



**Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.**

<b>MISCELLANEOUS APPLICATIONS</b>	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms P & P2)	<b>PRE-APPLICATIONS</b>
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	<b>APPEAL</b>
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Administrative Decision (Form A)


<b>BRIEF DESCRIPTION OF REQUEST</b>

<b>APPLICATION INFORMATION</b>			
Applicant/Owner:		Phone:	
Address:		Email:	
City:	State:	Zip:	
Professional/Agent (if any):		Phone:	
Address:		Email:	
City:	State:	Zip:	
Proprietary Interest in Site:		List <u>all</u> owners:	

<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>			
Lot or Tract No.:		Block:	Unit:
Subdivision/Addition:		MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:		Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):	

<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street:	Between:	and:

<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>	

I certify that  and sent in the required notice was complete, true, and accurate to the extent of my knowledge.	
<b>Signature:</b>	<b>Date:</b>
<b>Printed Name:</b>	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

**FORM S3: ADMINISTRATIVE APPLICATIONS – Development Facilitation Team (DFT) as of 12/25/2022****\_ AMENDMENT TO INFRASTRUCTURE LIST**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form S3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Proposed Amended Infrastructure List
- \_\_\_ 6) Original Infrastructure List

**\_ TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**

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- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) A scale drawing showing the location of the deferred sidewalk with appropriate dimensions

**\_ EXTENSION OF THE IIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**

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- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Letter describing, explaining, and justifying the deferral or extension
- \_\_\_ 6) Drawing showing the sidewalks subject to the proposed deferral or extension

**\_ INFRASTRUCTURE LIST EXTENSION OR AN INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA) EXTENSION**

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- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Letter describing, explaining, and justifying the request per IDO Section 14-16-6-4(X)(4)
- \_\_\_ 6) Preliminary Plat or Site Plan
- \_\_\_ 7) Copy of DRB approved Infrastructure List
- \_\_\_ 8) Copy of recorded IIA

**\_ SKETCH PLAT OR SKETCH PLAN REVIEW AND COMMENT**

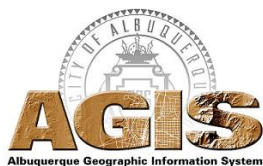
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- \_\_\_ 5) Letter describing, explaining, and justifying the request
- \_\_\_ 6) Scale drawing of the proposed subdivision plat or Site Plan
- \_\_\_ 7) Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use

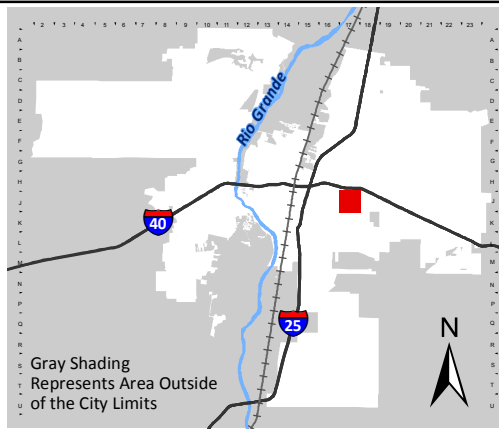


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018

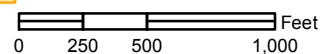


IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**J-17-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



To whom it may concern,

My name is Patrick Dyke, and I am an architectural designer who has been commissioned by Wendy Beach, who is the current owner of 4416 and 4424 Royene Ave. NE, Albuquerque NM 87110. Currently, there is a home located on 4416. She intends to combine the two lots into one parcel.

There are several reasons we are requesting to combine these two lots into one property:

1.) The existing home was **encroaching by ~7' into the PNM Easement** (currently adjacent to the dividing lot line). To remedy this, Wendy has spent 16 months and \$20,000 to remove and relocate the PNM and Century Link Services from the easement. The new services have been rerouted East down Royene, South along Washington and West along the South side of the 4424 Royene Ave. Lot. And the Easement will be legally vacated soon.

2.) The current Lot Lines (and Side Setbacks) between the properties prohibit further renovation of the home to the East.

3.) The current Lot Area Coverage of 4416 Royene Avenue is currently ~39.3% which prohibits further renovation.

4.) Legally adjoining these lots into one parcel (after the old Easement has been legally removed).

For all these reasons, we ask that you legally absorb the area of 4424 Royene Avenue (Lot #11, Block 7 of Altura Addition) into the Lot located at 4416 Royene Avenue N.W. (Lot #10, Block 7 of Altura Addition).

Thank you,

Patrick Dyke  
(248) 321-4444

Albuquerque Control Survey Monument "CANDELARIA"  
 New Mexico State Plane Coordinates, Central  
 Zone (NAD83) as published:  
 N = 1497091.458  
 E = 1528901.06  
 Ground to grid factor = 0.999674070  
 Delta Alpha = -00°12'52.18"  
 Elevation = 5090.846 (NGVD88)

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**TOPOGRAPHIC AND BOUNDARY SURVEY PLAT**  
**LOTS 10 AND 11, BLOCK 7**  
**ALTURA ADDITION**  
 SITUATE WITHIN  
**THE ELENA GALLEGOS GRANT**  
 PROJECTED SECTION 14  
 TOWNSHIP 10 NORTH, RANGE 3 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 ALBUQUERQUE, BERNALILLO COUNTY,  
 NEW MEXICO  
 JANUARY, 2022

**LEGAL DESCRIPTION**

The West Seven (7') of Lot numbered Eleven (11) and all except the West 6.91' of Lot numbered Ten (10) in Block numbered Seven (7) of the corrected plat of Blocks 1 to 9 inclusive, of ALTURA ADDITION to the City of Albuquerque, New Mexico, as the same is shown and designated on said corrected plat filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 13th, 1958.

And

All except the westerly Seven (7) feet of Lot Eleven (11) in Block Seven (7) in the Altura Addition to the City of Albuquerque, New Mexico, as the same is shown and designated on the Corrected Plat of Block 1 to 9, inclusive, of said Addition, filed in the office of the County Clerk of Bernalillo County, New Mexico on August 13, 1958.

**GENERAL NOTES**

1. Bearings are grid based on New Mexico State Plane Coordinate System, Central Zone (NAD 83).
2. Distances are ground. (U.S. Survey foot)
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parentheses ( ).
5. All corners found in place and held were tagged with an Aluminum disk, stamped "P.S. 8911" unless otherwise indicated herein.
6. All corners that were set are a 5/8" rebar with a yellow plastic cap stamped "P.S. 8911" or a concrete nail with Aluminum disk stamped "P.S. 8911" unless otherwise indicated herein.
7. Field surveys were performed during the month of January, 2023.
8. Contour interval is one foot.
9. Vertical Datum is based upon Albuquerque Control Survey Monument "20\_H18" (NAD 83), Elevation = 5283.22 (NGVD88)

**FLOOD ZONE DETERMINATION**

The subject property appears to lie within Flood "ZONE X" (Areas determined to be outside 0.2% annual chance flood plain) as shown on National Flood Insurance Program Flood Insurance Rate Map No. 35001C0351H Map Dated 08/16/2012.

**UTILITY DISCLAIMER**

SOURCE INFORMATION FROM PLANS AND MARKINGS HAVE BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.

THERE MAY PRIVATE UNDERGROUND UTILITY LINES NOT WITHIN DOCUMENTED EASEMENTS THAT WERE NOT MARKED OUT BY UTILITY LINE-SPOTTING COMPANIES NOTIFIED BY NEW MEXICO ONE CALL (NM811).

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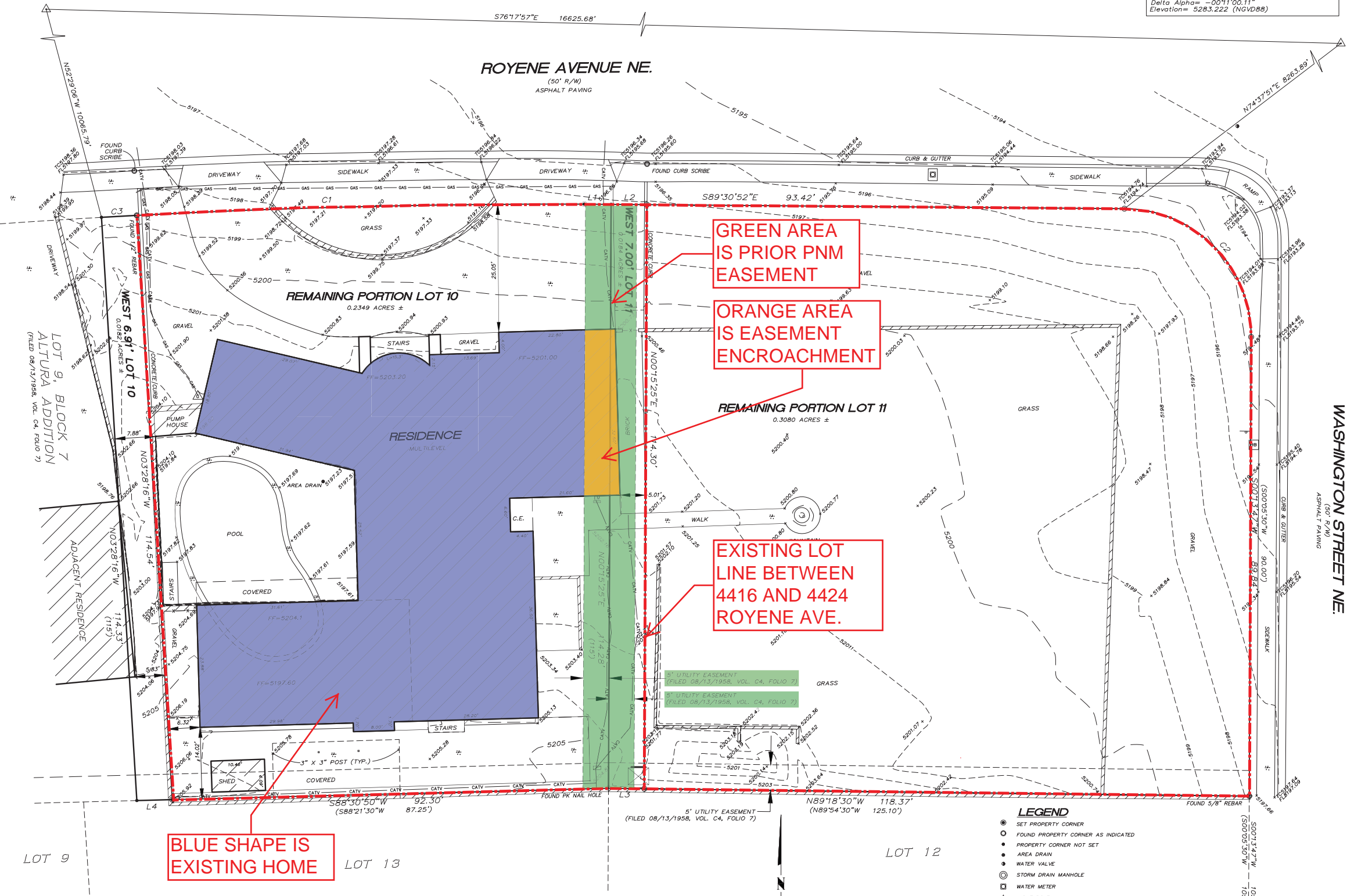
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**SURVEYORS CERTIFICATION**

David R. Vigil, New Mexico Professional Surveyor Number 8911, hereby certifies that this Boundary and Topographic Survey plat was prepared from an actual ground survey performed by me or under my supervision; that I am responsible for this survey; that this survey is true and correct to the best of my knowledge and belief; and that this Topographic and Boundary Survey Plat and the field survey upon which it is based meet the Minimum Standards for Surveying in New Mexico; and that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act.



David R. Vigil  
 NMPs No. 8911  
 02/08/2022



BLUE SHAPE IS EXISTING HOME

GREEN AREA IS PRIOR PNM EASEMENT

ORANGE AREA IS EASEMENT ENCROACHMENT

EXISTING LOT LINE BETWEEN 4416 AND 4424 ROYENE AVE.

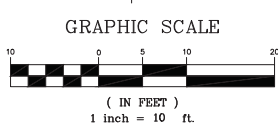
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BLOCK 7  
 ALTURA ADDITION  
 (FILED 08/13/1958, VOL. C4, FOLIO 7)



- LEGEND**
- SET PROPERTY CORNER
  - FOUND PROPERTY CORNER AS INDICATED
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  - AREA DRAIN
  - WATER VALVE
  - STORM DRAIN MANHOLE
  - WATER METER
  - ☆ LIGHT POLE
  - SIGN
  - HOT BOX
  - GAS METER
  - ELECTRIC METER
  - CONCRETE AREA
  - COMMUNICATION LINE
  - GAS LINE
  - BLOCK WALL
  - TELEPHONE PEDESTAL
  - ELECTRIC TRANSFORMER

WASHINGTON STREET NE.  
 (50' R/W)  
 ASPHALT PAVING

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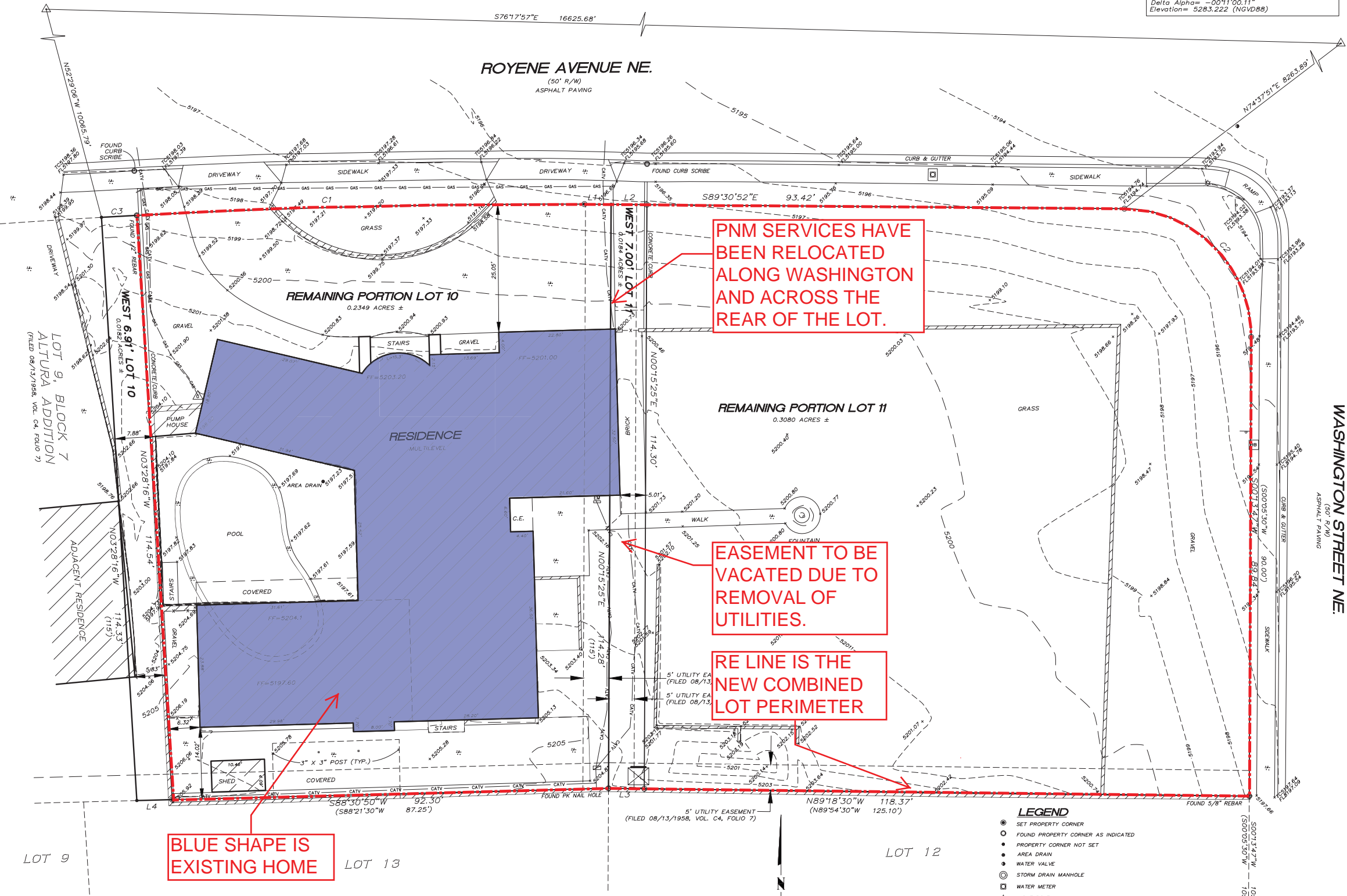
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David R. Vigil  
 NMP No. 8911  
 02/08/2022



PNM SERVICES HAVE BEEN RELOCATED ALONG WASHINGTON AND ACROSS THE REAR OF THE LOT.

EASEMENT TO BE VACATED DUE TO REMOVAL OF UTILITIES.

RE LINE IS THE NEW COMBINED LOT PERIMETER

BLUE SHAPE IS EXISTING HOME

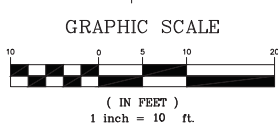
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