

DRAWING INDEX

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Architecture
in Progress



ARCHITECT

PROJECT

VICINITY MAP



FAROLITO SENIOR COMMUNITY

PROJECT TEAM

OWNER
FAROLITO APARTMENTS
LIMITED PARTNERSHIP LLLP
320 GOLD AVENUE SW
ALBUQUERQUE, NM 87102
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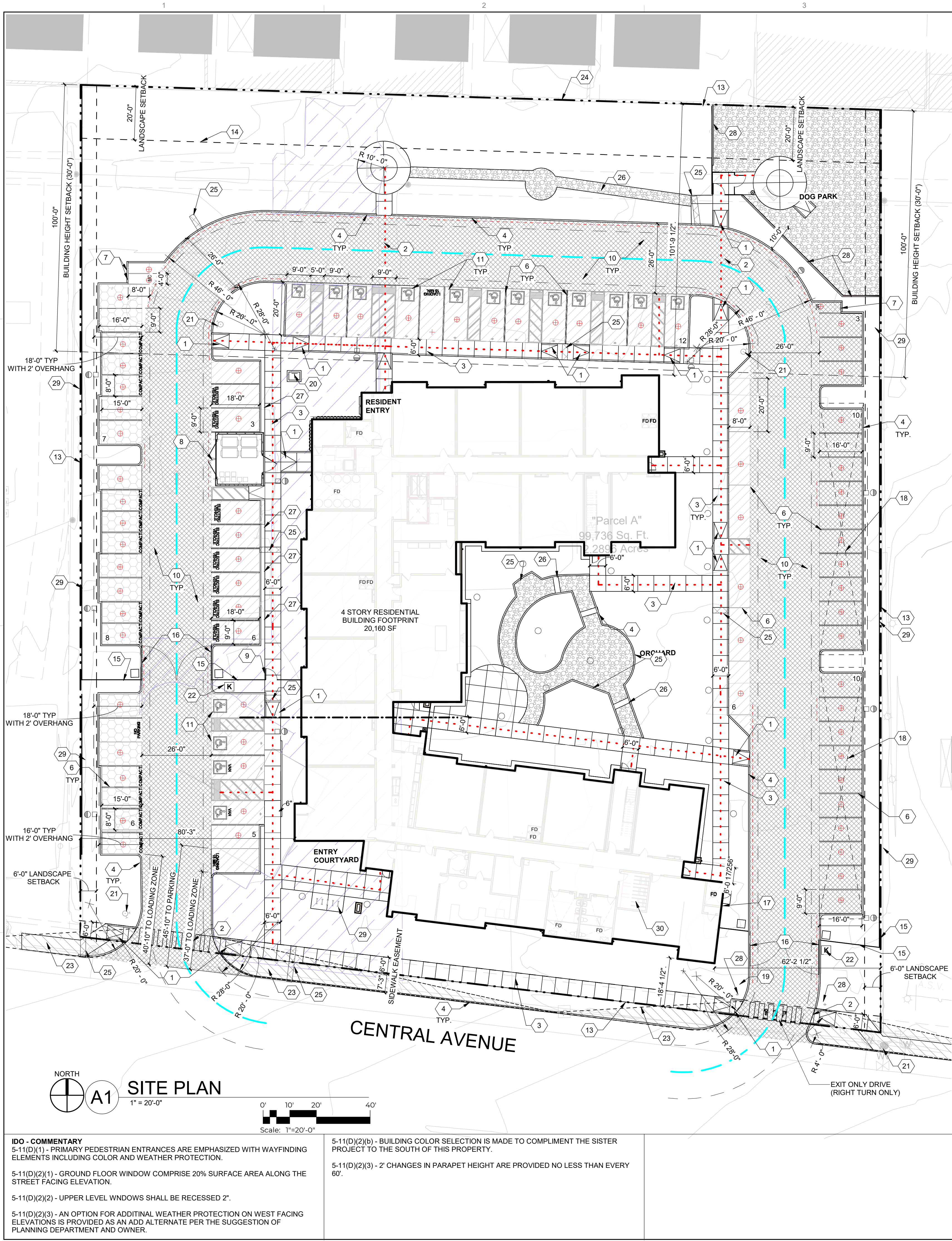
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LANDSCAPE ARCHITECT
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CIVIL ENGINEER
ISAACSON & ARFMAN, INC.
128 MONROE STREET NE
ALBUQUERQUE, NM 87108
(505) 268-8828

DATE 07/28/2023
PROJECT NO: 22-0083

ISSUE PURPOSE
COVER



IDO - COMMENTARY
5-11(D)(1) - PRIMARY PEDESTRIAN ENTRANCES ARE EMPHASIZED WITH WAYFINDING ELEMENTS INCLUDING COLOR AND WEATHER PROTECTION.
5-11(D)(2)(1) - GROUND FLOOR WINDOW COMPRISE 20% SURFACE AREA ALONG THE STREET FACING ELEVATION.
5-11(D)(2)(2) - UPPER LEVEL WNDOWS SHALL BE RECESSED 2".
5-11(D)(2)(3) - AN OPTION FOR ADDITIONAL WEATHER PROTECTION ON WEST FACING ELEVATIONS IS PROVIDED AS AN ADD ALTERNATE PER THE SUGGESTION OF PLANNING DEPARTMENT AND OWNER.

5-11(D)(2)(b) - BUILDING COLOR SELECTION IS MADE TO COMPLIMENT THE SISTER PROJECT TO THE SOUTH OF THIS PROPERTY.
5-11(D)(2)(3) - 2' CHANGES IN PARAPET HEIGHT ARE PROVIDED NO LESS THAN EVERY 60'.

PROJECT INFORMATION

LOCATION:
10501 CENTRAL AVENUE NE
ALBUQUERQUE, NM 87123

ZONING:
IDO - MIXED-USE - HIGH INTENSITY ZONE DISTRICT (MX-H)
METROPOLITAN REDEVELOPMENT AREA (MRA) - EAST GATEWAY
MAJOR TRANSIT CORRIDOR AREA
ROUTE 66 ACTION PLAN

LEGAL DESCRIPTION:
TRACT IN N 1/2 NW 1/4 NW 1/4 CONT 2.2860 AC MLTRACT IN N 1/2 NW 1/4 NW 1/4 CONT 2.2860 AC ML

ZONE ATLAS:
1-21-2

SITE AREA:
2,285 ACRES (99, 532 SQ. FT.)

DENSITY:
35.9 DU / ACRES

OCCUPANCY AND CONSTRUCTION TYPE:
APARTMENTS R-2, B (RETAIL, LEASING, & AMENITY)
CONSTRUCTION TYPE: 5-A (4 STORY APARTMENT BUILDINGS)

BUILDING SETBACKS:
FRONT = 5' MIN. / N/A MAX.
SIDE = 5' MIN. / N/A MAX.
REAR = 15'

BUILDING HEIGHT:
MAXIMUM ALLOWED = 65'-0"
MAXIMUM PROVIDED = 51'-6"

BUILDING AREA:
LEVEL 1 = 20,160 GSF
LEVEL 2 = 17,532 GSF
LEVEL 3 = 18,814 GSF
LEVEL 4 = 18,814 GSF
TOTAL = 75,320 GSF

SPRINKLER:
YES, NFPA 13R

FIRE FLOW:
3,750 GPM

HYDRANTS REQUIRED:
4

SOLID WASTE NARRATIVE:
TRASH SHALL BE PROVIDED ON SITE WITH A INTERNAL COMPACTOR AND TRASH CHUTE SERVING THE RESIDENTS. THE INTERNAL COMPACTOR SHALL BE SERVED WITH TWO CY. CARTS ON CASTERS (4 TOTAL ON SITE) COLLECTING UPPER LEVEL REFUSE COLLECTED AT THE CHUTE AND WHEELED OUT TO THE REFUSE CONTAINER BY BUILDING MANAGEMENT AND BY SOLID WASTE PERSONNEL ON SERVICE DAYS.
RECYCLEING SHALL BE MANAGED ON EACH LEVEL BY TWO (2) 50 GALLON ROLLING RECYCLING BINS (8 TOTAL ON SITE) COLLECTED BY BUILDING MANAGEMENT ON THE SITE REFUSE CONTAINER AND SERVICED ON SITE ON COLLECTION DAYS.

PARKING CALCULATION: (TABLE 5-5-1)
REQUIRED SPACES: 76 SPACES
1 BR UNITS = 1.2 SPACES/DWELLING UNIT: 1.2 X 72 = 86.4 PARKING SPACES
2 BR UNITS = 1.8 SPACES/DWELLING UNIT: 1.8 X 10 = 18 PARKING SPACES
PARKING REDUCTIONS:
AREA OF CHANGE (IDO 5-5(C)(5)(A)) = 20% REDUCTION = 21 SPACES
WITHIN 330' OF TRANSIT STOP (IDO 5-5(C)(4)(B)) = 10% REDUCTION = 11 SPACES
EV PARKING = 2 CREDIT FOR PER EV SPACE = 8 EV SPACES = 16 SPACES
TOTAL REQUIRED SPACES = 103 SPACES - 48 = 55 REQUIRED SPACES
PROVIDED SPACES: 76 TOTAL SPACES
(60 STANDARD SPACES + 12 ACCESSABLE SPACES + 4 VAN ACCESSABLE)
MOTORCYCLE PARKING CALCULATION:
REQUIRED SPACES: 2.04 (3 SPACES)
PROVIDED SPACES: 3 SPACES
BICYCLE PARKING
REQUIRED SPACES: 0.25 / UNIT (82 X 0.25 = 20.5 BICYCLE PARKING SPACES)
PROVIDED SPACES: 28 TOTAL SPACES PROVIDED
(18 INDOOR SPACES + 10 OUTDOOR BICYCLE SPACES)
NOTE: 6 OUTDOOR SPACES ARE PROVIDED FOR VISITORS THAT ARE FIXED, PERMANENT AND ARE LOCATED AT MULTIPLE RACKS SERVING THE LEASING OFFICE, AND ALONG CENTRAL AVENUE PER THE ROUTE 66 ACTION PLAN.

OPEN SPACE CALCULATIONS

REQUIRED USABLE OPEN SPACE: (TABLE 2-4-7) MX-H ZONING
1 BEDROOM UNIT = 225 SF PER UNIT
2 BEDROOM UNIT = 285 SF PER UNIT
1 BEDROOM UNITS PROVIDED: 72 UNITS X 225 = 16,200 SF
2 BEDROOM UNITS PROVIDED: 10 UNITS X 285 = 2,850 SF
TOTAL OPEN SPACE REQUIRED: 19,050 SF
PROVIDED USABLE OPEN SPACE:
38,052 SF OF USABLE OPEN SPACE PROVIDED

UNIT DATA

| UNIT TYPE | GROSS HEATED SQUARE FOOTAGE (GHSF) | LEVEL 1 | LEVEL 2 | LEVEL 3 | LEVEL 4 | TOTAL QUANTITY | TOTAL AREA (GHSF) |
|-----------------------------|------------------------------------|---------------|---------------|---------------|---------|----------------|-------------------|
| UNIT 1 | 650 | 14 | 18 | 20 | 20 | 72 | 46,800 |
| UNIT 2 | 790 | 1 | 3 | 3 | 3 | 10 | 7,900 |
| | | 15 | 21 | 23 | 23 | 82 | |
| TOTAL GHSF PER FLOOR | 9,890 | 14,070 | 15,370 | 15,370 | | | 54,700 |

SHEET KEYNOTES

- CONCRETE ACCESSIBLE RAMP TYP.
- PAINTED PEDESTRIAN CROSSWALK, RE: C4/SDP1.2
- CONCRETE SIDEWALK WITH CONTROL JOINTS, WIDTH AS NOTED
- CONCRETE CURB, SEE CIVIL
- 6" CMU WALL
- PARKING STRIPING
- MOTORCYCLE ONLY PARKING SIGNAGE
- REFUSE ENCLOSURE, RE: SDP-5.7
- PEDESTRIAN GATE W/ KEYCARD ACCESS
- ASPHALT PAVING, RE: CIVIL FOR PAVEMENT SECTIONS
- ACCESSIBLE PARKING STALL, RE: D2/SDP1.2
- CONCRETE SEAT WALL, RE: C3/SDP1.2
- PROPERTY LINE
- 6' PUBLIC UTILITY EASEMENT
- 6' VIEW FENCING
- VEHICULAR GATE ON FOBBED SENSOR & CALL BOX
- FIRE DEPARTMENT CONNECTION (FDC)
- PV CAPABLE PARKING CANOPY (OPTIONAL - ALTERNATE BID)
- POST INDICATOR VALVE (PIV)
- TRANSFORMER, RE: ELECTRICAL
- FIRE HYDRANT, RE: CIVIL
- LOCATION OF KNOX BOX
- CLEAR SIGHT TRIANGLE (PER COA) LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. ALL SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- EXISTING MASONRY WALL TO REMAIN
- SIDEWALK CULVERT, RE: CIVIL
- STABILIZED CRUSHER FINE PATH RE: B1/SDP1.3
- E.V. CAPABLE CHARGING STATION
- EXIT ONLY SIGNAGE DO NOT ENTER, RE: D1/SDP1.3
- BICYCLE PARKING, 10 SPACES
- BICYCLE STORAGE, 18 SPACES

GENERAL SHEET NOTES

- SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL AND ACCESSIBILITY STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- VERIFY EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
- COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION.
- REPAIR AREAS TO MATCH PRE-CONSTRUCTION CONDITION WHERE UTILITY WORK, GRADING AND/OR STAGING OCCURS, INCLUDING AREAS OUTSIDE OF LIMIT OF WORK BOUNDARY.
- ALL EXISTING ASPHALT AND CONCRETE TO BE REMOVED PRIOR TO CONSTRUCTION.
- REMOVE EXISTING TREES PRIOR TO CONSTRUCTION.
- UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY. COORDINATE LOCATION AND INSTALLATION. SEE CIVIL.
- ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- AN ACCESSIBLE ROUTE, IN COMPLIANCE WITH ACCESSIBILITY STANDARDS OF THE PROJECT, CONNECTS FROM THE BUILDING TO ACCESSIBLE PARKING SPACES AND TO ALL SITE AMENITIES AS REQUIRED.
- ALL LIGHT FIXTURES AND LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO): SECTION 14-16-5-8 OUTDOOR LIGHTING.
- REFER TO CIVIL AND ELECTRICAL FOR DEMOLITION ITEMS.
- REFER TO CIVIL FOR PAVING PLAN AND PAVING DETAILS.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
- PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK, WHERE EXPANSION JOINT MATERIAL IS PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.
- PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN. TYP. RE: CIVIL FOR SPOT ELEVATIONS, AND GRADING AND DRAINAGE REQUIREMENTS.
- EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED A DEMOLITION AND CONSTRUCTION.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS PER CITY OF ALBUQUERQUE.
- ALL RAMPS, SIDEWALKS, CURBS AND GUTTERS IN THE R.O.W. SHALL BE INSTALLED PER CITY OF ALBUQUERQUE STANDARD DRAWINGS.
- SOLID WASTE CONNECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
- DURING CONSTRUCTION, COORDINATE WITH CITY OF ALBUQUERQUE'S MEDIAN LANDSCAPING PROJECT AT THIS LOCATION.

PROJECT NUMBER: PR-2023-009368
Application Number: SI-2023-01642

Is an Infrastructure List required? () Yes () No
If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

| | Date |
|---|------|
| Traffic Engineering, Transportation Division | |
| ABCWUA | |
| Parks and Recreation Department | |
| Hydrology | |
| Code Enforcement | |
| * Environmental Health Department (conditional) | |
| Solid Waste Management | |
| Planning Department | |

LEGEND

- LANDSCAPED AREA
- HEAVY DUTY ASPHALT (RATED FOR UP TO 75,000 LBS)
- LIGHT DUTY ASPHALT
- STABILIZED DECOMPOSED GRANITE PATH (ACCESSABLE)
- PERMIABLE PAVING
- PROPERTY LINE
- SETBACK (SEE DEMENTION FOR ADDITIONAL DETAILS)
- ACCESSIBLE ROUTE
- FIRELANE STRIPPING MARKING FIRE ACCESS LANE, RE: XX/SDP 1.2
- REFUSE TRUCK ROUTE
- EXISTING FIRE HYDRANT LOCATION
- PROPOSED FIRE HYDRANT LOCATION
- FIRE DEPARTMENT CONNECTION (FDC) WALL MOUNTED
- PROPOSED TRANSFORMER LOCATION
- PROPOSED 20' LIGHT POLE
- OPTIONAL PHOTOVOLTAIC (PV) CARPORT, (SEPERATE PERMIT REQUIRED)
- BIKE RACK (4 BIKE CAPACITY) RE: XX/SDP 1.2

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SEAL

FAROLITO SENIOR
COMMUNITY

10501 CENTRAL AVENUE NE
ALBUQUERQUE, NM 87123

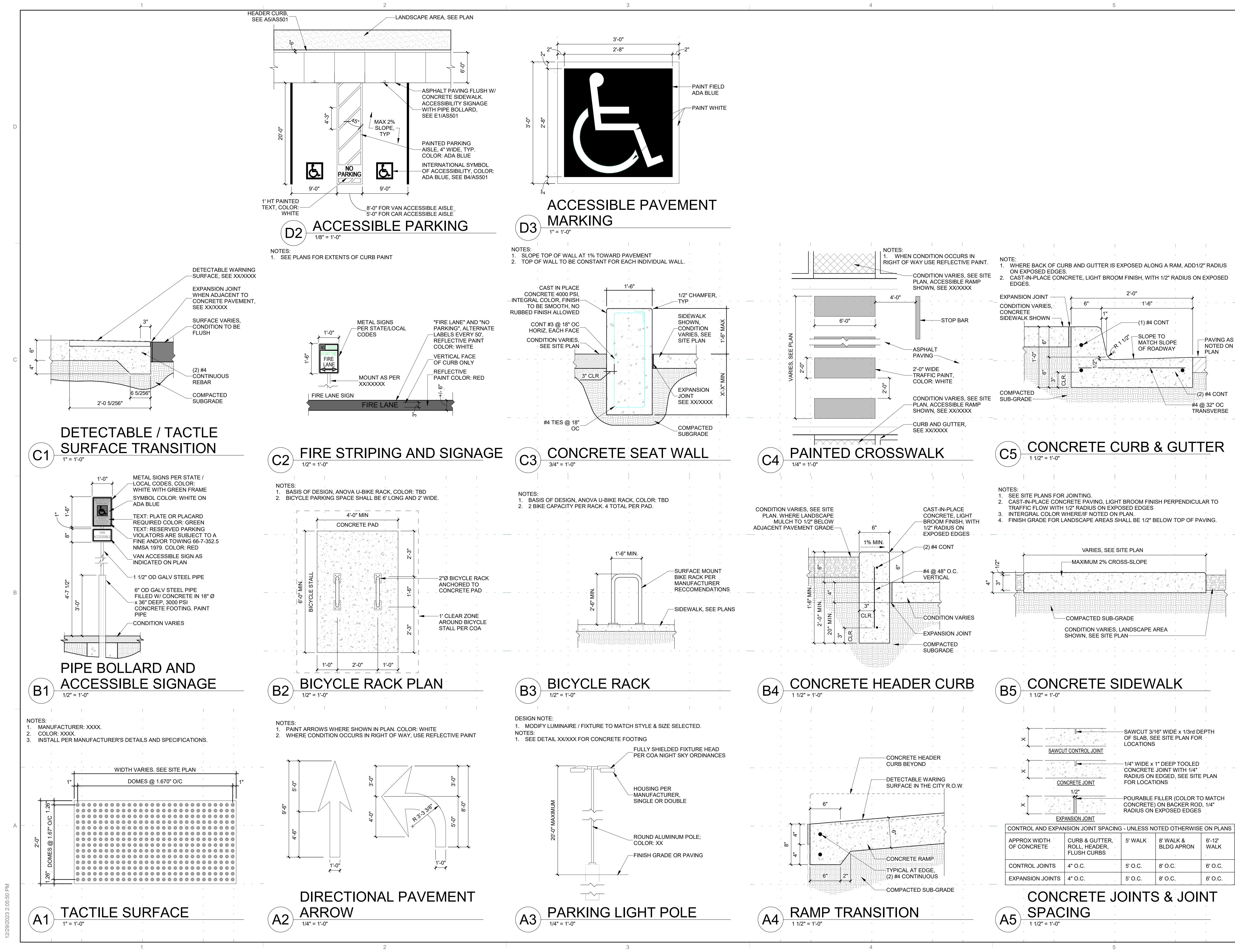
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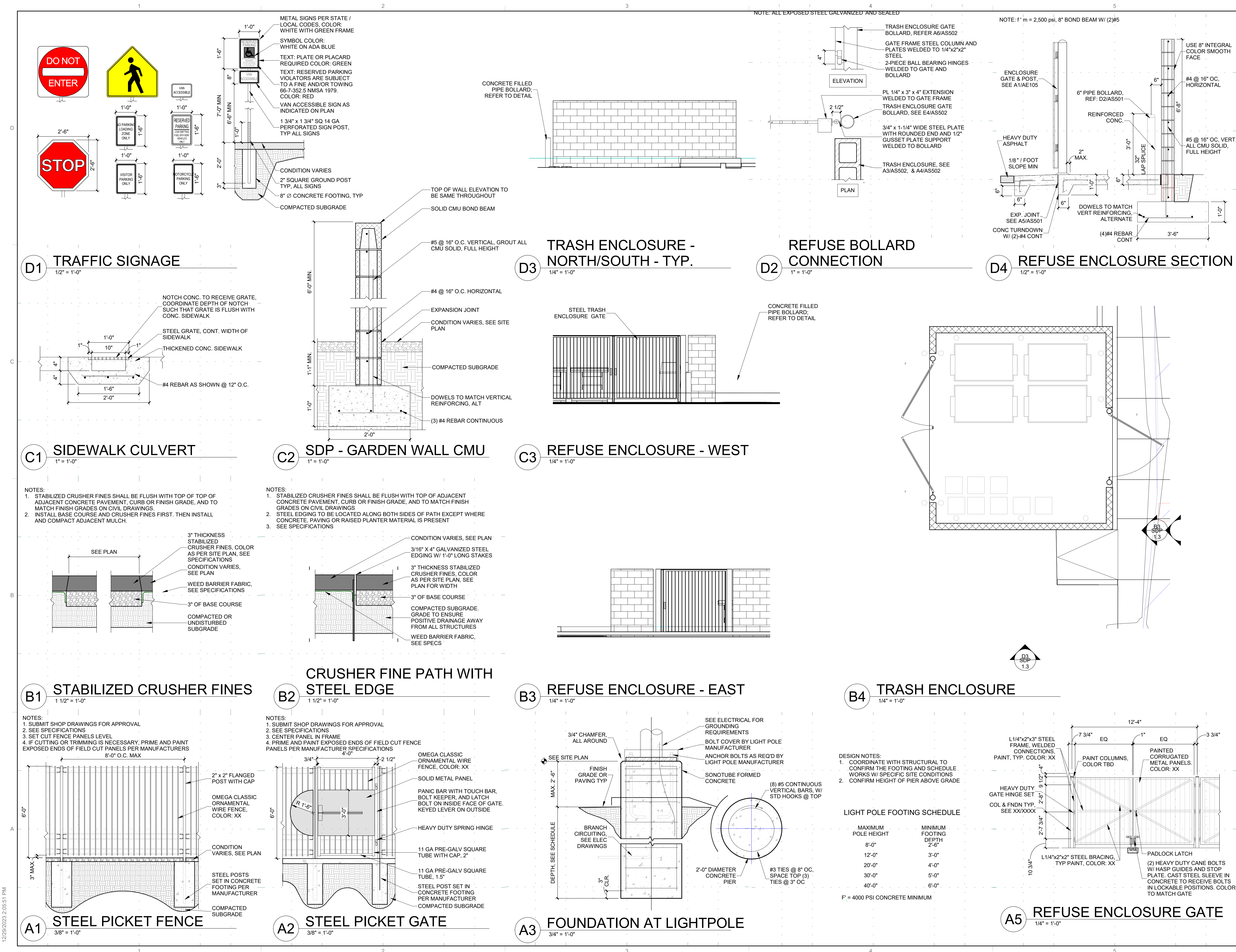
REVISIONS

DRAWN BY BH
REVIEWED BY CWW
DATE 05/12/23
PROJECT NO: 22-0083

DRAWING NAME
SITE
DEVELOPMENT
PLAN

SHEET NO
SDP 1.1





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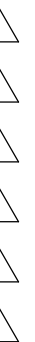
SEAL

PROJECT

FAROLITO SENIOR
COMMUNITY
10501 CENTRAL AVENUE NE
ALBUQUERQUE, NM 87123

ISSUED FOR
PERMIT

REVISIONS



DRAWN BY BH
REVIEWED BY CWW
DATE 07/10/23
PROJECT NO: 22-0083

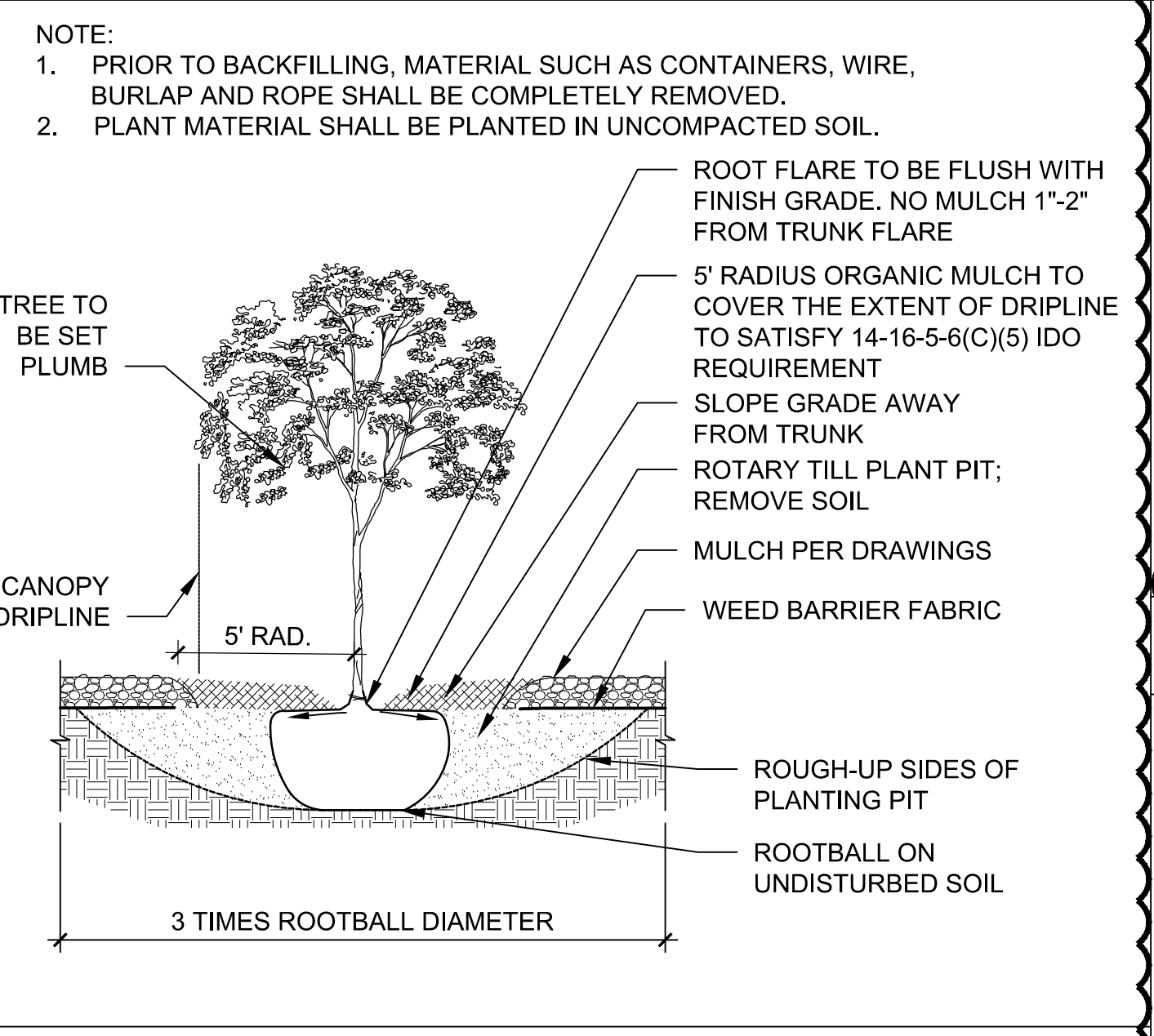
DRAWING NAME

ENLARGED
PLANS AND
DETAILS

SHEET NO

SDP 1.3

TREE PLANTING DETAIL



SHEET KEYED NOTES

| CODE | DESCRIPTION |
|------|--|
| 1 | CLEAR SIGHT TRIANGLE; LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE. |
| 2 | HIMROD GRAPES AND THORNLESS RASPBERRIES MUST BE PLANTED ALONG TRELLIS SYSTEM, SEE C1/LP501 |
| 3 | STEEL EDGING ALONG PATH, SEE SPECS. |
| 4 | CRUSHER FINE TRAIL MUST GRADUALLY TRANSITION TO EDGE OF CONCRETE TO ENSURE ACCESSIBLE ROUTE. |
| 5 | REQUIRED 15' RADIUS FROM LIGHT POLE |

LEGEND

| SYMBOL | NOTES | EST QTY |
|--------|--|------------|
| | 7/8"Ø ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC. COLOR: SANTA FE BROWN AVAILABLE FROM BUILDLOGY | 21,550 SF |
| | UNIRRIGATED SANTA FE TRAIL SEED MIX SEEDING RATE 2 LBS / 1000 SF AVAILABLE FROM CURTIS AND CURTIS SEED | 10,554 SF |
| | SCREENED TREE MULCH, 3" DEPTH. AVAILABLE FROM BARELAS LANDSCAPING MATERIALS | 5,416 SF |
| | SEE CIVIL FOR STORMWATER INFRASTRUCTURE | |
| | STABILIZED CRUSHER FINES EXCLUDED FROM LANDSCAPE AREA CALCULATIONS. SEE SITE PLAN.BASIS OF DESIGN: SANTA FE BROWN THROUGH BUILDLOGY, SEE E3 & E4/AS501 | 1,762 SF |
| | DOG PARK: SHREDDED WOOD MULCH, PLAYGROUND MULCH FROM SOLUTIONS, 6" DEPTH | 2,791 SF |
| | PROPERTY LINE | |
| | MARBLE BOULDERS FROM JPR GRAVEL | EST QTY 19 |

PLANT SCHEDULE

| SYMBOL | COMMON NAME |
|---------------------------|--------------------------------|
| TREES | |
| | ACCOLADE ELM |
| | BIGTOOTH MAPLE |
| | CHINESE PISTACHE |
| | GOLDEN RAIN TREE |
| | NEW MEXICO OLIVE |
| | RUSSIAN HAWTHORN |
| | URBANITE AMERICAN ASH |
| EVERGREEN TREES | |
| | AFGHAN PINE |
| | ITALIAN STONE PINE |
| FLOWERING TREES | |
| | BUBBA DESERT WILLOW |
| | OKLAHOMA TEXAS REDBUD |
| | PURPLE ROBE LOCUST |
| FRUIT TREES | |
| | CHICAGO HARDY FIG |
| | CRESTHAVEN PEACH |
| | METHLEY PLUM |
| | WONDERFUL POMEGRANATE |
| SHRUBS | |
| | ARP ROSEMARY |
| | BLUE DWARF SCOTCH PINE |
| | BUFFALO JUNIPER |
| | DORMAN RED THORNLESS RASPBERRY |
| | DWARF GOLDEN ALPINE CURRANT |
| | FERNBUSH |
| | GROSSO LAVENDER |
| | HOT RASPBERRY BUTTERFLY BUSH |
| | LITTLE LEAF MOUNTAIN MAHOGANY |
| DESERT ACCENTS | |
| | BEARGRASS |
| | BRAKELIGHTS RED YUCCA |
| | ENGELMANN PRICKLY PEAR |
| | TWISTLEAF YUCCA |
| PERENNIALS | |
| | CHOCOLATE FLOWER |
| | DESERT BEARDTONGUE |
| | SISKIYOU PINK GAURA |
| | ULTRA VIOLET AUTUMN SAGE |
| | YERBA MANSÁ |
| VINES | |
| | HIMROD GRAPE |
| ORNAMENTAL GRASSES | |
| | 'BLONDE AMBITION' BLUE GRAMA |
| | DEER GRASS |

GENERAL SHEET NOTES

- A. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- B. STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS (14-16-5-6), WATER CONSERVATION ORDINANCE AND POLLEN ORDINANCE.
- C. TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- D. SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION AND/OR MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE ROOTBALL AREA AND DRIPLINE.
- E. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- F. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS PER TABLE 5-6-1 OF THE IDO.
- G. AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- H. ALL SCREENING VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS MUST ALLOW 10 FEET OF CLEARANCE FOR ACCESS AN TO ENSURE THE SAFETY OF THE WORK CREWS AND PUBLIC DURING MAINTENANCE AND REPAIR.
- I. TREES SHALL NOT BE PLANTED NEAR EXISTING OR PROPOSED STREET LIGHT POLES.
- J. NO EXISTING PLANT MATERIAL IS TO BE PRESERVED ON THE PROPERTY. ALL PLANT MATERIALS ILLUSTRATED ARE NEW.
- K. ALL PLANTING MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT OF WAY.
- L. TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER LINE.
- M. THE BIOSWALE TERRAIN, DESIGNED BY I&A, CONSISTS OF SHALLOW BASINS WHICH WILL CONCENTRATE WATER FOR THE NATIVE SEED MIX. THESE AREAS REQUIRE VERY LITTLE MAINTENANCE. THEY REQUIRE MOWING ONCE PER YEAR WHEN THE PLANT MATERIAL IS DORMANT.
- N. ANY TREES THAT OVERHANG A PUBLIC SIDEWALK SHALL BE TRIMMED TO MAINTAIN AN 8-FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9-FOOT CLEARANCE OVER THE STREET SURFACE.
- O. TREES WILL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- P. PURPLE ROBE LOCUST REQUIRES SEASONAL STRUCTURAL PRUNING BY PROPERTY OWNER.
- Q. FRUIT TREES REQUESTED BY OWNER WILL BE MAINTAINED AND REPLACED BY OWNER IF FROZEN, IF ANY PROPOSED TREES DIE OFF AT ANY TIME THEY WILL BE REPLACED.

IRRIGATION NOTES

- A. PLANTS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH PROGRAMMABLE CONTROLS, AUTOMATED IRRIGATION CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
- B. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
- C. THE IRRIGATION SYSTEM SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS, PARKING, AND LOADING AREAS.
- D. IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
- E. RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED BY THE OWNER ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA = 2.29 AC = 99,736 SF
AREA OF LOT COVERED BY BUILDINGS = 20,270 SF
NET LOT AREA = 79,466 SF

REQUIRED LANDSCAPE
REQUIRED LANDSCAPE AREA (25% OF NET LOT AREA) = 11,920 SF
PROVIDED LANDSCAPE AREA = 34,801 SF = 43.7%
(see hatch legend for exclusions from landscape areas)

REQUIRED TREES
TREES PER PARKING SPACES: REQUIRED = 1 TREE / 10 PARKING SPACES
TOTAL NUMBER OF PARKING = 82 SPACES
REQUIRED NUMBER OF PARKING LOT TREES = 8 TREES
PROVIDED NUMBER OF PARKING LOT TREES = 10 TREES
100% OF PARKING LOT TREES ARE DECIDUOUS CANOPY TREES.
NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

REQUIRED STREET TREES = 9.5 placed at 20' on center (192' of street frontage)
PROVIDED STREET TREES = 6 DUE TO UTILITY OBSTACLES. EXTRA TREES WERE INCLUDED WITHIN PARKING CALCULATIONS TO COMPENSATE FOR STREET TREE SHORTAGE.

REQUIRED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 38 TREES
1 TREE PER GROUND FLOOR DWELLING UNIT (15) AND 1 TREE PER SECOND-STORY UNIT (23)
PROVIDED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 38 TREES

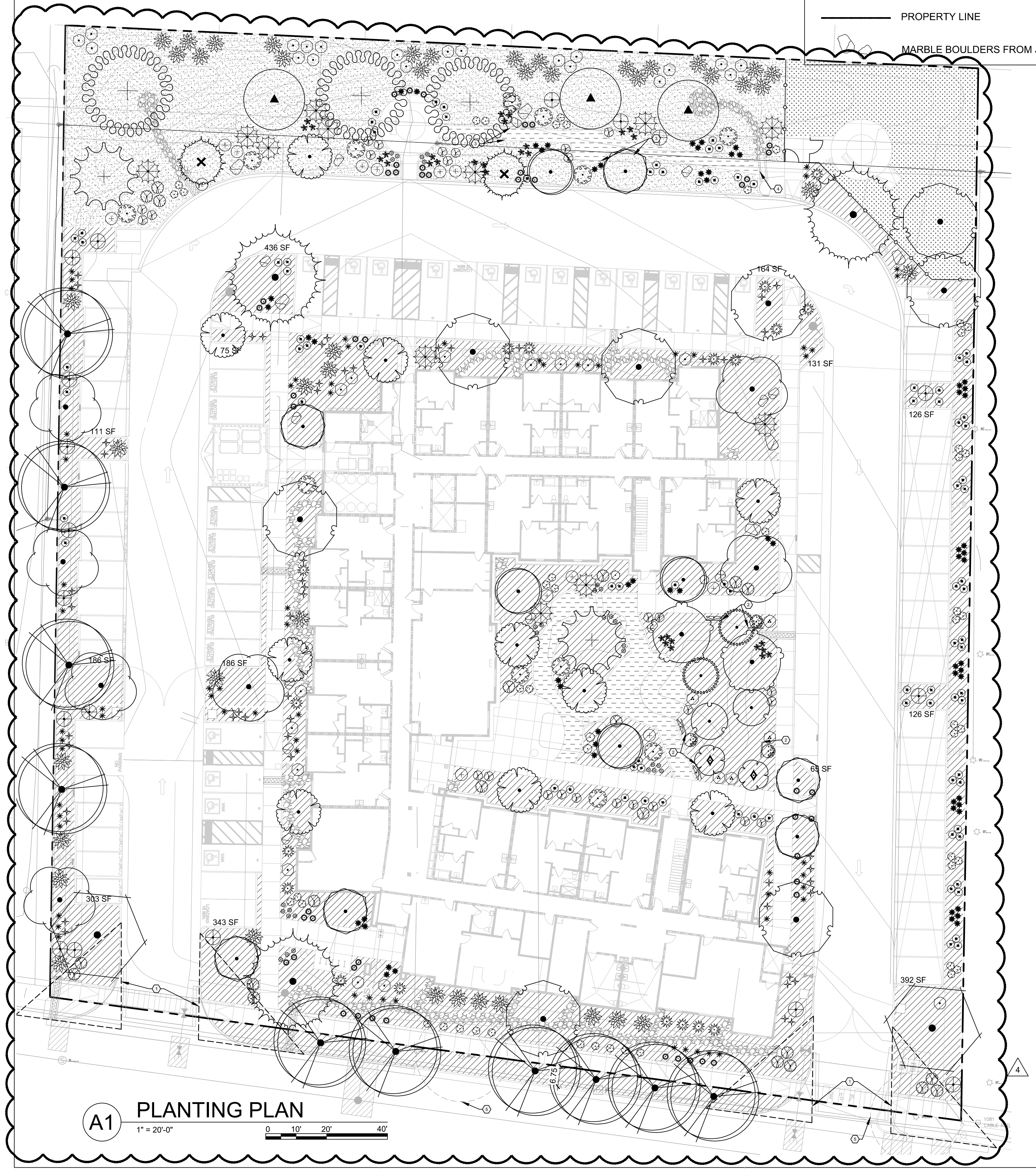
REQUIRED VEGETATIVE COVERAGE
REQUIRED VEGETATIVE COVERAGE = 26,100.75 SF = 75% OF PROVIDED LANDSCAPE AREA, SF PROVIDED = 35,531 SF = 102%
A MINIMUM 25% OF REQUIRED VEGETATIVE COVERAGE BY GROUND PLANTS
TREE CANOPY COVERAGE = 21,903 SF
REQUIRED GROUND PLANT COVERAGE = 25% OR 6,525 SF.
GROUND PLANT COVERAGE PROVIDED = 6,814 = 26%

PARKING LOT AREA = 33,434 SF
PARKING LOT LANDSCAPING PROVIDED = 6,262 SF = 18.7 %
MIN. 15% OF PARKING LOT AREA TO BE LANDSCAPED

GROUND COVER MATERIAL
CALCULATIONS WITHIN PROPERTY BOUNDARY, DOES NOT INCLUDE STREET CALCULATIONS
TOTAL ROCK MULCH GROUND COVER = 15,199 SF = 43.5%
TOTAL ORGANIC MULCH GROUND COVER = 18,290 SF = 52.5%
A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED 14-16-5-6(C)(5)(d)

PARKING LOT EDGE LANDSCAPE
2 TREES AND 6 SHRUBS PER 25' ARE PROVIDED ALONG THE WEST PROPERTY LINE TO SCREEN PARKING.

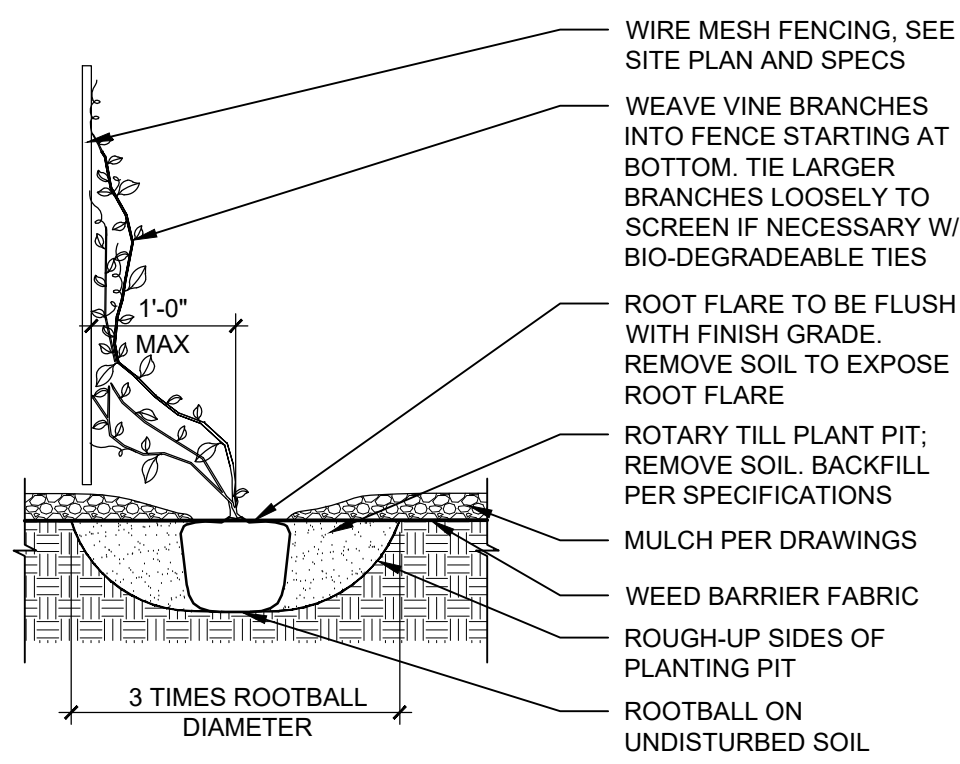
PERCENTAGE OF WARM AND COOL SEASON GRASS
0% OF GRASSES PROVIDED ARE COOL SEASON GRASS
100% OF GRASSES PROVIDED ARE WARM SEASON GRASS



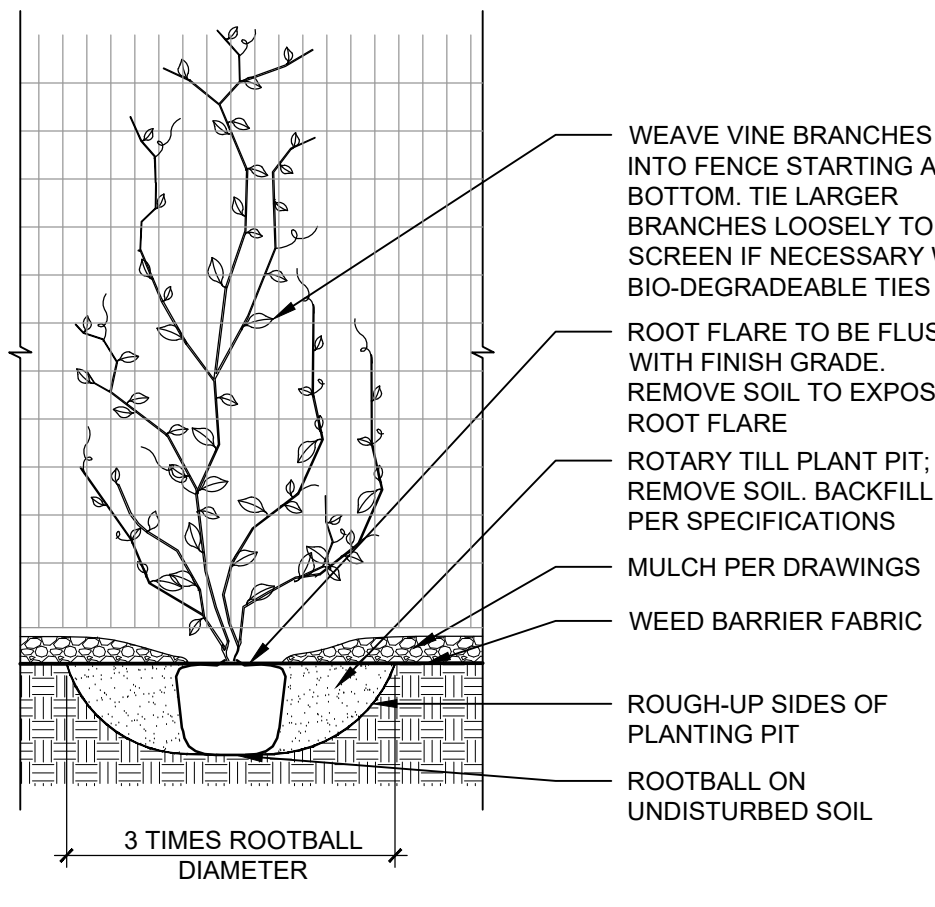
LANDSCAPE MATERIALS

| SYMBOL | NOTES | EST QTY |
|---|---|-----------|
| | 7/8"Ø ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC BASIS. COLOR: SANTA FE BROWN AVAILABLE FROM BUILDLOGY | 21,550 SF |
| | UNIRRIGATED SANTA FE TRAIL SEED MIX SEEDING RATE 2 LBS / 1000 SF AVAILABLE FROM CURTIS AND CURTIS SEED | 10,554 SF |
| | SCREENED TREE MULCH, 3" DEPTH, AVAILABLE FROM BARELAS LANDSCAPING MATERIALS | 5,416 SF |
| | SEE CIVIL FOR STORMWATER INFRASTRUCTURE | 1,762 SF |
| | STABILIZED CRUSHER FINES EXCLUDED FROM LANDSCAPE AREA CALCULATIONS, SEE SITE PLAN. BASIS OF DESIGN: SANTA FE BROWN THROUGH BUILDLOGY, SEE E3 & E4/AS501 | 2,791 SF |
| | DOG PARK: SHREDDED WOOD MULCH, PLAYGROUND MULCH FROM SOILUTIONS, 6" DEPTH | 2,791 SF |
| BOULDERS: MARBLE BOULDER, AVAILABLE FROM JPR GRAVEL BOULDERS TO BE SELECTED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE SEE DETAIL B1/LP501 | | |
| | 4"x4"x4" BOULDER | 6 EA |
| | 3"x3"x3" BOULDER | 13 EA |

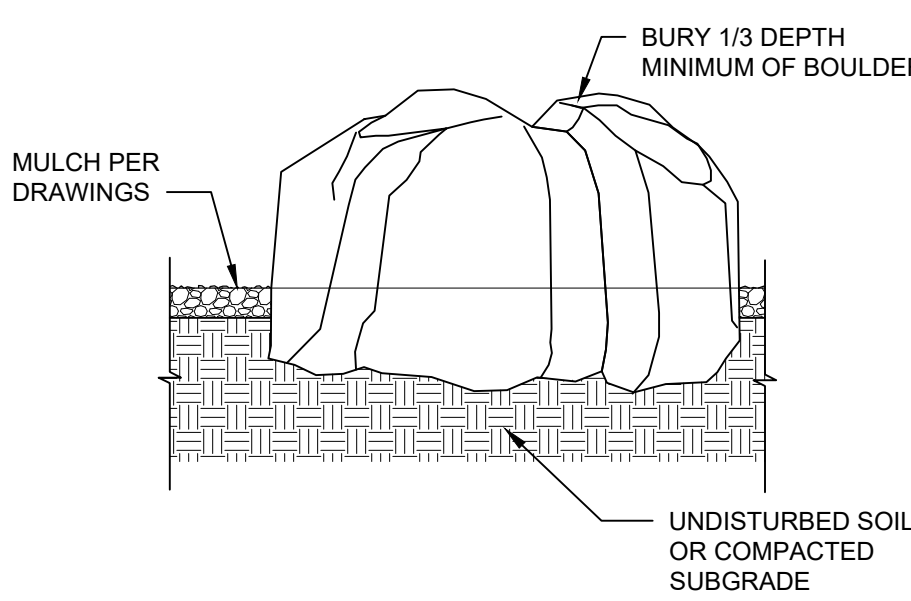
NOTES:
1. PRIOR TO BACKFILLING, MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.



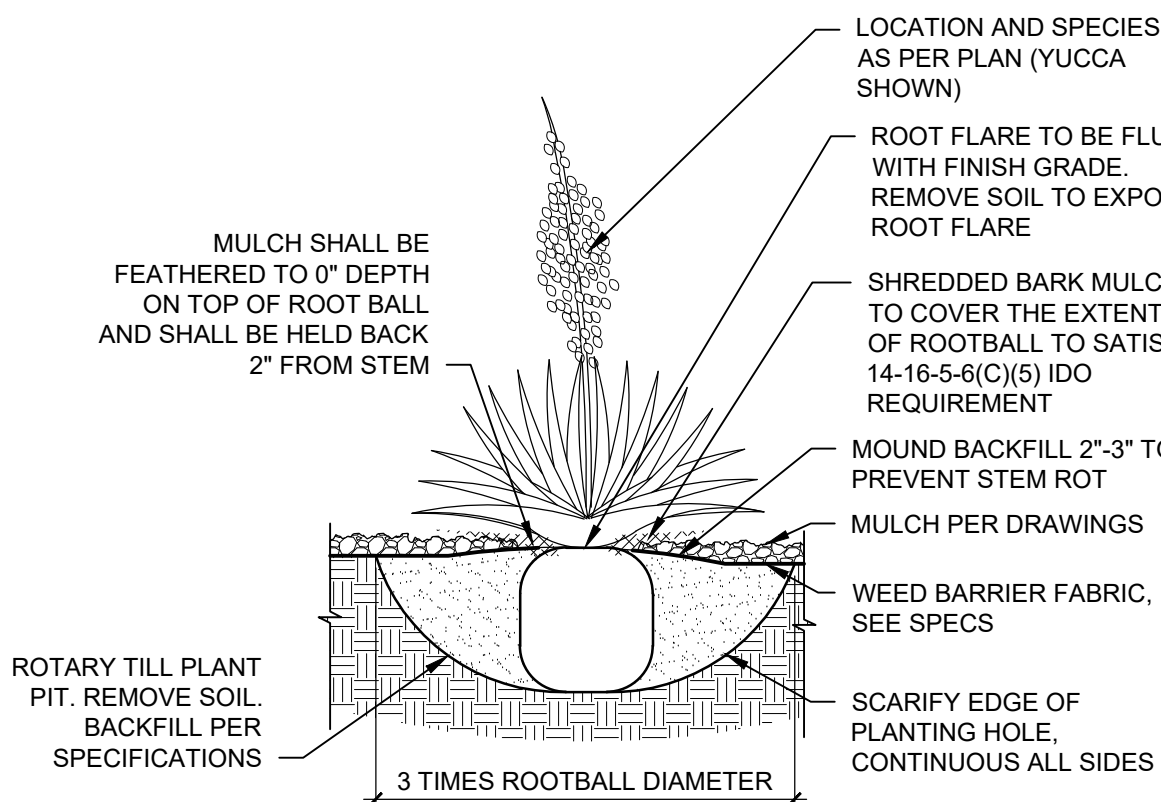
C1 VINE PLANTING
3/4" = 1'-0"



NOTES:
1. BOULDER SELECTION AND PLACEMENT SHALL BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
2. BOULDER SIZES:

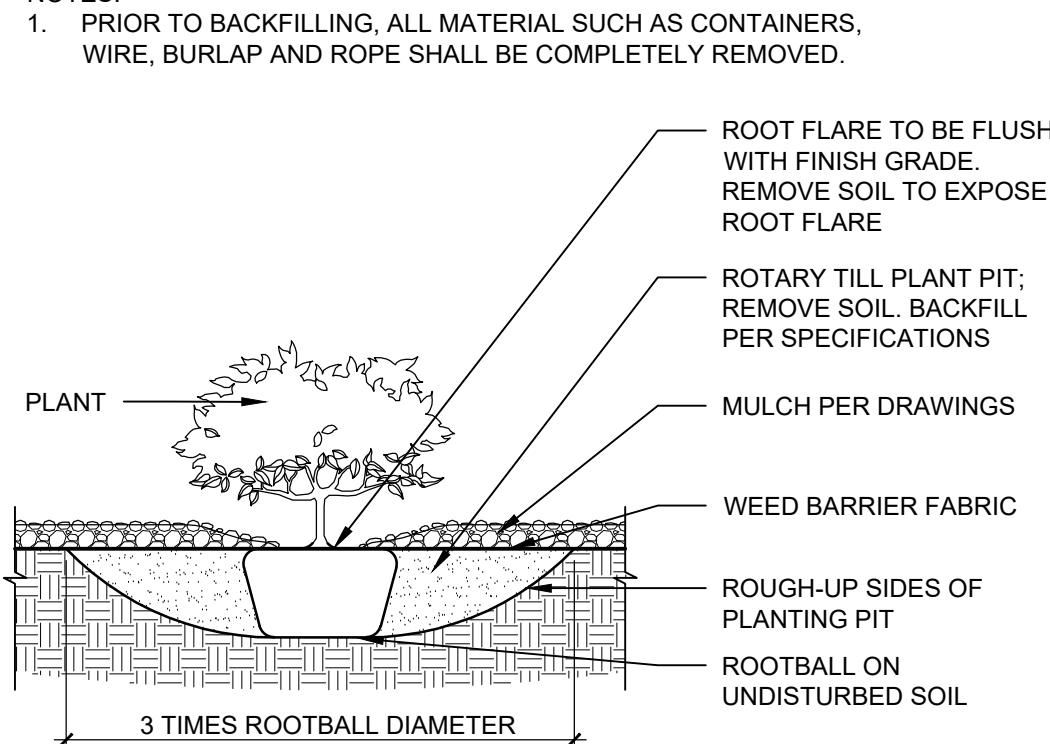


B1 BOULDER
3/4" = 1'-0"

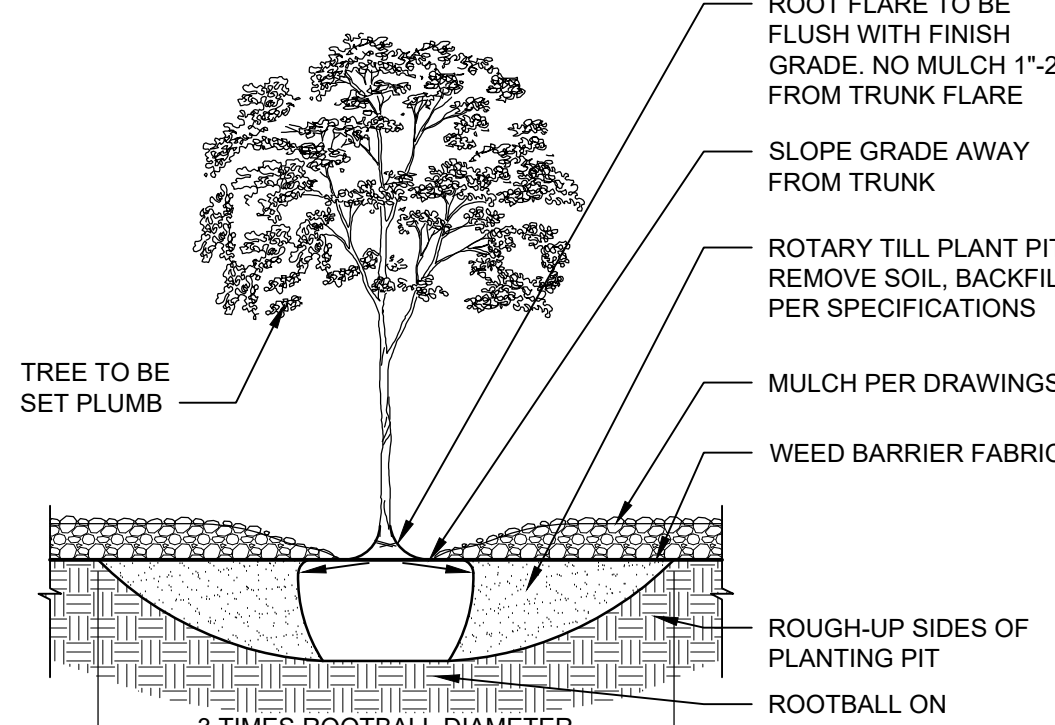


B2 DESERT ACCENT PLANTING
3/4" = 1'-0"

NOTES:
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.

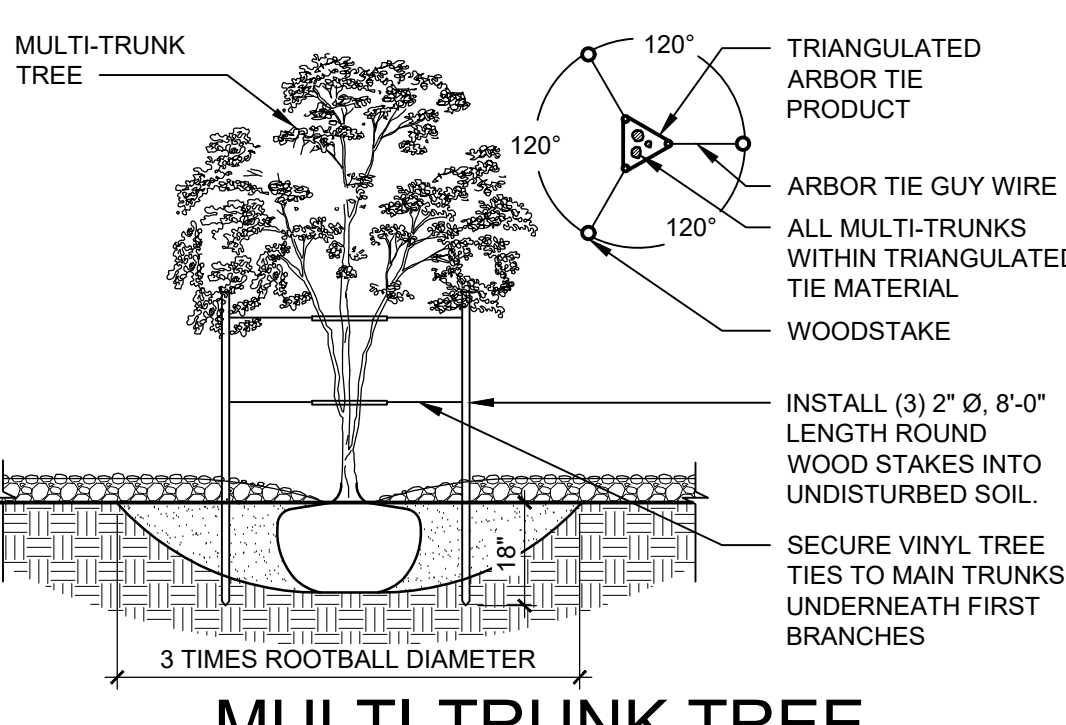


A1 SHRUB IN BED
3/4" = 1'-0"



A2 TREE IN PLANTING BED
3/4" = 1'-0"

NOTES:
1. VINYL TREE TIES TO BE CINCH-TIE 32" OR APPROVED EQUAL, AVAILABLE FROM V.I.T. PRODUCTS - 800-728-1314.
2. STAKING TO BE REMOVED AT THE END OF WARRANTY PERIOD



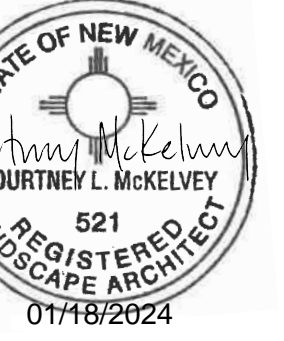
A3 MULTI-TRUNK TREE STAKING DETAIL
1/2" = 1'-0"

PLANT SCHEDULE

| SYMBOL | QTY | BOTANICAL NAME | COMMON NAME | SIZE/COND. | MAT. HT. | MAT. DIA. | WATER USE |
|--|-----|---|--------------------------------|-----------------------------------|----------|-----------|-----------|
| TREES SEE A2/LP501 | | | | | | | |
| | 3 | ACER GRANDIDENTATUM | BIGTOOTH MAPLE | 2" CAL | 50.00 | 40.00 | LOW |
| | 3 | CRATAEGUS AMBIGUA | RUSSIAN HAWTHORN | 2" CAL | 20.00 | 20.00 | LOW |
| | 10 | SEE A3/LP501 FORESTIERA NEOMEXICANA | NEW MEXICO OLIVE | 24" BOX, MULTI-TRUNK | 15.00 | 15.00 | MED |
| | 8 | SEE A2/LP501 FRAXINUS AMERICANA 'URBANITE' | URBANITE AMERICAN ASH | 2" CAL. | 45.00 | 30.00 | MED |
| | 3 | KOELREUTERIA ELEGANS | GOLDEN RAIN TREE | 15 GAL | 35.00 | 40.00 | MED |
| | 2 | PISTACIA CHINENSIS | CHINESE PISTACHE | 2" CAL. | 40.00 | 35.00 | MED |
| | 10 | ULMUS X 'ACCOLADE' | ACCOLADE ELM | 2" CAL | 50.00 | 40.00 | MED |
| EVERGREEN TREES SEE A2/LP501 | | | | | | | |
| | 2 | PINUS ELDARICA | AFGHAN PINE | 6' HT. | 35.00 | 20.00 | LOW |
| | 2 | PINUS PINEA | ITALIAN STONE PINE | 6' HT. | 50.00 | 25.00 | MED |
| FLOWERING TREES SEE A2/LP501 | | | | | | | |
| | 4 | CERCIS CANADENSIS TEXENSIS 'OKLAHOMA' | OKLAHOMA TEXAS REDBUD | 2" CAL. B&B | 15.00 | 15.00 | LOW |
| | 6 | CHILOPSIS LINEARIS 'BUBBA' | BUBBA DESERT WILLOW | 24" BOX MULTI-TRUNK, 3 TRUNK MIN. | 20.00 | 20.00 | LOW |
| | 7 | ROBINIA PSEUDOACACIA 'PURPLE ROBE' | PURPLE ROBE LOCUST | 2" CAL. | 35.00 | 25.00 | LOW |
| FRUIT TREES SEE A3/LP501 | | | | | | | |
| | 2 | FICUS CARICA 'CHICAGO HARDY' | CHICAGO HARDY FIG | 15 GAL | 15.00 | 12.00 | MED |
| | 2 | PRUNUS PERSICA 'CRESTHAVEN' | CRESTHAVEN PEACH | 2" CAL | 15.00 | 15.00 | MED |
| | 2 | PRUNUS SALICINA 'METHLEY' | METHLEY PLUM | 15 GAL | 20.00 | 20.00 | MED |
| | 2 | PUNICA GRANATUM 'WONDERFUL' | WONDERFUL POMEGRANATE | 15 GAL | 10.00 | 10.00 | MED |
| SHRUBS SEE A1/LP501 | | | | | | | |
| | 4 | BUDDLEJA X 'HOT RASPBERRY' | HOT RASPBERRY BUTTERFLY BUSH | 5 GAL | 4.00 | 3.50 | MED |
| | 18 | CERCOCARPUS INTRICATUS | LITTLE LEAF MOUNTAIN MAHOGANY | 5 GAL | 8.00 | 5.00 | LOW |
| | 12 | CHAMAEBATIARIA MILLEFOLIUM | FERNBUSH | 5 GAL | 6.00 | 6.00 | LOW |
| | 21 | JUNIPERUS SABINA 'BUFFALO' | BUFFALO JUNIPER | 5 GAL | 1.50 | 5.00 | |
| | 27 | LAVANDULA X INTERMEDIA 'GROSSO' | GROSSO LAVENDER | 5 GAL | 3.00 | 3.00 | LOW |
| | 12 | PINUS SYLVESTRIS 'GLAUCA NANA' | BLUE DWARF SCOTCH PINE | 15 GAL | 10.00 | 10.00 | MED |
| | 5 | RIBES ALPINUM 'AUREUM' | DWARF GOLDEN ALPINE CURRANT | 5 GAL | 3.00 | 4.00 | MED |
| | 13 | ROSMARINUS OFFICINALIS 'ARP' | ARP ROSEMARY | 5 GAL | 3.50 | 4.00 | LOW |
| | 3 | RUBUS X 'DORMAN RED' | DORMAN RED THORNLESS RASPBERRY | 5 GAL | 5.00 | 4.00 | MED |
| DESERT ACCENTS SEE B2/LP501 | | | | | | | |
| | 51 | HESPERALOE PARVIFLORA 'BRAKELIGHTS' | BRAKELIGHTS RED YUCCA | 5 GAL | 2.50 | 2.50 | LOW |
| | 44 | NOLINA MICROCARPA | BEARGRASS | 5 GAL | 5.00 | 5.00 | LOW |
| | 35 | OPUNTIA ENGELMANNII | ENGELMANN PRICKLY PEAR | 5 GAL | 4.00 | 6.00 | LOW |
| | 64 | YUCCA PALLIDA | TWISTLEAF YUCCA | 5 GAL | 2.00 | 3.00 | LOW |
| PERENNIALS SEE A1/LP501 | | | | | | | |
| | 31 | ANEMOPSIS CALIFORNICA | YERBA MANSA | 1 GAL | 1.50 | 2.00 | MED |
| | 30 | BERLANDIERA LYRATA | CHOCOLATE FLOWER | 1 GAL | 1.50 | 1.50 | LOW |
| | 62 | GAURA LINDHEIMERI 'SISKIYOU PINK' | SISKIYOU PINK GAURA | 1 GAL | 2.50 | 2.50 | MED |
| | 47 | PENSTEMON PSEUDOSPECTABILIS | DESERT BEARDTONGUE | 5 GAL | 2.00 | 2.00 | LOW |
| | 47 | SALVIA GREGGII 'ULTRA VIOLET' | ULTRA VIOLET AUTUMN SAGE | 1 GAL | 1.50 | 2.50 | LOW |
| VINES SEE C1/LP501 | | | | | | | |
| | 3 | VITIS LABRUSCA 'HIMROD' | HIMROD GRAPE | 5 GAL | 15.00 | 10.00 | MED |
| ORNAMENTAL GRASSES SEE A1/LP501 | | | | | | | |
| | 86 | BOUTELOUA GRACILIS 'BLONDE AMBITION' | 'BLONDE AMBITION' BLUE GRAMA | 5 GAL | 2.50 | 2.50 | LOW |
| | 18 | MUHLENBERGIA RIGENS | DEER GRASS | 5 GAL | 4.00 | 4.00 | LOW |

DEKKER
PERICH
SABATINI

Architecture
in Progress



SEAL

PROJECT

FAROLITO SENIOR COMMUNITY

10501 CENTRAL AVENUE NE
ALBUQUERQUE, NM 87123

ISSUED FOR
PERMIT

REVISIONS

9/22/23 ADD 001
10/30/2023 ADD 003
11/17/2023 ADD 004

DRAWN BY EH/TC

REVIEWED BY CM

DATE 09/01/2023

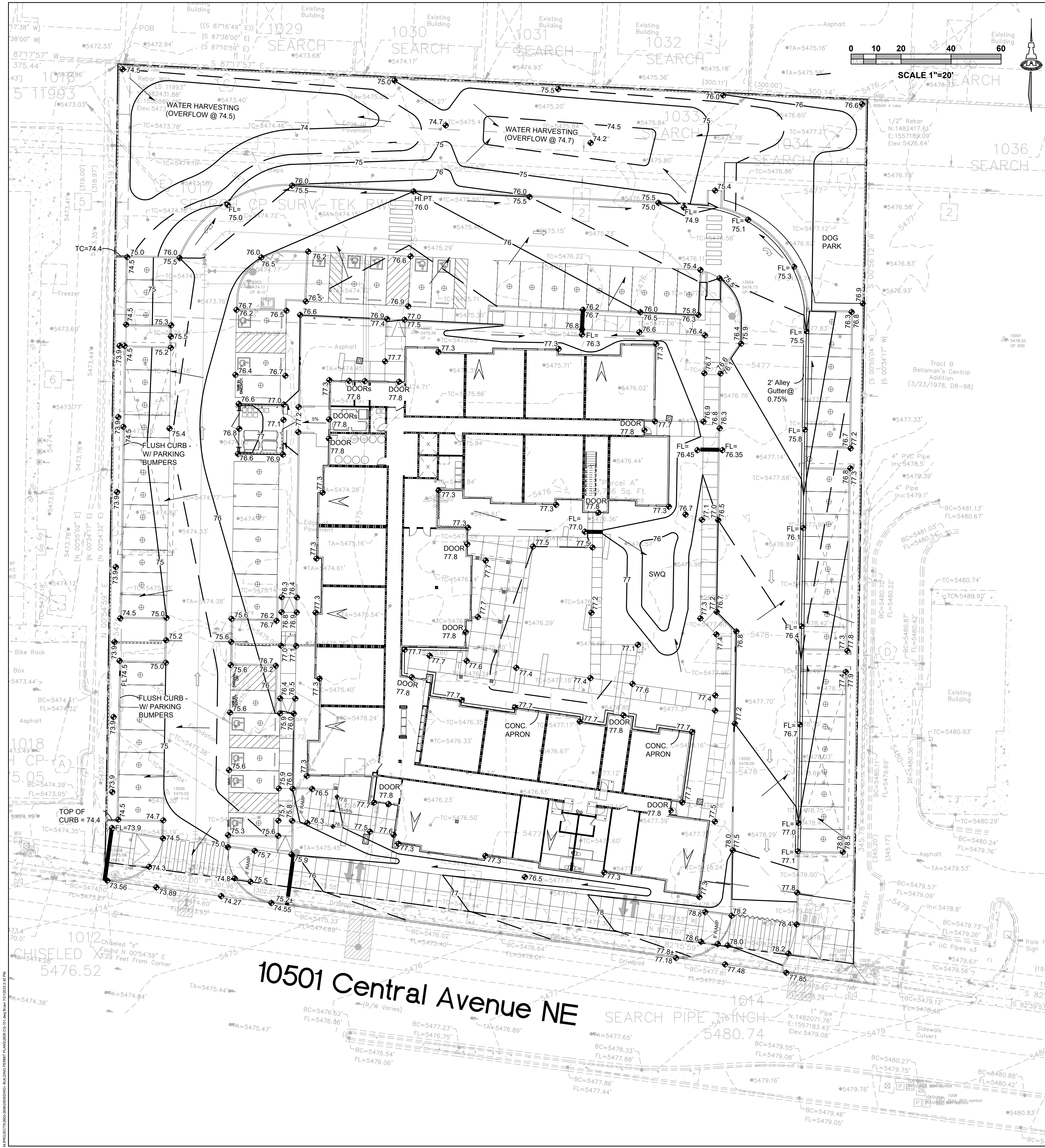
PROJECT NO. 22-0083

DRAWING NAME

PLANTING DETAILS

SHEET NO.

LP501



STORMWATER QUALITY

STORMWATER QUALITY CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH'.

REDEVELOPMENT: THIS SITE WAS PREVIOUSLY FULLY DEVELOPED. REDEVELOPMENT IS SUBJECT TO A REDUCED STORMWATER QUALITY VOLUME REQUIREMENT OF 0.26"/SF OF IMPERVIOUS AREA.

THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 70% OF TOTAL AREA. (0.70 * 101930) = 69,815 SF. THE REQUIRED FIRST FLUSH RETENTION VOLUME = 0.26"/12" TYPE 'D' AREA = 1,513 CF.

STORMWATER QUALITY RETENTION WILL BE PROVIDED AS POSSIBLE. FINAL LOCATIONS AND VOLUMES WILL BE PROVIDED AS PART OF BUILDING PERMIT CONSTRUCTION DOCUMENTS.

IF NECESSARY, A "PAYMENT IN-LIEU FOR STORMWATER QUALITY VOLUME REQUIREMENT" TREASURY DEPOSIT SLIP WILL BE PROVIDED BY C.O.A. HYDROLOGY BASED ON THE PORTION OF STORMWATER QUALITY VOLUME THAT IS NOT RETAINED ON-SITE. A COPY OF THE PAID RECEIPT WILL BE REQUIRED PRIOR TO BUILDING PERMIT APPROVAL.

ADA COMPLIANCE

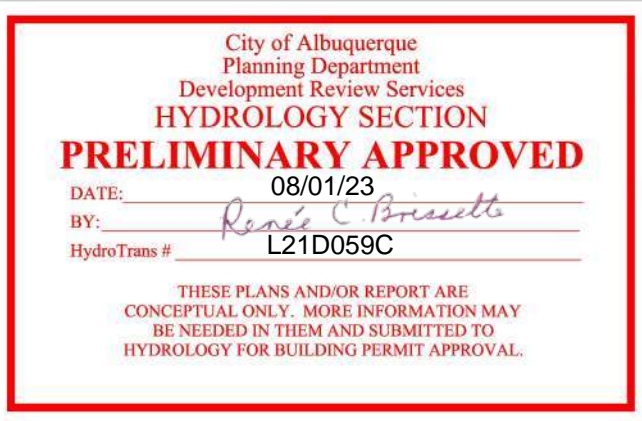
SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%

ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%).

ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

LEGEND

- 5478 --- EXISTING CONTOUR
- 5478.21 EXISTING SPOT ELEVATION
- 77 --- PROPOSED 1.0' CONTOUR
- 77.5 --- PROPOSED 0.5' CONTOUR
- ◆ 77.0 PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- FF = 5479.00 FINISH FLOOR ELEVATION



C.O.A VICINITY MAP L-21



PROJECT INFORMATION

PROPERTY: THE PROPERTY IS A PREVIOUSLY DEVELOPED COMMERCIAL PROPERTY BOUNDED ON THE NORTH BY SINGLE FAMILY RESIDENTIAL, TO THE EAST AND WEST BY DEVELOPED COMMERCIAL PROPERTY, AND TO THE SOUTH BY CENTRAL AVENUE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE CONSTRUCTION OF MULTI-FAMILY HOUSING WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LOT SIZE: 2.2896 ACRES ±

LEGAL: PARCEL A AS SHOWN ON THE BOUNDARY SURVEY OF TRACT C, VIDEO ADDITION AND PARCELS OF LAND OWNED BY THE STATE OF NEW MEXICO

BENCHMARK: VERTICAL DATUM SHOWN HEREON WAS BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT "5-K20" HAVING AN ELEVATION OF 5429.995.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0359G DATED 9/26/2008, THE SITE IS LOCATED WITHIN ZONE "X". DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.

SURVEYOR: BRIAN J. MARTINEZ, CSI-CARTESIAN SURVEYS INC. P.O BOX 44414 RIO RANCHO, NEW MEXICO 87174

DRAINAGE PLAN CONCEPT: ONSITE FLOW ON THE EAST AND NORTH SIDES OF THE PROPOSED BUILDING WILL BE ROUTED NORTH TO SHALLOW (6") WATER HARVESTING (STORMWATER QUALITY) BASINS ON THE NORTH END OF THE PROPERTY WHICH IS INTENDED TO BE USED AS A NATURAL AREA FOR PLANTS, ANIMALS, AND INSECTS.

ONSITE FLOW ON THE WEST SIDE OF THE PROPOSED BUILDING WILL BE DIRECTED TO A SHALLOW STORMWATER QUALITY POND ALONG THE WEST PROPERTY LINE.

A PORTION OF ROOF FLOW TO THE SOUTH SIDE OF THE PROPOSED BUILDING WILL BE DIRECTED TO A COVERED SIDEWALK CULVERT TO CENTRAL AVE.

ONCE THE STORMWATER QUALITY / WATER HARVESTING BASINS FILL, EXCESS STORMWATER WILL BE RELEASED TO CENTRAL AVE. VIA A NEW COVERED SIDEWALK CULVERT AT THE SW CORNER OF THE PROPERTY.

TOTAL DISCHARGE FROM THE SITE WILL BE LESS THAN HISTORIC DUE TO A REDUCTION OF IMPERVIOUS AREA AS WELL AS THE ADDITION OF ONSITE WATER HARVESTING.

Isaacson & Arfman, Inc.
Civil Engineering Consultants

FAROLITO SENIOR COMMUNITY
10501 CENTRAL AVE. NE

DESIGN
ISSUE: DEVELOPMENT
PROJECT NUMBER: IA 2609
FILE:
DRAWN BY:
CHECKED BY:
DATE: 07/20/23

CG-101

Engineer

07/21/2023

NOT FOR CONSTRUCTION

128 Monroe Street NE
Albuquerque, NM 87108
505-266-8828 | www.iaacivil.com

| CALCULATIONS: Faralito Senior Community : July 21, 2023 | | | | | | | | | |
|---|--------------|---|-------------------|----------------------------|------|----------------|--------------|----------------|--------|
| Based on City of Albuquerque DMP, Article 6-2 Hydrology dated June 26, 2020 | | | | | | | | | |
| 100-YEAR, 6-HOUR CALCULATIONS | | | | | | | | | |
| AREA OF SITE: | | 99735.6859 | | SF | = | 2.29 | ACRE | | |
| 100-year, 6-hour | | | | | | | | | |
| HISTORIC FLOWS: | | DEVELOPED FLOWS: | | | | EXCESS PRECIP: | | | |
| | Treatment SF | % | | Treatment SF | % | | Precip. Zone | 3 | |
| Area A | = | 0 | 0% | Area A | = | 0 | 0% | E _A | = 0.67 |
| Area B | = | 0 | 0% | Area B | = | 0 | 0% | E _B | = 0.86 |
| Area C | = | 14960 | 15% | Area C | = | 29921 | 30% | E _C | = 1.09 |
| Area D | = | 84775 | 85% | Area D | = | 69815 | 70% | E _D | = 2.58 |
| Total Area | = | 99736 | 100% | Total Area | = | 99736 | 100% | | |
| On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm) | | | | | | | | | |
| Weighted E = | | $\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$ | | | | | | | |
| Historic E | = | 2.36 in. | Developed E | | = | 2.13 in. | | | |
| On-Site Volume of Runoff: V ₃₆₀ = | | E* A / 12 | | | | | | | |
| Historic V ₃₆₀ | = | 19586 | CF | Developed V ₃₆₀ | = | 17728 | CF | | |
| On-Site Peak Discharge Rate: Q _p = Q _{pA} A _A +Q _{pB} A _B +Q _{pC} A _C +Q _{pD} A _D / 43,560 | | | | | | | | | |
| For Precipitation Zone 3 | | | | | | | | | |
| Q _{pA} = | | 1.84 | Q _{pC} = | | 3.17 | | | | |
| Q _{pB} = | | 2.49 | Q _{pD} = | | 4.49 | | | | |
| Historic Q _p | = | 9.8 | CFS | Developed Q _p | = | 9.4 | CFS | | |

CU101

GENERAL SHEET NOTES

- A. PAINT WALL AND ROOF MOUNTED EQUIPMENT/ITEMS THAT ARE NOT PRE-FINISHED TO MATCH COLOR OF ADJACENT SURFACE, UNLESS NOTED OTHERWISE.
- B. SEE REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.
- C. MAKE CHANGES IN FINISH COLOR AT INTERIOR CORNERS, UNLESS NOTED OTHERWISE.
- D. EXTERIOR BUILDING AREAS WILL BE ILLUMINATED WITH FIXTURES UTILIZING FULL CUTOFF OPTICS SO AS TO MINIMIZE LIGHT POLLUTION AND TO COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT.
- E. MECHANICAL EQUIPMENT IS ROOF MOUNTED AND SCREENED FROM VIEW BY BUILDING PARAPETS.
- F. WINDOWS: SOLAR HEAT GAIN COEFFICIENT (SHGC) IECC REQUIRED - .38 PROVIDED - .30 MAX

SHEET KEYNOTES 

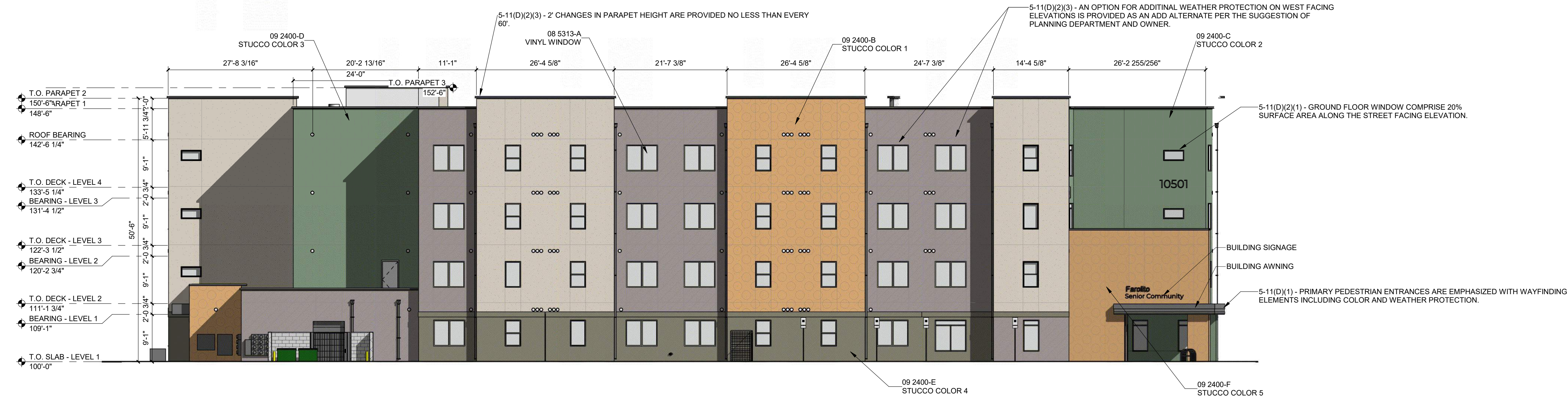
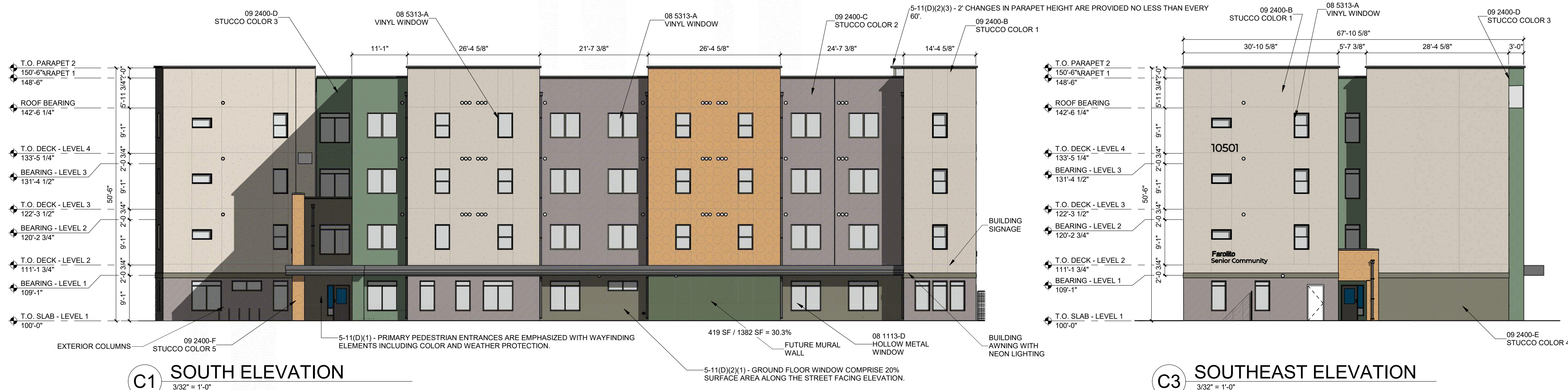
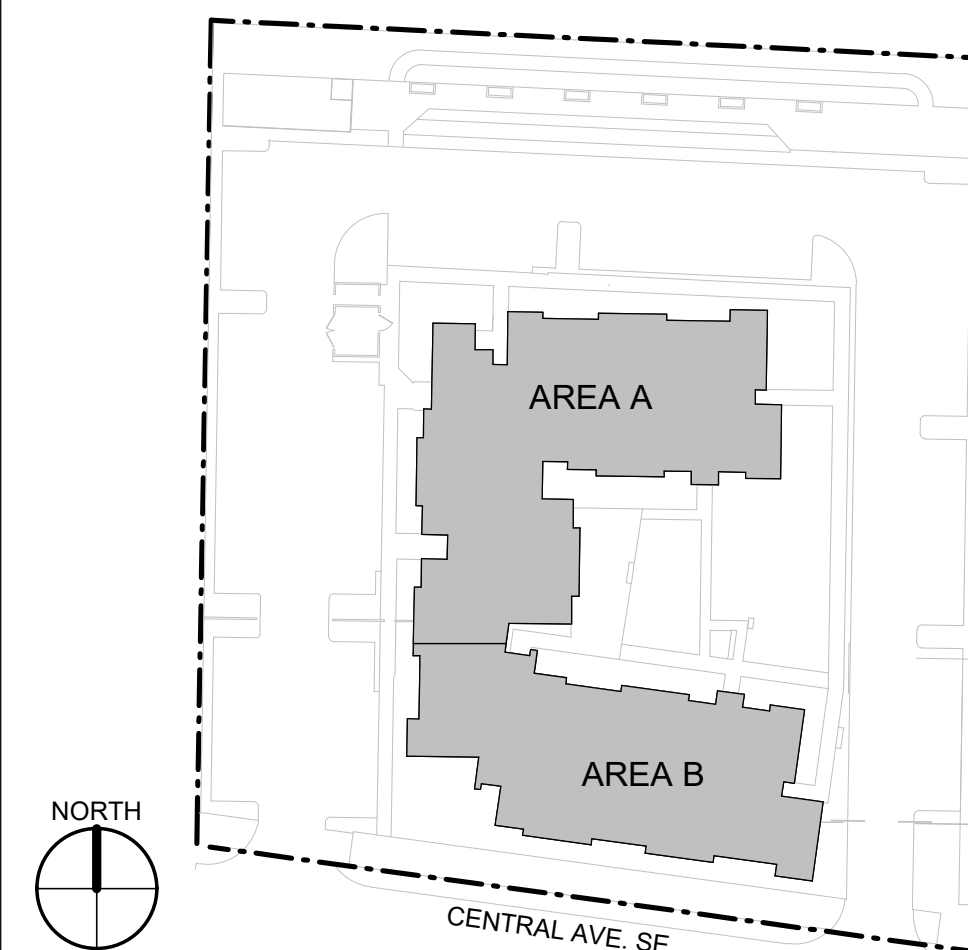
REFERENCE KEYNOTES

08 1113-D HOLLOW METAL WINDOW
08 5313-A VINYL WINDOW
09 2400-B STUCCO COLOR 1
09 2400-C STUCCO COLOR 2
09 2400-D STUCCO COLOR 3
09 2400-E STUCCO COLOR 4
09 2400-F STUCCO COLOR 5

LEGEND



KEY PLAN



DEKKER
PERICH
SABATINI

Architecture in Progress



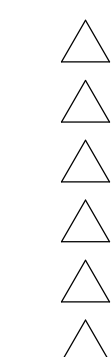
SEAL

PROJECT

**FAROLITO SENIOR
COMMUNITY**
10501 CENTRAL AVENUE NE
ALBUQUERQUE, NM 87123

ISSUED FOR
PERMIT

REVISIONS



DRAWN BY BH

REVIEWED BY CWW

DATE 05/14/23

PROJECT NO: 22-0083

DRAWING NAME

EXTERIOR
ELEVATIONS -
SOUTH AND
WEST

SHEET NO. _____

SDP 4.1

GENERAL SHEET NOTES

A. PAINT WALL AND ROOF MOUNTED EQUIPMENT/ITEMS THAT ARE NOT PRE-FINISHED TO MATCH COLOR OF ADJACENT SURFACE, UNLESS NOTED OTHERWISE.
B. SEE REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.
C. MAKE CHANGES IN FINISH COLOR AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.
D. EXTERIOR BUILDING AREAS WILL BE ILLUMINATED WITH FIXTURES UTILIZING FULL CUT-OFF OPTICS SO AS TO MINIMIZE LIGHT POLLUTION AND TO COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT.
E. MECHANICAL EQUIPMENT IS ROOF MOUNTED AND SCREENED FORM VIEW BY BUILDING PARAPETS.
F. ALL WINDOWS: SOLAR HEAT GAIN COEFFICIENT (SHGC) IECC REQUIRED - .38 PROVIDED - .30 MAX

SHEET KEYNOTES

REFERENCE KEYNOTES

08 5313-A VINYL WINDOW
09 2400-B STUCCO COLOR 1
09 2400-C STUCCO COLOR 2
09 2400-D STUCCO COLOR 3
09 2400-E STUCCO COLOR 4
09 2400-F STUCCO COLOR 5
10 1400-C01 EXTERIOR BUILDING SIGNAGE

LEGEND

STUCCO: COLOR 1

STUCCO: COLOR 2

STUCCO: COLOR 3

STUCCO: COLOR 4

STUCCO: COLOR 5

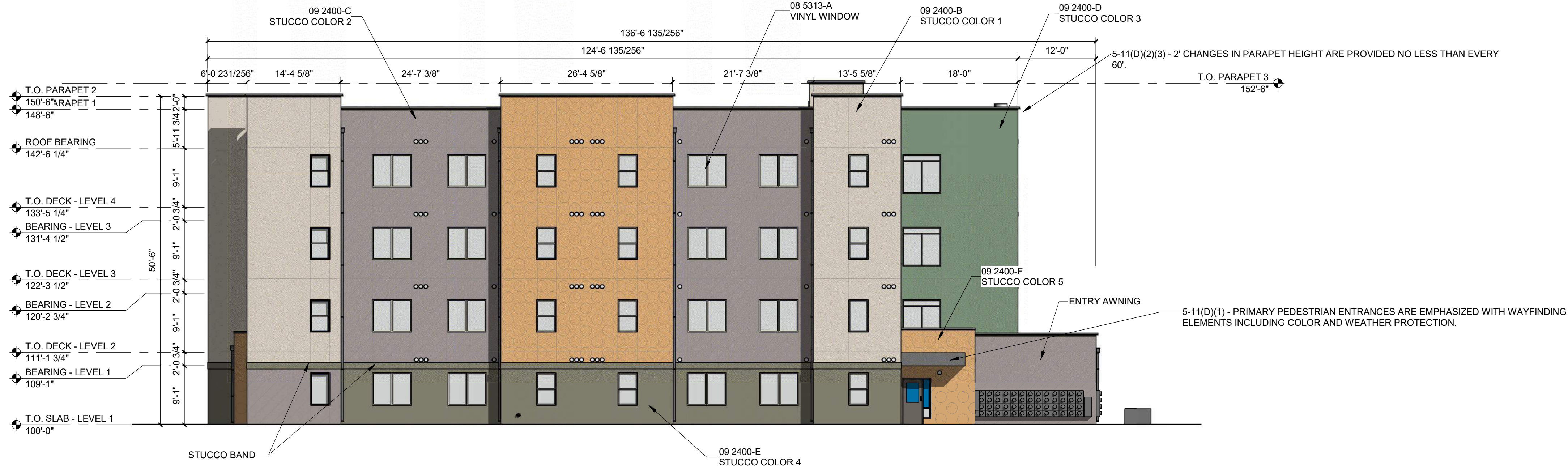
KEY PLAN

NORTH

CENTRAL AVE. SE

AREA A

AREA B



C3 NORTH ELEVATION
3/32" = 1'-0"



A1 EAST ELEVATION
3/32" = 1'-0"

DEKKER
PERICH
SABATINI

Architecture
in Progress



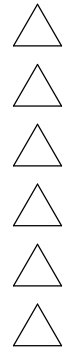
SEAL

PROJECT

FAROLITO SENIOR
COMMUNITY
10501 CENTRAL AVENUE NE
ALBUQUERQUE, NM 87123

ISSUED FOR
PERMIT

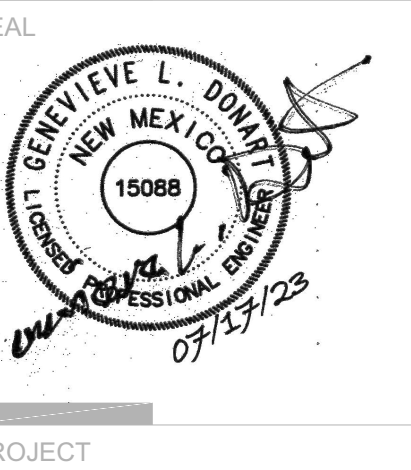
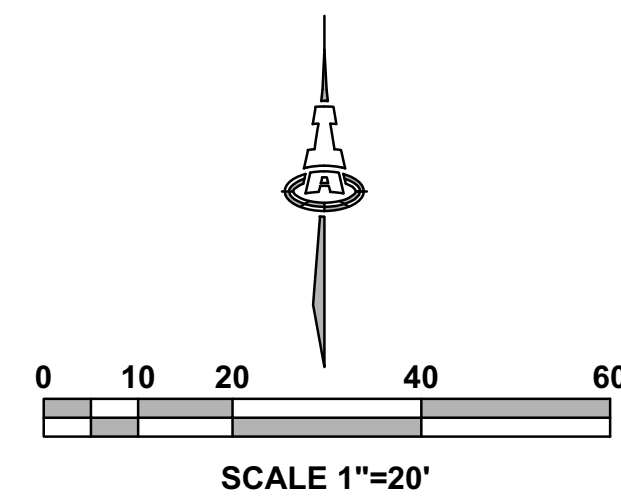
REVISIONS



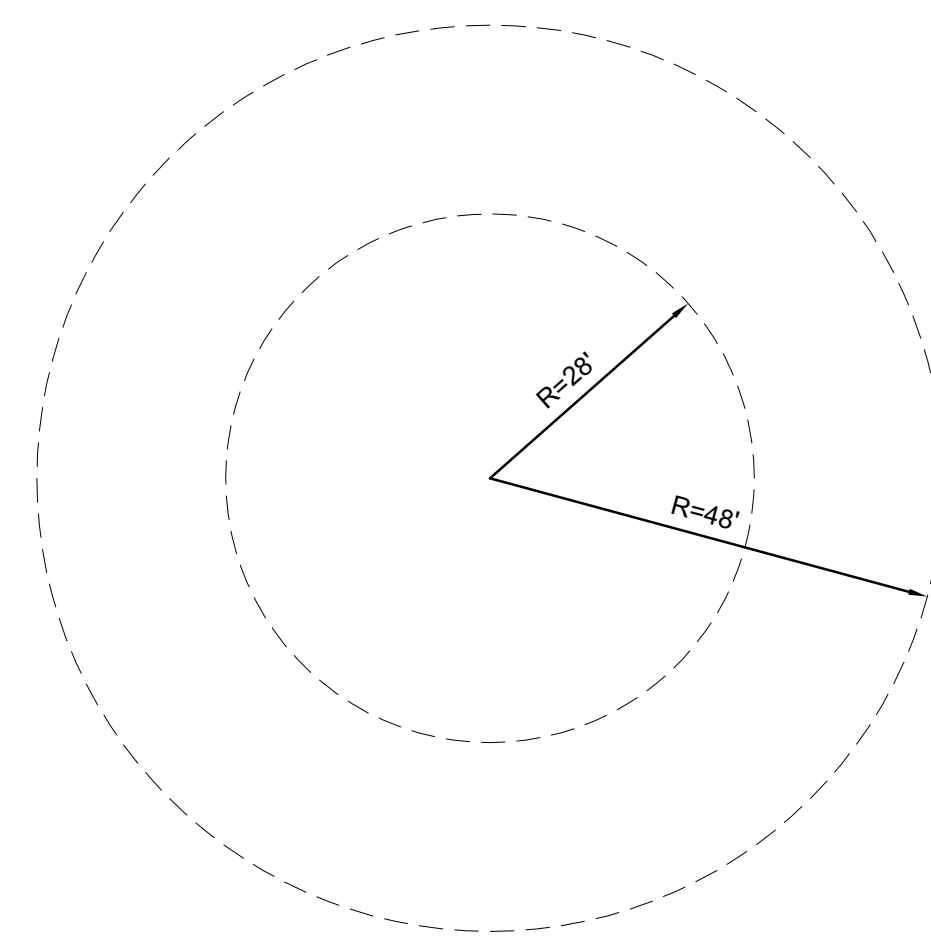
DRAWN BY BH
REVIEWED BY CWW
DATE 05/14/23
PROJECT NO: 22-0083

DRAWING NAME
EXTERIOR
ELEVATIONS -
NORTH AND EAST

SHEET NO
SDP 4.2

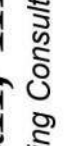


THERE ARE NO OVERHEAD OBSTRUCTIONS ON SITE TO PROHIBIT LADDER TRUCK OPERATIONS



Isaacson & Arfman, Inc.
Civil Engineering Consultants

128 Monroe Street NE
Albuquerque, NM 87108
505-268-8828 | www.iaaciv.com



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FAROLITO SENIOR COMMUNITY
10501 CENTRAL AVENUE NE
ALBUQUERQUE, NM 87123

ISSUED FOR
PERMIT

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| OWN BY | JTS/BJB/DEC |
| REVIEWED BY | FCA/IMA |
| | 09/01/2023 |
| EJECT NO. | IA 2609 22-0083 |

IVING NAME

FIRE HYDRANT LOCATION & ACCESS PLAN

FIRE 1