

01 DFT APPLICATION



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS		<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)	
<input type="checkbox"/> Site Plan Administrative DFT (Forms P & P2)		PRE-APPLICATIONS	
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)		<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)	
<input type="checkbox"/> Amendment to Infrastructure List (Form S3)		<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)	
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)		APPEAL	
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)		<input type="checkbox"/> Administrative Decision (Form A)	
BRIEF DESCRIPTION OF REQUEST			
APPLICATION INFORMATION			
Applicant/Owner:		Phone:	
Address:		Email:	
City:	State:	Zip:	
Professional/Agent (if any):		Phone:	
Address:		Email:	
City:	State:	Zip:	
Proprietary Interest in Site:		List <u>all</u> owners:	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)			
Lot or Tract No.:	TRACT IN N 1/2 NW 1/4 NW 1/4 CONT 2.2860 AC	Block:	Unit:
Subdivision/Addition:	M/LTRACT IN N 1/2 NW 1/4 NW 1/4 CONT 2.2860 AC M/L	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning	
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):	
LOCATION OF PROPERTY BY STREETS			
Site Address/Street:	Between:	and:	
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)			
I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.			
Signature:		Date:	
Printed Name:		<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent	

02 FORM P2

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022**_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Form P with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- ___ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- ___ 7) Infrastructure List, if required for building of public infrastructure
- ___ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- ___ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- ___ 10) Completed Site Plan Checklist
- ___ 11) Letter of authorization from the property owner if application is submitted by an agent
- ___ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- ___ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- ___ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

___ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

___ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

___ 17) Sign Posting Agreement

___ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

___ Office of Neighborhood Coordination neighborhood meeting inquiry response

___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

___ Completed neighborhood meeting request form(s)

___ If a meeting was requested or held, copy of sign-in sheet and meeting notes

___ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

___ Proof of emailed notice to affected Neighborhood Association representatives

_ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

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- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Site Plan and related drawings
- ___ 5) Infrastructure List, if require
- ___ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- ___ 7) Letter of authorization from the property owner if application is submitted by an agent
- ___ 8) Solid Waste Department signature on Site Plan
- ___ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- ___ 10) Approved Grading and Drainage Plan
- ___ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)

03 FORM P WITH REQUIRED SIGNATURES

FORM P: PRE-APPROVALS/SIGNATURES

Legal Description & Location: 10501 CENTRAL AV NE
TRACT IN N 1/2 NW 1/4 NW 1/4 CONT 2.2860 AC M/LTRACT IN N 1/2 NW 1/4 NW 1/4 CONT 2.2860 AC M/L

Job Description: New 4-story multifamily development with resident amenities, parking and landscaping.

Hydrology:

- Grading and Drainage Plan X Approved NA
- AMAFCA Approved X NA
- Bernalillo County Approved X NA
- NMDOT Approved X NA
- MRGCD Approved X NA


 Hydrology Department

9/12/2023
 Date

Transportation:


- Traffic Circulations Layout (TCL) X Approved NA
- Traffic Impact Study (TIS) Approved X NA
- Neighborhood Impact Analysis (NIA) Approved X NA
- Bernalillo County Approved X NA
- MRCOG Approved X NA
- NMDOT Approved X NA
- MRGCD Approved X NA


 Transportation Department

9/12/2023
 Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Water/Sewer Availability Statement/Serviceability Letter Approved NA
- ABCWUA Development Agreement Approved NA
- ABCWUA Service Connection Agreement Approved NA

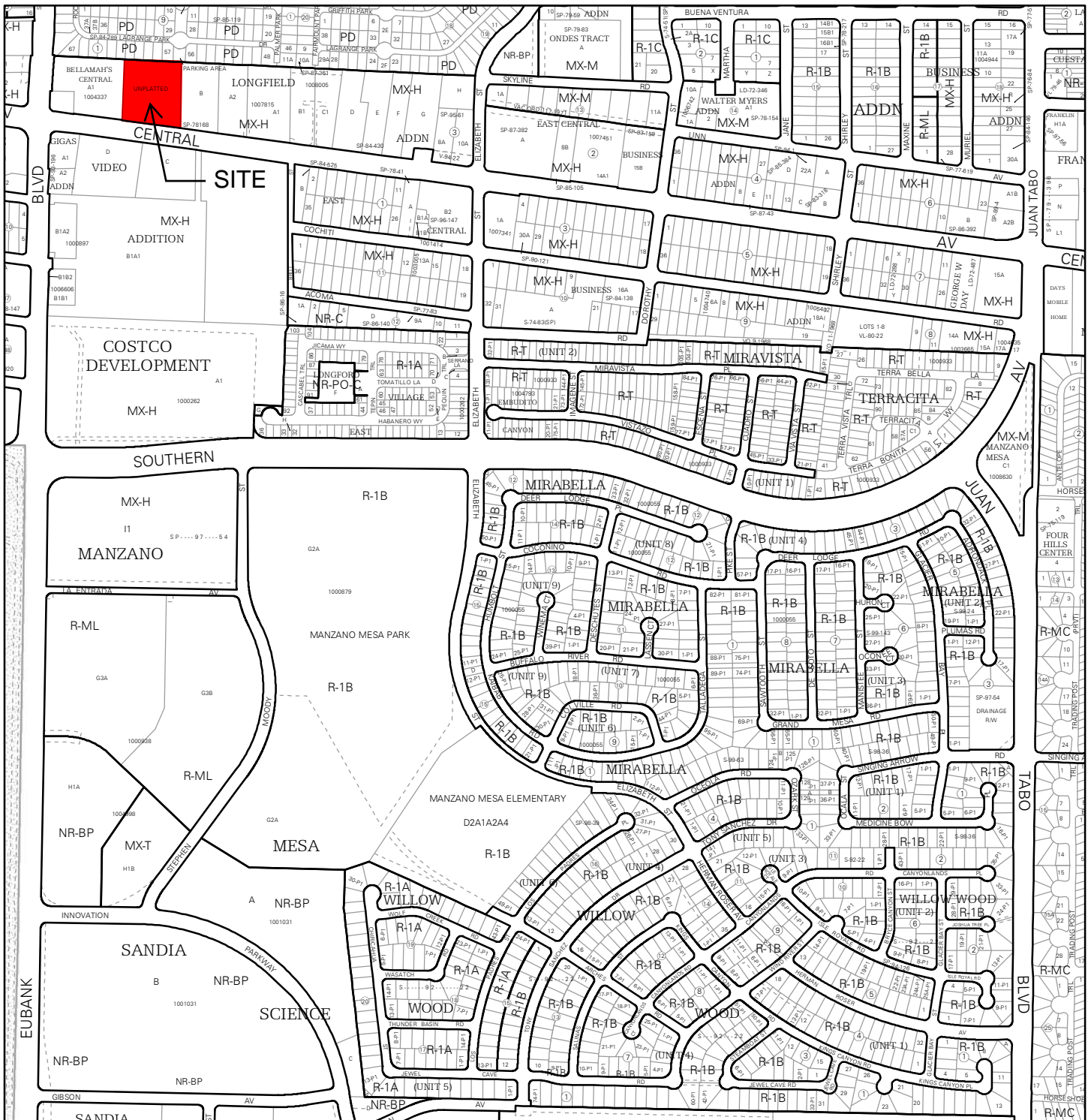

 ABCWUA

9/25/2023
 Date

- Infrastructure Improvements Agreement (IIA*) Approved NA
- Solid Waste Department Signature on the plan Approved NA
- Fire Marshall Signature on the plan Approved NA

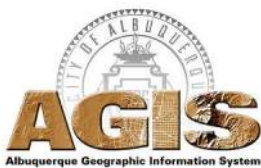
* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

04 ZONE ATLAS MAP

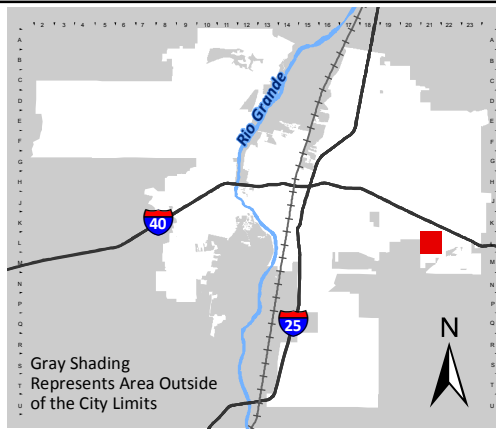


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
L-21-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

05 SITE PLAN



DRAWING INDEX

SDP 1.1	SITE DEVELOPMENT PLAN
SDP 1.2	SITE DETAILS
SDP 1.3	SITE DETAILS
SDP 2.1	LANDSCAPE PLAN
C-1.1	GRADING AND DRAINAGE PLAN
SDP 5.1	EXTERIOR ELEVATIONS
SDP 5.2	EXTERIOR ELEVATIONS
FIRE 1	FIRE HYDRANT LOCATION AND ACCESS PLAN

**DEKKER
PERICH
SABATINI**

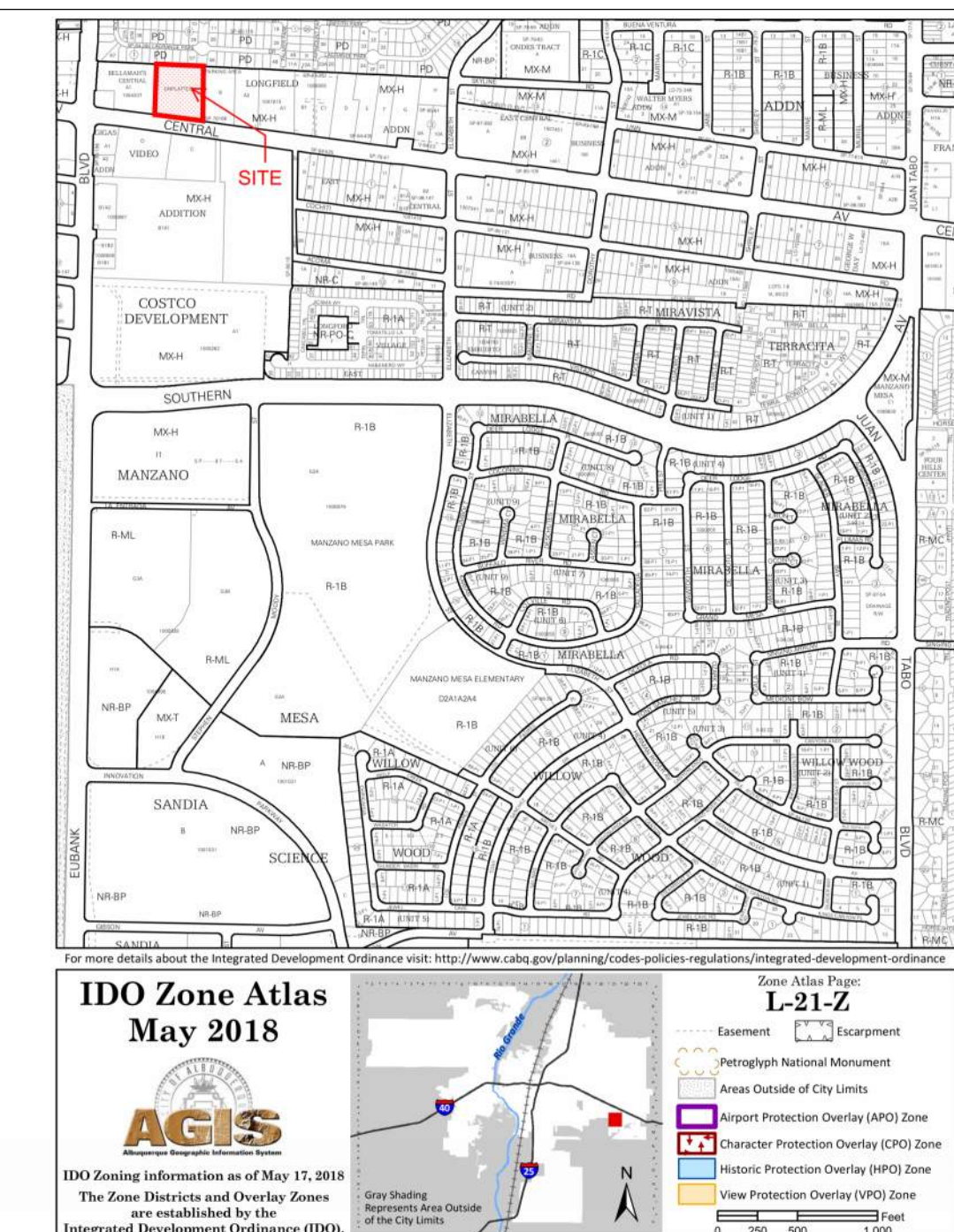
**Architecture
in Progress**



ARCHITECT

PROJECT

VICINITY MAP



FAROLITO SENIOR COMMUNITY

PROJECT TEAM

OWNER
 FAROLITO APARTMENTS
 LIMITED PARTNERSHIP LLLP
 320 GOLD AVENUE SW
 ALBUQUERQUE, NM 87102
 (505) 244-1614

ARCHITECT
 DEKKER PERICH SABATINI
 7601 JEFFERSON NE, SUITE 100
 ALBUQUERQUE, NM 87109
 (505) 761-9700

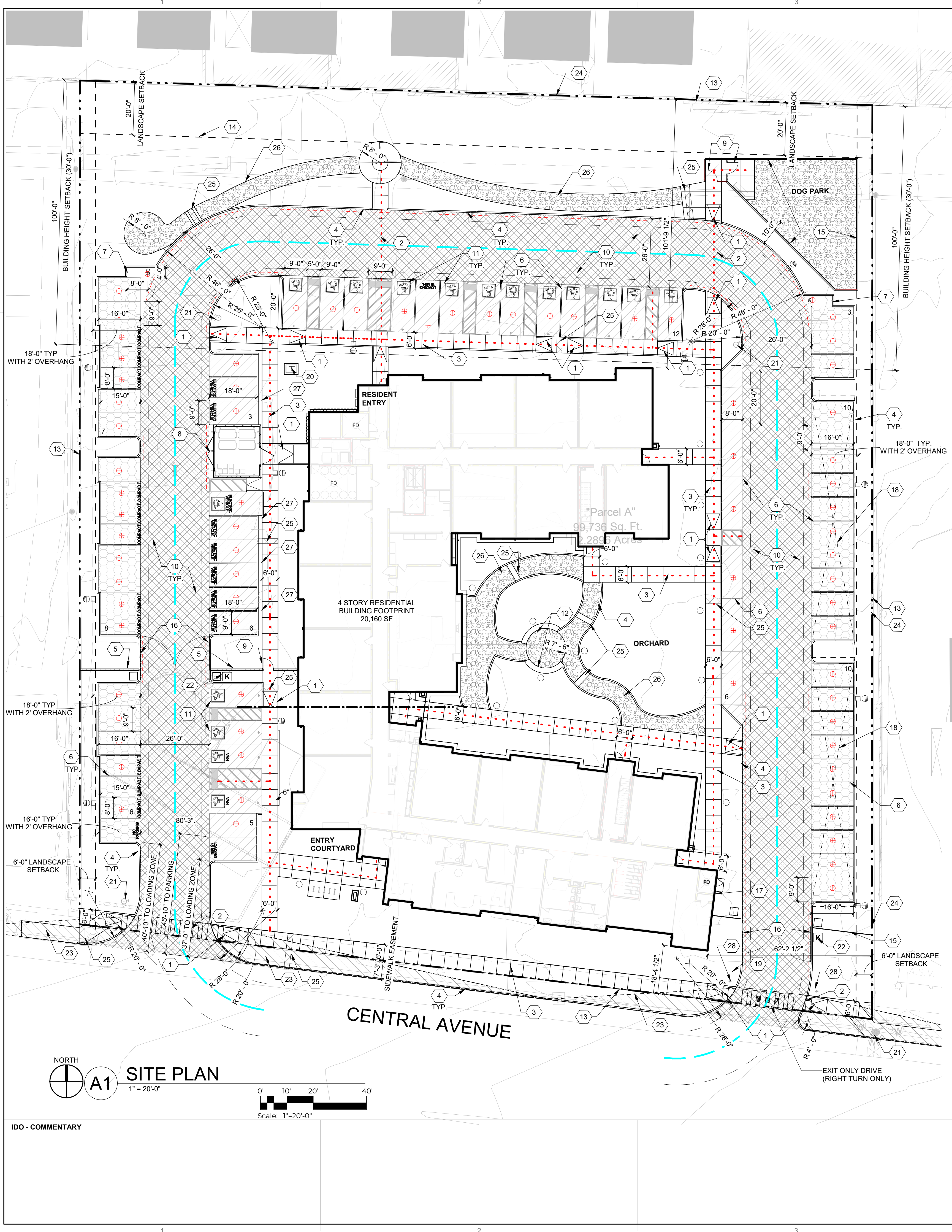
LANDSCAPE ARCHITECT
 DEKKER PERICH SABATINI
 7601 JEFFERSON NE, SUITE 100
 ALBUQUERQUE, NM 87109
 (505) 761-9700

CIVIL ENGINEER
 ISAACSON & ARFMAN, INC.
 128 MONROE STREET NE
 ALBUQUERQUE, NM 87108
 (505) 268-8828

DATE 07/28/2023
 PROJECT NO: 22-0083

ISSUE PURPOSE
COVER

**FAROLITO SENIOR COMMUNITY
 10501 CENTRAL AVENUE NE
 ALBUQUERQUE, NM 87123**



A1 SITE PLAN
 1" = 20'-0"
 Scale: 1" = 20'-0"

9/28/2023 12:00:48 PM

PROJECT INFORMATION

LOCATION:
 10501 CENTRAL AVENUE NE
 ALBUQUERQUE, NM 87123

ZONING:
 IDO - MIXED-USE - HIGH INTENSITY ZONE DISTRICT (MX-H)
 METROPOLITAN REDEVELOPMENT AREA (MRA) - EAST GATEWAY
 MAJOR TRANSIT CORRIDOR AREA
 ROUTE 66 ACTION PLAN

LEGAL DESCRIPTION:
 TRACT IN N 1/2 NW 1/4 NW 1/4 CONT 2.2860 AC MLTRACT IN N 1/2 NW 1/4 NW 1/4 CONT 2.2860 AC ML

ZONE ATLAS:
 2.285 ACRES (99,532 SQ. FT.)

DENSITY:
 35.9 DU / ACRES

OCCUPANCY AND CONSTRUCTION TYPE:
 APARTMENTS R-2, B (RETAIL, LEASING, & AMENITY)
 CONSTRUCTION TYPE: 5-A (4 STORY APARTMENT BUILDINGS)

BUILDING SETBACKS:
 FRONT = 5' MIN. / N/A MAX.
 SIDE = 5' MIN. / N/A MAX.
 REAR = 15'

BUILDING HEIGHT:
 MAXIMUM ALLOWED = 65'-0"
 MAXIMUM PROVIDED = 51'-6"

BUILDING AREA:
 LEVEL 1 = 20,160 GSF
 LEVEL 2 = 17,532 GSF
 LEVEL 3 = 18,814 GSF
 LEVEL 4 = 18,814 GSF
 TOTAL = 75,320 GSF

SPRINKLER:
 YES, NFPA 13R

FIRE FLOW:
 3,750 GPM

HYDRANTS REQUIRED:
 4

SOLID WASTE NARRATIVE:
 TRASH SHALL BE PROVIDED ON SITE WITH AN INTERNAL COMPACTOR AND TRASH CHUTE SERVING THE RESIDENTS. THE INTERNAL COMPACTOR SHALL BE SERVED WITH TWO CY. CARTS ON CASTERS (4 TOTAL ON SITE) COLLECTING UPPER LEVEL REFUSE COLLECTED AT THE CHUTE AND WHEELED OUT TO THE REFUSE CONTAINER BY BUILDING MANAGEMENT AND BY SOLID WASTE PERSONNEL ON SERVICE DAYS.

RECYCLING SHALL BE MANAGED ON EACH LEVEL BY TWO (2) 50 GALLON ROLLING RECYCLING BINS (8 TOTAL ON SITE) COLLECTED BY BUILDING MANAGEMENT ON THE SITE REFUSE CONTAINER AND SERVICED ON SITE ON COLLECTION DAYS.

PARKING CALCULATION: (TABLE 5-5-1)
 REQUIRED SPACES: 76 SPACES
 (1.5 SPACES/DWELLING UNIT: 1.5 X 82 = 123 PARKING SPACES MINUS PARKING CREDIT OF 47 SPACES FOR PROXIMITY TO TRANSIT AND ELECTRIC VEHICLE CREDIT)

PROVIDED SPACES: 79 TOTAL SPACES
 (66 STANDARD SPACES + 6 ACCESSIBLE SPACES + 6 VAN ACCESSIBLE)

MOTORCYCLE PARKING CALCULATION:
 REQUIRED SPACES: 1.58 (2 SPACES)
 PROVIDED SPACES: 2 SPACES

BICYCLE PARKING
 REQUIRED SPACES: 0.25 / UNIT (82 X 0.25 = 20.5 BICYCLE PARKING SPACES)
 PROVIDED SPACES: 36 TOTAL SPACES PROVIDED
 (18 INDOOR SPACES + 18 OUTDOOR BICYCLE SPACES)

NOTE: 6 OUTDOOR SPACES ARE PROVIDED FOR VISITORS THAT ARE FIXED, PERMANENT AND ARE LOCATED AT MULTIPLE RACKS SERVING THE LEASING OFFICE, AND ALONG CENTRAL AVENUE PER THE ROUTE 66 ACTION PLAN.

OPEN SPACE CALCULATIONS

REQUIRED USABLE OPEN SPACE: (TABLE 2-4-7) MX-H ZONING
 1 BEDROOM UNIT = 200 SF OPEN SPACE REQUIRED
 2 BEDROOM UNIT = 250 SF OPEN SPACE REQUIRED
 1 BEDROOM UNITS PROVIDED: 72 UNITS X 200 = 14,400 SF
 2 BEDROOM UNITS PROVIDED: 10 UNITS X 250 = 2,500 SF
 TOTAL OPEN SPACE REQUIRED: 16,900 SF

PROVIDED USABLE OPEN SPACE:
 XX,XXX SF OF USABLE OPEN SPACE PROVIDED

UNIT DATA

UNIT TYPE	GROSS HEATED SQUARE FOOTAGE (GHSF)	LEVEL				TOTAL QUANTITY	TOTAL AREA (GHSF)
		LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4		
UNIT 1	650	14	18	20	20	72	46,800
UNIT 2	790	1	3	3	3	10	7,900
TOTAL		15	21	23	23	82	54,700

- SHEET KEYNOTES**
- CONCRETE ACCESSIBLE RAMP TYP.
 - PAINTED PEDESTRIAN CROSSWALK, RE: C4/SDP1.2
 - CONCRETE SIDEWALK WITH CONTROL JOINTS, WIDTH AS NOTED
 - CONCRETE CURB, SEE CIVIL
 - 8" CMU WALL
 - PARKING STRIPING
 - MOTORCYCLE ONLY PARKING SIGNAGE
 - REFUSE ENCLOSURE, RE: SDP-5.7
 - PEDESTRIAN GATE W/ KEYCARD ACCESS
 - ASPHALT PAVING, RE: CIVIL FOR PAVEMENT SECTIONS
 - ACCESSIBLE PARKING STALL, RE: D2/SDP1.2
 - CONCRETE SEAT WALL, RE: C3/SDP1.2
 - PROPERTY LINE
 - 8" VIEW FENCING
 - VEHICULAR GATE ON FOBBED SENSOR & CALL BOX
 - FIRE DEPARTMENT CONNECTION (FDC)
 - PV CAPABLE PARKING CANOPY (OPTIONAL - ALTERNATE BID)
 - POST INDICATOR VALVE (PIV)
 - TRANSFORMER, RE: ELECTRICAL
 - FIRE HYDRANT, RE: CIVIL
 - LOCATION OF KNOX BOX
 - CLEAR SIGHT TRIANGLE (PER COA) LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. ALL SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
 - EXISTING MASONRY WALL TO REMAIN
 - SIDEWALK CULVERT, RE: CIVIL
 - STABILIZED CRUSHER FINE PATH RE: B1/SDP1.3
 - E.V. CAPABLE CHARGING STATION
 - EXIT ONLY SIGNAGE DO NOT ENTER, RE: D1/SDP1.3

- GENERAL SHEET NOTES**
- SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL AND ACCESSIBILITY STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
 - VERIFY EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
 - COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION.
 - REPAIR AREAS TO MATCH PRE-CONSTRUCTION CONDITION WHERE UTILITY WORK, GRADING AND/OR STAGING OCCURS, INCLUDING AREAS OUTSIDE OF LIMIT OF WORK BOUNDARY.
 - ALL EXISTING ASPHALT AND CONCRETE TO BE REMOVED PRIOR TO CONSTRUCTION.
 - REMOVE EXISTING TREES PRIOR TO CONSTRUCTION.
 - UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY. COORDINATE LOCATION AND INSTALLATION. SEE CIVIL.
 - ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
 - AN ACCESSIBLE ROUTE, IN COMPLIANCE WITH ACCESSIBILITY STANDARDS OF THE PROJECT, CONNECTS FROM THE BUILDING TO ACCESSIBLE PARKING SPACES AND TO ALL SITE AMENITIES AS REQUIRED.
 - ALL LIGHT FIXTURES AND LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DESIGN ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.
 - REFER TO CIVIL AND ELECTRICAL FOR DEMOLITION ITEMS.
 - REFER TO CIVIL FOR PAVING PLAN AND PAVING DETAILS.
 - STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
 - SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
 - PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK, WHERE EXPANSION JOINT MATERIAL IS PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.
 - PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN. TYP. RE: CIVIL FOR SPOT ELEVATIONS, AND GRADING AND DRAINAGE REQUIREMENTS.
 - EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED A DEMOLITION AND CONSTRUCTION.
 - LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
 - WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS PER CITY OF ALBUQUERQUE.
 - ALL RAMPS, SIDEWALKS, CURBS AND GUTTERS IN THE R.O.W. SHALL BE INSTALLED PER CITY OF ALBUQUERQUE STANDARD DRAWINGS.
 - SOLID WASTE CONNECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
 - DURING CONSTRUCTION, COORDINATE WITH CITY OF ALBUQUERQUE'S MEDIAN LANDSCAPING PROJECT AT THIS LOCATION.

PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

LEGEND

- LANDSCAPED AREA
- HEAVY DUTY ASPHALT (RATED FOR UP TO 75,000 LBS)
- LIGHT DUTY ASPHALT
- STABILIZED DECOMPOSED GRANITE PATH (ACCESSIBLE)
- PERMIABLE PAVING
- PROPERTY LINE
- SETBACK (SEE DEMENTION FOR ADDITIONAL DETAILS)
- ACCESSIBLE ROUTE
- FIRELANE STRIPPING MARKING FIRE ACCESS LANE, RE: XX/SDP 1.2
- REFUSE TRUCK ROUTE
- EXISTING FIRE HYDRANT LOCATION
- PROPOSED FIRE HYDRANT LOCATION
- FIRE DEPARTMENT CONNECTION (FDC) WALL MOUNTED
- PROPOSED TRANSFORMER LOCATION
- PROPOSED 20' LIGHT POLE
- OPTIONAL PHOTOVOLTAIC (PV) CARPORT, (SEPARATE PERMIT REQUIRED)
- BIKE RACK (4 BIKE CAPACITY) RE: XX/SDP 1.2

REVISIONS

△	
△	
△	
△	
△	

DRAWN BY: BH
 REVIEWED BY: CWW
 DATE: 05/12/23
 PROJECT NO: 22-0083

DRAWING NAME: **SITE DEVELOPMENT PLAN**

SHEET NO: **SDP 1.1**

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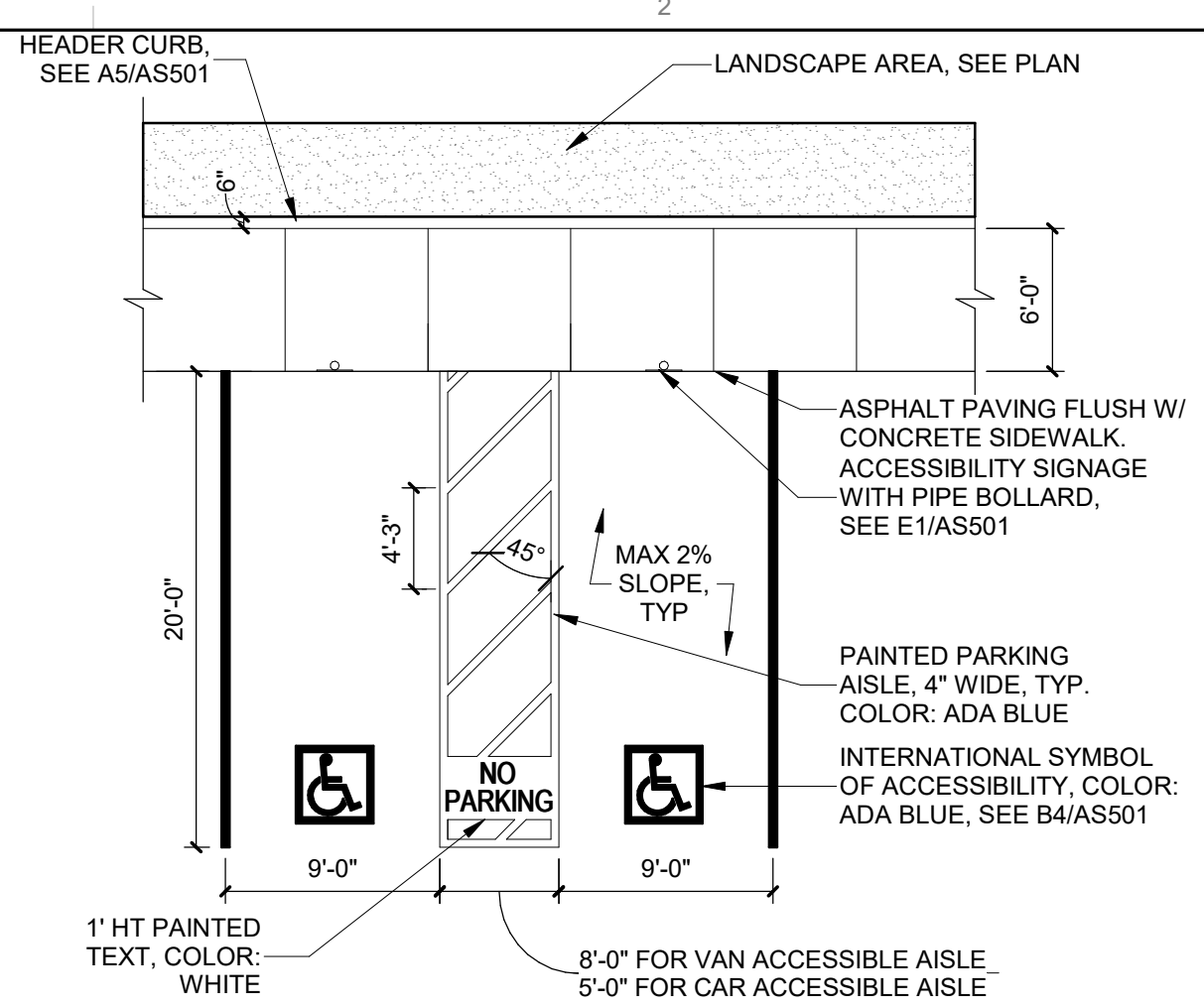
Architecture in Progress

STATE OF NEW MEXICO
 HANNAH FEIL
 GREENHOOD No. 5594
 09/28/2023
 REGISTERED ARCHITECT

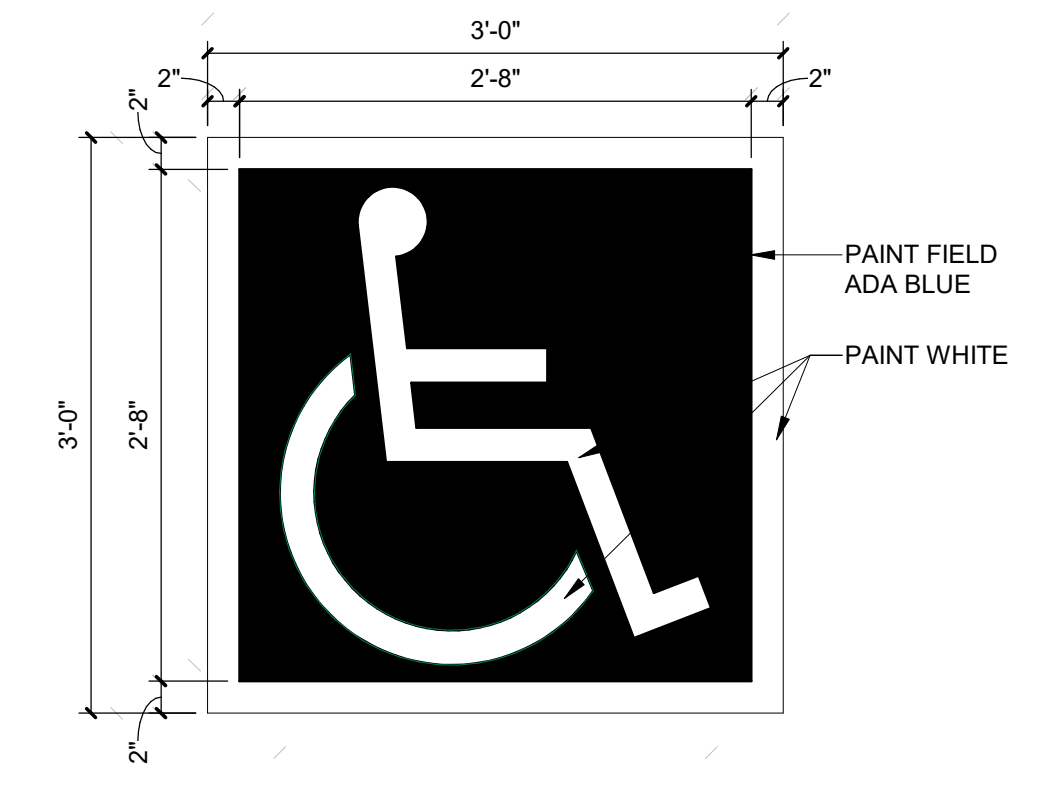
SEAL

FAROLITO SENIOR COMMUNITY
 10501 CENTRAL AVENUE NE
 ALBUQUERQUE, NM 87123

ISSUED FOR PERMIT



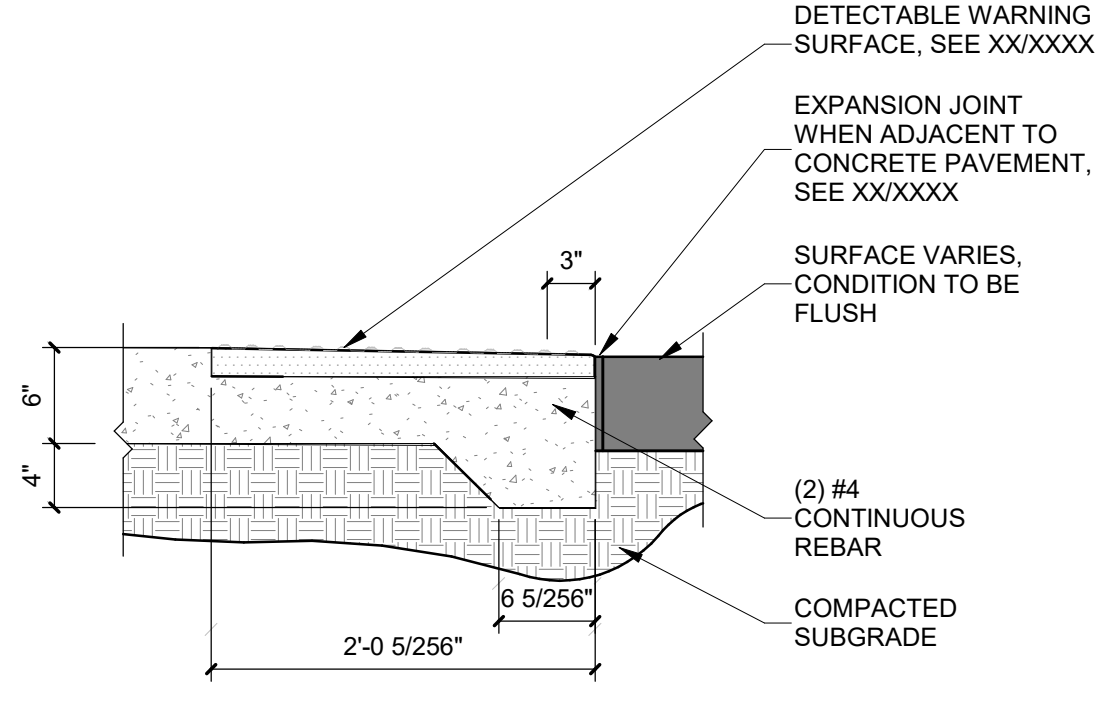
D2 ACCESSIBLE PARKING
1/8" = 1'-0"



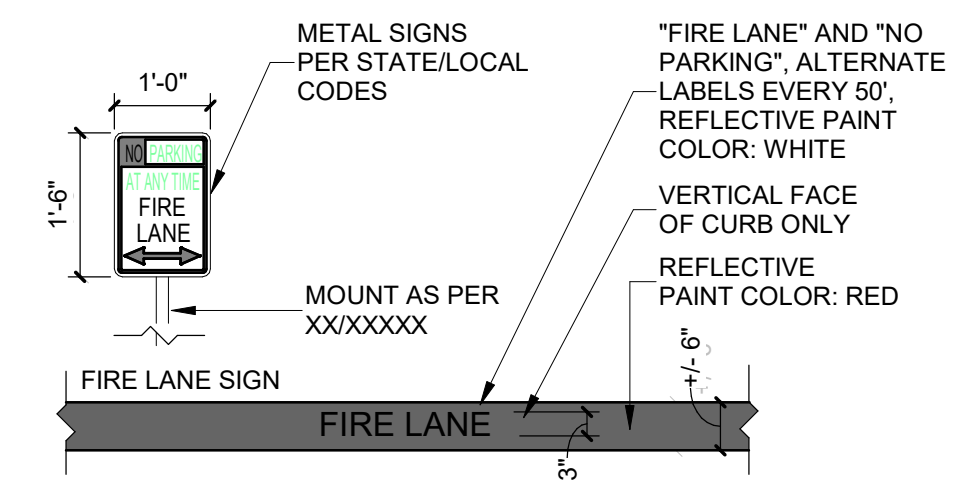
D3 ACCESSIBLE PAVEMENT MARKING
1" = 1'-0"

NOTES:
1. SEE PLANS FOR EXTENTS OF CURB PAINT

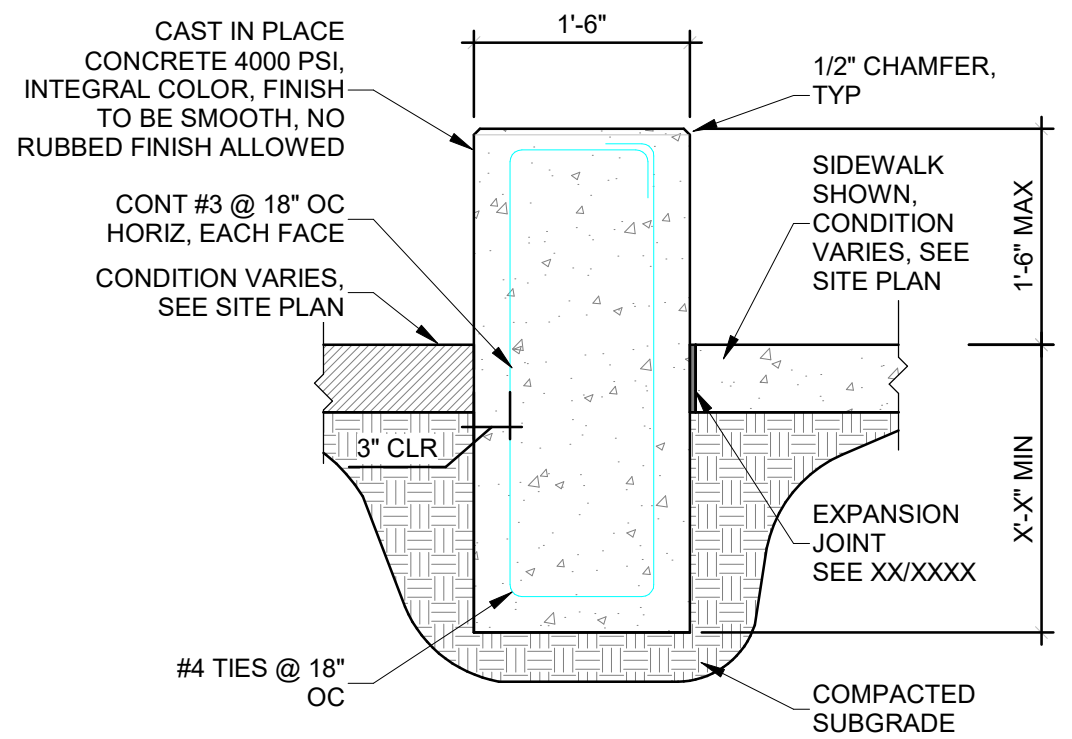
NOTES:
1. SLOPE TOP OF WALL AT 1% TOWARD PAVEMENT
2. TOP OF WALL TO BE CONSTANT FOR EACH INDIVIDUAL WALL



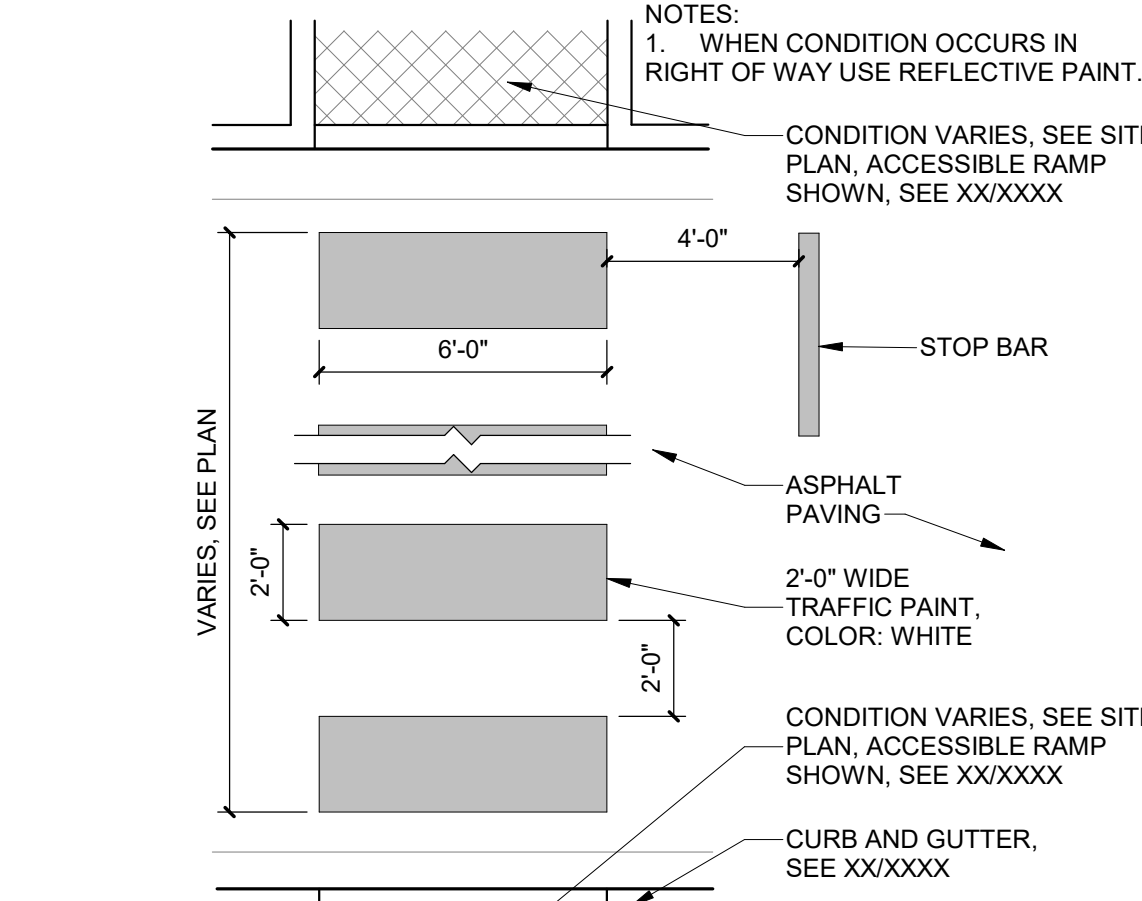
C1 DETECTABLE / TACTILE SURFACE TRANSITION
1" = 1'-0"



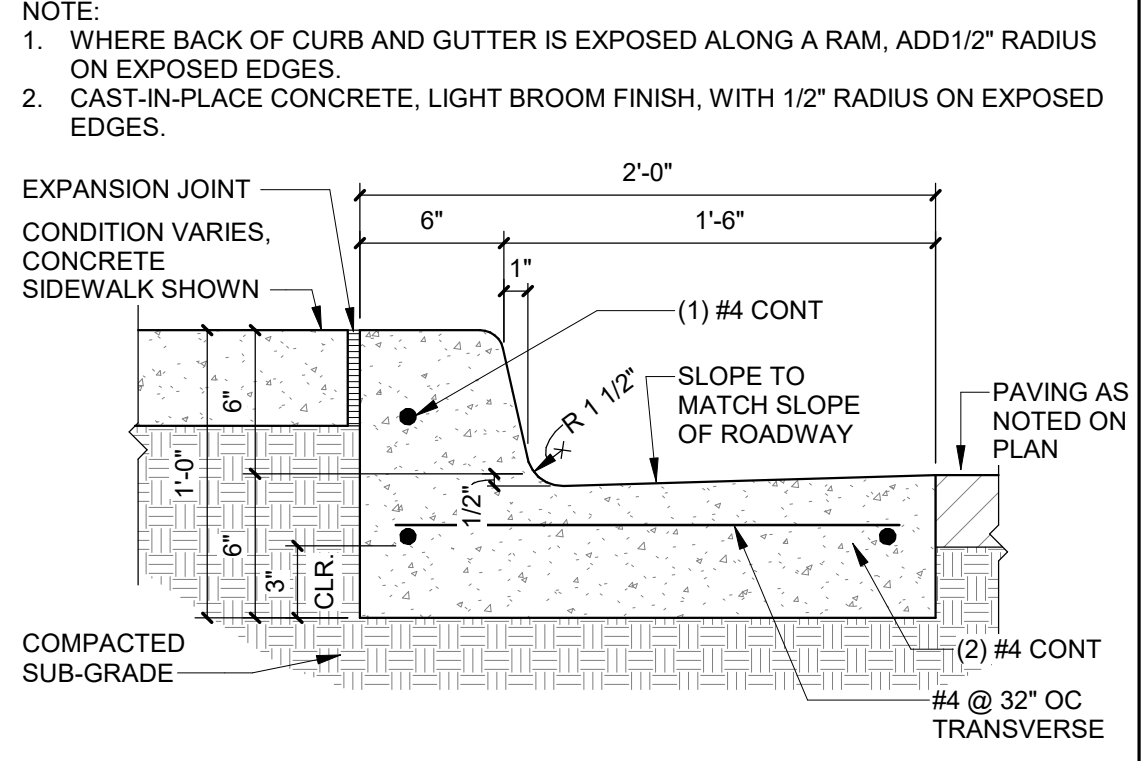
C2 FIRE STRIPING AND SIGNAGE
1/2" = 1'-0"



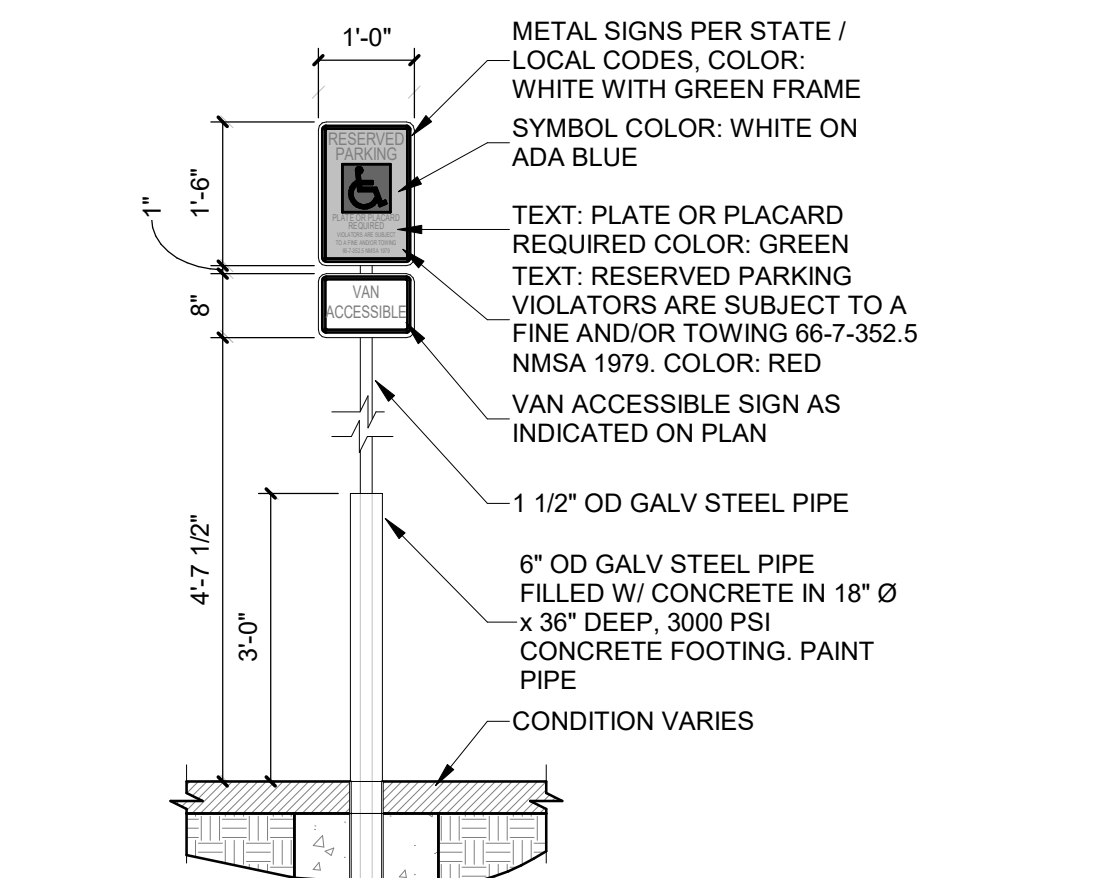
C3 CONCRETE SEAT WALL
3/4" = 1'-0"



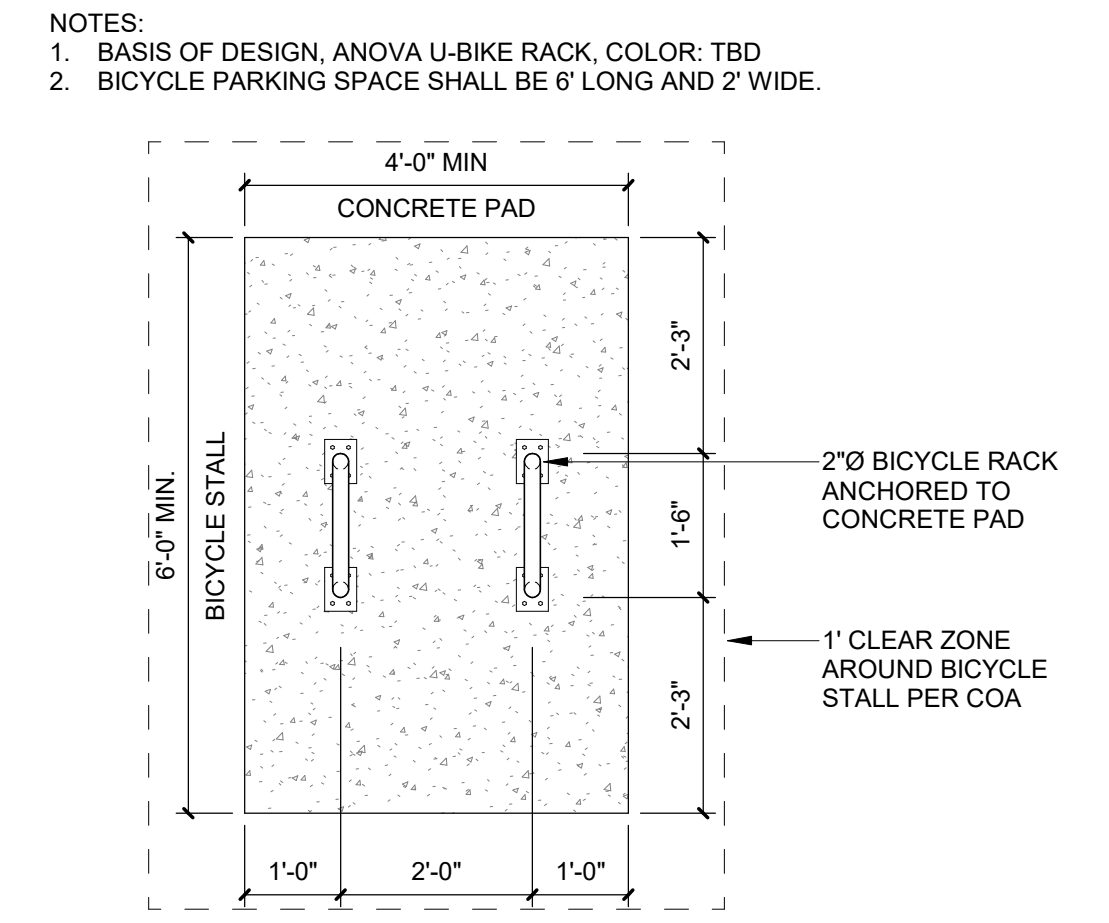
C4 PAINTED CROSSWALK
1/4" = 1'-0"



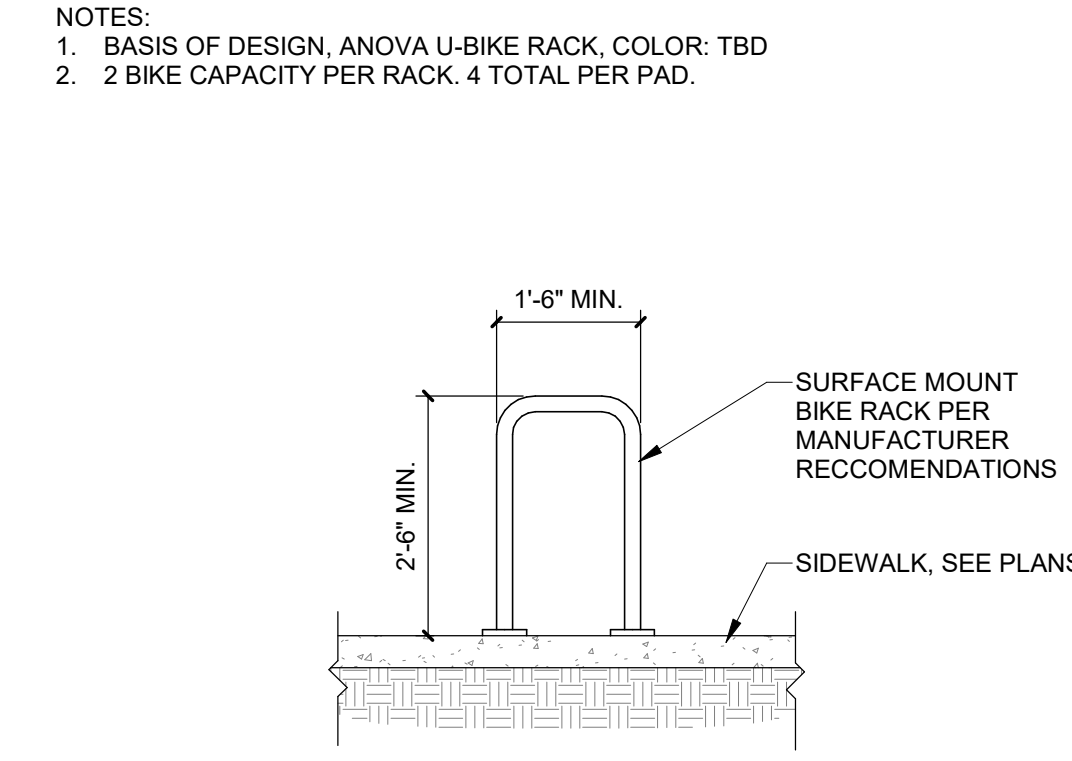
C5 CONCRETE CURB & GUTTER
1 1/2" = 1'-0"



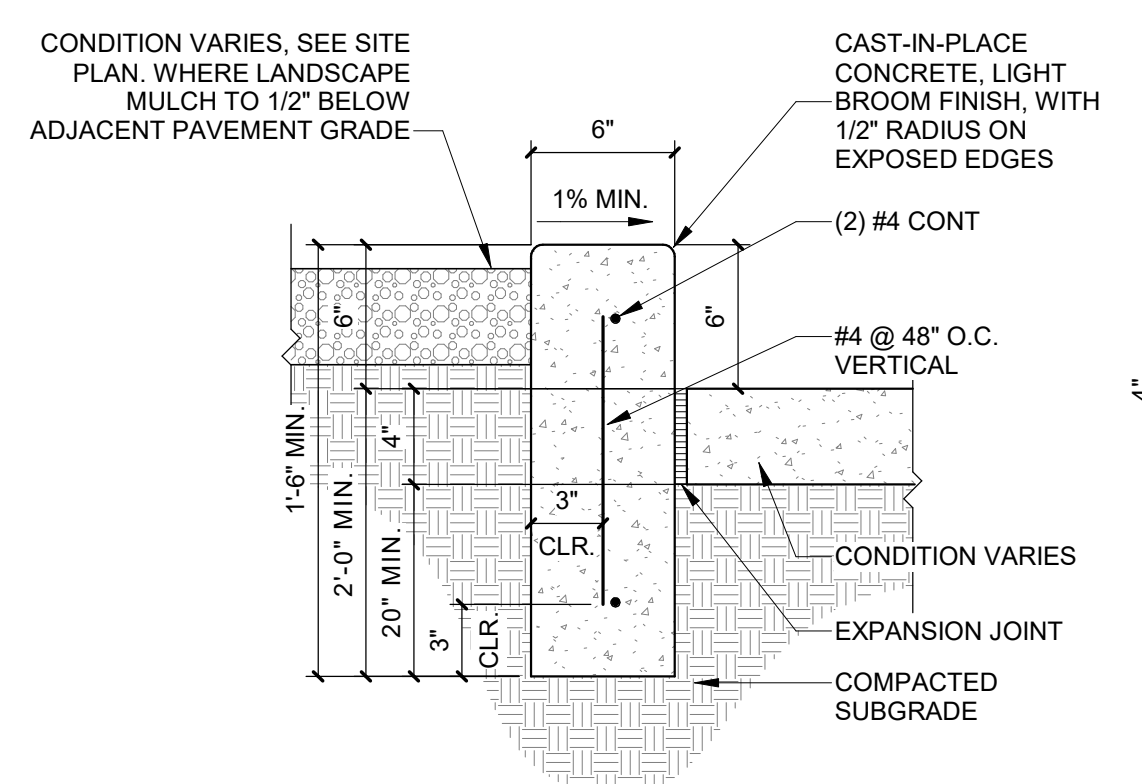
B1 PIPE BOLLARD AND ACCESSIBLE SIGNAGE
1/2" = 1'-0"



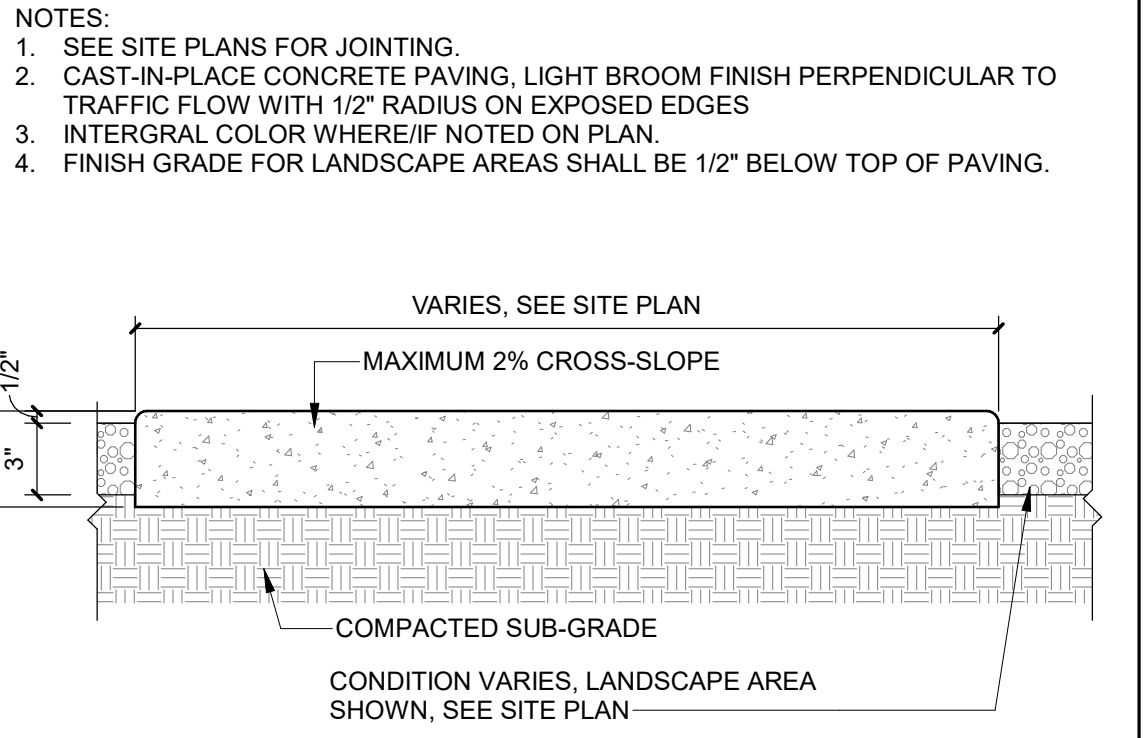
B2 BICYCLE RACK PLAN
1/2" = 1'-0"



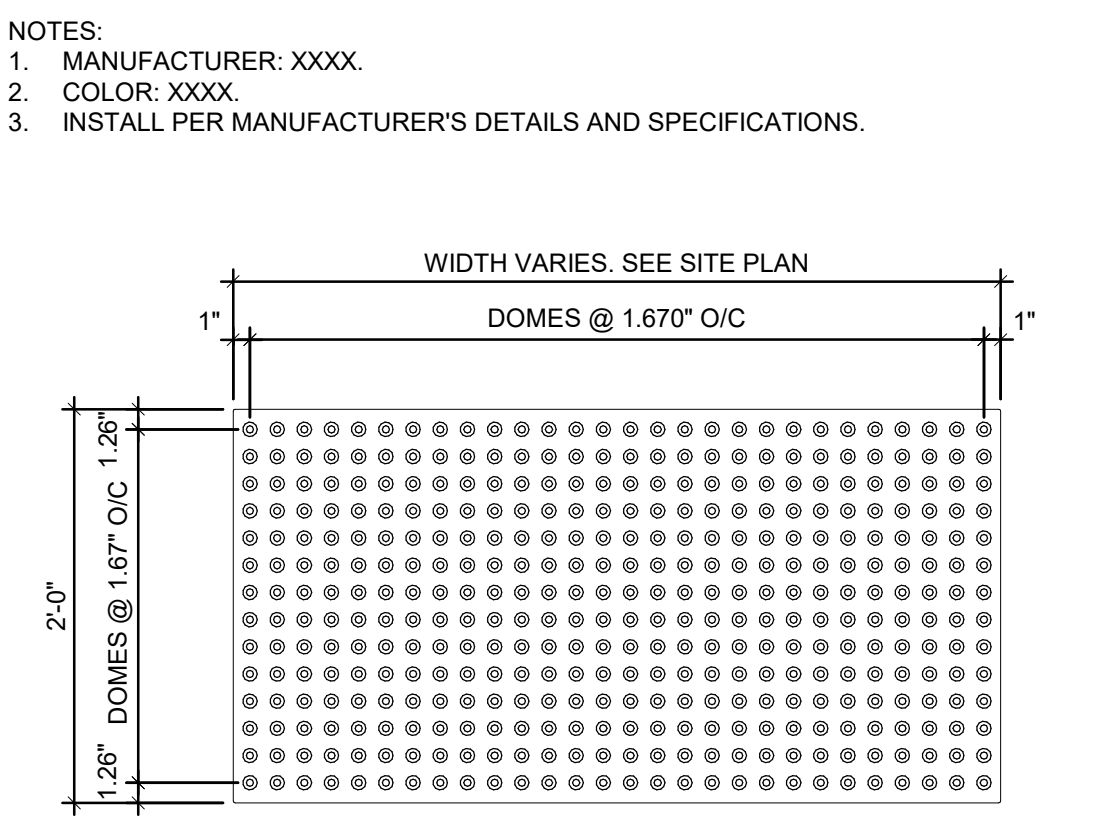
B3 BICYCLE RACK
1/2" = 1'-0"



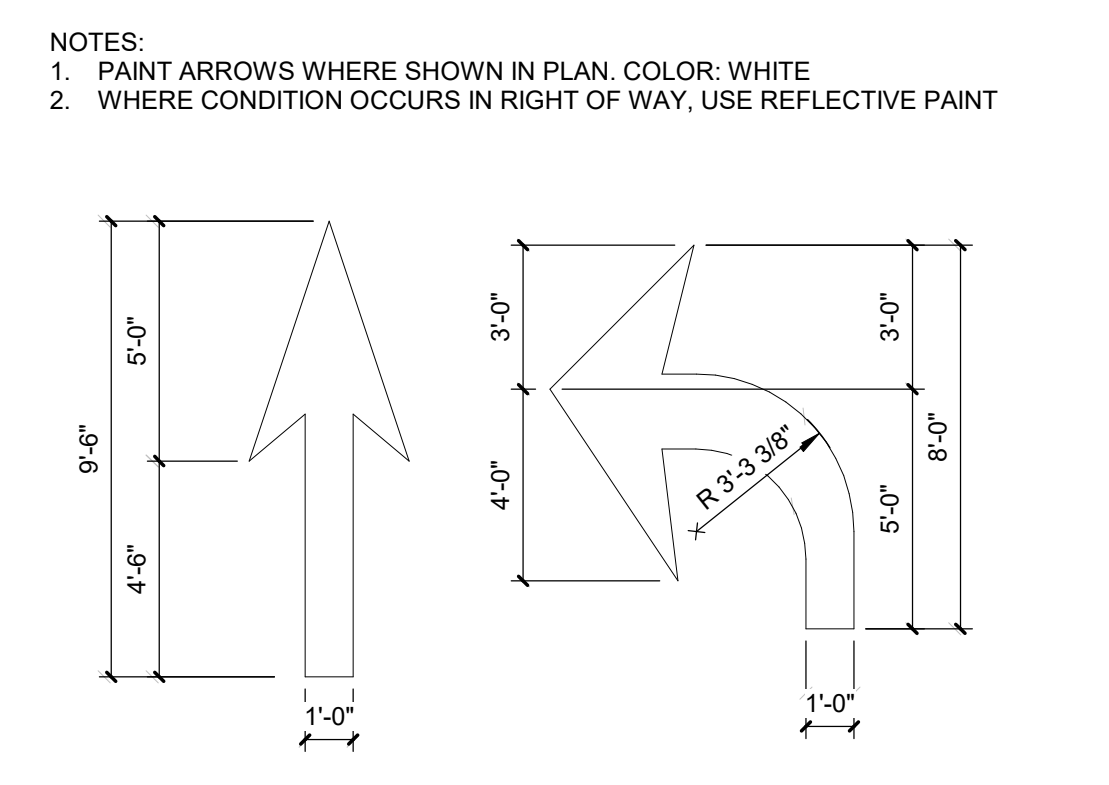
B4 CONCRETE HEADER CURB
1 1/2" = 1'-0"



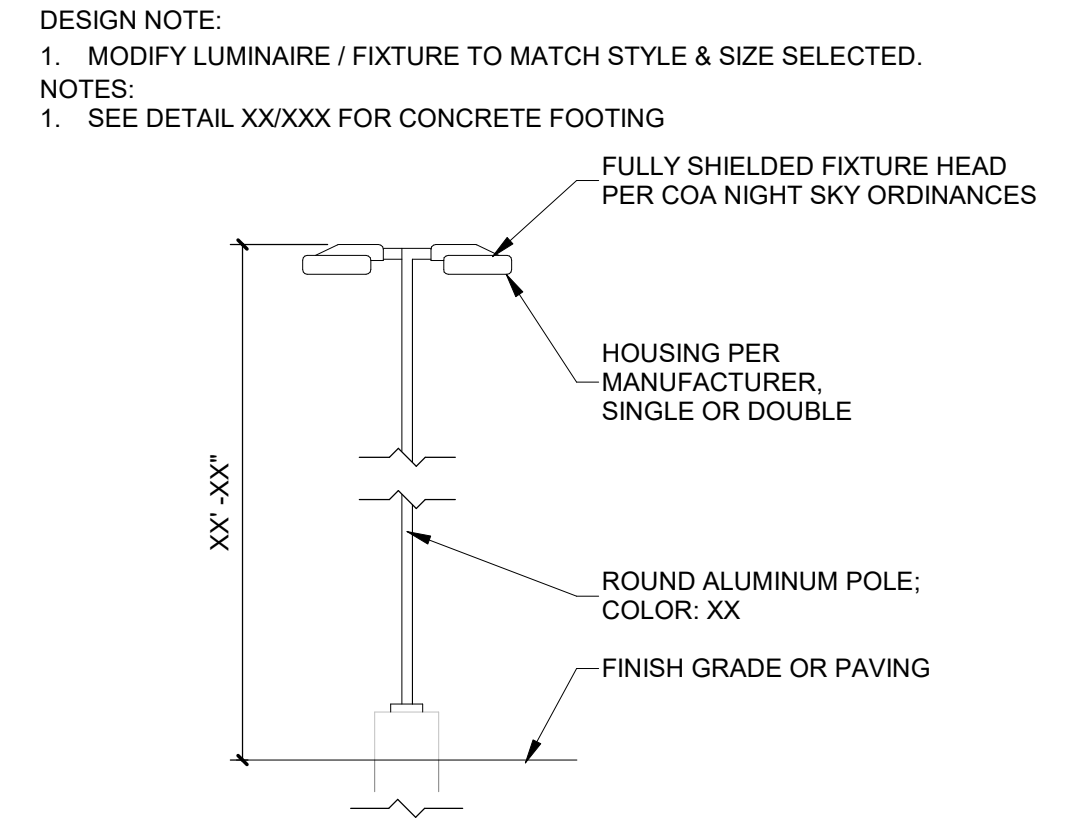
B5 CONCRETE SIDEWALK
1 1/2" = 1'-0"



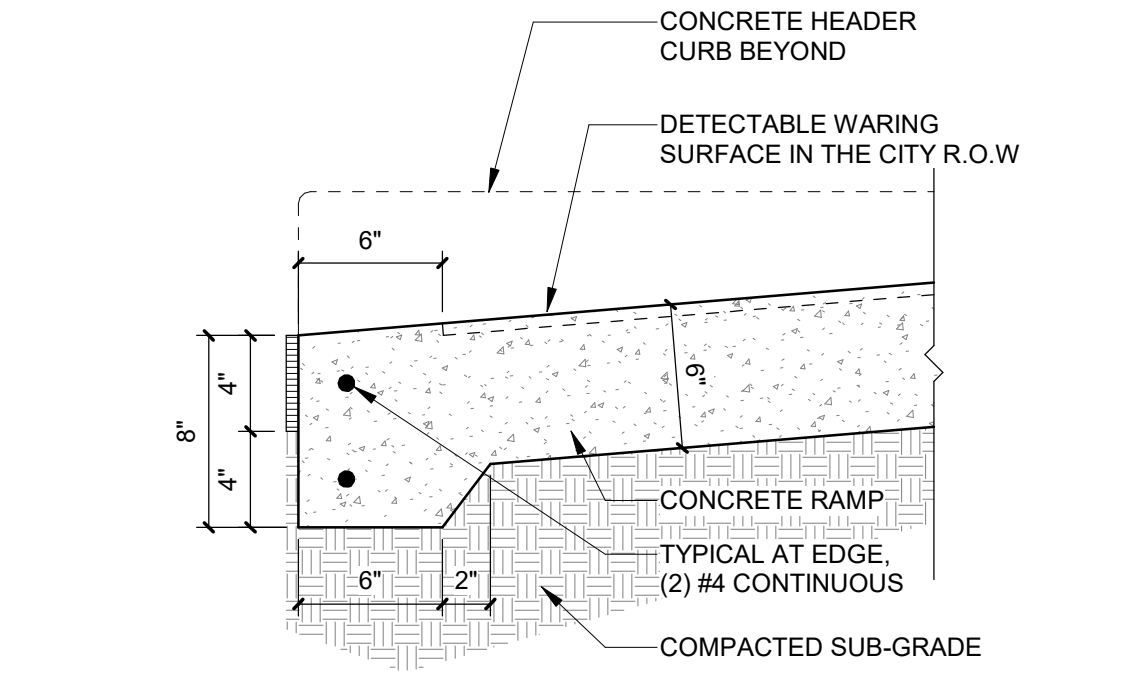
A1 TACTILE SURFACE
1" = 1'-0"



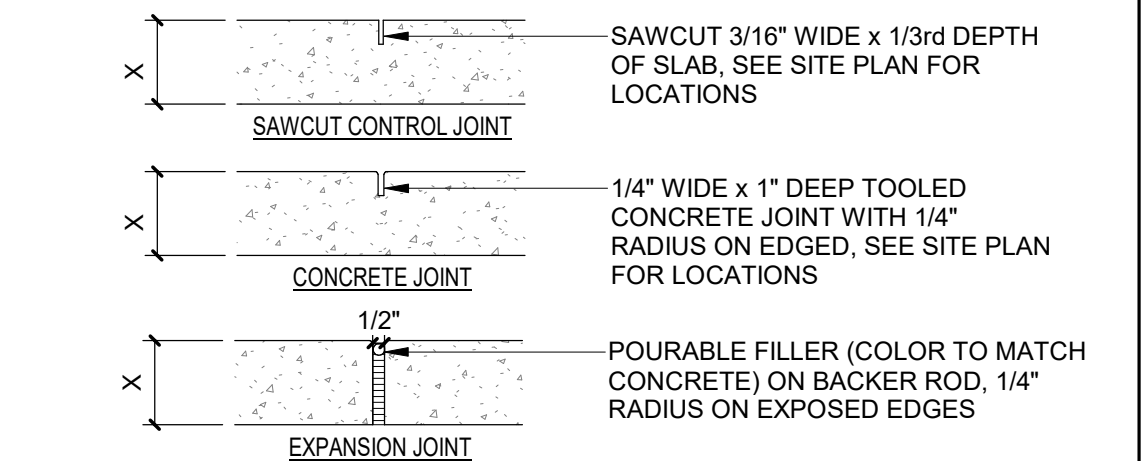
A2 DIRECTIONAL PAVEMENT ARROW
1/4" = 1'-0"



A3 PARKING LIGHT POLE
1/4" = 1'-0"



A4 RAMP TRANSITION
1 1/2" = 1'-0"



CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS				
APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL, HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON	6'-12' WALK
CONTROL JOINTS	4" O.C.	5" O.C.	8" O.C.	6" O.C.
EXPANSION JOINTS	4" O.C.	5" O.C.	8" O.C.	6" O.C.

A5 CONCRETE JOINTS & JOINT SPACING
1 1/2" = 1'-0"

DEKKER PERICH SABATINI
Architecture in Progress



SEAL
PROJECT

FAROLITO SENIOR COMMUNITY
10501 CENTRAL AVENUE NE
ALBUQUERQUE, NM 87123

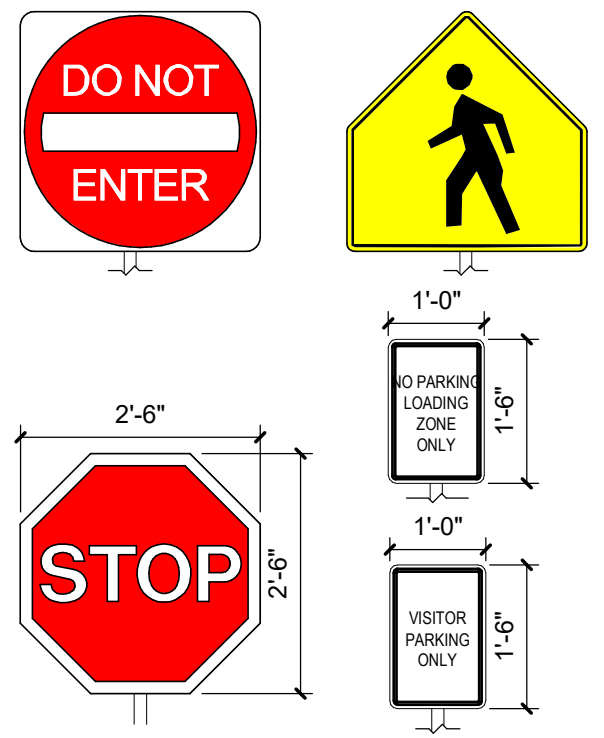
ISSUED FOR PERMIT

- REVISIONS
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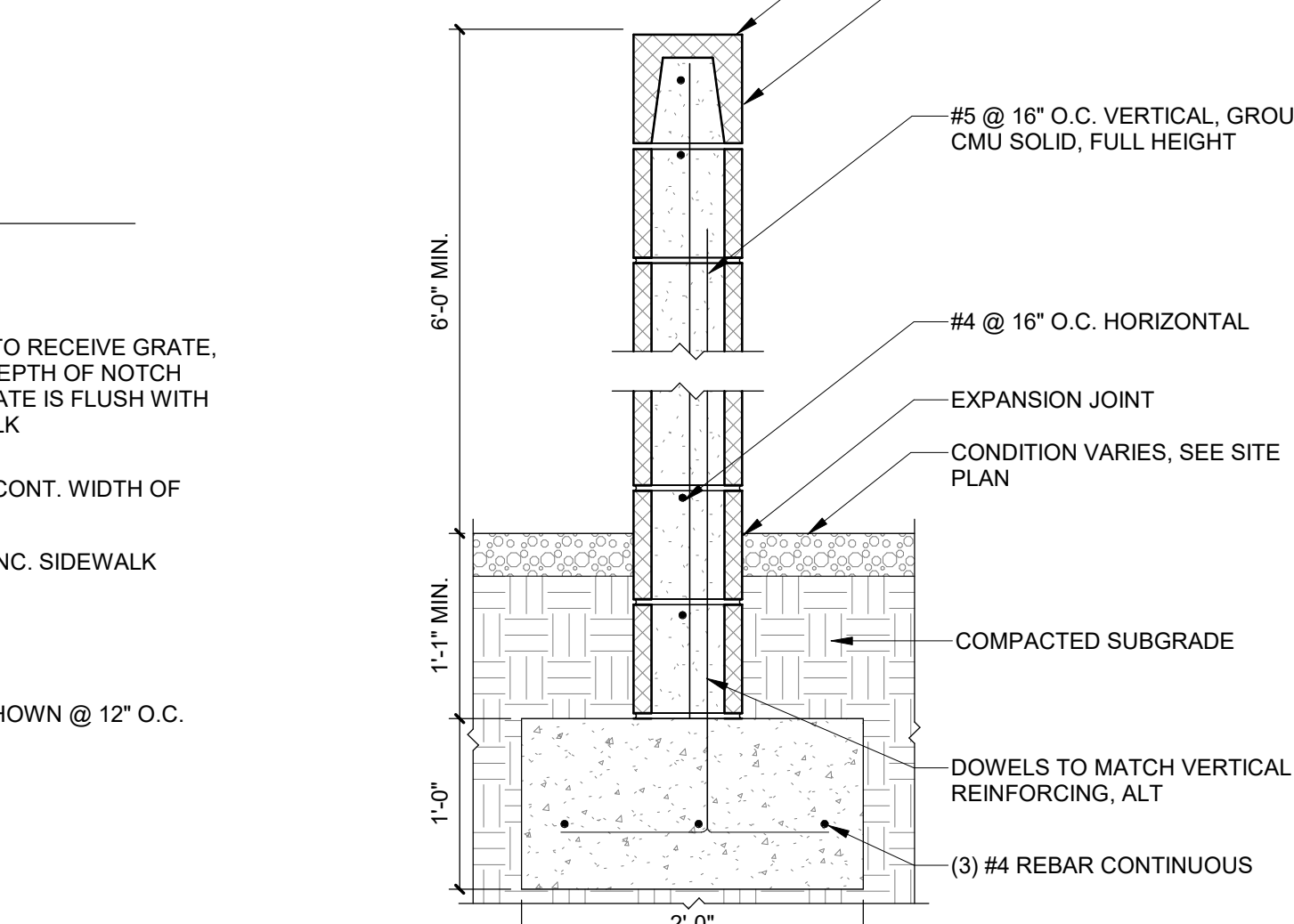
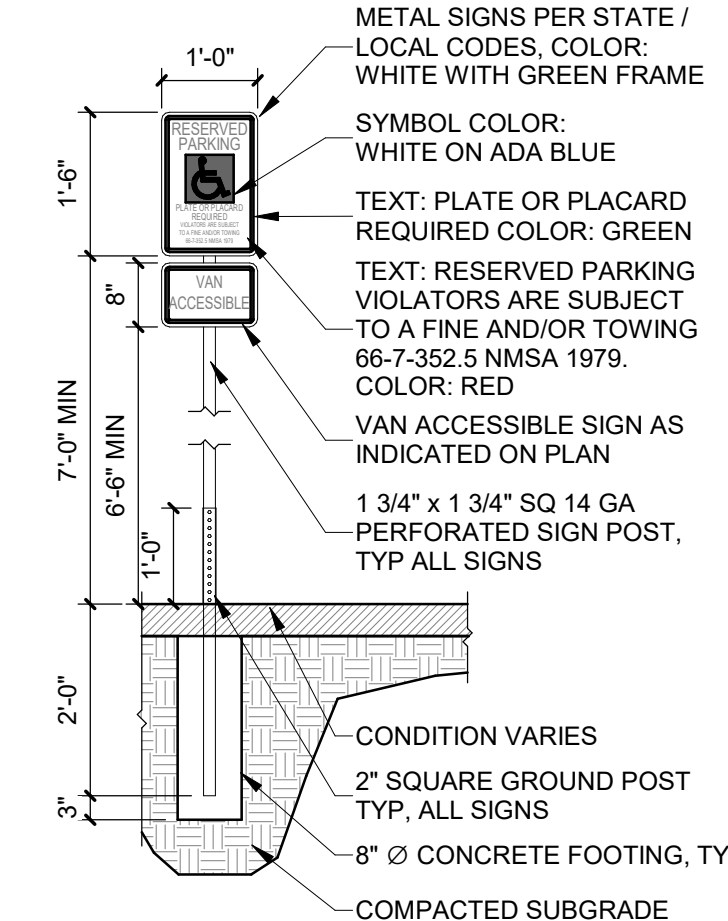
DRAWN BY BH
REVIEWED BY CWW
DATE 07/10/23
PROJECT NO: 22-0083

DRAWING NAME
ENLARGED PLANS AND DETAILS

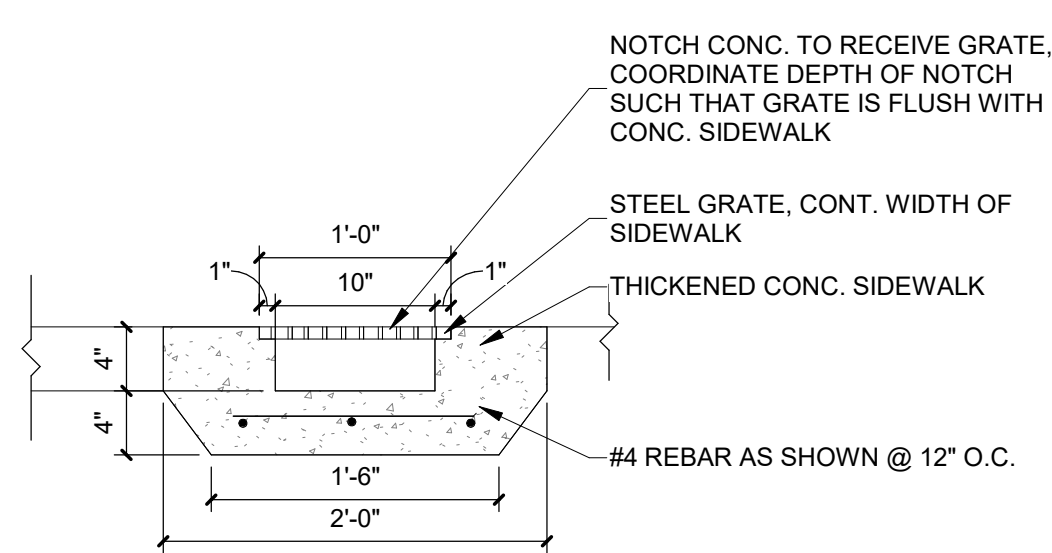
SHEET NO
SDP 1.2



D1 TRAFFIC SIGNAGE
1/2" = 1'-0"

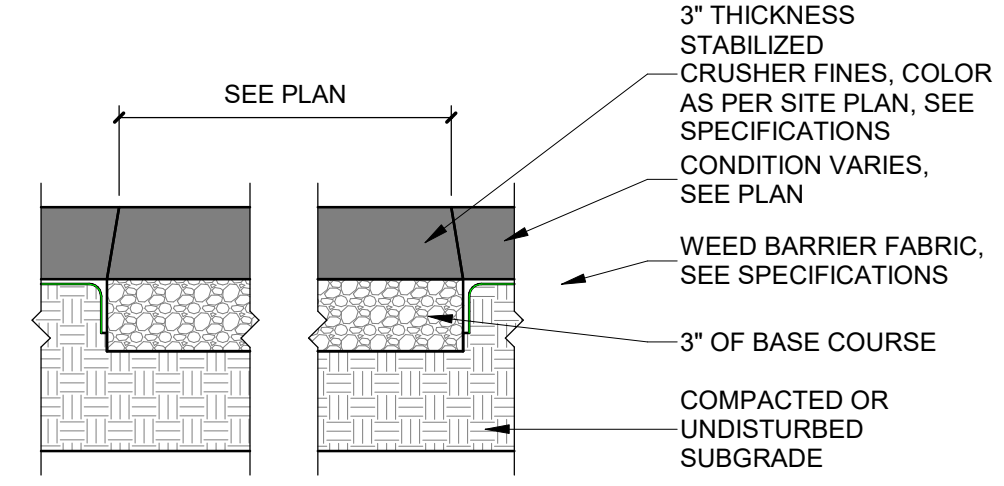


C2 SDP - GARDEN WALL CMU
1" = 1'-0"



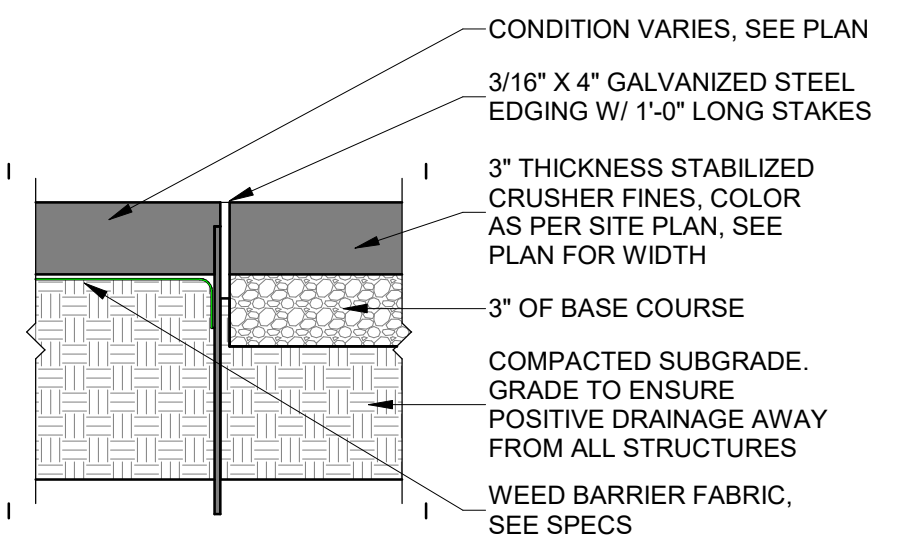
C1 SIDEWALK CULVERT
1" = 1'-0"

- NOTES:
1. STABILIZED CRUSHER FINES SHALL BE FLUSH WITH TOP OF TOP OF ADJACENT CONCRETE PAVEMENT, CURB OR FINISH GRADE, AND TO MATCH FINISH GRADES ON CIVIL DRAWINGS.
 2. INSTALL BASE COURSE AND CRUSHER FINES FIRST, THEN INSTALL AND COMPACT ADJACENT MULCH.



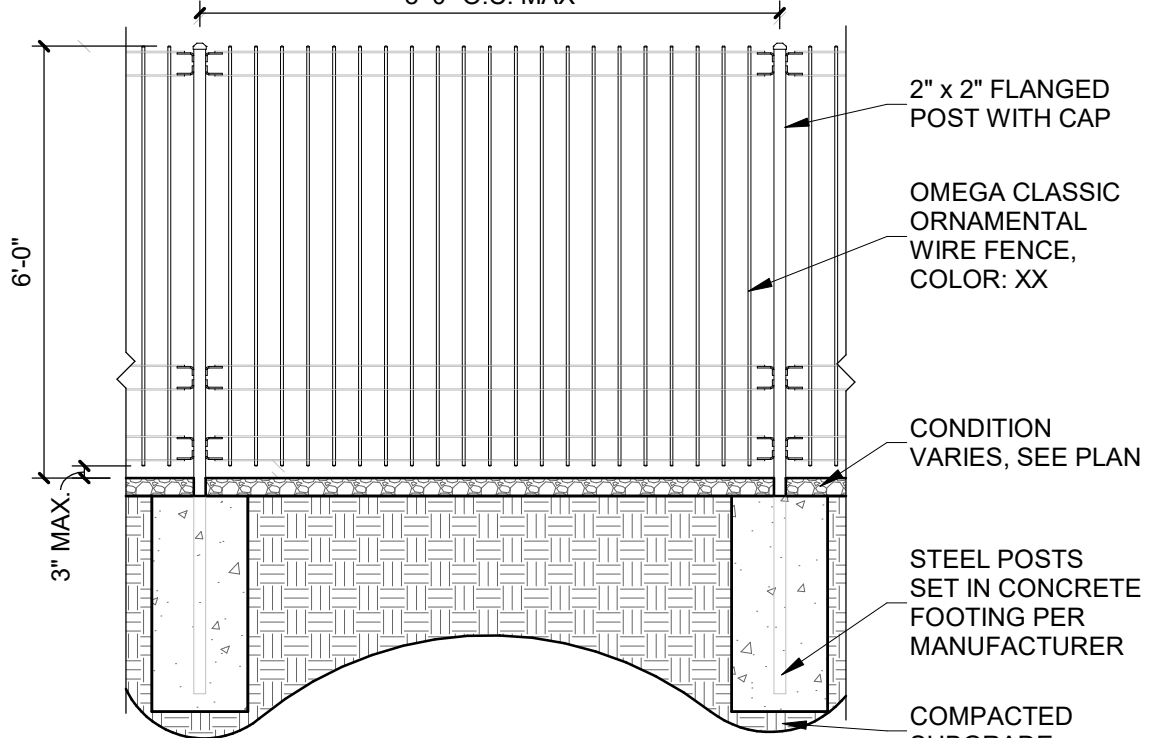
B1 STABILIZED CRUSHER FINES
1 1/2" = 1'-0"

- NOTES:
1. STABILIZED CRUSHER FINES SHALL BE FLUSH WITH TOP OF ADJACENT CONCRETE PAVEMENT, CURB OR FINISH GRADE, AND TO MATCH FINISH GRADES ON CIVIL DRAWINGS.
 2. STEEL EDGING TO BE LOCATED ALONG BOTH SIDES OF PATH EXCEPT WHERE CONCRETE, PAVING OR RAISED PLANTER MATERIAL IS PRESENT
 3. SEE SPECIFICATIONS



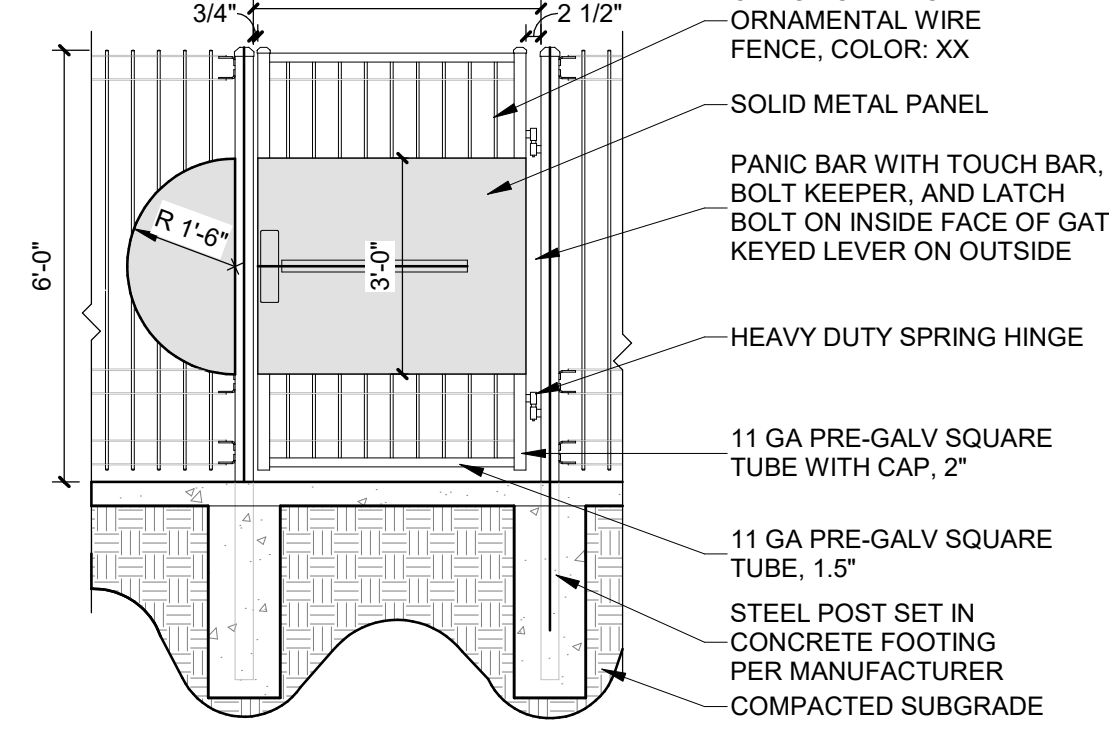
B2 CRUSHER FINE PATH WITH STEEL EDGE
1 1/2" = 1'-0"

- NOTES:
1. SUBMIT SHOP DRAWINGS FOR APPROVAL
 2. SEE SPECIFICATIONS
 3. SET CUT FENCE PANELS LEVEL
 4. IF CUTTING OR TRIMMING IS NECESSARY, PRIME AND PAINT EXPOSED ENDS OF FIELD CUT PANELS PER MANUFACTURER'S SPECIFICATIONS



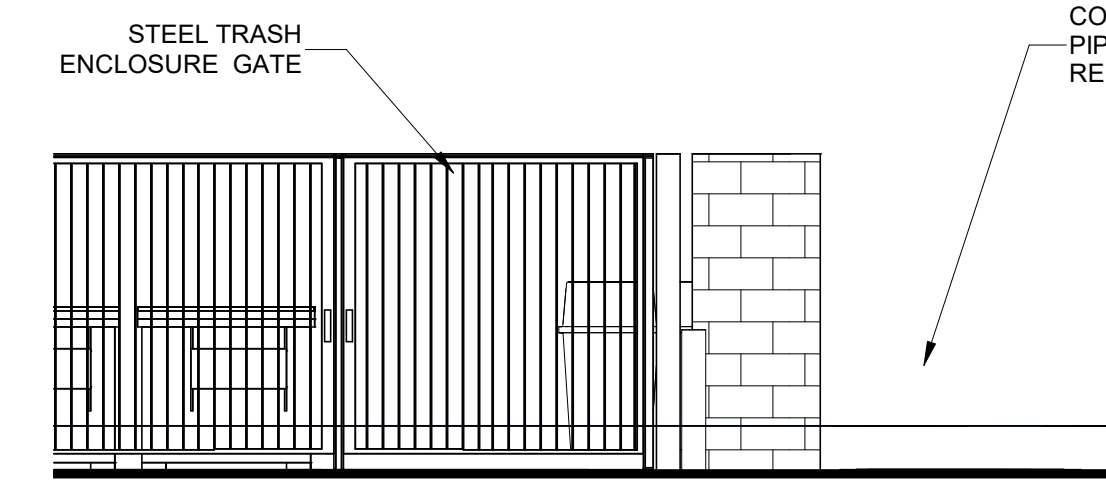
A1 STEEL PICKET FENCE
3/8" = 1'-0"

- NOTES:
1. SUBMIT SHOP DRAWINGS FOR APPROVAL
 2. SEE SPECIFICATIONS
 3. CENTER PANEL IN FRAME
 4. PRIME AND PAINT EXPOSED ENDS OF FIELD CUT FENCE PANELS PER MANUFACTURER'S SPECIFICATIONS

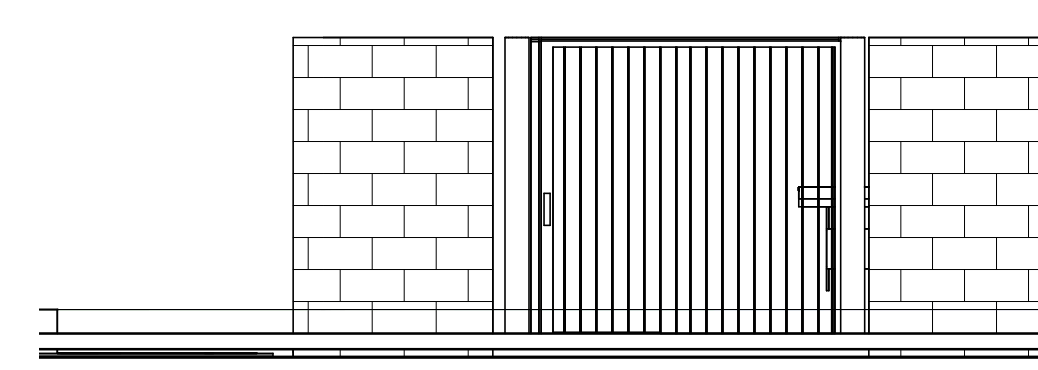


A2 STEEL PICKET GATE
3/8" = 1'-0"

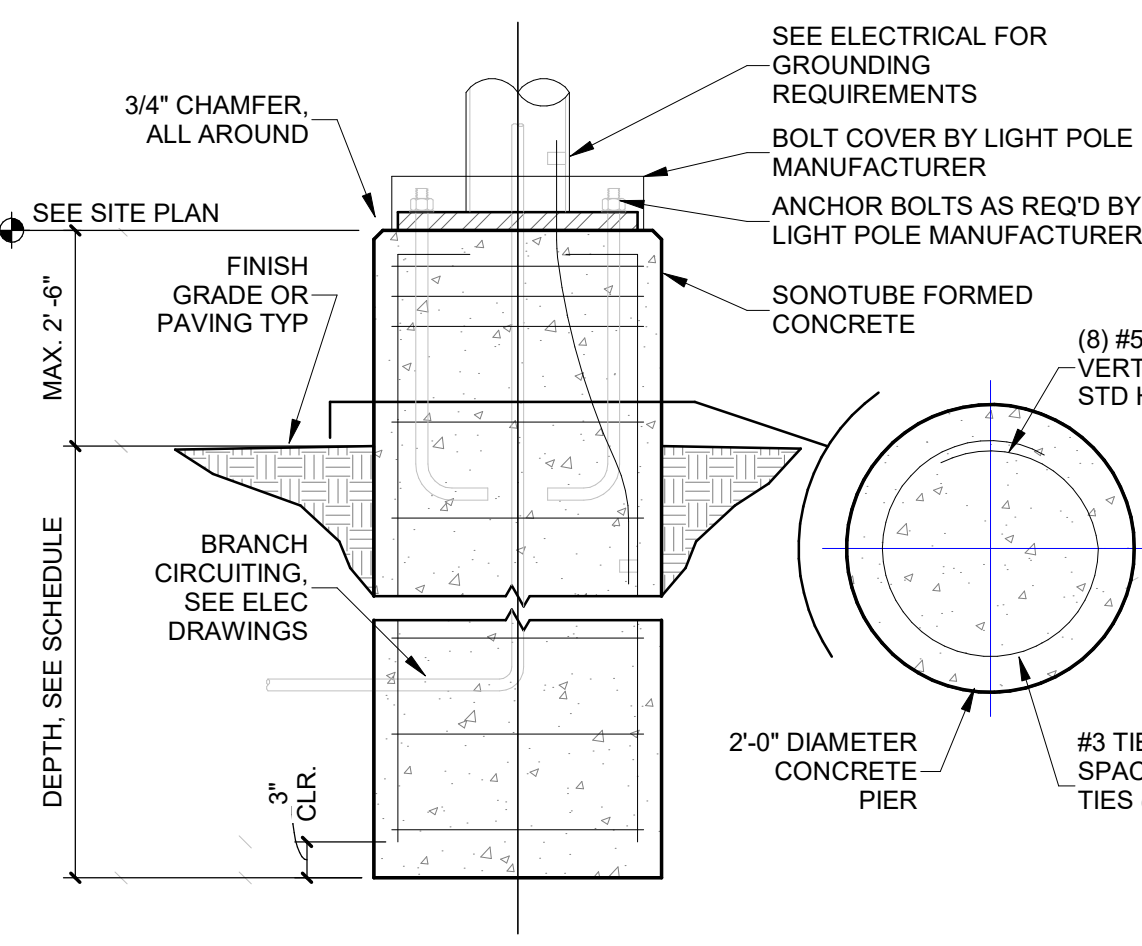
D3 TRASH ENCLOSURE - NORTH/SOUTH - TYP.
1/4" = 1'-0"



C3 REFUSE ENCLOSURE - WEST
1/4" = 1'-0"

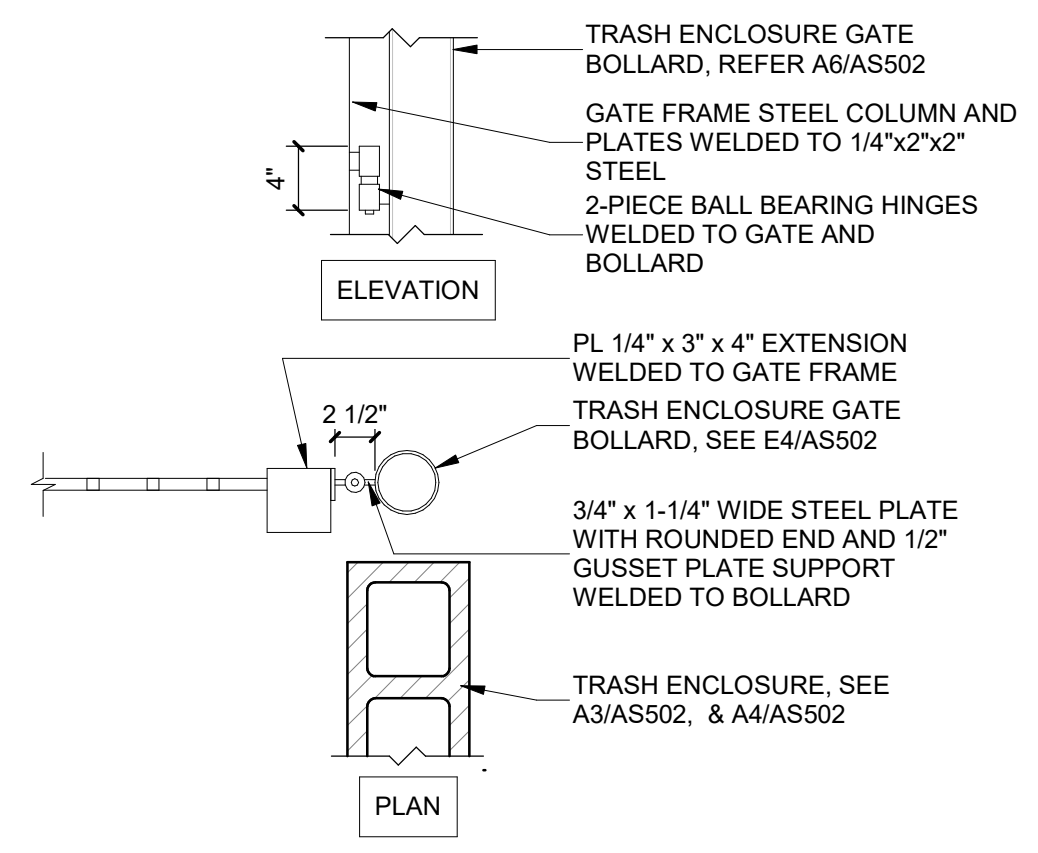


B3 REFUSE ENCLOSURE - EAST
1/4" = 1'-0"

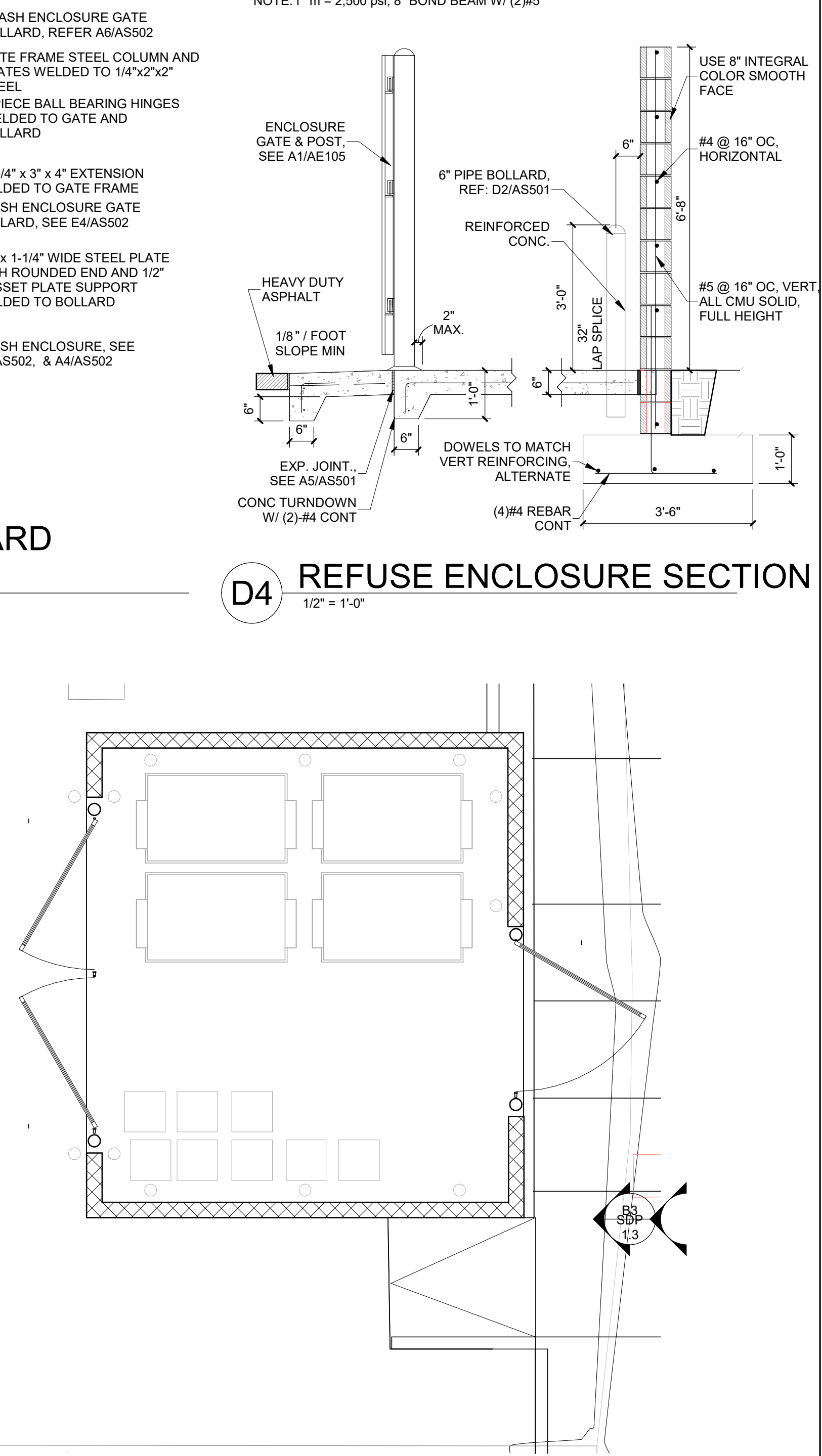


A3 FOUNDATION AT LIGHTPOLE
3/4" = 1'-0"

D2 REFUSE BOLLARD CONNECTION
1" = 1'-0"



D4 REFUSE ENCLOSURE SECTION
1/2" = 1'-0"



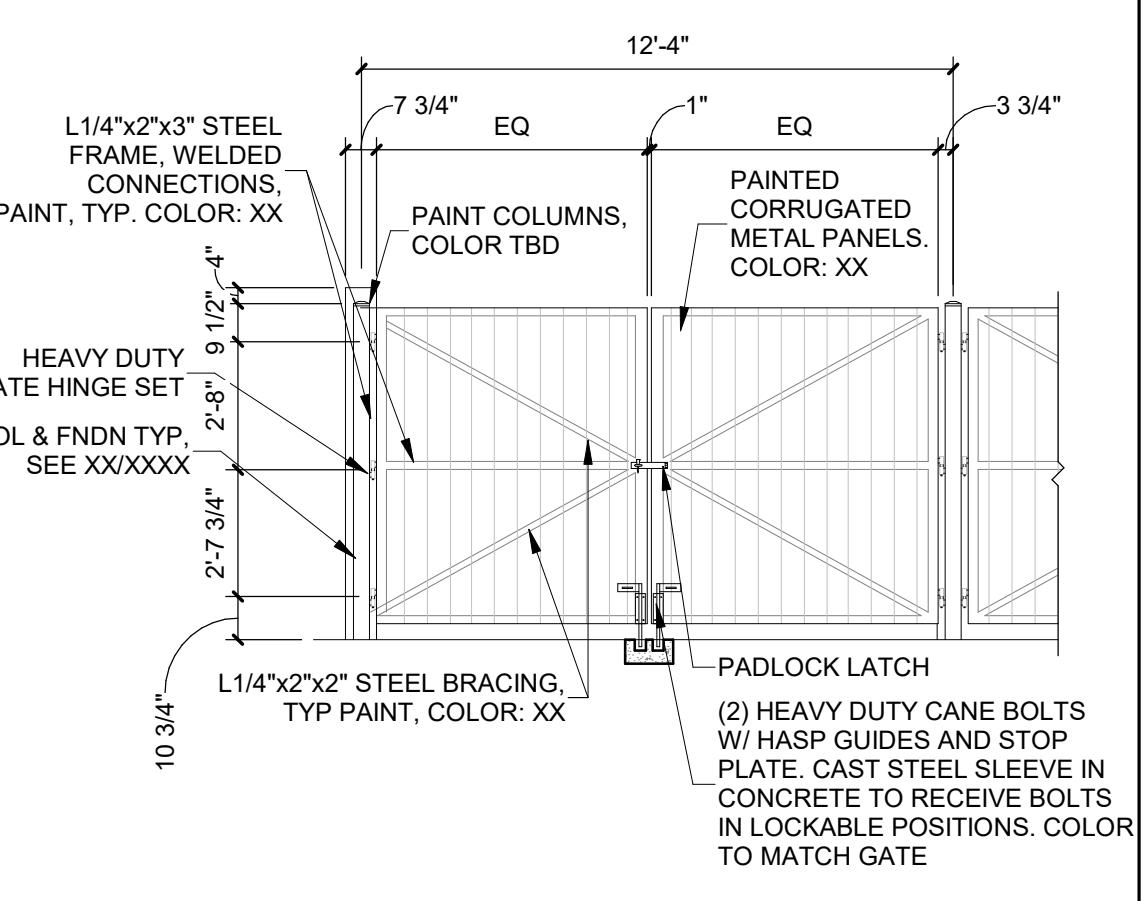
B4 TRASH ENCLOSURE
1/4" = 1'-0"

- DESIGN NOTES:
1. COORDINATE WITH STRUCTURAL TO CONFIRM THE FOOTING AND SCHEDULE WORKS W/ SPECIFIC SITE CONDITIONS
 2. CONFIRM HEIGHT OF PIER ABOVE GRADE

LIGHT POLE FOOTING SCHEDULE

MAXIMUM POLE HEIGHT	MINIMUM FOOTING DEPTH
8'-0"	2'-6"
12'-0"	3'-0"
20'-0"	4'-0"
30'-0"	5'-0"
40'-0"	6'-0"

F' = 4000 PSI CONCRETE MINIMUM



A5 REFUSE ENCLOSURE GATE
1/4" = 1'-0"

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Architecture in Progress



FAROLITO SENIOR COMMUNITY
10501 CENTRAL AVENUE NE
ALBUQUERQUE, NM 87123

ISSUED FOR PERMIT

REVISIONS

NO.	DESCRIPTION

DRAWN BY: BH
REVIEWED BY: CWW
DATE: 07/10/23
PROJECT NO: 22-0083

DRAWING NAME: ENLARGED PLANS AND DETAILS

SHEET NO: SDP 1.3

9/28/2023 12:00:51 PM

REVISIONS

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2	△	
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4	△	
5	△	
6	△	

DRAWN BY	EH
REVIEWED BY	DS
DATE	08/18/2023
PROJECT NO.	22-0083
DRAWING NAME	PLANTING PLAN

GENERAL SHEET NOTES

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS (14-16-5-6), WATER CONSERVATION ORDINANCE AND POLLEN ORDINANCE.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION AND/OR MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE ROOTBALL AREA/DRIFLINE.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS PER TABLE 5-6-1 OF THE IDO.
- AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE MINIMUM IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE MINIMUM ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- NO EXISTING PLANT MATERIAL IS TO BE PRESERVED ON THE PROPERTY. ALL PLANT MATERIALS ILLUSTRATED ARE NEW.

IRRIGATION NOTES

- PLANTS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH PROGRAMMABLE SETTINGS, AUTOMATED IRRIGATION CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
- THE IRRIGATION SYSTEM SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS, PARKING, AND LOADING AREAS.
- IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
- RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED BY THE OWNER ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA = 2.29 AC = 99,736 SF
 AREA OF LOT COVERED BY BUILDINGS = 20,270 SF
 NET LOT AREA = 79,466 SF

REQUIRED LANDSCAPE
 REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 11,920 SF
 PROVIDED LANDSCAPE AREA = 34,987 SF = 44%
 (see hatch legend for exclusions from landscape areas)

REQUIRED TREES
 TREES PER PARKING SPACES: REQUIRED = 1 TREE / 10 PARKING SPACES
 TOTAL NUMBER OF PARKING = 82 SPACES
 REQUIRED NUMBER OF PARKING LOT TREES = 8 TREES
 PROVIDED NUMBER OF PARKING LOT TREES = 10 TREES
 NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

REQUIRED STREET TREES = 9.5 placed at 20' on center (192' of street frontage)
 PROVIDED STREET TREES = 9

REQUIRED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 38 TREES
 1 TREE PER GROUND FLOOR DWELLING UNIT (15) AND 1 TREE PER SECOND-STORY UNIT (23)
 PROVIDED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 38 TREES

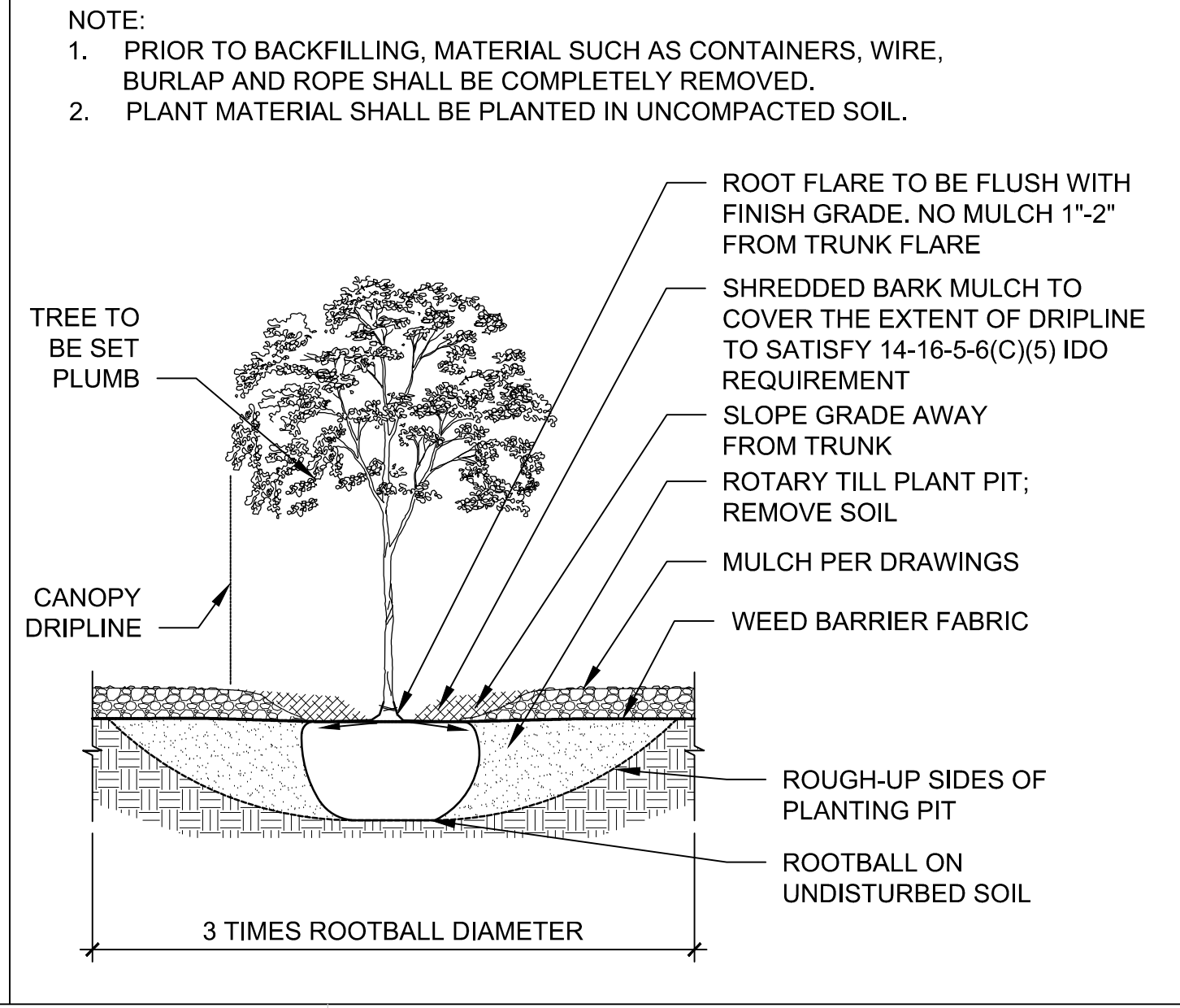
REQUIRED VEGETATIVE COVERAGE
 REQUIRED VEGETATIVE COVERAGE = 23,812 SF = 75% OF PROVIDED LANDSCAPE AREA
 A MINIMUM 25% OF REQUIRED VEGETATIVE COVERAGE BY GROUND PLANTS
 TREE CANOPY COVERAGE = 40,312 SF
 GROUND PLANT COVERAGE = 3,526 SF = 25% OF REQUIRED VEGETATIVE COVERAGE

PARKING LOT AREA = 33,434 SF
 PARKING LOT LANDSCAPING PROVIDED = 6,262 SF = 18.7%
 MIN. 15% OF PARKING LOT AREA TO BE LANDSCAPED

GROUND COVER MATERIAL
 TOTAL ROCK MULCH GROUND COVER = 19,669 SF = 56.2%
 TOTAL ORGANIC MULCH GROUND COVER = 6,675.9 SF = 19%
 A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED 14-16-5-6(C)(5)(d)

PARKING LOT EDGE LANDSCAPE
 2 TREES AND 6 SHRUBS PER 25' ARE PROVIDED ALONG THE WEST PROPERTY LINE TO SCREEN PARKING.

TREE PLANTING DETAIL



PLANT SCHEDULE

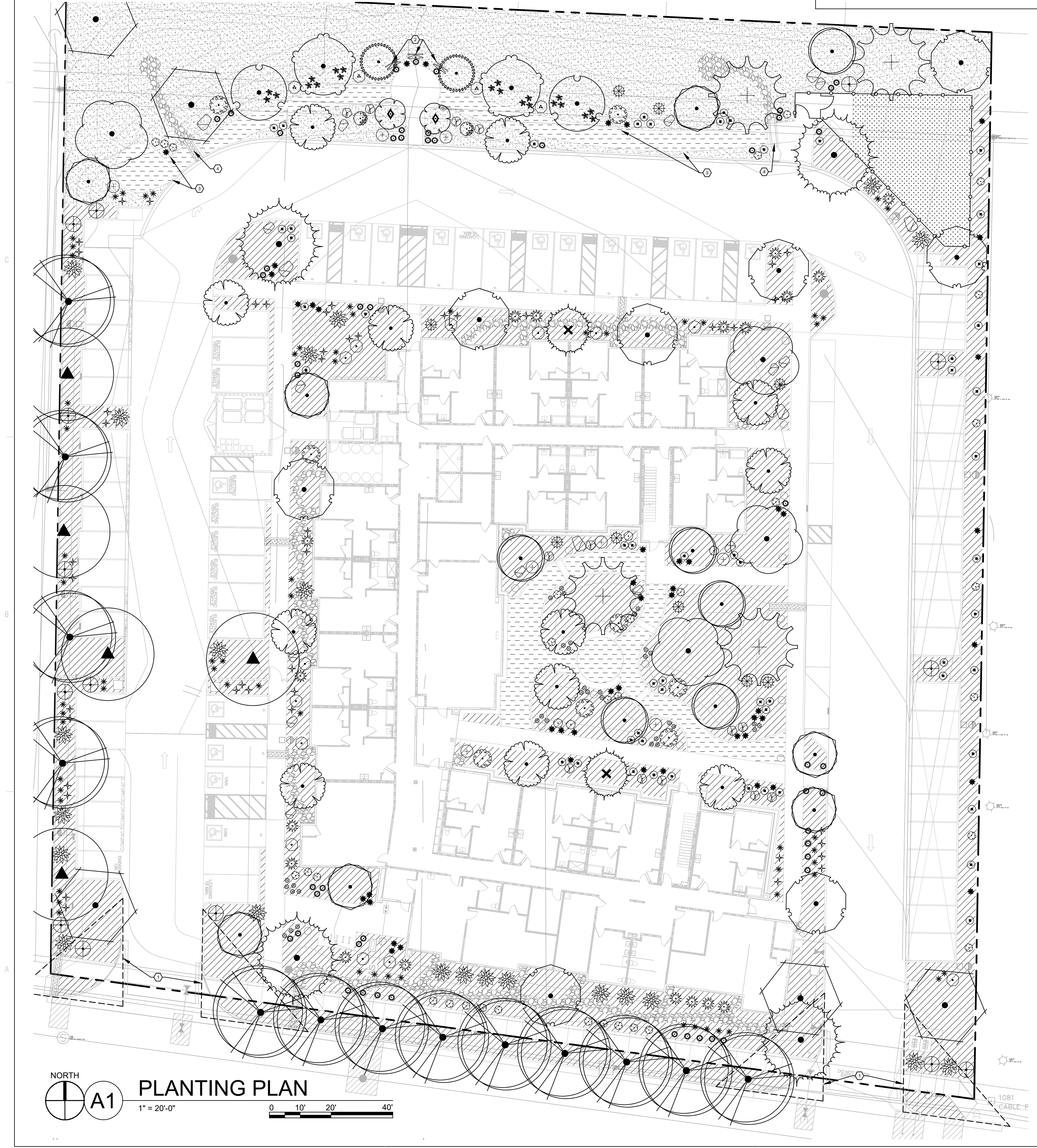
TREES	COMMON NAME
	AUTUMN BLAZE MAPLE
	NEW MEXICO OLIVE
	RAYWOOD ASH
	TRUESHADE HONEY LOCUST
	CHINESE PISTACHE
	ACCOLADE ELM
EVERGREEN TREES	COMMON NAME
	AFGHAN PINE
	AUSTRIAN BLACK PINE
FLOWERING TREES	COMMON NAME
	OKLAHOMA TEXAS REDBUD
	BUBBA DESERT WILLOW
	PURPLE ROBE LOCUST
FRUIT TREES	COMMON NAME
	DESERT KING FIG
	CRESTHAVEN PEACH
	METHLEY PLUM
	WONDERFUL POMEGRANATE
SHRUBS	COMMON NAME
	HOT RASPBERRY BUTTERFLY BUSH
	LITTLE LEAF MOUNTAIN MAHOGANY
	FERNBUSH
	GROSSO LAVENDER
	BLUE DWARF SCOTCH PINE
	DWARF GOLDEN ALPINE CURRANT
	ARP ROSEMARY
	DORMAN RED THORNLESS RASPBERRY
DESERT ACCENTS	COMMON NAME
	BRAKELIGHTS RED YUCCA
	BEARGRASS
	ENGELMANN PRICKLY PEAR
	TWISTLEAF YUCCA
PERENNIALS	COMMON NAME
	YERBA MANSA
	CHOCOLATE FLOWER
	SISKIYOU PINK GAURA
	DESERT BEARDTONGUE
	ULTRA VIOLET AUTUMN SAGE
VINES	COMMON NAME
	HIMROD GRAPE
ORNAMENTAL GRASSES	COMMON NAME
	'BLONDE AMBITION' BLUE GRAMA
	DEER GRASS

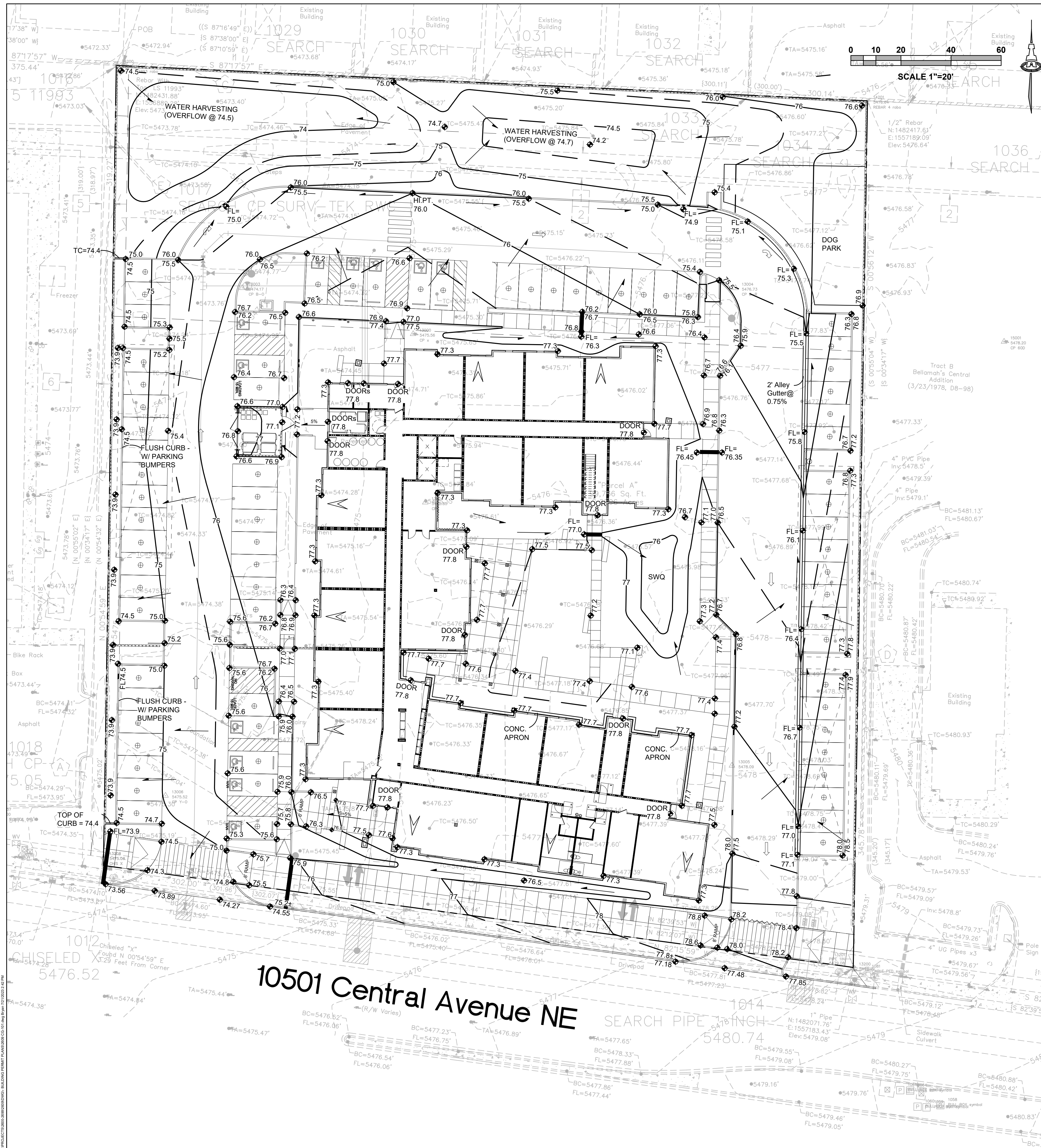
SHEET KEYED NOTES

CODE	DESCRIPTION
1	CLEAR SIGHT TRIANGLE; LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
2	HIMROD GRAPES MUST BE PLANTED ALONG TRELLIS SYSTEM, SEE C1/LP501
3	STEEL EDGING ALONG PATH, SEE E3/AS501.
4	CRUSHER FINE TRAIL MUST GRADUALLY TRANSITION TO EDGE OF CONCRETE TO ENSURE ACCESSIBLE ROUTE.

LEGEND

SYMBOL	NOTES	EST QTY
	7/8" ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC. COLOR: SANTA FE BROWN AVAILABLE FROM BUILDDOLOGY.	19,869 SF
	UNIRRIGATED SANTA FE TRAIL SEED MIX SEEDING RATE 2 LBS / 1000 SF AVAILABLE FROM CURTIS AND CURTIS SEED	11,375 SF
	SCREENED TREE MULCH, 3" DEPTH. AVAILABLE FROM BARELAS LANDSCAPING MATERIALS	6,676 SF
	SEE CIVIL FOR STORMWATER INFRASTRUCTURE	
	STABILIZED CRUSHER FINES EXCLUDED FROM LANDSCAPE AREA CALCULATIONS. SEE SITE PLAN BASIS OF DESIGN: SANTA FE BROWN THROUGH BUILDDOLOGY, SEE E3 & E4/AS501	2,749 SF
	DOG PARK: SHREDDED WOOD MULCH, PLAYGROUND MULCH FROM SOILUTIONS, 6" DEPTH	3,263 SF
	PROPERTY LINE	
	MARBLE BOULDERS FROM JPR GRAVEL	EST QTY 19





STORMWATER QUALITY

STORMWATER QUALITY CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF FIRST FLUSH.

REDEVELOPMENT: THIS SITE WAS PREVIOUSLY FULLY DEVELOPED. REDEVELOPMENT IS SUBJECT TO A REDUCED STORMWATER QUALITY VOLUME REQUIREMENT OF 0.26"/SF OF IMPERVIOUS AREA.

THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 70% OF TOTAL AREA. (0.70 * 101930) = 69,815 SF. THE REQUIRED FIRST FLUSH RETENTION VOLUME = 0.26"/12" TYPE 'D' AREA = 1,513 CF.

STORMWATER QUALITY RETENTION WILL BE PROVIDED AS POSSIBLE. FINAL LOCATIONS AND VOLUMES WILL BE PROVIDED AS PART OF BUILDING PERMIT CONSTRUCTION DOCUMENTS.

IF NECESSARY, A "PAYMENT IN-LIEU FOR STORMWATER QUALITY VOLUME REQUIREMENT" TREASURY DEPOSIT SLIP WILL BE PROVIDED BY C.O.A. HYDROLOGY BASED ON THE PORTION OF STORMWATER QUALITY VOLUME THAT IS NOT RETAINED ON-SITE. A COPY OF THE PAID RECEIPT WILL BE REQUIRED PRIOR TO BUILDING PERMIT APPROVAL.

ADA COMPLIANCE

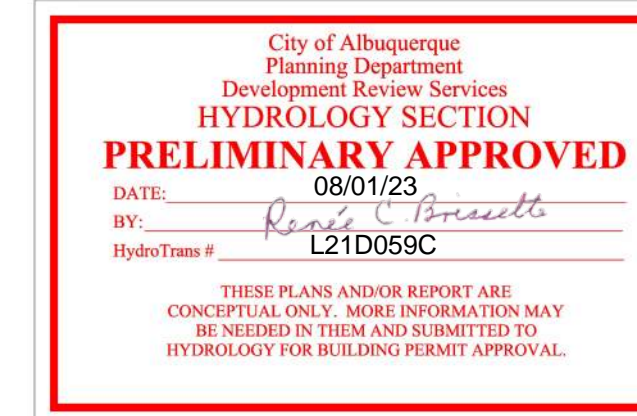
SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%

ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%).

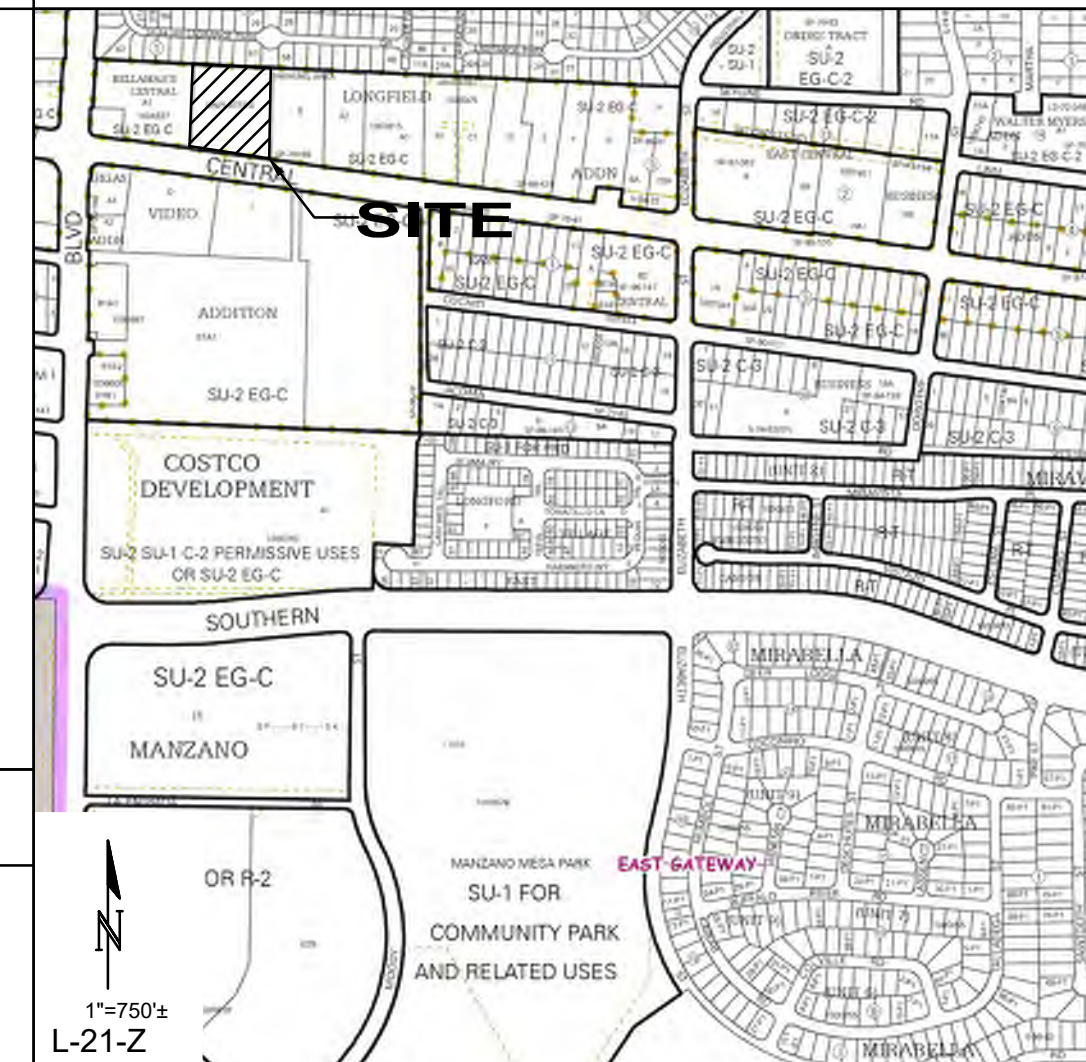
ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

LEGEND

- 5478 --- EXISTING CONTOUR
- 5478.21 EXISTING SPOT ELEVATION
- 77 --- PROPOSED 1.0' CONTOUR
- 77.5 --- PROPOSED 0.5' CONTOUR
- ◆ 77.0 PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- FF = 5479.00 FINISH FLOOR ELEVATION



C.O.A VICINITY MAP L-21



PROJECT INFORMATION

PROPERTY: THE PROPERTY IS A PREVIOUSLY DEVELOPED COMMERCIAL PROPERTY BOUNDED ON THE NORTH BY SINGLE FAMILY RESIDENTIAL, TO THE EAST AND WEST BY DEVELOPED COMMERCIAL PROPERTY, AND TO THE SOUTH BY CENTRAL AVENUE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE CONSTRUCTION OF MULTI-FAMILY HOUSING WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LOT SIZE: 2.2896 ACRES ±

LEGAL: PARCEL A AS SHOWN ON THE BOUNDARY SURVEY OF TRACT C, VIDEO ADDITION AND PARCELS OF LAND OWNED BY THE STATE OF NEW MEXICO

BENCHMARK: VERTICAL DATUM SHOWN HEREON WAS BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT "5-K20" HAVING AN ELEVATION OF 5429.995.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0359G DATED 9/26/2008, THE SITE IS LOCATED WITHIN ZONE "X", DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.

SURVEYOR: BRIAN J. MARTINEZ, CSI-CARTESIAN SURVEYS INC. P.O. BOX 44414 RIO RANCHO, NEW MEXICO 87174

DRAINAGE PLAN CONCEPT: ONSITE FLOW ON THE EAST AND NORTH SIDES OF THE PROPOSED BUILDING WILL BE ROUTED NORTH TO SHALLOW (6") WATER HARVESTING (STORMWATER QUALITY) BASINS ON THE NORTH END OF THE PROPERTY WHICH IS INTENDED TO BE USED AS A NATURAL AREA FOR PLANTS, ANIMALS, AND INSECTS.

ONSITE FLOW ON THE WEST SIDE OF THE PROPOSED BUILDING WILL BE DIRECTED TO A SHALLOW STORMWATER QUALITY POND ALONG THE WEST PROPERTY LINE.

A PORTION OF ROOF FLOW TO THE SOUTH SIDE OF THE PROPOSED BUILDING WILL BE DIRECTED TO A COVERED SIDEWALK CULVERT TO CENTRAL AVE.

ONCE THE STORMWATER QUALITY / WATER HARVESTING BASINS FILL, EXCESS STORMWATER WILL BE RELEASED TO CENTRAL AVE. VIA A NEW COVERED SIDEWALK CULVERT AT THE SW CORNER OF THE PROPERTY.

TOTAL DISCHARGE FROM THE SITE WILL BE LESS THAN HISTORIC DUE TO A REDUCTION OF IMPERVIOUS AREA AS WELL AS THE ADDITION OF ONSITE WATER HARVESTING.

Isaacson & Arfman, Inc.
Civil Engineering Consultants



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Engineer

FAROLITO SENIOR COMMUNITY
10501 CENTRAL AVE. NE

DESIGN DEVELOPMENT	ISSUE:
PROJECT NUMBER: IA 2609	FILE:
DRAWN BY:	CHECKED BY:
DATE: 07/20/23	

CALCULATIONS: Farolito Senior Community : July 21, 2023
Based on City of Albuquerque DMP, Article 6-2 Hydrology dated June 26, 2020

100-YEAR, 6-HOUR CALCULATIONS					
AREA OF SITE:	99735.6859	SF	=	2.29	ACRE
HISTORIC FLOWS:					
Area A	0	0%	Area A	0	0%
Area B	0	0%	Area B	0	0%
Area C	14960	15%	Area C	29921	30%
Area D	84775	85%	Area D	69815	70%
Total Area	99736	100%	Total Area	99736	100%
EXCESS PRECIP:					
EA	=	0.67			
EB	=	0.86			
EC	=	1.09			
ED	=	2.58			
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)					
Weighted E	=	$\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$			
Historic E	=	2.36 in.	Developed E	=	2.13 in.
On-Site Volume of Runoff: V360 = E * A / 12					
Historic V ₃₆₀	=	19586 CF	Developed V ₃₆₀	=	17728 CF
On-Site Peak Discharge Rate: Qp = QpA + QpB + QpC + QpD / 43,560					
For Precipitation Zone 3					
QpA	=	1.84	QpC	=	3.17
QpB	=	2.49	QpD	=	4.49
Historic Qp	=	9.8 CFS	Developed Qp	=	9.4 CFS

No.	Date	Description

SHEET TITLE
GRADING & DRAINAGE PLAN

SHEET NUMBER
CG-101

REVISIONS

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△	
△	

DRAWN BY: JTSB,BDEC
REVIEWED BY: FCAMA
DATE: 08/01/2023
PROJECT NO.: IA 2609 22-0083
DRAWING NAME:

GENERAL NOTES

- A. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- B. CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- C. SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- D. ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINED JOINT CRITERIA NOTES THIS SHEET. (LT) LENGTH SHOWN ON KEYED NOTES.
- E. ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.
- F. WATERLINES 4" IN DIAMETER OR LARGER SHALL BE PVC PIPE MEETING AWWA C900 DR-18 REQUIREMENTS.
- G. SANITARY SEWER LINE MATERIALS SHALL BE PVC SDR-35 PIPE.
- H. COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
- J. COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.

RESTRAINED JOINT CRITERIA FOR WATERLINE FITTINGS

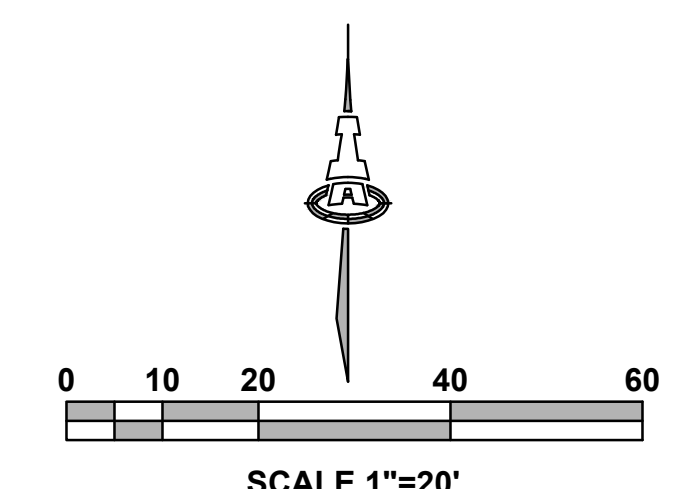
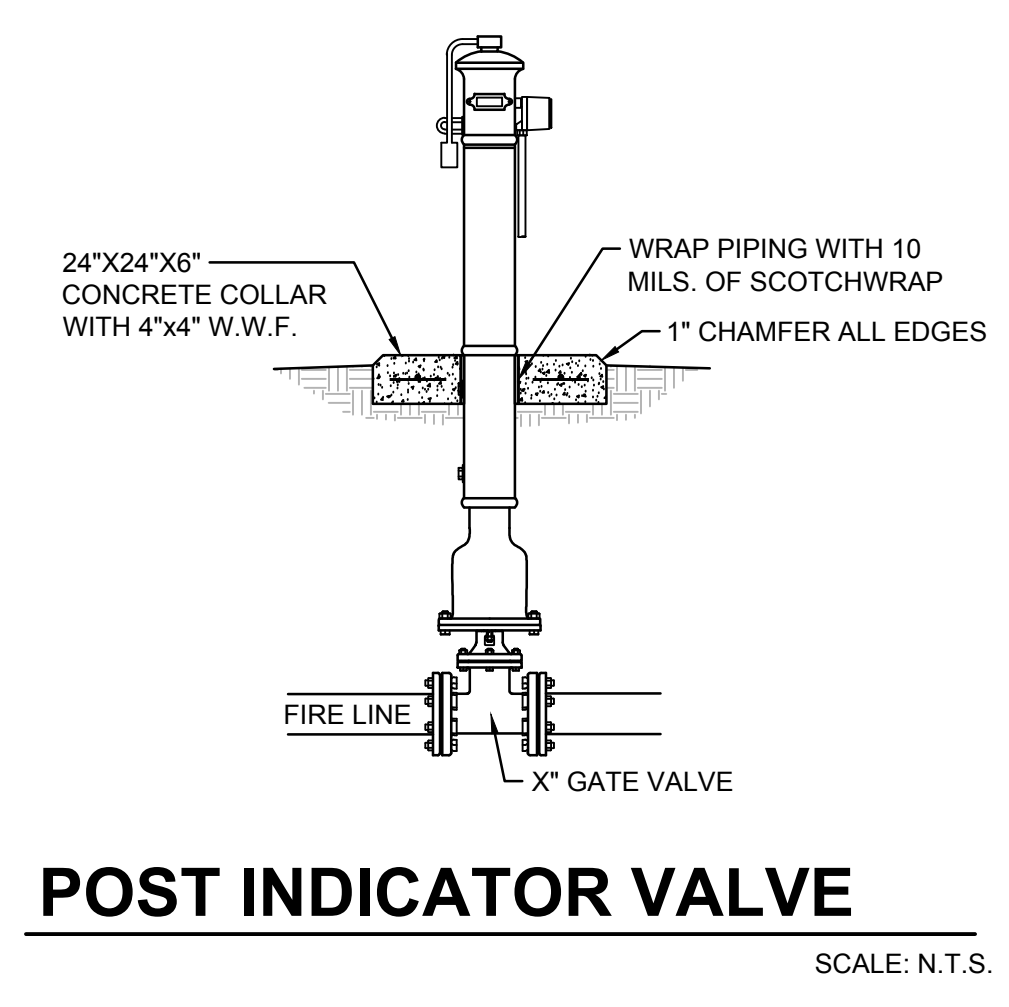
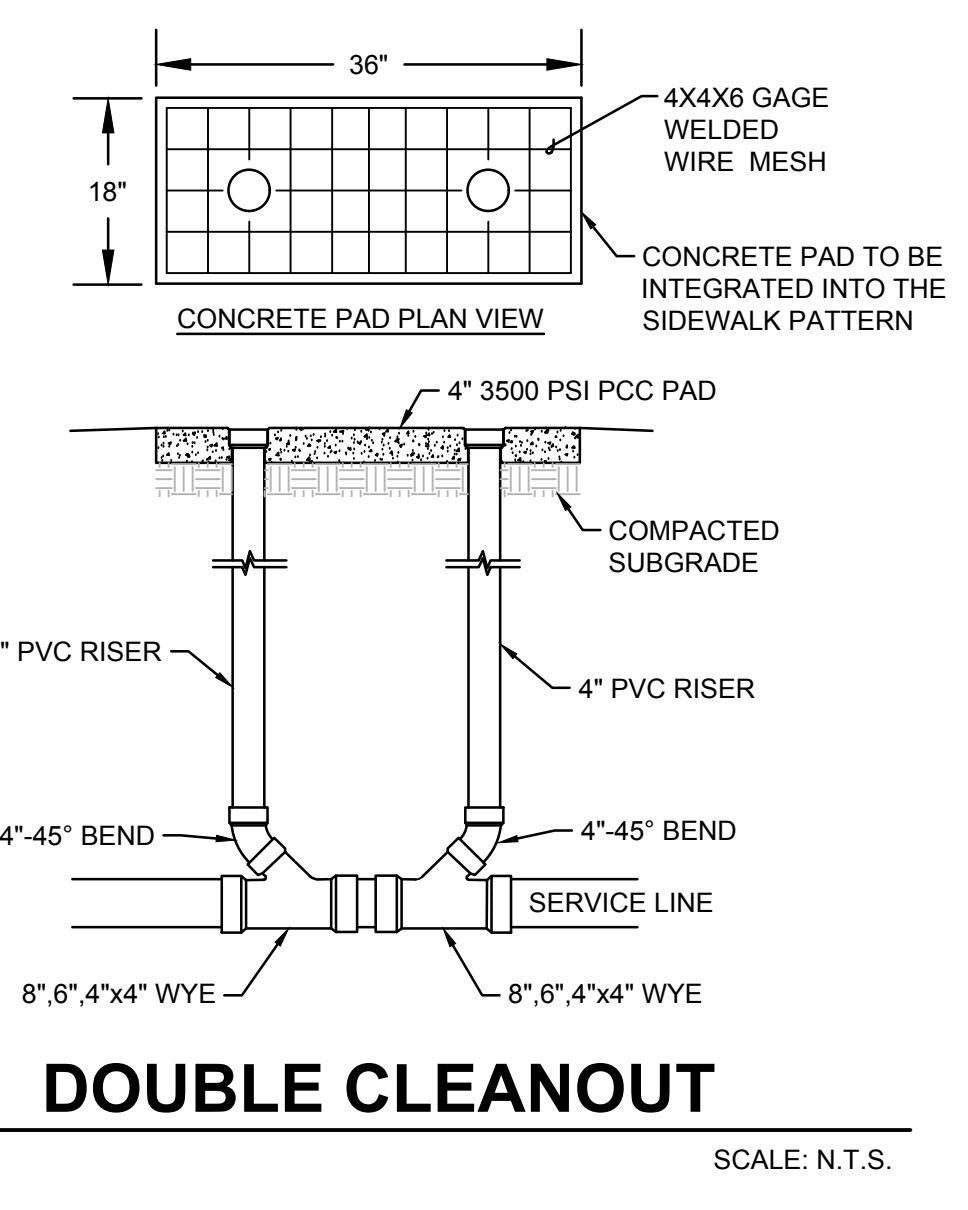
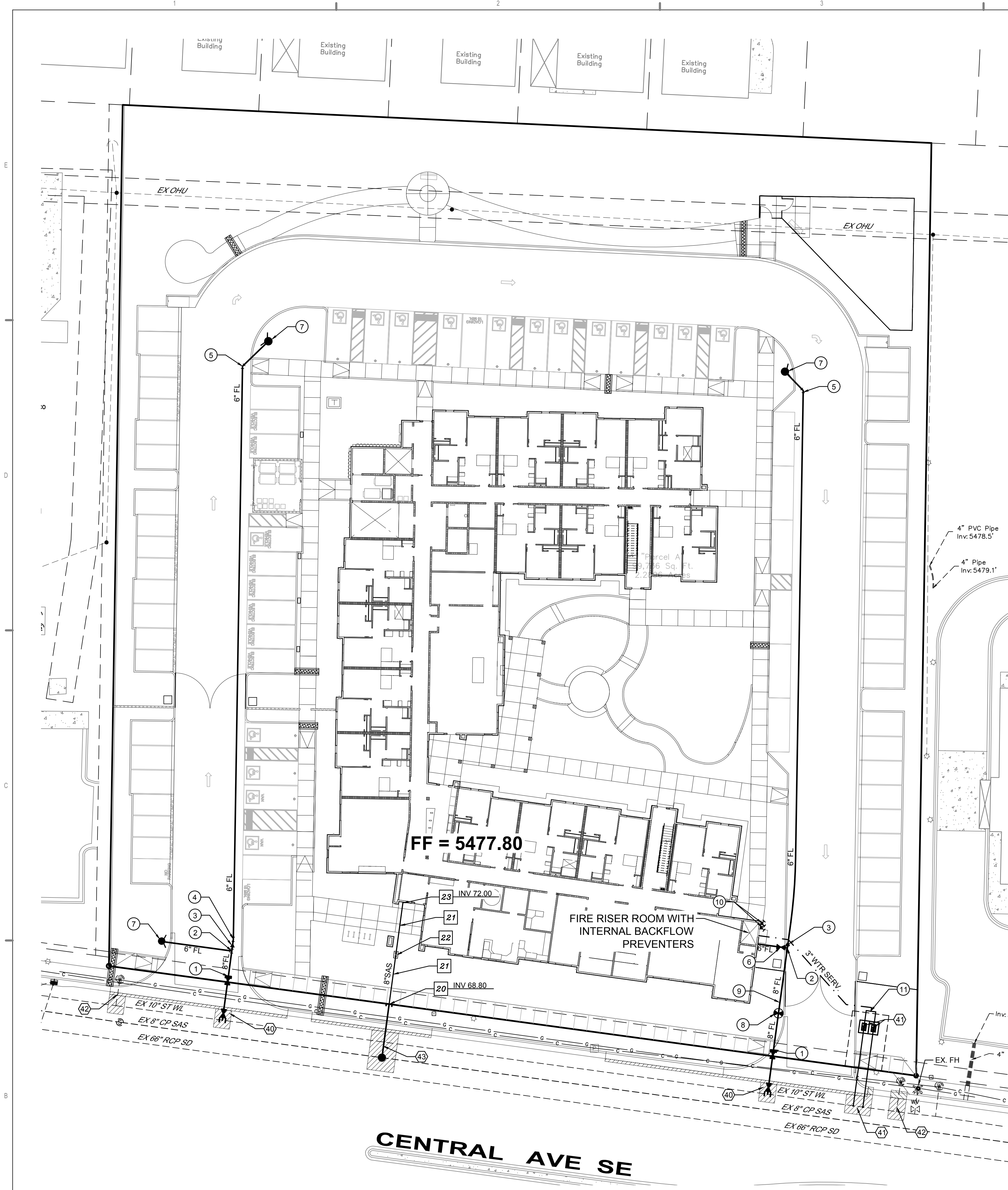
- 1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTINGS PER KEYED NOTES THIS SHEET.
- 2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
- 3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
- 4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

DEPTH OF BURY: 3.0 FT. MINIMUM
FACTOR OF SAFETY: 1.5
MATERIAL: PVC
SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.
TEST PRESSURE: 150 PSI
TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWUA.

KEYED NOTES

- WATER KEYED NOTES**
1. REMOVE EXISTING 8" CAP AND CONNECT NEW 6" WATERLINE.
 2. 8" x 6" TEE.
 3. 8" x 6" REDUCER.
 4. 6" - 11 1/2" BEND. (LT=3)
 5. 6" - 45" BEND. (LT=9)
 6. PRIVATE 6" GATE VALVE W/ BOX. (LT=46") PER ABCWUA STD DWG 2326, 2328 & 2329
 7. PRIVATE FIRE HYDRANT PER ABCWUA STD DWG 2340. PAINTED SAFETY ORANGE.
 8. PIV (POST INDICATOR VALVE).
 9. 3/4" ELECTRICAL CONDUIT W/ PULL STRING FROM PIV TO FIRE ROOM.
 10. WALL MOUNT FDC (FIRE DEPARTMENT CONNECTION).
 11. REMOVE 2 EXISTING 2" CAPS AND MANIFOLD TOGETHER INTO 1 - 3" WATER SERVICE LINE.
- SEWER KEYED NOTES**
20. INSTALL 4" DIA. TYPE E MANHOLE PER ABCWUA STD DWGS #2102 & #2109.
 21. 8" SANITARY SEWER SERVICE AT 8.44% (2% MIN. SLOPE).
 22. INSTALL DOUBLE CLEAN OUT PER DETAIL THIS SHEET.
 23. SEE MECHANICAL PLAN FOR CONTINUATION. (INV.=5472.0)
- DRY UTILITY KEYED NOTES**
30. ELECTRIC LINE, SEE SITE ELECTRIC PLAN.
 31. GAS LINE, SIZE TO BE DETERMINED.
 32. EXTERNAL GAS METER WITH FULL-BORE GAS SHUT OFF VALVE DOWN STREAM OF GAS METER.
- ABCWUA CONNECTION PERMIT ITEMS (NOT PART OF THIS PLAN)**
40. PUBLIC WATERLINE AND 8" GATE VALVES W/BOX, PART OF PRIVATE FIRE SUPPRESSION LINE CONNECTION TO 10" PUBLIC WATER LINE.
 41. 2 NEW PUBLIC 2" WATER METERS
 42. REMOVE AND DISPOSE EXISTING WATER METER BOX, CLOSE CORP STOP AT MAIN.
 43. 4" SANITARY SEWER MANHOLE AND NEW 8" SERVICE LINE TO ROW.



LEGEND

---	EXISTING WATERLINE
⊗	EXISTING FIRE HYDRANT
⊗	EXISTING WATER VALVE
---	EXISTING SEWER LINE
⊗	EXISTING SEWER MANHOLE
---	NEW FIRE LINE
---	NEW WATER VALVE
---	NEW FIRE HYDRANT
---	NEW FDC
---	NEW PIV
---	NEW SEWER LINE
---	PUBLIC WATER VALVE
---	PUBLIC FIRE HYDRANT
(LT=X)	DISTANCE JOINTS TO BE RESTRAINED FROM FITTING OR VALVE

Isaacson & Arfman, Inc.
Civil Engineering Consultants
128 Monroe Street NE
Albuquerque, NM 87108
505-265-8828 | www.isacfi.com

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GENERAL SHEET NOTES

A. PAINT WALL AND ROOF MOUNTED EQUIPMENT/ITEMS THAT ARE NOT PRE-FINISHED TO MATCH COLOR OF ADJACENT SURFACE, UNLESS NOTED OTHERWISE.

B. SEE REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.

C. MAKE CHANGES IN FINISH COLOR AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.

D. EXTERIOR BUILDING AREAS WILL BE ILLUMINATED WITH FIXTURES UTILIZING FULL CUT-OFF OPTICS SO AS TO MINIMIZE LIGHT POLLUTION AND TO COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT.

E. MECHANICAL EQUIPMENT IS ROOF MOUNTED AND SCREENED FORM VIEW BY BUILDING PARAPETS.

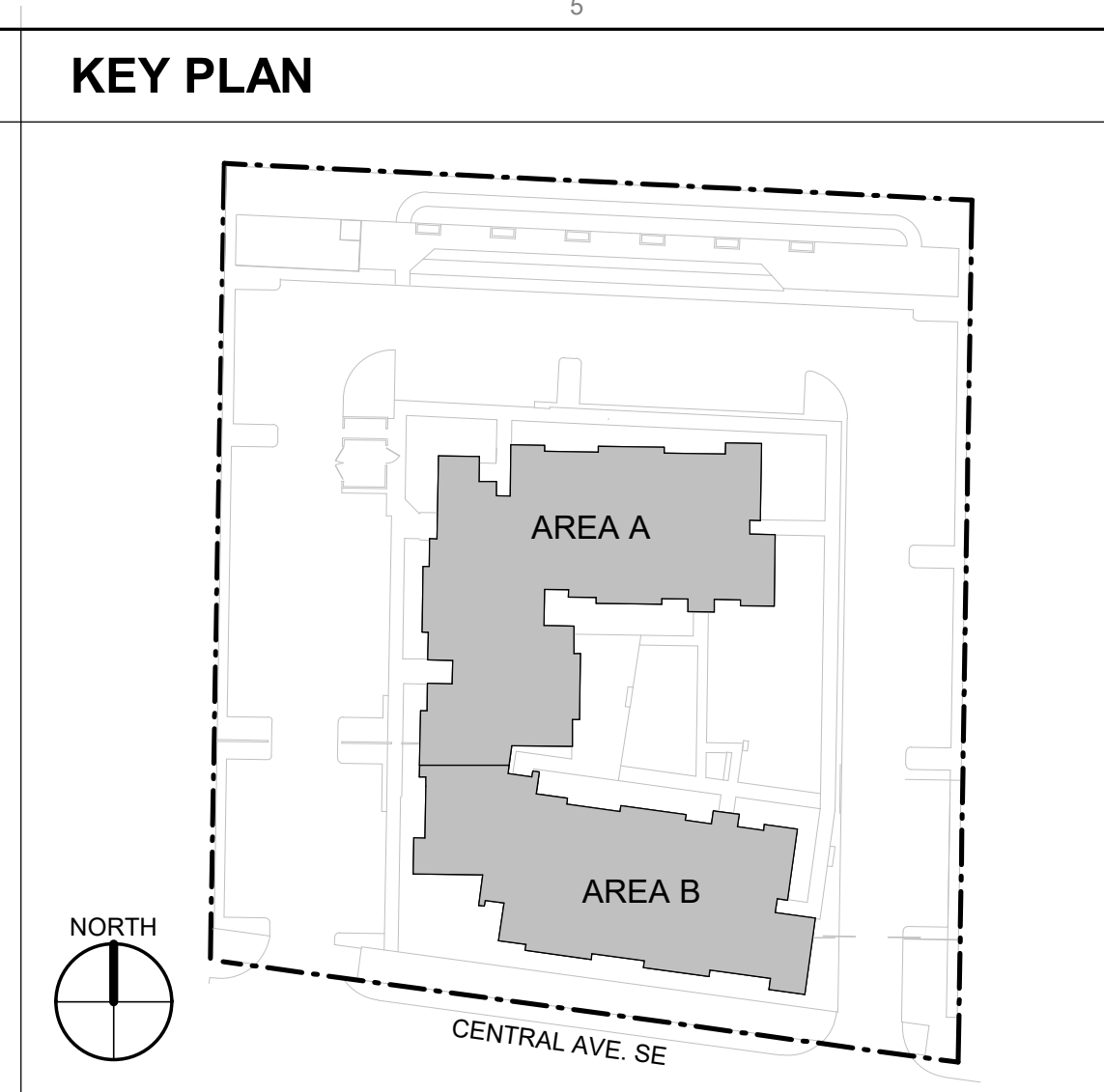
SHEET KEYNOTES

REFERENCE KEYNOTES

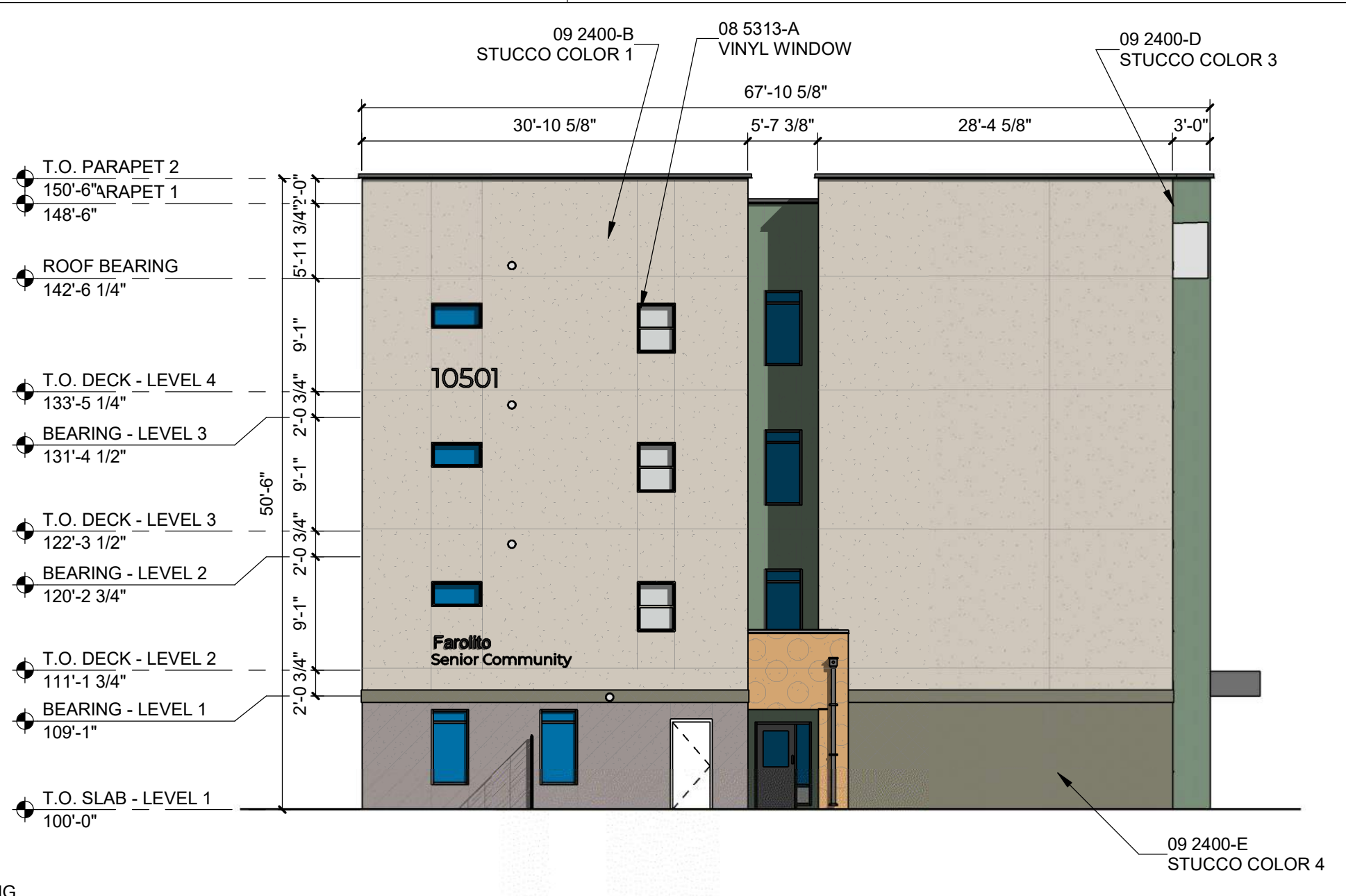
08 1113-D HOLLOW METAL WINDOW
 08 5313-A VINYL WINDOW
 09 2400-B STUCCO COLOR 1
 09 2400-C STUCCO COLOR 2
 09 2400-D STUCCO COLOR 3
 09 2400-E STUCCO COLOR 4
 09 2400-F STUCCO COLOR 5

LEGEND

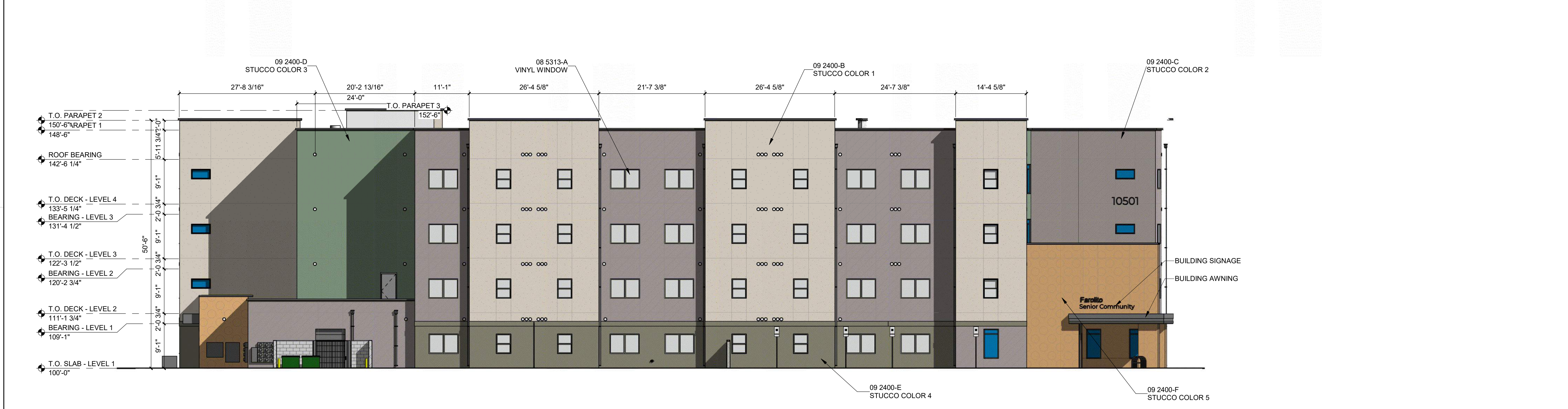
STUCCO: COLOR 1
 STUCCO: COLOR 2
 STUCCO: COLOR 3
 STUCCO: COLOR 4
 STUCCO: COLOR 5



C1 SOUTH ELEVATION
 3/32" = 1'-0"



C3 SOUTHEAST ELEVATION
 3/32" = 1'-0"



A1 WEST ELEVATION
 3/32" = 1'-0"

DEKKER PERICH SABATINI
 Architecture in Progress



SEAL
 PROJECT

FAROLITO SENIOR COMMUNITY
 10501 CENTRAL AVENUE NE
 ALBUQUERQUE, NM 87123

ISSUED FOR PERMIT

REVISIONS

DRAWN BY: BH
 REVIEWED BY: CWW
 DATE: 05/14/23
 PROJECT NO: 22-0083

DRAWING NAME
EXTERIOR ELEVATIONS - SOUTH AND WEST

SHEET NO
SDP 4.1

GENERAL SHEET NOTES

A. PAINT WALL AND ROOF MOUNTED EQUIPMENT/ITEMS THAT ARE NOT PRE-FINISHED TO MATCH COLOR OF ADJACENT SURFACE, UNLESS NOTED OTHERWISE.

B. SEE REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.

C. MAKE CHANGES IN FINISH COLOR AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.

D. EXTERIOR BUILDING AREAS WILL BE ILLUMINATED WITH FIXTURES UTILIZING FULL CUT-OFF OPTICS SO AS TO MINIMIZE LIGHT POLLUTION AND TO COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT.

E. MECHANICAL EQUIPMENT IS ROOF MOUNTED AND SCREENED FROM VIEW BY BUILDING PARAPETS.

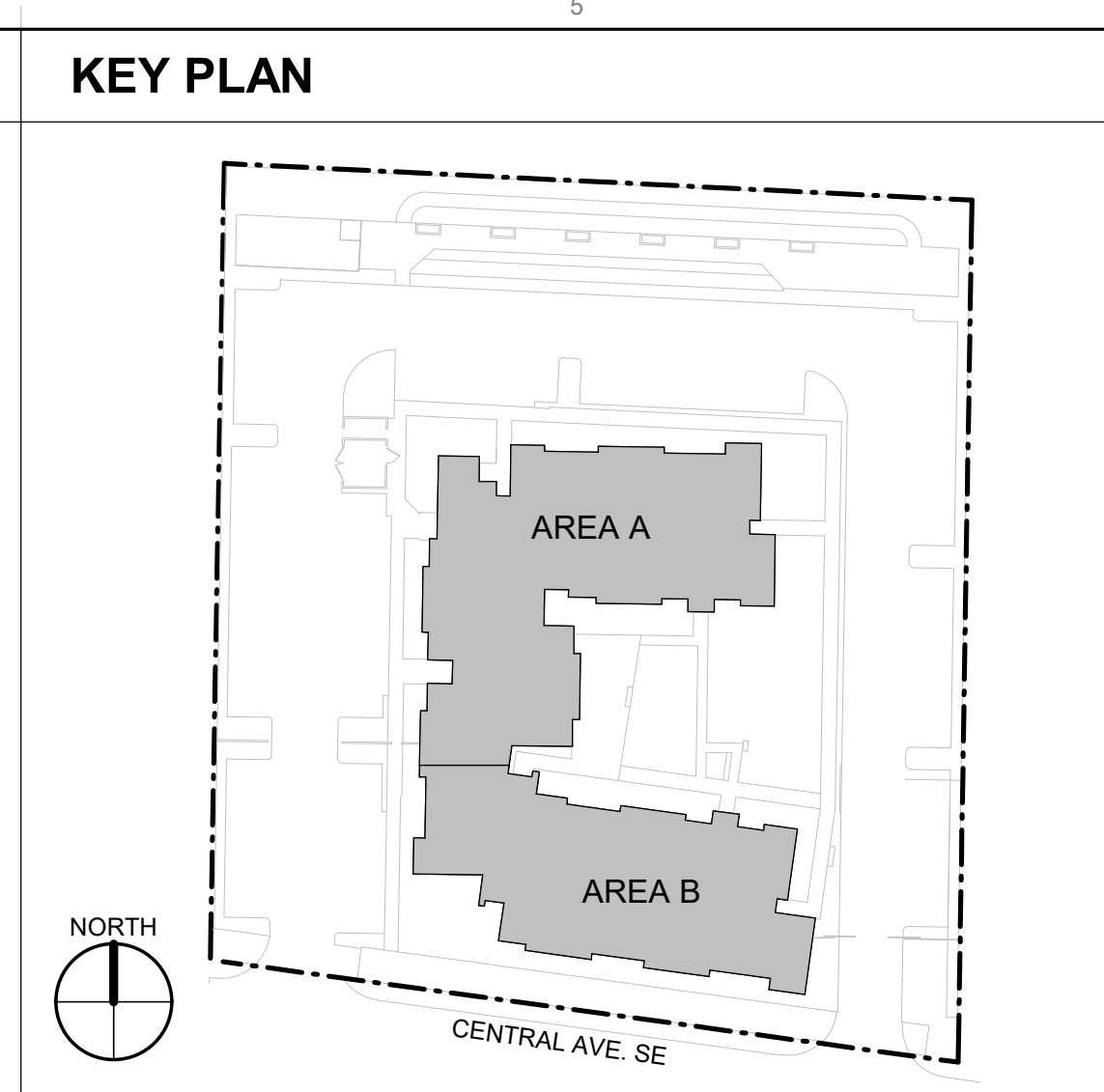
SHEET KEYNOTES ○

REFERENCE KEYNOTES

08 5313-A VINYL WINDOW
 09 2400-B STUCCO COLOR 1
 09 2400-C STUCCO COLOR 2
 09 2400-D STUCCO COLOR 3
 09 2400-E STUCCO COLOR 4
 09 2400-F STUCCO COLOR 5
 10 1400-C01 EXTERIOR BUILDING SIGNAGE

LEGEND

STUCCO: COLOR 1
 STUCCO: COLOR 2
 STUCCO: COLOR 3
 STUCCO: COLOR 4
 STUCCO: COLOR 5



DEKKER PERICH SABATINI
 Architecture in Progress



SEAL

PROJECT

FAROLITO SENIOR COMMUNITY
 10501 CENTRAL AVENUE NE
 ALBUQUERQUE, NM 87123

ISSUED FOR PERMIT

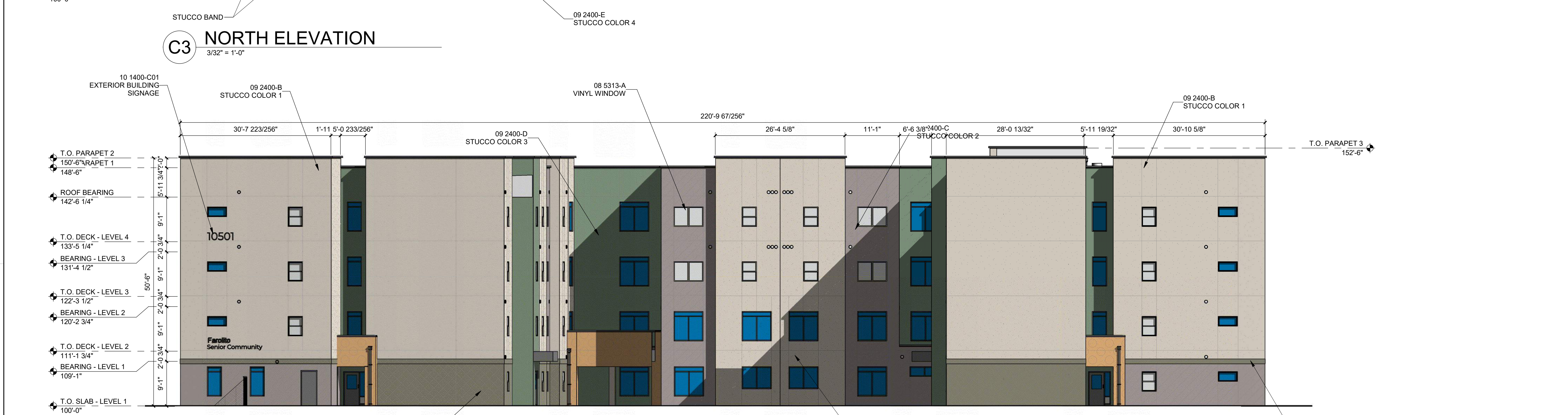
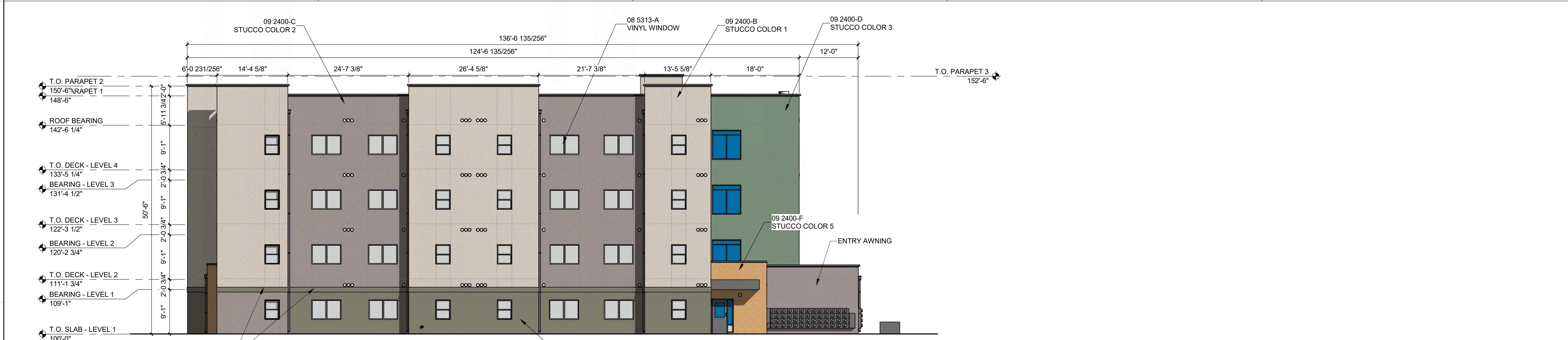
REVISIONS

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DRAWN BY: BH
 REVIEWED BY: CWW
 DATE: 05/14/23
 PROJECT NO: 22-0083

DRAWING NAME
EXTERIOR ELEVATIONS - NORTH AND EAST

SHEET NO
SDP 4.2



9/28/2023 12:13:10 PM


06 COMPLETED SITE PLAN CHECKLIST

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 09/29/2023

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- X 1. Date of drawing and/or last revision
- X 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

NA E. Off-Street Loading

- 1. Location and dimensions of all off-street loading areas

NA F. Vehicle Stacking and Drive-Through or Drive-Up Facilities

- 1. Location and dimensions of vehicle stacking spaces and queuing lanes
- 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
- 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

X A. Locate and identify adjacent public and private streets and alleys.

- 1. Existing and proposed pavement widths, right-of-way widths and curve radii
- 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
- 3. Location of traffic signs and signals related to the functioning of the proposal
- 4. Identify existing and proposed medians and median cuts
- 5. Sidewalk widths and locations, existing and proposed
- 6. Location of street lights
- 7. Show and dimension clear sight triangle at each site access point
- 8. Show location of all existing driveways fronting and near the subject site.

X B. Identify Alternate transportation facilities within site or adjacent to site

- 1. Bikeways and bike-related facilities
- 2. Pedestrian trails and linkages
- 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- NA A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

07 AUTHORIZATION LETTER



Stephanie Garcia Richard
COMMISSIONER

State of New Mexico
Commissioner of Public Lands

310 OLD SANTA FE TRAIL
P.O. BOX 1148
SANTA FE, NEW MEXICO 87504-1148

COMMISSIONER'S
OFFICE

Phone (505) 827-5760
Fax (505) 827-5766
www.nmstatelands.org

September 21, 2023

Mr. Anthony Santi
Dekker Perich Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109

RE: Project Site Address: 10501 CENTRAL AVE NE, ALBUQUERQUE, NM 87123, aka, Parcel A as shown on the Boundary Survey of Tract C, Video Addition and Parcels of Land Owned by the State of New Mexico Situated Within the NW 1/4 NW 1/4 sec. 28, T10N, R4E, NMPM, April 2016, recorded with the County Clerk of Bernalillo County on February 12, 2020 as Doc. No. 2020013489, containing 2.2856 acres, more or less.

Mr. Santi:

On September 20, 2023, I received a call from you requesting our support in your efforts to entitle the subject property on behalf of our Lessee. The State Land Office is not a zoning authority and state trust lands are not technically subject to municipal zoning. The State Land Office does appreciate, however, the important role zoning plays in ensuring land development occurs consistent with community needs and desires. As such, as a matter of practice the agency generally requires lessees to follow municipal zoning. Paragraph 21 of the Lease, requires this:

21. COMPLIANCE WITH LAWS. Lessee shall fully comply at its own expense with all federal state, and local laws, regulations, rules, ordinances and requirements, applicable to the Leased Premises or to Lessee's operations thereon, including but not limited to all applicable laws governing water; endangered or threatened species; Hazardous Materials; environmental protection; land use; health and safety; cultural, historic or archeological / paleontological properties; and all New Mexico State Land Office Rules and Regulations, including those that may be promulgated hereafter. Lessee's obligations under this Paragraph include but are not limited to compliance with NMSA 1978 Section 19-6-5, requiring a lessee of State Trust Land to protect the Leased Premises from waste or trespass.

At the beginning of 2023, the New Mexico State Land Office entered into a long-term lease with the

Farolito Apartments Limited Partnership LLLP (Farolito). The approved use in the agreement is affordable housing.

As such, we support negotiations and processes between the City of Albuquerque and Farolito to meet those ends which will allow the approved use. If you or anyone at the City of Albuquerque has any questions for the New Mexico State Land Office in regards to this matter, please do not hesitate calling me.

Sincerely,



Jim Bordegaray
Director, Commercial Resources Division
(505) 827-5777
jbordegaray@slo.state.nm.us

cc: Felipe Rael, Executive Director, Greater Albuquerque Housing Partnership

08 JUSTIFICATION LETTER

September 29, 2023

Jay Rodenbeck, Development Facilitation Team
City of Albuquerque Planning Department
600 2nd St., Plaza del Sol
Albuquerque, NM 87106

DEKKER
PERICH
SABATINI
Architecture
in Progress

Re: Farolito Senior Community - Mixed-use Multifamily

Dear Mr. Rodenbeck,

Dekker Perich Sabatini, as the agent for
Farolito Apartments Limited Partnership LLLP

By: Farolito Senior LLC its General Partner

By: Greater Albuquerque Housing Partnership,
is seeking approval of a Site Plan Administrative for a new multifamily development located at 10501 Central Ave. NE. The proposed development would include 82 apartment units, and amenities including a dog park, outdoor gathering areas, and indoor gathering space. The apartment building will include a mix of one-bedroom and two-bedroom units.

The subject property is an approximately 2.2 acre parcel on Central Ave. between Eubank and Juan Tabo. The subject property is zoned MX-H: Mixed-Use High Intensity in an area of change and along a major transit corridor.

The proposed development consists of one four-story building. The building is designed in a Contemporary Southwest style with an emphasis on simplicity in geometric forms and in expression of materials. The “push and pull” of building massing is used to achieve multiple volumetric forms with a pleasing visual rhythm. The building is defined by clean lines, sharp corners, and straight parapets which serve to screen equipment on the flat roofs. The building includes recessed openings, muted desert colors, and pops of more vibrant color for visual interest.

Per IDO Section 6-5(G)(1)(f), the proposed development is subject to the Site Plan – Administrative procedures and review and decision criteria. The proposed site plan complies with the criteria of IDO Section 6-5(G)(3) Review and Decision Criteria for Site Plan – Administrative as outline below. The criteria are bolded, and the responses are italicized.

6-5(G)(3)(a) The Site Plan complies with all applicable standards in this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

The proposed site plan complies with all applicable standards in the IDO, the DPM, and other adopted city regulations as required. There are no other prior approvals affecting the property.

6-5(G)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development or the applicant has agreed to install required infrastructure and public improvements pursuant to Subsection 14-16-1-7(B)(2) and 14-16-5-4(N) and/or a signed an Infrastructure Improvements Agreement (IIA) pursuant to Subsection 14-16-5-4(O) to add adequate capacity.

The existing infrastructure and public improvements in the vicinity have adequate capacity to serve the proposed development.

6-5(G)(3)(c) If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any IDO standards applicable in the zone district the subject property is in.

The subject property does not fall within the boundaries of any approved Master Development Plan; therefore this criterion is not applicable.

6-5(G)(3)(d) If the subject property is within an approved Framework Plan, the Site Plan shall meet any relevant standards in the Framework Plan in addition to any IDO standards applicable to the type of development.

The subject property does not fall within the boundaries of any approved Framework Plan; therefore this criterion is not applicable.

Based on the rationale presented in this letter, we respectfully request approval of the proposed site plan. If you have any questions or need clarification, please contact me at anthony@dpdesign.org or at (505)761-9700.

Sincerely,



Anthony Santi
Dekker Perich Sabatini

09 SIGN POSTING AGREEMENT

DFT SIGN POSTING AGREEMENT – A PUBLIC NOTICE REQUIREMENT

All development applications are required to complete public notice under the Integrated Development Ordinance, Section 6-1, Table 6-1-1. <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1> All applicants are obligated to satisfy all of the public notice requirements, i.e., sending email notifications, mailing notices, and posting signage on the subject property. **This form covers posting signs.** Adherence to sign posting requirements will inform the public of a proposed project and relevant project details.

Signs should be picked up at the Development Review Services office, located at 600 2nd St in the Plaza Del Sol building. Signs are available upon the acceptance of the application. The cost for the signs is included in the project application fee. It is critical that the signs be prominently located and clearly visible without any obstructions from each street frontage.

Applicants are responsible to maintain posting from time of application through the appeal period (15 days following a final decision on the application). Signs must be posted within 3 days of application acceptance and remain for at least 15 days. Evidence of the sign posting must also be provided within 3 days. In addition, applicants must ensure that required signs are in place during the 15-day appeal period after the project approval. Evidence of posting includes: Time stamped photographs of the sign at the location must be submitted as a supplement to the application.

Failure to install or replace the signs during the required timeframe may result in your application being deferred.

LOCATION

- A. The sign shall be conspicuously located, i.e, within twenty feet of the public sidewalk (or edge of a street).
- B. The face of the sign shall be parallel to the street.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

NUMBER

- A. One sign shall be posted on each street frontage.
- B. If the land does not abut a public street, a sign shall be placed at the edge of the public right-of-way of the nearest paved street, in addition to the sign placed on the property.

PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

I have read and understand all of the public notice requirements. By my signature, I acknowledge that: I understand (A) I have read the sign posting requirements; (B) I understand my obligation to keep the signs posted for (15) days at the time of application, and (15) days after application approval, (C) where/how the sign(s) should be posted, and (D) agree to provide evidence of posting.

I further certify that the required public notice signs were posted per the instructions above.

SIGNATURE & DATE:



09/29/2023

PROJECT NUMBER & ADDRESS:

10 Required Content of Notice at Submittal

1. Office of Neighborhood Coordination notice inquiry response

Anthony Santi

From: Carmona, Dalaina L. <dlcarmona@cabq.gov>
Sent: Tuesday, October 3, 2023 2:37 PM
To: Anthony Santi
Subject: 10501 Central Ave. NE Public Notice Inquiry Sheet Submission
Attachments: IDOZoneAtlasPage_L-21-Z.pdf

Dear Applicant:

As of Tuesday, October 3, 2023, there are **NO** neighborhood associations to notify. You will need to attach a copy of this e-mail from the Office of Neighborhood Coordination (ONC) to your application when you submit it to the Planning Department.

Please note that the ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Thank you.



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334
dlcarmona@cabq.gov or ONC@cabq.gov
Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster@cabq.gov <webmaster@cabq.gov>
Sent: Tuesday, October 3, 2023 1:22 PM
To: Office of Neighborhood Coordination <anthonys@dpsdesign.org>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:

Administrative Decision

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Anthony Santi

Telephone Number

5057619700

Email Address

anthonys@dpsdesign.org

Company Name

Dekker/Perich/Sabatini

Company Address

7600 Jefferson St. NE Suite 100

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

TRACT IN N 1/2 NW 1/4 NW 1/4 CONT 2.2860 AC M/LTRACT IN N 1/2 NW 1/4 NW 1/4 CONT 2.2860 AC M/L

Physical address of subject site:

10501 Central Ave. NE

Subject site cross streets:

Central and Eubank

Other subject site identifiers:

This site is located on the following zone atlas page:

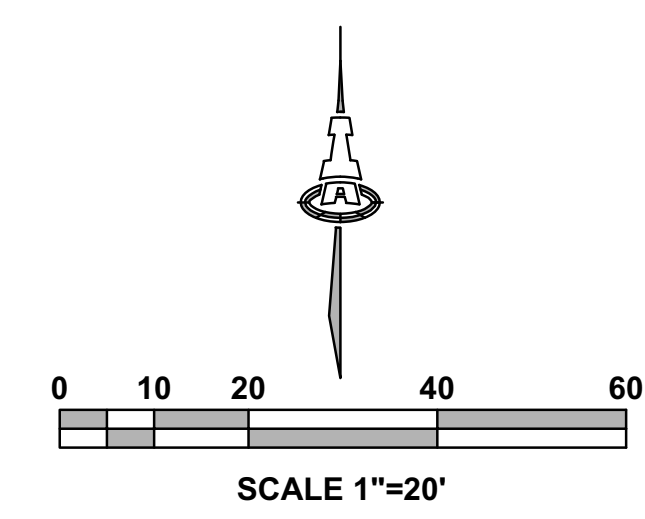
L-21-Z

Captcha

x

11 Additional Materials

1. Fire 1 Plan Approved
2. Solid Waste Plan Approved



10501 CENTRAL AVE NE
ALBUQUERQUE, NM 87123
SENIOR LIVING COMPLEX

OCCUPANCY GROUP R-2

BUILDING IS TYPE VB
76,639 SQ. FT.
BUILDING IS SPRINKLED, NFPA-13-R
FIRE FLOW IS 7,500 = 3,750 GPM.
= 4 FIRE HYDRANTS

MAX. BUILDING HEIGHT IS 51'-6"
STAND PIPE IS REQUIRED.
HIGHEST 4TH FLOOR LEVEL IS 33'-6"

3 NEW FIRE HYDRANTS
1 EXISTING FIRE HYDRANT NEAR SITE

ALL FIRE DEPARTMENT CONNECTIONS SHALL HAVE A MINIMUM DISTANCE OF 3' FROM ANY PERMANENT OBJECTS.

BUILDING TO HAVE A PREMISES ID VISIBLE FROM CENTRAL AVE

BUILDING TO HAVE KNOX BOXES AT ENTRANCES

ALL GATES ARE ELECTRICALLY OPERATED WITH A KNOX KEY SWITCH. EMERGENCY ACCESS.

ALL ACCESS ROADS AND FIRE LANES HAVE GRADES LESS THAN 10% AND A LOAD CAPACITY OF 75,000 POUNDS.

ALL ACCESS ROADS AND FIRE PATHS WILL ACCOMMODATE A 28' MINIMUM TRUCK TURNING RADIUS

FIRE APPARATUS ROADS SHALL HAVE AN UNOBSTRUCTED HEIGHT NOT LESS THAN 13'-6".

THERE ARE NO OVERHEAD OBSTRUCTIONS ON SITE TO PROHIBIT LADDER TRUCK OPERATIONS



FAROLITO SENIOR COMMUNITY
10501 CENTRAL AVENUE NE
ALBUQUERQUE, NM 87123

ISSUED FOR PERMIT

REVISIONS

△	
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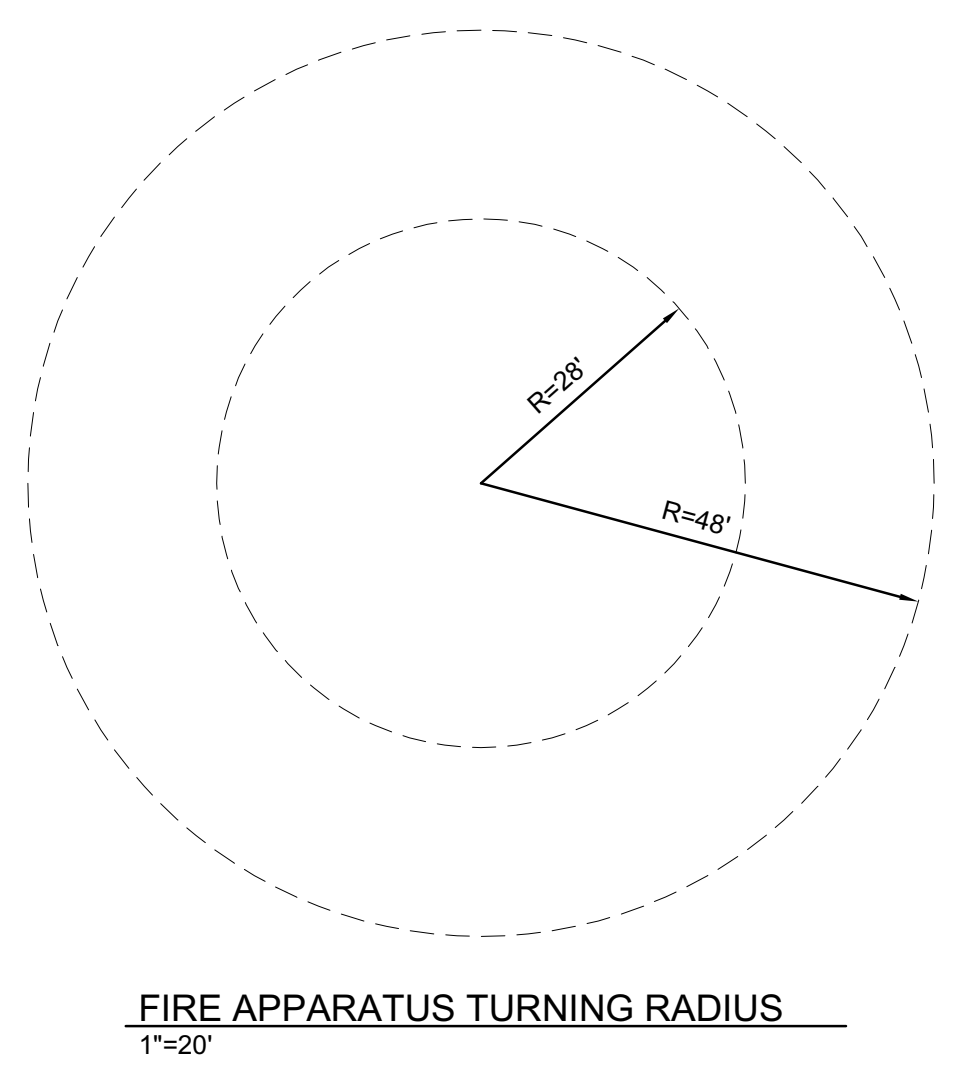
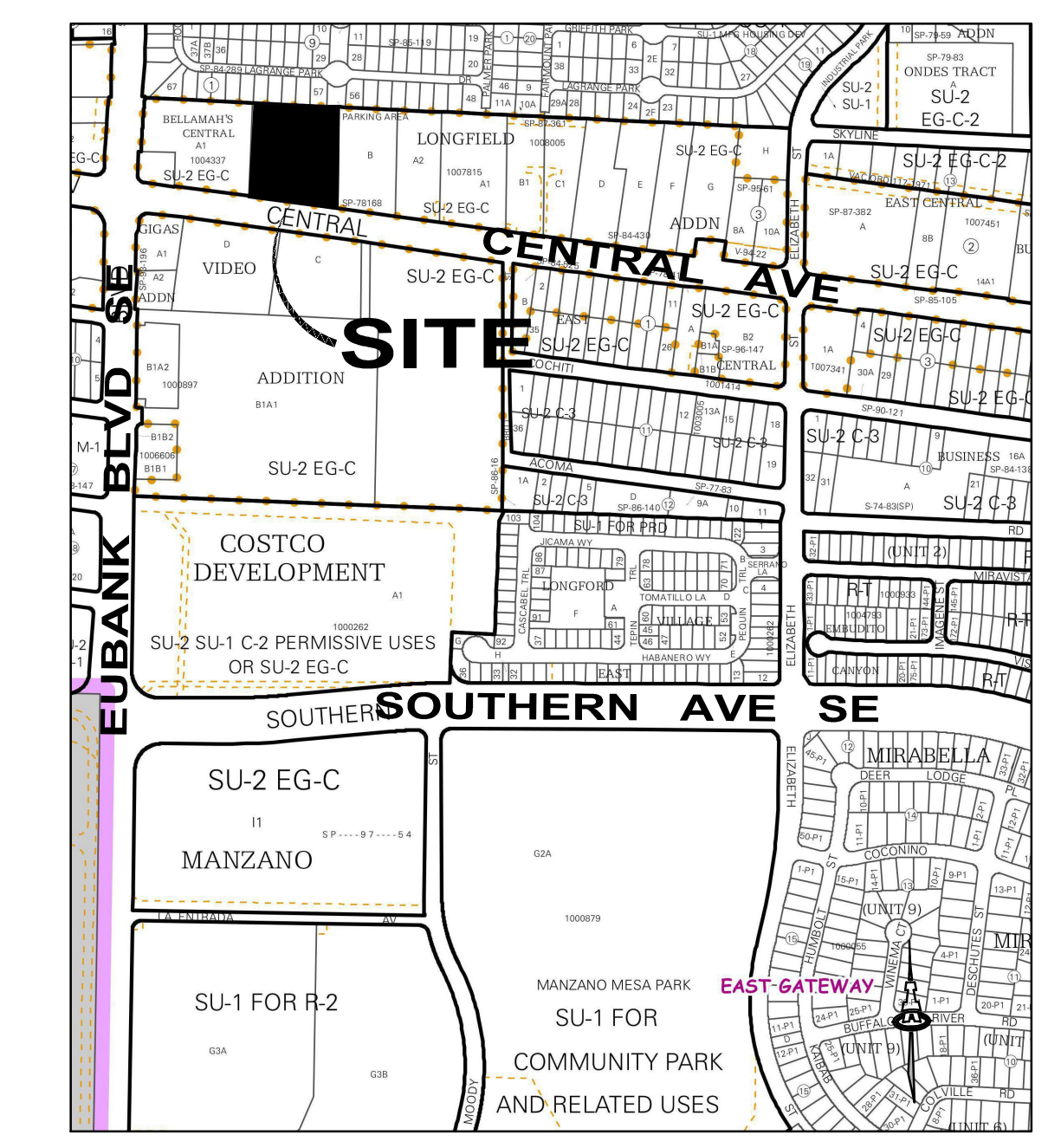
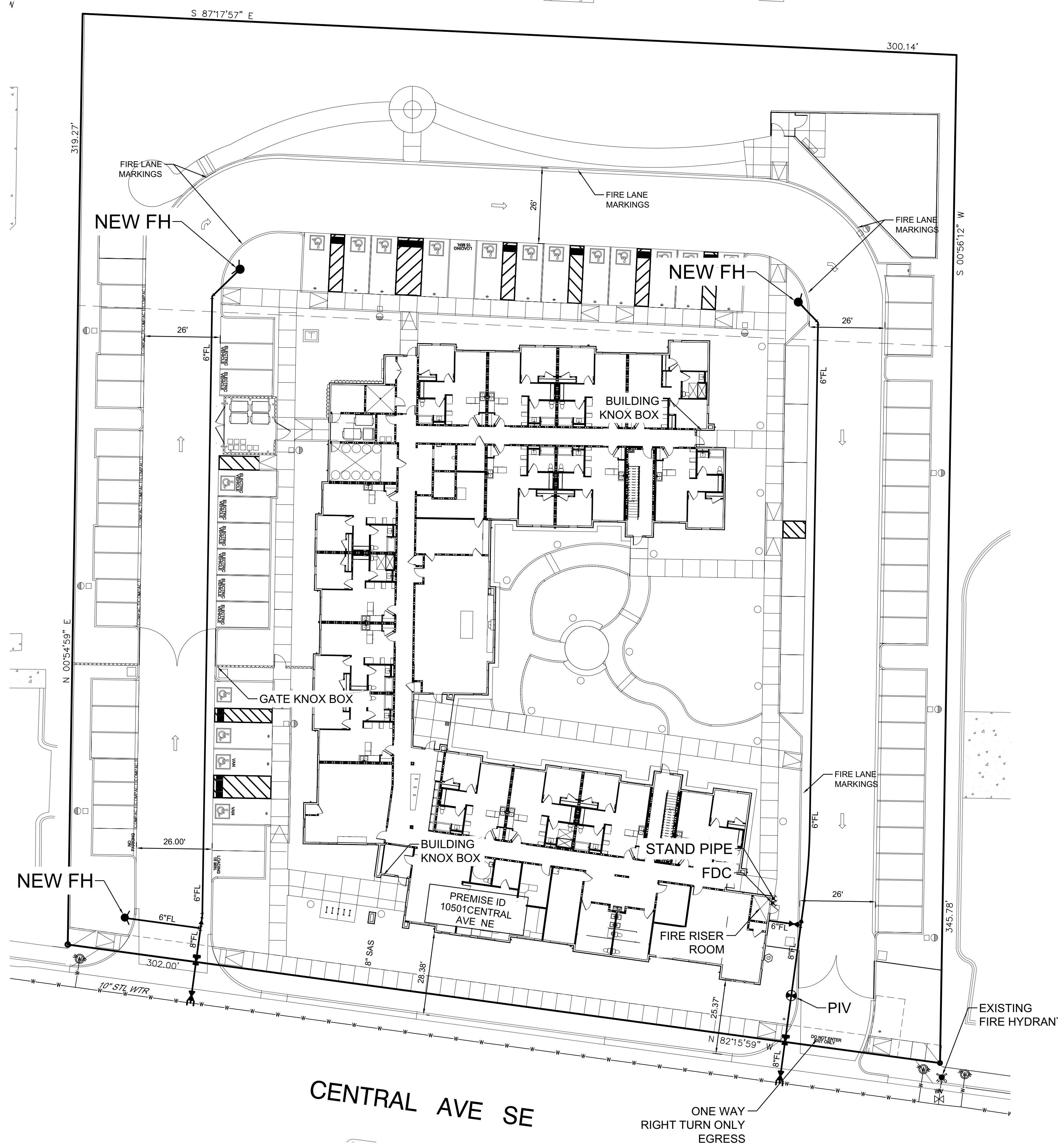
DRAWN BY: JTS/RB/DEC
REVIEWED BY: FC/MMA
DATE: 09/01/2023
PROJECT NO: IA 2909 22-0093

DRAWING NAME
FIRE HYDRANT LOCATION & ACCESS PLAN

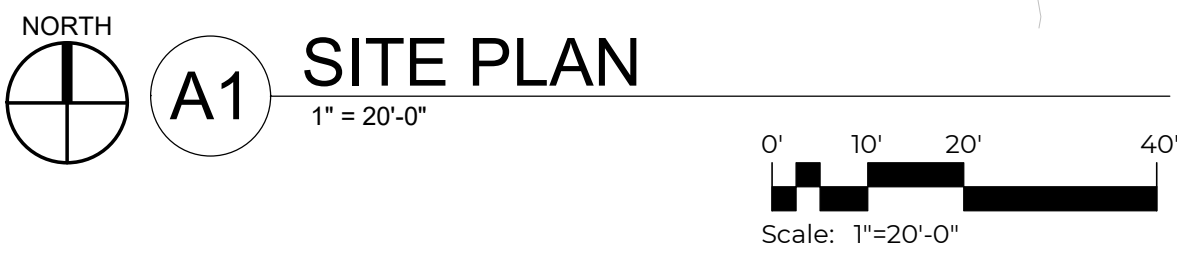
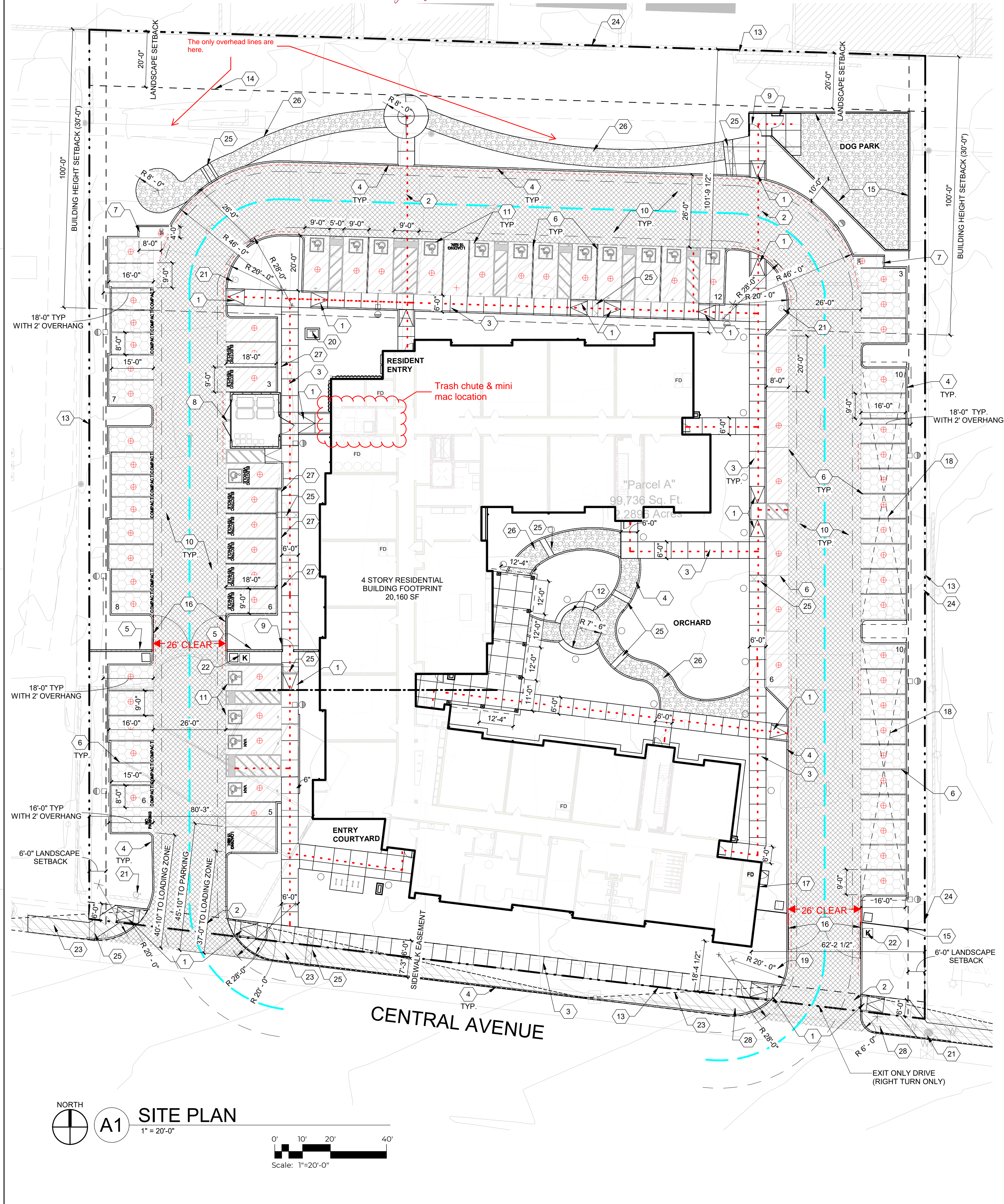
SHEET NO.
FIRE 1

Isaacson & Arfman, Inc.
Civil Engineering Consultants
139 Menores Street NE
Albuquerque, NM 87108
505-268-8828 | www.iaaiv.com

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Approved for access by the Solid Waste Department for a total of 4-2 cubic yard dumpsters, 8-96 gallon recycle carts to be placed in front of the trash enclosure on service day by the maintenance staff. All containers are to be made accessible between the hours of 7AM and 8PM for pickup.
Herman Gallegos 09-14-23 *Herman Gallegos*



PROJECT INFORMATION

LOCATION:
10501 CENTRAL AVENUE NE
ALBUQUERQUE, NM 87123

ZONING:
IDO - MIXED-USE - HIGH INTENSITY ZONE DISTRICT (MX-H)
METROPOLITAN REDEVELOPMENT AREA (MRA) - EAST GATEWAY
MAJOR TRANSIT CORRIDOR AREA
ROUTE 66 ACTION PLAN

LEGAL DESCRIPTION:
TRACT IN N 1/2 NW 1/4 NW 1/4 CONT 2.2860 AC MLTRACT IN N 1/2 NW 1/4 NW 1/4 CONT 2.2860 AC ML

ZONE ATLAS:
2.285 ACRES (99, 532 SQ. FT.)

DENSITY:
35.9 DU / ACRES

OCCUPANCY AND CONSTRUCTION TYPE:
APARTMENTS R-2, B (LEASING & AMENITY)
CONSTRUCTION TYPE: 5-A (4 STORY APARTMENT BUILDINGS)

BUILDING SETBACKS:
FRONT = 5' MIN. / N/A MAX.
SIDE = 5' MIN. / N/A MAX.
REAR = 15'

BUILDING HEIGHT:
MAXIMUM ALLOWED = 65'-0"
MAXIMUM PROVIDED = 51'-6"

BUILDING AREA:
LEVEL 1 = 20,160 GSF
LEVEL 2 = 17,532 GSF
LEVEL 3 = 18,814 GSF
LEVEL 4 = 18,814 GSF
TOTAL = 75,320 GSF

SPRINKLERED:
YES, NFPA 13R

FIRE FLOW:
3,750 GPM

HYDRANTS REQUIRED:
4

SOLID WASTE NARRATIVE:
TRASH SHALL BE PROVIDED ON SITE WITH AN INTERNAL COMPACTOR AND TRASH CHUTE SERVING THE RESIDENTS. THE INTERNAL COMPACTOR SHALL BE SERVED WITH TWO CY CARTS ON CASTERS (4 TOTAL ON SITE) COLLECTING UPPER LEVEL REFUSE COLLECTED AT THE CHUTE AND WHEELED OUT TO THE REFUSE CONTAINER BY BUILDING MANAGEMENT AND BY SOLID WASTE PERSONNEL ON SERVICE DAYS.

RECYCLING SHALL BE MANAGED ON EACH LEVEL BY TWO (2) 50 GALLON ROLLING RECYCLING BINS (8 TOTAL ON SITE) COLLECTED BY BUILDING MANAGEMENT ON THE SITE REFUSE CONTAINER AND SERVICED ON SITE ON COLLECTION DAYS.

PARKING CALCULATION: (TABLE 5-5-1)
REQUIRED SPACES: 76 SPACES
(1.5 SPACES/DWELLING UNIT: 1.5 X 82 = 123 PARKING SPACES MINUS PARKING CREDIT OF 47 SPACES FOR PROXIMITY TO TRANSIT AND ELECTRIC VEHICLE)

PROVIDED SPACES: 79 TOTAL SPACES
(66 STANDARD SPACES + 6 ACCESSABLE SPACES + 6 VAN ACCESSABLE)

MOTORCYCLE PARKING CALCULATION:
REQUIRED SPACES: 1.58 (2 SPACES)
PROVIDED SPACES: 2 SPACES

BICYCLE PARKING:
REQUIRED SPACES: 0.25 / UNIT (82 X 0.25 = 20.5 BICYCLE PARKING SPACES)
36 TOTAL SPACES PROVIDED
(18 INDOOR SPACES + 18 OUTDOOR BICYCLE SPACES)

NOTE: 6 OUTDOOR SPACES ARE PROVIDED FOR VISITORS THAT ARE FIXED, PERMANENT AND ARE LOCATED AT MULTIPLE RACKS SERVING THE LEASING OFFICE, AND ALONG CENTRAL AVENUE PER THE ROUTE 66 ACTION PLAN.

OPEN SPACE CALCULATIONS

REQUIRED USABLE OPEN SPACE: (TABLE 2-4-7) MX-H ZONING
1 BEDROOM UNIT = 200 SF OPEN SPACE REQUIRED
2 BEDROOM UNIT = 250 SF OPEN SPACE REQUIRED
1 BEDROOM UNITS PROVIDED: 72 UNITS X 200 = 14,400 SF
2 BEDROOM UNITS PROVIDED: 10 UNITS X 250 = 2,500 SF
TOTAL OPEN SPACE REQUIRED: 16,900 SF

PROVIDED USABLE OPEN SPACE:
XX,XXX SF OF USABLE OPEN SPACE PROVIDED

UNIT DATA

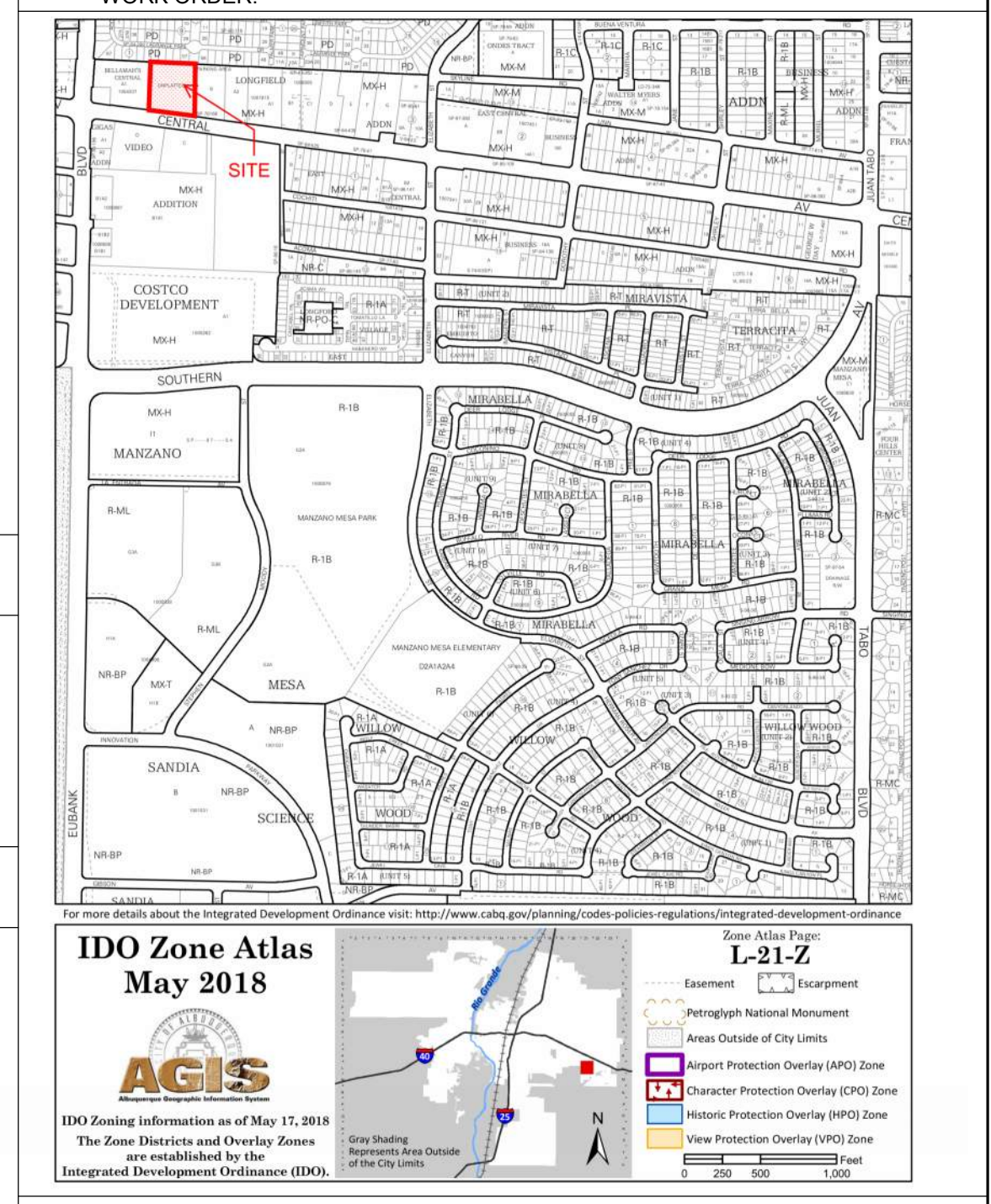
UNIT TYPE	GROSS HEATED SQUARE FOOTAGE (GHSF)	LEVEL				TOTAL QUANTITY	TOTAL AREA (GHSF)
		LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4		
UNIT 1	650	14	18	20	20	72	46,800
UNIT 2	790	1	3	3	3	10	7,900
TOTAL		15	21	23	23	82	54,700

SHEET KEYNOTES

- CONCRETE ACCESSIBLE RAMP TYP.
- PAINTED PEDESTRIAN CROSSWALK, RE: C4/SDP1.2
- CONCRETE SIDEWALK WITH CONTROL JOINTS, WIDTH AS NOTED
- CONCRETE CURB, SEE CIVIL
- 8" CMU WALL
- PARKING STRIPING
- MOTORCYCLE ONLY PARKING SIGNAGE
- REFUSE ENCLOSURE, RE: SDP-5.7
- PEDESTRIAN GATE W/ KEYCARD ACCESS
- ASPHALT PAVING, RE: CIVIL FOR PAVEMENT SECTIONS
- ACCESSIBLE PARKING STALL, RE: D2/SDP1.2
- CONCRETE SEAT WALL, RE: C3/SDP1.2
- PROPERTY LINE
- 6" PUBLIC UTILITY EASEMENT
- 8" VIEW FENCING
- VEHICULAR GATE ON FOBBED SENSOR & CALL BOX
- FIRE DEPARTMENT CONNECTION (FDC)
- PV CAPABLE PARKING CANOPY (OPTIONAL - ALTERNATE BID)
- POST INDICATOR VALVE (PIV)
- TRANSFORMER, RE: ELECTRICAL
- FIRE HYDRANT, RE: CIVIL
- LOCATION OF KNOX BOX
- CLEAR SIGHT TRIANGLE (PER COA) LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. ALL SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- EXISTING MASONRY WALL TO REMAIN
- SIDEWALK CULVERT, RE: CIVIL
- STABILIZED CRUSHER FINE PATH RE: B1/SDP1.3
- E.V. CAPABLE CHARGING STATION
- EXIT ONLY SIGNAGE DO NOT ENTER, RE: D1/SDP1.3

GENERAL SHEET NOTES

- SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL AND ACCESSIBILITY STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- VERIFY EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
- COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION.
- REPAIR AREAS TO MATCH PRE-CONSTRUCTION CONDITION WHERE UTILITY WORK, GRADING AND/OR STAGING OCCURS, INCLUDING AREAS OUTSIDE OF LIMIT OF WORK BOUNDARY.
- ALL EXISTING ASPHALT AND CONCRETE TO BE REMOVED PRIOR TO CONSTRUCTION
- REMOVE EXISTING TREES PRIOR TO CONSTRUCTION
- UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY. COORDINATE LOCATION AND INSTALLATION. SEE CIVIL
- ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- AN ACCESSIBLE ROUTE, IN COMPLIANCE WITH ACCESSIBILITY STANDARDS OF THE PROJECT, CONNECTS FROM THE BUILDING TO ACCESSIBLE PARKING SPACES AND TO ALL SITE AMENITIES AS REQUIRED.
- ALL LIGHT FIXTURES AND LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.
- REFER TO CIVIL AND ELECTRICAL FOR DEMOLITION ITEMS.
- REFER TO CIVIL FOR PAVING PLAN AND PAVING DETAILS.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
- PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK, WHERE EXPANSION JOINT MATERIAL IS PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.
- PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN. TYP. RE: CIVIL FOR SPOT ELEVATIONS, AND GRADING AND DRAINAGE REQUIREMENTS.
- EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED FROM DEMOLITION AND CONSTRUCTION.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS PER CITY OF ALBUQUERQUE.
- ALL RAMPS, SIDEWALKS, CURBS AND GUTTERS IN THE R.O.W. SHALL BE INSTALLED PER CITY OF ALBUQUERQUE STANDARD DRAWINGS.
- SOLID WASTE CONNECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
- DURING CONSTRUCTION, COORDINATE WITH CITY OF ALBUQUERQUE'S MEDIAN LANDSCAPING PROJECT AT THIS LOCATION.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.



LEGEND

- LANDSCAPED AREA
- HEAVY DUTY ASPHALT (RATED FOR UP TO 75,000 LBS)
- LIGHT DUTY ASPHALT
- STABILIZED DECOMPOSED GRANITE PATH (ACCESSABLE)
- PERMIABLE PAVING, RE: CIVIL
- PROPERTY LINE
- SETBACK (SEE DEMENTION FOR ADDITIONAL DETAILS)
- ACCESSIBLE ROUTE
- FIRELANE STRIPING MARKING FIRE ACCESS LANE, RE: C2/SDP 1.2
- REFUSE TRUCK ROUTE
- EXISTING FIRE HYDRANT LOCATION
- FIRE HYDRANT LOCATION, RE: CIVIL
- FIRE DEPARTMENT CONNECTION (FDC) WALL MOUNTED
- TRANSFORMER, RE: ELECTRICAL
- PROPOSED 20' LIGHT POLE
- PHOTOVOLTAIC (PV) CARPORT, ALTERNATE BID (SEPARATE PERMIT REQUIRED)
- BIKE RACK (4 BIKE CAPACITY) RE: B2/SDP 1.2
- SITE BENCH

DEKKER PERICH SABATINI

Architecture in Progress

SEAL

PROJECT

FAROLITO SENIOR COMMUNITY
10501 CENTRAL AVENUE NE
ALBUQUERQUE, NM 87123

ISSUED FOR PERMIT

REVISIONS

DRAWN BY: BH
REVIEWED BY: CWW
DATE: 05/11/23
PROJECT NO: 22-0083

DRAWING NAME: TRAFFIC CIRCULATION PLAN

SHEET NO: **TCL**