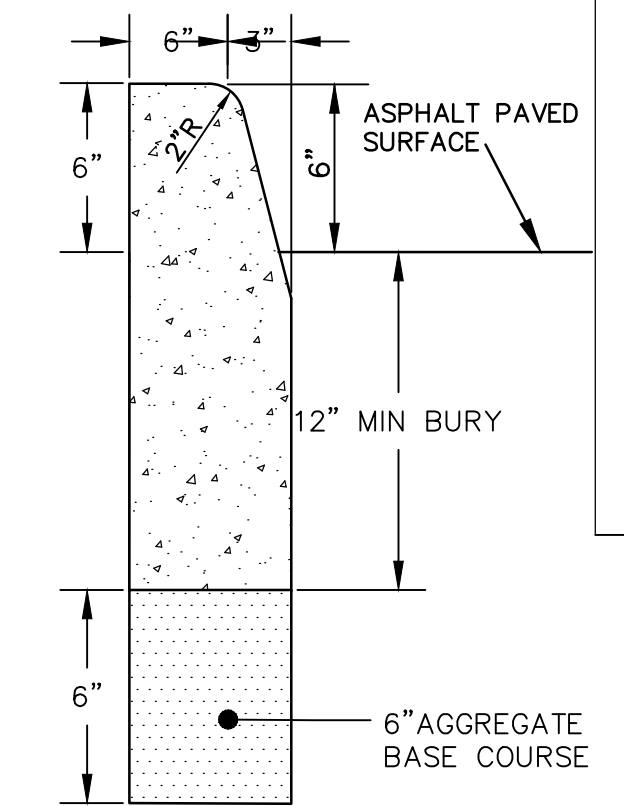
D1 TYPICAL STANDARD CURB AND GUTTER SECTION
 SCALE: NOT TO SCALE



D3 CONCRETE CHANNEL DETAIL
 SCALE: NOT TO SCALE

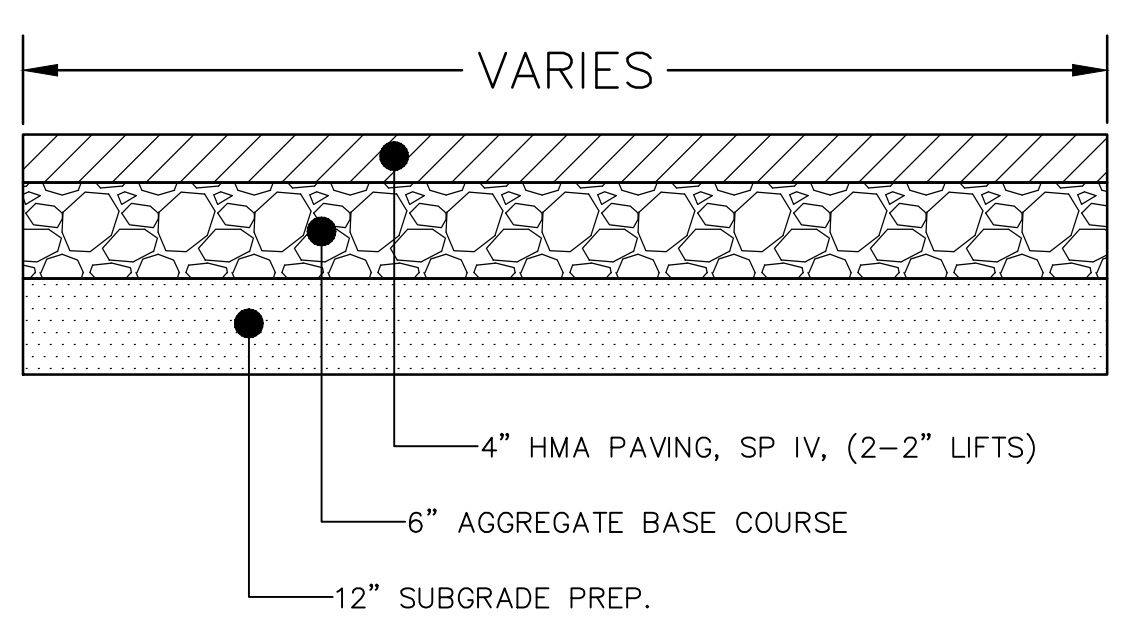


D4 EARTHEN SWALE
 SCALE: NOT TO SCALE

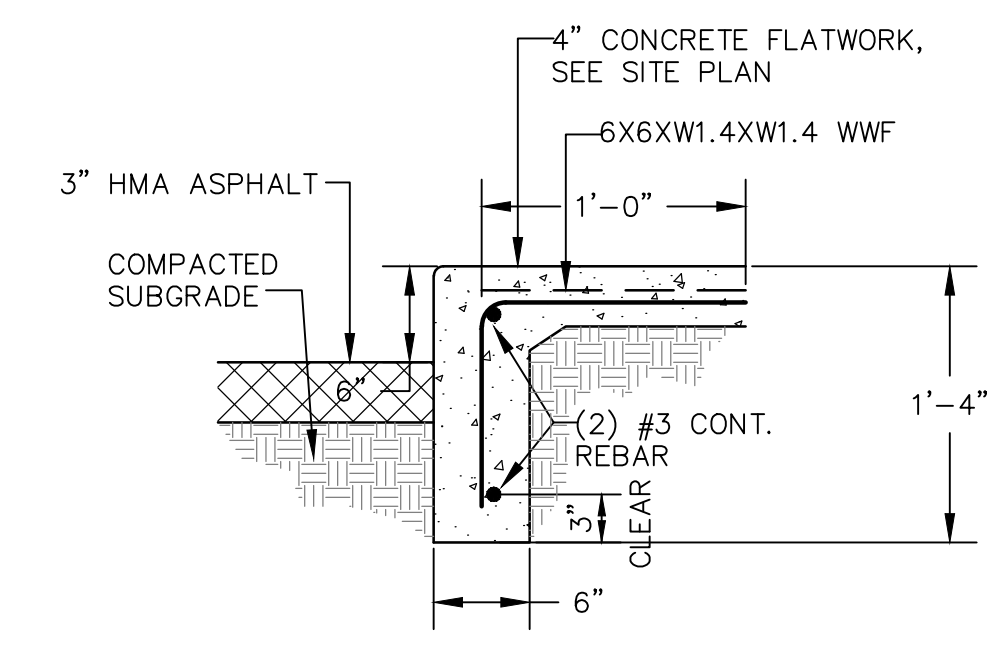


D5 HEADER CURB DETAIL
 SCALE: NOT TO SCALE

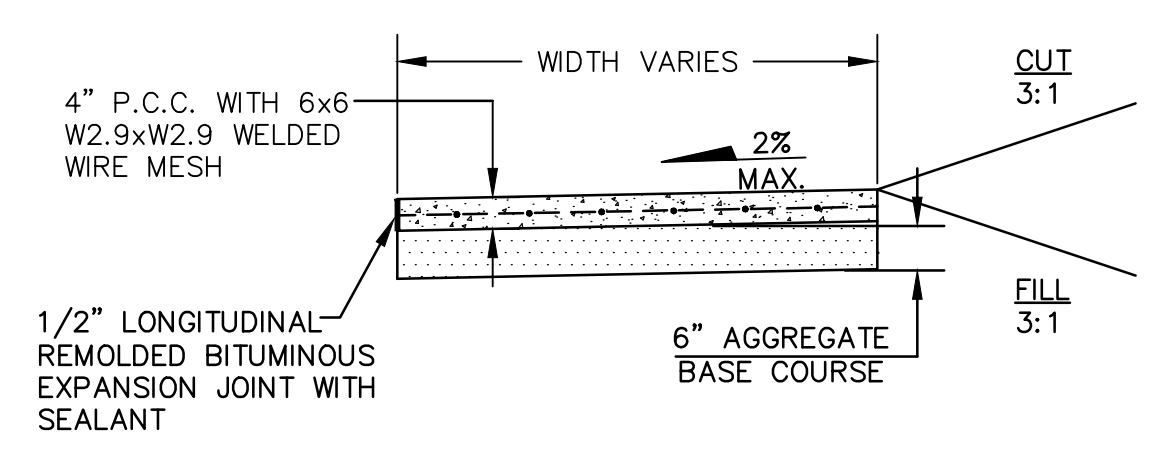
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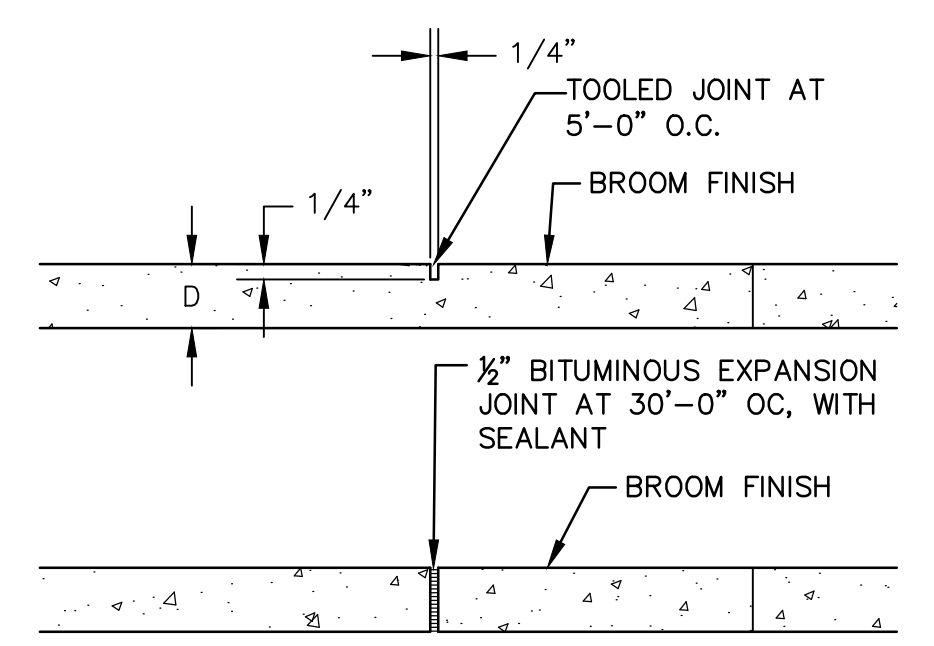
B1 TYPICAL LIGHT DUTY ASPHALT PAVING DETAIL
 SCALE: NOT TO SCALE



B2 SIDEWALK CURB EDGE DETAIL
 SCALE: NOT TO SCALE



C1 TYPICAL SIDEWALK SECTION
 SCALE: NOT TO SCALE



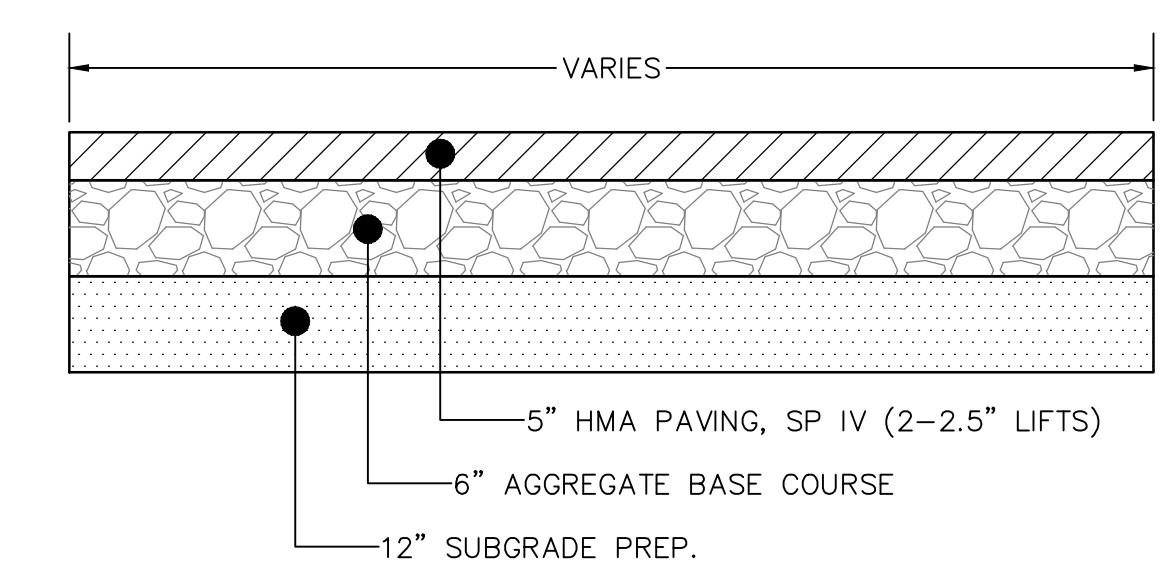
C3 CONCRETE SIDEWALK JOINTS
 SCALE: NOT TO SCALE

NOTE: CONCRETE JOINT PATTERNS SHALL BE SUBMITTED BY CONTRACTOR FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

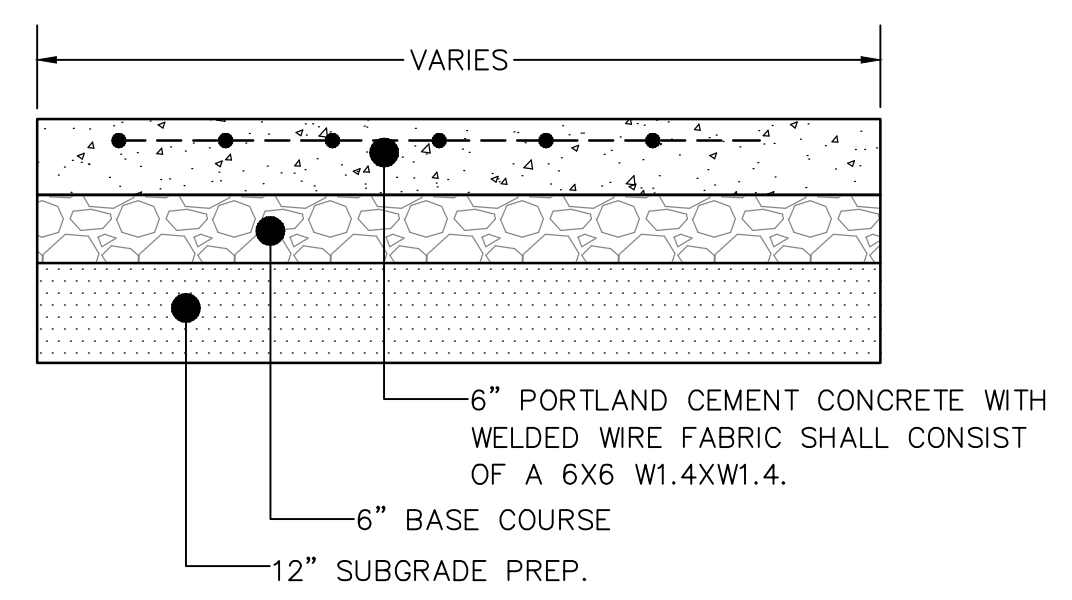
B

NOTE: FOR MINIMUM REQUIREMENTS REFER TO THE GEOTECHNICAL REPORT PREPARED BY GEOTECHNICAL ENGINEERING SERVICES, ALBUQUERQUE NM, PROJECT NO. 1-30307, DATED JUNE 2, 2023.

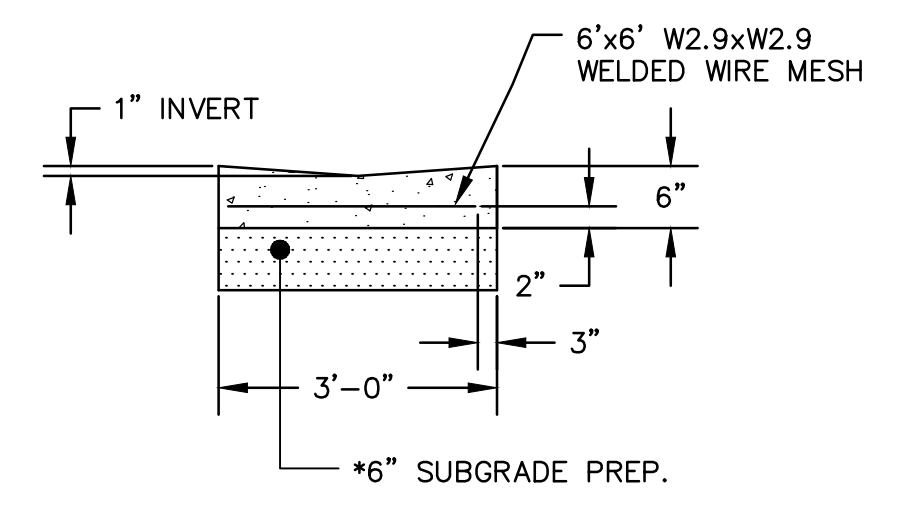
A



A1 HEAVY DUTY ASPHALT PAVING DETAIL
 SCALE: NOT TO SCALE NOTE: FOR MINIMUM REQUIREMENTS REFER TO THE GEOTECHNICAL REPORT PREPARED BY GEOTECHNICAL ENGINEERING SERVICES, ALBUQUERQUE NM, PROJECT NO. 1-30307, DATED JUNE 2, 2023.



A3 HEAVY DUTY CONCRETE PAVING SECTION
 SCALE: NOT TO SCALE NOTE: FOR MINIMUM REQUIREMENTS REFER TO THE GEOTECHNICAL REPORT PREPARED BY GEOTECHNICAL ENGINEERING SERVICES, ALBUQUERQUE NM, PROJECT NO. 1-30307, DATED JUNE 2, 2023.



A5 6" X 36" CONCRETE VALLEY GUTTER DETAIL
 SCALE: NOT TO SCALE
 * 6" SUBGRADE PREP. SHALL BE CONSIDERED INCIDENTAL TO ITEM NO. 609636, CONCRETE VALLEY GUTTER - 6"x36" AND NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR THE WORK.

City of Albuquerque Electronic Stamp

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
CONTRACTOR	DATE			NO.	DATE		
WORK BY	DATE						
SUBMITTALS	DATE						
ACCEPTANCE BY	DATE						
FIELD ACTION BY	DATE						
DRAWINGS	DATE						
CONNECTED BY	DATE						
MICRO-FILM INFORMATION							
RECORDED BY	DATE						



SEAL		REMARKS		DESIGN	
NO.	DATE	BY	DATE	BY	DATE



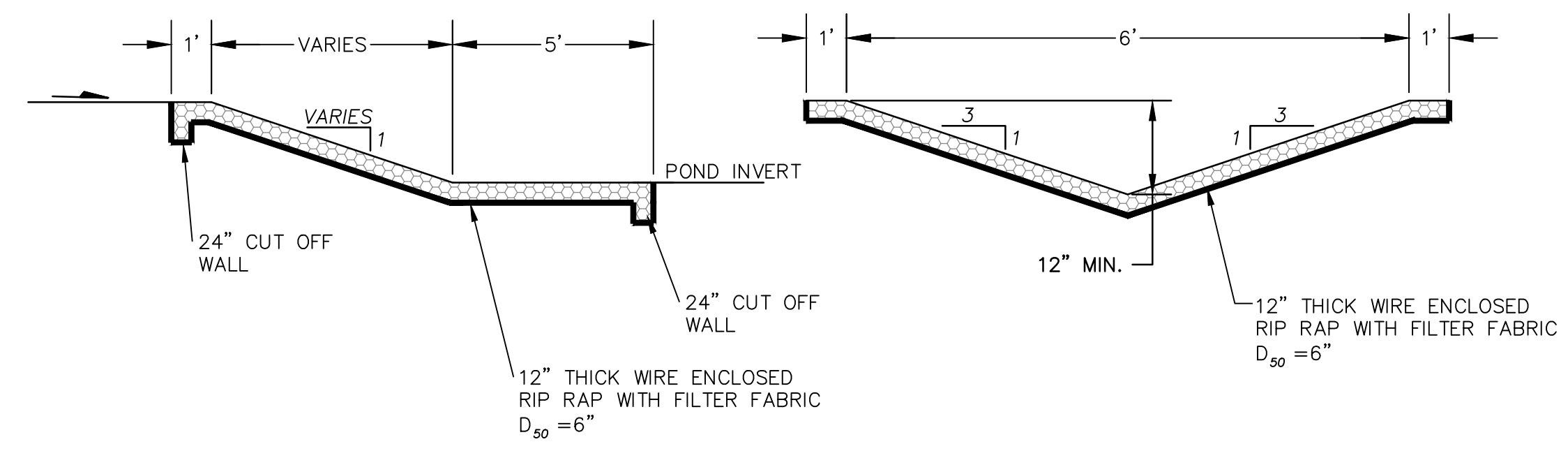
CITY OF ALBUQUERQUE
 CAPITAL IMPLEMENTATION PROGRAM
AFD FIRE STATION 23
 9601 AMOLE MESA AVE. N.W. ALBUQUERQUE, NM 87121

Drawing Title		MISCELLANEOUS DETAILS	
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
		7/10/18	
Issue Date:	City Project No.	Sheet	
JULY 25, 2023			D-501

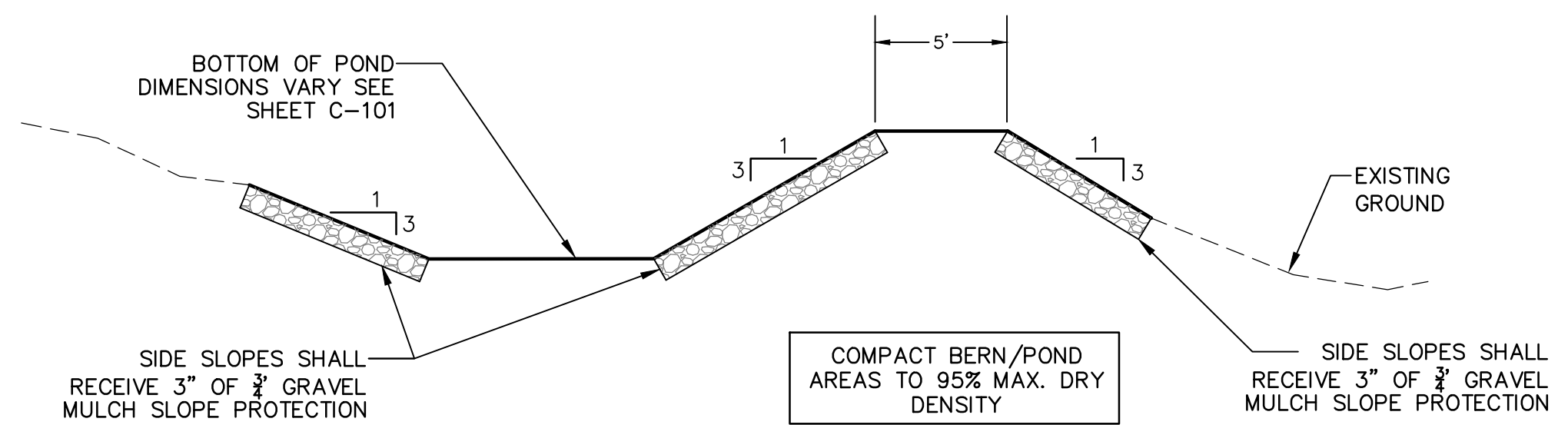
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T:\Clients\VIGIL & ASSOCIATES\CABQ Fire Station #23\CAD\Sheets\501 MISC\DETAILS.dwg, D-501, 12/18/2023 3:03:34 PM

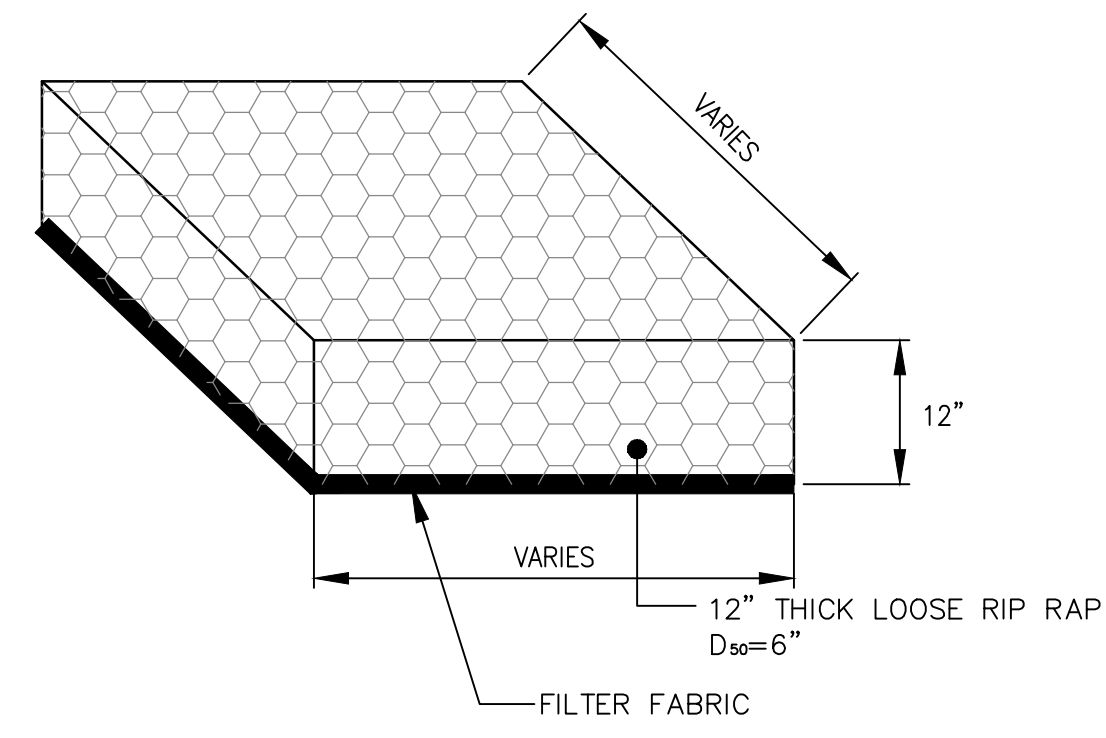
PROJECT NO.: D C B A



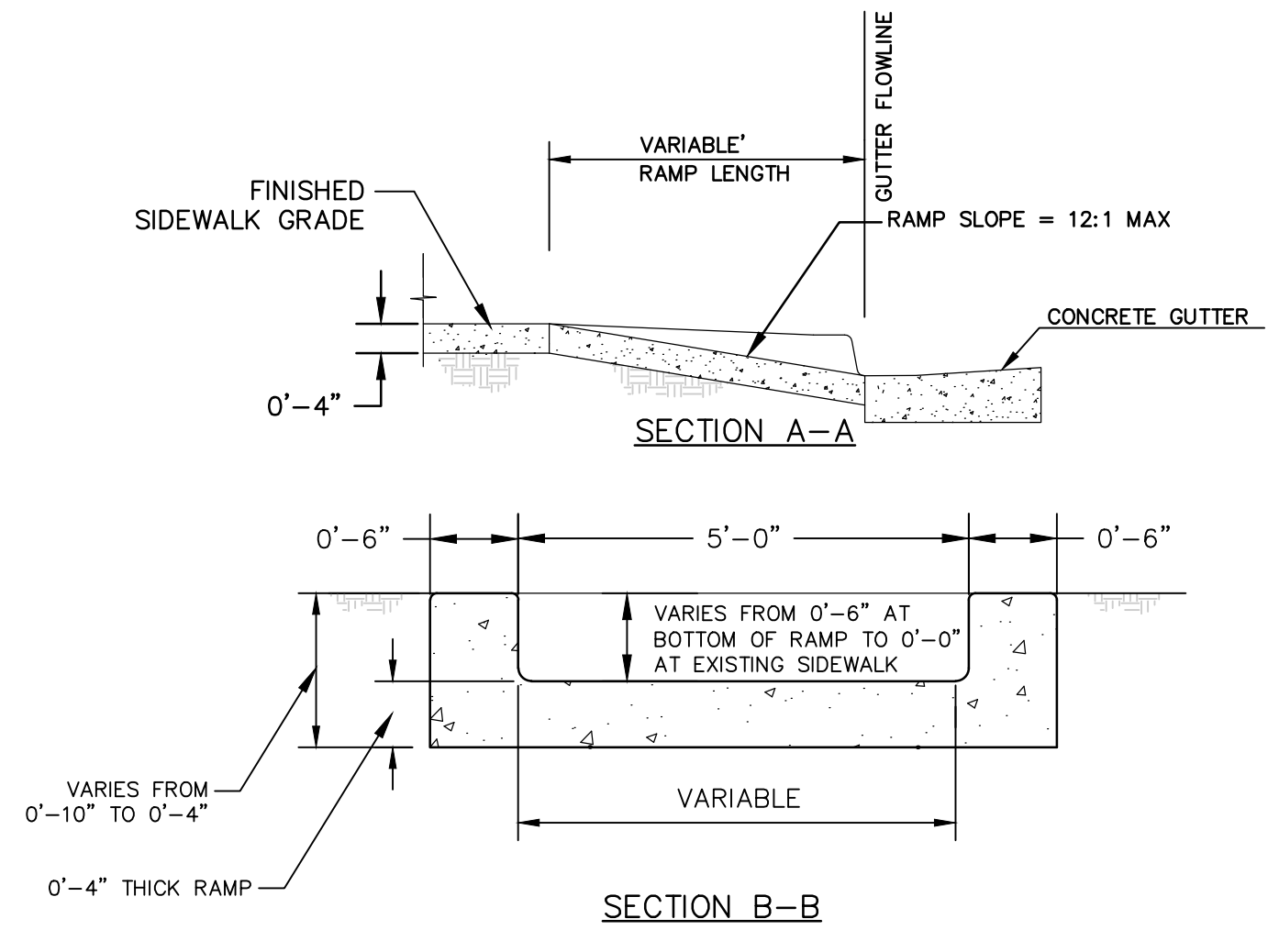
D4 RIP RAP RUNDOWN DETAIL
SCALE: NOT TO SCALE



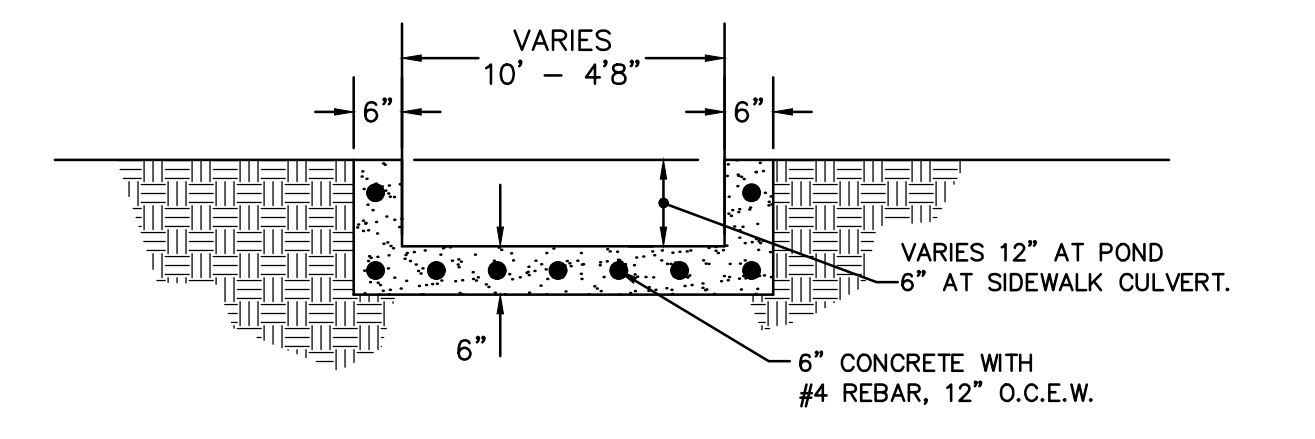
C5 TYPICAL WATER HARVEST AREA SECTION
SCALE: NOT TO SCALE



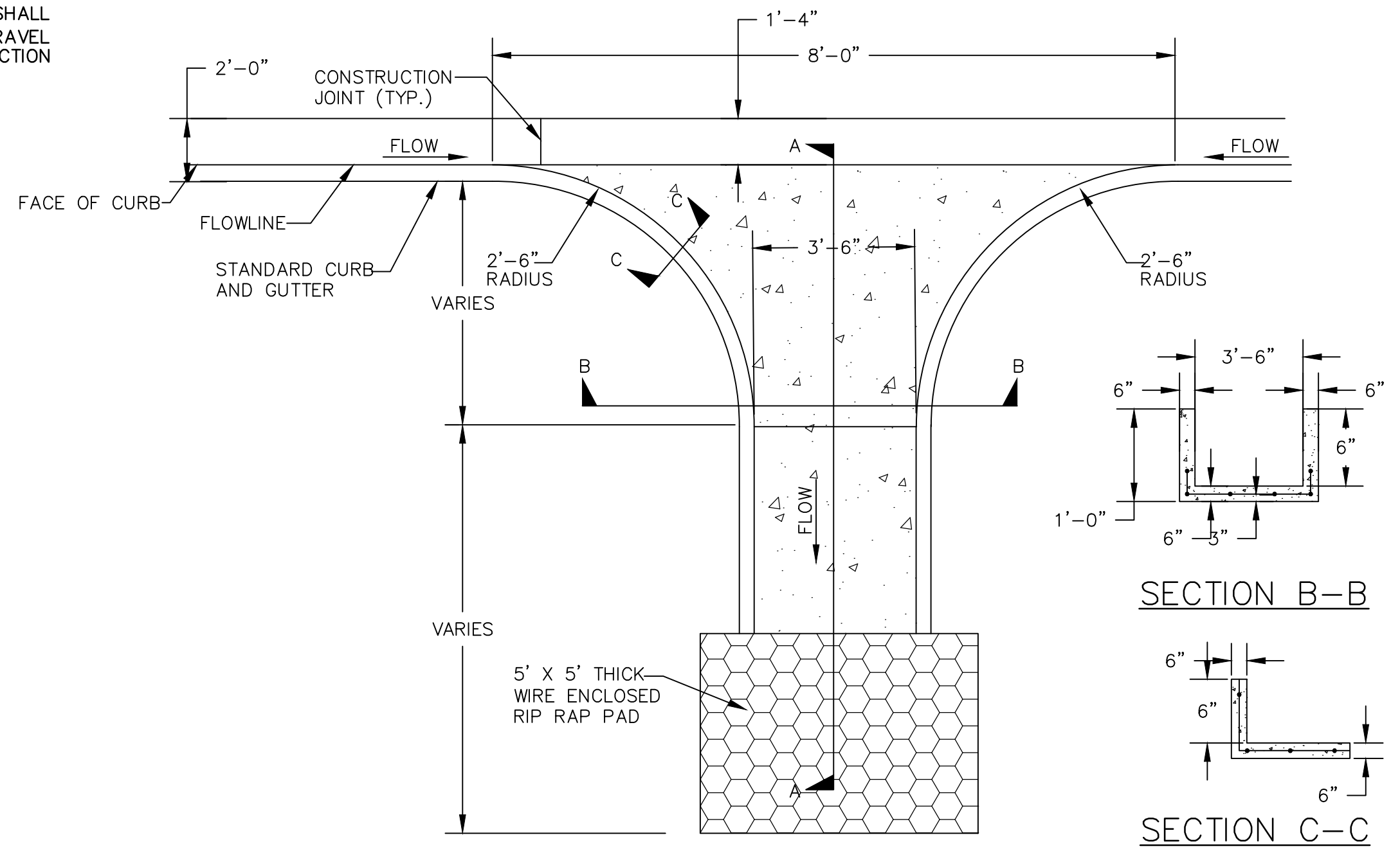
A4 CLASS 'B' RIP RAP PAD DETAIL
SCALE: NOT TO SCALE
SEE PLANS FOR SHAPE AND DIMENSIONS



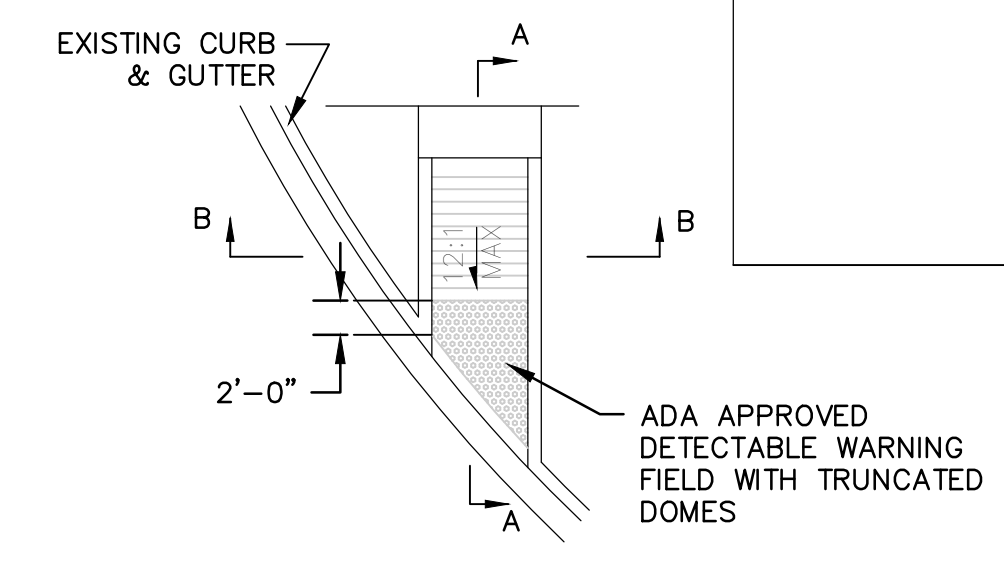
D5 HANDICAP RAMP DETAIL
SCALE: NOT TO SCALE



D3 CONCRETE SPILLWAY & CHANNEL AT POND
SCALE: NOT TO SCALE



A5 CONCRETE RUNDOWN DETAIL
SCALE: NOT TO SCALE



City of Albuquerque Electronic Stamp

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		SEAL	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORK BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
SUBMITTER	DATE	NO.	DATE	NO.	DATE	NO.	DATE
ACCEPTANCE BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
FIELD REVISION BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
REVISIONS	DATE	NO.	DATE	NO.	DATE	NO.	DATE
CHECKED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
RECORDED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE

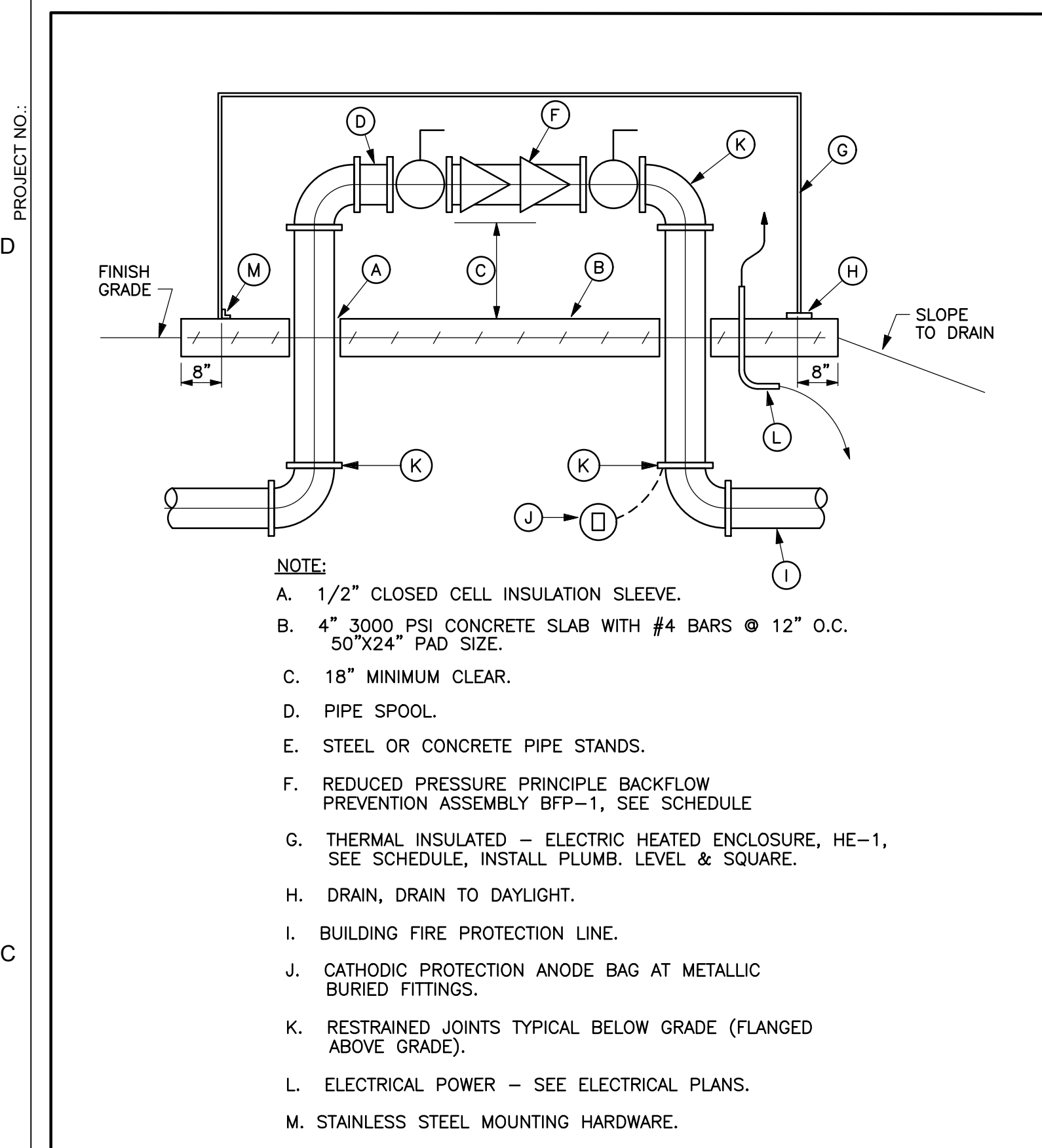


CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM
AFD FIRE STATION 23
9601 ANOLE MESA AVE. N.W.
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MISCELLANEOUS DETAILS		Last Design Update	
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
		7/10/18	
Issue Date:	City Project No.		
JULY 25, 2023			

Sheet **D-502**

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REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY (BFP-1)
SCALE: NONE

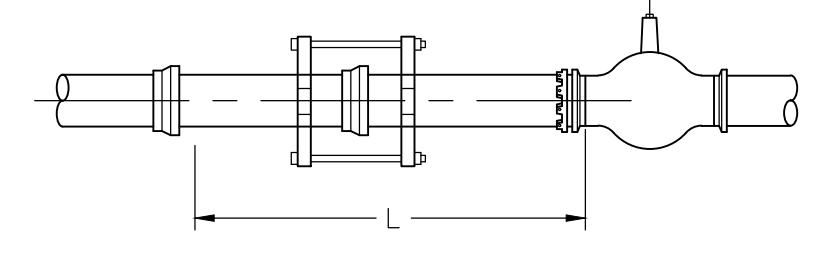
FIRE PROTECTION EQUIPMENT SCHEDULE	
SYMBOL	DESCRIPTION
BFP-1	BACKFLOW PREVENTER: FEBCO MODEL 860U REDUCED PRESSURE BACKFLOW PREVENTION DEVICE WITH UNION END BALL VALVES, CHECK VALVE ASSEMBLY WITH STAINLESS STEEL SPRINGS, BRONZE BODY, WORKING PRESSURE OF 175 PSI AND WATER TEMPERATURES OF 32 F TO 140 F, USC AND IAPMO APPROVED, FURNISH WITH AG-1 AIR GAP DRAIN AND PIPE FULL SIZE TO OUTSIDE, SIZE AS SHOWN ON DRAWING.
HE-1	HEATED ENCLOSURE: FLIP TOP FIBERGLASS UNIT WITH HEAT, MINIMUM 1/8" THICK THIXOTROPIC POLYESTER RESIN REINFORCED WITH FIBERGLASS, SMOOTH MOLDED EXTERIOR, UV PROTECTED FINISH, 1 1/4" INSULATION(R-8), LOCKABLE FLIP TOP, ONE WAY DRAIN OPENINGS, 90 WATT HEATER, UNIT SHALL BE ASSE 1060 CERTIFIED, SELECTION BASED ON HOT BOX MODEL HB2 OR APPROVED EQUAL.

REDUCER

RESTRAIN EITHER L _S OR L _L LENGTH	(L _S) L SMALL or (L _L) L LARGE	
	UNOBSTRUCTED STRAIGHT RUN LENGTH, FEET RESTRAINED	LARGE SIDE RESTRAINED LENGTH, FEET
6" x 4"	42	28
8" x 4"	39	30
8" x 6"	39	30
10" x 6"	87	53
10" x 8"	36	29
12" x 8"	81	54
12" x 10"	36	30
14" x 10"	78	55

LINE SIZE	RESTRAINED LENGTH L, BOTH SIDES OF VALVE, FEET
4"	39
6"	55
8"	72
10"	86
12"	102
14"	116

THESE LENGTHS MAY BE USED WHERE ENOUGH NEW PIPE EXISTS TO INSTALL THE RESTRAINT JOINTS ALONG A STRAIGHT PIPE RUN.



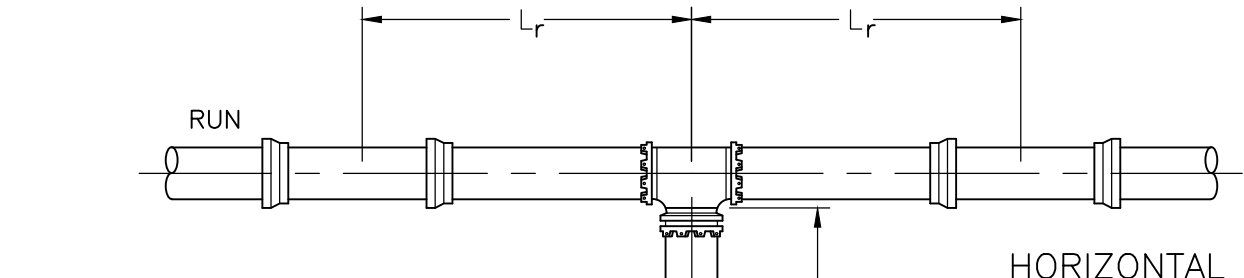
THRUST RESTRAINT GENERAL NOTES

- RESTRAINED PIPE LENGTHS FOR PVC USING EBAA IRON THRUST RESTRAINING SYSTEM.
- LENGTHS MAY OVERLAP TO DETERMINE GREATEST RESTRAINT LENGTH IN ANY ONE DIRECTION.
- CONTRACTOR SHALL MINIMIZE NUMBERS OF RESTRAINED JOINTS REQUIRED BY USING 20' LONG SECTIONS OF PIPE WITHIN THE RESTRAINED LENGTH WHERE POSSIBLE. DIVIDE LENGTH BY 20 AND TRUNCATE DECIMAL PORTION OF NUMBER TO DETERMINE THE NUMBER OF REQUIRED RESTRAINED JOINTS.
- SPECIAL CONSIDERATION MAY BE NEEDED TO MEET CERTAIN FIELD CONDITIONS.
- RESTRAINT LENGTHS MAY EXTEND INTO EXISTING WATER MAINS, REQUIRING RESTRAINED FITTINGS TO BE PLACED AT EXISTING WATERLINE JOINTS FOR THE LENGTH SPECIFIED IN THE TABLES ON THIS SHEET.
- CONCRETE BLOCKING, PER COA STANDARD DRAWING 2320, SHALL BE USED IN LIEU OF RESTRAINED JOINTS AT ALL CAPS. DESIGN ASSUMPTIONS:
SAFETY FACTOR: 1.5
PRESSURE: 150 PSI
SOIL TYPE: GM & SM - SILTY GRAVELS AND SILTY SANDS
PIPE: PVC
TRENCH TYPE: 3 (PIPE BEDDED IN 4 INCHES MINIMUM LOOSE SOIL. BACKFILL LIGHTLY CONSOLIDATED TO TOP OF THE PIPE.)

TEES

LINE SIZE	BRANCH SIZE 6"		BRANCH SIZE 8"		BRANCH SIZE 10"		BRANCH SIZE 12"	
	L _r =5'	L _r =10'	L _r =15'	L _r =20'	L _r =5'	L _r =10'	L _r =15'	L _r =20'
6"	36	18	FJO	FJO	58	44	30	16
8"	30	6	FJO	FJO	53	35	16	FJO
10"	24	FJO	FJO	FJO	48	24	1	FJO
12"	17	FJO	FJO	FJO	43	14	FJO	FJO
14"	FJO	FJO	FJO	FJO	21	FJO	FJO	FJO

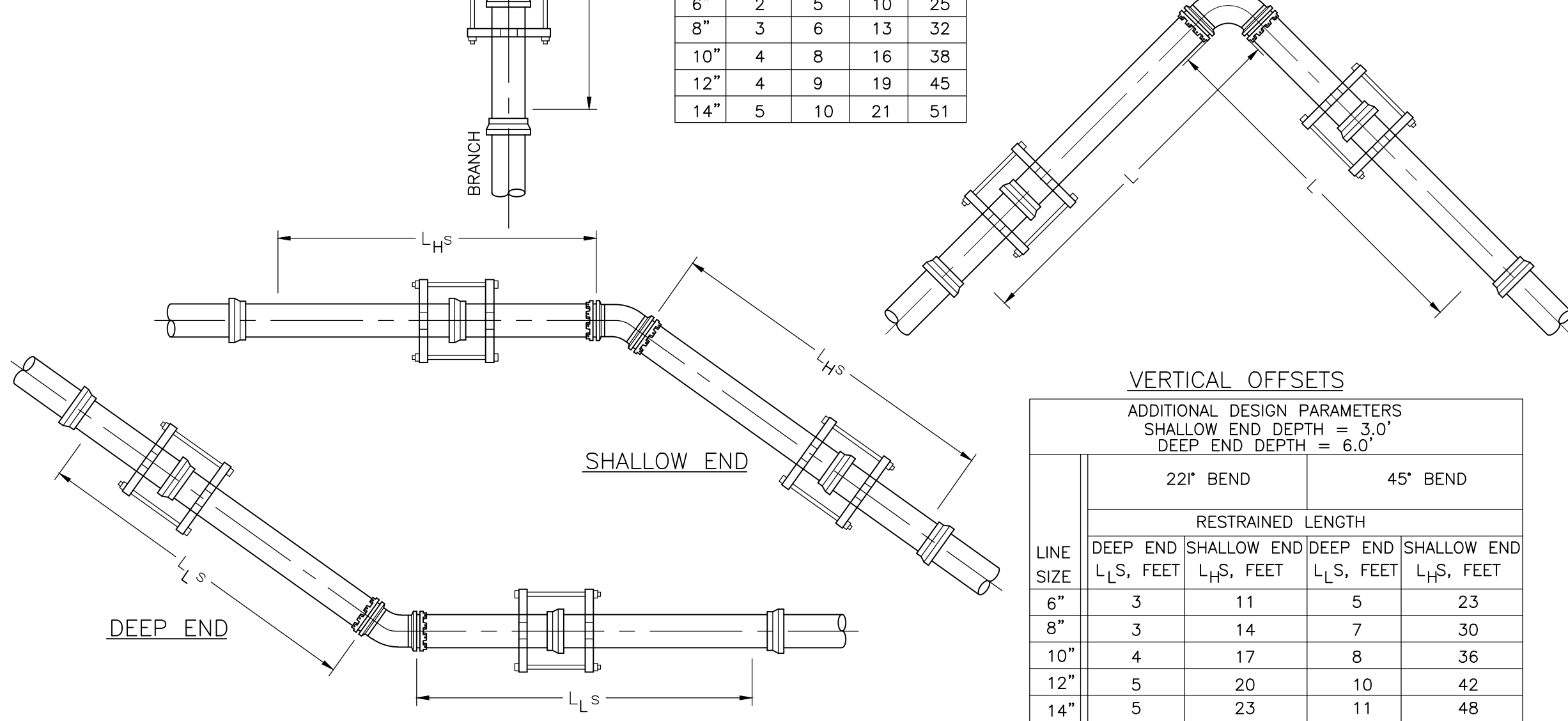
FJO: RESTRAINT REQUIRED AT FITTING JOINT ONLY



HORIZONTAL BENDS

LINE SIZE	BEND ANGLE		
	11°	22°	45° 90°
6"	2	5	10 25
8"	3	6	13 32
10"	4	8	16 38
12"	4	9	19 45
14"	5	10	21 51

NOTE: TABLE PROVIDES REQUIRED L_R (RESTRAINED LENGTH OF BRANCH) FOR A GIVEN L_S (RESTRAINED PIPE LENGTH ON THE TEE RUN) AT VARIOUS DIAMETERS.

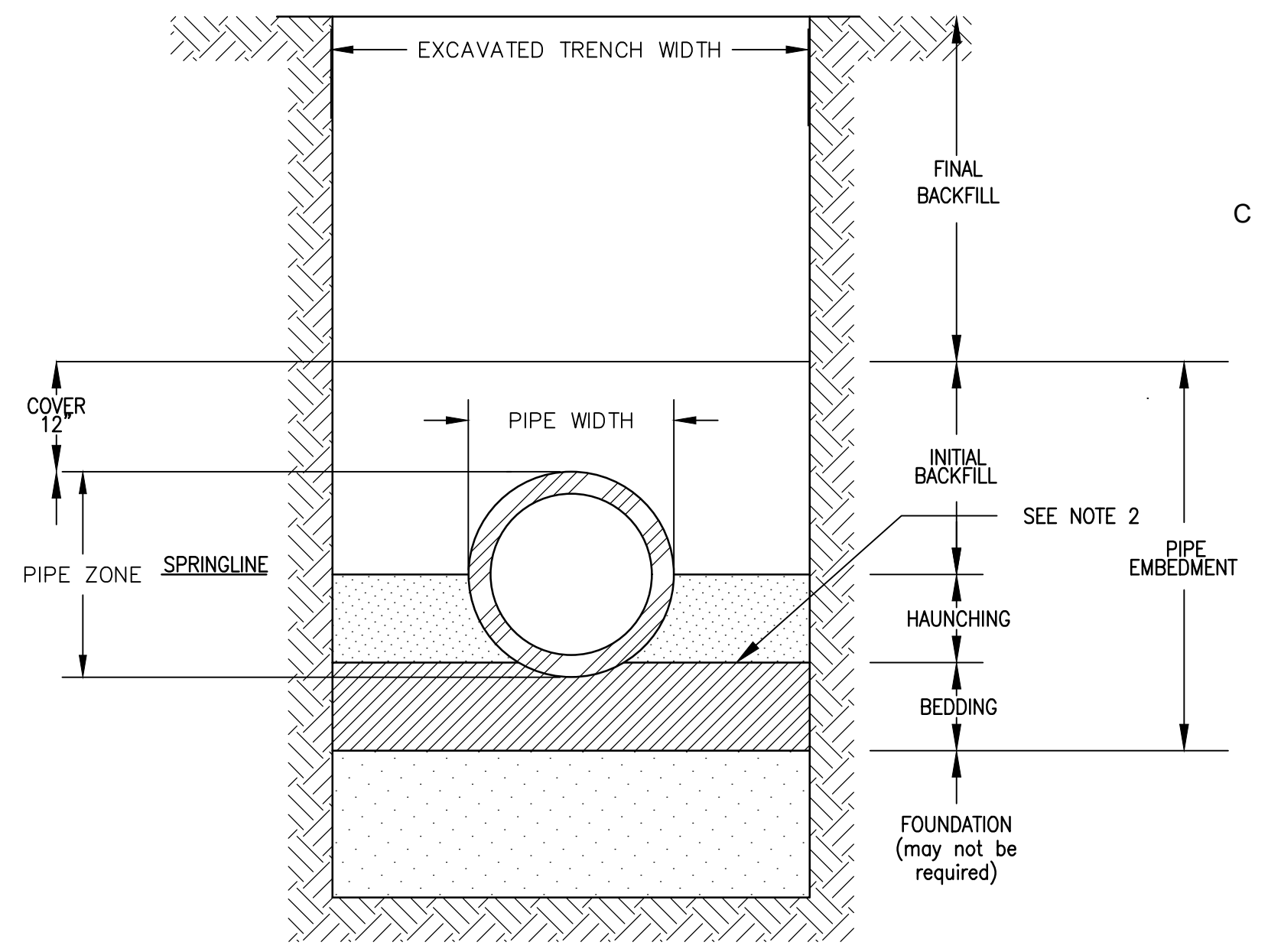


VERTICAL OFFSETS

ADDITIONAL DESIGN PARAMETERS
SHALLOW END DEPTH = 3.0'
DEEP END DEPTH = 6.0'

LINE SIZE	RESTRAINED LENGTH			
	DEEP END L _S , FEET	SHALLOW END L _S , FEET	DEEP END L _T , FEET	SHALLOW END L _T , FEET
6"	3	11	5	23
8"	3	14	7	30
10"	4	17	8	36
12"	5	20	10	42
14"	5	23	11	48

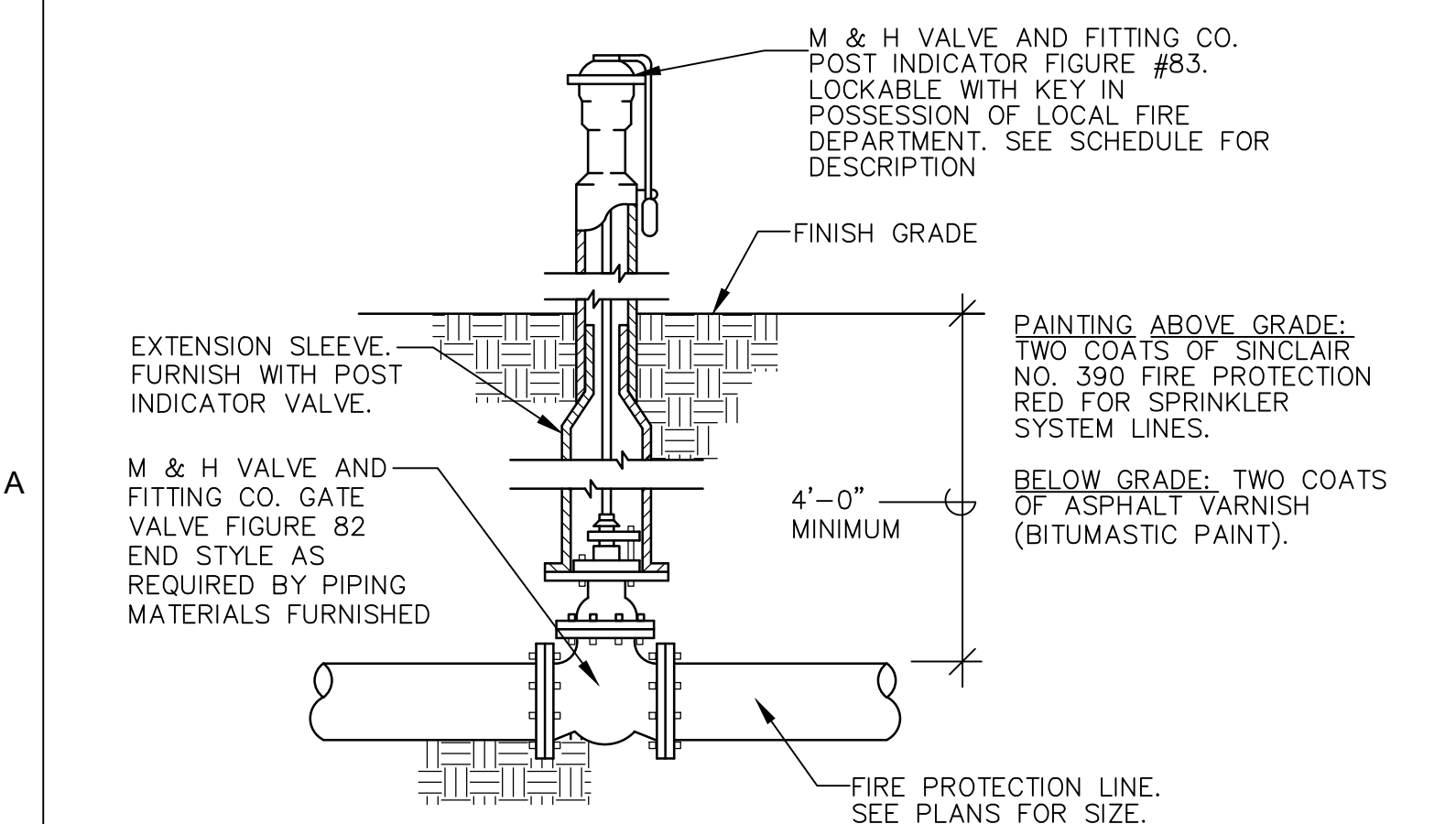
B1 PIPE RESTRAINT LENGTHS
SCALE: NOT TO SCALE



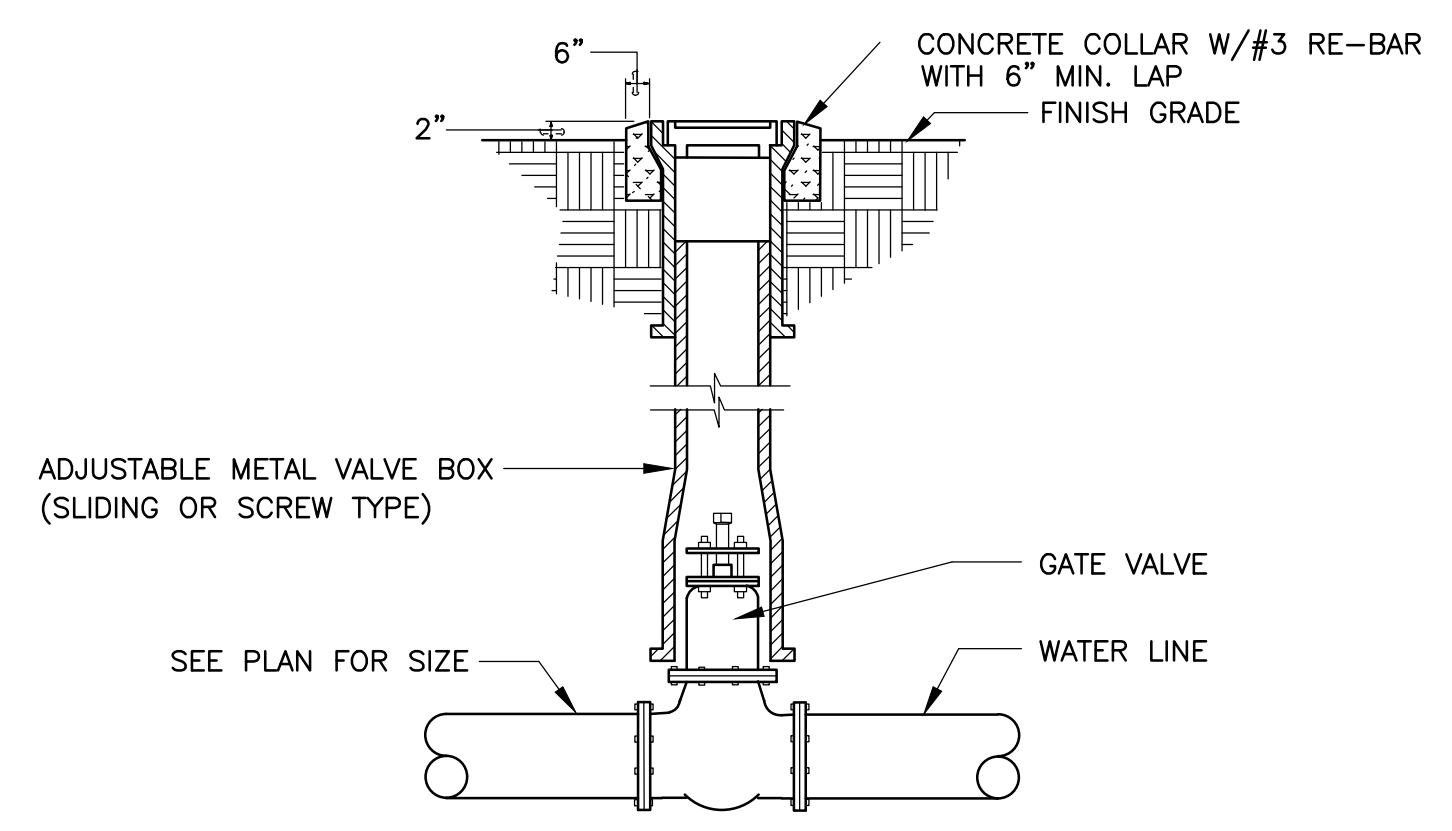
TRENCH CROSS-SECTION SHOWING TERMINOLOGY

D4 TRENCHING DETAIL
SCALE: NOT TO SCALE

- GENERAL NOTES:**
- MECHANICAL TAMPERS NOT TO BE USED IN THE INITIAL BACKFILL SECTION FOR FLEXIBLE PIPE.
 - MINIMUM CLASS "C" BEDDING WILL BE USED.



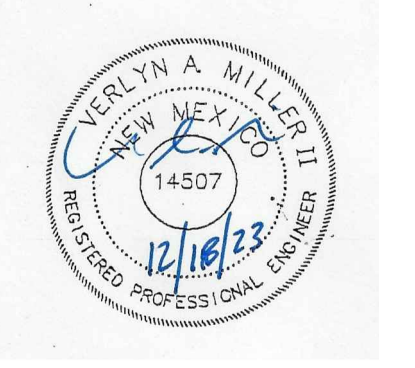
D6 POST INDICATOR VALVE DETAIL
SCALE: NOT TO SCALE



VALVE BOX DETAIL
SCALE: NONE

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BUILDING F
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(505)888-3800 (FAX)
WWW.MECNM.COM

CONTRACTOR	AS-BUILT INFORMATION		NO.
	DATE	DATE	
WORKED BY	DATE	DATE	NO.
SUPERVISOR	DATE	DATE	
ACCEPTANCE BY	DATE	DATE	NO.
FIELD APPLICATION BY	DATE	DATE	
REVISIONS	DATE	DATE	NO.
CONNECTED BY	DATE	DATE	
RECORDED BY	DATE	DATE	NO.
MICRO-FILM INFORMATION	DATE	DATE	



VIGIL & ASSOCIATES
ARCHITECTURAL GROUP, P.C.
4477 Irving NW, Suite A
Albuquerque, New Mexico 87114
Ph: 505.890.5330 Fax: 505.890.5031
www.va-architects.com



CITY OF ALBUQUERQUE CAPITAL IMPLEMENTATION PROGRAM

AFD FIRE STATION 23
9601 AMOLE MESA AVE. N.W.
ALBUQUERQUE, NM 87121

MISCELLANEOUS DETAILS	
Drawing Title	file name:
Design Review Committee	City Engineer Approval
Issue Date:	City Project No.
Sheet	Mo./Day/Yr.

JULY 25, 2023

D-503

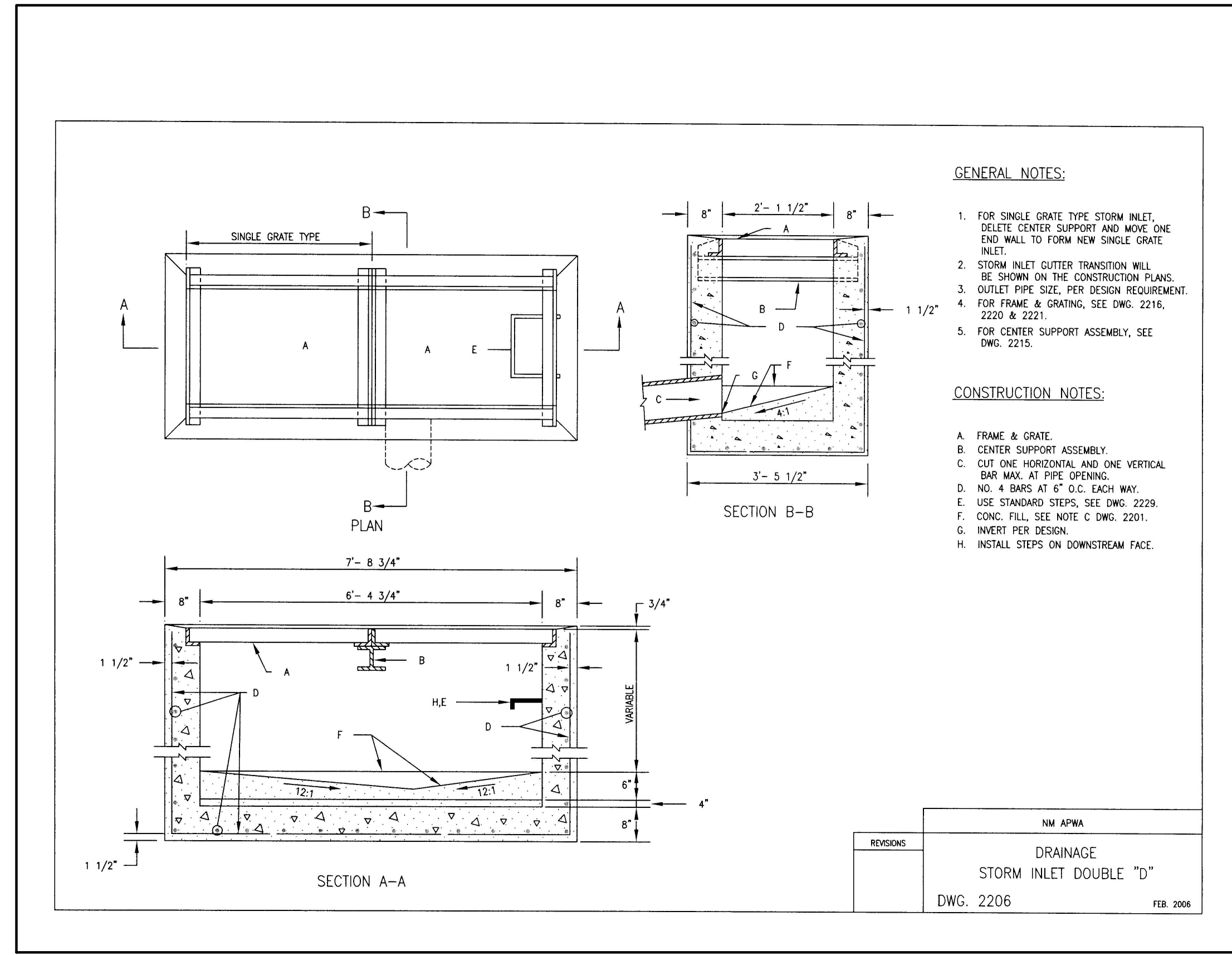
PROJECT NO.:

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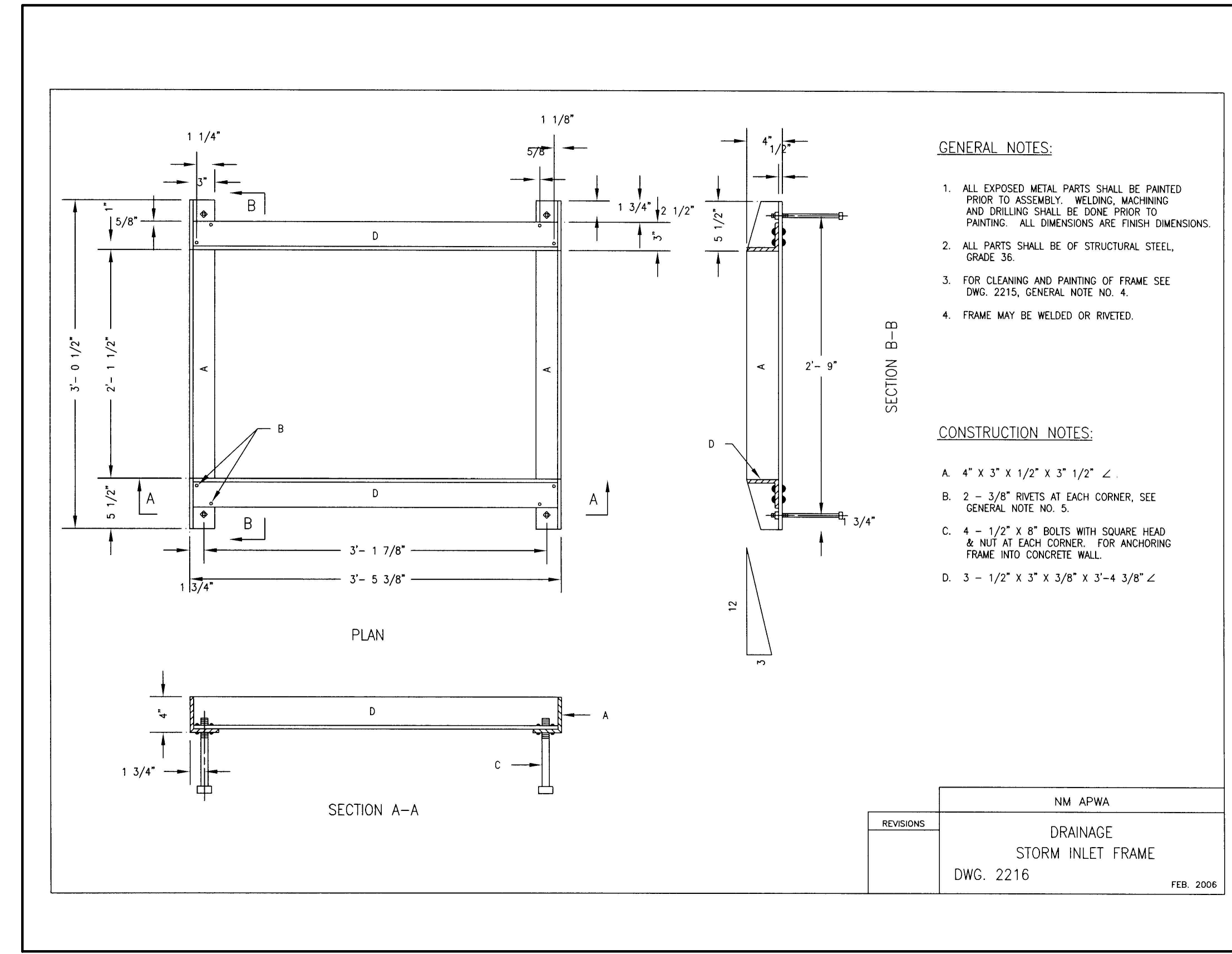
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B

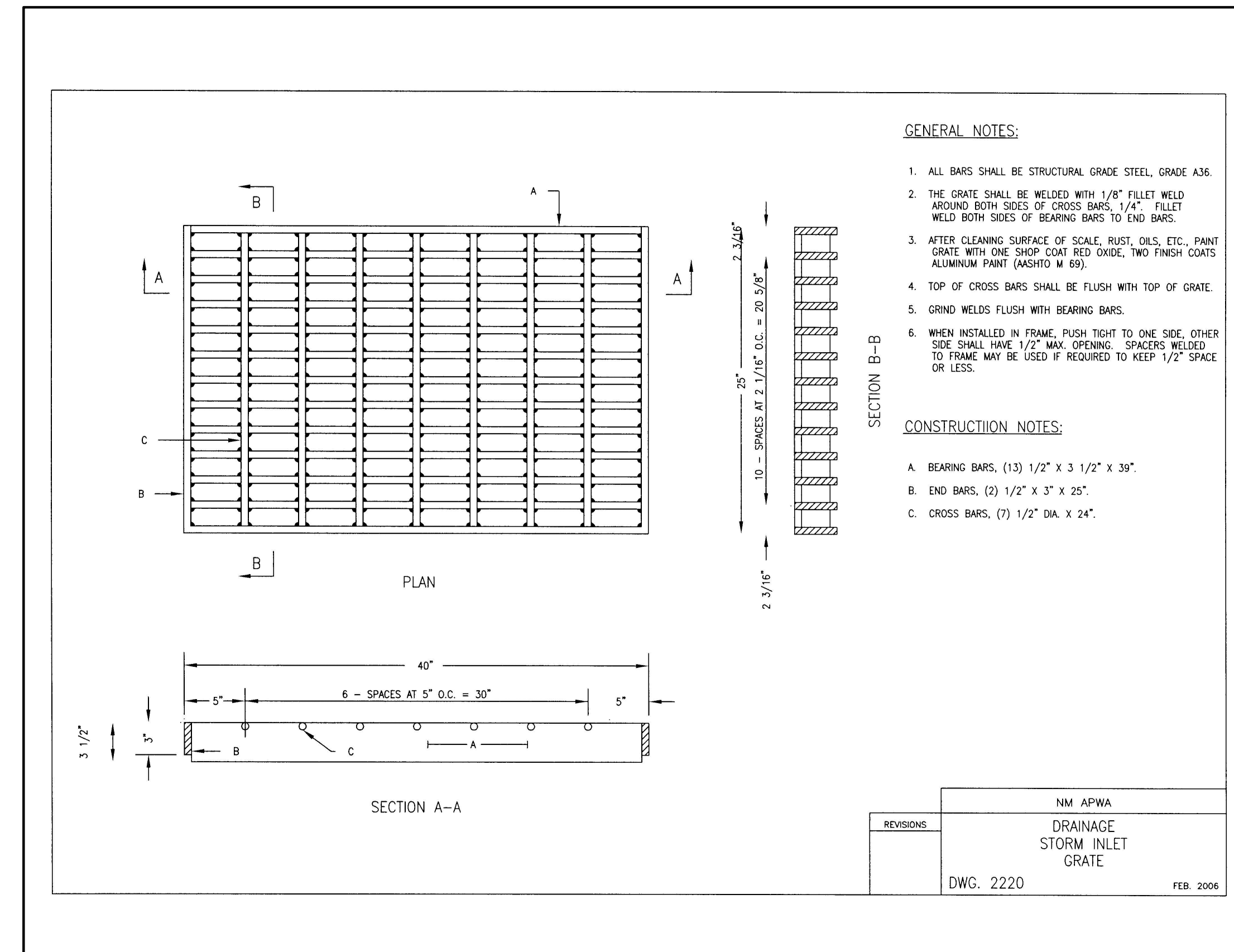
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C1 TYPE D STORM INLET
SCALE: NOT TO SCALE



C3 TYPE D STORM INLET FRAME
SCALE: NOT TO SCALE



C5 TYPE D STORM INLET GRATE
SCALE: NOT TO SCALE

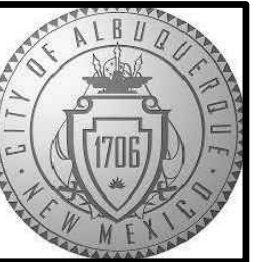
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CONTRACTOR	DATE
WORKING BY	DATE
SUPERVISOR	DATE
FIELD INSPECTION BY	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
REGISTERED BY	DATE

MICRO-FILM INFORMATION	
NO.	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	DATE



NO.	DATE	REMARKS	BY	DESIGN	DATE



CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM
AFD FIRE STATION 23
9601 AMOLE MESA AVE. N.W.
ALBUQUERQUE, NM 87121

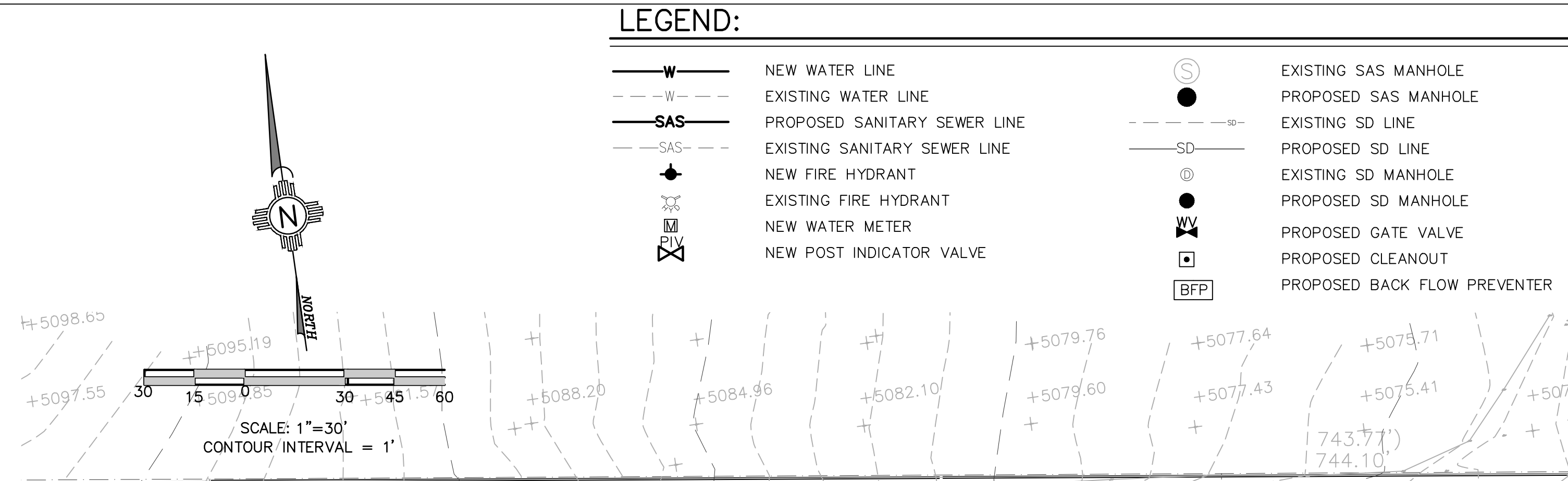
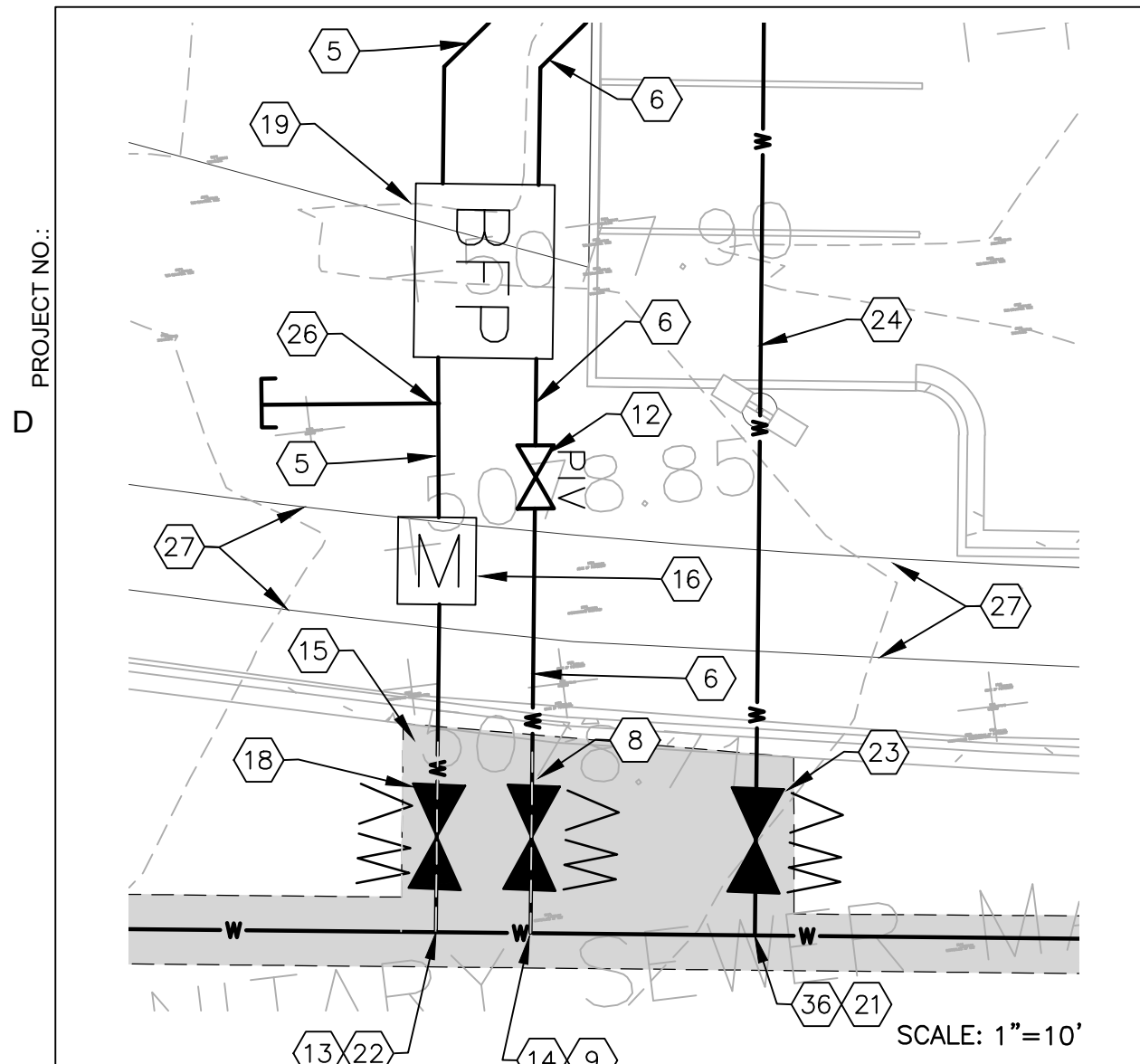
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Design Review Committee	City Engineer Approval	Mo./Day/Yr. 7/10/18
-------------------------	------------------------	------------------------

Issue Date: **JULY 25, 2023** City Project No. **.** Sheet **D-504**

ME MILLER ENGINEERING CONSULTANTS
Engineers • Planners
3500 COMANCHE, NE
BUILDING F
ALBUQUERQUE, NM 87117
(505)888-7200
(505)888-3800 (FAX)
WWW.MECNM.COM

T:\Clients\VIGIL & ASSOCIATES\CABQ Fire Station #23\CAD\Sheets\501 MISC\DETAILS.dwg, D-504, 12/18/2023 3:02:19 PM

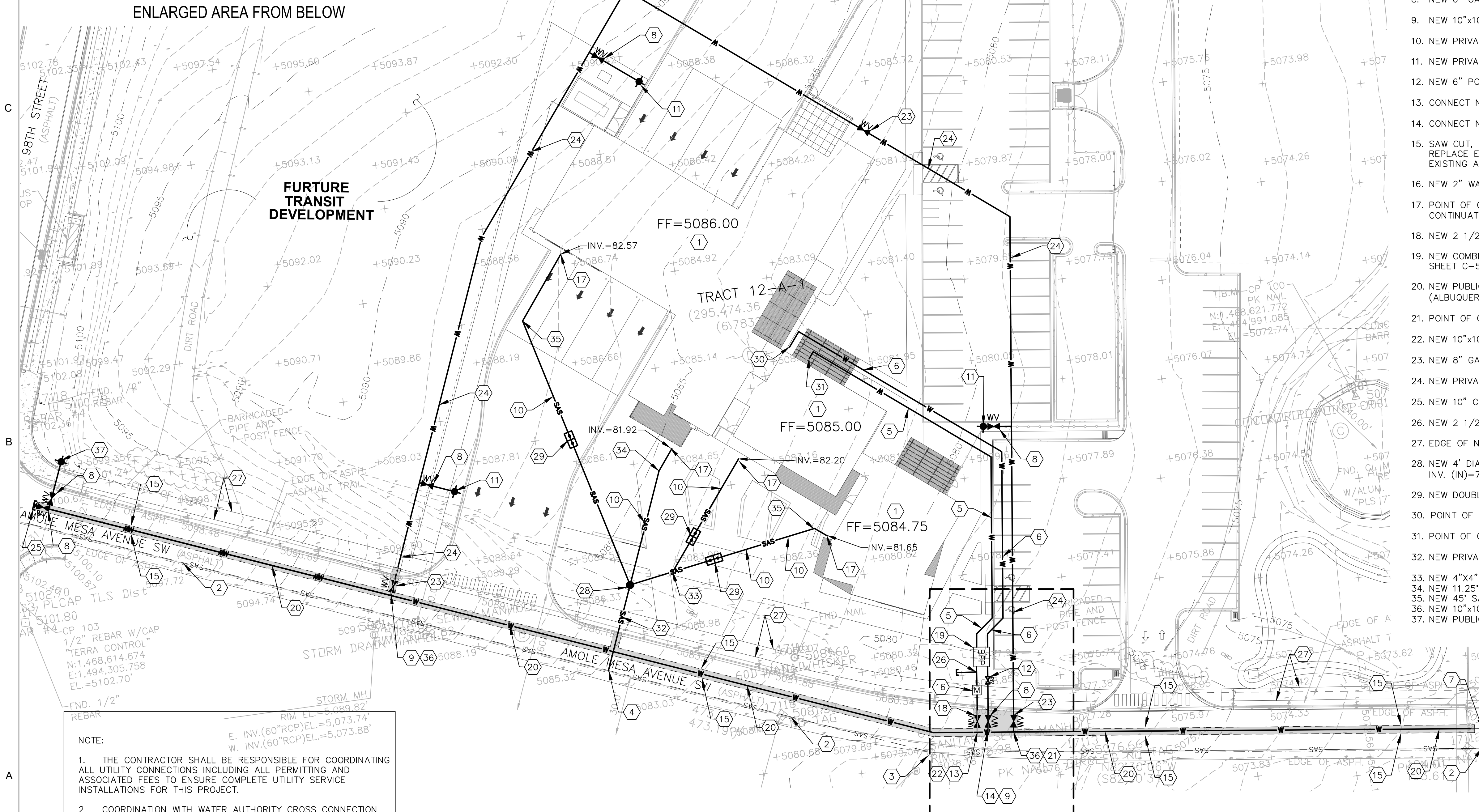


GENERAL NOTE:

1. ALL WATER LINES SHALL HAVE A 3' MINIMUM BURY.

KEYED NOTES

1. NEW BUILDINGS SEE ARCHITECTURAL DRAWINGS.
2. EXISTING PUBLIC 8" SANITARY SEWER LINE. FIELD VERIFY SIZE PRIOR TO CONSTRUCTION.
3. EXISTING SAS MANHOLE TO REMAIN.
4. POINT OF CONNECTION FOR NEW 6" SAS LINE TO EXISTING SAS MAIN. FIELD VERIFY INVERT PRIOR TO CONSTRUCTION.
5. NEW PRIVATE 2 1/2" DIA. DOMESTIC WATER SERVICE LINE WITH METER.
6. NEW PRIVATE 6" DIA. DEDICATED FIRE LINE.
7. EXISTING PUBLIC 10" WATER MAIN LINE.
8. NEW 6" GATE VALVE, SEE DETAIL SHEET C-503.
9. NEW 10"x10"x6" TEE.
10. NEW PRIVATE 4" SAS LINE @ 2% MINIMUM SLOPE SEE SHEET C-504 FOR DETAILS.
11. NEW PRIVATE FIRE HYDRANT PER COA STD DWG #2340.
12. NEW 6" POST INDICATOR VALVE (PIV) SEE SHEET C-503 FOR DETAILS.
13. CONNECT NEW 2 1/2" DIA. DOMESTIC WATER LINE TO NEW 10" WATER MAIN.
14. CONNECT NEW 6" DIA. DEDICATED FIRE LINE TO NEW 10" WATER MAIN.
15. SAW CUT, EXISTING ASPHALT TO CLEAN STRAIGHT EDGE. REMOVE, DISPOSE AND REPLACE EXISTING ASPHALT AS NECESSARY TO INSTALL WATER AND SAS LINES. MATCH EXISTING ASPHALT SECTION OF ASPHALT, BASE COURSE AND SUBGRADE PREP.
16. NEW 2" WATER METER, PER COA STD DWG #2363 AND #2367.
17. POINT OF CONNECTION OF NEW 4" SAS TO NEW BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
18. NEW 2 1/2" VALVE.
19. NEW COMBINED REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY, SEE DETAIL SHEET C-503.
20. NEW PUBLIC 10" WATERLINE. COORDINATE AND PERMIT THIS WORK WITH ABCWUA, (ALBUQUERQUE BERNILLO COUNTY WATER UTILITY AUTHORITY)
21. POINT OF CONNECTION OF NEW 8" FIRE LOOP TO NEW 8" MAIN LINE.
22. NEW 10"x10"x2" TEE.
23. NEW 8" GATE VALVE.
24. NEW PRIVATE 8" FIRE LOOP.
25. NEW 10" CAP.
26. NEW 2 1/2"x2 1/2"x1" TEE WITH 10' OF 1" STUB-OUT FOR IRRIGATION.
27. EDGE OF NEW SIDEWALK.
28. NEW 4" DIAMETER TYPE 'E' MANHOLE PER COA DWGS #2102, #2110, & #2118. INV. (IN)=79.1, INV. (OUT)=79.0
29. NEW DOUBLE CLEAN-OUTS SEE DETAIL SHEET C-504 FOR DETAILS.
30. POINT OF CONNECTION OF NEW 6" FIRE LINE TO BUILDING.
31. POINT OF CONNECTION OF NEW 2 1/2" DOM. WATERLINE TO BUILDING.
32. NEW PRIVATE 6" SAS LINE @ 2% MINIMUM SLOPE SEE SHEET C-504 FOR DETAILS.
33. NEW 4"x4"x4" WYE, INV. 80.00.
34. NEW 11.25" SANITARY SEWER BEND.
35. NEW 45" SANITARY SEWER BEND.
36. NEW 10"x10"x8" TEE.
37. NEW PUBLIC FIRE HYDRANT PER COA STANDARD DWG. #2340.



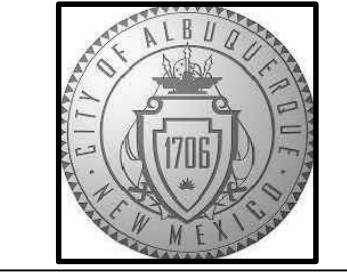
NOTE:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL UTILITY CONNECTIONS INCLUDING ALL PERMITTING AND ASSOCIATED FEES TO ENSURE COMPLETE UTILITY SERVICE INSTALLATIONS FOR THIS PROJECT.
2. COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
3. COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.

A1 UTILITY PLAN OVERALL
SCALE: 1"=30'

ME MILLER ENGINEERING CONSULTANTS
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3500 COMANCHE, NE
ALBUQUERQUE, NM 87110
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CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM
AFD FIRE STATION 23
9601 AMOLE MESA AVE. N.W.
ALBUQUERQUE, NM 87121

Drawing Title UTILITY PLAN OVERALL		City Project No.	
Design Review Committee	City Engineer Approval	Issue Date: JULY 25, 2023	Sheet C-201
Last Design Update		Mo./Day/Yr.	
		7/10/18	

A

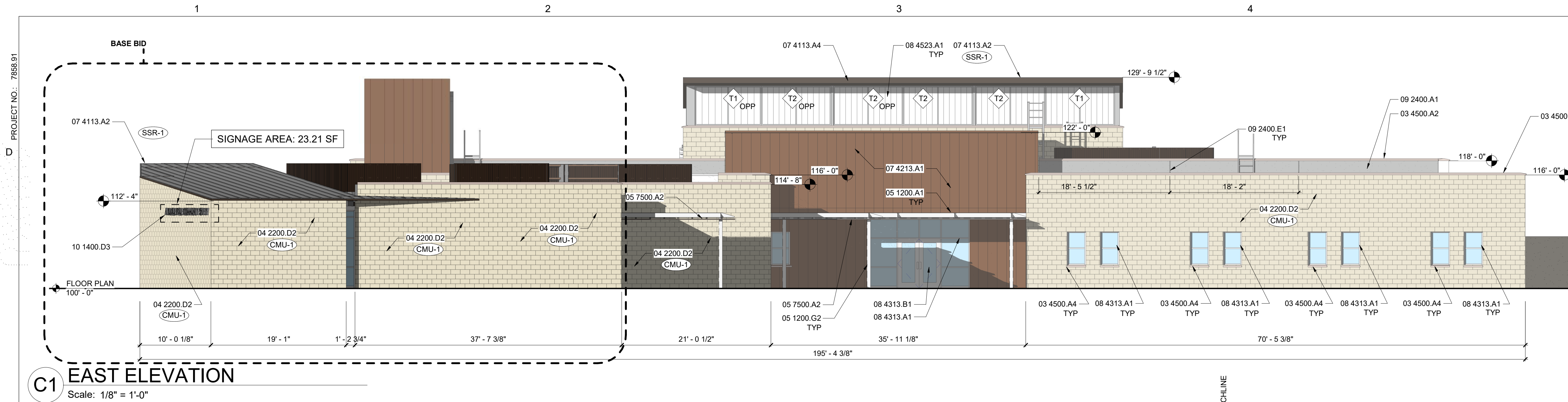
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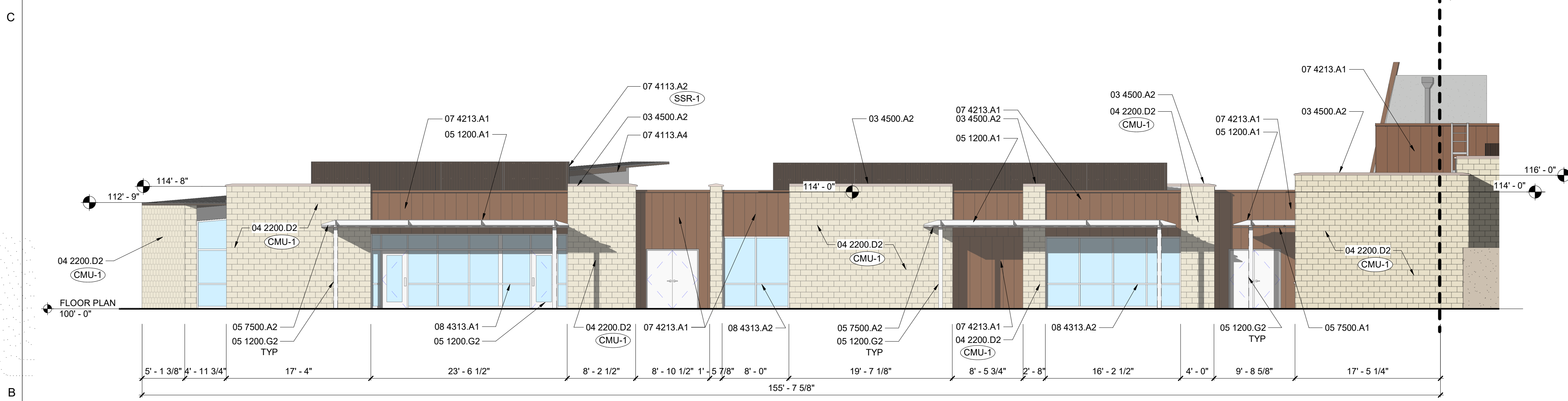
PROJECT NO.:

PROJECT NO.:

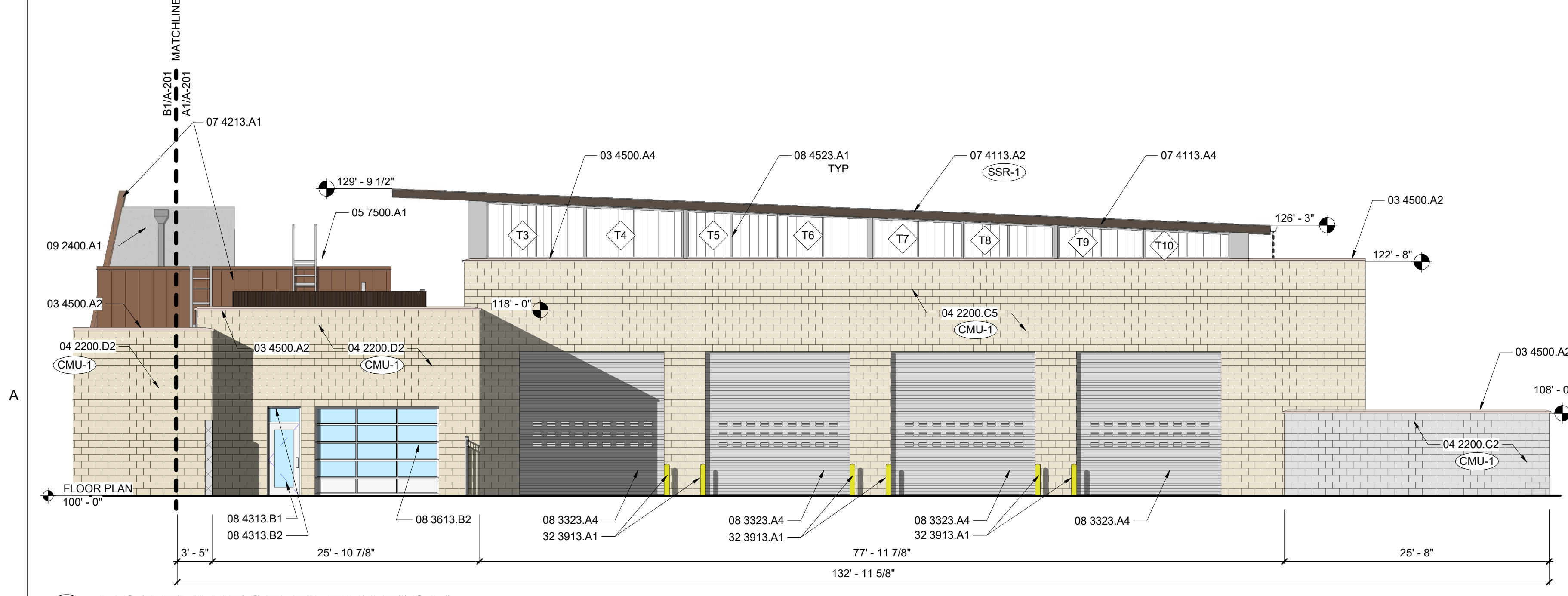
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C1 EAST ELEVATION
Scale: 1/8" = 1'-0"



B1 NORTHEAST ELEVATION
Scale: 1/8" = 1'-0"



A1 NORTHWEST ELEVATION
Scale: 1/8" = 1'-0"

GENERAL SHEET NOTES

A. ALL EXTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES, DOORS, AND EXPOSED STEEL BEAMS AND COLUMNS AND DOOR STOPS SHALL BE PAINTED. SEE SHEET I-101 FOR COLOR SCHEDULE.

B. REFER COLOR & MATERIAL SCHEDULE FOR STUCCO AND CMU COLORS.

C. REFER CIVIL SHEETS FOR LOCATIONS OF DOWNSPOUTS THAT WILL BE CONNECTED TO STORM DRAIN SYSTEM.

REFERENCE KEYNOTES

03 4500.A2	PRECAST ARCHITECTURAL CONCRETE COPING
03 4500.A4	PRECAST ARCHITECTURAL CONCRETE SILL
04 2200.C2	8" BURNISHED FACE CMU
04 2200.C5	12" BURNISHED FACE CMU
04 2200.D2	4" CMU VENEER - BURNISHED FACE
05 1200.A1	W SHAPE STEEL MEMBER - REFER STRUCTURAL
05 1200.G2	TUBE STEEL COLUMN - REFER STRUCTURAL
05 7500.A1	PERFORATED METAL PANELS - RIBBED
05 7500.A2	SOLID METAL PANELS - RIBBED
07 4113.A2	PRE-FINISHED STANDING SEAM METAL ROOF PANEL
07 4113.A4	PRE-FINISHED METAL SOFFIT SYSTEM BY STANDING SEAM METAL ROOF MANUFACTURER
07 4213.A1	SOLID METAL PANELS - WIDE RIB
08 3323.A4	OVERHEAD COILING DOOR - ELECTRIC MOTOR OPERATED
08 3613.B2	ALUMINUM & GLASS SECTIONAL DOOR
08 4313.A1	ALUMINUM FRAMED STORFRONT
08 4313.A2	ALUMINUM STORFRONT WINDOW
08 4313.B1	GLAZED ALUMINUM DOOR
08 4313.B2	ALUMINUM STORFRONT DOOR FRAME
08 4523.A1	POLYCARBONATE TRANSLUCENT PANEL ASSEMBLY
09 2400.A1	7/8" ELASTOMERIC SYNTHETIC STUCCO SYSTEM - STO-01
09 2400.E1	STUCCO CONTROL JOINT
10 1400.D3	BUILDING IDENTIFICATION LETTERS - 12" HIGH
32 3913.A1	CONCRETE FILLED, STEEL JACKETED BOLLARD - PAINTED

COLOR AND MATERIAL SCHEDULE - EPC

CODE	MATERIAL	STYLE	COLOR
EXTERIOR FINISHES			
CMU-1	BURNISHED - CMU	BURNISHED BLOCK	BLANCO (WHITE)
CMU-2	BURNISHED - CMU	BURNISHED BLOCK	BRAZOS (DARK BROWN)
STO-1	STUCCO 01	SAND STUCCO FINISH	ALMOND LATTE - DE6143 (LIGHT BROWN)
STO-2	STUCCO 02	SAND STUCCO FINISH	WARM HEARTH - DE6110 (RED TONED BROWN)
PC-#	PRECAST CONCRETE...	MASTERCOLOR	CORKBOARD (MEDIUM TAN)
SSR-1	STANDING SEAM METAL ROOF	RAWHIDE	BURNISHED SLATE (CHARCOAL GREY)
STEEL-1	SUNSHADE STRUCTURAL STEEL	MATTITE	CASHMERE - DEC758 (LIGHT TAN)
AL-1	ALUMINUM FRAMED OPENINGS	EXTERIOR: TRIFAB VG451T...	CLEAR ANODIZED ALUMINUM (SILVER)
OH1	HIGH SPEED OVERHEAD DOOR	MODEL # EPI 300	RAL 7012 - BASALT GREY (DARK GREY)
OH2	OVERHEAD SECTIONAL DOOR	MODEL # 904U	CLEAR ANODIZED ALUMINUM (SILVER)
HM-D	HOLLOW METAL DOORS AND FRAMES	MATTITE	GRAY WOLF - DE6354 (FLAT GREY)

City of Albuquerque Electronic Stamp

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STARTED BY	DATE
FIELD ACCEPTANCE BY	DATE
REVISIONS BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS	
NO.	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	DATE

SEAL			
NO.	DATE	BY	REMARKS



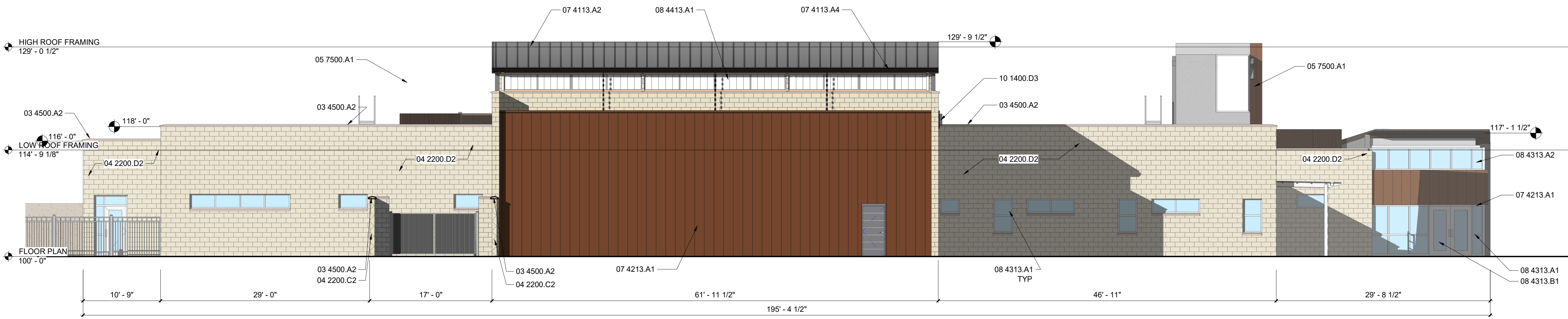
CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM
SOUTHWEST PUBLIC SAFETY CENTER

Drawing Title: **EXTERIOR ELEVATIONS - EPC**

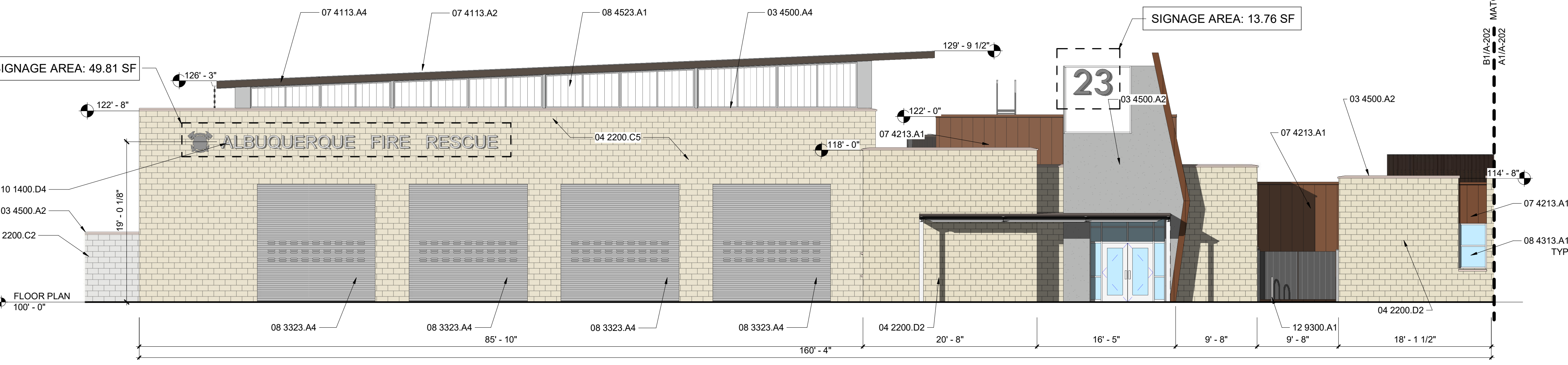
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Issue Date:	City Project No.	Sheet	
JANUARY 2024	7858.91		A - 201

PROJECT NO.: 7858.91

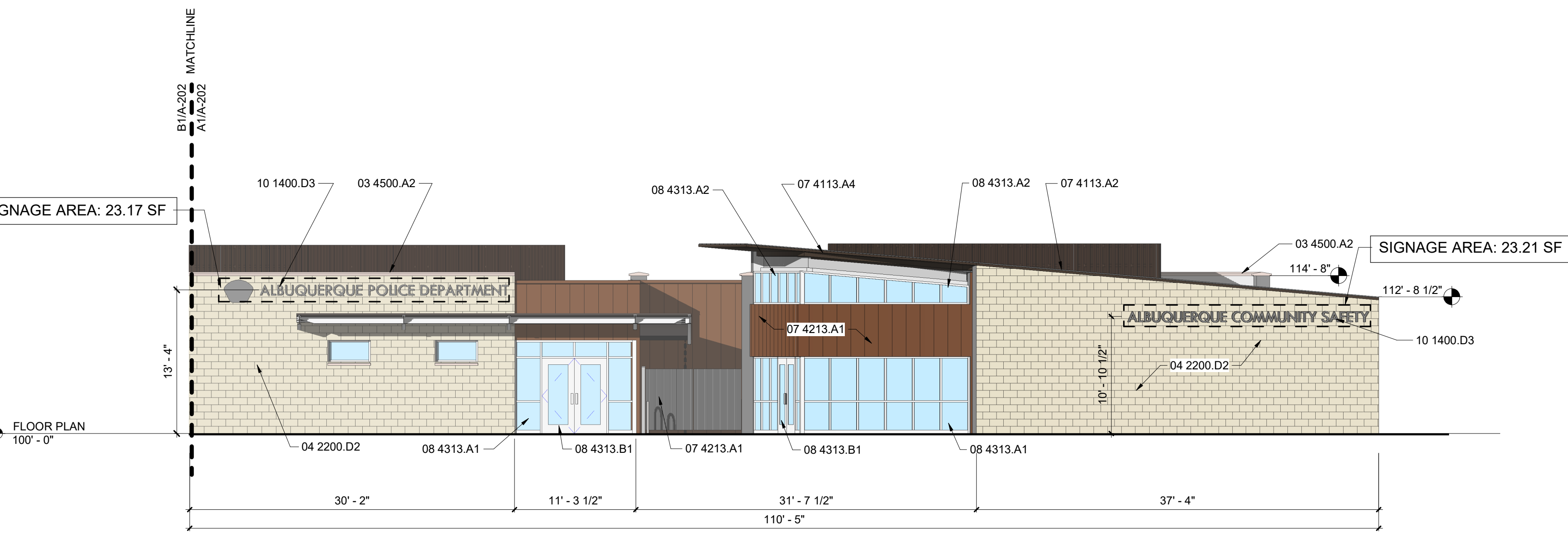
City of Albuquerque Electronic Stamp



C1 WEST ELEVATION
Scale: 1/8" = 1'-0"



B1 SOUTHWEST ELEVATION
Scale: 1/8" = 1'-0"



A1 SOUTHEAST ELEVATION Copy 1
Scale: 1/8" = 1'-0"

GENERAL SHEET NOTES

- ALL EXTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES, DOORS, AND EXPOSED STEEL BEAMS AND COLUMNS AND DOOR STOPS SHALL BE PAINTED. SEE SHEET I-101 FOR COLOR SCHEDULE.
- REFER COLOR & MATERIAL SCHEDULE FOR STUCCO AND CMU COLORS.
- REFER CIVIL SHEETS FOR LOCATIONS OF DOWNSPOUTS THAT WILL BE CONNECTED TO STORM DRAIN SYSTEM.

REFERENCE KEYNOTES

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08 3323.A4	OVERHEAD COILING DOOR - ELECTRIC MOTOR OPERATED
08 4313.A1	ALUMINUM FRAMED STOREFRONT
08 4313.A2	ALUMINUM STOREFRONT WINDOW
08 4313.B1	GLAZED ALUMINUM DOOR
08 4413.A1	GLAZED ALUMINUM CURTAIN WALL
08 4523.A1	POLYCARBONATE TRANSLUCENT PANEL ASSEMBLY
10 1400.D3	BUILDING IDENTIFICATION LETTERS - 12" HIGH
10 1400.D4	BUILDING IDENTIFICATION LETTERS - 24" HIGH
12 9300.A1	BIKE RACK

COLOR AND MATERIAL SCHEDULE - EPC

CODE	MATERIAL	STYLE	COLOR
EXTERIOR FINISHES			
CMU-1	BURNISHED - CMU	BURNISHED BLOCK	BLANCO (WHITE)
CMU-2	BURNISHED - CMU	BURNISHED BLOCK	BRAZOS (DARK BROWN)
STO-1	STUCCO 01	SAND STUCCO FINISH	ALMOND LATTE - DE6143 (LIGHT BROWN)
STO-2	STUCCO 02	SAND STUCCO FINISH	WARM HEARTH - DE6110 (RED TONED BROWN)
PC-#	PRECAST CONCRETE...	MASTERCOLOR	CORKBOARD (MEDIUM TAN)
SSR-1	STANDING SEAM METAL ROOF	RAWHIDE	BURNISHED SLATE (CHARCOAL GREY)
STEEL-1	SUNSHADE STRUCTURAL STEEL	MATTE	CASHMERE - DEC758 (LIGHT TAN)
AL-1	ALUMINUM FRAMED OPENINGS	EXTERIOR: TRIFAB VG451T...	CLEAR ANODIZED ALUMINUM (SILVER)
OH1	HIGH SPEED OVERHEAD DOOR	MODEL # EPI 300	RAL 7012 - BASALT GREY (DARK GREY)
OH2	OVERHEAD SECTIONAL DOOR	MODEL # 904U	CLEAR ANODIZED ALUMINUM (SILVER)
HM-D	HOLLOW METAL DOORS AND FRAMES	MATTE	GRAY WOLF - DE6354 (FLAT GREY)

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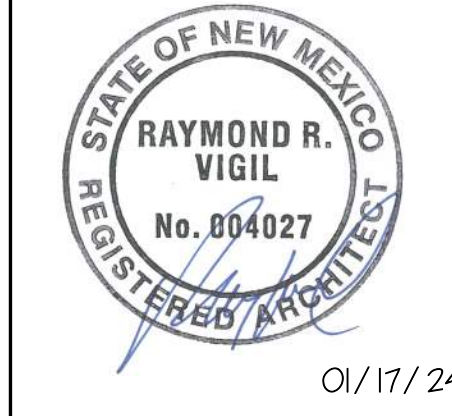
CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM
SOUTHWEST PUBLIC SAFETY CENTER

Drawing Title: **EXTERIOR ELEVATIONS - EPC**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Issue Date:	City Project No.	Sheet	

JANUARY 2024 **7858.91** **A - 202**

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORK STACKED BY	DATE						
ACCEPTANCE BY	DATE						
FIELD VERIFICATION BY	DATE						
REVISIONS BY	DATE						
CORRECTED BY	DATE						
MICRO-FILM INFORMATION							
RECORDED BY	DATE						
NO.							



01/17/24

NO.	DATE	REMARKS	BY
		100% CONSTRUCTION DOCUMENTS	DESIGN
		Designed By:	DATE:
		Drawn By:	DATE:
		Checked By:	DATE:











PR-2023-009216_SI-2024_00096_Site_Plan_Aproved_1-31-24_Sheet_1


Final Audit Report


2024-02-14

Created:	2024-02-08
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAnN0z1gr-Nn4mbb0SKBZC9ziFcFQgwRBt

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-  Document emailed to Ernest Armijo (earmijo@cabq.gov) for signature
2024-02-08 - 8:04:13 PM GMT
-  Document emailed to Tiequan Chen (tchen@cabq.gov) for signature
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-  Document emailed to David G. Gutierrez (dggutierrez@abcwua.org) for signature
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-  Document emailed to Whitney Phelan (wphelan@cabq.gov) for signature
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-  Document emailed to Jolene Wolfley (jwolfley@cabq.gov) for signature
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-  Email viewed by Ernest Armijo (earmijo@cabq.gov)
2024-02-08 - 8:04:53 PM GMT- IP address: 104.47.65.254
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Current DRC
Project Number: _____

FIGURE 1 2

Date Submitted: _____

Date Site Plan Approved: _____

INFRASTRUCTURE LIST

(Rev. 2-16-18)

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

EXHIBIT "A"

DRB Project No.: _____

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DRB Application No.: _____

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

COA Fire Station #23

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TR 12-A-1 BULK LAND PLAT FOR EL RANCHO GRANDE I TRACTS 8-A, 9-B-1, 9-B-2, 11-A, 12-A-1, 12-A-2 & 13-D

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
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<input type="text"/>	<input type="text"/>	STD	STD Curb & Gutter	Amole Mesa	10+00	17+10	/	/	/
<input type="text"/>	<input type="text"/>	10"	10" Water Line	Amole Mesa	9+00	17+10	/	/	/
<input type="text"/>	<input type="text"/>	6'	6' wide arterial pavement, existing, remove and replace, incl. 2" of extra asphalt	Amole Mesa	10+00	14+71	/	/	/
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REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

DESIGN REVIEW COMMITTEE REVISIONS

CITY ENGINEER - date 02/08/24 <i>Shakob Biyogon</i>	SIGNATURE - date [Signature] 2/11/24
UTILITY DEVELOPMENT - date 02/14/24 [Signature]	FIRM City of Albanyque - Municipal Development
TRANSPORTATION DEVELOPMENT - date 02/08/24 <i>Ernest Omiso</i>	
PLANNING CHAIR - date 02/08/24 <i>Joy Rederbeck</i>	NAME (print) Patrick Montoya
AMAFCA - date 02/08/24 <i>SM [Signature]</i>	CODE ENFORCEMENT - date 02/08/24 <i>[Signature]</i>
HYDROLOGY - date 02/08/24 <i>[Signature]</i>	PARCS & RECREATION - date 02/08/24 <i>[Signature]</i>

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

AGENT / OWNER	

1 * INCLUDES T, B, & C, FITTINGS, AND VALVES
 Street lights per City requirements.
 If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Financially Constructed	Guaranteed Under	DRC #	Size	Type of Improvement	Location	From	To	Approval of Creditable Items:	Impact Fee Administrator Signature	Date	City User Dept. Signature	Date

The items listed below are on the CIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Construction Certification	City Cnst	Inspector	P.E.	Engineer
Approval of Creditable Items:				











PR-2023-009216_SI-2024_00096_Infrastructure _List_Approved_1-31-24

Final Audit Report

2024-02-14

Created:	2024-02-08
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAbu-4y7I4uXg8b1WHhSrCp1RQpVOZGMQV

"PR-2023-009216_SI-2024_00096_Infrastructure_List_Approved _1-31-24" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)
2024-02-08 - 6:03:42 PM GMT- IP address: 143.120.132.76
-  Document emailed to Ernest Armijo (earmijo@cabq.gov) for signature
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-  Document emailed to Tiequan Chen (tchen@cabq.gov) for signature
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-  Document emailed to David G. Gutierrez (dggutierrez@abcwua.org) for signature
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-  Document emailed to Whitney Phelan (wphelan@cabq.gov) for signature
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-  Document emailed to Jay Rodenbeck (jrodenbeck@cabq.gov) for signature
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-  Document emailed to Shahab Biazar (sbiazar@cabq.gov) for signature
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-  Email viewed by Ernest Armijo (earmijo@cabq.gov)
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Signature Date: 2024-02-08 - 6:45:08 PM GMT - Time Source: server- IP address: 143.120.170.53

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Signature Date: 2024-02-08 - 7:27:46 PM GMT - Time Source: server- IP address: 143.120.132.73

 Email viewed by Shahab Biazar (sbiazar@cabq.gov)

2024-02-08 - 8:08:40 PM GMT- IP address: 104.47.65.254

 Document e-signed by Shahab Biazar (sbiazar@cabq.gov)

Signature Date: 2024-02-08 - 8:08:59 PM GMT - Time Source: server- IP address: 143.120.132.69

 Document e-signed by David G. Gutierrez (dggutierrez@abcwua.org)

Signature Date: 2024-02-14 - 3:15:19 PM GMT - Time Source: server- IP address: 165.225.36.95

 Agreement completed.

2024-02-14 - 3:15:19 PM GMT