



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)	PRE-APPLICATIONS
<input checked="" type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	APPEAL
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)

BRIEF DESCRIPTION OF REQUEST

Final sign-off of EPC-Approved Site Plan.

APPLICATION INFORMATION

Applicant/Owner: City of Albuquerque Fire and Rescue		Phone:
Address: PO Box 1293		Email:
City: Albuquerque	State: NM	Zip: 87103
Professional/Agent (if any): Consensus Planning Inc.		Phone: 505-764-9801
Address: 302 8th Street NW		Email: fishman@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site: Owner	List <u>all</u> owners: City of Albuquerque	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Tract 12-A-1	Block: N/A	Unit: N/A
Subdivision/Addition: El Rancho Grande	MRGCD Map No.: N/A	UPC Code: 100905426724540104
Zone Atlas Page(s): N-09-Z	Existing Zoning: R-1A	Proposed Zoning NR-SU
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 6.78

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 98th Street | Between: **Blake Rd SW** | and: **Amole Mesa Rd**

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

PR-2023-009216, RZ-2023-00035, SI-2023-01498

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: 1/22/24
Printed Name: Jacqueline Fishman, AICP, Principal, Consensus Planning Inc.	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- 1) DFT Application form completed, signed, and dated
- 2) Form P2 with all the submittal items checked/marked
- 3) Zone Atlas map with the entire site clearly outlined and labeled
- 4) Site Plan and related drawings
- 5) Infrastructure List, if require
- 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- 7) Letter of authorization from the property owner if application is submitted by an agent
- 8) Solid Waste Department signature on Site Plan
- 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- 10) Approved Grading and Drainage Plan
- 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

Legal Description & Location: Legal Description: Tract 12-A-1 Bulk Land Plat for El Rancho Grande Tracts 8-A, 9-B-1, 9-B-2, 11-A, 12-A-1, 12-A-2, and 13-D. Located at the northeast corner of 98th Street and Amole Mesa SW.

Request Description: Final sign-off of EPC-Approved Site Plan.

Hydrology:

- Sensitive Lands Analysis (5-2(C)) Approved NA
- Grading and Drainage Plan X Approved NA
- AMAFCA Approved X NA
- Bernalillo County Approved X NA
- NMDOT Approved X NA
- MRGCD Approved X NA

Renée C. Brissette
Hydrology Department

01/08/24
Date

Transportation:

- Traffic Circulations Layout (TCL) X Approved NA
- Traffic Impact Study (TIS) Approved X NA
- Neighborhood Impact Analysis (NIA) Approved X NA
- Bernalillo County Approved X NA
- MRCOG Approved X NA
- NMDOT Approved X NA
- MRGCD Approved X NA

Ernest Armijo
Transportation Department

1/8/2024
Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

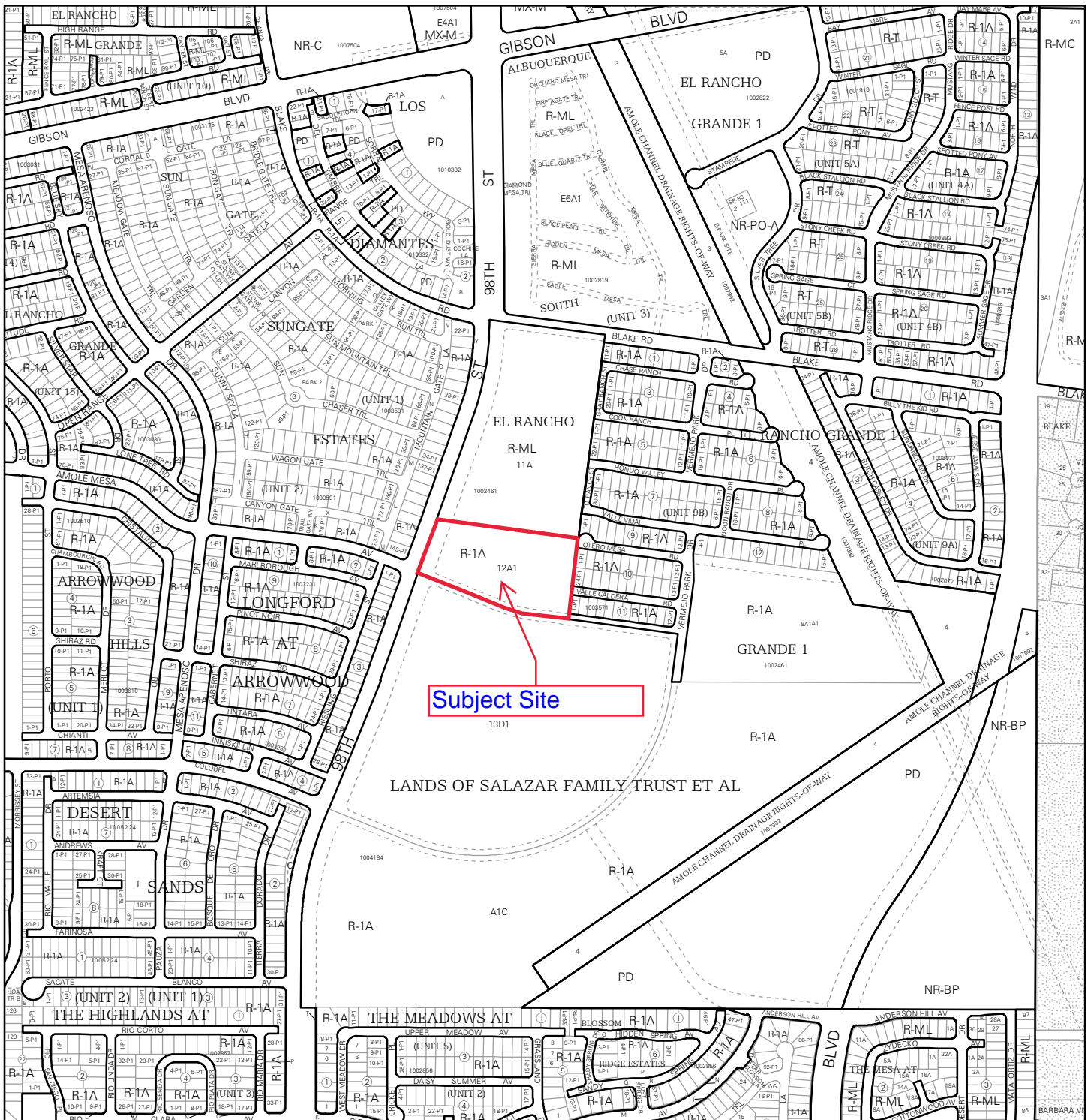
- Request for Availability submitted? X Yes No NA
- Availability Statement/Serviceability Letter Number 230814
- Note: Commitment for service is required prior to application approval.

RS
ABCWUA

01/08/2024
Date

- Infrastructure Improvements Agreement (IIA*) Approved NA
- Solid Waste Department Signature on the Plan Approved NA
- Fire Marshall Signature on the Plan Approved NA

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

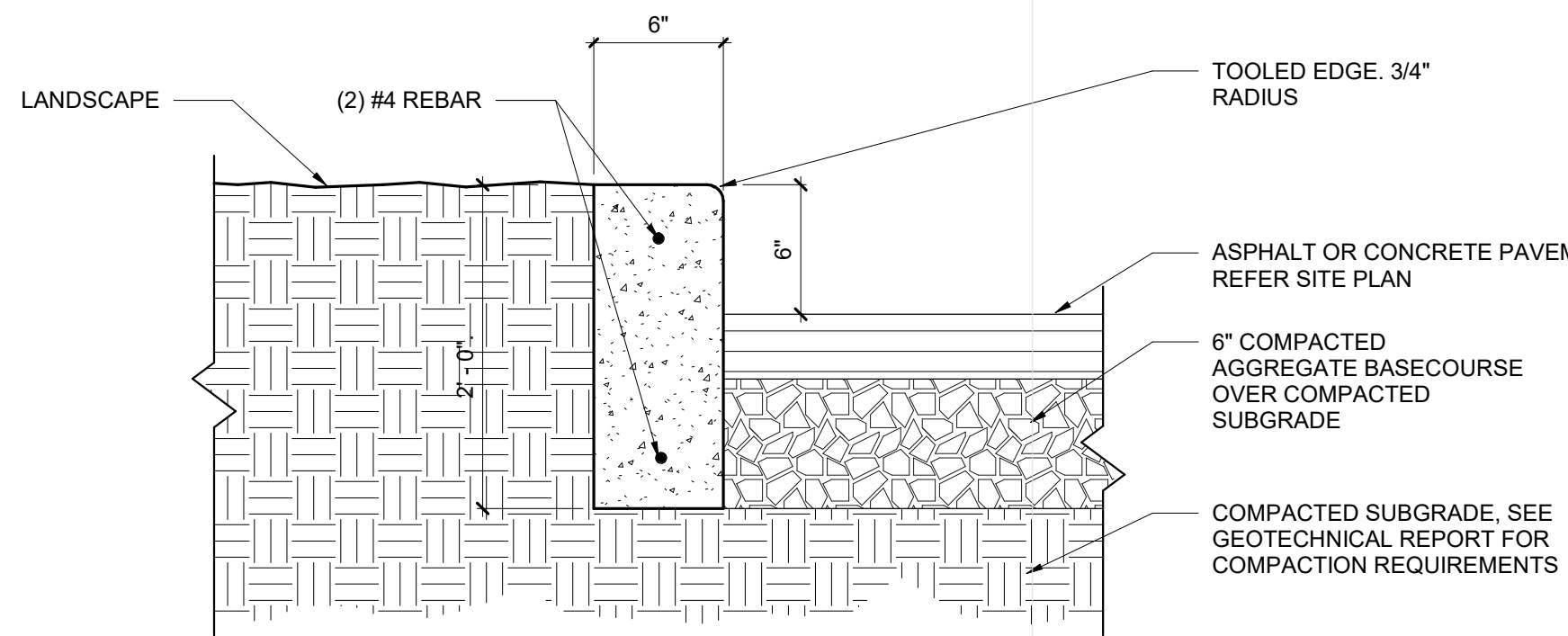
IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
N-09-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

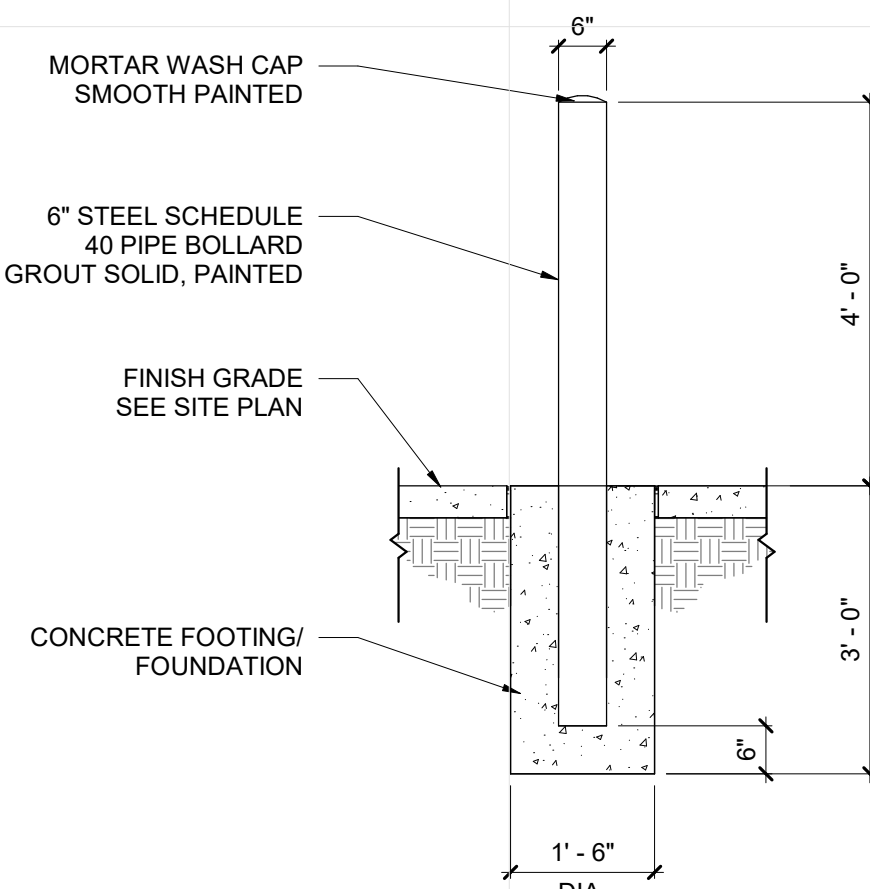
Gray Shading
Represents Area Outside
of the City Limits

0 250 500 1,000 Feet

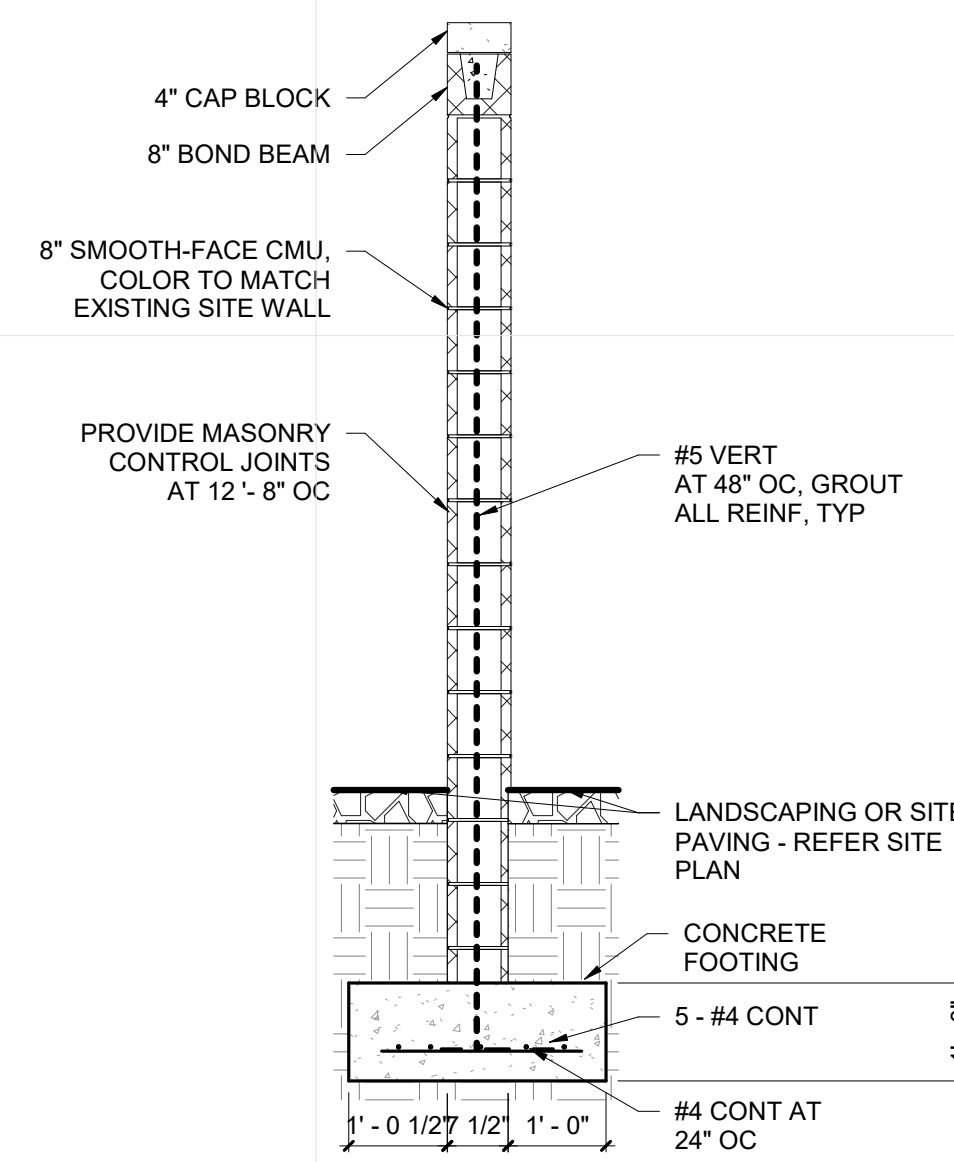


NOTES:
 1) EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" EDGING TOOL
 2) REQUIRES FULL FORM ON ALL FACES
 3) CONSTRUCTION CONTROL JOINTS AT 6' OC MAX
 4) 1/2" EXPANSION JOINTS 24' OC, CURB RETURNS AND EACH SIDE OF DRIVES

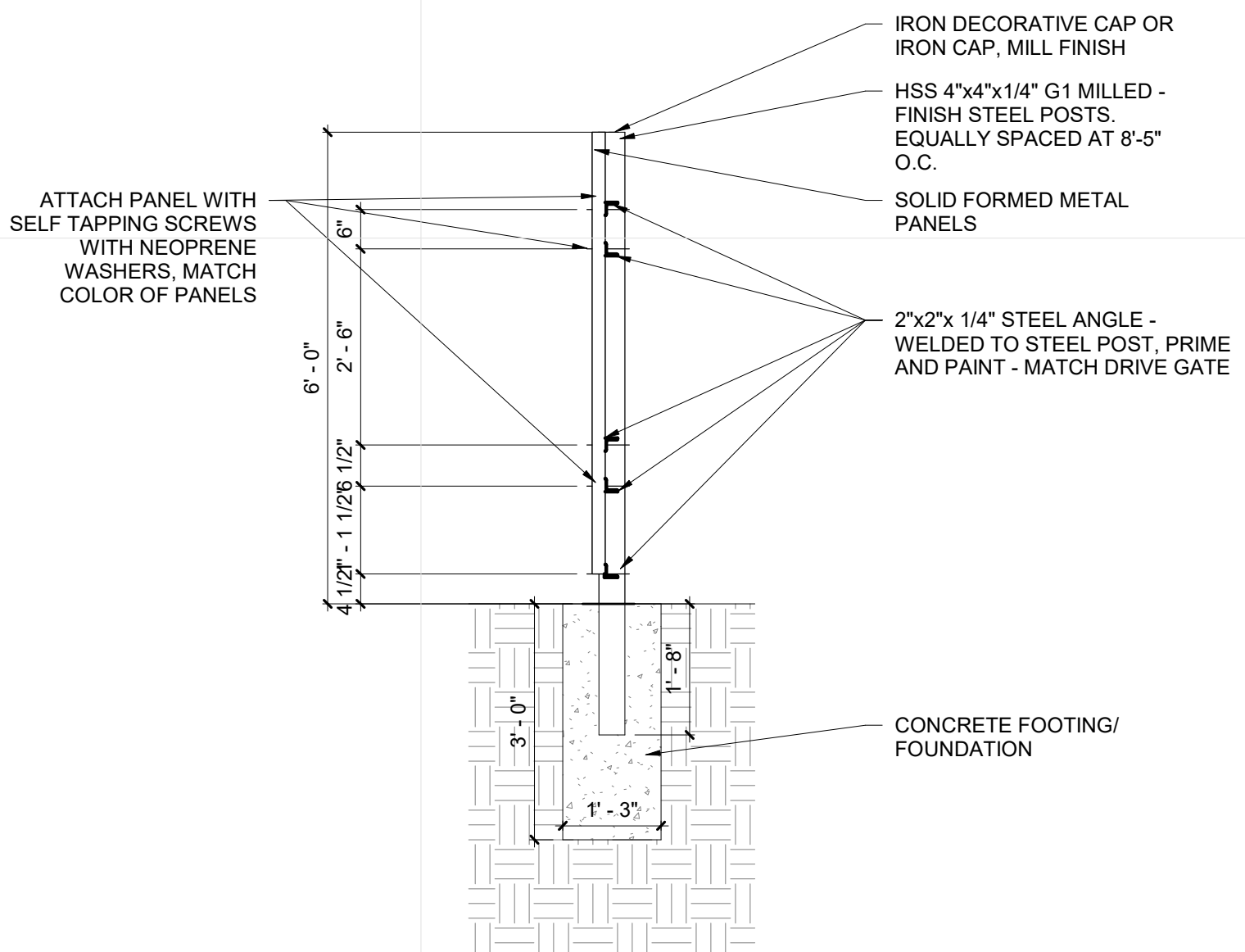
C1 HEADER CURB
 Scale: 1 1/2" = 1'-0"



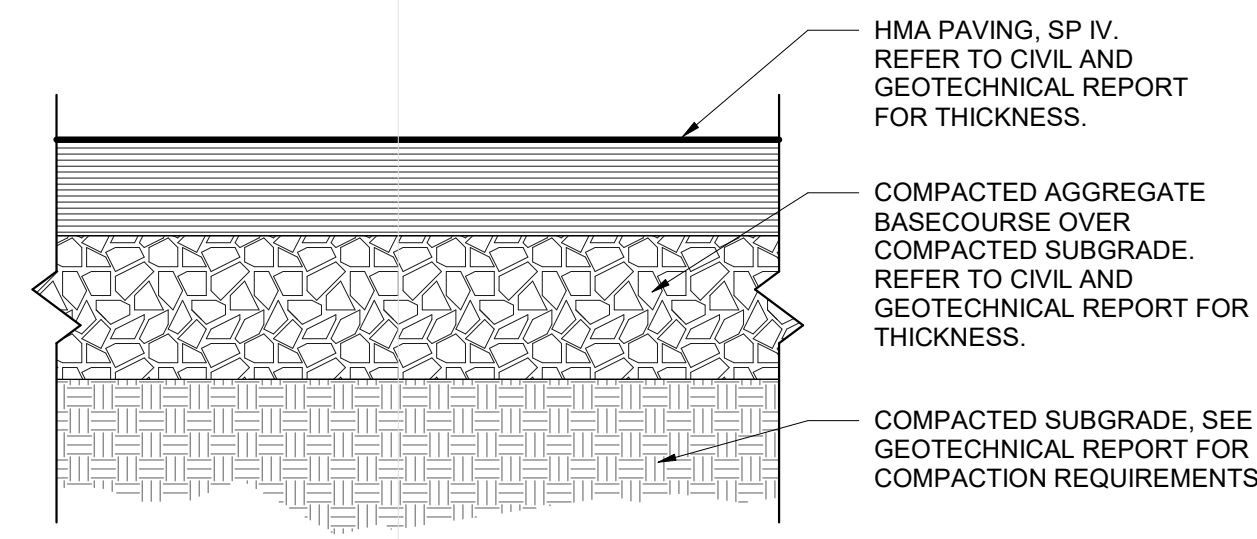
C2 BOLLARD
 Scale: 1/2" = 1'-0"



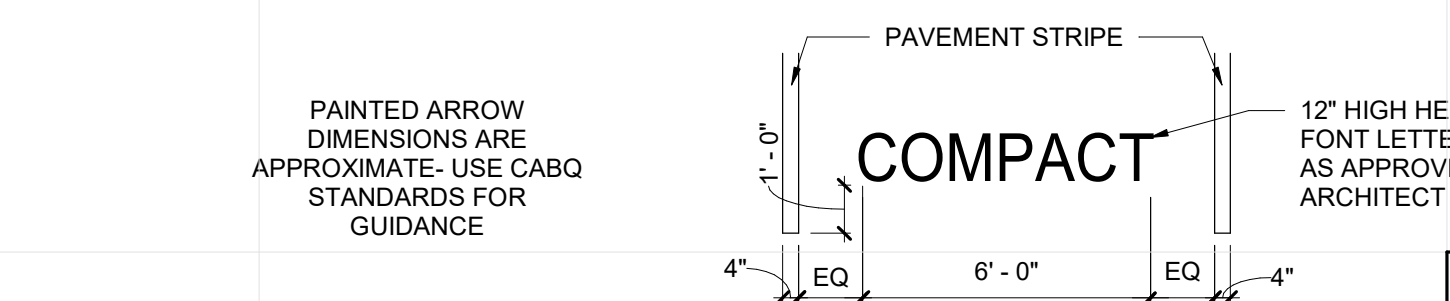
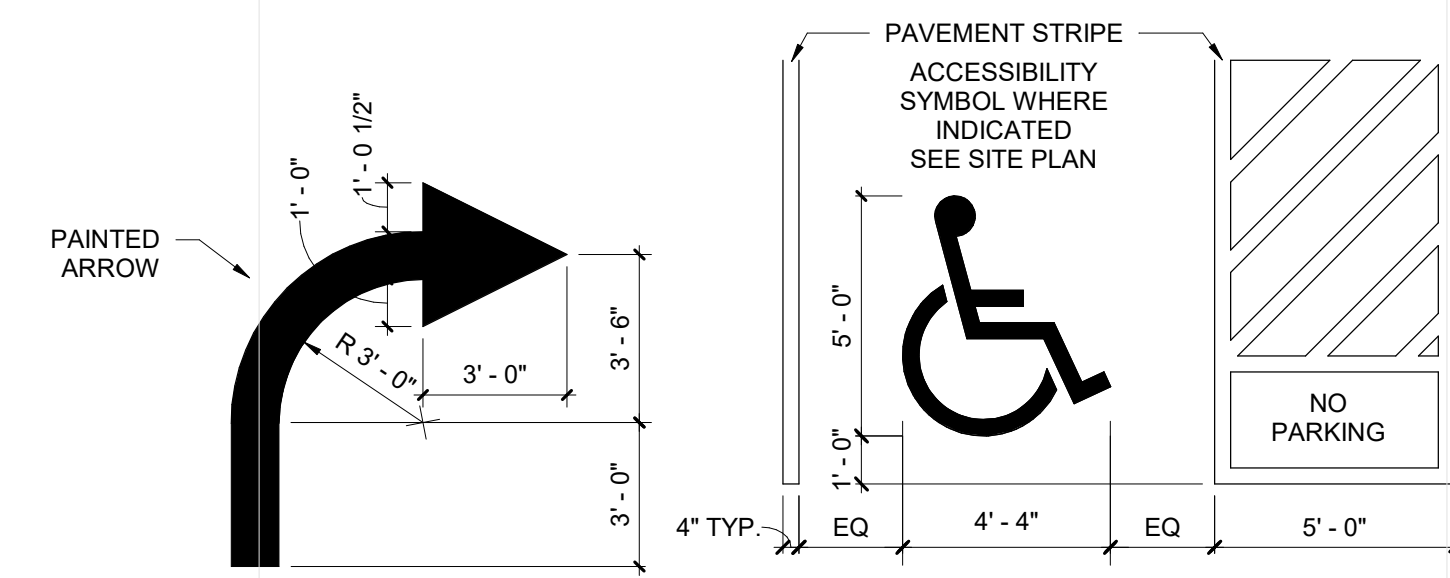
C4 SITE WALL
 Scale: 1/2" = 1'-0"



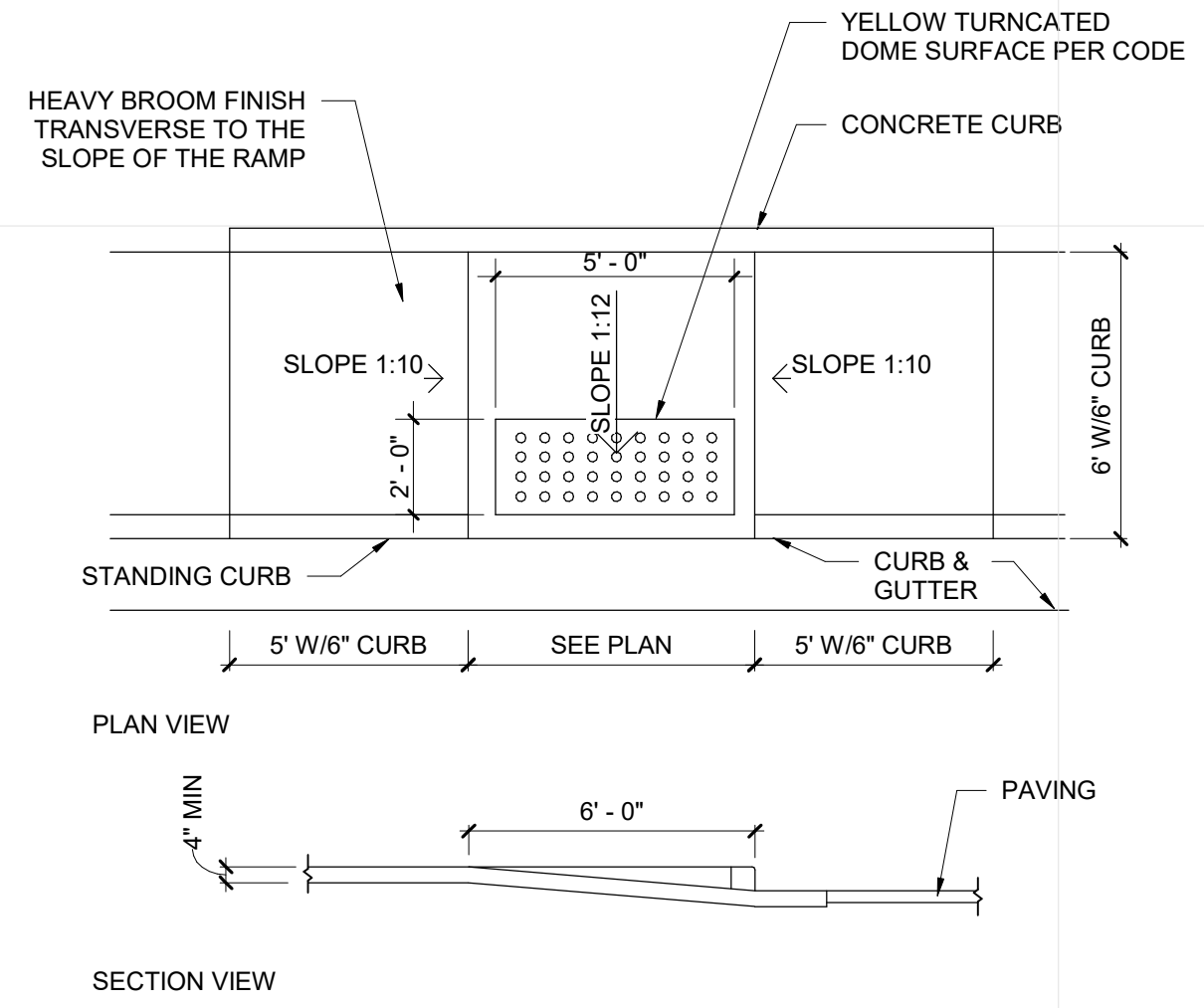
C5 SITE WALL
 Scale: 1/2" = 1'-0"



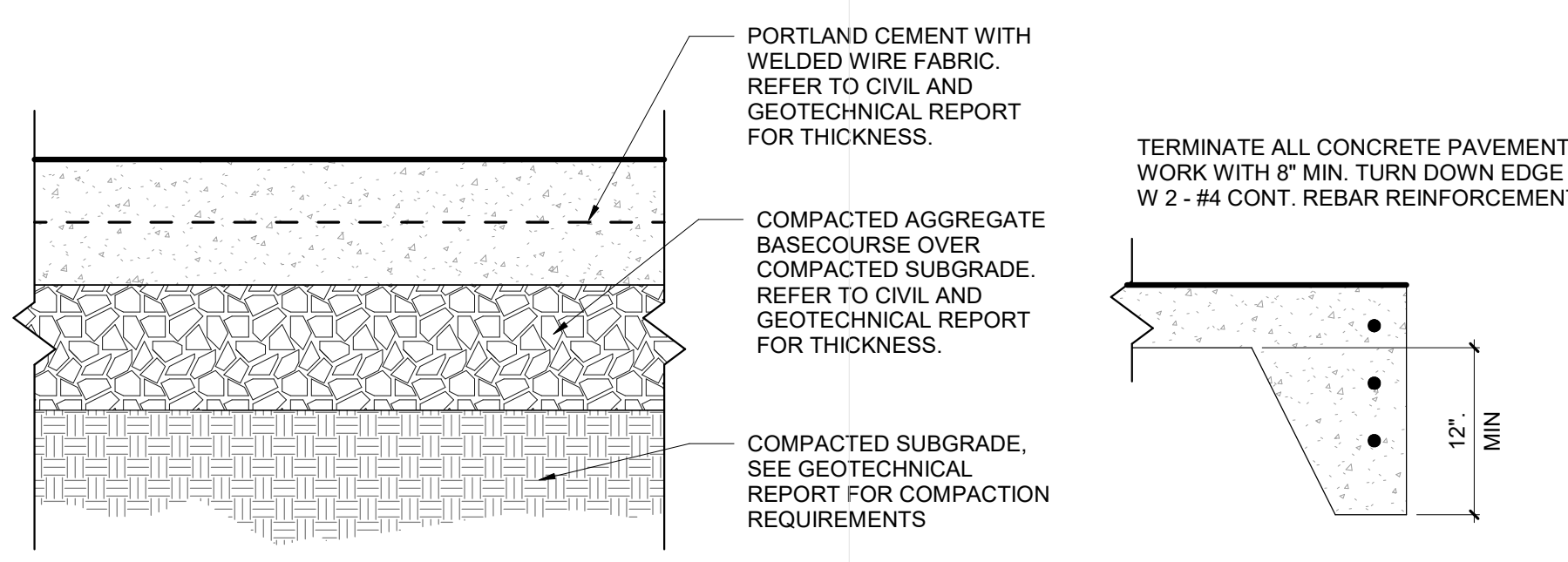
B2 ASPHALT PAVEMENT - HEAVY DUTY
 Scale: 1 1/2" = 1'-0"



A4 PAVEMENT MARKERS
 Scale: 1/4" = 1'-0"



A1 HANDICAP RAMP, TYPICAL
 Scale: 1/4" = 1'-0"



A2 HEAVY DUTY CONCRETE PAVEMENT
 Scale: 1 1/2" = 1'-0"

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STAGED BY	DATE
FIELD ACCEPTANCE BY	DATE
REVISION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	



SEAL	
NO.	DATE
REMARKS	BY
100% CONSTRUCTION DOCUMENTS	
DESIGN	DATE
DESIGNED BY:	DATE
DRAWN BY:	DATE
CHECKED BY:	DATE

VIGIL & ASSOCIATES
 ARCHITECTURAL GROUP, P.C.
 4477 Irving NW, Suite A
 Albuquerque, New Mexico 87114
 Ph: 505.890.9300 - Fax: 505.890.9301
 www.VA-architects.com

CITY OF ALBUQUERQUE
 CAPITAL IMPLEMENTATION PROGRAM
SOUTHWEST PUBLIC SAFETY CENTER

Drawing Title: **SITE DETAILS - EPC**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Issue Date:	City Project No.	Sheet	
JANUARY 2024	7858.91	AS - 503	

PROJECT NO. D

C

B

A



LANDSCAPE CALCULATIONS

LANDSCAPE AREA COVERAGE	
TOTAL SITE AREA (6.78 AC.):	
DEVELOPED AREA:	149,072 SF
BUILDING AREA:	- 18,913 SF
NET AREA:	130,159 SF
REQUIRED / PROVIDED LANDSCAPE	19,524 SF (15%) / 41,417 SF (212%)

COVERAGE
 LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75% OF THE TOTAL LANDSCAPE AREA. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

REQUIRED/PROVIDED LIVE VEGETATIVE COVERAGE	14,643 SF (75%) / 36,998 (190 %)
REQUIRED/PROVIDED GROUND-LEVEL COVERAGE	3,660 SF (25%) / 7,361 (201%)

PARKING LOT TREES
 PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES AND NO PARKING SPACE MAY BE MORE THAN 100FT FROM A TREE TRUNK.
 PARKING LOT SPACES PROVIDED: 82
 REQUIRED/PROVIDED PARKING LOT TREES: 8 / 14

PARKING LOT AREA
 AT LEAST 15% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES SHALL BE LANDSCAPED.
 TOTAL PARKING LOT AREA: 34,510 SF
 REQUIRED/PROVIDED LANDSCAPE AREA: 5,177 SF (15%) 13,172 (59%)

TURF GRASS AREAS (not turf grass is provided)
 ANY PARKING LOT LOCATED WITHIN 20 FEET OF THE SIDE OR REAR LOT LINE SHALL BE SCREENED BY A LANDSCAPE STRIP AT LEAST 6 FEET WIDE CONTAINING AT LEAST 2 TREES AND 6 SHRUBS PER 25 FEET OF THE PARKING EDGE.

STREET TREES
 STREET TREE REQUIREMENTS ARE BASED UPON AN AVERAGE SPACING OF 25' O.C. (AMOLE MESA): STREET FRONTAGE- 286'
 REQUIRED/PROVIDED STREET TREES = 12 / 13

LANDSCAPE SHALL APPLY PURSUANT TO IDO 5-6 LANDSCAPE BUFFERING AND SCREENING.

GRAVEL MULCH COVERAGE
 LANDSCAPE SHALL APPLY PURSUANT TO 5-6(C)(5)(C) THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA, OR 50 PERCENT INDT-UC-MS AREAS

REQUIRED:	29,735 SF (no more than 75%) / NON GRVL 9,911 (25%)
PROVIDED:	29,191 SF (73%) / REVEG 15,680 SF (54%)

ALL VEGETATION SHALL COMPLY WITH ARTICLE 9-12 AND PARTS 6-1-1 AND 6-6-2 OF ROA 1994 (POLLEN CONTROL, WATER CONSERVATION LANDSCAPING AND WATER WASTE, AND STREET TREES) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE) AS APPLICABLE.

GENERAL LANDSCAPE NOTES

IRRIGATION
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. ALL NON-RESIDENTIAL LANDSCAPE IRRIGATION SHALL HAVE AUTOMATIC TIMERS AND/OR PROGRAMMABLE SETTINGS TO AVOID OVERWATERING. PURSUANT TO IDO 5-6(C)(1)(C), THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS AND SHRUBS/ GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS.

RESPONSIBILITY OF MAINTENANCE
 MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
 THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

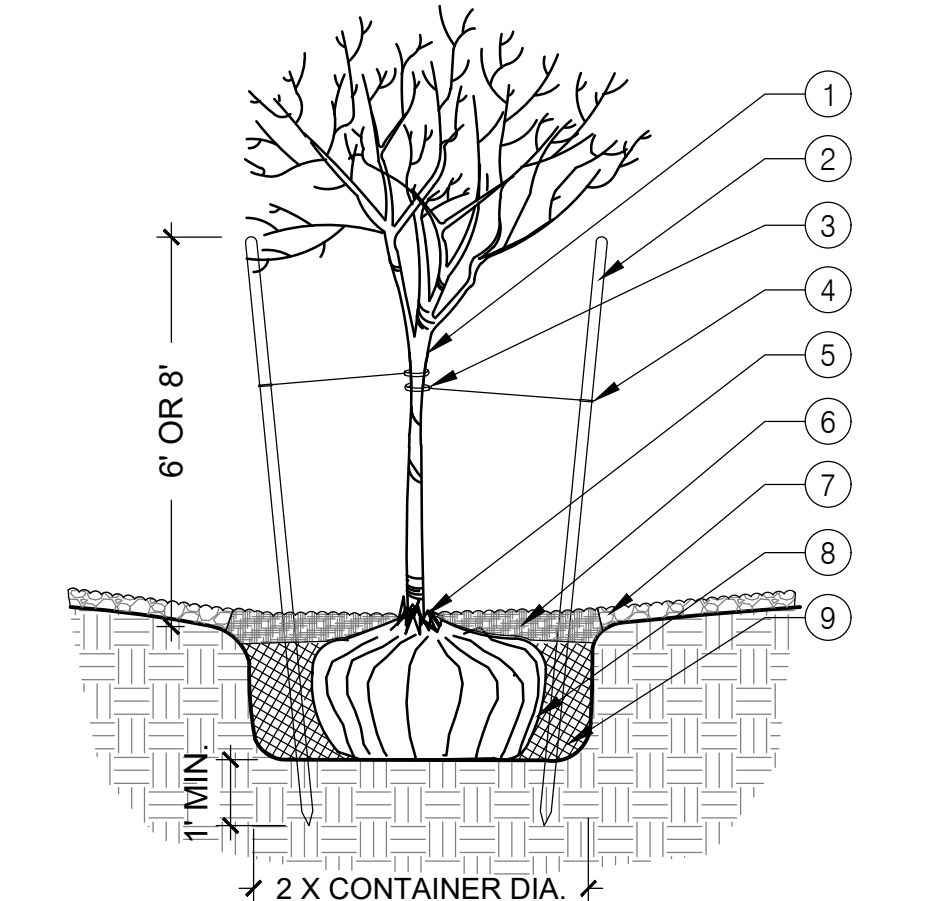
PNM COORDINATION
 COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 6 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

SHREDDED BARK MULCH AT TREES
 SHREDDED BARK MULCH WILL BE PROVIDED BENEATH THE ENTIRE TREE CANOPY FOR ALL NEW TREES IN LANDSCAPE AREAS. PROVIDE 3' DIAMETER CIRCLE.

- STRESS POINT OF TREE
- 8' OR 10' LODGEPOLE STAKES DRIVEN AT ANGLE (8' FOR MULTI OR CANOPY, 10' FOR TALL COLUMNAR)
- 5/8" BLACK POLY TUBING, 12"-15" LONG MIN., NOTCH BACKSIDE OF POLY TUBING
- #10 PLASTIC COATED GUYWIRE - (WRAP TWICE AROUND STAKE)
- PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE
- WATER RETENTION BASIN - 3" DEPTH SHREDDED BARK MULCH. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES
- 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN
- ROOTBALL WITH REMOVE ROPE AND BURLAP AFTER PLANTING
- SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS



1 TREE PLANTING SCALE: N.T.S.

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	INSTALLED SIZE MATURE SIZE
TREES INSTALL PER COA STD DWG. 2714 & LS/501				
5	(Symbol)	ACER TATARICUM 'GAR ANN' HOT WINGS MAPLE (M+)	2' B&B	20 HT. X 24 SPR.
11	(Symbol)	CHILOPSIS LINEARIS 'BUBBA' BUBBA DESERT WILLOW (L+)	8' MS	20 HT. X 20 SPR.
12	(Symbol)	CELTIS RETICULATA NETLEAF HACKBERRY (M)	2.5' B&B	40 HT. X 40 SPR.
4	(Symbol)	JUNIPERUS SCOPULORUM 'SKYROCKET' SKYROCKET JUNIPER (L+)	15 GAL	12 HT. X 5 SPR.
8	(Symbol)	PINUS ELДАРICA AFGHAN PINE (M)	8' HT. B&B	40 HT. X 18 SPR.
10	(Symbol)	ULMUS PARVIFOLIA LACEBARK ELM (M)	2.5' B&B	40 HT. X 40 SPR.
SHRUBS AND GROUNDCOVERS INSTALL PER COA STD DWG. 2717 & LS/501				
10	(Symbol)	ACHILLEA MOONSHINE MOONSHINE YARROW (M)	1-GAL	2' HT. X 2 SPR.
21	(Symbol)	CYTISUS SCOPARIUS 'ALL GOLD' ALL GOLD SCOTCH BROOM (L)	5-GAL	4' HT. X 4 SPR.
21	(Symbol)	FALLUGIA PARADOXA APACHE PLUME (L)	5-GAL	5' HT. X 5 SPR.
66	(Symbol)	JUNIPERUS HORIZ. 'BLUE CHIP' BLUE CHIP JUNIPER (M) Female ONLY	3-GAL	1' HT. X 7 SPR.
12	(Symbol)	PINUS MUGO 'PUMILIO' DWARF MUGO PINE (M)	5-GAL	4' HT. X 6 SPR.
10	(Symbol)	PRUNUS CISTENA PURPLELEAF SAND CHERRY (M)	5-GAL	5' HT. X 4 SPR.
34	(Symbol)	RHUS AROMATICA 'GRO-LOW' PROSTRATE SUMAC (L+)	5-GAL	2' HT. X 4 SPR.
48	(Symbol)	SALVIA GREGGII 'FURMAN'S RED' FURMAN'S RED CHERRY SAGE (M)	3-GAL	30' HT. X 3 SPR.
DESERT ACCENTS				
55	(Symbol)	DASYLIRION WHEELERI DESERT SPOON (L)	5-GAL	4' HT. X 4 SPR.
28	(Symbol)	HESPERALOE PARVIFLORA 'BRAKELIGHTS' BRAKELIGHTS RED YUCCA (L)	3-GAL	3' HT. X 3 SPR.
ORNAMENTAL GRASSES				
32	(Symbol)	CALAMOGOSTIS A. 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS (M)	1-GAL	30' HT. X 3 SPR.
109	(Symbol)	BOUTELOUA GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMMA (L+)	1-GAL	36' HT. X 30' SPR.

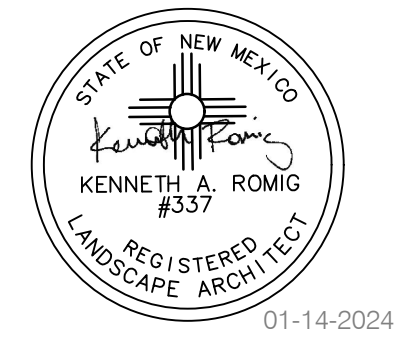
MULCHES AND BOULDERS

44	(Symbol)	MOSS ROCK BOULDERS (27 CF MIN)
7,480 SF	(Symbol)	2'-6" GREY ROUND COBBLE (6" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
8,407 SF	(Symbol)	7/8" PUEBLO ROSE ROCK MULCH (INCLUDING LANDSCAPE STRIPS ALONG AMOLE MESA) (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
11,040 SF	(Symbol)	4'-6" COYOTE MIST COBBLE (6" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
2,706 SF	(Symbol)	2'-4" ROSE GOLD COBBLE (4" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
15,680 SF	(Symbol)	RE-VEGETATIVE SEEDING: 'SANDY SOILS'; SEE C.O.A 1012

CONSENSUS PLANNING, INC.
 Planning / Landscape Architecture
 302 Eighth Street NW
 Albuquerque, NM 87102
 (505) 764-9801 Fax 842-5495

VIGIL & ASSOCIATES
 ARCHITECTURAL GROUP, P.C.
 4477 Irving NW, Suite A
 Albuquerque, New Mexico 87114
 Ph: 505.890.5030 Fax: 505.890.5031
 www.va-architects.com

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
CONTRACTOR	DATE	CONTRACTOR	DATE	BY	DATE	BY	DATE



NO.	DATE	REMARKS	BY

CITY OF ALBUQUERQUE
 CAPITAL IMPLEMENTATION PROGRAM

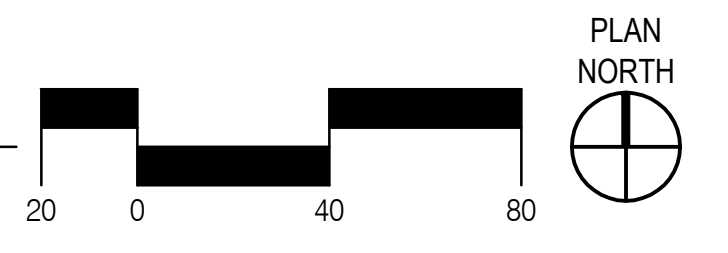
SOUTHWEST PUBLIC SAFETY CENTER

Drawing Title: **LANDSCAPE PLAN - EPC**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
		9/7/23	
Issue Date:	City Project No.	Sheet	
1-8-2024			

L-200

A1 PLANTING PLAN SCALE: 1" = 40'-0"



CONSENSUS PLANNING, INC.
 Planning / Landscape Architecture
 302 Eighth Street NW
 Albuquerque, NM 87102
 (505) 764-9801 Fax 842-5495



LEGEND:

• 38.00 FG	PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
• MATCH (95.19)	MATCH EXISTING ELEVATIONS
TOC	TOP OF CONCRETE
FL	FLOW LINE, CURB
INV	INVERT
FG	FINISH GRADE
TBC	TOP OF BASE COURSE
TC	TOP OF CURB
TG	TOP OF GRATE
TA	TOP OF ASPHALT
FA	FIELD VERIFY
→	FLOW ARROW
▲	GRADE BREAK-HIGH POINT
●	PROPOSED STORM DRAIN MANHOLE
---	SWALE
SD	STORM DRAIN LINE
5895	PROPOSED MAJOR CONTOUR
5895	PROPOSED MINOR CONTOUR
5895	EXISTING MAJOR CONTOUR
5895	EXISTING MINOR CONTOUR
▲	TOP OF CUT SLOPE

Private Drainage Facilities within City Right-of-Way Notice to Contractor (Special Order 19 ~ "S0-19")

1. Build sidewalk culvert per COA STD DWG 2236. Work is permitted and inspected by DMD Construction Services Division.
2. An excavation permit will be required before beginning any work within City Right-Of-Way.
3. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
4. Prior to any excavation, the contractor must contact New Mexico One Call, dial "811" for (505) 260-1990 for the location of existing utilities.
5. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
6. Backfill compaction shall be 95%.
7. Maintenance of the facility shall be the responsibility of the owner of the property being served.
8. Work on arterial streets may be required on a 24-hour basis.
9. For excavation and barricading inspections, contact DMD

KEYED NOTES:

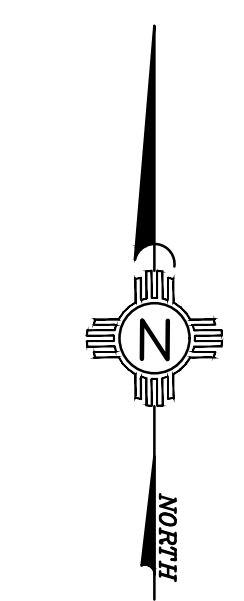
- 1 NEW CONCRETE FLATWORK AND SIDEWALK. SEE ARCHITECTURAL DRAWINGS FOR DETAILS. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS PRIOR TO CONSTRUCTION.
- 2 NEW WATER HARVEST AREAS #4, INV. EL. = 5068.50, SEE SHEET C-502.
- 3 NEW 18" STORM DRAIN PIPE @ 1% SLOPE MINIMUM.
- 4 NEW 24" STORM DRAIN PIPE @ 1% SLOPE MINIMUM.
- 5 NEW TYPE D AREA INLET, SEE DETAIL SHEET C-504.
- 6 NEW CURB AND GUTTER, SEE DETAIL SHEET C-501.
- 7 NEW RIP RAP RUNDOWN, SEE DETAIL SHEET C-503.
- 8 NEW HMA LIGHT DUTY PAVING, SEE DETAIL SHEET C-501.
- 9 NEW HMA HEAVY DUTY PAVING, SEE DETAIL SHEET C-501.
- 10 NEW STANDARD CURB AND GUTTER PER COA STD DWG #2415A.
- 11 NEW LINEAR CONCRETE SIDEWALK PER COA STD DWG #2430.
- 12 NEW CONCRETE VALLEY GUTTER PER COA STD DWG #2420.
- 13 NEW ADA ACCESS RAMP PER COA STD DWG #2443.
- 14 NEW CONCRETE SPILLWAY, SEE DETAIL SHEET C-502. TOP OF BERM = 73.0, CREST (INV)= 72.0.
- 15 NEW 2 - 24" WIDE SIDEWALK CULVERTS PER COA STD DWG #2236
- 16 NEW 4'-8" WIDE CURB CUT AND CONCRETE CHANNEL. SEE DETAIL SHEET C-502.

**City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED**

DATE: 01/04/24
BY: *Renee Tomsett*
HydroTeam: N09D015

THE APPROVAL OF THESE PLANS DOES NOT BE CONSIDERED TO PREVENT VIOLATIONS OF ANY CITY ORDINANCES OR STATE LAWS, AND SHALL NOT BE USED AS A BASIS FOR LIABILITY. THE CITY OF ALBUQUERQUE IS NOT RESPONSIBLE FOR CORRECTIONS OR CHANGES TO THE PLANS, SPECIFICATIONS OR CONDITIONS OF ANY APPROVED PLANS. SUCH CHANGES, MODIFICATIONS OR ALTERATIONS SHALL NOT BE CHARGED, MONITORED OR ALTERED WITHOUT AUTHORIZATION.

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



SCALE: 1"=10'
CONTOUR INTERVAL = 1'

A1 ENLARGED GRADING AND DRAINAGE PLAN EAST POND
SCALE: 1"=10'

VIGIL & ASSOCIATES
ARCHITECTURAL GROUP, P.C.
4477 Irving NW, Suite A
Albuquerque, New Mexico 87114
Ph: 505.890.5030 Fax: 505.890.5031
www.va-architects.com



**CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM
AFD FIRE STATION 23**
9601 AMOLE MESA AVE. N.W.
ALBUQUERQUE, NM 87121

Drawing Title: **ENLARGED GRADING AND DRAINAGE PLAN EAST POND**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
		7/10/18	
Last Design Update		Mo./Day/Yr.	Mo./Day/Yr.

Issue Date: **JULY 25, 2023** City Project No. . Sheet **C-102**

ME MILLER ENGINEERING CONSULTANTS
Engineers • Planners
3500 COMANCHE, NE
BUILDING F
ALBUQUERQUE, NM 87107
(505)888-1200
(505)888-3800 (FAX)
WWW.MECNM.COM

PROJECT NO.: D C B A

PROJECT NO.: D C B A

1

2

3

4

5

GENERAL FIRE 1 NOTES

1. ACCESS AND LOADING: AN APPROVED FIRE APPARATUS ACCESS ROAD SHALL BE AN ASPHALT, CONCRETE OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OR FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS.
2. FIRE APPARATUS ROADS SHALL NOT EXCEED 10% IN GRADE.

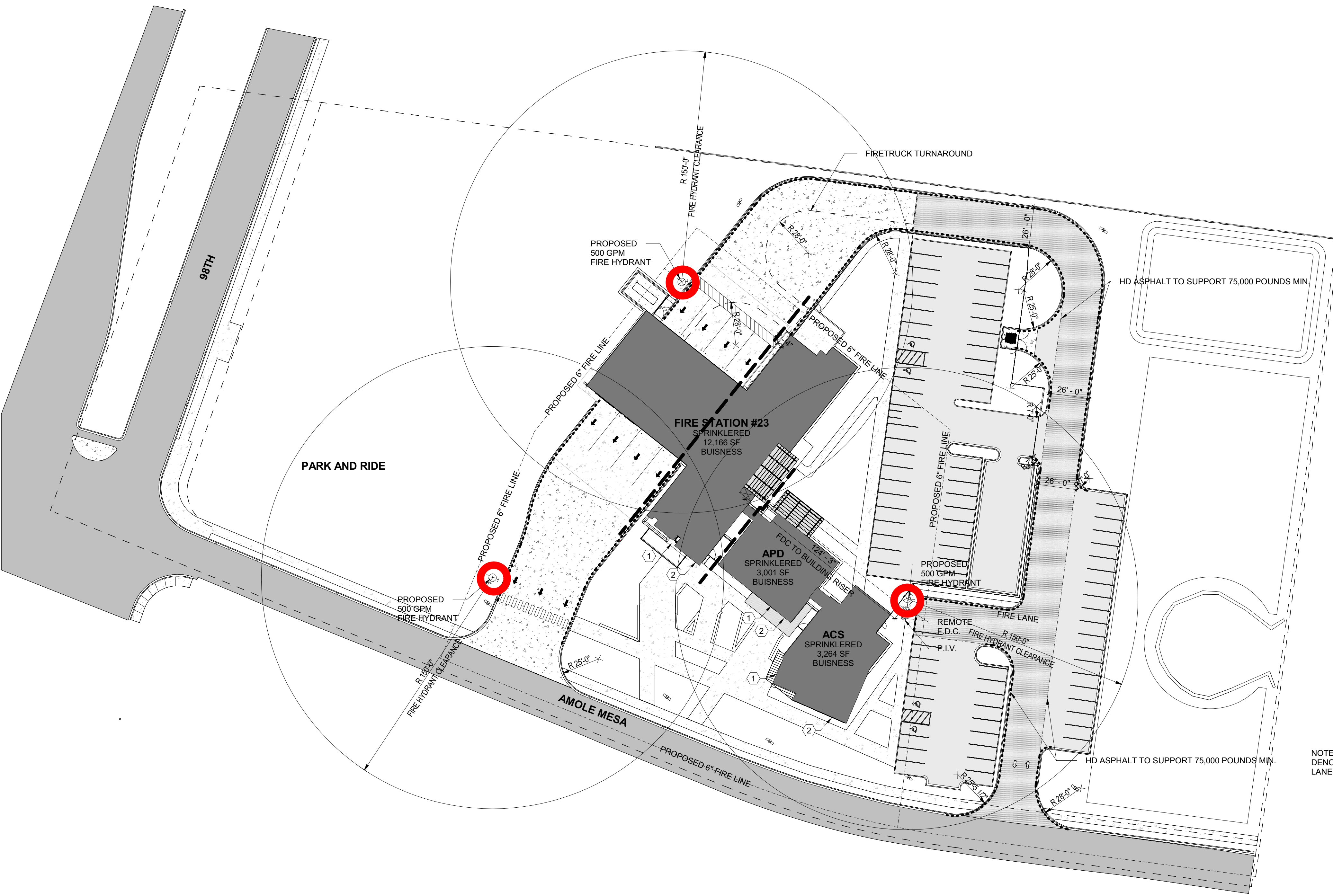
SHEET KEYNOTE

1	KNOX BOX PER COA ORDINANCE
2	PREMISE ID



ALBUQUERQUE FIRE MARSHAL'S OFFICE
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: FP-23-015192
APPROVED DATE: 01/10/24
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 1500 GPM, 1 HYDRANT, 3 PROVIDED FOR SPACING, IIB



NOTE: DASHED LINE: - - - - -
 DENOTES RED PAINTED FIRE LANE LOCATION EXTENTS.

CODE ANALYSIS

ADDRESS: 0000 Amole Mesa Ave SW
 Albuquerque, NM 87121

APPLICABLE CODES:
 2015 INTERNATIONAL BUILDING CODE (2015 IBC)
 2015 NEW MEXICO COMMERCIAL BUILDING CODE
 2021 NEW MEXICO PLUMBING & MECHANICAL CODE
 2017 NEW MEXICO ELECTRICAL CODE
 2018 INTERNATIONAL ENERGY CONSERVATION CODE
 2015 INTERNATIONAL FIRE CODE
 ICC/ANSI A117.1-2009 ACCESSIBILITY STANDARDS

OCCUPANCY CLASSIFICATION - ACS OFFICE AND APD SUBSTATION: MIXED OCCUPANCIES
 GROUP B, BUSINESS

CONSTRUCTION TYPE:
 Per IBC table 601
 TYPE IIB, NEW CONSTRUCTION

SEISMIC DESIGN CATEGORY: D, REFER STRUCTURAL NOTES

BUILDING AREA:
 BUILDING AREA IS THE AREA INCLUDED WITHIN SURROUNDING EXTERIOR WALLS EXCLUDING VENT SHAFTS AND COURTS (IBC 502).
 AS SHOWN: 3,001 GSF APD SUBSTATION
 3,264 GSF ACS OFFICE
 12,166 GSF FS#23

ALLOWABLE TABLE 506.2:
 GROUP B: 92,000 SF

NO SEPARATION REQUIRED BETWEEN FS23, APD AND ACS SPACES

FIRE PROTECTION SYSTEM: BUILDING IS EQUIPPED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM

OCCUPANT LOAD:
 PER IBC TABLE 1004.1.1
 APD SUBSTATION - GROUP A-3
 CONFERENCE: 833 SF/15 OCC/SF = 56 OCC
 GROUP B: BUSINESS AREAS (BALANCE OF BLDG) 2,168 SF/100 = 22 OCC
 TOTAL OCCUPANTS - APD SUBSTATION: 78 OCC

ACS OFFICE - GROUP A-3
 TRAINING RM: 665 SF/15 OCC/SF = 45 OCC
 GROUP B: BUSINESS AREAS (BALANCE OF BLDG) 2,599 SF/100 = 26 OCC
 TOTAL OCCUPANTS - ACS OFFICE: 71 OCC

FS23 - GROUP A-3
 CONFERENCE: 442 SF/15 OCC/SF = 30 OCC
 LIVING AREA: (KITCHEN, DINING, DAY AREA) 1,167 SF/15 OCC/SF = 78 OCC
 EXERCISE ROOM: 495 SF/50 OCC/SF = 10 OCC
 GROUP R-3: 1,368 SF/200 OCC/SF = 7 OCC
 GROUP S-2: 5,145 SF/300 OCC/SF = 17 OCC
 TOTAL OCCUPANTS - FS23: 142 OCC.

ALLOWABLE BUILDING HEIGHT: GROUP B, TYPE IIB (BOTH BUILDINGS): 75 FT (3 STORY)
ACTUAL BUILDING HEIGHT: 1 STORY NEW CONSTRUCTION, 36FT

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STACKED BY	DATE
FIELD ACCEPTANCE BY	DATE
REVISIONS BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS	
CONTRACTOR	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE

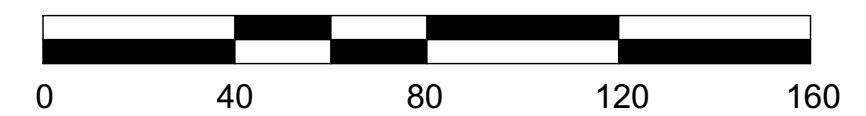
SEAL	
NO.	DATE

NO.	DATE	REMARKS	BY	DATE



01/04/24

A1 FIRE 1 PLAN
 Scale: 1" = 40'-0"



FIRE FLOW (IFC 2015 APPENDIX B) TABLE B105.1 TYPE IIB SPRINKLERED AT 18,431 SF:
 REQUIRED: =PER TABLE B105.1 THIS IS 1/2 OF TABULAR VALUE OF 3000 = 1500 GPM FOR 3 HOURS.
 PROVIDED: 1500 GPM FOR 3 HOURS

HYDRANTS: (IFC APPENDIX C) TABLE C102.1:
 REQUIRED: 3 FIRE HYDRANTS SPACED 400 APART, AND 225 MAX FROM FRONTAGE TO HYDRANT.
 PROVIDED: 3 FIRE HYDRANTS SPACED APPROX. 250 FT APART

- PROPOSED HYDRANT BETWEEN THE FIRE TRUCK EXIT DRIVEWAY, AND THE PARK AND RIDE DRIVEWAY.
- PROPOSED HYDRANT BEHIND THE ENTRANCE TO THE APPARATUS BAY
- PROPOSED FIRE HYDRANT NEAR THE NORTH EAST CORNER OF THE ACS BUILDING

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CITY OF ALBUQUERQUE
 CAPITAL IMPLEMENTATION PROGRAM

SOUTHWEST PUBLIC SAFETY CENTER

Drawing Title: **FIRE1 SITE PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

Issue Date: **JANUARY 2024** City Project No. Sheet **FIRE1**

SITE DATA

LEGAL DESCRIPTION:
TRACT 12-A-1 BULK LAND PLAN FOR EL RANCHO GRANDE CENTER, THE REPLACEMENT FIRE STATION, WITH 12,300 SQ. FT., HAS 8 BUNK ROOMS, 4 APPARATUS BAYS, AND 3 OFFICER SUITES. THE POLICE DEPARTMENT UNIT FEATURES 3,000 SQ. FT. WITH 2 PRIVATE OFFICES, A CONFERENCE ROOM, AND WORKSTATIONS. THE COMMUNITY SAFETY CENTER, WITH 3,000 SQ. FT., INCLUDES A TRAINING ROOM, THREE PRIVATE OFFICES, AND WORKSTATIONS.

EXISTING ZONING: R-1A
PROPOSED ZONING: NR-SU
PROPOSED LAND USE: FIRE AND POLICE STATION, OFFICE SPACE

PEDESTRIAN AND VEHICLE ACCESS: PRIMARY VEHICULAR AND PEDESTRIAN ACCESS IS FROM AMOLE MESA AVENUE. A NEW 6 FOOT SIDEWALK WILL BE CONSTRUCTED ALONG AMOLE MESA, WITH PEDESTRIAN CONNECTIONS FROM THE SIDEWALK TO THE BUILDINGS.
BUS ROUTES: ROUTE 198 ALONG 98TH STREET, WITH A PEAK FREQUENCY OF 30 MINUTES

PARKING REQUIREMENTS

PARKING CALCULATIONS:
PER IDO TABLE 5-5-1 MINIMUM OFF STREET PARKING REQUIREMENTS:
• FIRE STATION OR POLICE STATION: 2 SPACES/ 1,000 SQ. FT. GFA
• OFFICE: 3.5 SPACES PER 1000 SQ. FT. GFA

TOTAL REQUIRED:
FIRE STATION #23- 12,356 SF, SO (12,356/1000)*2 = 24.7 SPACES
POLICE STATION- 3,170 SF, SO (3,170/1000)*2 = 6.34 SPACES
ACS- 3,387 SF, SO (3,387/1000)*3.5 = 11.85 SPACES

TOTAL REQUIRED = 42.89 SPACES, SO 43 SPACES TOTAL

TOTAL PROVIDED:
82 SPACES TOTAL ON SITE, OF WHICH 4 ARE HC ACCESSIBLE

PER 5-5(D)(1):
A TOTAL OF 2 MOTORCYCLE SPACES ARE REQUIRED
3 TOTAL MOTORCYCLE SPACES ARE PROVIDED.

PER TABLE 5-5-5 MINIMUM BICYCLE PARKING REQUIREMENTS:
3 SPACES OR 10% OF REQUIRED OFF STREET PARKING SPACES WHICHEVER IS GREATER IS REQUIRED /
SO A TOTAL OF 5 BICYCLE SPACES ARE MINIMUM REQUIRED.
TOTAL PROVIDED IS 6

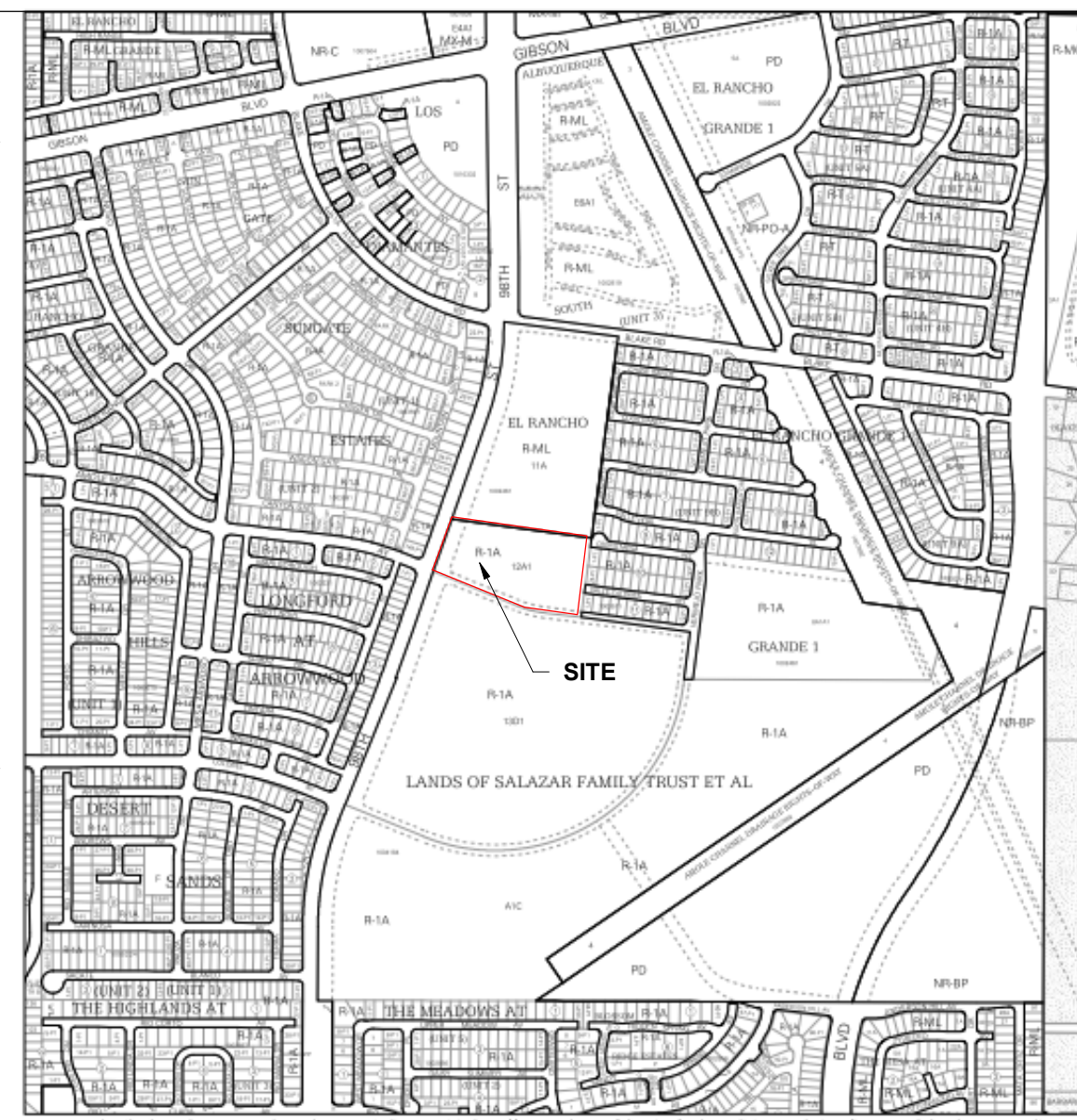
EXECUTIVE SUMMARY

"THIS PROJECT IS A NEW 18,500 SQ. FT. TOTAL BUILDING CENTER. THE REPLACEMENT FIRE STATION, WITH 12,300 SQ. FT., HAS 8 BUNK ROOMS, 4 APPARATUS BAYS, AND 3 OFFICER SUITES. THE POLICE DEPARTMENT UNIT FEATURES 3,000 SQ. FT. WITH 2 PRIVATE OFFICES, A CONFERENCE ROOM, AND WORKSTATIONS. THE COMMUNITY SAFETY CENTER, WITH 3,000 SQ. FT., INCLUDES A TRAINING ROOM, THREE PRIVATE OFFICES, AND WORKSTATIONS.

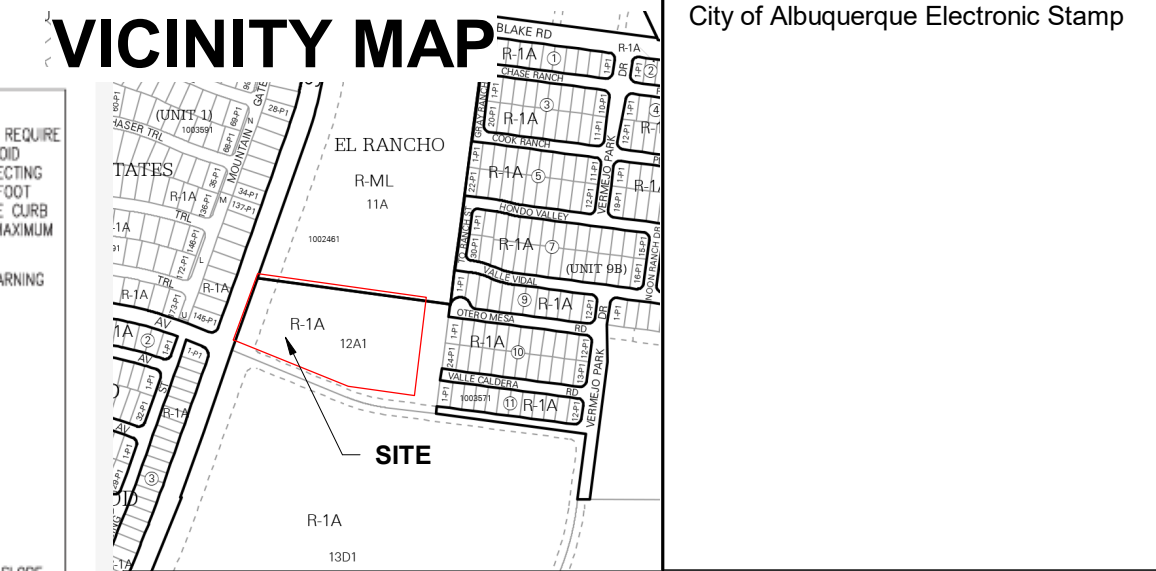
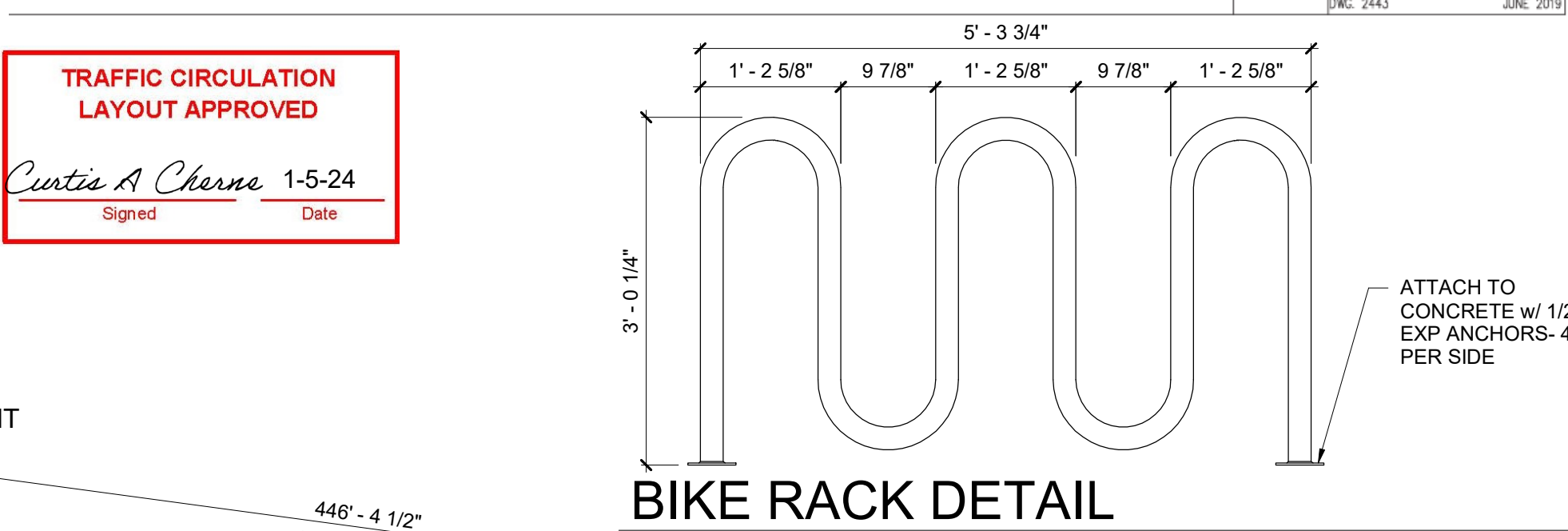
ALL VEHICLES ARE TO ENTER FROM THE EASTERN ACCESS POINT. VISITOR VEHICLES ARE NOT TO PASS THE SIGN READING "OFFICIAL VEHICLES ONLY BEYOND THIS POINT" (KEYNOTE 8). APD/AFD PERSONAL VEHICLES ARE TO PARK IN THEIR DESIGNATED PARKING LOTS (LOCATED DIRECTLY EAST OF THE FIRE STATION). ALL VEHICLES EXCEPT FOR FIRE TRUCKS ARE TO EXIT USING THE EASTERN SITE ACCESS POINT. ONLY FIRE APPARATUS VEHICLES ARE TO EXIT USING THE WESTERN DRIVEWAY.

GENERAL NOTES

- SLOPES ARE TO BE SPECIFIED REFER TO CIVIL DRAWINGS.
 - PARKING LOTS ARE TO HAVE A SLOPE BETWEEN 1% AND 8%
 - PARKING AREAS ADJACENT TO MAJOR CIRCULATION AISLES OR ADJACENT TO MAJOR ENTRANCES ARE TO BE BETWEEN 1% AND 6%
 - HANDICAP PARKING IS TO BE BETWEEN 1% AND 2%
- ALL LIGHT FIXTURES SHALL BE IN COMPLIANCE WITH IDO SECTION 5-8 OUTDOOR AND SITE LIGHTING.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER PAN WILL NOT BE ACCEPTABLE IN THE AREA.
- ALL INTERNAL SIDEWALKS SHALL BE 5 FEET IN WIDTH. ON-SITE TRANSFORMERS SHALL HAVE A 5-FOOT CLEAR AREA ON THE SIDES AND REAR AND A 10-FOOT CLEAR AREA IN FRONT TO ALLOW FOR ACCESS AND MAINTENANCE.



TRAFFIC CIRCULATION LAYOUT APPROVED
Curtis A. Cherns 1-5-24
Signed Date



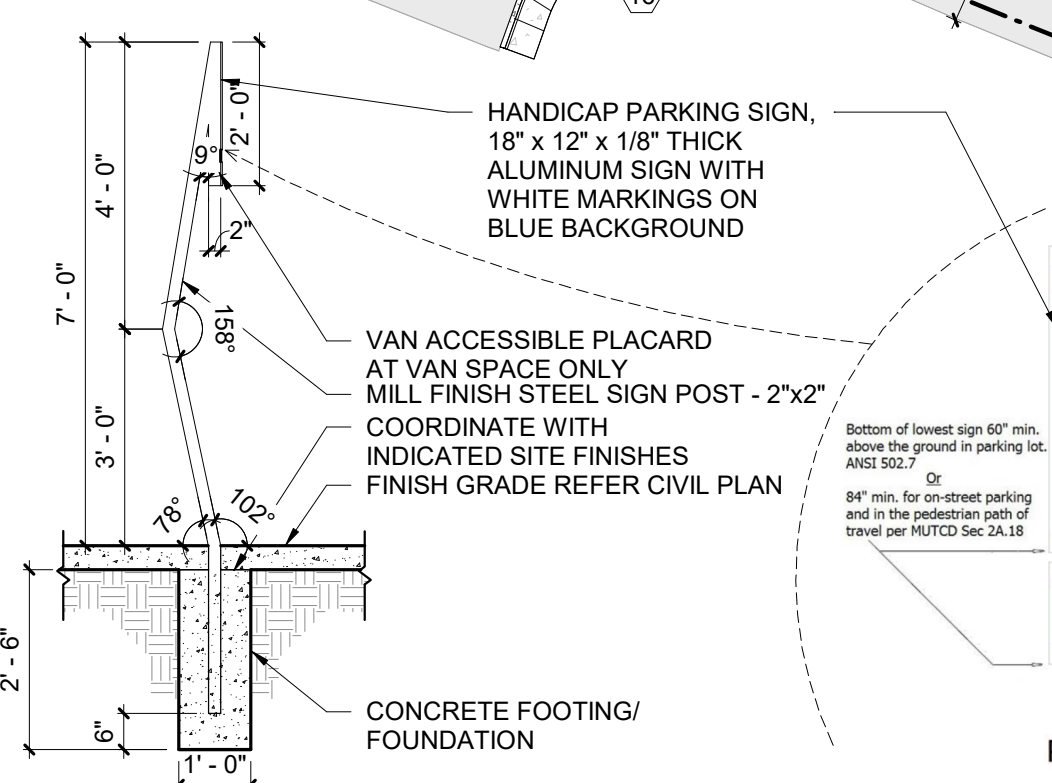
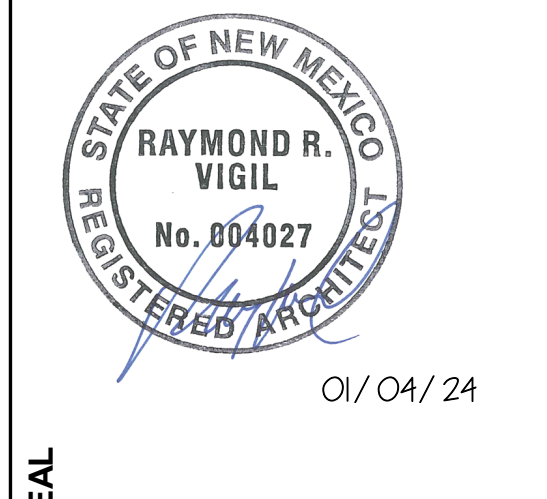
SHEET KEYNOTES - AS-101.

- 6" ORNAMENTAL FENCING
- 16' LIGHTPOLE (NIGHT SKY COMPLIANT)
- EXISTING DWELLING UNITS WITHIN 20 FEET OF SITE
- 8 FOOT CMU WALL SEE (DETAIL NUMBER)
- BICYCLE RACK- SEE DETAIL THIS PAGE
- MINI CLEAR SIGHT TRIANGLE PER CABQ DPM 7.4 9.4
- TRASH ENCLOSURE
- SIGN READING "OFFICIAL VEHICLES ONLY BEYOND THIS POINT" AT THIS LOCATION
- EXISTING STOP SIGN
- EXISTING PEDESTRIAN CROSSING SIGN
- EXISTING MEDIAN
- EXISTING BUS STOP WITH SHELTER
- EXISTING BIKE LANE
- EXISTING STREET LIGHT
- ACCESSIBLE RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD DTL 2443 DETAIL C
- EXISTING SIDEWALK
- HANDICAPPED PARKING
- MOTORCYCLE PARKING
- COVERED PATIO WITH LOOSE FURNITURE, 614 SQUARE FEET
- COVERED PATIO WITH LOOSE FURNITURE, 485 SQUARE FEET
- COVERED PATIO WITH LOOSE FURNITURE, 475 SQUARE FEET
- EXISTING PEDESTRIAN CROSSING
- LOCATION OF DRIVEWAY FOR FUTURE CITY TRANSIT PROJECT
- PAD MOUNTED ELECTRICAL TRANSFORMER
- ACCESSIBLE RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD DTL 2443 DETAIL C
- 10' ELECTRICAL EASEMENT
- EXISTING CUL-DE-SAC
- 6'-0" TALL ORNAMENTAL CANTILEVER GATE, PROVIDE ELECTRIC OPERATOR WITH MAGNETIC INDUCTION LOOP IN CONCRETE PAVEMENT ON SECURE SIDE AND A PEDESTAL KEYPAD ON UNSECURED SIDE. POWER, CONDUITS, AND ANY COMMUNICATION REQUIREMENTS FULLY WITH OPERATOR UNIT MANUFACTURER REQUIREMENTS
- 18" SLOPED CONCRETE MOW STRIP, REFERENCE SITE DETAILS
- NEW 6" WIDE SIDEWALK PER CABQ STANDARDS
- EXTENTS OF NEW SIDEWALK- ABUT FLUSH TO EXISTING SIDEWALK RE: CIVIL DRAWINGS
- NEW 4' WIDE LANDSCAPE BUFFER PER CABQ STANDARDS
- MOTORCYCLE PARKING SIGNAGE- SEE DETAIL THIS SHEET
- HC PARKING SIGNAGE- SEE DETAIL THIS SHEET

LEGEND

- PROPOSED BUILDING
- EXISTING BUILDING
- PAVED ASPHALT
- PAVED CONCRETE
- LANDSCAPE AREA
- PROPOSED 10' WIDE ELECTRICAL EASEMENT
- WEATHERED STEEL ORNAMENTAL FENCE
- WEATHERED STEEL GATE

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	DATE
WORK STACKED BY	DATE				
FIELD ACCEPTANCE BY	DATE				
REVISIONS BY	DATE				
CHECKED BY	DATE				
RECORDED BY	DATE				



A2 HANDICAP PARKING SIGN
Scale: 3/8" = 1'-0"
MOTORCYCLE SIGN AND POST SIMILAR

A1 OVERALL SITE PLAN
Scale: 1" = 40'-0"

VIGIL & ASSOCIATES
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4477 Irving NW, Suite A
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Ph: 505.890.5030 Fax: 505.890.5031
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CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM
SOUTHWEST PUBLIC SAFETY CENTER

Drawing Title: **TCL**

Design Review Committee: City Engineer Approval

Issue Date: **JANUARY 2024**

City Project No.:

Sheet: **TCL**

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

COA Fire Station #23

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

**TR 12-A-1 BULK LAND PLAT FOR EL RANCHO GRANDE I TRACTS 8-A, 9-B-1, 9-B-2, 11-A, 12-A-1, 12-A-2 & 13-D
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	6'	PCC Sidewalk	Amole Mesa	10+00	17+10	/	/	/
<input type="text"/>	<input type="text"/>	STD	STD Curb & Gutter	Amole Mesa	10+00	17+10	/	/	/
<input type="text"/>	<input type="text"/>	10"	10" Water Line	Amole Mesa	9+00	17+10	/	/	/
<input type="text"/>	<input type="text"/>	6'	6' wide arterial pavement, existing, remove and replace, incl. 2" of extra asphalt	Amole Mesa	10+00	14+71	/	/	/
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<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
							/	/	/
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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private		City Cnst Engineer	
							Inspector	P.E.		
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

- 1 _____ * INCLUDES T, B, & C, FITTINGS, AND VALVES
- 2 _____
- 3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Verlyn A. Miller

NAME (print)

_____ DRB CHAIR - date

_____ PARKS & RECREATION - date

Miller Engineering Consultants

FIRM

_____ TRANSPORTATION DEVELOPMENT - date

_____ AMAFCA - date

_____ SIGNATURE - date

_____ UTILITY DEVELOPMENT - date

_____ CODE ENFORCEMENT - date

_____ CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

October 19, 2023

City of Albuquerque
Fire and Rescue
PO Box 1293
Albuquerque, NM 87103

Project # PR-2023-009216
RZ-2023-00035– Zoning Map Amendment
(Zone Change)
SI-2023-01498– Site Plan - EPC

LEGAL DESCRIPTION:

Consensus Planning, Inc., Jackie Fishman, agent for the City of Albuquerque Fire and Rescue, requests a Zoning Map Amendment from R-1A to NR-SU, and an associated Site Plan - EPC for all or portion of Tract 12-A-,1 Bulk land plat for El Rancho Grande Tracts 8-A, 9-B-1, 9-B-2, 11-A, 12-A-1, 12-A-2 & 13-D, located at the intersection of the northeast corner of 98th St. and Amole Mesa Ave. SW, approximately 7 acres. (N-09-Z)
Staff Planners: William Steele & Megan Jones

On October 19, 2023 the Environmental Planning Commission (EPC) voted to APPROVE Project # PR-2023-009216, RZ-2023-00035– Zoning Map Amendment (Zone Change), based on the following Findings:

FINDINGS RZ-2023-00035

1. This request is for a Zoning Map Amendment for an approximately 7-acre site legally described as Tract 12-A-1 Bulk land plat for El Rancho Grande Tracts 8-A, 9-B-1, 9-B-2, 11-A, 12-A-1, 12-A-2 & 13-D, located at the intersection of the northeast corner of 98th St. and Amole Mesa Ave. SW (the “subject site”)
2. The applicant is requesting a zone change from R-1A (Residential Single-Family) to NR-SU (Non-residential – Sensitive Use), which would create a spot zone.
3. The request would facilitate development of a Fire and Police Station, which requires a NR-SU zoning designation. Fire and Police Stations are required to be submitted via a Site Plan - EPC pursuant to the NR-SU zoning district in accordance with IDO section 14-16-2-5(E). The Site Plan associated with this request shall be reviewed by the EPC in conjunction with the zone change request.
4. The subject site is in an Area of Consistency and is not in a designated center or along a designated corridor.

5. In 2021, Mid-Region Council of Governments conducted a site feasibility study for a new Fire Station on the Southwest Mesa area at the behest of the City Council. It was concluded that the subject site would be appropriate for a new Fire and Police Station which would be home to a Public Safety Center.
6. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
7. The request clearly facilitates the following Comprehensive Plan policy from Chapter 4: Community Identity

Policy 4.1.2 – Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The proposed development of a Fire and Police station would help protect the identity and cohesiveness of the surrounding residential neighborhood by specifying specifies uses, site standards, and development standards pursuant to the NR-SU zone district. The proposed standards are of similar scale to the surrounding area. The applicant has demonstrated that the zone change would facilitate development meets edge buffer requirements and is an appropriate location for a public safety complex in an established neighborhood. The building design is consistent with other City Fire Departments.

8. The request clearly facilitates the following Comprehensive Plan Goals and Policies regarding land use, efficient development patterns, and infill development from Chapter 5: Land Use.
 - A. 5.2.1 – Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request to change the subject sites zoning to NR-SU for the development of a Fire, Police station and community safety department would contribute to creating a healthy and sustainable community. The request would facilitate development of Fire and Police station uses that are lacking in the surrounding residential area. Additionally, a community meeting room and future city parks and transit uses are proposed on site, which is conveniently accessible form surrounding neighborhoods via streets, adequate sidewalk infrastructure, bike routes, and transit.

- B. Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would generally promote efficient use of the land by facilitating development that maximized the utility of existing infrastructure and public facilities including streets, transit, and water and sewer services.

- C. Policy 5.3.1 – Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The request would support growth on a vacant infill site within an existing residential area. The proposed development would be served by existing infrastructure and public facilities.

9. The request clearly facilitates the following Comprehensive Plan Goals and Policy City development from Chapter 5: Land Use

- A. Goal 5.6 City Development areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is in an Area of Consistency where development is expected to be consistent with the established character of the surrounding context. The NR-SU Site Plan established the Fire and Police Station use, Site Standards, and development standards that ensure the intensity of the surrounding residential area is not adversely affected.

- B. Policy 5.6.3 Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

The subject site is outside of designated Centers and Corridors and enhances the character of the surrounding neighborhoods. The applicant has demonstrated that the proposed development is an appropriate scale to the surrounding neighborhood through proposed building standards, including heights, setbacks, landscaping, and edge buffering, which are negotiated at the EPC with the NR-SU Site Plan.

10. The request clearly facilitates the following Comprehensive Plan Goals and Policies regarding Infill and Development Quality from Chapter 7: Urban Design

- A. Policy 7.3.4 Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

The subject site is a vacant lot in a developing residential area. Proposed development of the infill site would enhance the built environment and blend in style with the surrounding neighborhood and establishes sidewalk infrastructure and landscaping along Amole Mesa Ave.

- B. Policy 7.3.5 Development Quality: Encourage innovative and high-quality design in all development.

The request would facilitate development of a Fire and Police Station. The proposed Site Plan specifies building design, site, and development standards that would ensure high quality design.

- C. Policy 7.5.1 Landscape Design: Encourage landscape treatments that are consistent with the high desert climate to enhance our sense of place.

The landscape plan proposes a plant list that is pursuant to the City's approved Plant Palette containing only low water usage plants that are consistent with the high desert climate. The Landscape plan also follows all IDO section 5-6 Landscaping, Buffering and screening requirements and contributes to sense of place.

11. The request clearly facilitates the following Comprehensive Plan Goals and Policy regarding Community Facilities from Chapter 12: Infrastructure, Community Facilities & Services

- A. Goal 12.2 Community Facilities: Provide community facilities that have convenient access and a wide range of programs for residents from all cultural, age, geographical, and educational groups to enhance quality of life and promote community involvement.

The request would provide an ABQ Fire Station, Police substation, and Community Safety Department (ACSD), that can be conveniently accessed by the surrounding residential neighborhoods from 98th street NW. The ACSD is proposed to have a community meeting space for educational opportunities for persons of all ages, which could generally promote community involvement.

- B. Policy 12.2.3 New Facilities: Locate new facilities in areas with excellent access to provide services to underserved and developing areas.

The request would provide a new Fire and Police station in a developing area that does not have immediate access to these public services. Services would be provided to an underserved area and can be accessed from 98th Street NW, via sidewalk infrastructure, bike lanes, and transit.

12. The request clearly facilitates the following Comprehensive Plan Goals and Policies regarding Public Services from Chapter 12: Infrastructure, Community Facilities & Services

- A. Goal 12.3 Public Services: Plan, coordinate, and provide efficient, equitable, and environmentally sound services to best serve residents and protect their health, safety, and well-being.

The City has planned and coordinated to provide a new Fire, Police and Community Safety department, an efficient and equitable use, to best serve residents of the surrounding area to protect their health safety and well-being.

- B. Policy 12.3.1 Access to Public Services: Maximize residents' access to public services and distribute services equitably, whether they are provided by the City or County or in partnership with other agencies.

The request would maximize residents' access to Public Safety services in an underserved area of the City. There is not a Fire or Police station in the general vicinity of the subject site and the development would help to distribute these services equitably throughout the city.

- C. Policy 12.3.3 Fire and Rescue: Provide comprehensive fire and rescue and emergency medical services to save and protect lives, property, and the environment in cooperation with the public and other agencies.

The request would facilitate development of a City Fire Station, which would provide fire and rescue EMS services to the surrounding community to help save and protect lives and property.

- D. Policy 12.3.4 Police and Sheriff: Maintain a safe and secure community by providing crime prevention, police protection, law enforcement, and investigative services in cooperation with the public and other agencies.

The request would facilitate development of a Police Substation, which would provide crime prevention, police protection, law enforcement, and investigative services in an underserved area of the City.

13. The request clearly facilitates Comprehensive Plan Goals Goal 12.5 Resources: Identify and allocate sufficient resources to support infrastructure, community facility, and public service needs in order to invest public dollars efficiently and effectively and to maintain a sound fiscal position.

The City is allocating public resources to support a public service development including a Fire, Police Station, and Community Safety Department. The resource would support infrastructure needs for the area and would generally result in an efficient investment of public dollars.

14. The applicant has adequately justified the request pursuant to the Integrated Development Ordinance (IDO) Section 14-16-6-7(G)(3)-Review and Decision Criteria for Zoning Map Amendments, as follows:

- A. Criterion A: The applicant's policy-based response demonstrates that the request clearly facilitates a preponderance of applicable ABC Comprehensive Plan Goals and Policies (and other applicable City Plans), therefore, the request is consistent with the City's health, safety, morals and general welfare.
- B. Criterion B: The applicant's policy-based response adequately demonstrates that the request clearly facilitates a preponderance of applicable Goals and Policies regarding Identity and Design, Land Uses, City Development Areas, Efficient Development Patterns, Infill Development, Community Facilities, Public services, and Resources and does not present any significant conflicts with the Comprehensive Plan. Therefore, the request is consistent with the City's health, safety, and general welfare.
- C. Criterion C: The subject site is located wholly in an area of consistency; therefore, this criterion does not apply.
- D. Criterion D: The requested zone change to NR-SU is required for the development of Fire and Police Stations pursuant to IDO section 2-5(E), in conjunction with a Site Plan-EPC review. The Site Plan and zone change are mutually supportive. shall specify specifies uses, site standards, and development standards, which are approved with the associated zone change for the request. Where the Site Plan is Silent, applicable IDO standards apply.

There are no Use Specific Standards for Fire and Police Stations and the applicant has provided a table demonstrating that the proposed development would follow all applicable IDO standards, mitigating potential harmful impacts on the surrounding community to the greatest extent possible. Future development could not occur on site without a Major or Minor amendment. Staff generally agrees with the discussion and that any potential harm to the surrounding properties, the neighborhood, or the community could be mitigated.

- E. Criterion E: The request meets the requirement that the City's existing infrastructure and public improvements adequately serve the subject site and have adequate capacity to serve the development made possible by the change of zone.

- F. Criterion F: The applicant's justification is not based on the subject site's location along a major street, although access off of 98th street for public safety uses fire and police are taken into consideration. The subject site is not within a Comp Plan Corridor. The applicant adequately justifies the request based on applicable Comprehensive Plan goals and policies and for the need of fire protection services in the area.
- G. Criterion G: The cost of land and economic considerations are not the factor for the requested zone change. The applicant's justification is based predominantly on providing fire and police services to an underserved area, which has been demonstrated to clearly facilitate applicable Comprehensive Plan Goals and policies.
- H. Criterion H: Criterion H is a two-part test which the request generally meets. The request to NR-SU would create a spot zone. The applicant has demonstrated that the request would (1) clearly facilitate implementation of several applicable goals and policies of the ABC Comp Plan from Chapters 4-Community Identity, 5-Land Use, 7-Urban Design, and 12-Infrastructure, Community Facilities and Services. The NR-SU zone district would facilitate development of a Public Safety complex, including a Fire and Police Station, which requires the NR-SU Zoning designation and A Site Plan to be reviewed by the EPC.

The subject site is surrounded by residential land uses with no Fire or Police Stations in the immediate vicinity. The applicant claims that the subject site is not suitable for single-family residential uses due to traffic along 98th street, an Urban Principal Arterial. A Fire and Police Station use would benefit the safety of the surrounding community, residential uses, and schools nearby.

15. There are no affected registered neighborhood organizations for the subject site, but property owners within 100 feet of the subject site were notified as required.
16. A pre-application facilitated neighborhood meeting was not held and no opposition or support is known for the request.
17. As of this writing, Staff is unaware of any opposition.

On October 19, 2023 the Environmental Planning Commission (EPC) voted to APPROVE Project # PR-2023-009216, SI-2023-01498 – Site Plan - EPC based on the following Findings and subject to the following Conditions of Approval:

FINDINGS SI-2023-01498

1. This request is for a Site Plan-EPC for an approximately 7-acre site which is legally described as Tract 12-A-1 Bulk land plat for El Rancho Grande Tracts 8-A, 9-B-1, 9-B-2, 11-A, 12-A-1, 12-A-2 & 13-D, located at the intersection of the northeast corner of 98th St. and Amole Mesa Ave. SW (the "subject site").

2. The request would facilitate the development of a Fire and Police Station, which requires a NR-SU zoning designation. Fire and Police Stations are required to be submitted via a Site Plan - EPC pursuant to the NR-SU zoning district in accordance with IDO section 14-16-2-5(E).
3. The proposed Site Plan is being reviewed in conjunction with the requested NR-SU zone designation.
4. The proposed Site Plan is comprised of three buildings: a Fire Department, Police Department, and the Albuquerque Community Safety Department. Associated Site work including Parking, Landscaping, Grading and Drainage, Utilities, and signage are included with the request
5. The subject site is in an Area of Consistency and is not in a designated center or along a designated corridor.
6. In 2021, Mid-Region Council of Governments conducted a site feasibility study for a new Fire Station on the Southwest Mesa area at the behest of the City Council. It was concluded that the subject site would be appropriate for a new Fire and Police Station which would be home to a Public Safety Center.
7. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
8. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
9. The request clearly facilitates the following Comprehensive Plan policy from Chapter 4: Community Identity

Policy 4.1.2 – Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The proposed development of a Fire and Police station would help protect the identity and cohesiveness of the surrounding residential neighborhood by specifying specific uses, site standards, and development standards pursuant to the NR-SU zone district. The proposed standards are of similar scale to the surrounding area. The applicant has demonstrated that the zone change would facilitate development meets edge buffer requirements and is an appropriate location for a public safety complex in an established neighborhood. The building design is consistent with other City Fire Departments.

10. The request clearly facilitates the following Comprehensive Plan Goals and Policies regarding land use, efficient development patterns, and infill development from Chapter 5: Land Use.
 - A. 5.2.1 – Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request to change the subject sites zoning to NR-SU for the development of a Fire, Police station and community safety department would contribute to creating a healthy and sustainable community. The request would facilitate development of Fire and Police station uses that are

lacking in the surrounding residential area. Additionally, a community meeting room and future city parks and transit uses are proposed on site, which is conveniently accessible from surrounding neighborhoods via streets, adequate sidewalk infrastructure, bike routes, and transit.

- B. Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would generally promote efficient use of the land by facilitating development that maximized the utility of existing infrastructure and public facilities including streets, transit, and water and sewer services.

- C. Policy 5.3.1 – Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The request would support growth on a vacant infill site within an existing residential area. The proposed development would be served by existing infrastructure and public facilities.

11. The request clearly facilitates the following Comprehensive Plan Goals and Policy City development from Chapter 5: Land Use

- A. Goal 5.6 City Development areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is in an Area of Consistency where development is expected to be consistent with the established character of the surrounding context. The NR-SU Site Plan established the Fire and Police Station use, Site Standards, and development standards that ensure the intensity of the surrounding residential area is not adversely affected.

- B. Policy 5.6.3 Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

The subject site is outside of designated Centers and Corridors and enhances the character of the surrounding neighborhoods. The applicant has demonstrated that the proposed development is an appropriate scale to the surrounding neighborhood through proposed building standards, including heights, setbacks, landscaping, and edge buffering, which are negotiated at the EPC with the NR-SU Site Plan.

12. The request clearly facilitates the following Comprehensive Plan Goals and Policies regarding Infill and Development Quality from Chapter 7: Urban Design

- A. Policy 7.3.4 Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

The subject site is a vacant lot in a developing residential area. Proposed development of the infill site would enhance the built environment and blend in style with the surrounding neighborhood and establishes sidewalk infrastructure and landscaping along Amole Mesa Ave.

- B. Policy 7.3.5 Development Quality: Encourage innovative and high-quality design in all development.

The request would facilitate development of a Fire and Police Station. The proposed Site Plan specifies building design, site, and development standards that would ensure high quality design.

- C. Policy 7.5.1 Landscape Design: Encourage landscape treatments that are consistent with the high desert climate to enhance our sense of place.

The landscape plan proposes a plant list that is pursuant to the City's approved Plant Palette containing only low water usage plants that are consistent with the high desert climate. The Landscape plan also follows all IDO section 5-6 Landscaping, Buffering and screening requirements and contributes to sense of place.

13. The request clearly facilitates the following Comprehensive Plan Goals and Policy regarding Community Facilities from Chapter 12: Infrastructure, Community Facilities & Services

- A. Goal 12.2 Community Facilities: Provide community facilities that have convenient access and a wide range of programs for residents from all cultural, age, geographical, and educational groups to enhance quality of life and promote community involvement.

The request would provide an ABQ Fire Station, Police substation, and Community Safety Department (ACSD), that can be conveniently accessed by the surrounding residential neighborhoods from 98th street NW. The ACSD is proposed to have a community meeting space for educational opportunities for persons of all ages, which could generally promote community involvement.

- B. Policy 12.2.3 New Facilities: Locate new facilities in areas with excellent access to provide services to underserved and developing areas.

The request would provide a new Fire and Police station in a developing area that does not have immediate access to these public services. Services would be provided to an underserved area and can be accessed from 98th Street NW, via sidewalk infrastructure, bike lanes, and transit.

14. The request clearly facilitates the following Comprehensive Plan Goals and Policies regarding Public Services from Chapter 12: Infrastructure, Community Facilities & Services

- A. Goal 12.3 Public Services: Plan, coordinate, and provide efficient, equitable, and environmentally sound services to best serve residents and protect their health, safety, and well-being.

The City has planned and coordinated to provide a new Fire, Police and Community Safety department, an efficient and equitable use, to best serve residents of the surrounding area to protect their health safety and well-being.

- B. Policy 12.3.1 Access to Public Services: Maximize residents' access to public services and distribute services equitably, whether they are provided by the City or County or in partnership with other agencies.

The request would maximize residents' access to Public Safety services in an underserved area of the City. There is not a Fire or Police station in the general vicinity of the subject site and the development would help to distribute these services equitably throughout the city.

- C. Policy 12.3.3 Fire and Rescue: Provide comprehensive fire and rescue and emergency medical services to save and protect lives, property, and the environment in cooperation with the public and other agencies.

The request would facilitate development of a City Fire Station, which would provide fire and rescue EMS services to the surrounding community to help save and protect lives and property.

- D. Policy 12.3.4 Police and Sheriff: Maintain a safe and secure community by providing crime prevention, police protection, law enforcement, and investigative services in cooperation with the public and other agencies.

The request would facilitate development of a Police Substation, which would provide crime prevention, police protection, law enforcement, and investigative services in an underserved area of the City.

15. The request clearly facilitates Comprehensive Plan Goals Goal 12.5 Resources: Identify and allocate sufficient resources to support infrastructure, community facility, and public service needs in order to invest public dollars efficiently and effectively and to maintain a sound fiscal position.

The City is allocating public resources to support a public service development including a Fire, Police Station, and Community Safety Department. The resource will support infrastructure needs on site.

16. The applicant has adequately justified the request pursuant to the Integrated Development Ordinance (IDO) Section 14-16-6-6(I)(3)-Review and Decision Criteria for a Site Plan-EPC, as follows:

- A. Criterion A: The applicant's policy-based response demonstrates that the request is consistent with a preponderance of applicable ABC Comprehensive Plan Goals and Policies (and other applicable City Plans), therefore, the request is consistent with the City's health, safety, morals and general welfare.

- B. Criterion B: The request is for a Fire and Police station use, which requires the zone designation of NR-SU. The request for a Site Plan-EPC is in conjunction with a zone change from R-1A to NR-SU. The Site Plan proposes uses, standards, and development standards pursuant to the IDO. Any future development would be required to comply with the approved NR-SU Site Plan associated with this request.

- C. Criterion C: The request is for Zoning Map Amendment to NR-SU for development of a Fire and Police Station. The Site Plan specifies uses, standards and development standards which are negotiated at the EPC.

The proposed Site Plan is required to comply with all applicable provisions of the IDO, DPM, other adopted City regulations. All conditions must be met prior to building permit approval.

- D. Criterion D: The City's existing infrastructure has adequate capacity for the proposed development made possible by this request.
 - E. Criterion E: The applicant has demonstrated that the request would not negatively impact the surrounding area based on responses to applicable Comprehensive Plan Goals and Policies. The applicant has stated that they have taken steps to mitigate any adverse impacts on the surrounding community by choosing to follow applicable IDO Standards for the Site Plan.
 - F. Criterion F: The subject property is not within an approved Master Development Plan.
 - G. Criterion G: The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required.
17. There are no affected registered neighborhood organizations for the subject site, but property owners within 100 feet of the subject site were notified as required.
18. A pre-application facilitated neighborhood meeting was not held and no opposition or support is known for the request.
19. As of this writing, Staff is unaware of any opposition.

CONDITIONS OF APPROVAL – SI-2023-01498

1. After approval by the Environmental Planning Commission (EPC), the applicant shall submit the proposed site plan to the Development Facilitation Team (DFT) for final sign-off. The reviewer will be responsible for ensuring that all EPC Conditions have been satisfied and that the IDO, DPM, and all other applicable City requirements have been met.
2. The applicant shall coordinate with the Staff Planner prior to submitting to the DFT to ensure that the EPC Conditions in the Official Notification of Decision have been met. The staff planner will provide a post-EPC memo.
3. Pedestrian Access & Safety:
 - Crosswalks shall comply with IDO 14-16-5-3(D)(3)(c), Materials to Alert Motorists.
4. Landscaping Plan:
 - A. Juniper species shall be female only.
 - B. The square footage on the LS plan shall match the square footage on the main site plan sheet.
5. Lighting: The color and finish of the light poles shall be specified.

6. Signage:
 - A. Signage shall be boxed out with a dashed line and square footage indicated.
 - B. Materials and finishes of signage shall be specified.
7. Transportation Development Review Services Conditions
 - A. The applicant shall provide a Traffic Circulation Layout.
 - B. The Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.
8. Solid Waste Management Department Condition: The site plan shall be approved for access by the Solid Waste Department prior to final sign-off.
9. AMAFCA condition: The applicant shall submit the grading and drainage plan to AMAFCA for review prior to receiving final sign-off, because it will discharge into AMAFCA's Amole Dam.
10. PNM Condition: Any existing and/or new PNM easements and facilities shall be reflected on the Site Plan and any resulting Plat.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **November 3, 2023**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the Integrated Development Ordinance (IDO), Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal an EPC Recommendation to the City Council since this is not a final decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the IDO must be complied with, even after approval of the referenced application(s).

Sincerely,

Catalina Lehner

for Alan M. Varela,
Planning Director

OFFICIAL NOTICE OF DECISION

PR-2023-009216

October 19, 2023

Page 13 of 13

cc: City of Albuquerque Fire and Rescue, PO Box 1293, Albuquerque, NM 87103
Consensus Planning, Inc., Jackie Fishman, fishman@consensusplanning.com
Legal, dking@cabq.gov
EPC File



Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

January 18, 2024

Jolene Wolfley, Associate Director
Planning Department
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Response to Conditions of Approval – Project 2023-009216 /SI-2023-01498

Dear Ms. Wolfley,

The purpose of this letter is to transmit our responses to the Environmental Planning Commission's conditions of approval. The Site Plan-EPC was approved on October 19, 2023 (Project 2023-009216 /SI-2023-01498). Our responses to these conditions are provided below.

1. After approval by the Environmental Planning Commission (EPC), the applicant shall submit the proposed site plan to the Development Facilitation Team (DFT) for final sign-off. The reviewer will be responsible for ensuring that all EPC Conditions have been satisfied and that the IDO, DPM, and all other applicable City requirements have been met.

Agreed.

2. The applicant shall coordinate with the Staff Planner prior to submitting to the DFT to ensure that the EPC Conditions in the Official Notification of Decision have been met. The staff planner will provide a post-EPC memo.

I coordinated with Megan Jones and William Steele prior to making the DFT submittal. They confirmed that the conditions of approval have been met.

3. Pedestrian Access & Safety:
Crosswalks shall comply with IDO 14-16-5-3(D)(3)(c), Materials to Alert Motorists.

4. Landscaping Plan:

A. Juniper species shall be female only.

A note has been added to the plant palette for Juniperus tree and shrub.

- B. The square footage on the LS plan shall match the square footage on the main site plan sheet.

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP



The square footage for the entire site has been corrected on the Landscape Plan.

5. Lighting: The color and finish of the light poles shall be specified.

This information was already provided on the EPC approved Site Plan – See detail sheet AS-501.

6. Signage:
 - A. Signage shall be boxed out with a dashed line and square footage indicated.

A dashed rectangular box has been added around the building mounted signs on the building elevation sheets and the sign area has been added as well. The Applicant has also added an additional sign detail sheet, A-203.

- B. Materials and finishes of signage shall be specified.

The materials and finishes of proposed signage have been added to A-202 as a Reference Keynote 10 1400.D5.

7. Transportation Development Review Services Conditions

- A. The applicant shall provide a Traffic Circulation Layout.

The submittal plan set includes a stamped TCL.

- B. The Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.

Agreed.

8. Solid Waste Management Department Condition: The site plan shall be approved for access by the Solid Waste Department prior to final sign-off.

Solid Waste reviewed and signed off on both the Site Plan and an additional sheet required by Solid Waste, but not included in the Planning Department's Site Plan checklist. Both sheets are included in the DFT submittal plan set. The Site Plan with Solid Waste signature is in the set, but a minor revision was requested and the Site Plan will need to be re-signed by Solid Waste.

9. AMAFCA condition: The applicant shall submit the grading and drainage plan to AMAFCA for review prior to receiving final sign-off, because it will discharge into AMAFCA's Amole Dam.

See attached email from AMAFCA dated January 17, 2024, from Jared Romero.



10. PNM Condition: Any existing and/or new PNM easements and facilities shall be reflected on the Site Plan and any resulting Plat.

A 10-foot electrical easement is shown on the Site Plan.

Please do not hesitate to contact me if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jacqueline Fishman', with a long horizontal stroke extending to the right.

Jacqueline Fishman, AICP
Principal

CITY OF ALBUQUERQUE

Department of Municipal Development / Director / Patrick Montoya



August 31, 2023

David Shaffer, Chairman
Environmental Planning Commission
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Dear Mr. Chairman,

This letter authorizes Consensus Planning, Inc. to act as agent for all matters related to the request for a Zone Map Amendment and a Site Plan-EPC to the Environmental Planning Commission for the property at the northeast corner of 98th Street and Amole Mesa SW, legally described as Tract 12-A-1 Bulk Land Plat for El Rancho Grande Tracts 8-A, 9-B-1, 9-B-2, 11-A, 12-A-1, 12-A-2, and 13-D. The City is planning to construct a new Fire Station at this location and later phases will include a Police Substation and Albuquerque Community Safety office.

Sincerely,

Juan Serna
Construction Project manager
DMD
jeserna@cabq.gov

A handwritten signature in black ink, appearing to be 'Juan Serna', is written below the typed name and contact information.

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 5, 2024

Raymond Vigil, RA
Vigil and Associates Architectural Group PC
4477 Irving Blvd NW, Suite A
Albuquerque, NM 87114

**Re: Southwest Public Safety Center
Amole Mesa and 98th St
TCL
Architect's Stamp 1-4-24 (N09D015)**

Dear Mr. Vigil,

The TCL submittal received 1-5-2024 is approved for DFT submittal and Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Curtis Cherne, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: File

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 4, 2024

Verlyn Miller, P.E.
Miller Engineering Consultants, Inc
3500 Comanche NE Bldg. F
Albuquerque, NM 87107

**RE: City of Albuquerque Southwest Fire Station #23
Grading & Drainage Plans
Engineer's Stamp Date: 12/18/23
Hydrology File: N09D015**

Dear Mr. Miller:

Based upon the information provided in your submittal received 12/18/2023, the Grading & Drainage Plans are approved for Building Permit, Grading Permit and SO-19 Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

From: Jared Romero <jromero@amafca.org>
Sent: Wednesday, January 17, 2024 3:45 PM
To: Verlyn Miller <vmiller@mecnm.com>
Cc: Kevin deGraauw <kevin@va-architects.com>; Vicente Castillo <vicente@va-architects.com>; Jana Miller <jmiller@mecnm.com>; Brissette, Renee C. <rbrissette@cabq.gov>
Subject: RE: City of Albuquerque Fire Station #23 - AMAFCA No Comments

Good Afternoon Verlyn,

This plan appears to be in conformance with the Amole-Hubbell DMP for the Amole subwatershed (A229 limited to 3.71 cfs/ac) and is discharging within the allowable 3.71cfs/ac (23.58 cfs proposed < 6.8 ac * 3.71cfs/ac = 25.23 cfs allowed). Therefore, AMAFCA has no adverse comments to the G&D with ESD 12/18/2023.

Thanks for sending this my way to review.

Best,
Jared

Jared Romero, P.E., CFM
Development Review Engineer
Albuquerque Metropolitan Arroyo Flood Control Authority
Phone: (505) 884-2215

From: Verlyn Miller <vmiller@mecnm.com>
Sent: Wednesday, January 17, 2024 9:18 AM
To: Jared Romero <jromero@amafca.org>
Cc: kevin@va-architects.com; Vicente Castillo <vicente@va-architects.com>; Jana Miller <jmiller@mecnm.com>; Brissette, Renee C. <rbrissette@cabq.gov>
Subject: FW: City of Albuquerque Fire Station #23
Importance: High

Hi Jared,

Please find attached a G & D plan for the new COA Fire Station #23 located on 98th and Amole Mesa Road. This has been approved by the City for building permit. I was told yesterday that AMAFCA also needed to look at this project for the upcoming DFT hearing.

Please let us know if you have any questions.

Thanks,

Verlyn A. Miller, P.E., President
Miller Engineering Consultants, Inc.
3500 Comanche NE, Bldg. F
Phone: 505-888-7500
Fax: 505-888-3800