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**DEKKER
PERICH
SABATINI**

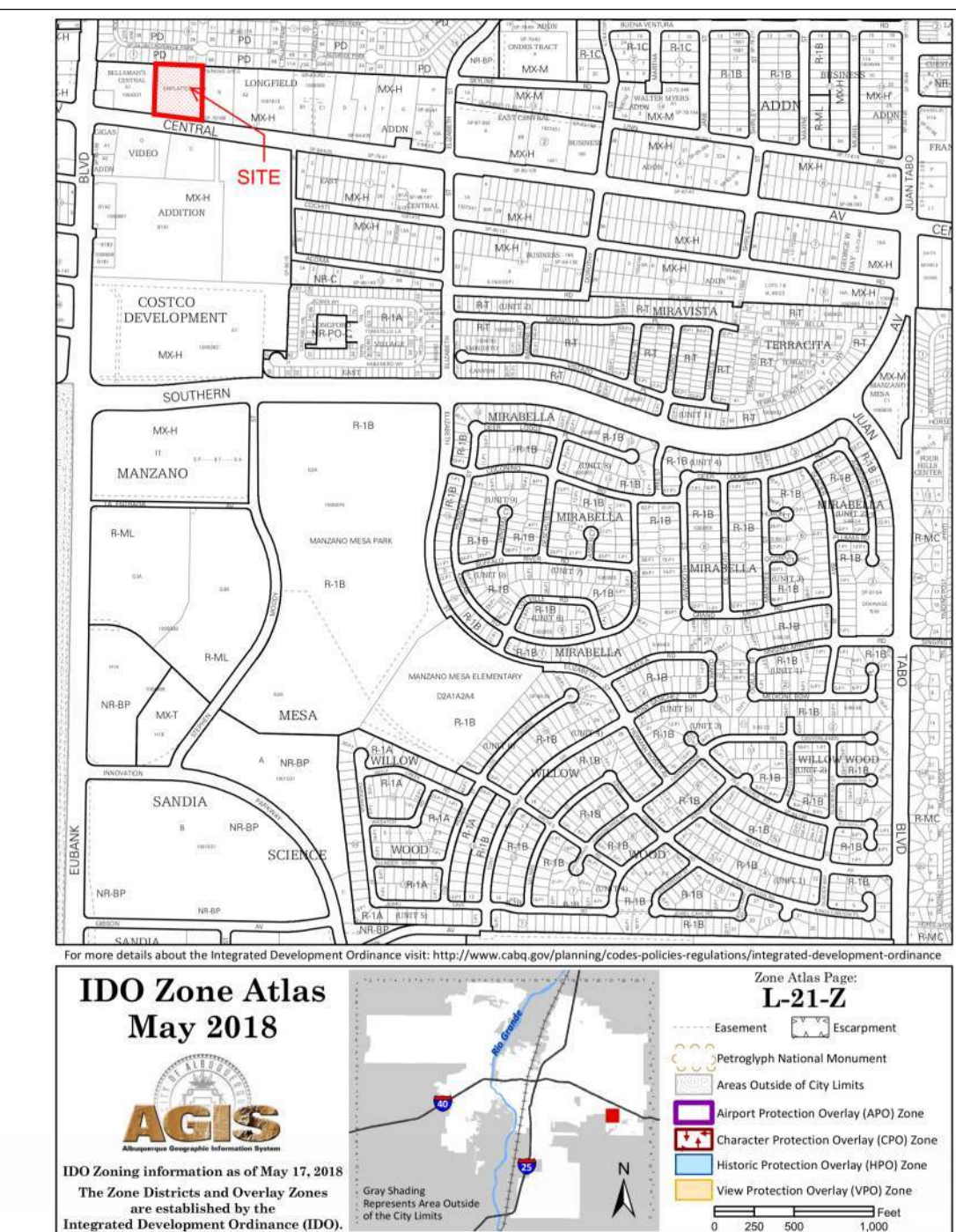
**Architecture
in Progress**



ARCHITECT

PROJECT

VICINITY MAP



FAROLITO SENIOR COMMUNITY

PROJECT TEAM

OWNER
 FAROLITO APARTMENTS
 LIMITED PARTNERSHIP LLLP
 320 GOLD AVENUE SW
 ALBUQUERQUE, NM 87102
 (505) 244-1614

ARCHITECT
 DEKKER PERICH SABATINI
 7601 JEFFERSON NE, SUITE 100
 ALBUQUERQUE, NM 87109
 (505) 761-9700

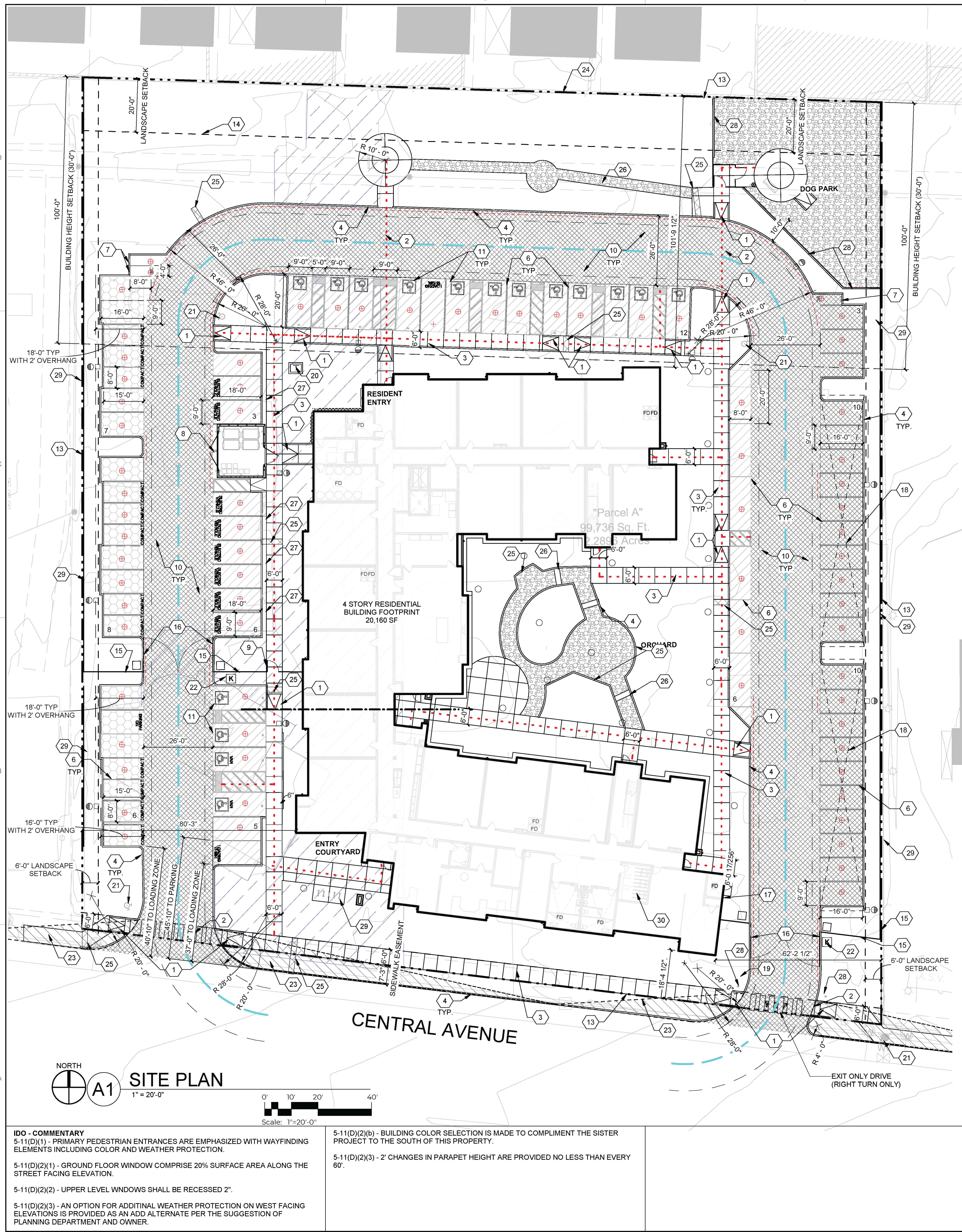
LANDSCAPE ARCHITECT
 DEKKER PERICH SABATINI
 7601 JEFFERSON NE, SUITE 100
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CIVIL ENGINEER
 ISAACSON & ARFMAN, INC.
 128 MONROE STREET NE
 ALBUQUERQUE, NM 87108
 (505) 268-8828

DATE 07/28/2023
 PROJECT NO: 22-0083

ISSUE PURPOSE
COVER

**FAROLITO SENIOR COMMUNITY
 10501 CENTRAL AVENUE NE
 ALBUQUERQUE, NM 87123**



PROJECT INFORMATION

LOCATION:
10501 CENTRAL AVENUE NE
ALBUQUERQUE, NM 87123

ZONING:
IDO - MIXED-USE - HIGH INTENSITY ZONE DISTRICT (MX-H)
METROPOLITAN REDEVELOPMENT AREA (MRA) - EAST GATEWAY
MAJOR TRANSIT CORRIDOR AREA
ROUTE 66 ACTION PLAN

LEGAL DESCRIPTION:
TRACT IN N 1/2 NW 1/4 NW 1/4 CONT 2.2860 AC MLTRACT IN N 1/2 NW 1/4 NW 1/4 CONT 2.2860 AC ML

ZONE ATLAS:
2.285 ACRES (99,532 SQ. FT.)

DENSITY:
35.9 DU / ACRES

OCCUPANCY AND CONSTRUCTION TYPE:
APARTMENTS R-2, B (RETAIL, LEASING, & AMENITY)
CONSTRUCTION TYPE: 5-A (4 STORY APARTMENT BUILDINGS)

BUILDING SETBACKS:
FRONT = 5' MIN / N/A MAX.
SIDE = 5' MIN / N/A MAX.
REAR = 15'

BUILDING HEIGHT:
MAXIMUM ALLOWED = 65'-0"
MAXIMUM PROVIDED = 51'-6"

BUILDING AREA:
LEVEL 1 = 20,160 GSF
LEVEL 2 = 17,532 GSF
LEVEL 3 = 18,814 GSF
LEVEL 4 = 18,814 GSF
TOTAL = 75,320 GSF

SPRINKLER:
YES, NFPA 13R

FIRE FLOW:
3,750 GPM

HYDRANTS REQUIRED:
4

SOLID WASTE NARRATIVE:
TRASH SHALL BE PROVIDED ON SITE WITH AN INTERNAL COMPACTOR AND TRASH CHUTE SERVING THE RESIDENTS. THE INTERNAL COMPACTOR SHALL BE SERVED WITH TWO CY CARTS ON CASTERS (4 TOTAL ON SITE) COLLECTING UPPER LEVEL REFUSE COLLECTED AT THE CHUTE AND WHEELED OUT TO THE REFUSE CONTAINER BY BUILDING MANAGEMENT AND BY SOLID WASTE PERSONNEL ON SERVICE DAYS.

RECYCLING SHALL BE MANAGED ON EACH LEVEL BY TWO (2) 50 GALLON ROLLING RECYCLING BINS (8 TOTAL ON SITE) COLLECTED BY BUILDING MANAGEMENT ON THE SITE REFUSE CONTAINER AND SERVICED ON SITE ON COLLECTION DAYS.

PARKING CALCULATION: (TABLE 5-5-1)
REQUIRED SPACES: 76 SPACES
1 BR UNITS = 1.2 SPACES/DWELLING UNIT: 1.2 X 72 = 86.4 PARKING SPACES
2 BR UNITS = 1.8 SPACES/DWELLING UNIT: 1.8 X 10 = 18 PARKING SPACES
PARKING REDUCTIONS =
AREA OF CHANGE (IDO 5-5(C)(5)(A)) = 20% REDUCTION = 21 SPACES
WITHIN 330' OF TRANSIT STOP (IDO 5-5(C)(4)(B)) = 10% REDUCTION = 11 SPACES
EV PARKING = 2 CREDIT FOR PER EV SPACE = 8 EV SPACES = 16 SPACES
TOTAL REQUIRED SPACES = 103 SPACES - 48 = 55 REQUIRED SPACES

PROVIDED SPACES: 76 TOTAL SPACES
(60 STANDARD SPACES + 12 ACCESSIBLE SPACES + 4 VAN ACCESSIBLE)

MOTORCYCLE PARKING CALCULATION:
REQUIRED SPACES: 2.04 (3 SPACES)
PROVIDED SPACES: 3 SPACES

BICYCLE PARKING:
REQUIRED SPACES: 0.25 / UNIT (82 X 0.25 = 20.5 BICYCLE PARKING SPACES)
PROVIDED SPACES: 28 TOTAL SPACES PROVIDED
(18 INDOOR SPACES + 10 OUTDOOR BICYCLE SPACES)

NOTE: 6 OUTDOOR SPACES ARE PROVIDED FOR VISITORS THAT ARE FIXED, PERMANENT AND ARE LOCATED AT MULTIPLE RACKS SERVING THE LEASING OFFICE, AND ALONG CENTRAL AVENUE PER THE ROUTE 66 ACTION PLAN.

OPEN SPACE CALCULATIONS

REQUIRED USABLE OPEN SPACE: (TABLE 2-4-7) MX-H ZONING
1 BEDROOM UNIT = 225 SF PER UNIT
2 BEDROOM UNIT = 285 SF PER UNIT
1 BEDROOM UNITS PROVIDED: 72 UNITS X 225 = 16,200 SF
2 BEDROOM UNITS PROVIDED: 10 UNITS X 285 = 2,850 SF
TOTAL OPEN SPACE REQUIRED: 19,050 SF

PROVIDED USABLE OPEN SPACE:
38,052 SF OF USABLE OPEN SPACE PROVIDED

UNIT DATA

UNIT TYPE	GROSS HEATED SQUARE FOOTAGE (GHSF)	LEVEL				TOTAL QUANTITY	TOTAL AREA (GHSF)
		LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4		
UNIT 1	650	14	18	20	20	72	46,800
UNIT 2	790	1	3	3	3	10	7,900
TOTAL GHSF PER FLOOR		9,890	14,070	15,370	15,370	82	54,700

SHEET KEYNOTES

- CONCRETE ACCESSIBLE RAMP TYP.
- PAINTED PEDESTRIAN CROSSWALK, RE: C4/SDP1.2
- CONCRETE SIDEWALK WITH CONTROL JOINTS, WIDTH AS NOTED
- CONCRETE CURB, SEE CIVIL
- 6" CMU WALL
- PARKING STRIPING
- MOTORCYCLE ONLY PARKING SIGNAGE
- REFUSE ENCLOSURE, RE: SDP-5.7
- PEDESTRIAN GATE W/ KEYCARD ACCESS
- ASPHALT PAVING, RE: CIVIL FOR PAVEMENT SECTIONS
- ACCESSIBLE PARKING STALL, RE: D2/SDP1.2
- CONCRETE SEAT WALL, RE: C3/SDP1.2
- PROPERTY LINE
- 6" PUBLIC UTILITY EASEMENT
- 6" VIEW FENCING
- VEHICULAR GATE ON FOBBED SENSOR & CALL BOX
- FIRE DEPARTMENT CONNECTION (FDC)
- PV CAPABLE PARKING CANOPY (OPTIONAL - ALTERNATE BID)
- POST INDICATOR VALVE (PIV)
- TRANSFORMER, RE: ELECTRICAL
- FIRE HYDRANT, RE: CIVIL
- LOCATION OF KNOX BOX
- CLEAR SIGHT TRIANGLE (PER COA) LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. ALL SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- EXISTING MASONRY WALL TO REMAIN
- SIDEWALK CULVERT, RE: CIVIL
- STABILIZED CRUSHER FINE PATH RE: B1/SDP1.3
- E.V. CAPABLE CHARGING STATION
- EXIT ONLY SIGNAGE DO NOT ENTER, RE: D1/SDP1.3
- BICYCLE PARKING, 10 SPACES
- BICYCLE STORAGE, 18 SPACES

GENERAL SHEET NOTES

- SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL AND ACCESSIBILITY STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- VERIFY EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
- COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION.
- REPAIR AREAS TO MATCH PRE-CONSTRUCTION CONDITION WHERE UTILITY WORK, GRADING AND/OR STAGING OCCURS, INCLUDING AREAS OUTSIDE OF LIMIT OF WORK BOUNDARY.
- ALL EXISTING ASPHALT AND CONCRETE TO BE REMOVED PRIOR TO CONSTRUCTION.
- REMOVE EXISTING TREES PRIOR TO CONSTRUCTION.
- UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY. COORDINATE LOCATION AND INSTALLATION. SEE CIVIL.
- ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- AN ACCESSIBLE ROUTE, IN COMPLIANCE WITH ACCESSIBILITY STANDARDS OF THE PROJECT, CONNECTS FROM THE BUILDING TO ACCESSIBLE PARKING SPACES AND TO ALL SITE AMENITIES AS REQUIRED.
- ALL LIGHT FIXTURES AND LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO): SECTION 14-16-5-8 OUTDOOR LIGHTING.
- REFER TO CIVIL AND ELECTRICAL FOR DEMOLITION ITEMS.
- REFER TO CIVIL FOR PAVING PLAN AND PAVING DETAILS.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
- PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK, WHERE EXPANSION JOINT MATERIAL IS PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.
- PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN. TYP. RE: CIVIL FOR SPOT ELEVATIONS, AND GRADING AND DRAINAGE REQUIREMENTS.
- EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED A DEMOLITION AND CONSTRUCTION.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS PER CITY OF ALBUQUERQUE.
- ALL RAMPS, SIDEWALKS, CURBS AND GUTTERS IN THE R.O.W. SHALL BE INSTALLED PER CITY OF ALBUQUERQUE STANDARD DRAWINGS.
- SOLID WASTE CONNECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
- DURING CONSTRUCTION, COORDINATE WITH CITY OF ALBUQUERQUE'S MEDIAN LANDSCAPING PROJECT AT THIS LOCATION.

PROJECT NUMBER: PR-2023-009368
Application Number: SI-2023-01642

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

<i>Ernest Armijo</i>	26/01/2024
Traffic Engineering, Transportation Division	Date
<i>Jose Gutierrez</i>	06/02/2024
ÁBCVUUA	Date
<i>Walter Chela</i>	26/01/2024
Parks and Recreation Department	Date
<i>Wagner Cha</i>	26/01/2024
Hydrology	Date
<i>Jeff Palmar</i>	26/01/2024
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
<i>Solid Waste Management</i>	Date
<i>Jeffrey</i>	06/02/2024
Planning Department	Date

LEGEND

- LANDSCAPED AREA
- HEAVY DUTY ASPHALT (RATED FOR UP TO 75,000 LBS)
- LIGHT DUTY ASPHALT
- STABILIZED DECOMPOSED GRANITE PATH (ACCESSABLE)
- PERMIABLE PAVING
- PROPERTY LINE
- SETBACK (SEE DEMENTION FOR ADDITIONAL DETAILS)
- ACCESSIBLE ROUTE
- FIRELANE STRIPPING MARKING FIRE ACCESS LANE, RE: XX/SDP 1.2
- REFUSE TRUCK ROUTE
- EXISTING FIRE HYDRANT LOCATION
- PROPOSED FIRE HYDRANT LOCATION
- FIRE DEPARTMENT CONNECTION (FDC) WALL MOUNTED
- PROPOSED TRANSFORMER LOCATION
- PROPOSED 20' LIGHT POLE
- OPTIONAL PHOTOVOLTAIC (PV) CARPORT, (SEPARATE PERMIT REQUIRED)
- BIKE RACK (4 BIKE CAPACITY) RE: XX/SDP 1.2

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Architecture in Progress

STATE OF NEW MEXICO
HANNAH FEIL GREENHOOD
No. 5594
11/09/2023
REGISTERED ARCHITECT

FAROLITO SENIOR COMMUNITY
10501 CENTRAL AVENUE NE
ALBUQUERQUE, NM 87123

ISSUED FOR PERMIT

REVISIONS

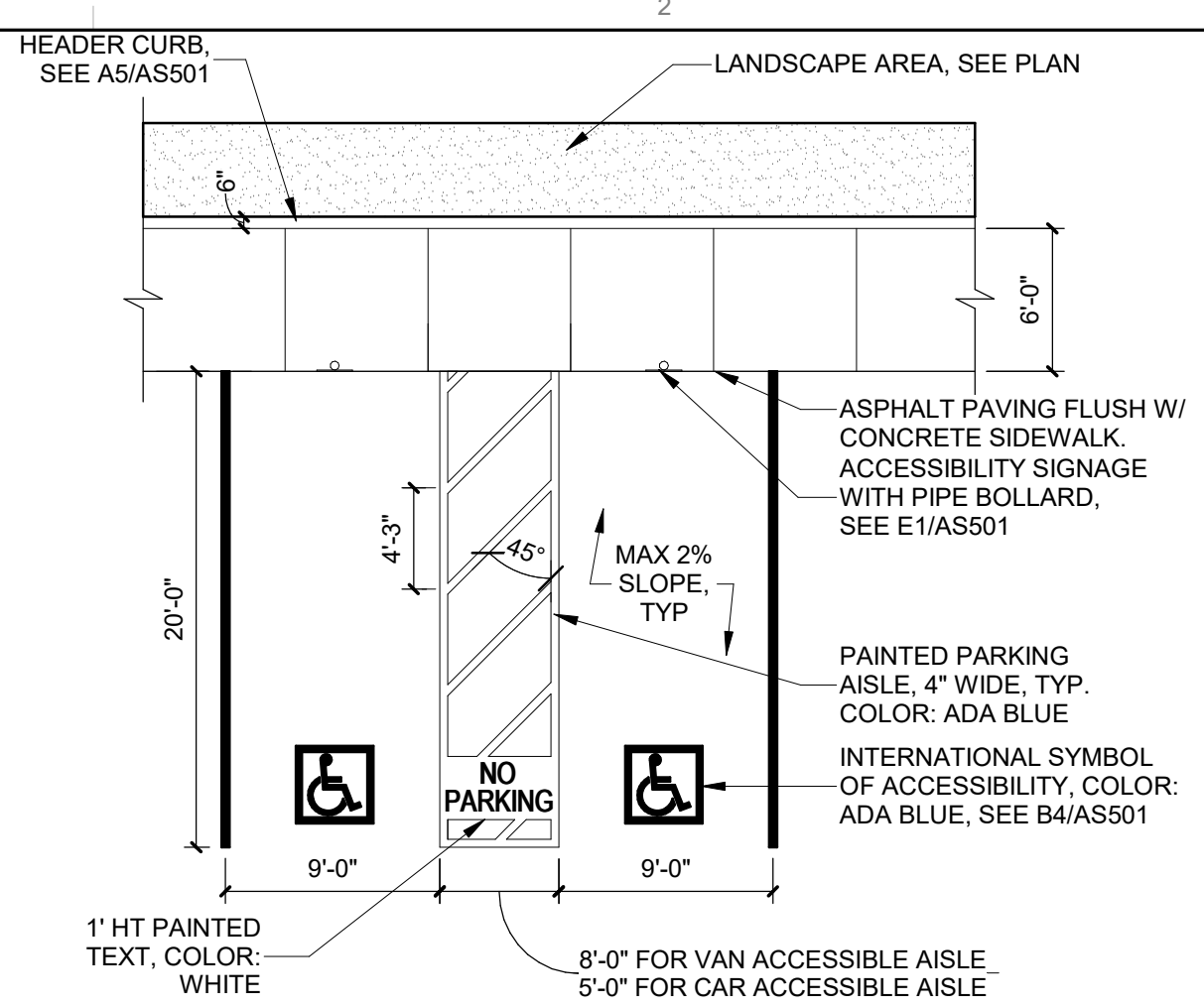
DRAWN BY: BH
REVIEWED BY: CWW
DATE: 05/12/23
PROJECT NO: 22-0083

DRAWING NAME: SITE DEVELOPMENT PLAN

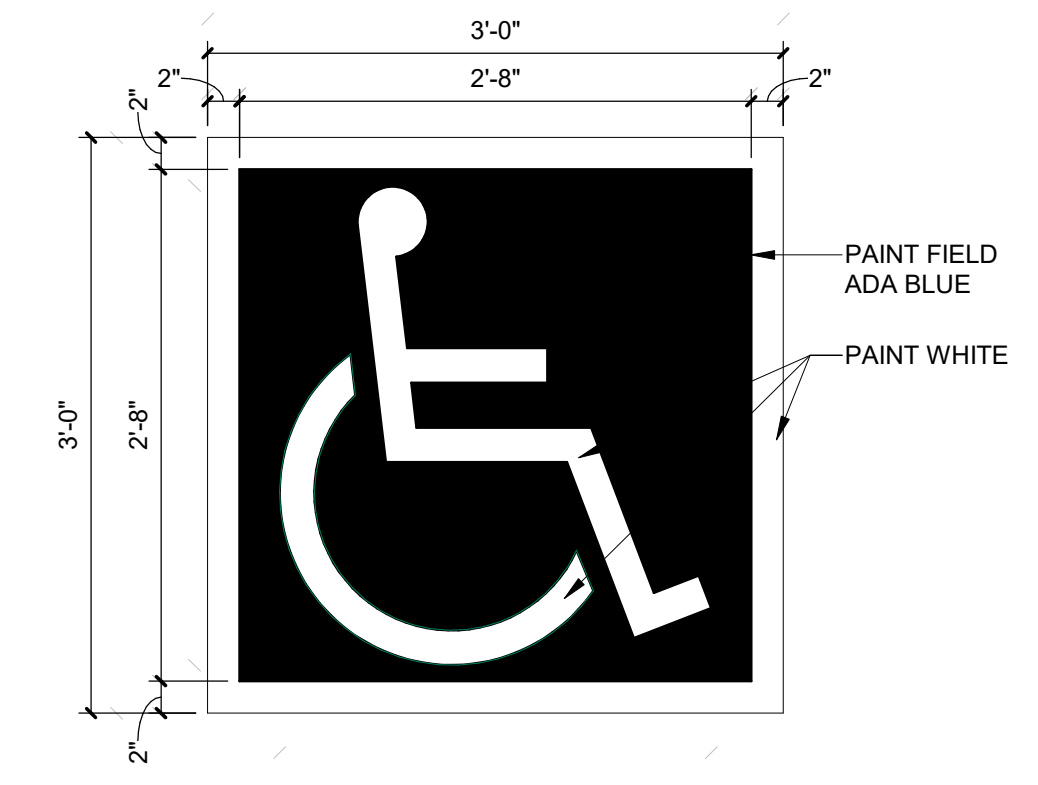
SHEET NO: SDP 1.1

IDO - COMMENTARY
5-11(D)(1) - PRIMARY PEDESTRIAN ENTRANCES ARE EMPHASIZED WITH WAYFINDING ELEMENTS INCLUDING COLOR AND WEATHER PROTECTION.
5-11(D)(2)(1) - GROUND FLOOR WINDOW COMPRISE 20% SURFACE AREA ALONG THE STREET FACING ELEVATION.
5-11(D)(2)(2) - UPPER LEVEL WINDOWS SHALL BE RECESSED 2".
5-11(D)(2)(3) - AN OPTION FOR ADDITIONAL WEATHER PROTECTION ON WEST FACING ELEVATIONS IS PROVIDED AS AN ADD ALTERNATE PER THE SUGGESTION OF PLANNING DEPARTMENT AND OWNER.

5-11(D)(2)(b) - BUILDING COLOR SELECTION IS MADE TO COMPLIMENT THE SISTER PROJECT TO THE SOUTH OF THIS PROPERTY.
5-11(D)(2)(3) - 2' CHANGES IN PARAPET HEIGHT ARE PROVIDED NO LESS THAN EVERY 60".



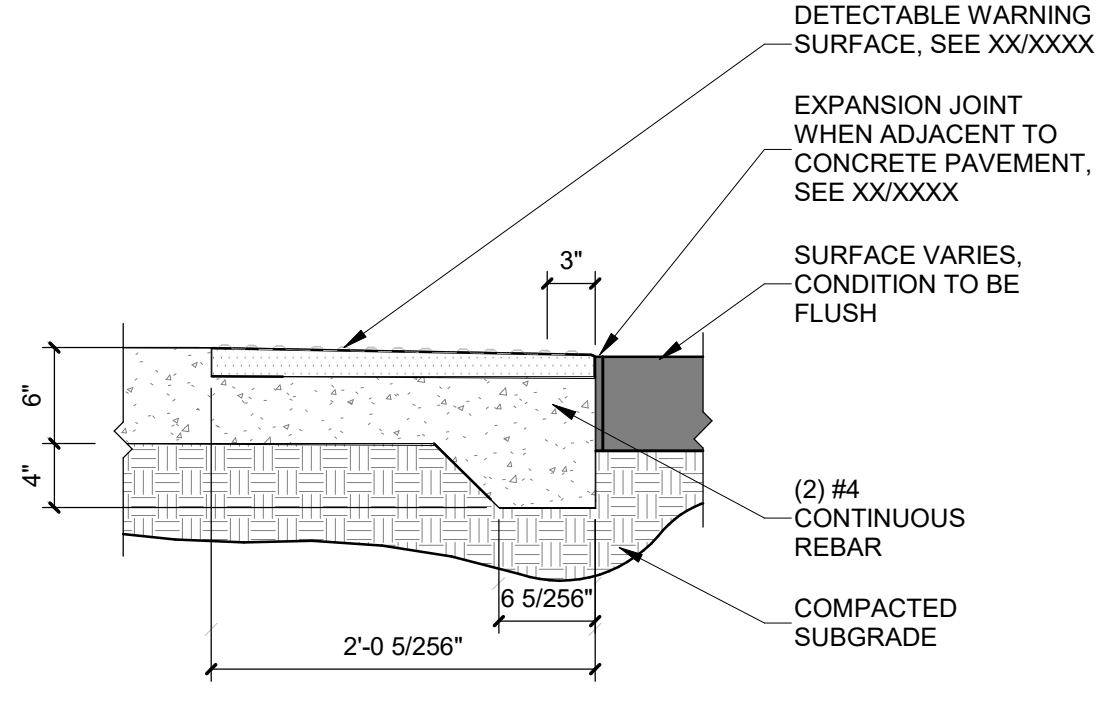
D2 ACCESSIBLE PARKING
1/8" = 1'-0"



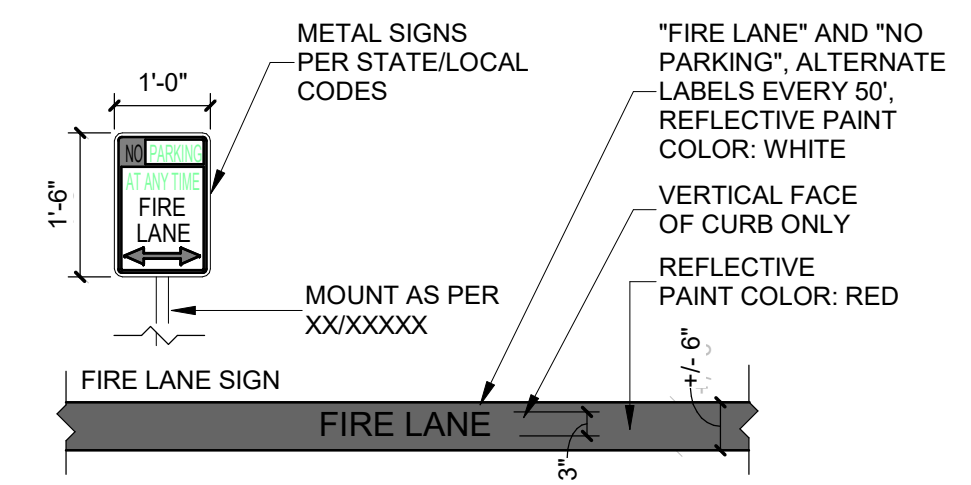
D3 ACCESSIBLE PAVEMENT MARKING
1" = 1'-0"

NOTES:
1. SEE PLANS FOR EXTENTS OF CURB PAINT

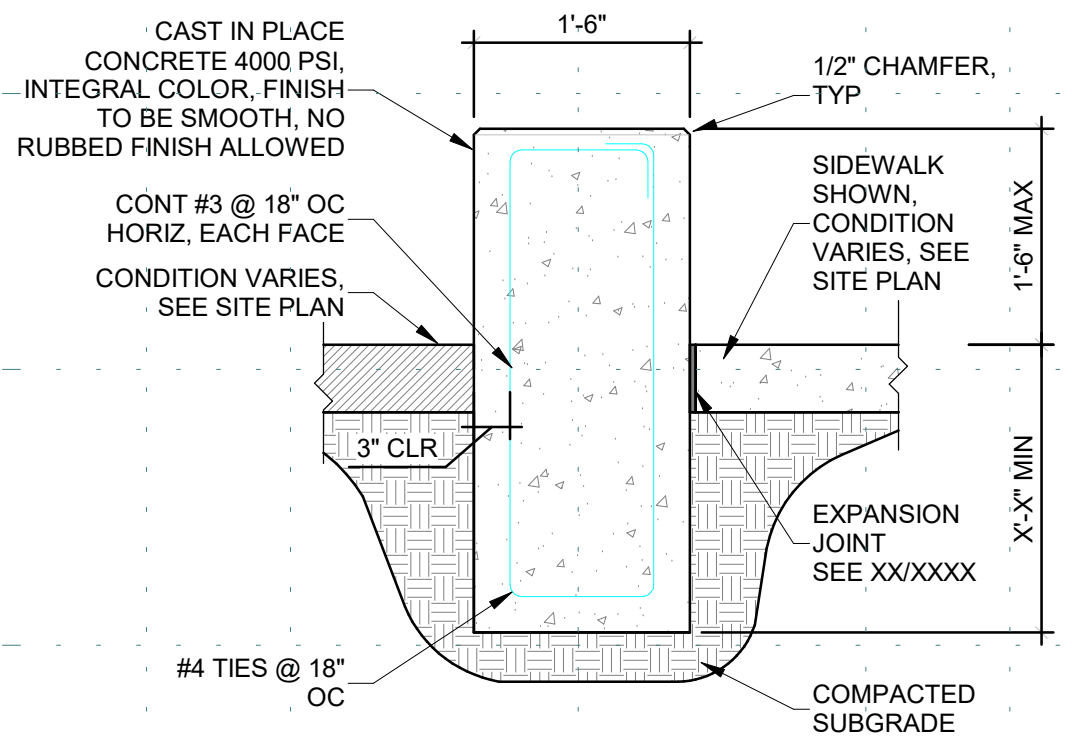
NOTES:
1. SLOPE TOP OF WALL AT 1% TOWARD PAVEMENT
2. TOP OF WALL TO BE CONSTANT FOR EACH INDIVIDUAL WALL



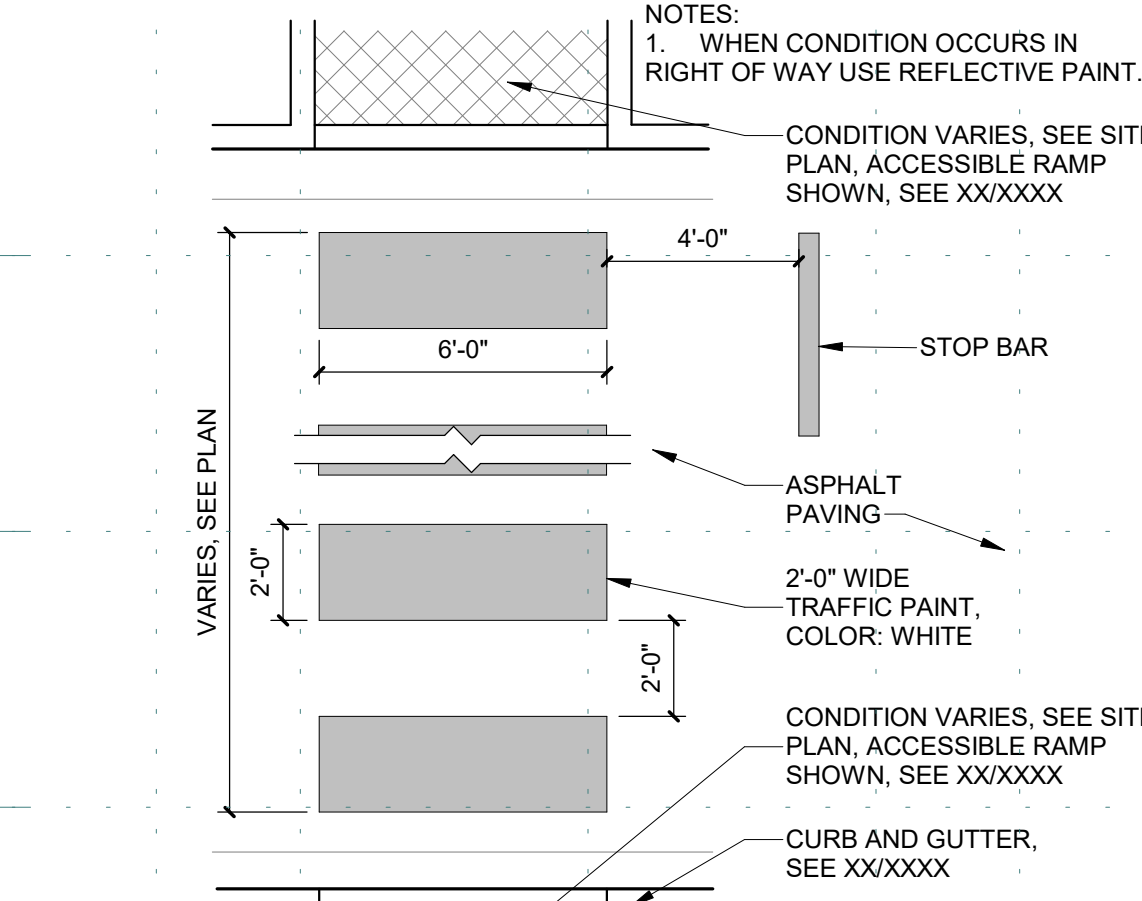
C1 DETECTABLE / TACTILE SURFACE TRANSITION
1" = 1'-0"



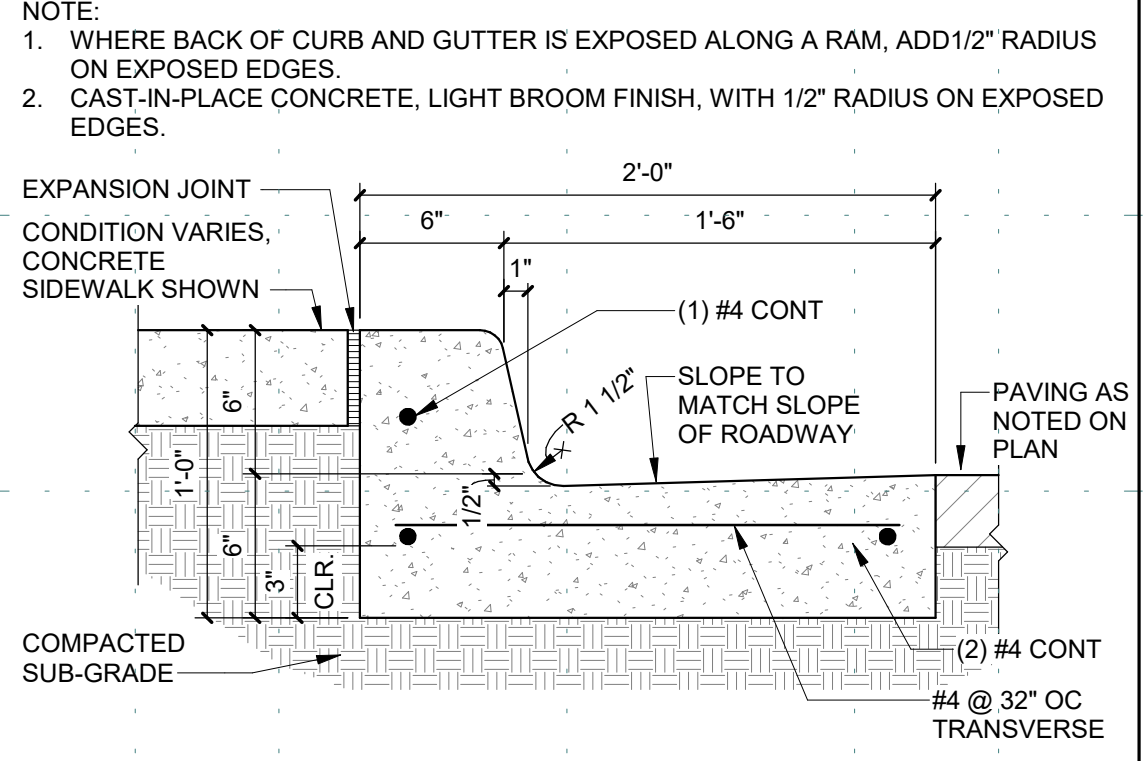
C2 FIRE STRIPING AND SIGNAGE
1/2" = 1'-0"



C3 CONCRETE SEAT WALL
3/4" = 1'-0"



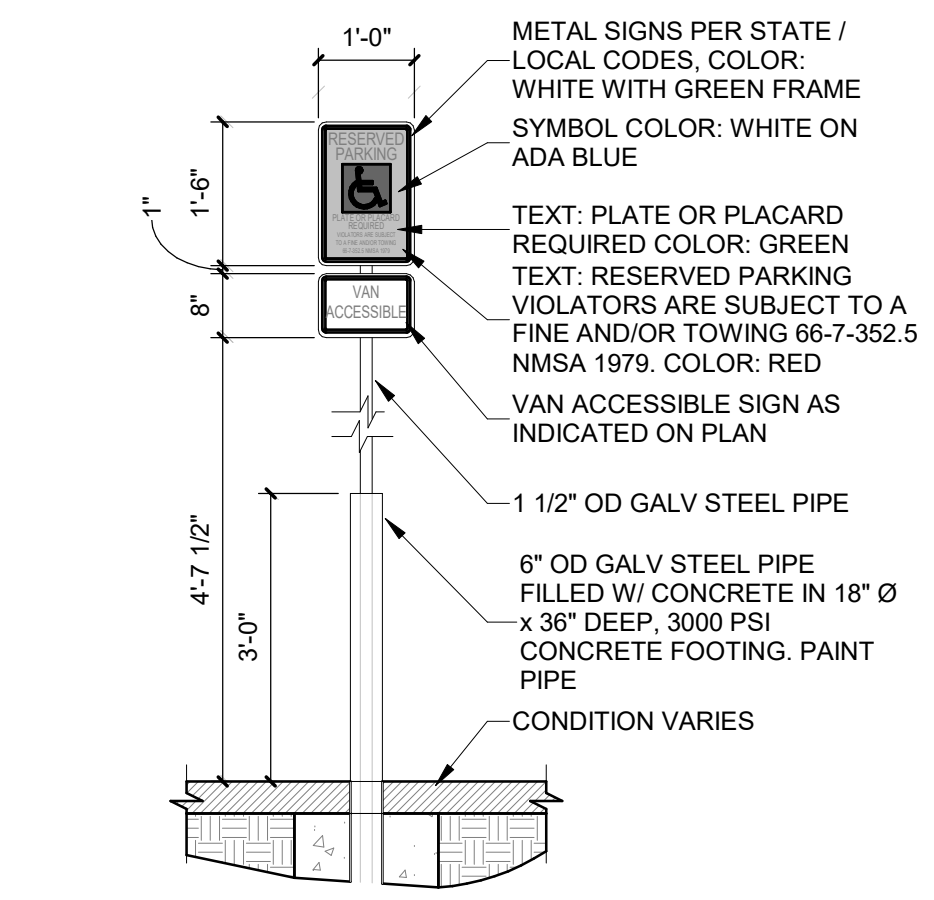
C4 PAINTED CROSSWALK
1/4" = 1'-0"



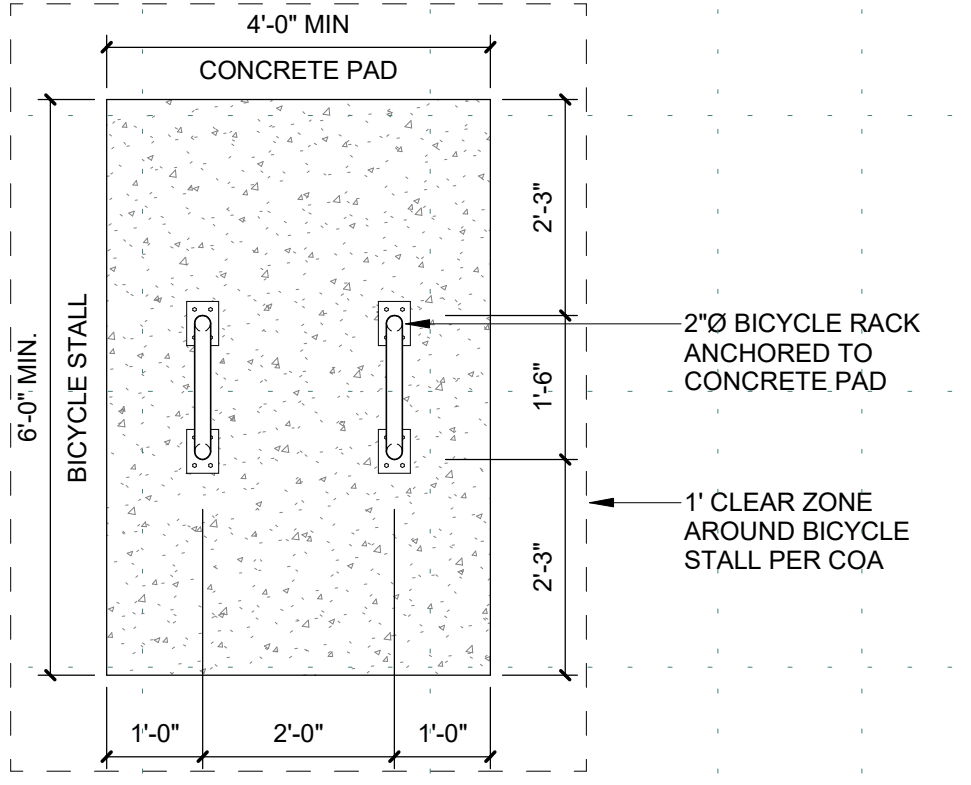
C5 CONCRETE CURB & GUTTER
1 1/2" = 1'-0"

NOTES:
1. BASIS OF DESIGN, ANOVA U-BIKE RACK, COLOR: TBD
2. BICYCLE PARKING SPACE SHALL BE 6' LONG AND 2' WIDE.

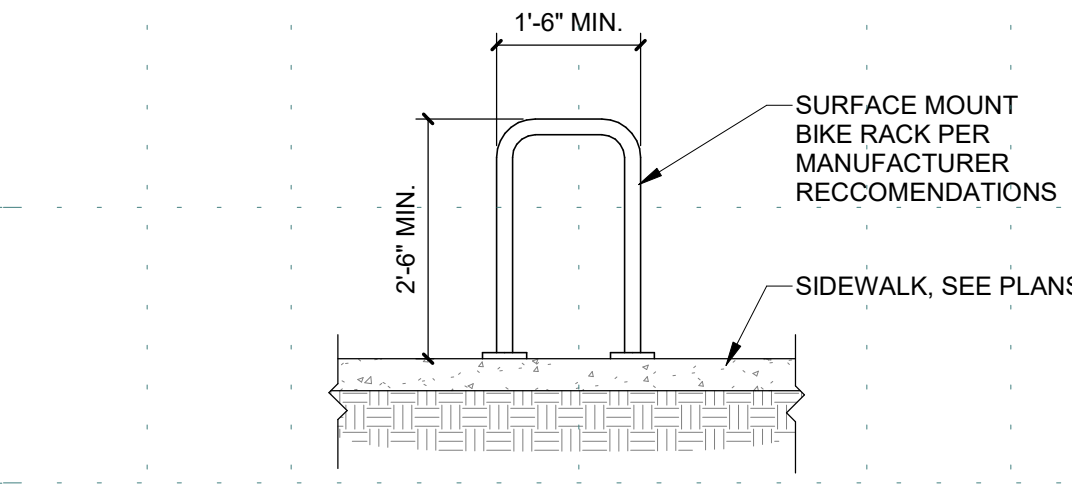
NOTES:
1. BASIS OF DESIGN, ANOVA U-BIKE RACK, COLOR: TBD
2. BIKE CAPACITY PER RACK: 4 TOTAL PER PAD.



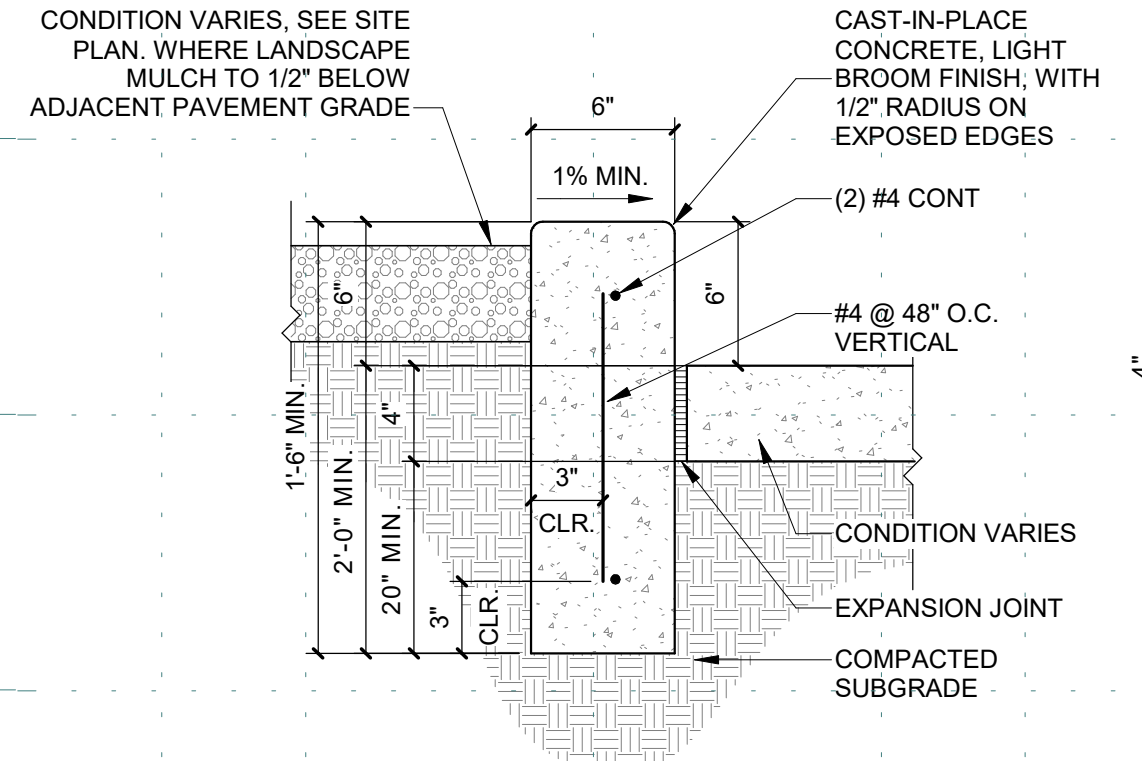
B1 PIPE BOLLARD AND ACCESSIBLE SIGNAGE
1/2" = 1'-0"



B2 BICYCLE RACK PLAN
1/2" = 1'-0"

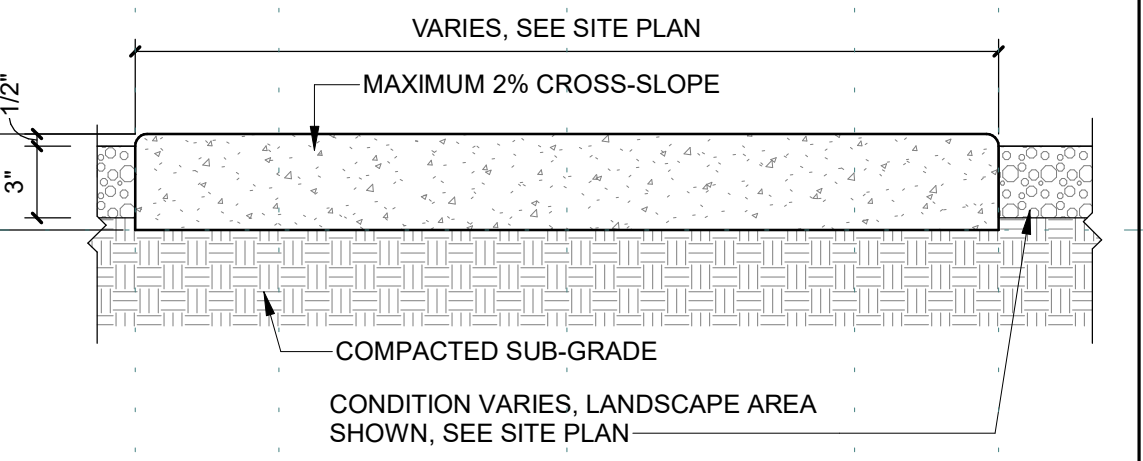


B3 BICYCLE RACK
1/2" = 1'-0"



B4 CONCRETE HEADER CURB
1 1/2" = 1'-0"

NOTES:
1. SEE SITE PLANS FOR JOINTING.
2. CAST-IN-PLACE CONCRETE PAVING, LIGHT BROOM FINISH PERPENDICULAR TO TRAFFIC FLOW WITH 1/2" RADIUS ON EXPOSED EDGES
3. INTEGRAL COLOR WHERE NOTED ON PLAN.
4. FINISH GRADE FOR LANDSCAPE AREAS SHALL BE 1/2" BELOW TOP OF PAVING.

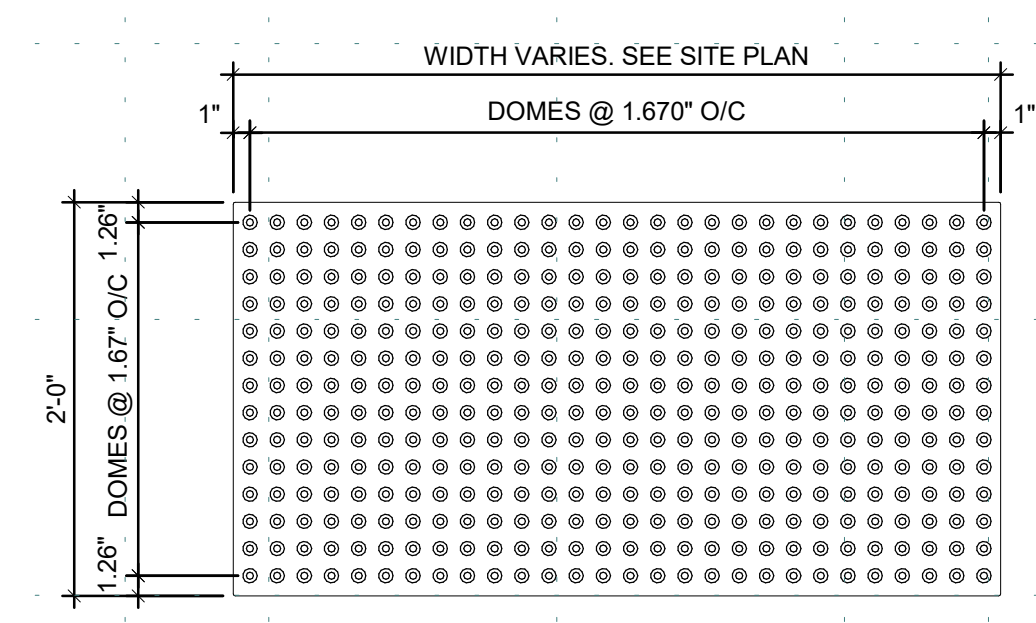


B5 CONCRETE SIDEWALK
1 1/2" = 1'-0"

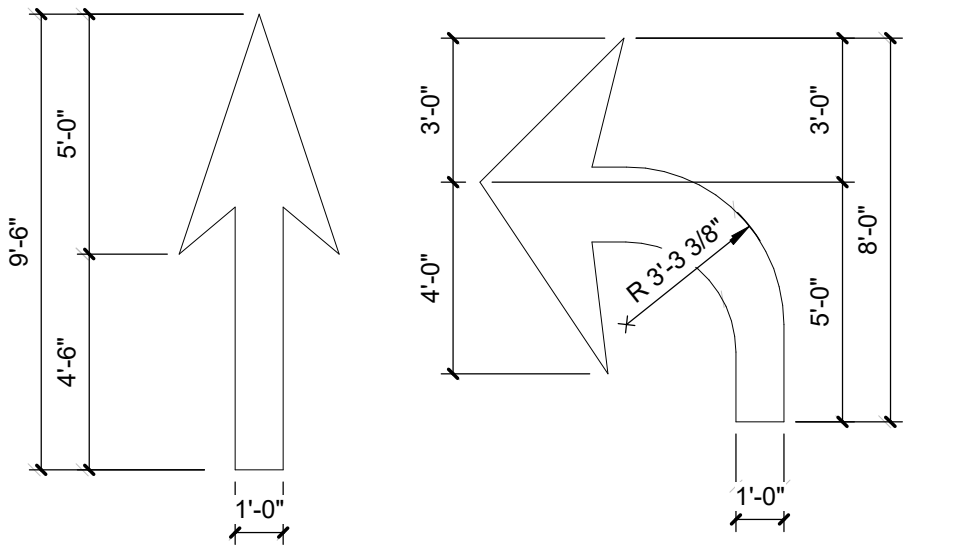
NOTES:
1. MANUFACTURER: XXXX.
2. COLOR: XXXX.
3. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.

NOTES:
1. PAINT ARROWS WHERE SHOWN IN PLAN. COLOR: WHITE
2. WHERE CONDITION OCCURS IN RIGHT OF WAY, USE REFLECTIVE PAINT

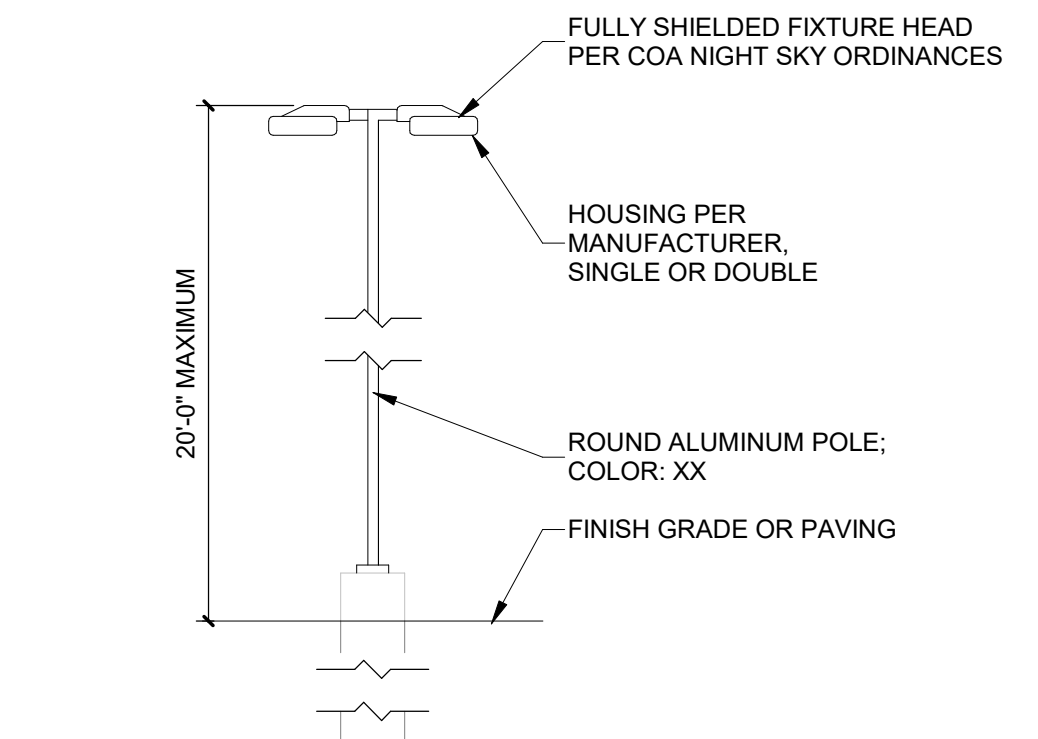
DESIGN NOTE:
1. MODIFY LUMINAIRE / FIXTURE TO MATCH STYLE & SIZE SELECTED.



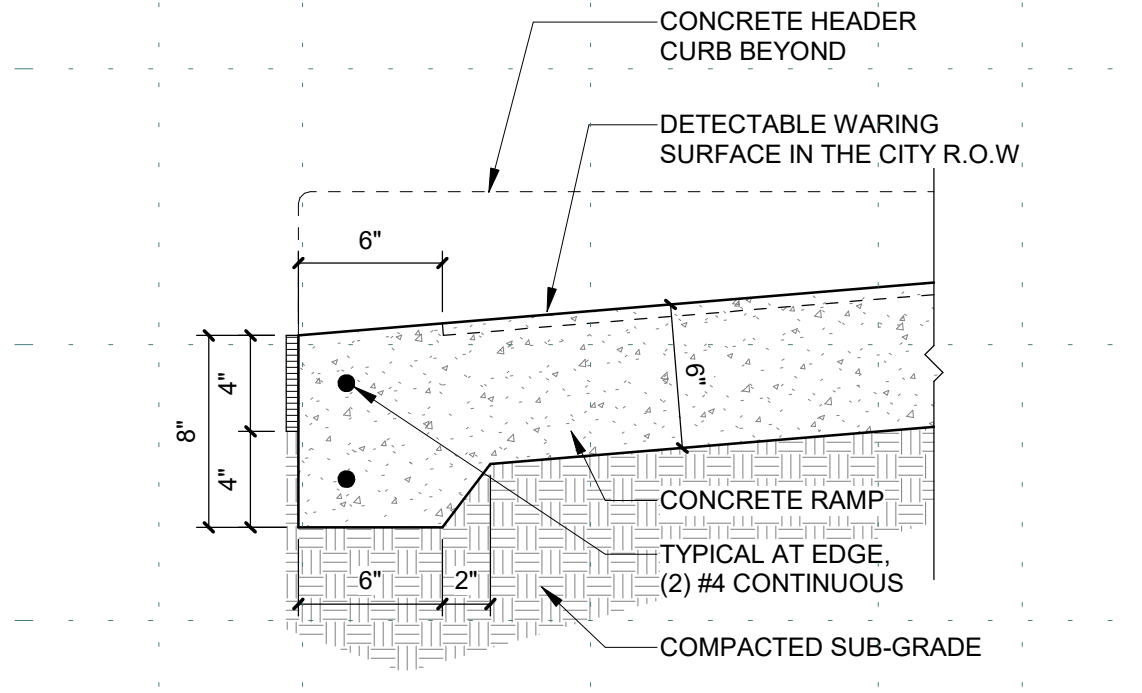
A1 TACTILE SURFACE
1" = 1'-0"



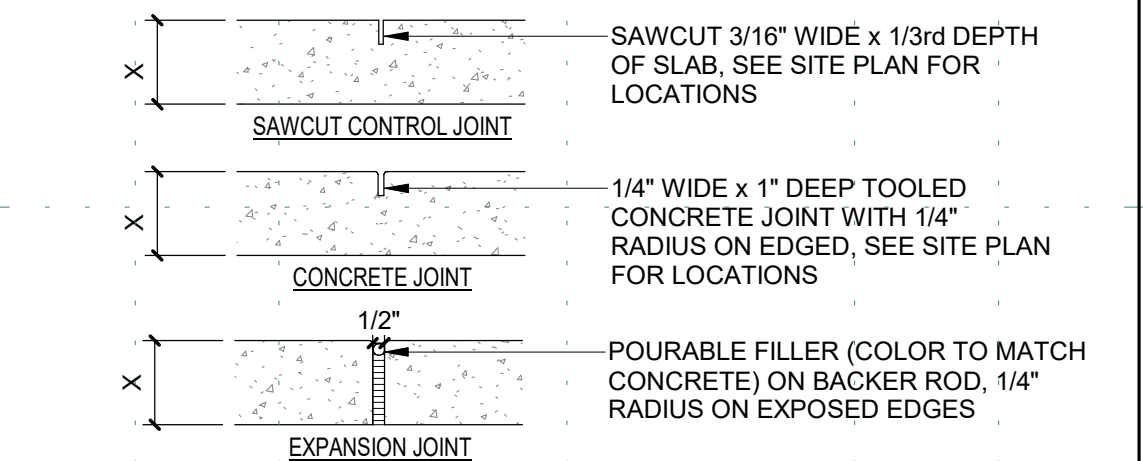
A2 DIRECTIONAL PAVEMENT ARROW
1/4" = 1'-0"



A3 PARKING LIGHT POLE
1/4" = 1'-0"



A4 RAMP TRANSITION
1 1/2" = 1'-0"



CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS				
APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL, HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON	6'-12' WALK
CONTROL JOINTS	4" O.C.	5' O.C.	8' O.C.	6' O.C.
EXPANSION JOINTS	4" O.C.	5' O.C.	8' O.C.	6' O.C.

A5 CONCRETE JOINTS & JOINT SPACING
1 1/2" = 1'-0"

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SEAL
PROJECT

FAROLITO SENIOR COMMUNITY
10501 CENTRAL AVENUE NE
ALBUQUERQUE, NM 87123

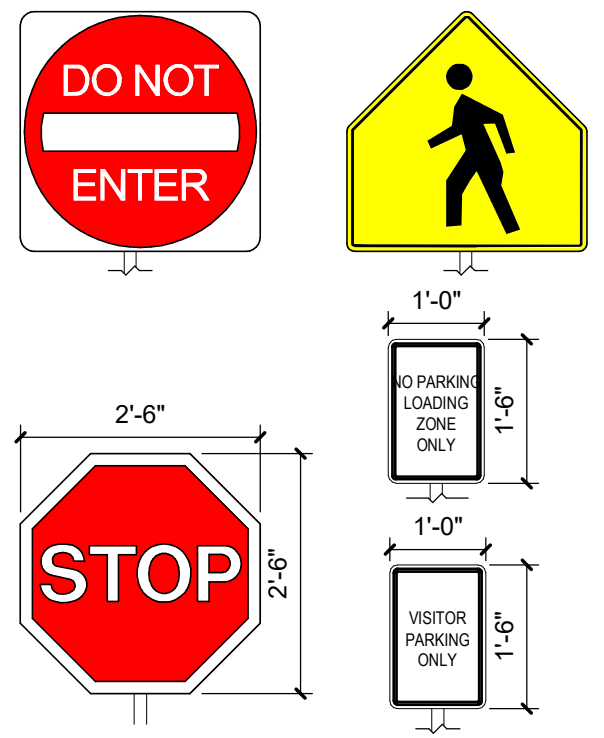
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REVISIONS
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DRAWN BY BH
REVIEWED BY CWW
DATE 07/10/23
PROJECT NO: 22-0083

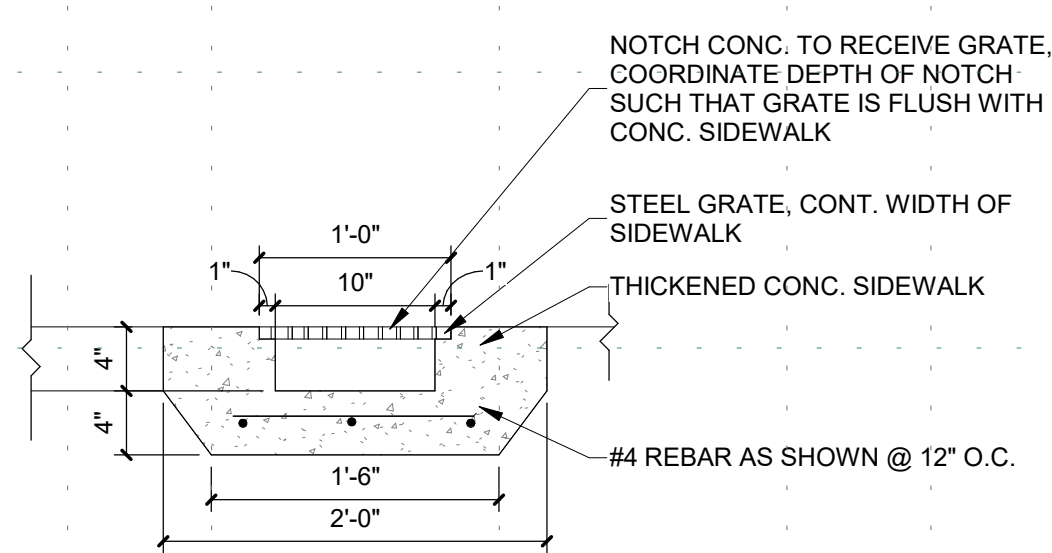
DRAWING NAME
ENLARGED PLANS AND DETAILS

SHEET NO
SDP 1.2

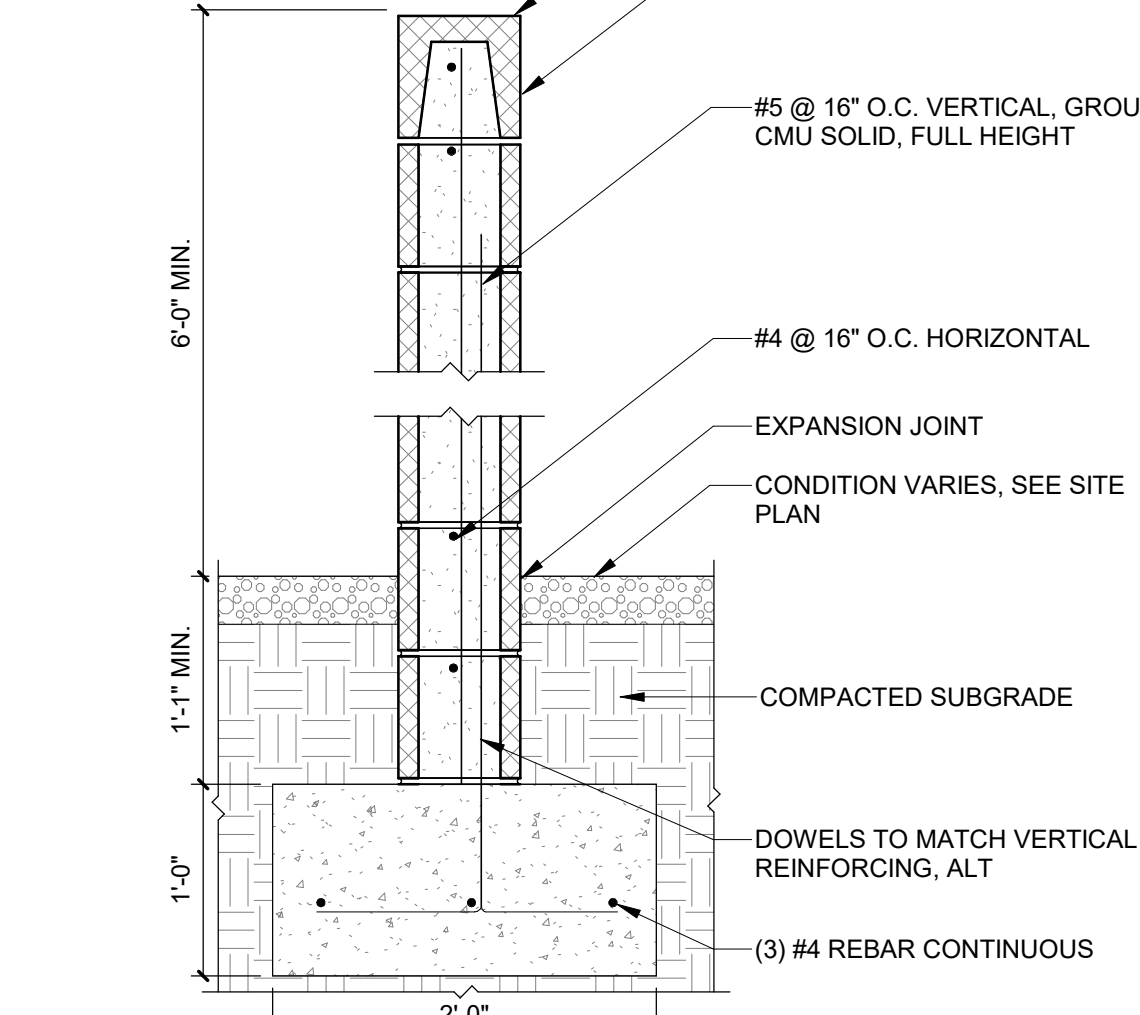


D1 TRAFFIC SIGNAGE
1/2" = 1'-0"

METAL SIGNS PER STATE / LOCAL CODES, COLOR: WHITE WITH GREEN FRAME
SYMBOL COLOR: WHITE ON ADA BLUE
TEXT: PLATE OR PLACARD REQUIRED COLOR: GREEN
TEXT: RESERVED PARKING VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING 66-7-352.5 NMSA 1979. COLOR: RED
VAN ACCESSIBLE SIGN AS INDICATED ON PLAN
1 3/4" x 1 3/4" SQ 14 GA PERFORATED SIGN POST, TYP ALL SIGNS
CONDITION VARIES
2" SQUARE GROUND POST TYP, ALL SIGNS
8" Ø CONCRETE FOOTING, TYP
COMPACTED SUBGRADE



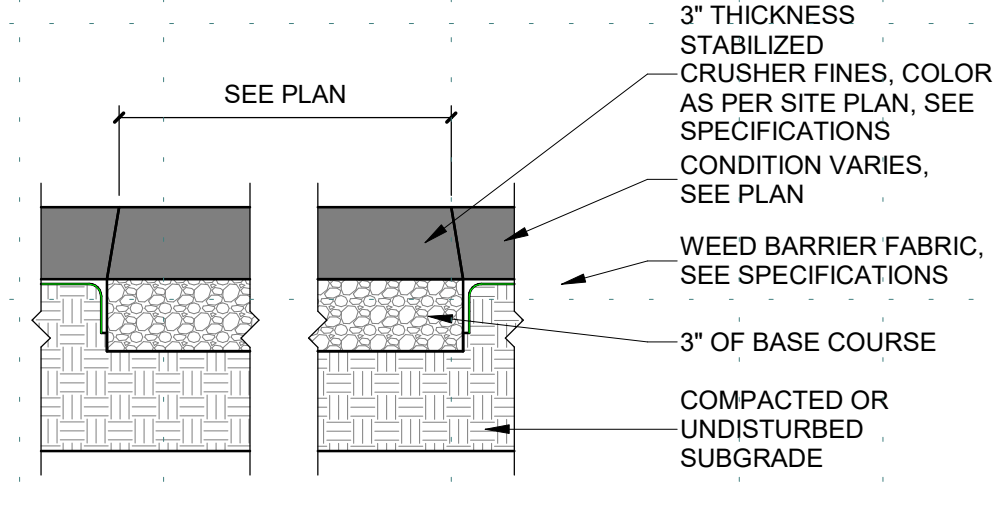
C1 SIDEWALK CULVERT
1" = 1'-0"



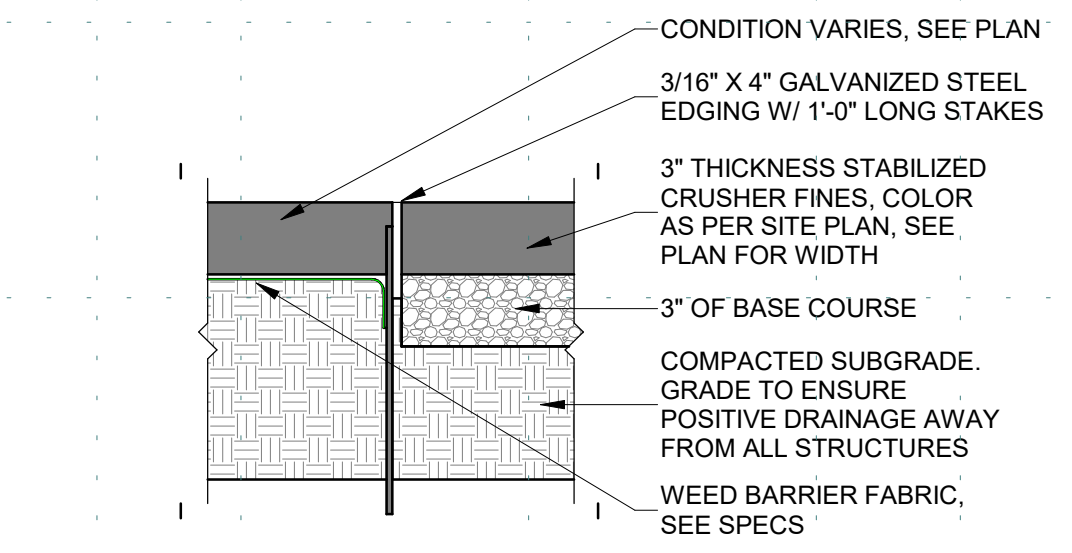
C2 SDP - GARDEN WALL CMU
1" = 1'-0"

NOTES:
1. STABILIZED CRUSHER FINES SHALL BE FLUSH WITH TOP OF TOP OF ADJACENT CONCRETE PAVEMENT, CURB OR FINISH GRADE, AND TO MATCH FINISH GRADES ON CIVIL DRAWINGS
2. INSTALL BASE COURSE AND CRUSHER FINES FIRST, THEN INSTALL AND COMPACT ADJACENT MULCH.

NOTES:
1. STABILIZED CRUSHER FINES SHALL BE FLUSH WITH TOP OF ADJACENT CONCRETE PAVEMENT, CURB OR FINISH GRADE, AND TO MATCH FINISH GRADES ON CIVIL DRAWINGS
2. STEEL EDGING TO BE LOCATED ALONG BOTH SIDES OF PATH EXCEPT WHERE CONCRETE, PAVING OR RAISED PLANTER MATERIAL IS PRESENT
3. SEE SPECIFICATIONS



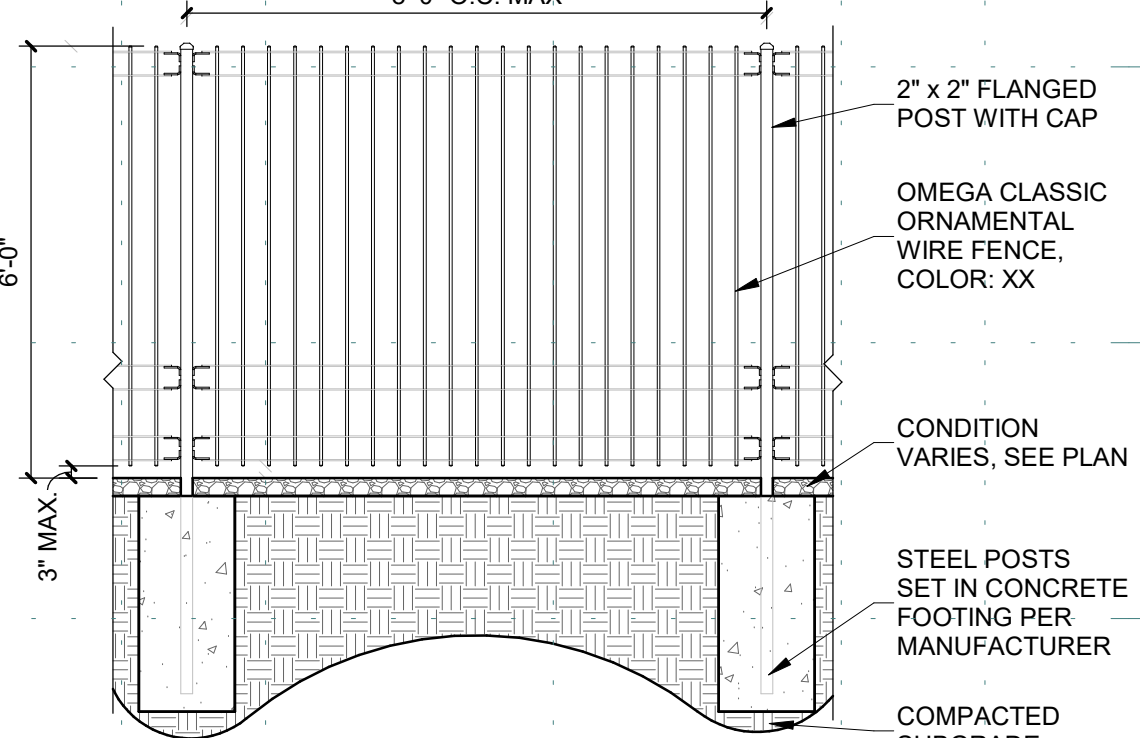
B1 STABILIZED CRUSHER FINES
1 1/2" = 1'-0"



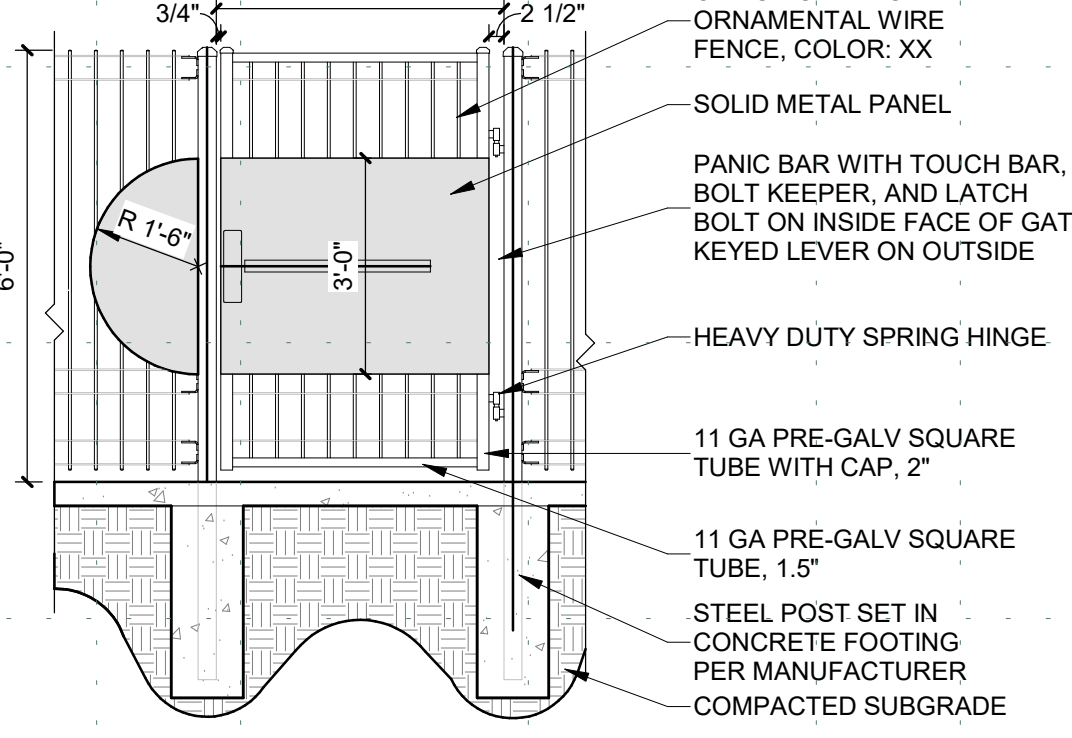
B2 CRUSHER FINE PATH WITH STEEL EDGE
1 1/2" = 1'-0"

NOTES:
1. SUBMIT SHOP DRAWINGS FOR APPROVAL
2. SEE SPECIFICATIONS
3. SET CUT FENCE PANELS LEVEL
4. IF CUTTING OR TRIMMING IS NECESSARY, PRIME AND PAINT EXPOSED ENDS OF FIELD CUT PANELS PER MANUFACTURERS

NOTES:
1. SUBMIT SHOP DRAWINGS FOR APPROVAL
2. SEE SPECIFICATIONS
3. CENTER PANEL IN FRAME
4. PRIME AND PAINT EXPOSED ENDS OF FIELD CUT FENCE PANELS PER MANUFACTURER SPECIFICATIONS

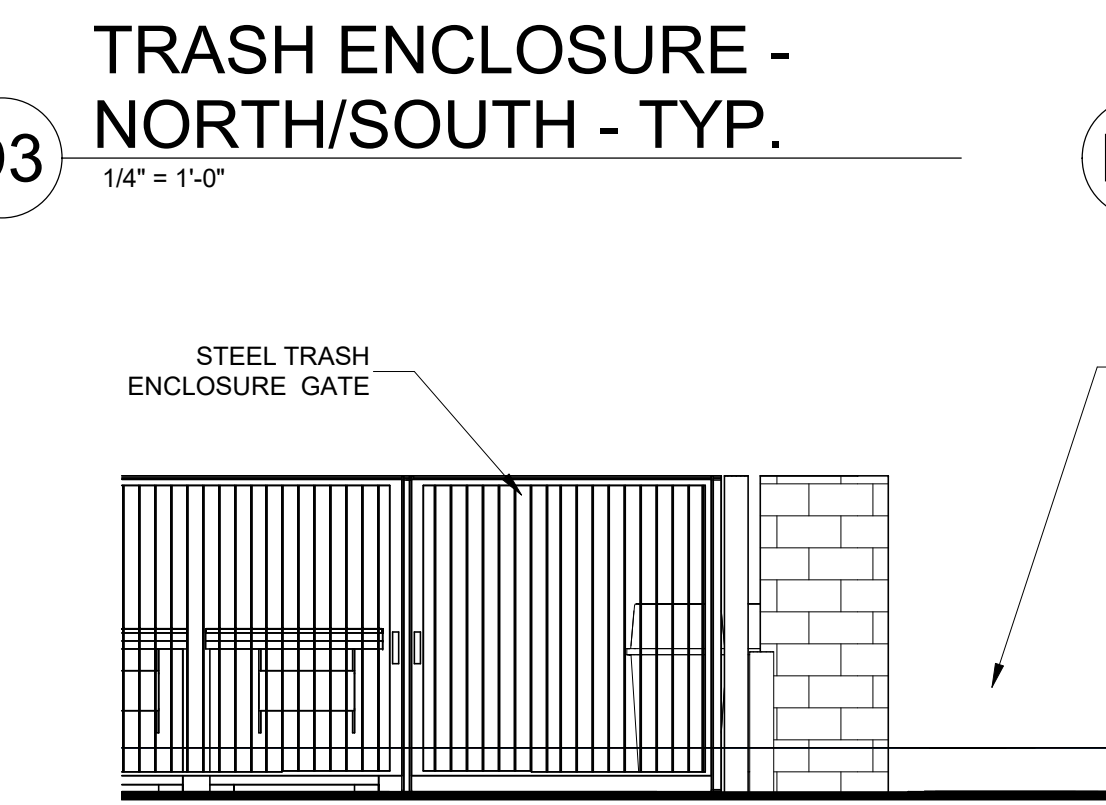
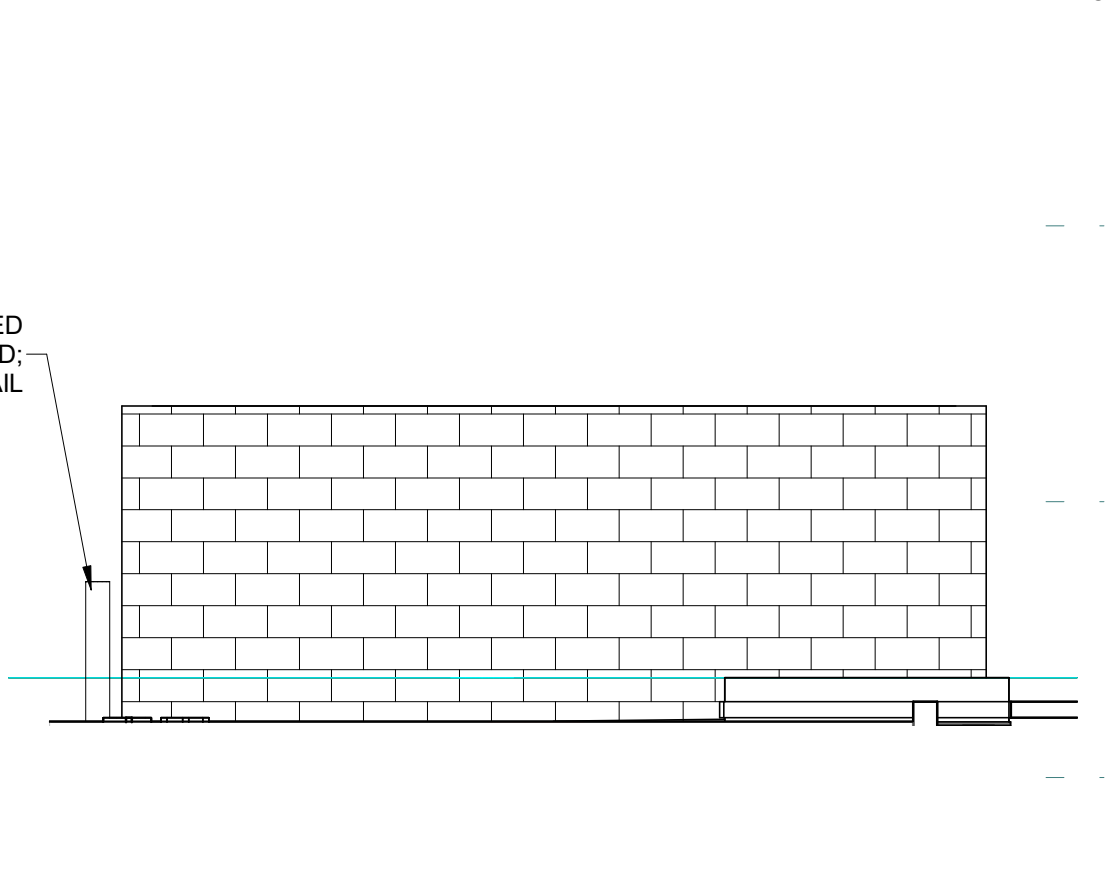


A1 STEEL PICKET FENCE
3/8" = 1'-0"

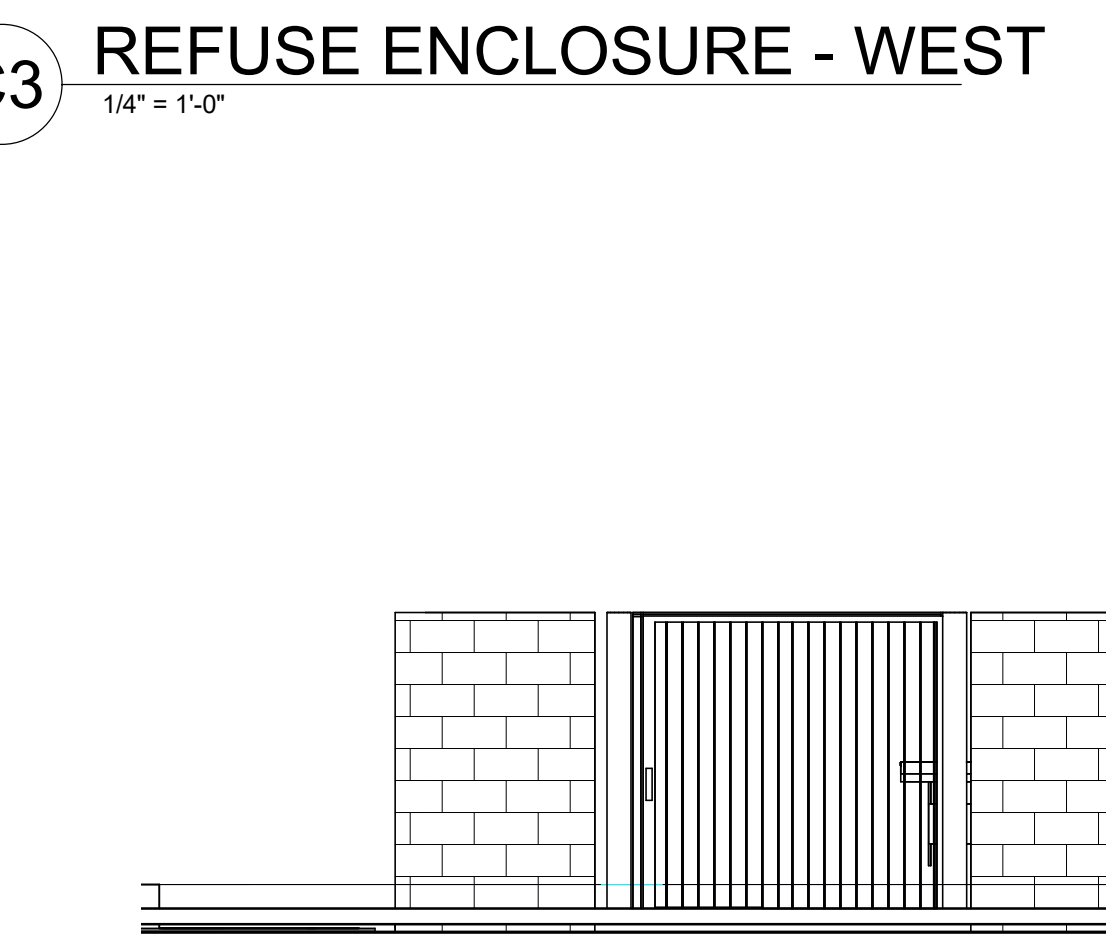


A2 STEEL PICKET GATE
3/8" = 1'-0"

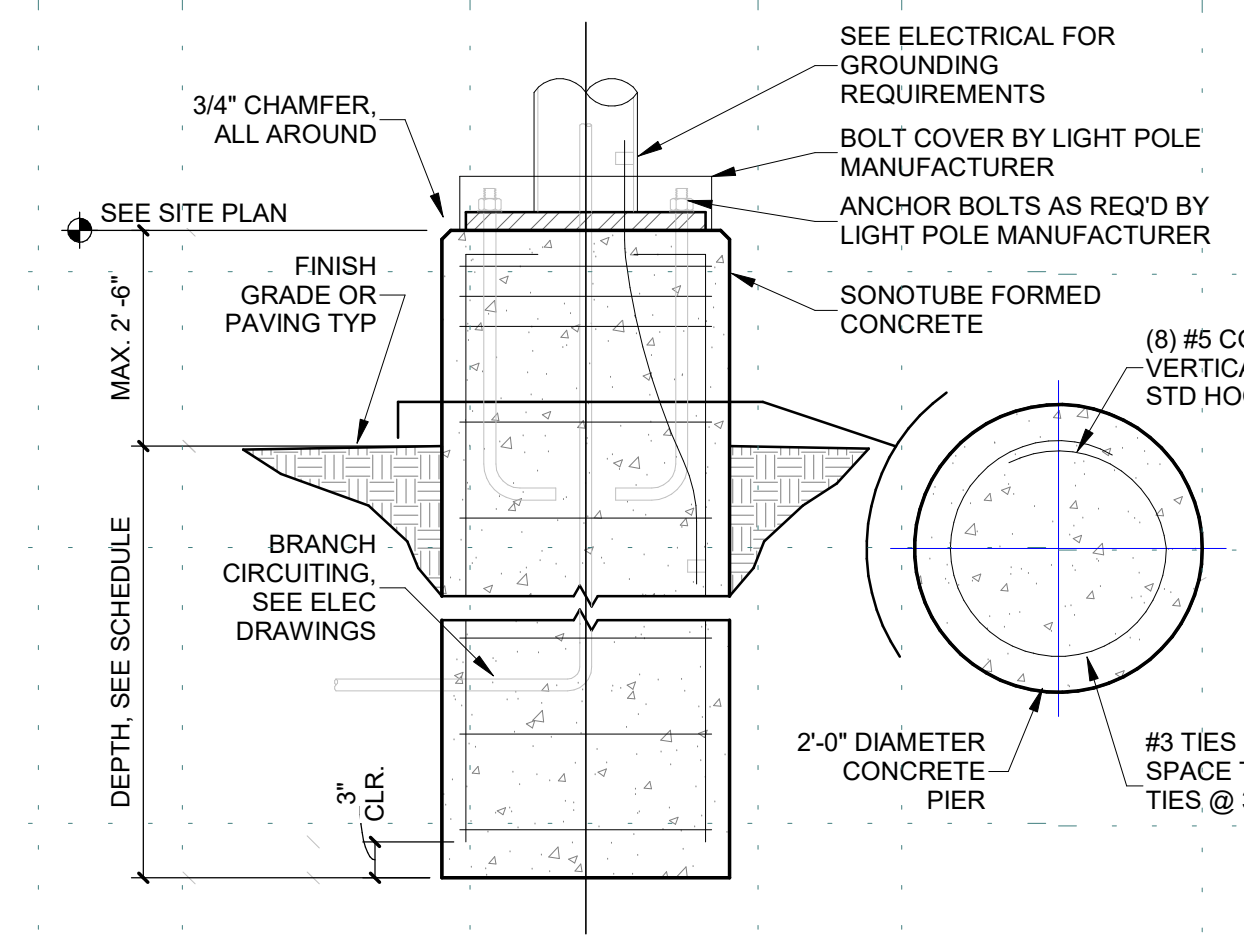
D3 TRASH ENCLOSURE - NORTH/SOUTH - TYP.
1/4" = 1'-0"



C3 REFUSE ENCLOSURE - WEST
1/4" = 1'-0"

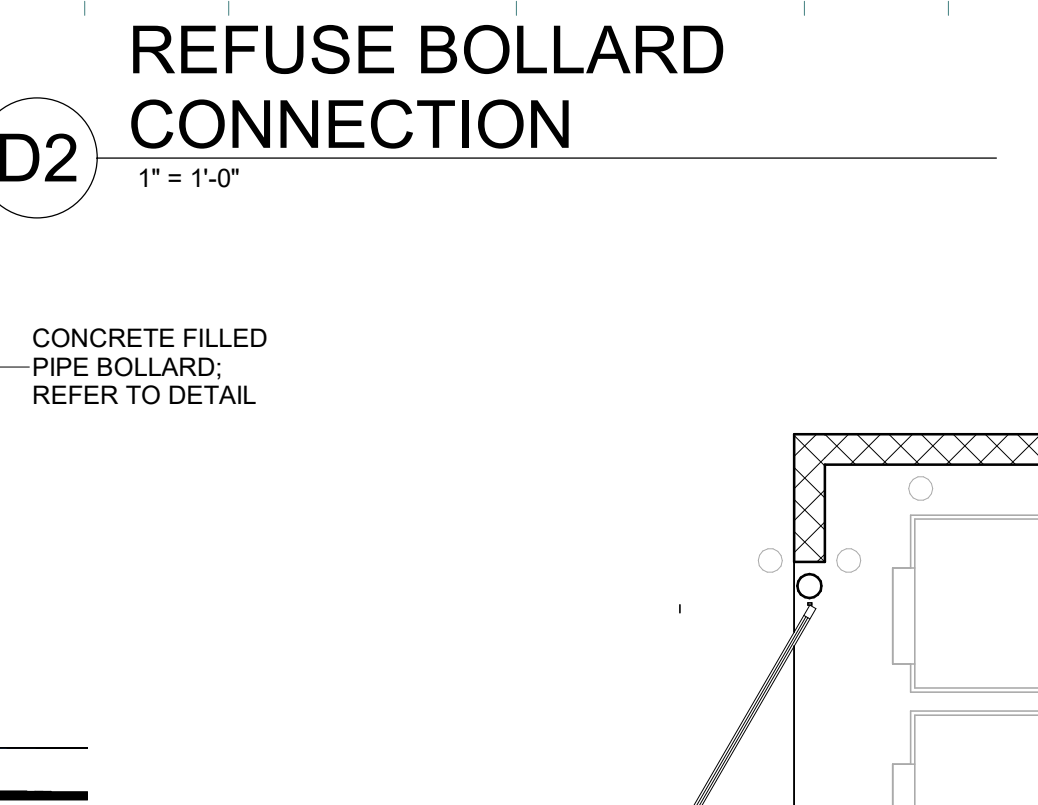
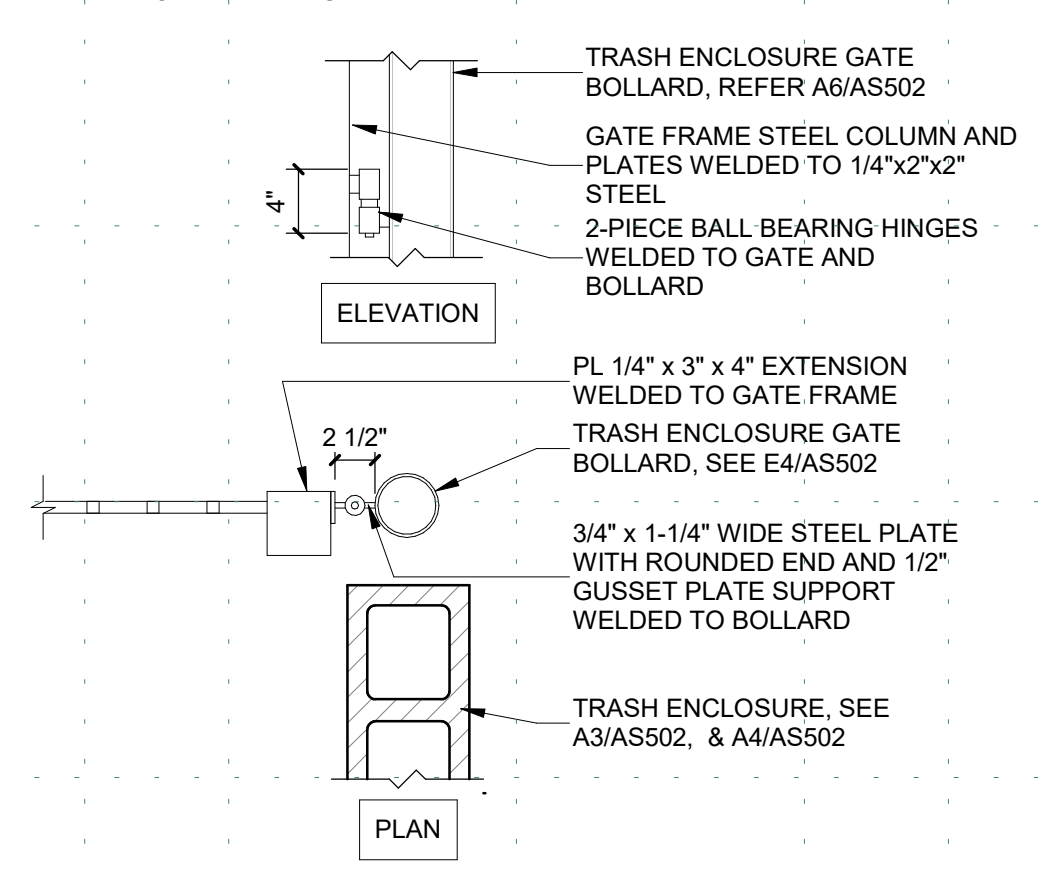


B3 REFUSE ENCLOSURE - EAST
1/4" = 1'-0"

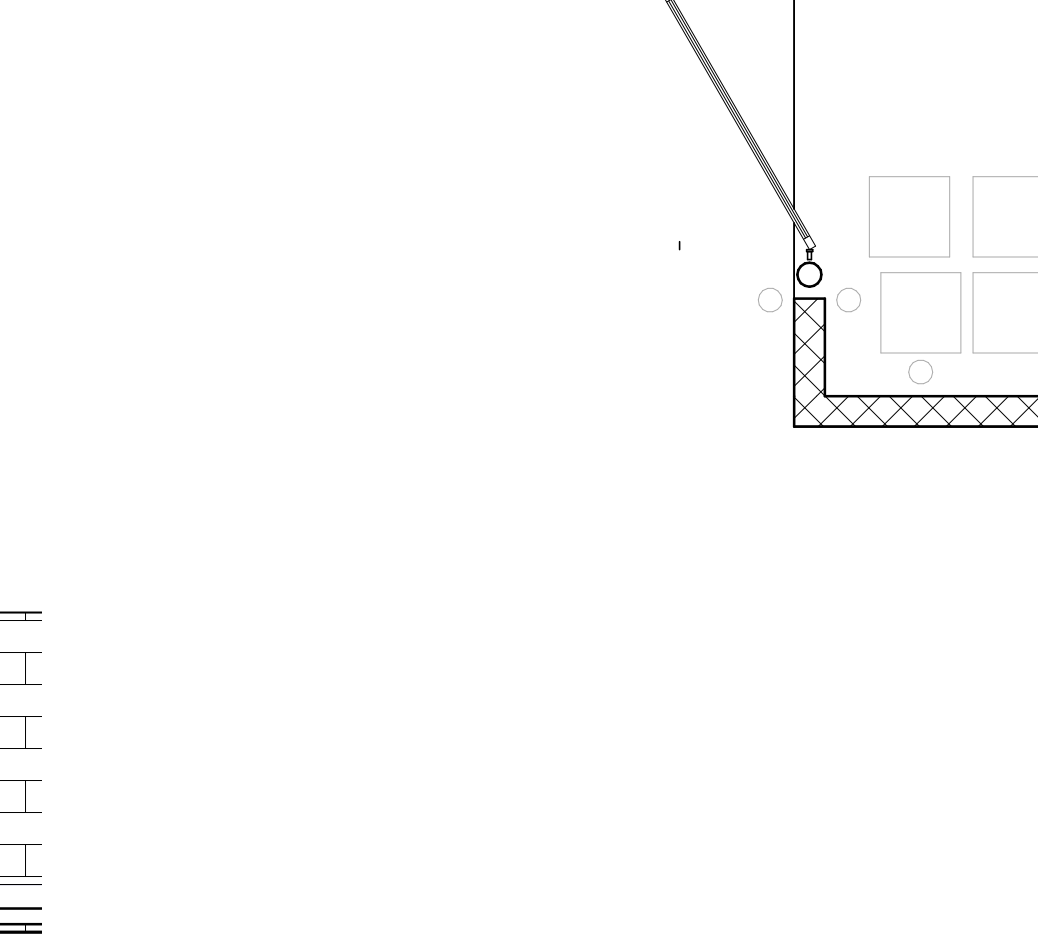


A3 FOUNDATION AT LIGHTPOLE
3/4" = 1'-0"

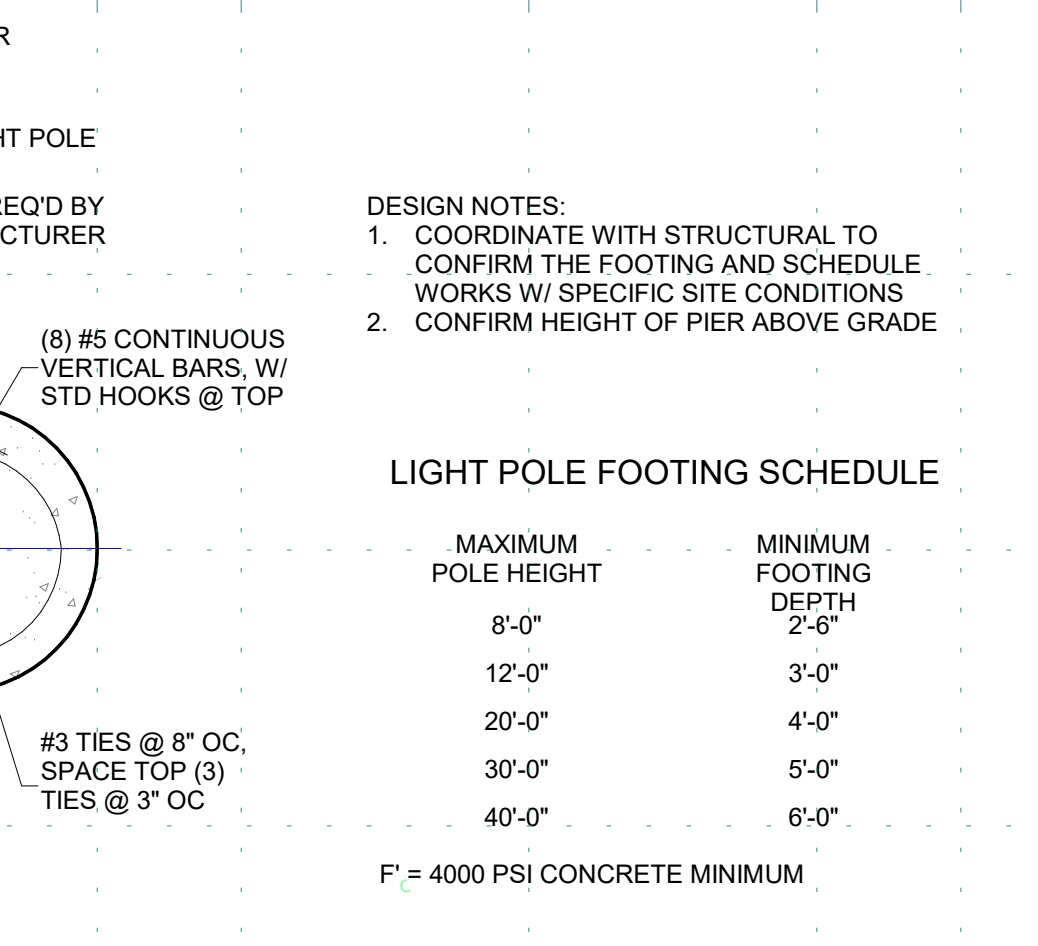
D2 REFUSE BOLLARD CONNECTION
1" = 1'-0"



C4 REFUSE ENCLOSURE - EAST
1/4" = 1'-0"

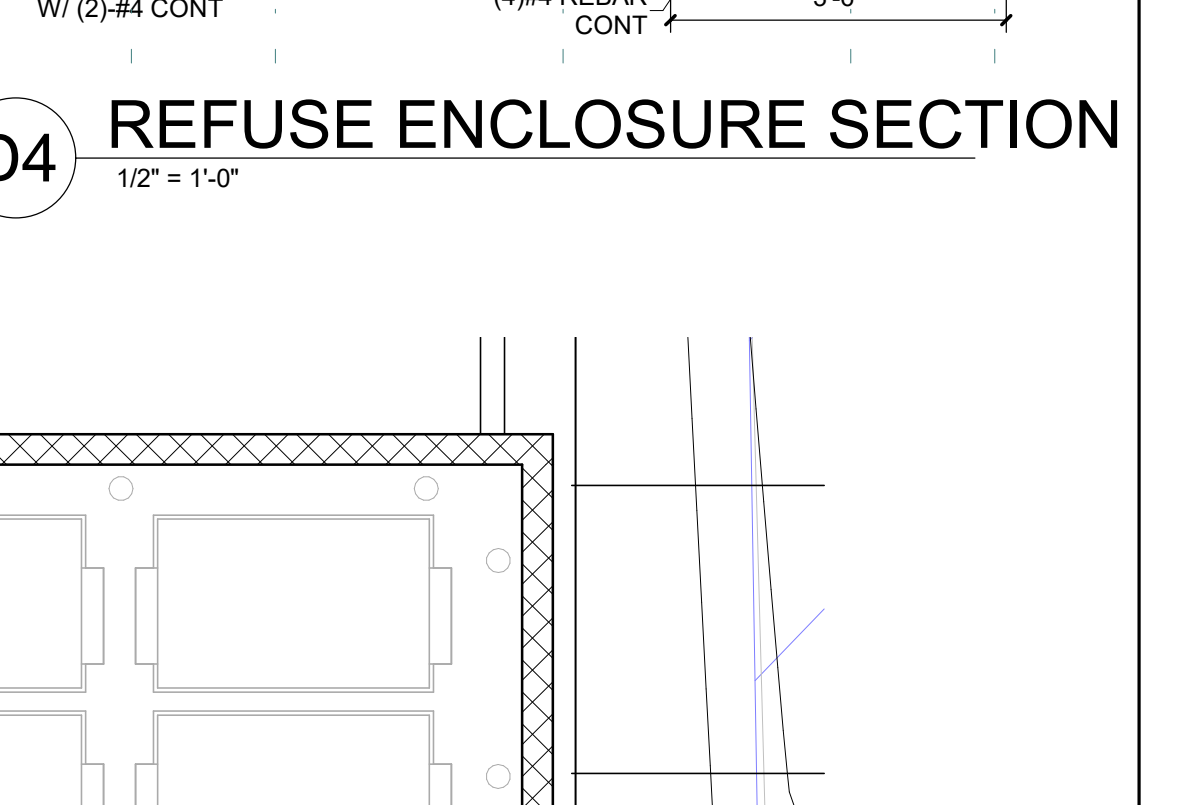
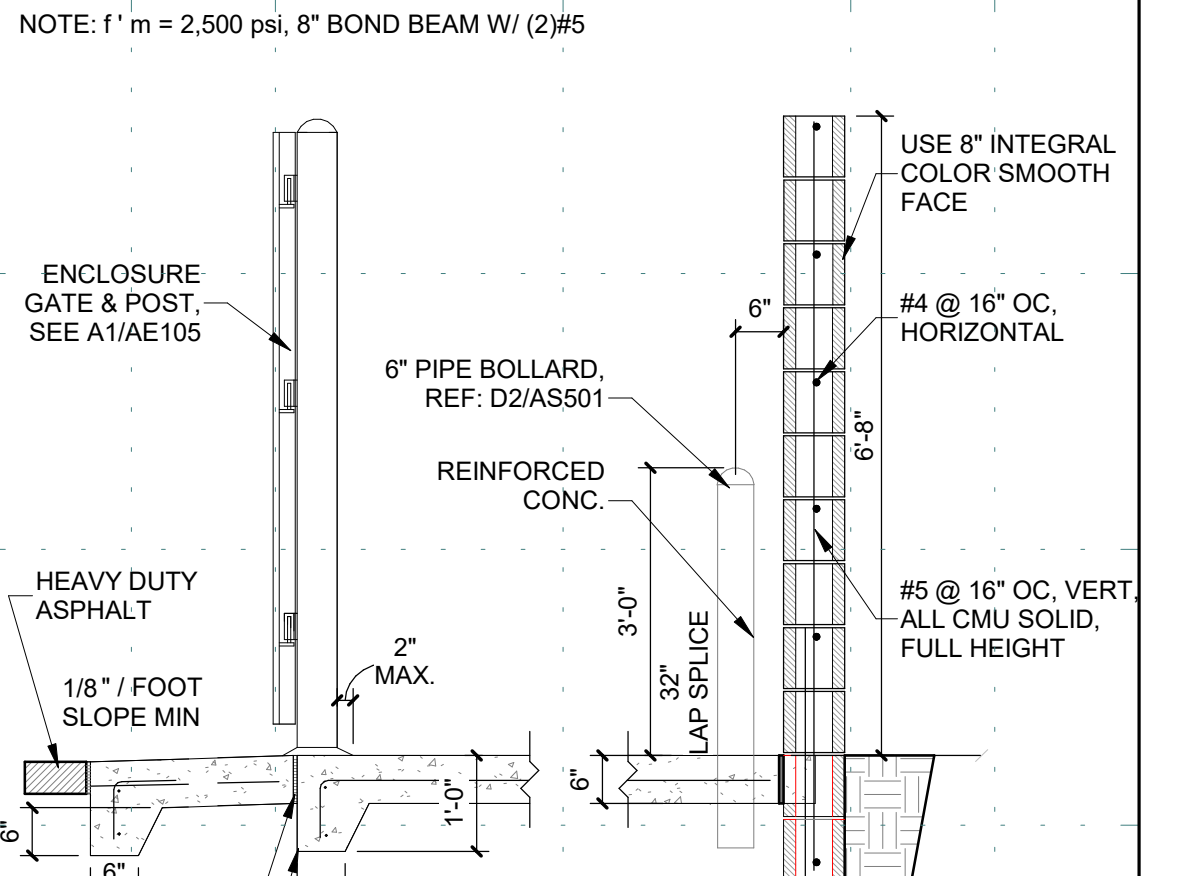


B4 TRASH ENCLOSURE
1/4" = 1'-0"

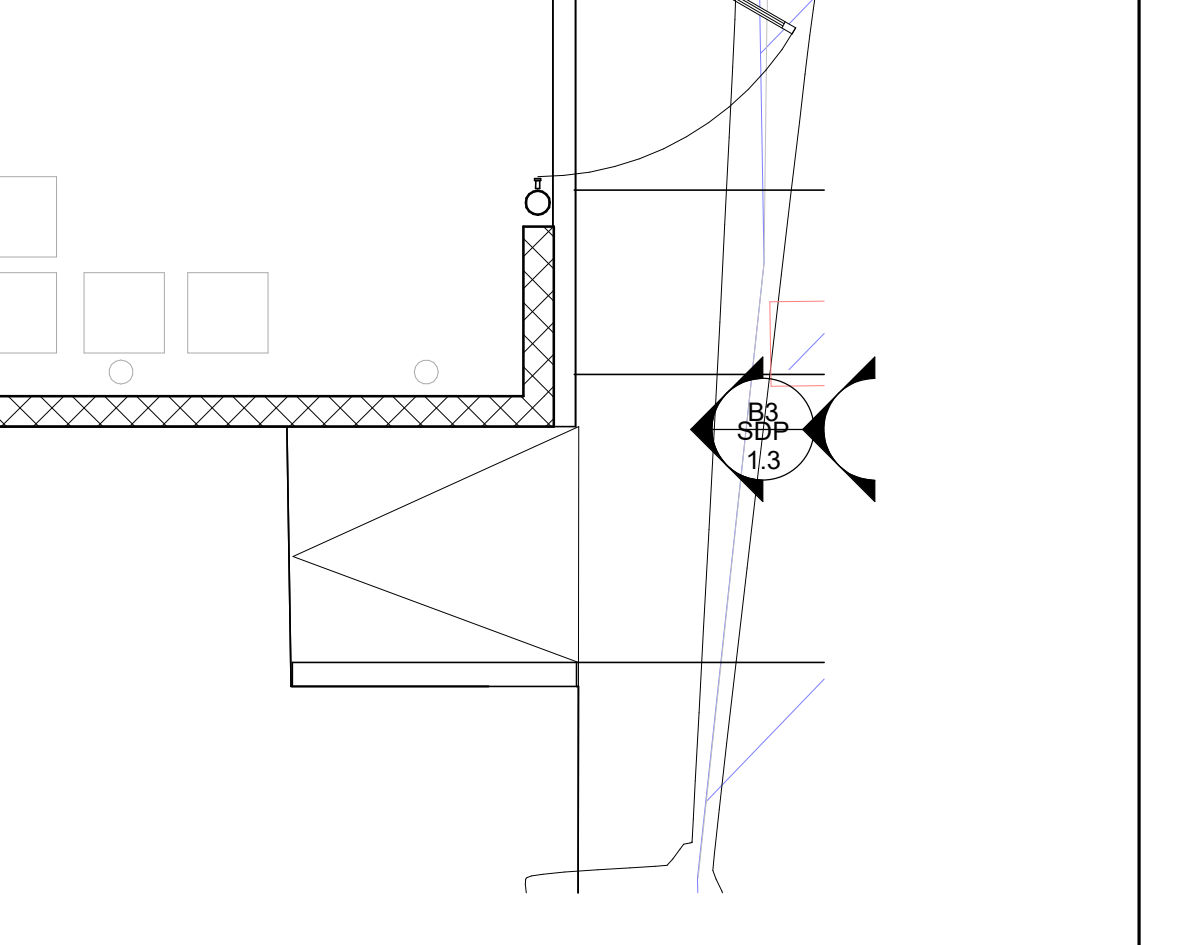


A4 TRASH ENCLOSURE
1/4" = 1'-0"

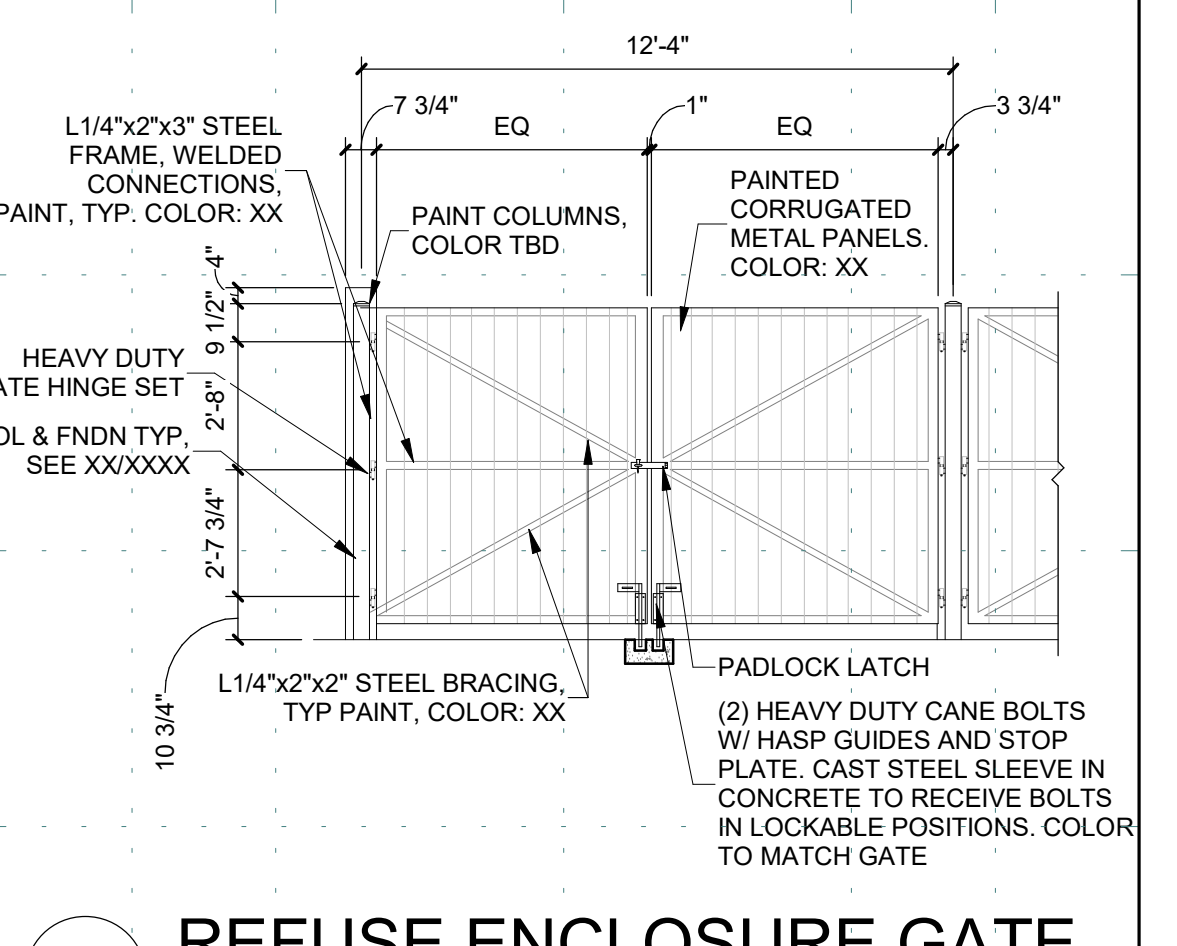
D4 REFUSE ENCLOSURE SECTION
1/2" = 1'-0"



C4 REFUSE ENCLOSURE SECTION
1/2" = 1'-0"



B4 TRASH ENCLOSURE
1/4" = 1'-0"



A5 REFUSE ENCLOSURE GATE
1/4" = 1'-0"

DESIGN NOTES:
1. COORDINATE WITH STRUCTURAL TO CONFIRM THE FOOTING AND SCHEDULE WORKS W/ SPECIFIC SITE CONDITIONS
2. CONFIRM HEIGHT OF PIER ABOVE GRADE

LIGHT POLE FOOTING SCHEDULE

MAXIMUM POLE HEIGHT	MINIMUM FOOTING DEPTH
8'-0"	2'-6"
12'-0"	3'-0"
20'-0"	4'-0"
30'-0"	5'-0"
40'-0"	6'-0"

F' = 4000 PSI CONCRETE MINIMUM

DEKKER PERICH SABATINI
Architecture in Progress



SEAL
PROJECT

FAROLITO SENIOR COMMUNITY
10501 CENTRAL AVENUE NE
ALBUQUERQUE, NM 87123

ISSUED FOR PERMIT

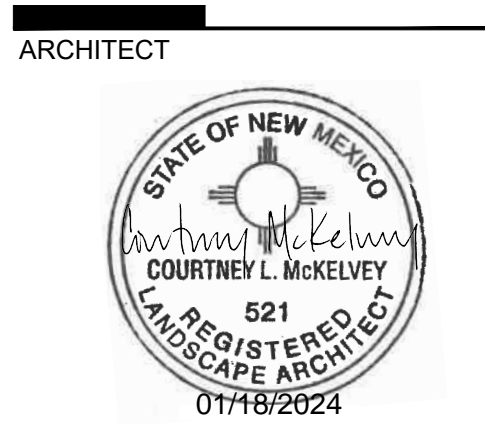
REVISIONS

DRAWN BY: BH
REVIEWED BY: CWW
DATE: 07/10/23
PROJECT NO: 22-0083

DRAWING NAME
ENLARGED PLANS AND DETAILS

SHEET NO
SDP 1.3

12/29/2023 2:05:51 PM



REVISIONS	
10/30/2023	ADD 003
11/17/2023	ADD 004

DRAWN BY	EH
REVIEWED BY	DS
DATE	08/18/2023
PROJECT NO.	22-0083
DRAWING NAME	PLANTING PLAN

GENERAL SHEET NOTES

- A. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- B. STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS (14-16-5-6), WATER CONSERVATION ORDINANCE AND POLLEN ORDINANCE.
- C. TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- D. SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION AND/OR MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE ROOTBALL AREA DRIPLINE.
- E. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- F. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS PER TABLE 5-6-1 OF THE IDO.
- G. AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- H. ALL SCREENING VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS MUST ALLOW 10 FEET OF CLEARANCE FOR ACCESS AN TO ENSURE THE SAFETY OF THE WORK CREWS AND PUBLIC DURING MAINTENANCE AND REPAIR.
- I. TREES SHALL NOT BE PLANTED NEAR EXISTING OR PROPOSED STREET LIGHT POLES.
- J. NO EXISTING PLANT MATERIAL IS TO BE PRESERVED ON THE PROPERTY. ALL PLANT MATERIALS ILLUSTRATED ARE NEW.
- K. ALL PLANTING MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT OF WAY.
- L. TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER LINE.
- M. THE BIOSWALE TERRAIN, DESIGNED BY I&A, CONSISTS OF SHALLOW BASINS WHICH WILL CONCENTRATE WATER FOR THE NATIVE SEED MIX. THESE AREAS REQUIRE VERY LITTLE MAINTENANCE. THEY REQUIRE MOWING ONCE PER YEAR WHEN THE PLANT MATERIAL IS DORMANT.
- N. ANY TREES THAT OVERHANG A PUBLIC SIDEWALK SHALL BE TRIMMED TO MAINTAIN AN 8-FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9-FOOT CLEARANCE OVER THE STREET SURFACE.
- O. TREES WILL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- P. PURPLE ROBE LOCUST REQUIRES SEASONAL STRUCTURAL PRUNING BY PROPERTY OWNER.
- Q. FRUIT TREES REQUESTED BY OWNER WILL BE MAINTAINED AND REPLACED BY OWNER IF FROZEN, IF ANY PROPOSED TREES DIE OFF AT ANY TIME THEY WILL BE REPLACED.

IRRIGATION NOTES

- A. PLANTS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH PROGRAMMABLE SETTINGS, AUTOMATED IRRIGATION CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
- B. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
- C. THE IRRIGATION SYSTEM SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS, PARKING, AND LOADING AREAS.
- D. IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
- E. RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED BY THE OWNER ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA = 2.29 AC = 99,736 SF
 AREA OF LOT COVERED BY BUILDINGS = 20,270 SF
 NET LOT AREA = 79,466 SF

REQUIRED LANDSCAPE
 REQUIRED LANDSCAPE AREA (25% OF NET LOT AREA) = 11,920 SF
 PROVIDED LANDSCAPE AREA = 34,801 SF = 43.7%
 (see hatch legend for exclusions from landscape areas)

REQUIRED TREES
 TREES PER PARKING SPACES: REQUIRED = 1 TREE / 10 PARKING SPACES
 TOTAL NUMBER OF PARKING = 82 SPACES
 REQUIRED NUMBER OF PARKING LOT TREES = 8 TREES
 PROVIDED NUMBER OF PARKING LOT TREES = 10 TREES
 100% OF PARKING LOT TREES ARE DECIDUOUS CANOPY TREES.
 NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

REQUIRED STREET TREES = 9.5 placed at 20' on center (192' of street frontage)
 PROVIDED STREET TREES = 6 DUE TO UTILITY OBSTACLES. EXTRA TREES WERE INCLUDED WITHIN PARKING CALCULATIONS TO COMPENSATE FOR STREET TREE SHORTAGE.

REQUIRED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 38 TREES
 1 TREE PER GROUND FLOOR DWELLING UNIT (15) AND 1 TREE PER SECOND-STORY UNIT (23)
 PROVIDED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 38 TREES

REQUIRED VEGETATIVE COVERAGE
 REQUIRED VEGETATIVE COVERAGE = 26,100.75 SF = 75% OF PROVIDED LANDSCAPE AREA, SF PROVIDED = 35,531 SF = 102%
 A MINIMUM 25% OF REQUIRED VEGETATIVE COVERAGE BY GROUND PLANTS
 TREE CANOPY COVERAGE = 21,903 SF
 REQUIRED GROUND PLANT COVERAGE = 25% OR 6,525 SF.
 GROUND PLANT COVERAGE PROVIDED = 6,814 = 26%

PARKING LOT AREA = 33,434 SF
 PARKING LOT LANDSCAPING PROVIDED = 6,262 SF = 18.7%
 MIN. 15% OF PARKING LOT AREA TO BE LANDSCAPED

GROUND COVER MATERIAL
 CALCULATIONS WITHIN PROPERTY BOUNDARY, DOES NOT INCLUDE STREET CALCULATIONS
 TOTAL ROCK MULCH GROUND COVER = 15,199 SF = 43.5%
 TOTAL ORGANIC MULCH GROUND COVER = 18,290 SF = 52.5%
 A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED 14-16-5-6(C)(5)(d)

PARKING LOT EDGE LANDSCAPE
 2 TREES AND 6 SHRUBS PER 25' ARE PROVIDED ALONG THE WEST PROPERTY LINE TO SCREEN PARKING.

PERCENTAGE OF WARM AND COOL SEASON GRASS
 0% OF GRASSES PROVIDED ARE COOL SEASON GRASS
 100% OF GRASSES PROVIDED ARE WARM SEASON GRASS

PLANT SCHEDULE

SYMBOL	COMMON NAME
TREES	
	ACCOLADE ELM
	BIGTOOTH MAPLE
	CHINESE PISTACHE
	GOLDEN RAIN TREE
	NEW MEXICO OLIVE
	RUSSIAN HAWTHORN
	URBANITE AMERICAN ASH
EVERGREEN TREES	
	AFGHAN PINE
	ITALIAN STONE PINE
FLOWERING TREES	
	BUBBA DESERT WILLOW
	OKLAHOMA TEXAS REDBUD
	PURPLE ROBE LOCUST
FRUIT TREES	
	CHICAGO HARDY FIG
	CRESTHAVEN PEACH
	METHLEY PLUM
	WONDERFUL POMEGRANATE
SHRUBS	
	ARP ROSEMARY
	BLUE DWARF SCOTCH PINE
	BUFFALO JUNIPER
	DORMAN RED THORNLESS RASPBERRY
	DWARF GOLDEN ALPINE CURRANT
	FERNBUSH
	GROSSO LAVENDER
	HOT RASPBERRY BUTTERFLY BUSH
	LITTLE LEAF MOUNTAIN MAHOGANY
DESERT ACCENTS	
	BEARGRASS
	BRAKELIGHTS RED YUCCA
	ENGMANN PRICKLY PEAR
	TWISTLEAF YUCCA
PERENNIALS	
	CHOCOLATE FLOWER
	DESERT BEARDTONGUE
	SISKIYOU PINK GAURA
	ULTRA VIOLET AUTUMN SAGE
	YERBA MANSa
VINES	
	HIMROD GRAPE
ORNAMENTAL GRASSES	
	'BLONDE AMBITION' BLUE GRAMA
	DEER GRASS

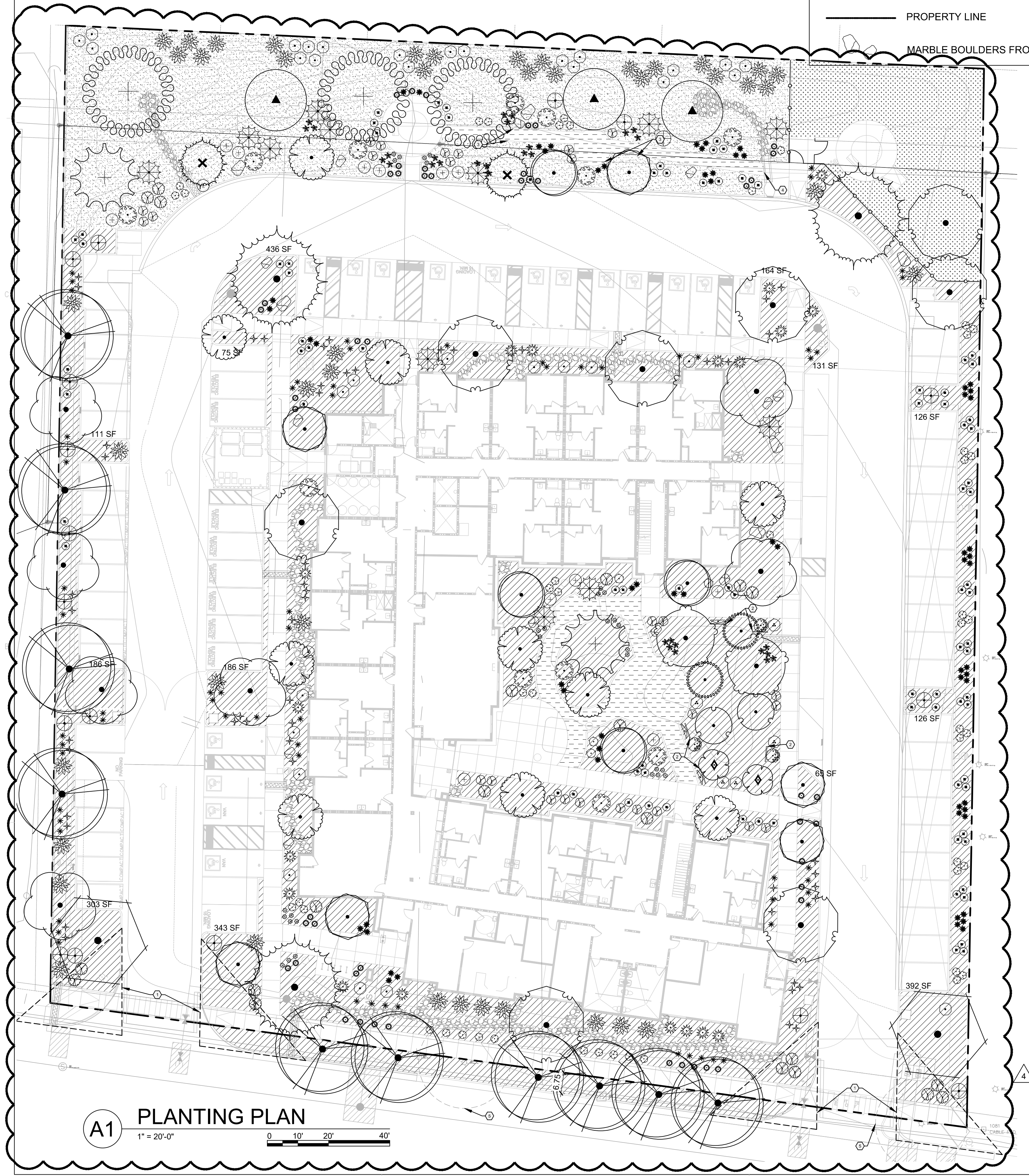
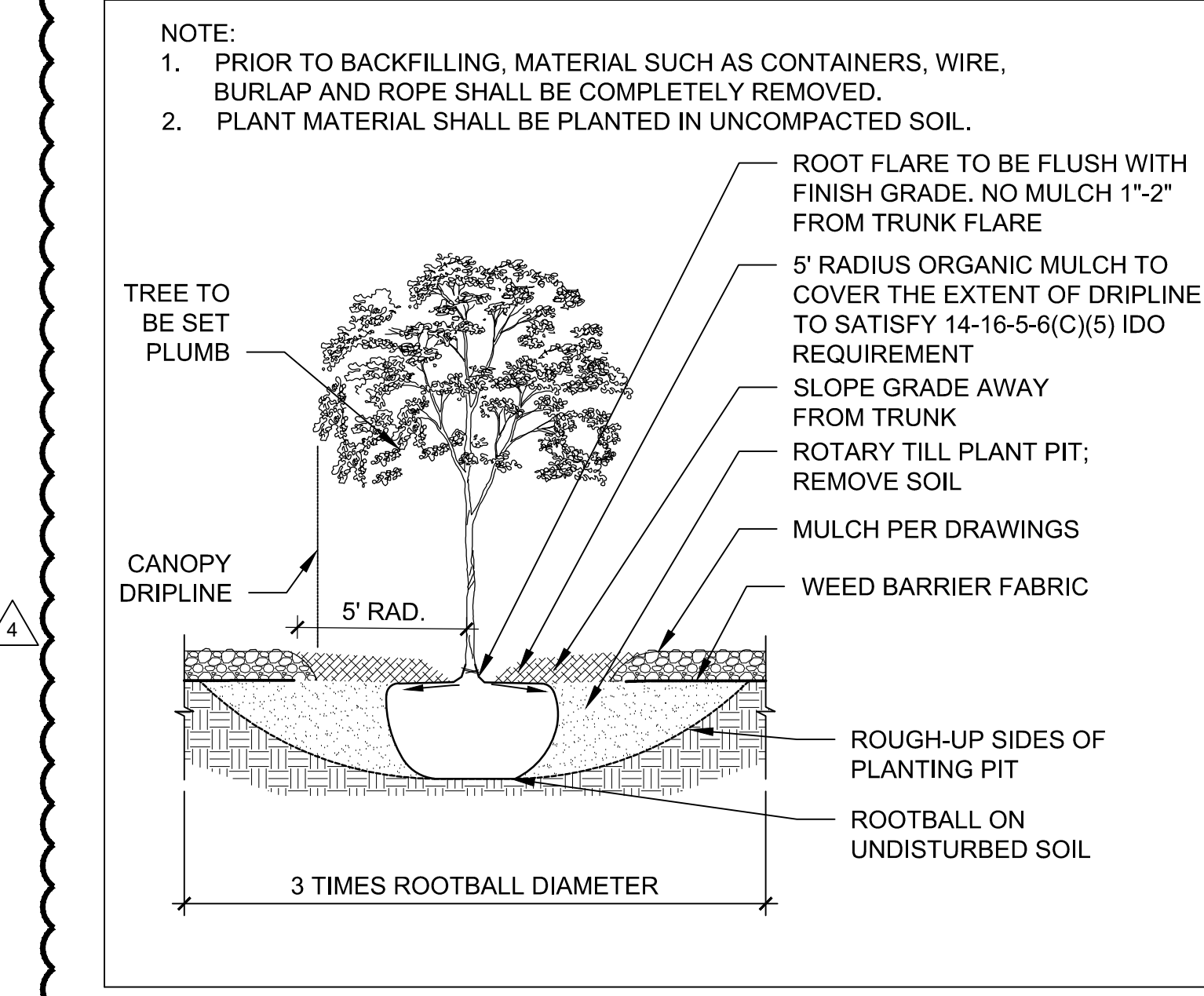
SHEET KEYED NOTES

- | CODE | DESCRIPTION |
|------|--|
| 1 | CLEAR SIGHT TRIANGLE; LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE. |
| 2 | HIMROD GRAPES AND THORNLESS RASPBERRIES MUST BE PLANTED ALONG TRELIS SYSTEM. SEE C1/LP501 |
| 3 | STEEL EDGING ALONG PATH. SEE SPECS. |
| 4 | CRUSHER FINE TRAIL MUST GRADUALLY TRANSITION TO EDGE OF CONCRETE TO ENSURE ACCESSIBLE ROUTE. |
| 5 | REQUIRED 15' RADIUS FROM LIGHT POLE |

LEGEND

SYMBOL	NOTES	EST QTY
	7/8"Ø ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC. COLOR: SANTA FE BROWN AVAILABLE FROM BUILDODOLOGY	21,550 SF
	UNIRRIGATED SANTA FE TRAIL SEED MIX SEEDING RATE 2 LBS / 1000 SF AVAILABLE FROM CURTIS AND CURTIS SEED	10,554 SF
	SCREENED TREE MULCH, 3" DEPTH. AVAILABLE FROM BARELAS LANDSCAPING MATERIALS	5,416 SF
	SEE CIVIL FOR STORMWATER INFRASTRUCTURE	
	STABILIZED CRUSHER FINES EXCLUDED FROM LANDSCAPE AREA CALCULATIONS. SEE SITE PLAN BASIS OF DESIGN: SANTA FE BROWN THROUGH BUILDODOLOGY, SEE E3 & E4/AS501	1,762 SF
	DOG PARK: SHREDDED WOOD MULCH, PLAYGROUND MULCH FROM SOLUTIONS, 6" DEPTH	2,791 SF
	PROPERTY LINE	
	MARBLE BOULDERS FROM JPR GRAVEL	EST QTY 19

TREE PLANTING DETAIL



A1 PLANTING PLAN
1" = 20'-0"

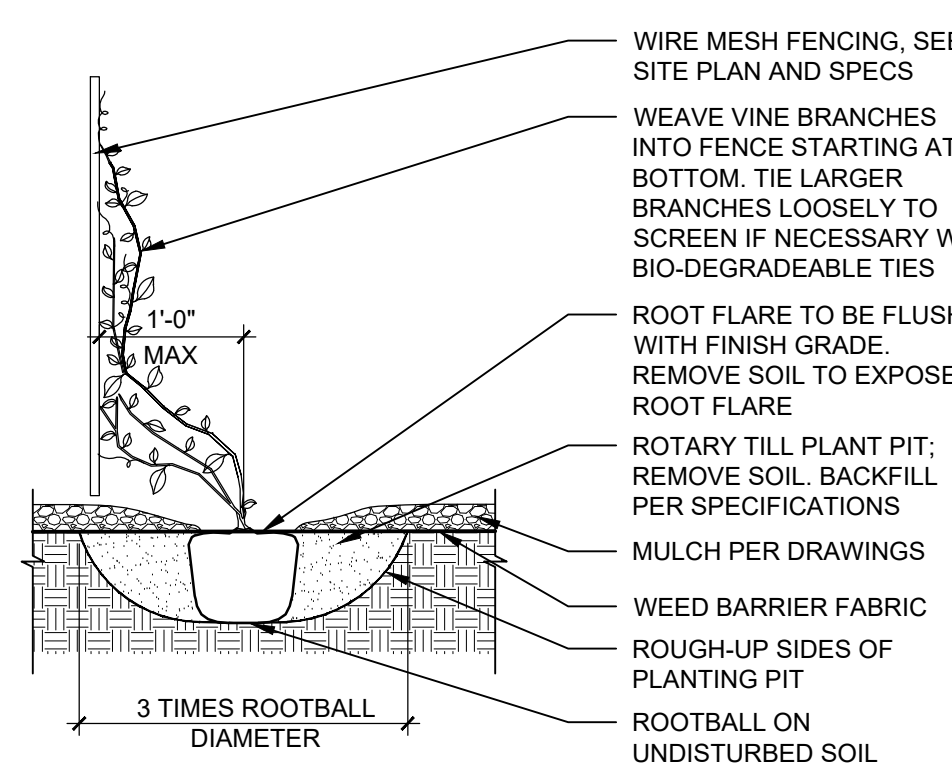
LANDSCAPE MATERIALS

SYMBOL	NOTES	EST QTY
	7/8"Ø ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC BASIS. COLOR: SANTA FE BROWN AVAILABLE FROM BUILDODOGY	21,550 SF
	UNIRRIGATED SANTA FE TRAIL SEED MIX SEEDING RATE 2 LBS / 1000 SF AVAILABLE FROM CURTIS AND CURTIS SEED	10,554 SF
	SCREENED TREE MULCH, 3" DEPTH, AVAILABLE FROM BARELAS LANDSCAPING MATERIALS	5,416 SF
	SEE CIVIL FOR STORMWATER INFRASTRUCTURE	
	STABILIZED CRUSHER FINES EXCLUDED FROM LANDSCAPE AREA CALCULATIONS. SEE SITE PLAN. BASIS OF DESIGN: SANTA FE BROWN THROUGH BUILDODOGY, SEE E3 & E4/AS501	1,762 SF
	DOG PARK: SHREDDED WOOD MULCH, PLAYGROUND MULCH FROM SOILUTIONS, 6" DEPTH	2,791 SF
BOULDERS: MARBLE BOULDER, AVAILABLE FROM JPR GRAVEL BOULDERS TO BE SELECTED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE SEE DETAIL B1/LP501		
	4'x4' BOULDER	6 EA
	3'x3' BOULDER	13 EA

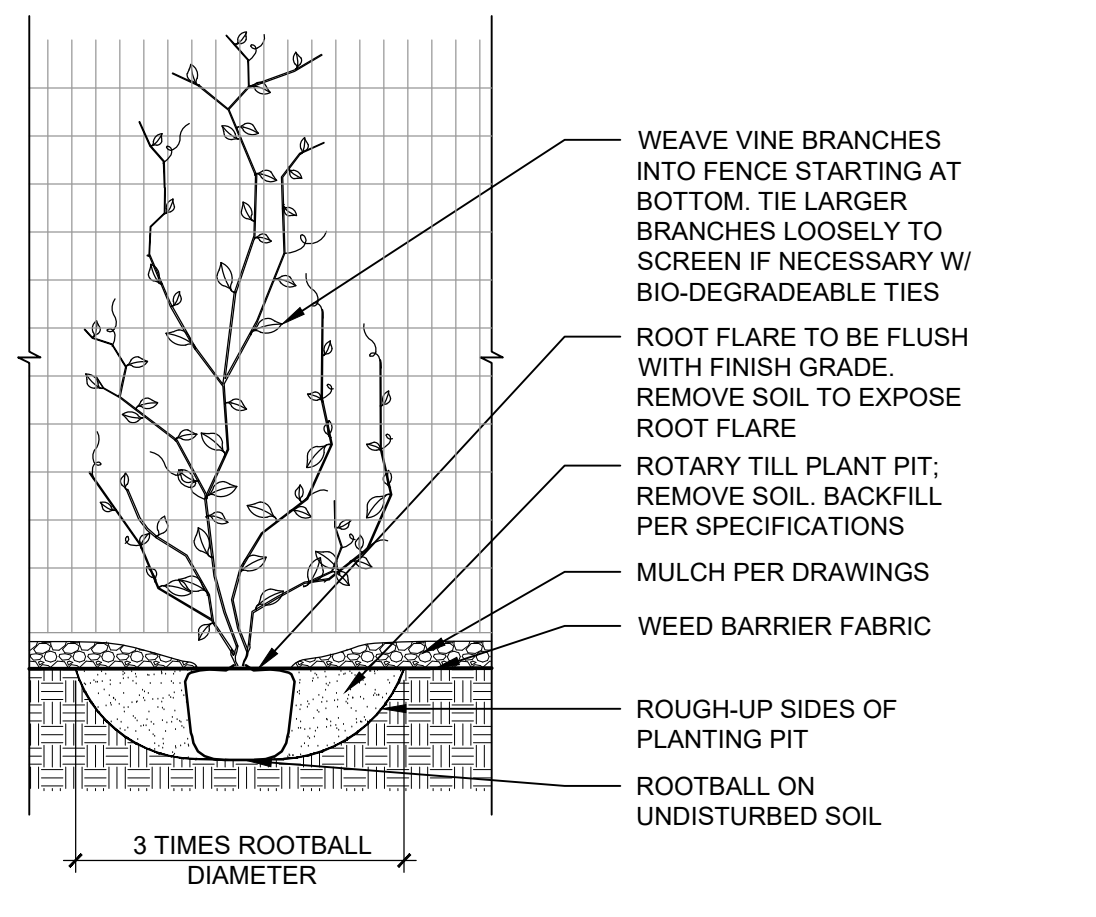
PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.	WATER USE
TREES SEE A2/LP501							
	3	ACER GRANDIDENTATUM	BIGTOOTH MAPLE	2" CAL	50.00	40.00	LOW
	3	CRATAEGUS AMBIGUA	RUSSIAN HAWTHORN	2" CAL	20.00	20.00	LOW
	10	SEE A3/LP501 FORESTIERA NEOMEXICANA	NEW MEXICO OLIVE	24" BOX, MULTI-TRUNK	15.00	15.00	MED
	8	SEE A2/LP501 FRAXINUS AMERICANA 'URBANITE'	URBANITE AMERICAN ASH	2" CAL.	45.00	30.00	MED
	3	KOELREUTERIA ELEGANS	GOLDEN RAIN TREE	15 GAL	35.00	40.00	MED
	2	PISTACIA CHINENSIS	CHINESE PISTACHE	2" CAL.	40.00	35.00	MED
	10	ULMUS X 'ACCOLADE'	ACCOLADE ELM	2" CAL	50.00	40.00	MED
EVERGREEN TREES SEE A2/LP501							
	2	PINUS ELDARICA	AFGHAN PINE	6' HT.	35.00	20.00	LOW
	2	PINUS PINEA	ITALIAN STONE PINE	6' HT.	50.00	25.00	MED
FLOWERING TREES SEE A2/LP501							
	4	CERCIS CANADENSIS TEXENSIS 'OKLAHOMA'	OKLAHOMA TEXAS REDBUD	2" CAL. B&B	15.00	15.00	LOW
	6	CHILOPSIS LINEARIS 'BUBBA'	BUBBA DESERT WILLOW	24" BOX MULTI-TRUNK, 3 TRUNK MIN.	20.00	20.00	LOW
	7	ROBINIA PSEUDOACACIA 'PURPLE ROBE'	PURPLE ROBE LOCUST	2" CAL.	35.00	25.00	LOW
FRUIT TREES SEE A3/LP501							
	2	FICUS CARICA 'CHICAGO HARDY'	CHICAGO HARDY FIG	15 GAL	15.00	12.00	MED
	2	PRUNUS PERSICA 'CRESTHAVEN'	CRESTHAVEN PEACH	2" CAL	15.00	15.00	MED
	2	PRUNUS SALICINA 'METHLEY'	METHLEY PLUM	15 GAL	20.00	20.00	MED
	2	PUNICA GRANATUM 'WONDERFUL'	WONDERFUL POMEGRANATE	15 GAL	10.00	10.00	MED
SHRUBS SEE A1/LP501							
	4	BUDDLEJA X 'HOT RASPBERRY'	HOT RASPBERRY BUTTERFLY BUSH	5 GAL	4.00	3.50	MED
	18	CERCOCARPUS INTRICATUS	LITTLE LEAF MOUNTAIN MAHOGANY	5 GAL	8.00	5.00	LOW
	12	CHAMAEBATIARIA MILLEFOLIUM	FERNBUSH	5 GAL	6.00	6.00	LOW
	21	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	5 GAL	1.50	5.00	LOW
	27	LAVANDULA X INTERMEDIA 'GROSSO'	GROSSO LAVENDER	5 GAL	3.00	3.00	LOW
	12	PINUS SYLVESTRIS 'GLAUCANA NANA'	BLUE DWARF SCOTCH PINE	15 GAL	10.00	10.00	MED
	5	RIBES ALPINUM 'AUREUM'	DWARF GOLDEN ALPINE CURRANT	5 GAL	3.00	4.00	MED
	13	ROSMARINUS OFFICINALIS 'ARP'	ARP ROSEMARY	5 GAL	3.50	4.00	LOW
	3	RUBUS X 'DORMAN RED'	DORMAN RED THORNLESS RASPBERRY	5 GAL	5.00	4.00	MED
DESERT ACCENTS SEE B2/LP501							
	51	HESPERALOE PARVIFLORA 'BRAKELIGHTS'	BRAKELIGHTS RED YUCCA	5 GAL	2.50	2.50	LOW
	44	NOLINA MICROCARPA	BEARGRASS	5 GAL	5.00	5.00	LOW
	35	OPUNTIA ENGELMANNII	ENGELMANN PRICKLY PEAR	5 GAL	4.00	6.00	LOW
	64	YUCCA PALLIDA	TWISTLEAF YUCCA	5 GAL	2.00	3.00	LOW
PERENNIALS SEE A1/LP501							
	31	ANEMOPSIS CALIFORNICA	YERBA MANSA	1 GAL	1.50	2.00	MED
	30	BERLANDIERA LYRATA	CHOCOLATE FLOWER	1 GAL	1.50	1.50	LOW
	62	GAURA LINDHEIMERI 'SISKIYOU PINK'	SISKIYOU PINK GAURA	1 GAL	2.50	2.50	MED
	47	PENSTEMON PSEUDOSPECTABILIS	DESERT BEARDTONGUE	5 GAL	2.00	2.00	LOW
	47	SALVIA GREGGII 'ULTRA VIOLET'	ULTRA VIOLET AUTUMN SAGE	1 GAL	1.50	2.50	LOW
VINES SEE C1/LP501							
	3	VITIS LABRUSCA 'HIMROD'	HIMROD GRAPE	5 GAL	15.00	10.00	MED
ORNAMENTAL GRASSES SEE A1/LP501							
	86	BOUTELLOUA GRACILIS 'BLONDE AMBITION'	'BLONDE AMBITION' BLUE GRAMA	5 GAL	2.50	2.50	LOW
	18	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	4.00	4.00	LOW

NOTES:
1. PRIOR TO BACKFILLING, MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.

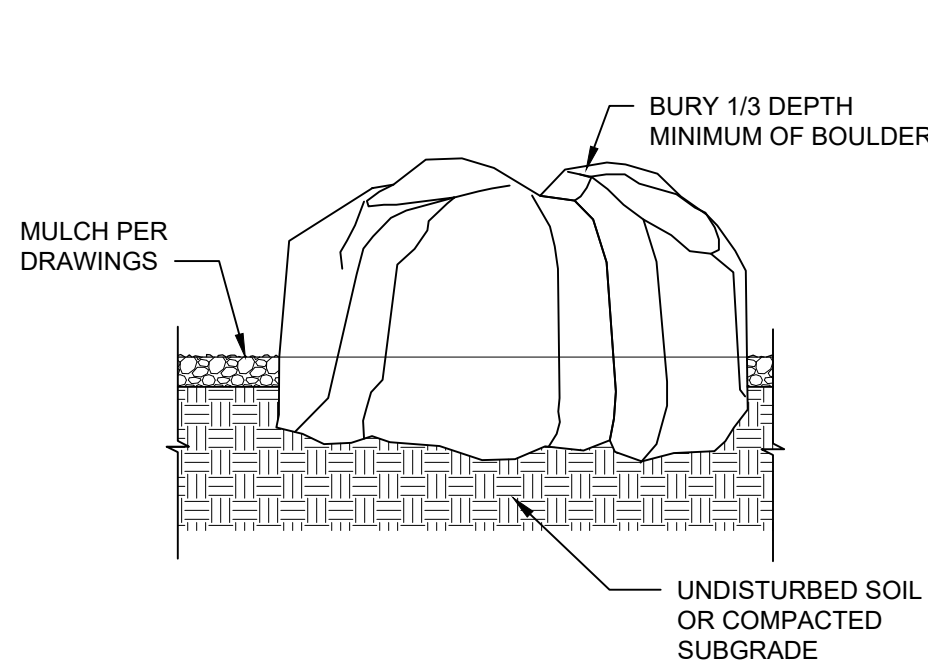


C1 VINE PLANTING
3/4" = 1'-0"

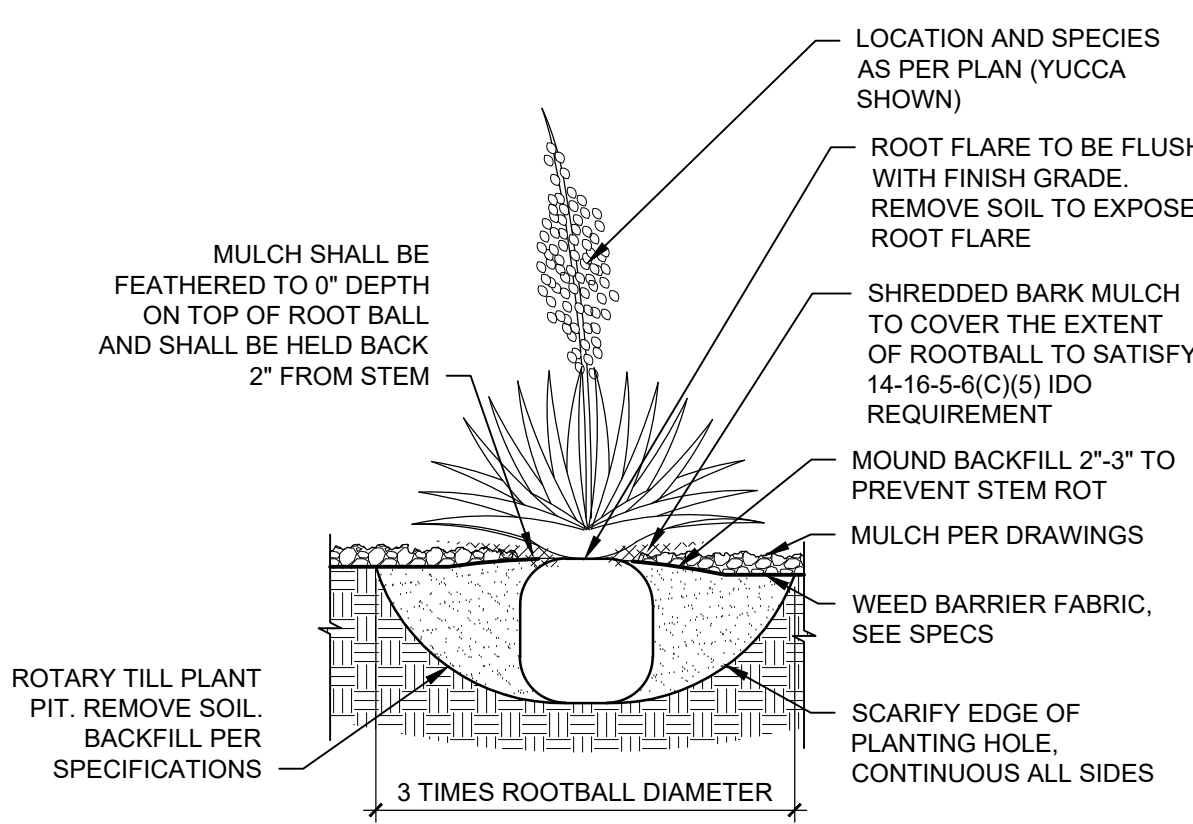


B2 DESERT ACCENT PLANTING
3/4" = 1'-0"

NOTES:
1. BOULDER SELECTION AND PLACEMENT SHALL BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
2. BOULDER SIZES:

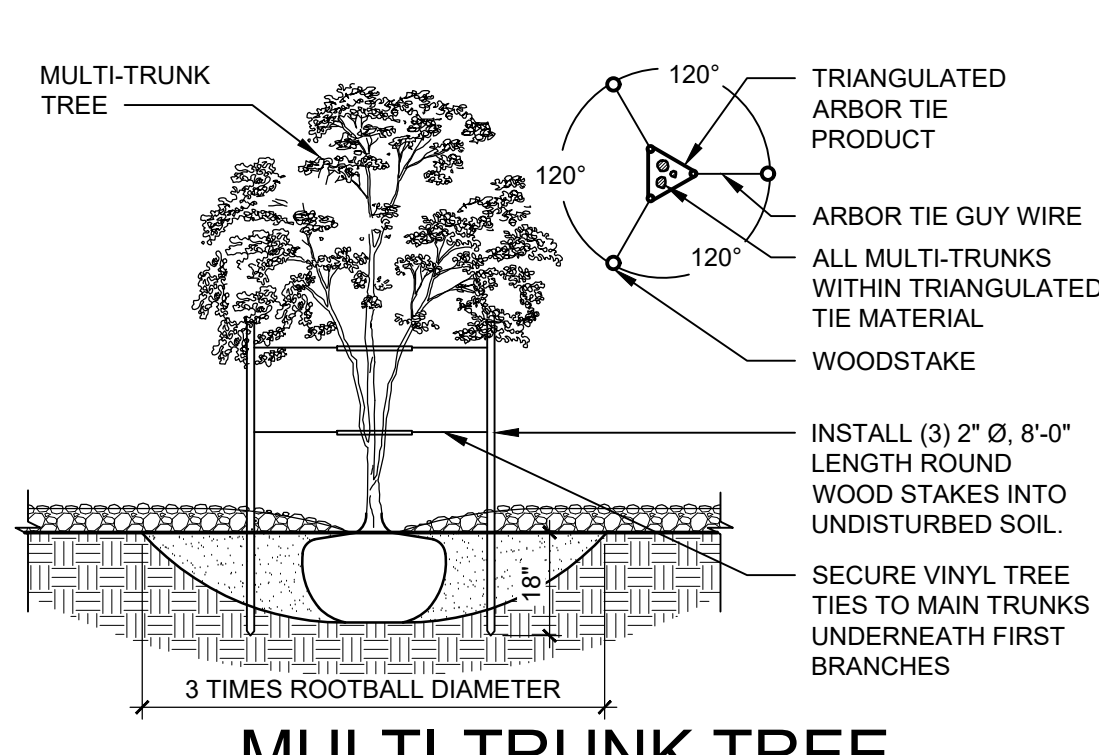


B1 BOULDER
3/4" = 1'-0"



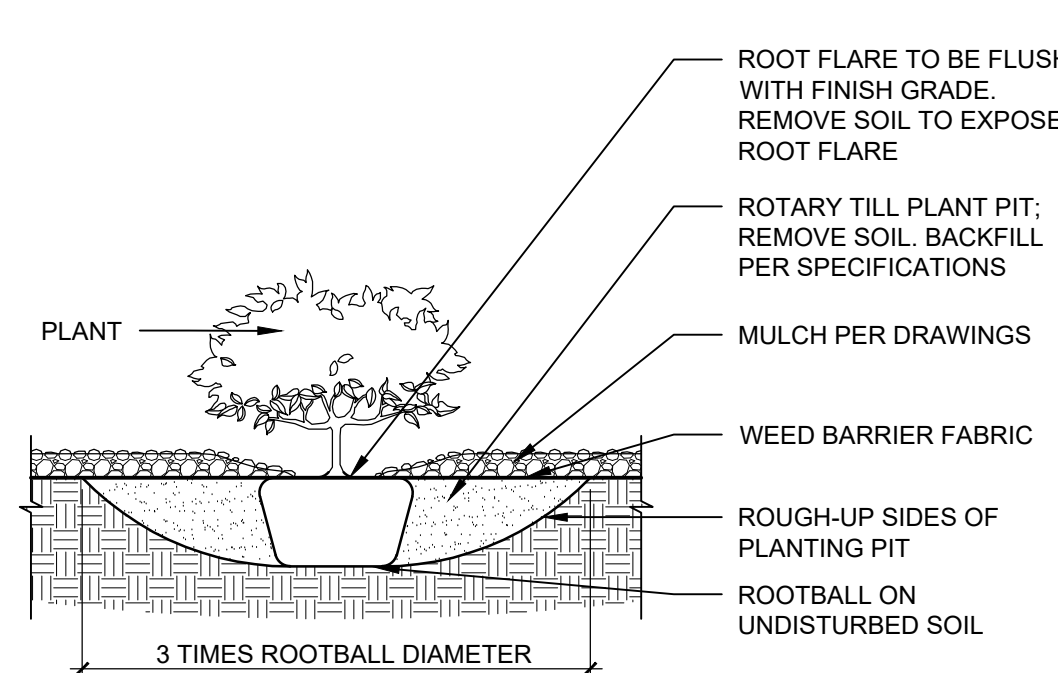
A2 TREE IN PLANTING BED
3/4" = 1'-0"

NOTES:
1. VINYL TREE TIES TO BE CINCH-TIE 3/2" OR APPROVED EQUAL, AVAILABLE FROM V.I.T. PRODUCTS - 800-728-1314.
2. STAKING TO BE REMOVED AT THE END OF WARRANTY PERIOD.



A3 MULTI-TRUNK TREE STAKING DETAIL
1/2" = 1'-0"

NOTES:
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.



A1 SHRUB IN BED
3/4" = 1'-0"

DEKKER
PERICH
SABATINI

Architecture
in Progress



SEAL

PROJECT

FAROLITO SENIOR COMMUNITY

10501 CENTRAL AVENUE NE
ALBUQUERQUE, NM 87123

ISSUED FOR
PERMIT

REVISIONS

NO.	DATE	DESCRIPTION
1	9/22/23	ADD 001
2	10/30/2023	ADD 003
3	11/17/2023	ADD 004

DRAWN BY

EH/TC

REVIEWED BY

CM

DATE

09/01/2023

PROJECT NO.

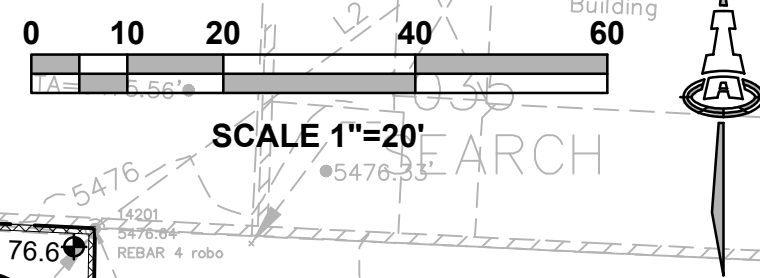
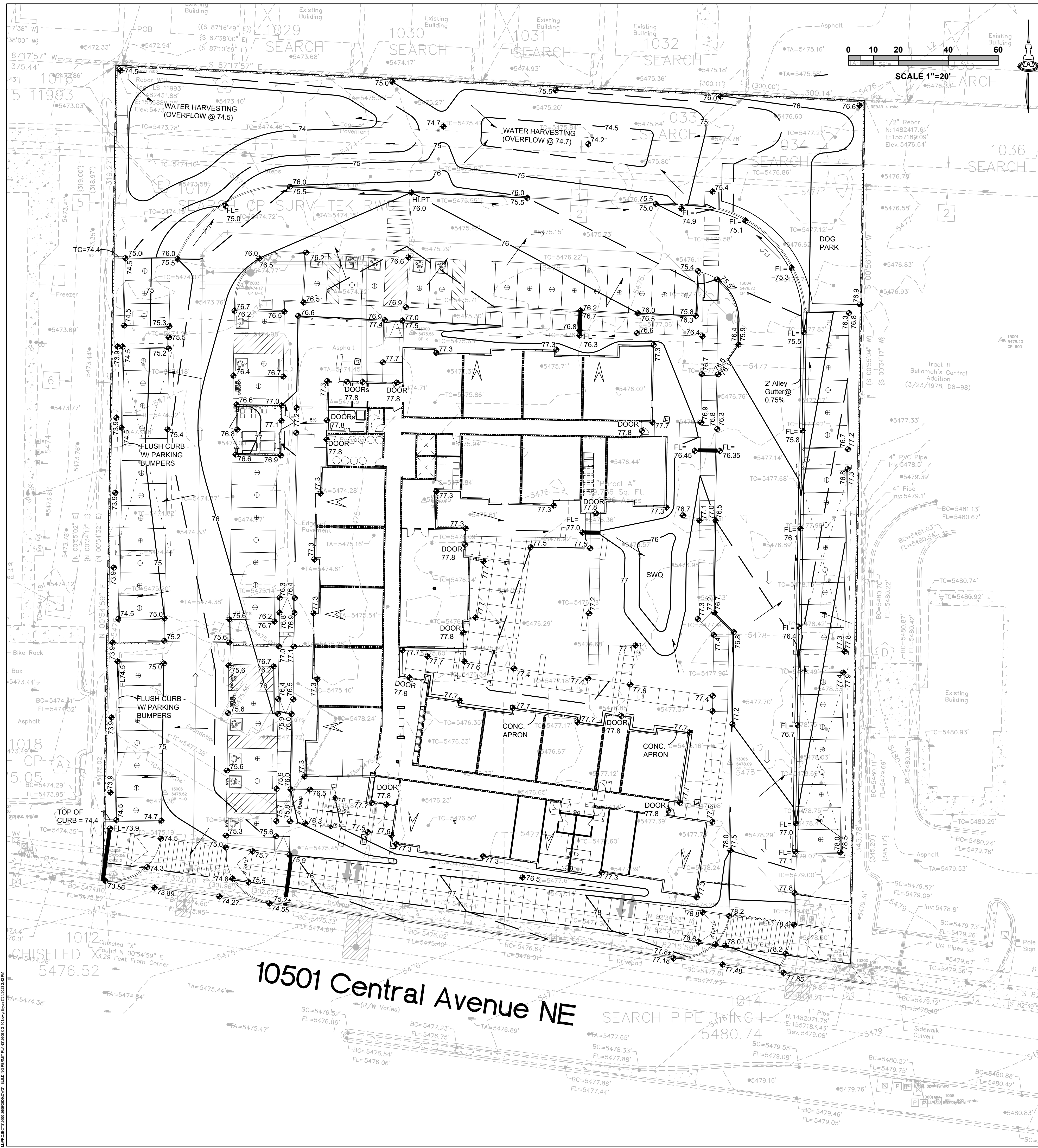
22-0083

DRAWING NAME

PLANTING DETAILS

SHEET NO.

LP501



STORMWATER QUALITY

STORMWATER QUALITY CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF "FIRST FLUSH".

REDEVELOPMENT: THIS SITE WAS PREVIOUSLY FULLY DEVELOPED. REDEVELOPMENT IS SUBJECT TO A REDUCED STORMWATER QUALITY VOLUME REQUIREMENT OF 0.26"/SF OF IMPERVIOUS AREA.

THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 70% OF TOTAL AREA. (0.70 * 101930) = 69,815 SF. THE REQUIRED FIRST FLUSH RETENTION VOLUME = 0.26"/12" TYPE 'D' AREA = 1,513 CF.

STORMWATER QUALITY RETENTION WILL BE PROVIDED AS POSSIBLE. FINAL LOCATIONS AND VOLUMES WILL BE PROVIDED AS PART OF BUILDING PERMIT CONSTRUCTION DOCUMENTS.

IF NECESSARY, A "PAYMENT IN-LIEU FOR STORMWATER QUALITY VOLUME REQUIREMENT" TREASURY DEPOSIT SLIP WILL BE PROVIDED BY C.O.A. HYDROLOGY BASED ON THE PORTION OF STORMWATER QUALITY VOLUME THAT IS NOT RETAINED ON-SITE. A COPY OF THE PAID RECEIPT WILL BE REQUIRED PRIOR TO BUILDING PERMIT APPROVAL.

ADA COMPLIANCE

SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%

ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%).

ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

LEGEND

- 5478 --- EXISTING CONTOUR
- 5478.21 EXISTING SPOT ELEVATION
- 77 --- PROPOSED 1.0' CONTOUR
- 77.5 --- PROPOSED 0.5' CONTOUR
- ◆ 77.0 PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- FF = 5479.00 FINISH FLOOR ELEVATION



C.O.A VICINITY MAP L-21



PROJECT INFORMATION

PROPERTY: THE PROPERTY IS A PREVIOUSLY DEVELOPED COMMERCIAL PROPERTY BOUNDED ON THE NORTH BY SINGLE FAMILY RESIDENTIAL, TO THE EAST AND WEST BY DEVELOPED COMMERCIAL PROPERTY, AND TO THE SOUTH BY CENTRAL AVENUE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE CONSTRUCTION OF MULTI-FAMILY HOUSING WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LOT SIZE: 2.2896 ACRES ±

LEGAL: PARCEL A AS SHOWN ON THE ORIGINAL SURVEY OF TRACT C, VIDEO ADDITION AND PARCELS OF LAND OWNED BY THE STATE OF NEW MEXICO

BENCHMARK: VERTICAL DATUM SHOWN HEREON WAS BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT "5-K20" HAVING AN ELEVATION OF 5429.995.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0359G DATED 9/26/2008, THE SITE IS LOCATED WITHIN ZONE "X", DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.

SURVEYOR: BRIAN J. MARTINEZ, CSI-CARTESIAN SURVEYS INC. P.O BOX 44414 RIO RANCHO, NEW MEXICO 87174

DRAINAGE PLAN CONCEPT: ONSITE FLOW ON THE EAST AND NORTH SIDES OF THE PROPOSED BUILDING WILL BE ROUTED NORTH TO SHALLOW (6") WATER HARVESTING (STORMWATER QUALITY) BASINS ON THE NORTH END OF THE PROPERTY WHICH IS INTENDED TO BE USED AS A NATURAL AREA FOR PLANTS, ANIMALS, AND INSECTS.

ONSITE FLOW ON THE WEST SIDE OF THE PROPOSED BUILDING WILL BE DIRECTED TO A SHALLOW STORMWATER QUALITY POND ALONG THE WEST PROPERTY LINE.

A PORTION OF ROOF FLOW TO THE SOUTH SIDE OF THE PROPOSED BUILDING WILL BE DIRECTED TO A COVERED SIDEWALK CULVERT TO CENTRAL AVE.

ONCE THE STORMWATER QUALITY / WATER HARVESTING BASINS FILL, EXCESS STORMWATER WILL BE RELEASED TO CENTRAL AVE. VIA A NEW COVERED SIDEWALK CULVERT AT THE SW CORNER OF THE PROPERTY.

TOTAL DISCHARGE FROM THE SITE WILL BE LESS THAN HISTORIC DUE TO A REDUCTION OF IMPERVIOUS AREA AS WELL AS THE ADDITION OF ONSITE WATER HARVESTING.

Isaacson & Arman, Inc.
Civil Engineering Consultants

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7322
CONCEPTUAL DESIGN
NOT FOR CONSTRUCTION

07/21/2023

Engineer

FAROLITO SENIOR COMMUNITY
10501 CENTRAL AVE. NE

CALCULATIONS: Farolito Senior Community : July 21, 2023
Based on City of Albuquerque DMP, Article 6-2 Hydrology dated June 26, 2020

100-YEAR, 6-HOUR CALCULATIONS

AREA OF SITE:	99735.6859 SF	= 2.29 ACRE	
---------------	---------------	-------------	--

Area	Historic Flows:		Developed Flows:		EXCESS PRECIP:
	Treatment SF	%	Treatment SF	%	
Area A	0	0%	0	0%	Ea = 0.67
Area B	0	0%	0	0%	Eb = 0.86
Area C	14960	15%	29921	30%	Ec = 1.09
Area D	84775	85%	69815	70%	Ed = 2.58
Total Area	99736	100%	99736	100%	

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)
Weighted E = $\frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$

Historic E	= 2.36 in.	Developed E	= 2.13 in.
------------	------------	-------------	------------

On-Site Volume of Runoff: $V_{360} = \frac{E^*A}{12}$

Historic V_{360}	= 19586 CF	Developed V_{360}	= 17728 CF
--------------------	------------	---------------------	------------

On-Site Peak Discharge Rate: $Q_p = Q_{pAa} + Q_{pAb} + Q_{pAc} + Q_{pAd} / 43,560$
For Precipitation Zone 3

Q_{pA}	= 1.84	Q_{pC}	= 3.17
Q_{pB}	= 2.49	Q_{pD}	= 4.49
Historic Q_p	= 9.8 CFS	Developed Q_p	= 9.4 CFS

DESIGN	ISSUE: DEVELOPMENT
PROJECT NUMBER: IA 2609	
FILE:	
DRAWN BY:	
CHECKED BY:	
DATE:	07/20/23

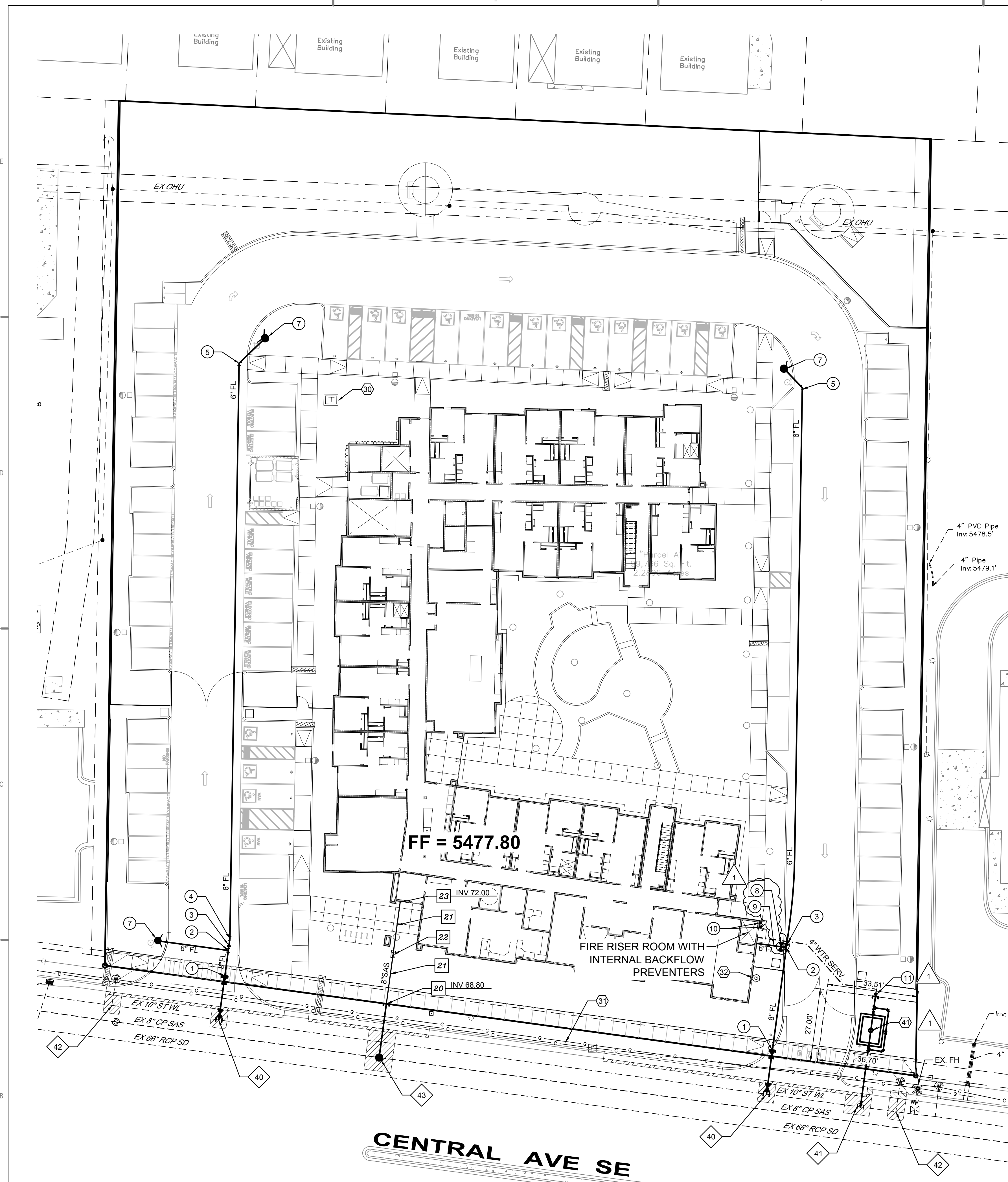
No.	Date	Description

SHEET TITLE

GRADING & DRAINAGE PLAN

SHEET NUMBER

CG-101



KEYED NOTES

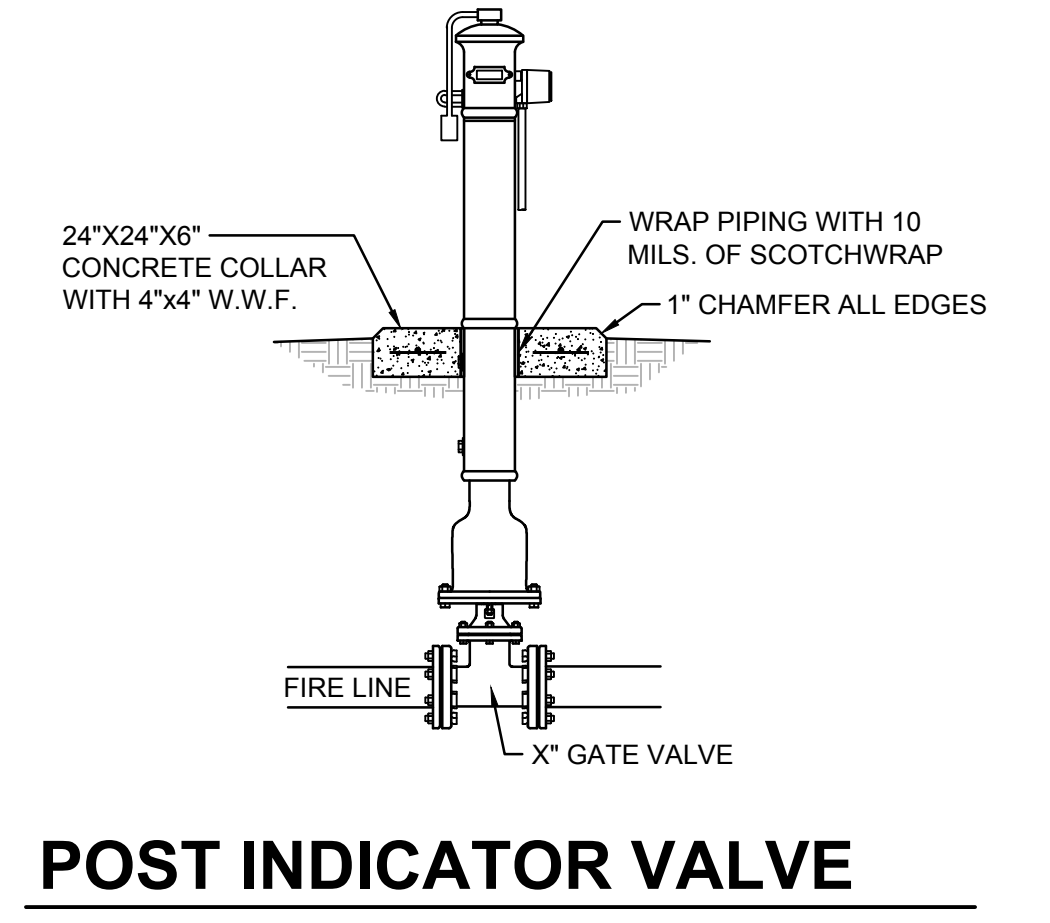
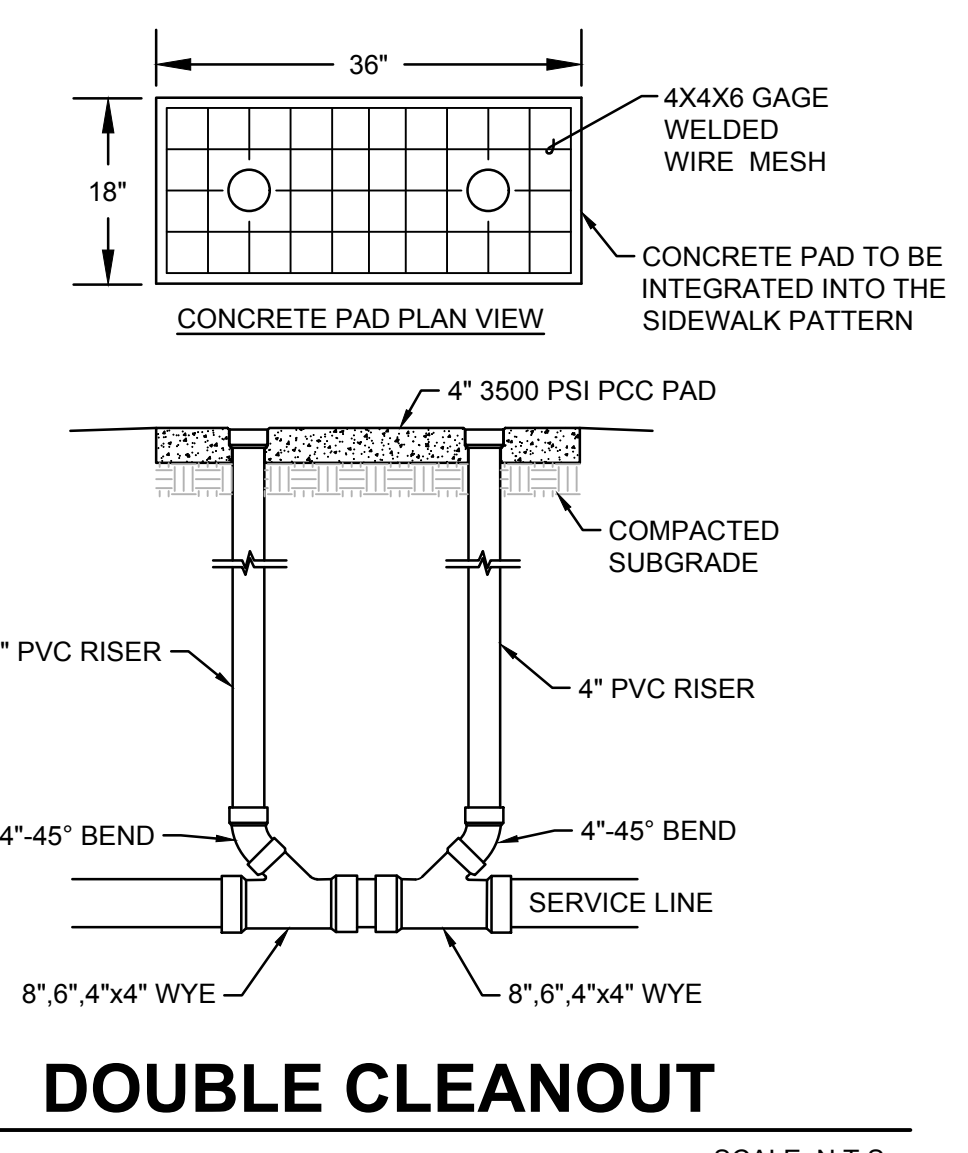
- WATER KEYED NOTES
 - REMOVE EXISTING 8" CAP AND CONNECT NEW 8" WATERLINE.
 - 8" x 6" TEE.
 - 8" x 6" REDUCER.
 - 6" - 11 1/2" BEND. (LT=3)
 - 6" - 45" BEND. (LT=9)
 - PRIVATE 6" GATE VALVE W/ BOX. (LT=48) PER ABCWUA STD DWG 2326, 2328 & 2329
 - PRIVATE FIRE HYDRANT PER ABCWUA STD DWG 2340. PAINTED SAFETY ORANGE.
 - PIV (POST INDICATOR VALVE).
 - 3/4" ELECTRICAL CONDUIT W/ PULL STRING FROM PIV TO FIRE ROOM.
 - WALL MOUNT FDC (FIRE DEPARTMENT CONNECTION).
 - REMOVE 3" CAP. INSTALL 4"x3" REDUCER AND CONNECT NEW 4" SERVICE LINE TO BUILDING.
- SEWER KEYED NOTES
 - INSTALL 4" DIA. TYPE E MANHOLE PER ABCWUA STD DWGS #2102 & #2109.
 - 8" SANITARY SEWER SERVICE AT 8.44% (2% MIN. SLOPE).
 - INSTALL DOUBLE CLEAN OUT PER DETAIL THIS SHEET.
 - SEE MECHANICAL PLAN FOR CONTINUATION. (INV.#5472.0)
- DRY UTILITY KEYED NOTES
 - PNM TRANSFORMER. OWNER / CONTRACTOR TO COMPLETE AND SUBMIT A COMMERCIAL SERVICE APPLICATION TO PNM. PNM REPRESENTATIVE TO PROVIDE ONSITE ELECTRICAL SERVICE LINE LOCATION.
 - NEW MEXICO GAS COMPANY GAS MAIN. OWNER / CONTRACTOR TO COMPLETE AND SUBMIT A COMMERCIAL SERVICE APPLICATION TO NMCGO.
 - GAS METER LOCATION TO BE DETERMINED BY OWNER AND NMCGO.
- ABCWUA CONNECTION PERMIT ITEMS (NOT PART OF THIS PLAN)
 - PUBLIC WATERLINE AND 8" GATE VALVES W/BOX. PART OF PRIVATE FIRE SUPPRESSION LINE CONNECTION TO 10" PUBLIC WATER LINE.
 - 3" METER IN VAULT.
 - REMOVE AND DISPOSE EXISTING WATER METER BOX. CLOSE CORP STOP AT MAIN.
 - 4" SANITARY SEWER MANHOLE AND NEW 8" SERVICE LINE TO ROW.

GENERAL NOTES

- A. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- B. CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- C. SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- D. ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINED JOINT CRITERIA NOTES THIS SHEET. (LT) LENGTH SHOWN ON KEYED NOTES.
- E. ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.
- F. WATERLINES 4" IN DIAMETER OR LARGER SHALL BE PVC PIPE MEETING AWWA C900 DR-18 REQUIREMENTS.
- G. SANITARY SEWER LINE MATERIALS SHALL BE PVC SDR-35 PIPE.
- H. COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
- J. COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.
- K. CONNECTION TO THE 10" STEEL LINE WILL REQUIRE ENGINEERED DETAILS ON THE CONNECTION PERMIT PLAN SUBMITTAL.
- L. ALL WORK PERFORMED ON PRIVATELY OWNED SEWER LINE AND SERVICE LINES MUST BE INSPECTED BY THE CITY OF ALBUQUERQUE'S CODE ADMINISTRATION DIVISION. IN ORDER THAT INSPECTION BY THE PLANNING DEPARTMENT, CODE ADMINISTRATION DIVISION, PLUMBING SECTION CAN BE EFFICIENTLY HANDLED, WITH A MINIMUM LOSS OF TIME TO CONTRACTOR, THE FOLLOWING SHALL BE NOTED:
 - INSPECTION ARRANGEMENTS FOR A SEWER SERVICE LINE SHALL BE MADE BY THE CONTRACTOR CALLING THE CITY OF ALBUQUERQUE, CODE ADMINISTRATION DIVISION, PLUMBING SECTION.
 - INSPECTION REQUESTS CALLED IN BETWEEN THE HOURS OF 8:00 A.M. AND 12:00 NOON WILL BE INSPECTED THE SAME AFTERNOON. INSPECTION REQUESTS CALLED IN BETWEEN THE HOURS OF 1:00 AND 5:00 P.M. WILL BE INSPECTED THE FOLLOWING MORNING, EXCEPT IN CASES OF EMERGENCY.

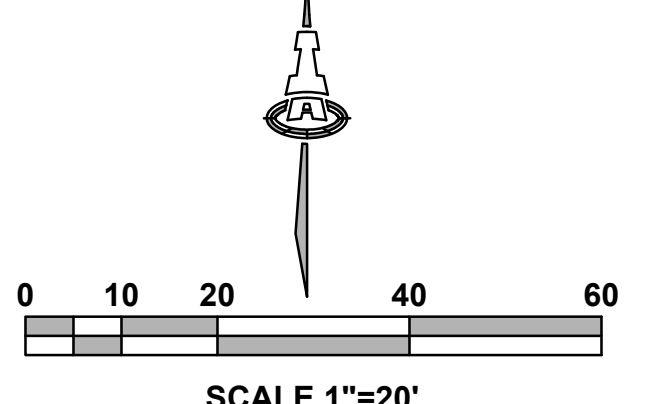
RESTRAINED JOINT CRITERIA FOR WATERLINE FITTINGS

- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTINGS PER KEYED NOTES THIS SHEET.
 - THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
 - THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT JOINTS.
- DEPTH OF BURY: 3.0 FT. MINIMUM
 FACTOR OF SAFETY: 1.5
 MATERIAL: PVC
 SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.
 TEST PRESSURE: 150 PSI
 TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.
- DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWUA.



LEGEND

---	EXISTING WATERLINE
⊗	EXISTING FIRE HYDRANT
⊗	EXISTING WATER VALVE
---	EXISTING SEWER LINE
⊗	EXISTING SEWER MANHOLE
---	NEW FIRE LINE
⊗	NEW WATER VALVE
⊗	NEW FIRE HYDRANT
⊗	NEW FDC
⊗	NEW PIV
---	NEW SEWER LINE
⊗	PUBLIC WATER VALVE
⊗	PUBLIC FIRE HYDRANT
(LT=X)	DISTANCE JOINTS TO BE RESTRAINED FROM FITTING OR VALVE



FAROLITO SENIOR COMMUNITY
 10501 CENTRAL AVENUE NE
 ALBUQUERQUE, NM 87123

ISSUED FOR PERMIT

REVISIONS

△	NOTES, MTR, 4" W SER, PIV LOC.
△	
△	
△	
△	

DRAWN BY: JTSB,BDEC
 REVIEWED BY: FCAMA
 DATE: 08/01/2023
 PROJECT NO.: IA 2609 22-0083
 DRAWING NAME: UTILITY PLAN

Isaacson & Arfman, Inc.
 Civil Engineering Consultants
 128 Monroe Street NE
 Albuquerque, NM 87108
 505-265-8828 | www.iaa.com

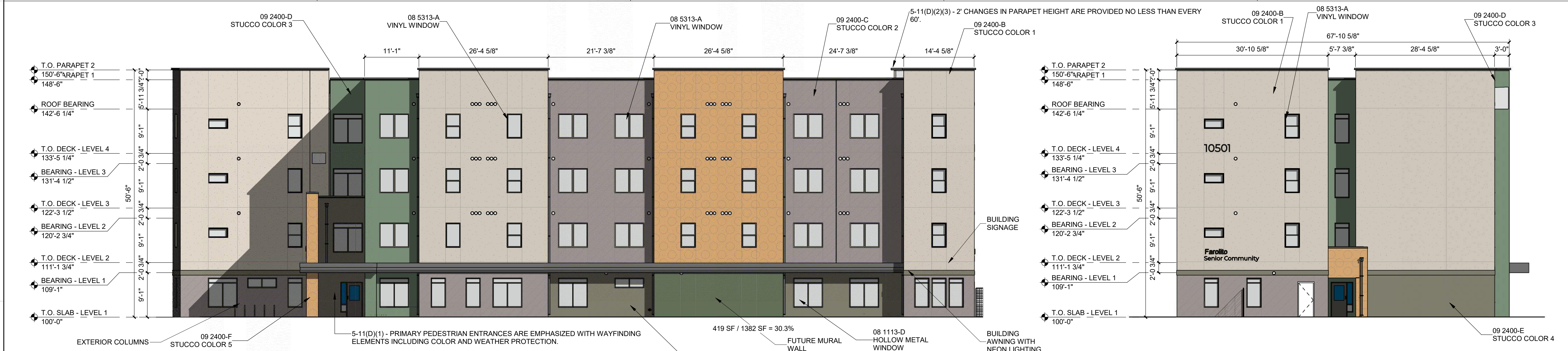
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SHEET NO. **CU101**

<p>GENERAL SHEET NOTES</p> <p>A. PAINT WALL AND ROOF MOUNTED EQUIPMENT/ITEMS THAT ARE NOT PRE-FINISHED TO MATCH COLOR OF ADJACENT SURFACE, UNLESS NOTED OTHERWISE.</p> <p>B. SEE REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.</p> <p>C. MAKE CHANGES IN FINISH COLOR AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.</p> <p>D. EXTERIOR BUILDING AREAS WILL BE ILLUMINATED WITH FIXTURES UTILIZING FULL CUT-OFF OPTICS SO AS TO MINIMIZE LIGHT POLLUTION AND TO COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT.</p> <p>E. MECHANICAL EQUIPMENT IS ROOF MOUNTED AND SCREENED FORM VIEW BY BUILDING PARAPETS.</p> <p>F. ALL WINDOWS: SOLAR HEAT GAIN COEFFICIENT (SHGC) IECC REQUIRED - .38 PROVIDED - .30 MAX</p>	<p>SHEET KEYNOTES</p>	<p>REFERENCE KEYNOTES</p> <p>08 1113-D HOLLOW METAL WINDOW 08 5313-A VINYL WINDOW 09 2400-B STUCCO COLOR 1 09 2400-C STUCCO COLOR 2 09 2400-D STUCCO COLOR 3 09 2400-E STUCCO COLOR 4 09 2400-F STUCCO COLOR 5</p>	<p>LEGEND</p> <p>STUCCO: COLOR 1 STUCCO: COLOR 2 STUCCO: COLOR 3 STUCCO: COLOR 4 STUCCO: COLOR 5</p>	<p>KEY PLAN</p>
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DEKKER PERICH SABATINI
 Architecture in Progress



SEAL

PROJECT

FAROLITO SENIOR COMMUNITY
 10501 CENTRAL AVENUE NE
 ALBUQUERQUE, NM 87123

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REVISIONS

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DRAWN BY	BH
REVIEWED BY	CWW
DATE	05/14/23
PROJECT NO.	22-0083

DRAWING NAME
EXTERIOR ELEVATIONS - SOUTH AND WEST

SHEET NO
SDP 4.1

12/29/2023 2:05:59 PM

GENERAL SHEET NOTES

A. PAINT WALL AND ROOF MOUNTED EQUIPMENT/ITEMS THAT ARE NOT PRE-FINISHED TO MATCH COLOR OF ADJACENT SURFACE, UNLESS NOTED OTHERWISE.

B. SEE REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.

C. MAKE CHANGES IN FINISH COLOR AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.

D. EXTERIOR BUILDING AREAS WILL BE ILLUMINATED WITH FIXTURES UTILIZING FULL CUT-OFF OPTICS SO AS TO MINIMIZE LIGHT POLLUTION AND TO COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT.

E. MECHANICAL EQUIPMENT IS ROOF MOUNTED AND SCREENED FORM VIEW BY BUILDING PARAPETS.

F. ALL WINDOWS: SOLAR HEAT GAIN COEFFICIENT (SHGC) IECC REQUIRED - .38 PROVIDED - .30 MAX

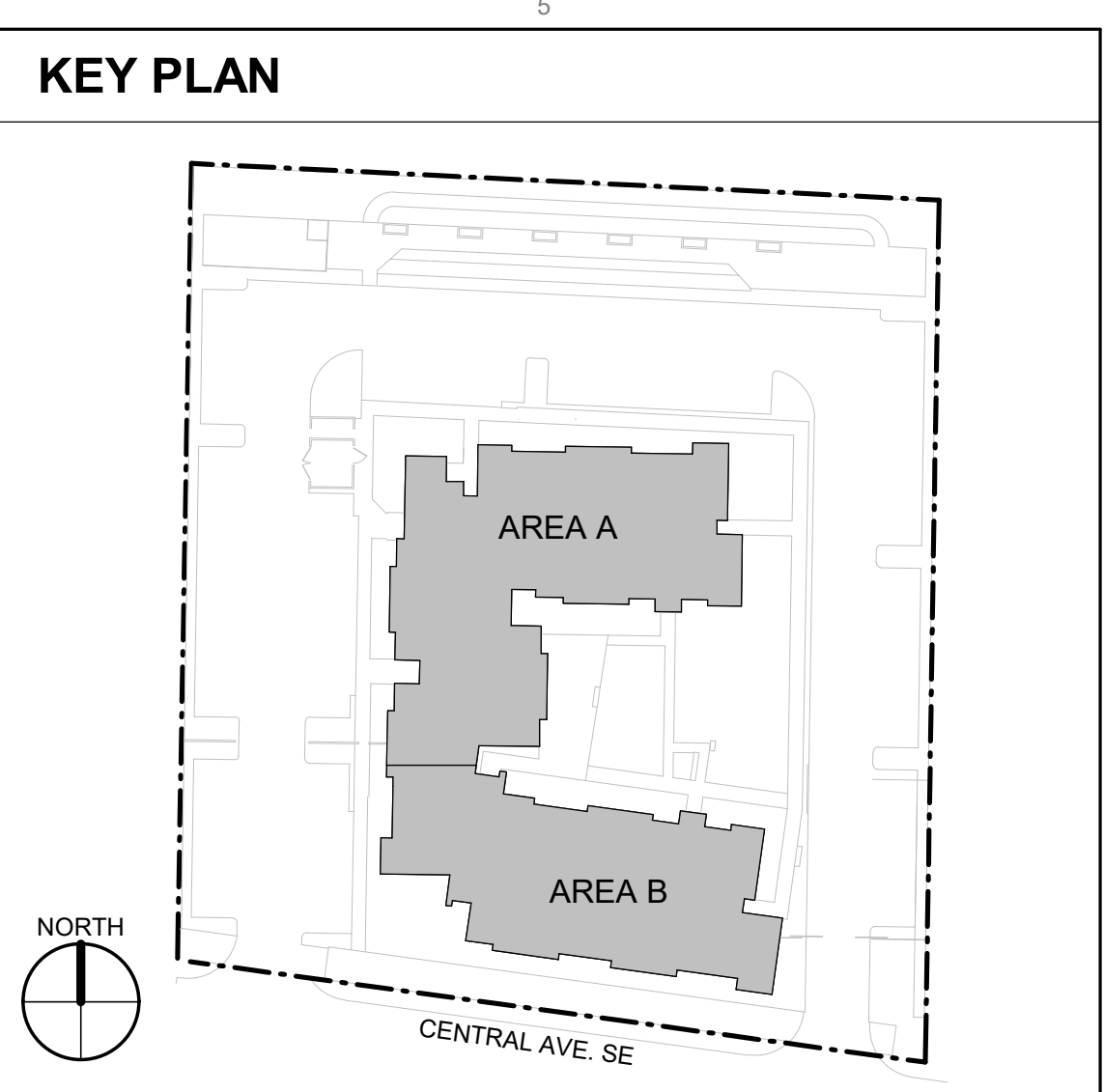
SHEET KEYNOTES

REFERENCE KEYNOTES

08 5313-A VINYL WINDOW
 09 2400-B STUCCO COLOR 1
 09 2400-C STUCCO COLOR 2
 09 2400-D STUCCO COLOR 3
 09 2400-E STUCCO COLOR 4
 09 2400-F STUCCO COLOR 5
 10 1400-C01 EXTERIOR BUILDING SIGNAGE

LEGEND

STUCCO: COLOR 1
 STUCCO: COLOR 2
 STUCCO: COLOR 3
 STUCCO: COLOR 4
 STUCCO: COLOR 5



DEKKER PERICH SABATINI

Architecture in Progress



SEAL

PROJECT

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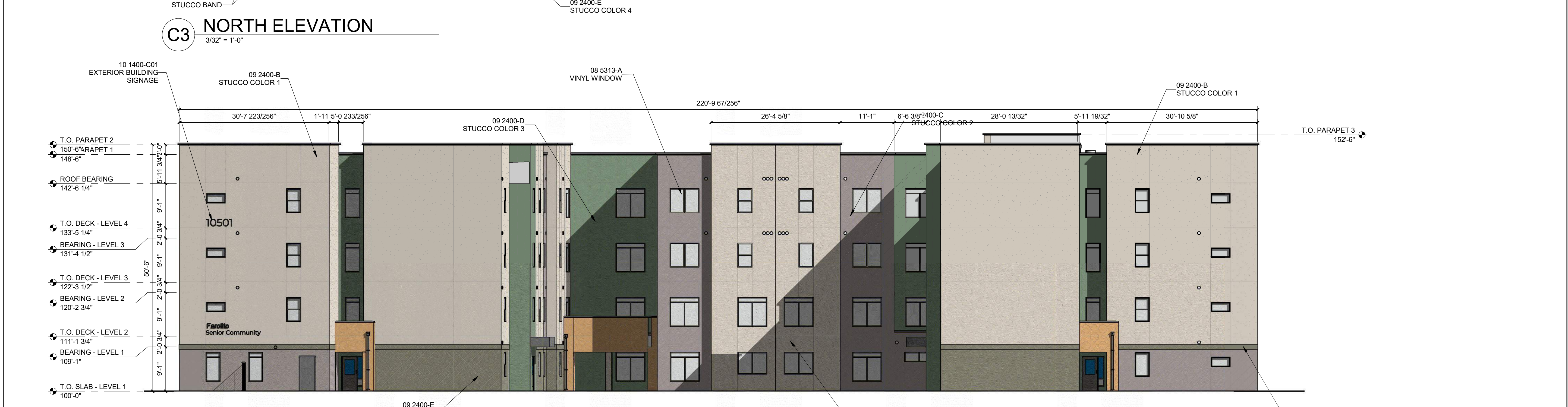
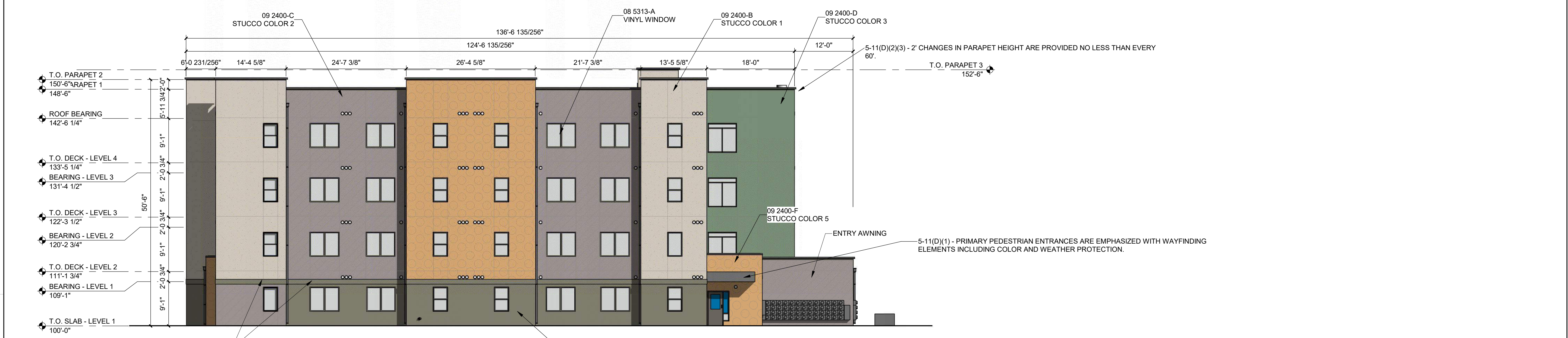
REVISIONS

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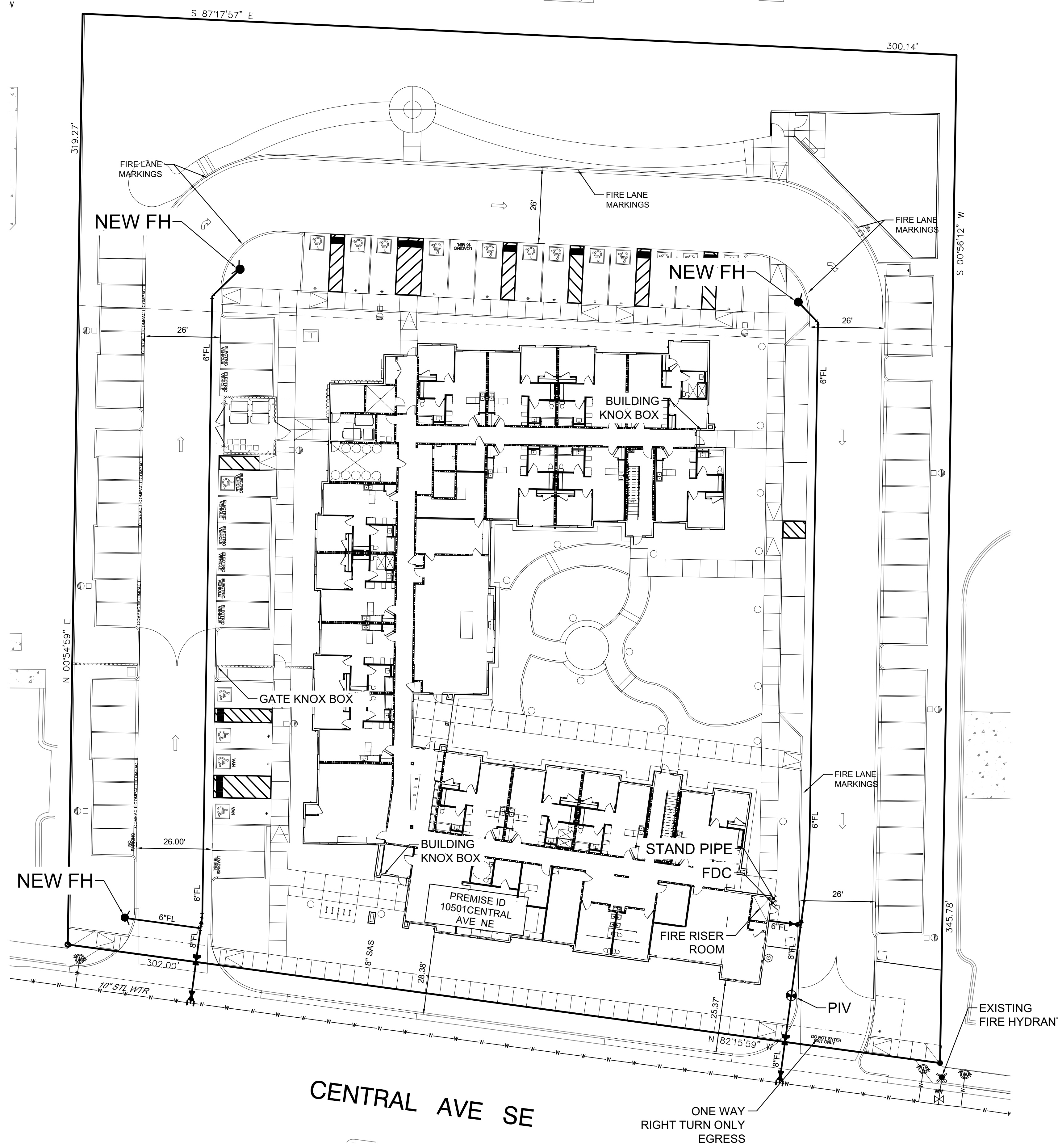
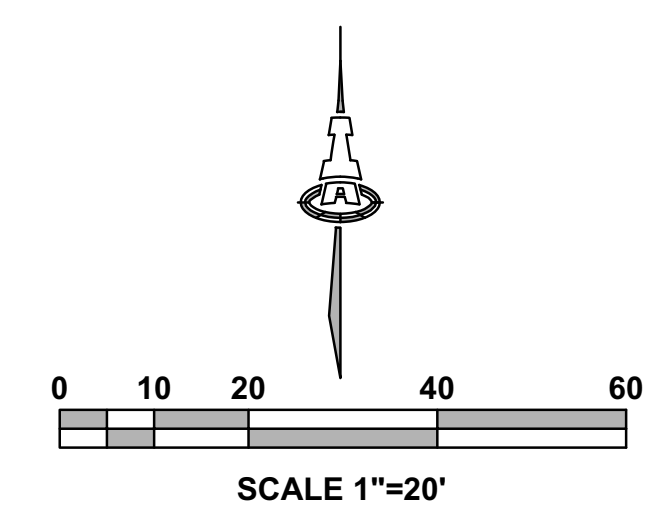
DRAWN BY BH
 REVIEWED BY CWW
 DATE 05/14/23
 PROJECT NO: 22-0083

DRAWING NAME
 EXTERIOR ELEVATIONS - NORTH AND EAST

SHEET NO
SDP 4.2



12/29/2023 2:06:12 PM



10501 CENTRAL AVE NE
 ALBUQUERQUE, NM 87123
 SENIOR LIVING COMPLEX

OCCUPANCY GROUP R-2

BUILDING IS TYPE VB
 76,639 SQ. FT.
 BUILDING IS SPRINKLED, NFPA-13-R
 FIRE FLOW IS 7,500 = 3,750 GPM.
 = 4 FIRE HYDRANTS

MAX. BUILDING HEIGHT IS 51'-6"
 STAND PIPE IS REQUIRED.
 HIGHEST 4TH FLOOR LEVEL IS 33'-6"

3 NEW FIRE HYDRANTS
 1 EXISTING FIRE HYDRANT NEAR SITE

ALL FIRE DEPARTMENT CONNECTIONS SHALL HAVE A MINIMUM DISTANCE OF 3' FROM ANY PERMANENT OBJECTS.

BUILDING TO HAVE A PREMISES ID VISIBLE FROM CENTRAL AVE

BUILDING TO HAVE KNOX BOXES AT ENTRANCES

ALL GATES ARE ELECTRICALLY OPERATED WITH A KNOX KEY SWITCH. EMERGENCY ACCESS.

ALL ACCESS ROADS AND FIRE LANES HAVE GRADES LESS THAN 10% AND A LOAD CAPACITY OF 75,000 POUNDS.

ALL ACCESS ROADS AND FIRE PATHS WILL ACCOMMODATE A 28' MINIMUM TRUCK TURNING RADIUS

FIRE APPARATUS ROADS SHALL HAVE AN UNOBSTRUCTED HEIGHT NOT LESS THAN 13'-6".

THERE ARE NO OVERHEAD OBSTRUCTIONS ON SITE TO PROHIBIT LADDER TRUCK OPERATIONS



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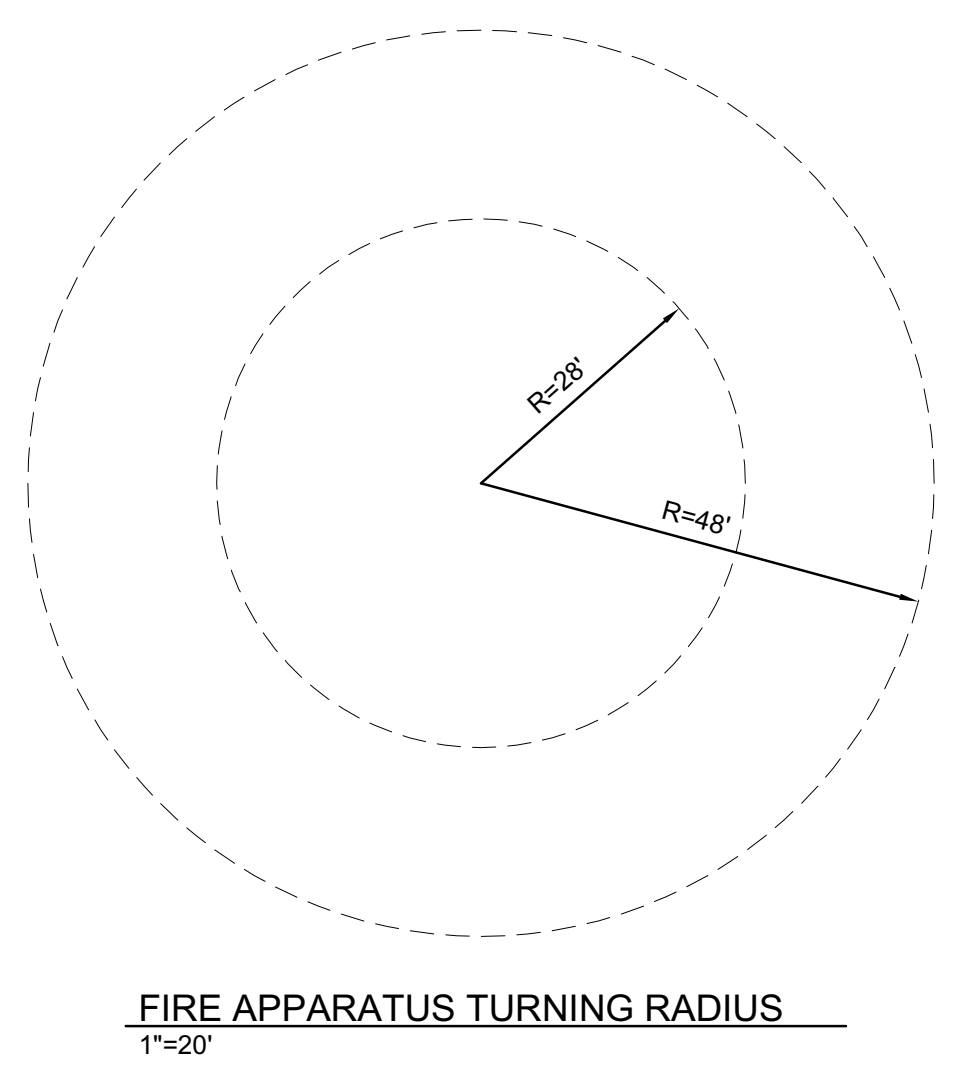
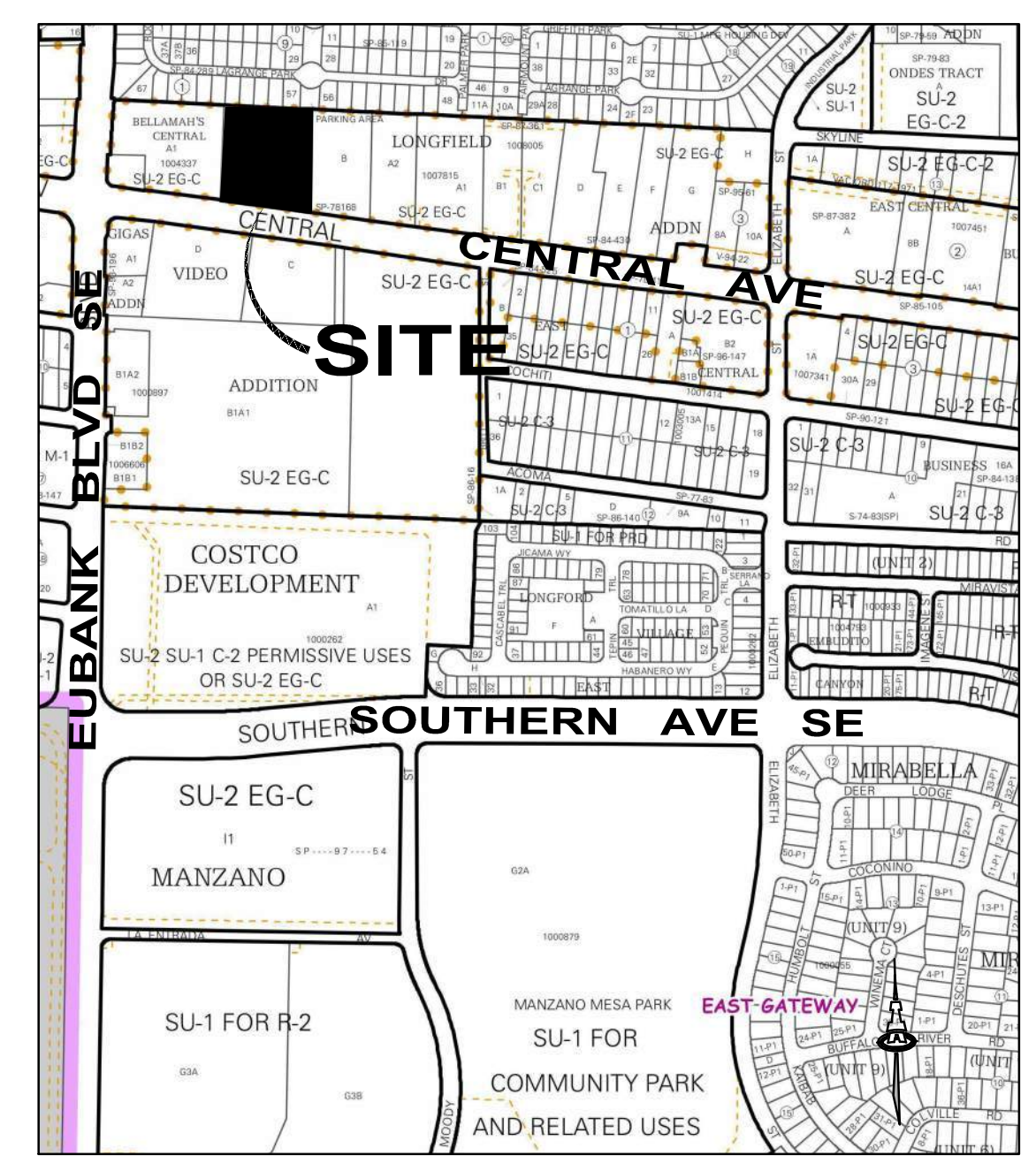
ISSUED FOR PERMIT

REVISIONS

DRAWN BY	JTS/RB/DEC
REVIEWED BY	FCAM/A
DATE	09/01/2023
PROJECT NO.	IA 2909 22-0083

DRAWING NAME
FIRE HYDRANT LOCATION & ACCESS PLAN

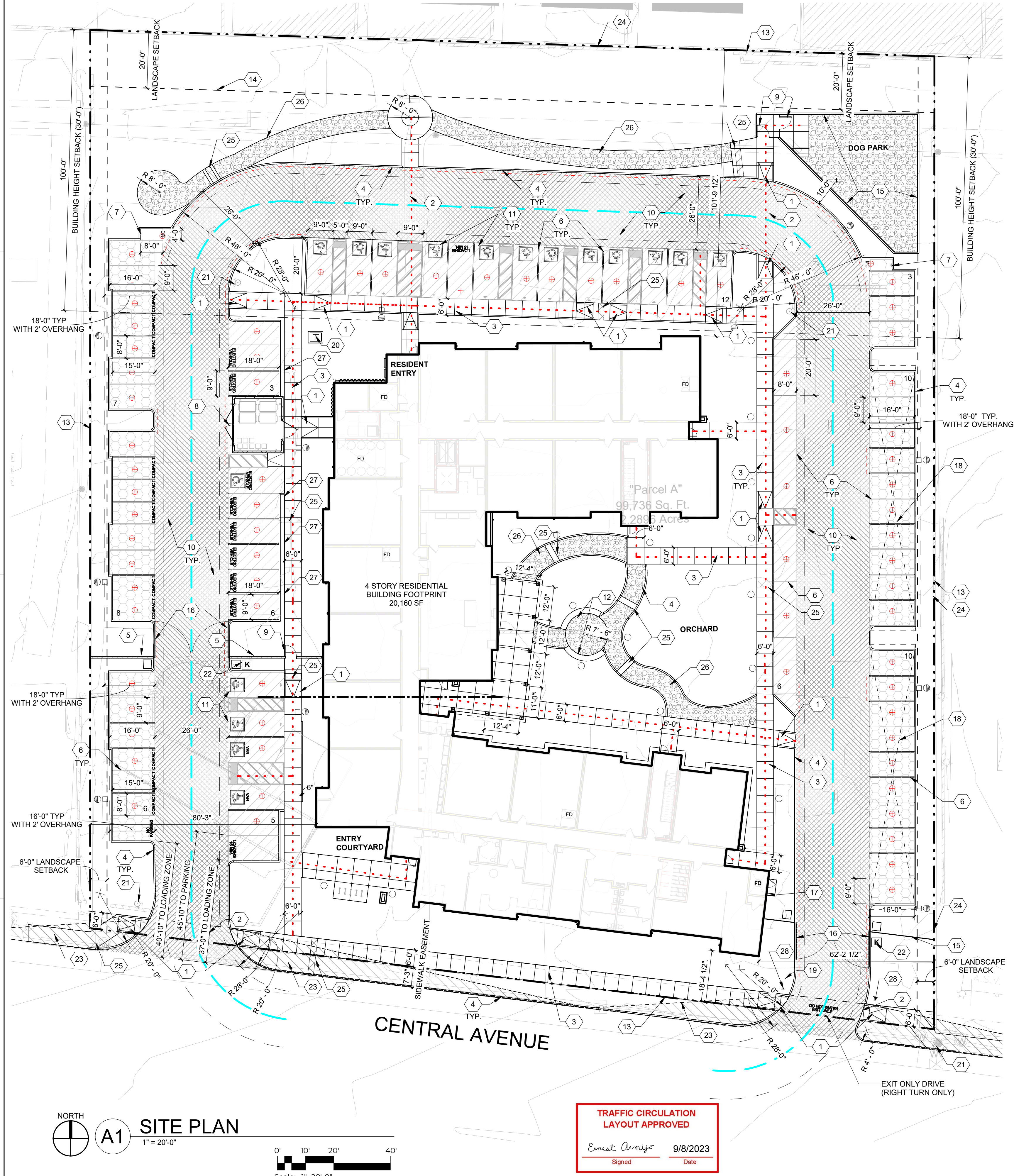
SHEET NO.
FIRE 1



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AN APPROVED SIDEWALK EASEMENT IS CONDITION OF RELEASING THE FINAL CO.



TRAFFIC CIRCULATION LAYOUT APPROVED
 Ernest Amisio 9/8/2023
 Signed Date

PROJECT INFORMATION

LOCATION:
10501 CENTRAL AVENUE NE
ALBUQUERQUE, NM 87123

ZONING:
IDO - MIXED-USE - HIGH INTENSITY ZONE DISTRICT (MX-H)
METROPOLITAN REDEVELOPMENT AREA (MRA) - EAST GATEWAY
MAJOR TRANSIT CORRIDOR AREA
ROUTE 66 ACTION PLAN

LEGAL DESCRIPTION:
TRACT IN N 1/2 NW 1/4 NW 1/4 CONT 2.2860 AC MLTRACT IN N 1/2 NW 1/4 NW 1/4 CONT 2.2860 AC ML

ZONE ATLAS:
L-21-Z
2.285 ACRES (99,532 SQ. FT.)

DENSITY:
35.9 DU / ACRES

OCCUPANCY AND CONSTRUCTION TYPE:
APARTMENTS R-2, B (LEASING & AMENITY)
CONSTRUCTION TYPE: 5-A (4 STORY APARTMENT BUILDINGS)

BUILDING SETBACKS:
FRONT = 5' MIN. / N/A MAX.
SIDE = 5' MIN. / N/A MAX.
REAR = 15'

BUILDING HEIGHT:
MAXIMUM ALLOWED = 65'-0"
MAXIMUM PROVIDED = 51'-6"

BUILDING AREA:
LEVEL 1 = 20,160 GSF
LEVEL 2 = 17,532 GSF
LEVEL 3 = 18,814 GSF
LEVEL 4 = 18,814 GSF
TOTAL = 75,320 GSF

SPRINKLERED:
YES, NFPA 13R

FIRE FLOW:
3,750 GPM

HYDRANTS REQUIRED:
4

SOLID WASTE NARRATIVE:
TRASH SHALL BE PROVIDED ON SITE WITH AN INTERNAL COMPACTOR AND TRASH CHUTE SERVING THE RESIDENTS. THE INTERNAL COMPACTOR SHALL BE SERVED WITH TWO CY CARTS ON CASTERS (4 TOTAL ON SITE) COLLECTING UPPER LEVEL REFUSE COLLECTED AT THE CHUTE AND WHEELED OUT TO THE REFUSE CONTAINER BY BUILDING MANAGEMENT AND BY SOLID WASTE PERSONNEL ON SERVICE DAYS.

RECYCLING SHALL BE MANAGED ON EACH LEVEL BY TWO (2) 50 GALLON ROLLING RECYCLING BINS (8 TOTAL ON SITE) COLLECTED BY BUILDING MANAGEMENT ON THE SITE REFUSE CONTAINER AND SERVICED ON SITE ON COLLECTION DAYS.

PARKING CALCULATION: (TABLE 5-5-1)
REQUIRED SPACES: 76 SPACES
(1.5 SPACES/DWELLING UNIT: 1.5 X 82 = 123 PARKING SPACES MINUS PARKING CREDIT OF 47 SPACES FOR PROXIMITY TO TRANSIT AND ELECTRIC VEHICLE)

PROVIDED SPACES: 79 TOTAL SPACES
(66 STANDARD SPACES + 6 ACCESSABLE SPACES + 6 VAN ACCESSABLE)

MOTORCYCLE PARKING CALCULATION:
REQUIRED SPACES: 1.58 (2 SPACES)
PROVIDED SPACES: 2 SPACES

BICYCLE PARKING
REQUIRED SPACES: 0.25 / UNIT (82 X 0.25 = 20.5 BICYCLE PARKING SPACES)
36 TOTAL SPACES PROVIDED
(18 INDOOR SPACES + 18 OUTDOOR BICYCLE SPACES)

NOTE: 6 OUTDOOR SPACES ARE PROVIDED FOR VISITORS THAT ARE FIXED, PERMANENT AND ARE LOCATED AT MULTIPLE RACKS SERVING THE LEASING OFFICE, AND ALONG CENTRAL AVENUE PER THE ROUTE 66 ACTION PLAN.

OPEN SPACE CALCULATIONS

REQUIRED USABLE OPEN SPACE: (TABLE 2-4-7) MX-H ZONING
 1 BEDROOM UNIT = 200 SF OPEN SPACE REQUIRED
 2 BEDROOM UNIT = 250 SF OPEN SPACE REQUIRED
 1 BEDROOM UNITS PROVIDED: 72 UNITS X 200 = 14,400 SF
 2 BEDROOM UNITS PROVIDED: 10 UNITS X 250 = 2,500 SF
 TOTAL OPEN SPACE REQUIRED: 16,900 SF

PROVIDED USABLE OPEN SPACE:
 XX,XXX SF OF USABLE OPEN SPACE PROVIDED

UNIT DATA

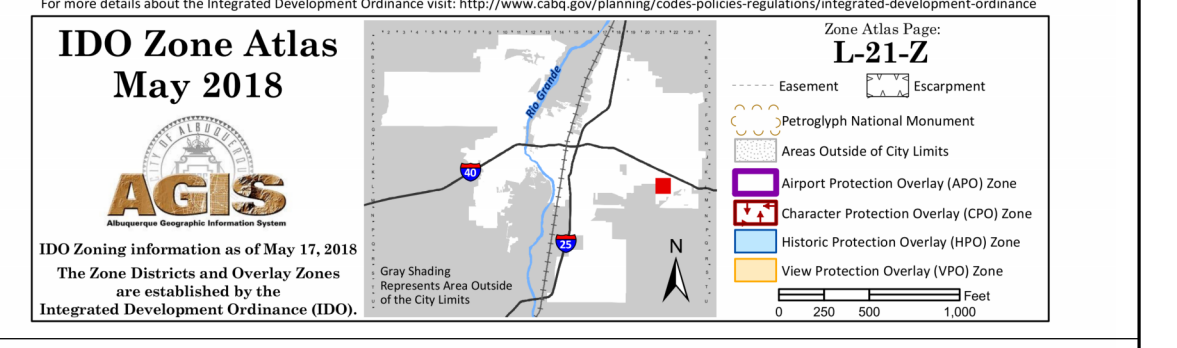
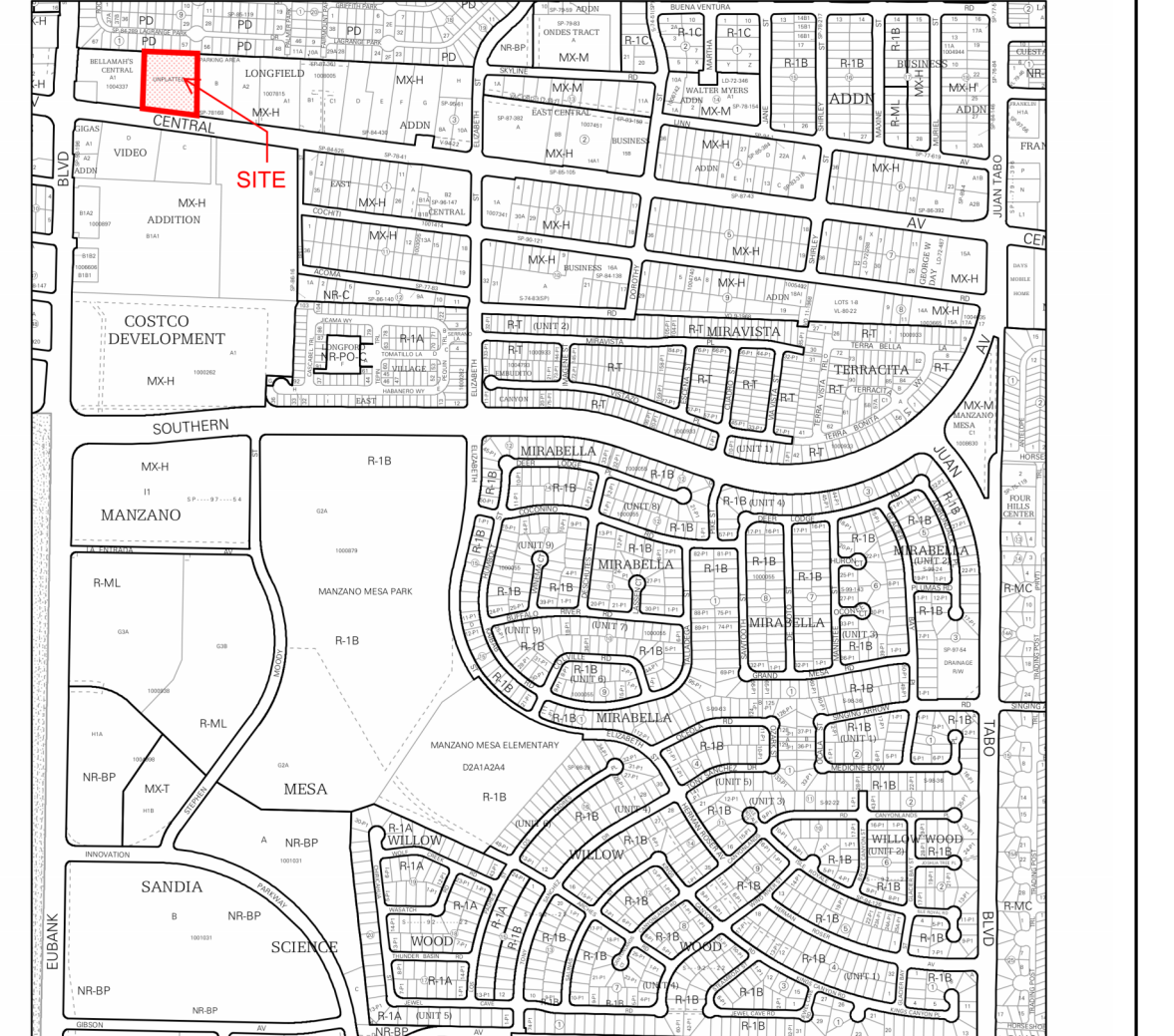
UNIT TYPE	GROSS HEATED SQUARE FOOTAGE (GHSF)	LEVEL				TOTAL QUANTITY	TOTAL AREA (GHSF)
		LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4		
UNIT 1	650	14	18	20	20	72	46,800
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TOTAL		15	21	23	23	82	54,700

SHEET KEYNOTES

- CONCRETE ACCESSIBLE RAMP TYP.
- PAINTED PEDESTRIAN CROSSWALK, RE: C4/SDP1.2
- CONCRETE SIDEWALK WITH CONTROL JOINTS, WIDTH AS NOTED
- CONCRETE CURB, SEE CIVIL
- 8" CMU WALL
- PARKING STRIPING
- MOTORCYCLE ONLY PARKING SIGNAGE
- REFUSE ENCLOSURE, RE: SDP-5.7
- PEDESTRIAN GATE W/ KEYCARD ACCESS
- ASPHALT PAVING, RE: CIVIL FOR PAVEMENT SECTIONS
- ACCESSIBLE PARKING STALL, RE: D2/SDP1.2
- CONCRETE SEAT WALL, RE: C3/SDP1.2
- PROPERTY LINE
- 6" PUBLIC UTILITY EASEMENT
- 8" VIEW FENCING
- VEHICULAR GATE ON FOBBED SENSOR & CALL BOX
- FIRE DEPARTMENT CONNECTION (FDC)
- PV CAPABLE PARKING CANOPY (OPTIONAL - ALTERNATE BID)
- POST INDICATOR VALVE (PIV)
- TRANSFORMER, RE: ELECTRICAL
- FIRE HYDRANT, RE: CIVIL
- LOCATION OF KNOX BOX
- CLEAR SIGHT TRIANGLE (PER COA) LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. ALL SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- EXISTING MASONRY WALL TO REMAIN
- SIDEWALK CULVERT, RE: CIVIL
- STABILIZED CRUSHER FINE PATH RE: B1/SDP1.3
- E.V. CAPABLE CHARGING STATION
- EXIT ONLY SIGNAGE DO NOT ENTER, RE: D1/SDP1.3

GENERAL SHEET NOTES

- SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL AND ACCESSIBILITY STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- VERIFY EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
- COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION.
- REPAIR AREAS TO MATCH PRE-CONSTRUCTION CONDITION WHERE UTILITY WORK, GRADING AND/OR STAGING OCCURS, INCLUDING AREAS OUTSIDE OF LIMIT OF WORK BOUNDARY.
- TO ALL SITE AMENITIES AS REQUIRED.
- ALL EXISTING ASPHALT AND CONCRETE TO BE REMOVED PRIOR TO CONSTRUCTION
- REMOVE EXISTING TREES PRIOR TO CONSTRUCTION
- UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY. COORDINATE LOCATION AND INSTALLATION. SEE CIVIL
- ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- AN ACCESSIBLE ROUTE, IN COMPLIANCE WITH ACCESSIBILITY STANDARDS OF THE PROJECT, CONNECTS FROM THE BUILDING TO ACCESSIBLE PARKING SPACES AND TO ALL SITE AMENITIES AS REQUIRED.
- ALL LIGHT FIXTURES AND LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.
- REFER TO CIVIL AND ELECTRICAL FOR DEMOLITION ITEMS.
- REFER TO CIVIL FOR PAVING PLAN AND PAVING DETAILS.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
- PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK, WHERE EXPANSION JOINT MATERIAL IS PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.
- PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN, TYP. RE: CIVIL FOR SPOT ELEVATIONS, AND GRADING AND DRAINAGE REQUIREMENTS.
- EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED A DEMOLITION AND CONSTRUCTION.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS PER CITY OF ALBUQUERQUE.
- ALL RAMPS, SIDEWALKS, CURBS AND GUTTERS IN THE R.O.W. SHALL BE INSTALLED PER CITY OF ALBUQUERQUE STANDARD DRAWINGS.
- SOLID WASTE CONNECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
- DURING CONSTRUCTION COORDINATE WITH CITY OF ALBUQUERQUE'S MEDIAN LANDSCAPING PROJECT AT THIS LOCATION.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.



LEGEND

- LANDSCAPED AREA
- HEAVY DUTY ASPHALT (RATED FOR UP TO 75,000 LBS)
- LIGHT DUTY ASPHALT
- STABILIZED DECOMPOSED GRANITE PATH (ACCESSABLE)
- PERMEABLE PAVING, RE: CIVIL
- PROPERTY LINE
- SETBACK (SEE DEMENTION FOR ADDITIONAL DETAILS)
- ACCESSIBLE ROUTE
- FIRELANE STRIPPING MARKING FIRE ACCESS LANE, RE: C2/SDP 1.2
- REFUSE TRUCK ROUTE
- EXISTING FIRE HYDRANT LOCATION
- FIRE HYDRANT LOCATION, RE: CIVIL
- FIRE DEPARTMENT CONNECTION (FDC) WALL MOUNTED
- TRANSFORMER, RE: ELECTRICAL
- PROPOSED 20' LIGHT POLE
- PHOTOVOLTAIC (PV) CARPORT, ALTERNATE BID (SEPARATE PERMIT REQUIRED)
- BIKE RACK (4 BIKE CAPACITY) RE: B2/SDP 1.2
- SITE BENCH

DEKKER PERICH SABATINI

Architecture in Progress

STATE OF NEW MEXICO
 HANNAH FEIL GREENHOOD
 No. 5594
 09/05/2022
 REGISTERED ARCHITECT

SEAL

FAROLITO SENIOR COMMUNITY
 10501 CENTRAL AVENUE NE
 ALBUQUERQUE, NM 87123

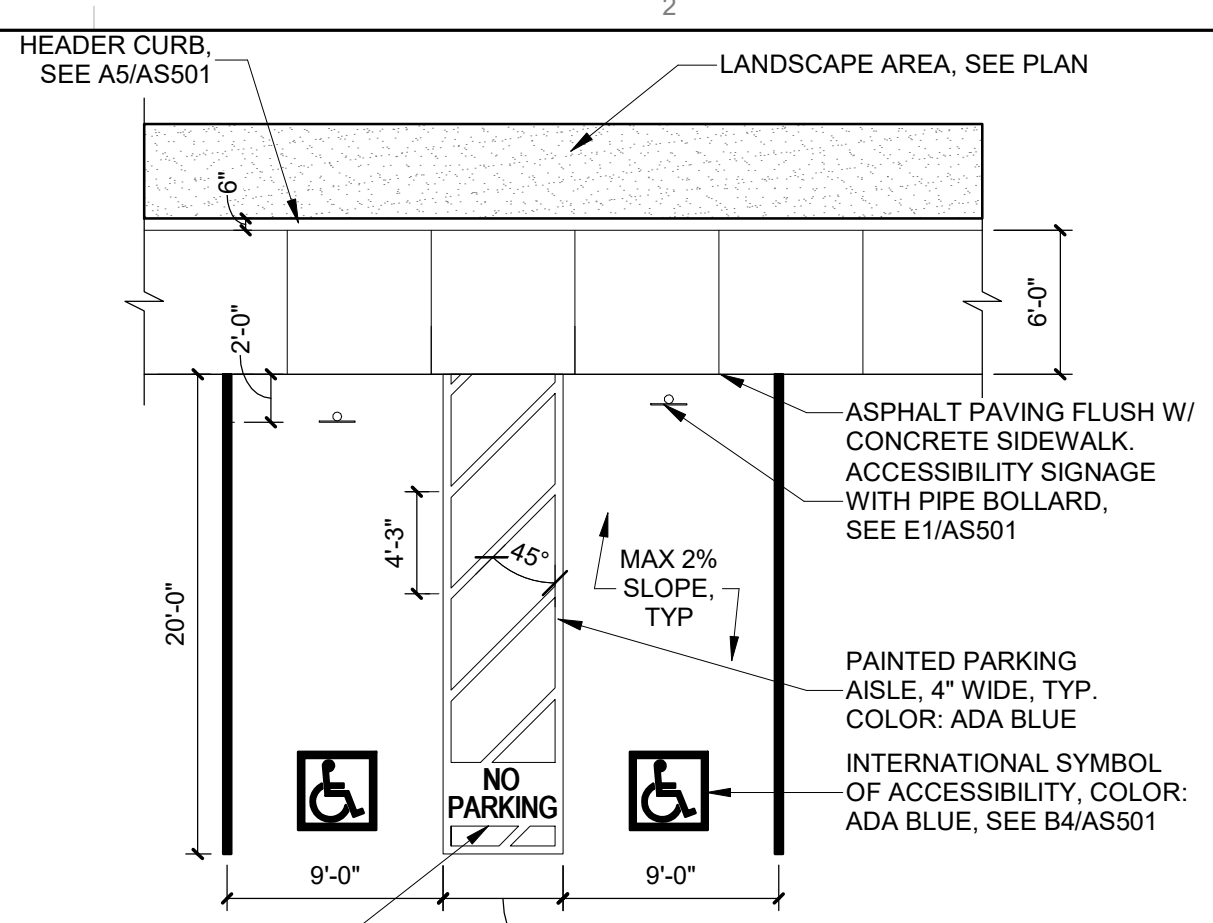
ISSUED FOR PERMIT

REVISIONS

DRAWN BY BH
 REVIEWED BY CWW
 DATE 05/11/23
 PROJECT NO: 22-0083

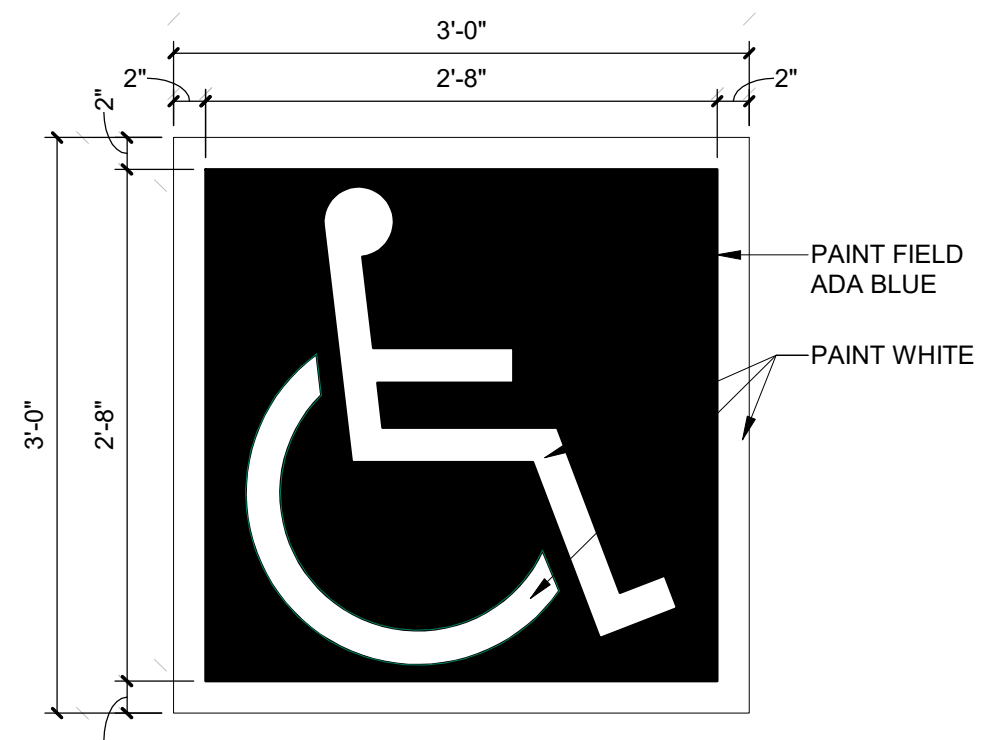
DRAWING NAME
TRAFFIC CIRCULATION PLAN

SHEET NO
TCL



D2 ACCESSIBLE PARKING
1/8" = 1'-0"

NOTES:
1. SEE PLANS FOR EXTENTS OF CURB PAINT

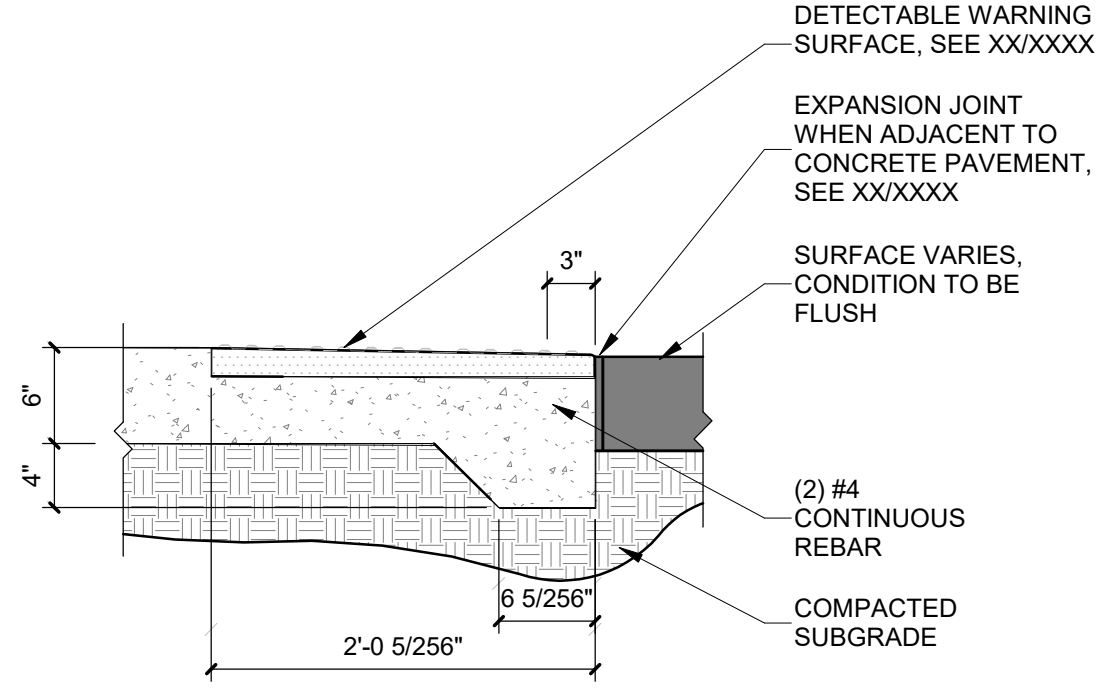


D3 ACCESSIBLE PAVEMENT MARKING
1" = 1'-0"

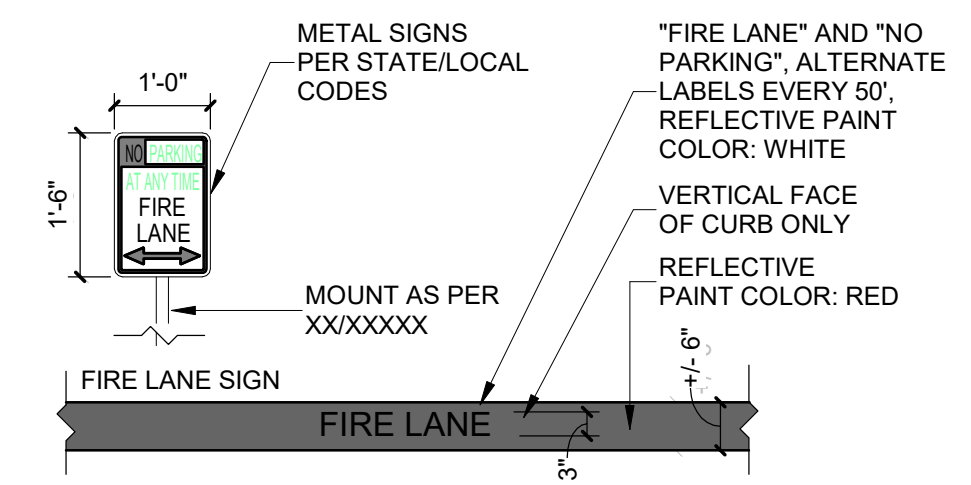
NOTES:
1. SLOPE TOP OF WALL AT 1% TOWARD PAVEMENT
2. TOP OF WALL TO BE CONSTANT FOR EACH INDIVIDUAL WALL

AN APPROVED SIDEWALK EASEMENT IS CONDITION OF RELEASING THE FINAL CO.

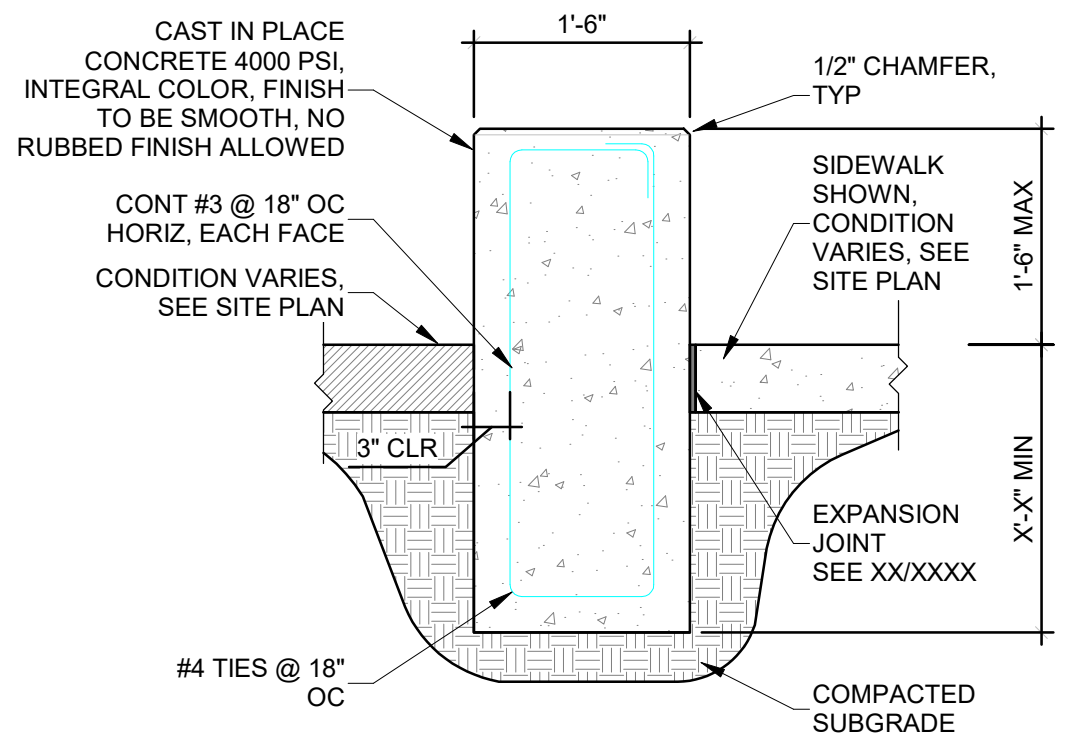
TRAFFIC CIRCULATION LAYOUT APPROVED
Ernest Arriaga 9/8/2023
Signed _____ Date _____



C1 DETECTABLE / TACTILE SURFACE TRANSITION
1" = 1'-0"

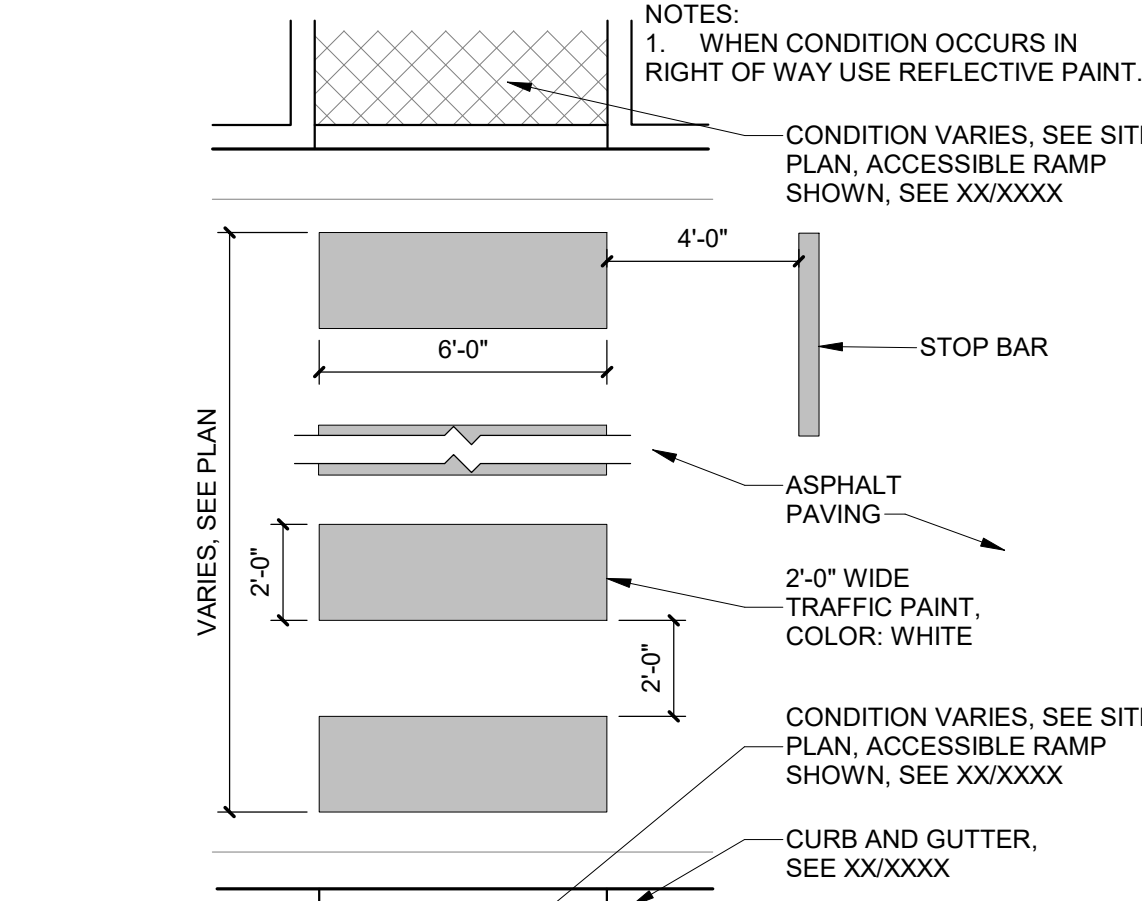


C2 FIRE STRIPING AND SIGNAGE
1/2" = 1'-0"



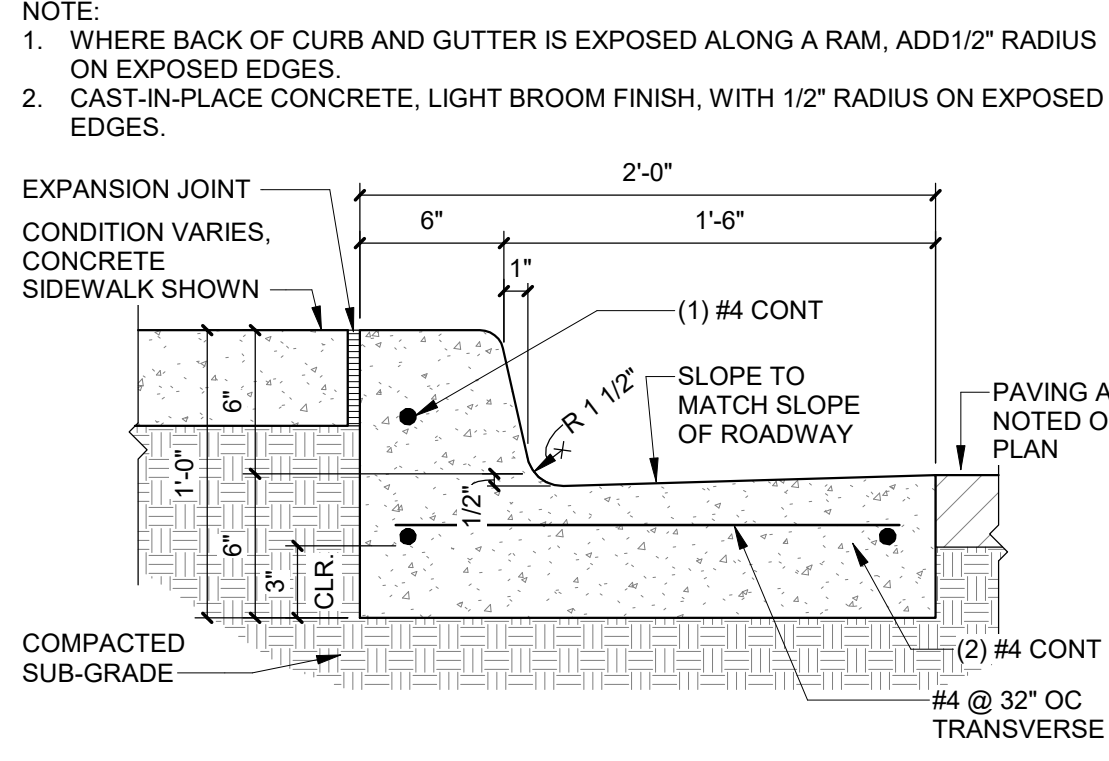
C3 CONCRETE SEAT WALL
3/4" = 1'-0"

NOTES:
1. BASIS OF DESIGN, ANOVA U-BIKE RACK, COLOR: TBD
2. BIKE CAPACITY PER RACK: 4 TOTAL PER PAD.



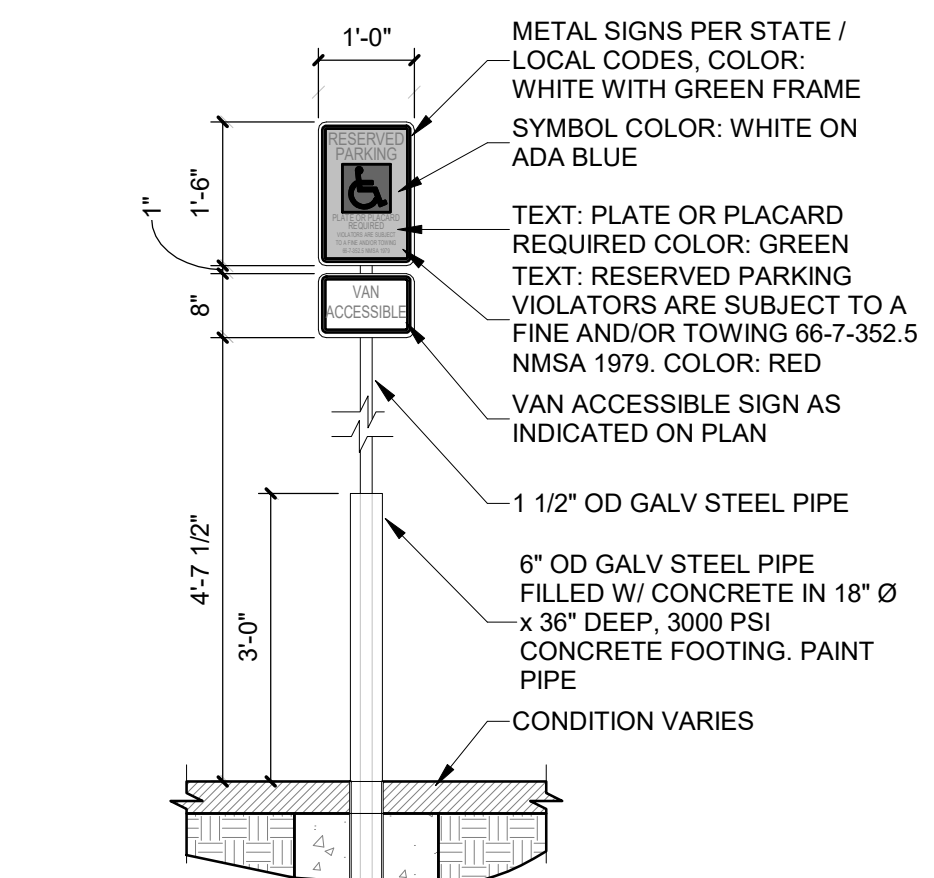
C4 PAINTED CROSSWALK
1/4" = 1'-0"

CONDITION VARIES, SEE SITE PLAN, WHERE LANDSCAPE MULCH TO 1/2" BELOW ADJACENT PAVEMENT GRADE

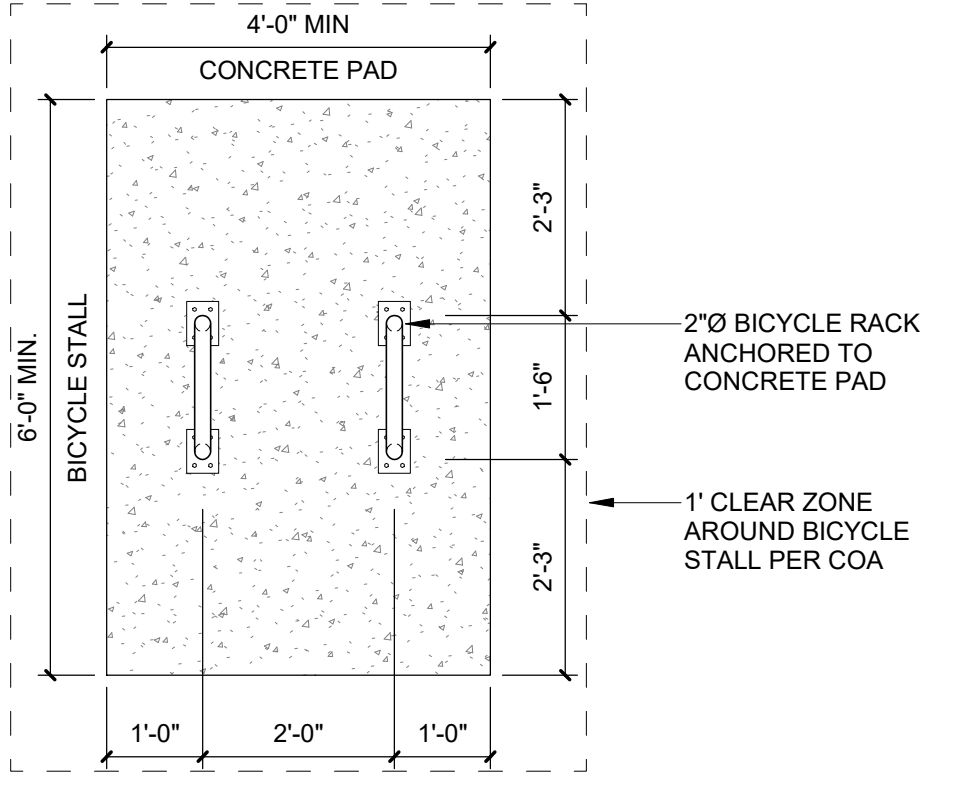


C5 CONCRETE CURB & GUTTER
1 1/2" = 1'-0"

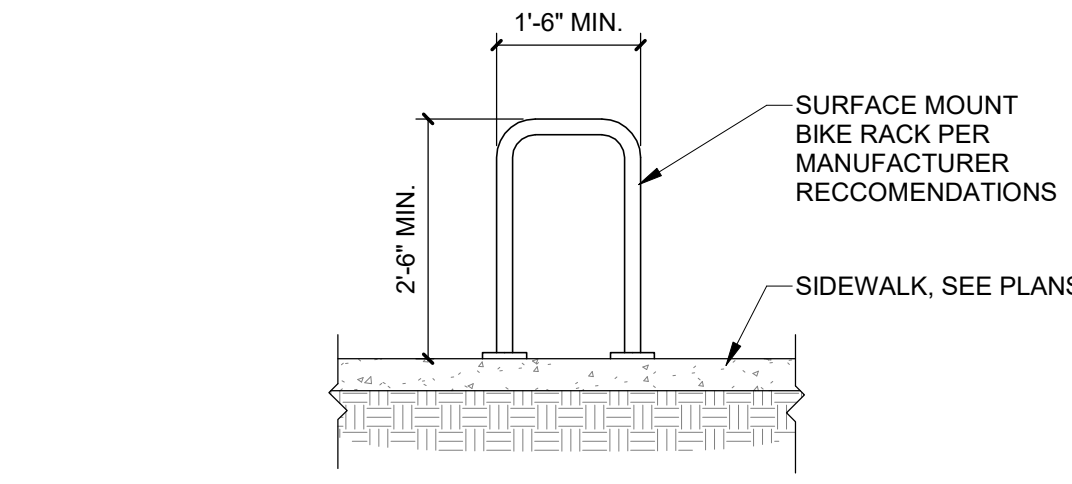
NOTES:
1. SEE SITE PLANS FOR JOINTING.
2. CAST-IN-PLACE CONCRETE PAVING, LIGHT BROOM FINISH PERPENDICULAR TO TRAFFIC FLOW WITH 1/2" RADIUS ON EXPOSED EDGES
3. INTEGRAL COLOR WHERE NOTED ON PLAN.
4. FINISH GRADE FOR LANDSCAPE AREAS SHALL BE 1/2" BELOW TOP OF PAVING.



B1 PIPE BOLLARD AND ACCESSIBLE SIGNAGE
1/2" = 1'-0"

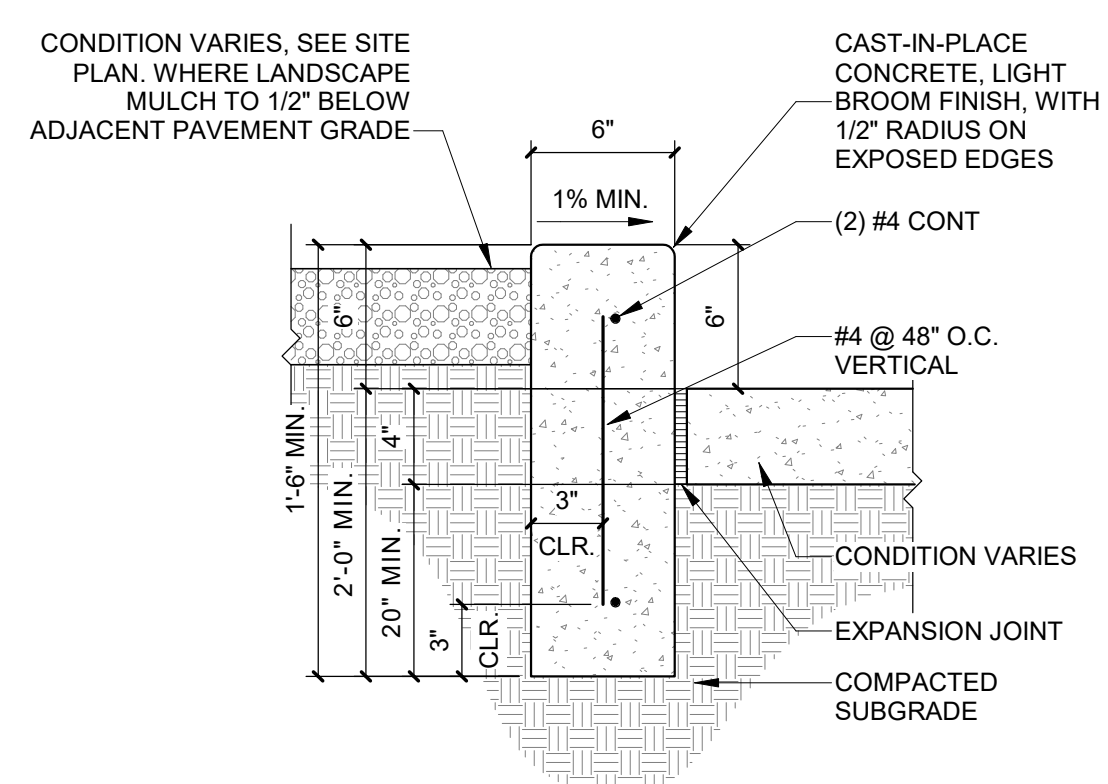


B2 BICYCLE RACK PLAN
1/2" = 1'-0"

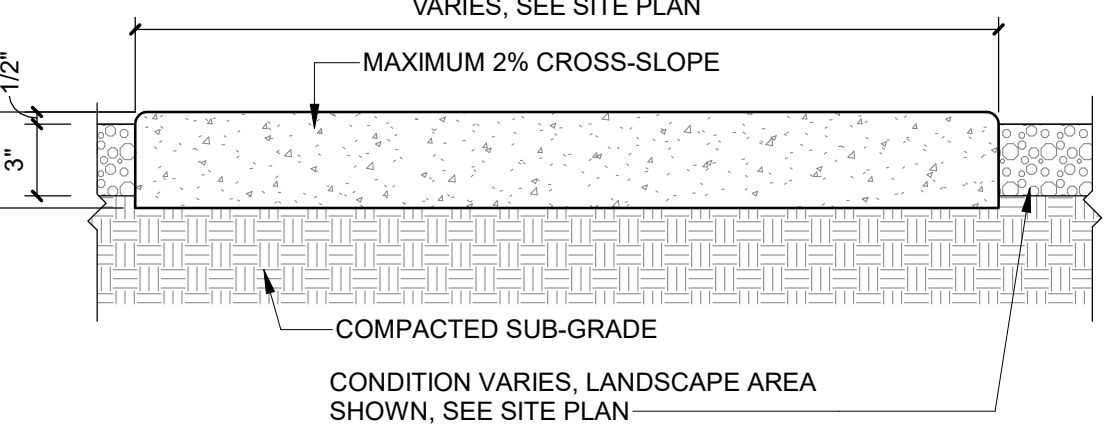


B3 BICYCLE RACK
1/2" = 1'-0"

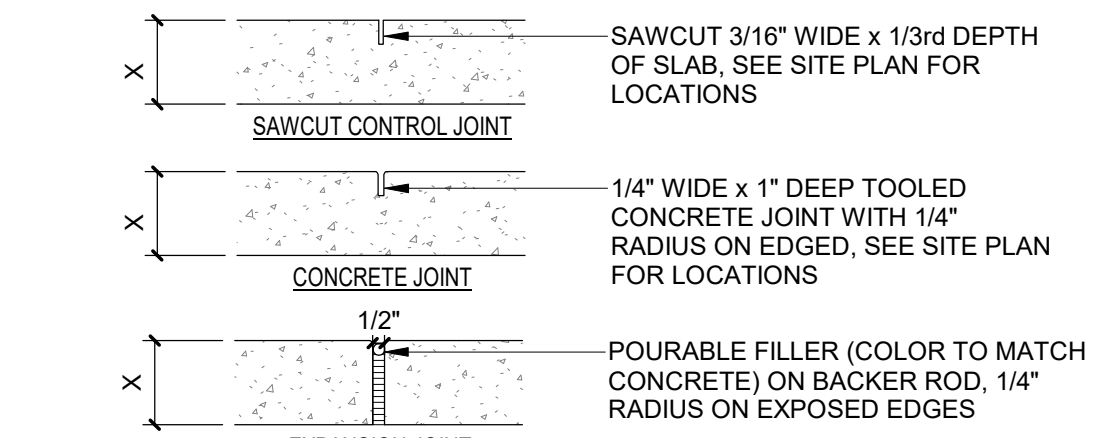
DESIGN NOTE:
1. MODIFY LUMINAIRE / FIXTURE TO MATCH STYLE & SIZE SELECTED.



B4 CONCRETE HEADER CURB
1 1/2" = 1'-0"

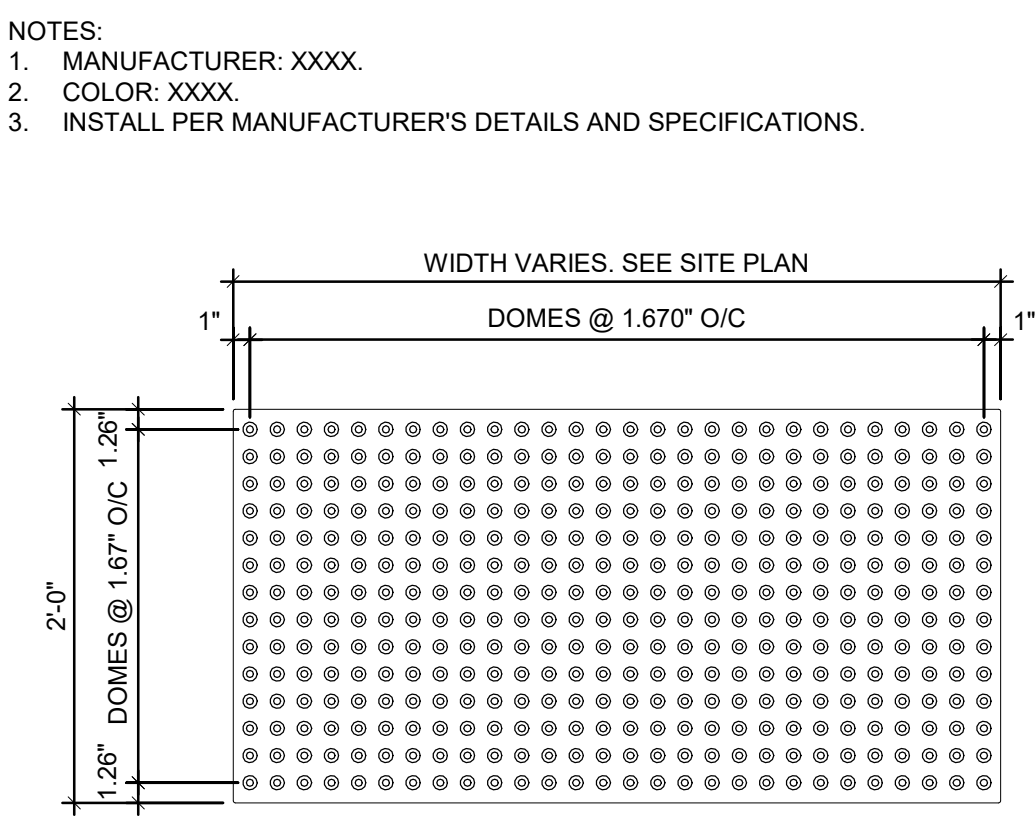


B5 CONCRETE SIDEWALK
1 1/2" = 1'-0"

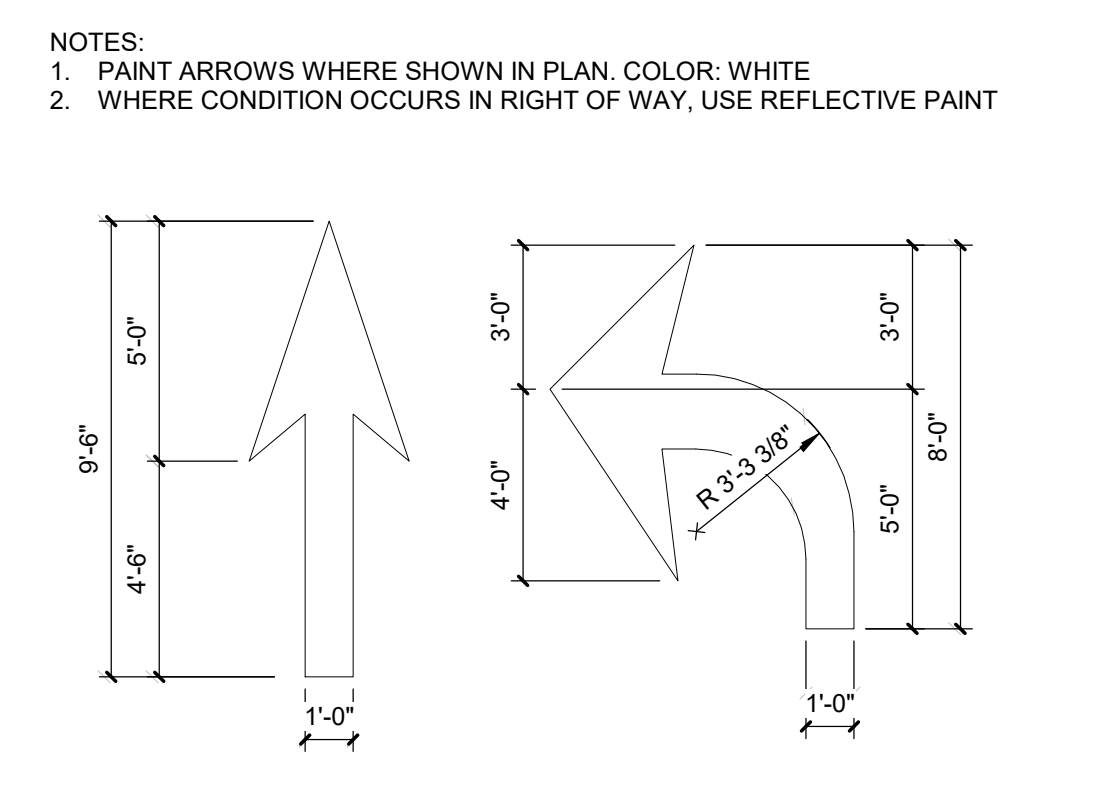


CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS				
APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL, HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON	6'-12' WALK
CONTROL JOINTS	4" O.C.	5" O.C.	8" O.C.	6" O.C.
EXPANSION JOINTS	4" O.C.	5" O.C.	8" O.C.	6" O.C.

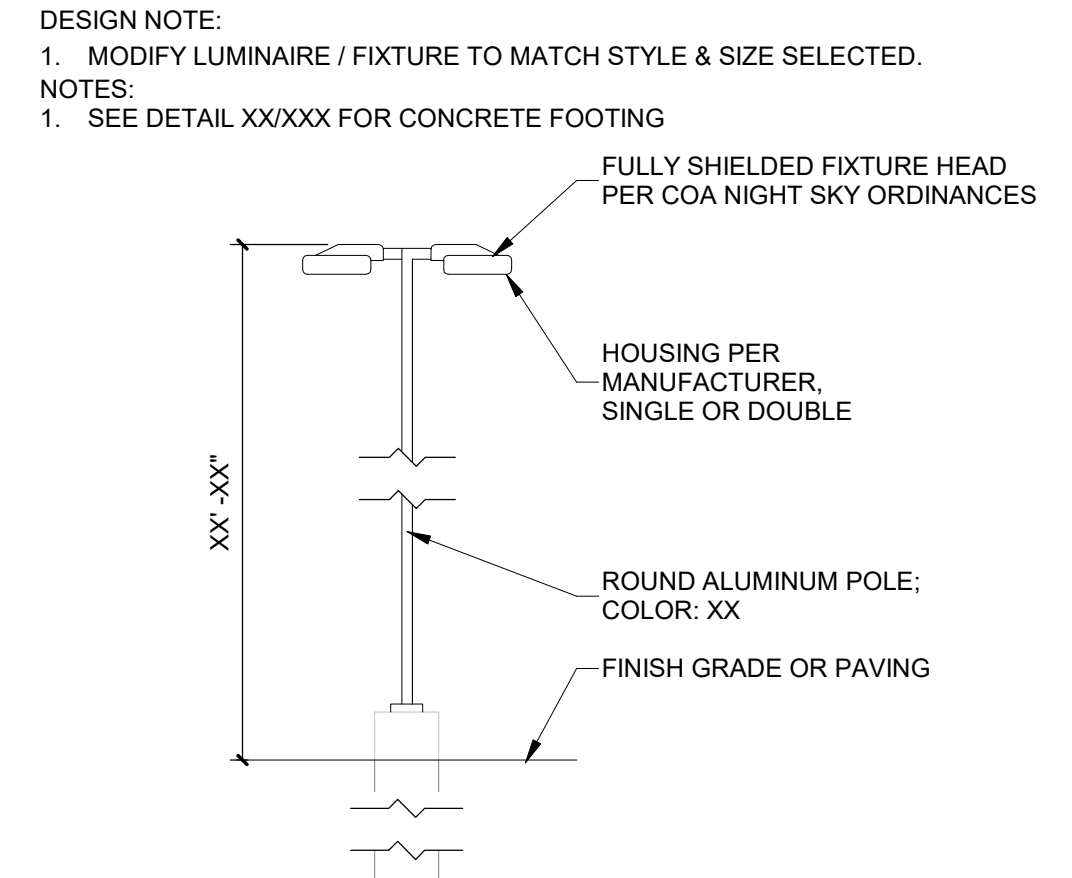
A5 CONCRETE JOINTS & JOINT SPACING
1 1/2" = 1'-0"



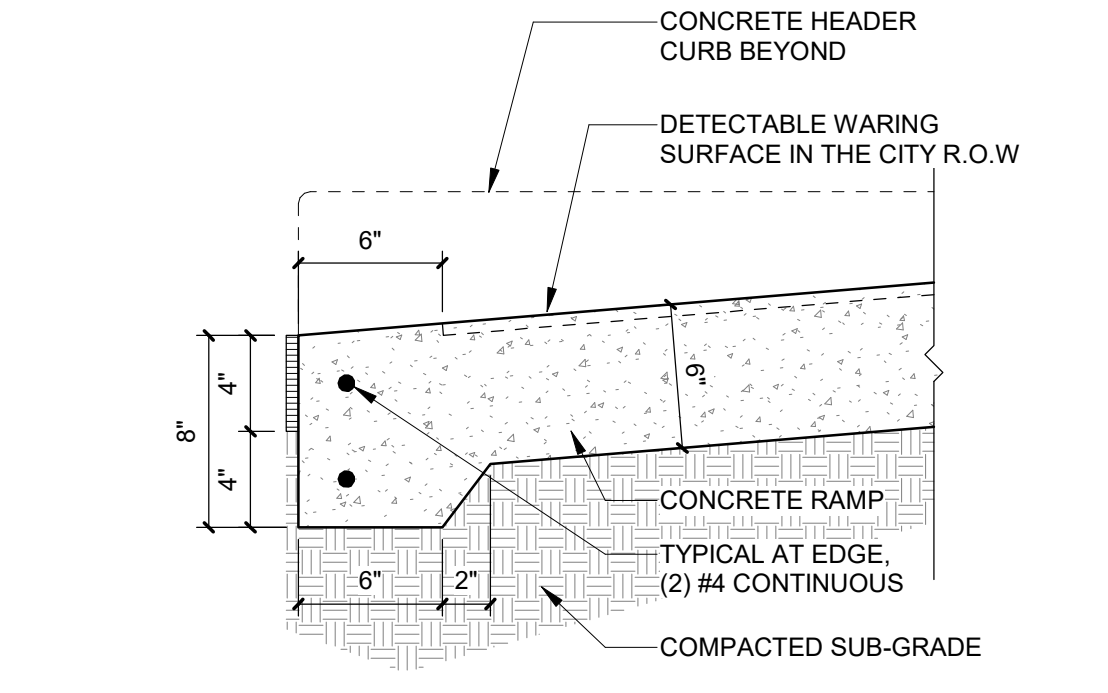
A1 TACTILE SURFACE
1" = 1'-0"



A2 DIRECTIONAL PAVEMENT ARROW
1/4" = 1'-0"



A3 PARKING LIGHT POLE
1/4" = 1'-0"



A4 RAMP TRANSITION
1 1/2" = 1'-0"

DEKKER PERICH SABATINI
Architecture in Progress



SEAL
PROJECT

FAROLITO SENIOR COMMUNITY
10501 CENTRAL AVENUE NE
ALBUQUERQUE, NM 87123

ISSUED FOR PERMIT

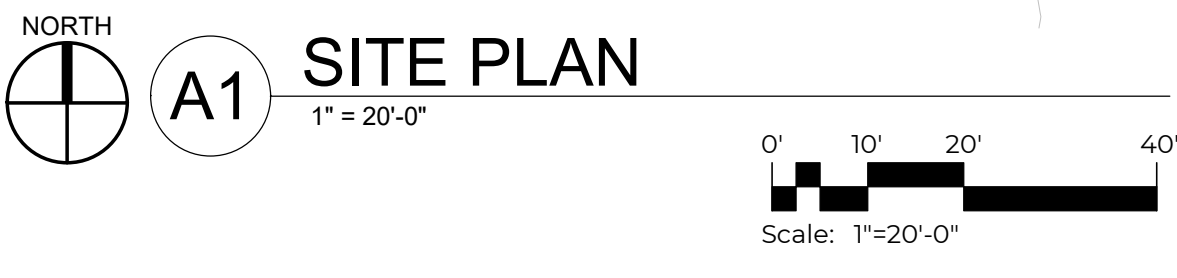
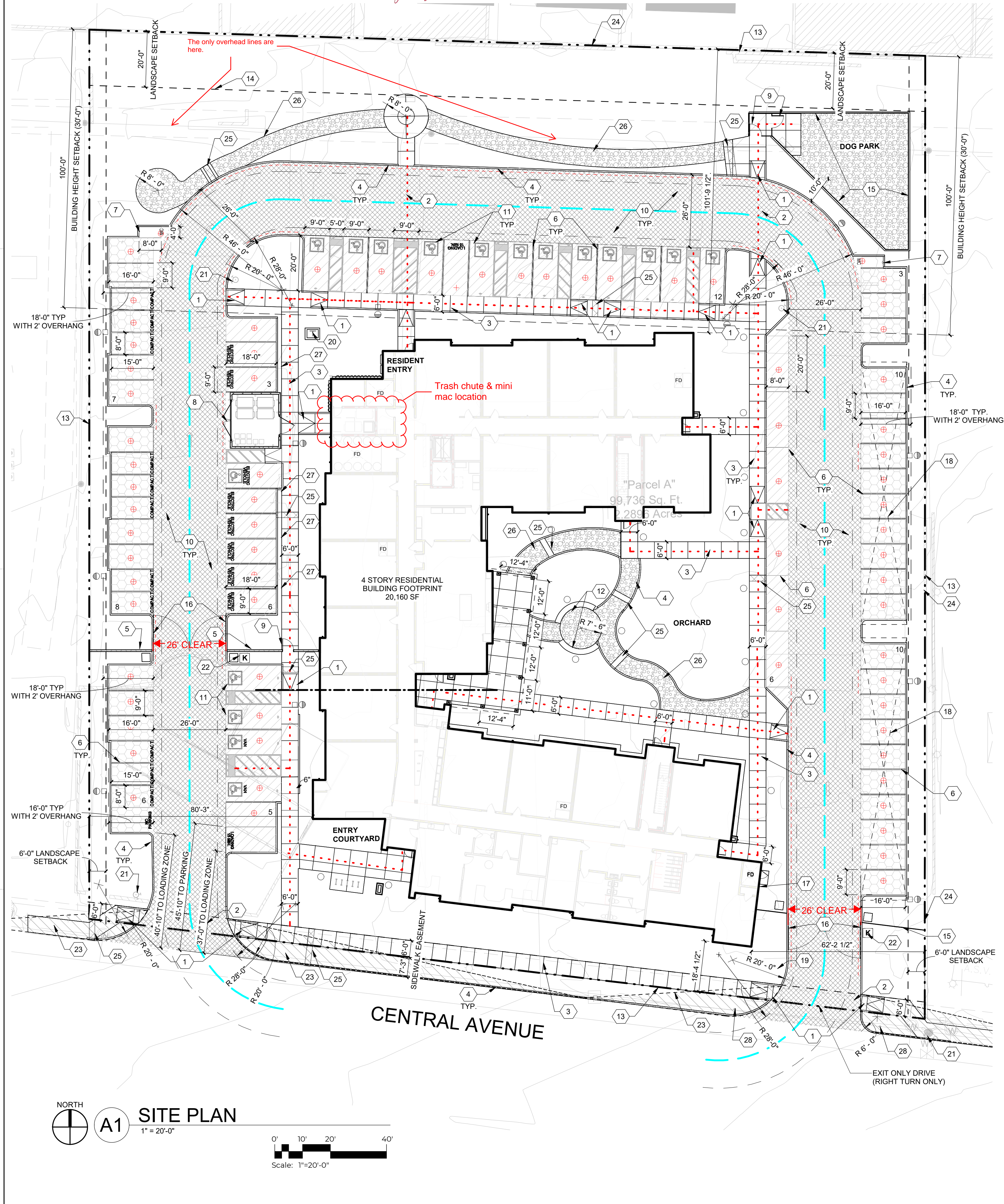
REVISIONS
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△

DRAWN BY BH
REVIEWED BY CWW
DATE 07/10/23
PROJECT NO: 22-0083

DRAWING NAME
ENLARGED PLANS AND DETAILS

SHEET NO
SDP 1.2

Approved for access by the Solid Waste Department for a total of 4-2 cubic yard dumpsters, 8-96 gallon recycle carts to be placed in front of the trash enclosure on service day by the maintenance staff. All containers are to be made accessible between the hours of 7AM and 8PM for pickup.
Herman Gallegos 09-14-23 *Herman Gallegos*



PROJECT INFORMATION

LOCATION:
10501 CENTRAL AVENUE NE
ALBUQUERQUE, NM 87123

ZONING:
IDO - MIXED-USE - HIGH INTENSITY ZONE DISTRICT (MX-H)
METROPOLITAN REDEVELOPMENT AREA (MRA) - EAST GATEWAY
MAJOR TRANSIT CORRIDOR AREA
ROUTE 66 ACTION PLAN

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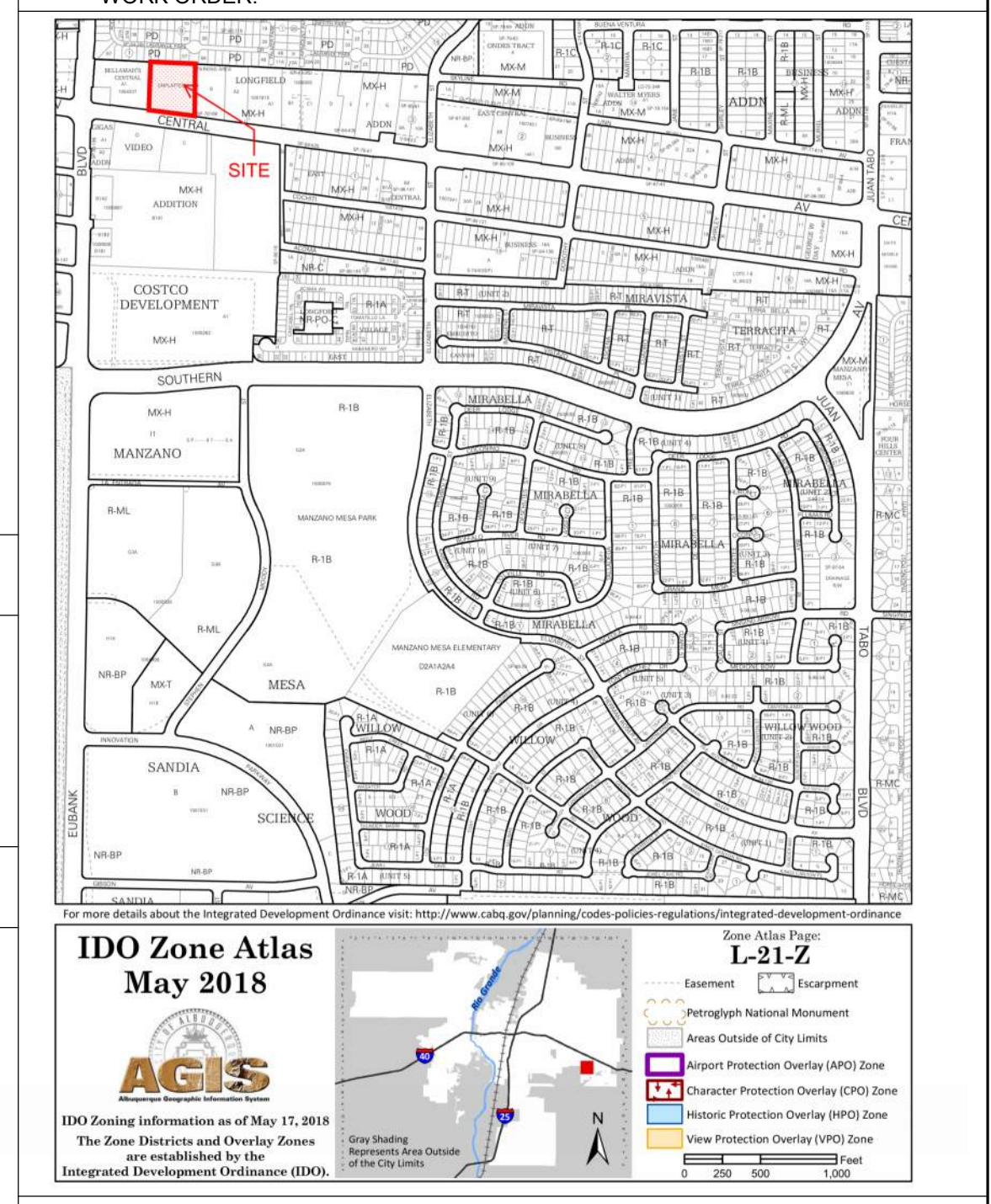
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- ALL EXISTING ASPHALT AND CONCRETE TO BE REMOVED PRIOR TO CONSTRUCTION
- REMOVE EXISTING TREES PRIOR TO CONSTRUCTION
- UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY. COORDINATE LOCATION AND INSTALLATION. SEE CIVIL
- ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- AN ACCESSIBLE ROUTE, IN COMPLIANCE WITH ACCESSIBILITY STANDARDS OF THE PROJECT, CONNECTS FROM THE BUILDING TO ACCESSIBLE PARKING SPACES AND TO ALL SITE AMENITIES AS REQUIRED.
- ALL LIGHT FIXTURES AND LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.
- REFER TO CIVIL AND ELECTRICAL FOR DEMOLITION ITEMS.
- REFER TO CIVIL FOR PAVING PLAN AND PAVING DETAILS.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
- PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK, WHERE EXPANSION JOINT MATERIAL IS PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.
- PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN. TYP. RE: CIVIL FOR SPOT ELEVATIONS, AND GRADING AND DRAINAGE REQUIREMENTS.
- EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED FROM DEMOLITION AND CONSTRUCTION.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS PER CITY OF ALBUQUERQUE.
- ALL RAMPS, SIDEWALKS, CURBS AND GUTTERS IN THE R.O.W. SHALL BE INSTALLED PER CITY OF ALBUQUERQUE STANDARD DRAWINGS.
- SOLID WASTE CONNECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
- DURING CONSTRUCTION, COORDINATE WITH CITY OF ALBUQUERQUE'S MEDIAN LANDSCAPING PROJECT AT THIS LOCATION.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.



LEGEND

- LANDSCAPED AREA
- HEAVY DUTY ASPHALT (RATED FOR UP TO 75,000 LBS)
- LIGHT DUTY ASPHALT
- STABILIZED DECOMPOSED GRANITE PATH (ACCESSABLE)
- PERMIABLE PAVING, RE: CIVIL
- PROPERTY LINE
- SETBACK (SEE DEMENTION FOR ADDITIONAL DETAILS)
- ACCESSIBLE ROUTE
- FIRELANE STRIPING MARKING FIRE ACCESS LANE, RE: C2/SDP 1.2
- REFUSE TRUCK ROUTE
- EXISTING FIRE HYDRANT LOCATION
- FIRE HYDRANT LOCATION, RE: CIVIL
- FIRE DEPARTMENT CONNECTION (FDC) WALL MOUNTED
- TRANSFORMER, RE: ELECTRICAL
- PROPOSED 20' LIGHT POLE
- PHOTOVOLTAIC (PV) CARPORT, ALTERNATE BID (SEPARATE PERMIT REQUIRED)
- BIKE RACK (4 BIKE CAPACITY) RE: B2/SDP 1.2
- SITE BENCH

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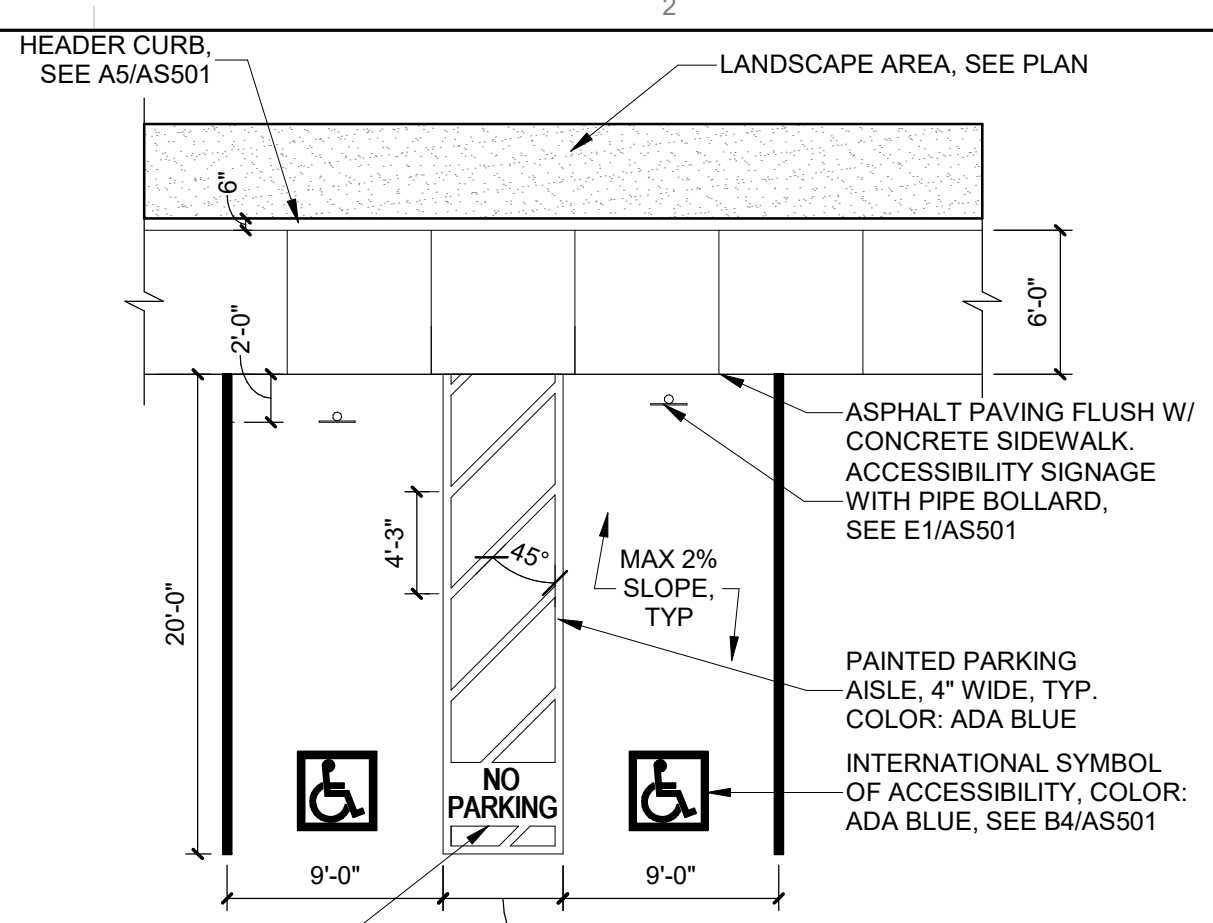
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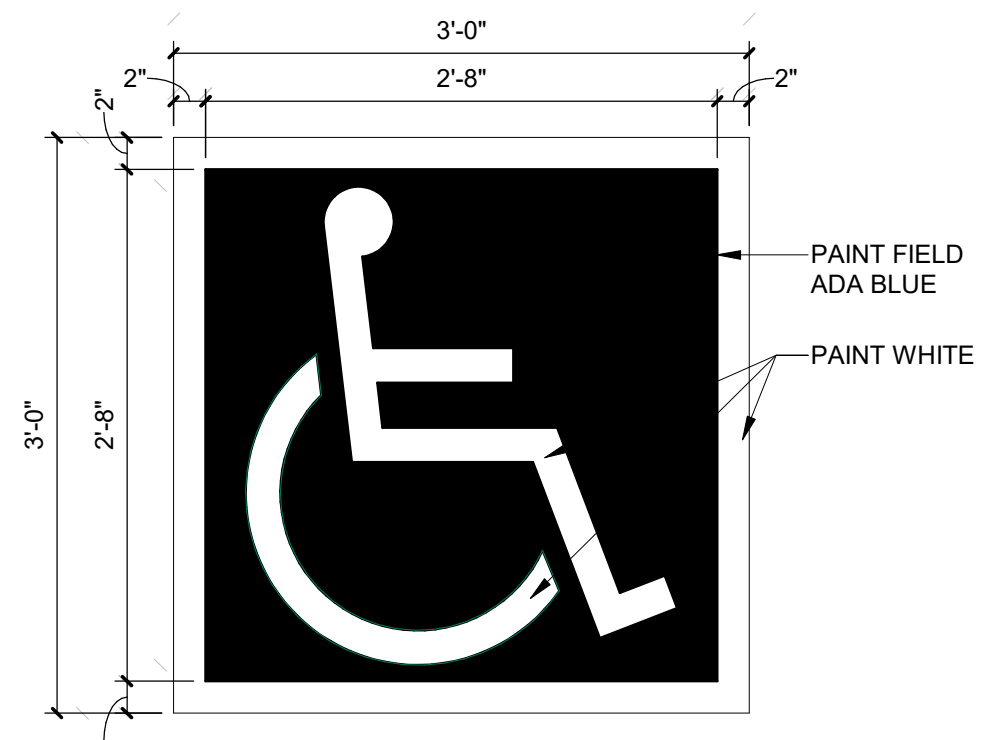
DRAWN BY	BH
REVIEWED BY	CWW
DATE	05/11/23
PROJECT NO.	22-0083

DRAWING NAME
TRAFFIC CIRCULATION PLAN

SHEET NO
TCL



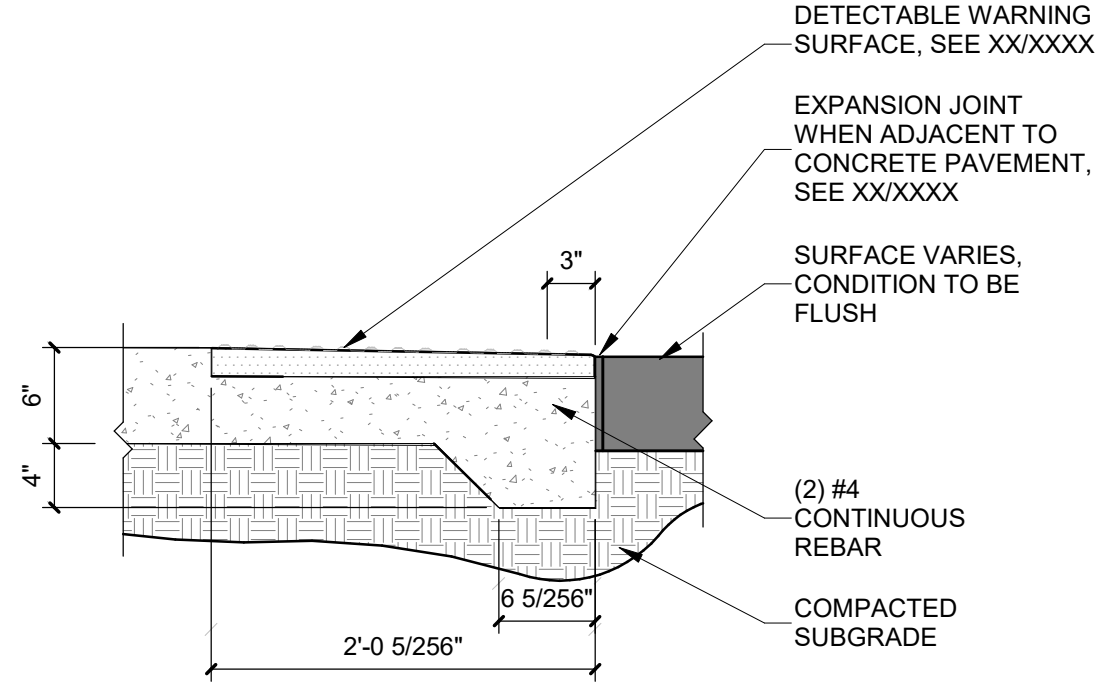
D2 ACCESSIBLE PARKING
1/8" = 1'-0"



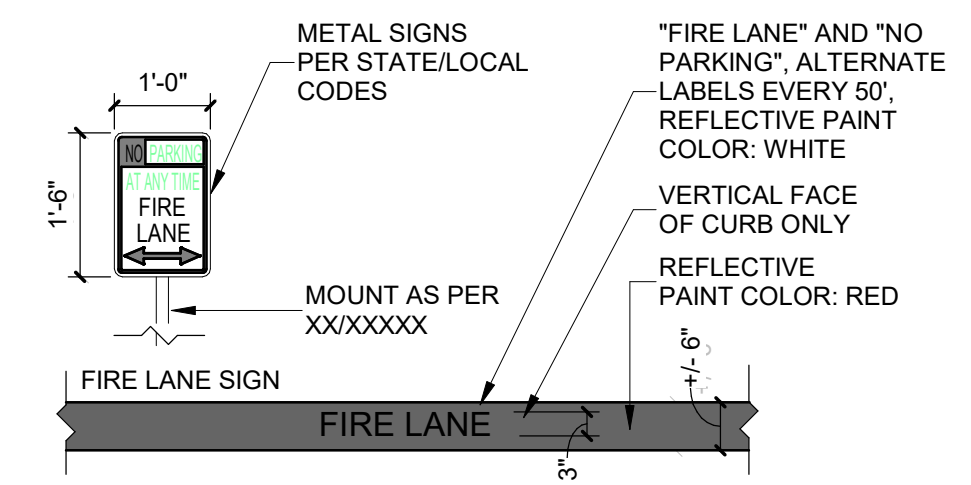
D3 ACCESSIBLE PAVEMENT MARKING
1" = 1'-0"

NOTES:
1. SEE PLANS FOR EXTENTS OF CURB PAINT

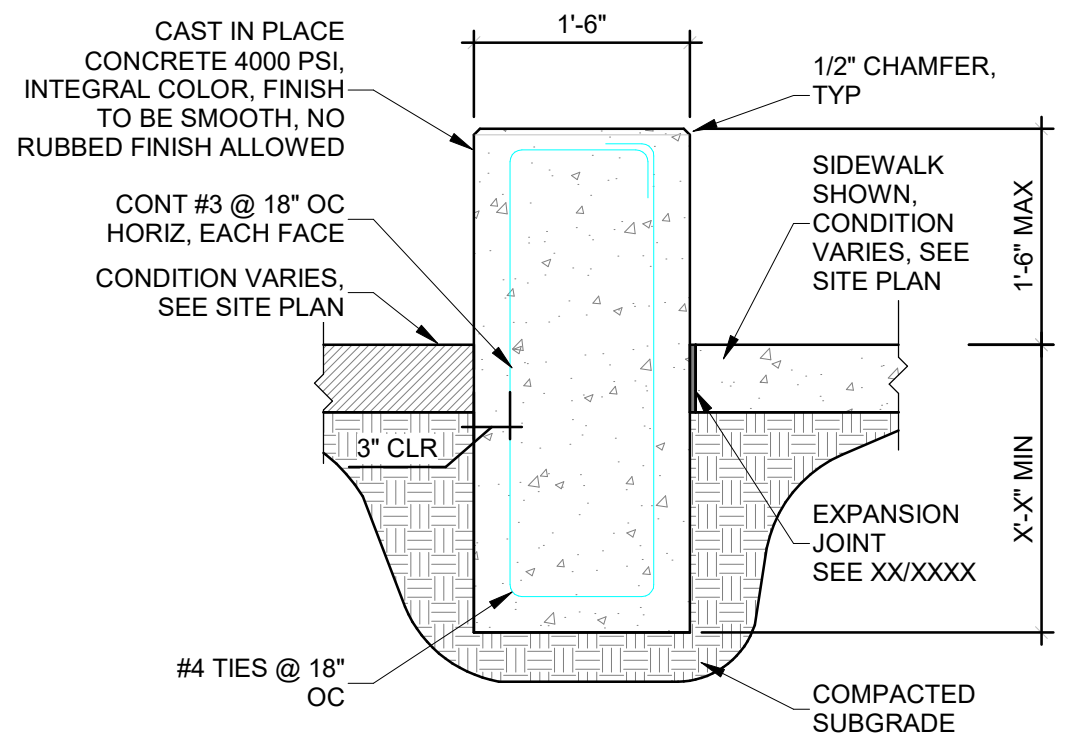
NOTES:
1. SLOPE TOP OF WALL AT 1% TOWARD PAVEMENT
2. TOP OF WALL TO BE CONSTANT FOR EACH INDIVIDUAL WALL



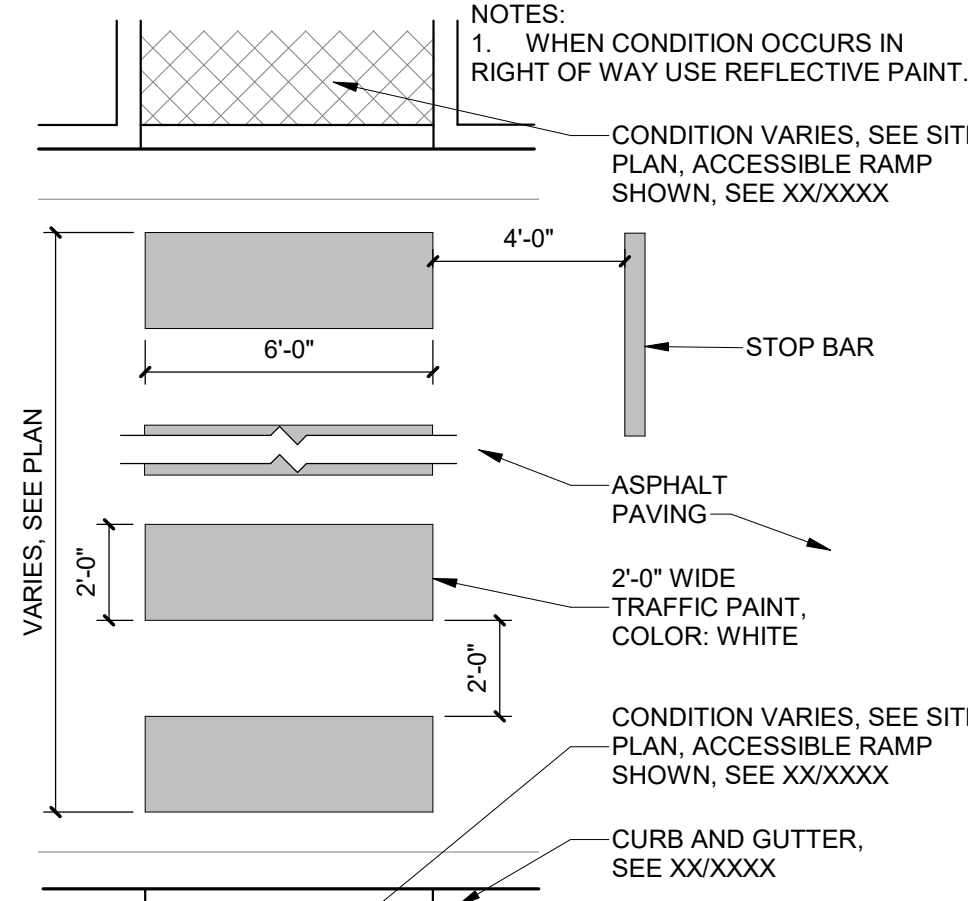
C1 DETECTABLE / TACTILE SURFACE TRANSITION
1" = 1'-0"



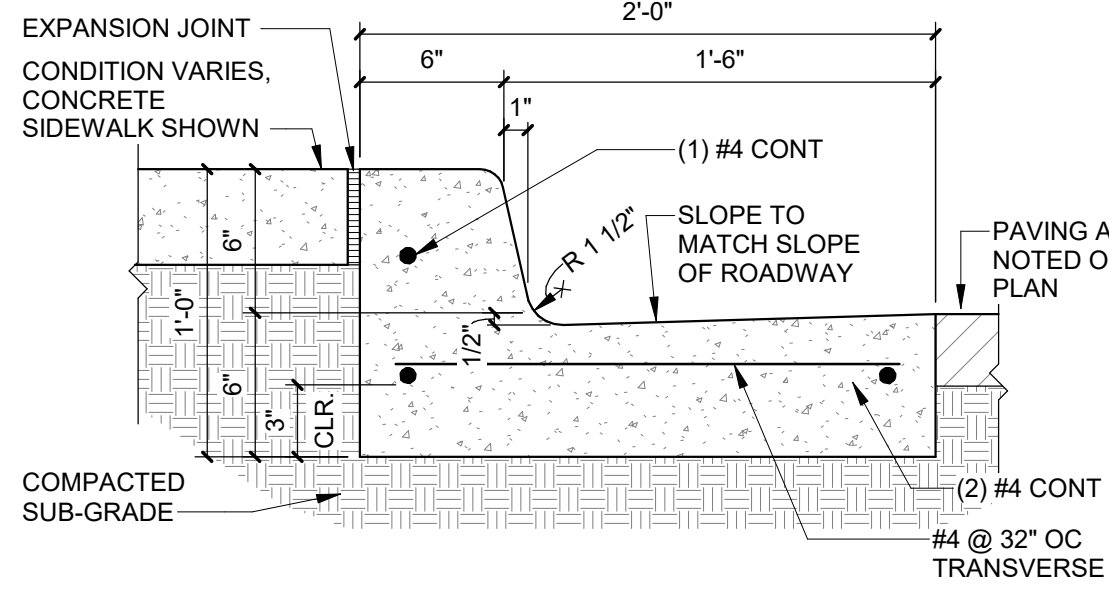
C2 FIRE STRIPING AND SIGNAGE
1/2" = 1'-0"



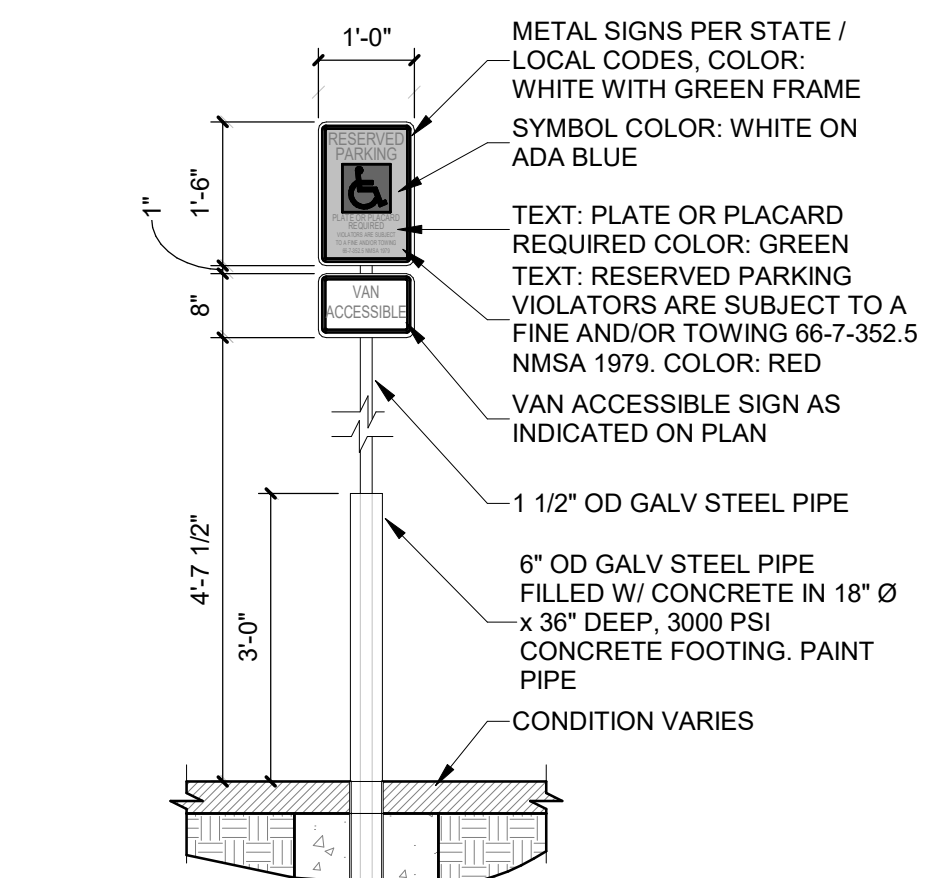
C3 CONCRETE SEAT WALL
3/4" = 1'-0"



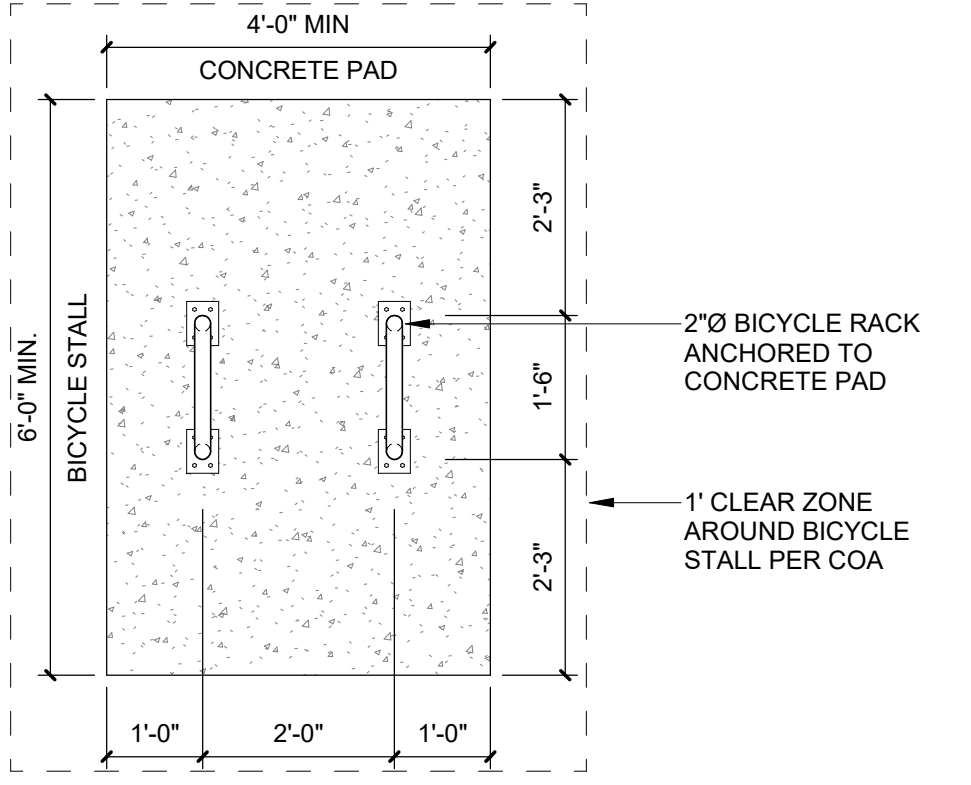
C4 PAINTED CROSSWALK
1/4" = 1'-0"



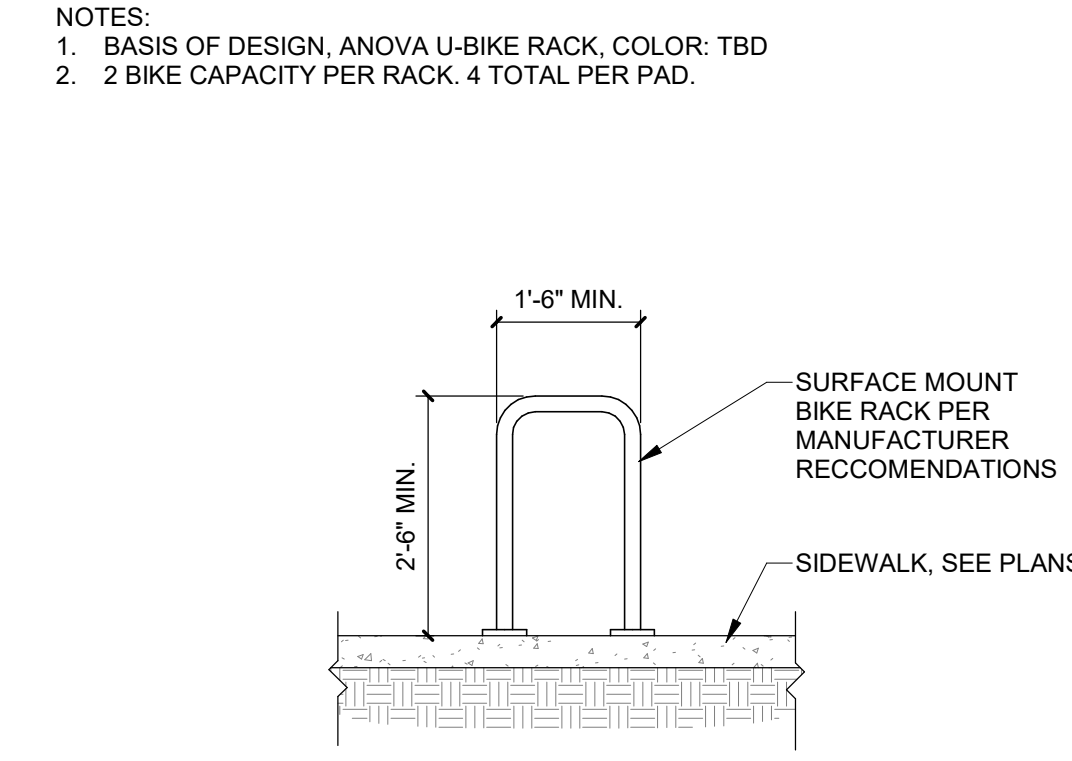
C5 CONCRETE CURB & GUTTER
1 1/2" = 1'-0"



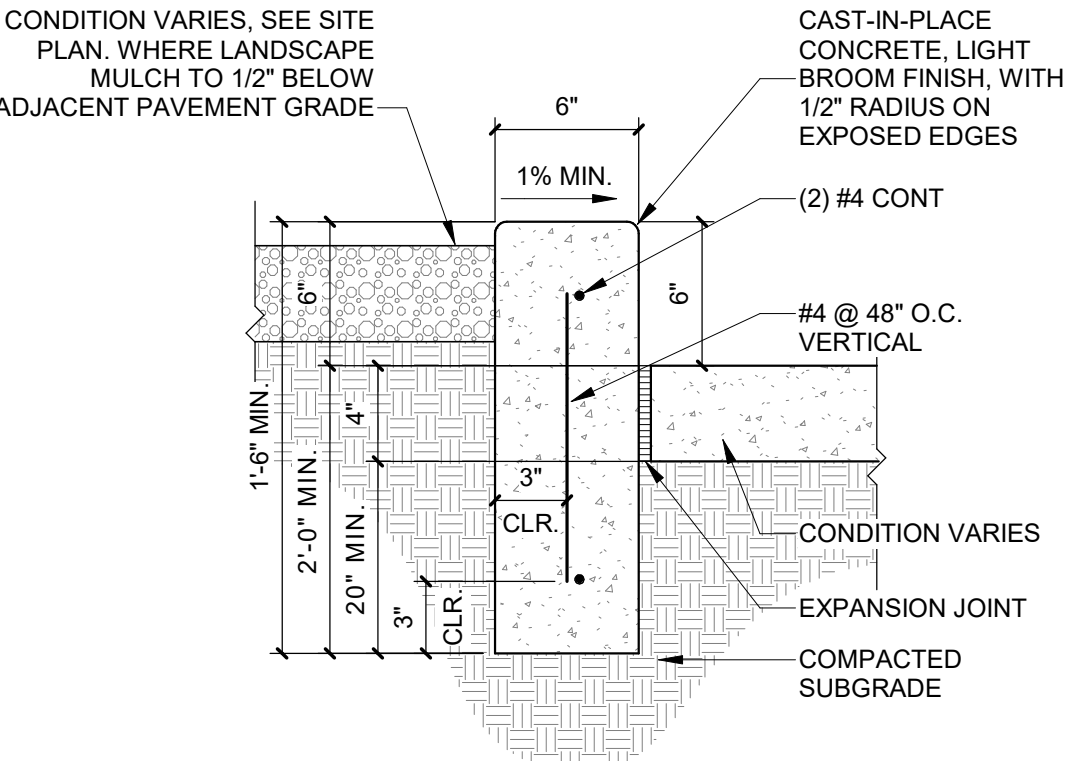
B1 PIPE BOLLARD AND ACCESSIBLE SIGNAGE
1/2" = 1'-0"



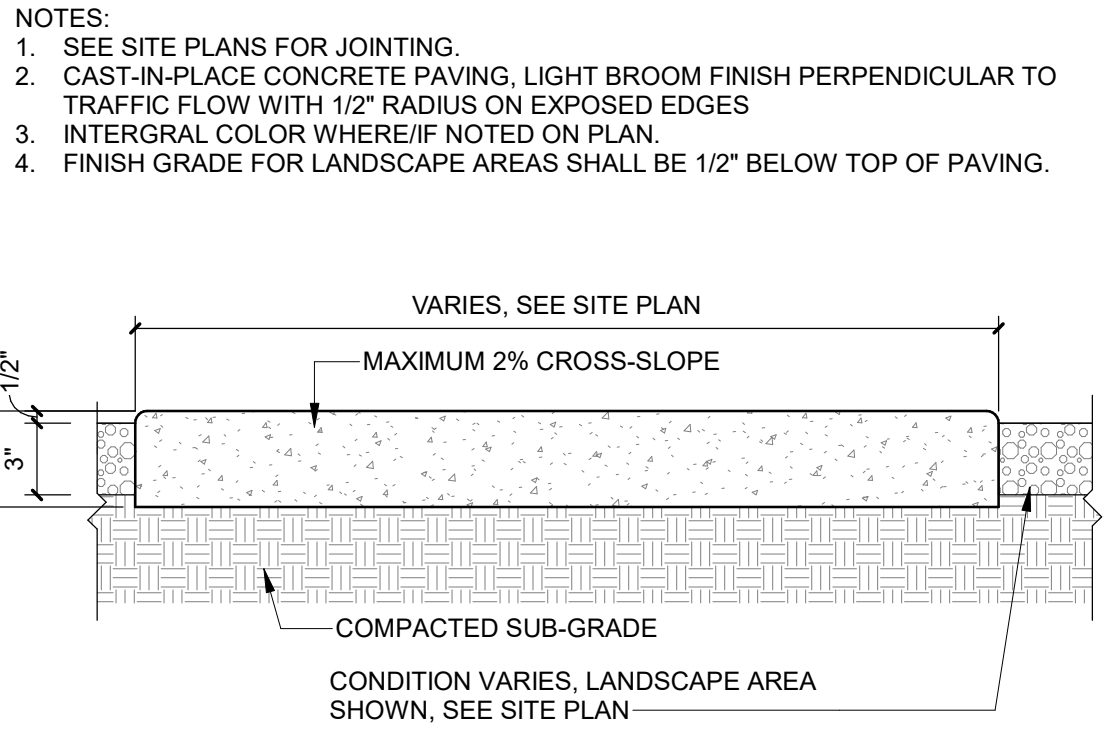
B2 BICYCLE RACK PLAN
1/2" = 1'-0"



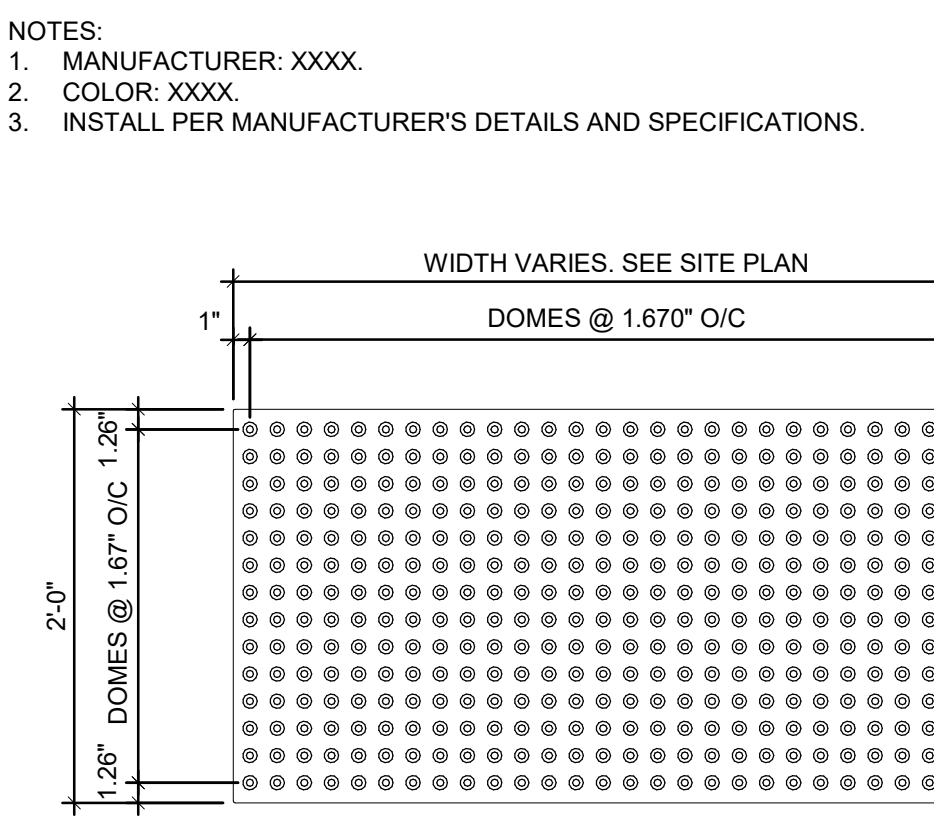
B3 BICYCLE RACK
1/2" = 1'-0"



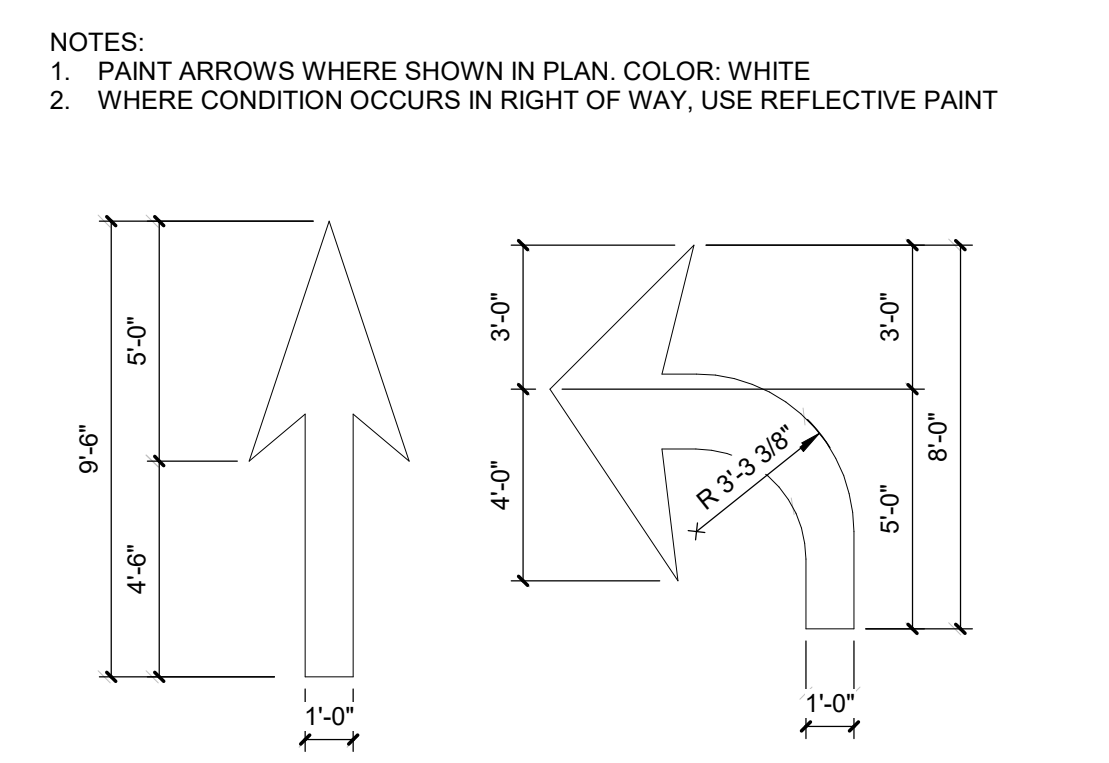
B4 CONCRETE HEADER CURB
1 1/2" = 1'-0"



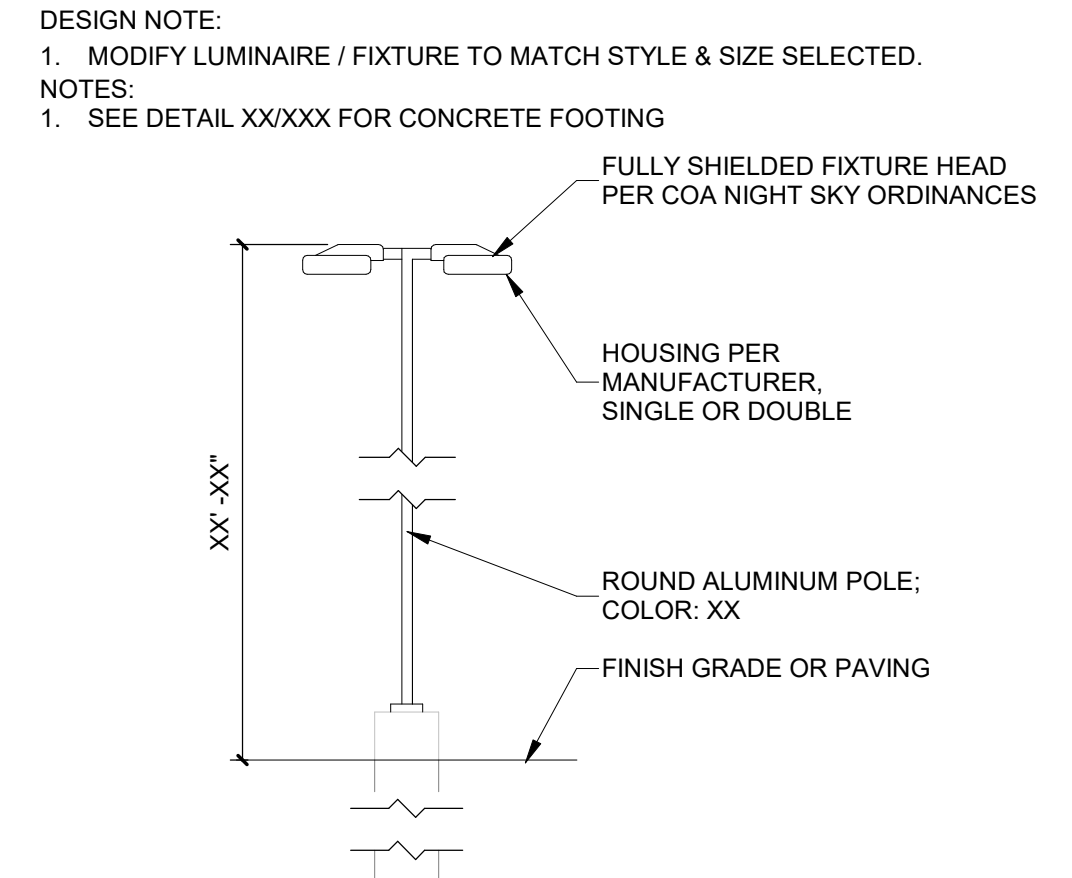
B5 CONCRETE SIDEWALK
1 1/2" = 1'-0"



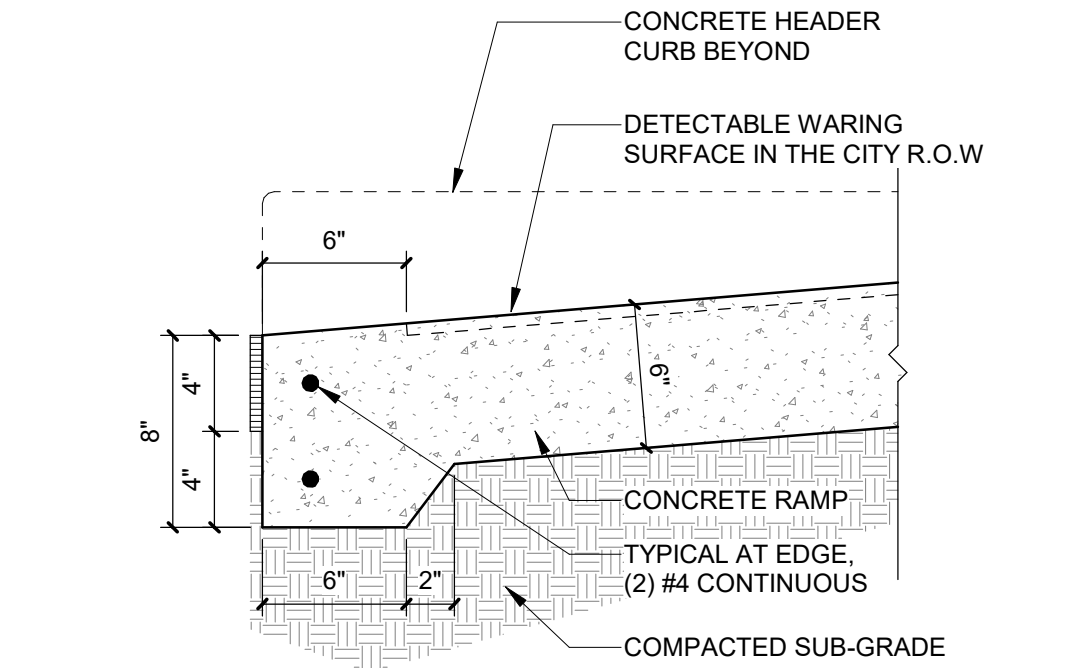
A1 TACTILE SURFACE
1" = 1'-0"



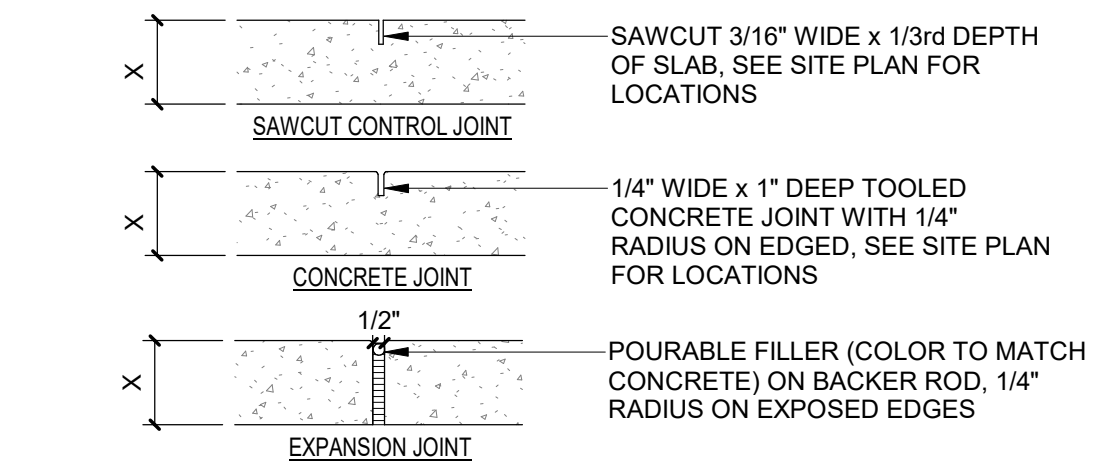
A2 DIRECTIONAL PAVEMENT ARROW
1/4" = 1'-0"



A3 PARKING LIGHT POLE
1/4" = 1'-0"



A4 RAMP TRANSITION
1 1/2" = 1'-0"



CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS				
APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL, HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON	6'-12' WALK
CONTROL JOINTS	4" O.C.	5" O.C.	8" O.C.	6" O.C.
EXPANSION JOINTS	4" O.C.	5" O.C.	8" O.C.	6" O.C.

A5 CONCRETE JOINTS & JOINT SPACING
1 1/2" = 1'-0"

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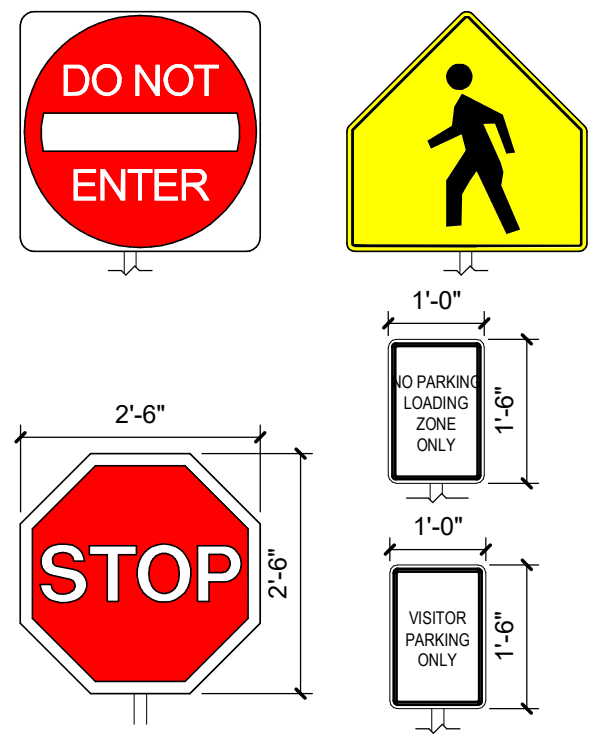
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DRAWN BY BH
REVIEWED BY CWW
DATE 07/10/23
PROJECT NO: 22-0083

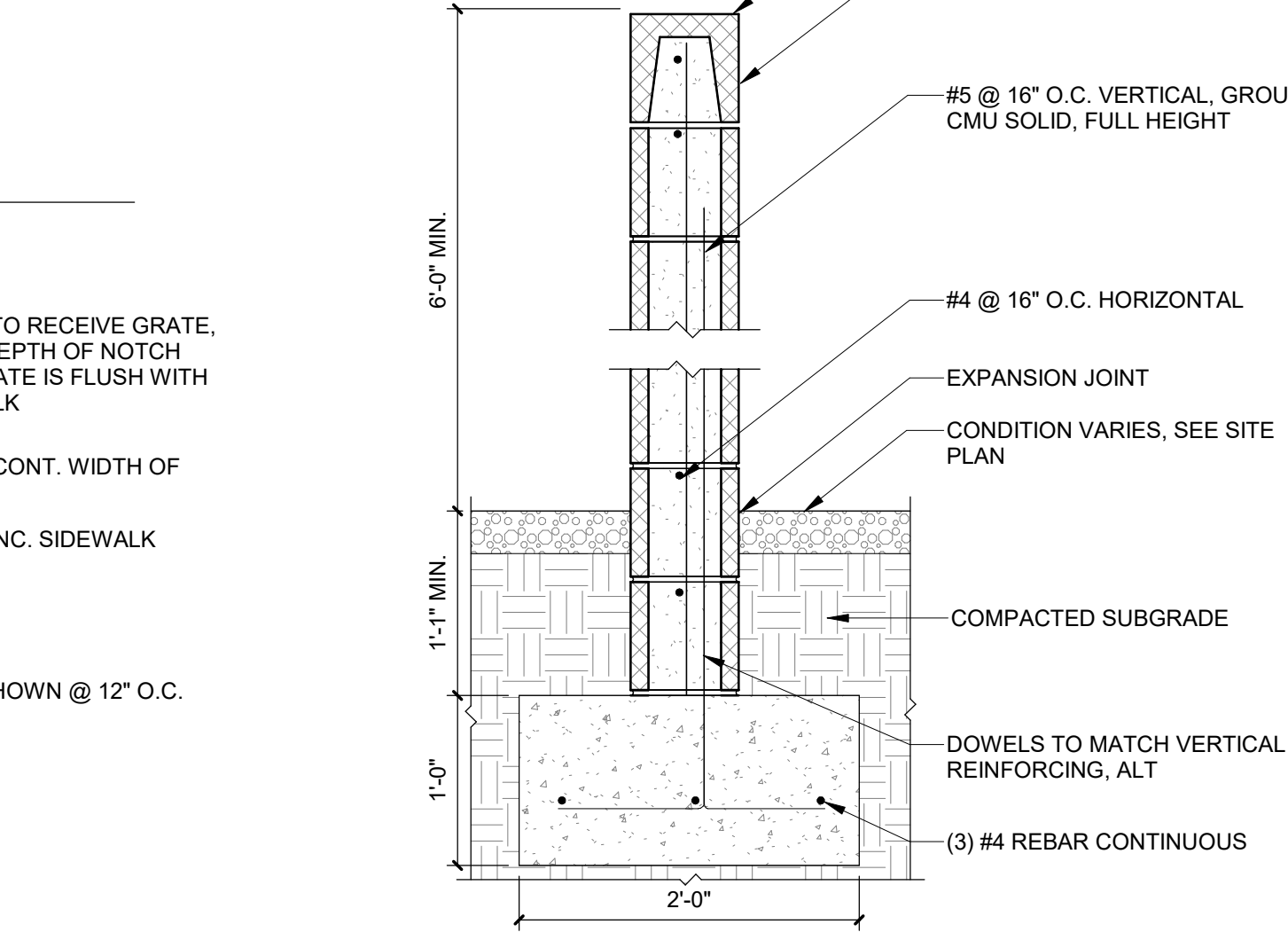
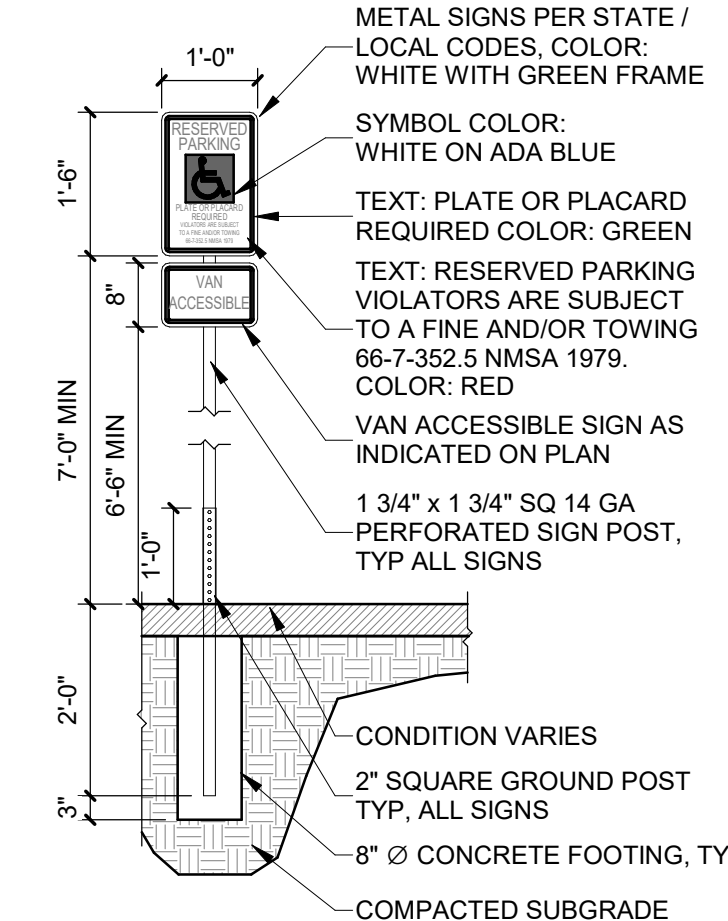
DRAWING NAME
ENLARGED PLANS AND DETAILS

SHEET NO
SDP 1.2

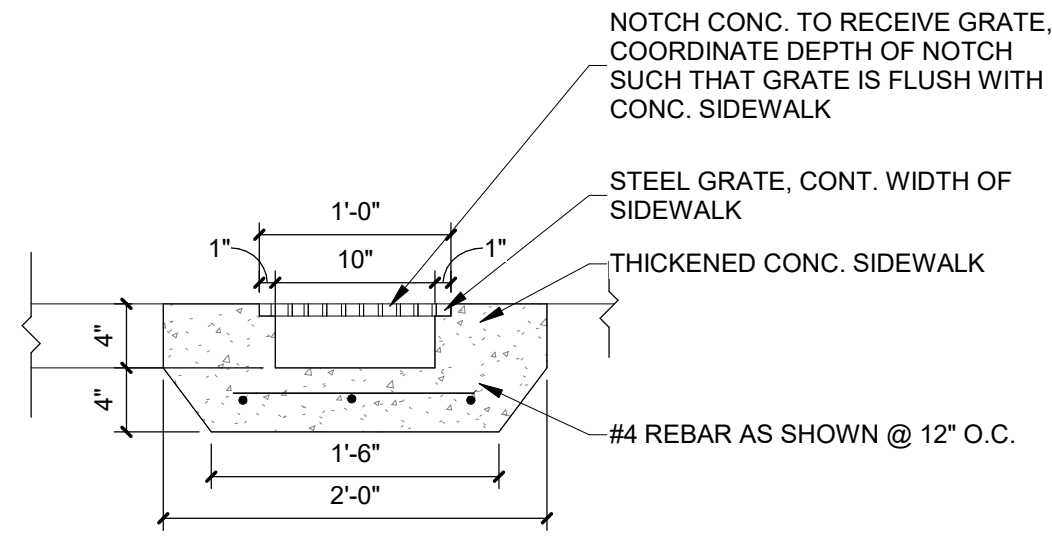
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D1 TRAFFIC SIGNAGE
1/2" = 1'-0"

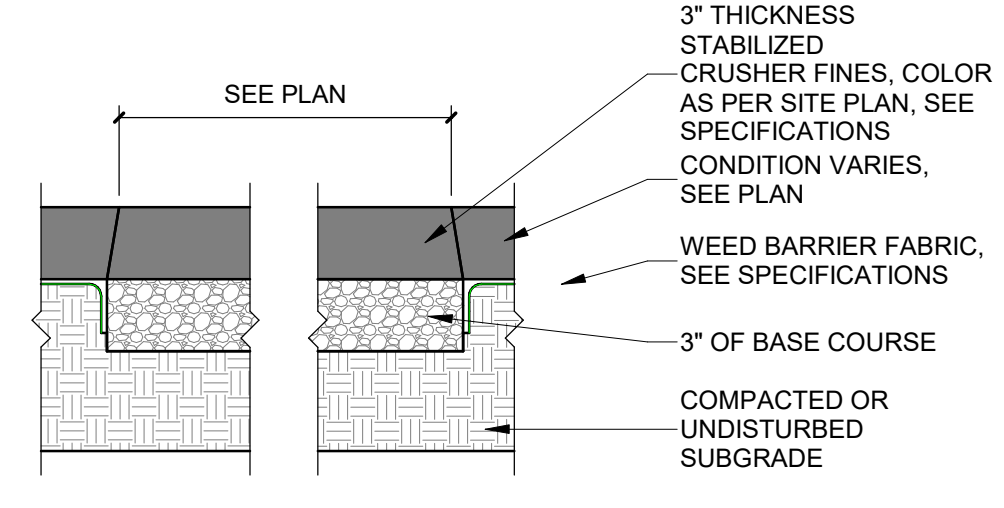


C2 SDP - GARDEN WALL CMU
1" = 1'-0"



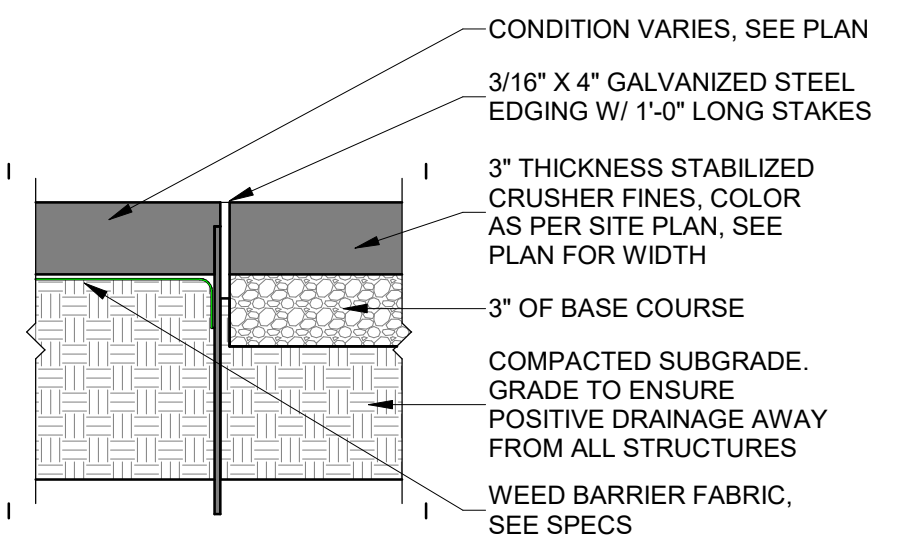
C1 SIDEWALK CULVERT
1" = 1'-0"

- NOTES:
1. STABILIZED CRUSHER FINES SHALL BE FLUSH WITH TOP OF TOP OF ADJACENT CONCRETE PAVEMENT, CURB OR FINISH GRADE, AND TO MATCH FINISH GRADES ON CIVIL DRAWINGS.
2. INSTALL BASE COURSE AND CRUSHER FINES FIRST, THEN INSTALL AND COMPACT ADJACENT MULCH.



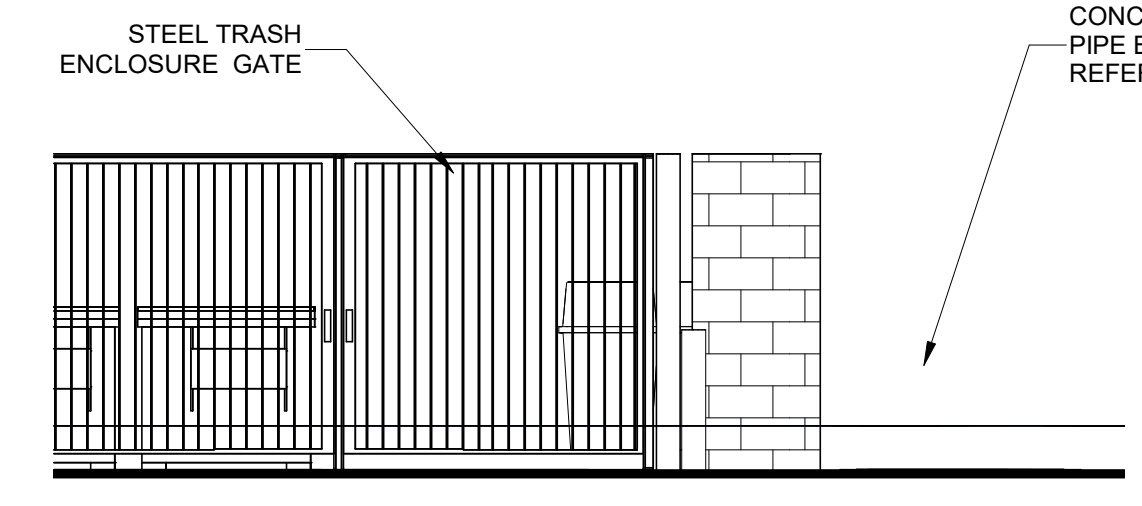
B1 STABILIZED CRUSHER FINES
1 1/2" = 1'-0"

- NOTES:
1. STABILIZED CRUSHER FINES SHALL BE FLUSH WITH TOP OF ADJACENT CONCRETE PAVEMENT, CURB OR FINISH GRADE, AND TO MATCH FINISH GRADES ON CIVIL DRAWINGS.
2. STEEL EDGING TO BE LOCATED ALONG BOTH SIDES OF PATH EXCEPT WHERE CONCRETE, PAVING OR RAISED PLANTER MATERIAL IS PRESENT
3. SEE SPECIFICATIONS

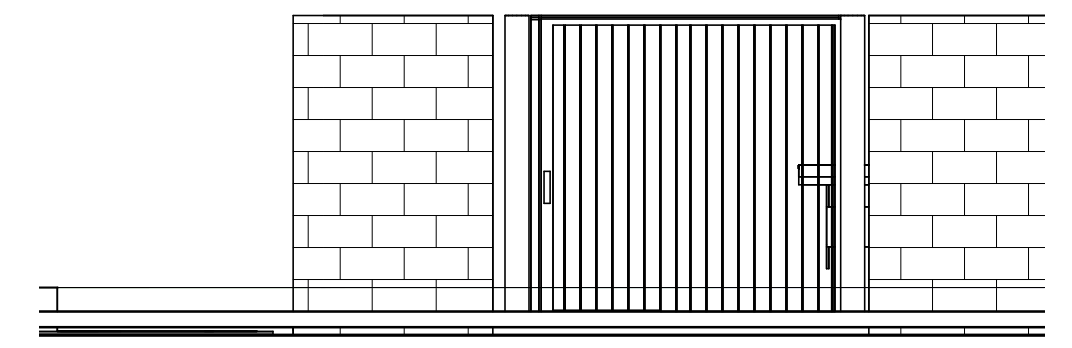


B2 CRUSHER FINE PATH WITH STEEL EDGE
1 1/2" = 1'-0"

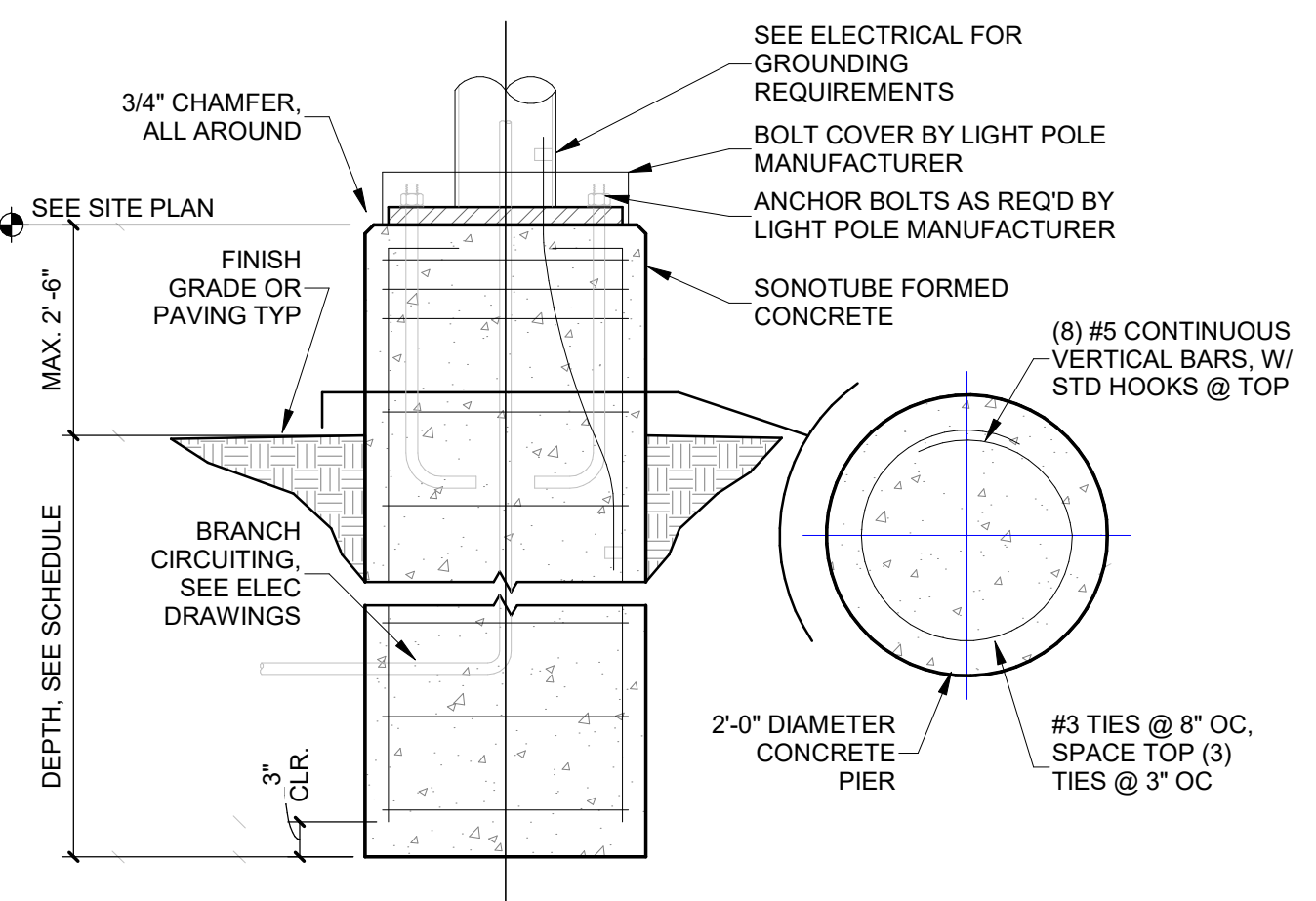
D3 TRASH ENCLOSURE - NORTH/SOUTH - TYP.
1/4" = 1'-0"



C3 REFUSE ENCLOSURE - WEST
1/4" = 1'-0"



B3 REFUSE ENCLOSURE - EAST
1/4" = 1'-0"

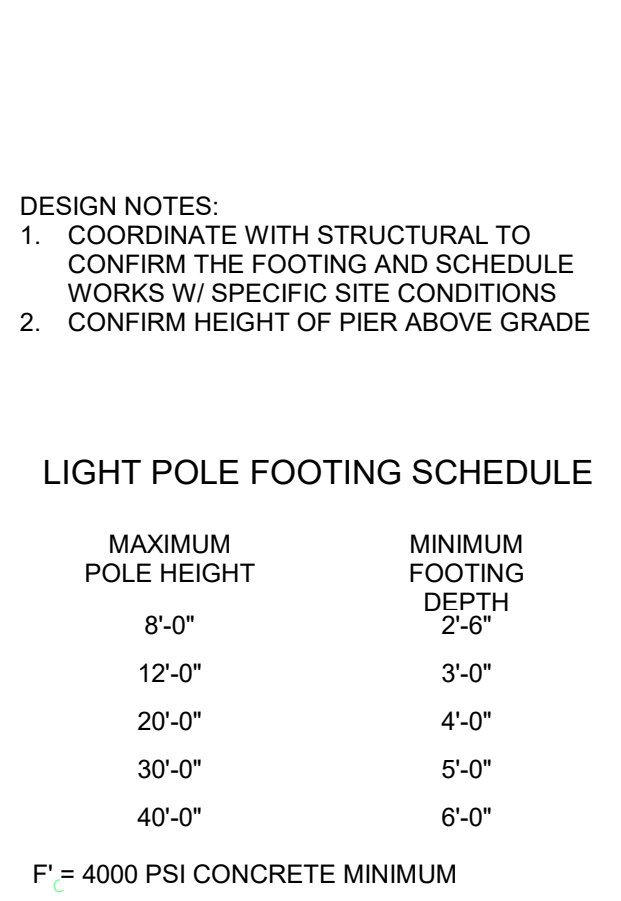


A3 FOUNDATION AT LIGHTPOLE
3/4" = 1'-0"

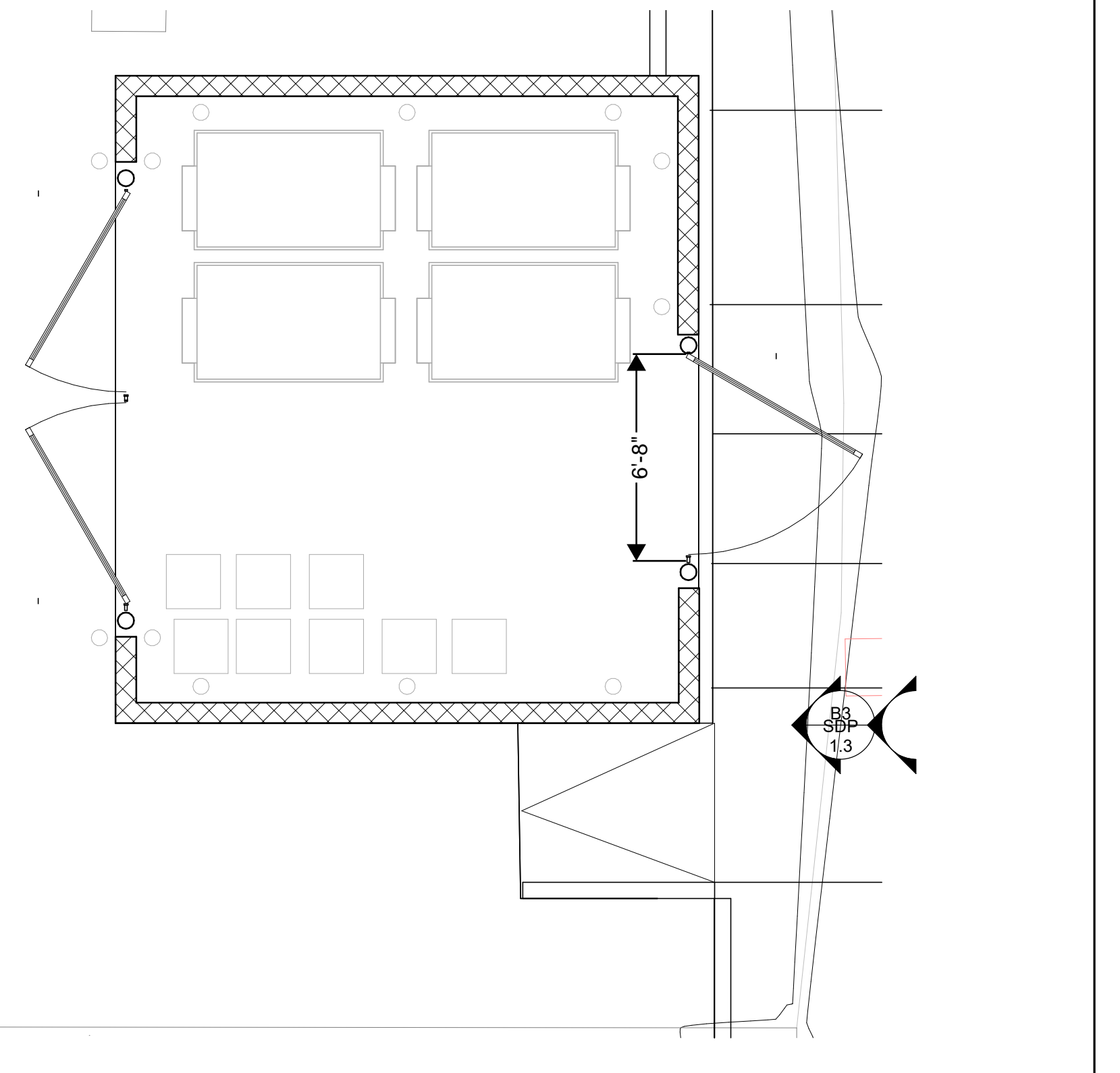
D2 REFUSE BOLLARD CONNECTION
1" = 1'-0"



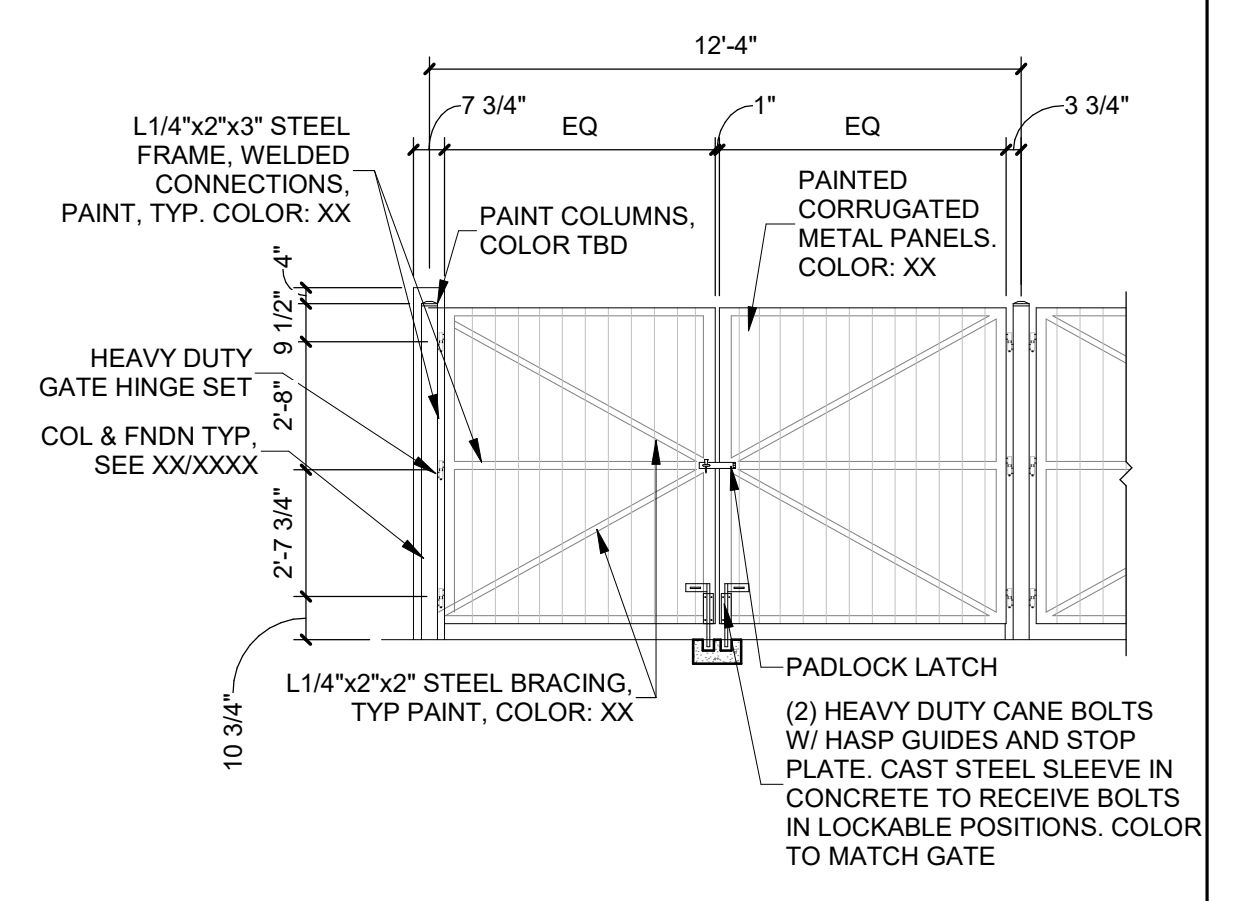
B4 TRASH ENCLOSURE
1/4" = 1'-0"



D4 REFUSE ENCLOSURE SECTION
1/2" = 1'-0"



A5 REFUSE ENCLOSURE GATE
1/4" = 1'-0"

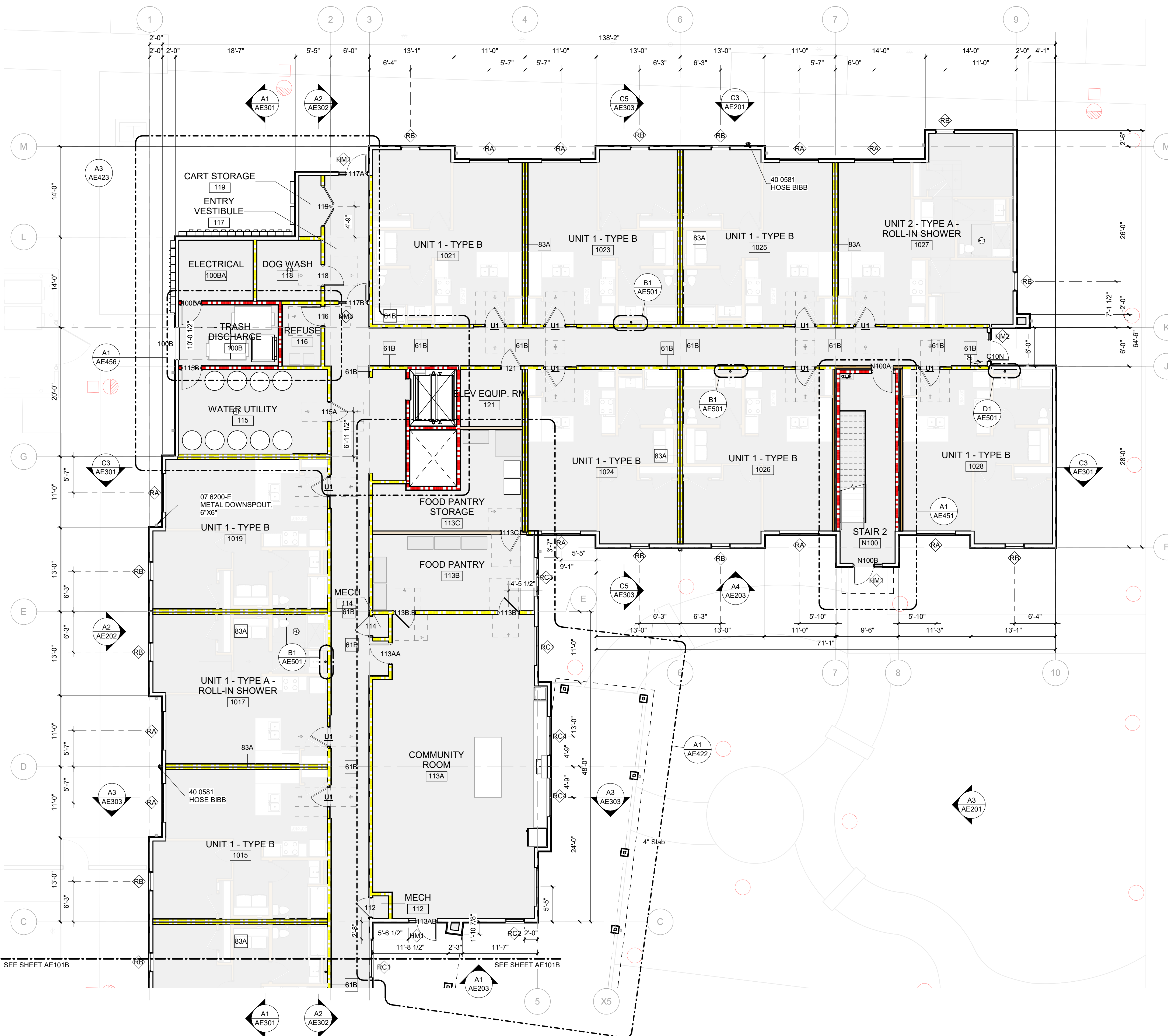


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Architecture in Progress
STATE OF NEW MEXICO
HANNAH FEIL GREENHOOD
No. 5594
09/05/2024
REGISTERED ARCHITECT

SEAL
PROJECT
FAROLITO SENIOR COMMUNITY
10501 CENTRAL AVENUE NE
ALBUQUERQUE, NM 87123

ISSUED FOR PERMIT
REVISIONS
DRAWN BY: BH
REVIEWED BY: CWW
DATE: 07/10/23
PROJECT NO: 22-0083
DRAWING NAME: ENLARGED PLANS AND DETAILS
SHEET NO: SDP 1.3

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A1 LEVEL 1 - AREA A FLOOR PLAN
1/8" = 1'-0"

GENERAL SHEET NOTES

- A. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS OTHERWISE NOTED.
- B. ALL DIMENSIONS SHOWN AT DOORS AND WINDOWS ARE TO CENTERLINE.
- C. ALL EXTERIOR WALLS ARE TYPE W278 UNLESS NOTED OTHERWISE. REFER TO ENLARGED PLAN VIEWS FOR ADDITIONAL WALL AND PARTITION TYPE INFORMATION.
- D. REFER TO SHEET AE661 FOR DOOR AND FRAME TYPES, WINDOW AND FRAME TYPES.
- E. REFER TO TYPICAL UNIT PLANS ON SHEETS AE401 - AE404 FOR ROOM DIMENSIONS, UNIT DOOR LOCATIONS, UNIT TYPE FINISHES AND INTERIOR PARTITION TYPES AND ADDITIONAL FRAMING REQUIREMENTS.
- F. REFER TO CIVIL SHEETS FOR TOP OF SLAB ELEVATIONS.
- G. REFER TO G900 FOR LOCATION OF TYPE "A" UNITS WITH ROLL-IN SHOWERS AND UNITS WITH PROVISIONS FOR THE HEARING IMPAIRED.
- H. AN ACCESSIBLE ROUTE SHALL BE PROVIDED TO ALL ACCESSIBLE UNITS, PUBLIC SPACES, COMMON SPACES AND SITE AMENITIES.
- I. REFER TO BUILDING ELEVATIONS FOR EXTERIOR BUILDING SIGNAGE. REFER TO SHEET G011 FOR MOUNTING HEIGHTS AND SPECIFICATIONS FOR ALL OTHER SIGNAGE.
- J. WHERE POSSIBLE, ROUTE ALL PLUMBING THROUGH NON-LOAD BEARING WALLS AND CHASE WALLS.
- K. ALL DOOR FRAMES TO BE 4 INCHES FROM ADJACENT INSIDE CORNER UNO

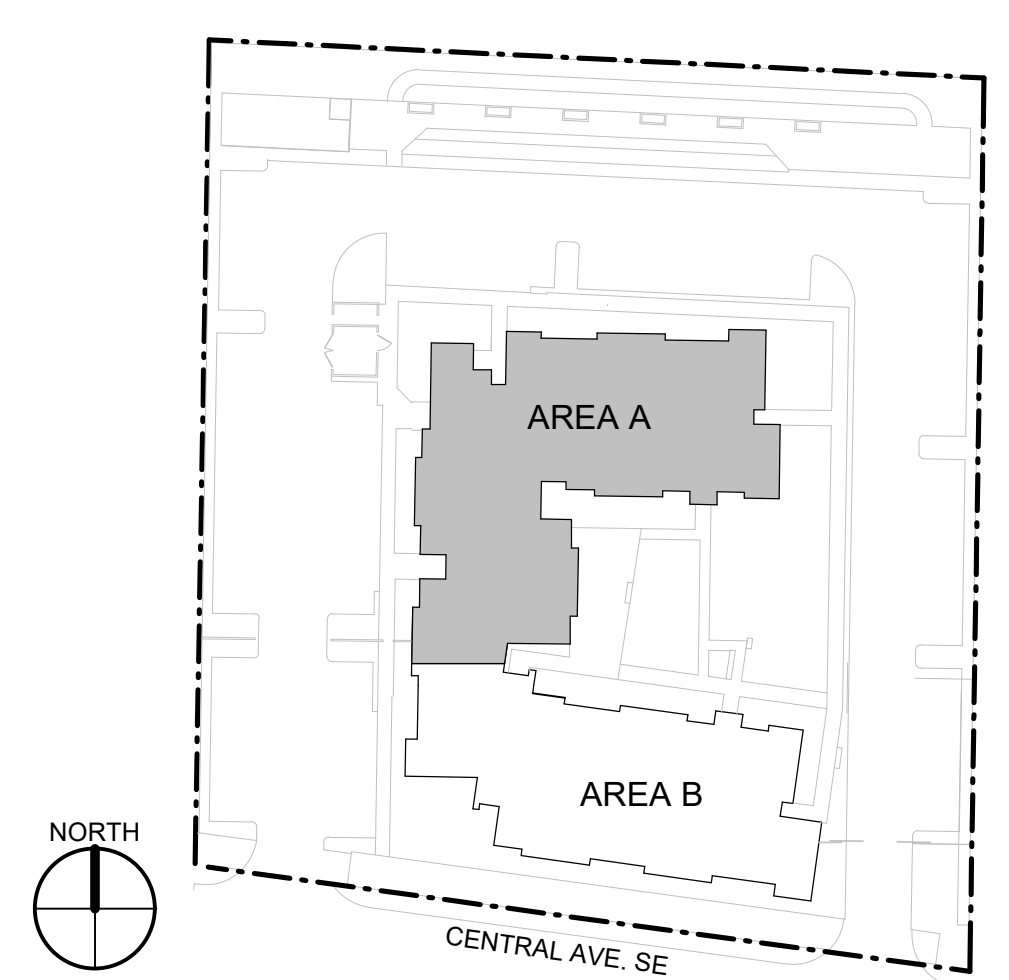
SHEET KEYNOTES

REFERENCE KEYNOTES

- 07 6200-E METAL DOWNSPOUT, 6"X6"
- 40 0581 HOSE BIBB

LEGEND

KEY PLAN



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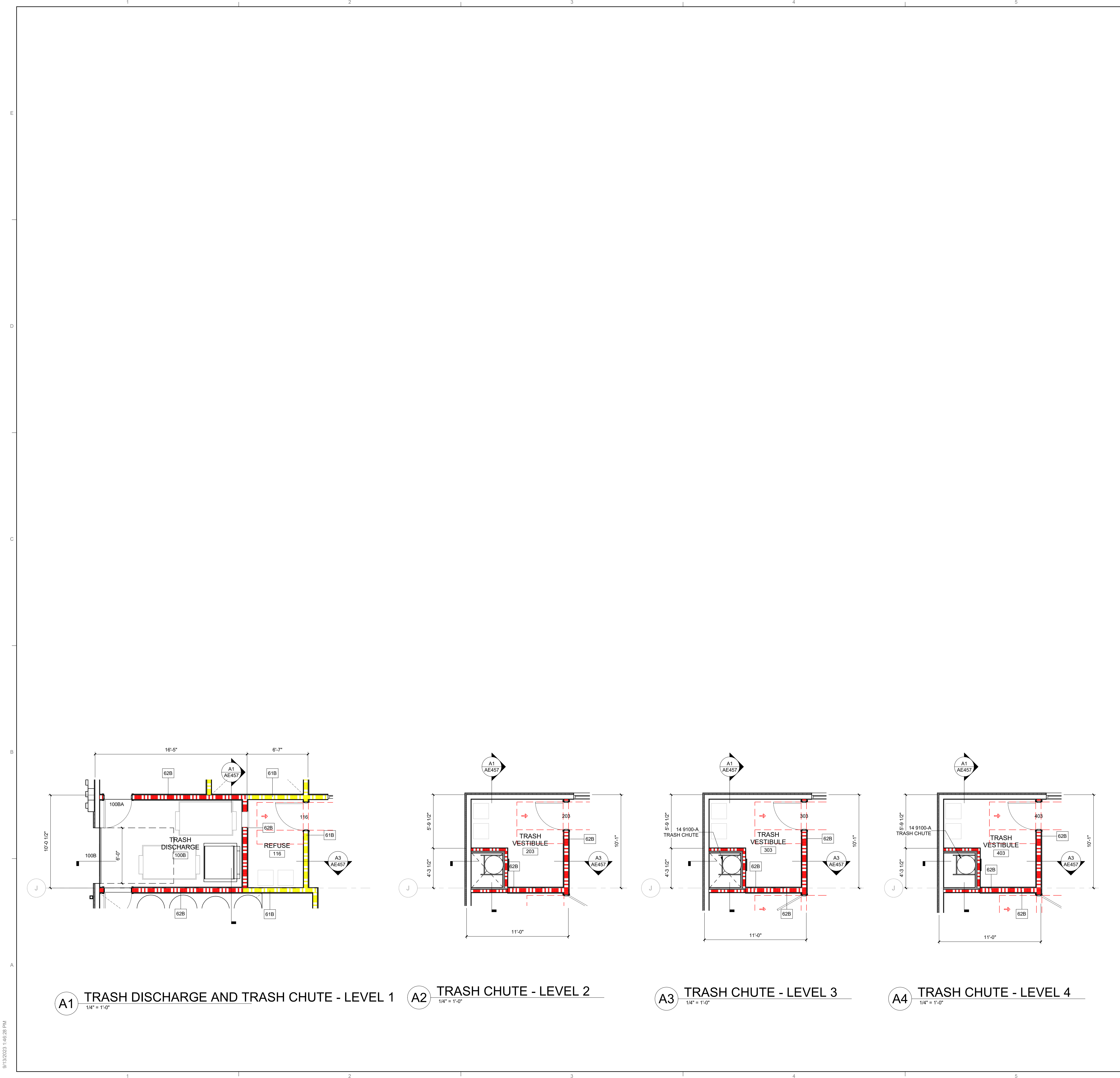
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DRAWN BY AW
REVIEWED BY CWW, HFG
DATE 09/01/2023
PROJECT NO 22-0083

DRAWING NAME
LEVEL 1 - AREA A FLOOR PLAN

SHEET NO
AE101A



A1 TRASH DISCHARGE AND TRASH CHUTE - LEVEL 1 $1/4" = 1'-0"$ **A2 TRASH CHUTE - LEVEL 2** $1/4" = 1'-0"$ **A3 TRASH CHUTE - LEVEL 3** $1/4" = 1'-0"$ **A4 TRASH CHUTE - LEVEL 4** $1/4" = 1'-0"$

GENERAL SHEET NOTES

A. XX

SHEET KEYNOTES ◻

SEAL

REFERENCE KEYNOTES

14 9100-A TRASH CHUTE

PROJECT

LEGEND

REVISIONS

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 DATE _____ 09/01/2023
 PROJECT NO _____ 22-0083

DRAWING NAME
TRASH CHUTE PLANS

SHEET NO
AE456

GENERAL SHEET NOTES

A. XX

SHEET KEYNOTES ◻

REFERENCE KEYNOTES

SEAL

PROJECT

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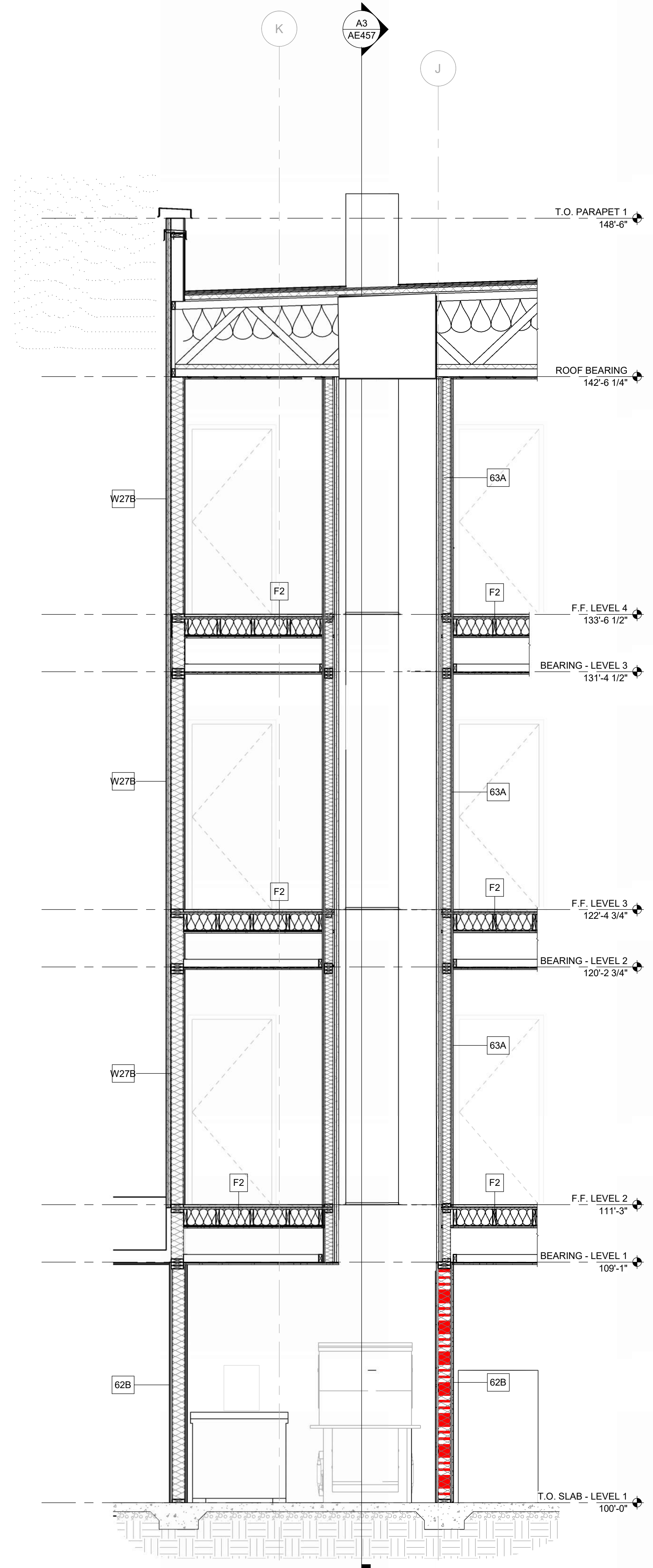
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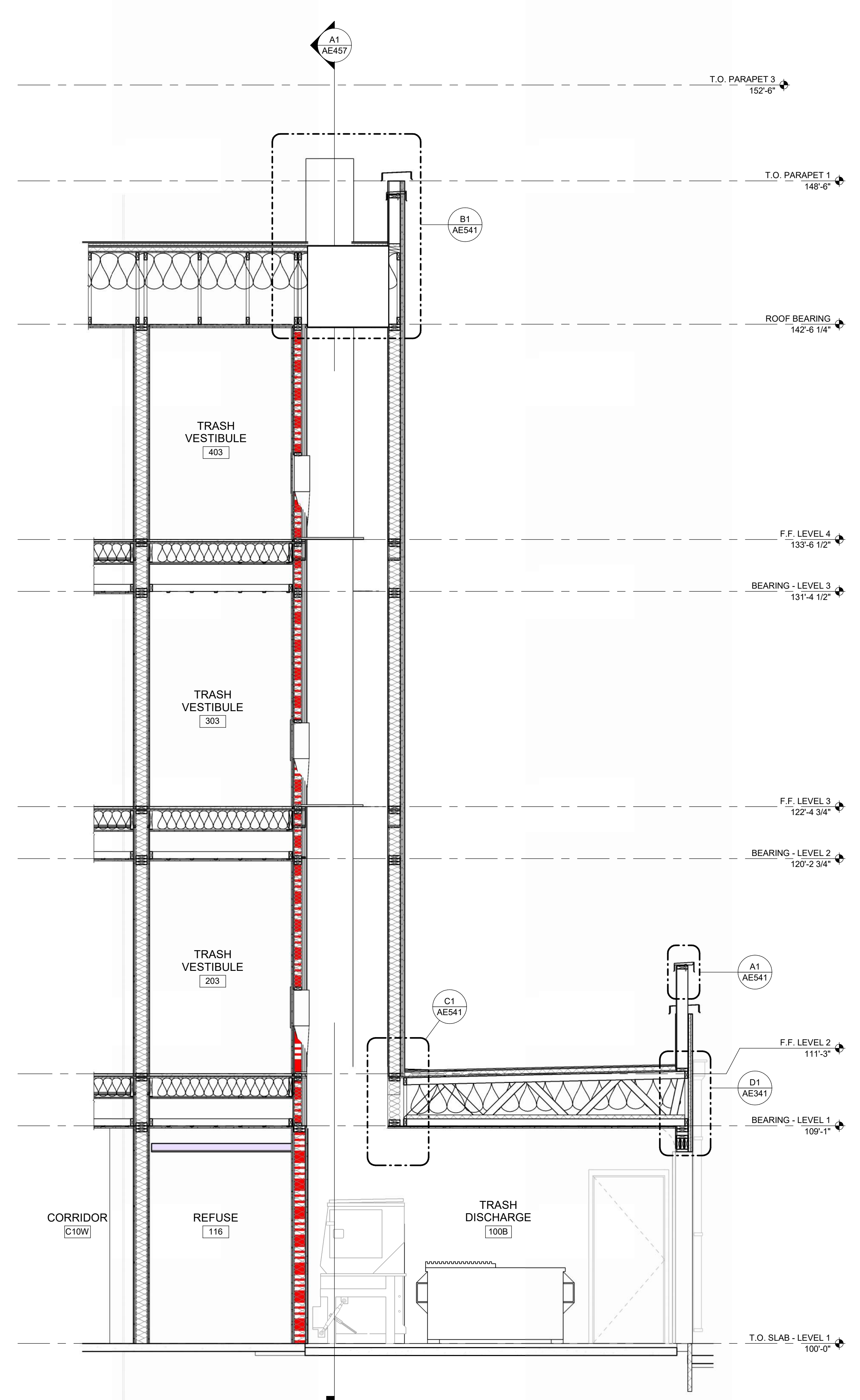
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REVIEWED BY CWW, HFG
DATE 09/01/2023
PROJECT NO 22-0083

DRAWING NAME
**TRASH CHUTE
SECTIONS**

SHEET NO
AE457



A1 TRASH CHUTE
3/8" = 1'-0"



A3 TRASH CHUTE
3/8" = 1'-0"

LEGEND

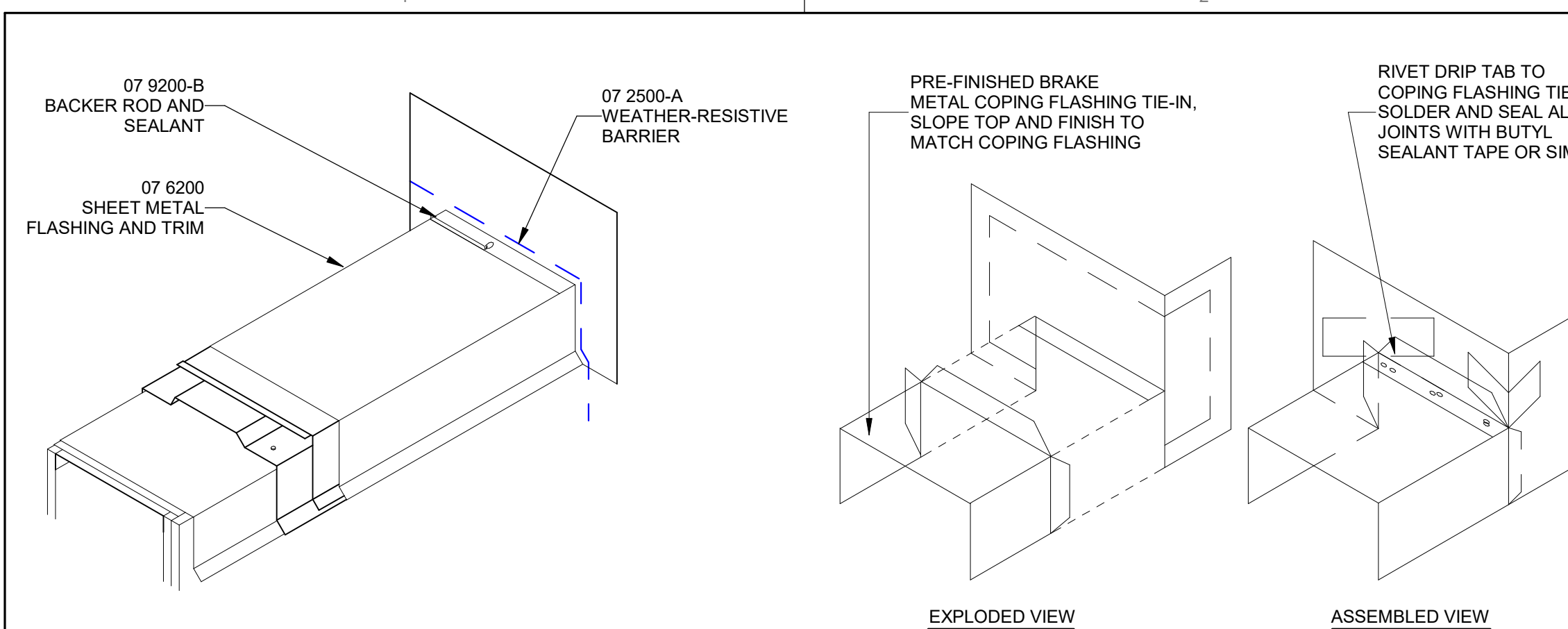
GENERAL SHEET NOTES

- A. SEE AE090 FOR EXTERIOR WALL, SOFFIT AND ROOF ASSEMBLIES.
- B. ALL WOOD BLOCKING USED IS TO BE FIRE RETARDANT WOOD.

SHEET KEYNOTES

REFERENCE KEYNOTES

- 06 1000-C01 PLYWOOD
- 06 1000-E08 WOOD STRINGER
- 06 1000-E10 WOOD STUD, SEE PARTITION TYPES
- 06 1800-A GLUED-LAMINATED BEAM
- 07 1113-B PROTECTION BOARD
- 07 1300-D SELF-ADHERED FLASHING
- 07 2100-C 1" CONTINUOUS RIGID INSULATION (IN-04) (R-5)
- 07 2400-D DRIP SCREED/TRACK
- 07 2500-A WEATHER-RESISTIVE BARRIER
- 07 5400-A THERMOPLASTIC POLYOLEFIN (TPO) MEMBRANE ROOF SYSTEM
- 07 6200 SHEET METAL FLASHING AND TRIM
- 07 6200-A METAL FLASHING
- 07 6200-B METAL SCUPPER
- 07 6200-B01 METAL OVERFLOW SCUPPER
- 07 6200-C COLLECTOR BOX WITH OVERFLOW AND 6"x6" DOWNSPOUT OUTLET
- 07 6200-E01 METAL DOWNSPOUT, 6"x6"
- 07 6200-E01 DOWNSPOUT HANGER
- 07 6200-E01 DOWNSPOUT HANGER
- 07 7100-A MANUFACTURED COPING
- 07 9200-B BACKER ROD AND SEALANT
- 07 1113-B PROTECTION BOARD
- 07 2100-C 1" CONTINUOUS RIGID INSULATION (IN-04) (R-5)

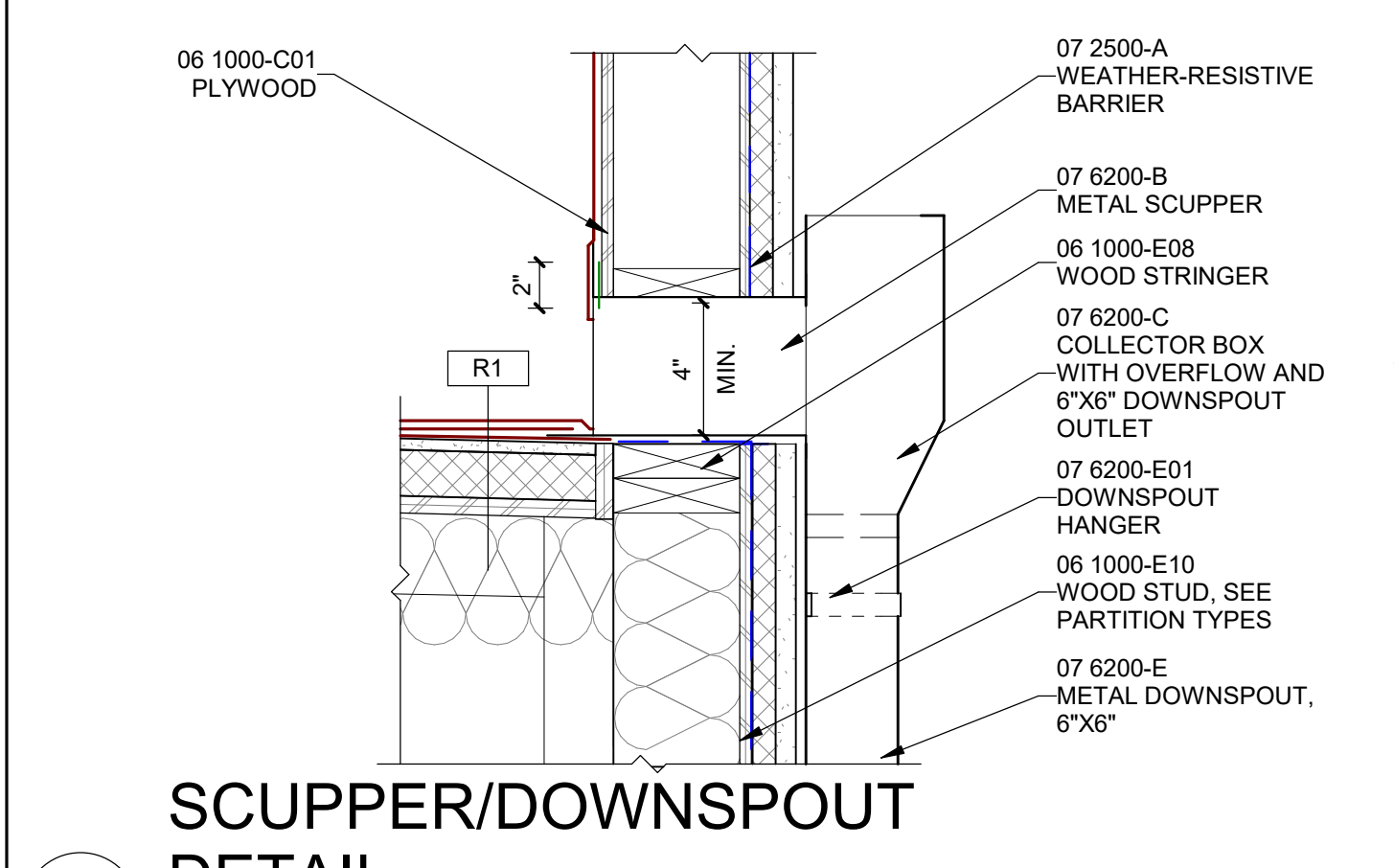
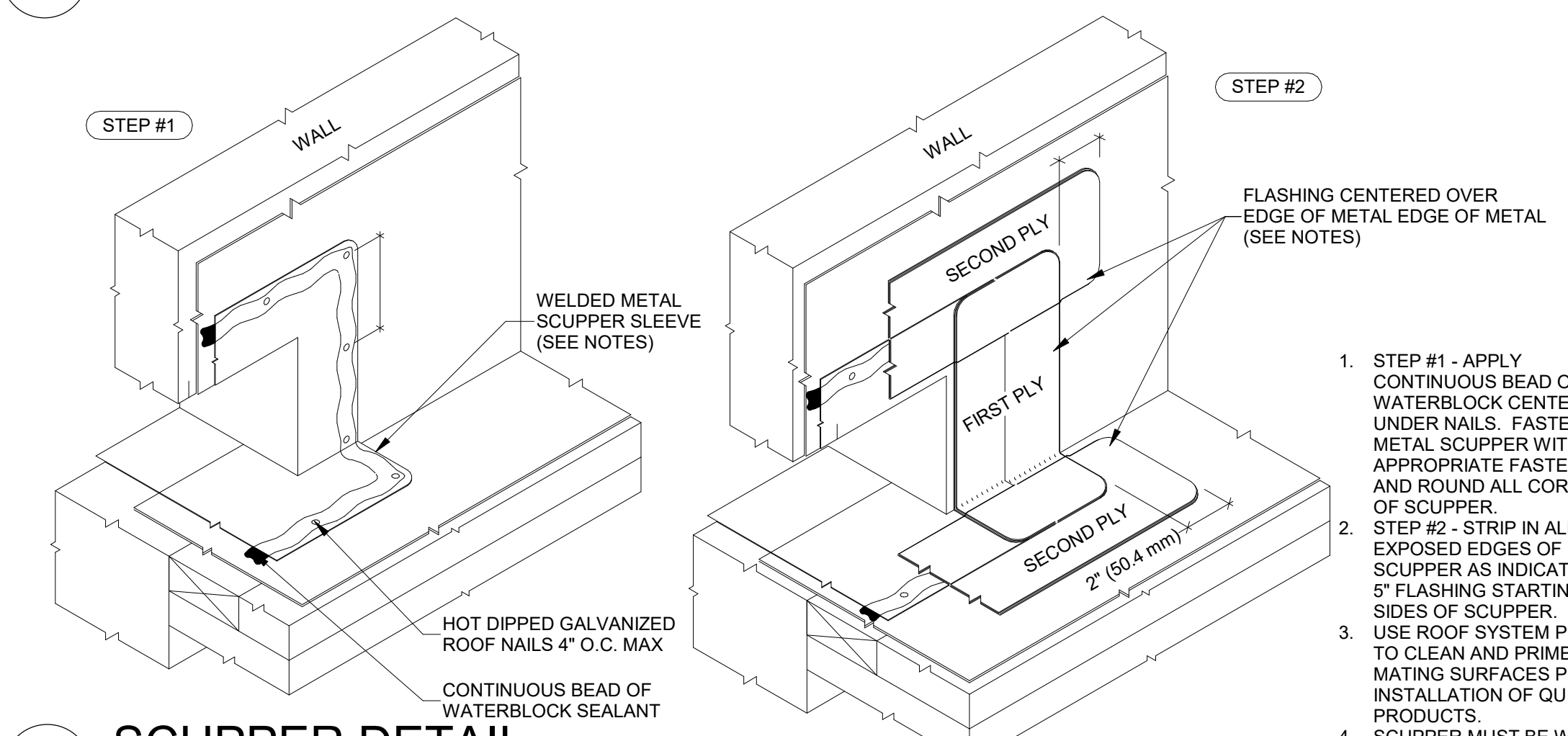
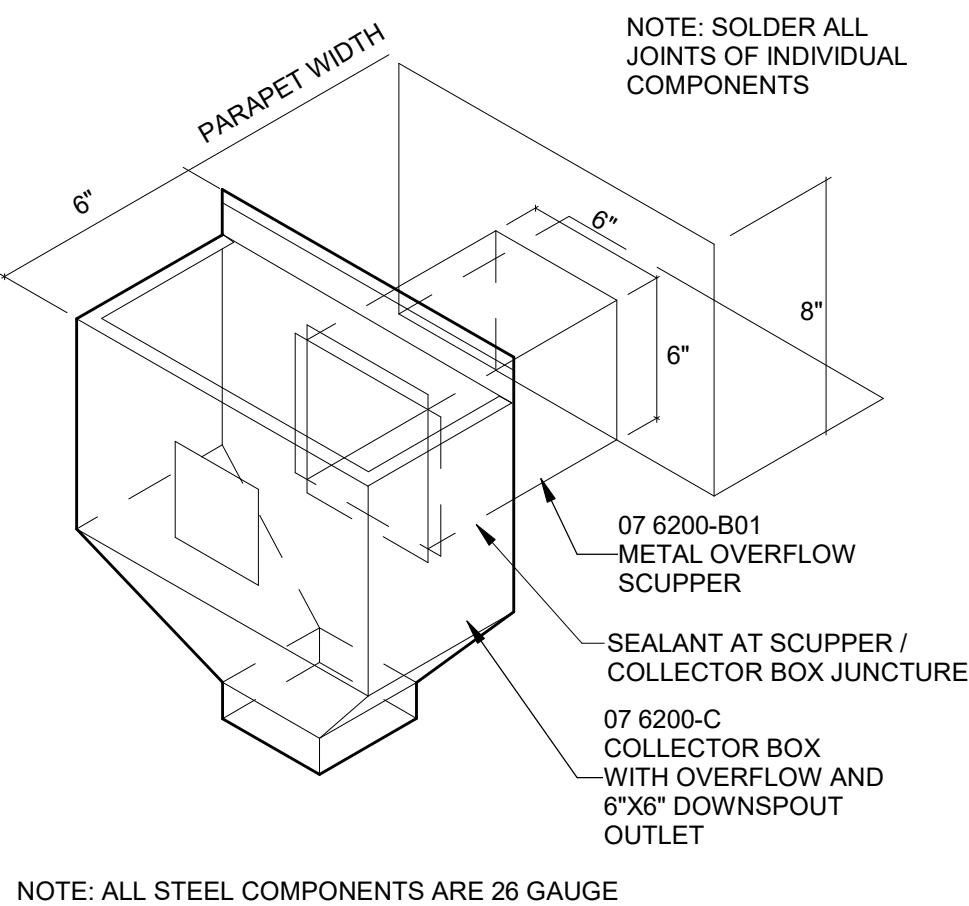


E1 COPING TERMINATION
 1 1/2" = 1'-0"

E2 SADDLE FLASHING
 1 1/2" = 1'-0"

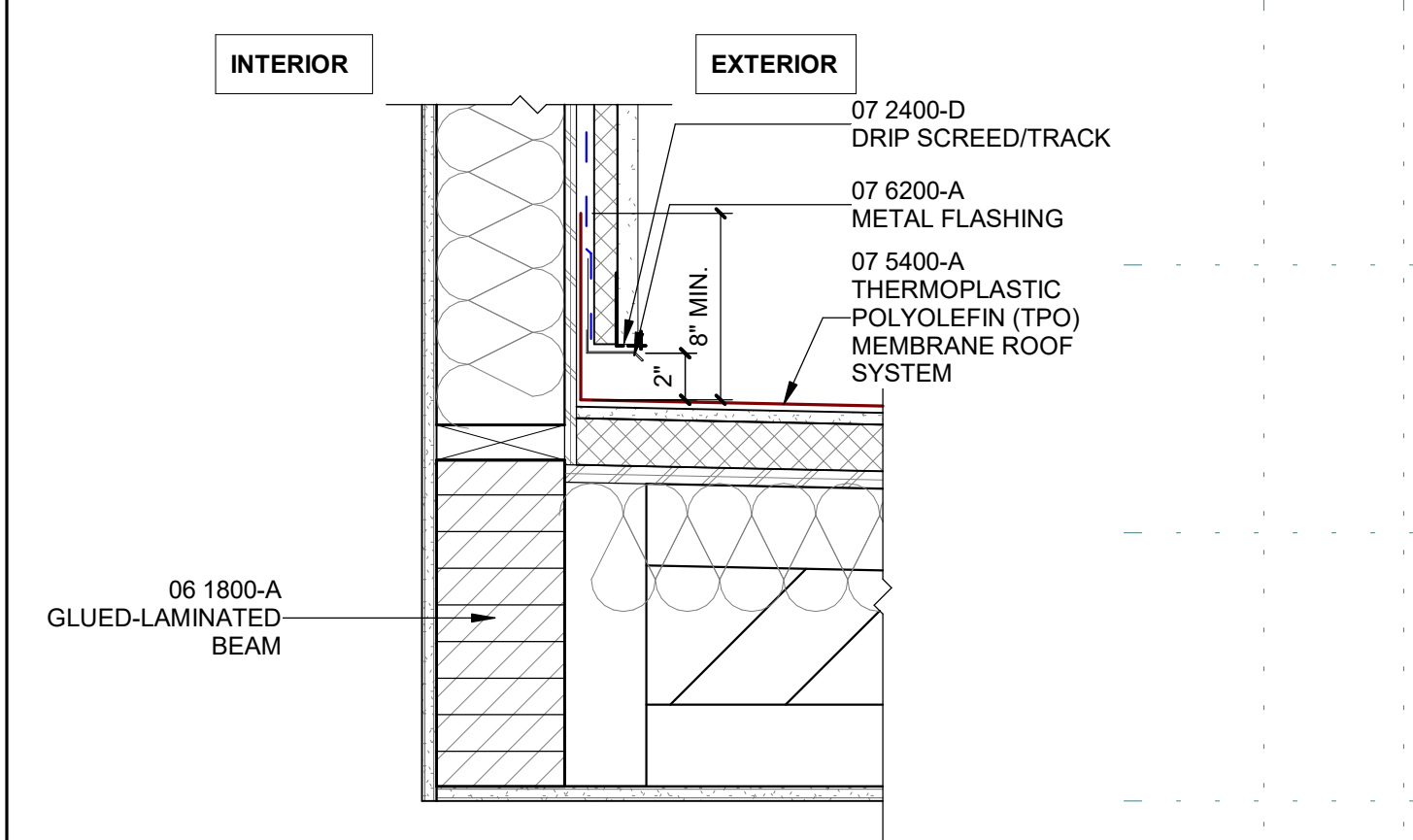
E3 PIPE PENETRATION
 1 1/2" = 1'-0"

E4 VENT CONDUIT PIPE PENETRATION
 3/4" = 1'-0"



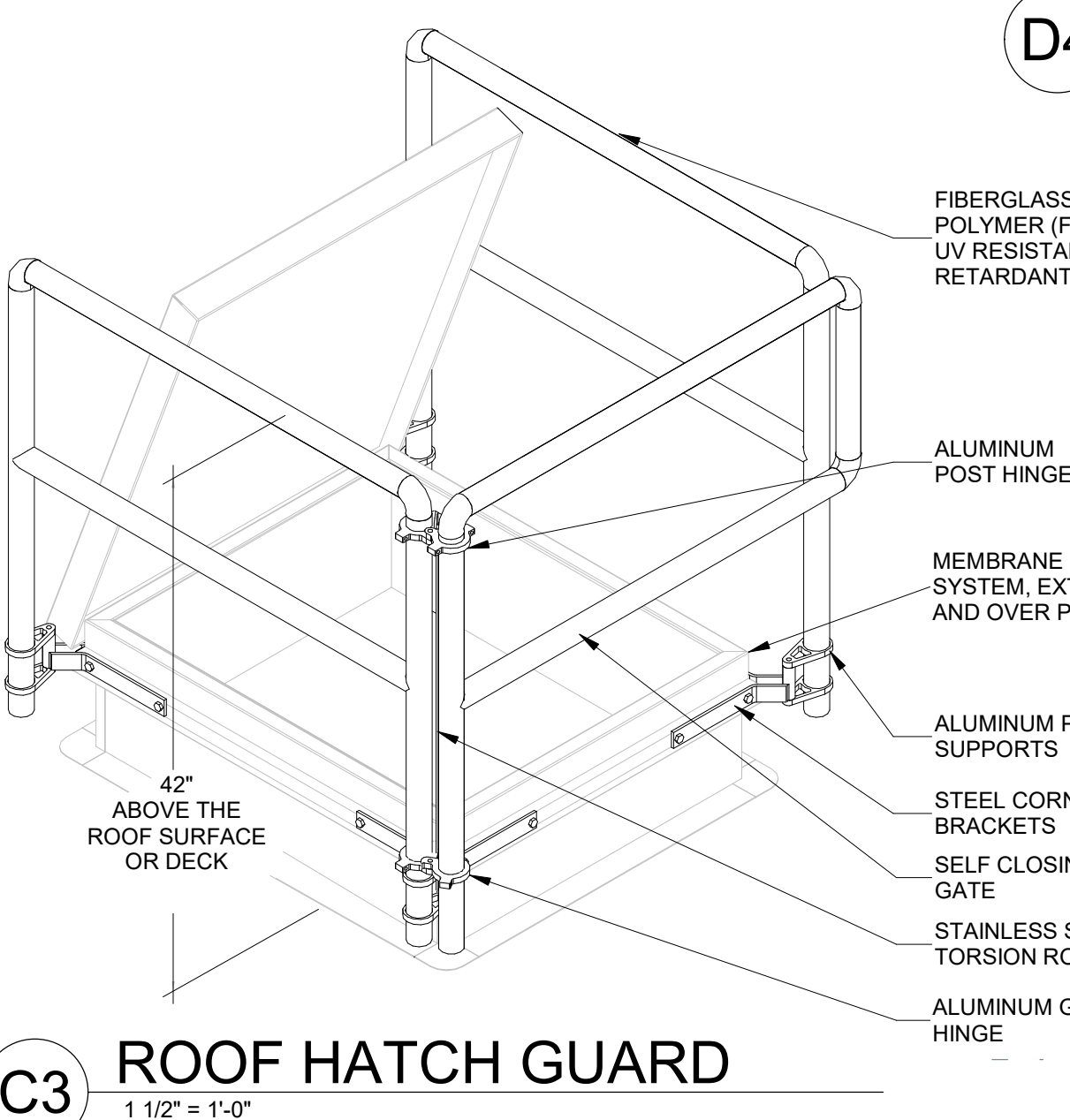
D1 SCUPPER/DOWNSPOUT DETAIL
 1 1/2" = 1'-0"

D4 SCUPPER DETAIL
 6" = 1'-0"

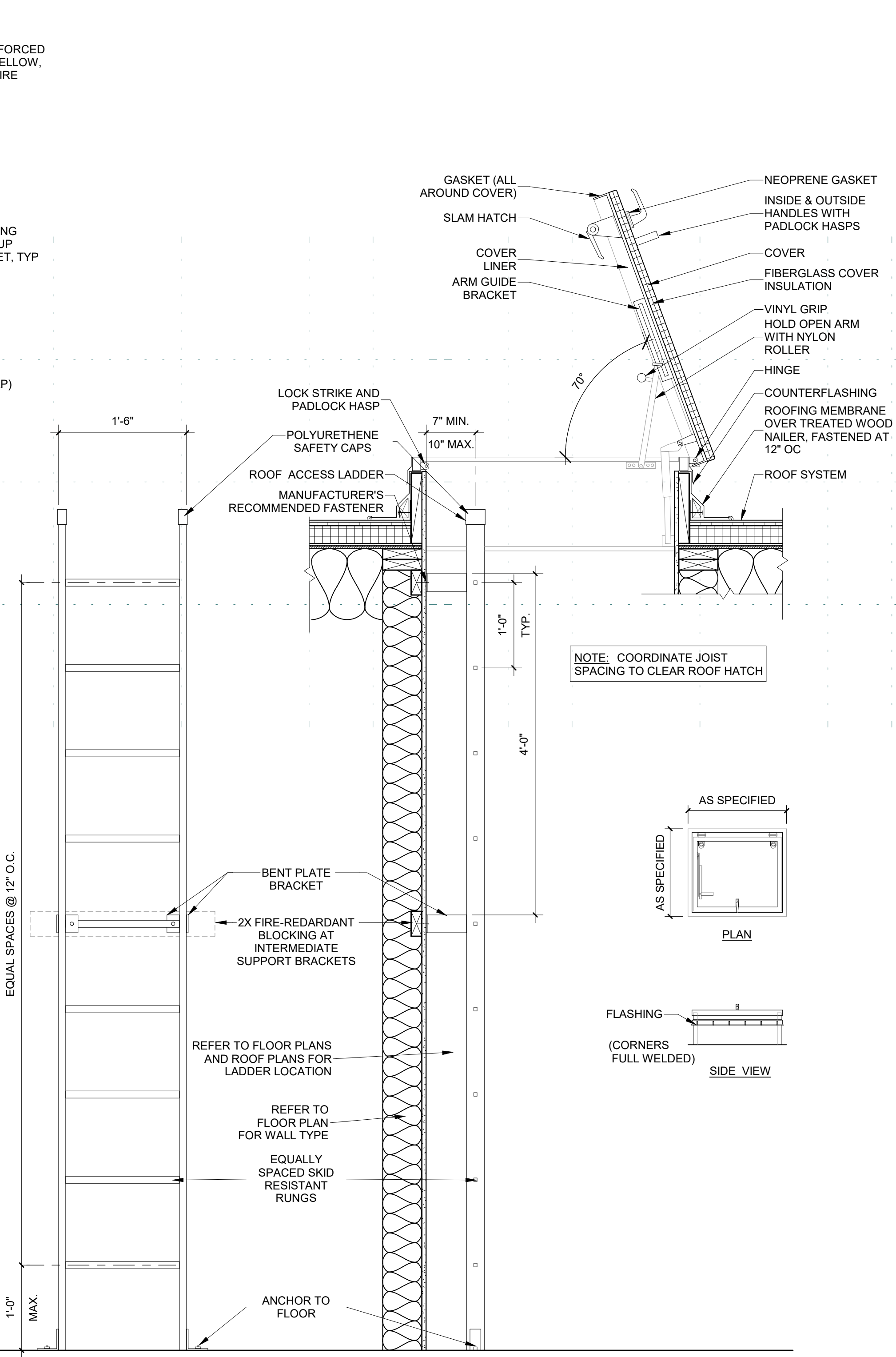


C1 ROOF DETAIL @ TRASH SHAFT
 1 1/2" = 1'-0"

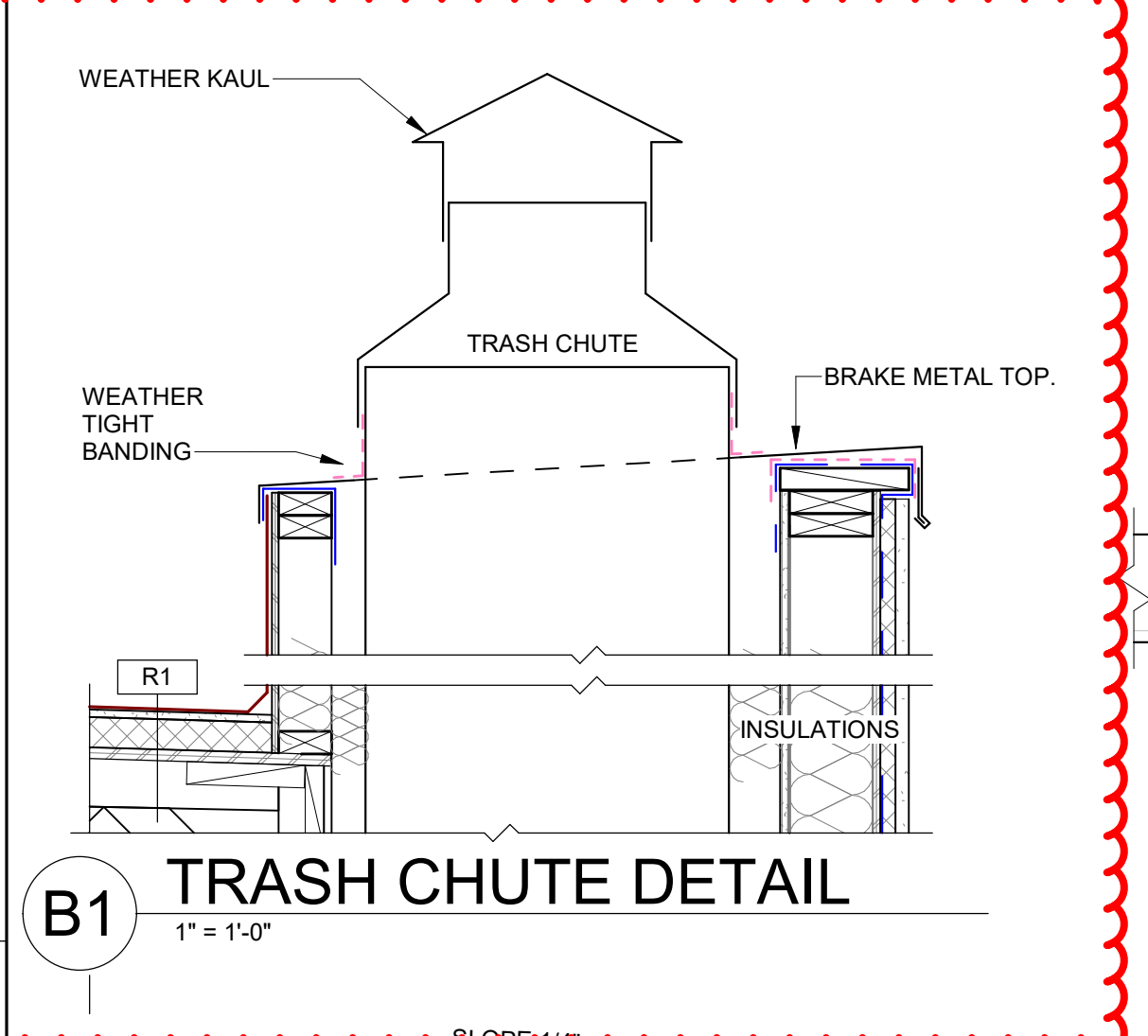
C2 ROOF DETAIL @ ELEVATOR SHAFT
 1 1/2" = 1'-0"



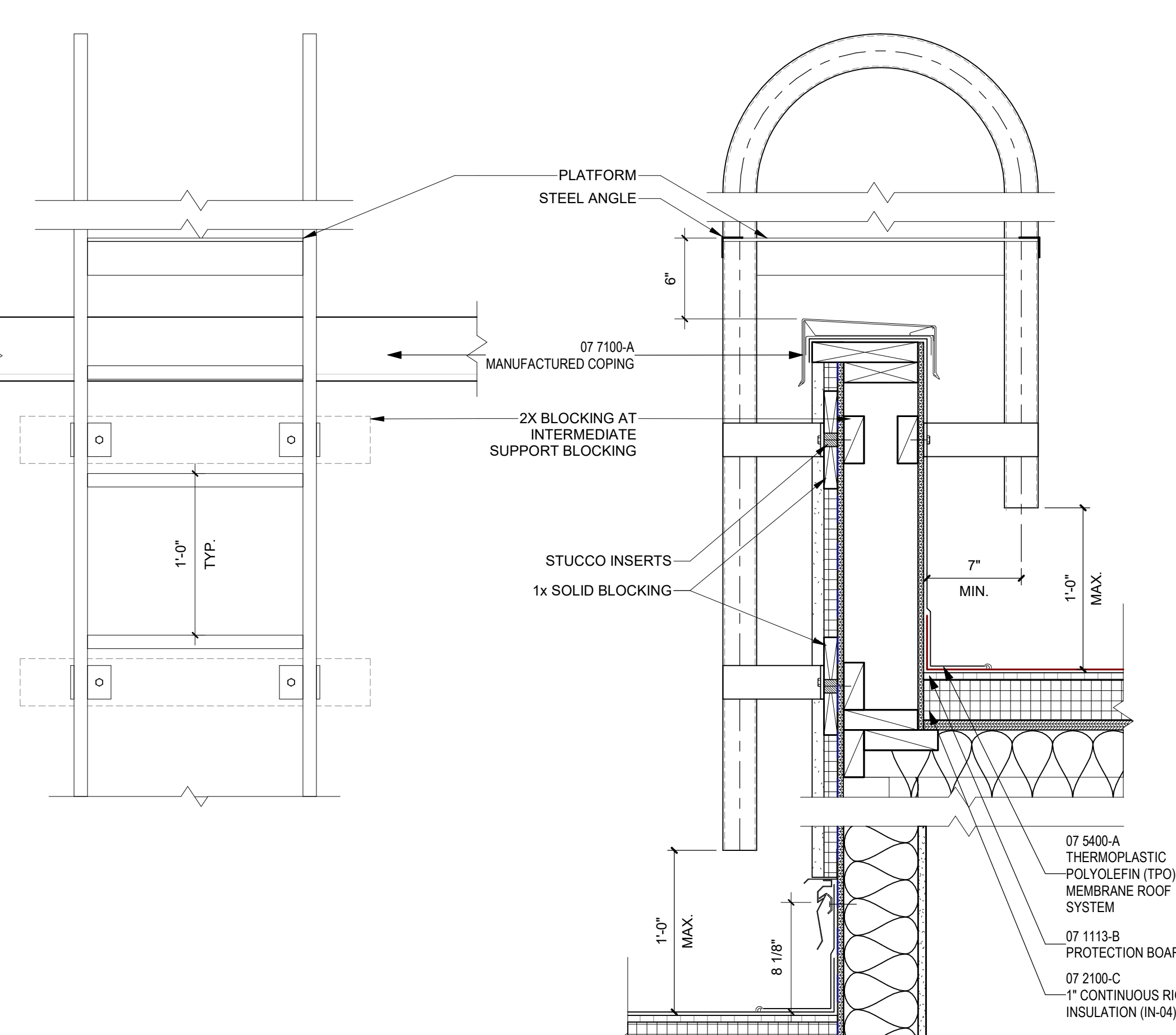
C3 ROOF HATCH GUARD
 1 1/2" = 1'-0"



A4 ROOF ACCESS HATCH AND LADDER
 1" = 1'-0"



B1 TRASH CHUTE DETAIL
 1" = 1'-0"



A1 PARAPET CAP @ STUCCO
 3" = 1'-0"

A2 WALL MOUNTED ROOF LADDER
 1 1/2" = 1'-0"

LEGEND

- FLASHING (CORNERS FULL WELDED)
- PLAN
- SIDE VIEW











PR-2023-009368_SI-2023-01642_Site_Plan_Aproved_11-15-23_Sheet_1


Final Audit Report


2024-02-06

Created:	2024-01-26
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
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"PR-2023-009368_SI-2023-01642_Site_Plan_Approved_11-15-23_Sheet_1" History


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